



City of Ketchum
Planning & Building

IN RE:)
)
Warm Springs Townhomes) KETCHUM PLANNING AND ZONING COMMISSION
Design Review) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Application File Number: P24-063) DECISION
Date: January 20, 2026)
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PROJECT: Warm Springs Townhomes

APPLICATION TYPE: Design Review

FILE NUMBER: P24-063

PROPERTY OWNER: 108-110 Ritchie, LLC

REPRESENTATIVE: Zac Rockett, Ro Rockett Design (architect)

LOCATION: 108 Richie Dr (WARM SPRINGS VILL SUB 2ND REV LOT 3A BLK 4)

ZONING: Tourist 3000 (T-3000)

OVERLAY: None

RECORD OF PROCEEDINGS

Per Ketchum Municipal Code 17.96.010.C.1, new developments on lots totaling 11,000 square feet require a pre-application meeting with the Planning and Zoning Commission prior to application for final Design Review. The City of Ketchum received an application for Pre-Application Design Review for the project on the subject property on November 13, 2023, and deemed the application complete on November 17, 2023. A Pre-Application Design Review meeting with the Commission was held on April 23. The Planning and Building Department received the Design Review application on July 17, 2024. Following four rounds of review, the application was scheduled for a hearing with the Planning and Zoning Commission (the “Commission”) at their September 9, 2025 regular meeting.

A public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on August 20, 2025. The notice was published in the Idaho Mountain Express on August 20, 2025. A notice was posted on the project site on September 2,

2025, and the city's website on August 19, 2025. A public hearing was held on September 9, 2025 and continued to a date certain of October 14, 2025. A public hearing was held on October 14, 2025 and continued to a date certain of November 25, 2025. The applicant requested a further continuation to allow for additional time for revisions. At the November 25, 2025 hearing, the application was continued to a date certain of December 9, 2025. No information was presented and no deliberations occurred at the November 25, 2025 hearing. The Commission held their final meeting and and further continued to a date certain of December 9, 2025.

BACKGROUND

The applicant has submitted a Design Review application for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the "subject property"). The subject property is zoned Tourist 3000 (T-3000) and is vacant. The development proposes to utilize the city's density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. The townhouse units range in size from approximately 2,200 to 3,800 gross square feet. The units within the development are proposed to be accessed by a private road entering from Ritchie Dr. with two of the units being accessed directly from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment A to these findings.

FINDINGS OF FACT

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby find that the project meets the criteria (below) for a Design Review approval per Section 17.96.050.A of the Ketchum Municipal Code:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

The Commission finds that the application does not jeopardize the health, safety, and welfare of the public, conforms with the goals, policies and objectives of the comprehensive plan, and conforms to all applicable standards and criteria as set forth in Chapter 17.96 – *Design Review* and Title 17 – *Zoning Regulations*. Therefore, the Commission does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

CRITERIA 1 & 2: HEALTH/SAFETY/WELFARE & COMPREHENSIVE PLAN CONFORMANCE

The 2014 Comprehensive Plan designates the subject property's future land use as "Medium Density Residential". Appropriate uses in this designation include single-family, duplexes, and other attached-unit types such as townhouses. The plan also states that multi-family housing is appropriate in many locations. The proposed development includes six duplex units. The Commission finds the proposed development meets the intent of the future land use designation as proposed.



Chapter 4 of the comprehensive plan, Community Design and Neighborhoods, states that “Infill and development projects should be contextually appropriate to the neighborhood and development in which they will occur” (Policy CD-1.3). The plan also states that “Each new project should be well-designed and attractive and should complement surrounding land uses and existing neighborhood character” (Policy CD-1.4).

The surrounding Warm Springs neighborhood is characterized by a variety of two- and three-story multi-family and duplex developments. See the Figure to the left for the subject property in

yellow. The surrounding properties have an outline of the buildings. Where no building is shown, the property is either vacant or has a single-family residence. As shown in the image, most of the surrounding properties have a similar development pattern as the proposed development.

The proposed development features three story duplexes with high-quality materials primarily of wood and stone which is consistent with materials throughout the Warm Springs Area. Additionally, the development features pitched roofs, balconies, and extensive landscaping along Ritche Dr. These are all features that are consistent throughout multi-family developments in the Warm Springs Area. Therefore, the Commission finds that the development is well designed, attractive, and contextually appropriate.

CRITERIA 3: CONFORMANCE WITH APPLICABLE STANDARDS AND CRITERIA

FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area and Width
			Findings	Permitted: 8,000 square feet with minimum of 80-foot width Existing: Per Sheet A-002 35,799 SF lot area – 5,897 SF of private road and fire lane area = 29,902 SF
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR or Lot Coverage
			Findings	Permitted FAR: 0.5 Permitted FAR with Community Housing: 1.6 Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor

				<p>only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.</p> <p>Proposed: Per Sheet A-000 Gross Square Footage – 38,957 SF Total Lot Area – 29,902 SF FAR – 1.30 FAR</p> <p>Community Housing Mitigation Calculation: Permitted Gross Square Feet (0.5 FAR): 14,951 SF Proposed Gross Square Feet: 38,957 SF Increase Above Permitted FAR: 24,006 SF 20% of Increase: 4,801 SF Net Livable (15% Reduction): 4,081 SF</p> <p>Fee In-Lieu Proposed: 4,081 SF x \$550/SF = \$2,244,561</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Findings	<p>Permitted: Front (Ritchie/south): 15 feet Side (west): The greater of 1 foot per 3 feet in building height, or 5 feet. Side (east): The greater of 1 foot per 3 feet in building height, or 5 feet. Rear (north): The greater of 1 foot per 3 feet of building height, or 10 feet.</p> <p>Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>Proposed Building Height: Per Sheets A-300 through A-306</p>

				Building 1 – 35 ft Building 2 – 35 ft Building 3 – 35ft Building 4 – 35ft *11.6 ft of setback required on sides and rear Proposed: Per Sheet A-001 Front (Ritchie, south): 15 feet Side (west): 11 feet 8 inches Side (east): 11 feet 8 inches Rear (Alley/east): 11 feet 8 inches
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Findings	Permitted: 35 feet Proposed: Per Sheets A-300 through A-306 Building 1 – 35 ft Building 2 – 35 ft Building 3 – 35ft Building 4 – 35ft
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	Driveway
			Findings	Permitted: Not less than 12 feet and not more than 35% of street frontage or 30 feet (whichever is less) unless otherwise approved by the City Engineer. Proposed: Private roads curb cuts onto public roads are not subject to driveway width requirements. Building 2 has driveways directly onto Ritchie Dr which are 12 feet in width for a total of 24 feet. The total length of the property is approximately 219 ft. 35% of street frontage would be 77 ft, therefore the maximum width is 30 feet. A total of 24 feet is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	Parking Spaces
			Findings	Required: 1 space for units between 751 and 2,000 SF 2 spaces for units 2,001 SF and greater Proposed: (per Page 11) 12 units total 11 units over 2,001 SF = 22 parking spaces required 1 unit between 751 and 2,000 SF = 1 parking space required Total spaces required: 23 Total Spaces provided: 23 Bicycle Parking: Required: One bike rack (for two bikes) for every 4 required spaces. $23/4 = 6$ (5.75) racks are required.

				Proposed: None identified on the development plans, see condition of approval #10.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Open Site Area
			Findings	<p>Required: 35% site area excluding buildings, structures, parking areas, driveways, cul-de-sacs or streets - A maximum of five percent open site area may be used for private decks or patios and walkways subject to design review approval.</p> <p>Required Open Site Area: 12,523 SF (35%) total – of that total, a maximum of 626 SF can be private decks or patios and walkways</p> <p>Proposed: Per Sheet A-003 Total Lot area: 35,799 SF Total SF of Buildings, Streets, Driveways, and Dumpster = 22,864 SF 35,799 SF – 22,864 SF = 12,935 SF = 37% Total proposed patios and walkways = 622.25 SF = <5%</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.180	Minimum Residential Density
			Findings	<p>Required: 4 residential units per 10,000 SF of lot area Total Lot Area: 29,902 SF / 10,000 SF = 2.99 2.99 x 4 units = 12 units</p> <p>Proposed: 12 Units</p>
X			17.124.130	Fences/Hedges/Walls
			Findings	<p>Required: All retaining walls must meet the requirements of 17.124.130.E including:</p> <ul style="list-style-type: none"> Setback a minimum of one foot from property lines unless adjacent owner authorizes All retaining structures four feet or more in height that are visible from public rights of way shall be constructed or faced with materials that reduce the apparent mass of the retaining structure There is no maximum height limit in the Tourist 3000 zone district for retaining. <p>Proposed: Per sheets C1.0 and L2.0/L3.0, boulder retaining walls are proposed along the rear and side property lines to manage grade. The height of the retaining on the eastern side property line varies between 1-4 feet in height. The retaining proposed along the eastern property line is located more than 30 feet from the front lot line but is located within one foot of the property line (see condition #16). The western property line contains retaining that varies from 1-4 feet with the highest retaining toward the rear property line. The rear of the property includes retaining that varies from 4-6 feet with 7 ft retaining adjacent to the garbage and snow vault area. There is no</p>

				maximum height limit in the Tourist 3000 zone district for retaining. As shown on sheet L4.0, all retaining walls are to be constructed with natural boulders and have plantings in between grade changes to soften the appearance.
X			17.132.030	Exterior Lighting
			Findings	<p>Required: All exterior lighting shall meet dark sky requirements including:</p> <ul style="list-style-type: none"> • Maximum color temperature of 2700 Kelvins • Fixtures must be dark sky compliant and meet the definition of full cutoff fixture • Zero foot candles measured along all property lines <p>Proposed: Per Sheets E0.10, E0.11, and E0.12</p> <ul style="list-style-type: none"> • The development shows zero-foot candles at all property lines • All proposed fixtures are full cut-off fixtures • All fixtures are factory equipped for 2700 Kelvins, see condition of approval #15

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #6
<p>Finding: The proposed development accesses directly off of Ritchie Dr via a private road for the majority of the units, except the two units contained within Building 2. The two units in building two are access with private driveways directly off of Ritchie Dr. The City Engineer has conducted a review of the development plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #6. The developer is responsible for the cost of all improvements related to the development. No funds are supplied by the city for the development.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #6
<p>Finding: As noted above, the development proposes a private street to access the development. The city engineer and the fire department have reviewed the proposed street layout and dimensions and have confirmed that the road is adequate to serve the residences and provide adequate access for fire and emergency vehicles. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final</p>	

review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #6.

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the T zone district, sidewalks are required and included in the development plans. Pursuant to KMC Section 12.04.030.M.6 the applicant has proposed to install a new 7-foot-wide sidewalk along Ritchie Dr.	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
Finding: The applicant has proposed installing a new 7-foot-wide, concrete sidewalk along Ritchie Dr. The City Engineer and Streets Department have conducted a review of the development plans and believe the proposed right-of-way improvements comply with city standards. No waiver for sidewalk width was approved by the city engineer.	

17.96.060.B.3 - Sidewalks	Conformance
<i>Sidewalks may be waived if one of the following criteria is met:</i> a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i>	N/A
Finding: N/A. Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
Finding: The proposed sidewalk improvements are equal to the length of the subject property's frontage along Ritchie Dr as shown on Sheet C1.00 of the development plans.	

17.96.060.B.5 – Sidewalks	Conformance
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<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES
Finding: Sidewalks adjacent to the subject property do not exist but are planned. To the north are the Warm Springs Vilas Condos, with the Sawtooth Condos to the south along Ritchie Dr. Neither condominium complexes have sidewalks, however, sidewalk improvements are included in the city's sidewalk plan for future construction by the city. Sidewalks do exist on the south side of Ritchie Dr between the subject property and Jane Lane. In addition, as shown on Sheet C1.00, individual walkways are planned for each unit along Ritchie Dr and from the private road to each unit.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
Finding: N/A. The applicant has not requested relief from the requirement to construct sidewalks nor has the city granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #6
Finding: As shown on Sheet C1.00, all stormwater from development surfaces are collected within a series of catch basins and drywells contained on the subject property. The private road is designed to ensure that all surface water from the road drains to catch basins into two on-site drywells. Additionally, there is a catch basin and drywell within the city right-of-way to manage drainage from the sidewalk and street. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #6
Finding: As shown on Sheet C1.00, the project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Ritchie Dr. In	

addition, drainage facilities are accounted for along the private road internal to the development. All drainage improvements are required to be constructed to comply with city standards. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #6
Finding: The City Engineer has reviewed the preliminary drainage plans and determined that the proposed improvements are sufficient, however, a final review of all drainage improvements will be conducted during the building permit review stage. The City Engineer may require additional documentation to verify drainage improvement adequacy at that time. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #6
Finding: The City Engineer and Streets Department have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #6, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the development.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES Condition #11

Finding: The civil and landscape plans both show proposed locations of transformers to serve the development. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #11 states that the development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	YES Condition #13

Finding: At the time of this application, it has not been determined if fiber optic services exist adjacent to the subject property. Condition of approval #13 states that prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES

Finding: The materials palette is shown on Sheet A-500. All buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for fascia and accents, and darker wood and metal accents for the roof, windows, and trim. The Warm Springs Base Area neighborhood consists of multi-family developments featuring warm brown of varying shades on wood siding being the predominant material. Developments adjacent to the proposed development have varying degrees of darkness in the brown they feature. Some developments include stone as an accent material in contrast to the predominant material of brown wood. The tone of the wood with the stone accent proposed for the development is complementary with the townscape, surrounding neighborhood and adjoining structures.

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A

Finding: The subject property is vacant and does not contain a historical or cultural landmark on the city of Ketchum's Historical Building/Site List, therefore this standard does not apply.

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: As noted above, all buildings have access to the new 7-foot sidewalk along Ritchie Dr from individual walkways, driveways, or the private road. Each residential unit has a separate front door entrance from the garage that is oriented to the street.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by the use of architectural features.</i>	YES
Finding: The building character is consistent with many other multi-family condominium buildings in the neighborhood which include architectural features such as pitched roofs with exposed beam rafters, decks/windows that project and recess from the building façade, window detailing, and individual unit entrances, and material differentiation.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: No signage is proposed with the development aside from addressing. The materials palette is shown on Sheet A-500. All buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for fascia and accents, and darker wood and metal accents for the roof, windows, and trim. The materials and color palette are continuous throughout the development.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: The development proposes a perimeter fence along three sides of the subject property. Fence materials and details are shown on Sheet A-005. The fencing material is a wood slat that matches the wood siding proposed on the buildings with metal structure that matches the metal detailing color of the windows/trim. The development also proposes natural boulder retaining walls with plantings along the rear property line to manage grade changes. Natural boulder walls are complementary to the building and the overall landscape plan for the development.	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: There are six buildings within the proposed development, each one with certain aspects of the building visible from public vantage points. Elevations of the buildings are included in Sheets A-300 through A-306. Perspectives from the street are provided on Sheets A-500 through A-505. All buildings have pitched roofs with modest overhangs that do not extend past the cantilevered decks below. The roof detailing also includes exposed beams which is a common architectural feature in the area that softens any sharpness created by the roof overhang. The cantilevered decks, although repetitive along the façades, occur at a separation that accentuates the individual units. The glazing of the second floor is appropriate for the scale of the façade. There are recessions on the ground floor for entrances which also create interest at the street level. The initial proposal for the project included four buildings instead of six, two of which were very long stretching more than 100 feet in length. The Commission did not believe the two longer buildings to provide enough undulation and relief to break up the bulk of the structures and requested the applicant evaluate breaking the buildings from one large structure into two smaller ones.</p> <p>The applicant revised the plans to break the two larger buildings into smaller structures. The Commission finds that the separation of the buildings adds a dimension to the project by providing a view corridor between buildings to the rest of the development and adequately breaks the façade of the previous large buildings. The building code requires a minimum five-foot separation between structures; however, the applicant proposes 10 feet of separation between buildings. The Commission finds that the proposed 10+ foot separation of structures allows for a clear and distinct separation, shadow casting on adjacent structures, and a clear break in the roof lines. The building separation also creates the appearance that the buildings are staggered when viewed from certain angles.</p> <p>Therefore, the Commission finds that the proposed design adequately reduces the appearance of bulk and flatness by providing relief between the structures.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The development has street frontage along Ritchie Dr. and internal along the private road. For buildings 1 and 2 that front Ritchie, the buildings are designed with front door entrances directly from the street with individual walkways from the pedestrian sidewalk to the front doors. Similar treatments are proposed with Buildings 3 and 4 that front the internal private road. The buildings are designed with front door entrances from the street, in addition to garage entrances. Additionally, outdoor spaces such as decks and patios are oriented toward Ritchie Dr and the private road.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES

Finding: The subject property is not accessed by an alley. However, as shown on the development plans, there is a consolidated dumpster that serves all 12 units. The garbage dumpster is enclosed and located at the rear of the property between buildings 3 and 4. Details of the garbage enclosure can be found on Sheets A-005. No satellite receivers are proposed.

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: Sheet A-104 of the development plans shows the roof plan for the development. As shown, two rows of snow fencing is called for on all roofs with gutters and downspouts at all roof eaves to manage roof drainage. None of the roofs or projected decks overhang onto sidewalks where pedestrians gather and setback requirements are adequate for the accumulation of snow if and when roofs need to be cleared during the winter.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
Finding: There are no equestrian access points or trail easements adjacent to the property. The Warm Springs regional bike path is accessed by taking Ritchie Dr. to Skiway Dr and on to Warm Springs Rd. As noted above, there are no pedestrian sidewalks to the north or south constructed. However, these improvements are planned for in the city's sidewalk plan and there is a sidewalk that exists on the south side of Ritchie Dr between the subject property and Jane Lane.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. No awnings are proposed to extend over the property line.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Access to the project is provided along Ritchie Dr for vehicles, bicycles, and pedestrians. Vehicular access onto Ritchie Dr. is consolidated on the private road and two private driveways. Front setbacks allow for adequate site distance for vehicles and bicycles exiting the development from the private road. Pedestrians walking to the Warm Springs base area will cross Ritchie Dr. to the south side to access sidewalks into the base area.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
Finding: The city engineer reviewed the driveway entrances in relationship to the private road access to the overall development and determined that the 20 feet minimum distance does not apply as the private road functions more like a private driveway with access to only this development, rather than a residential street which serves residences along the street and through traffic from other origins and destinations. Because parking is not permitted within the driveways, site visibility requirements are met and congestion concerns do not exist due to traffic volumes on Ritchie Dr.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES Condition #12
Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Ritchie Dr and the private road serving the development. The private road and driveways are snow melted to ensure adequate access during winter months. Condition of approval #12 addresses snow removal in the grass-crete areas to ensure that access for fire and emergency services remain unobstructed during winter months.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES Condition #12
Finding: As shown in the snowmelt diagram on Sheet A-004. The private road, driveways, and walkways are proposed to be snow melted. Therefore, no snow storage is required for those elements. There is 638 SF of grass-crete, or grass block and gravel that is required space for fire and emergency service vehicles. This area will remain open and unobstructed during the summer months, however, the grass-crete area is not snow-melted. The development proposes to hand shovel those areas to ensure they remain unobstructed. The snow storage areas for this snow is shown as being landscaped with trees and shrubs. Due to the size of the grass-crete areas, the proposed snow storage should be adequate. Condition of approval #12 states that the grass-crete areas shall remain clear of snow at all times. In the event snow cannot be accommodated by designated snow storage areas, snow shall be hauled off site to ensure unobstructed access for fire and emergency vehicles.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES

	Condition #12
Finding: On-site snow storage areas are designated on Sheet A-004. Should the snow storage areas prove to be inadequate during large snow years, snow shall be hauled off-site per condition of approval #12.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: As shown on Sheet A-004, the smallest snow storage area is 7.5 ft x 7.5 ft (56 square feet). All other snow storage areas are larger in size. All snow storage areas meet the minimum requirements of this standard.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #12
Finding: As noted above, all areas are proposed to be snow melted except the grass-crete areas. Per condition of approval #12, snow shall be hauled off-site if proposed snow storage areas are inadequate.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES Condition #7
Finding: The development project has a comprehensive landscape plan proposed with internal and external landscaping. See Sheets L3.0, L3.2, L4.0 for the landscape plan, planting plan, and sample species. The landscape plan has not been updated to reflect the revised design of six buildings with the landscaped area in between. Condition of approval #7 notes that the landscape plan shall be revised prior to building permit application.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The landscape plan for the development implements many species and planting patterns consistent with the neighborhood. The Warm Springs Base Area is known for having large mature deciduous and evergreen trees fronting streets with attached and detached sidewalks. The proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received during the Pre-Application Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is	

predominantly shrubs with a few sparse trees. All proposed species are readily adaptable to the Ketchum climate and are found throughout the Warm Springs Base Area.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES Condition #8 and 9
<p>Finding: The planting plan proposed for the development includes general species labels of moderately and somewhat drought tolerant species. The areas between the buildings will get sun exposure at certain times of the day and during certain times of the year. However, plant species selection will need to include drought tolerant and very hardy species to endure longer periods of shade. Commission finds that the areas between the buildings provide an opportunity for placement of mechanical equipment rather than concentrating mechanical equipment to the perimeter of the property. Staff recommends the following conditions of approval to address how the space in between the buildings should be treated:</p> <ul style="list-style-type: none"> • The landscape plan shall be revised to reflect the updated building layout and landscape treatments proposed for the space between the structures. Additional shrubs and trees shall be provided at the ends of each of the spaces to maximize sun exposure. Ground cover may include the use of limited rock or wood mulch but shall include grasses at each end of the spaces to smoothly transition to the rest of the landscaped areas. • The applicant shall evaluate opportunities to locate ground mounted mechanical systems between buildings where feasible to minimize the placement of mechanical systems on the perimeter of the property. 	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<p>Finding: As noted above, the proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received during the Pre-Application Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is predominantly shrubs with a few sparse trees. Public courtyards are not included in the development as the interior of the development is accessible by a private road, not public. However, there are small pockets of programmed landscaping between buildings.</p>	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public</i>	YES

<i>amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	
<p>Finding: Sidewalks are required for the development; however, public amenities are not necessary for the development as the development is not located near the base area or along a frequently traveled pedestrian pathway that would warrant the addition of benches, trash receptacles, kiosks or bus shelters. In addition, there are no bus stops adjacent to the development. Should the city choose to install public amenities in the future as part of the comprehensive sidewalk plan, the 7-foot sidewalk would have some space for certain improvements.</p>	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	YES
<p>Finding: The development plans include one below grade encroachment, the snow melt vault on the north end of the property adjacent to the garbage enclosure. As shown on Sheet A-003, the enclosure is within the rear setback of the development. As shown on Sheet A-005, the portion of the vault within the setback is completed below grade. The landscape plan on Sheet L3.0 shows the minimum depth of soil for landscape cover of the vault. The below grade encroachment meets the requirements outlined in KMC 17.128.020.K as there is no riparian setback, the construction does not encroach onto adjacent properties, there are no conflicting easements or sensitive areas, and it is located completely below grade. Finally, the below grade encroachment is located deep enough to allow for landscaping above the encroachment that is consistent and compatible with the rest of the development’s proposed landscaping. The city engineer has reviewed the below grade encroachment and verified that there are no impediments to proper drainage with the encroachment. The snow melt vault does have a portion that is open air with ladder access to the boiler room. The development proposed to snow melt the floor of the vault to ensure proper drainage and to maintain adequate access to the system during winter months.</p>	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
<p>Finding: N/A. The subject property is not adjacent to a river or other water body, therefore no riparian setback exists.</p>	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are

identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.

2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Design Review Application File No. P24-063 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P24-063 this Tuesday, January 20, 2026 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated December 9, 2025 included as Exhibit A, and the information presented and approved at the September 9, 2025, October 14, 2025, and December 9, 2025 Planning and Zoning Commission meetings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR pursuant to KMC 17.124.040, a total community housing contribution of 4,081 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize how the community housing contribution will be met shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.
4. For driveways less than 18 feet in length, "No Parking" signs shall be installed on or adjacent to every driveway prior to certificate of occupancy for each building.
5. At the time of building permit, the applicant shall submit revised exterior lighting and snowmelt design plans that reflect the revised site layout with six separate buildings for review and approval by the Planning Department.
6. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department. Revised civil plans shall reflect the updated building layout of six separate buildings.

7. Revised landscape plans that reflect the revised site layout with six separate buildings shall be provided for review and approval by the Planning Department prior to building permit issuance.
8. The landscape plan shall be revised to reflect the updated building layout and landscape treatments proposed for the space between the structures. Additional shrubs and trees shall be provided at the ends of each of the spaces to maximize sun exposure. Ground cover may include the use of limited rock or wood mulch but shall include grasses at each end of the spaces to smoothly transition to the rest of the landscaped areas.
9. The applicant shall evaluate opportunities to locate ground-mounted mechanical systems between buildings where it is feasible to minimize the placement of mechanical systems on the perimeter of the property.
10. Pursuant to KMC 17.125.060, the development shall provide a minimum of 6 bicycle racks, each serving two bicycles. The location and design shall be submitted, reviewed, and approved by the Planning Department prior to issuance of the first building permit.
11. The development shall utilize internal transformer locations for the development first. Street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view. Final transformer locations and screening proposals shall be reviewed and approved by the Planning Department prior to installation.
12. The grass-crete areas shall remain clear of snow at all times. In the event snow storage cannot be accommodated by designated snow storage areas, snow shall be hauled off site to always ensure unobstructed access for fire and emergency vehicles.
13. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.
14. A preliminary plat application shall be submitted prior to building permit issuance. If the development is to be constructed in multiple phases, the preliminary plat application must include a request for a phased development agreement per KMC 16.04.110.
15. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
16. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
17. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Administrative Appeal Notice: Applicant has the opportunity, pursuant to Ketchum City Code 17.20.030(F) and 17.144, to administratively appeal this Decision to the City Council.

Regulatory Taking Analysis Notice: Applicant has the opportunity, pursuant to Idaho Code 67-8003, to submit a written request for a regulatory taking analysis of this Decision.

Findings of Fact **adopted** this 20th day of January 2026.

Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum

ATTACHMENT A:

Project Plans

WARM SPRINGS TOWNHOMES

DESIGN REVIEW APPLICATION / DECEMBER 9, 2025

DESCRIPTION
3-4 STORY MULTI-FAMILY RESIDENCE WITH 12 UNITS (4 BUILDINGS) WITH 23 INTERIOR, PRIVATE GARAGE PARKING SPACES. SCOPE OF WORK INCLUDES NEW CONSTRUCTION OF FOUNDATION, ERECTION OF STRUCTURE, CIVIL, LANDSCAPING, HARDSCAPING AND FINISHES.

PROJECT ADDRESS
108 / 110 RITCHIE DRIVE KETCHUM, ID 83340

APPLICABLE CODES
ALL CONSTRUCTION SHALL COMPLY WITH:
2018 INTERNATIONAL BUILDING CODE**
2018 INTERNATIONAL RESIDENTIAL CODE*
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS*
2018 INTERNATIONAL ENERGY CONSERVATION CODE*
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
TITLE 15 KETCHUM MUNICIPAL CODE
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
ALL APPLICABLE COUNTY ORDINANCES

*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.

JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.

PROJECT DATA
LOT AREA: 35,799 SF
ZONING DESIGNATION: T-3000 (TOURIST ZONE)
OCCUPANCY: MULTI-FAMILY (PRIVATE CONDOS)
CONSTRUCTION TYPE: TYPE V
CLIMATE ZONE: 6

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.
2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.
6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO CONFORM TO THESE STANDARDS.



WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

All designs, ideas, arrangements and plans indicated by these drawings are the property and copyright of the Architect and shall neither be used on any other work nor be disclosed to any other person for any use whatsoever without written permission.

RO|ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.

PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
COVER SHEET

SEAL:

PROJECT NUMBER:
2305

DRAWING NUMBER:

G-000

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1 NTS PROJECT DESCRIPTION

3 NTS PROJECT NOTES

3 NTS PROJECT LOCATION

OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
500 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
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TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
500 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

[illegible]

PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

SEAL:

DRAWING NUMBER:

A-000

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OWNER:

BUILDING ARCHITECT:

STRUCTURAL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

[illegible]

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SEAL: _____

DRAWING NUMBER:

A-001

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ZONING

T-3000 ZONING DISTRICT

FAR OF 1.6 MAX, WITH INCLUSIONARY HOUSING INCENTIVE

SETBACKS

FRONT: 15'-0"

SIDE: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

REAR: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

THE PROPOSED DEVELOPMENT HAS A 15' SETBACK ALONG RITCHIE DRIVE, AND 11'-8" SIDE AND REAR AS REQUIRED BY 35'-0" BLDG HEIGHTS.

HEIGHT LIMIT

FOR ROOF PITCHES 5:12 AND UNDER = 35'-0"

CODE REQUIREMENT: PARKING

17.125.040 - OFF STREET PARKING AND LOADING CALCULATIONS
A. COMPUTATIONAL RULES. THE FOLLOWING RULES APPLY
WHEN COMPUTING OFF STREET PARKING AND LOADING REQ.
3. AREA MEASUREMENTS.

