



City of Ketchum
Planning & Building

IN RE:)	
)	
The 208 Condos)	KETCHUM PLANNING AND ZONING COMMISSION
Design Review)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: April 11, 2023)	DECISION
)	
File Number: P22-035)	

PROJECT: The 208 Condos

APPLICATION TYPE: Design Review

FILE NUMBER: P22-035

ASSOCIATED APPLICATIONS: Condominium Subdivision Preliminary Plat (P22-035A)

REPRESENTATIVE: Nicole Ramey, Medici Architects (Architect)

OWNER: 755 S Broadway, LLC

LOCATION: 200 N Leadville Ave – Lot 1 Block 23, Ketchum Townsite

ZONING: Community Core – Subdistrict 2 – Mixed Use (CC-2)

OVERLAY: None

RECORD OF PROCEEDINGS

The City of Ketchum received the application for Final Design Review and condominium preliminary plat on July 1, 2022. The Final Design and Preliminary Plat applications have been reviewed concurrently and were deemed complete on October 14, 2022. Department comments were provided to the applicant on July 27, 2022, and additional comments provided on October 14, 2022. Following receipt of the complete application, staff routed the application materials to all city departments for review. All department comments have been addressed satisfactorily through applicant revision of project plans or conditions of approval.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on November 7, 2022. The public hearing notice

was published in the Idaho Mountain Express on November 9, 2022. A notice was posted on the project site and the city's website on November 7, 2022. Story poles were verified on the subject property on November 22, 2022. The project was heard at the November 29, 2022 meeting of the Planning and Zoning Commission (the "Commission") and continued to a special meeting on December 20, 2022. The project was heard again on December 20, 2022, and continued to the January 10, 2023 meeting of the Commission. The applicant, citing the need for additional time to respond to Commission's comments, requested the January 10, 2023 hearing be continued to the February 28, 2023 meeting of the Commission. No information was presented or reviewed at the January 10, 2023 meeting and no public comment was taken.

The Planning and Zoning Commission (the "Commission") conducted their final consideration of the Design Review (Application No. P22-035) and the Condominium Subdivision Preliminary Plat (Application No. P22-035A) applications concurrently at their February 28, 2023 hearing, and the associated public hearings were combined in accordance with Idaho Code §67-6522. After considering staff's analysis, the applicant's presentation, and public comment, the Commission approved the Design Review application with a vote of 3-2 and recommended approval of the Condominium Subdivision Preliminary Plat application to the City Council with a vote of 3-2.

BACKGROUND

The Applicant is proposing an 10,856 square foot three-story mixed-use development known as The 208 Condominiums (the "project"), located at 200 N Leadville Avenue (the "subject property"). The development is not subject to the interim ordinance as the applications were deemed complete prior to the effective date of the ordinance. The subject property is a vacant corner lot zoned Community Core - Subdistrict 2 - Mixed Use (CC-2) just southeast of the Kneadery and VP Companies offices, across from Vintage restaurant and another vacant lot on the opposite corner.

As proposed, the project includes 1,306 square feet of ground floor retail, and four residential dwelling units as follows:

- One dwelling unit in the basement – 639 net square feet (NSF)
- Two dwelling units on the second floor – 746 NSF and 2,628 NSF
- One dwelling unit on the third floor – 3,503 NSF

Based on the size of the units, a total of 4 parking spaces are required for the residential units. The project proposes two two-car garages. The retail space and the two residential units less than 750 net square feet are exempt from parking requirements.

The project proposes to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing, mitigating the additional floor area by making a community housing contribution. The total FAR for the project is 1.97, where 1.0 is permitted by right.

The project will construct improvements to the right-of-way per the City of Ketchum improvement standards including, three streetlights, asphalt alley, curb and gutter, and 8-foot sidewalks. The project proposes to snowmelt the sidewalks adjacent to the project. The city engineer and streets department has conducted a preliminary review all improvements and believes the improvements to meet the city's standards. Final review of all improvements to the right-of-way will be conducted by the City Engineer

and Streets Department prior to issuance of a building permit. An encroachment permit approved by the City Council will be required for the snow melt system and pavers.

FINDINGS OF FACT

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby find that the project does not jeopardize the health, safety, and welfare of the public and conforms to all applicable standards and criteria as set forth in Chapter 17.96 – *Design Review* and Title 17 – *Zoning Regulations*. Therefore, the Commission does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

FINDINGS REGARDING HEALTH, SAFETY, AND WELFARE

The 2014 Comprehensive Plan outlines 10 core values that drive the city’s vision for the future including a strong and diverse economy, vibrant downtown, community character, and a variety of housing options. The built environment within the downtown plays a key role in materializing these values to achieve the city’s vision. The 2014 Comprehensive Plan designates the future land use for the subject property as “mixed-use commercial” where, according to the plan, “New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street.” Primary uses include offices, medical facilities, health/wellness-related services, recreation, government, residential, and services.

Policy CD-1.3 of Chapter 4 of the comprehensive plan states that “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.” The transition between buildings is a key design element and has the potential to impact the perceived cohesiveness of the downtown and can impact the way residents and visitors experience a place.

The Commission discussed the project’s conformance with the future land use designation and found that the proposed project met the vision of the future land use designation as there are both residential and commercial uses proposed in the project. All of the proposed uses are listed as acceptable primary uses in the comprehensive plan. The Commission also found that the proposed uses and design of the building provided an active ground floor street frontage that supports the goals of creating a vibrant downtown. The building is set back from the property line with pedestrian amenities such as landscape planters and benches. This design creates spaces for pedestrians to congregate at the corner of the building where there are opportunities to window shop. The building design also includes floor to ceiling storefront windows that provide interest for pedestrians traveling along Leadville Ave and 2nd Street. The

building is oriented towards the corner of Leadville Ave and 2nd Street with vertical and horizontal architectural elements and storefront windows on the ground level.

The Commission also discussed the project and whether it was contextually appropriate to the neighborhood. The Commission acknowledged that the building was larger than the immediately adjacent one-story structures but acknowledged that there are two- and three-story structures within one block of the subject property. The subject property is one block from Sun Valley Rd and one block from Main Street. Both roads are heavily trafficked by pedestrians and vehicles and are the locations of many larger buildings within the community core. Ultimately, the Commission found that the context of the neighborhood should be measured not by the immediately adjacent structures, but by the broader surroundings. The Commission also acknowledged that the changes proposed by the applicant throughout the design review process improved the building’s perceived height and addressed concerns related to bulk and flatness.

Therefore, the Commission found that the project is in general conformance with the comprehensive plan and does not jeopardize the health, safety, or welfare of the public.

FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area Permitted: 5,500 square feet Proposed: 5,504 square feet
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR or Lot Coverage Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25 Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation. Proposed:
			Staff Comments	

				<p>Gross Square Footage – 10,856 SF (Per Sheet A0.0) Total Lot Area – 5,504 SF FAR – 1.97</p> <p>Community Housing Mitigation Calculation: Permitted Gross Square Feet (1.0 FAR): 5,504 SF Proposed Gross Square Feet: 10,856 SF Increase Above Permitted FAR: 5,352 SF 20% of Increase: 1,070 SF Net Livable (15% Reduction): 910 SF</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Building Setbacks</p> <p>Staff Comments</p> <p>Permitted: Front (N Leadville Ave/west): 5 feet average Side (Interior/north): 0 feet Side (Street Side/2nd Street): 5 feet average as this frontage is considered “street side” Rear (Alley/east): 3 feet</p> <p>To calculated the average setback for front and street sides, the length of the façade at each level is measured and multiplied by five to determine the minimum required square footage of setback for the façade at that level. To calculate compliance with the minimum requirement, the total square footage of proposed setback for the same facade is measured.</p> <p>0 feet - Cantilevered decks and overhangs</p> <p>10 feet - Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades for all projects except for projects where 100% of the residential units are community or workforce housing.</p> <p>Proposed: Front (N Leadville Ave/west): 16.71-foot average Side (Interior/north): 6-inch setback Side (Street Side/south): 11-foot average Rear (Alley/east): 11-foot average</p> <p>Rooftop planters, trellis, mechanical equipment, elevator and stair tower are all set back 10 feet from the façade wall. Solar panels are flush with the roof and do not require being set back. The final placement of solar panels must meet all fire code requirements.</p>
			17.12.030	Building Height

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<p>Permitted: 42 feet Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Cantilevered decks and overhangs: 8 feet above walking surface Non-habitable structures located on building roof tops: 10 feet max Perimeter walls enclosing roof top deck and structures: 4 feet above roof surface height if it projects above the maximum height limit Roof top solar and mechanical equipment above roof surface: 5 feet</p> <p>Proposed: As shown on Sheets A4.0 and A4.1, the total building height in the rear is 41.4 feet. The total building height in the front (Leadville side) is 40.5 feet.</p> <p>Cantilevered decks and overhangs: 12 feet 4 inches to the top of the cantilevered decks and overhangs Non-habitable structures located on building roof tops: stair and trellis are 10 feet or less from the top of the roof Roof top solar and mechanical equipment above roof surface: 5 feet Perimeter walls enclosing rooftop deck and structures: does not exceed the maximum building height therefore the max height does not apply</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H Staff Comments	<p>Curb Cut</p> <p>Permitted: A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p>Proposed: The subject property has two street frontages, one along N Leadville Ave and the other along 2nd Street. All access to proposed off street parking is being accessed from an alley and therefore no street frontage is devoted to access off street parking.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p>Staff Comments</p> <p>Permitted: For residential multi-family dwelling units in the Community Core Units 750 net SF or less – 0 spaces Units 751 SF to 2,000 net SF – minimum of 1 space Units 2,001 net SF and above – minimum of 2 spaces</p> <p>Retail spaces less than 5,500 SF are exempt from parking requirements in the Community Core</p> <p>The project proposes a total of 4 dwelling units:</p> <ul style="list-style-type: none"> • One dwelling unit in the basement – 639 net square feet (NSF) – no parking required • Two dwelling units on the second floor – 746 NSF and 2,628 NSF – two spaces required • One dwelling unit on the third floor – 3,503 NSF – two spaces required <p>A total of 4 off-street parking spaces are required for the project.</p> <p>Bicycle parking: One bicycle parking space for two bicycles is required.</p> <p>Proposed: As shown on Sheet A2.1, the project proposes a total of four parking spaces, two tandem parking spaces for Unit #2 and a side-by-side 2 car garage for Unit #4.</p>
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FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
<p>Finding: The development is at the corner of N Leadville Ave and 2nd Street, two existing public rights-of-way. The development proposes to bring both rights-of-way up to city standards by replacing the existing nonconforming sidewalks, provide curb and gutter, and improve the alley to meet standards and provide for adequate drainage. The development proposes walkways the full length of the building from the property line to ensure direct pedestrian access from all building entrances to the sidewalks. All improvements to the right-of-way and walkways to the right-of-way improvements are at the expense of the applicant.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #3
<p>Finding: No new streets are proposed for the project, however, all improvements to the right-of-way as shown on the project plans has been reviewed by the City Engineer. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project per condition of approval #3.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and proposed.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Condition #3
<p>Finding: The project plans provided the details of the sidewalks for review by the City Engineer. Preliminary review of the project plans indicates that all city right-of-way standards for width and construction are met. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project per condition of approval #3.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: The applicant has not requested, nor has the City Engineer granted a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES

Finding: As shown on the project plans, the project proposes new sidewalks to be placed the full length of the subject property along N Leadville Ave and 2nd Street.

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES

Finding: There are existing sidewalks along the subject property connecting to existing sidewalks to the north and east. The development proposes to replace the existing nonconforming 5-foot sidewalks on both N Leadville Ave and 2nd Street. The new 8-foot sidewalks will taper and connect to the existing sidewalks to the north and east. There will be direct pedestrian access from the entrances and exits to the building to the new sidewalks as shown in the project plans.

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A

Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES

Finding: The project proposes a series of roof drains, drywells, and catch basins to manage onsite stormwater. Per the project plans, all stormwater is being retained on site.

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #3

Finding: As shown on the project plans, all stormwater is retained on-site. The project proposes to construct right-of-way improvements the length of the subject property, including curb and gutter and other drainage infrastructure, along N Leadville Ave and 2nd Street. The project also proposes drainage infrastructure in the alley behind the subject property for the full length of the subject property. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance per condition #3.

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	N/A
Finding: The City Engineer did not identify any additional drainage improvements during department review. The characteristics of the site do not warrant additional drainage improvements.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #3
Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. Final design of drainage facilities will be reviewed and approved by the city engineer prior to issuance of a building permit per condition #3.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project. The subject property was previously served by an above ground power line to a power pole on-site. At the owner's expense, the overhead line and power pole have already been removed. The development will be served by power from below grade power lines to an on-site transformer as shown on the project plans.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
Finding: Per the project plans, all necessary utilities are underground. As shown on Sheet A0.1, a single-phase transformer is located on the southeast corner of the property adjacent to the alley and the pedestrian sidewalk along 2 nd Street. The transformer is proposed to be screened with perforated metal paneling and landscaping as shown on the sheet. The Idaho Power will serve letter is dated October 24, 2022 and references a previous version of the site plan. As outlined in condition of approval #3, an updated service letter from Idaho Power shall be provided with the building permit application to ensure all screening and access is adequate. Any changes in transformer size and location may require an amendment to the design review approval. As conditioned, this standard is met.	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the</i>	N/A

<i>fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	
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Finding: The location of the subject property is already served by fiber optical and therefore no conduit is required in this location.
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17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES

Finding: The surrounding neighbors and adjoining structures have a wide variety of materials and colors. Most of the structures adjacent to the subject property, or directly across the street, are one-story single-family residence type buildings with pitched roofs and white or lightly colored horizontal siding. However, further north along N Leadville Ave on the same block, the materials and color palette shift to brick, darker accent colors such as red or green, and flat roofs such as the building with the Cellar Pub. The building at the corner of N Leadville and Sun Valley Rd has brick, light colored stucco, and red accents. Although the proposed development does not mimic the light-colored horizontal materials of immediately adjacent properties, the proposed materials of darker brick, and black metal accents on the balconies are complementary to the buildings on N Leadville Ave. The building also includes a lighter colored accent wall along 2 nd Street that ties the building's color palette to the surrounding properties and lightens the buildings feel where there are no windows.
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17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A

Finding: The subject property is vacant therefore this standard does not apply.
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17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A

Finding: The subject property is vacant therefore this standard does not apply.
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17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES

Finding: The project includes primary entrances to the retail on both N Leadville Ave and 2 nd Street. Additionally, there are entrances to the residential units on 2 nd Street. All entrances have direct access to the sidewalk. All entrances are identifiable with architectural elements, particularly the elements on 2 nd Street where there is a

recessed entrance to the upper floor units and a single entrance articulated with architectural detailing around the door for the basement residence.

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p>Finding: The building character mimics that of historic brick buildings with balconies that stretch for a significant length of the building. The windows have a subtle curvature at the top which is also a characteristic of more ornate historic brick buildings. Some examples in Ketchum include the buildings where Enoteca, Sun Valley Cullinary, and the Sawtooth Club are located.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses a consistent set of materials including multiple shades of brick, black metal accents, and lighter wood siding under the balconies. The signage for the project is minimal and does not deter from the architectural characteristics of the building. Signage is primarily wall mounted signage and window decals as shown on the elevations in the project plans.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: The proposed balconies are of a material that contrasts but compliments the two tones of brick on the facades of the building. The rooftop deck proposes a wood pergola and metal landscape planters that complement the other materials of the building.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: The development implements a variety of features that successfully minimize the appearance of bulk and flatness on the primary facades of the building. Features include setback facades with cantilevered balconies, setback roof projection above the third floor balcony on N Leadville Ave, three dimensional trim features at each floor of the building, and material changes from the base of the building to the top on the 2nd Street side of the building. The only wall with limited undulation and material variation is the north façade which is located on an interior lot line but not set back more than 5 feet. As shown on Sheet A4.4, the development proposes horizontal brick banding, indentions of the wall façade to create “bricked in” windows, wrapping of ground floor architectural materials, and a vertical trellis with climbing vines. All of these treatments serve to avoid the creation of blank walls and are consistent with the other materials and treatments of the front façade. Additionally, the third floor façade on the N Leadville Ave side of the building is set back from the lower floors</p>	

which provides additional undulation and relief to the north façade. This setback, combined with the façade treatments, serve to adequately reduce the appearance of bulk and flatness of the building.

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The subject properties’ primary street frontage is N Leadville Ave, however, as a corner lot, the building should orient to both N Leadville and 2nd Street. The development orients to N Leadville Ave very effectively with cantilevered balconies, main entrances to the retail space, and landscape planters that anchor the building. Additionally, the ground floor retail space includes storefront windows along N Leadville Ave that extend around the corner to the 2nd Street side.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p>Finding: As shown on the project plans, the garbage area is in the rear of the building, in an enclosed storage room with a roll up door for access and service.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p>Finding: As shown on the project plans, the roof plan for the project includes flat roofs at an angle that causes water to drain toward a series of roof drains along the interior of the roof. Cantilevered decks integrate with roof drain systems for any water or snow accumulation. Based on the design of drainage facilities and roof design, no water or snow will enter onto adjacent properties.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
<p>Finding: The project is fully connected by crosswalks with the existing sidewalk system. There are no regional trails, other anticipated easements, or pathways other than the sidewalk system</p>	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
<p>Finding: The development does not propose any awnings over public sidewalks.</p>	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Vehicle traffic accesses the site from the alley between N Leadville Ave and East Ave. Following required improvements to the alley, the access will be adequate to enter or exit the project safely. Bicycle and pedestrian circulation will primarily be in and out of the front of the project along 2 nd Street.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
Finding: The subject property is a corner lot, however, alley access points for garages in the Community Core are not considered curb cuts or driveways, therefore this standard does not apply.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: With the right-of-way improvements proposed, access for emergency vehicles, snowplows, and garbage trucks will be enhanced as access to the property will be achievable from all sides. The enclosed garages and garbage handling area is such that vehicles will not overhang into the alley and garbage receptacles will be returned to their storage area immediately following service. There is direct access to the building from the alley, N Leadville Ave, and 2 nd Street in case of emergencies.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
Finding: The project proposes heated pavers for the pedestrian areas between the building and pedestrian sidewalks per the project plans, therefore, no on-site snow storage is required.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: The development proposes landscaping for the project as shown on the project plans including landscape planter beds and street trees.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The landscape plan includes street trees and planter boxes with low lying shrubs and tall grasses, primarily on the west and south facing sides of the building. The landscape plan adds interest to the street by providing autumn blaze maples which are vibrant during the fall. These vegetation types are found in many areas of the community core including 4 th Street, Sun Valley Rd, and East Ave. Having similar streetscape throughout the community core provides visitors with a sense of place reinforcing where they are in the community.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: All proposed plantings are drought tolerant and common for the area.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The proposed land uses are complimentary to the surrounding area, therefore substantial buffer between the proposed development and surrounding properties is not encouraged. The development does not	

include any surface parking lots that need screening with vegetation. The building is setback 5 feet from the property boundary which expands the pedestrian realm. This area is where the landscape planters are proposed which enhances the pedestrian experience and creates a softening of the building.

17.96.060.J.1 – Public Amenities	Conformance
<p><i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i></p>	<p>YES</p>
<p>Finding: The development proposes street trees which have been approved by the Public Works Director. Trash receptacles, benches, and bike racks are proposed on the subject property, not within the right-of-way.</p>	

17.96.060.K.1 – Underground Encroachments	Conformance
<p><i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i></p>	<p>N/A</p>
<p>Finding: As noted in 17.128.020.G, the provisions of 17.128.020.K do not apply to the Community Core district of which the subject property is located. Therefore, this standard is not applicable.</p>	

17.96.060.K.2 – Underground Encroachments	Conformance
<p><i>No below grade structure shall be permitted to encroach into the riparian setback.</i></p>	<p>N/A</p>
<p>Finding: The subject property is not adjacent to any bodies of water; therefore, no riparian setback exists for the property.</p>	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<p><i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i></p>	<p>YES Condition #3</p>
<p>Finding: The development includes benches, bike racks, and trash receptacles on the subject property. Within the right-of-way, the development proposes street trees along N Leadville Ave and 2nd Street, snowmelt sidewalks, a new fire hydrant, and three streetlights. Final review and approval of all right-of-way improvements will be conducted at the time of building permit review per condition #3.</p>	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	YES
Finding: As shown in the project plans, street trees proposed are 3” caliper, include tree grates, and will be installed using Silva Cell installation requirements.	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	YES
Finding: No modifications to these requirements have been made. The Public Works Department has provided directions as to the location of improvements in the right-of-way.	

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
Finding: As outlined above, the development employs a variety of architectural materials and features to avoid the creation of blank walls and reduce bulk and mass. The only wall with limited undulation and material variation is the north façade which is located on an interior lot line but not set back more than 5 feet. As shown on Sheet A4.4, the development proposes horizontal brick banding, indentions of the wall façade to create “bricked in” windows, wrapping of ground floor architectural materials, and a vertical trellis with climbing vines. All of these treatments serve to avoid the creation of blank walls and are consistent with the other materials and treatments of the front façade.	

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
Finding: The development includes ground floor retail that fronts N Leadville Ave and 2 nd Street. The building includes significant storefront windows on the N Leadville Ave frontage that wrap around the first half of the building on the 2 nd Street side. One landscape planter is located on N Leadville Ave with two more on 2 nd Street.	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES

Finding: The development does not include features that would obscure views into windows. On the N Leadville side of the building, the landscape planter includes low lying shrubs and grasses as an accent to the windows rather than an obstruction.

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES

Finding: The roof form and material is like that of the rest of the building. The roof form is flat, compatible with the horizontal cantilevered decks. The roof soffit is proposed to be a lighter color wood siding which will be a nice complement to the lighter tones in the brick. No reflective materials are proposed.

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A

Finding: The project does not include pitched roofs.

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A

Finding: Roof overhangs are not proposed to encroach into the public right-of-way or over the sidewalk.

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	YES

Finding: The building does not have a traditional front porch or stoop, however, due to the topography of the site, the finished floor of the building is slightly higher than the sidewalk on the N Leadville Ave side, creating a stepped entrance to the building that somewhat functions like a stoop. The stepped-up area is not enclosed by any walls, fences, or other screening materials.

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES

Finding: The trash disposal area for the project is located in the rear of the building within a fully enclosed portion of the building not visible by the public. The dumpster is located on an automatic roller which enters the alley during trash servicing and retracts to its original location within the building once the servicing is complete.

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES Condition #5
<p>Finding: As shown on the project plans, the roof mounted mechanical equipment and solar panels are setback from the roof parapet as required by the Ketchum Municipal Code. Mechanical equipment on the roof will be screened with a 5-foot max perforated metal screen. The same screen is proposed to screen the ground mounted transformer at the rear of the property on 2nd Street at the alley. As shown on Sheet A0.1, a single-phase transformer is located on the southeast corner of the property adjacent to the alley and the pedestrian sidewalk along 2nd Street. The transformer is proposed to be screened with perforated metal paneling and landscaping as shown on the sheet. The Idaho Power will serve letter is dated October 24, 2022 and references a previous version of the site plan. As outlined in condition of approval #5, an updated service letter from Idaho Power shall be provided with the building permit application to ensure all screening and access is adequate. Any changes in transformer size and location may require an amendment to the design review approval. As conditioned, this standard is met.</p>	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	N/A
<p>Finding: No trees exist on the subject property therefore replacement trees are not required.</p>	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES
<p>Finding: All street trees proposed are within tree grates and must be installed using Silva Cell installation requirements.</p>	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	N/A
<p>Finding: No replacement trees or parking lot trees are proposed for the development therefore this standard does not apply.</p>	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	N/A
<p>Finding: The development does not propose surface parking lots therefore this standard does not apply.</p>	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on-site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: As shown on the project plans, one bicycle rack is proposed between the entrance to the basement residential unit and the main entrance to the building on 2 nd Street.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: The development requires four parking spaces, therefore only one bicycle rack is required. The required bicycle rack is provided between the entrance to the basement residential unit and the main entrance to the building on 2 nd Street.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
Finding: The required bicycle rack is provided between the entrance to the basement residential unit and the main entrance to the building on 2 nd Street. This location is clearly visible for most visitors to the building and within 50 feet of the entrance on the N Leadville Ave side of the building.	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Commission **approves** this Design Review Application File No. P22-035 this Tuesday, April 11, 2023, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This Design Review approval is based on the architectural plan set presented at the February 28, 2023 Planning and Zoning Commission meeting, included as Exhibit A to these findings. Building Permit Plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. The Civil and Landscape Drawings included in Exhibit B are preliminary only and must be revised to match the approved design review plan set prior to building permit application.
3. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.

4. Final landscape drawings shall be submitted for review and approval by the Planning and Building, City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
5. A letter from Idaho Power confirming the final transformer size, location, and approval of the proposed screening and landscaping shall be submitted with the building permit application. Any changes in the size, location, or screening constitute an amendment to the design review and must be reviewed and approved by the Administrator or the Commission per the requirements of Chapter 17.96 – *Design Review*.
6. Prior to issuance of a building permit for the project, the City Council shall review and approve an encroachment agreement for the installation and maintenance of the paver sidewalk and snowmelt within the public rights-of-way.
7. In exchange for an increase in FAR, a voluntary community housing contribution of 910 square feet is required. Payment-in-lieu contributions for community housing are required prior to issuance of a building permit for the project.
8. Prior to issuance of a building permit for the project, an Encroachment Agreement shall be approved by the City Council addressing the paver sidewalks and snowmelt within the right-of-way.
9. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 11th day of April 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum

Exhibit A:
**200 N Leadville Ave - Design
Review Plan Set**

THE 208



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

ZONING REQUIREMENTS

JURISDICTION: CITY OF KETCHUM, ID

ZONING: CC COMMUNITY CORE, SUBDISTRICT 2-MIXED USE

PARCEL ASSESSOR'S #: RPK00000230010

LOT SIZE: 5,504 SF = 0.13 ACRE

LEGAL DESCRIPTION:

LOT 1, BLOCK 23 OF THE VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 302967, RECORDS OF BLAINE COUNTY, IDAHO.

MAXIMUMS:

MAX. FAR: 2.25 WITH INCLUSIONARY HOUSING INCENTIVE
REFER TO SHEET A0.3
MAX. BUILDING COVERAGE: 75% (SF)
MAX. HEIGHT: 42' ABOVE ABE

SETBACKS:

-FRONT AND STREET SIDE 5' AVERAGE
-ADJACENT TO ALLEYWAY 3'
-NON-HABITABLE STRUCTURES LOCATED ON BUILDING ROOF-TOPS 10'

CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF KETCHUM.

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL FIRE CODE
- INCLUDING AMENDMENTS PER KETCHUM ORDINANCE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- INCLUDING AMENDMENTS BY THE IDAHO BUILDING CODE BOARD
- 2018 INTERNATIONAL FIRE CODE (IFC)
- INCLUDING ADMENDMENTS PER KETCHUM ORDINANCE
- 2018 CITY OF KETCHUM MUNICIPAL CODE
- INCLUDING KETCHUM GREEN BUILDING CODE
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 NATIONAL ELECTRIC CODE (NEC)
- 2018 IDAHO STATE PLUMBING CODE (ISPC)

ACCESSIBLE UNITS

PROJECT CONTAINS (4) UNITS TOTAL:
(3)TYPE B UNITS PROVIDED, PER IBC CHAPTER 11

PARKING:

RETAIL: EXEMPT LESS THAN 5,500 SF 0 SPACES
RESIDENTIAL: 4 SPACES

DESIGN REVIEW APPLICATION REQUIREMENTS

TITLE 17 - CHAPTER 17.96 DESIGN REVIEW:

17.96.040.C.2.f. FLOOR PLAN. LIST GROSS AND NET SQUARE FOOTAGE FOR EACH FLOOR. LIST OCCUPANCY CLASSIFICATION AND TYPE OF CONSTRUCTION.

OCCUPANCY CLASSIFICATION:

M- MERCANTILE (RETAIL AREAS)
R-2 RESIDENTIAL
S-2 PARKING AREAS

TYPE OF CONSTRUCTION:

V-B

NOTE: METHOD FOR MEASURING FLOOR AREA (GROSS) PER CHAPTER 17.08 DEFINITIONS:
THE SUM OF HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SF IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

NOTE: METHOD FOR MEASURING FLOOR AREA (NET) PER CHAPTER 17.08 DEFINITIONS:
THE SUM OF HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.

