



**City of Ketchum
Planning & Building**

IN RE:

Warm Springs Townhomes)
Design Review) KETCHUM PLANNING AND ZONING COMMISSION
Application File Number: P24-063) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: January 20, 2026) DECISION
)
)

PROJECT: Warm Springs Townhomes

APPLICATION TYPE: Design Review

FILE NUMBER: P24-063

PROPERTY OWNER: 108-110 Ritchie, LLC

REPRESENTATIVE: Zac Rockett, Ro Rockett Design (architect)

LOCATION: 108 Richie Dr (WARM SPRINGS VILL SUB 2ND REV LOT 3A BLK 4)

ZONING: Tourist 3000 (T-3000)

OVERLAY: None

RECORD OF PROCEEDINGS

Per Ketchum Municipal Code 17.96.010.C.1, new developments on lots totaling 11,000 square feet require a pre-application meeting with the Planning and Zoning Commission prior to application for final Design Review. The City of Ketchum received an application for Pre-Application Design Review for the project on the subject property on November 13, 2023, and deemed the application complete on November 17, 2023. A Pre-Application Design Review meeting with the Commission was held on April 23. The Planning and Building Department received the Design Review application on July 17, 2024. Following four rounds of review, the application was scheduled for a hearing with the Planning and Zoning Commission (the "Commission") at their September 9, 2025 regular meeting.

A public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on August 20, 2025. The notice was published in the Idaho Mountain Express on August 20, 2025. A notice was posted on the project site on September 2,

2025, and the city's website on August 19, 2025. A public hearing was held on September 9, 2025 and continued to a date certain of October 14, 2025. A public hearing was held on October 14, 2025 and continued to a date certain of November 25, 2025. The applicant requested a further continuation to allow for additional time for revisions. At the November 25, 2025 hearing, the application was continued to a date certain of December 9, 2025. No information was presented and no deliberations occurred at the November 25, 2025 hearing. The Commission held their final meeting and and further continued to a date certain of December 9, 2025.

BACKGROUND

The applicant has submitted a Design Review application for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the "subject property"). The subject property is zoned Tourist 3000 (T-3000) and is vacant. The development proposes to utilize the city's density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. The townhouse units range in size from approximately 2,200 to 3,800 gross square feet. The units within the development are proposed to be accessed by a private road entering from Ritchie Dr. with two of the units being accessed directly from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment A to these findings.

FINDINGS OF FACT

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby find that the project meets the criteria (below) for a Design Review approval per Section 17.96.050.A of the Ketchum Municipal Code:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

The Commission finds that the application does not jeopardize the health, safety, and welfare of the public, conforms with the goals, policies and objectives of the comprehensive plan, and conforms to all applicable standards and criteria as set forth in Chapter 17.96 – *Design Review* and Title 17 – *Zoning Regulations*. Therefore, the Commission does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

CRITERIA 1 & 2: HEALTH/SAFETY/WELFARE & COMPREHENSIVE PLAN CONFORMANCE

The 2014 Comprehensive Plan designates the subject property's future land use as "Medium Density Residential". Appropriate uses in this designation include single-family, duplexes, and other attached-unit types such as townhouses. The plan also states that multi-family housing is appropriate in many locations. The proposed development includes six duplex units. The Commission finds the proposed development meets the intent of the future land use designation as proposed.



yellow. The surrounding properties have an outline of the buildings. Where no building is shown, the property is either vacant or has a single-family residence. As shown in the image, most of the surrounding properties have a similar development pattern as the proposed development.

The proposed development features three story duplexes with high-quality materials primarily of wood and stone which is consistent with materials throughout the Warm Springs Area. Additionally, the development features pitched roofs, balconies, and extensive landscaping along Ritche Dr. These are all features that are consistent throughout multi-family developments in the Warm Springs Area. Therefore, the Commission finds that the development is well designed, attractive, and contextually appropriate.

CRITERIA 3: CONFORMANCE WITH APPLICABLE STANDARDS AND CRITERIA

FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS

Zoning and Dimensional Standards Analysis				
Compliant		Ketchum Municipal Code Standards and Staff Comments		
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area and Width <p>Findings</p> <p>Permitted: 8,000 square feet with minimum of 80-foot width</p> <p>Existing: Per Sheet A-002 35,799 SF lot area – 5,897 SF of private road and fire lane area = 29,902 SF</p>
			17.12.030	FAR or Lot Coverage <p>Findings</p> <p>Permitted FAR: 0.5</p> <p>Permitted FAR with Community Housing: 1.6</p> <p>Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor</p>

			<p>only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.</p> <p>Proposed: Per Sheet A-000 Gross Square Footage – 38,957 SF Total Lot Area – 29,902 SF FAR – 1.30 FAR</p> <p>Community Housing Mitigation Calculation: Permitted Gross Square Feet (0.5 FAR): 14,951 SF Proposed Gross Square Feet: 38,957 SF Increase Above Permitted FAR: 24,006 SF 20% of Increase: 4,801 SF Net Livable (15% Reduction): 4,081 SF</p> <p>Fee In-Lieu Proposed: 4,081 SF x \$550/SF = \$2,244,561</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030 Minimum Building Setbacks</p> <p>Findings</p> <p>Permitted: Front (Ritchie/south): 15 feet Side (west): The greater of 1 foot per 3 feet in building height, or 5 feet. Side (east): The greater of 1 foot per 3 feet in building height, or 5 feet. Rear (north): The greater of 1 foot per 3 feet of building height, or 10 feet.</p> <p>Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>Proposed Building Height: Per Sheets A-300 through A-306</p>

			<p>Building 1 – 35 ft Building 2 – 35 ft Building 3 – 35ft Building 4 – 35ft *11.6 ft of setback required on sides and rear</p> <p>Proposed: Per Sheet A-001 Front (Ritchie, south): 15 feet Side (west): 11 feet 8 inches Side (east): 11 feet 8 inches Rear (Alley/east): 11 feet 8 inches</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030 Building Height</p> <p>Findings</p> <p>Permitted: 35 feet</p> <p>Proposed: Per Sheets A-300 through A-306 Building 1 – 35 ft Building 2 – 35 ft Building 3 – 35ft Building 4 – 35ft</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125.030H Driveway</p> <p>Findings</p> <p>Permitted: Not less than 12 feet and not more than 35% of street frontage or 30 feet (whichever is less) unless otherwise approved by the City Engineer.</p> <p>Proposed: Private roads curb cuts onto public roads are not subject to driveway width requirements. Building 2 has driveways directly onto Ritchie Dr which are 12 feet in width for a total of 24 feet. The total length of the property is approximately 219 ft. 35% of street frontage would be 77 ft, therefore the maximum width is 30 feet. A total of 24 feet is proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125.040 Parking Spaces</p> <p>Findings</p> <p>Required: 1 space for units between 751 and 2,000 SF 2 spaces for units 2,001 SF and greater</p> <p>Proposed: (per Page 11) 12 units total 11 units over 2,001 SF = 22 parking spaces required 1 unit between 751 and 2,000 SF = 1 parking space required Total spaces required: 23 Total Spaces provided: 23</p> <p>Bicycle Parking: Required: One bike rack (for two bikes) for every 4 required spaces. $23/4 = 6$ (5.75) racks are required.</p>

			Proposed: None identified on the development plans, see condition of approval #10.
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 Open Site Area
		Findings	<p>Required: 35% site area excluding buildings, structures, parking areas, driveways, cul-de-sacs or streets - A maximum of five percent open site area may be used for private decks or patios and walkways subject to design review approval.</p> <p>Required Open Site Area:</p> <p>12,523 SF (35%) total – of that total, a maximum of 626 SF can be private decks or patios and walkways</p> <p>Proposed: Per Sheet A-003</p> <p>Total Lot area: 35,799 SF</p> <p>Total SF of Buildings, Streets, Driveways, and Dumpster = 22,864 SF</p> <p>35,799 SF – 22,864 SF = 12,935 SF = 37%</p> <p>Total proposed patios and walkways = 622.25 SF = <5%</p>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.124.180 Minimum Residential Density
		Findings	<p>Required: 4 residential units per 10,000 SF of lot area</p> <p>Total Lot Area: 29,902 SF / 10,000 SF = 2.99</p> <p>2.99 x 4 units = 12 units</p> <p>Proposed: 12 Units</p>
X			17.124.130 Fences/Hedges/Walls
		Findings	<p>Required: All retaining walls must meet the requirements of 17.124.130.E including:</p> <ul style="list-style-type: none"> • Setback a minimum of one foot from property lines unless adjacent owner authorizes • All retaining structures four feet or more in height that are visible from public rights of way shall be constructed or faced with materials that reduce the apparent mass of the retaining structure • There is no maximum height limit in the Tourist 3000 zone district for retaining. <p>Proposed: Per sheets C1.0 and L2.0/L3.0, boulder retaining walls are proposed along the rear and side property lines to manage grade. The height of the retaining on the eastern side property line varies between 1-4 feet in height. The retaining proposed along the eastern property line is located more than 30 feet from the front lot line but is located within one foot of the property line (see condition #16). The western property line contains retaining that varies from 1-4 feet with the highest retaining toward the rear property line. The rear of the property includes retaining that varies from 4-6 feet with 7 ft retaining adjacent to the garbage and snow vault area. There is no</p>

			maximum height limit in the Tourist 3000 zone district for retaining. As shown on sheet L4.0, all retaining walls are to be constructed with natural boulders and have plantings in between grade changes to soften the appearance.
X		17.132.030	Exterior Lighting
		Findings	<p>Required: All exterior lighting shall meet dark sky requirements including:</p> <ul style="list-style-type: none"> • Maximum color temperature of 2700 Kelvins • Fixtures must be dark sky compliant and meet the definition of full cutoff fixture • Zero foot candles measured along all property lines <p>Proposed: Per Sheets E0.10, E0.11, and E0.12</p> <ul style="list-style-type: none"> • The development shows zero-foot candles at all property lines • All proposed fixtures are full cut-off fixtures • All fixtures are factory equipped for 2700 Kelvins, see condition of approval #15

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #6
<p>Finding: The proposed development accesses directly off of Ritchie Dr via a private road for the majority of the units, except the two units contained within Building 2. The two units in building two are access with private driveways directly off of Ritchie Dr. The City Engineer has conducted a review of the development plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #6. The developer is responsible for the cost of all improvements related to the development. No funds are supplied by the city for the development.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #6
<p>Finding: As noted above, the development proposes a private street to access the development. The city engineer and the fire department have reviewed the proposed street layout and dimensions and have confirmed that the road is adequate to serve the residences and provide adequate access for fire and emergency vehicles. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final</p>	

review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #6.

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the T zone district, sidewalks are required and included in the development plans. Pursuant to KMC Section 12.04.030.M.6 the applicant has proposed to install a new 7-foot-wide sidewalk along Ritchie Dr.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
<p>Finding: The applicant has proposed installing a new 7-foot-wide, concrete sidewalk along Ritchie Dr. The City Engineer and Streets Department have conducted a review of the development plans and believe the proposed right-of-way improvements comply with city standards. No waiver for sidewalk width was approved by the city engineer.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<i>Sidewalks may be waived if one of the following criteria is met:</i>	N/A
<p>a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i></p> <p>b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></p>	
<p>Finding: N/A. Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
<p>Finding: The proposed sidewalk improvements are equal to the length of the subject property's frontage along Ritchie Dr as shown on Sheet C1.00 of the development plans.</p>	

17.96.060.B.5 – Sidewalks	Conformance
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<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES
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Finding: Sidewalks adjacent to the subject property do not exist but are planned. To the north are the Warm Springs Vilas Condos, with the Sawtooth Condos to the south along Ritchie Dr. Neither condominium complexes have sidewalks, however, sidewalk improvements are included in the city's sidewalk plan for future construction by the city. Sidewalks do exist on the south side of Ritchie Dr between the subject property and Jane Lane. In addition, as shown on Sheet C1.00, individual walkways are planned for each unit along Ritchie Dr and from the private road to each unit.

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
Finding: N/A. The applicant has not requested relief from the requirement to construct sidewalks nor has the city granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #6
Finding: As shown on Sheet C1.00, all stormwater from development surfaces are collected within a series of catch basins and drywells contained on the subject property. The private road is designed to ensure that all surface water from the road drains to catch basins into two on-site drywells. Additionally, there is a catch basin and drywell within the city right-of-way to manage drainage from the sidewalk and street. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #6
Finding: As shown on Sheet C1.00, the project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Ritchie Dr. In	

addition, drainage facilities are accounted for along the private road internal to the development. All drainage improvements are required to be constructed to comply with city standards. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #6
<p>Finding: The City Engineer has reviewed the preliminary drainage plans and determined that the proposed improvements are sufficient, however, a final review of all drainage improvements will be conducted during the building permit review stage. The City Engineer may require additional documentation to verify drainage improvement adequacy at that time. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #6
<p>Finding: The City Engineer and Streets Department have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the development.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES Condition #11

Finding: The civil and landscape plans both show proposed locations of transformers to serve the development. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #11 states that the development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	YES Condition #13
Finding: At the time of this application, it has not been determined if fiber optic services exist adjacent to the subject property. Condition of approval #13 states that prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
Finding: The materials palette is shown on Sheet A-500. All buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for facia and accents, and darker wood and metal accents for the roof, windows, and trim. The Warm Springs Base Area neighborhood consists of multi-family developments featuring warm brown of varying shades on wood siding being the predominant material. Developments adjacent to the proposed development have varying degrees of darkness in the brown they feature. Some developments include stone as an accent material in contrast to the predominant material of brown wood. The tone of the wood with the stone accent proposed for the development is complementary with the townscape, surrounding neighborhood and adjoining structures.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: The subject property is vacant and does not contain a historical or cultural landmark on the city of Ketchum's Historical Building/Site List, therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: As noted above, all buildings have access to the new 7-foot sidewalk along Ritchie Dr from individual walkways, driveways, or the private road. Each residential unit has a separate front door entrance from the garage that is oriented to the street.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by the use of architectural features.</i>	YES
Finding: The building character is consistent with many other multi-family condominium buildings in the neighborhood which include architectural features such as pitched roofs with exposed beam rafters, decks/windows that project and recess from the building façade, window detailing, and individual unit entrances, and material differentiation.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: No signage is proposed with the development aside from addressing. The materials palette is shown on Sheet A-500. All buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for facia and accents, and darker wood and metal accents for the roof, windows, and trim. The materials and color palette are continuous throughout the development.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: The development proposes a perimeter fence along three sides of the subject property. Fence materials and details are shown on Sheet A-005. The fencing material is a wood slat that matches the wood siding proposed on the buildings with metal structure that matches the metal detailing color of the windows/trim. The development also proposes natural boulder retaining walls with plantings along the rear property line to manage grade changes. Natural boulder walls are complementary to the building and the overall landscape plan for the development.	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: There are six buildings within the proposed development, each one with certain aspects of the building visible from public vantage points. Elevations of the buildings are included in Sheets A-300 through A-306. Perspectives from the street are provided on Sheets A-500 through A-505. All buildings have pitched roofs with modest overhangs that do not extend past the cantilevered decks below. The roof detailing also includes exposed beams which is a common architectural feature in the area that softens any sharpness created by the roof overhang. The cantilevered decks, although repetitive along the façades, occur at a separation that accentuates the individual units. The glazing of the second floor is appropriate for the scale of the façade. There are recessions on the ground floor for entrances which also create interest at the street level. The initial proposal for the project included four buildings instead of six, two of which were very long stretching more than 100 feet in length. The Commission did not believe the two longer buildings to provide enough undulation and relief to break up the bulk of the structures and requested the applicant evaluate breaking the buildings from one large structure into two smaller ones.</p> <p>The applicant revised the plans to break the two larger buildings into smaller structures. The Commission finds that the separation of the buildings adds a dimension to the project by providing a view corridor between buildings to the rest of the development and adequately breaks the façade of the previous large buildings. The building code requires a minimum five-foot separation between structures; however, the applicant proposes 10 feet of separation between buildings. The Commission finds that the proposed 10+ foot separation of structures allows for a clear and distinct separation, shadow casting on adjacent structures, and a clear break in the roof lines. The building separation also creates the appearance that the buildings are staggered when viewed from certain angles.</p> <p>Therefore, the Commission finds that the proposed design adequately reduces the appearance of bulk and flatness by providing relief between the structures.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The development has street frontage along Ritchie Dr. and internal along the private road. For buildings 1 and 2 that front Ritchie, the buildings are designed with front door entrances directly from the street with individual walkways from the pedestrian sidewalk to the front doors. Similar treatments are proposed with Buildings 3 and 4 that front the internal private road. The buildings are designed with front door entrances from the street, in addition to garage entrances. Additionally, outdoor spaces such as decks and patios are oriented toward Ritchie Dr and the private road.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES

Finding: The subject property is not accessed by an alley. However, as shown on the development plans, there is a consolidated dumpster that serves all 12 units. The garbage dumpster is enclosed and located at the rear of the property between buildings 3 and 4. Details of the garbage enclosure can be found on Sheets A-005. No satellite receivers are proposed.

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: Sheet A-104 of the development plans shows the roof plan for the development. As shown, two rows of snow fencing is called for on all roofs with gutters and downspouts at all roof eaves to manage roof drainage. None of the roofs or projected decks overhang onto sidewalks where pedestrians gather and setback requirements are adequate for the accumulation of snow if and when roofs need to be cleared during the winter.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
Finding: There are no equestrian access points or trail easements adjacent to the property. The Warm Springs regional bike path is accessed by taking Ritchie Dr. to Skiway Dr and on to Warm Springs Rd. As noted above, there are no pedestrian sidewalks to the north or south constructed. However, these improvements are planned for in the city's sidewalk plan and there is a sidewalk that exists on the south side of Ritchie Dr between the subject property and Jane Lane.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. No awnings are proposed to extend over the property line.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Access to the project is provided along Ritchie Dr for vehicles, bicycles, and pedestrians. Vehicular access onto Ritchie Dr. is consolidated on the private road and two private driveways. Front setbacks allow for adequate site distance for vehicles and bicycles exiting the development from the private road. Pedestrians walking to the Warm Springs base area will cross Ritchie Dr. to the south side to access sidewalks into the base area.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
Finding: The city engineer reviewed the driveway entrances in relationship to the private road access to the overall development and determined that the 20 feet minimum distance does not apply as the private road functions more like a private driveway with access to only this development, rather than a residential street which serves residences along the street and through traffic from other origins and destinations. Because parking is not permitted within the driveways, site visibility requirements are met and congestion concerns do not exist due to traffic volumes on Ritchie Dr.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES Condition #12
Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Ritchie Dr and the private road serving the development. The private road and driveways are snow melted to ensure adequate access during winter months. Condition of approval #12 addresses snow removal in the grass-crete areas to ensure that access for fire and emergency services remain unobstructed during winter months.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES Condition #12
Finding: As shown in the snowmelt diagram on Sheet A-004. The private road, driveways, and walkways are proposed to be snow melted. Therefore, no snow storage is required for those elements. There is 638 SF of grass-crete, or grass block and gravel that is required space for fire and emergency service vehicles. This area will remain open and unobstructed during the summer months, however, the grass-crete area is not snow-melted. The development proposes to hand shovel those areas to ensure they remain unobstructed. The snow storage areas for this snow is shown as being landscaped with trees and shrubs. Due to the size of the grass-crete areas, the proposed snow storage should be adequate. Condition of approval #12 states that the grass-crete areas shall remain clear of snow at all times. In the event snow cannot be accommodated by designated snow storage areas, snow shall be hauled off site to ensure unobstructed access for fire and emergency vehicles.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES

	Condition #12
Finding: On-site snow storage areas are designated on Sheet A-004. Should the snow storage areas prove to be inadequate during large snow years, snow shall be hauled off-site per condition of approval #12.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: As shown on Sheet A-004, the smallest snow storage area is 7.5 ft x 7.5 ft (56 square feet). All other snow storage areas are larger in size. All snow storage areas meet the minimum requirements of this standard.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #12
Finding: As noted above, all areas are proposed to be snow melted except the grass-crete areas. Per condition of approval #12, snow shall be hauled off-site if proposed snow storage areas are inadequate.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES Condition #7
Finding: The development project has a comprehensive landscape plan proposed with internal and external landscaping. See Sheets L3.0, L3.2, L4.0 for the landscape plan, planting plan, and sample species. The landscape plan has not been updated to reflect the revised design of six buildings with the landscaped area in between. Condition of approval #7 notes that the landscape plan shall be revised prior to building permit application.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The landscape plan for the development implements many species and planting patterns consistent with the neighborhood. The Warm Springs Base Area is known for having large mature deciduous and evergreen trees fronting streets with attached and detached sidewalks. The proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received during the Pre-Application Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is	

predominantly shrubs with a few sparse trees. All proposed species are readily adaptable to the Ketchum climate and are found throughout the Warm Springs Base Area.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES Condition #8 and 9
<p>Finding: The planting plan proposed for the development includes general species labels of moderately and somewhat drought tolerant species. The areas between the buildings will get sun exposure at certain times of the day and during certain times of the year. However, plant species selection will need to include drought tolerant and very hardy species to endure longer periods of shade. Commission finds that the areas between the buildings provide an opportunity for placement of mechanical equipment rather than concentrating mechanical equipment to the perimeter of the property. Staff recommends the following conditions of approval to address how the space in between the buildings should be treated:</p> <ul style="list-style-type: none"> • The landscape plan shall be revised to reflect the updated building layout and landscape treatments proposed for the space between the structures. Additional shrubs and trees shall be provided at the ends of each of the spaces to maximize sun exposure. Ground cover may include the use of limited rock or wood mulch but shall include grasses at each end of the spaces to smoothly transition to the rest of the landscaped areas. • The applicant shall evaluate opportunities to locate ground mounted mechanical systems between buildings where feasible to minimize the placement of mechanical systems on the perimeter of the property. 	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<p>Finding: As noted above, the proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received during the Pre-Application Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is predominantly shrubs with a few sparse trees. Public courtyards are not included in the development as the interior of the development is accessible by a private road, not public. However, there are small pockets of programmed landscaping between buildings.</p>	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public</i>	YES

<p><i>amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i></p>	
<p>Finding: Sidewalks are required for the development; however, public amenities are not necessary for the development as the development is not located near the base area or along a frequently traveled pedestrian pathway that would warrant the addition of benches, trash receptacles, kiosks or bus shelters. In addition, there are no bus stops adjacent to the development. Should the city choose to install public amenities in the future as part of the comprehensive sidewalk plan, the 7-foot sidewalk would have some space for certain improvements.</p>	

17.96.060.K.1 – Underground Encroachments	Conformance
<p><i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i></p>	<p>YES</p>
<p>Finding: The development plans include one below grade encroachment, the snow melt vault on the north end of the property adjacent to the garbage enclosure. As shown on Sheet A-003, the enclosure is within the rear setback of the development. As shown on Sheet A-005, the portion of the vault within the setback is completed below grade. The landscape plan on Sheet L3.0 shows the minimum depth of soil for landscape cover of the vault. The below grade encroachment meets the requirements outlined in KMC 17.128.020.K as there is no riparian setback, the construction does not encroach onto adjacent properties, there are no conflicting easements or sensitive areas, and it is located completely below grade. Finally, the below grade encroachment is located deep enough to allow for landscaping above the encroachment that is consistent and compatible with the rest of the development's proposed landscaping. The city engineer has reviewed the below grade encroachment and verified that there are no impediments to proper drainage with the encroachment. The snow melt vault does have a portion that is open air with ladder access to the boiler room. The development proposed to snow melt the floor of the vault to ensure proper drainage and to maintain adequate access to the system during winter months.</p>	

17.96.060.K.2 – Underground Encroachments	Conformance
<p><i>No below grade structure shall be permitted to encroach into the riparian setback.</i></p>	<p>N/A</p>
<p>Finding: N/A. The subject property is not adjacent to a river or other water body, therefore no riparian setback exists.</p>	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are

identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.

2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Design Review Application File No. P24-063 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P24-063 this Tuesday, January 20, 2026 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated December 9, 2025 included as Exhibit A, and the information presented and approved at the September 9, 2025, October 14, 2025, and December 9, 2025 Planning and Zoning Commission meetings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR pursuant to KMC 17.124.040, a total community housing contribution of 4,081 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize how the community housing contribution will be met shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.
4. For driveways less than 18 feet in length, "No Parking" signs shall be installed on or adjacent to every driveway prior to certificate of occupancy for each building.
5. At the time of building permit, the applicant shall submit revised exterior lighting and snowmelt design plans that reflect the revised site layout with six separate buildings for review and approval by the Planning Department.
6. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department. Revised civil plans shall reflect the updated building layout of six separate buildings.

7. Revised landscape plans that reflect the revised site layout with six separate buildings shall be provided for review and approval by the Planning Department prior to building permit issuance.
8. The landscape plan shall be revised to reflect the updated building layout and landscape treatments proposed for the space between the structures. Additional shrubs and trees shall be provided at the ends of each of the spaces to maximize sun exposure. Ground cover may include the use of limited rock or wood mulch but shall include grasses at each end of the spaces to smoothly transition to the rest of the landscaped areas.
9. The applicant shall evaluate opportunities to locate ground-mounted mechanical systems between buildings where it is feasible to minimize the placement of mechanical systems on the perimeter of the property.
10. Pursuant to KMC 17.125.060, the development shall provide a minimum of 6 bicycle racks, each serving two bicycles. The location and design shall be submitted, reviewed, and approved by the Planning Department prior to issuance of the first building permit.
11. The development shall utilize internal transformer locations for the development first. Street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view. Final transformer locations and screening proposals shall be reviewed and approved by the Planning Department prior to installation.
12. The grass-crete areas shall remain clear of snow at all times. In the event snow storage cannot be accommodated by designated snow storage areas, snow shall be hauled off site to always ensure unobstructed access for fire and emergency vehicles.
13. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.
14. A preliminary plat application shall be submitted prior to building permit issuance. If the development is to be constructed in multiple phases, the preliminary plat application must include a request for a phased development agreement per KMC 16.04.110.
15. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
16. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
17. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Administrative Appeal Notice: Applicant has the opportunity, pursuant to Ketchum City Code 17.20.030(F) and 17.144, to administratively appeal this Decision to the City Council.