-UNLESS OTHERWISE SPECIFICALLY NOTED, RESIDENTIAL PARKING REQUIREMENTS FOR ALL SQUARE FOOTAGE BASED PARKING AND LOADING STANDARDS SHALL BE COMPUTED ON THE INTERIOR SQUARE FOOTAGE OF EACH RESIDENTIAL UNIT, MEASURED BETWEEN THE INTERIOR WALLS OF THE UNIT.

2. RESIDENTIAL MULTIFAMILY DWELLING WITHIN THE COMMUNITY CORE (CC) DISTRICT AND THE TOURIST (T), TOURIST 3000 (T-3000), AND TOURIST 4000 (T-4000)
-UNITS 751 SF TO 2,000 SF - 1 PARKING SPACE
-UNITS 2,001 SF AND ABOVE - 2 PARKING SPACES

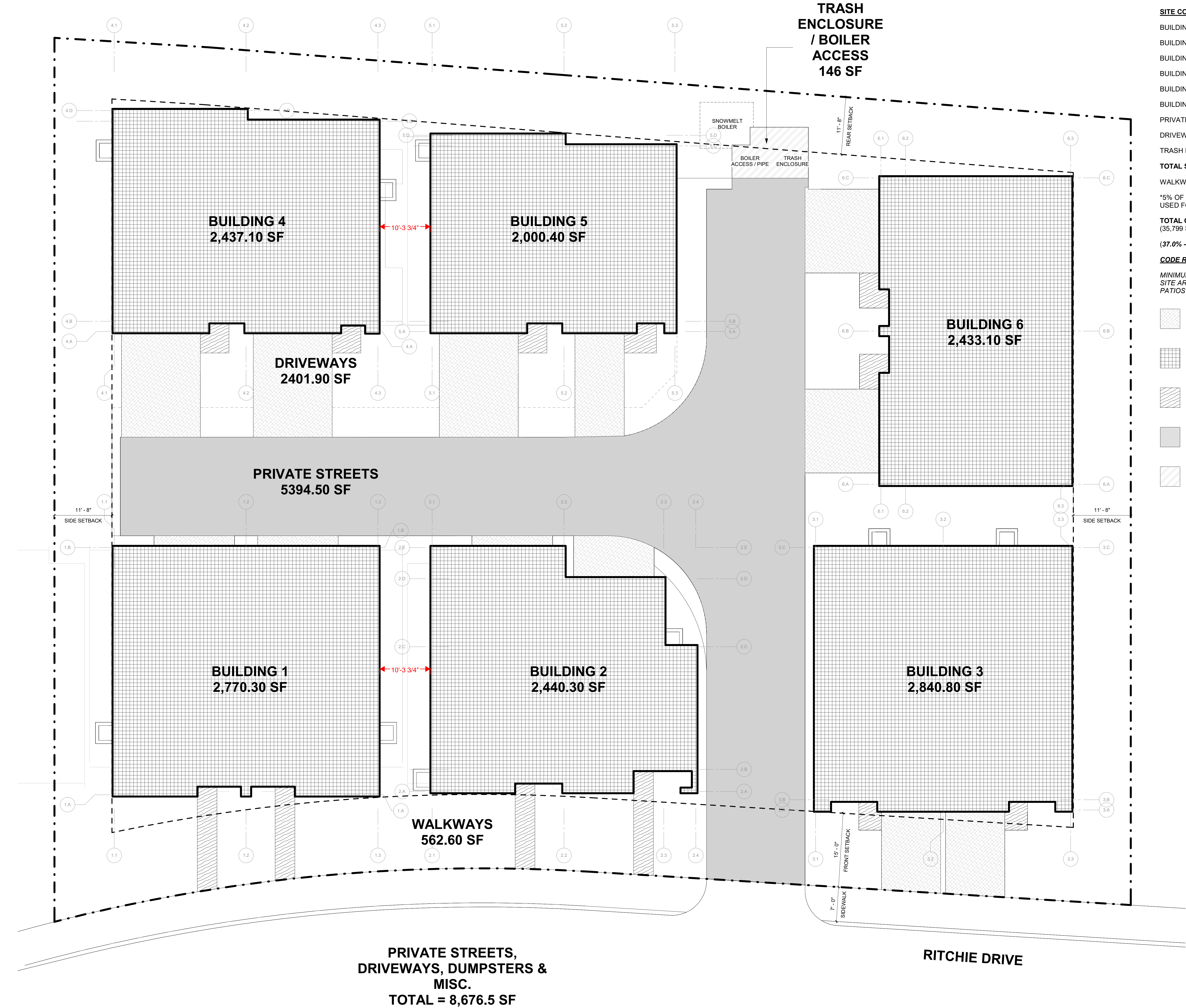
THE PROPOSED DEVELOPMENT INCLUDES 23 TOTAL INTERIOR PARKING SPACES.

UNIT 1A NET SF = 4,061 SF (2 PARKING SPACES)
UNIT 1B NET SF = 4,061 SF (2 PARKING SPACES)
UNIT 2A NET SF = 3,998 SF (2 PARKING SPACES)
UNIT 2B NET SF = 3,136 SF (2 PARKING SPACES)
UNIT 3A NET SF = 4,237 SF (2 PARKING SPACES)
UNIT 3B NET SF = 4,237 SF (2 PARKING SPACES)
UNIT 4A NET SF = 2,514 SF (2 PARKING SPACES)
UNIT 4B NET SF = 2,247 SF (2 PARKING SPACES)
UNIT 5A NET SF = 2,160 SF (2 PARKING SPACES)
UNIT 5B NET SF = 1,743 SF (1 PARKING SPACE)
UNIT 6A NET SF = 2,412 SF (2 PARKING SPACES)
UNIT 6B NET SF = 2,412 SF (2 PARKING SPACES)

CODE REQUIREMENT: SIDEWALKS

12.04.030 DESIGN CRITERIA. M. SIDEWALKS, CURB AND GUTTER. 6. SIDEWALKS SHALL BE FIVE FEET WIDE, EXCEPT SPECIFICALLY AS FOLLOWS, IN ORDER TO ACCOMMODATE HEAVY PEDESTRIAN CIRCULATION: SUN VALLEY ROAD AND MAIN STREET WITHIN THE COMMUNITY CORE ZONING DISTRICT (CC), AS DEFINED IN TITLE 17 OF THIS CODE, SHALL BE EIGHT FEET IN WIDTH; AND SKYWAY DRIVE, LLOYD DRIVE, GATES ROAD, RITCHIE DRIVE AND HOWARD DRIVE SHALL BE SEVEN FEET IN WIDTH, UNLESS OTHERWISE REQUIRED OR APPROVED BY THE CITY COUNCIL.

THE PROPOSED DEVELOPMENT INCLUDES A 7'-0" WIDE SIDEWALK ALONG THE LOT LINE THAT IS ADJACENT TO RITCHE DRIVE WITHIN THE R.O.W.



LOT AREA:	35,799.00 SF
OPEN SPACE REQ (35% LOT AREA):	12,529.65 SF
SITE COVERAGE AREAS:	
BUILDING 1:	2,770.30 SF
BUILDING 2:	2,440.30 SF
BUILDING 3:	2,840.80 SF
BUILDING 4:	2,437.10 SF
BUILDING 5:	2,000.40 SF
BUILDING 6:	2,433.10 SF
PRIVATE STREETS:	5,394.50 SF
DRIVEWAYS:	2,401.90 SF
TRASH ENCLOSURE / BOILER ACCESS:	146.0 SF
TOTAL SITE COVERAGE:	22,864.40 SF
WALKWAY AREA:	562.60 SF*

*5% OF REQ OPEN SPACE (12,529.65 SF)
USED FOR WALKWAYS ALLOWABLE = 626.48 SF

TOTAL OPEN SPACE AREA: **12,934.60 SF**
(35,799 SF LOT AREA - 22,864.40 SF SITE COVERAGE)

(37.0% - COMPLIANT, 404.95 SF SURPLUS)

CODE REQUIREMENT: OPEN SPACE

MINIMUM OPEN SPACE: 35% (A MAXIMUM OF 5% OPEN SITE AREA MAY BE USED FOR PRIVATE DECKS OR PATIOS AND WALKWAYS SUBJECT TO DESIGN REVIEW).

- DRIVEWAYS
- BUILDINGS
- WALKWAYS
- PRIVATE STREETS
- TRASH ENCLOSURE

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:	108-110 RITCHIE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 TEL: 603.801.0419
BUILDING ARCHITECT:	RO ROCKETT DESIGN 1031 W. MANCHESTER BLVD. UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014
STRUCTURAL ENGINEER:	ZFA STRUCTURAL ENGINEERS 601 MONTGOMERY STREET SUITE 1450 SAN FRANCISCO, CA 94111 TEL: 415.243.0991
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:	PROFICIENT ENGINEERING 4704 HARLAN STREET SUITE 620 DENVER, CO 80212 TEL: 720.779.3596
CIVIL ENGINEER:	GALENA BENCHMARK ASSOCIATES 100 BELL DRIVE SUITE C KETCHUM, ID 83340 TEL: 208.725.9512
LANDSCAPE ARCHITECT:	EGGERS ASSOCIATES 560 NORTH 2ND AVENUE KETCHUM, ID 83340 TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - OPEN SPACE

SEAL:

PROJECT NUMBER:
2305

DRAWING NUMBER:
A-003

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - FIRE ACCESS & SNOWMELT

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-004

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CODE REQUIREMENT: FIRE ACCESS

APPENDIX D OF 2018 IFC, SECTION D105 - AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 - WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

D105.2 - AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.

D105.3 - ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED NOT LESS THAN 15 FEET AND NOT GREATER THAN 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

THE PROPOSED DEVELOPMENT HAS A 20 FOOT WIDE PRIVATE ROAD THAT WOULD PROVIDE ACCESS TO THE INTERIOR OF THE SITE AND A DESIGNATED 20 FOOT WIDE PORTION OF THE ROAD FOR AERIAL FIRE ACCESS TO BUILDING 3 AND 4. ADDITIONALLY, BUILDING 3 AND 4 ARE SETBACK 15 FEET FROM THE EDGE OF THE FIRE ACCESS ROAD.



CODE REQUIREMENT: SNOWMELT

SNOWMELT

SNOW STORAGE

GRASS-CRETE PAVERS

H. SNOW STORAGE

1 - SNOW STORAGE AREAS SHALL NOT BE LESS THAN THIRTY PERCENT (30%) OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.

2 - SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.

3 - A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANY DIMENSION LESS THAN FIVE FEET (5') AND SHALL BE A MINIMUM OF TWENTY FIVE SQUARE FEET (25 SF)

4 - IN LIEU OF PROVIDING SNOW STORAGE AREAS, SNOWMELT AND HAULING OF SNOW MAY BE ALLOWED.

THE PROPOSED DEVELOPMENT WILL PROVIDE SITE SNOWMELT FOR ALL DRIVEWAYS, PATHWAYS, AND PRIVATE ROADS. SNOWMELT BOILER EQUIPMENT WILL BE SUBGRADE, LOCATED AT THE END OF THE PRIVATE ROAD AND SCREENED FROM VIEW OF NEIGHBORS. SEE MEP FOR DETAILED SNOWMELT PLANS.

THERE IS 638 SF OF GRASS-CRETE SCHEDULED FOR FIRE ACCESS THAT WILL NOT HAVE SNOWMELT. THESE AREAS WILL BE SHOVELED AND AN ADDITIONAL 966 SF OF SNOW STORAGE HAS BEEN DESIGNATED ON SITE.



SCREENED TRASH ENCLOSURE WITH SNOWMELT BOILER ROOM. BOILER LOCATED FULLY SUBGRADE AND NOT VISIBLE. TRASH ENCLOSURE SLAB AND ACCESS WELL SCHEDULED TO BE SNOWMELTED TO ALLOW CLEAR ACCESS IN WINTER.

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SNOWMELT VAULT &
DUMPSTER DETAILS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER

A-005

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PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340

Re: 108 Richie Drive

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

- Snow and Ice removal to and inside of the enclosure
- Access to the enclosure and the turn around area for egress
- Gates maintained in working order

Respectfully,

.108 Richie Drive



Presidio Vista Properties
Hank Moore
Senior Development Manager
603-801-0419
hank@presidiovistaproperties.com

RE: 108 & 110 Richie Dr., Ketchum Idaho 83340. Lots 3 & 4 Warm Springs Village Subdivision. County of Blaine.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

If you need further information regarding this project, please call me at 208-737-6314.

Lance D. McBride

Lance D. McBride
Energy Services Representative Sr.
lance.mcbride@intgas.com
208-737-6314

From: Bennett, Cheryl <CBennett2@idahopower.com>
Sent: Friday, May 17, 2024 10:27 AM
To: Hank Moore
Cc: Erik de Bruijn
Subject: Will Serve Email

You can provide this email to the city of Ketchum for your applications:

I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments

[illegible]

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
WILL SERVE LETTERS

SEAL

PROJECT NUMBER	
----------------	--

2305

DRAWING NUMBER

A-006

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP-REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 00 OVERALL FLOOR
PLAN

SEAL:

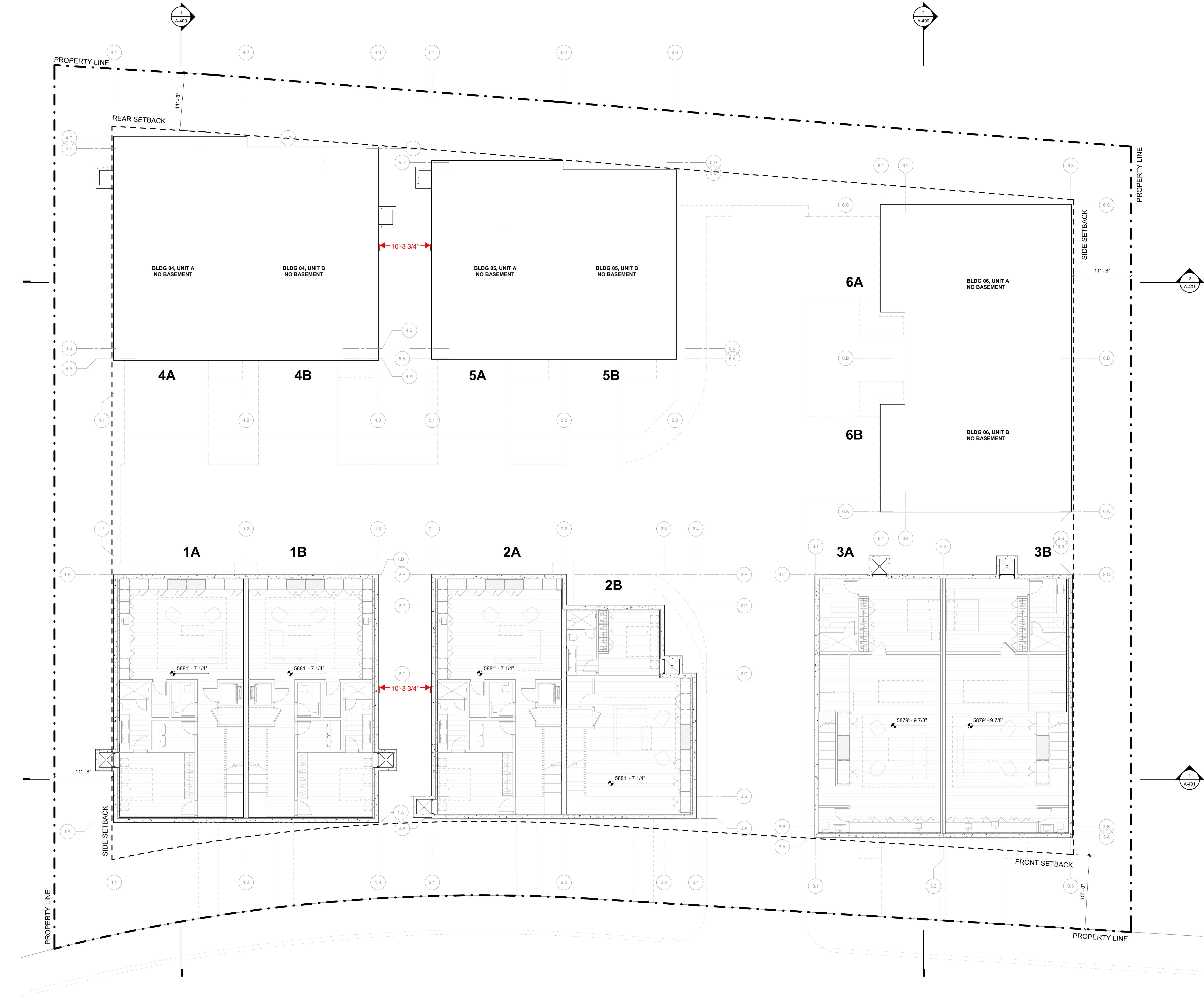
PROJECT NUMBER

2305

DRAWING NUMBER:

A-100

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WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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TEL: 213.784.0014

STRUCTURAL ENGINEER:

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 01 OVERALL FLOOR
PLAN

SEAL:

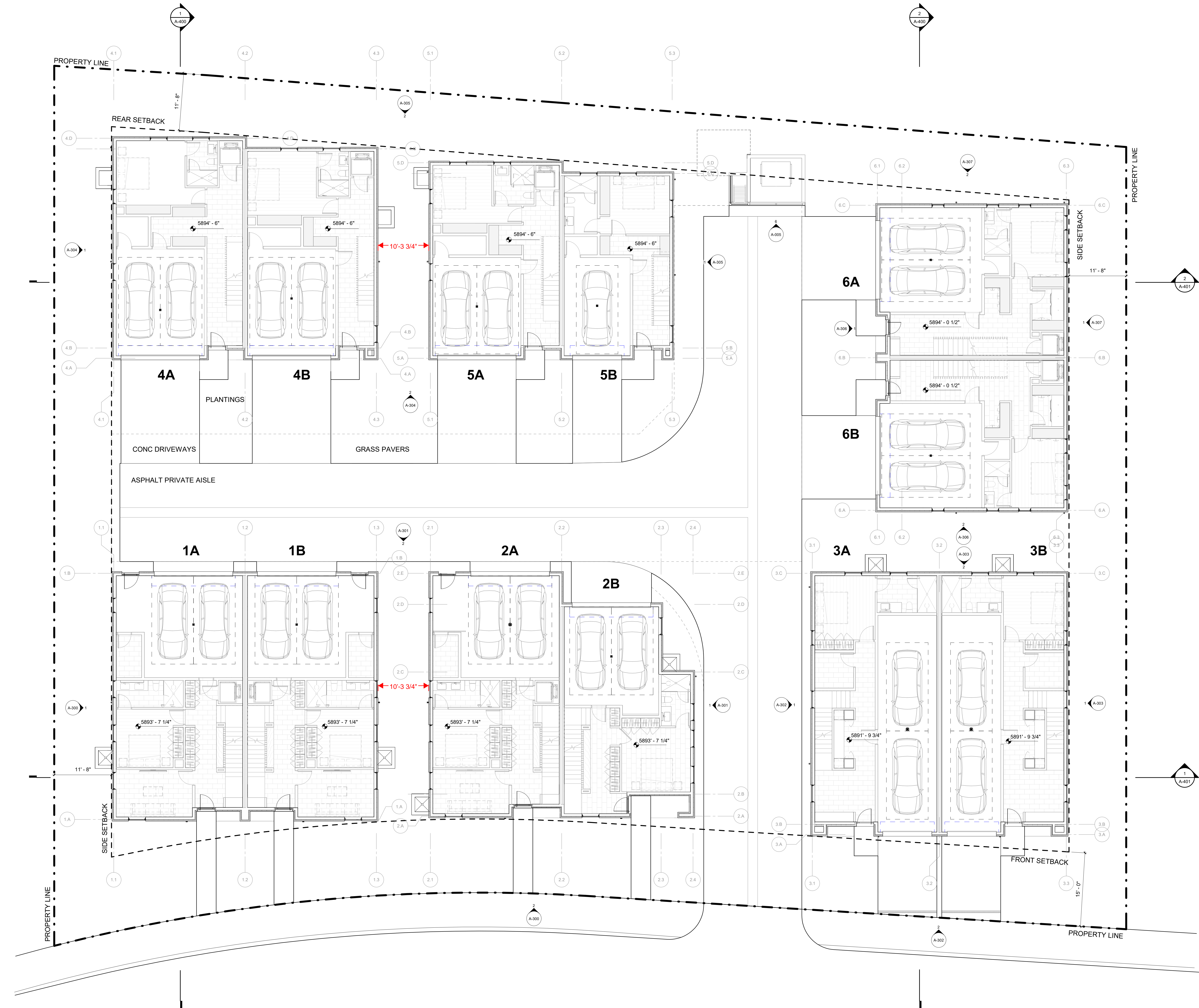
PROJECT NUMBER

2305

DRAWING NUMBER:

A-101

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NOTES:
1. "NO PARKING" SIGNS SHALL BE POSTED FOR ANY DRIVEWAY THAT DOES NOT MEET THE DIMENSIONAL STANDARDS FOR PARKING (9' W x 18' L)

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

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P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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LANDSCAPE ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 02 OVERALL FLOOR
PLAN

SEAL:

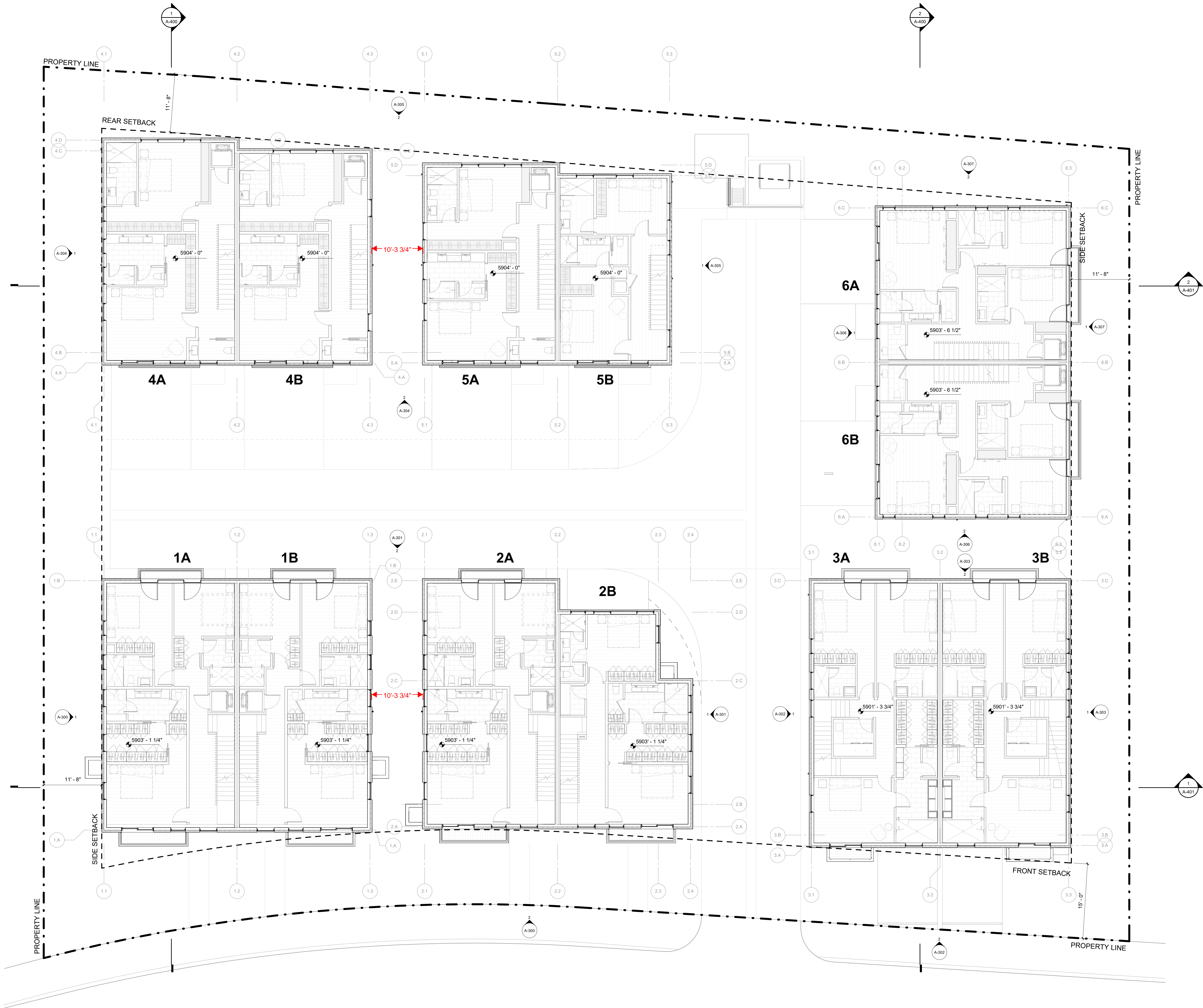
PROJECT NUMBER

2305

DRAWING NUMBER:

A-102

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WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 03 OVERALL FLOOR
PLAN

SEAL:

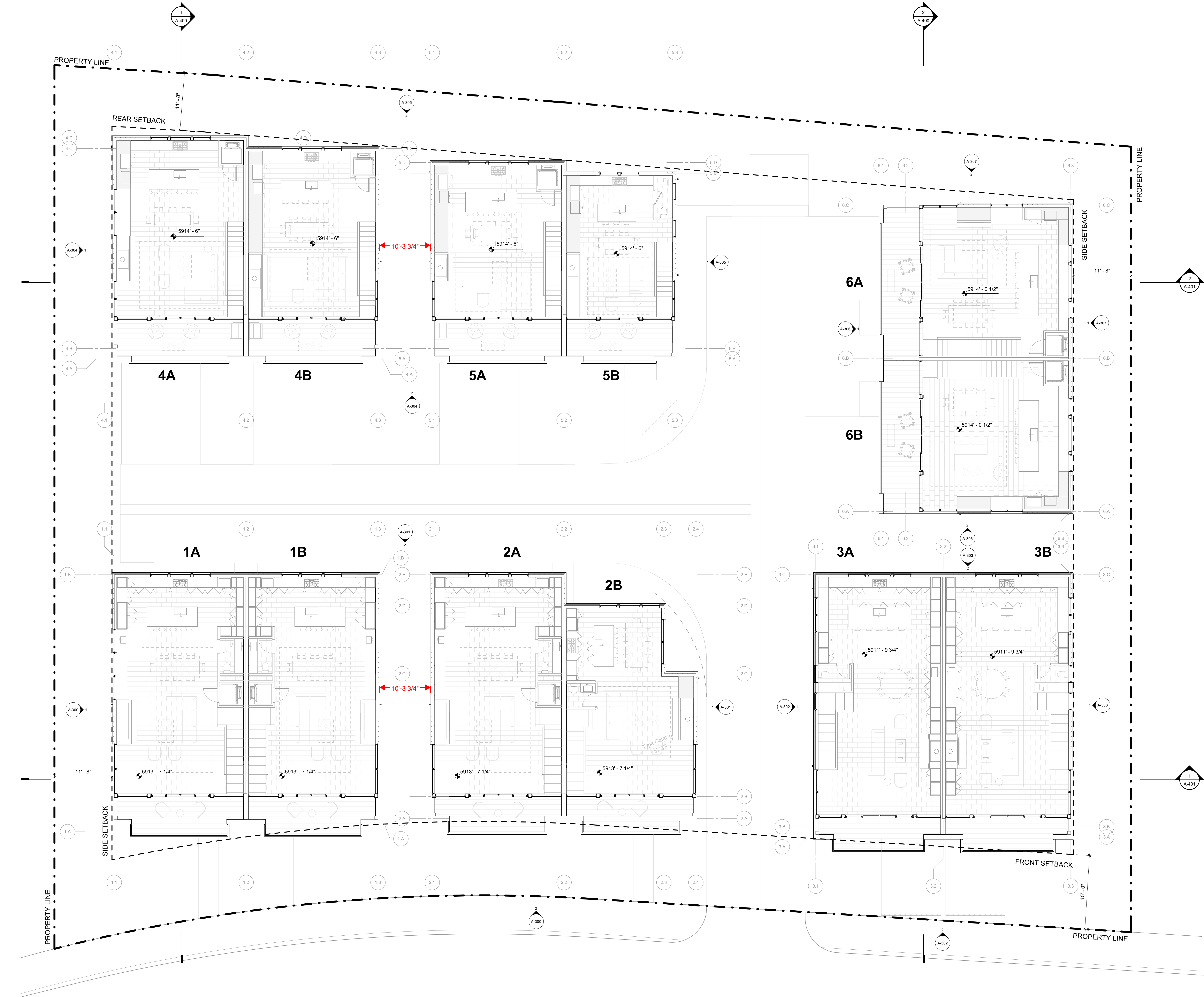
PROJECT NUMBER

2305

DRAWING NUMBER:

A-103

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WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
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KETCHUM, ID 83340
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

OVERALL ROOF PLAN

SEAL:

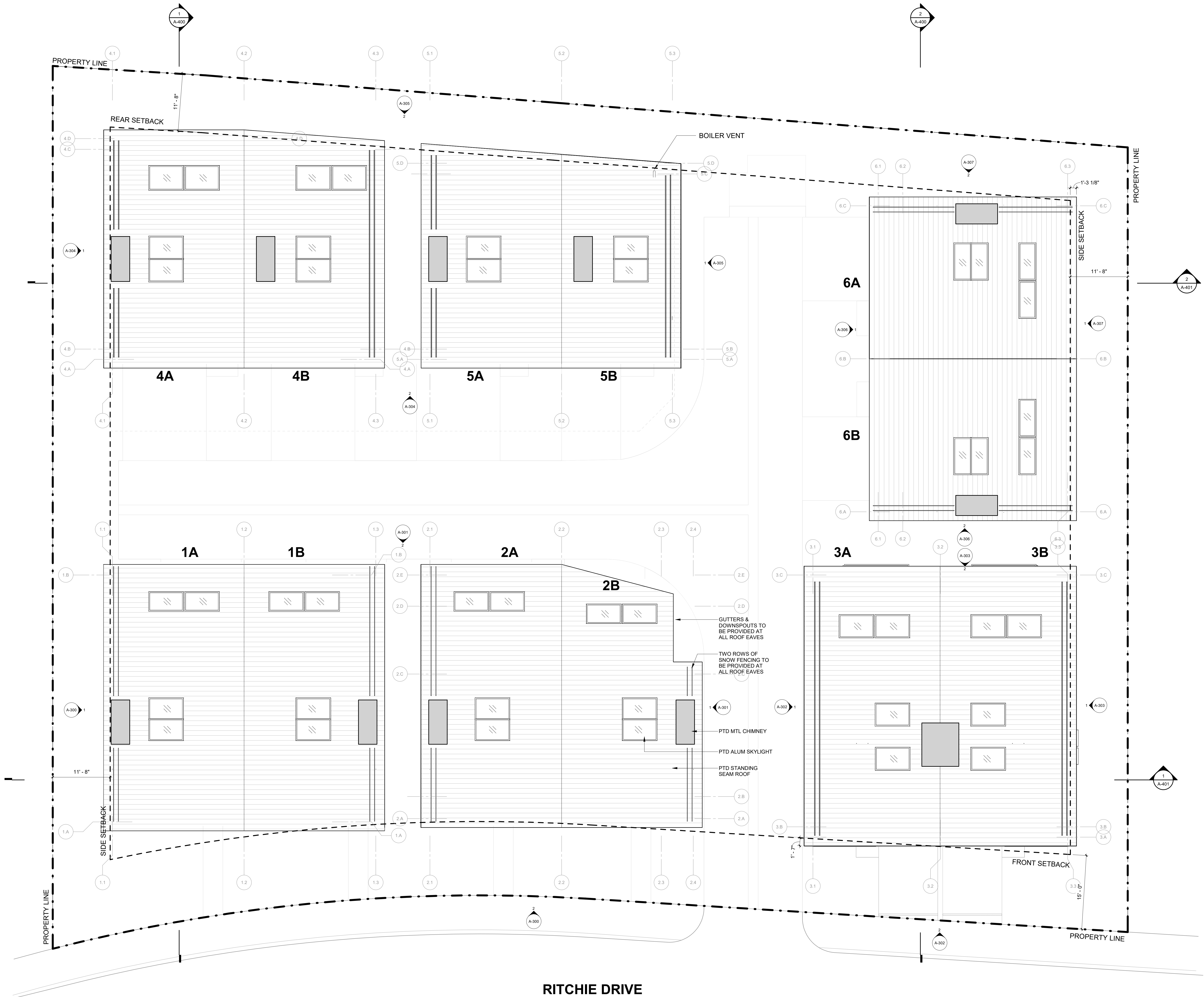
PROJECT NUMBER

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DRAWING NUMBER:

A-104

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KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
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TEL: 603.801.0419

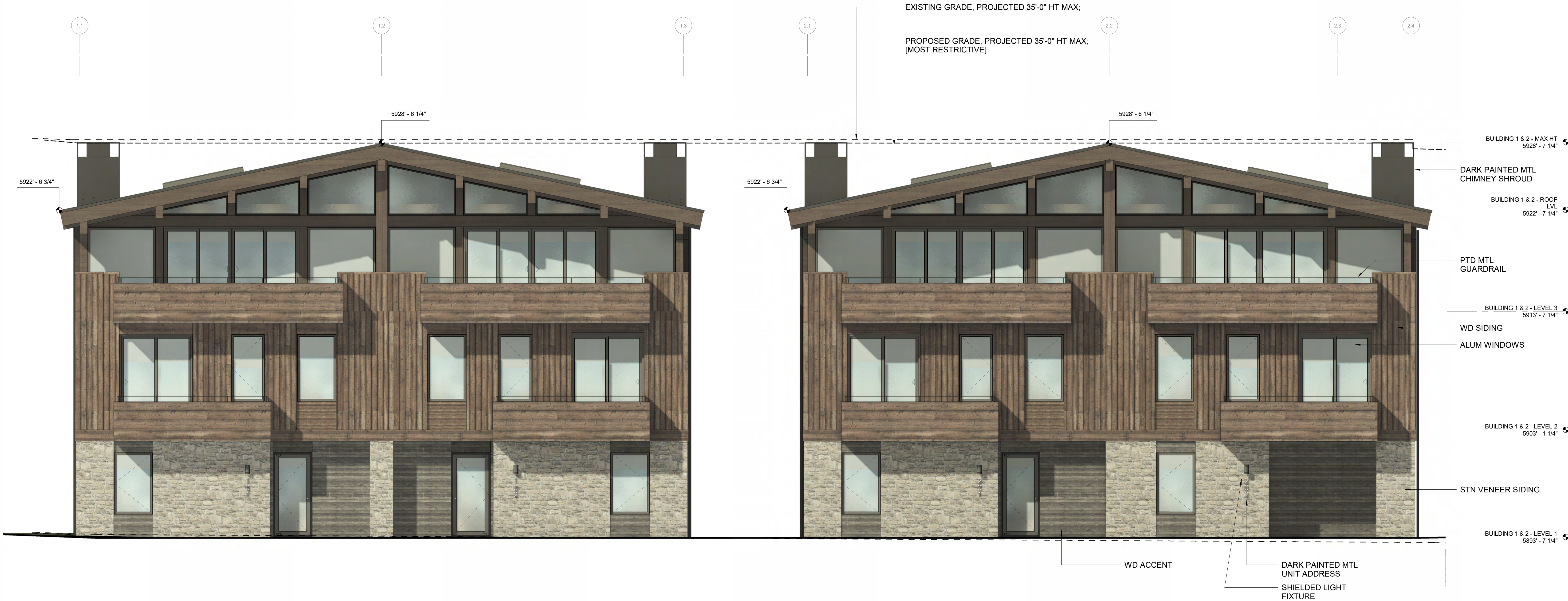
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KETCHUM, ID 83340
TEL: 208.725.0988



2 1/4" = 1'-0" BUILDING 1 & 2 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 1 / ELEVATION - SOUTH

ISSUE	DESCRIPTION	DATE
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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 1 & 2**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-300



2 1/4" = 1'-0" BUILDING 1 & 2 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 2 / ELEVATION - NORTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

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TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 1 & 2

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-301

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
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3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 3

SEAL:

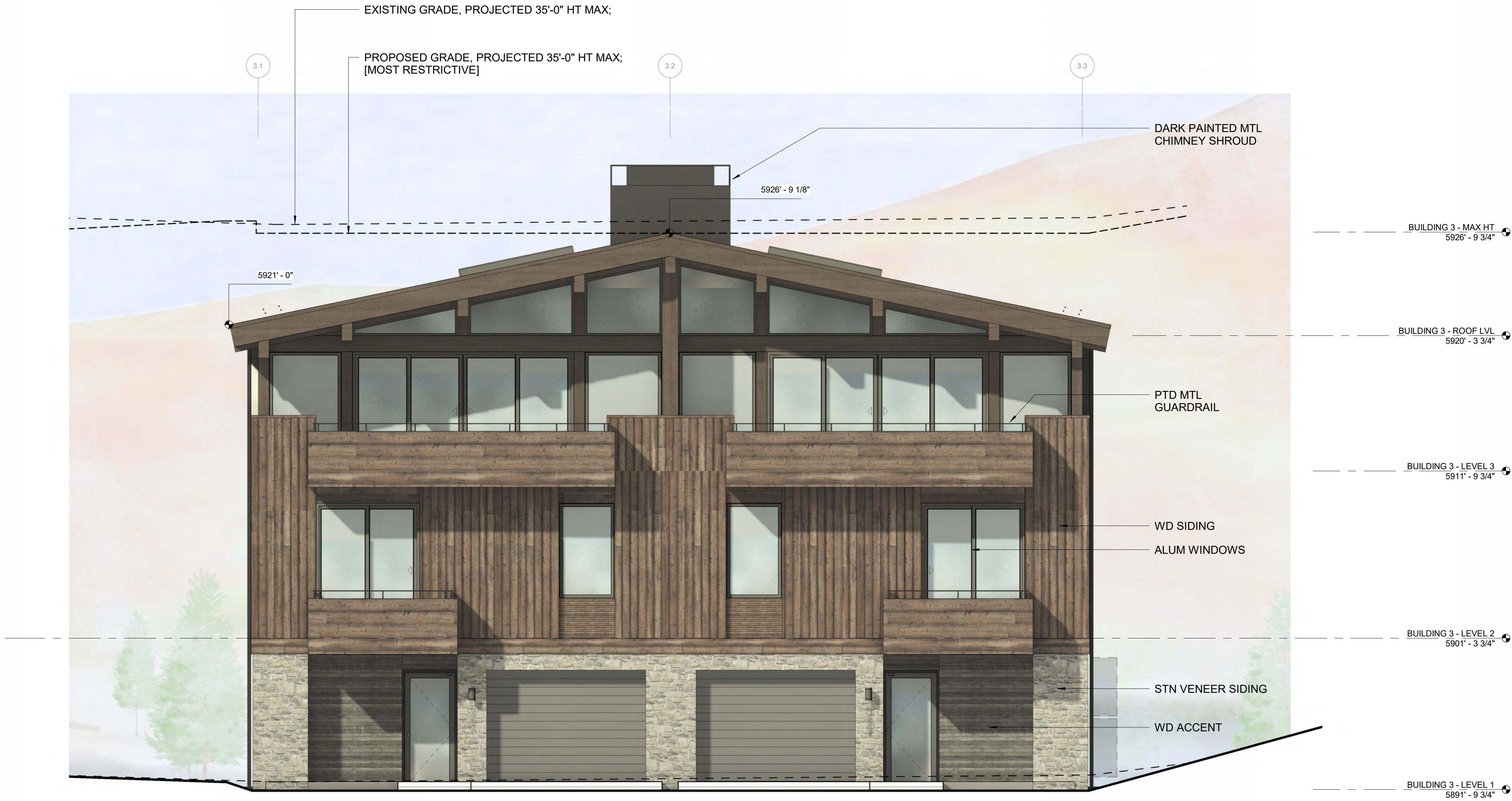
PROJECT NUMBER

2305

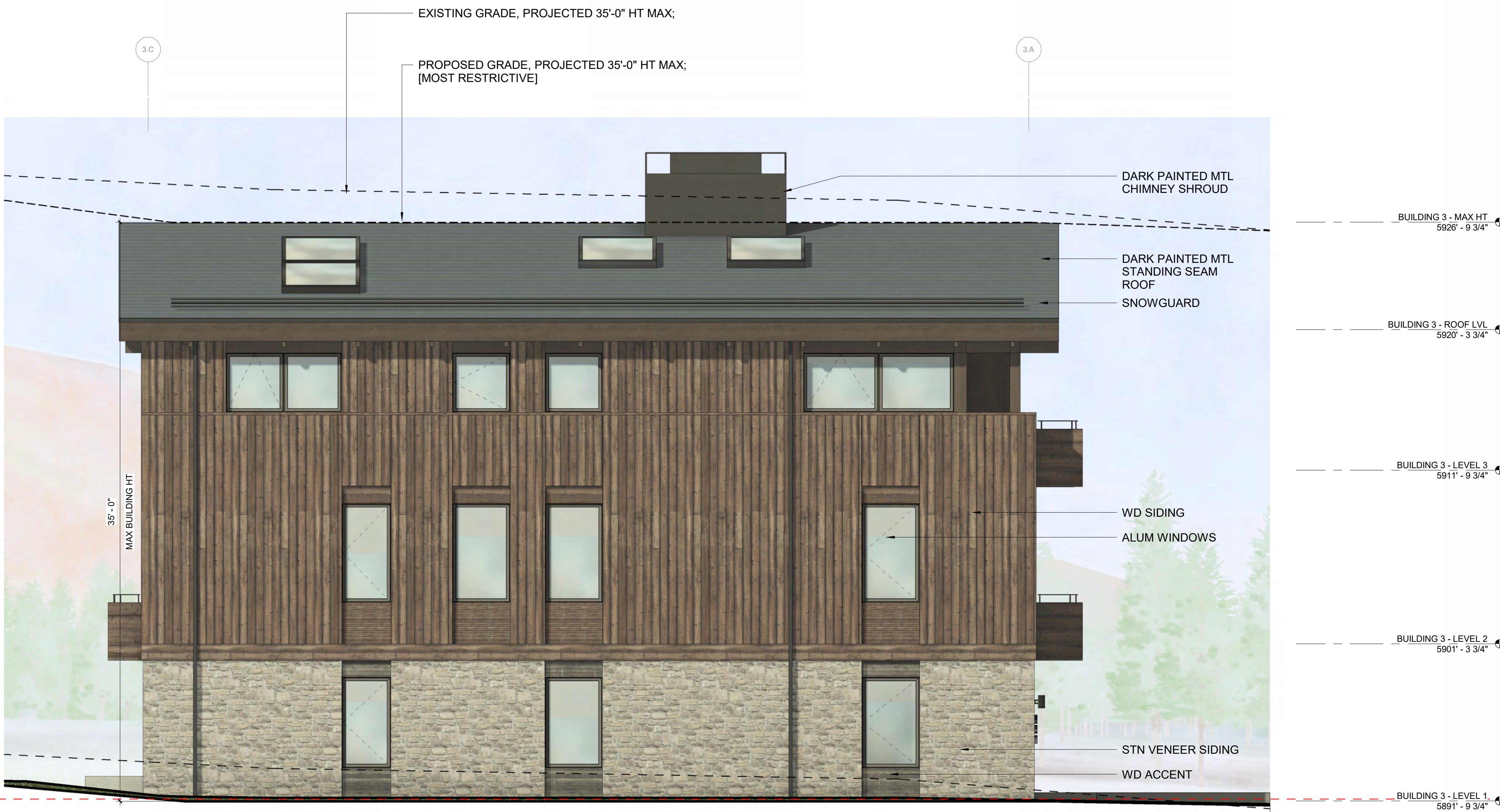
DRAWING NUMBER:

A-302

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2 1/4" = 1'-0" BUILDING 3 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 3 / ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
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TEL: 720.779.3596

CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 3

SEAL:

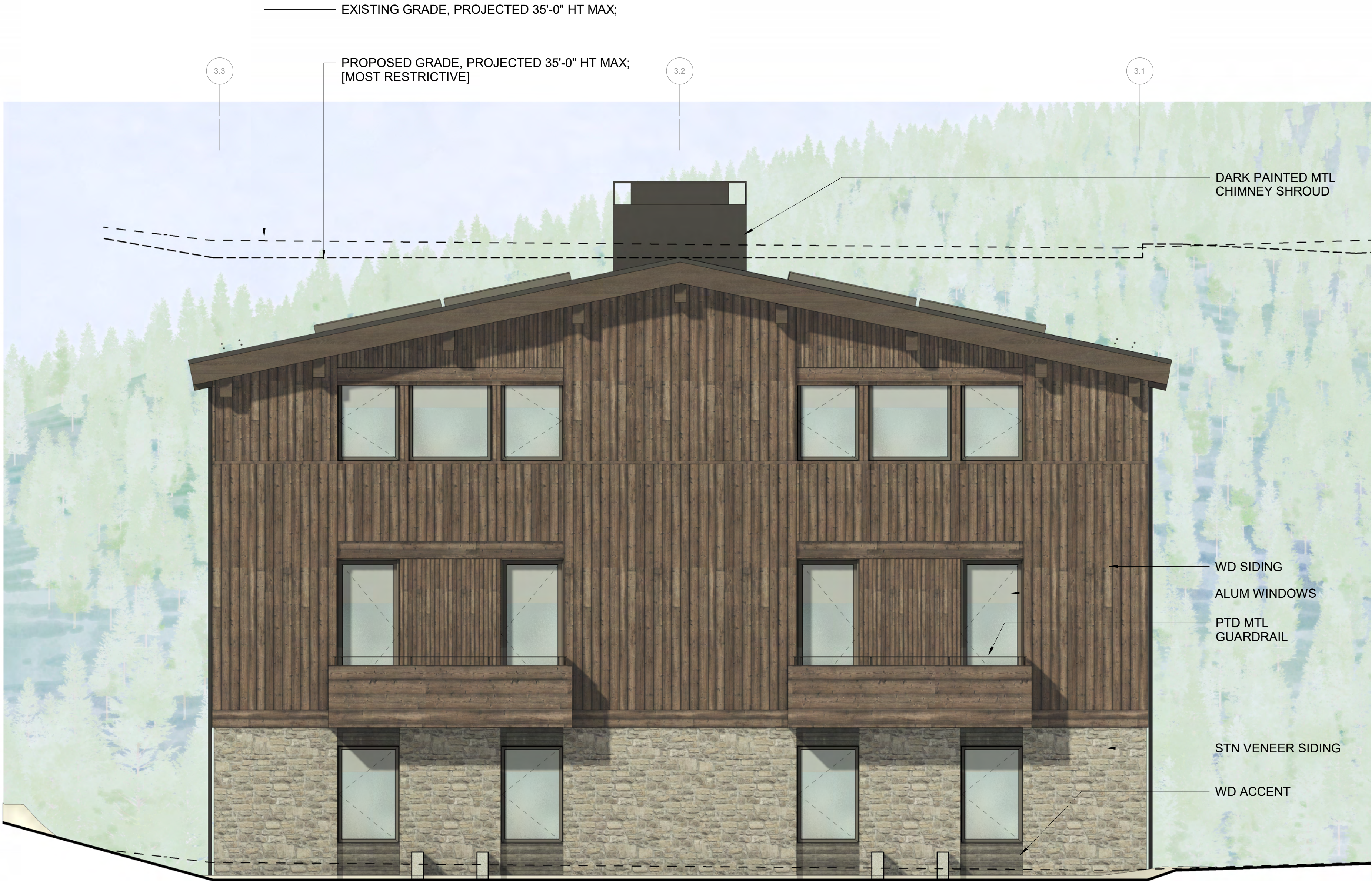
PROJECT NUMBER

2305

DRAWING NUMBER:

A-303

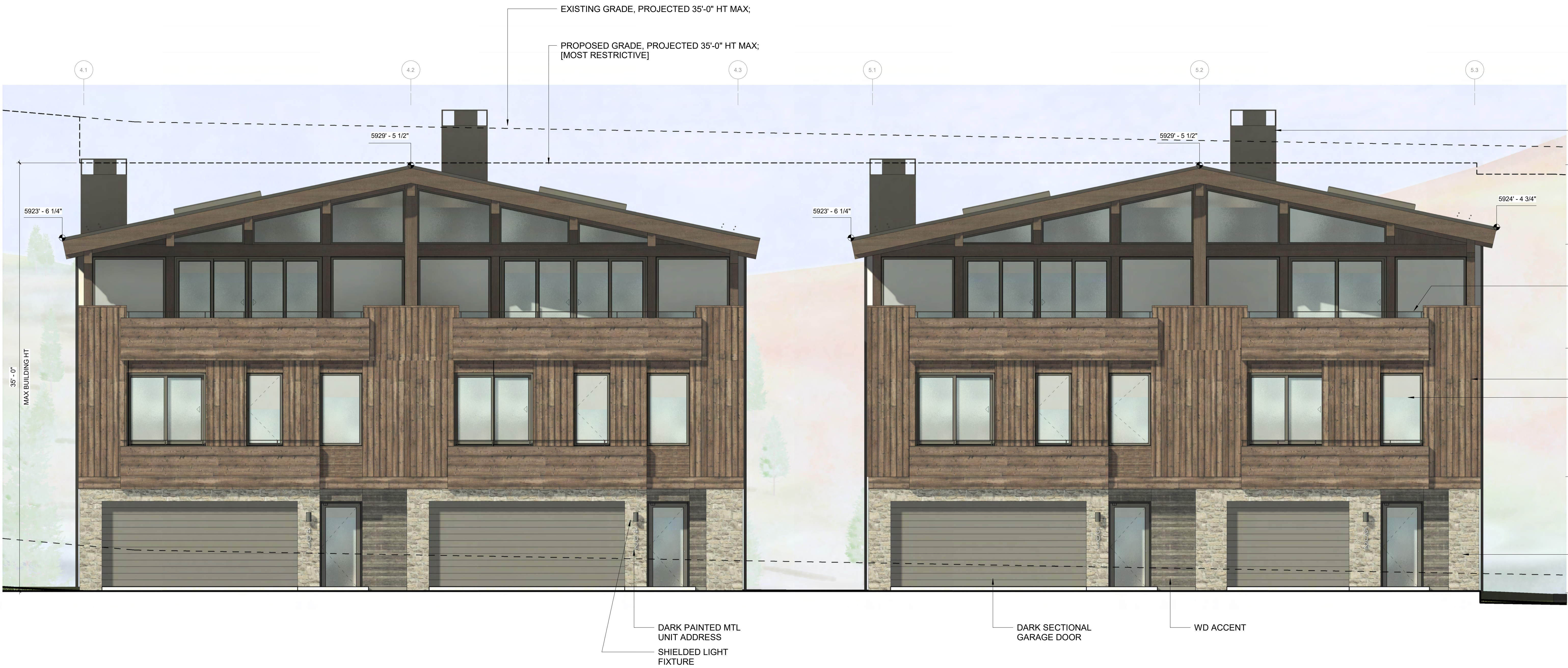
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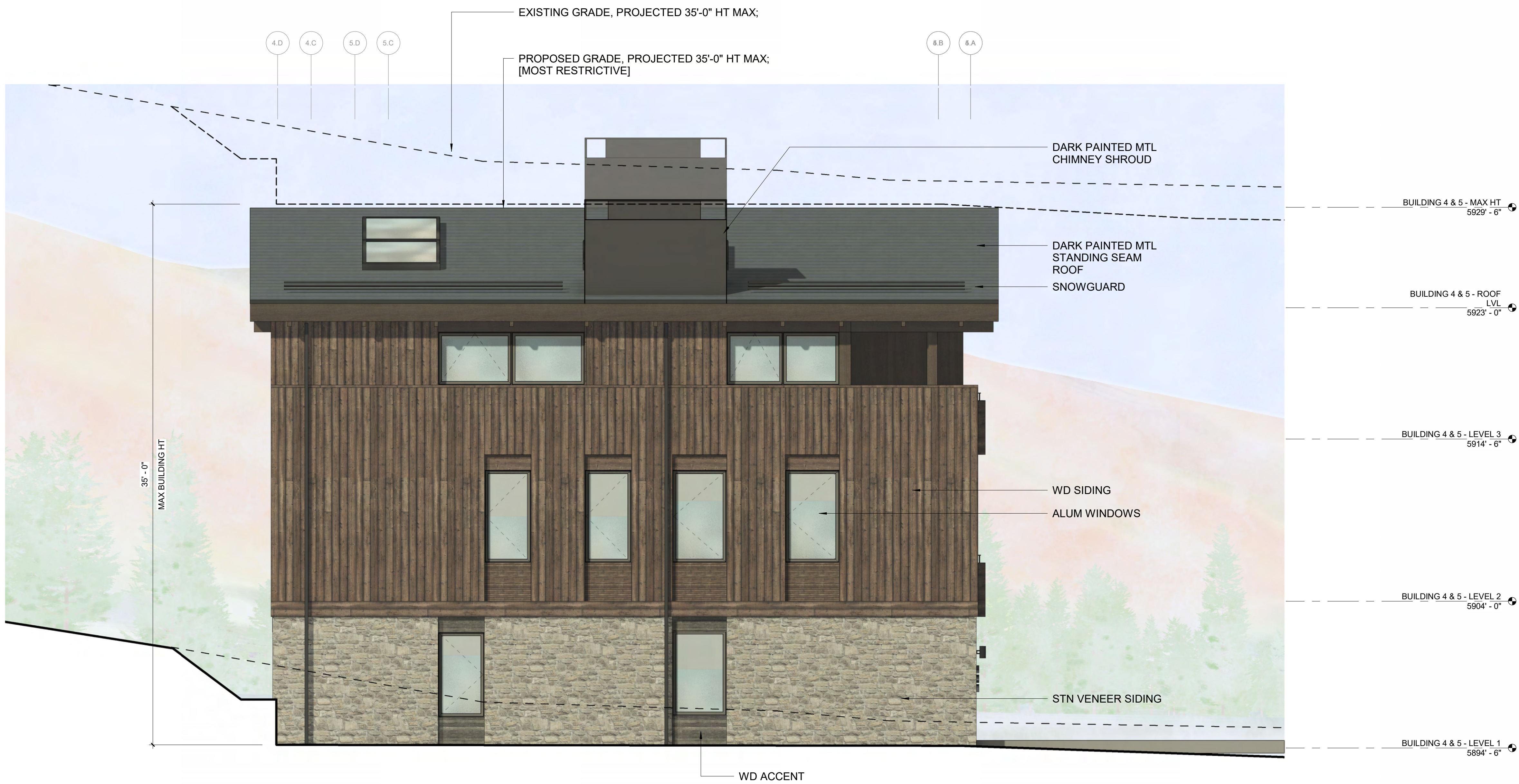
2 1/4" = 1'-0" BUILDING 3 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 3 / ELEVATION - NORTH



2 1/4" = 1'-0" BUILDING 4 & 5 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 4 & 5

SEAL:

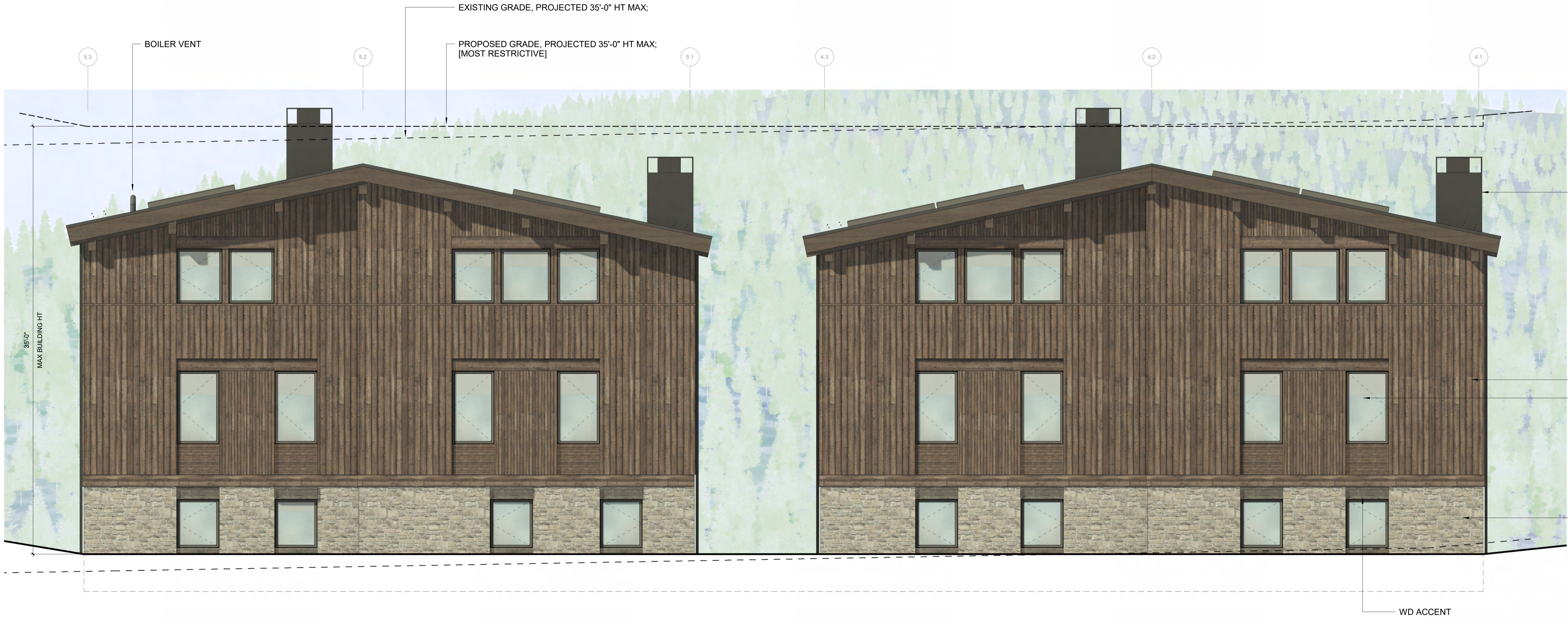
PROJECT NUMBER

2305

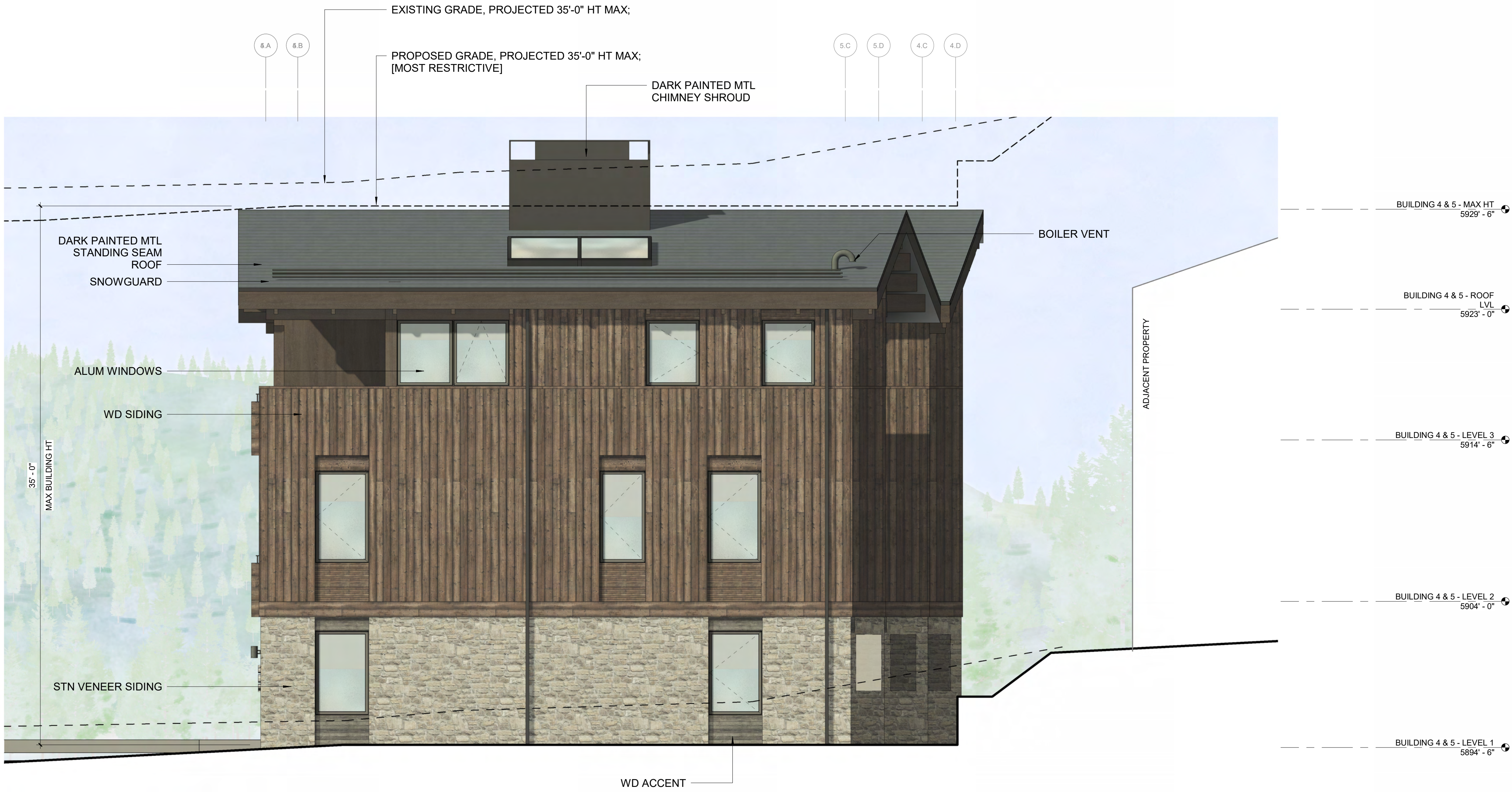
DRAWING NUMBER:

A-304

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2 1/4" = 1'-0" BUILDING 4 & 5 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 5 / ELEVATION - NORTH

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
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KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 4 & 5

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-305

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WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 6

SEAL:

PROJECT NUMBER

2305

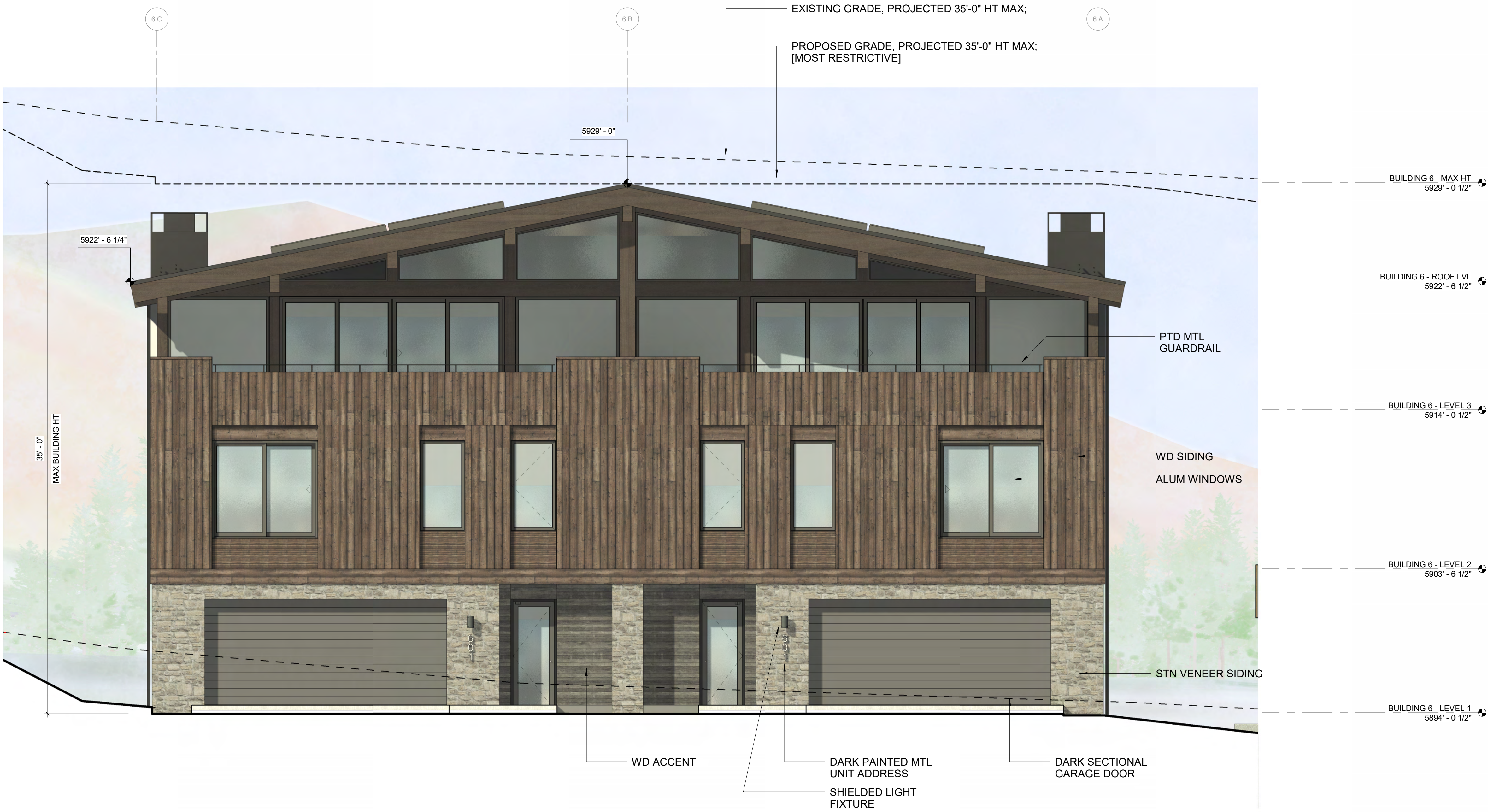
DRAWING NUMBER:

A-306

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2 1/4" = 1'-0" BUILDING 6 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 6 / ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 6

SEAL:

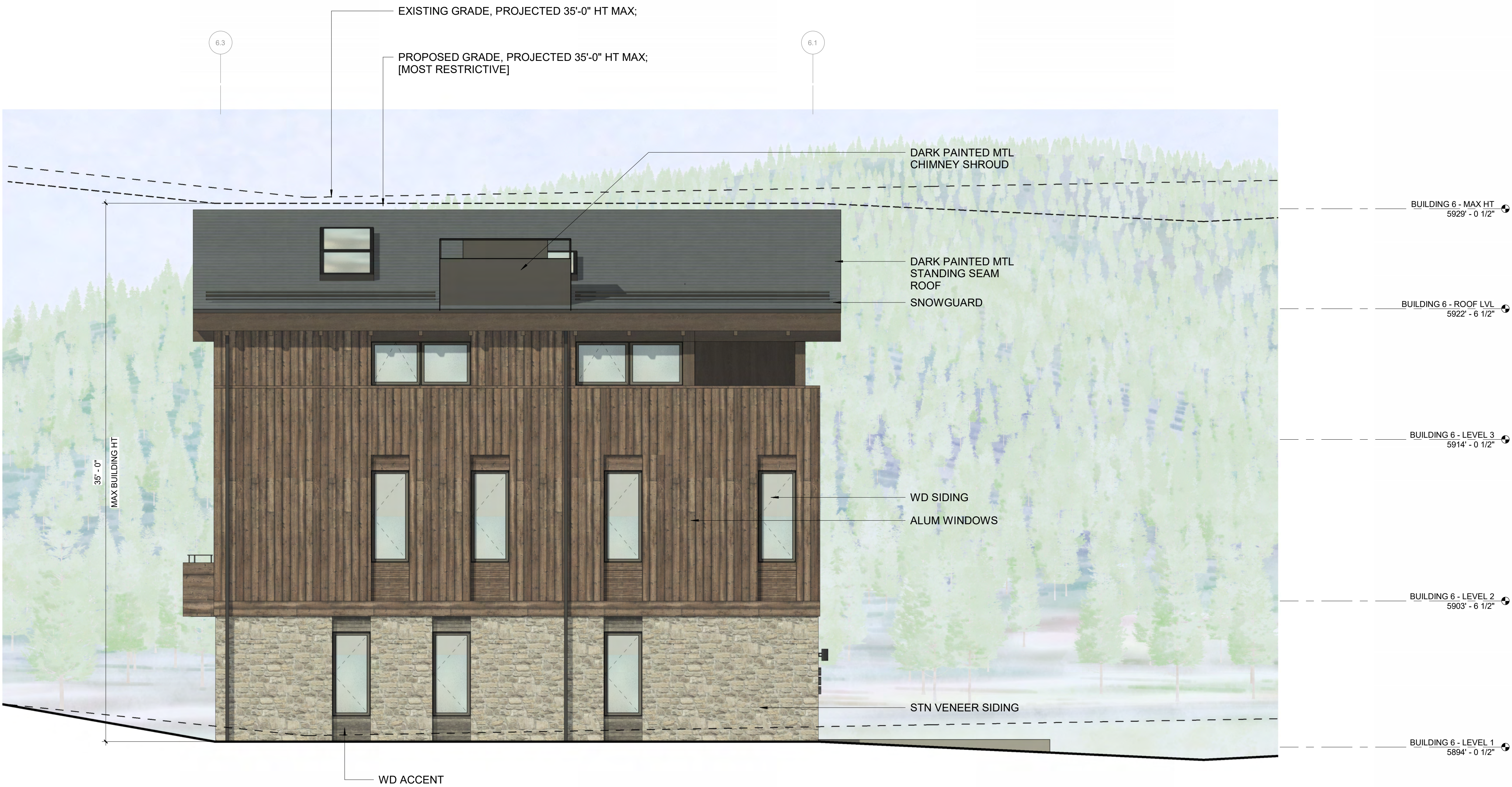
PROJECT NUMBER

2305

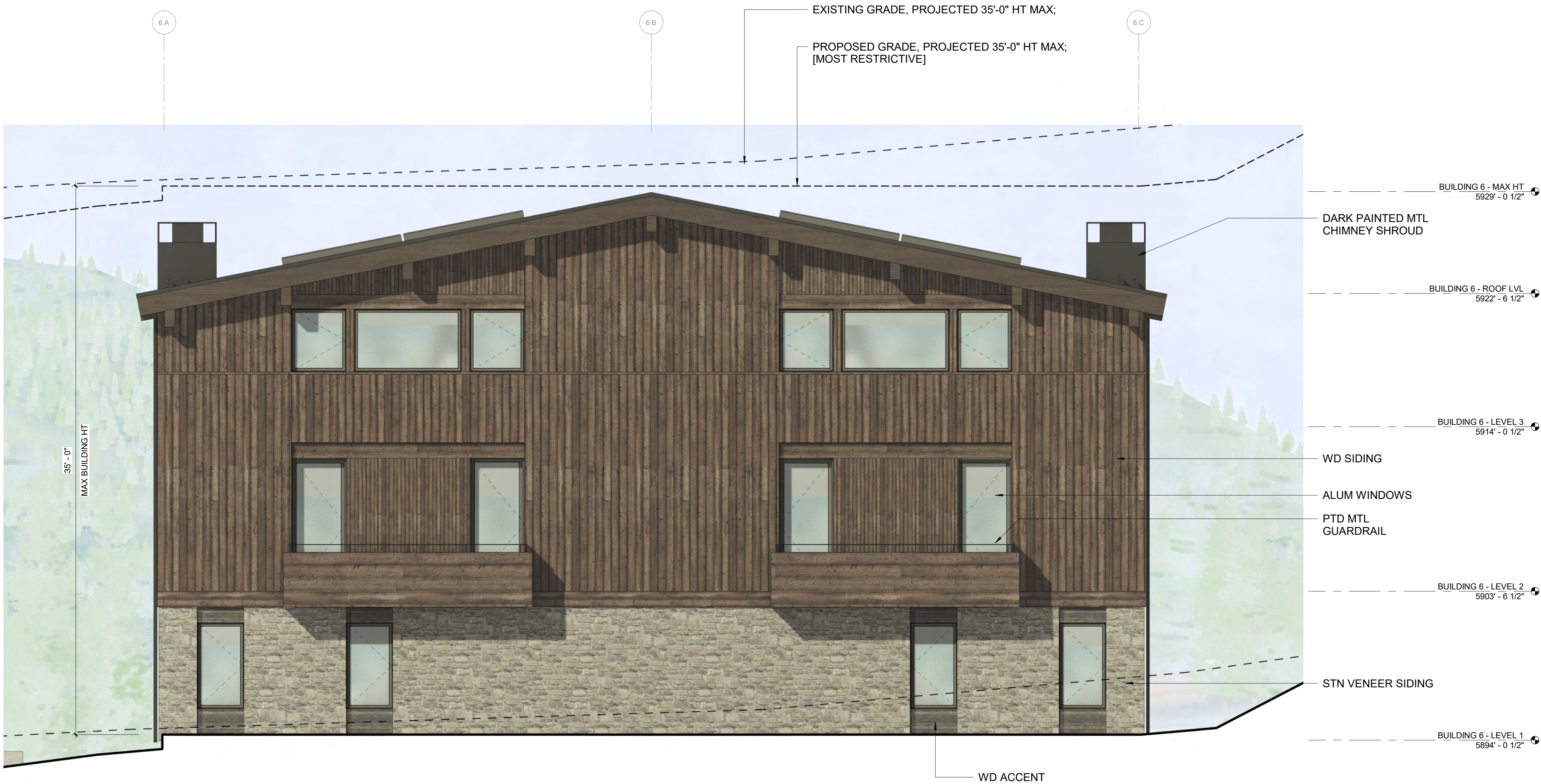
DRAWING NUMBER:

A-307

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2 1/4" = 1'-0" BUILDING 6 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 6 / ELEVATION - NORTH

OWNER:

108-1179 RITCHIE LLC
P.O. BOX. 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKET DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 712.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
60 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

Mechanical, Electrical, Plumbing Engineer:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.719.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

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SEAL: _____

DRAWING NUMBER:
A-400

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OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
601 W. HANCOCK STREET, BLDV. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4081

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80012
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
56 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2	3/16" = 1'-0"	BUILDING SECTION - NS B
---	---------------	-------------------------



1	3/16" = 1'-0"	BUILDING SECTION - NS A
---	---------------	-------------------------

[illegible]

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
BUILDING SECTIONS

SEAL: _____

PROJECT NUMBER	2305
----------------	------

DRAWING NUMBER:
A-401

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WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:
GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
MATERIALS

SEAL:

PROJECT NUMBER:
2305

DRAWING NUMBER:
A-500



MEDIUM GREY, PARGED FIELD STONE



MEDIUM BROWN, RUSTIC TONGUE AND GROOVE WOOD SIDING W/ FACE NAILING



MEDIUM BROWN, RUSTIC WD BEAMS, FASCIA & ACCENTS



DARK, RUSTIC WD TONGUE AND GROOVE ACCENTS



DARK STANDING SEAM ROOF



DARK METAL TRIM & WINDOW FRAMES

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER:

2305

DRAWING NUMBER:

G-120



2 12" = 1'-0" SITE ELEVATION - EAST



1 12" = 1'-0" SITE ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-121

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2 12" = 1'-0" SITE ELEVATION - WEST



1 12" = 1'-0" SITE ELEVATION - NORTH



VIEW FROM NW RITCHIE DRIVE



VIEW FROM ACROSS RITCHIE DRIVE

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.08.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-130



VIEW FROM SE RITCHIE DRIVE



AERIAL VIEW

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
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TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-131



SIDEYARD VIEW OF BLDG 4 & BLDG 5 - FRONT



SIDEYARD VIEW OF BLDG 1 & BLDG 2 - REAR

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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1031 W. MANCHESTER BLVD. UNIT 6
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LANDSCAPE ARCHITECT:

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560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

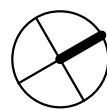
ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO



DRAWING TITLE:

RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

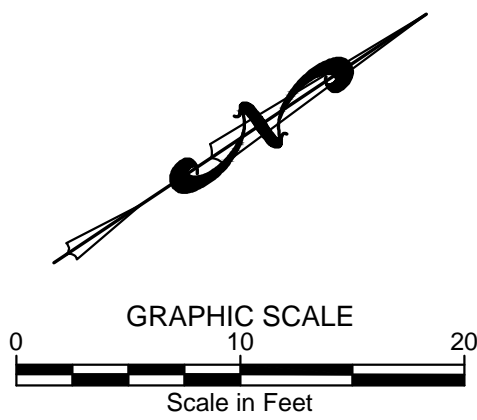
G-132

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- LEGEND**
- BLOCK BOUNDARY
 - ADJOINER'S LOT LINE
 - EASEMENT
 - ROAD CENTERLINE
 - 5' CONTOUR INTERVAL (EXISTING)
 - 1' CONTOUR INTERVAL (EXISTING)
 - FENCE LINE
 - RETAINING WALL
 - EOA
 - ASPHALT
 - STORM DRAIN PROPOSED
 - SAWCUT LINE
 - 5' CONTOUR INTERVAL
 - 1' CONTOUR INTERVAL

- SITE IMPROVEMENT KEY NOTES**
- S01 CONSTRUCT HEATED ASPHALT ROADWAY. SEE DETAIL TBD.
 - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL TBD.
 - S03 CONSTRUCT CONCRETE SIDEWALK, CURB AND GUTTER.
 - a. 6" ROLLED C&G
 - b. CURB TRANSITION
 - c. ZERO REVEAL CURB AND GUTTER
 - S04 CONSTRUCT 24" WIDE HEATED CONCRETE VALLEY GUTTER
 - S06 INSTALL HEATED SITE PAVERS. SEE LANDSCAPE PLAN FOR DETAILS.
 - S07 INSTALL SITE GRASS PAVE. SEE LANDSCAPE PLAN FOR DETAILS.
 - S08 CONSTRUCT DRYWELL. SEE DETAIL TBD. PROVIDE MIN. 12-24" SOIL COVER FOR PLANTINGS. REFER TO LANDSCAPE PLANS FOR SOIL COVER REQUIREMENTS.
 - S09 CONSTRUCT 30" CATCH BASIN. SEE DETAIL TBD.
 - S10 INSTALL TRENCH DRAIN.
 - S11 SEE LANDSCAPE SHEETS FOR SITE GRADING AND BOULDER PLACEMENT.

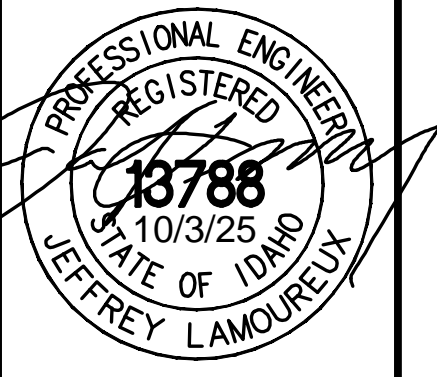


PURPOSE: PRELIMINARY FOR DESIGN REVIEW 10/14/2025

NO. DATE BY REVISIONS

GALENA-BENCHMARK
ENGINEERING

Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com



DESIGNED BY: SLS
DRAWN BY: SLS/PSF
CHECKED BY: JL
SURVEY DATE: 06/12/22

GRADING & DRAINAGE PLAN
WARM SPRINGS VILLAGE SUB. 2ND ADD. REV.
BLOCK 4, LOT 3A
LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

GALENA
ELEVATION
ABOVE SEA
LEVEL
FEET

BENCHMARK

ENGINEERING PLANS

QUANTITY

DATE

BY

REVISIONS

NO.

DATE

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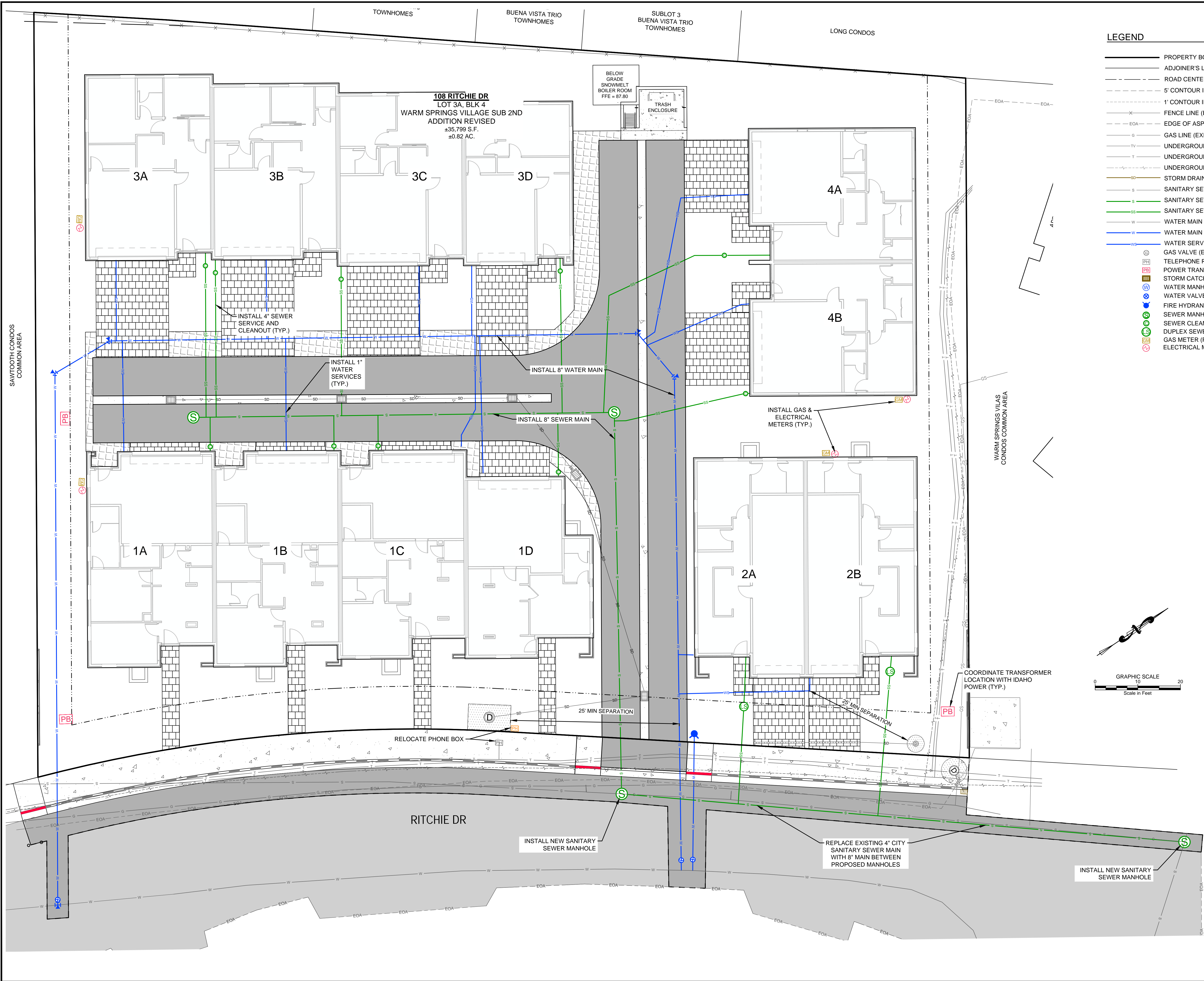
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NO.