PROJECT DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION OF MIXED USE AND COMMERCIAL BUILDING

OWNER: MICHAEL CARR
2667 SOUTH TACOMA WAY
TACOMA, WA 98409
P:206.423.3121
E:MIKEC@PERFORMANCERADIATOR.COM

ARCHITECT: MEDICI ARCHITECTS
200 WEST RIVER STREET #301
KETCHUM, ID 83340
P: 208.726.0194
E: EMILY@MEDICIARCHITECTS.COM

DESIGNER: EXECUTIVE DESIGN SERVICES
SHERMAN, JONATHAN
FRIDAY HARBOR, WA 98250
P:206.383.4526
E:JONATHANDESIGN007@GMAIL.COM

CIVIL ENGINEER: GALENA ENGINEERING, INC
317 N. RIVER STREET
HAILEY, IDAHO 83333
P: 208.788.1705
E:GALENA@GALENA-ENGINEERING.COM

LANDSCAPE ARCHITECT: LYON LANDSCAPE ARCHITECTS
126 SOUTH MAIN STREET, SUITE B1
HAILEY, IDAHO 83333
P:253.209.4053
E:MOGHAN@LYONLA.COM

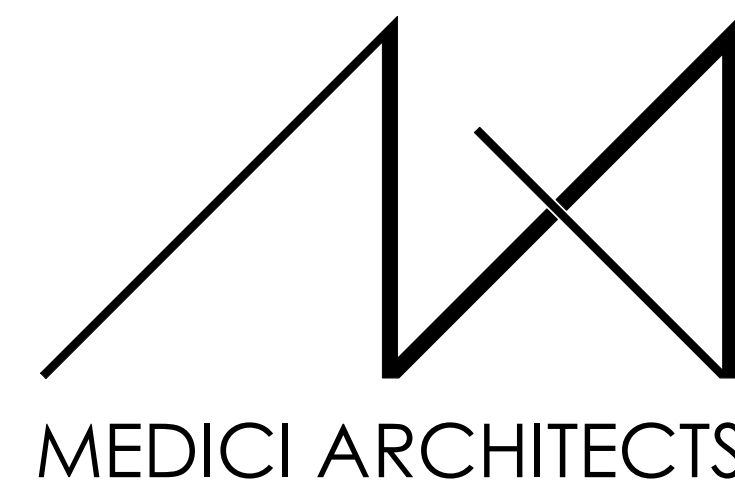
GENERAL CONTRACTOR: CONRAD BROTHERS
105 LEWIS ST SUITE 101
KETCHUM, IDAHO 83340
P:208.309.1200
E:PAUL@CONRADBROTHERSCONSTRUCTION.COM

ELECTRICAL ENGINEER: ABOSSEIN ENGINEERING
18465 NE 68TH STREET #22
REDMOND, WA 98052
P:425.462.9441
E:CSERVICE@ABOSSEIN.COM

CITY OF KETCHUM LIGHTING CONSULTANT: THE MH COMPANIES
2995 N COLE RD SUITE 115
BOISE, IDAHO 83704
P:208.609.3722
E:CARSON@MHLIGHTING.COM

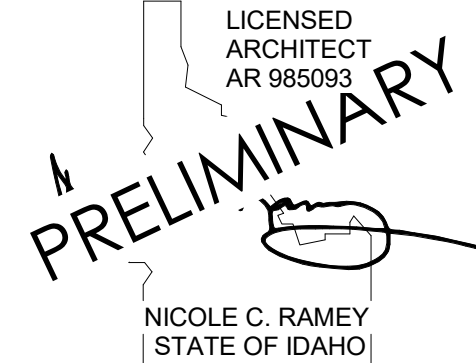


VICINITY MAP
1/4" = 1'-0"



11661 SE 1ST STREET, SUITE 200
BELLEVUE, WASHINGTON 98005
TEL: (425) 453-9298
FAX: (425) 452-8448

REGISTRATION:



INTAKE DATE: 02/22/23

REVISIONS: DATE:

NO.	DESCRIPTION	DATE

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
IDAHO, 83340
PARCEL #RPK00000230010

SYMBOL LEGEND

(A)	GRID LINES	EXISTING WALL
(1)	PROJECT BASE POINT	EXISTING WALL TO DEMO
(2)	REFERENCE ELEVATION POINT	2X WALLS
(3)	PROPERTY CORNER	FOUNDATION WALL
(4)	PROPERTY LINE	CONCRETE SURFACE
(5)	CENTER LINE	CAST IN PLACE CONCRETE
(6)	T.O.W. 119.12'	STRUCTURAL POST - SIZE AND TYPE PER STRUCTURAL PLAN
(7)	N 90°00'00" E Distance	GAS OUTLET
(8)	PROPERTY LINE TAG	GAS METER
(9)	SECTIONS FOUND ON SHEET A101	HOSE BIB
(10)	DETAIL SECTION FOUND ON SHEET A101	DOWNSPOUT
(11)	INTERIOR ELEVATION FOUND ON SHEET A1.0	METER
(12)	EXIT DIRECTION	ELECTRICAL METER
(13)	SMOKE DETECTOR	ELECTRICAL PANEL
(14)	SMOKE & CARBON MONOXIDE DETECTOR	UNDISTURBED EARTH
(15)	DOOR TAG NUMBER	COMPACTED FILL
(16)	DOOR SIZE	GRAVEL
(17)	WINDOWS TAG NUMBER	RIGID OR SPRAY INSULATION
(18)	WHOLE HOUSE FAN CONTROL	BIBS BLOW-IN INSULATION
(19)		STONE
(20)		BATT INSULATION
(21)		EXHAUST FAN
(22)		VENT TO OUTSIDE
(23)		WATER METER
(24)		STEP DOWN / ELEVATION CHANGE
(25)		KEY NOTES

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	PICT	PICTURE
A/C	AIR CONDITIONING	PLAM	PLASTIC LAMINATE
AHU	AIR HANDLING UNIT	PSF	POUNDS PER SQUARE FOOT
ALT	ALTERNATE	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	PL	PROPERTY LINE
ANOD	ANODIZED	PNA	PROTECTED NATURAL AREA
BSMT	BASEMENT	QTY	QUANTITY
BLK	BLOCK	REF	REFRIGERATOR
BS	BOTH SIDES	REQD	REQUIRED
BLDG	BUILDING	REV	REVISION
CAB	CABINET	R	RISER
CB	CATCH BASIN	RM	ROOM
CLG	CEILING	RO	ROUGH OPENING
CLR	CLEAR	SG	SAFETY GLASS
CL	CLOSET	SM	SMILAR
CONC	CONCRETE	SH	SINGLE HUNG
CMU	CONCRETE MASONRY UNIT	SOG	SLAB ON GRADE
CONT	CONTINUOUS	SPEC	SPECIFICATION
CJ	CONTROL JOINT	SF	SQUARE FOOT
CPT	CARPET	SS	STAINLESS STEEL
CSMT	CASBMENT	STD	STANDARD
CF	CUBIC FOOT	STL	STEEL
DIA	DIAMETER	STOR	STORAGE
DBH	DIAMETER BREST HEIGHT	S2	STORM DRAIN
DIM	DIMENSION	SUP	SUPPLEMENTAL
DW	DISHWASHER	TV	TELEVISION
DH	DOUBLE HUNG	TEMP	TEMPORARY
DN	DOWN	TP	TOILET PAPER DISPENSER
DS	DOWNSPOUT	T&G	TONGUE & GROOVE
D	DRYER	TO	TOP OF
EA	EACH	TOW	TOP OF WALL
ELEC	ELECTRICAL	TB	TOWEL BAR
EP	ELECTRICAL PANEL	T	TREAD
ELEV	ELEVATOR	TPZ	TREE PROTECTION ZONE
EQ	EQUAL	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
EXIST	EXISTING	VB	VAPOR BARRIER
FFE	FINISH FLOOR ELEVATION	VTOS	VENT TO OUTSIDE
FRD	FIRE RATE DOOR	VF	VERIFY IN FIELD
FRW	FIRE RATE WINDOW	VERT	VERTICAL
FXD	FIXED	VC	VERTICAL GRAIN
FXT	FIXTURE	WC	WATER CLOSET
FAR	FLOOR AREA RATIO	WH	WATER HEATER
FTG	FOOTING	WRB	WATER RESISTANT BARRIER
FAU	FORCED AIR UNIT	W	WASHER
FDN	FOUNDATION	WHF	WHOLE HOUSE FAN
FURN	FURNACE	W	WINDOW
GFA	GROSS FLOOR AREA	WI	WITH
HDWD	HARDWOOD	W/O	WITHOUT
HDR	HEADER	WP	WATER PROOFING
HVAC	HEATING, VENTILATION & A/C	YD	YARD
HT	HEIGHT		
HRZ	HORIZONTAL		
HR	HOUR		
INCL	INCLUDE (ED/ING)		
INT	INTERIOR		
LED	LIGHT EMITTING DIODE		
LOD	LIMIT OF DISTURBANCE		
LF	LINEAR FEET		
MANUF	MANUFACTURER		
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
NO	NUMBER		
OC	ON CENTER		
PERF	PERFORATED		

DRAWING NAME:

TITLE SHEET

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

A0.0

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

SITE PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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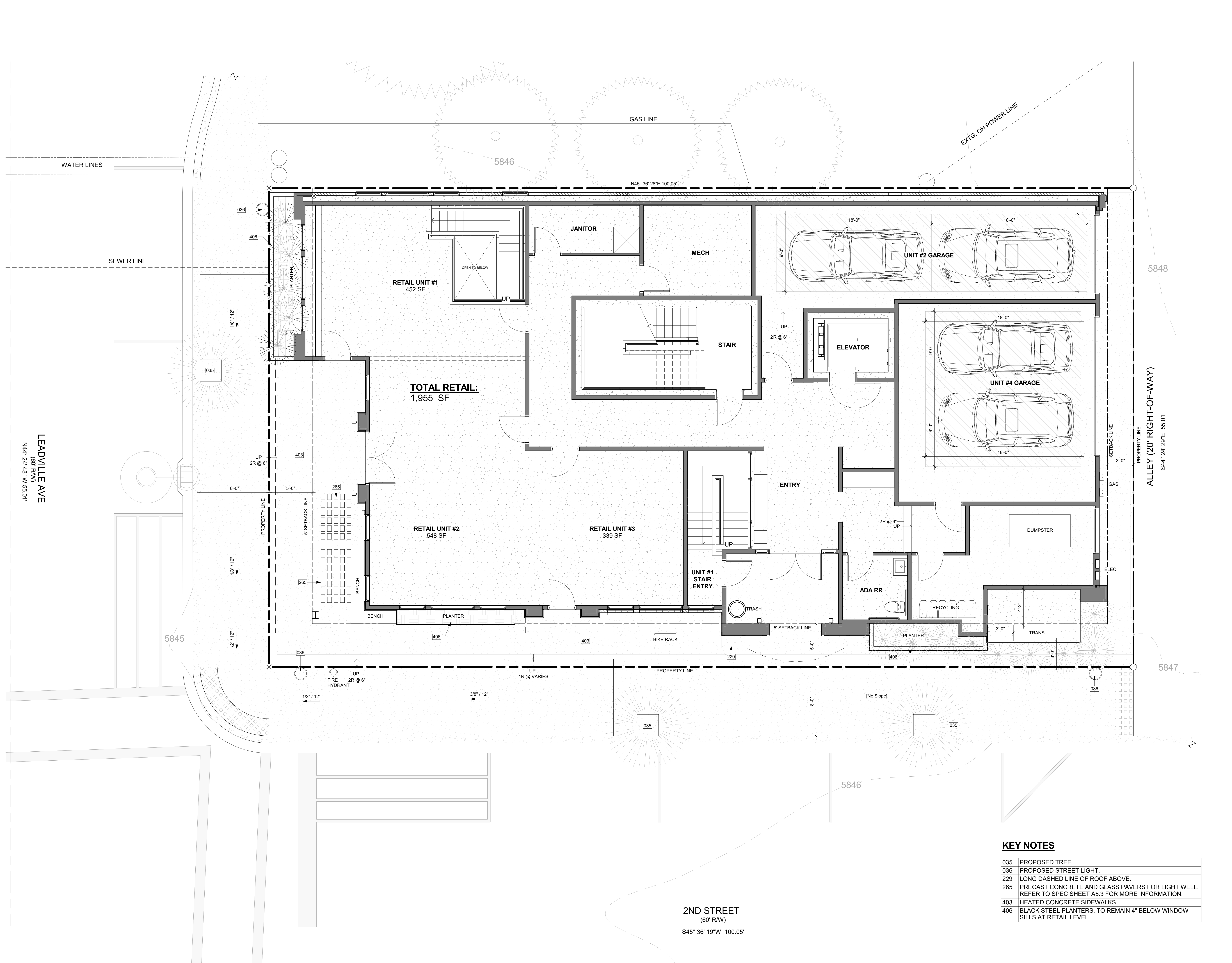
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

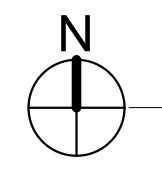
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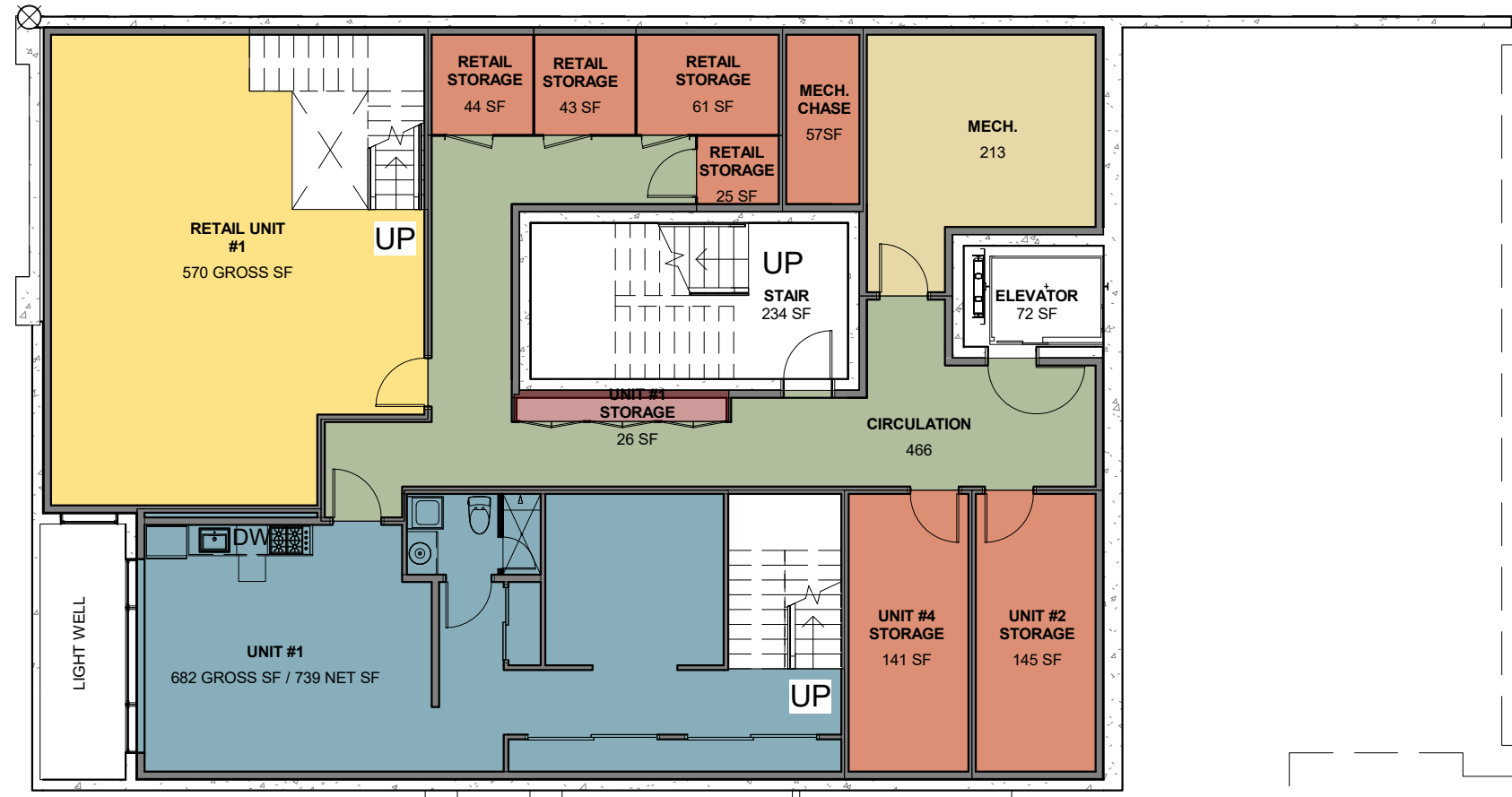


KEY NOTES

- 035 PROPOSED TREE.
- 036 PROPOSED STREET LIGHT.
- 229 LONG DASHED LINE OF ROOF ABOVE.
- 265 PRECAST CONCRETE AND GLASS PAVERS FOR LIGHT WELL. REFER TO SPEC SHEET A5.3 FOR MORE INFORMATION.
- 403 HEATED CONCRETE SIDEWALKS.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.

SITE PLAN
 1/4" = 1'-0" 1

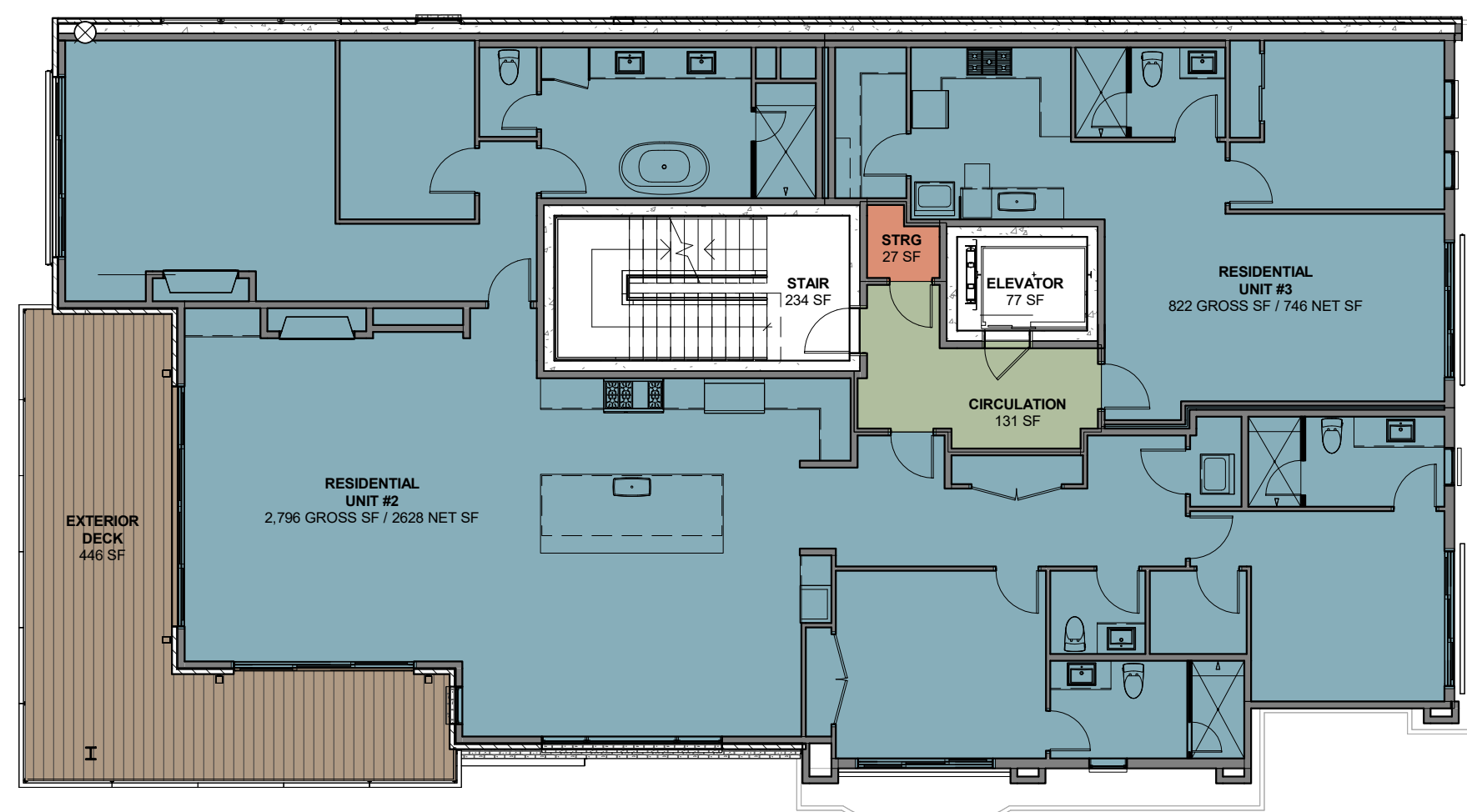




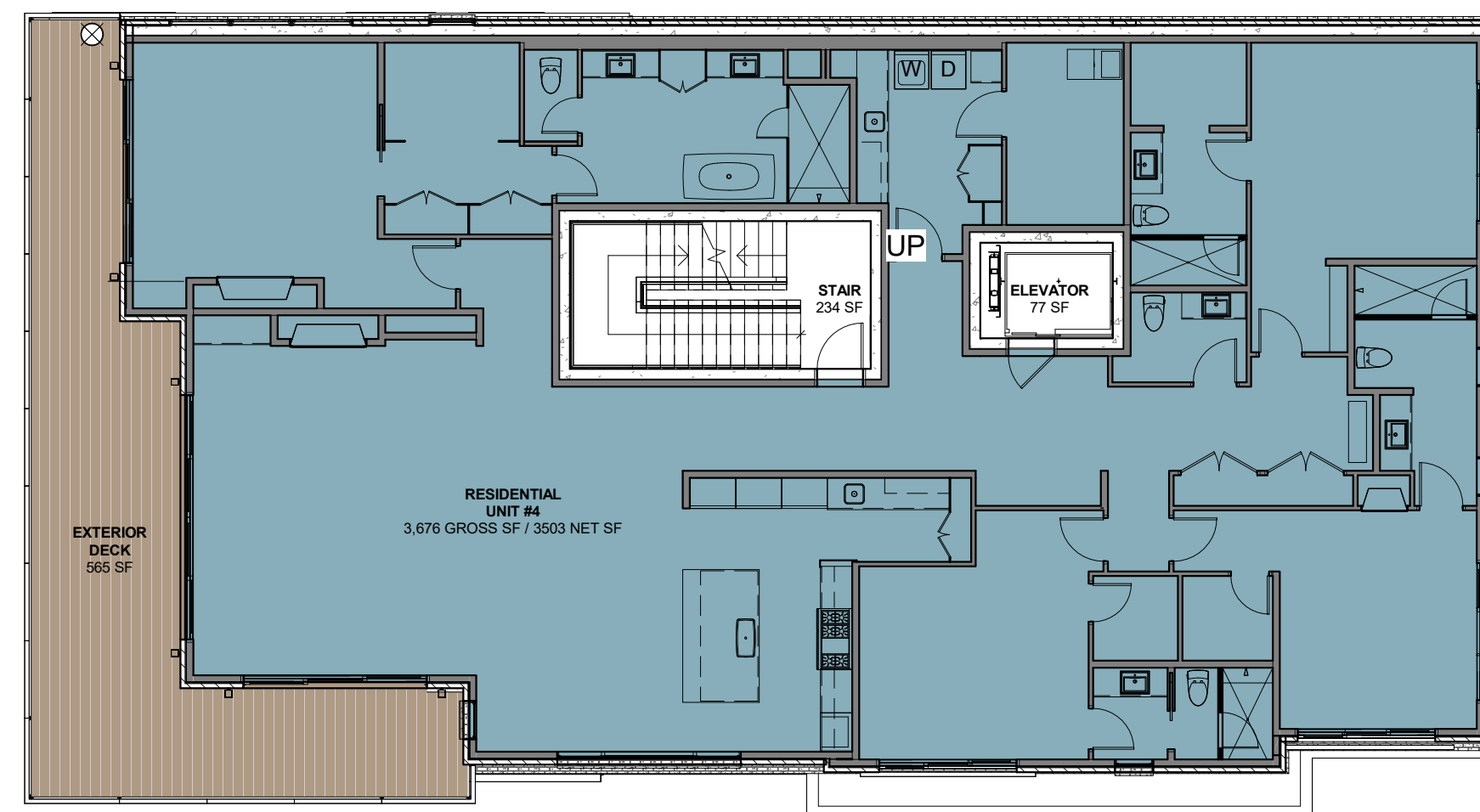
LOWER LEVEL PLAN
3/32" = 1'-0"



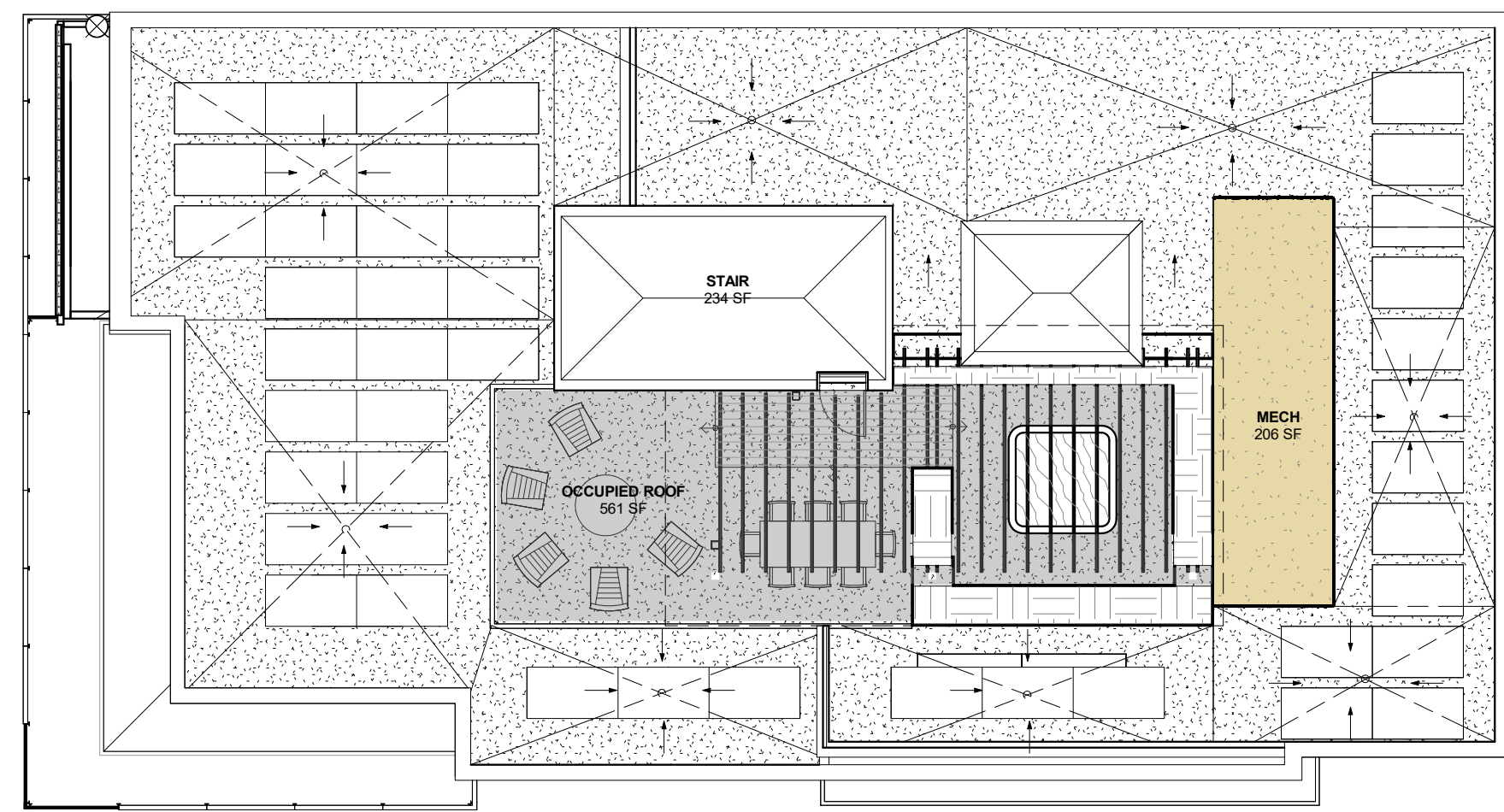
1ST FLOOR PLAN
3/32" = 1'-0"



2ND FLOOR PLAN
3/32" = 1'-0"