Regulatory Taking Analysis Notice: Applicant has the opportunity, pursuant to Idaho Code 67-8003, to submit a written request for a regulatory taking analysis of this Decision.

Findings of Fact **adopted** this 20th day of January 2026.

Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum

ATTACHMENT A:

Project Plans

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-74
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE, SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ZONING

T-3000 ZONING DISTRICT

FAR OF 1.6 MAX. WITH INCLUSIONARY
HOUSING INCENTIVE

SETBACKS

FRONT: 15'-0"

SIDE: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

REAR: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

THE PROPOSED DEVELOPMENT HAS A 15' SETBACK
ALONG RITCHIE DRIVE, AND 11'-8" SIDE AND REAR AS
REQUIRED BY 35'-0" BLDG HEIGHTS.

HEIGHT LIMIT

FOR ROOF PITCHES 5:12 AND UNDER = 35'-0"

CODE REQUIREMENT: PARKING

17.125.040 - OFF STREET PARKING AND LOADING CALCULATIONS
A. COMPUTATIONAL RULES. THE FOLLOWING RULES APPLY
WHEN COMPUTING OFF STREET PARKING AND LOADING REQ.

3. AREA MEASUREMENTS.

-UNLESS OTHERWISE SPECIFICALLY NOTED, RESIDENTIAL
PARKING REQUIREMENTS FOR ALL SQUARE FOOTAGE BASED
PARKING AND LOADING STANDARDS SHALL BE COMPUTED ON
THE INTERIOR SQUARE FOOTAGE OF EACH RESIDENTIAL UNIT,
MEASURED BETWEEN THE INTERIOR WALLS OF THE UNIT.

B. OFF STREET PARKING MATRIX.
2. RESIDENTIAL MULTIP-FAMILY DWELLING WITHIN THE
COMMUNITY CORE (CC) DISTRICT AND THE TOURIST (T),
TOURIST 3000 (T-3000), AND TOURIST 4000 (T-4000)
-UNITS 751 SF TO 2,000 SF - 1 PARKING SPACE
-UNITS 2,001 SF AND ABOVE - 2 PARKING SPACES

THE PROPOSED DEVELOPMENT INCLUDES 23 TOTAL INTERIOR
PARKING SPACES.

-UNIT 1A NET SF = 4,061 SF (2 PARKING SPACES)
-UNIT 1B NET SF = 4,061 SF (2 PARKING SPACES)
-UNIT 2B NET SF = 3,999 SF (2 PARKING SPACES)
-UNIT 3A NET SF = 3,139 SF (2 PARKING SPACES)
-UNIT 3B NET SF = 4,237 SF (2 PARKING SPACES)
-UNIT 4A NET SF = 4,237 SF (2 PARKING SPACES)
-UNIT 4B NET SF = 2,934 SF (2 PARKING SPACES)
-UNIT 5B NET SF = 2,934 SF (2 PARKING SPACES)
-UNIT 5A NET SF = 2,169 SF (2 PARKING SPACES)
-UNIT 5B NET SF = 1,743 SF (1 PARKING SPACE)
-UNIT 6A NET SF = 2,412 SF (2 PARKING SPACES)
-UNIT 6B NET SF = 2,412 SF (2 PARKING SPACES)

CODE REQUIREMENT: SIDEWALKS

12.04.030 DESIGN CRITERIA, M. SIDEWALKS, CURB AND GUTTER.
6. SIDEWALKS SHALL BE FIVE FEET WIDE, EXCEPT SPECIFICALLY
AS FOLLOWS, IN ORDER TO ACCOMMODATE HEAVY PEDESTRIAN
CIRCULATION: SUN VALLEY ROAD AND MAIN STREET WITHIN THE
COMMUNITY CORE ZONING DISTRICT (CC), AS DEFINED IN TITLE
17 OF THIS CODE, SHALL BE EIGHT FEET IN WIDTH; AND SKYWAY
DRIVE, LLOYD DRIVE, GATES ROAD, RITCHIE DRIVE AND HOWARD
DRIVE SHALL BE DEVEN FEET IN WIDTH, UNLESS OTHERWISE
REQUIRED OR APPROVED BY THE CITY COUNCIL.

THE PROPOSED DEVELOPMENT INCLUDES A 7'-0" WIDE SIDEWALK
ALONG THE LOT LINE THAT IS ADJACENT TO RITCHIE DRIVE
WITHIN THE R.O.W.

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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conflicts which are alleged.

PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - BUILDING CODES

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-001



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-74
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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CIVIL ENGINEER:

GALEN BENCHMARK ASSOCIATES
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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 210 AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

CODE REQUIREMENT: FAR

17.124.040 - FLOOR AREA RATIOS AND COMMUNITY HOUSING
A. GENERAL REQUIREMENTS. ALL NEW BUILDINGS AND ALTERNATIONS TO EXISTING BUILDINGS IN THE GR-H, T, T-3000, T-4000, AND CC ZONING DISTRICTS, UNLESS OTHERWISE SPECIFIED IN THIS TITLE, SHALL BE SUBJECT TO THE MAXIMUM FLOOR AREA RATIO (FAR) DESCRIBED BELOW.

T-3000 (TOURIST ZONE)
PERMITTED GROSS FAR: 0.5
INCLUSIONARY HOUSING INCENTIVE: 1.6

17.08.020 - TERMS DEFINED
FLOOR AREA RATIO OR FAR: THE PRODUCT OF THE FLOOR AREA DIVIDED BY THE LOT AREA (EXAMPLE: 2,750 SF FLOOR AREA / 5,500 SF LOT AREA = 0.5 FAR)

LOT AREA: THE AREA WITHIN THE BOUNDRIES OF A LOT, EXCLUSIVE OF ANY OF THE AREA CONTAINED WITHIN A PUBLIC OR PRIVATE STREET, ALLEY, FIRE LANE OR PRIVATE DRIVEWAY EASEMENT.

THE PROPOSED DEVELOPMENT HAS A LOT AREA OF 35,799 SF, A PRIVATE STREET AND FIRE LANE EXCLUSIONARY AREA OF 5,897 SF AND A TOTAL GROSS BUILDING AREA OF 41,003 SF.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

ALLOWABLE AREA (0.5): 14,951 SF

ALLOWABLE AREA (1.6): 47,843.20 SF

PROPOSED FLOOR AREA: 38,957.00 SF (FAR: 1.03 - COMPLIANT)

CODE REQUIREMENT: DENSITY

17.124.180 - MINIMUM RESIDENTIAL DENSITIES AND COMMERCIAL REQUIREMENTS
A. GENERAL REQUIREMENTS. NEW DEVELOPMENT PROJECTS OR EXPANSIONS OF EXISTING BUILDINGS THAT EXCEED A TOTAL FLOOR AREA RATIO OF 0.5 FAR IN THE T, T-3000, T-4000, AND GR-H ZONING DISTRICTS MUST PROVIDE A MINIMUM NUMBER OF RESIDENTIAL UNITS AS FOLLOWS:

T-3000 (TOURIST ZONE)
4 UNITS / 10,000 SF OF LOT AREA

THE PROPOSED DEVELOPMENT IS REQUIRED TO HAVE A MINIMUM OF 12 UNITS.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

29,902 SF / 10,000 SF = 2.9902

2.9902 X 4 UNITS = 12 UNITS (11.96)

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO


DRAWING TITLE:
SITE PLAN - BUILDING FAR & DENSITY

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-002





**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14091-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
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ISSUE	DESCRIPTION	DATE
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2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**SITE PLAN - FIRE ACCESS &
SNOWMELT**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-004

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CODE REQUIREMENT: FIRE ACCESS

APPENDIX D OF 2018 IFC, SECTION D105 - AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

D105.2 - AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.

D105.3 - ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED NOT LESS THAN 15 FEET AND NOT GREATER THAN 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

THE PROPOSED DEVELOPMENT HAS A 20 FOOT WIDE PRIVATE ROAD THAT WOULD PROVIDE ACCESS TO THE INTERIOR OF THE SITE AND A DESIGNATED 20 FOOT WIDE PORTION OF THE ROAD FOR AERIAL FIRE ACCESS TO BUILDING 3 AND 4. ADDITIONALLY, BUILDING 3 AND 4 ARE SETBACK 15 FEET FROM THE EDGE OF THE FIRE ACCESS ROAD.



CODE REQUIREMENT: SNOWMELT

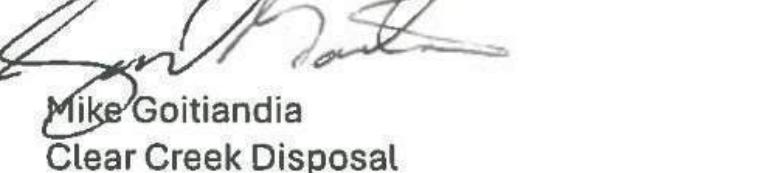


H. SNOW STORAGE

- 1 - SNOW STORAGE AREAS SHALL NOT BE LESS THAN THIRTY PERCENT (30%) OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.
- 2 - SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.
- 3 - A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANY DIMENSION LESS THAN FIVE FEET (5') AND SHALL BE A MINIMUM OF TWENTY FIVE SQUARE FEET (25 SF)
- 4 - IN LIEU OF PROVIDING SNOW STORAGE AREAS, SNOWMELT AND HAULING OF SNOW MAY BE ALLOWED.

THE PROPOSED DEVELOPMENT WILL PROVIDE SITE SNOWMELT FOR ALL DRIVEWAYS, PATHWAYS, AND PRIVATE ROADS. SNOWMELT BOILER EQUIPMENT WILL BE SUBGRADE, LOCATED AT THE END OF THE PRIVATE ROAD AND SCREENED FROM VIEW OF NEIGHBORS. SEE MEP FOR DETAILED SNOWMELT PLANS.

THERE IS 638 SF OF GRASS-CRETE SCHEDULED FOR FIRE ACCESS THAT WILL NOT HAVE SNOWMELT. THESE AREAS WILL BE SHOVELLED AND AN ADDITIONAL 966 SF OF SNOW STORAGE HAS BEEN DESIGNATED ON SITE.

<p>CLEAR CREEK DISPOSAL PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com</p> <p>June 14, 2024</p> <p>Planning & Zoning City of Ketchum P O Box 2315 Ketchum, ID 83340</p> <p>Via email: Re: 108 Richie Drive To whom It May Concern,</p> <p>Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.</p> <p>Conditions that will need to be maintained: <ul style="list-style-type: none"> • Snow and Ice removal to and inside of the enclosure • Access to the enclosure and the turn around area for egress • Gates maintained in working order </p> <p>Multiple pickup days may be necessary to accommodate the amount of waste generated depending on type(s) of occupancy.</p> <p>Respectfully,</p> <p> Mike Goltiandia Clear Creek Disposal .108 Richie Drive</p> <p>CLEAR CREEK DISPOSAL</p>		<p>INTERMOUNTAIN GAS COMPANY 451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342 www.intgas.com</p> <p>Presidio Vista Properties Hank Moore Senior Development Manager 603-801-0419 hank@presidiovistaproperties.com</p> <p>RE: 108 & 110 Richie Dr., Ketchum Idaho 83340. Lots 3 & 4 Warm Springs Village Subdivision. County of Blaine.</p> <p>This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.</p> <p>The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.</p> <p>Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.</p> <p>If you need further information regarding this project, please call me at 208-737-6314.</p> <p>Sincerely,</p> <p>Lance D. McBride Lance D. McBride Energy Services Representative Sr. lance.mcbride@intgas.com 208-737-6314</p>	<p>Hank Moore</p> <p>From: Bennett, Cheryl <CBennett2@idahopower.com> Sent: Friday, May 17, 2024 10:27 AM To: Hank Moore Cc: Erik de Brujin Subject: Will Serve Email</p> <p>Hank and Erik,</p> <p>You can provide this email to the city of Ketchum for your application:</p> <p>I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive. As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.</p> <p>Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.</p> <p>Below is the initial review I have made. Please let me know if you have additional questions or comments.</p>	<p>1</p> <p>WARM SPRINGS TOWNHOMES KETCHUM, ID 108 & 110 RITCHIE DR. KETCHUM, IDAHO</p> <p>DRAWING TITLE: WILL SERVE LETTERS</p> <p>SEAL:</p> <p>PROJECT NUMBER: 2305</p> <p>DRAWING NUMBER: A-006</p> <p>OWNER: 108-110 RITCHIE LLC P.O. BOX 1401-174 KETCHUM, ID 83340 TEL: 603.801.0419</p> <p>BUILDING ARCHITECT: RJ ROCKETT DESIGN 1031 W. MANCHESTER BLVD. UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014</p> <p>STRUCTURAL ENGINEER: ZFA STRUCTURAL ENGINEERS 601 MONTGOMERY STREET SUITE 1450 SAN FRANCISCO, CA 94111 TEL: 415.243.4091</p> <p>MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: PROFICIENT ENGINEERING 4704 HARLAN STREET SUITE 620 DENVER, CO 80212 TEL: 720.779.3556</p> <p>CIVIL ENGINEER: GALENA BENCHMARK ASSOCIATES 100 BELL DRIVE SUITE C KETCHUM, ID 83340 TEL: 208.726.9512</p> <p>LANDSCAPE ARCHITECT: EGGERS ASSOCIATES 560 NORTH 2ND AVENUE KETCHUM, ID 83340 TEL: 208.725.0988</p> <p>ISSUE DESCRIPTION DATE 1 DESIGN REVIEW APPLICATION 25.09.09</p> <p>All designs, ideas, arrangements and plans indicated by your drawings are the property and copyright of the Architect and shall neither be used on any other work nor be disclosed to any other person for any use whatsoever without written permission.</p> <p>ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.</p>
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**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-74
KETCHUM, ID 83340
TEL: 603.801.0419

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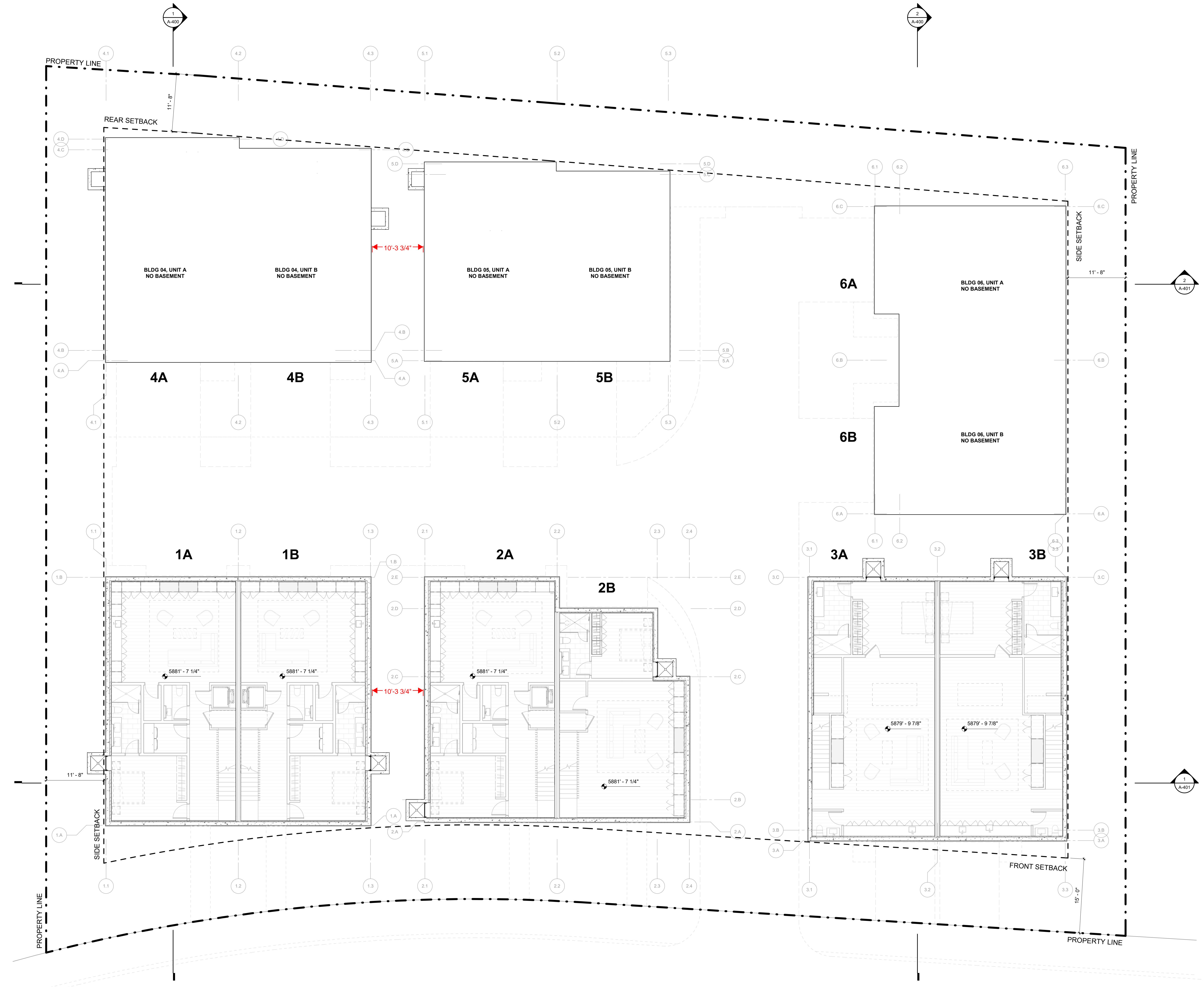
PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**LEVEL 00 OVERALL FLOOR
PLAN**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-100



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
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TEL: 208.726.9512

LANDSCAPE ARCHITECT:
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KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
LEVEL 01 OVERALL FLOOR
PLAN

SEAL:

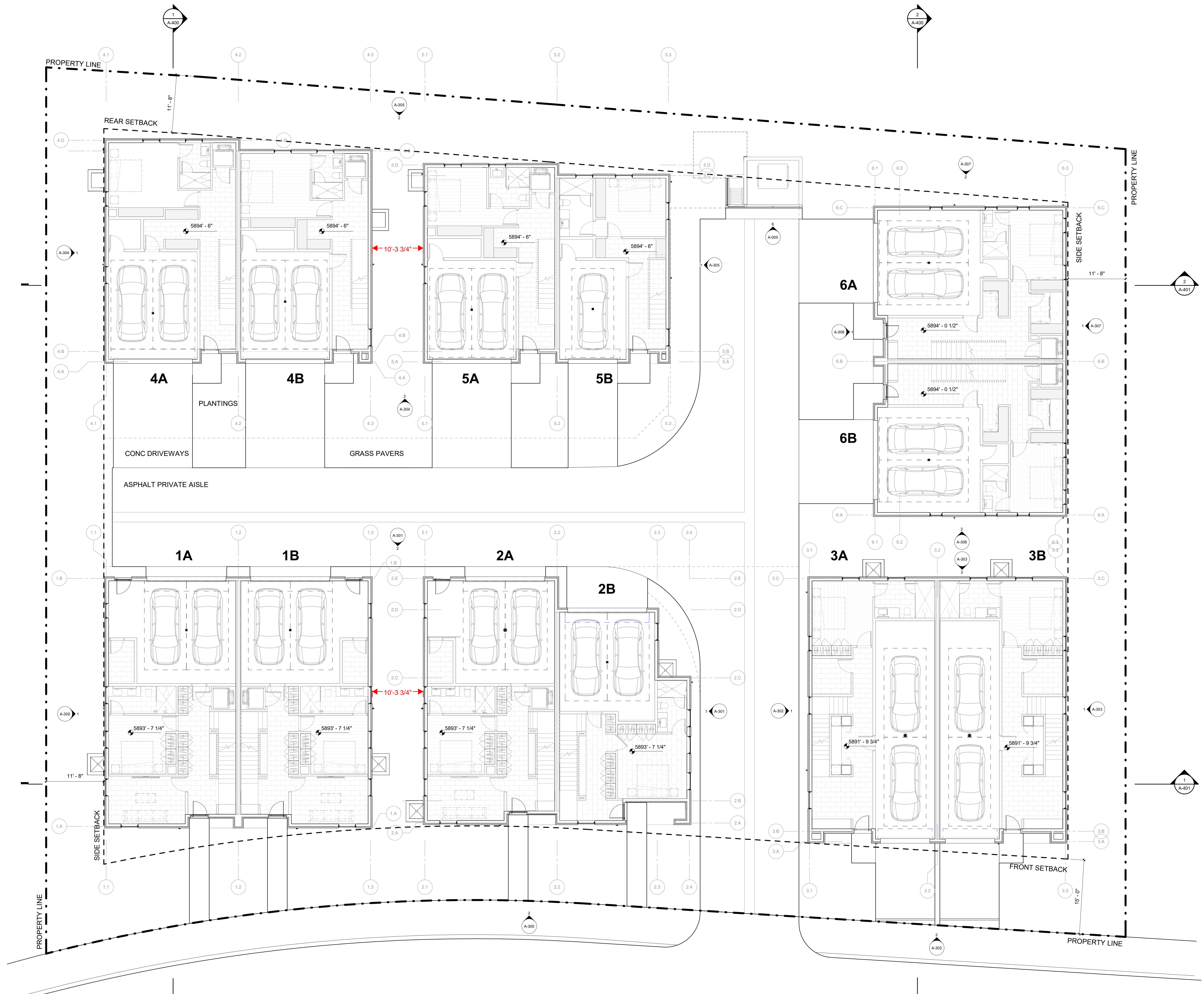
PROJECT NUMBER

2305

DRAWING NUMBER:

A-101

NOTES:
1. "NO PARKING" SIGNS SHALL BE POSTED FOR ANY
DRIVEWAY THAT DOES NOT MEET THE DIMENSIONAL
STANDARDS FOR PARKING (9' W x 18' L)



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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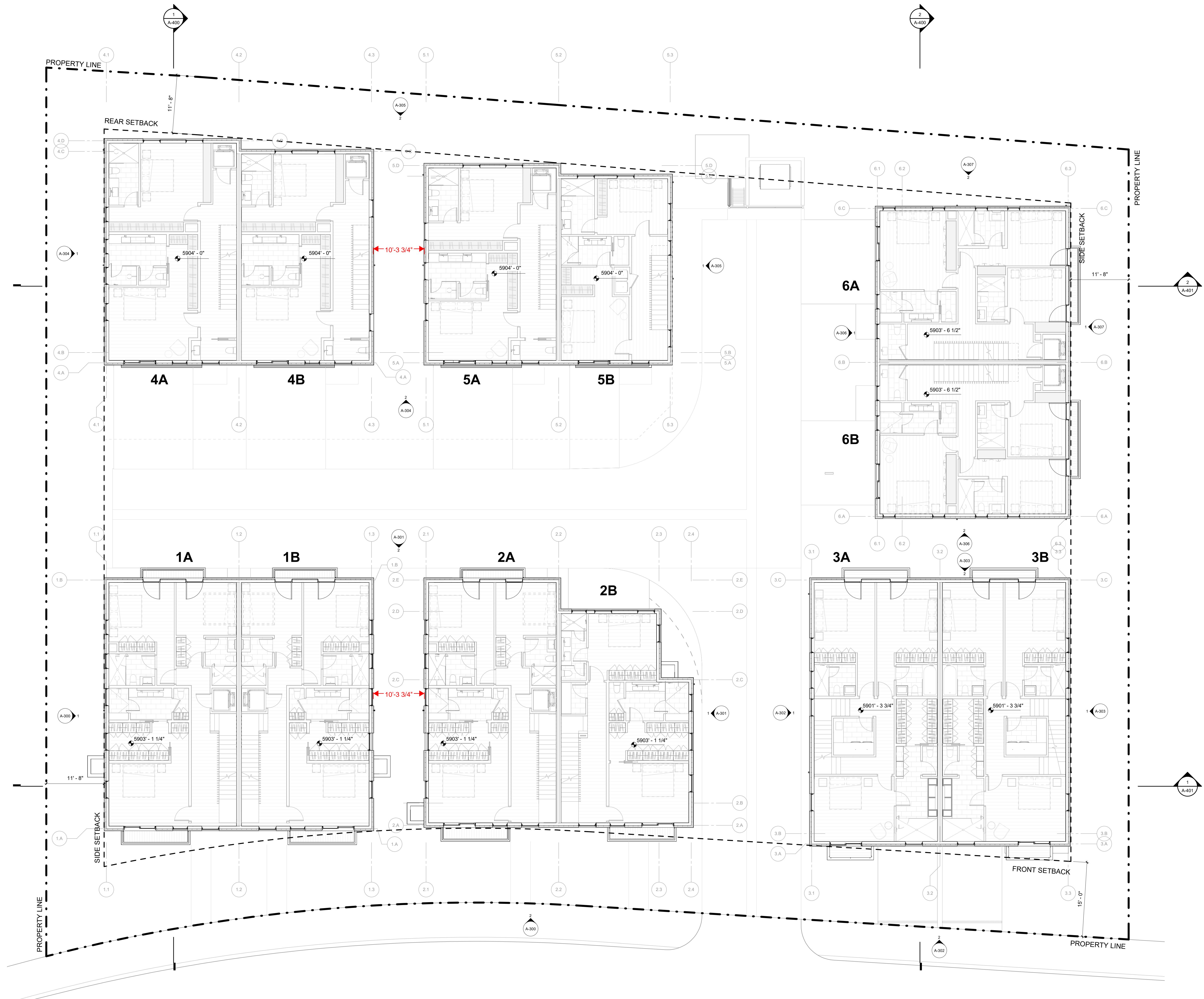
PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**LEVEL 02 OVERALL FLOOR
PLAN**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-102



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

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KETCHUM, ID 83340
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2	DESIGN REVIEW APP REV	25.10.14