DATE

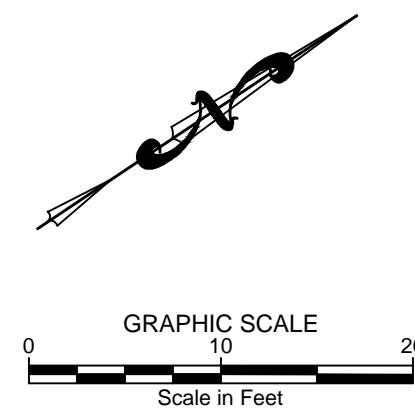
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LEGEND

- PROPERTY BOUNDARY
- ADJOINER'S LOT LINE
- ROAD CENTERLINE
- 5' CONTOUR INTERVAL (EXISTING)
- 1' CONTOUR INTERVAL (EXISTING)
- FENCE LINE (EXISTING)
- EOA - EDGE OF ASPHALT (EXISTING)
- G - GAS LINE (EXISTING)
- TV - UNDERGROUND TELEVISION LINE (EXISTING)
- T - UNDERGROUND TELEPHONE LINE (EXISTING)
- UNDERGROUND POWER LINE (EXISTING)
- SD - STORM DRAIN (PROPOSED)
- S - SANITARY SEWER MAIN LINE (EXISTING)
- SS - SANITARY SEWER MAIN LINE (PROPOSED)
- SS - SANITARY SEWER SERVICE (PROPOSED)
- W - WATER MAIN LINE (EXISTING)
- W - WATER MAIN LINE (PROPOSED)
- WS - WATER SERVICE (PROPOSED)
- GV - GAS VALVE (EXISTING)
- TR - TELEPHONE RISER (EXISTING)
- PT - POWER TRANSFORMER (PROPOSED)
- SCB - STORM CATCH BASIN (PROPOSED)
- WM - WATER MANHOLE (PROPOSED)
- WV - WATER VALVE (PROPOSED)
- FH - FIRE HYDRANT (PROPOSED)
- SM - SEWER MANHOLE (PROPOSED)
- SC - SEWER CLEANOUT (PROPOSED)
- DSP - DUPLEX SEWER GRINDER PUMP (PROPOSED)
- GM - GAS METER (PROPOSED)
- EM - ELECTRICAL METER (PROPOSED)



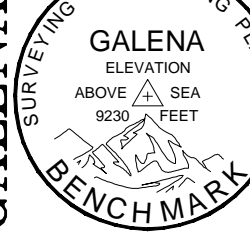
PURPOSE: PRELIMINARY FOR DESIGN REVIEW 10/14/2025

NO. DATE BY REVISIONS

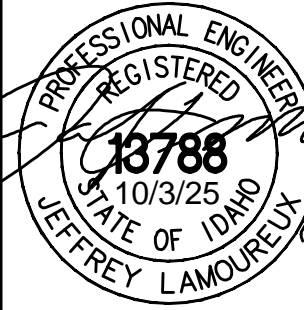
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GALENA-BENCHMARK
ENGINEERING

Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

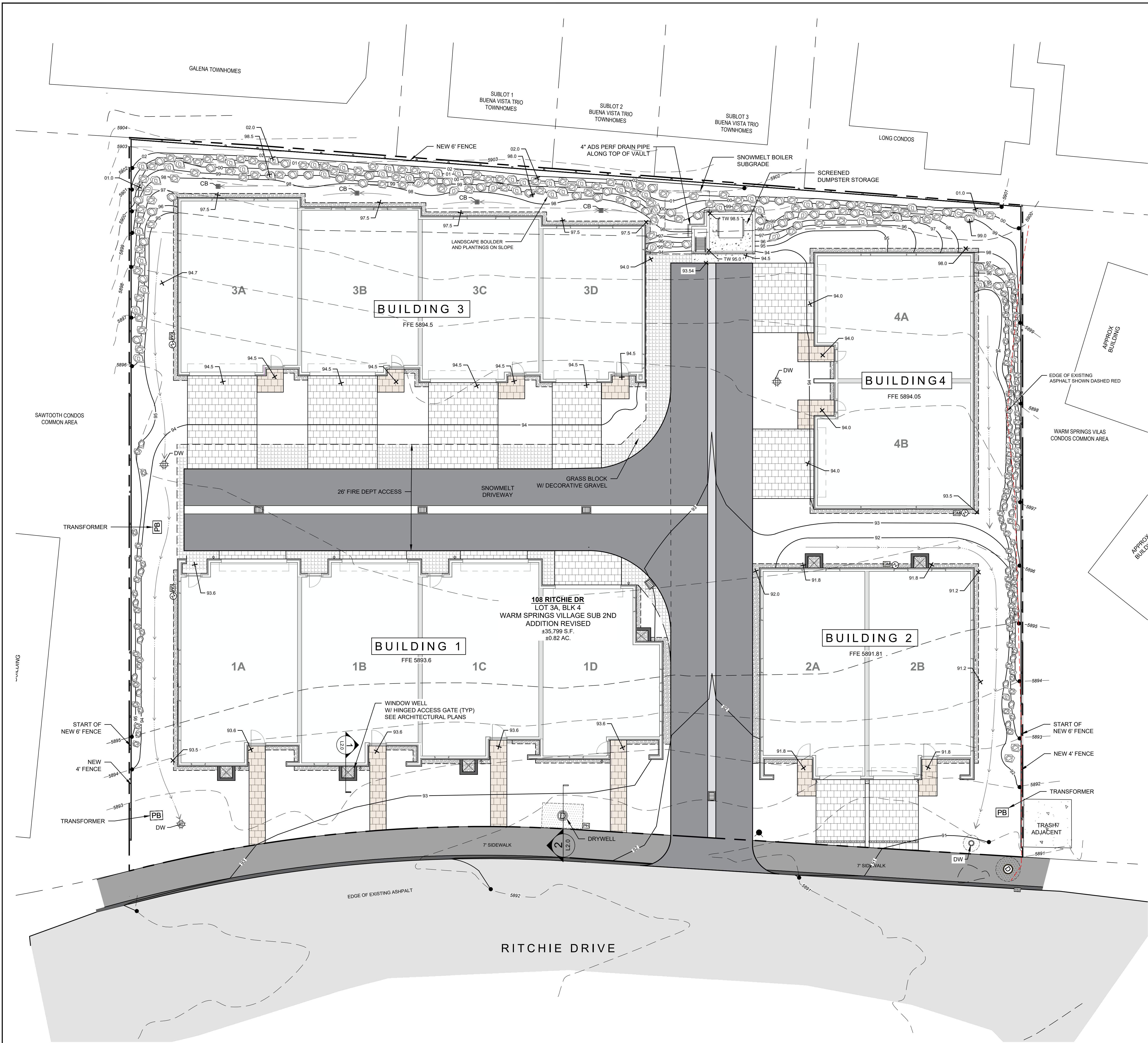


DESIGNED BY: SLS
DRAWN BY: SLS/PSF
CHECKED BY: JL
SURVEY DATE: 06/12/22



UTILITY PLAN
WARM SPRINGS VILLAGE SUB, 2ND ADD. REV.
BLOCK 4, LOT 3A
LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION
C:\BNA\Warm Springs Village\2nd Addition, REVISED\Block 4\22081 Lot 3A 108-110 Ritchie Dr\WgConstruction\22081 CIVIL.dwg 10/03/25 9:31:28 AM

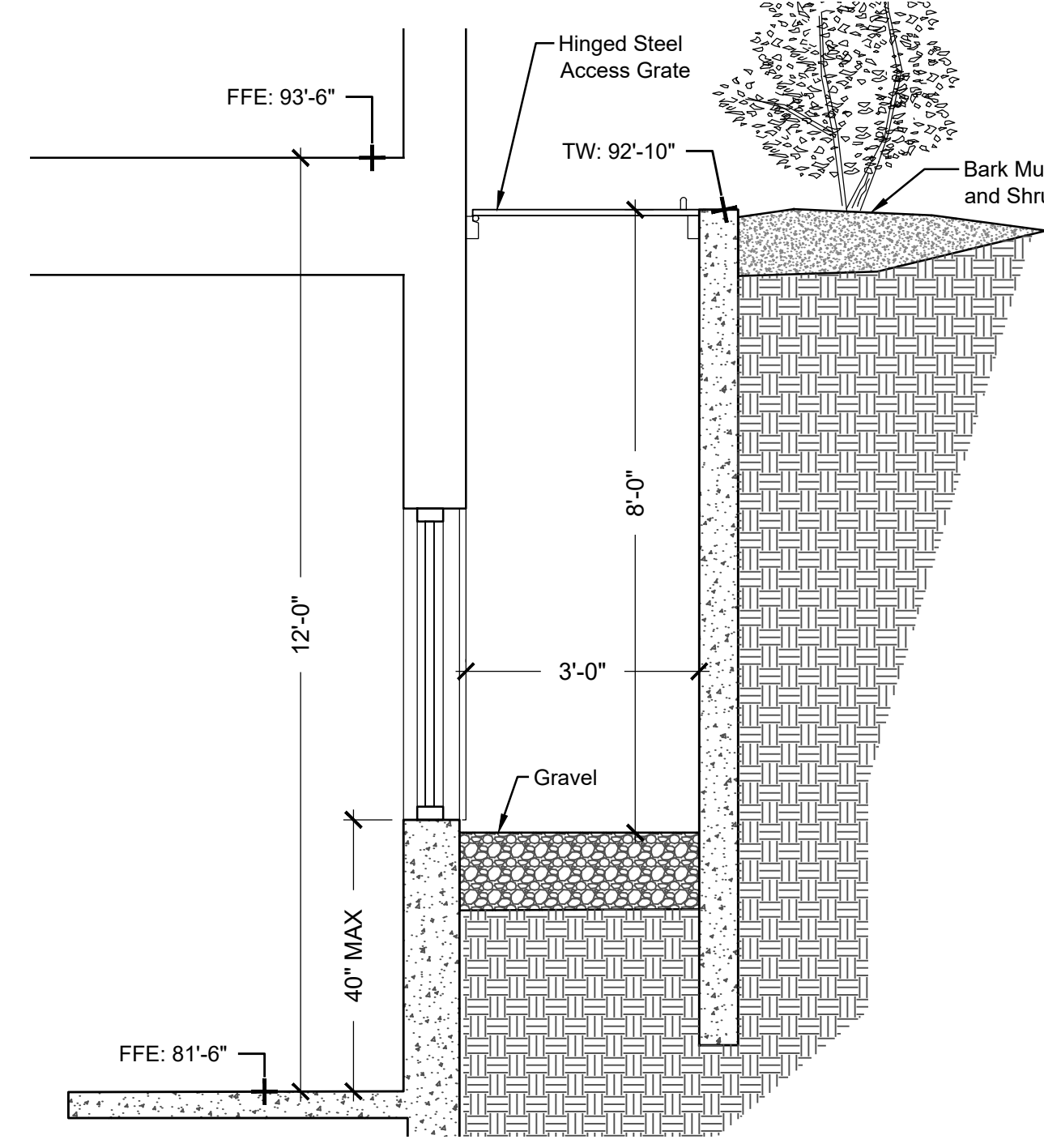


Plan Legend

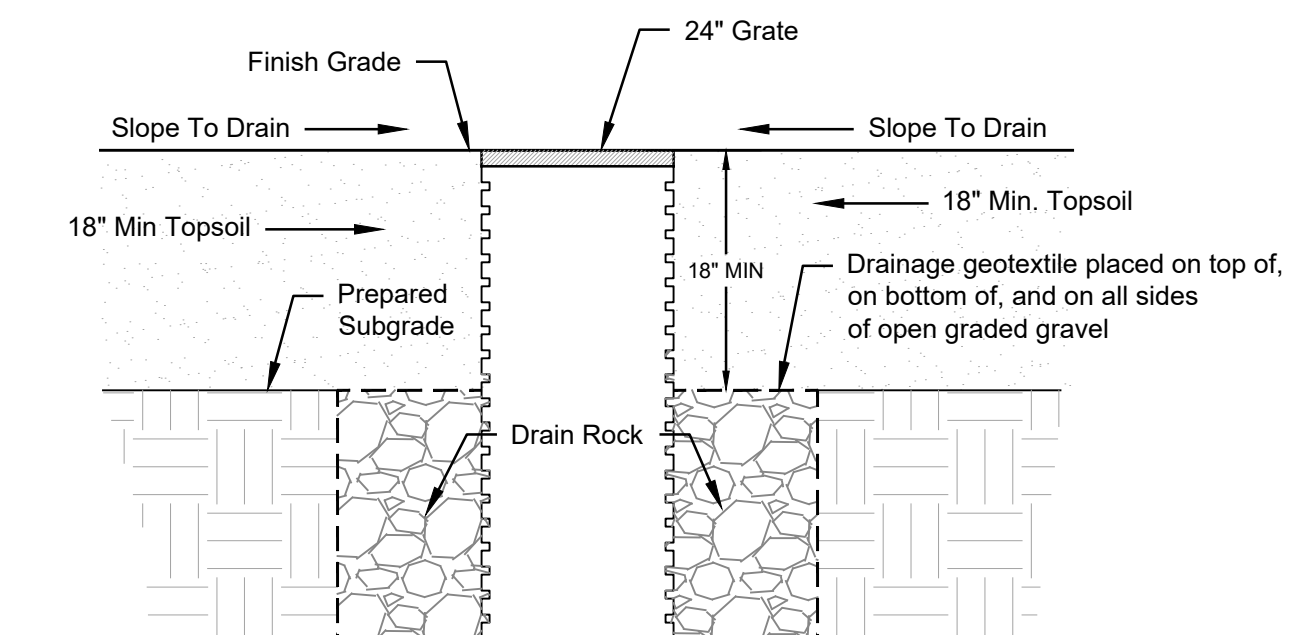
- Property Line
- Existing Contour
- Proposed Contour
- New Fence
- Boulder Retaining
- Grass Pave
- Pavers
- Concrete
- Gravel
- Lawn Grass
- Natural Grass
- Perennials and Groundcover
- Drywell
- Catch Basin
- Drainage Swale

Grading Abbreviations

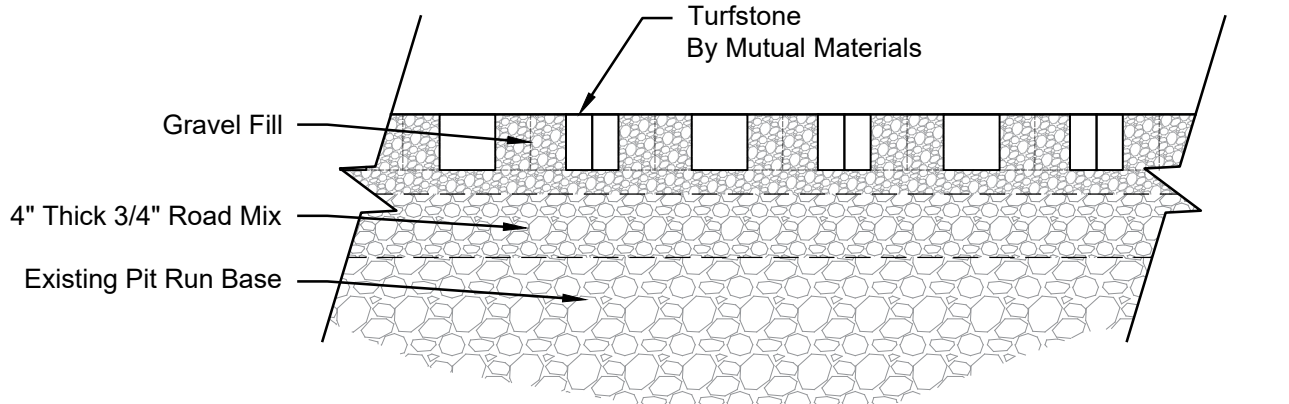
EL	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
DI	DRAIN INLET ELEVATION
DW	DRYWELL RIM ELEVATION
TC	TOP OF CURB
BC	BOTTOM OF CURB
FG	FINISHED GRADE



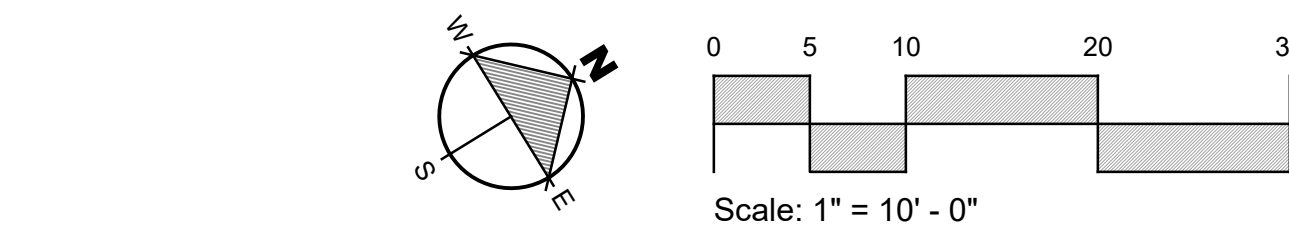
1 Section: Typical Window Well Scale: 1/2" = 1'-0"



2 Section: Drywell Landscape Integration Scale: 1/2" = 1'-0"



Detail: Turfstone (Grassblock) Scale: Not to Scale



Warm Springs

EGGERS ASSOCIATES, P.A.
landscape architecture
T (208) 755-5988
F (208) 755-5972
P.O. Box 973
Ketchum, ID 83340

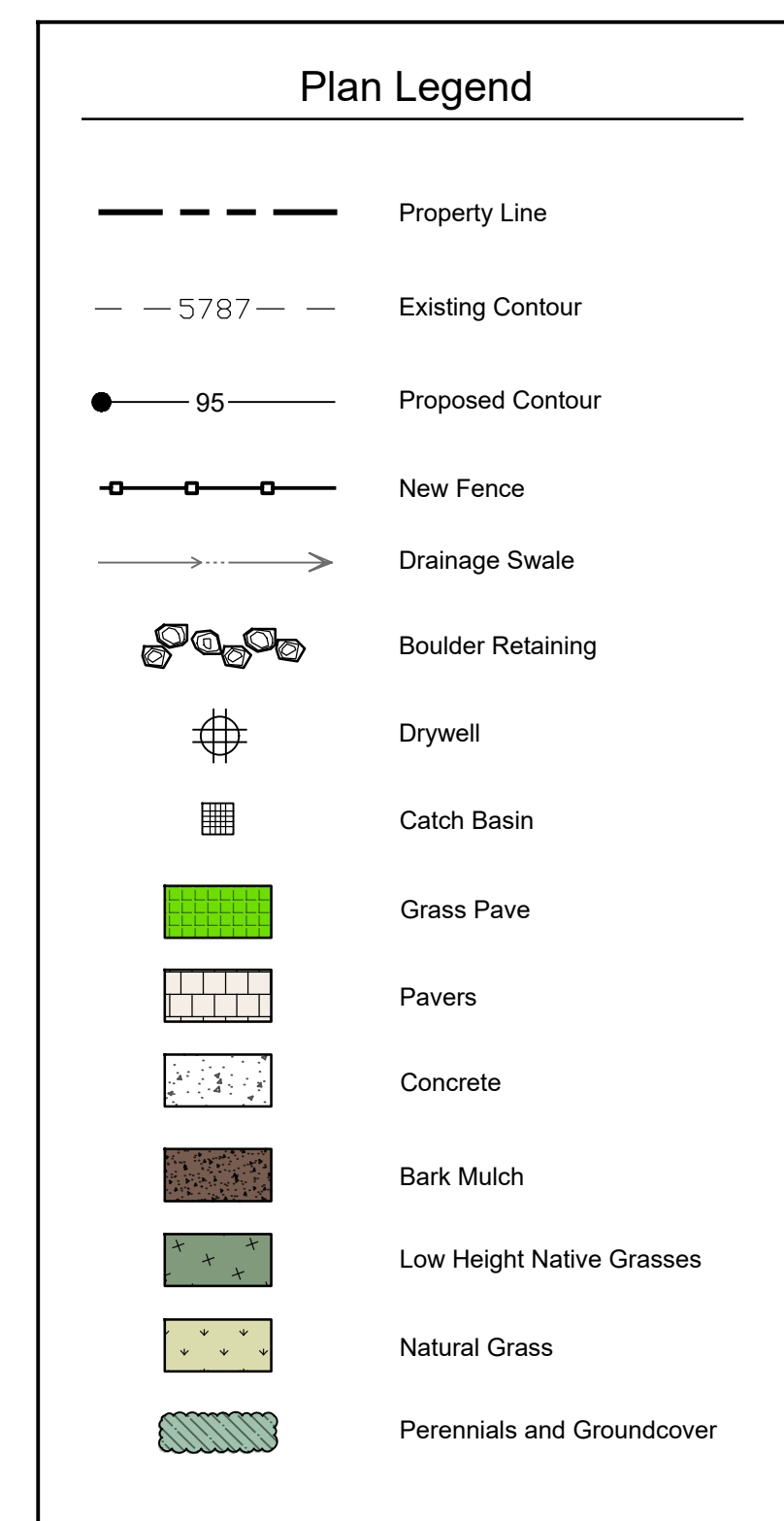
108 & 110 Richie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

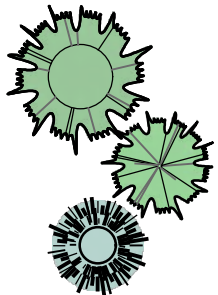




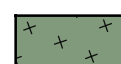

Job No: 2331
Scale: 1"=10'-0"
Issue/Revisions Date:
Concept Update 07/10/24
Design Review 11/06/24
DR Resubmission 03/14/25
DR Resubmission 06/25/25
DR Resubmission 07/17/25
DR Resubmission 08/04/25
DR Resubmission 10/03/25
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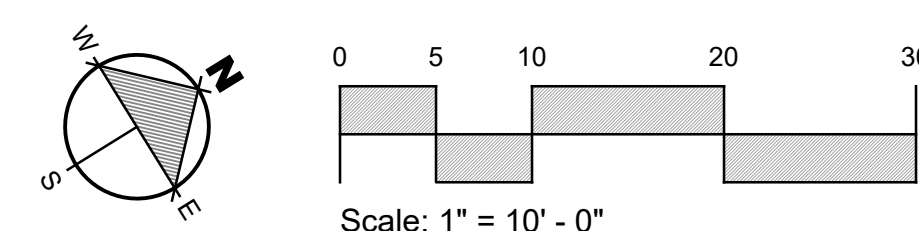
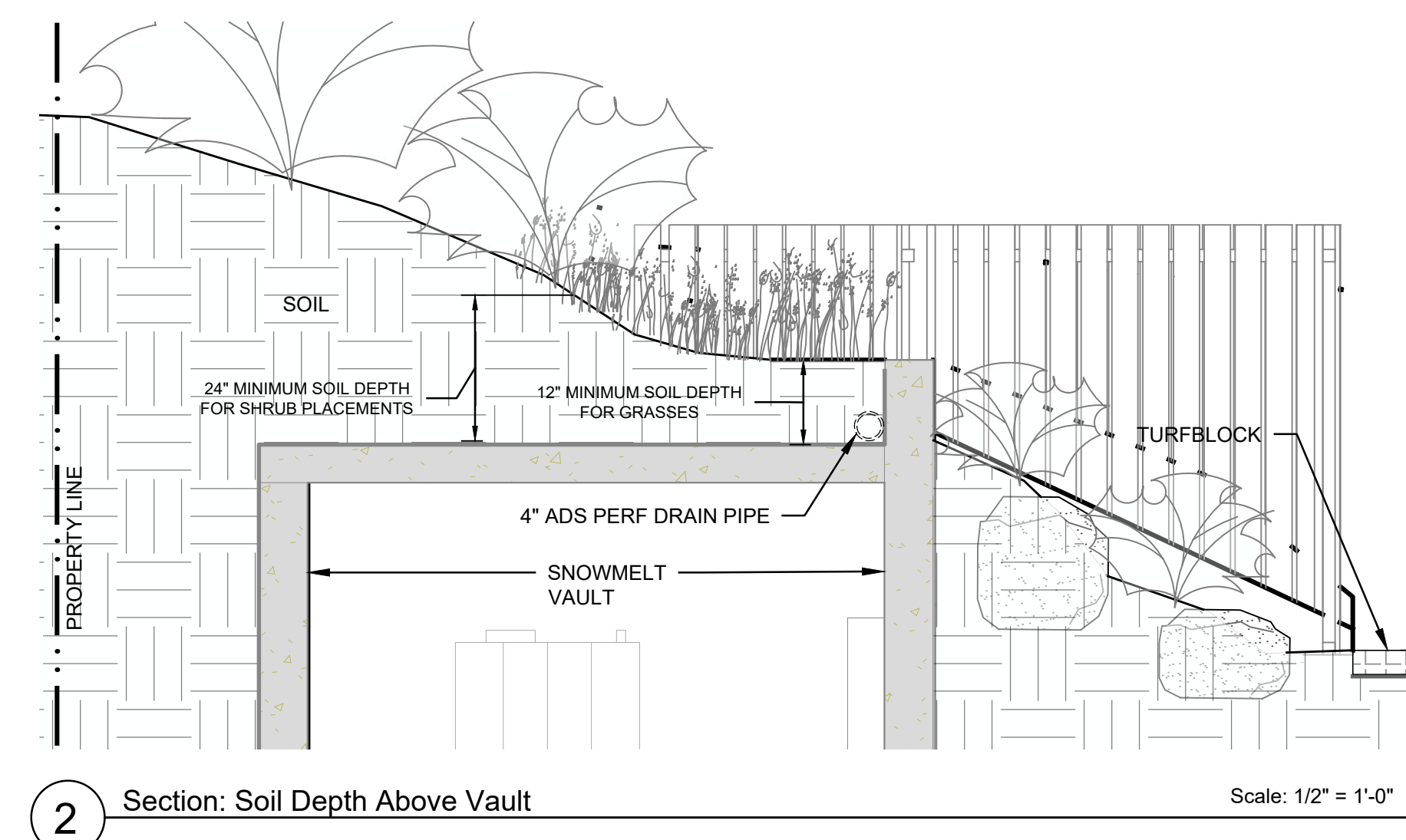
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STATE OF IDAHO
EGGERS ASSOCIATES, P.A.
LANDSCAPE ARCHITECT
NOV 2024

Sheet Title:
Grading Plan

Sheet No:
L2.0



Plant Legend						
<i>Qty.</i>	<i>Species</i>	<i>Scientific Name</i>	<i>Install Size</i>	<i>Mature Size</i>	<i>Drought Tolerance</i>	<i>Water Needs</i>
	12 Conifer Trees					
2	Colorado Spruce	<i>Picea pungens</i>	8'	25'-30'	medium	
5	Subalpine Fir	<i>Abies lasiocarpa</i>	8'	20'-25'	medium	
5	Tannenbaum/ Mugo Pine	<i>Pinus mugo</i> (Tannenbaum)	8'	10'-12'	low	
	15 Deciduous Trees	2-1/2-3" Cal.				
7	Prairiefire Crabapple	<i>Malus x 'Prairiefire'</i>	2-1/2" Cal.	10'-15'	low	
8	Sargent's Crabapple	<i>Malus sargentii</i>	2-1/2" Cal.	10'-15'	low	
	126 Deciduous Shrubs					
36	Flame Amur Maple	<i>Acer ginnala</i> 'Flame	5 Gal	6'-8"	medium	
30	Serviceberry	<i>Amelanchier alnifolia</i>	5 Gal	4'-6"	medium	
30	Snowberry	<i>Symphoricarpos alba</i>	5 Gal	4'-6"	medium	
30	Redtwig Dogwood	<i>Cornus sericea</i>	5 Gal	4'-6"	medium	
50	Birchleaf Spiraea	<i>Spiraea betulifolia</i> 'Tor'	1 Gal	3'	medium	
50	Goldfinger Potentilla	<i>Potentilla fruticosa</i> 'Goldfinger'	1 Gal	3'	medium	
	31 Evergreen Shrubs					
31	Mugo Pine	<i>Pinus mugo</i> var. <i>pumilio</i>	5 Gal	4'-6"	low	
	600 sq.ft. Various	Perennial Flowers	Flats@8"O.C.			
	2,900 sq.ft.	Grasses Lawn Mix	Hydroseed			
	3,000 sq.ft.	Natural Grasses Smooth Broomie	Hydroseed			



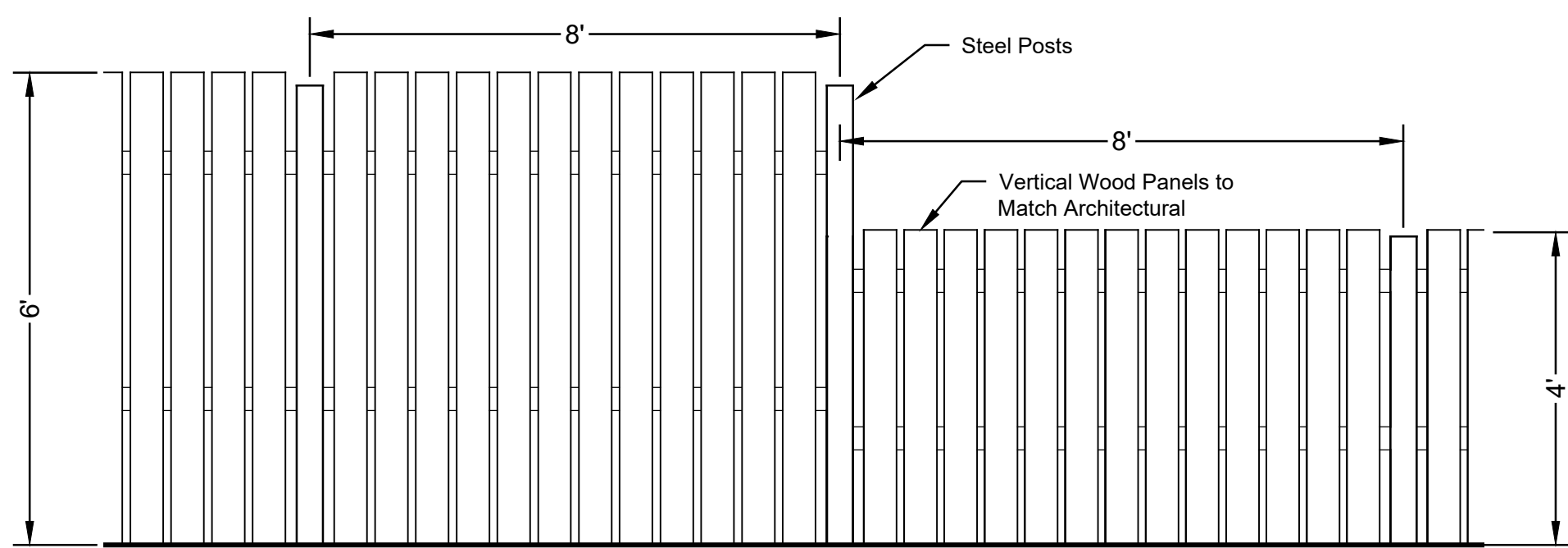


Plan Legend

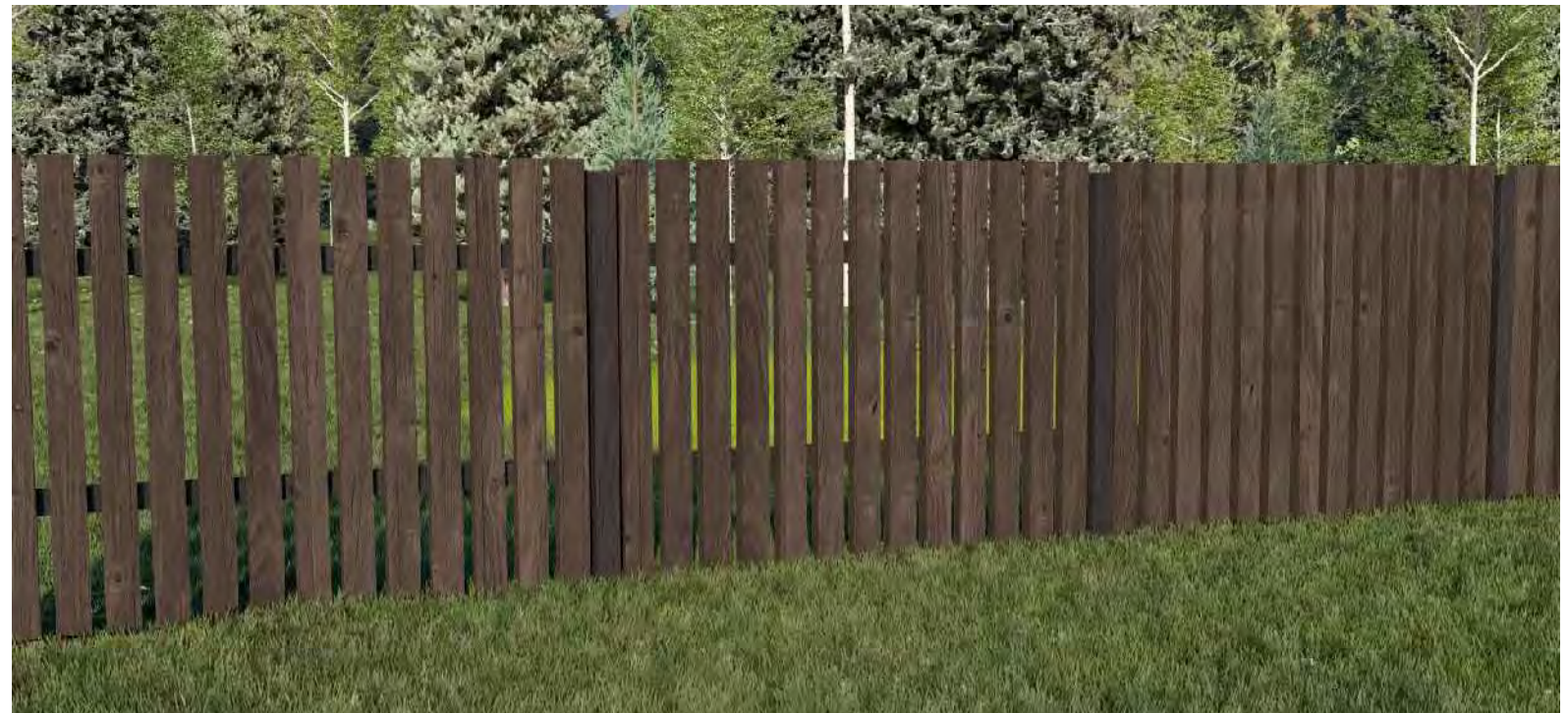
- Property Line
- Existing Contour
- Proposed Contour
- Grass Pave
- Pavers
- Concrete