3RD FLOOR PLAN
3/32" = 1'-0"



ROOF PLAN
3/32" = 1'-0"

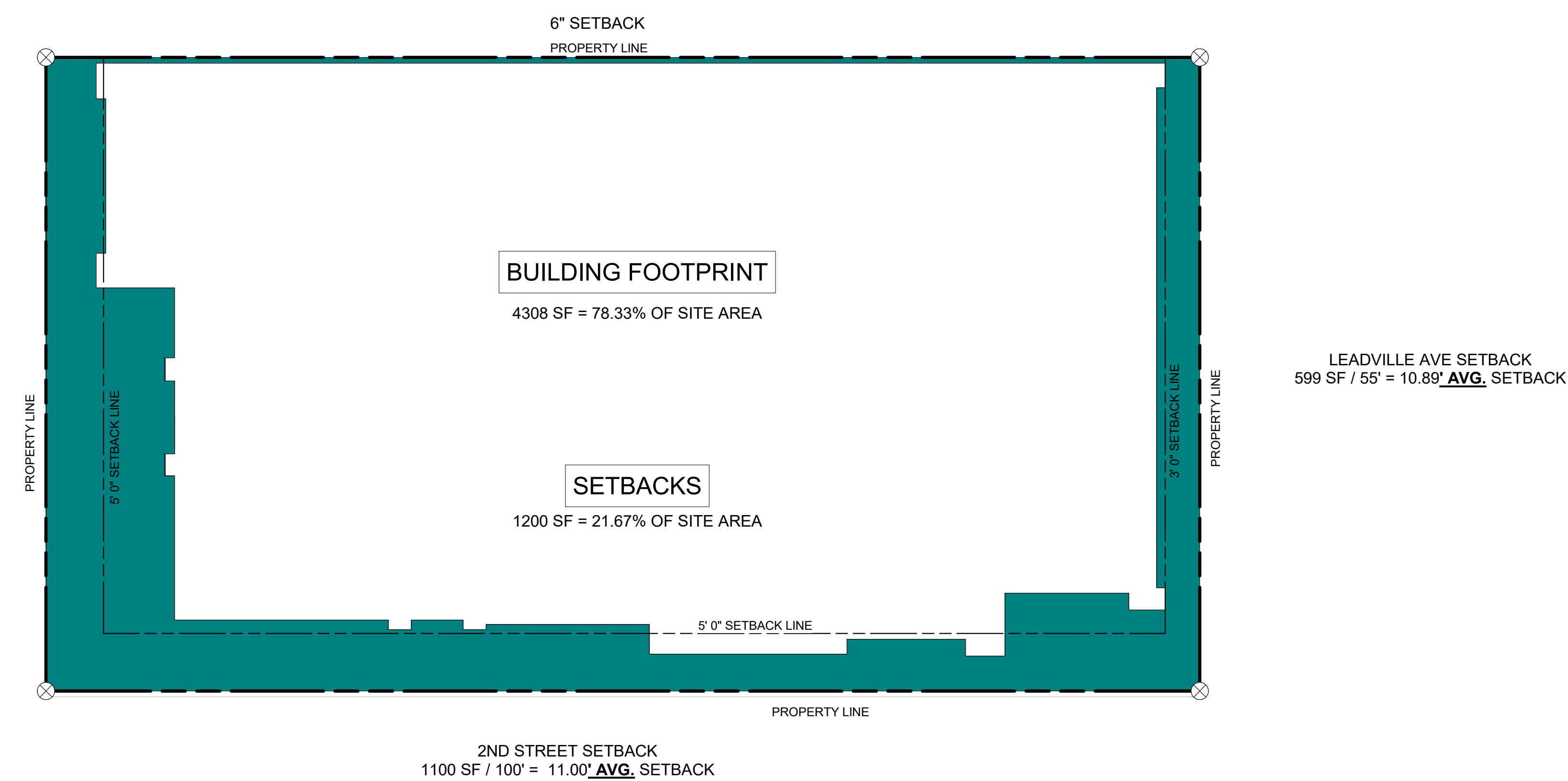
FLOOR AREA LEGEND	
	STORAGE AREA
	RESIDENTIAL PARKING
	RESIDENTIAL AREA
	EXTERIOR AMENITY AREA
	MECHANICAL / FIRE
	COMMERCIAL AREA
	CIRCULATION
	VERTICAL CIRCULATION

DESIGN REVIEW APPLICATION REQUIREMENTS

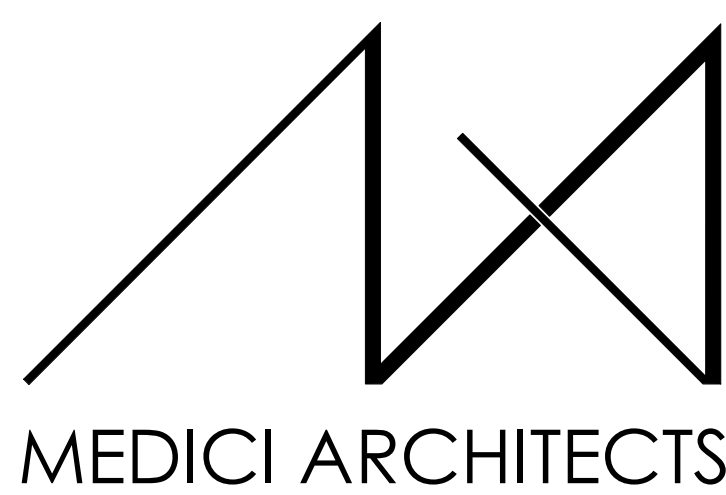
BUILDING AREA SQUARE FOOTAGES				
FLOOR PLAN	AREA USE	GROSS AREA SF	NET AREA SF	EXCLUDED AREA SF
LOWER LEVEL	RESIDENTIAL UNIT #1	682 SF	639 SF	682 SF
	STORAGE UNIT #4	141 SF		141 SF
	STORAGE UNIT #1	26 SF		26 SF
	STORAGE UNIT #2	145 SF		145 SF
	RETAIL UNIT #1	570 SF		570 SF
	MECH / FIRE RISER ROOM	213 SF		213 SF
	CIRCULATION	466 SF		466 SF
	STAIR	234 SF		234 SF
	ELEVATOR	72 SF		72 SF
TOTALS:		2549 SF	639 SF	2549 SF
1ST FLOOR	RETAIL UNIT #1	380 SF	0 SF	665 SF
	RETAIL UNIT #1 STAIR	121 SF		
	ATRIUM (50% over 18')	34 SF		
	RETAIL UNIT #2	544 SF		
	RETAIL UNIT #3	341 SF		
	RESTROOM	67 SF		
	RESIDENTIAL UNIT#1 STAIR	33 SF		
	RESIDENTIAL PARKING	530 SF		
	RESIDENTIAL PARKING	552 SF		
	JANITOR	74 SF		
	MECHANICAL	148 SF		
	CIRCULATION	682 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
TRASH ROOM	220 SF			
TOTALS:	4069 SF	0 SF	665 SF	
2ND FLOOR	RESIDENTIAL UNIT #2	2796 SF	3374 SF	757 SF
	RESIDENTIAL UNIT #3	822 SF		
	STORAGE	27 SF		
	EXTERIOR DECK	446 SF		
	CIRCULATION	131 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
	TOTALS:	4533 SF		
3RD FLOOR	RESIDENTIAL UNIT #4	3676 SF	3503 SF	876 SF
	EXTERIOR DECK	565 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
	TOTALS:	4552 SF		
ROOF DECK	OCCUPIED ROOF	561 SF	0 SF	1001 SF
	MECHANICAL	206 SF		
	STAIR	234 SF		
	TOTALS:	1001 SF		

	GROSS AREA SF	NET AREA SF	EXCLUDED AREA SF
TOTAL BUILDING:	16,704 SF	7516 SF	5,848 SF

	GROSS AREA SF	SITE AREA SF	FAR
FAR:	10,856 SF	5504 SF	1.97



FIRST FLOOR AVERAGE SETBACK DIAGRAM
1/8" = 1'-0" 6



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BELLEVUE, WASHINGTON 98005
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REGISTRATION:
LICENSED ARCHITECT
AR 985993
PRELIMINARY
NICOLE C. RAMEY
(STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS:	DATE:

PROJECT / CLIENT:
THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:
200 N LEADVILLE KETCHUM
IDAHO, 83340
PARCEL #RPK0000230010

DRAWING NAME:
DESIGN REVIEW FLOOR AREA DIAGRAM

Drawn By: MS
Checked By: NR
Owner Approval:

PHASE:
CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198
DATE: 2/22/2023

PLOT SCALE: 1:1

A0.3

REGISTRATION:

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 NICOLE C. RAMEY
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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

LOWER LEVEL PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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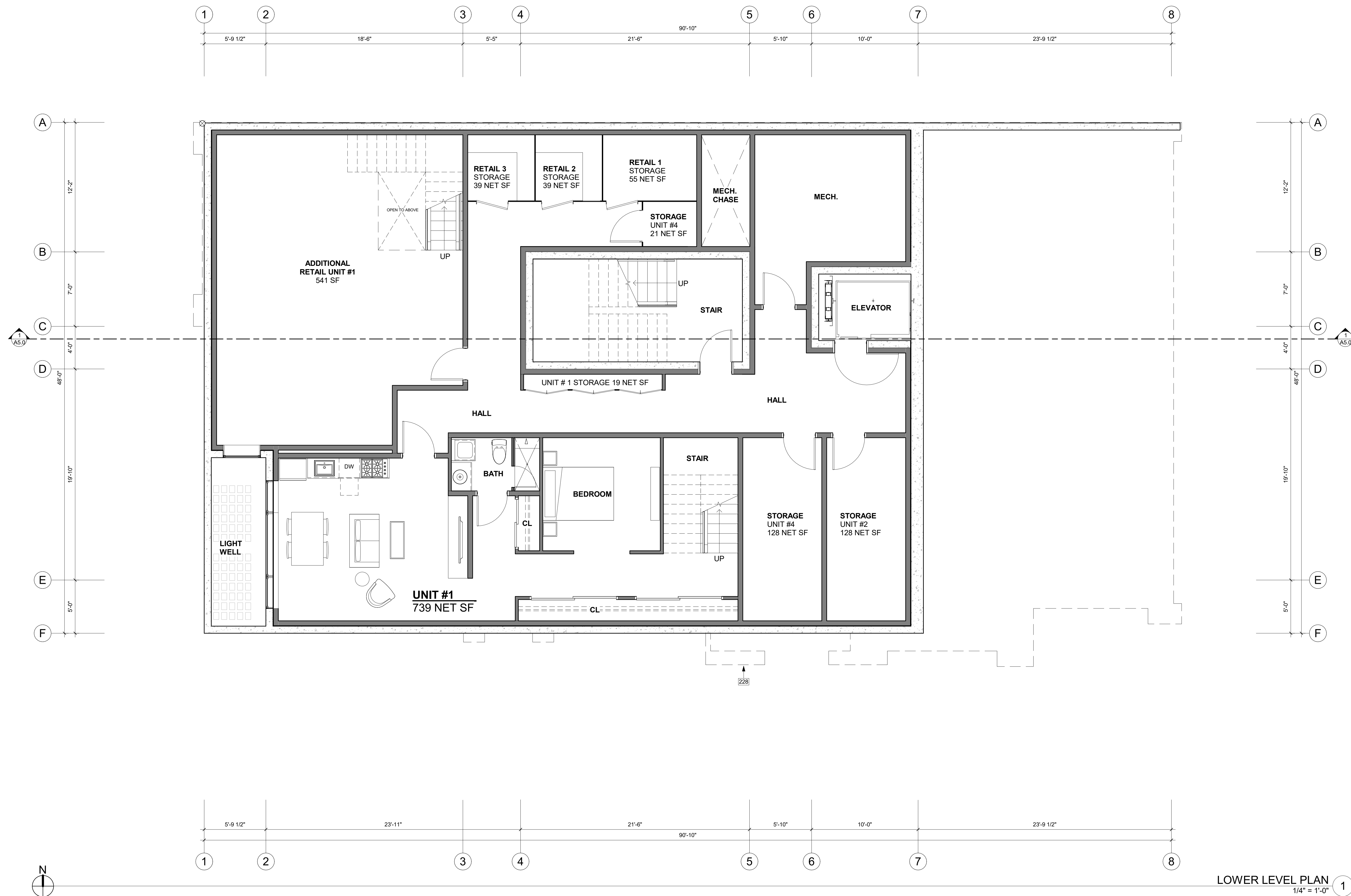
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PROJECT No.: A21-198

DATE: 2/22/2023

A2.0

PLOT SCALE: 1:1



LOWER LEVEL PLAN
 1/4" = 1'-0" 1

KEY NOTES

228 DASHED LINE OF BUILDING ABOVE.

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 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

1ST FLOOR PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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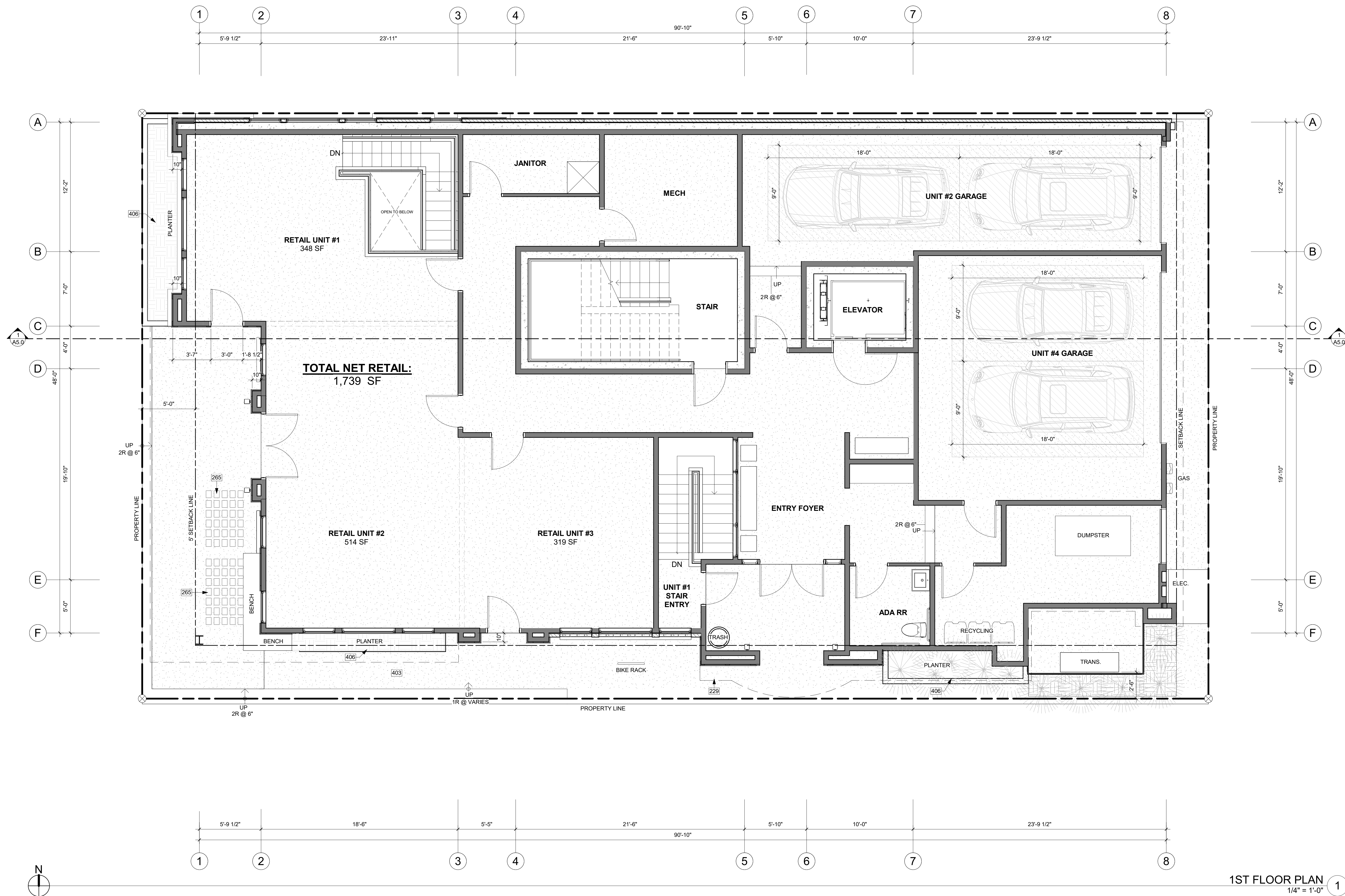
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A2.1

PLOT SCALE: 1:1



1ST FLOOR PLAN
 1/4" = 1'-0" 1

KEY NOTES

- 229 LONG DASHED LINE OF ROOF ABOVE.
- 265 PRECAST CONCRETE AND GLASS PAVERS FOR LIGHT WELL. REFER TO SPEC SHEET A5.3 FOR MORE INFORMATION.
- 403 HEATED CONCRETE SIDEWALKS.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

2ND FLOOR PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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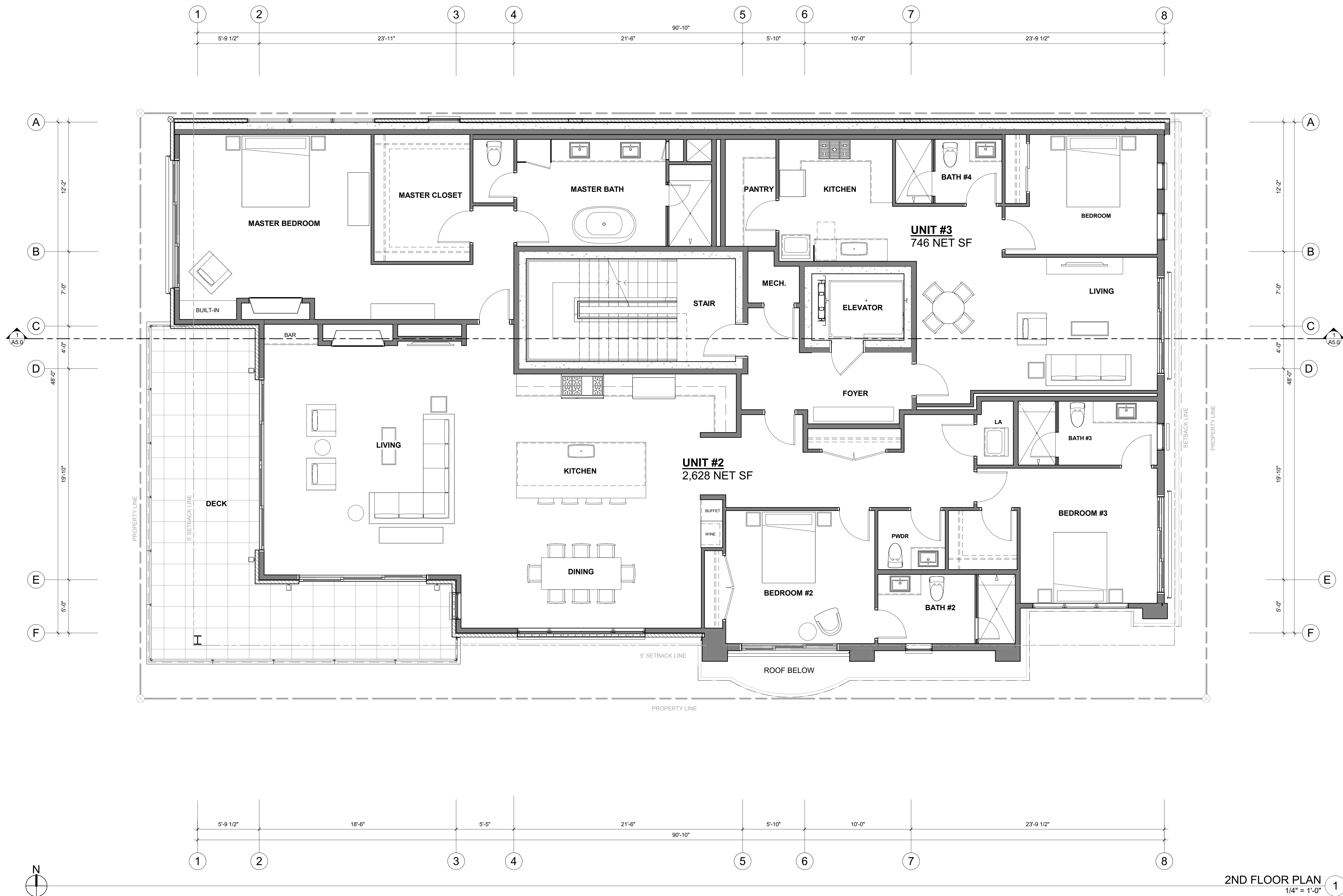
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A2.2

PLOT SCALE: 1:1



2ND FLOOR PLAN
 1/4" = 1'-0" 1

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PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

3RD FLOOR PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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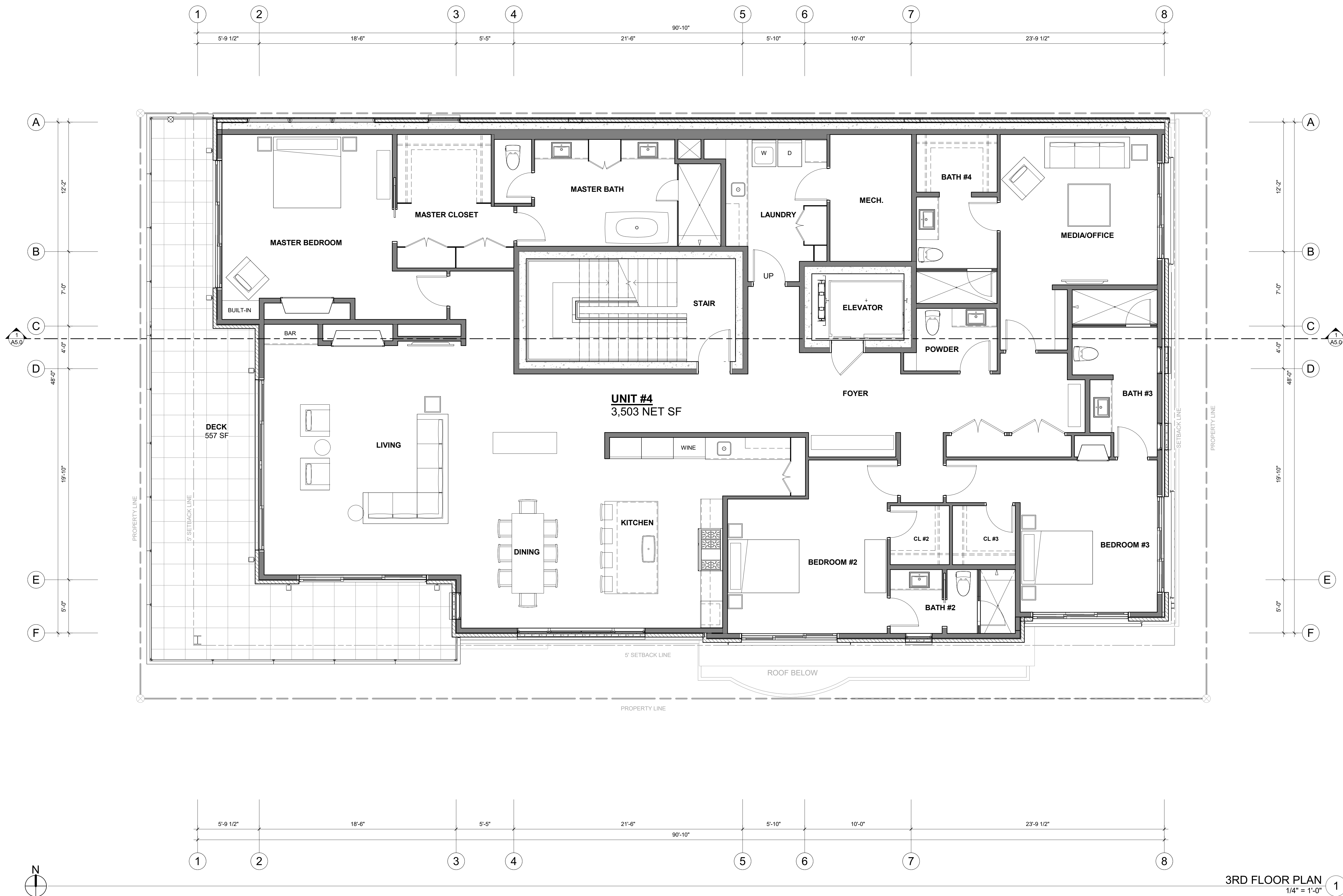
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A2.3

PLOT SCALE: 1:1



3RD FLOOR PLAN
 1/4" = 1'-0" 1

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ROOF PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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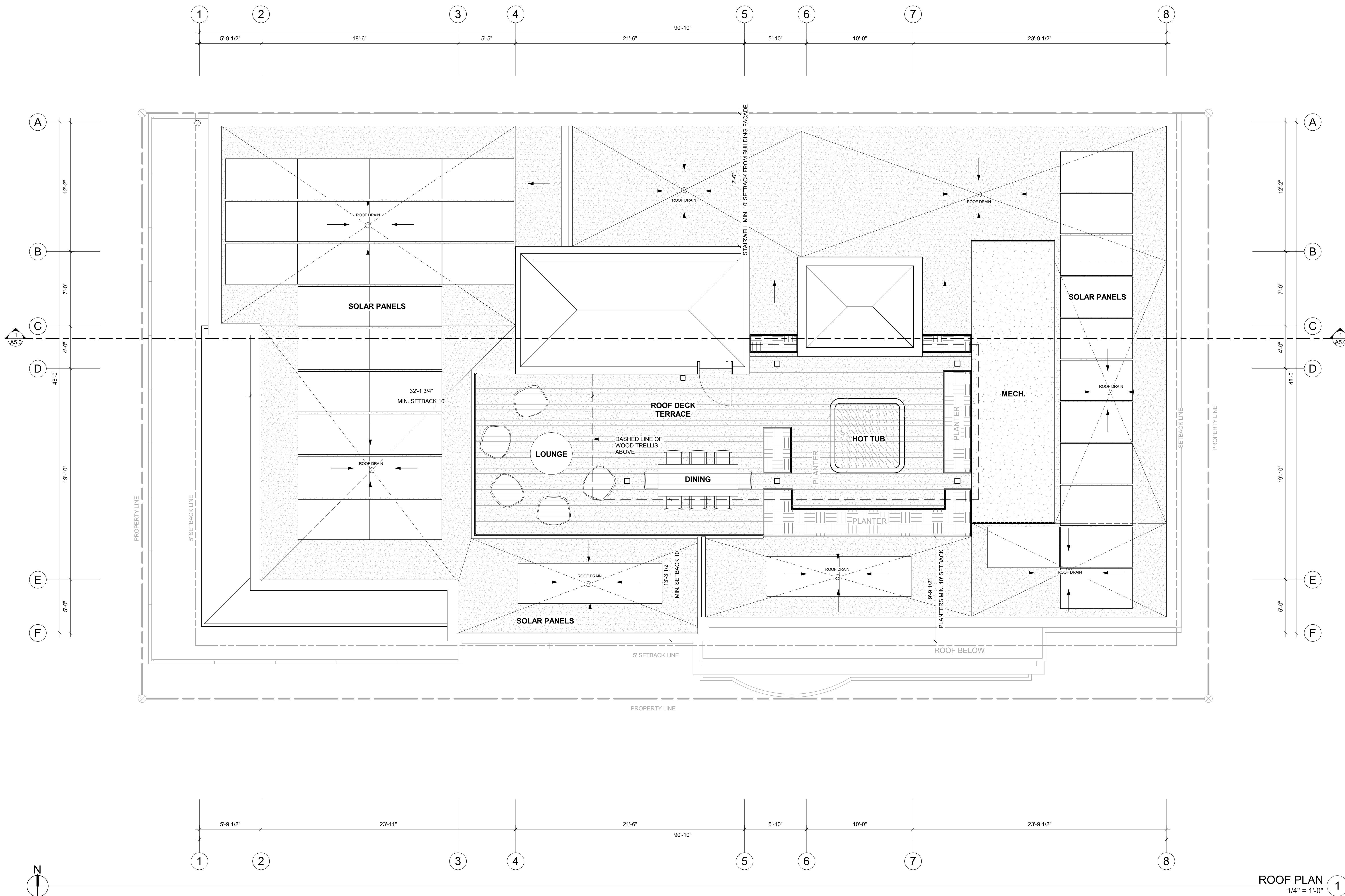
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A3.0

PLOT SCALE: 1:1



ROOF PLAN
 1/4" = 1'-0" 1

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 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

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PROJECT No.: A21-198

DATE: 2/22/2023

A4.0

PLOT SCALE: 1:1



SOUTH ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

400	NATURAL STONE VENEER.
401	BRICK VENEER.
404	WOOD SIDING.
405	BLACK STEEL C-CHANNEL.
406	BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
410	METAL CLAD WOOD WINDOWS AND DOORS.
411	PRE CAST CONCRETE LINTEL.