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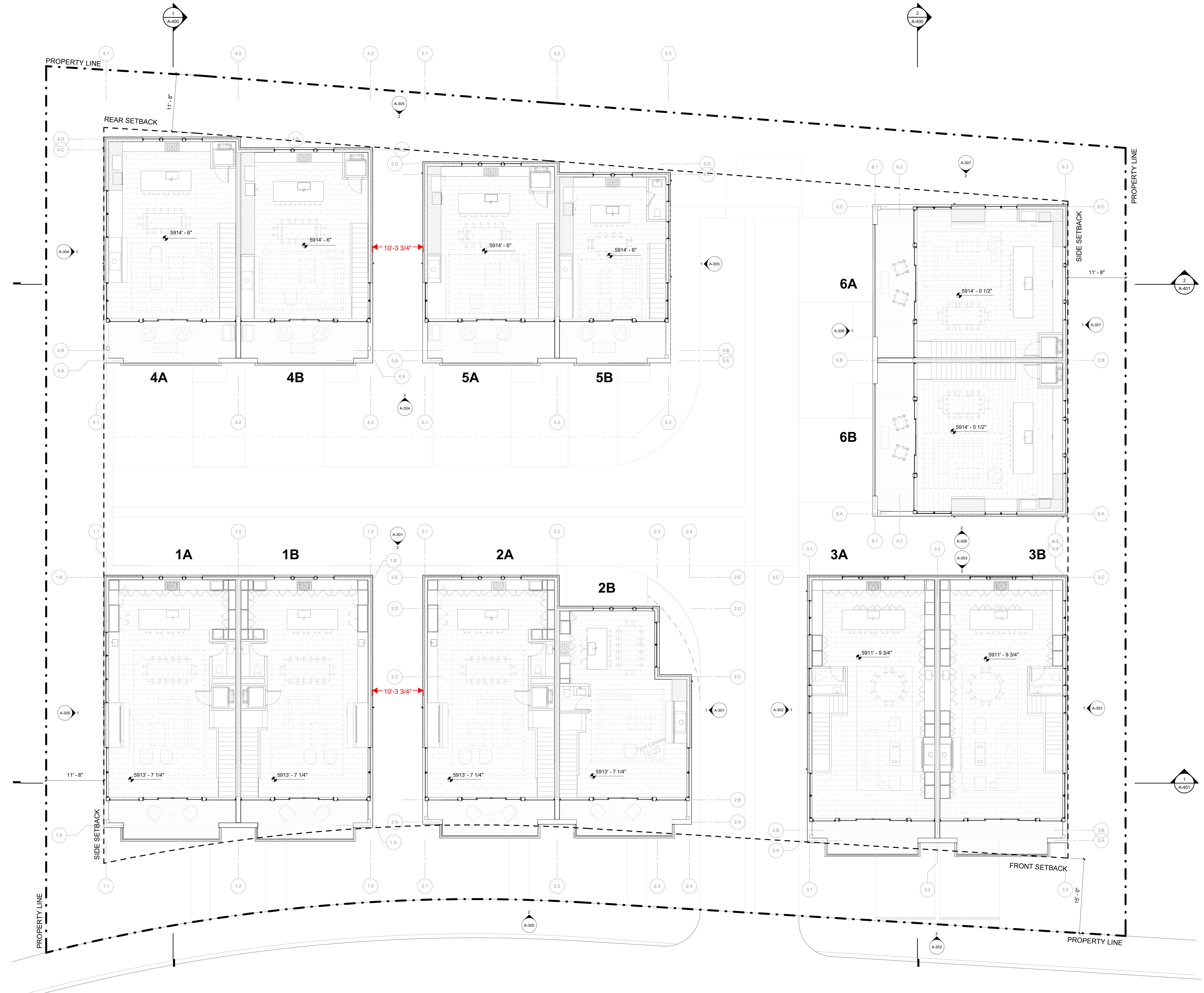
PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**LEVEL 03 OVERALL FLOOR
PLAN**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-103



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
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KETCHUM, ID 83340
TEL: 208.725.0988

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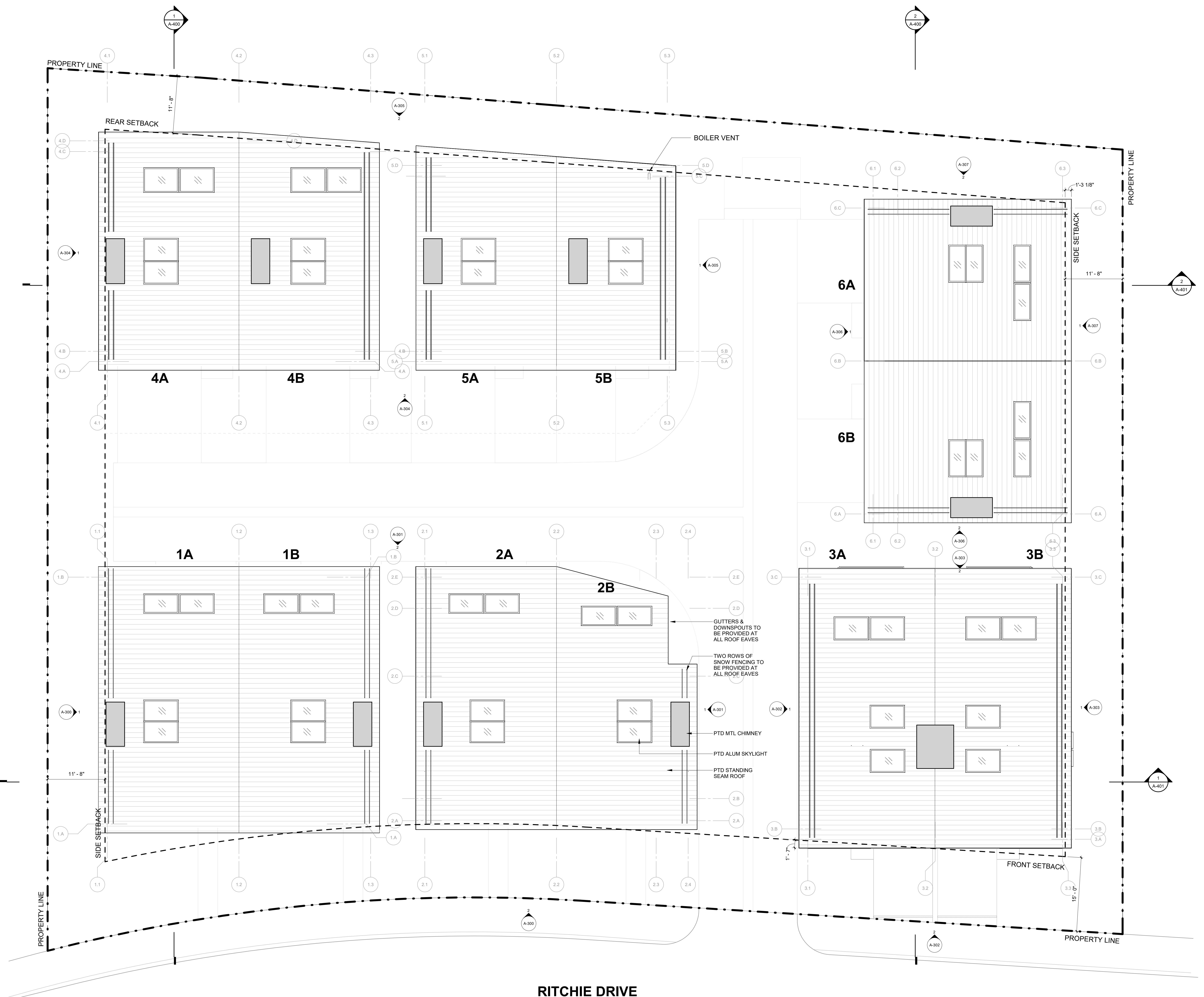
PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
OVERALL ROOF PLAN

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-104



RITCHIE DRIVE

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

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KETCHUM, ID 83340
TEL: 208.725.0988



2 | 1/4" = 1'-0" | BUILDING 1 & 2 / ELEVATION - EAST



ISSUE	DESCRIPTION	DATE
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3	DESIGN REVIEW APP REV	25.12.09

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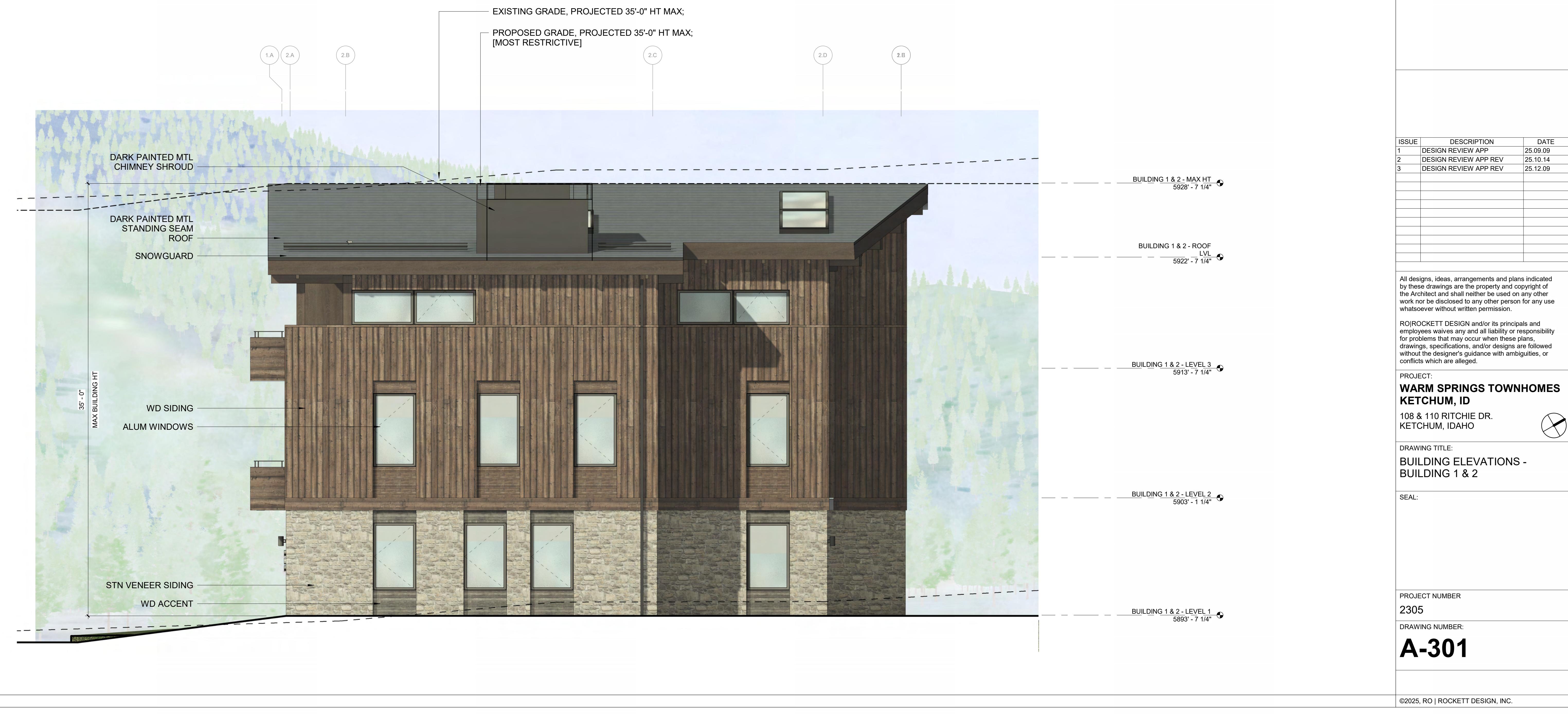
PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 1 & 2**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-300



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

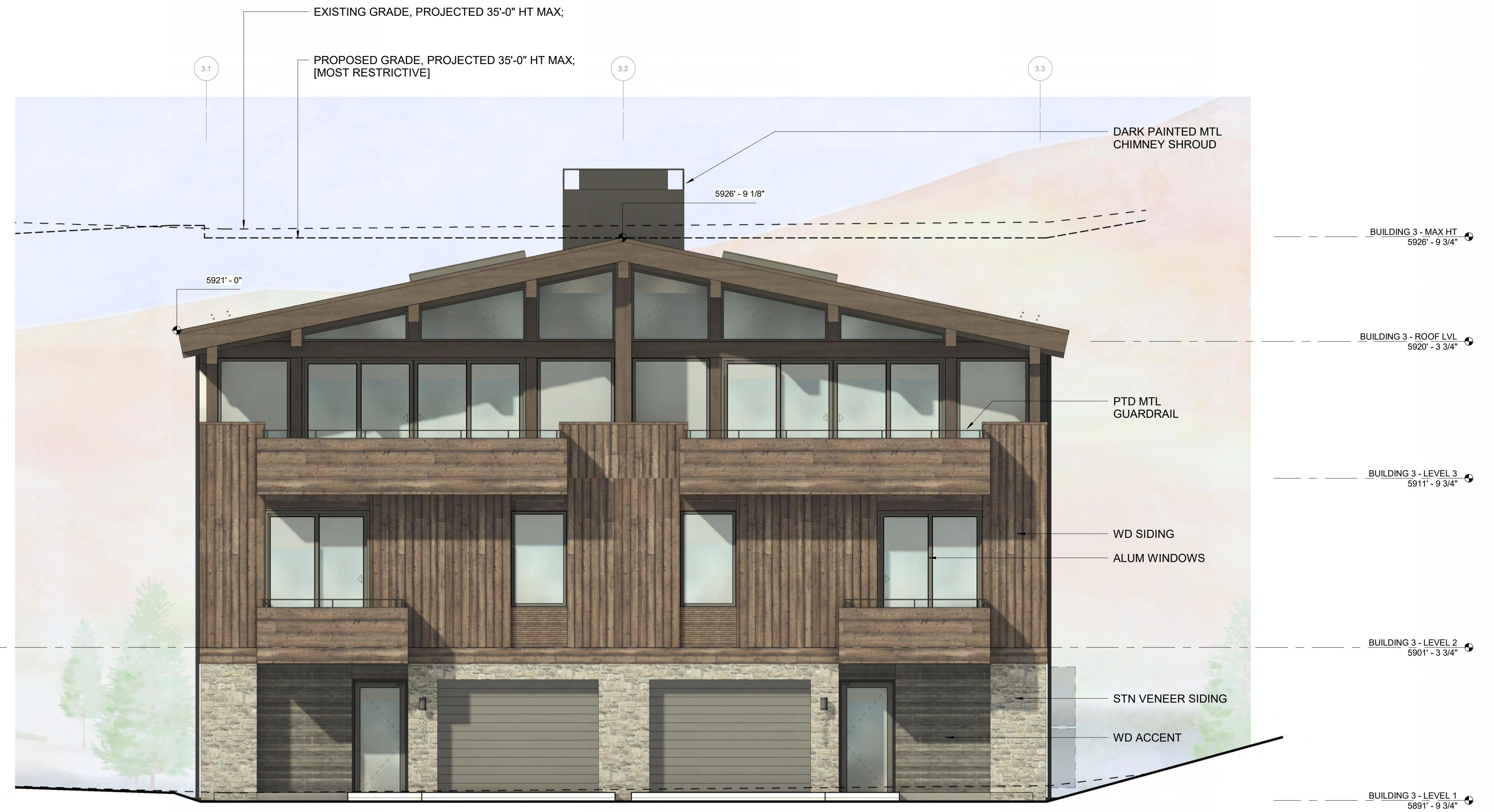
BUILDING ARCHITECT:
RO | ROCKETT DESIGN
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STRUCTURAL ENGINEER:
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TEL: 415.243.4091

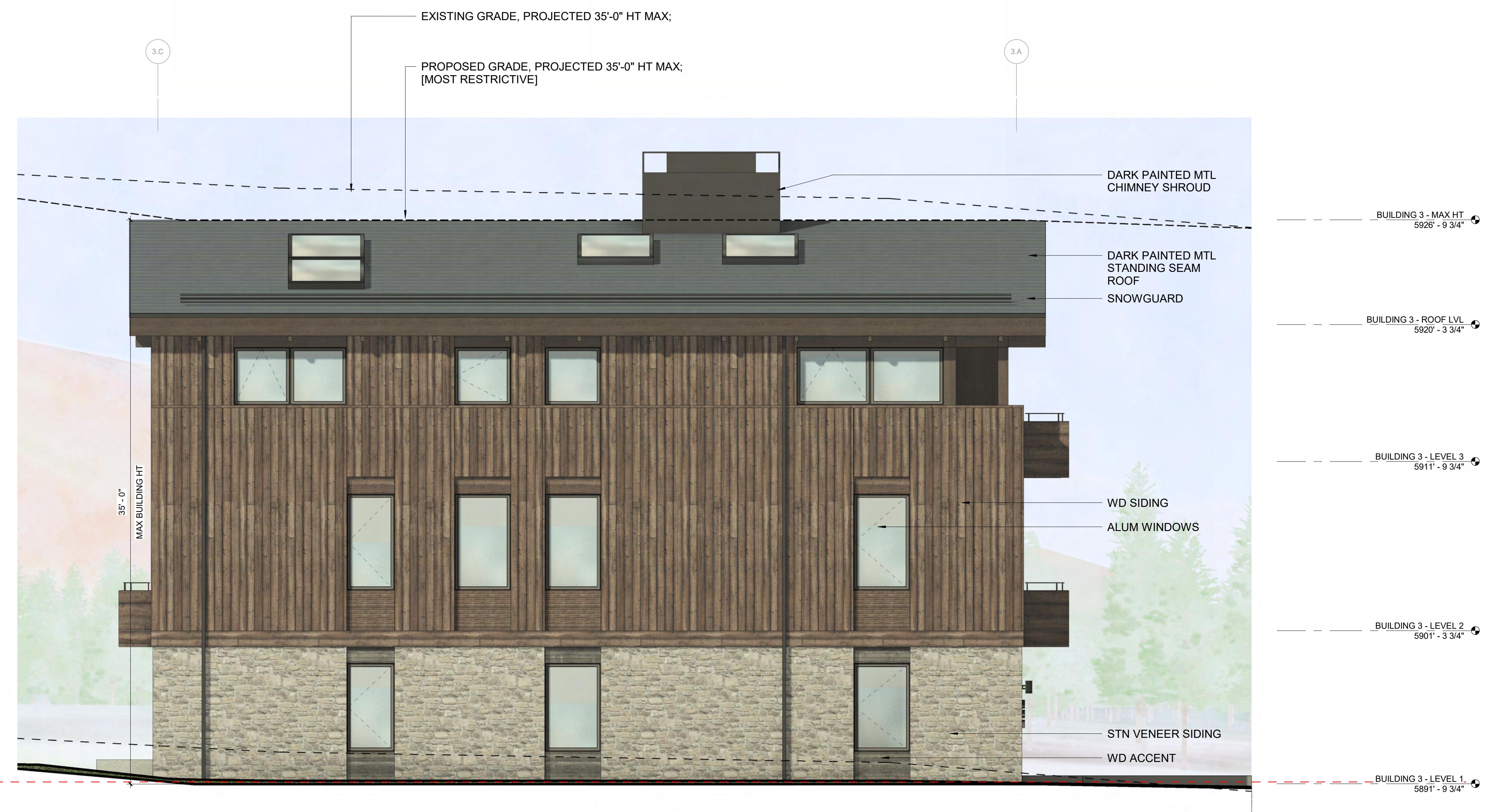
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
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KETCHUM, ID 83340
TEL: 208.725.0988



2 1/4" = 1'-0" BUILDING 3 / ELEVATION - EAST



ISSUE	DESCRIPTION	DATE
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2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 3**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-302

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

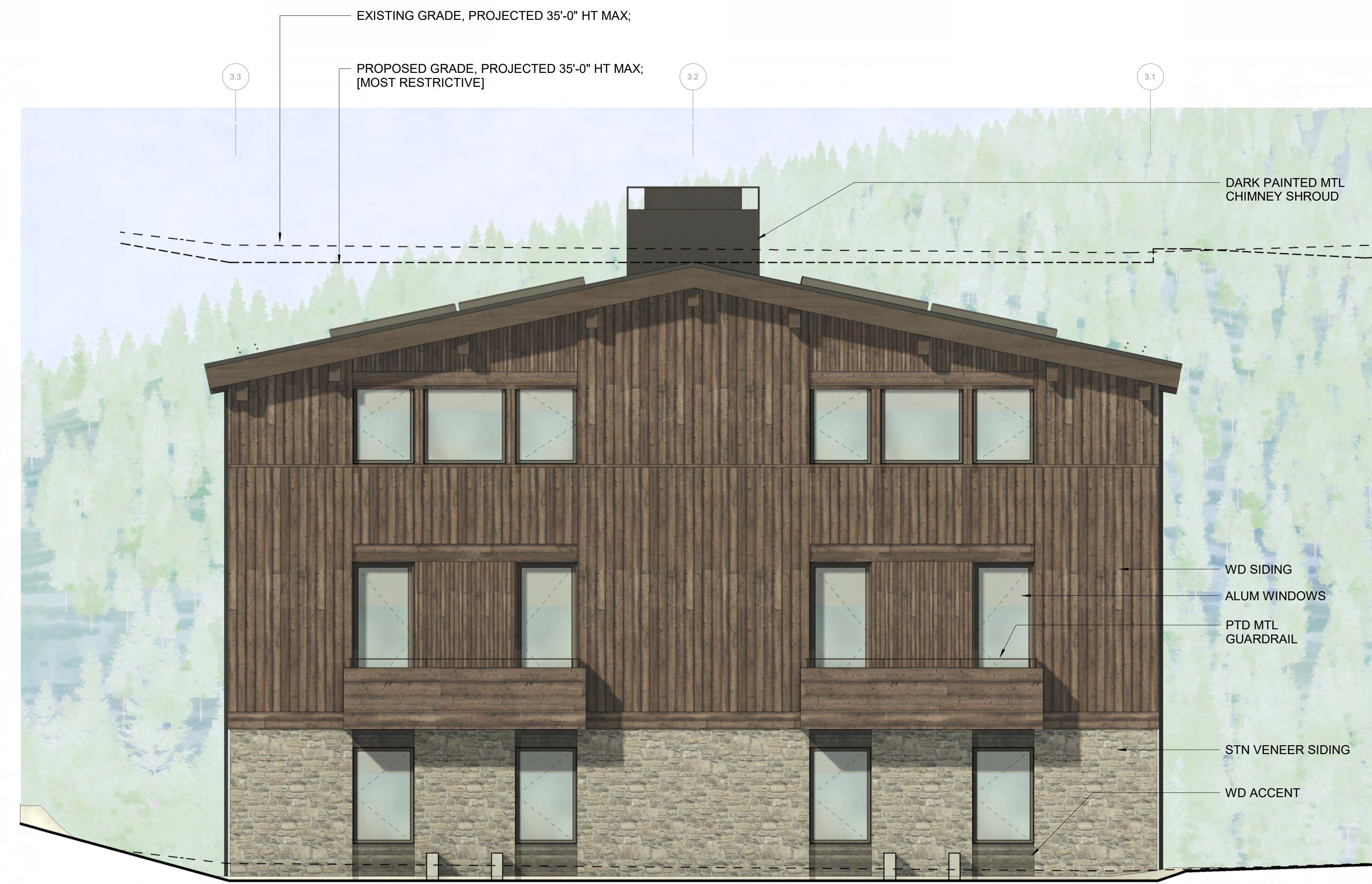
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KETCHUM, ID 83340
TEL: 208.725.0988



2 1/4" = 1'-0" BUILDING 3 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 3 / ELEVATION - NORTH

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
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3	DESIGN REVIEW APP REV	25.12.09

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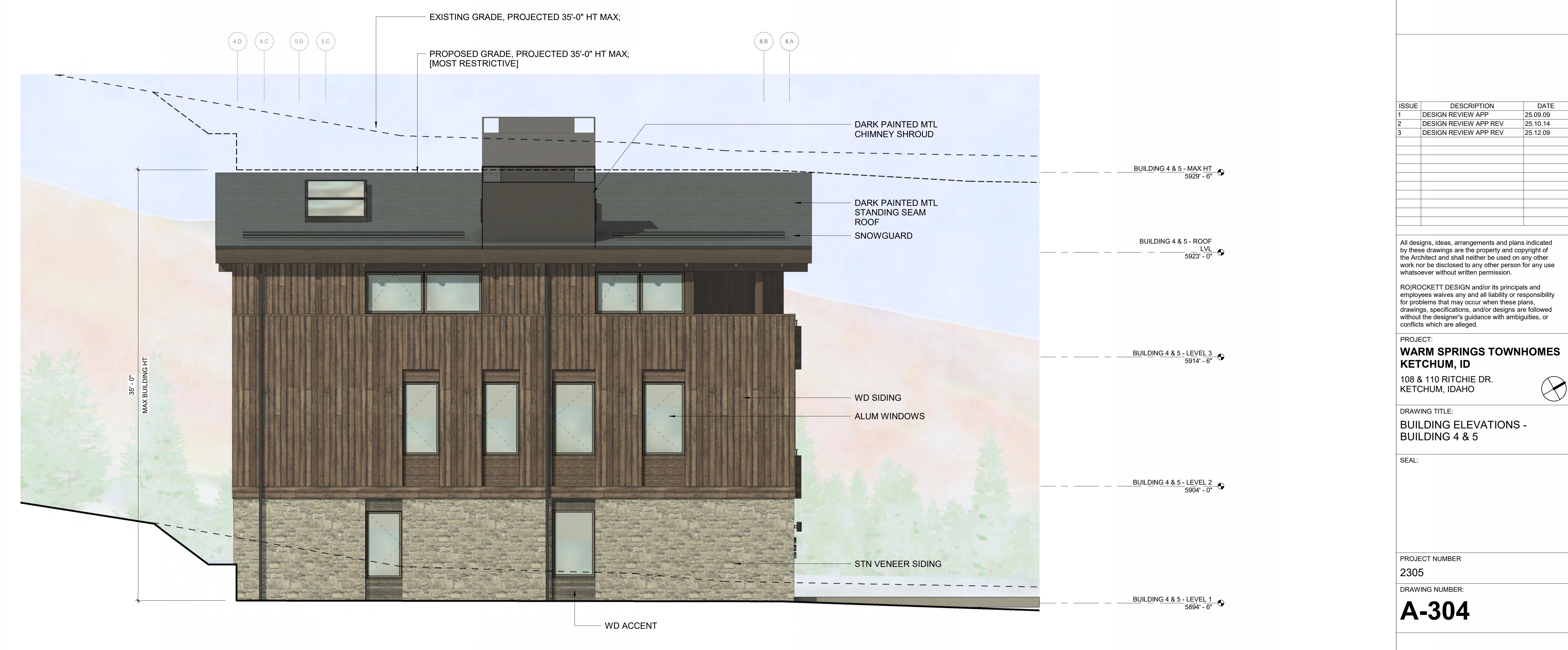
PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