Fence Legend

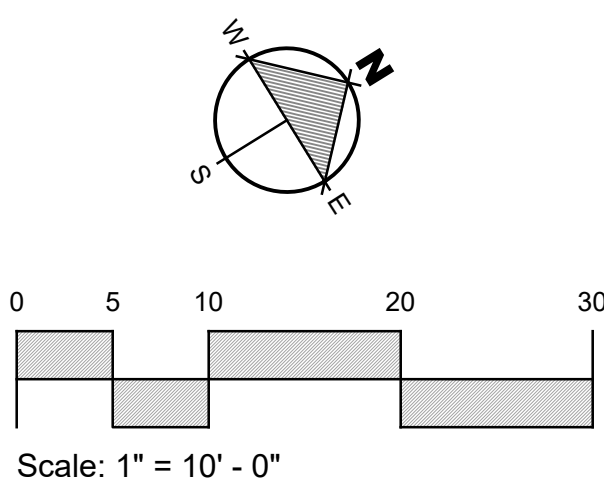
- 6 Foot High Fence
- 4 Foot High Fence



Elevation: 6 and 4 Foot Fencing Scale: 1/2" = 1'-0"



6' High Fence Concept Image



Warm Springs

EGGERS ASSOCIATES, P.A.
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P.O. Box 973
Ketchum, ID 83340

108 & 110 Richie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 23.31
Scale: 1" = 10'-0"

Issue/Revisions	Date:
Concept Update	07/10/24
Design Review	11/06/24
DR Resubmission	03/14/25
DR Resubmission	06/23/25
DR Resubmission	07/17/25
DR Resubmission	08/04/25
DR Resubmission	10/03/25

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STATE OF IDAHO
J. EGGERS
LANDSCAPE ARCHITECT
NOV 21 2024

Sheet Title:
Fencing Plan

Sheet No:
L3.2



Flowering Crab Trees (8 Feet Installation Height)



Fir Tree (6 - 8 Feet Installation Height)



Spruce Tree (6 - 8 Feet Installation Height)



Mugo Pine Tree (6 - 8 Feet Installation Height)



Streetside Example: Low Natural Grass (Scottish Links)

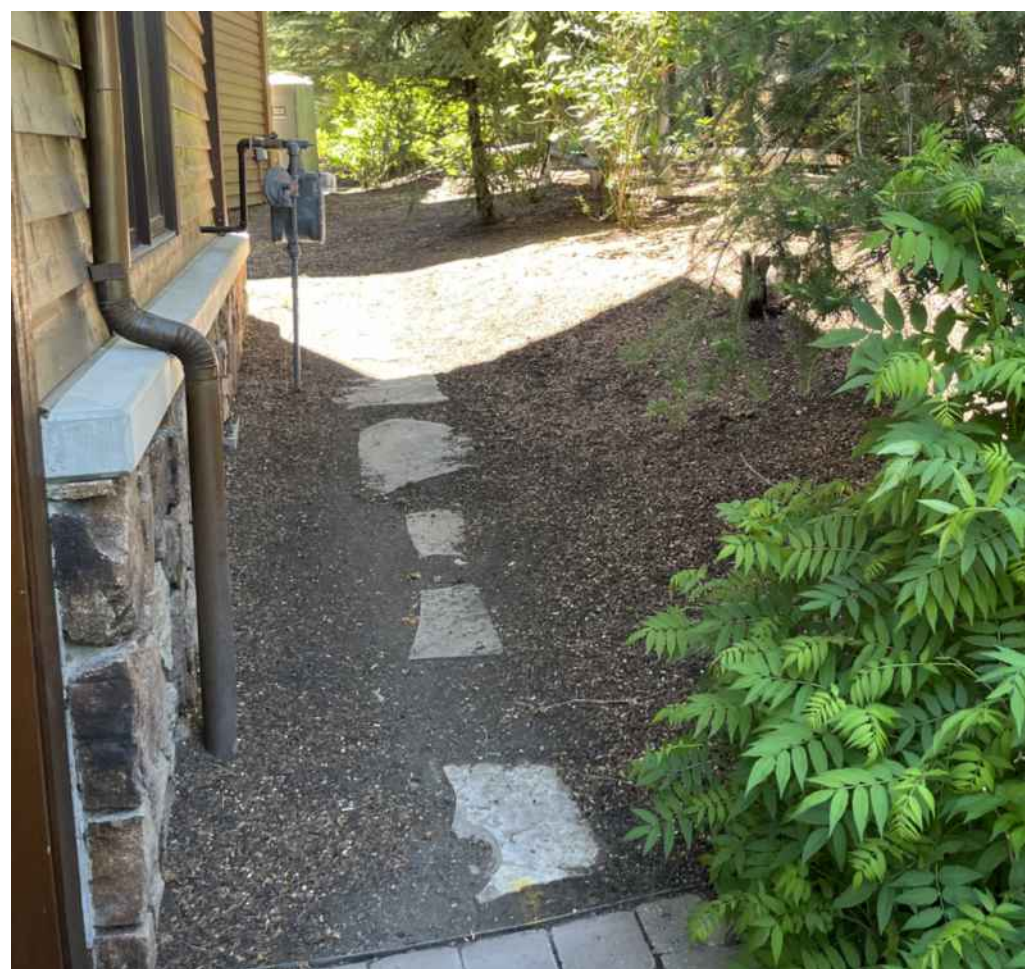
PLANT MATERIALS



STREET PLANTING EXAMPLES



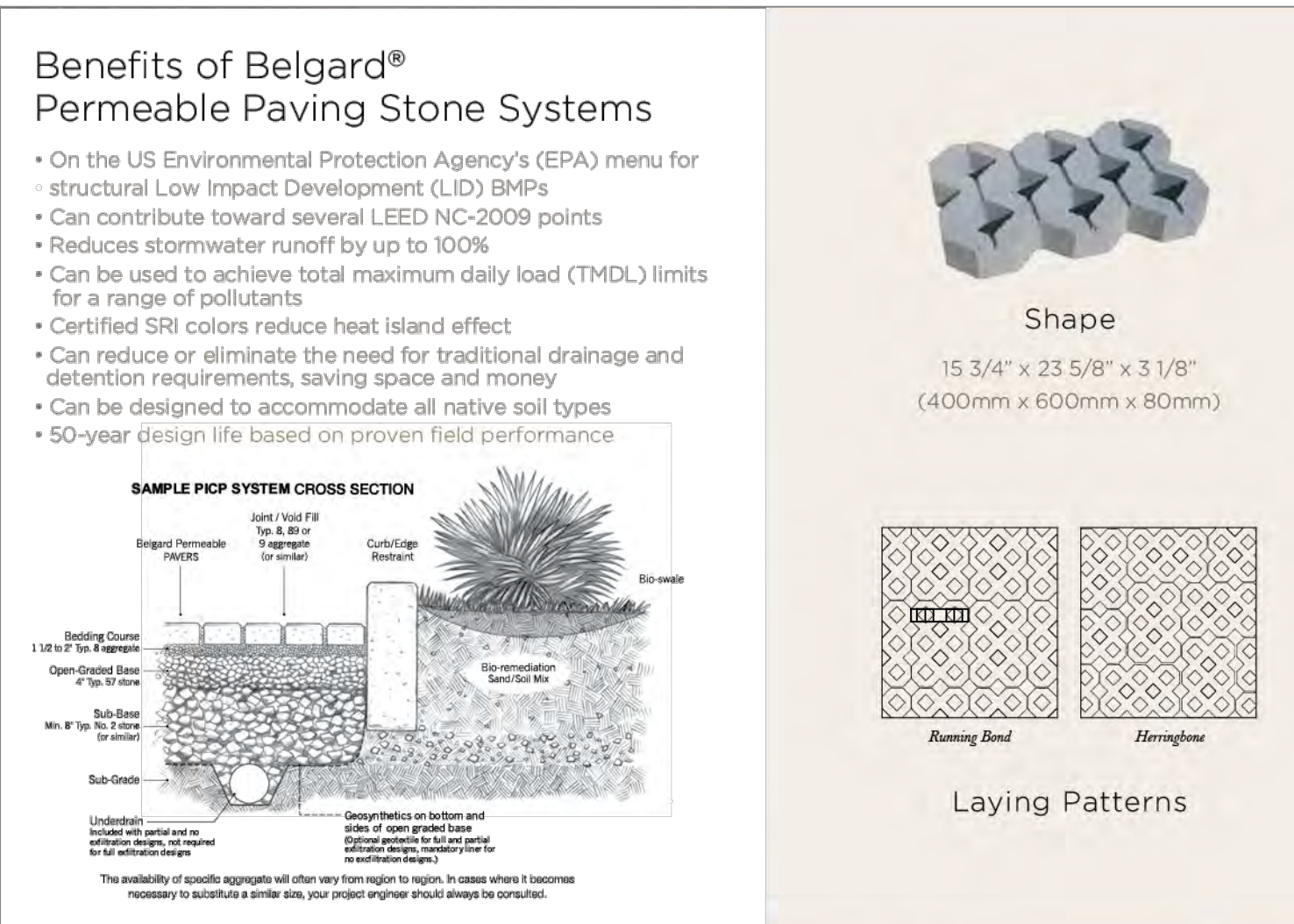
Transformer Screening



Bark Mulch and Path



Landscape Boulders With Plantings



Driveable Permeable Pavers / Filled with Decorative Gravel

HARDSCAPE MATERIALS

Warm
Springs

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Warm Springs Village Subd.
Ketchum, Idaho

Job No: 23.31

Scale:

Issue/Revisions: Date:

Concept Update 07/10/24

Design Review 11/06/24

DR Resubmission 03/14/25

DR Resubmission 06/23/25

DR Resubmission 07/17/25

DR Resubmission 08/04/25

DR Resubmission 10/03/25

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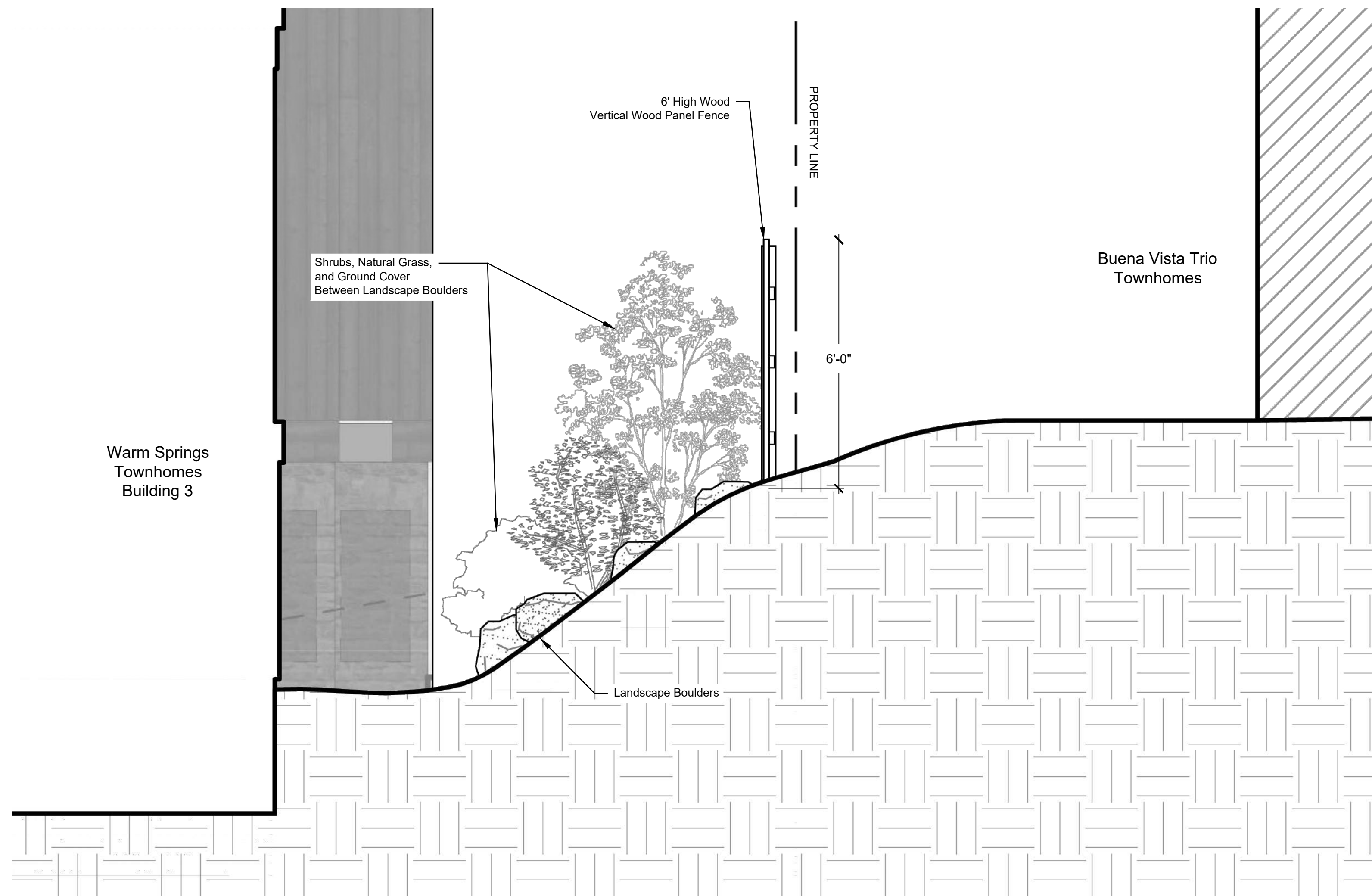
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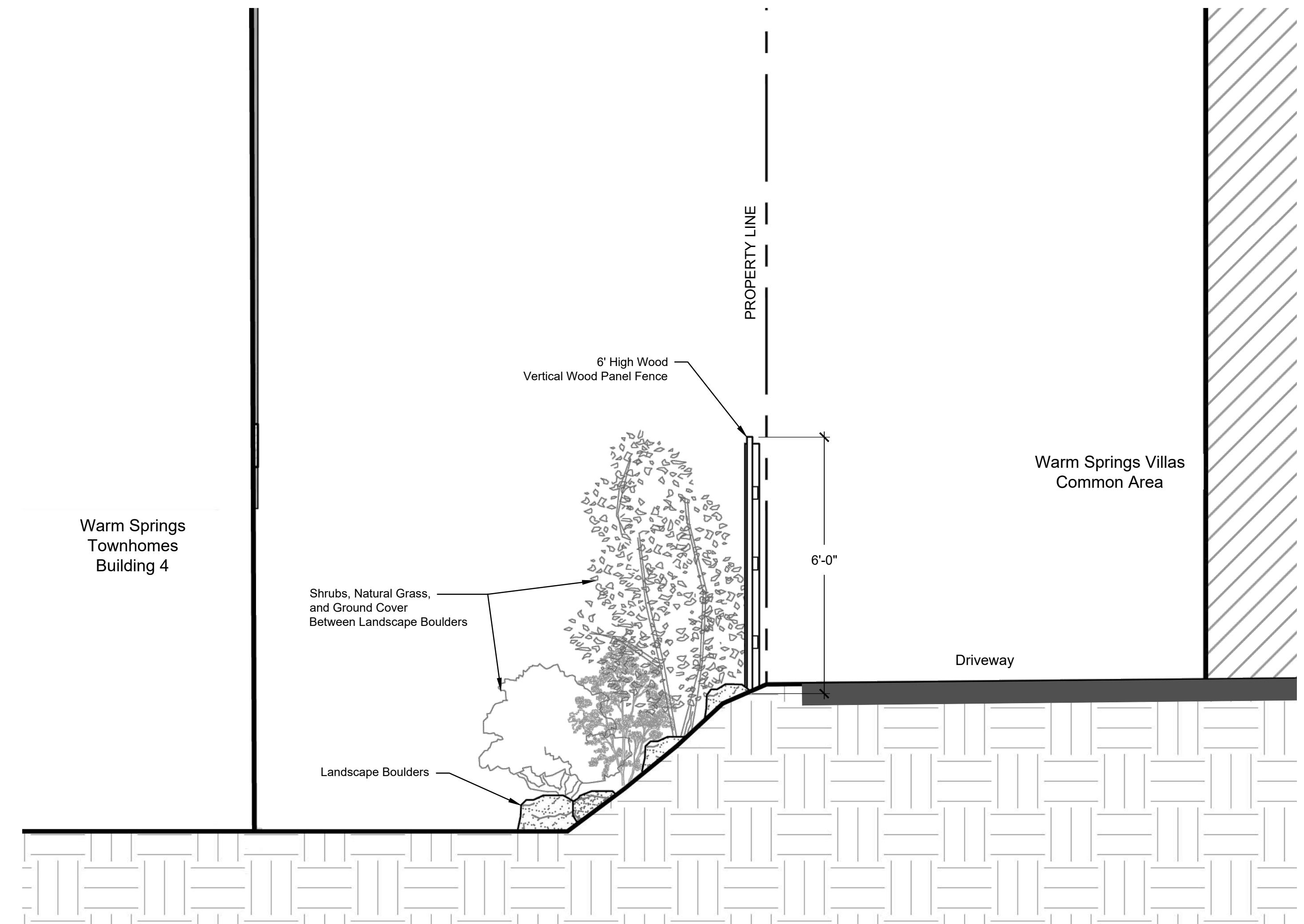
Sheet Title:
Plant
Materials

Sheet No:

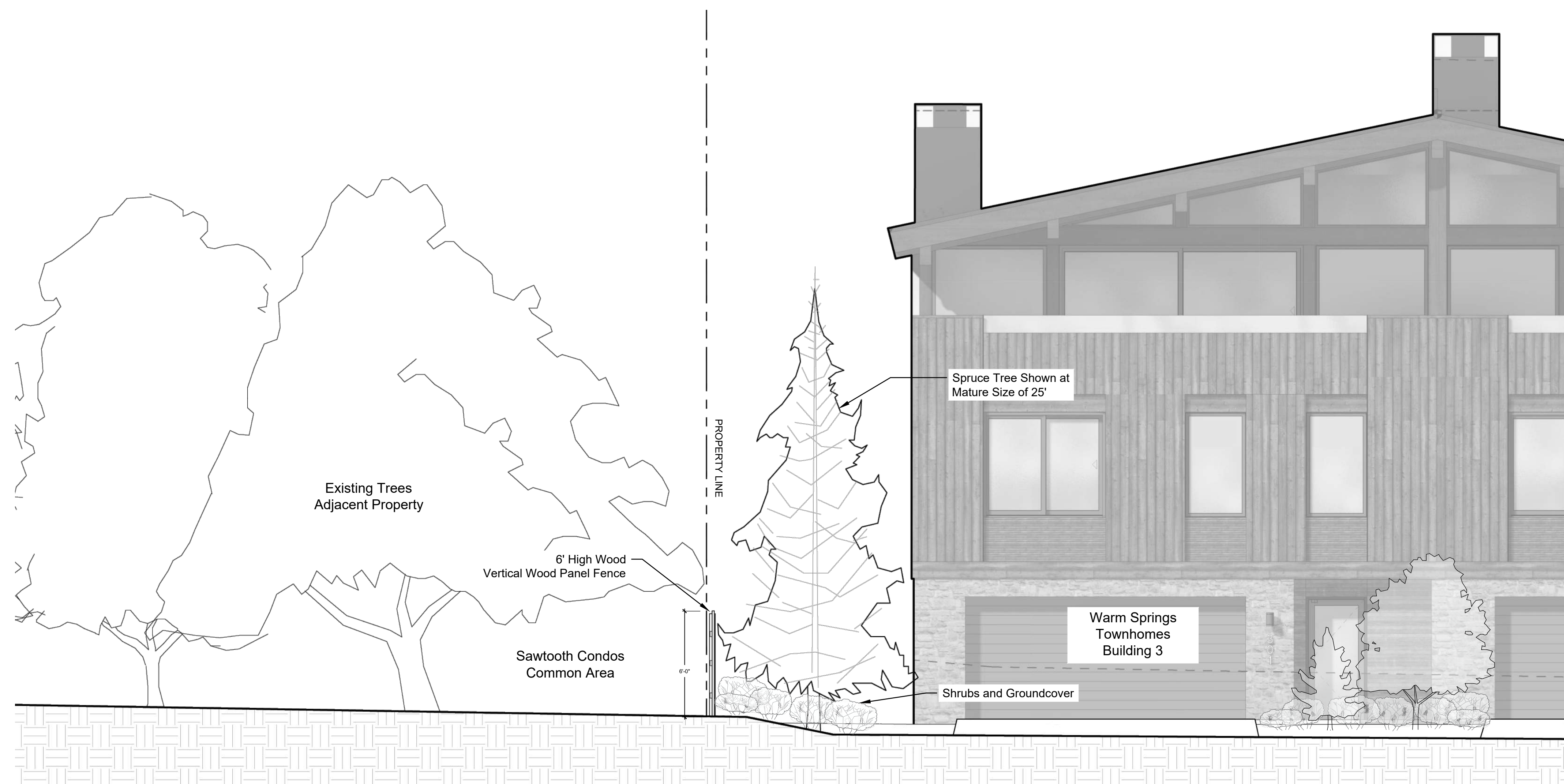
L4.0



1 Section: Building 3 Scale: 1/2" = 1'-0"



2 Section: Adjacent Driveway & Building 4 Scale: 1/2" = 1'-0"



3 Elevation: Adjacent Common Area & Building 3 Scale: 1/4" = 1'-0"

Warm
Springs

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108 & 110 Richie Drive
Lots 3 & 4
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Sheet Title:
Site
Sections

Sheet No:
L5.0

ABBREVIATIONS			
CD	CONDENSATE DRAIN	MV	MIXING VALVE
CONT	CONTINUATION	OH	OVERHEAD
CW	COLD WATER	G	NATURAL GAS
DN	DOWN	PD	PUMPED DISCHARGE
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE
EWC	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP
ex.	EXISTING	S, SAN	SANITARY
FCO	FLOOR CLEANOUT	SH	SHOWER
FD	FLOOR DRAIN	SK	SINK
FHB	FREEZEPROOF HOSE BIBB	TP	TRAP PRIMER
FS	FLOOR SINK	TYF	TYPICAL
FRH	FREEZEPROOF ROOF HYDRANT	UR	URINAL
FVH	FREEZEPROOF WALL HYDRANT	V	VENT
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF
GI	GREASE INTERCEPTOR	WC	WATER CLOSET
HB	HOSE BIBB	W.C.	WATER COLUMN
HD	HUB DRAIN	WCO	WALL CLEANOUT
HWS	HOT WATER SUPPLY	WHA	WATER HAMMER ARRESTER
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX

LEGEND	
	COLD WATER PIPE
	HOT WATER PIPE
	HOT WATER RETURN PIPE
	SANITARY PIPE
	VENT PIPE
	NATURAL GAS PIPE
	GREASE WASTE PIPE
	PIPE UP / PIPE DOWN
	PIPE TEE FROM TOP / TEE FROM BOTTOM
	PIPE CAP / PIPE CONTINUATION
	DIRECTIONAL FLOW ARROW
	BALL VALVE / CHECK VALVE
	MIXING VALVE / PRESSURE REDUCING VALVE
	FLOOR DRAIN / FLOOR SINK
	WATER HAMMER ARRESTOR
	GAS COCK / GAS SOLENOID VALVE
	P-TRAP
	HUB DRAIN
	FLOOR CLEANOUT / GRADE CLEANOUT
	VENT THROUGH ROOF
	PIPE CLEANOUT / WALL CLEANOUT

LEGEND	
SYMBOLS	DESCRIPTION
	DUCT UP
	DUCT UP
	DUCT DOWN
	EQUIPMENT TYPE EQUIPMENT NUMBER. WHERE A LETTER IS USED, THERE ARE MULTIPLE INSTANCES.