REGISTRATION:

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PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

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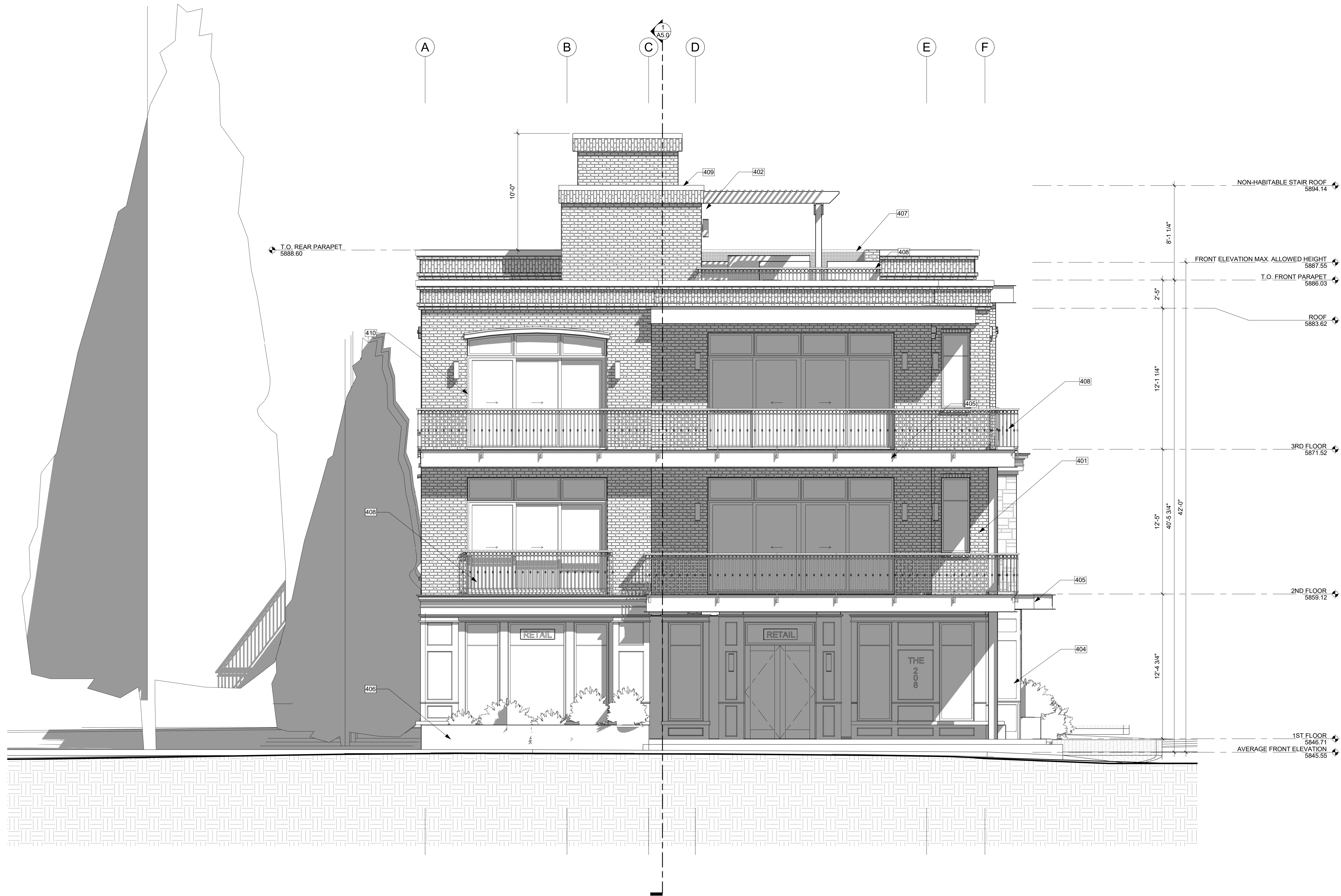
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PROJECT No.: A21-198

DATE: 2/22/2023

A4.1

PLOT SCALE: 1:1



WEST ELEVATION 2
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
402	LIGHTING @ ALL EXTERIOR DOORS INSTALLED PER MANUFACTURER, TYP. REFER TO SHEET A5.2 FOR LIGHTING SPECS. ALL LIGHTS SHALL COMPLY WITH CITY OF KETCHUM MUNICIPAL CODE 17.132.
404	WOOD SIDING.
405	BLACK STEEL C-CHANNEL.
406	BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
410	METAL CLAD WOOD WINDOWS AND DOORS.

REGISTRATION:

LICENSED ARCHITECT
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THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010



EAST ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

- 400 NATURAL STONE VENEER.
- 401 BRICK VENEER.
- 405 BLACK STEEL C-CHANNEL.
- 407 METAL MESH SCREEN.
- 408 BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
- 409 BLACK METAL COPING OVER PARAPET WALL.
- 410 METAL CLAD WOOD WINDOWS AND DOORS.
- 411 PRE CAST CONCRETE LINTEL.
- 412 ELECTRICAL/ GAS METERS.
- 413 BLACK STEEL FRAMED TRELLIS W/ BLACK STAINED WOOD CANOPY.

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A4.2

PLOT SCALE: 1:1

REGISTRATION:

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 AR 985593
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: EB

Owner Approval:

PHASE:

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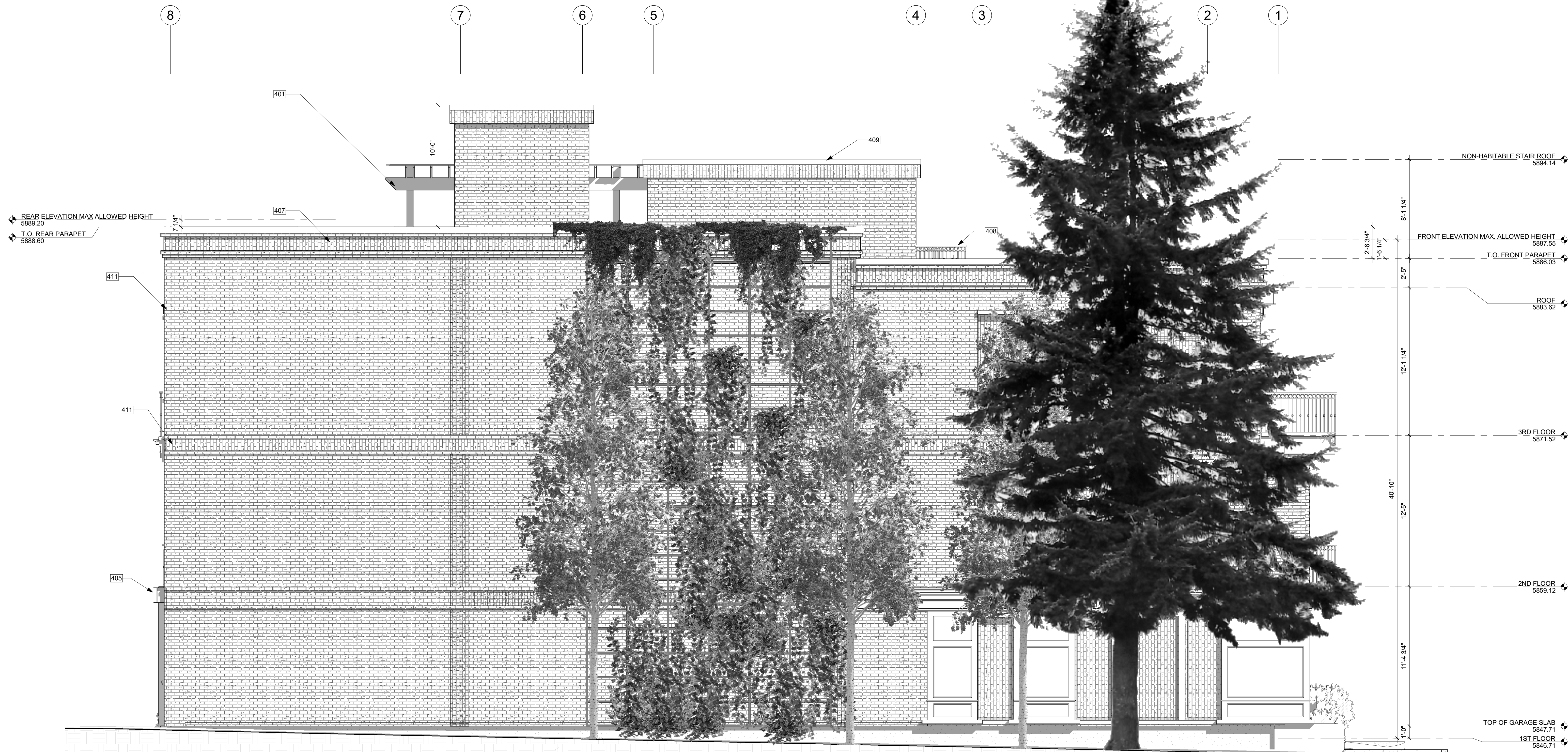
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A4.3

PLOT SCALE: 1:1



NORTH ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
411	PRE CAST CONCRETE LINTEL.

REGISTRATION:

LICENSED ARCHITECT
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PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ELEVATIONS

Drawn By: Author

Checked By: Checker

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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DATE: 2/22/2023

A4.4

PLOT SCALE: 1:1



NORTH ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
411	PRE CAST CONCRETE LINTEL.

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.



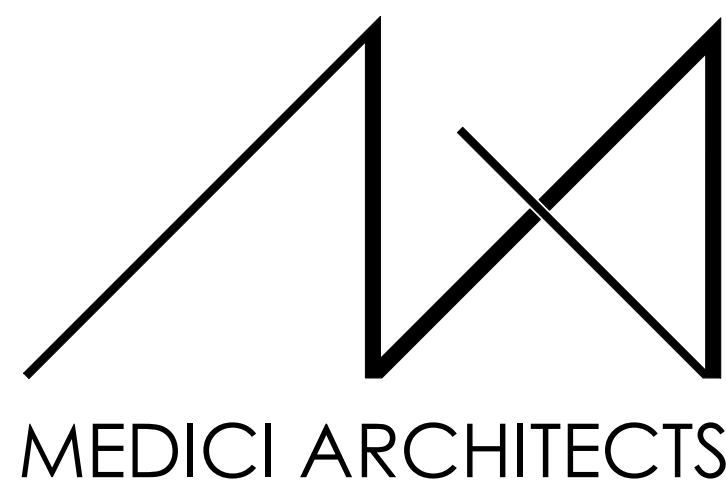
SOUTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE



SOUTH WEST PERSPECTIVE



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 BELLEVUE, WASHINGTON 98005
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REGISTRATION:

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

PERSPECTIVES

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

A4.5

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

NO.	DESCRIPTION	DATE

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

SECTIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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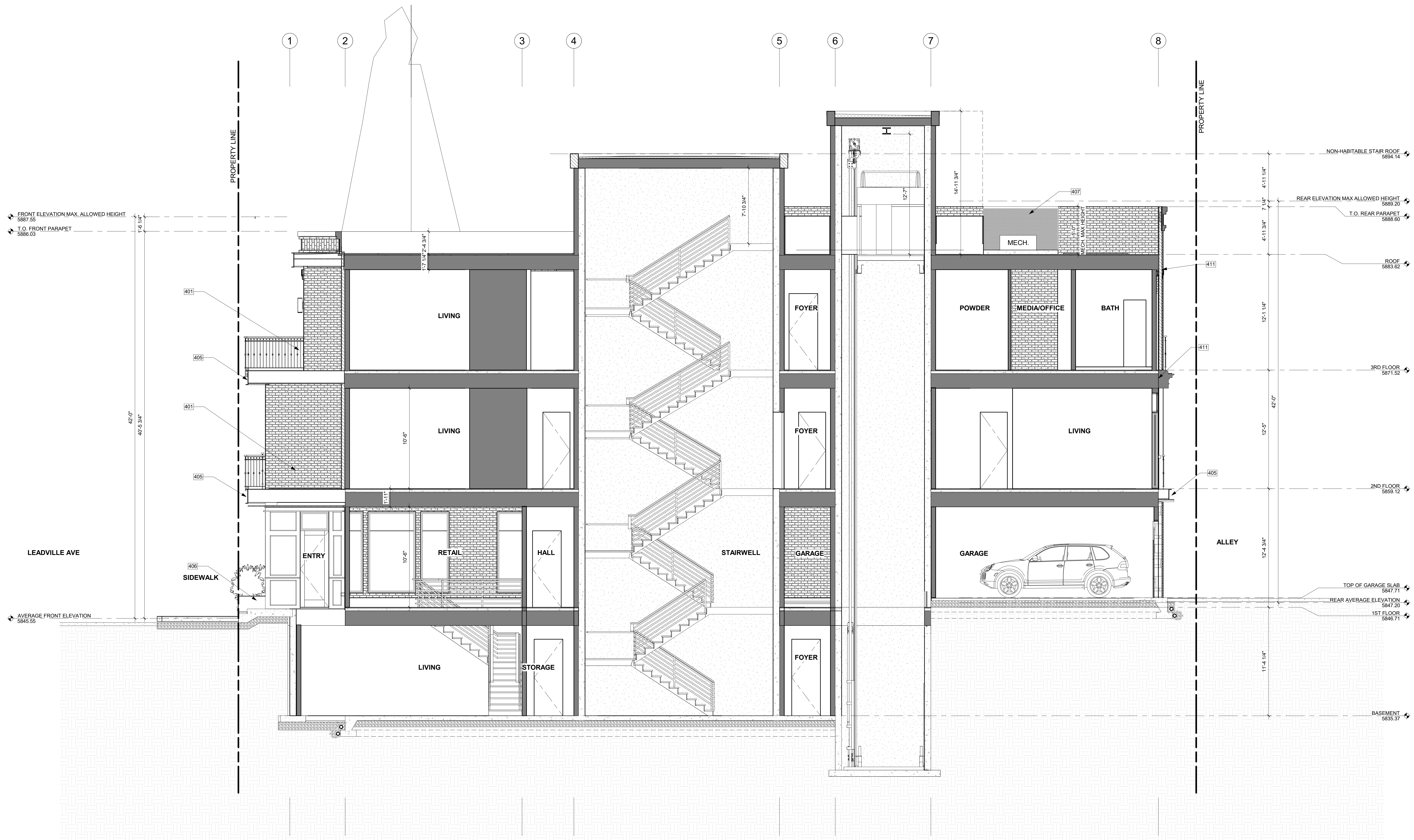
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PROJECT No.: A21-198

DATE: 2/22/2023

A5.0

PLOT SCALE: 1:1



SECTION 1
 1/4" = 1'-0" 1

KEY NOTES

- 401 BRICK VENEER.
- 405 BLACK STEEL C-CHANNEL.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
- 407 METAL MESH SCREEN.
- 411 PRE CAST CONCRETE LINTEL.



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THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

EXTERIOR MATERIALS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:



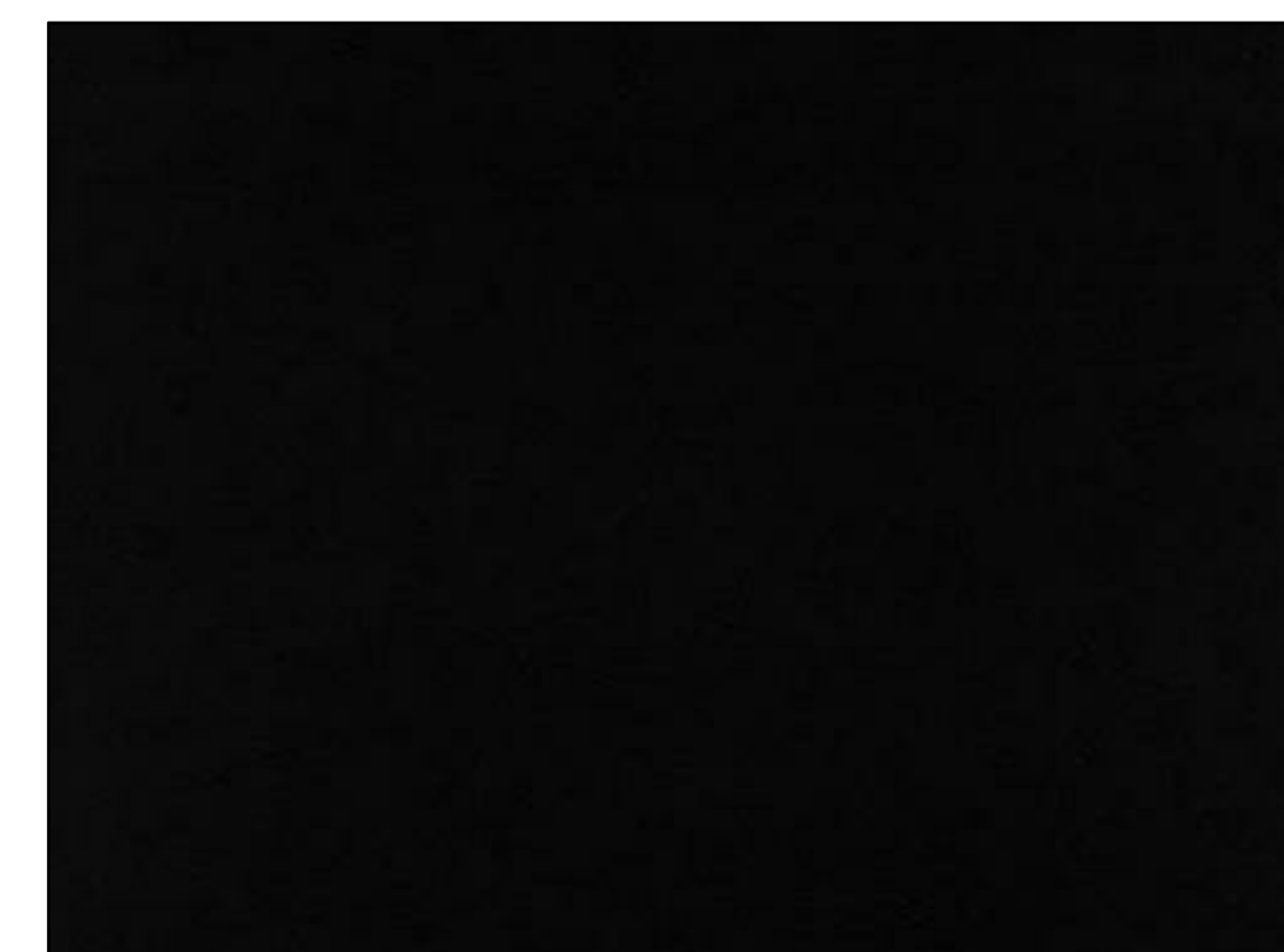
BRICK VENEER
 MOUNTAIN BLEND WITH RUG TEXTURE



STONE VENEER
 SILVERTIP STACK



WOOD SOFFIT
 ALASKAN YELLOW CEDAR VG



STEEL
 BLACK STEEL

PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

A

TEGEL 18 WALL SCENCE

TECH LIGHTING

Understated modern design characterizes Tegel outdoor LED wall sconces. Providing well-controlled up and down lighting, or down light only, these wall sconces provide accent and ambient illumination. The option of three finish choices and two sizes ensures this design profile successfully blends with all architectural aesthetics.

Outstanding protection against the elements:

- Powder coat finishes
- Impact-resistant, UV stabilized frosted acrylic lensing
- Up light and down light options, with 10° and 36° beam spread options

SPECIFICATIONS

DELIVERED LUMENS	2419 Up/Downlight 2122 Downlight
WATTS	219 Up/Downlight 1212 Downlight
VOLTAGE	Universal 120-277V with integral transformer 2.5KV surge protection (driver)
DIMMING	0-10, 0-1V
LIGHT DISTRIBUTION	Symmetric Up/Down Lighting
MOUNTING OPTIONS	Wall
OPTICS	10° and 36°
PERFORMANCE OPTIONS	Photocontrol / Surge Protector
CCT	2700K, 3000K or 4000K
CRI	80+
COLOR BINNING	3 Step
BUS RATING	Up-Downlight 81-105-010 Downlight 81-105-010
DARK SKY	Compliant (Downlight)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	38°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70: >60,000 Hours
WARRANTY*	5 Years
WEIGHT	8 lbs.

*Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

PRODUCT	CIRCUIT	LENGTH	BEAM SPREAD*	LENS	FINISH	FUNCTION	VOLTAGE	OPTIONS
DOWNLIGHT	81-105-010	18" or 24"	10° or 36°	Clear	Black	Downlight	120-277V	None
UP/DOWNLIGHT	81-105-010	18" or 24"	10° or 36°	Clear	Black	Up/Downlight	120-277V	None
UP/DOWNLIGHT	81-105-010	18" or 24"	10° or 36°	Clear	Black	Up/Downlight	120-277V	None
UP/DOWNLIGHT	81-105-010	18" or 24"	10° or 36°	Clear	Black	Up/Downlight	120-277V	None

*10°/36° DOWNLIGHT ONLY (DOL), WALL MOUNT UP AND DOWNLIGHT ONLY (UD)

techlighting.com



TEGEL 18 shown in Charcoal



TEGEL 18 shown in Bronze

TEGEL 18 shown in Black

B

LITECONTROL making light work™

2L-R-D MOD* 2 LED RECESSED DIRECT

MOD X

Product Details

General	Aperture: 2 in
Color Rendering Index (CRI)	• 80 CRI • 90 CRI
Color Temperature	• 2700 K • 3000 K • 3500 K • 4000 K • 5000 K • SpectraSync

- FEATURES**
- Variable Intensity technology provides a range of specifiable outputs and resulting fixture wattages
 - 2 SDCM color consistency
 - End cap design eliminates visible diffuser seams/gaps

INSTALLATION

- PT Mounting: Continuous spackles trim with beaded edge welded to housing. Spackles trim allows plaster coat up to fixture edge for clean ceiling appearance
- LG/NG/SS Mounting: Side rails provide continuous mounting, lateral spacing between T-bars and allows clearance for T-bar supporting wire. For Tegel grid mount, fixture will sit level with the T-bar
- DW Mounting: Side rails allow installation into drywall slot. Visible flange is located on all 4 sides of fixture

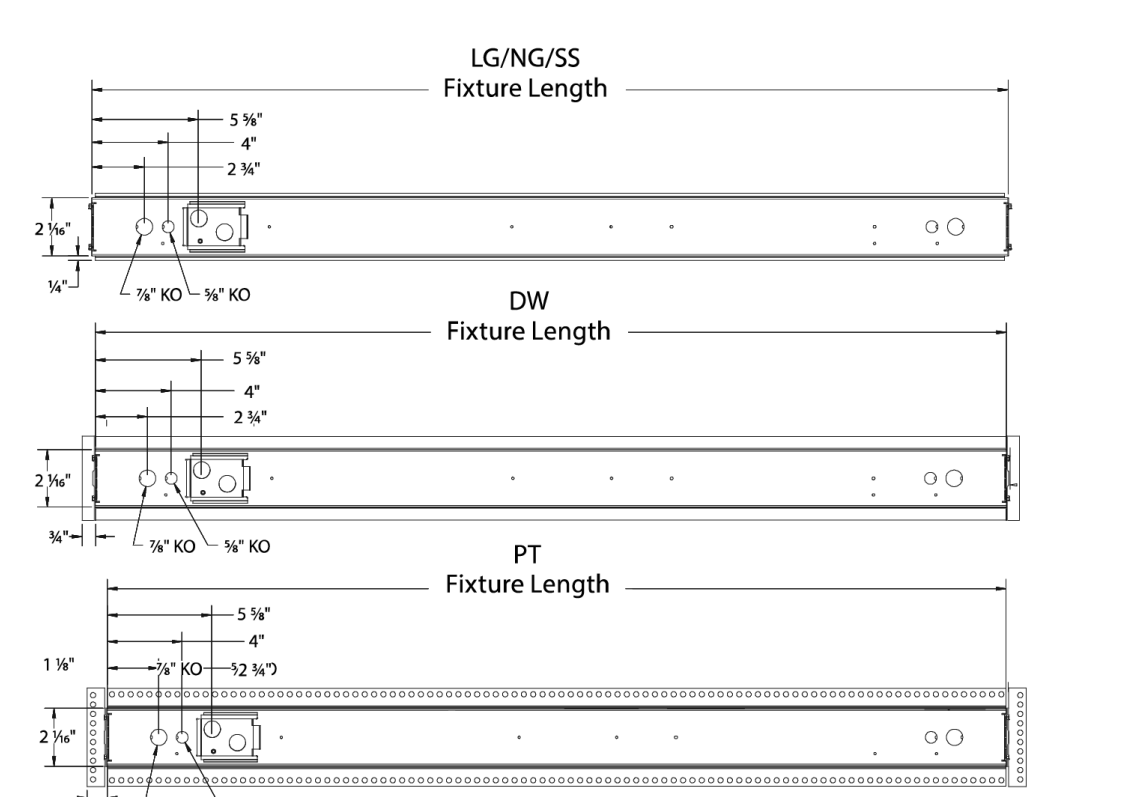
ELECTRICAL

- Variable Intensity (VI) technology allows precise specification of fixture output/wattage. Fixture will be programmed and labeled to specification. Indirect and direct hemispheres can be independently specified
- LED boards and drivers can be accessed and removed from fixture, while installed
- Entire LED module can be removed and replaced
- IC (i Circuit) Fixture wired for a single circuit
- Emergency Battery: 10W battery powered driver. Provides a minimum of 90 minutes of emergency lighting. Inverter-Compatible. Provided by others. Available in: 6- EF, L or R, D030 through D065, 8- EF, Full, D030 through D055, 8- EF, L or R, D030 through D075. Available with SOF, ASYM, BAT downlight diffusers. Test switch located in lens. For rows where the battery fixture is in the middle of a row, the test switch will be located in that section

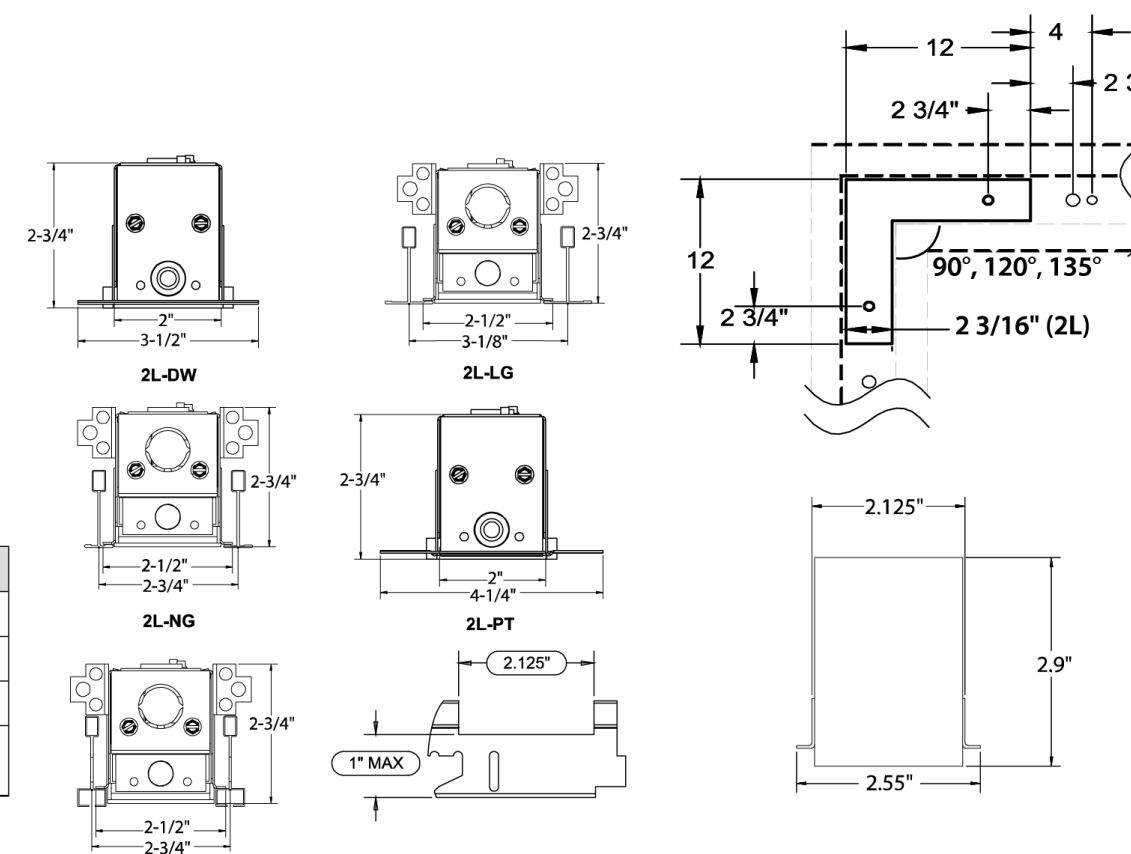
KEY DATA

Lumen Range Per Foot	D: 300-850
Wattage Range Per Foot	2.9-8.6
Efficacy Range (LPW)	99-102
Rated Life (Hours)	L70: >61,000 L90: >61,000

DIMENSIONS



Grid



D

KIMLIGHTING®

UR20 ARCHITECTURAL AREA/SITE

Ouro

- FEATURES**
- 20" size in single/dual arm post top, pole and wall mount
 - High performance optics up to 16,874 delivered lumens
 - Elegant form factor
 - Diffusion lens option
 - SiteSync™ wireless control options
 - UL/CUL, IP66 and 4G/1.5G vibration rated

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

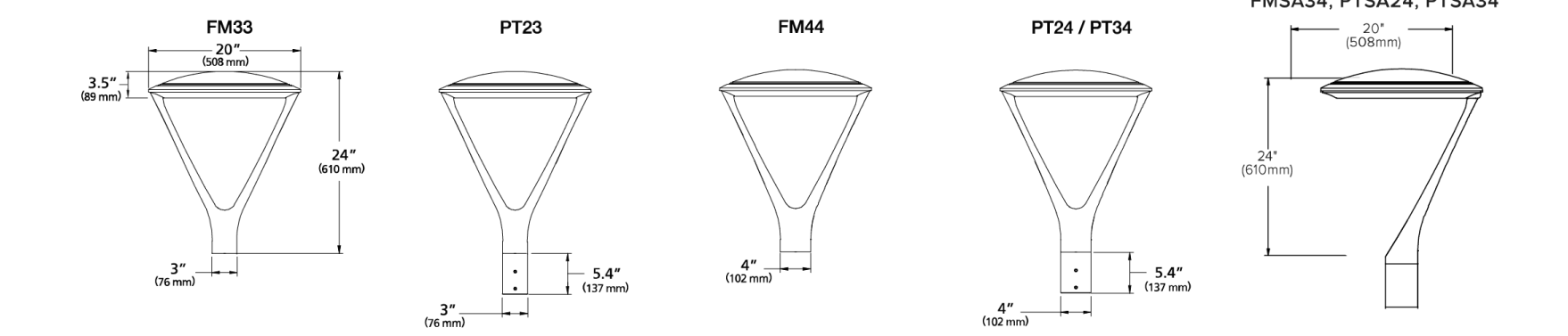
ELECTRICAL

- Universal voltage, 120 through 277V with ±10% tolerance. Driver is Underwriters Laboratories listed.
- High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories listed.
- "Thermal Shield", secondary side, thermistor provides protection for the sustainable life of LED module and electronic components
- Drivers shall have greater than a 0.9 power factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to 40°C ambient environments.
- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.
- Surge protection: 10,000k in parallel, 20,000k in series
- Wiring: No. 18AWG rated 105°C, wet rating.