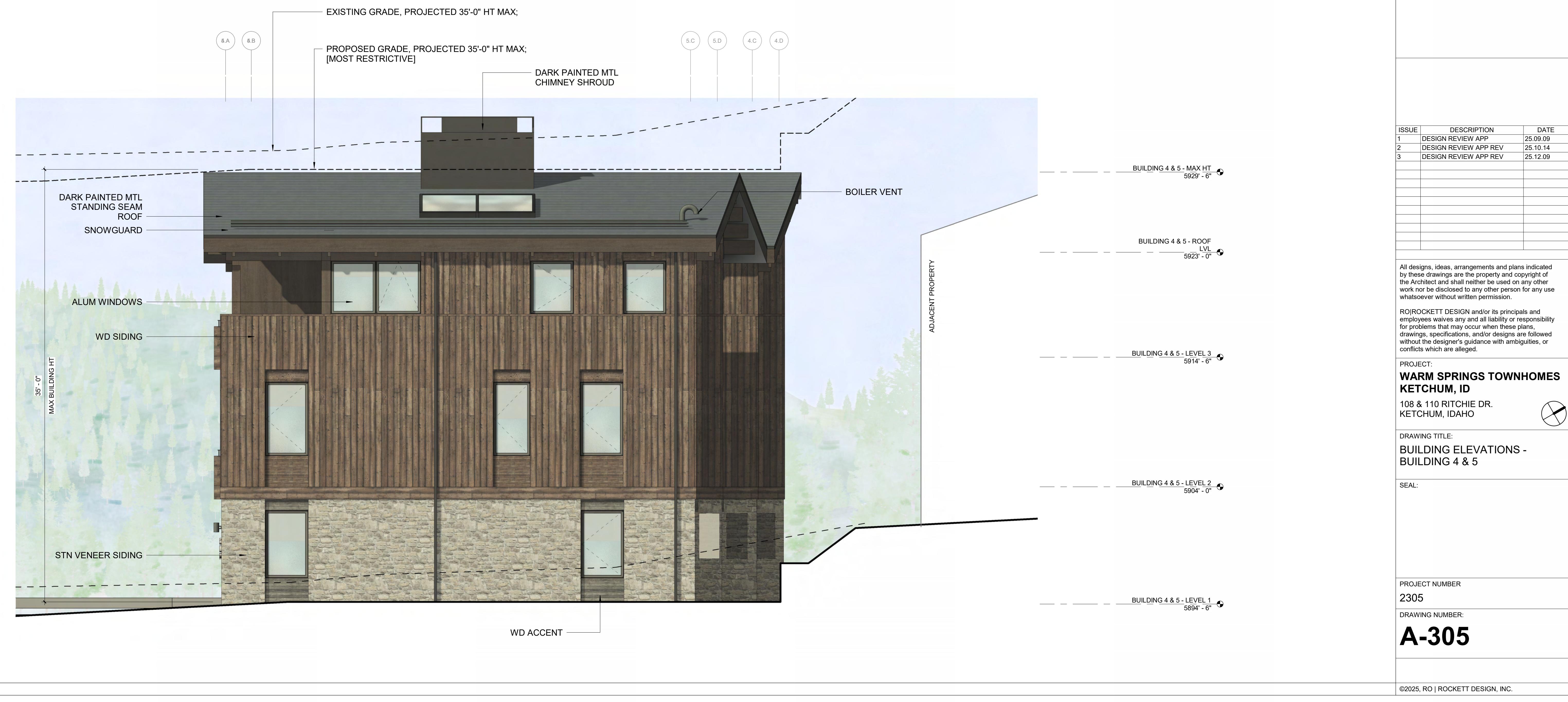
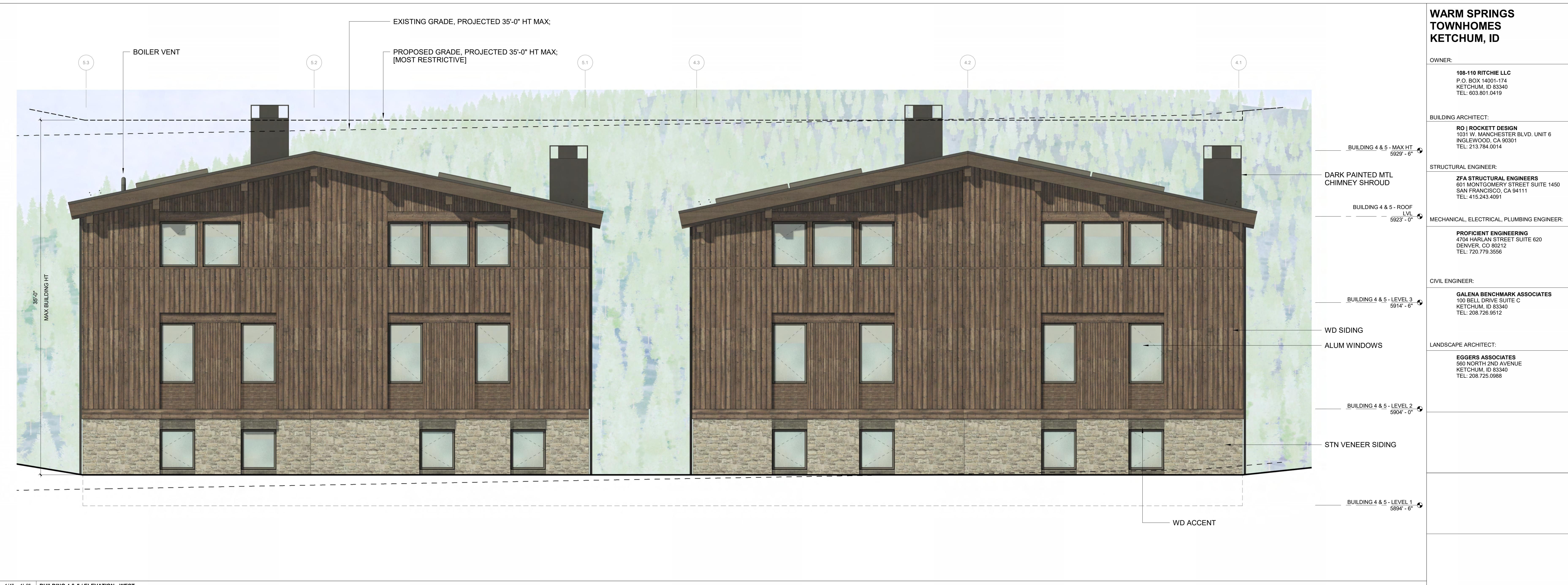
DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 3**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-303





**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14091-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

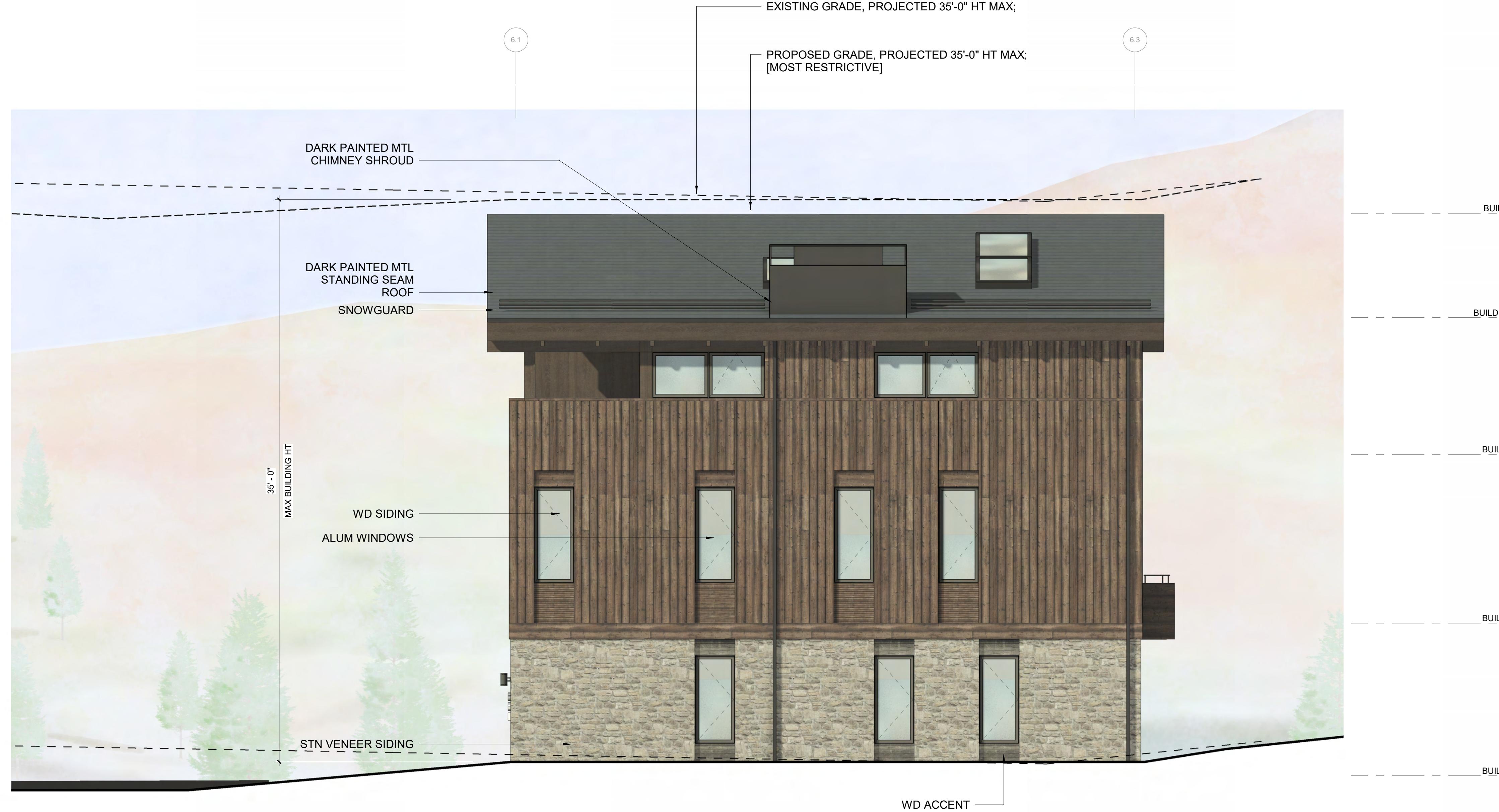
PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2 1/4" = 1'-0" BUILDING 6 / ELEVATION - EAST



ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 6**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-306

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14091-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

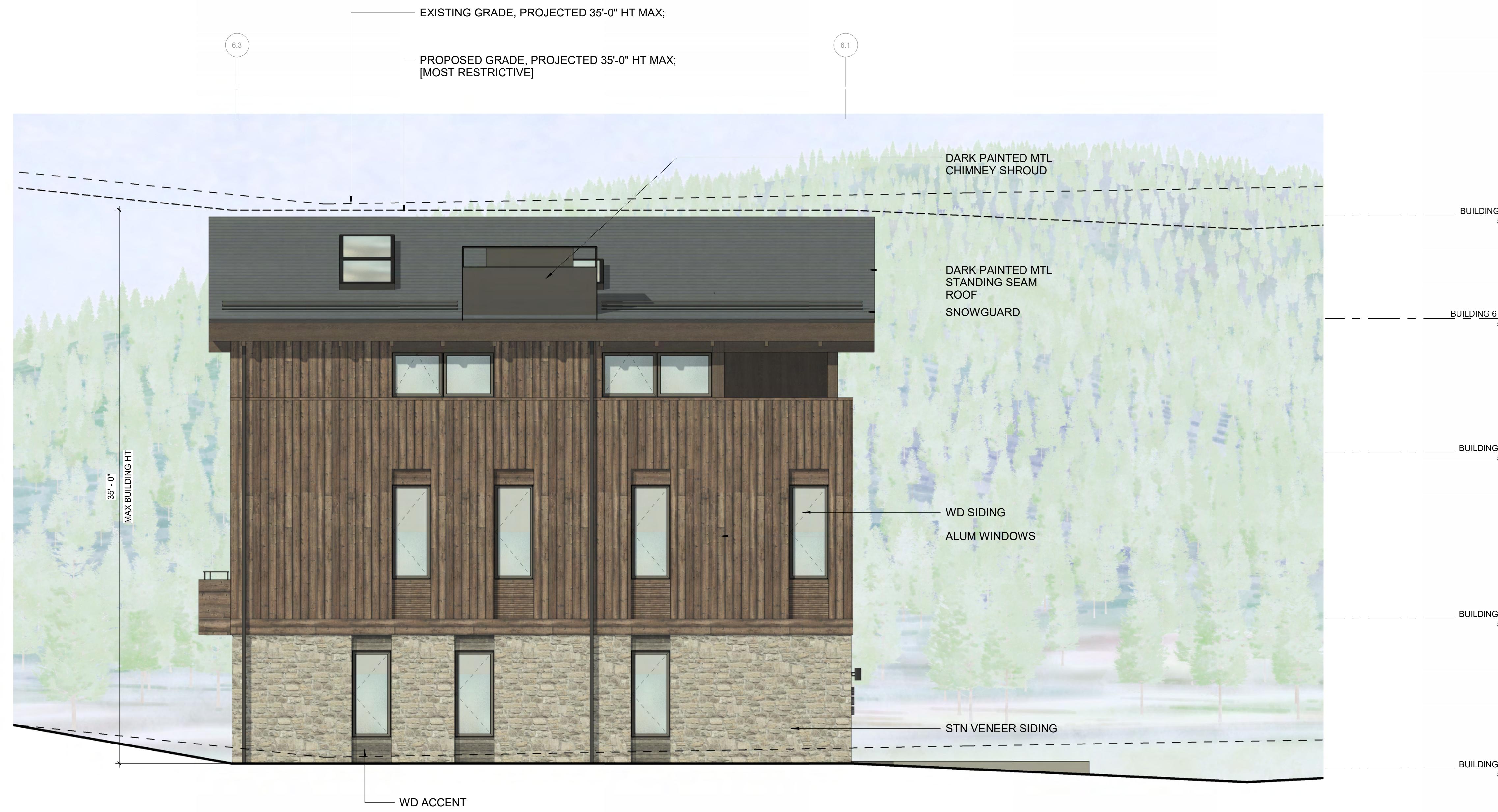
PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

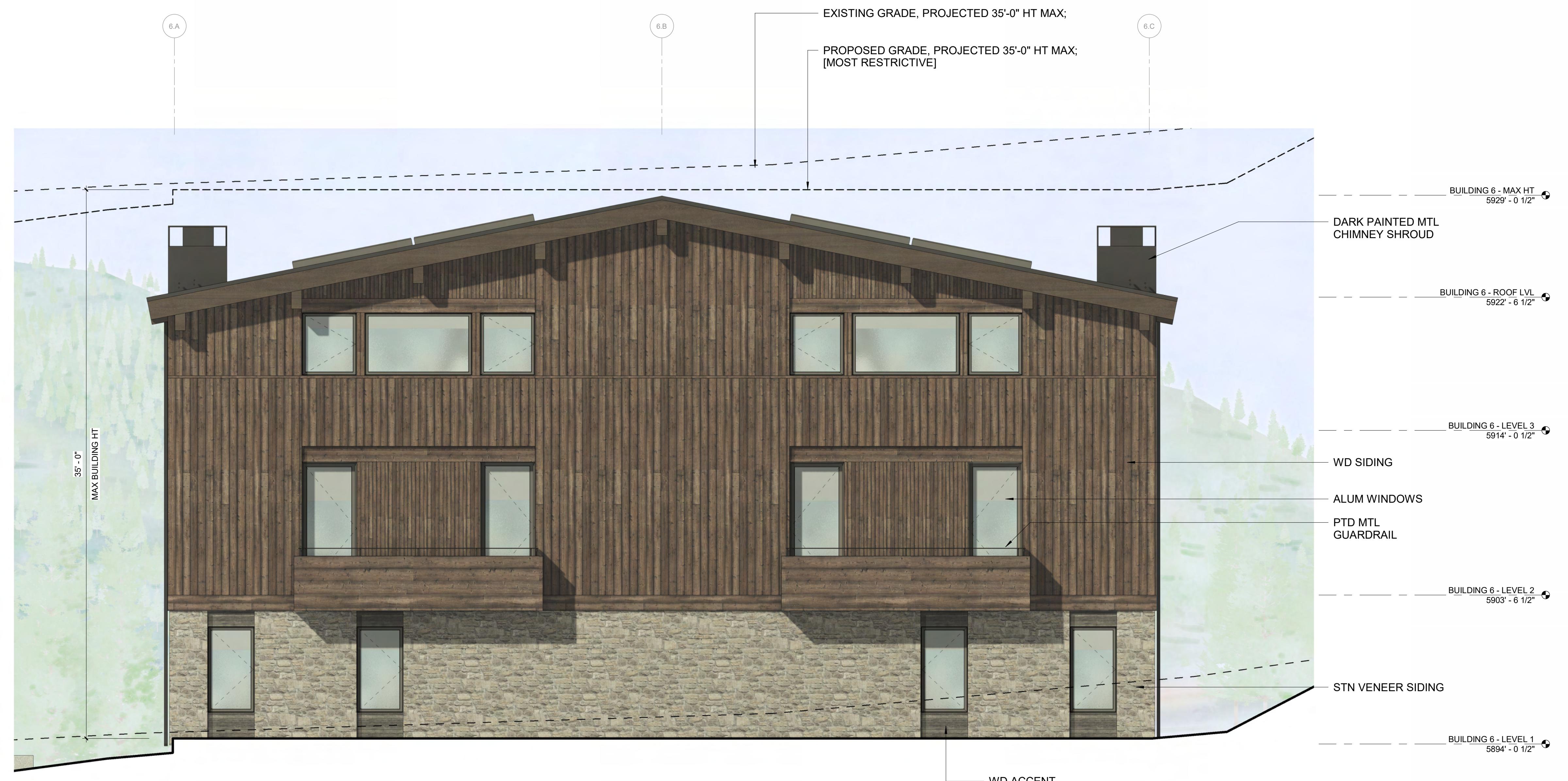
GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2 1/4" = 1'-0" | BUILDING 6 / ELEVATION - WEST



ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 6**
SEAL:

PROJECT NUMBER:

2305

DRAWING NUMBER:

A-307

1 1/4" = 1'-0" | BUILDING 6 / ELEVATION - NORTH

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

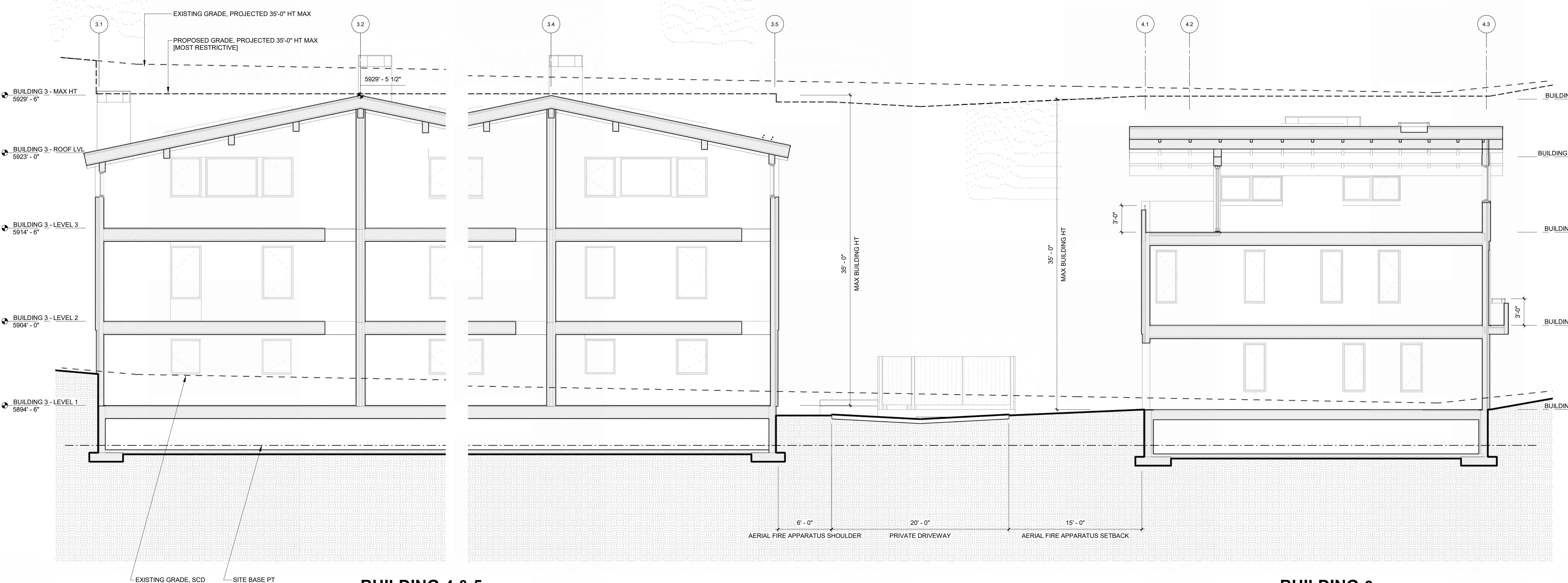
BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

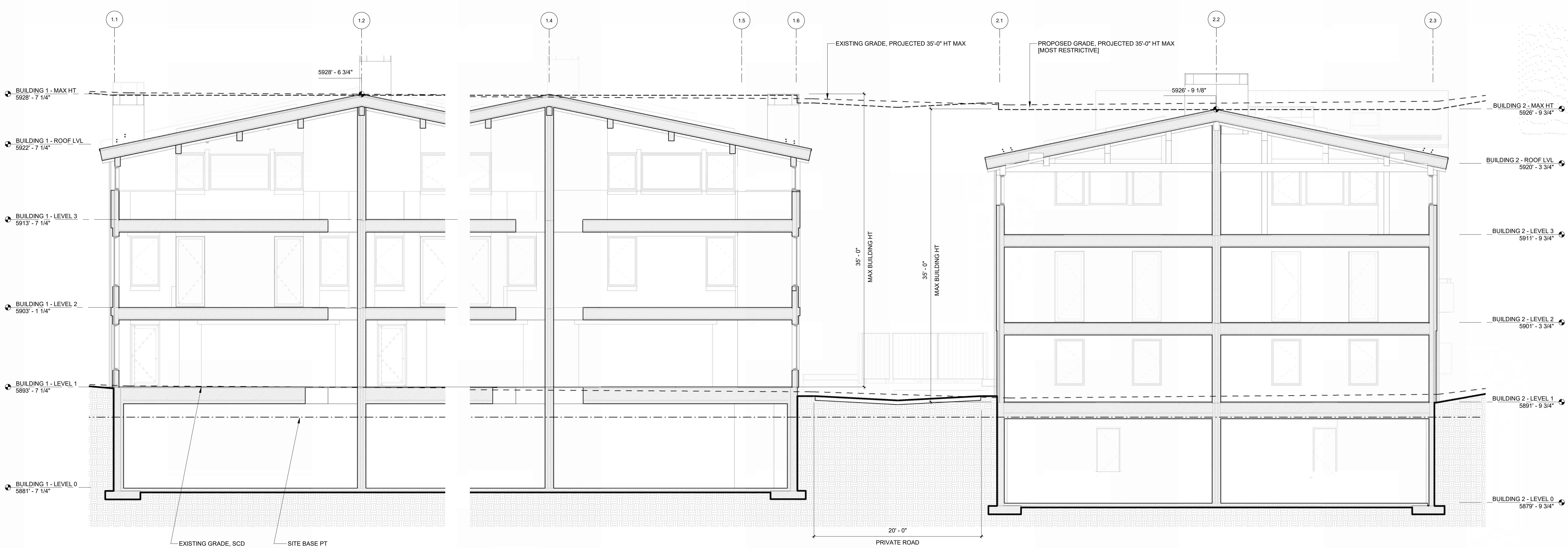
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:
GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE, SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2 3/16" = 1'-0" BUILDING SECTION - NS B



ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
BUILDING SECTIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-401

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
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TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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TEL: 720.779.3556

CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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**PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.
KETCHUM, IDAHO



DRAWING TITLE:
MATERIALS

SEAL:



MEDIUM GREY, PARGED FIELD STONE



MEDIUM BROWN, RUSTIC TONGUE AND
GROOVE WOOD SIDING W/ FACE NAILING



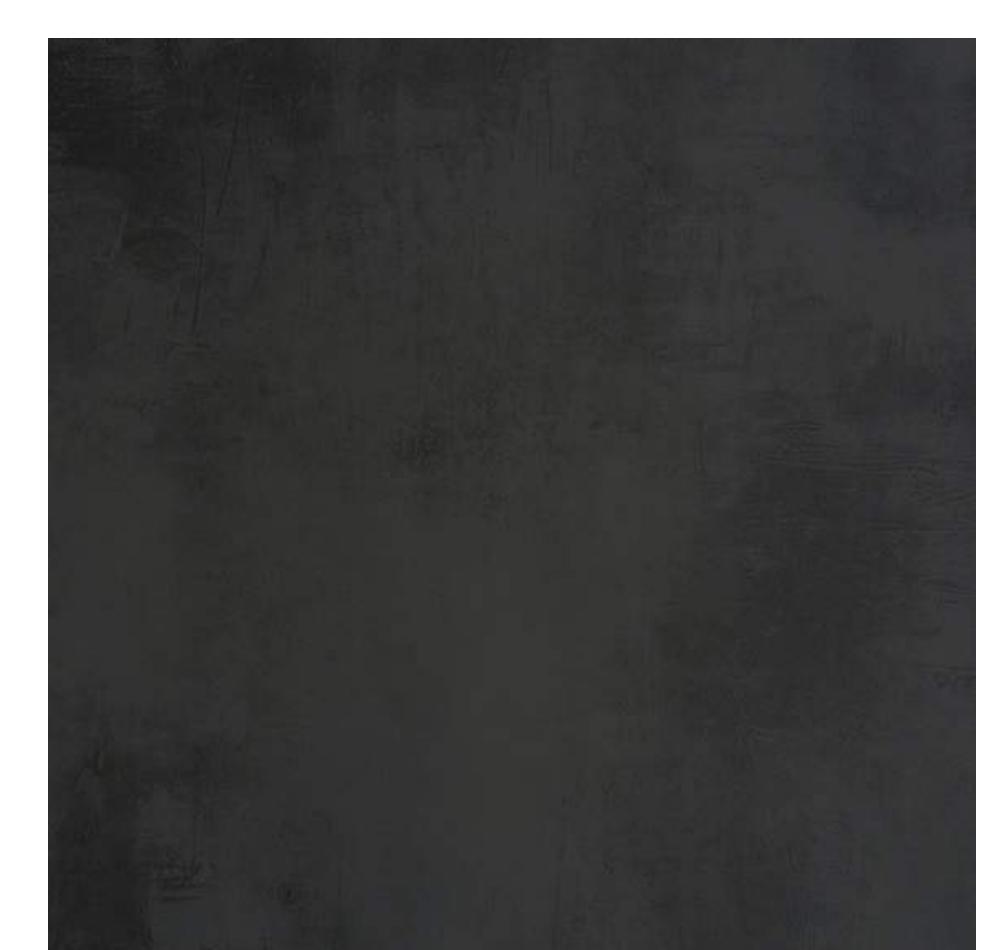
MEDIUM BROWN, RUSTIC WD BEAMS, FASCIA
& ACCENTS



DARK, RUSTIC WD TONGUE AND GROOVE
ACCENTS



DARK STANDING SEAM ROOF



DARK METAL TRIM & WINDOW FRAMES

PROJECT NUMBER
2305

DRAWING NUMBER:

A-500

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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TEL: 720.779.3556

CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2 | 12" = 1'-0" SITE ELEVATION - WEST

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.
KETCHUM, IDAHO



DRAWING TITLE:
RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
G-121

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1 | 12" = 1'-0" SITE ELEVATION - NORTH

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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SAN FRANCISCO, CA 94111
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MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



VIEW FROM ACROSS RITCHIE DRIVE



VIEW FROM NW RITCHIE DRIVE

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

**WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.
KETCHUM, IDAHO



DRAWING TITLE:
RENDERS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

G-130



VIEW FROM SE RITCHIE DRIVE



AERIAL VIEW

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UN
INGLEWOOD, CA 90301
TEL: 312.784.2014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

11. *What is the primary purpose of the following statement?*

ISSUE	DESCRIPTION	DATE
	DESIGN REVIEW APP	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
G-131

1. *What is the primary purpose of the study?*

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



SIDEYARD VIEW OF BLDG 4 & BLDG 5 - FRONT



SIDEYARD VIEW OF BLDG 1 & BLDG 2 - REAR

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

**WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.

KETCHUM, IDAHO



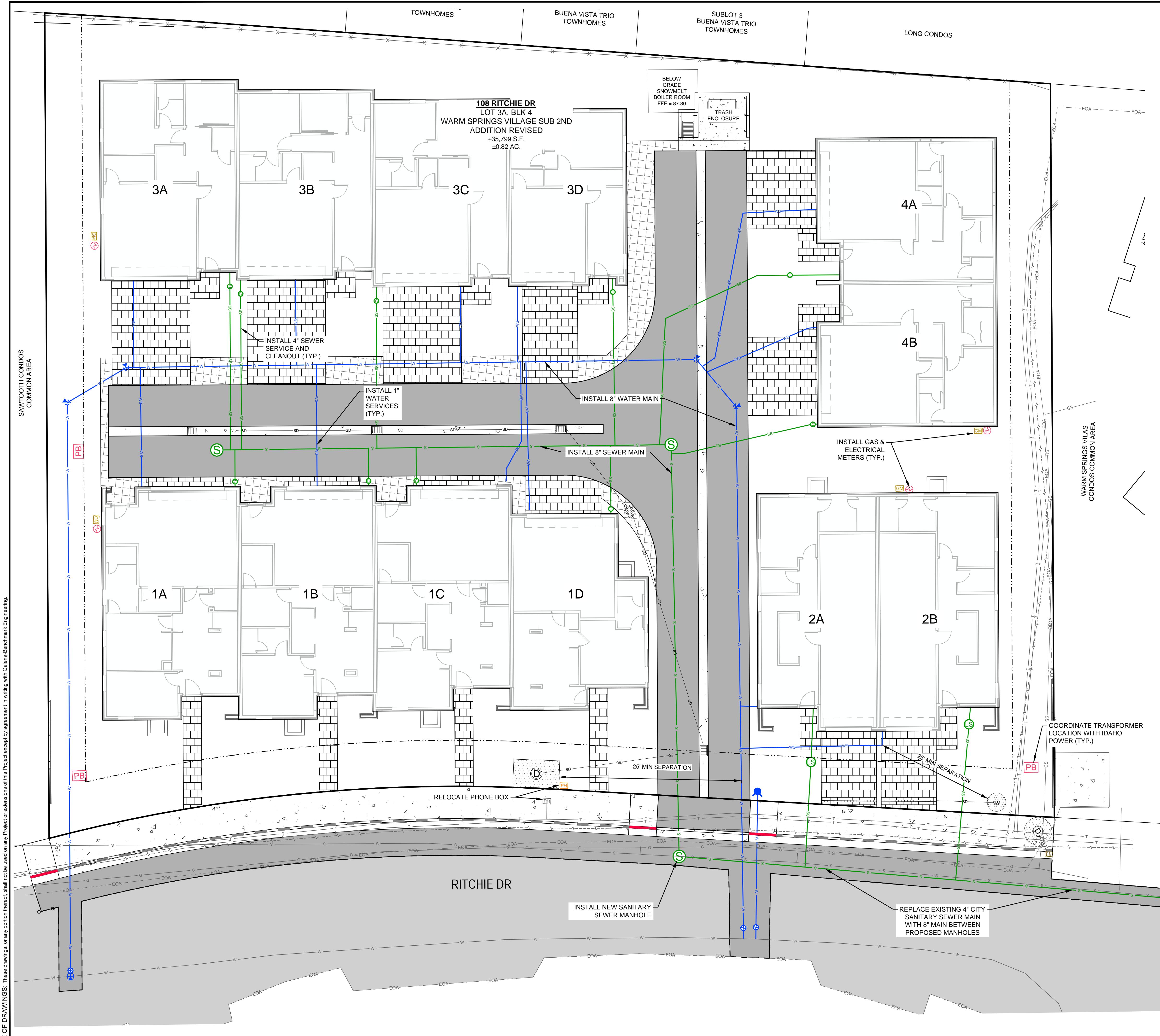
DRAWING TITLE:
RENDERINGS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

G-132



LEGEND

- PROPERTY BOUNDARY
- ADJOINER'S LOT LINE
- ROAD CENTERLINE
- 5' CONTOUR INTERVAL (EXISTING)
- 1' CONTOUR INTERVAL (EXISTING)
- FENCE LINE (EXISTING)
- EOA - EDGE OF ASPHALT (EXISTING)
- G - GAS LINE (EXISTING)
- TV - UNDERGROUND TELEVISION LINE (EXISTING)
- UPL - UNDERGROUND POWER LINE (EXISTING)
- SD - STORM DRAIN (PROPOSED)
- S - SANITARY SEWER MAIN LINE (EXISTING)
- SS - SANITARY SEWER MAIN LINE (PROPOSED)
- WS - SANITARY SEWER SERVICE (PROPOSED)
- W - WATER MAIN LINE (EXISTING)
- WP - WATER MAIN LINE (PROPOSED)
- WS - WATER SERVICE (PROPOSED)
- GV - GAS VALVE (EXISTING)
- TR - TELEPHONE RISER (EXISTING)
- PT - POWER TRANSFORMER (PROPOSED)
- SCB - STORM CATCH BASIN (PROPOSED)
- WM - WATER MANHOLE (PROPOSED)
- WV - WATER VALVE (PROPOSED)
- FH - FIRE HYDRANT (PROPOSED)
- SM - SEWER MANHOLE (PROPOSED)
- SC - SEWER CLEANOUT (PROPOSED)
- DSP - DUPLEX SEWER GRINDER PUMP (PROPOSED)
- GM - GAS METER (PROPOSED)
- EM - ELECTRICAL METER (PROPOSED)

UTILITY PLAN
WARM SPRINGS VILLAGE SUB, 2ND ADD. REV.
BLOCK 4, LOT 3A

LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION

G:\\M\\Warm Springs\\Village\\2nd addition\\2nd Addition\\REvised\\Block 4\\2025\\Lot 3A 108-110 Ritchie Dr\\dwg\\Construction\\23263 Civil.dwg

10/31/29 AM

DESIGNED BY: SLS
DRAWN BY: SLS/PSF
CHECKED BY: JL
SURVEY DATE: 06/12/22GALENA-BENCHMARK
ENGINEERING
SURVEYING
Civil Engineers & Land Surveyors
100 Bee Drive
Ketchum, Idaho 83340
208-263-0550
www.benchmark-associates.com

PURPOSE: PRELIMINARY FOR DESIGN REVIEW 10/14/2025

REVISIONS

NO

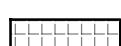
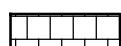
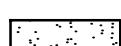
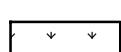
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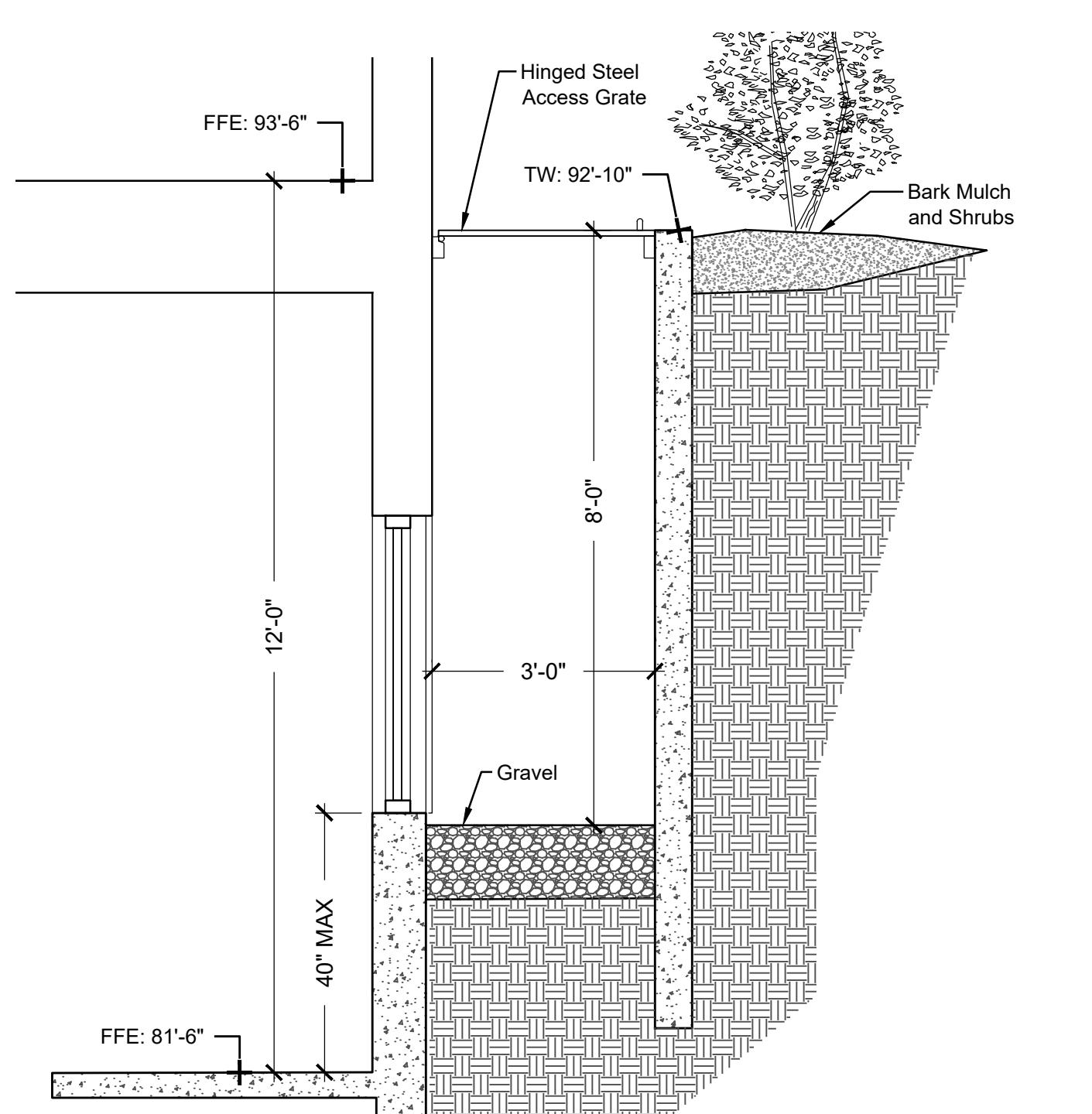
BY

C2.00

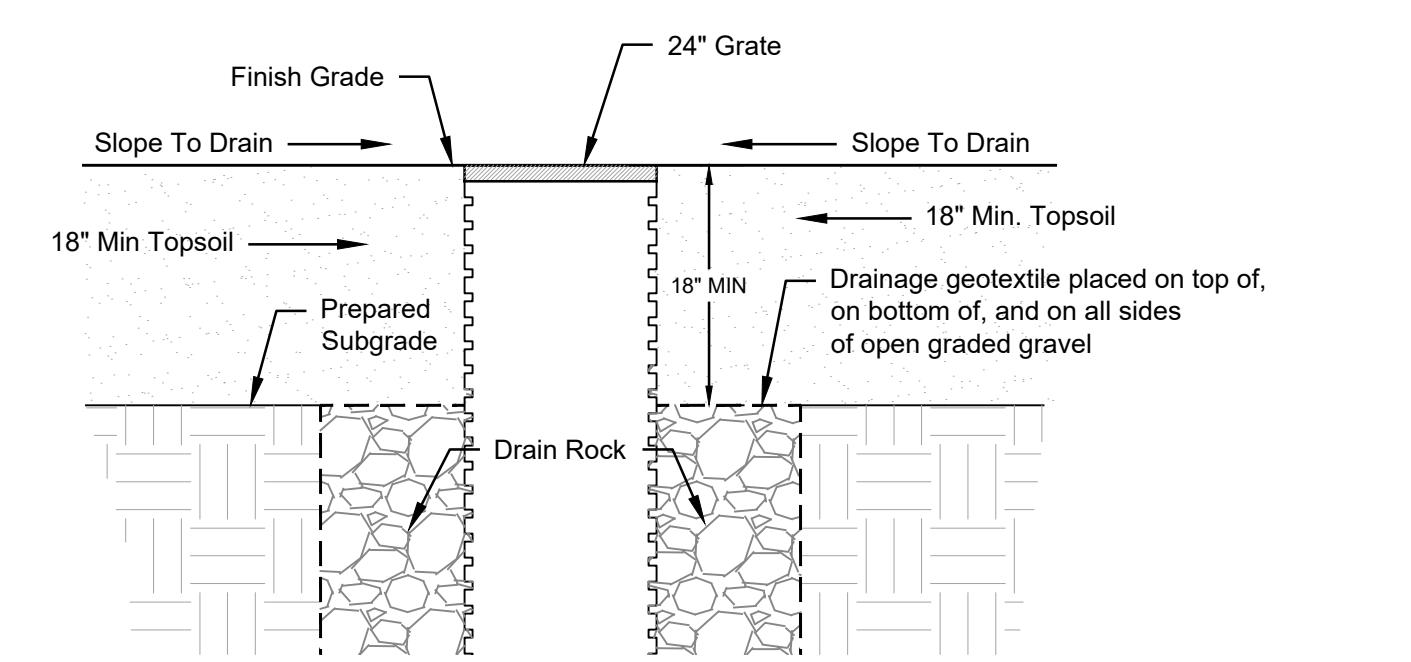
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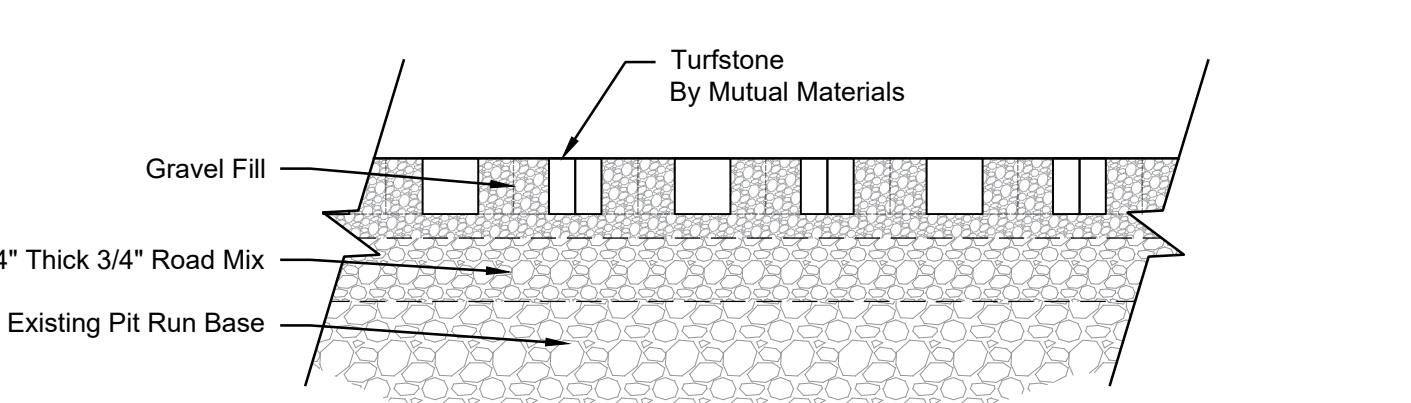
Plan Legend	
	Property Line
	Existing Contour
	Proposed Contour
	New Fence
	Boulder Retaining
	Grass Pave
	Pavers
	Concrete
	Gravel
	Lawn Grass
	Natural Grass
	Perennials and Groundcover
	Drywell
	Catch Basin
	Drainage Swale



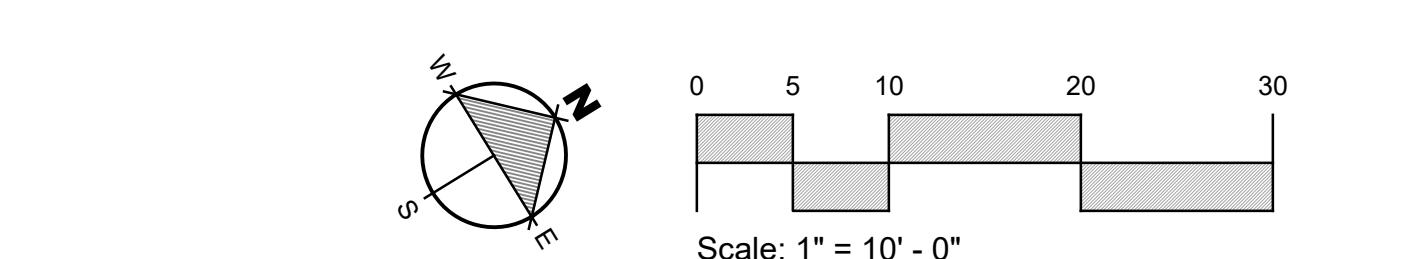
1 Section: Typical Window Well Scale: 1/2" = 1'-0"



2 Section: Drywell Landscape Integration Scale: 1/2" = 1'-0"



Detail: Turfstone (Grassblock) Scale: Not to Scale



Warm Springs

EGGERS ASSOCIATES, P.A.

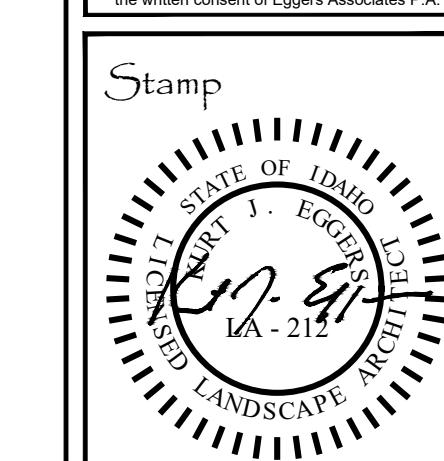
landscape architecture

P.O. Box 953
Ketchum, ID. 83340

T (208) 725-0988
F (208) 725-0972

108 & 110 Richie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 23.31	
Scale: 1"=10'-0"	
Issue/Revisions:	Date:
Concept Update	07/10/2
Design Review	11/06/2
DR Resubmission	03/14/2
DR Resubmission	06/25/2
DR Resubmission	07/17/2
DR Resubmission	08/04/2
DR Resubmission	10/03/2
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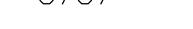
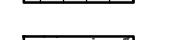
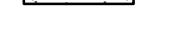
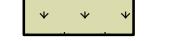
Sheet Title: Grading Plan

Sheet No:

DESIGN REVIEW RESUBMITTAL - 10/03/25

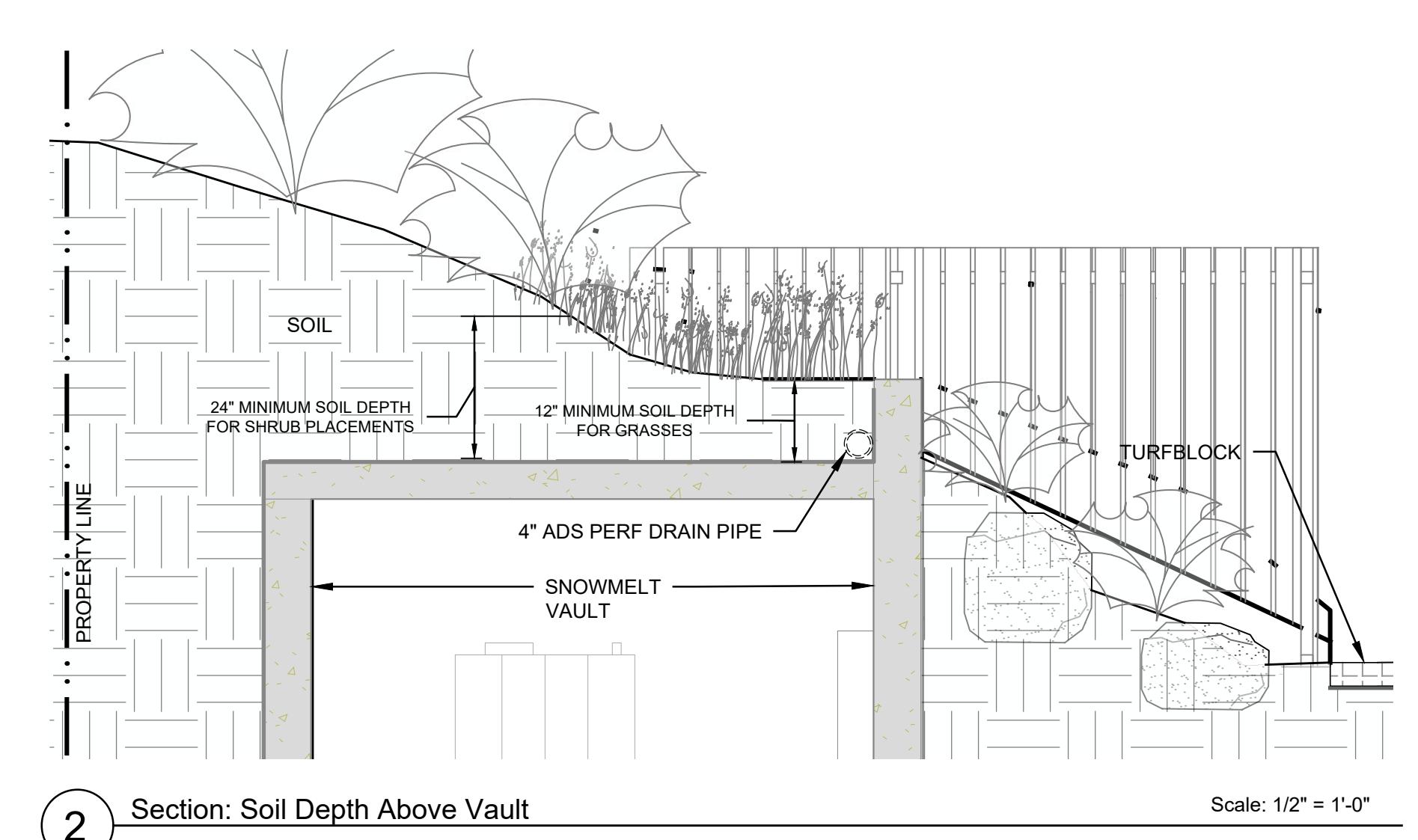


Plan Legend

	Property Line
— — 5787 — —	Existing Contour
● — 95 — —	Proposed Contour
	New Fence
	Drainage Swale
	Boulder Retaining
	Drywell
	Catch Basin
	Grass Pave
	Pavers
	Concrete
	Bark Mulch
	Low Height Native Grasses
	Natural Grass
	Perennials and Groundcover