SPECIFICATIONS	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL GAS UTILITY PROVIDER TO CONFIRM THE AVAILABILITY OF THE INDICATED DESIGN DELIVERY PRESSURE PRIOR TO COMMENCING WORK.	
ALL GAS PIPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL FUEL GAS CODE AND NFPA 54.	
ABOVE GRADE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL (ASTM A53/A53M). FITTINGS SHALL BE ASME B1 6.3 MALLEABLE IRON OR ASTM A234/A234M WROUGHT STEEL WELDING TYPE. JOINTS SHALL BE THREADED OR WELDED TO ASME B31.1.	
BELOW GRADE GAS PIPING SHALL BE FLEXIBLE POLYETHYLENE TUBING AND SHALL COMPLY WITH ASTM D2513 AND CSA B137.4, AND SHALL BE INSTALLED IN ACCORDANCE WITH IFGC SECTION 402.11.2. PROVIDE MANUFACTURED RISER ASSEMBLY TO TRANSITION FROM TUBING TO ABOVEGROUND METALLIC PIPING.	
SHUTOFF VALVES SHALL BE PROVIDED AND LOCATED IN PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.	
ALL GAS FIRED APPLIANCES ARE PROVIDED WITH A GAS PRESSURE OF 7" W.C. AT FINAL EQUIPMENT CONNECTION. IF 7" W.C. EXCEEDS EQUIPMENT'S SPECIFIC INLET PRESSURE REQUIREMENT, CONTRACTOR SHALL PROVIDE APPROPRIATE PRESSURE REGULATING VALVE.	
GAS PIPING ON ROOF SURFACES SHALL BE ELEVATED NO LESS THAN 3/4" INCHES ABOVE ROOF SURFACE AND SHALL BE CLAMPED TO RUBBER CHANNEL SUPPORTS (MIFAB C10 SERIES OR EQUAL). PROVIDE SUPPORT AT EVERY ELBOW. THE MAXIMUM SPACING OF SUPPORTS SHALL BE: 1/2" PIPE: 5'-0"; 3/4" TO 1 1/4" PIPING: 6'-0"; 1 1/2" AND LARGER: 12'-0". VERTICAL PIPING SHALL BE SUPPORTED AT BASE, TOP AND AT 10' INTERVALS (MINIMUM).	
ALL EXTERIOR GAS PIPING ON ROOF SHALL BE PRIMED AND PAINTED 0.5 H.A. YELLOW. GAS PIPING RUNNING ON EXTERIOR WALLS SHALL BE PRIMED AND PAINTED TO MATCH BUILDING WALL.	
EXPOSED GAS PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED 'GAS' IN BLACK LETTERS. ALL PIPING GREATER THAN 7" W.C. SERVICE PRESSURE SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEEDING 5 FEET ALONG ITS EXPOSED LENGTH.	
BALL VALVES: THREE PIECE BODY, FULL PORT, CHROME PLATED BALL, BLOWOUT PROOF STEM, TFE SEATS, UL LISTED FOR FLAMMABLE LIQUIDS, 600 PSI WOG, THREADED ENDS.	
PRESSURE REGULATOR VALVE: SINGLE STAGE AND SUITABLE FOR NATURAL GAS, STEEL JACKET AND CORROSION RESISTANT COMPONENTS, THREADED FOR REGULATORS NPS 2 AND SMALLER. PROVIDE SHUTOFF VALVE IMMEDIATELY AHEAD OF REGULATOR, AND INSTALL TEST PORTS ON EITHER SIDE REGULATOR, WITH UPSTREAM TEST PORT DOWNSTREAM OF SHUTOFF VALVE. REGULATORS SHALL BE INSTALLED PER IFGC SECTION 410. FOR 2PSI INLET, PROVIDE MAXITROL 325-L SERIES. PROVIDE VENT PROTECTOR FOR EXTERIOR APPLICATIONS. FOR INTERIOR APPLICATIONS, BE PIPED TO THE EXTERIOR WITH TURNDOWN AND SCREEN PROTECTOR (REGULATOR EQUIPPED WITH FACTORY PROVIDED VENT LIMITER IS ACCEPTABLE WHERE APPROVED BY THE LOCAL JURISDICTION).	
SHUTOFF VALVES SHALL BE PROVIDED IN ACCORDANCE WITH IFGC 409. INSTALL MANUAL GAS SHUTOFF VALVE FOR EACH GAS APPLIANCE AHEAD OF CORRUGATED STAINLESS STEEL TUBING OR COPPER CONNECTOR. SHUTOFF SHALL BE WITHIN 6" OF APPLIANCE.	
INSTALL UNIONS IN PIPES NPS 2 AND SMALLER, ADJACENT TO EACH VALVE, AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT.	
ALL GAS PIPING INSTALLED BENEATH THE BUILDING SLAB SHALL BE ENCASED IN WROUGHT IRON CONDUIT. PIPING SHALL BE PROTECTED AND INSTALLED ACCORDING TO THE INTERNATIONAL FUEL GAS CODE SECTION 404.14.	
TANK TYPE WATER HEATERS WATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF ENERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1.	
WATER HEATERS SHALL HAVE 1/2" PSI WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND HIGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS OTHERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM, STEEL STAND OR CONCRETE PAD, AS INDICATED ON DRAWINGS.	
WATER HEATERS SHALL HAVE A MINIMUM 3 YEAR LIMITED WARRANTY.	
WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR SERVICING.	
INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP.	
HANGERS AND SUPPORTS HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.	
SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.	
WHERE SEVERAL PIPES 2 1/2" AND SMALLER RUN PARALLEL AND IN THE SAME PLANE, THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.	
PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IPC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-0" OF EACH ELBOW.	
VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.	
SUPPORT DOMESTIC WATER PIPING IN SPACES BEHIND PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING.	
AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO HOLE SHOWS AT THE CEILING.	
WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISSIMILAR MATERIALS SHALL BE PROVIDED.	
PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURERS STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.	
SLEEVES SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS. PROVIDE STANDARD WROUGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION. PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.	
SLEEVES MAY BE OMITTED WHEN OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.	
SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.	
PENETRATIONS THROUGH OUTSIDE WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK, 1" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.	
WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES SANITARY PIPING SHALL BE PVC SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.	
PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 12454 PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2665. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2665. FABRICATED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.	
WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.	
ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.	
NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED IN THE HORIZONTAL.	
WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.	
WHERE DRAWINGS REQUIRE CONNECTION TO EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE IN CONNECTING TO EXISTING, OR IF THERE IS A MORE DIRECT CONNECTION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED (1/4" FT MINIMUM) AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER OF ANY DEFICIENCIES.	
DOMESTIC WATER SYSTEMS AND ACCESSORIES WATER PIPING ABOVE SLAB: TYPE 1: HARD DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI B1 6.2.2.	
WATER PIPING BELOW SLAB: TYPE 1: SOFT DRAWN COPPER TUBING, WITH NO JOINTS BELOW SLAB, ASTM B88.	
ALL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.	
DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.	
BALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. SEATS SHALL BE REINFORCED TPE WITH TEPLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM EXTENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.	
BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR BACKFLOW PREVENTERS WITH VENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. BACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.10.2. CONTRACTOR SHALL PROVIDE CERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.	
THERMOMETERS SHALL BE 9" ADJUSTABLE ANGLE, 30°-180°F RANGE (TERICRE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE 4 1/2" DIAL SIZE, 0-1 GOPSI (TERICRE 600CB OR EQUAL).	
CONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE DOMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE PRESSURE EXCEEDS 80PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS LP223) AND UPSTREAM STRAINER (WATTS LSF777).	
CONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER SUPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE BIBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) SHALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED.	
INSULATION INSULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. PIPE UP TO 1 1/4": 1" THICK INSULATION. PIPE 1 1/2" OR LARGER: 1 1/2" THICK INSULATION	
INSULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING, VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, EXPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO 1 1/4" THICK. PIPING 1 1/2" AND OVER: 1 1/2" THICK INSULATION. ALL WATER AND DRAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1 1/2" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED WITH FOAM INSULATION.	
ALL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.	
INSULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-IN/HR x SQFT x °F.	
PROTECTION OF PIPING PIPING PASSING UNDER FOOTINGS OR THROUGH FOUNDATION WALLS SHALL BE PROVIDED WITH A SLEEVE TWICE THE DIAMETER OF THE PIPE. OPEN ENDS OF SLEEVES SHALL BE SEALED. PIPING PASSING THROUGH CONCRETE OR CINDER WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED IN ACCORDANCE WITH IPC 305.1. ALL PIPING INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS SHALL BE PROTECTED BY STEEL SHIELD PLATES IN ACCORDANCE WITH IPC 305.6. VERTICAL STACKS IN WOOD CONSTRUCTION SHALL BE PROTECTED FROM BUILDING SETTLING WITH COMPRESSION/EXPANSION FITTINGS AND PIPE CLAMPS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS (FERNOCO XJ SERIES OR EQUAL).	

SPECIFICATIONS	
APPLICABLE CODES: INTERNATIONAL FIRE CODE (IFC), 2018 EDITION 2020 IFC CO AMENDMENTS INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION 2020 IPC CO AMENDMENTS INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION 2020 IMC CO AMENDMENTS INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION 2020 IFGC CO AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 EDITION 2020 SUPPLEMENTS AND AMENDMENTS	
GENERAL NOTES: REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL CEILING MOUNTED EQUIPMENT. ALL DUCT DIMENSIONS INDICATED IN THESE DOCUMENTS ARE INSIDE-CLEAR DIMENSIONS. PORTIONS OF DUCTWORK OR PIPING VISIBLE THROUGH GRILLES AND REGISTERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK. PAINT BLACK BEHIND ALL GRILLES. ALL WIRING IN THE CEILING FLENUM SHALL BE FLENUM RATED CABLE. MOUNTING FRAME OF CEILING MOUNTED AIR DISTRIBUTION DEVICES SHALL BE COMPATIBLE WITH CEILING TYPE. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE. ALL FIRE SEPARATIONS MUST BE PROTECTED WHEN APPLICABLE. PROVIDE NEW FILTERS (MERV 7 OR BETTER PER OWNER) FOR ALL APPLICABLE HVAC EQUIPMENT AT THE END OF CONSTRUCTION. ALL MATERIAL IN FLENUM MUST MEET FIRE AND SMOKE SPREAD AS REQUIRED BY NFPA 90A. ALL ROOF PENETRATIONS TO BE 12" APART AND AT LEAST 12" AWAY FROM CURBS, WALLS, AND DRAIN SUMPS TO PROVIDE ROOFING CONTRACTOR WITH SUFFICIENT ACCESS FOR FLASHING EACH ROOF PENETRATION. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY ARCHITECT PRIOR TO BID SUBMISSION.	
CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH THE SCOPE AND REQUIREMENTS OF THIS PROJECT. ANY DISCREPANCIES OR LACK OF CLARITY IN THE DOCUMENTS SHALL BE IDENTIFIED TO THE ARCHITECT OR ENGINEER PRIOR TO THE SUBMISSION OF PRICING BIDS. WITH A SUBMITTED BID, CONTRACTOR IS ACCEPTING THESE DOCUMENTS AS SUFFICIENT DEFINITION OF THE SCOPE OF WORK, AND ANY ADDITIONAL COSTS BASED ON UNCLARITY OF CONTRACT DOCUMENTS WILL NOT BE CONSIDERED.	
THE CONTRACTOR SHALL REFERENCE THE FULL SET OF CONSTRUCTION DOCUMENTS DURING PRICING AND CONSTRUCTION FOR COORDINATION BETWEEN DISCIPLINES RELATIVE TO THE MECHANICAL SCOPE.	
EXISTING CONDITIONS: CONTRACTOR SHALL VISIT THE SITE AND UNDERSTAND JOB CONDITIONS BEFORE SUBMITTING A PROPOSAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITY SERVICES PRIOR TO SUBMITTING HIS PROPOSAL. NO CONSIDERATION WILL BE GIVEN TO CLAIMS FOR EXTRA COST ARISING FROM CONTRACTOR'S FAILURE TO BE FULLY COGNIZANT OF JOB OR SITE CONDITIONS EXISTING AT TIME OF ACCEPTANCE OF BID. ACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, PROTECT, BRACE, SUPPORT EXISTING ACTIVE SEWERS, GAS AND OTHER SERVICES REQUIRED FOR PROPER EXECUTION OF WORK. IF EXISTING ACTIVE SERVICES ARE ENCOUNTERED THAT REQUIRE RELOCATION, RELOCATE AS APPROVED. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES THAT ARE TO REMAIN. INACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, REMOVE, CAP OR PLUG INACTIVE SERVICES, AS INDICATED. INTERRUPTION OF SERVICES: WHERE WORK MAKES TEMPORARY SHUT-DOWNS OF SERVICES UNAVOIDABLE, SHUT DOWN AT NIGHT, OR AT SUCH TIMES AS APPROVED BY OWNER, WHICH WILL CAUSE LEAST INTERFERENCE WITH ESTABLISHED OPERATING ROUTINE. ARRANGE WORK TO ASSURE THAT SERVICES WILL BE SHUT DOWN ONLY DURING TIME ACTUALLY REQUIRED TO MAKE NECESSARY CONNECTION TO EXISTING WORK. WHERE EXISTING WALLS, CEILINGS, FLOORS, ETC., ARE CUT OR OTHERWISE DAMAGED DURING CONSTRUCTION, REPAIR ALL SURFACES TO THEIR ORIGINAL CONDITION.	
SHOP DRAWINGS: SUBMIT SHOP DRAWINGS FOR REVIEW. PDF FILES PREFERRED. SHOP DRAWINGS SHALL BE BOUND INTO VOLUMES (FILES), WITH EACH VOLUME (FILE) CONTAINING ONE COPY OF ALL SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED SIMULTANEOUSLY; NO SHOP DRAWINGS WILL BE CHECKED UNTIL ALL HAVE BEEN SUBMITTED. SUBMITTALS SHALL BE SUPPORTED BY DESCRIPTIVE MATERIAL, SUCH AS CATALOG CUTS, DIAGRAMS, PERFORMANCE CURVES AND CHARTS PUBLISHED BY THE MANUFACTURER, TO SHOW CONFORMANCE TO SPECIFICATION AND DRAWING REQUIREMENTS; MODEL NUMBERS ALONE WILL NOT BE ACCEPTABLE. ALL LITERATURE SHALL CLEARLY INDICATE THE SPECIFIED MODEL NUMBER, DIMENSIONS, ARRANGEMENT, RATING AND CHARACTERISTICS OF THE PROPOSED EQUIPMENT. CAPACITIES AND RATINGS SHALL BE BASED ON CONDITIONS INDICATED OR SPECIFIED HEREIN. ANY DEVIATIONS FROM SPECIFIED EQUIPMENT, PARTICULARLY THOSE WHICH REQUIRE COORDINATION WITH OTHER TRADES, SHALL BE CLEARLY NOTED IN A CONCISE LIST ON A SEPARATE SHEET.	
TEST AND BALANCE: TEST AND BALANCE (TAB) CONTRACTOR SHALL HOLD A CURRENT NATIONAL BALANCING COUNCIL (NBC) CERTIFICATION AND POSSESS ACCURATE AND CALIBRATED INSTRUMENTS. TAB WORK AND REPORTS SHALL BE PER NBC PRACTICAL STANDARDS, PROCEDURES AND FORMS. ACCEPTABLE ALTERNATIVE TAB FIRM CERTIFICATIONS/PROCEDURES: NEBB, AABC, OR TABB. PRIOR TO COMMENCEMENT OF THE TAB WORK, THE MECHANICAL SYSTEMS ARE TO BE STARTED AND FULLY FUNCTIONING. A CHECKLIST PRIOR TAB WORK IS TO BE SENT TO THE INSTALLING CONTRACTOR AND RETURNED ATTESTING TO THE READINESS OF THE SYSTEMS FOR BALANCING. PREFERRED TAB FIRM: P-TAB.COM	
GUARANTEE: GUARANTEE THAT EACH PIECE OF APPARATUS SHALL BE OF THE CUSTOMARY STANDARD AND QUALITY FURNISHED BY THE DESIGNED MANUFACTURER FOR THAT CATALOG NUMBER. GUARANTEE THAT THE AIR SYSTEMS SHALL OPERATE WITHOUT AERODYNAMIC NOISE GENERATED FROM THE FAULTY INSTALLATION OF DUCT WORK OR ANY COMPONENT OF THE AIR DISTRIBUTION SYSTEM. GUARANTEE THAT ALL SYSTEMS AND COMPONENTS SHALL BE PROVIDED WITH A ONE YEAR WARRANTY FROM THE TIME OF DATE OF SUBSTANTIAL COMPLETION. THE WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP. DURING THIS WARRANTY PERIOD, ALL DEFECTS IN MATERIALS AND WORKMANSHIP SHALL BE CORRECTED BY REPAIR OR REPLACEMENT WITHOUT INCURRING ADDITIONS TO THE CONTRACT.	
SNOW MELT BOILER WATER PIPING: CONDENSER WATER PIPING SHALL BE SCHEDULE 40 STEEL PIPE, GROOVED, MECHANICAL JOINT COUPLING AND FITTINGS; AND GROOVED MECHANICAL JOINTS. SNOW MELT BOILER WATER PIPING INSULATION: CONDENSER WATER PIPING SHALL BE INSULATED WITH 1 1/2" CELLULAR GLASS WITH ALL SERVICE JACKET (ASJ) OR 1-1/2" MINERAL FIBER PREFORMED PIPE, TYPE 1, WITH ASJ.	



**PROFICIENT
ENGINEERING**
404 N. Nelson St. Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 240050

WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

OWNER:

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TEL: 603.851.0419

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CIVIL ENGINEER:

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GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

GENERAL CONTRACTOR:

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW SUBMISSION	7/10/2024
	DESIGN REVIEW RESUBMISSION	11/5/2024
2	DESIGN REVIEW SUBMISSION	3/14/2025
3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:

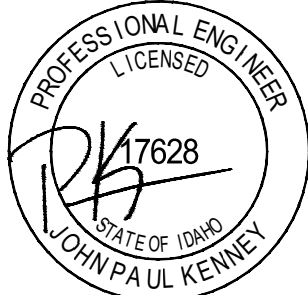
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:

GENERAL

SEAL:



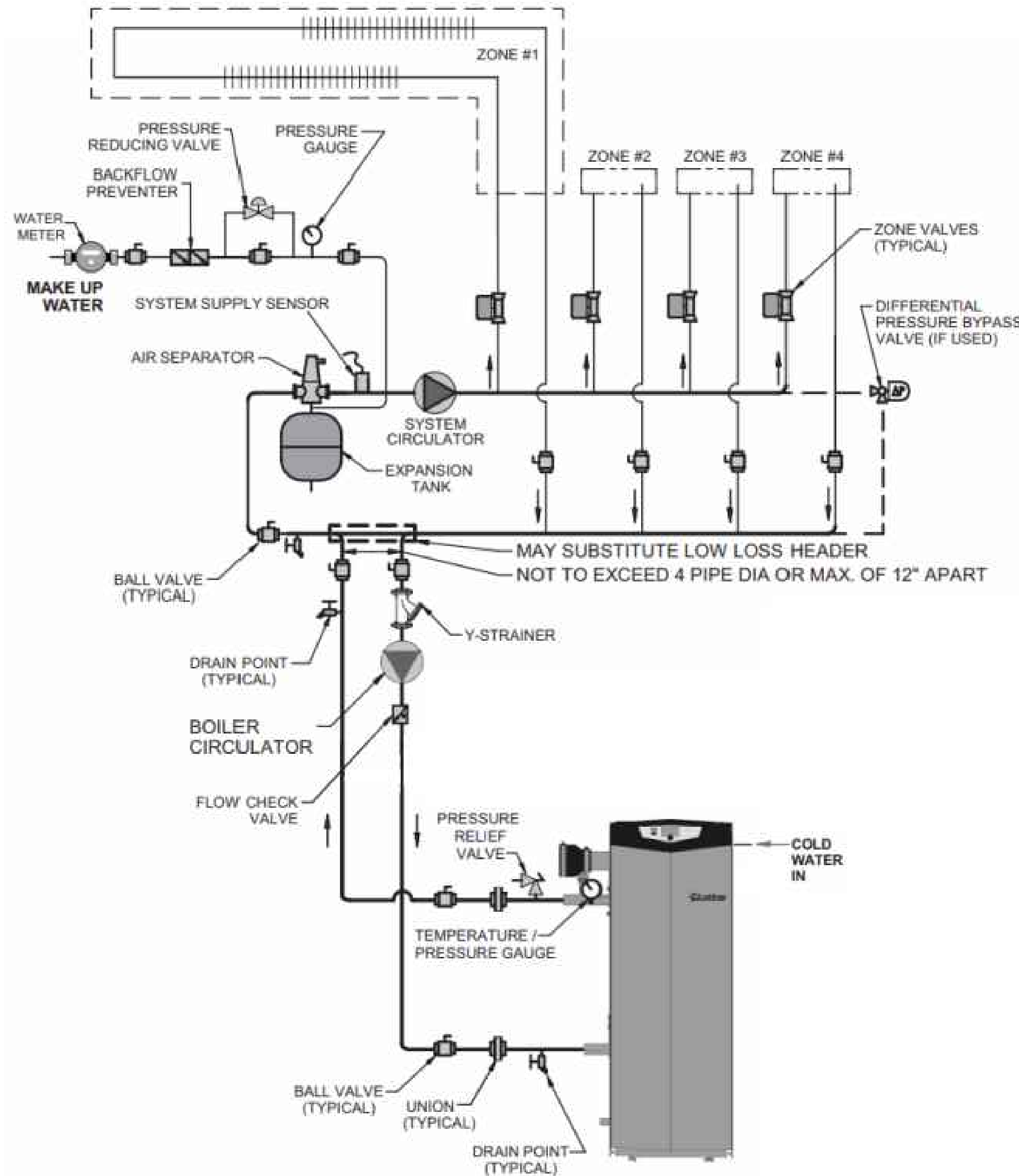
PROJECT NUMBER

2000.01

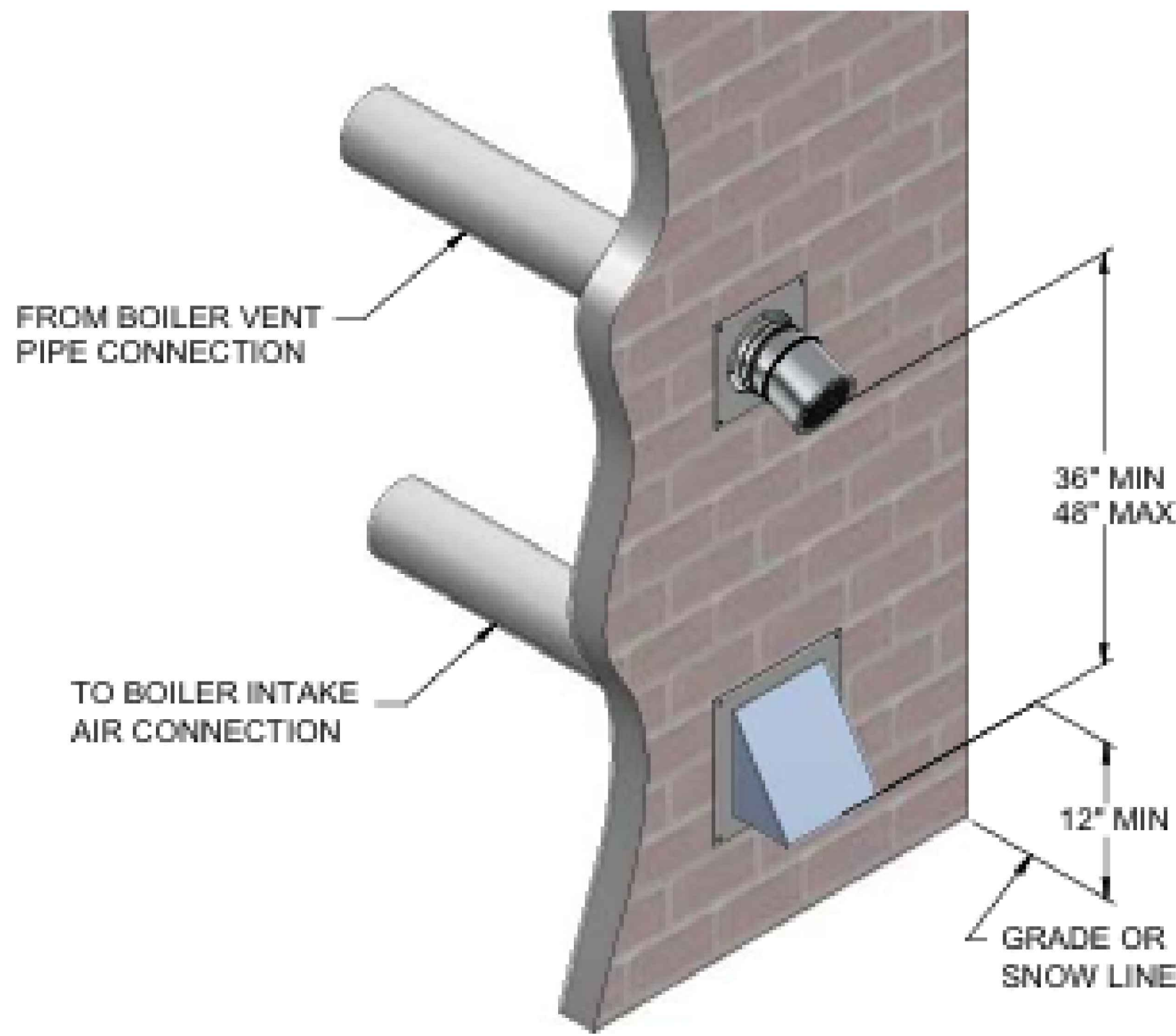
DRAWING NUMBER:

M0.1

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BOILER INSTALLATION DETAIL
NO SCALE



BOILER SIDEWALL TERMINATION DETAIL
NO SCALE

HOT WATER BOILER

MARK	SERVES	BASIS OF DESIGN	WATER			HEATER		DECIBEL (dB)	TURN DOWN	THERMAL EFFICIENCY (%)	OPERATING WEIGHT (LBS)	REMARKS									
			GPM	EWT (°F)	LWT (°F)	INPUT (MBH)	OUTPUT (MBH)					1	2	3	4	5	6	7	8	9	10
B-1	BUILDING B RAMP	FD1751	145.0	40	121	1,751.0	1,684.0	66	25:1	96.2	250	X	X	X	X	X	X	X	X	X	X

NOTES:

A. SELECTIONS ARE BASED ON LOCHINVAR, EQUAL PRODUCTS BY AERCO, PATTERSON KELLEY, HYDROTHERM.

B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.

C. THERMAL EFFICIENCY IS BASED ON AHRI EFFICIENCY 80°F TO 130°F.

REMARKS:

1. SINGLE POINT POWER CONNECTION.

2. DISCONNECT SWITCH PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.

3. FACTORY PROVIDED MULTI-BOILER CONTROL SYSTEM.

4. OUTDOOR AIR RESET.

5. BAS INTERFACE (BAGNET).

6. DIRECT VENT SEALED COMBUSTION CONFIGURATION.

7. CONCENTRIC VENT KIT.

8. HIGH & LOW GAS PRESSURE SWITCHES WITH MANUAL RESET.

9. 50%-50% PROPYLENE GLYCOL AND WATER SOLUTION, PROVIDE ADVANTAGE.

CONTROLS 55 GALLON E-GLYCOL FEEDER, INSTALL PER MANUFACTURERS INSTRUCTIONS, PROVIDE WITH BAS INTERFACE (BAGNET).

PUMP SCHEDULE

MARK	SERVICE / DUTY	TYPE	GPM	HEAD (FT)	IMPELLER DIAMETER (IN)	MAX HP/SHR (PS)	MOTOR (HP)	PUMP SPEED (RPM)	PUMP EFF (%)	OPERATING WEIGHT (LBS)	BASIS OF DESIGN MODEL	REMARKS									
												1	2	3	4	5	6	7	8	9	10
P-1A	B-1: PRIMARY LOOP	ECM HIGH-EFFICIENCY	145	11,000	10"	4.35	21	4760	36	52	TACO VR25M5F	X	X	X	X	X	X	X	X	X	X
P-1B	B-1: SECONDARY LOOP	ECM HIGH-EFFICIENCY	145	13,900	10"	4.4	5	4400	63	72	TACO SKV3009D	X	X	X	X	X	X	X	X	X	X

NOTES (APPLY TO ALL):

A. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.

B. BASIS OF DESIGN: TACO AND GRUNDFOS.

ACCEPTABLE ALTERNATES: BELL & GOSSETT, ARMSTRONG, AURORA.

REMARKS:

1. FLEXIBLE COUPLING.

2. DISCONNECT SWITCH BY THE ELECTRICAL SUBCONTRACTOR.

3. SUCTION DIFFUSER WITH INTEGRAL STRAINER.

4. INVERTER DUTY MOTOR WITH VFD. VFD PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.

5. DDC CONTROL INTERLOCK WITH BAS.

6. FIELD INSTALLED DIFFERENTIAL PRESSURE SENSOR AT MOST CRITICAL POINT.

7. PUMP & INERTIA BASE MOUNTED ON CONCRETE HOUSEKEEPING PAD PROVIDED BY OTHERS.

8. PUMP IS PROVIDED WITH BOILER AND IS SHOWN FOR REFERENCE ONLY.

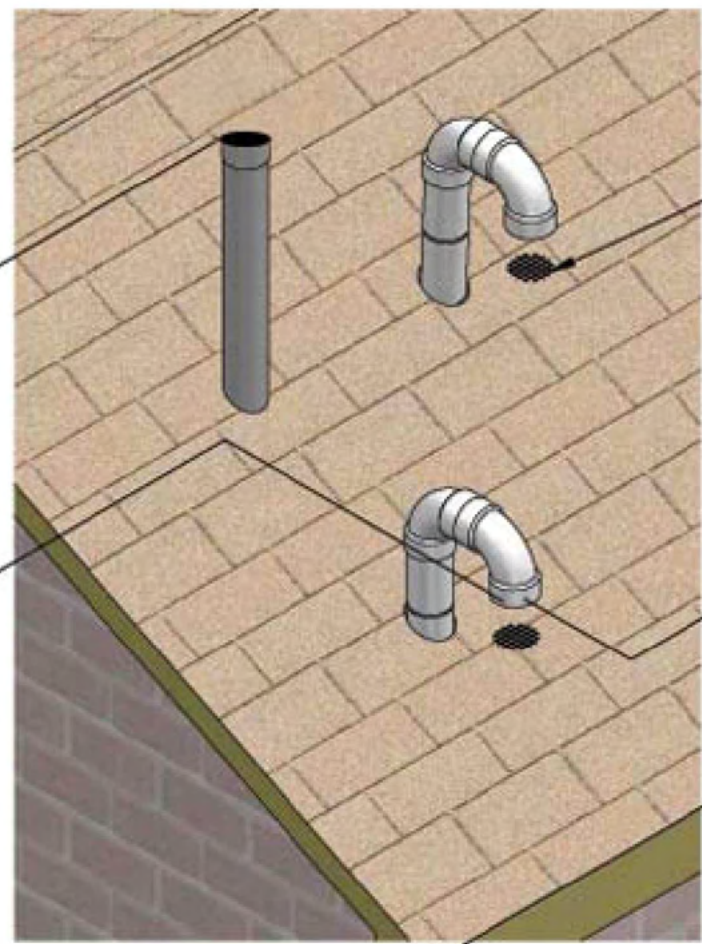
MANIFOLD SCHEDULE

MARK	BOILER	CIRCUITS	GPM	REQUIRED TEMP (°F)	SUPPLIED TEMP (°F)	MANIFOLD TYPE	MANIFOLD HEAD LOSS (FT)	CIRCUIT HEAD LOSS (FT)	S/R HEAD LOSS (FT)	TOTAL HEAD LOSS (FT)
MANIFOLD 1	B-1	6	14.17	115	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	5.2	10.2	0	15
MANIFOLD 2	B-1	5	10.98	116	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	3.9	10.1	0	14
MANIFOLD 3	B-1	12	31.36	115	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	13.9	13.6	0	28
MANIFOLD 4	B-1	4	10.48	116	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	5.1	13.0	0	18
MANIFOLD 5	B-1	11	26.83	117	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	10.7	14.2	0	25
MANIFOLD 6	B-1	7	17.80	116	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	6.7	14.1	0	21
MANIFOLD 7	B-1	1	1.90	112	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	2.7	7.5	0	10
MANIFOLD 8	B-1	2	3.01	123	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	1.9	3.9	0	6
MANIFOLD 9	B-1	8	18.81	115	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	6.0	13.0	0	19
MANIFOLD 10	B-1	4	6.59	117	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	2.0	4.3	0	6
MANIFOLD 11	B-1	2	2.56	117	121	INSTAVALVE-1/2" STANZESS STEEL VALVE W/ 1/2" GA. (SD)	2.7	9.5	0	12

NOTES (APPLY TO ALL):

A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION.