KEY DATA

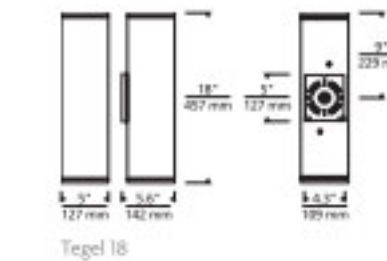
Lumen Range	2694 - 16874
Wattage Range	25 - 150
Efficacy Range (LPW)	95 - 133
Reported Life (Hours)	L70>60,000
Weight	35 lbs - 15.8 Kg
EPA	0.608

DIMENSIONS



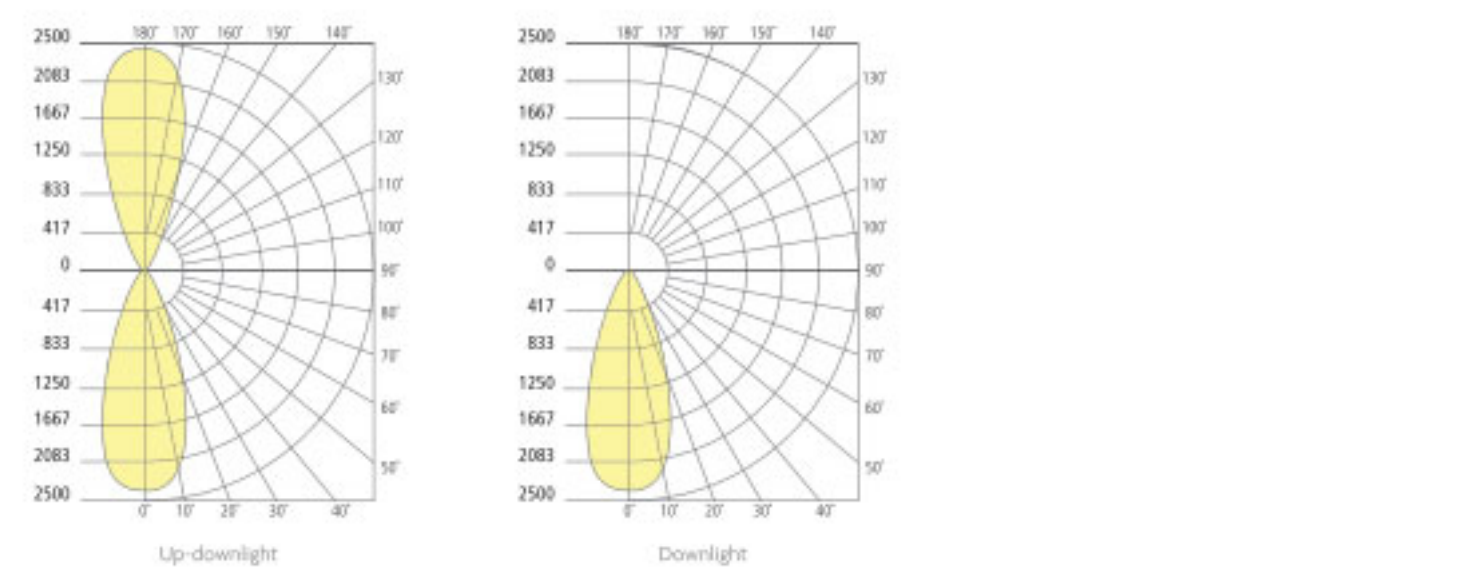
TEGEL 18 WALL SCENCE

TECH LIGHTING



PHOTOMETRICS*

TEGEL 18 UP/DOWN	TEGEL 18 DOWN
Total Lumen Output: 2419	Total Lumen Output: 1212
Total Power: 219	Total Power: 112
Luminaire Efficacy: 80.6	Luminaire Efficacy: 77.7
Color Temp: 3000K	Color Temp: 3000K
CRI: 80+	CRI: 80+
BUG Rating: 81-105-G0	BUG Rating: 81-105-G0



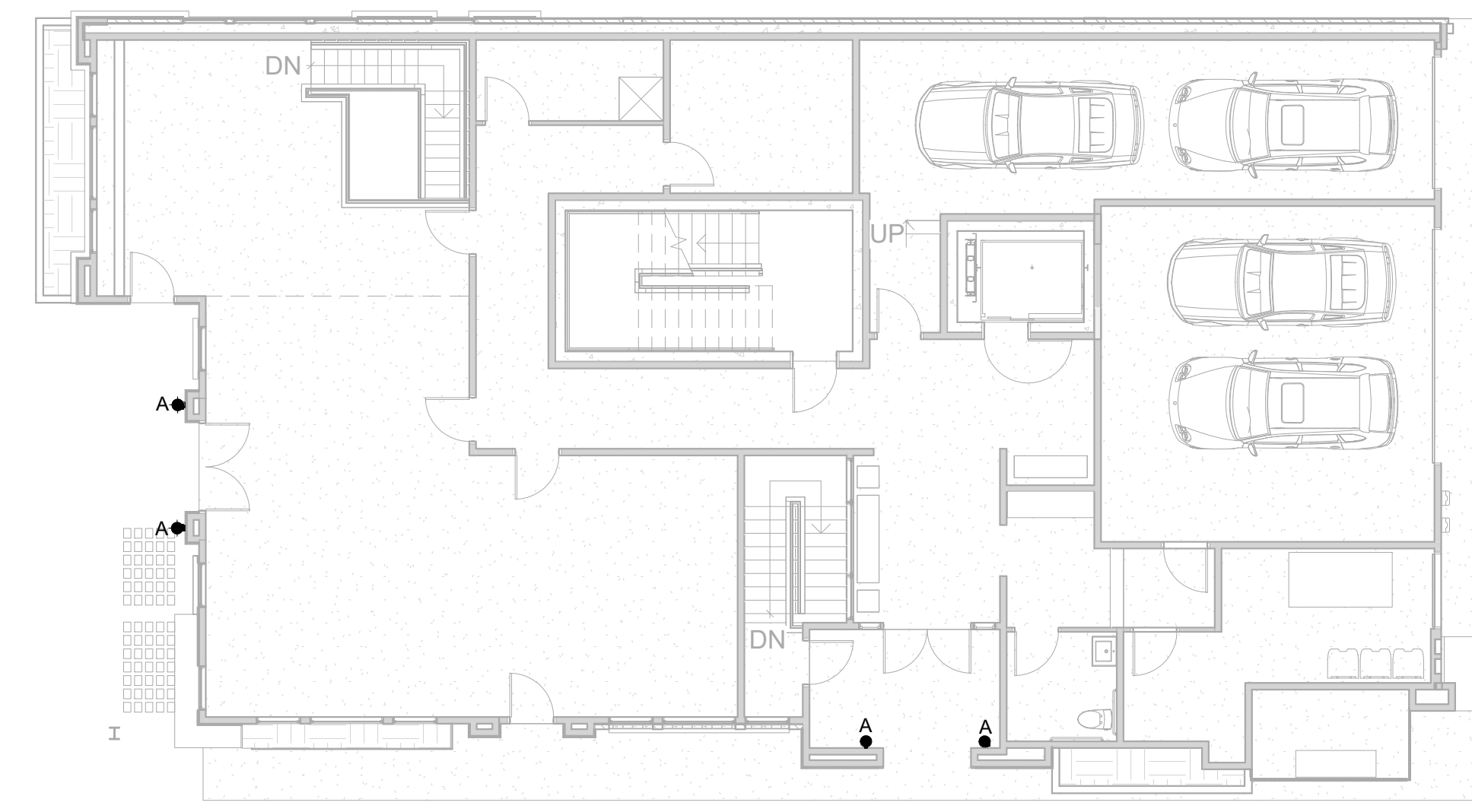
PROJECT INFO

FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

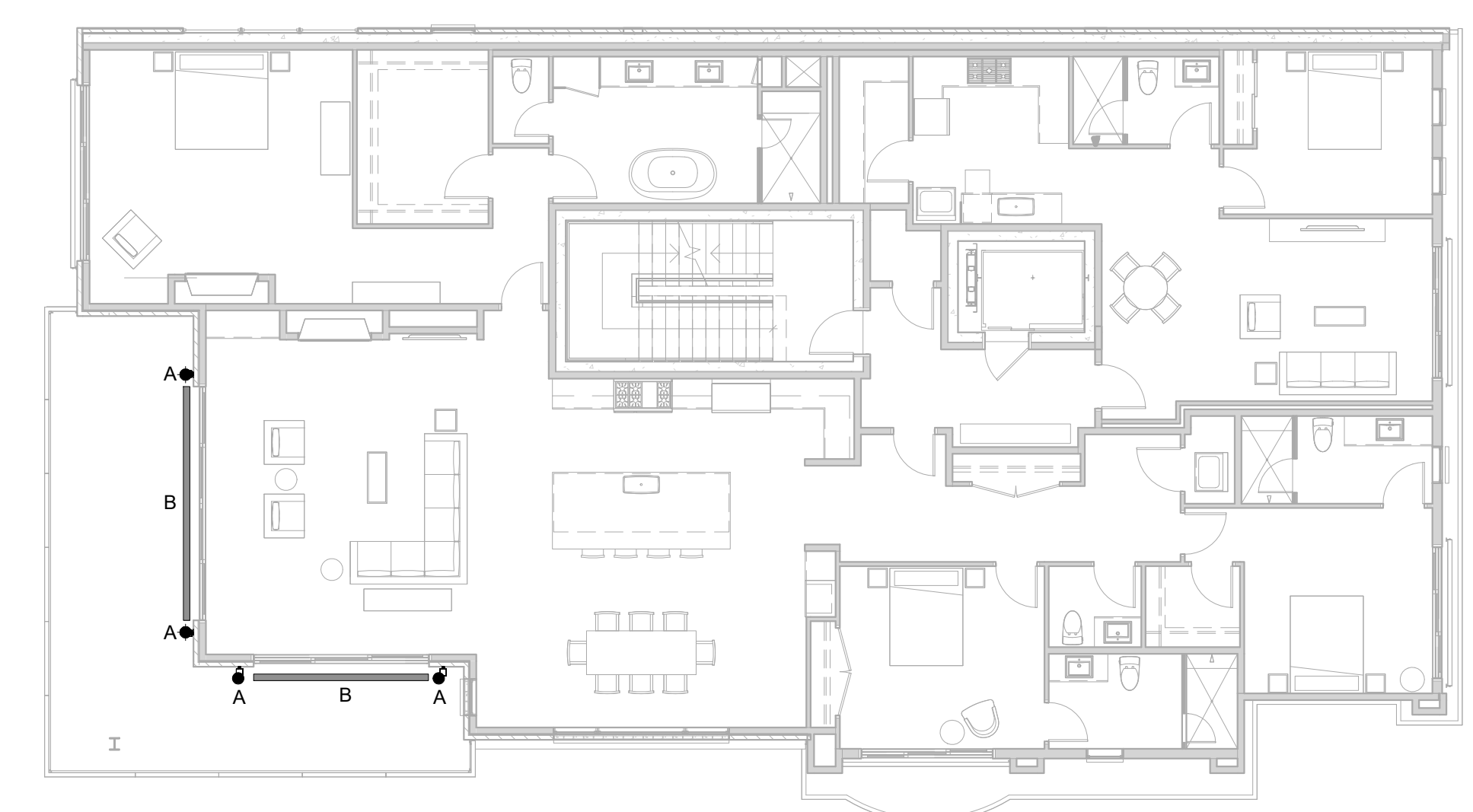
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TECH LIGHTING VISUAL COMFORT & CO. 7885 Linden Avenue, Skokie, Illinois 60077 781.418.4448

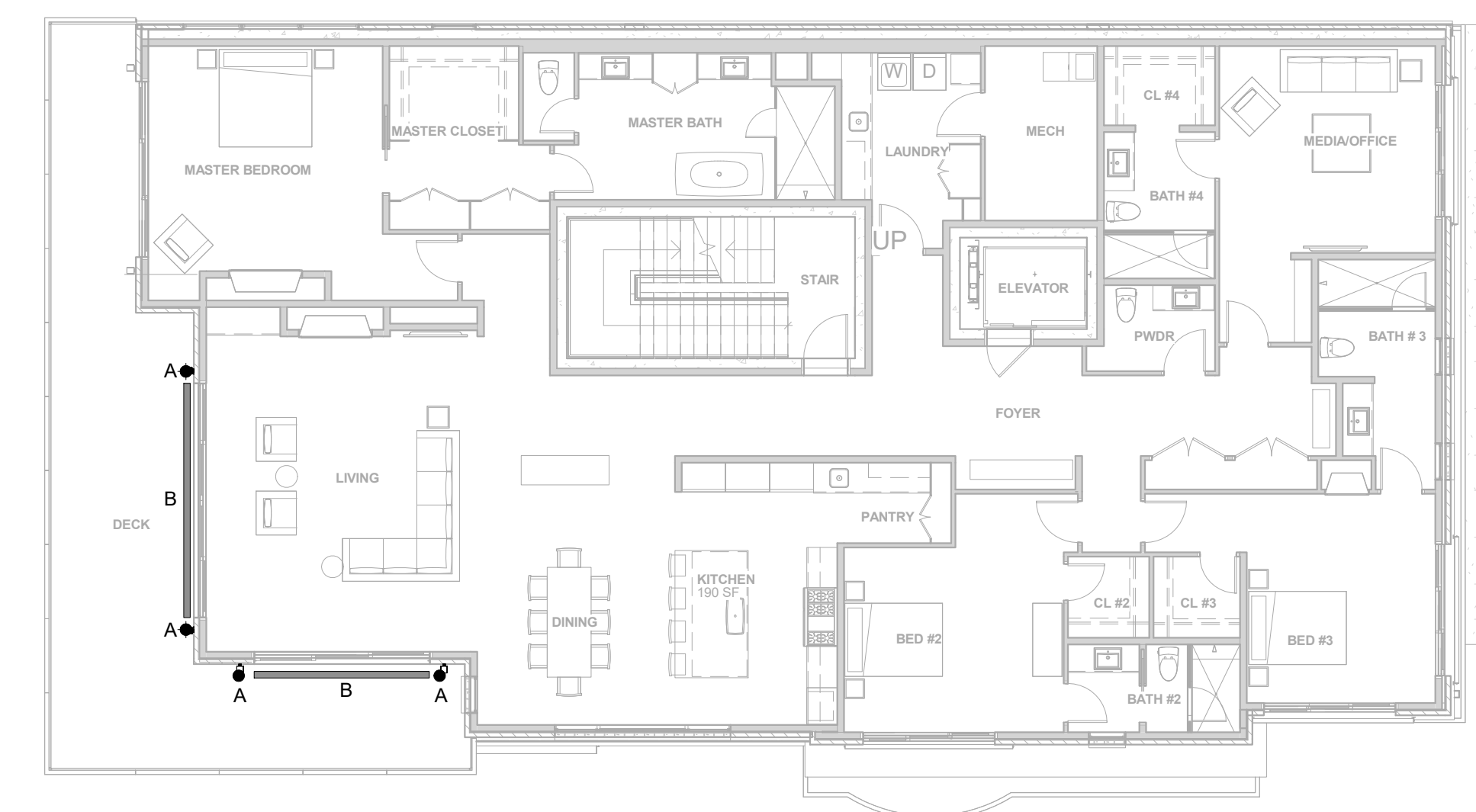
techlighting.com



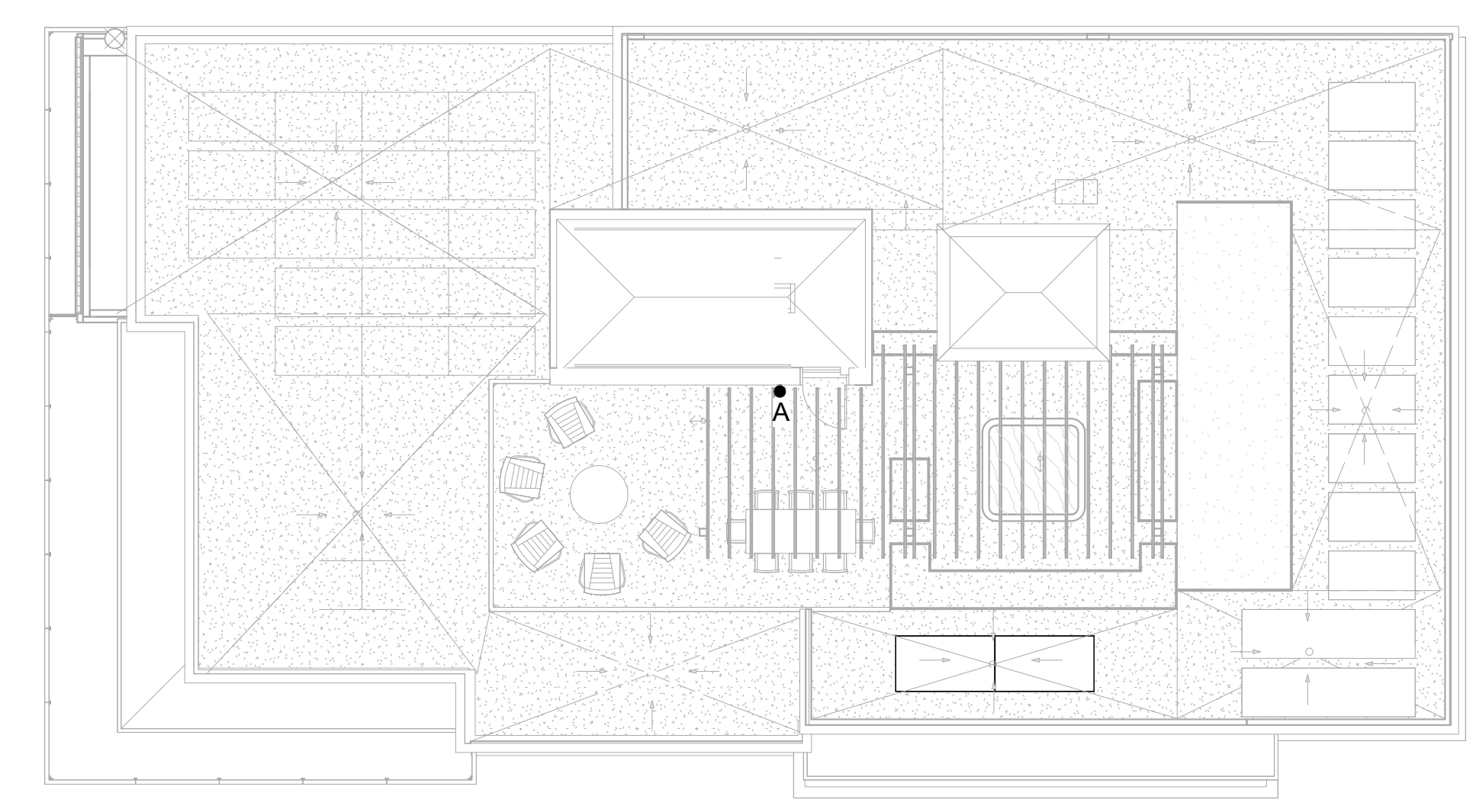
1ST FLOOR PLAN 1" = 10'-0" 1



2ND FLOOR PLAN 1" = 10'-0" 2



3RD FLOOR PLAN 1" = 10'-0" 3



ROOF PLAN 1" = 10'-0" 4



MEDICI ARCHITECTS

11661 SE 1ST STREET, SUITE 200
BELLEVUE, WASHINGTON 98005
TEL: (425) 453-9298
FAX: (425) 452-8448

REGISTRATION:

LICENSED ARCHITECT
AR 985993
PRELIMINARY
NICOLE C. RAMEY
(STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
IDAHO, 83340
PARCEL #RPK0000230010

DRAWING NAME:

EXTERIOR LIGHTING PLANS AND FIXTURES

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A5.2

PLOT SCALE: 1:1

EXTERIOR BUILDING SIGN

BUILDING SIGN
 TYPE FACE: SWIS721 BLK BT
 SIZE OF NUMBERS: 4.25" x 6"
 SIZE OF LETTERS: 3" x 3"

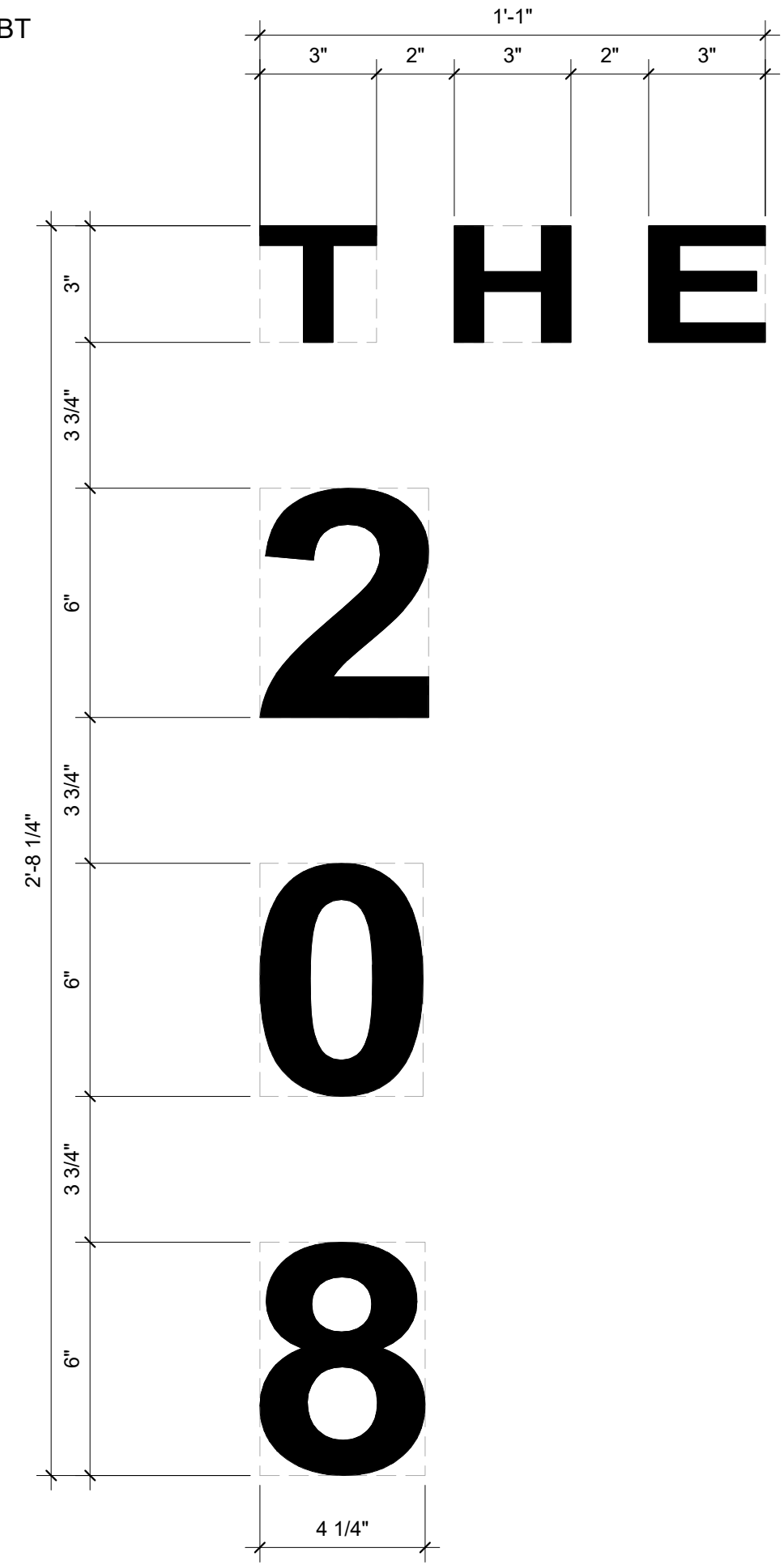
DISCRIPTION:
 BLACK ANODIZED ALUMINUM
 HOLLOW CORE CAST LETTER PIN
 MOUNTED WITH HALF INCH OFFSET
 FROM BUILDING SURFACE

4 SQ FEET MAX
 TO COMPLY WITH KETCHUM
 SIGN ORDINANCE
 17.127.00

LEADVILLE AVE SIGNAGE CALC
 55/3 L.F. = 18.3 SQ. FT.
 OF SIGNAGE ALLOWED

-SIGN TO COMPLY WITH 17.127
 KETCHUM SIGN ORDINANCE

PROPOSED:
 BUILDING ADDRESS 8,625 SQ. FT



- CONSTRUCTION NOTES**
- ROOF PITCH: 5° (AR-01) AND 36° (AR-02)
 - ROOF CLADDING: FLAT TPO MEMBRANE (AR-01) AND STANDING SEAM METAL ROOF (AR-02)
 - ROOF STRUCTURE: ENGINEERED RAFTER SYSTEM (AR-01) AND 2"X6" TRUSSES AT 24" O.C. (AR-02)
 - MOUNTS ARE ON GRID SPACING, OCCURRING AT RAFTERS.
 - VERIFY RAFTER LOCATIONS IN FIELD.
 - MAX SPAN BETWEEN MOUNTS: 20' O.C.
 - APPROX G20 MOUNTS TOTAL
 - REFER TO MODULE AND RACKING MFR'S INSTALL MANUALS.
 - PLUMBING AND MECHANICAL VENTS SHALL NOT BE COVERED BY SOLAR MODULES.
 - ALL FASTENERS STAINLESS STEEL U.O.N.