Plant Legend

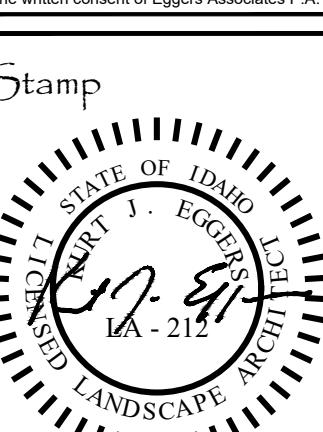
<u>Qty.</u>	<u>Species</u>	<u>Scientific Name</u>	<u>Install Size</u>	<u>Mature Size</u>	<u>Drought Tolerance Water Needs</u>
12	Conifer Trees				
2	Colorado Spruce	<i>Picea pungens</i>	8'	25'-30'	medium
5	Subalpine Fir	<i>Abies lasiocarpa</i>	8'	20'-25'	medium
5	'Tannenbaum' Mugo Pine	<i>Pinus mugo (Tannenbaum)</i>	8'	10'-12'	low
15	Deciduous Trees	2-1/2-3" Cal.			
7	Prairifire Crabapple	<i>Malus x 'Prairifire'</i>	2-1/2" Cal.	10'-15'	low
8	Sargent's Crabapple	<i>Malus sargentii</i>	2-1/2" Cal.	10'-15'	low
126	Deciduous Shrubs				
36	Flame Amur Maple	<i>Acer ginnala 'Flame</i>	5 Gal	6'-8'	medium
30	Serviceberry	<i>Amelanchier alnifolia</i>	5 Gal	4'-6'	medium
30	Snowberry	<i>Symphoricarpos alba</i>	5 Gal	4'-6'	medium
30	Red-twist Dogwood	<i>Cornus sericea</i>	5 Gal	4'-6'	medium
50	Birchleaf Spirea	<i>Spiraea betulifolia 'Tor'</i>	1 Gal	3'	medium
50	Goldfinger Potentilla	<i>Potentilla fruticosa 'Goldfinger'</i>	1 Gal	3'	medium
31	Evergreen Shrubs				
31	Dwarf Mugo Pine	<i>Pinus mugo var. pumilio</i>	5 Gal	4'-6'	low
600 sq.ft.	Various	Perennial Flowers	Flats@8"O.C.		
2,900 sq.ft.		Grasses	Hydroseed		
		Lawn Mix			
3,000 sq.ft.		Natural Grasses	Hydroseed		
		Smooth Broome			



2 Section: Soil Depth Above Vault

108 & 110 Kichie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

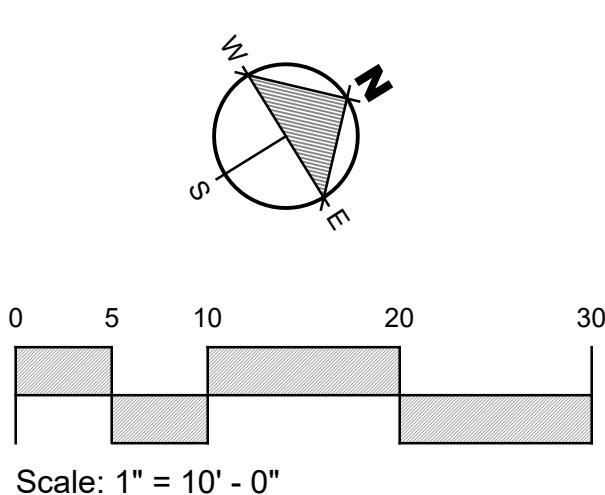
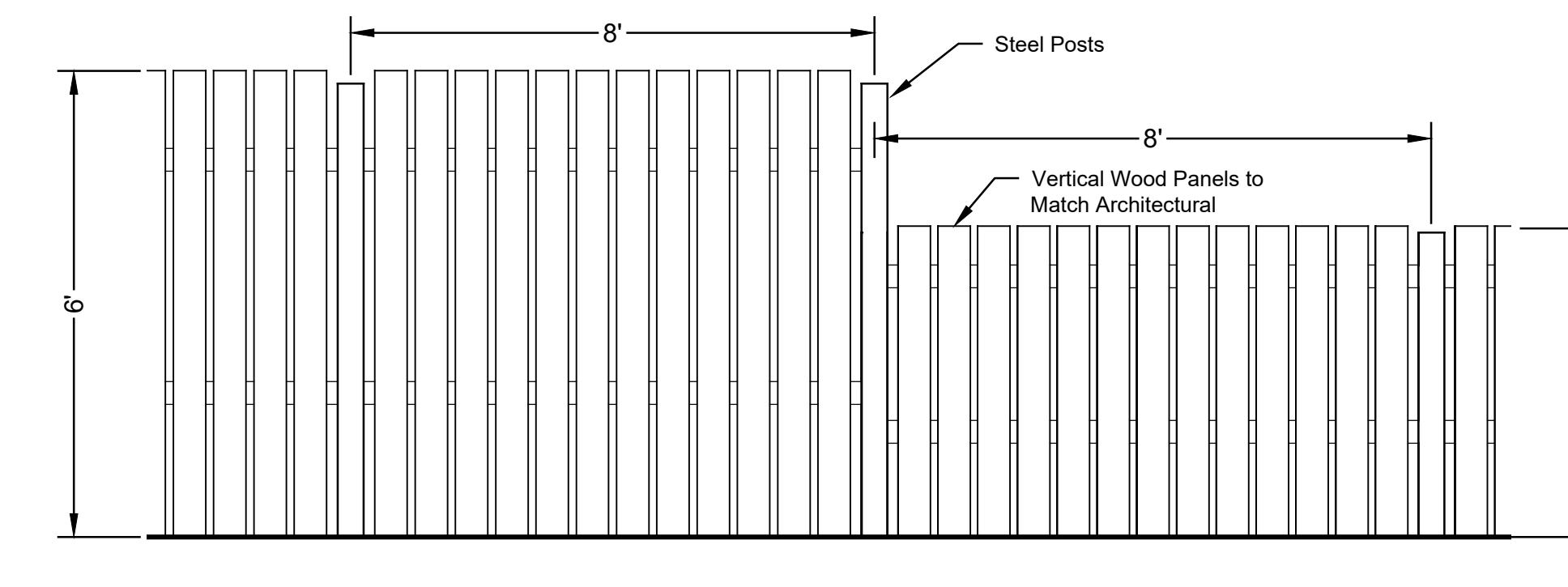
Job No:	23.31
Scale:	1"=10'-0"
Issue/Revisions:	Date:
Concept Update	07/10/20
Design Review	11/06/20
DR Resubmission	03/14/20
DR Resubmission	06/25/20
DR Resubmission	07/17/20
DR Resubmission	08/04/20
DR Resubmission	10/03/20



Sheet Title: Landscape Plan

Sheet No:

DESIGN REVIEW RESUBMITTAL - 10/03/25





Flowering Crab Trees (8 Feet Installation Height)



Fir Tree (6 - 8 Feet Installation Height)



Spruce Tree (6 - 8 Feet Installation Height)



Mugo Pine Tree (6 - 8 Feet Installation Height)



Streetside Example: Low Natural Grass (Scottish Links)

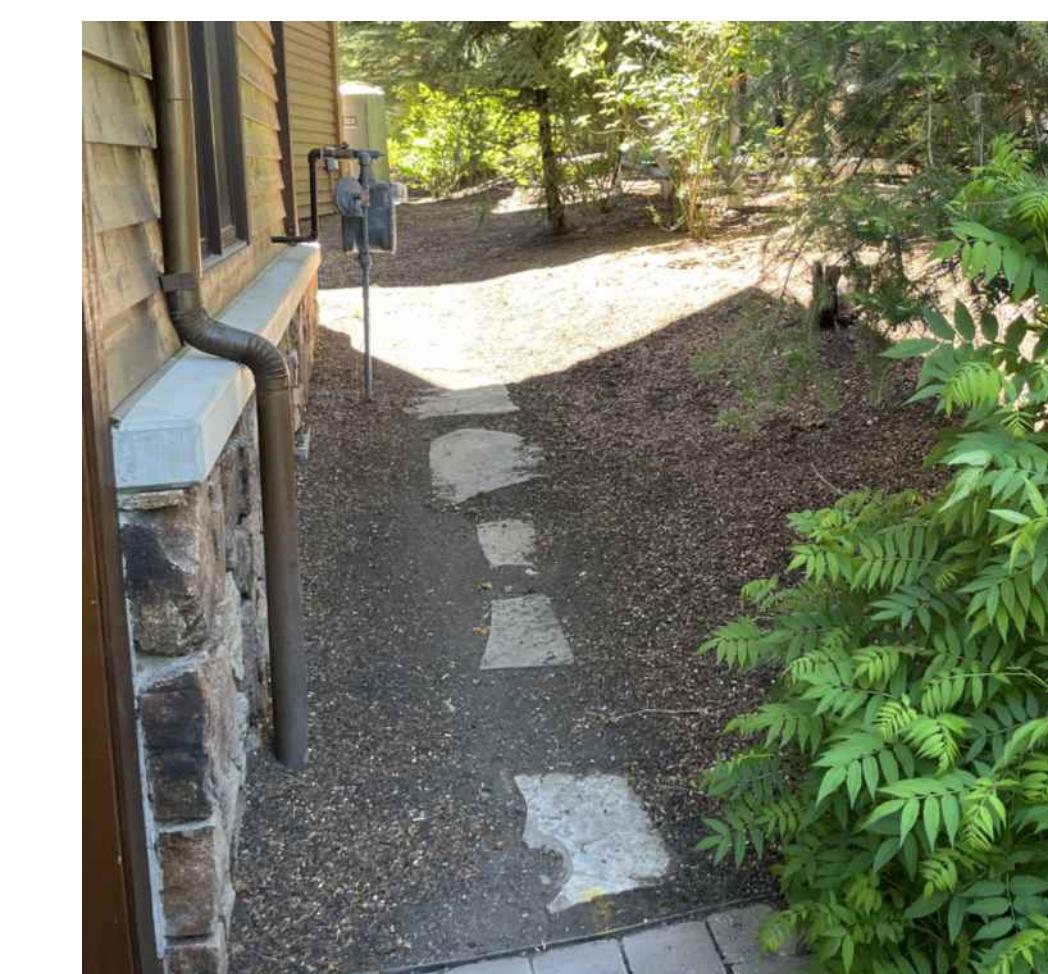
PLANT MATERIALS



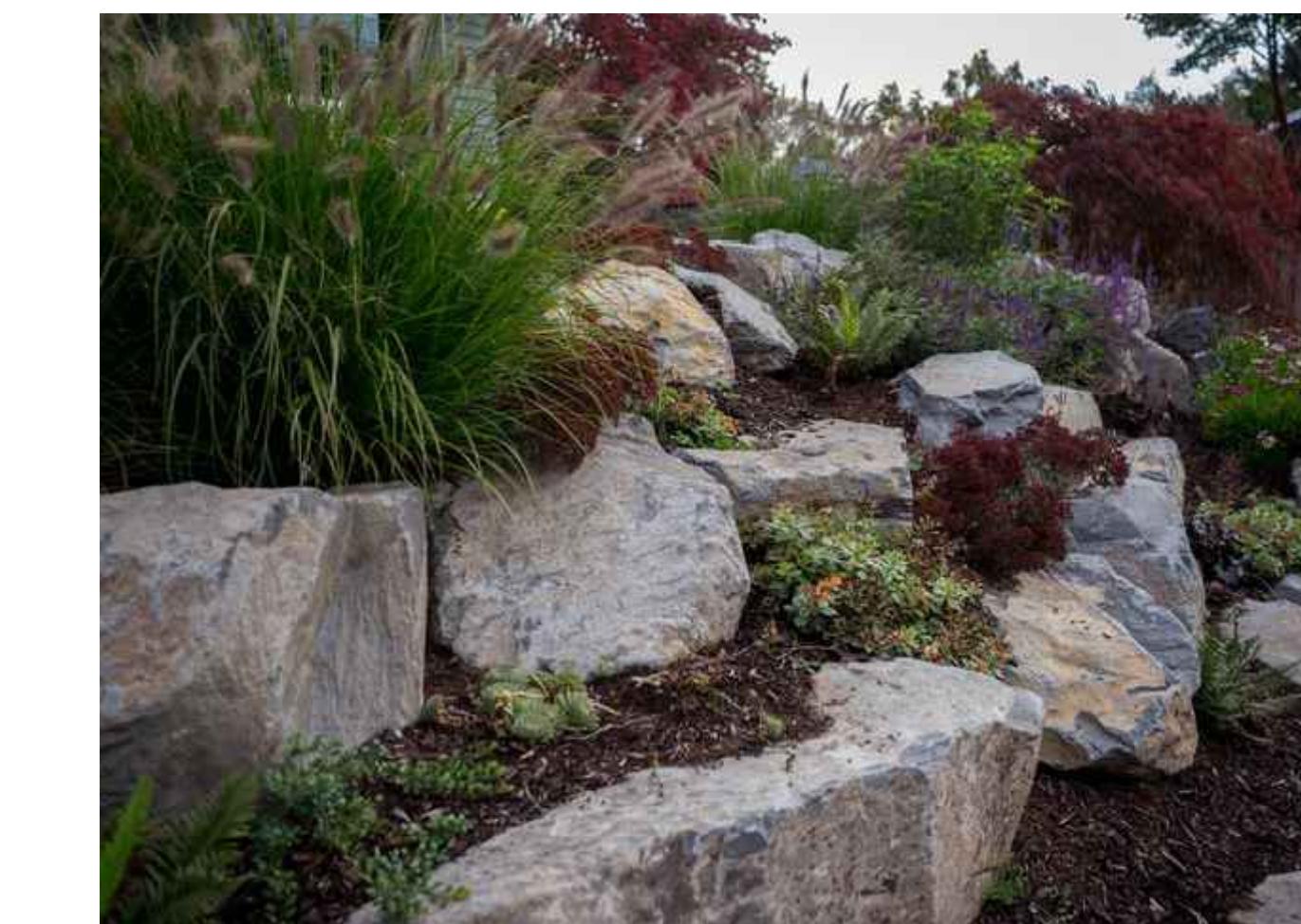
STREET PLANTING EXAMPLES



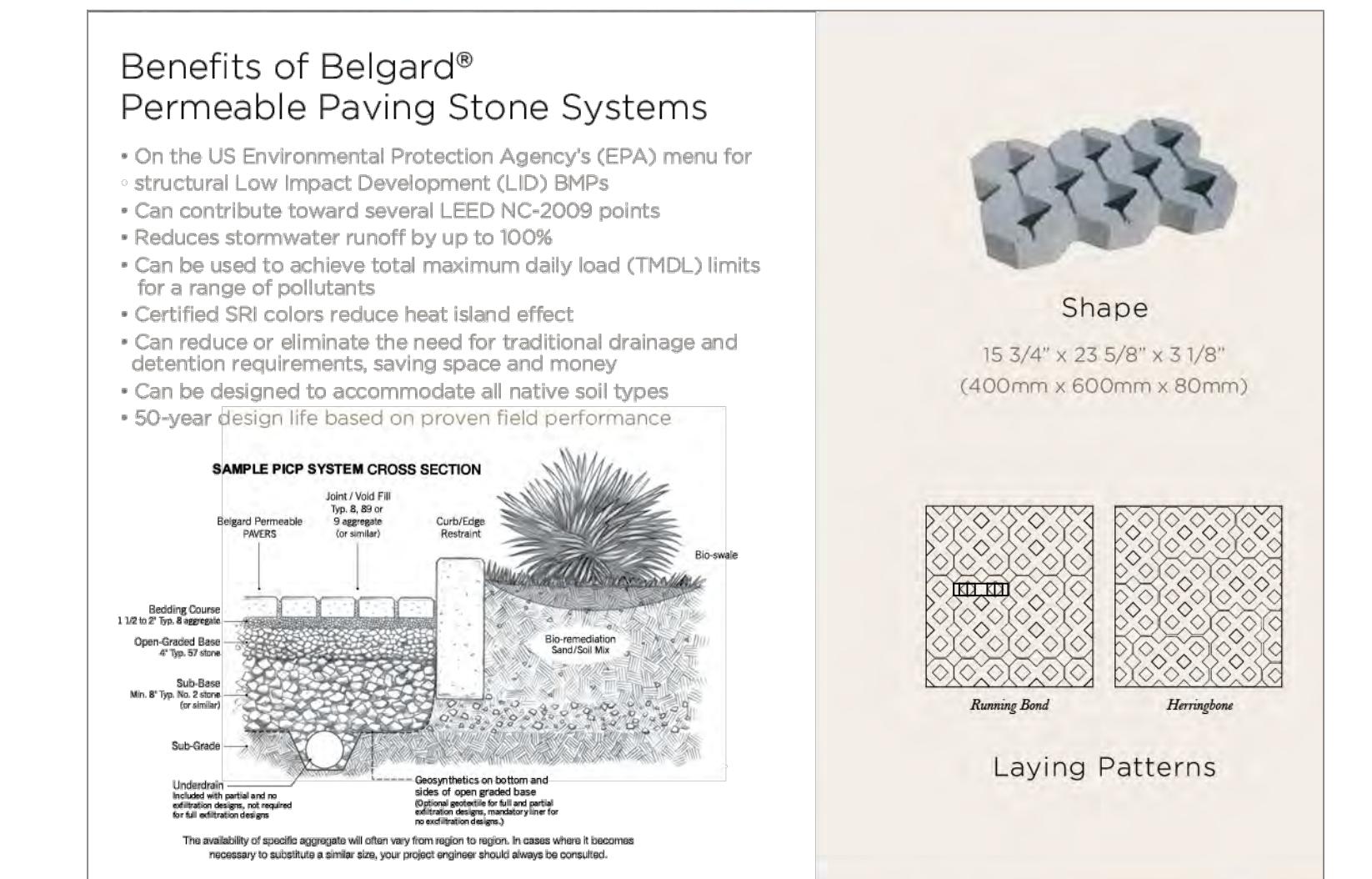
Transformer Screening



Bark Mulch and Path



Landscape Boulders With Plantings



Driveable Permeable Pavers / Filled with Decorative Gravel

108 & 110 Richie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 23.31

Scale:

Issue/Revisions: Date:

Concept Update 07/10/24

Design Review 11/06/24

DR ReSubmission 05/14/25

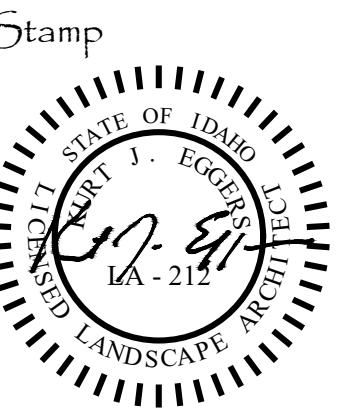
DR ReSubmission 06/25/25

DR ReSubmission 07/17/25

DR ReSubmission 08/09/25

DR ReSubmission 10/05/25

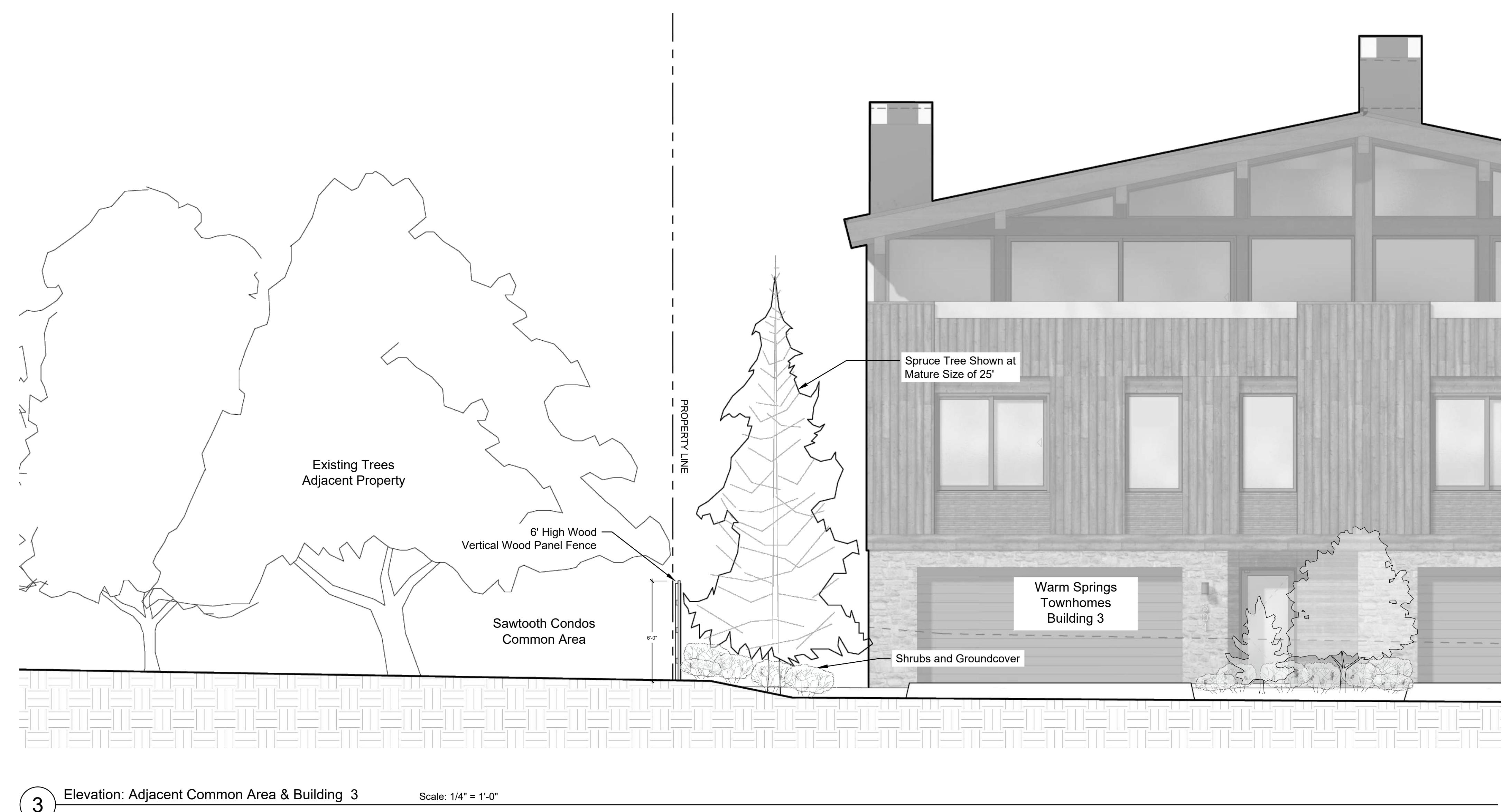
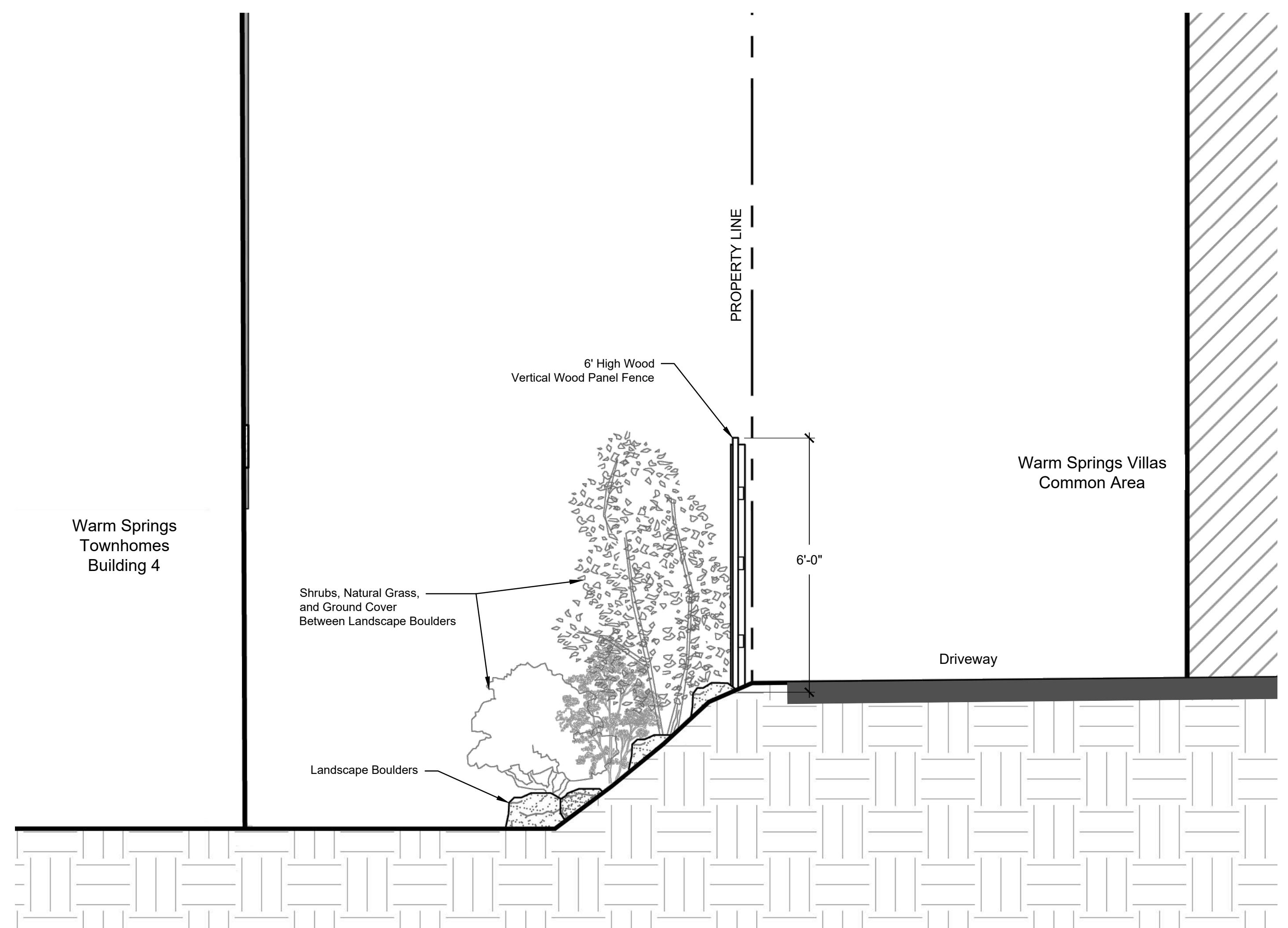
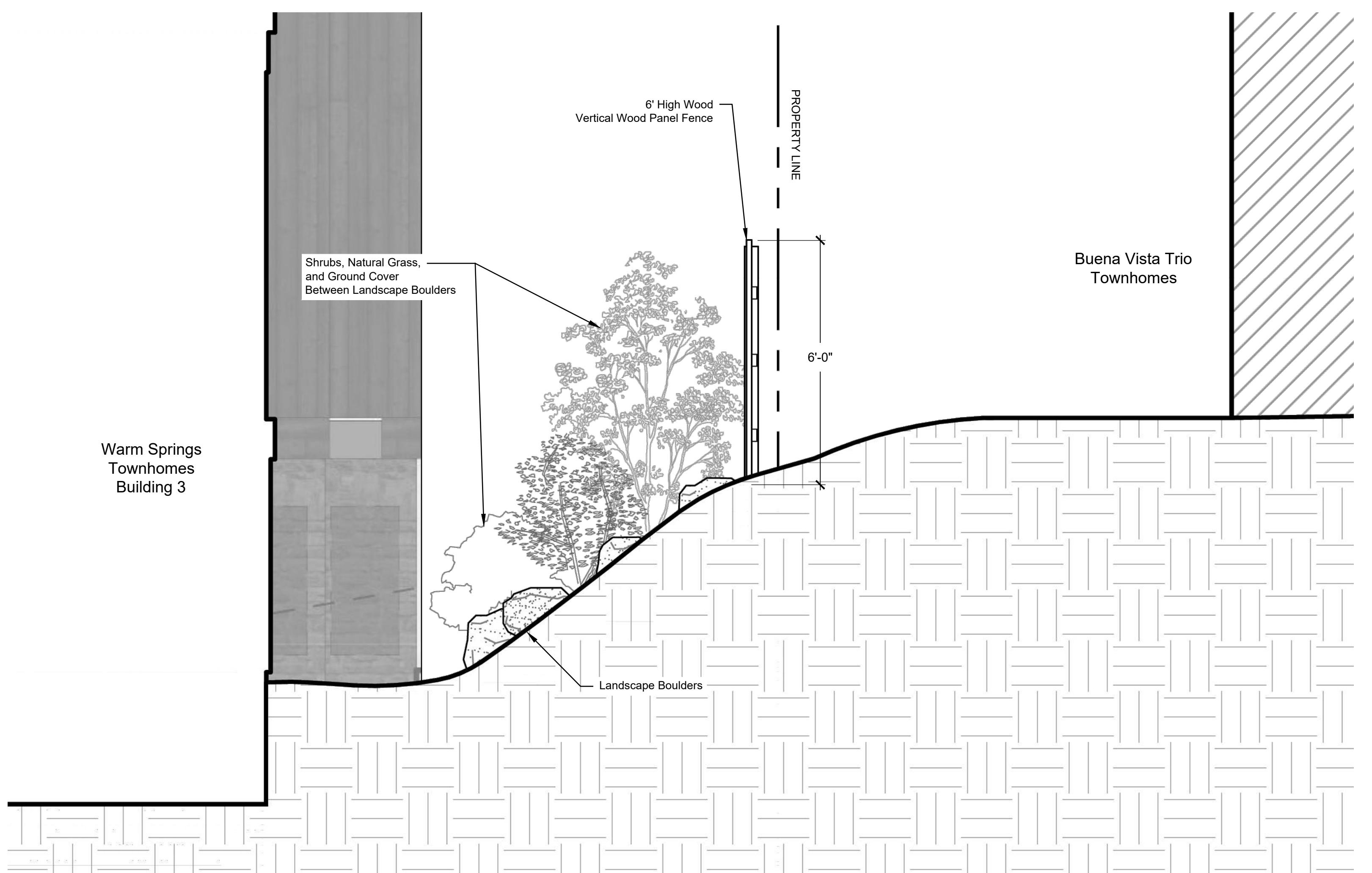
All information appearing herein shall not be disclosed directly or indirectly without the written consent of Eggers Associates P.A.