VENT OUTLET
36" [914 MM] MINIMUM
ABOVE AIR INLET



BOILER VERTICAL TERMINATION DETAIL
NO SCALE



WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

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LANDSCAPE ARCHITECT:

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GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

GENERAL CONTRACTOR:

ISSUE	DESCRIPTION	DATE
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5		
6		
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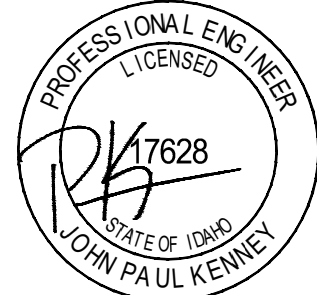
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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SCHEDULES & DETAILS

SEAL:



PROJECT NUMBER:

2000.01

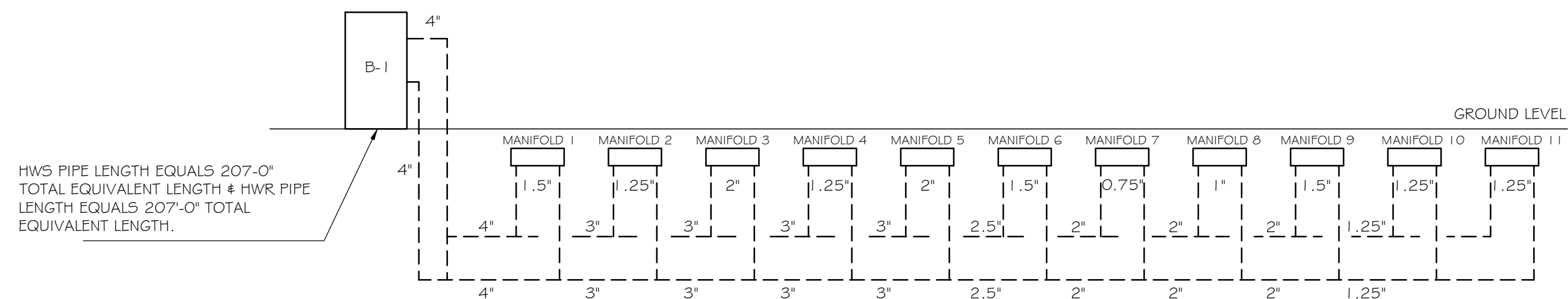
DRAWING NUMBER:

M0.2

NO SCALE

The diagram illustrates a single-phase power system for a boiler. It features a transformer with a primary winding connected to a 120V AC source and a secondary winding connected to a 1750V bus. The bus is connected to a boiler labeled 'BOILER-1 (1750 MBTU)'. The diagram also shows a ground level and a roof level.

NO SCALE



A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION ON SNOW MELT PIPING AND MANIFOLDS.

B. REFER TO MANIFOLD PIPING DIAGRAM FOR BOILER 1 ON THIS SHEET FOR MORE INFORMATION ON BOILER SYSTEM PIPE SIZES.

- ① NATURAL GAS DN TO BOILER WITH SHUTOFF VALVE, DIRT LEG & UNION. FIELD COORDINATE FINAL CONNECTION.
- ② 1" DOMESTIC WATER SERVICE BIG. SEE CIVIL DWG FOR CONT
- ③ BOILER FLUE VENT TO ROOF TERMINATION PER MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.
- ④ ROUTE 4" HWG TO MANIFOLDS AND CONTINUE 4" HWF FROM MANIFOLD BACK TO BOILER. REFER TO SNOV MELT SYSTEM LOG DRAWING ON SHEET M3.0 FOR MANIFOLD LOCATIONS AND MANIFOLD PIPING DIAGRAM.
- ⑤ NATURAL GAS DN TO NEW METRIPRV INSTALLATION, COORDINATE WITH UTILITY PROVIDER. SEE NATURAL GAS RISER DIAGRAM FOR ADDITIONAL INFORMATION AND SIZING CRITERIA.
- ⑥ BOILER COMBUSTION PIPE TO EXTERIOR WALL ABOVE DOOR TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.

- THE TOTAL LENGTH OF PIPING FOR VENT OR AIR MUST NOT EXCEED THE LIMITS GIVEN IN THE GENERAL VENTING SECTION ON PAGE 17 OF THE MANUAL.
- THE VENT MUST TERMINATE AT LEAST 3 FEET ABOVE THE HIGHEST PLACE IN WHICH THE VENT PENETRATES THE ROOF AND AT LEAST 2 FEET ABOVE ANY PART OF A BUILDING WITHIN 10 HORIZONTAL FEET.
- THE AIR PIPING MUST TERMINATE IN A DOWN—TURNED 180° RETURN PIPE NO FURTHER THAN 2 FEET (.6 M) FROM THE CENTER OF THE VENT PIPE. THIS PLACEMENT AVOIDS RECIRCULATION OF FLUE PRODUCTS INTO THE COMBUSTION AIR STREAM.
- THE VENT PIPING MUST TERMINATE IN AN UP—TURNED COUPLING AS SHOWN IN FIG. 3—1. THE TOP OF THE COUPLING OR THE RAIN CAP MUST BE AT LEAST 36" (914 MM) ABOVE THE AIR INTAKE. THE AIR INLET PIPE AND VENT PIPE CAN BE LOCATED IN ANY DESIRED POSITION ON THE ROOF, BUT MUST ALWAYS BE NO FURTHER THAN 2 FEET (.6 M) APART AND WITH THE VENT TERMINATION AT LEAST 36" (914 MM) ABOVE THE AIR INTAKE.
- LOCATE TERMINATIONS SO THEY ARE NOT LIKELY TO BE DAMAGED BY FOREIGN OBJECTS, SUCH AS STONES OR BALLS, OR SUBJECT TO BUILDUP OF LEAVES OR SEDIMENT.
- DO NOT EXTEND EXPOSED VENT PIPE OUTSIDE OF BUILDING MORE THAN SHOWN IN THE MANUAL OR DETAIL ON MO.2. CONDENSATE COULD FREEZE AND BLOCK VENT PIPE.

OWNER:

BUILDING ARCHITECT:

STRUCTURAL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SNOW MELT DESIGN

SEAL:



PROJECT NUMBER
2000.01

DRAWING NUMBER:

M1.0

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PROJECT # 324050

**WARM SPRINGS
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KETCHUM, IDAHO**

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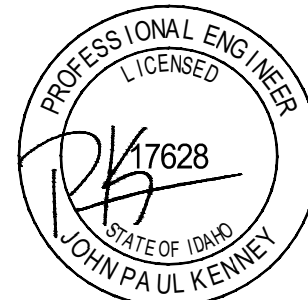
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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SNOW MELT SYSTEM LOOP

SEAL:



PROJECT NUMBER:
2000.01

DRAWING NUMBER:

M3.0

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PROJECT:

**Warm Springs Snowmelt
REV10 Quote#092925DPMEQ**

CUSTOMER:

PROJECT NO.:

092925DPMEQ

SCALE:

3/16"=1'

DRAWING NAME:

Snow Melt

DRAWN BY:

Dylan Meyer

Created Using LoopCAD 2025 25.0.0396 (9/29/2025)

DATE:

9/29/2025







REVISIONS


No	Desc	Date

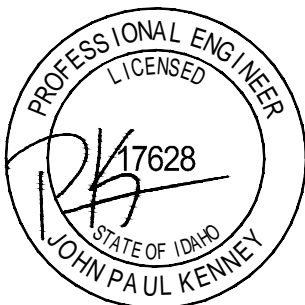
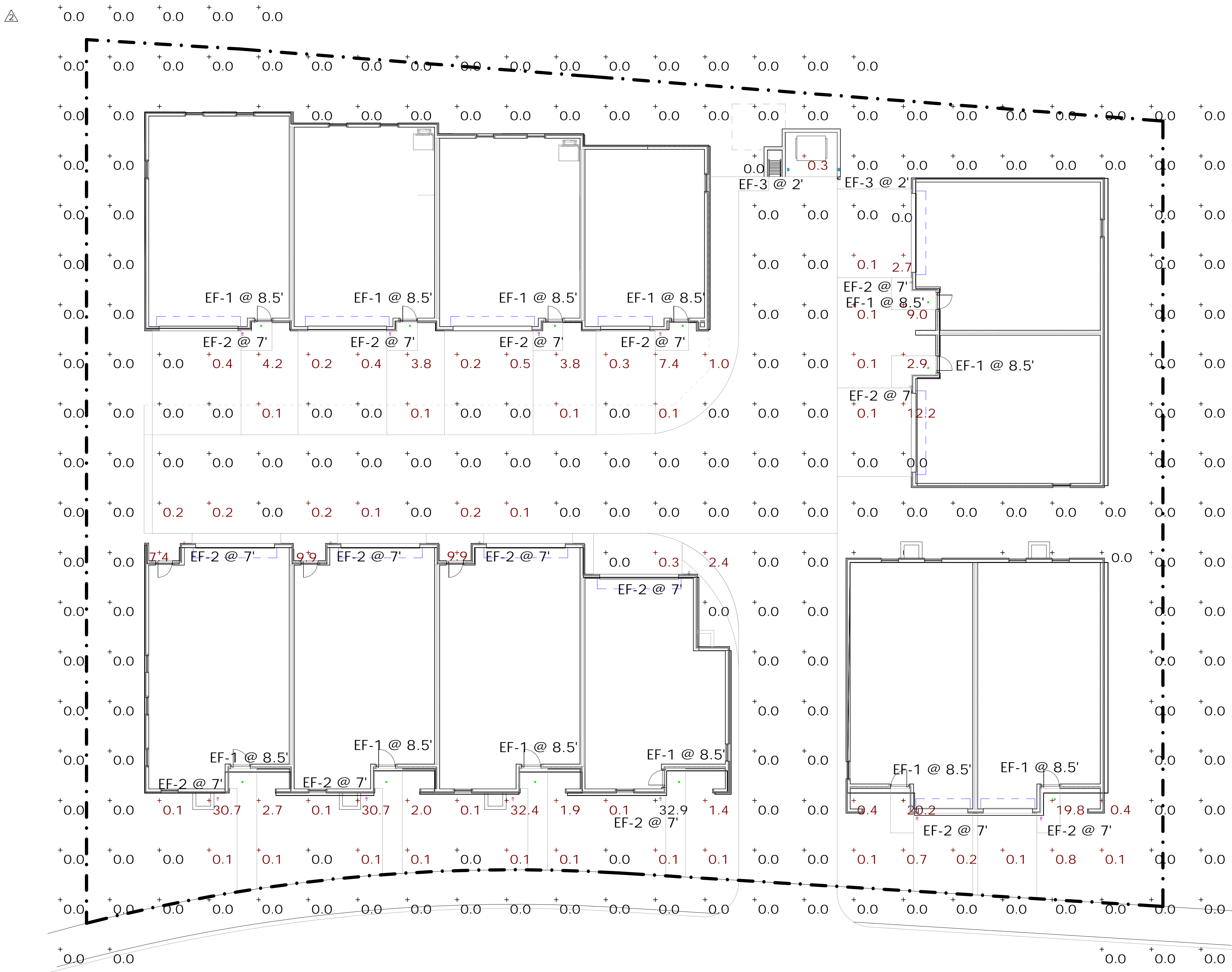
PAGE NO.

1



Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
	EF-1	12	WAC LIGHTING	R3CRDL-BK(N927)	Recessed-mounted Luminaires	R3CRDT-WT(N927).IES	1	842	13.5	 Max: 1463cd
	EF-2	16	WAC LIGHTING	DS-WS0622-F927A-WT	Surface-mounted Luminaires	DS-WS0622-F927A-WT.IES	1	2034	21.8545	 Max: 2567cd
	EF-3	2	WAC Lighting	WL-LED100-27-BK	LED Step light	WL-LED100-C-BK.IES	1	31	4	 Max: 43cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		0.9 fc	32.9 fc	0.0 fc	N/A	N/A



WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION		
No.	Description	Date
1	Design Review	11/5/2024
2	Resubmission	3/14/2025
3	Design Review	6/25/2025

PROJECT NUMBER 324050
ISSUE DATE 7/10/2024

ISSUE

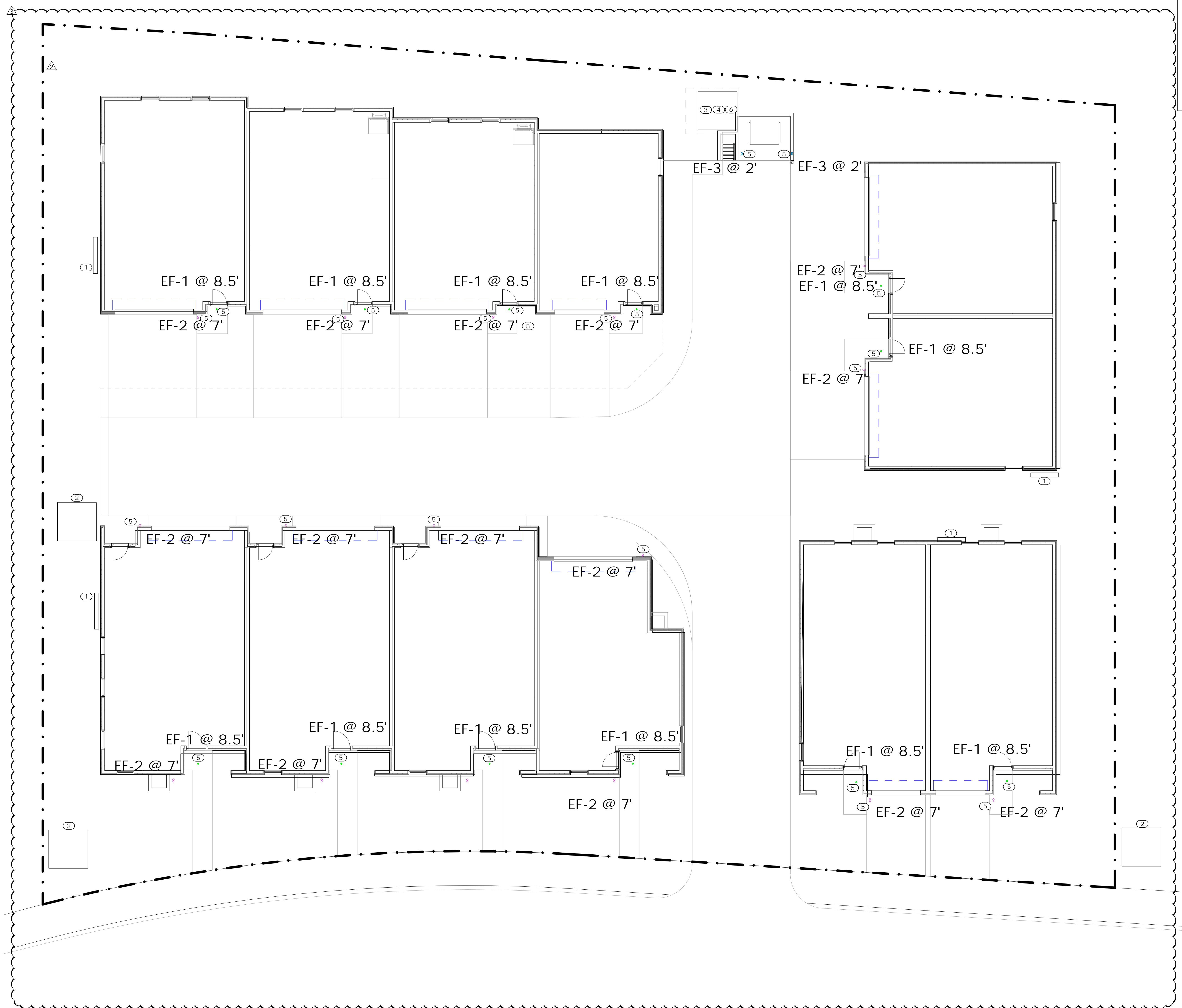
DESIGN REVIEW
APPLICATION

SHEET TITLE

SITE PHOTOMETRIC

SHEET NO.

E0.10



- GENERAL NOTES
- ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.
- KEYNOTES
- PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
 - PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
 - PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
 - PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
 - PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINAIRE CONTROL TO EXTERIOR LUMINAIRE. CIRCUIT FROM TENANT PANEL.
 - PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.

TOWN STAMP

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DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION		
No.	Description	Date
1	Design Review	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER 324050
ISSUE DATE 7/10/2024
ISSUE

DESIGN REVIEW APPLICATION

SHEET TITLE

SITE PLAN

SHEET NO.

E0.11

OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®



Fixture Type: **EF-1**

Catalog Number: **R3CRDL-BK-N927**

Project:

Location:

- PRODUCT DESCRIPTION**
- Ocularc 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trims.
- FEATURES**
- 3 beam angle options included:
 - Narrow flood beam film pre-installed, interchangeable flood beam film supplied, remove film for spot beam.
 - IC-Rated, Airtight, New Construction
 - Adjustable LED light engine included with housing:
 - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
 - Shallow housing under 4" depth
 - 5 year warranty

- SPECIFICATIONS**
- Construction:** Die-cast aluminum trim and heat sink
- Dimming:** 100% - 1% TRIAC, ELV
- Input Power:** 13.5W, 120V-277V 50/60Hz
- Light Source:** High output COB LED rated life of 50,000 hours.
- Mounting:** Retention clips firmly hold trim to housing. Cutout 4 1/2"
- Finish:** Powder coated white, enamel-coated haze.
- CEILING THICKNESS:** 1"
- Standards:** UL & cUL, Wet location listed, Energy Star® 2.0
- Operating Temperature:** -1°F to 104°F (-20°C to 40°C)

Trims (Order Housing Separately)	Model	Beam	Color Temp	Lumens	CBCP	Finish
	R3CRDT Round Trim Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	R3CRDL Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	840	1463	HZW Haze/White
			930 3000K	905	1574	WT White
			935 3500K	920	1605	BK Black
			940 4000K	965	1683	
	R3CRDL Round Trimless Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	R3CRDL Round Trimless Downlight & Adjustable	Narrow Flood 36°	927 2700K	840	1463	HZ Haze
			930 3000K	905	1574	WT White
			935 3500K	920	1605	BK Black
			940 4000K	965	1683	
	R3CRDL Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	

R3CRD - -
Example: **R3CRDT-WT**

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Port Washington, NY 11050

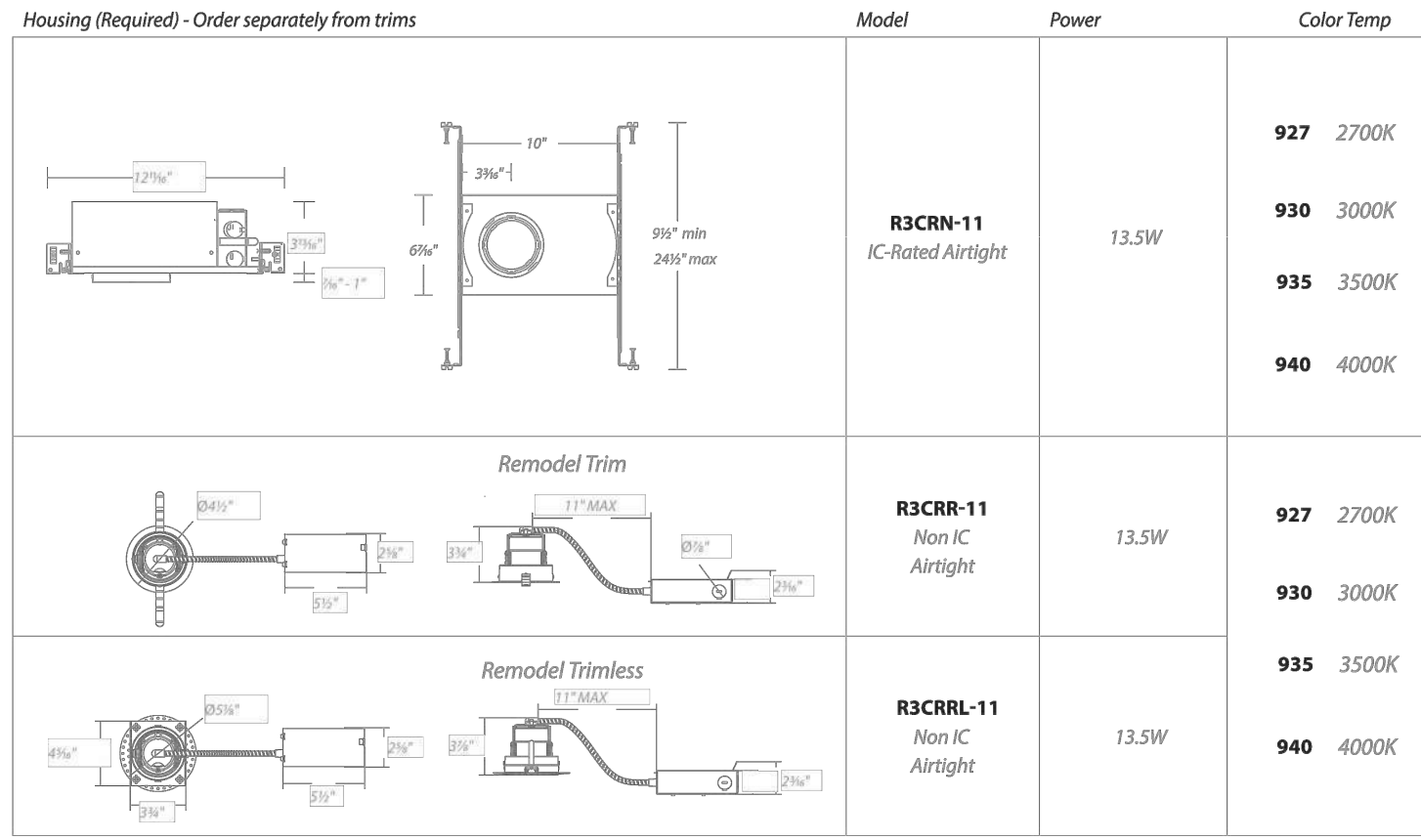
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OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®



R3CR - 11
Example: **R3CRN-11-927**

- FEATURES**
- Adjustable LED light engine included with housing:
 - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
 - Trim or trimless with die-cast spackle frame included.
 - Accepts one optional honeycomb louver or optical lens.

GLARE CONTROL ACCESSORIES sold separately

LENS-16 HCL Honeycomb Louver

LENS ACCESSORIES sold separately

AMB Amber
RED Red
FR Frosted
SPR Spread
BEL Beam Elongating

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TUBE ARCHITECTURAL DS-WS06
LED Wall Mounts



Fixture Type: **EF-2**

Catalog Number: **DS-WS0622-F927A-WT**

Project:

Location:

- PRODUCT DESCRIPTION**
- The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.
- FEATURES**
- High performance exterior rated LED wall mount light
 - Fixture can install upside down to alter light distribution
 - Solid aluminum construction
 - 5 year warranty
- SPECIFICATIONS**
- Inputs:** Universal voltage 120V - 277VAC, 50/60Hz
- Dimming:** Electronic low voltage (ELV) 100% - 5%
0-10V, 100% - 1%
- Light Source:** High output 3 Step Mac Adam Ellipse COB
- Rated life:** 60,000 hours at L70
- Electrostatically powder coated, white, black, bronze and graphite**
- Finish:** IP65 rated, ETL & cETL wet location listed.
- Standards:** Energy Star® 2.2 rated Title 24 JAS-2016 Compliant
- Operating Temp:** -13°F to 122°F (-23°C to 50°C)

Diameter	Watt	Beam Angle	Color Temp	CRI	Reference Output * CBCP (lm/w)	Light Distribution	Finish	
DS-WS06 6" 35W	Straight up or down	10°	927S	2700K	90	2820	1842	81
			27S	2700K	85	3385	2608	97
			930S	3000K	90	2925	1954	84
			30S	3000K	85	3335	2363	101
			35S	3500K	85	3630	2455	104
	40S	4000K	85	3665	2490	105		
	N Straight up or down	20°	927S	2700K	90	2820	7992	80
			27S	2700K	85	3380	3589	95
			930S	3000K	90	2920	4209	83
			35S	3500K	85	3510	10024	100
40S			4000K	85	3600	10388	103	
DS-WS0622 6" 22W	Straight up or down	30°	927S	2700K	90	2825	3451	81
			27S	2700K	85	3390	4540	97
			930S	3000K	90	2930	5654	84
			30S	3000K	85	3345	6836	101
			35S	3500K	85	3640	7917	104
	40S	4000K	85	3675	7085	105		
	F Away from the wall	N/A	927A	2700K	90	2860		82
			27A	2700K	85	3432		98
			930A	3000K	90	2970		83
			30A	3000K	85	3390		103
35A			3500K	85	3685		105	
40A	4000K	85	3720		106			
F Towards the wall	N/A	927B	2700K	90	2860		82	
		27B	2700K	85	3435		98	
		930B	3000K	90	2970		83	
		30B	3000K	85	3390		103	
		35B	3500K	85	3685		105	
40B	4000K	85	3720		106			

DS-WS06 - -
Example: **DS-WS06-F930A-WT**

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Model: WL-LED100
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®



Fixture Type: **EF-3**

Catalog Number: **WL-LED100-27-BK**

Project:

Location:

- PRODUCT DESCRIPTION**
- Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

- Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

- FEATURES**
- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
 - Direct wiring, no driver needed
 - Low profile, flush to wall aesthetics with no visible hardware
 - 54,000 hour rated life
 - Balanced lighting, free of shadows with minimum glare
 - IP66 rated. Protected against high pressure water jets
 - Up to 200 features can be connected in parallel
 - 5 year WAC Lighting product warranty

- SPECIFICATIONS**
- Construction:** Die-cast aluminum or 316 marine grade cast stainless steel
- Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC, 50/60Hz
- Light Source:** 2700K or 3000K CCT Samsung HW-AC High Power LED, CRI: 90
- Optional color lenses.** Total power consumption of 3.3W
- Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/4" x 2 1/4" x 2 1/4"
- Includes bracket for J-Box mount.**
- Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer
- Approved dimmers:** Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vista NTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600
- Standards:** IP66, UL & cUL Listed for wet locations, Title 24 JAS-2016 Compliant.

ORDER NUMBER		120V Model #		277V Model #	
	Light Color	Finish			Finish
WL-LED100	120V	27 Warm 2700K	BK Black on Aluminum	C White 3000K	BK Black on Aluminum
		C White 3000K	BN* Brushed Nickel on Aluminum		BN* Brushed Nickel on Aluminum
		AM Amber 610nm	BZ Bronze on Aluminum		BZ Bronze on Aluminum
		RD Red 640nm	GH Graphite on Aluminum		GH Graphite on Aluminum
		BL Blue 450nm	SS Stainless Steel	BL Blue 450nm	SS Stainless Steel
		WT White on Aluminum	WT White on Aluminum	WT White on Aluminum	WT White on Aluminum
WL-LED100	120V	27 Warm 2700K	BBR Bronze on brass	C White 3000K	BN* Brushed Nickel on Aluminum
		C White 3000K			
		AM Amber 610nm			
*Brushed Nickel Finish is for Interior use only					

*Brushed Nickel Finish is for interior use only

Example: **WL-LED100F-BL-SS**

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PROFICIENT ENGINEERING

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PROJECT # 334959

JOHN PAUL KENNEY

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