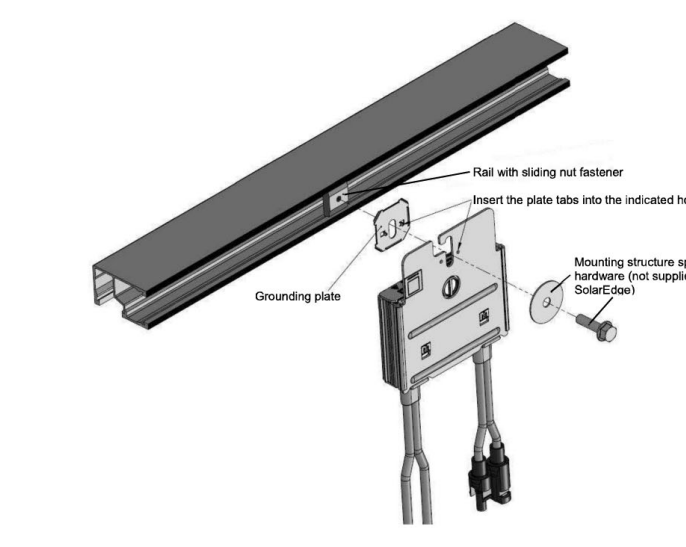
DIRECT CURRENT PHOTOVOLTAIC POWER SOURCE

MAXIMUM VOLTAGE	480.0 V
MAXIMUM CIRCUIT CURRENT	20.0 A
MAXIMUM RATED OUTPUT CURRENT OF DC TO DC CONVERTER	15.0 A

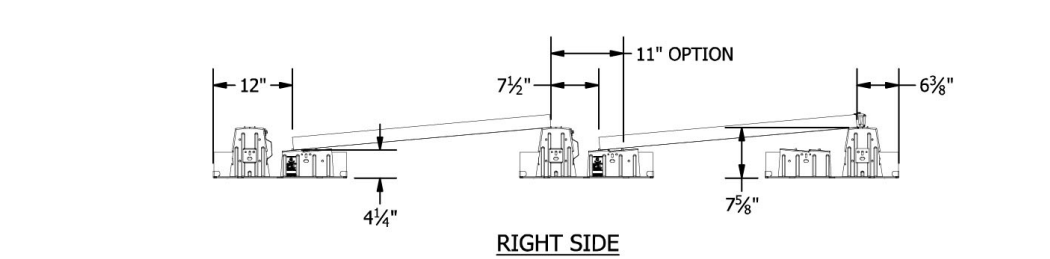
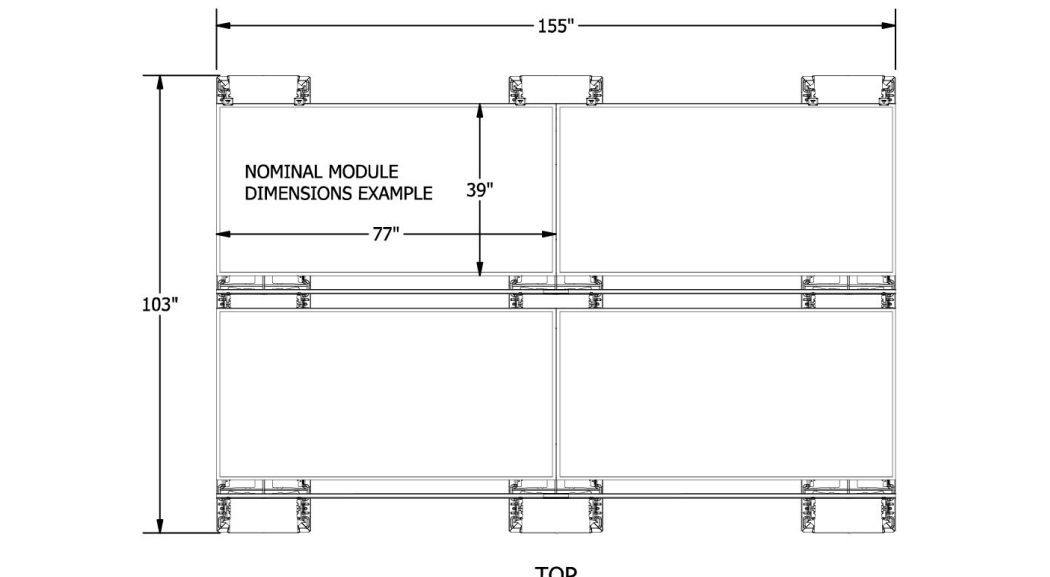
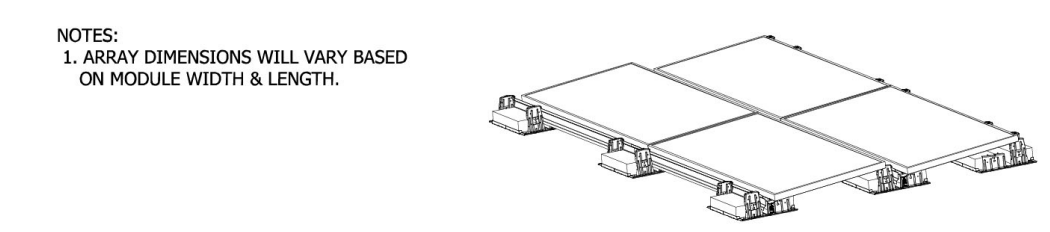
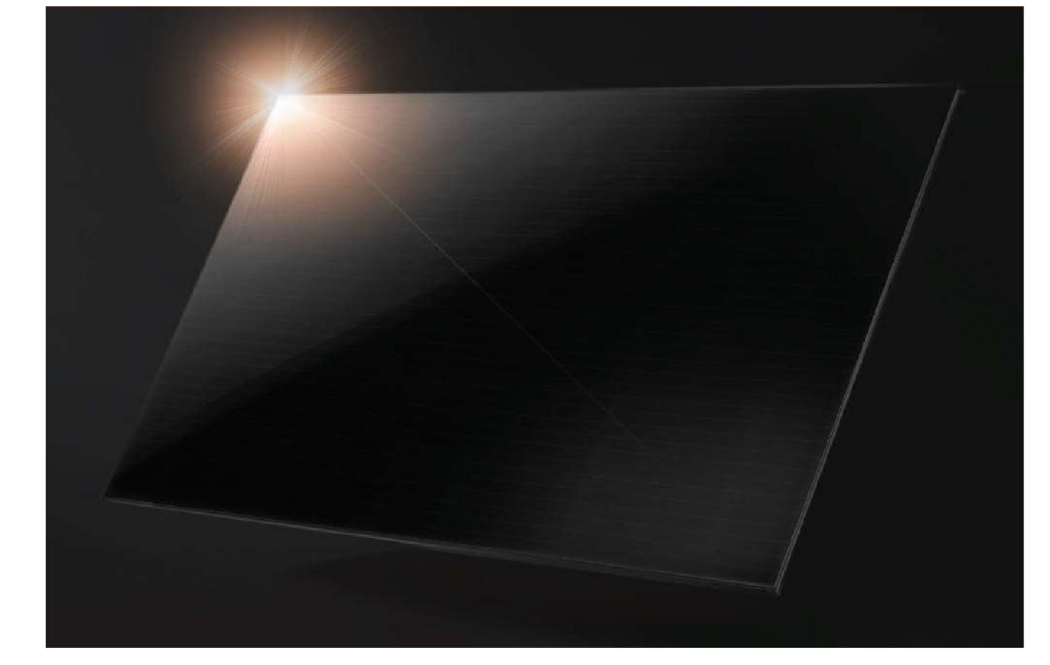
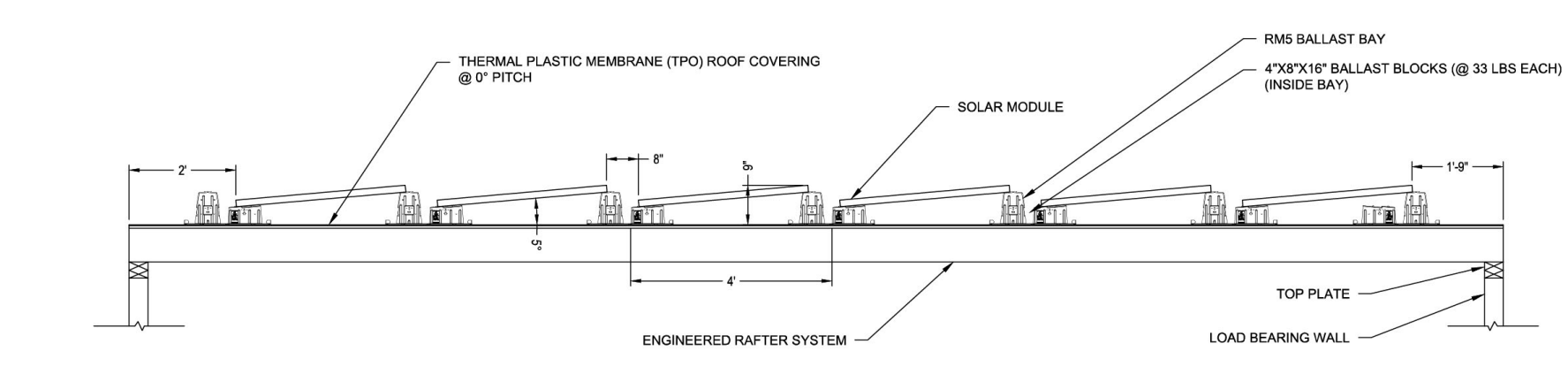
SOLAR PV SYSTEM AC POINT OF CONNECTION

AC OUTPUT CURRENT	64.0 A
NOMINAL AC VOLTAGE	240 V

THIS PANEL FED BY MULTIPLE SOURCES (UTILITY AND SOLAR)
 LABEL PLACEMENT: MAIN SERVICE PANEL



1 ROOF ELEVATION (AR-01)
 SCALE: 1/2" = 1'



PRECAST CONCRETE AND GLASS PAVERS



Design Features + Options:

Glass paver and precast concrete panel systems allow light to travel through the floor to brighten any space below or create a decorative feature at night as the light shines up from underfoot. Solid or hollow floor glass blocks are manufactured to have a thicker face and are annealed for a longer period of time, increasing the strength of the precast concrete and glass paver sidewalk panels. Our panels can also be recessed to accept field-applied finishes (ex. wood) to seamlessly transition into adjoining materials.

Glass Pavers & Panel Sizes

- Glass pavers are available in:
 - 2.75" and 3.5" square (historic pavers)
 - 4.5" and 7.5" round
 - 6" and 8" square

Panels come in a variety of common sizes. Custom shapes, sizes, and configurations are possible to fit any project's design.

Glazing

- Glazing options available:
 - Clear or sandblasted top for an anti-slip walking surface

Sandblasting the glass will allow for overall more slip resistance when walking across the top surface of the glass pavers. Custom faux finishes may also be available.

Concrete Finishes

- Six (6) standard colors
- Custom colors available to match any project's design
- Sand Blast, Acid Etched, or Light Broom finish on the top surface of the concrete
- Fully engineered and tested
- Stamped engineered drawings are available for all 50 States and Canada

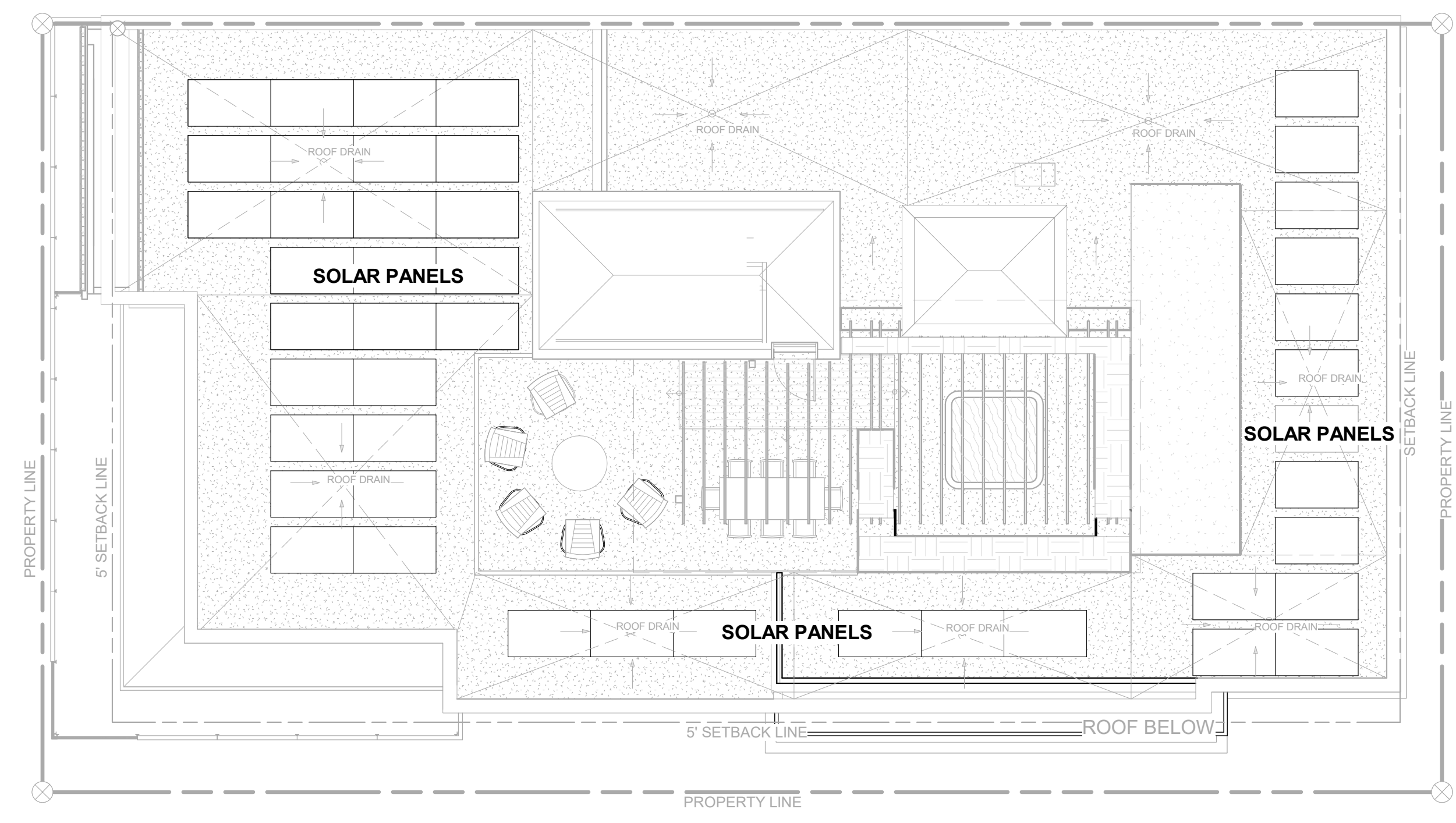
Common Applications:

Glass paver and precast concrete panels are extremely versatile and appropriate for use in all market sectors ranging from commercial offices, cultural centers, government building renovations, mass transit, and more. Below is a list of applications in which our precast concrete and pavers system has been installed. Prefabricated panels allow for a quick and easy installation, with low maintenance in the future. If you don't see your application below, give one of our design experts a call to start working on the design of your dreams.

Balconies	Flooring	Stair Treads
Barrel Vaults	Lobby Floors	Pavios
Bridges	Roadways	Walls
Canopies	Sidewalks	Windows
Deck Lights	Skylights	Vault Lights

Load Capabilities:

Precast concrete panels are engineered to carry 150 pounds per square foot live load over the course of a 5-foot span. Pre-glazed glass paver and precast concrete panels are engineered to handle high load capabilities. Incredibly strong, these precast concrete panels can even be engineered to withstand vehicular traffic and vehicular traffic loads as high as ASHTO H520-44.

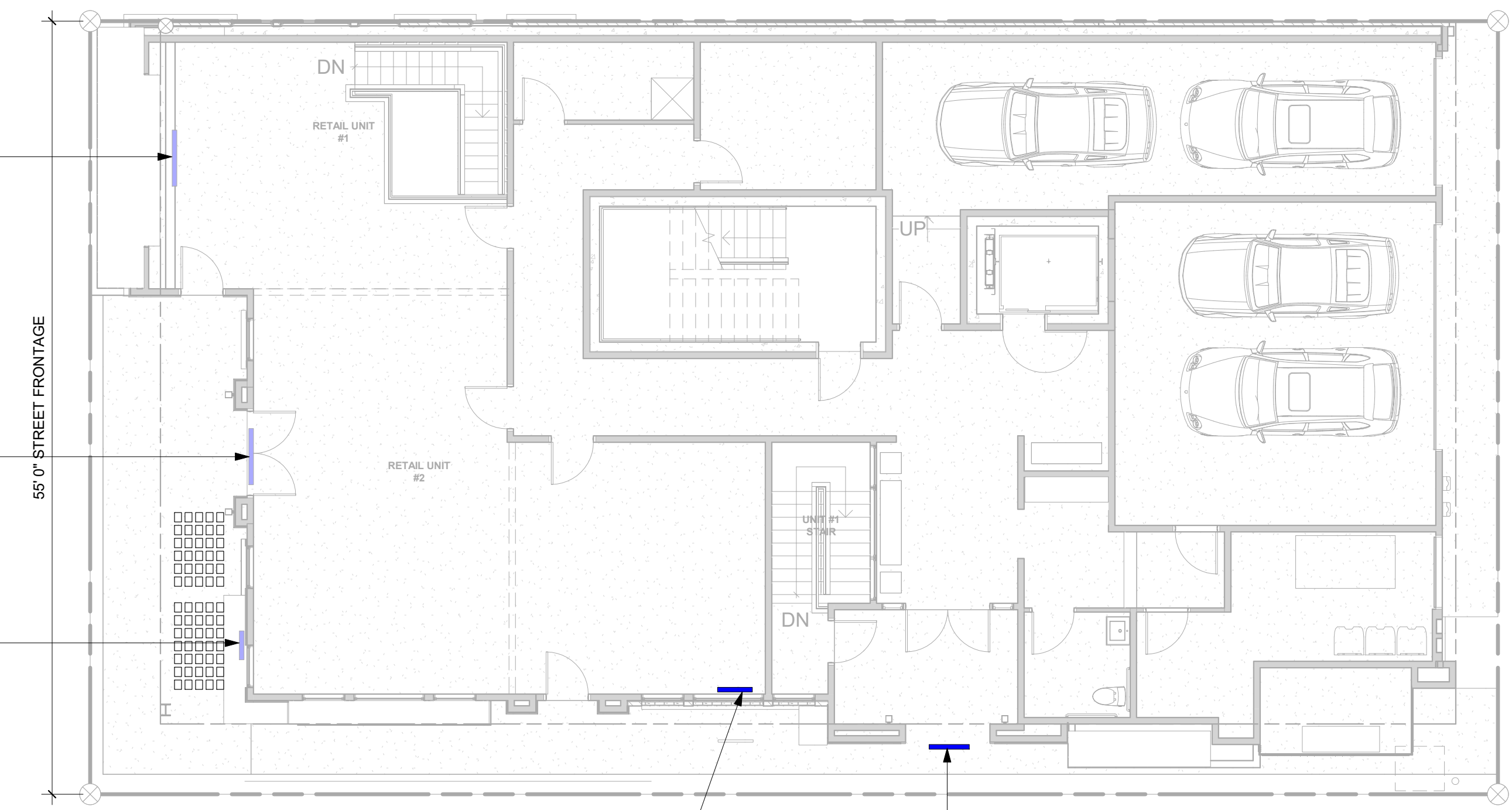


ROOF SOLAR PANEL LAYOUT
 1/8" = 1'-0" 1

INTERIOR RETAIL SIGN
 -4SQ FT MAX
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

INTERIOR RETAIL SIGN
 -4SQ FT MAX
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

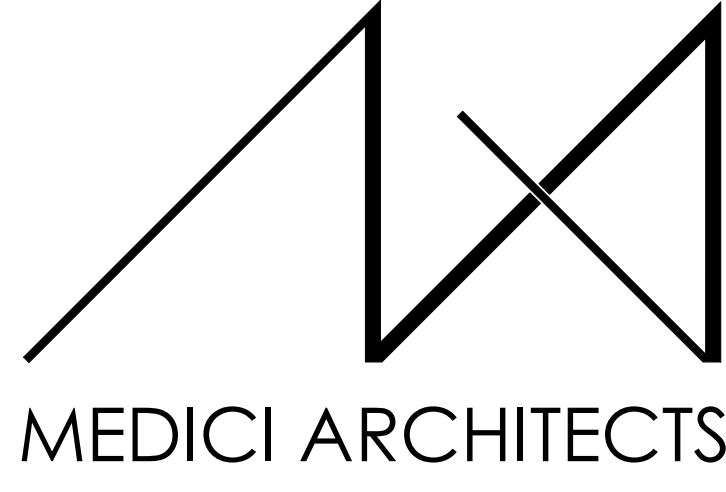
EXTERIOR SIGN
 -PROPOSED 8,625 SF
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127



INTERIOR RETAIL SIGN
 -4SQ FT MAX
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

EXTERIOR SIGN
 -PROPOSED SIGN 3 SF
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

SIGNAGE PLAN
 1/8" = 1'-0" 3



11 661 SE 1ST STREET, SUITE 200
 BELLEVUE, WASHINGTON 98005
 TEL: (425) 453-9298
 FAX: (425) 452-8448

REGISTRATION:
 LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS:

REVISIONS:	DATE:

PROJECT / CLIENT:
 THE 208 BUILDING
 CARR, MICHAEL

JOB ADDRESS:
 200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

SPEC SHEET

Drawn By: MS
 Checked By: NR
 Owner Approval:

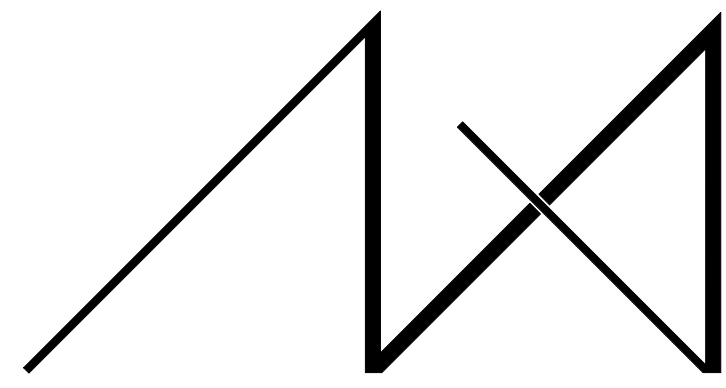
PHASE:
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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198
DATE: 2/22/2023

PLOT SCALE: 1:1
A5.3



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION: _____

INTAKE DATE: 10/12/22

REVISIONS: _____ DATE: _____

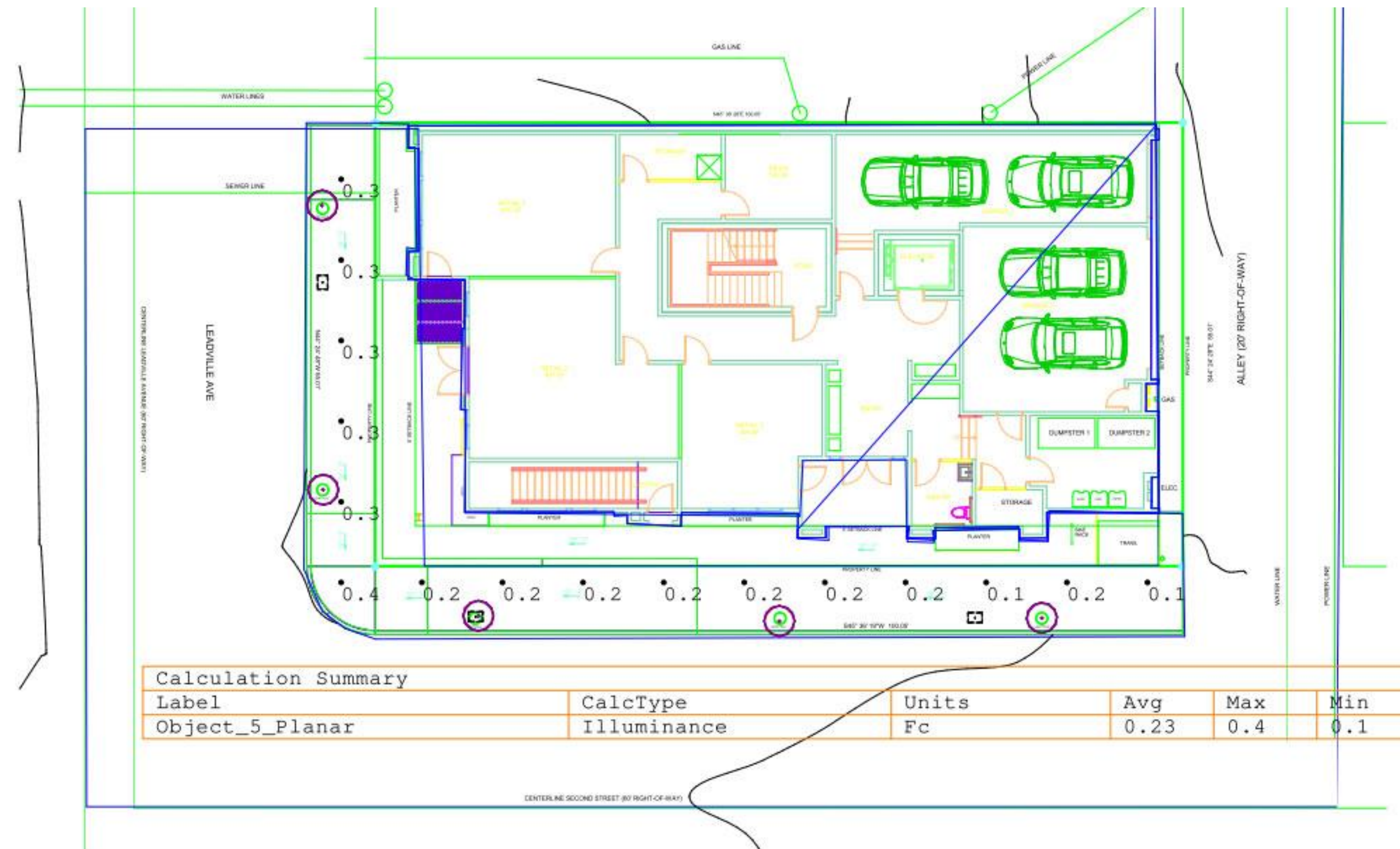
REVISIONS:	DATE:

PROJECT / CLIENT:

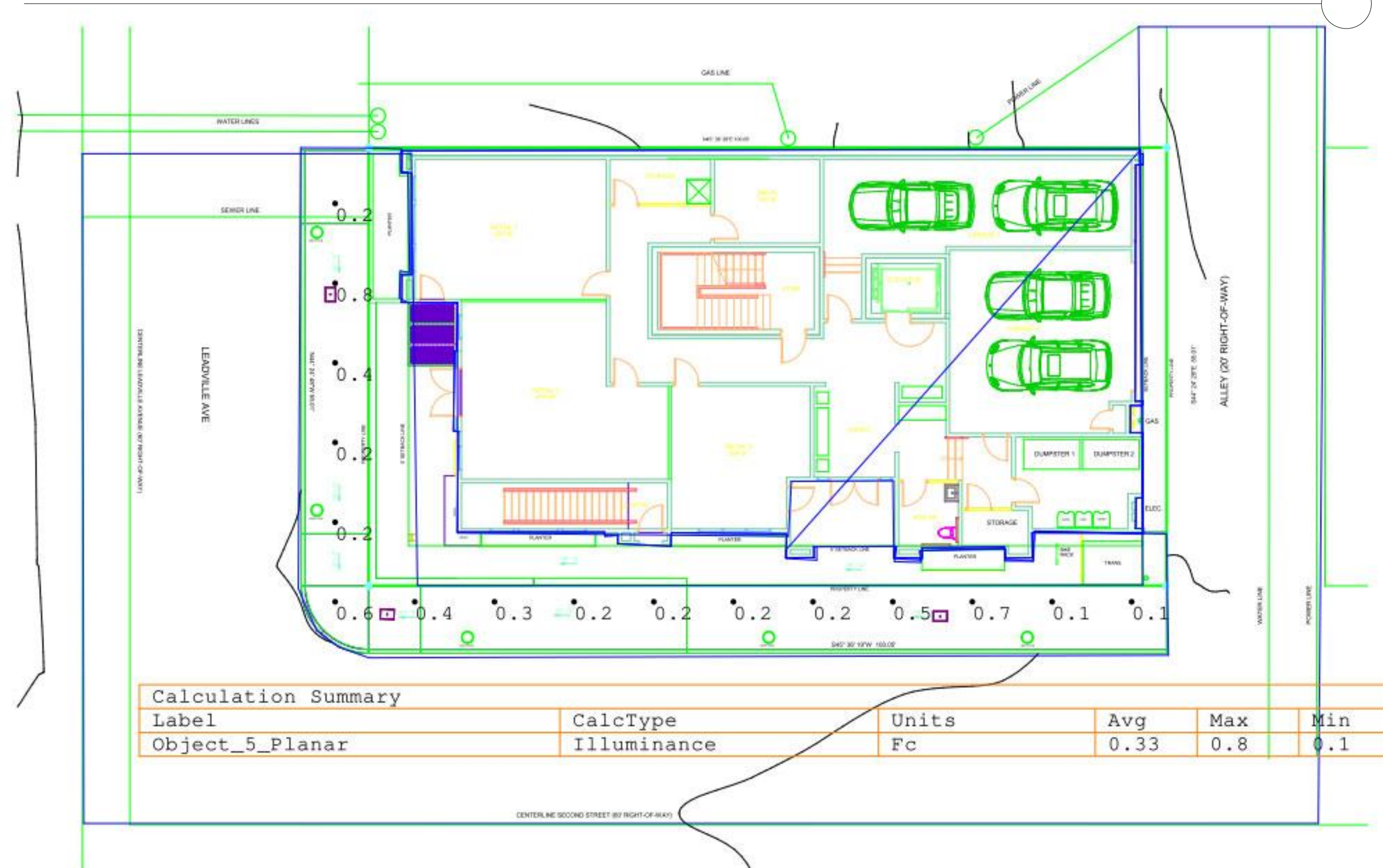
THE 208 BUILDING

CARR, MICHAEL

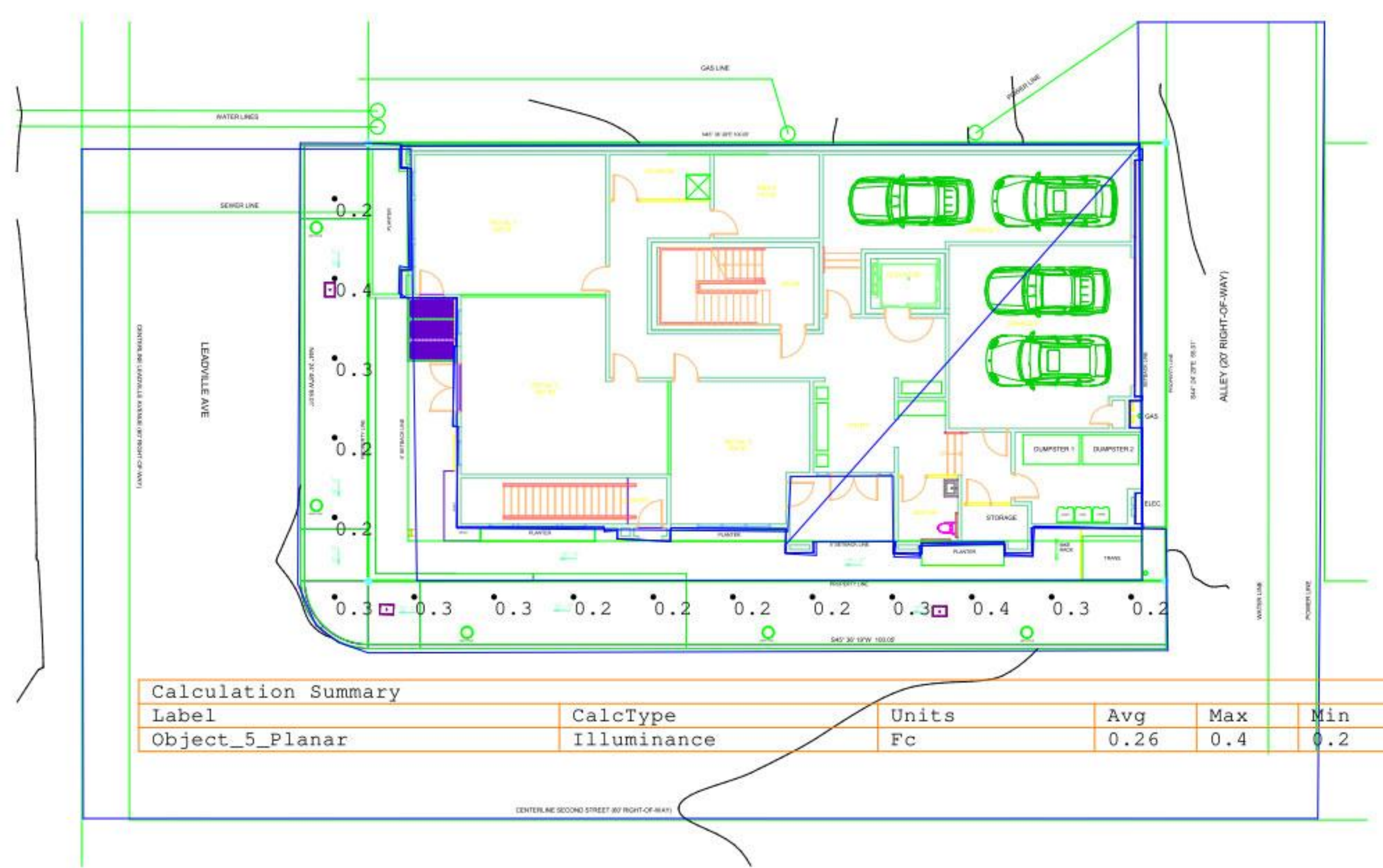
JOB ADDRESS:
200 N LEADVILLE KETCHUM IDAHO, 83340
PARCEL #RPK0000230010



PHOTOMETRIC STUDY - 15' POLE UR20



PHOTOMETRIC STUDY - 15' POLE ERCL



PHOTOMETRIC STUDY - 25' POLE ERCL

DRAWING NAME:

PHOTOMETRIC STUDIES

Drawn By: NR/AR

Checked By: EB

Owner Approval: _____

PHASE: _____

CONSTRUCTION DRAWINGS

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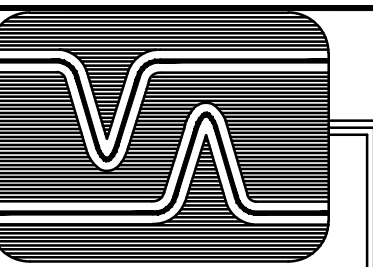
APPROVED FOR CONSTRUCTION: _____

PROJECT No.: A21-198

DATE: 10/12/2022
1:21:19 PM

PLOT SCALE: 1:1

E1.0



**ABOSSEIN
ENGINEERING
L.L.C**

MECHANICAL - ELECTRICAL
CIVIL - LEED - STRUCTURAL
FIRE PROTECTION

18465 NE 68TH ST.
SUITE 200
REDMOND, WA 98052

OFFICE: (425) 462-9441
FAX: (425) 462-9451

EMAIL:
CService@abossein.com

WEBSITE:
www.abossein.com

THE 208

KETCHUM IDAHO, 83340

200 NORTH LEADVILLE

SITE PHOTOMETRICS
BUILDING

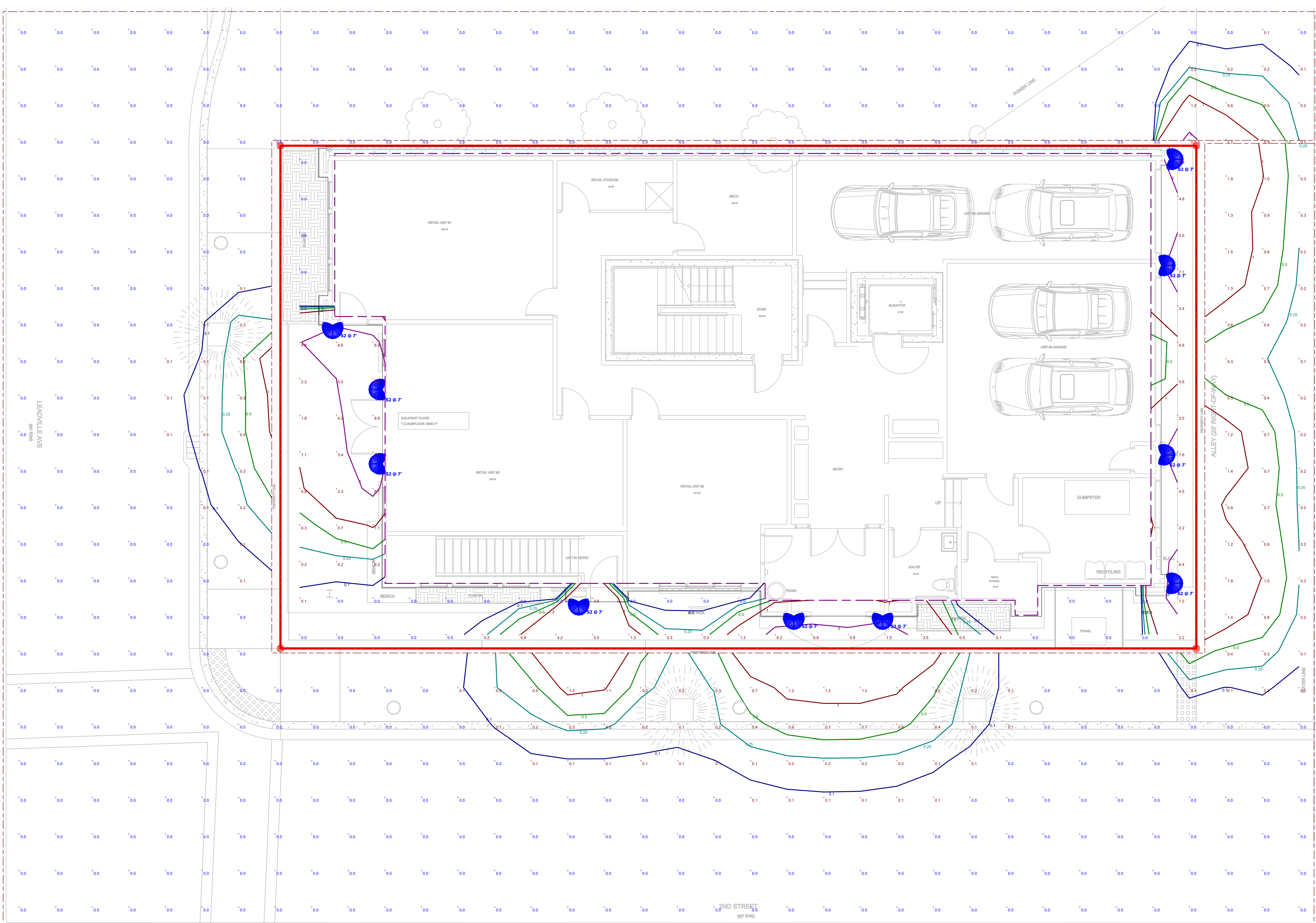
SHEET TITLE:

UTILITY COORD.

DATE: 09/24/2022

JOB NO. 222054

NO. DATE REVISION



Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	S2		10	Lumux Lighting	WS-BL355	Formed black aluminum housing with prismatic lens	1	800	1	14.58

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2 - Outside Prop-Line	+	0.1 fc	5.9 fc	0.0 fc	N/A	N/A
Calc Zone #1 - Inside Prop-Line	+	2.3 fc	9.0 fc	0.0 fc	N/A	N/A

SITE PLAN - PHOTOMETRICS

SCALE 1/4" = 1'-0"

E0.2
(2 OF 3)

REGISTRATION:

LICENSED ARCHITECT
 AR 985593
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010



NORTHWEST PERSPECTIVE 4



SOUTHWEST PERSPECTIVE 1



SOUTH PERSPECTIVE 3



SOUTHEAST PERSPECTIVE 2

DRAWING NAME:

PERSPECTIVES

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A6.8

PLOT SCALE: 1:1



City of Ketchum

Exhibit B:
200 N Leadville Ave -
Preliminary Civil and Landscape
Drawings

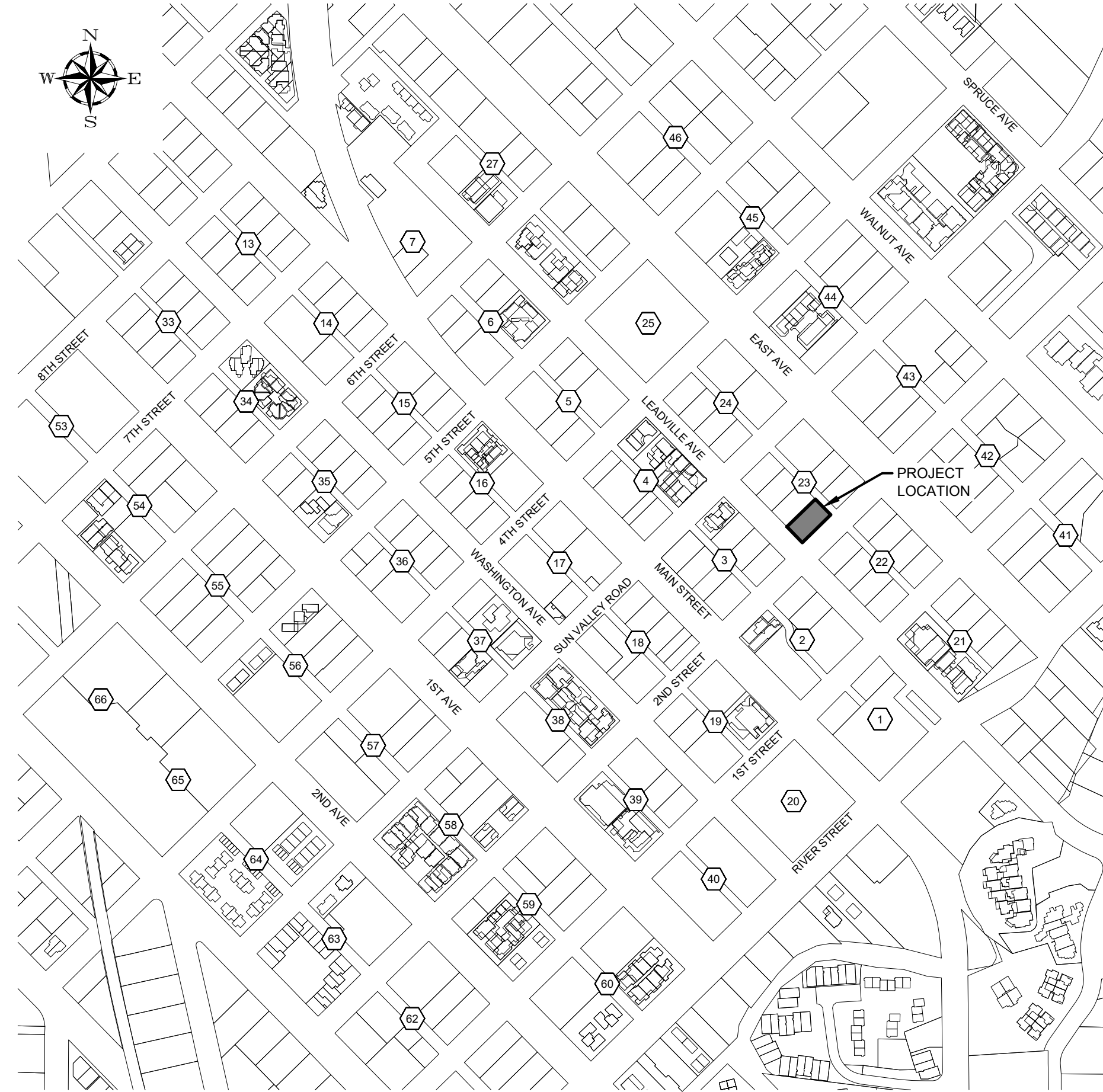
200 N. LEADVILLE AVENUE - THE 208 BUILDING

KETCHUM, IDAHO

OCTOBER 2022

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIS/STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 5/04/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



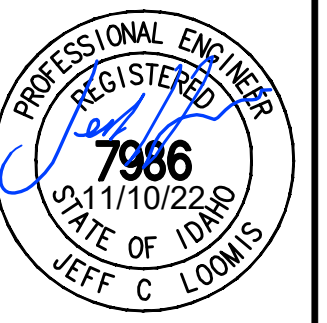
SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
ALTA	EXISTING SITE CONDITIONS
C1.00	SITE GEOMETRY PLAN
C2.00	SITE GRADING, DRAINAGE, AND UTILITY PLAN
C2.10	DETAIL SHEET
C2.11	DETAIL SHEET

SITE IMPROVEMENT PLAN
200 N. LEADVILLE AVENUE
THE 208 BUILDING

LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR JONATHAN SHERMAN, J. S. SHERMAN, LLC

PROJECT INFORMATION
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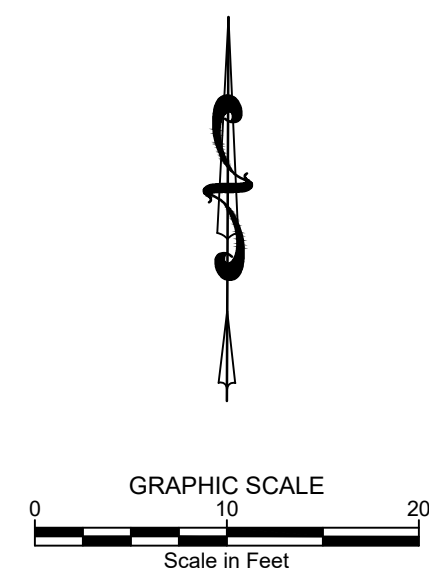
DESIGNED BY _____
 CT
 DRAWN BY _____
 JCL
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR BUILDING PERMIT (10/11/2022)

NO.	DATE	BY	REVISIONS

C0.10



- LEGEND**
- Boundary Line
 - Adjoiners Lot Line
 - - - Centerline Right of Way
 - ▨ Concrete
 - ▨ Pavers
 - Paint Stripping
 - W Water Main per City of Ketchum
 - WS Water Service Line
 - S Sewer Main Line
 - SS Sewer Service Line
 - G Gas Line
 - T Overhead Telephone Line
 - TV Overhead Cable Television Line
 - Overhead Power Line
 - Buried Power Line
 - Retaining Wall Line
 - - - EOA Edge of Asphalt Line
 - - - 1' Contour Interval
 - - - 5' Contour Interval
 - Found 5/8" Rebar
 - Found 1/2" Rebar
 - ✕ Found Magnetic Nail in Chiseled "X"
 - △ Calculated Point (Nothing Set)
 - Power Box
 - ☎ Telephone Riser
 - Ⓜ Cable Television Riser
 - ⊙ Sewer Manhole
 - ⊕ Fire Hydrant
 - ⊕ Water Valve
 - ⊕ Catch Basin
 - ⊕ Sign
 - ⊕ Power Pole
 - ⊕ Power Meter
 - ⊕ Power Manhole
 - ⊕ Gas Marker
 - ⊕ Deciduous Tree

LEGAL DESCRIPTIONS PER TITLE REPORT
 LOT 1, BLOCK 23 OF THE VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 302967, RECORDS OF BLAINE COUNTY, IDAHO.

PROPERTY ADDRESS PER TITLE REPORT
 200 N. LEADVILLE, KETCHUM, IDAHO 83340

PROJECT NUMBER
 7000-02



VICINITY MAP
 SCALE: 1" = 500'

SURVEY NARRATIVE & NOTES

1. Galena Engineering, Inc. makes no representations as to the existence of any other record documents that may affect this parcel other than those shown in the exceptions of Schedule B-2 as shown hereon.
2. The purpose of this survey is to show the monuments found during the boundary retracement of Lot 1, Block 23, Ketchum Townsite. The boundary shown is based on found lot corner monuments and the Amended Record of Survey of Lot 1, Block 23, Ketchum Townsite, Instrument Number 682212, records of Blaine County, Idaho. All found monuments have been accepted. As listed in the Survey Narrative & Notes on said Record of Survey and previously recorded survey under Instrument Number 673065, the missing lot corner monuments were set by block breakdown and proportioning record distances. Vertical Datum is NAVD 1988. Additional documents used in the course of this survey include the plat of the Village of Ketchum, Instrument Number 302967, records of Blaine County, Idaho.
3. The bearings and distances shown are measured. Refer to the above referenced documents for previous record information.
4. This map makes no assumptions as to any unwritten rights that may exist by and between the adjoining land owners.
5. The Surveyor did not abstract property. Survey is based on the Legal Description above.
6. Nothing in this survey is intended to express an opinion regarding ownership or title.
7. The word "Certify" is understood to be an expression of Professional judgement by the surveyor, which is based on his best knowledge, information and belief.
8. This survey is certified for this transaction only.
9. The findings and opinions of Galena Engineering, Inc., reflected hereon are privileged, confidential and intended for the use of the individual or entity for whom the work was prepared, it is understood that the use of, reliance on, or reproduction of same, in whole or in part, by others without the express written consent of Galena Engineering, Inc., is prohibited and without warranty, express or implied. Galena Engineering, Inc., shall be held harmless against damages or expenses resulting from such unauthorized use, reliance or reproduction. Copyright 2021. All rights reserved.
10. Utility locations shown hereon are based on above ground appurtenances, City of Ketchum utility maps, and Magic Valley Utility Locating. Digline services should be called prior to any excavation.
11. Evidence of earth moving work was observed in the process of conducting the fieldwork. A building within the property was demolished in October of 2020. It appears that utility services have been installed within the last few months, however, the specific date is unknown. No evidence of building construction was observed in the process of conducting the fieldwork.
12. No markers indicating a field delineation of wetlands by a qualified specialist were observed in the process of conducting the fieldwork.
13. No evidence of cemeteries or burial grounds were observed during the course of the survey work.
14. The property has access along N Leadville Avenue, Second Street, and the Alley within Block 23. There are currently no curb cuts along N Leadville and 2nd Street and the main access is from the alley. Approximate pavement widths are shown hereon.
15. No Delineated parking spaces currently exist on the site. There are 2 parking spaces within the Leadville Road Right of Way and 2 parking spaces within the 2nd Street Right of Way and are shown hereon.
16. At the time of this survey there is no evidence of recent street or sidewalk construction or repairs.
17. The current Zoning is CC Community Core, Subdistrict 2-Mixed Use. No zoning report or letter was provided to the surveyor by the client.
18. The property described hereon is the same as the property described in the title policy provided by TitleOneCorporation dba Sun Valley Title, authorized agent for Steward Title Guaranty Company, issuing office file number 20378964, commitment date of August 31, 2020, and that all easements, covenants and restrictions referenced in said title commitment are apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
19. No visible evidence of the location of any underground or above ground storage tanks, wells, railroad tracks, spur tracks or sidings were observed during the course of the survey work.
20. During the course of this survey, it was observed that the water valve for the water service to Lot 1 is within Lot 2 as shown hereon. Additionally, it has been observed that the gas service line for Lot 1 is within Lot 2 as shown hereon and the overhead power line to Lot 1 also passes over Lot 2 as shown hereon.

TITLE INFORMATION AND LIST OF EXCEPTIONS

This survey does not constitute a title search by the Surveyor. All information regarding record easements and other documents that might affect the quality of title to parcel shown hereon was gained from issuing office file number 20378964, issued by TitleOneCorporation dba Sun Valley Title, authorized agent for Steward Title Guaranty Company, commitment date of August 31, 2020.

The following exceptions are per title policy provided by TitleOneCorporation dba Sun Valley Title, issuing office file number 20378964, Commitment Date: August 31, 2020, Schedule B, Part II Exceptions:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met. - AFFECTS PROPERTY, NOT PLOTTABLE.
2. Rights or claims of parties in possession not shown by the public records. - AFFECTS PROPERTY, NOT PLOTTABLE. NOT OBSERVED WITHIN SURVEYED BOUNDARY AT TIME OF SURVEY.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land, and that is not shown by the Public Records. - AFFECTS PROPERTY, NOT PLOTTABLE. NOT OBSERVED WITHIN SURVEYED BOUNDARY AT TIME OF SURVEY.
4. Easements, or claims of easements, not shown by the public records. - AFFECTS PROPERTY, NOT PLOTTABLE.
5. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records. - AFFECTS PROPERTY, NOT PLOTTABLE.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims to title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records. - AFFECTS PROPERTY, NOT PLOTTABLE. NOT OBSERVED WITHIN SURVEYED BOUNDARY AT TIME OF SURVEY.
7. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices to such proceedings whether or not shown by the records of such agency, or by the public records. - AFFECTS PROPERTY, NOT PLOTTABLE.
8. Taxes for the year 2019 are paid in full.
 Parcel Number: RPK00000230010
 Original Amount: \$5,449.28
 Without homeowner's exemption - AFFECTS PROPERTY, NOT PLOTTABLE.
9. Taxes, including any assessments collected therewith, for the year 2020 which are a lien not yet due and payable - AFFECTS PROPERTY, NOT PLOTTABLE.
10. Water and sewer charges, if any, for the City of Ketchum - AFFECTS PROPERTY, NOT PLOTTABLE.
11. Easements, reservations, restrictions, and dedications as shown on the official plat of Ketchum Townsite. - AFFECTS PROPERTY, NOT PLOTTABLE.
12. Reservations and exceptions in a United States Patent, and in the act authorizing the issuance thereof, recorded April 12, 1937 as Instrument No. 75052. - AFFECTS PROPERTY, NOT PLOTTABLE.
13. Right of way for ditches, tunnels, telephone, and distribution lines constructed by authority of the United States, as granted to the United States under the provisions of Section 58-604 Idaho Code. - AFFECTS PROPERTY, NOT PLOTTABLE.

SURVEY CERTIFICATION:

To: 755 S Broadway LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 8, 11, and 14 of Table A thereof. The field work was completed on 04/10/2021.