Sheet Title: Plant Materials

Sheet No:

L4.0

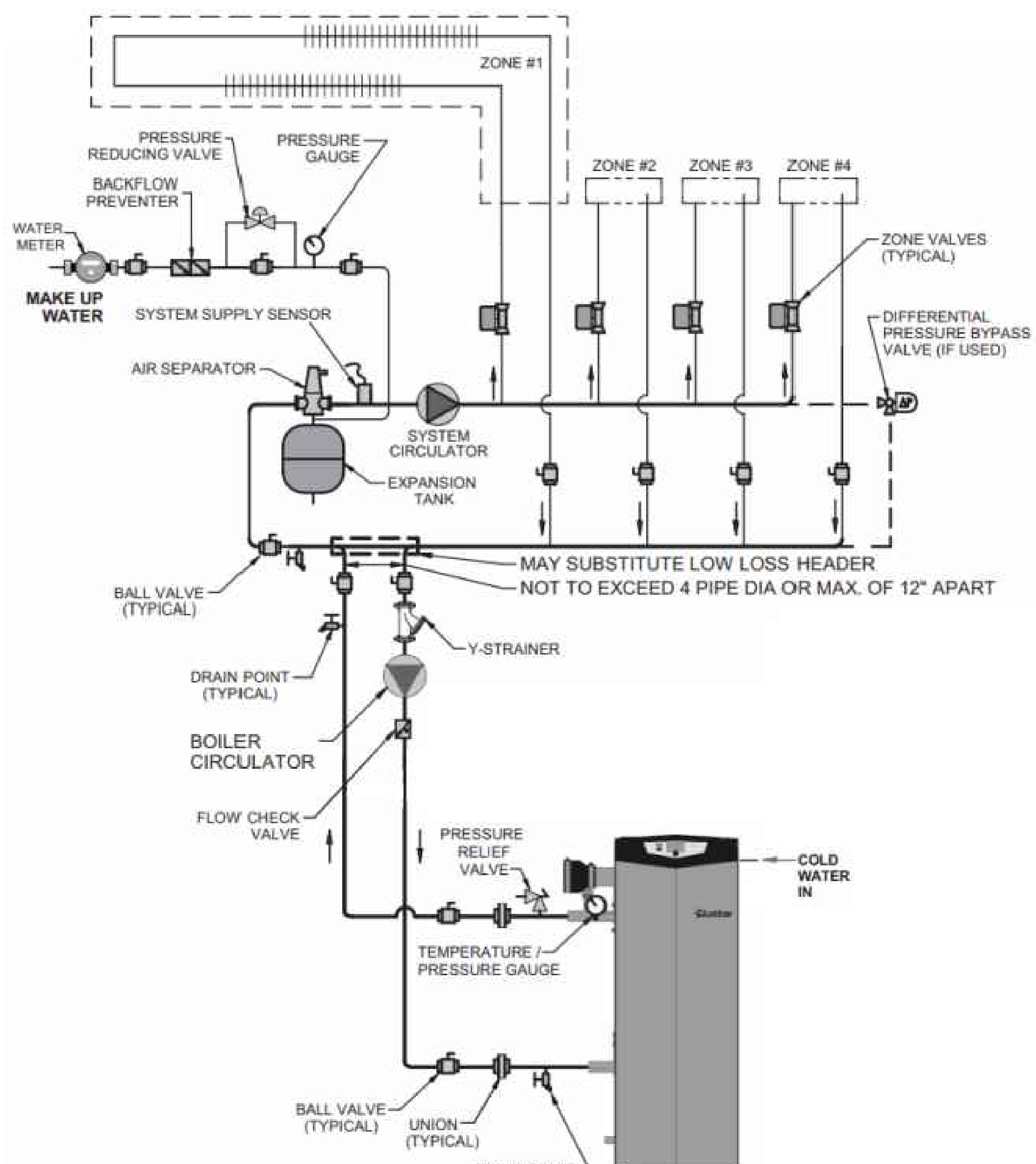
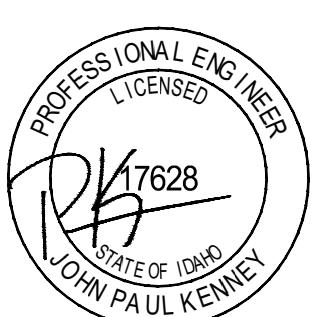


ABBREVIATIONS			
CD	CONDENSATE DRAIN	MV	MIXING VALVE
CONT	CONTINUATION	OM	OVERHEAD
CW	COLD WATER	G	NATURAL GAS
DN	DOWN	PD	PUMPED DISCHARGE
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE
EWC	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP
ex.	EXISTING	S, SAN	SANITARY
FCO	FLOOR CLEANOUT	SH	SHOWER
FD	FLOOR DRAIN	SK	SINK
FHB	FREEZEPREOF HOSE BIBB	TP	TRAP PRIMER
FS	FLOOR SINK	TYP	TYPICAL
FRH	FREEZEPREOF ROOF HYDRANT	UR	URINAL
FWM	FREEZEPREOF WALL HYDRANT	V	VENT
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF
GI	GREASE INTERCEPTOR	WC	WATER CLOSET
HB	HOSE BIBB	W.C.	WATER COLUMN
HD	HUB DRAIN	WCO	WALL CLEANOUT
HWS	HOT WATER SUPPLY	WHA	WATER HAMMER ARRESTER
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX

LEGEND	
— — —	COLD WATER PIPE
— — —	HOT WATER PIPE
— — —	HOT WATER RETURN PIPE
— S —	SANITARY PIPE
— — —	VENT PIPE
— G —	NATURAL GAS PIPE
— GW —	GREASE WASTE PIPE
— O —	PIPE UP / PIPE DOWN
— T —	PIPE TEE FROM TOP / TEE FROM BOTTOM
— E —	PIPE CAP / PIPE CONTINUATION
— A —	DIRECTIONAL FLOW ARROW
— B —	BALL VALVE / CHECK VALVE
— M —	MIXING VALVE / PRESSURE REDUCING VALVE
— F —	FLOOR.DRAIN / FLOOR.SINK
— W —	WATER HAMMER ARRESTOR
— G —	GAS COCK / GAS SOLENOID VALVE
— P —	P-TRAP
— H —	HUB DRAIN
— C —	FLOOR CLEANOUT / GRADE CLEANOUT
— V —	VENT THROUGH ROOF
— — —	PIPE CLEANOUT / WALL CLEANOUT

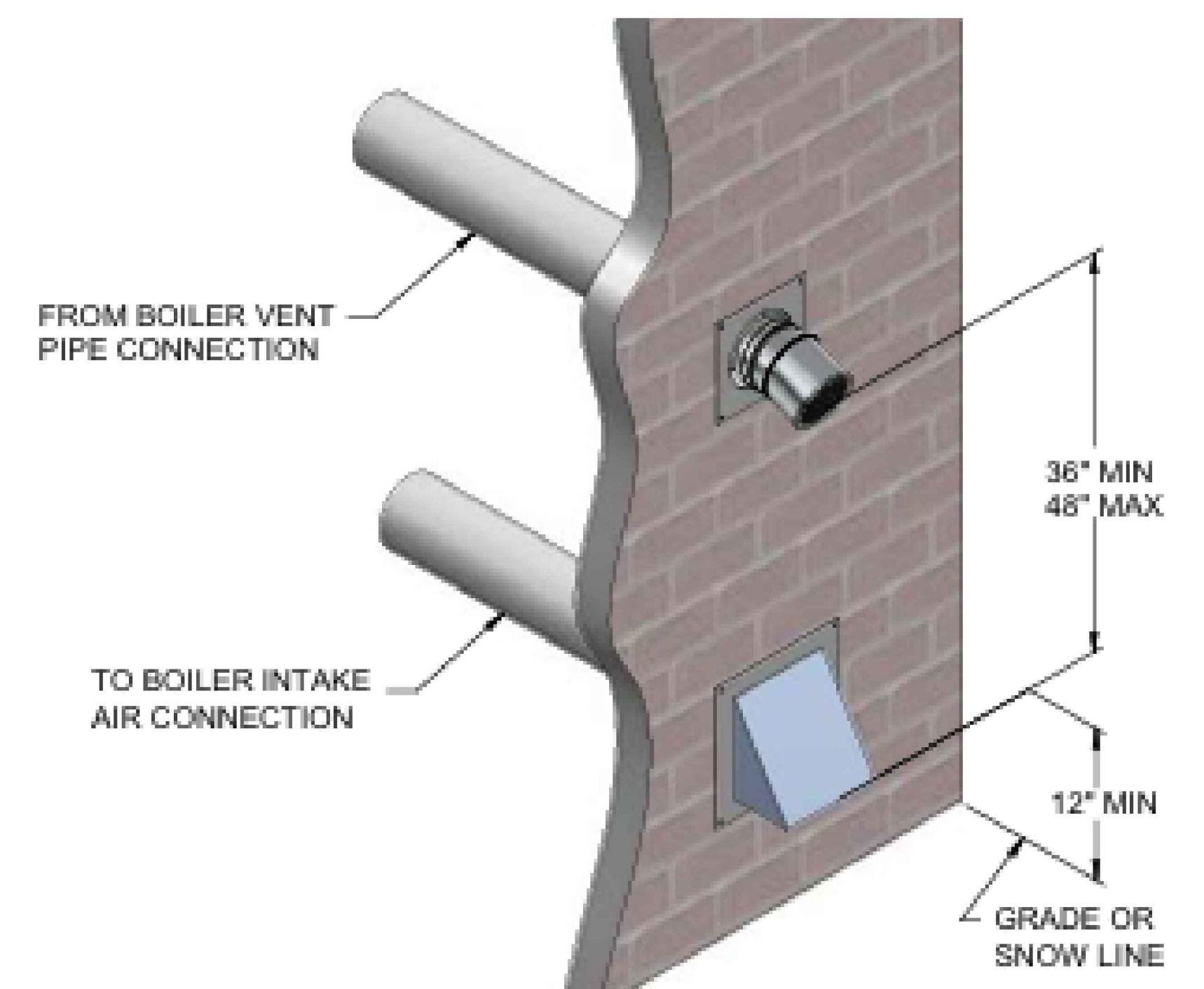
LEGEND	
SYMBOLS	DESCRIPTION
●	DUCT UP
■	DUCT UP
□	DUCT DOWN
UNIT #	EQUIPMENT TYPE EQUIPMENT NUMBER. WHERE A LETTER IS USED, THERE ARE MULTIPLE INSTANCES.

SPECIFICATIONS	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL GAS UTILITY PROVIDER TO CONFIRM THE AVAILABILITY OF THE INDICATED DESIGN DELIVERY PRESSURE PRIOR TO COMMENCING WORK.	
ALL GAS PIPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL FUEL GAS CODE AND NFPA 54.	
ABOVE GRADE GAS PIPING SHALL BE SCHEDULE 40 STEEL (ASTM A53/A53M). FITTINGS SHALL BE ASME B1.3 MALLEABLE IRON OR ASTM A234/A234M WROUGHT STEEL WELDING TYPE. JOINTS SHALL BE THREADED OR WELDED TO ASME B3.1.	
BELLOW GRADE GAS PIPING SHALL BE FLEXIBLE POLYETHYLENE TUBING AND SHALL COMPLY WITH ASTM D2513 AND CSA B1.37-4, AND SHALL BE INSTALLED IN ACCORDANCE WITH IFGC SECTION 404.1.1.2. PROVIDE MANUFACTURED RISER ASSEMBLY TO TRANSITION FROM TUBING TO ABOVE-GROUND METALLIC PIPING.	
SHUTOFF VALVES SHALL BE PROVIDED AND LOCATED IN PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.	
ALL GAS FIRED APPLIANCES ARE PROVIDED WITH A GAS PRESSURE OF 7W.C. AT FINAL EQUIPMENT CONNECTION. IF 7W.C. EXCEEDS EQUIPMENT'S SPECIFIC INLET PRESSURE REQUIREMENT, CONTRACTOR SHALL PROVIDE APPROPRIATE PRESSURE REGULATING VALVE.	
GAS PIPING ON ROOF SURFACES SHALL BE ELEVATED NO LESS THAN $\frac{1}{2}$ INCHES ABOVE ROOF SURFACE AND SHALL BE CLAMPED TO RUBBER CHANNEL SUPPORTS (MIFAB C10 SERIES OR EQUAL) PROVIDE SUPPORT AT EVERY ELBOW. THE MAXIMUM SPACING OF SUPPORTS SHALL BE: $\frac{1}{2}$ PIPE: 5'-0"; $\frac{1}{4}$ TO $\frac{1}{2}$ PIPE: 6'-0"; $\frac{1}{2}$ AND LARGER: 12'-0". VERTICAL PIPING SHALL BE SUPPORTED AT BASE, TOP AND AT 10' INTERVALS (MINIMUM).	
ALL EXTERIOR GAS PIPING ON ROOF SHALL BE PRIMED AND PAINTED O.S.H.A. YELLOW. GAS PIPING RUNNING ON EXTERIOR WALLS SHALL BE PRIMED AND PAINTED TO MATCH BUILDING WALL.	
EXPOSED GAS PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED GAS IN BLACK LETTERS. ALL PIPING GREATER THAN 7W.C. SERVICE PRESSURE SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEDING 5 FEET ALONG ITS EXPOSED LENGTH.	
BALL VALVES: THREE PIECE BODY, FULL PORT, CHROME PLATED BALL, BLOWOUT PROOF STEM, TEE SEATS, UL LISTED FOR FLAMMABLE LIQUIDS, 600 PSI WOG, THREADED ENDS, PRESSURE REGULATOR VALVE: SINGLE STAGE AND SUITABLE FOR NATURAL GAS, STEEL JACKET AND CORROSION RESISTANT COMPONENTS, THREADED FOR REGULATORS NPS 2 AND SMALLER. PROVIDE SHUTOFF VALVE IMMEDIATELY AHEAD OF REGULATOR, AND INSTALL TEST PORTS ON EITHER SIDE REGULATOR, WITH UPSTREAM TEST PORT DOWNSTREAM OF SHUTOFF VALVE. REGULATORS SHALL BE INSTALLED PER IFGC SECTION 410. FOR 2PSI INLET, PROVIDE MAXTROL 5325-L SERIES. PROVIDE VENT PROTECTOR FOR EXTERIOR APPLICATIONS. FOR INTERIOR APPLICATIONS, VENT SHALL BE PIPED TO THE EXTERIOR WITH TURNDOWN AND SCREEN PROTECTOR (REGULATOR EQUIPPED WITH FACTORY PROVIDED VENT LIMITER IS ACCEPTABLE WHERE APPROVED BY THE LOCAL JURISDICTION).	
SHUTOFF VALVES SHALL BE PROVIDED IN ACCORDANCE WITH IFGC 409. INSTALL MANUAL GAS SHUTOFF VALVE FOR EACH GAS APPLIANCE AHEAD OF CORROUGATED STAINLESS STEEL TUBING OR COPPER CONNECTOR. SHUTOFF SHALL BE WITHIN 6' OF APPLIANCE.	
INSTALL UNIONS IN PIPES NPS 2 AND SMALLER, ADJACENT TO EACH VALVE, AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT.	
ALL GAS PIPING INSTALLED BEHIND THE BUILDING SLAB SHALL BE ENCASED IN WROUGHT IRON CONDUIT. PIPING SHALL BE PROTECTED AND INSTALLED ACCORDING TO THE INTERNATIONAL FUEL GAS CODE SECTION 404.14.	
TANK TYPE WATER HEATERS	
WATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF ENERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1. WATER HEATERS SHALL HAVE 1.5GPM WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND HIGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS OTHERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM, STEEL STAND OR CONCRETE PAD, AS INDICATED ON DRAWINGS. WATER HEATERS SHALL HAVE A MINIMUM 5 YEAR LIMITED WARRANTY.	
WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDATIONS, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR SERVICING.	
INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP.	
HANGERS AND SUPPORTS	
HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.	
SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.	
WHERE SEVERAL PIPES $\frac{1}{2}$ AND SMALLER RUN PARALLEL AND IN THE SAME PLANE, THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.	
PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IFGC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-0" OF EACH ELBOW.	
VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.	
SUPPORT DOMESTIC WATER PIPING IN SPACES BELOW PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING.	
AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO HOLE SHOWS AT THE CEILING.	
WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISIMILAR MATERIALS SHALL BE PROVIDED.	
PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURERS STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.	
SLEEVES	
SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS. PROVIDE STANDARD WEIGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION. PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.	
SLEEVES MAY BE OMITTED WHERE OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.	
SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.	
PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK. 1" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.	
WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES	
SANITARY PIPING SHALL BE PVC. SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.	
PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 1245A PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2655. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2655. FABRICATED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.	
WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.	
ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.	
NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED ON THE HORIZONTAL.	
WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.	
WHERE DRAWINGS REQUIRE EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF PIPE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE. CONTRACTOR SHALL DETERMINE IF THERE IS A MORE APPROPRIATE LOCATION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED ($\frac{1}{4}$ FT MINIMUM) AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION.	
DOMESTIC WATER SYSTEMS AND ACCESSORIES	
WATER PIPING BELOW SLAB: TYPE L HARD DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI B1.6.22.	
ALL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.	
DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1, AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.	
BALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. SEATS SHALL BE REINFORCED TIE WITH TEFLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM EXTENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.	
BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR BACKFLOW PREVENTERS WITH TENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. BACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.1C.2. CONTRACTOR SHALL PROVIDE CERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.	
TERMOMETERS SHALL BE 9° ADJUSTABLE ANGLE, 30°-180° RANGE (TRI-TRICE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE 4K DIAM. SIZE, 0-100PSI (TRI-TRICE GOOCB OR EQUAL).	
CONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE DOMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE PRESSURE EXCEEDS 100PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS L1223) AND UPSTREAM STRAINER (WATTS L5P777).	
CONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER SUPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE BIBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) SHALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED.	
INSULATION	
INSULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. PIPE UP TO $\frac{1}{2}$: 1" THICK INSULATION. PIPE $\frac{1}{2}$ OR LARGER: $\frac{1}{2}$ THICK INSULATION.	
INSULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING, VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, EXPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO $\frac{1}{2}$: 1" THICK, PIPING $\frac{1}{2}$ AND OVER: 1" THICK INSULATION. ALL WATER AND DRAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED WITH FOAM INSULATION.	
ALL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.	
INSULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-INHR x SQFT x °F.	
PROTECTION OF PIPING	



BOILER INSTALLATION DETAIL

NO SCALE



BOILER SIDEWALL TERMINATION DETAIL

NO SCALE

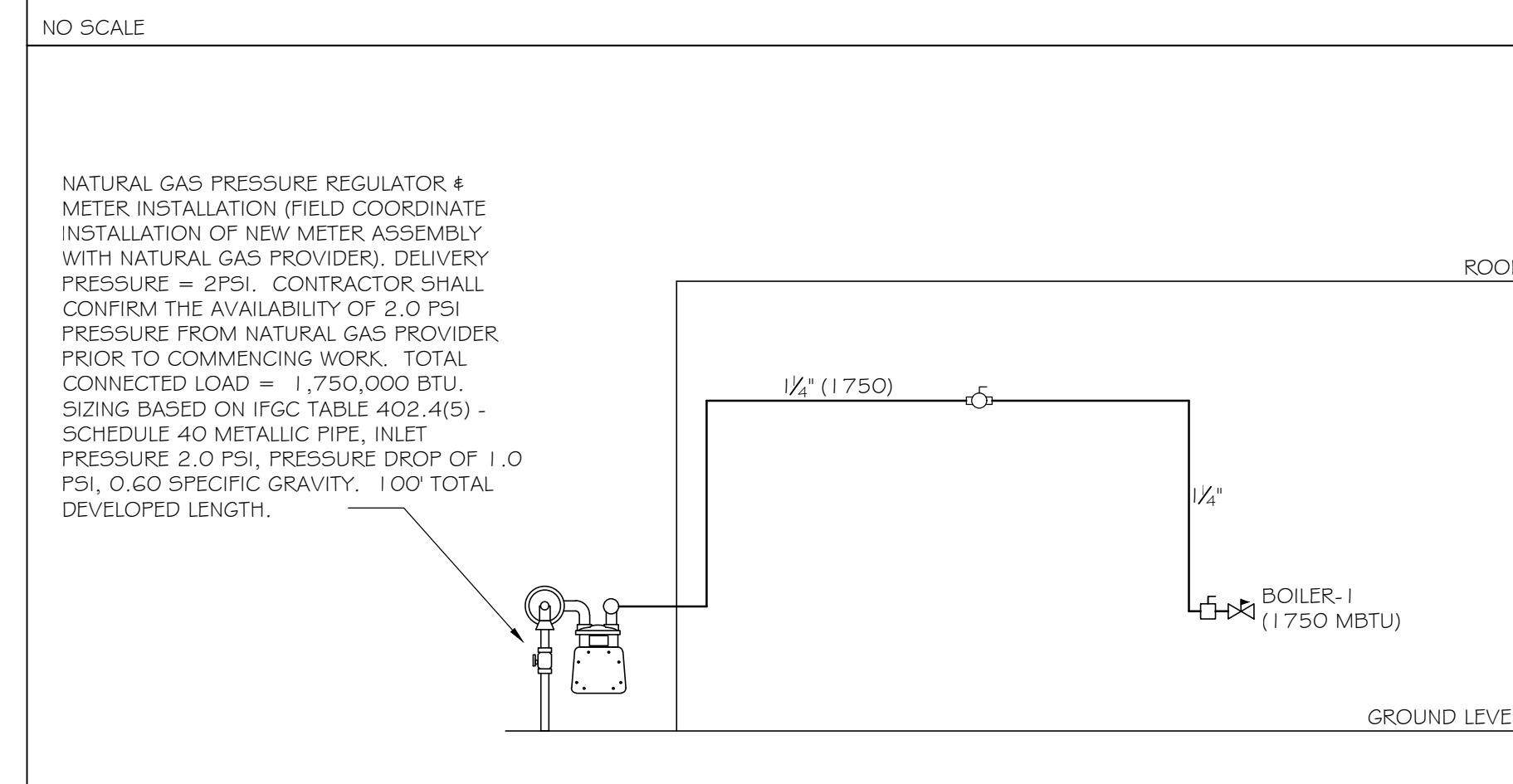
HOT WATER BOILER																					
MARK	SERVES	BASIS OF DESIGN	WATER			HEATER		DECIBEL	TURN DOWN	THERMAL EFFICIENCY (%)	OPERATING WEIGHT (LBS)	REMARKS									
			GPM	EVT (°F)	LVT (°F)	INPUT (MBH)	OUTPUT (MBH)					1	2	3	4	5	6	7	8	9	10
B-1	BUILDING B KAMP	FB175J	145.0	40	121	1,751.0	1,684.0	66	25:1	96.2	250	X	X	X	X	X	X	X	X	X	X
NOTES:																					
A. SELECTIONS ARE BASED ON LOCHINVAR, EQUAL PRODUCTS BY AERCO, PATTERSON KELLEY, HYDROTHERM. B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION. C. THERMAL EFFICIENCY IS BASED ON AHRI EFFICIENCY 80% TO 180%.																					
REMARKS:																					
1. SINGLE POINT POWER CONNECTION. 2. DISCONNECT SWITCH PROVIDED BY THE ELECTRICAL SUBCONTRACTOR. 3. FACTORY PROVIDED MULTI-BOILER CONTROL SYSTEM. 4. OUTDOOR AIR RESET. 5. BAS INTERFACE (BACNET). 6. DIRECT VENT SEALED COMBUSTION CONFIGURATION. 7. CONCENTRIC VENT NT. 8. HIGH & LOW GAS PRESSURE SWITCHES WITH MANUAL RESET. 9. 50%-50% PROPYLENE GLYCOL AND WATER SOLUTION, PROVIDE ADVANTAGE CONTROLS 55 GALLON E-GLYCOL FEEDER, INSTALL PER MANUFACTURERS INSTRUCTIONS, PROVIDE WITH BAS INTERFACE (BACNET).																					

PUMP SCHEDULE													
MARK	SERVICE / DUTY	TYPE	GPM	HEAD (FT)	IMPELLER DIAMETER (IN)	MAX NPSHR (PSI)	MOTOR (HP)	PUMP SPEED (RPM)	PUMP EPP (%)	PUMP WEIGHT (LBS)	OPERATING MODEL	BASIS OF DESIGN	REMARKS
P-1A	B-4 - PRIMARY LOOP	ECM HIGH-EFFICIENCY	145	11.000	10"	4.35	2 1	4760	36	52	TACO VR25M5F	X X X X X X X X	
P-1B	B-4 - SECONDARY LOOP	ECM HIGH-EFFICIENCY	145	13.000	10"	4.4	5	4400	63	72	TACO SKV3009D	X X X X X X X X	
NOTES (APPLY TO ALL):													
A. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION. B. BASIS OF DESIGN: TACO AND GRUNDfos ACCEPTABLE ALTERNATES: BELL & GOSSETT, ARMSTRONG, AURORA.													
1. FLEXIBLE COUPLING. 2. DISCONNECT SWITCH BY THE ELECTRICAL SUBCONTRACTOR. 3. SUCTION DIFFUSER WITH INTEGRAL STRAINER. 4. INVERTER DUTY MOTOR WITH VFD. VFD PROVIDED BY THE ELECTRICAL SUBCONTRACTOR. 5. DDC CONTROL, INTERLOCK WITH BAS. 6. FIELD INSTALLED DIFFERENTIAL PRESSURE SENSOR AT MOST CRITICAL POINT. 7. PUMP 4 INERTIA BASE MOUNTED ON CONCRETE HOUSEKEEPING PAD PROVIDED BY OTHERS. 8. PUMP IS PROVIDED WITH BOILER AND IS SHOWN FOR REFERENCE ONLY.													

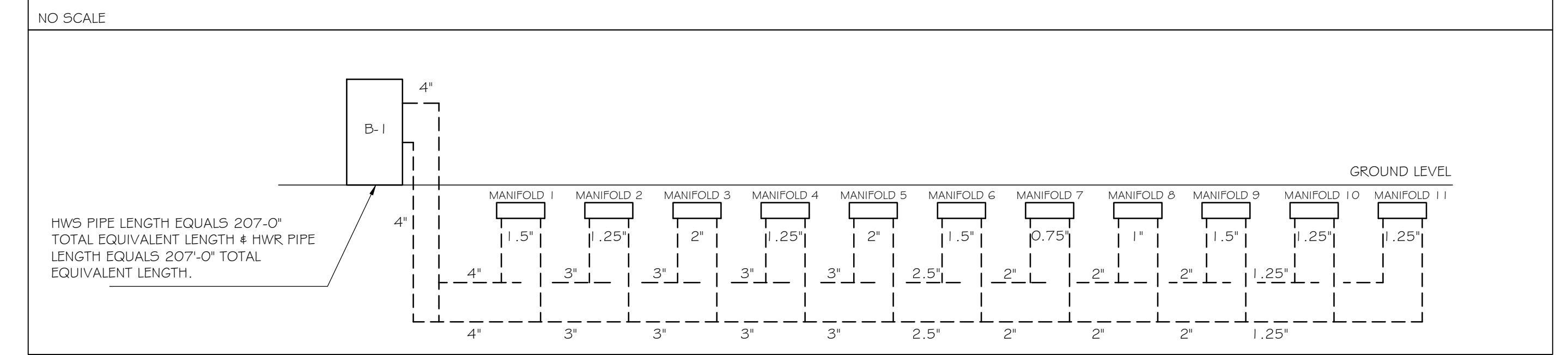
MANIFOLD SCHEDULE

MARK	BOILER	CIRCUITS	GPM	REQUIRED TEMP (°F)	SUPPLIED TEMP (°F)	MANIFOLD TYPE (FT)	MANIFOLD HEAD LOSS (FT)	CIRCUIT HEAD LOSS (FT)	S/R	TOTAL HEAD LOSS (FT)
MANIFOLD 1	B-1	6	14.17	115	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	5.2	10.2	0	15
MANIFOLD 2	B-1	5	10.98	116	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	3.9	10.1	0	14
MANIFOLD 3	B-1	12	31.36	115	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	13.9	13.6	0	28
MANIFOLD 4	B-1	4	10.45	116	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	5.1	13.0	0	18
MANIFOLD 5	B-1	11	26.83	117	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	10.7	14.2	0	25
MANIFOLD 6	B-1	7	17.80	116	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	6.7	14.1	0	21
MANIFOLD 7	B-1	1	1.90	112	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	2.7	7.5	0	10
MANIFOLD 8	B-1	2	3.01	123	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	1.9	3.9	0	6
MANIFOLD 9	B-1	8	10.81	115	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	6.0	13.0	0	19
MANIFOLD 10	B-1	4	6.59	117	121	1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA 1/2" AIAV 25-1/2" DIA	2.0	4.3	0	6
MANIFOLD 11	B-1	2	2.56	117	121	1				

NATURAL GAS RISER DIAGRAM



MANIFOLD PIPING DIAGRAM FOR BOILER 4



WARM SPRINGS
TOWNHOMES
KETCHUM, IDAHO

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
3FA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:
GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE, SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:
EGERS ASSOCIATES
569 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

GENERAL CONTRACTOR:

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW RESUBMISSION	7/10/2024
2	DESIGN REVIEW RESUBMISSION	3/14/2025
3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SNOW MELT DESIGN

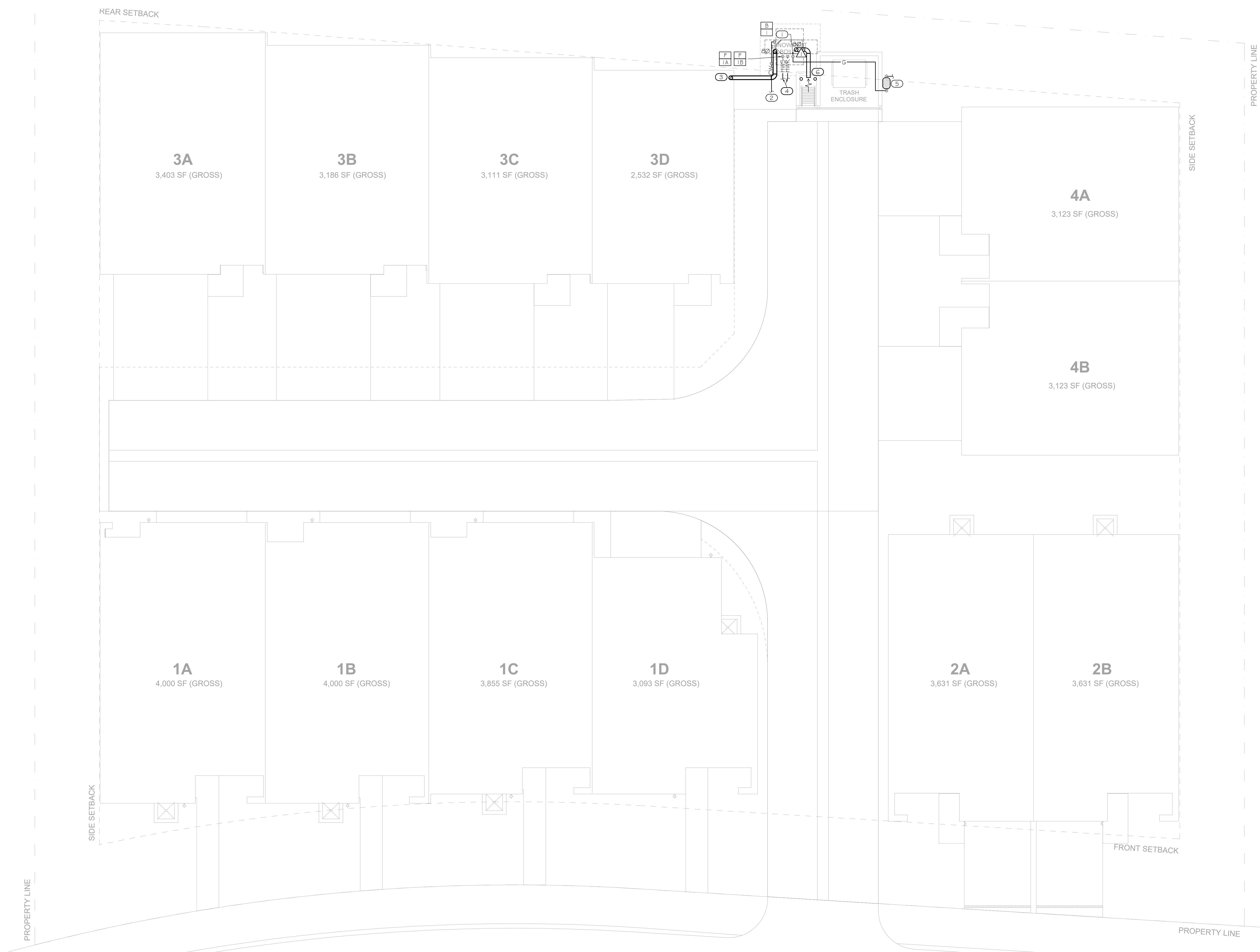
SEAL:
PROFESSIONAL ENGINEER
LICENCED
BY THE STATE OF IDAHO
RICHARD KENNEDY
#17628

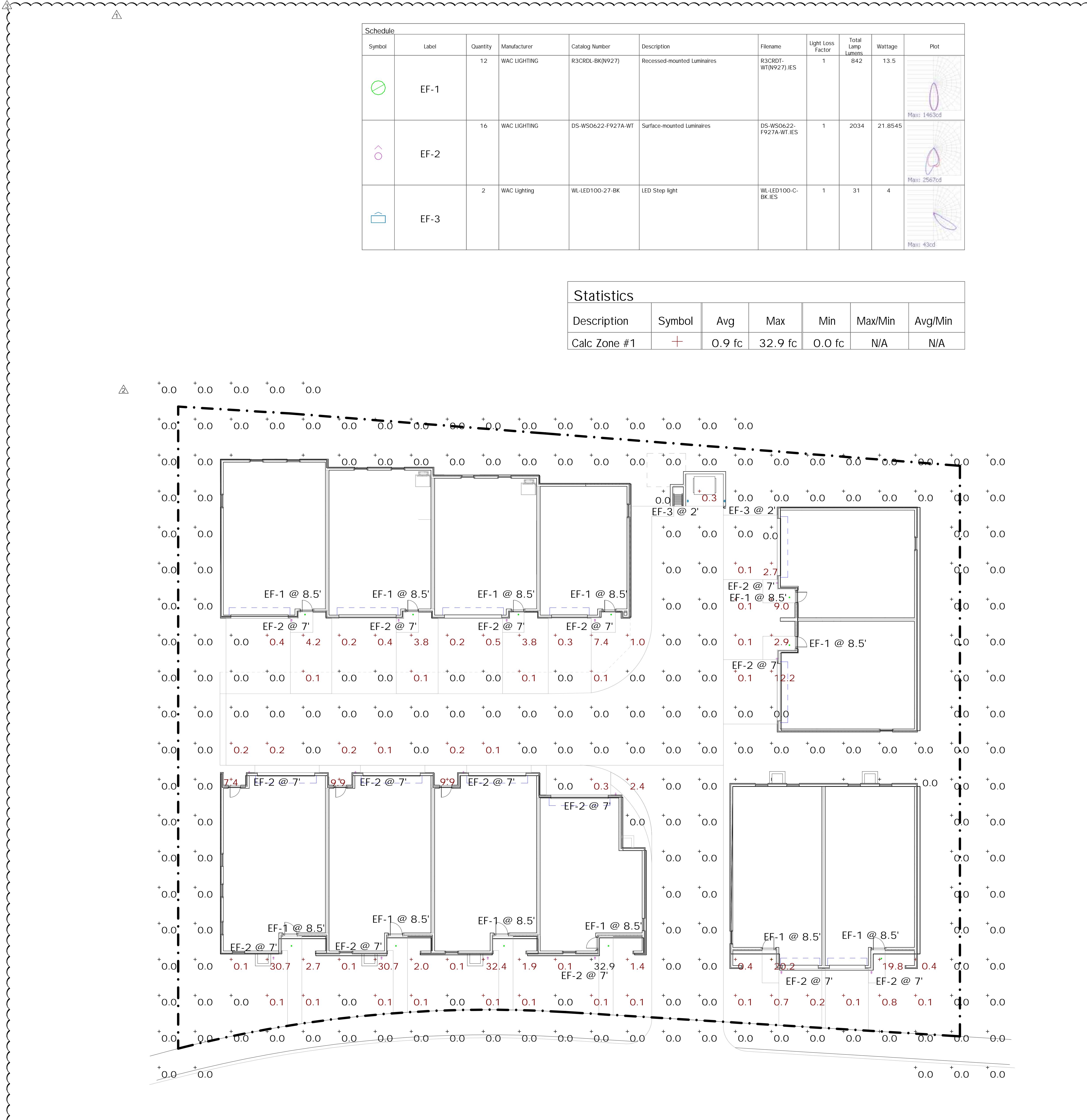


PROJECT NUMBER:
2000.01

DRAWING NUMBER:
M1.0

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1 FLOOR PLANS - LEVEL 1
3/32" = 1'-0"

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

Revision No.	Description	Date
1	Design Review Resubmission	11/5/2024
2	Design Review Review	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER 324050
ISSUE DATE 7/10/2024
ISSUE

DESIGN REVIEW
APPLICATION

SHEET TITLE SITE PHOTOMETRIC

SHEET NO.

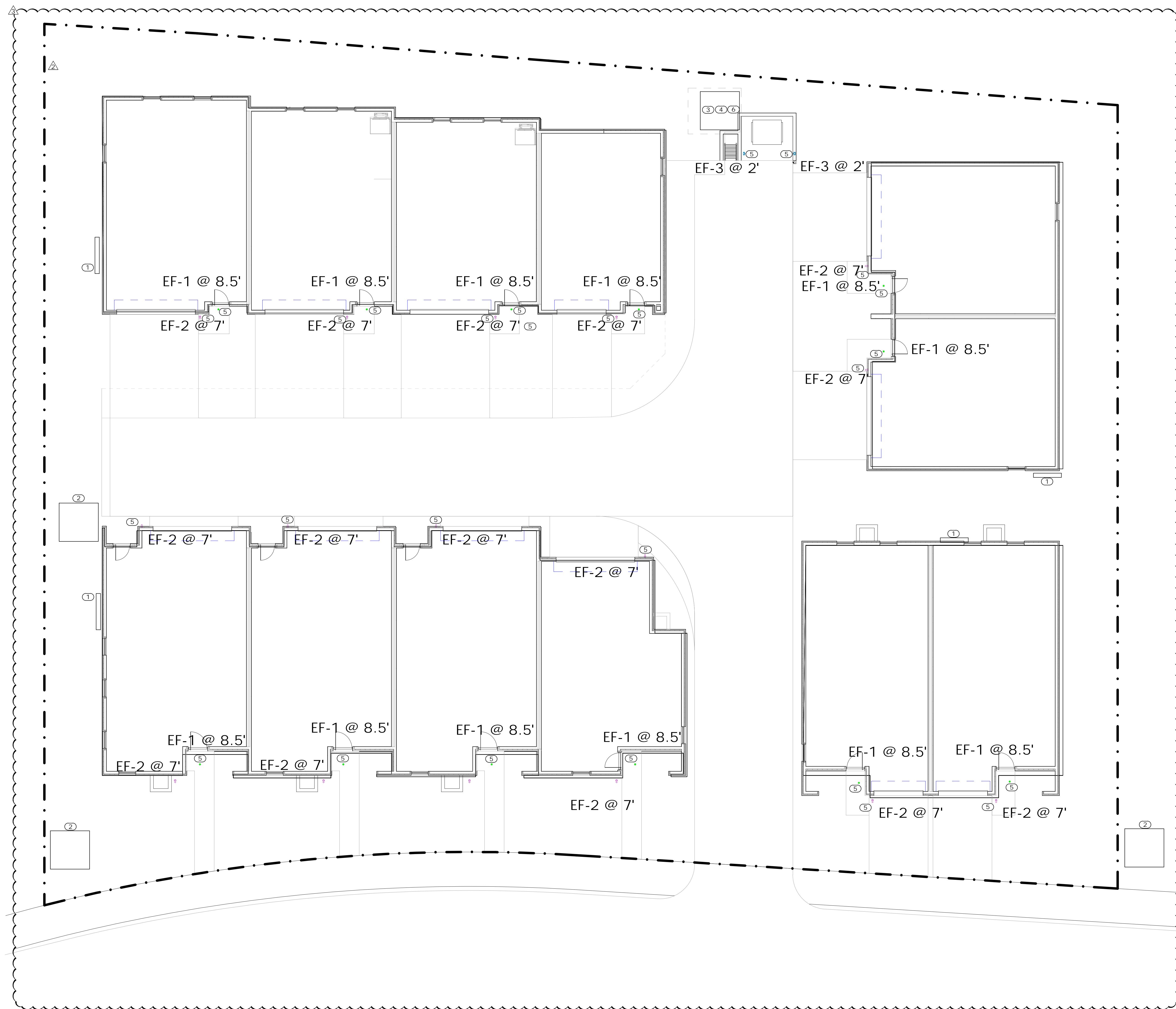
EO.10

TOWN STAMP

PROFICIENT
ENGINEERING
108 Ritchie Drive, Suite 300
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

PROFESSIONAL ENGINEER
LICENCED
17628
JOHN PAUL KENNY
2024-07-10

DISCIPLINE STAMP



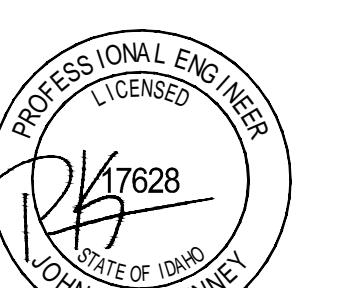
GENERAL NOTES

ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.

KEYNOTES

- ① PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- ② PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
- ③ PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- ④ PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- ⑤ PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINARIE CONTROL TO EXTERIOR LUMINAIRE. CIRCUIT FROM TENANT PANEL.
- ⑥ PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.

PROFICIENT
ENGINEERING
1400 16th Street, Suite 100
Denver, Colorado 80212
720.779.3556
PROJECT # 32406



WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION	No.	Description	Date
	1	Design Review Resubmission	11/5/2024
	2	Design Review Resubmission	3/14/2025
	3	Design Review Resubmission	6/25/2025

PROJECT NUMBER 324060
ISSUE DATE 7/10/2024

DESIGN REVIEW
APPLICATION

SITE PLAN

SHEET NO.

EO.11

TOWN STAMP

OCULARC 3.5

Adjustable Downlight - R3CRDT, R3CRDL



WAC LIGHTING Responsible Lighting®

Fixture Type: EF-1

Catalog Number: R3CRDL-BK-N927

Project: _____

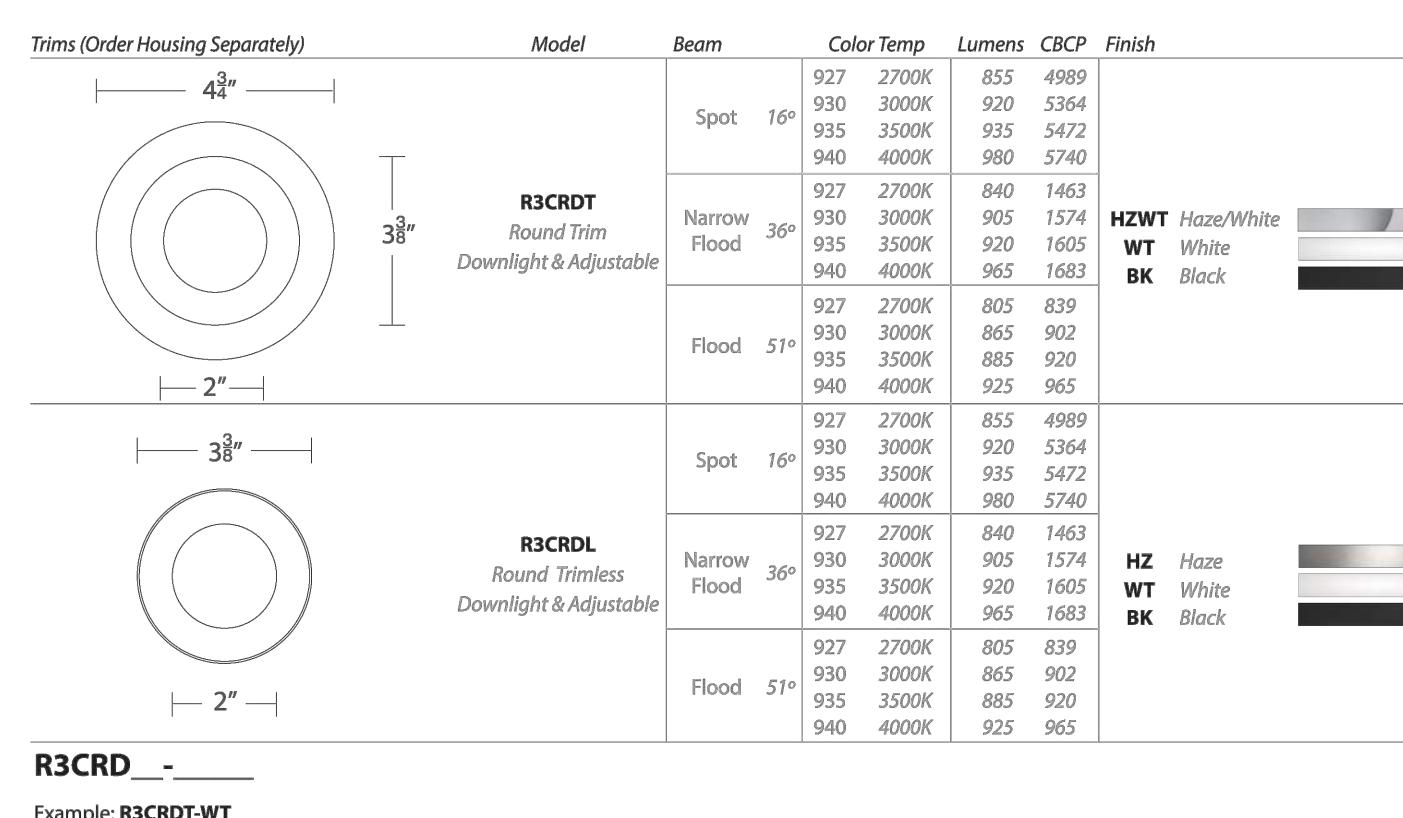
Location: _____

PRODUCT DESCRIPTION

OCULARC 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trims.

FEATURES

- 3 beam angle options included:
- Narrow flood beam film pre-installed, interchangeable flood beam film supplied in trim or spool
- IC-Rated, Airtight, New construction
- Adjustable LED light engine included with housing:
- Vertical Adjustment 0-30°, Horizontal Adjustment 365°
- Shallow housing under 4" depth
- 5 year warranty



R3CRD -

Example: R3CRDT-WT

waclighting.com

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Phone (800) 526-2588

Fax (800) 526-2585

Central Distribution Center
1600 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB. 2021 1

OCULARC 3.5

Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING Responsible Lighting®

Fixture Type: EF-1

Catalog Number: R3CRDL-BK-N927

Project: _____

Location: _____

SPECIFICATIONS

Construction: Die-cast aluminum trim and heat sink

Dimming: 100% - 1% TRAC, ELV
100% - 5% 0-10V

Input Power: 13.5W, 120V-277V 50/60Hz

Light Source: High output COB LED rated life of 50,000 hours.

Mounting: Retention clips firmly hold trim to housing. Cutout 4 1/4"

Overall thickness: 1 1/4" - 1"

Ceiling thickness: 1 1/4" - 1"

Standards: UL & cUL, Wet location listed, Energy Star® 2.0

Title 24 JAB-2016 Compliant

Operating Temperature: -4°F to 104°F (-20°C to 40°C)

FEATURES

- 3 beam angle options included:
- Narrow flood beam film pre-installed, interchangeable flood beam film supplied in trim or spool
- IC-Rated, Airtight, New construction
- Adjustable LED light engine included with housing:
- Vertical Adjustment 0-30°, Horizontal Adjustment 365°
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PRODUCT DESCRIPTION

OCULARC 3.5 offers performance features in a simple but versatile

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can be used for downlight, adjustable, pinhole, wall wash trims.

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IC-Rated, Airtight, New construction

Adjustable LED light engine included with housing:

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