Date of Map: 05/04/2021
 Mark E. Phillips
 Professional Land Surveyor No. 16670
 State of Idaho



MARK E. PHILLIPS, P.L.S. 16670

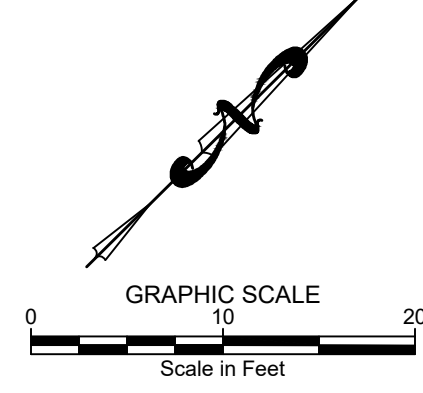
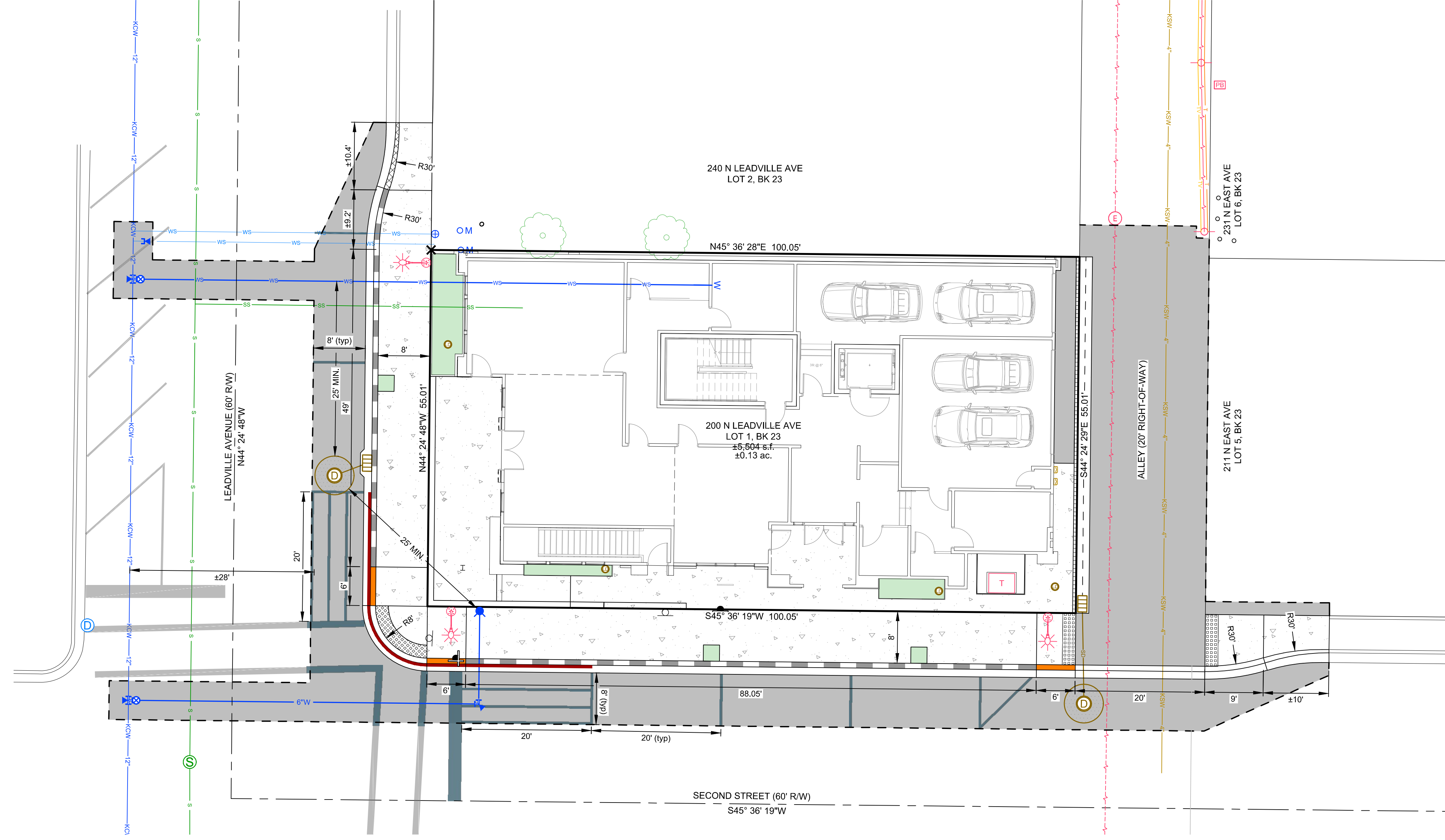
AN ALTANSPS LAND TITLE SURVEY SHOWING
LOT 1, BLOCK 23, KETCHUM TOWNSITE
 LOCATED WITHIN SECTION 18, T. 4N., R. 18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

MEP
 DRAWN BY
 SMF
 CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

ALTA

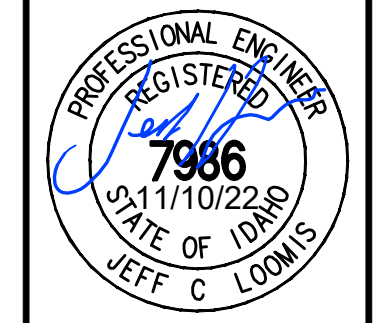


PURPOSE: ISSUE FOR BUILDING PERMIT (10/11/2022)

NO.	DATE	BY	REVISIONS

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
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email: galena@galena-engineering.com

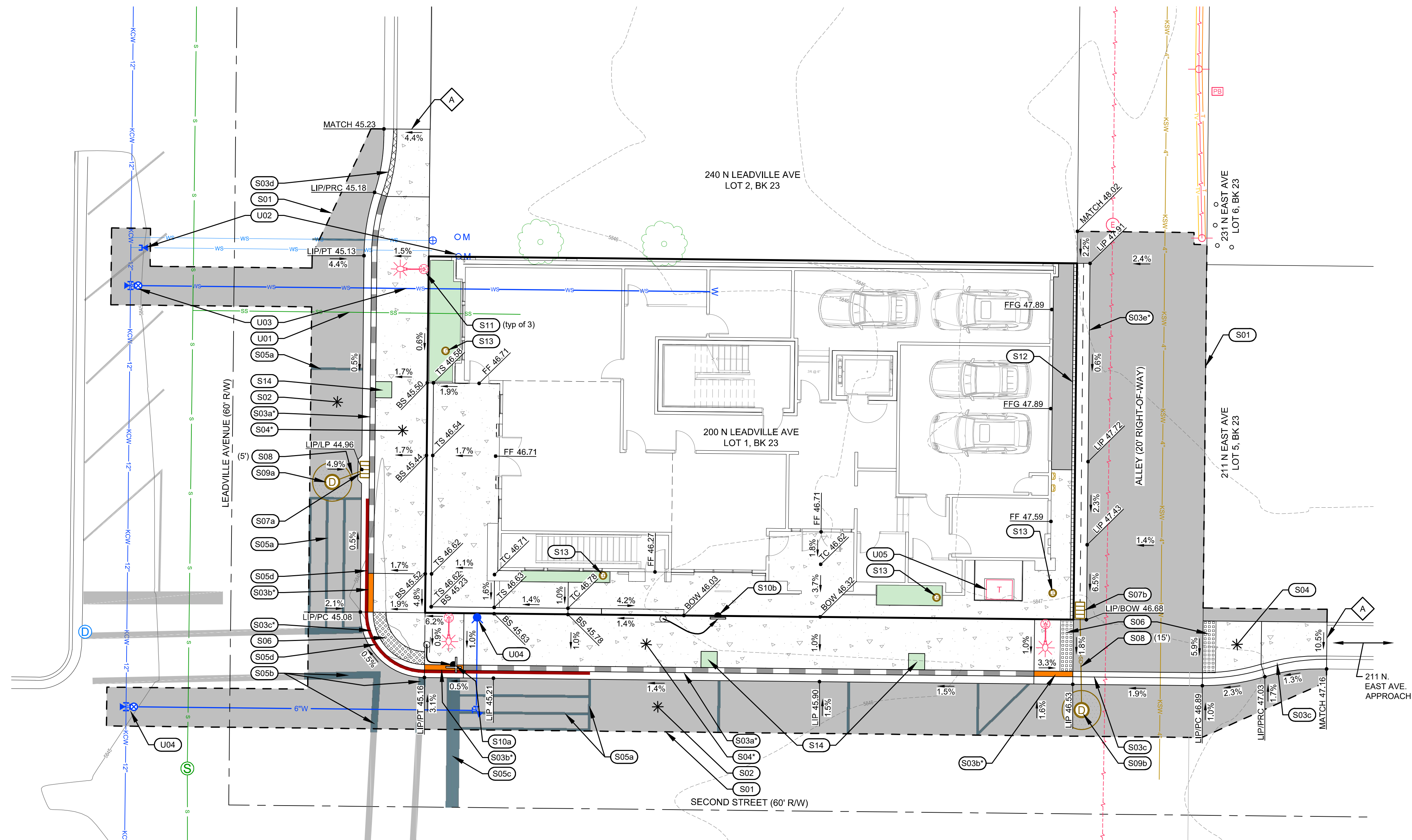
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CT
DRAWN BY
JCL
CHECKED BY



GEOMETRY PLAN
200 N. LEADVILLE AVENUE
THE 208 BUILDING
LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR JONATHAN SHERMAN, J. S. SHERMAN, LLC

PROJECT INFORMATION
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REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



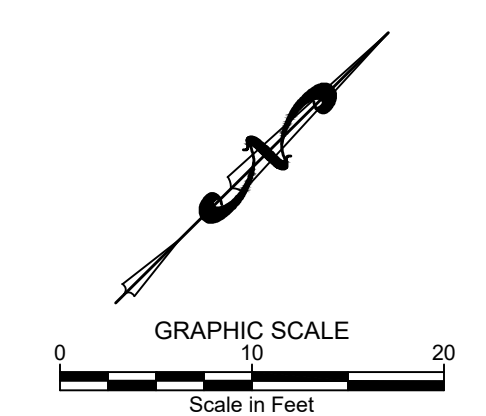
ABBREVIATIONS
 BOW = Back of Walk
 BS = Bottom of Steps
 FF = Finished Floor Elevation
 FG = Finished Grade
 GFF = Garage Finished Floor
 LIP = Lip of Gutter
 LP = Low Point
 PC = Point of Curvature
 PRC = Point of Reverse Curb
 PT = Point of Tangent
 TC = Top of Concrete
 TS = Top of Steps

SITE IMPROVEMENT KEY NOTES

- S01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. REFER TO DETAIL 1 / C2.10.
- S03 CONSTRUCT CONCRETE CURB AND GUTTER *radiant heating shall be along City Rights-of-way adjacent property.
 - a. 6" ROLLED C&G PER DETAIL 2 / C2.10.
 - b. CURB TRANSITION PER DETAIL 3 / C2.10.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C2.10.
 - d. CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - e. 2' WIDE CONCRETE VALLEY GUTTER PER DETAIL 4 / C2.10.
- S04 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. REFER TO DETAIL 5 / C2.10. *radiant heating shall be along City Rights-of-way adjacent property.
- S05 INSTALL ROAD STRIPING / PAINT
 - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - b. WHITE CROSSWALK STRIPING (12" WIDE).
 - c. WHITE STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- S06 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLATE. REFER TO DETAIL 6 / C2.10.
- S07 INSTALL CATCH BASIN. REFER TO DETAIL 7 / C2.10.
 - a. RIM = 5844.76
I.E.(OUT) = 5841.76
 - b. RIM = 5846.48
I.E.(OUT) = 5843.48
- S08 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 7 / C2.11 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C2.11 FOR TRENCHING.
- S09 INSTALL DRYWELL. REFER TO DETAIL 3 / C2.11.
 - a. RIM = 5845.17
I.E.(N) = 5841.6
 - b. RIM = 5846.60
I.E.(N) = 5843.1
- S10 SIGNS: REFER TO DETAIL 4 / C2.11 FOR SIGN BASE INFORMATION.
 - a. RELOCATE STOP / STREET SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM.
 - b. RELOCATE PARKING REGULATORY SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM.
- S11 INSTALL STREET LIGHT: LOCATIONS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION ONLY. ACTUAL STREET LIGHT LOCATIONS SHALL BE VERIFIED FROM AN ILLUMINATION ANALYSIS FROM MH COMPANIES. REFER TO THE CITY OF KETCHUM STANDARD STREET LIGHT DETAIL.
- S12 INSTALL TRENCH DRAIN. REFER TO DETAIL 6 / C2.11.
- S13 INSTALL LANDSCAPE DRYWELL. CONNECT ROOF DRAIN AND TRENCH DRAIN SYSTEMS INTO DRYWELL. REFER TO DETAIL 8 / C2.10.
- S14 INSTALL STREET TREE. SEE DETAIL 5 / C2.11.
- A MATCH EXISTING LINES AND GRADES

UTILITY KEY NOTES

- U01 UTILIZE EXISTING SEWER SERVICE. THE CONTRACTOR SHALL VERIFY THAT THE SEWER TAP MEETS CITY STANDARDS.
- U02 CUT AND CAP EXISTING SERVICE AT THE MAIN. REMOVE METER BOX.
- U03 INSTALL NEW FIRE LINE WITH STAINLESS STEEL TAPPING SADDLE, GATE VALVE, AND THRUST BLOCKING. PLUMB DOMESTIC OFF NEW FIRE LINE IN RISER ROOM. INSTALL 1 METER FOR COMMERCIAL AND 1 METER FOR RESIDENTIAL. REFER TO PLUMBING PLAN FOR WATER LINE SIZING DATA. REFER TO DETAIL 2 / C2.11 FOR POTABLE / NON-POTABLE WATER LINE SEPARATION AND DETAIL 7 / C2.11 FOR THRUST BLOCK REQUIREMENTS.
- U04 INSTALL FIRE HYDRANT ASSEMBLY (SEE DETAIL 9 / C2.10). INSTALL 12"x6" STAINLESS STEEL TAPPING SADDLE
 6" GATE VALVE
 6" 90° D.I. BEND
 W/ THRUST BLOCKS
 ±88 L.F. OF 6" PVC WATER MAIN.
 CITY TO PROVIDE MOUNTAIN EXTENSION. CONTRACTOR TO COORDINATE WITH WATER AND FIRE DEPARTMENTS. REFER TO DETAIL 2 / C2.11 FOR POTABLE / NON-POTABLE WATER LINE SEPARATION AND DETAIL 7 / C2.11 FOR THRUST BLOCK REQUIREMENTS.
- U05 INSTALL POWER TRANSFORMER. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR DETAILS.



SITE GRADING, DRAINAGE, AND UTILITY PLAN
200 N. LEADVILLE AVENUE
THE 208 BUILDING
 LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR JONATHAN SHERMAN, J. S. SHERMAN, LLC



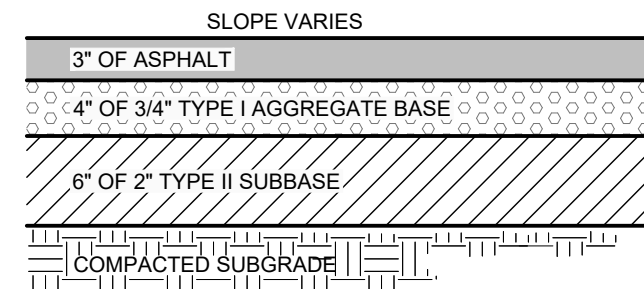
DESIGNED BY
 CT
 DRAWN BY
 JCL
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
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 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR BUILDING PERMIT (10/11/2022)

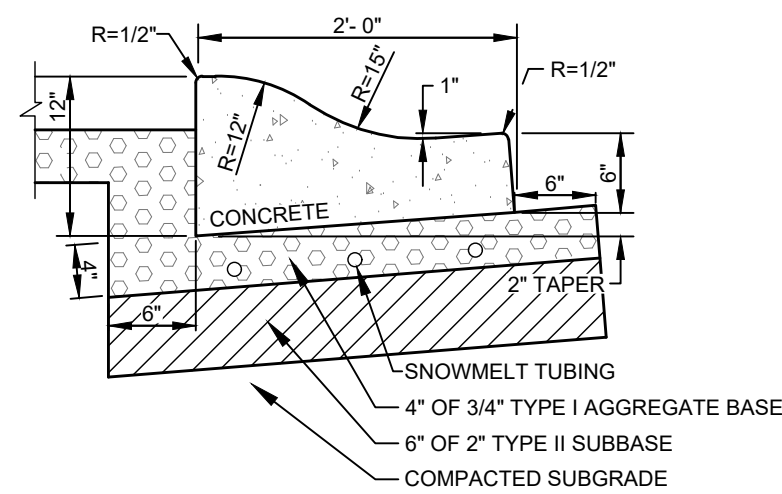
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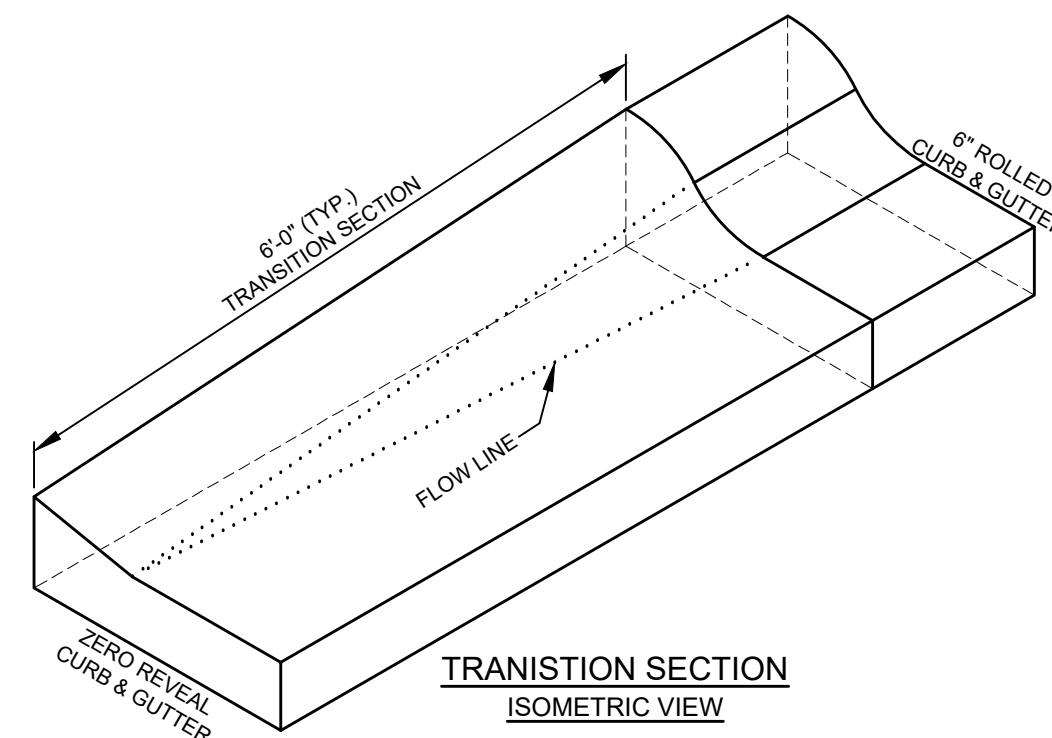
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).
 - REFER TO ARCHITECTURAL PLANS FOR RADIANT HEATING DESIGN.

1
C2.10 **TYPICAL ASPHALT SECTION**
N.T.S.



- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).
 - REFER TO ARCHITECTURAL PLANS FOR RADIANT HEATING DESIGN.

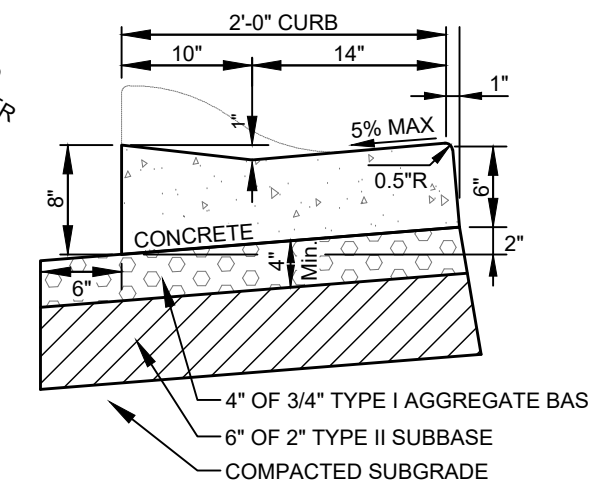
2
C2.10 **HEATED 6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.



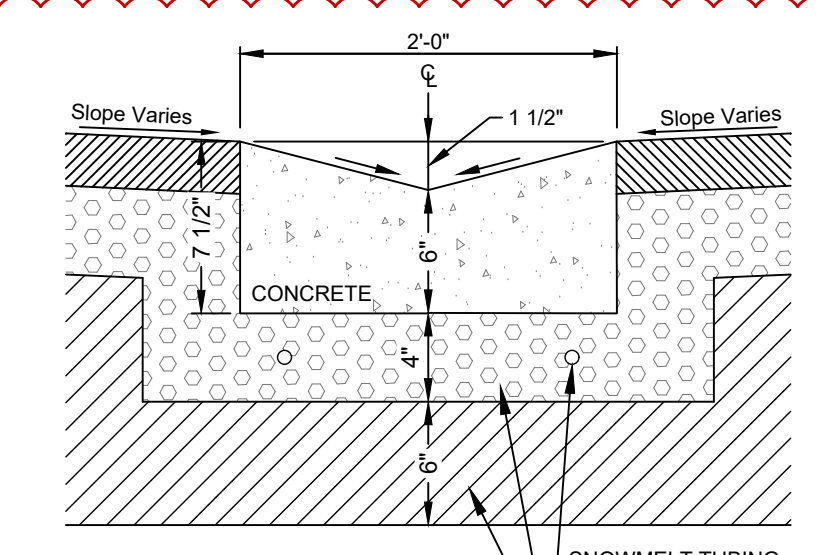
TRANSITION SECTION
ISOMETRIC VIEW

- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

3
C2.10 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.

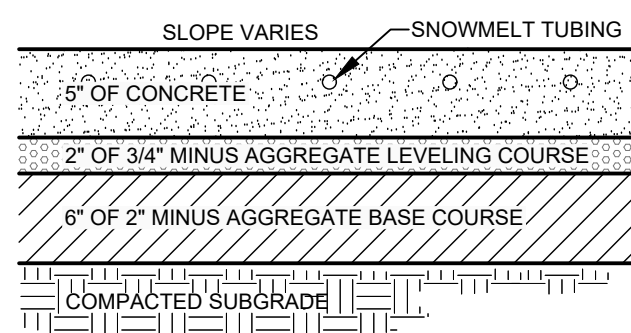


ZERO REVEAL CURB & GUTTER



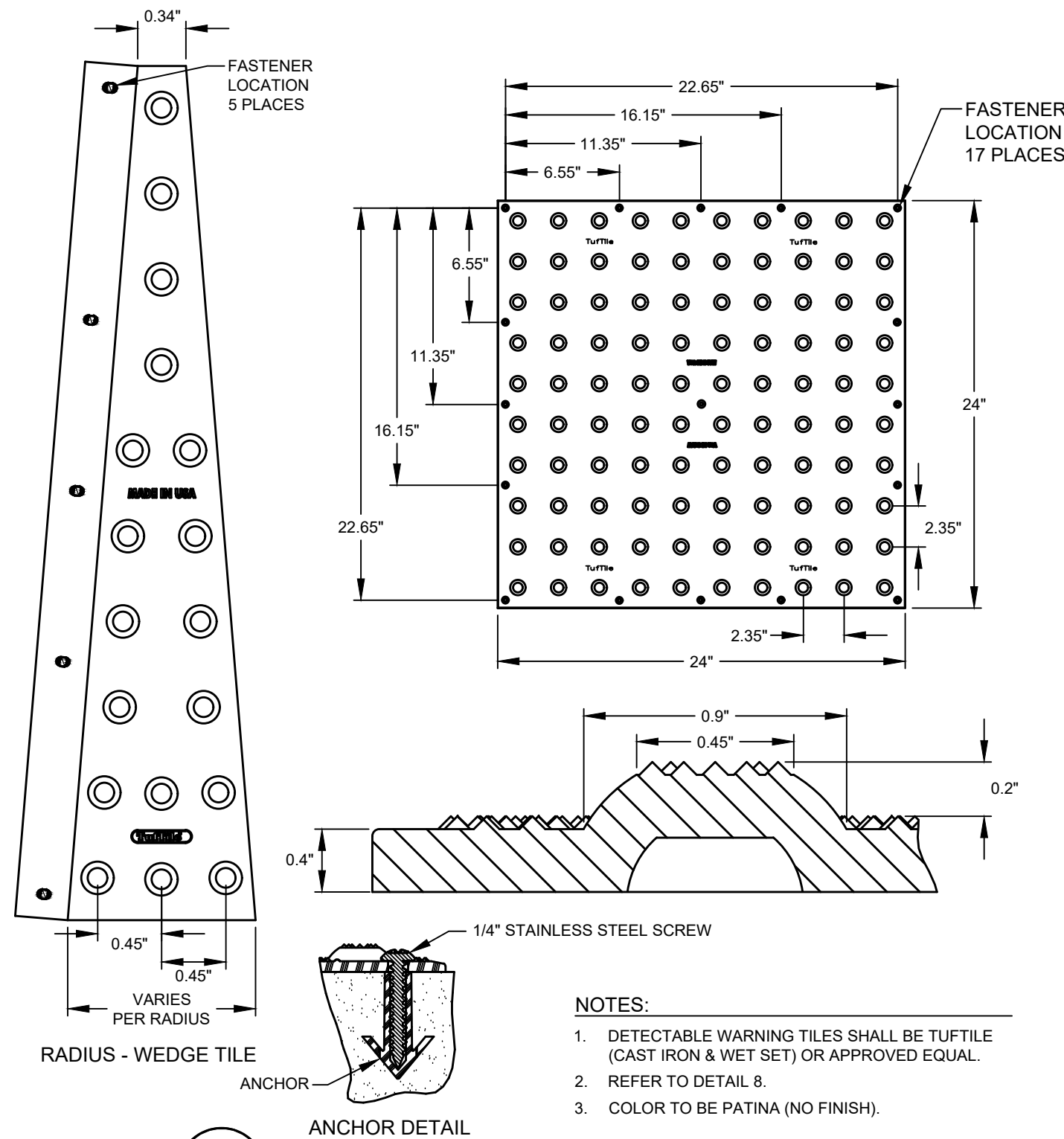
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).
 - REFER TO ARCHITECTURAL PLANS FOR RADIANT HEATING DESIGN.

4
C2.10 **24" WIDE HEATED CONCRETE VALLEY GUTTER**
N.T.S.



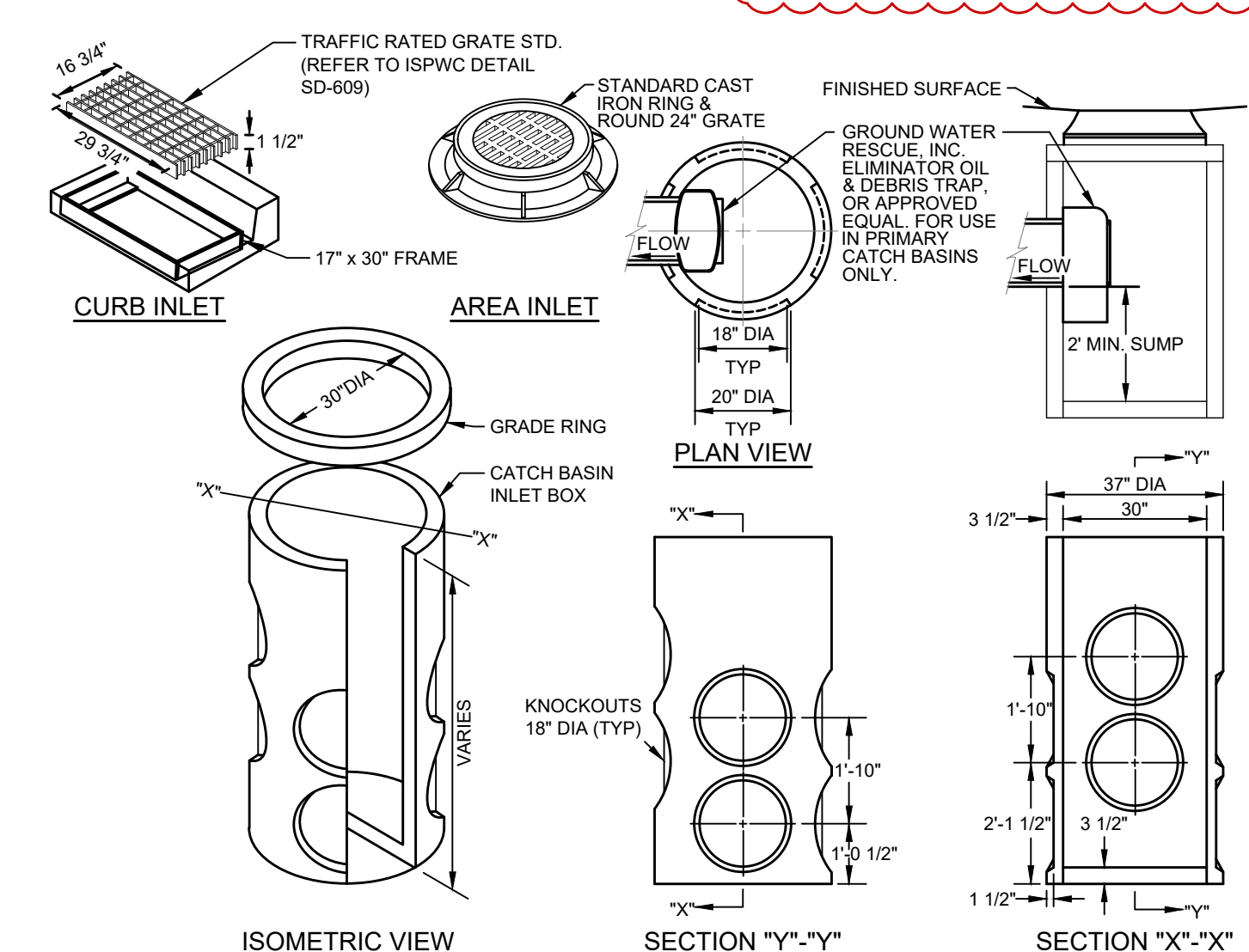
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPC SPECIFICATIONS.
 - SURFACING MATERIAL FOR THE NEW SIDEWALKS SHALL BE TITAN CONCRETE MIX OR APPROVED EQUAL.
 - REFER TO ARCHITECTURAL PLANS FOR RADIANT HEATING DESIGN.

5
C2.10 **TYPICAL HEATED CONCRETE SIDEWALK SECTION**
N.T.S.



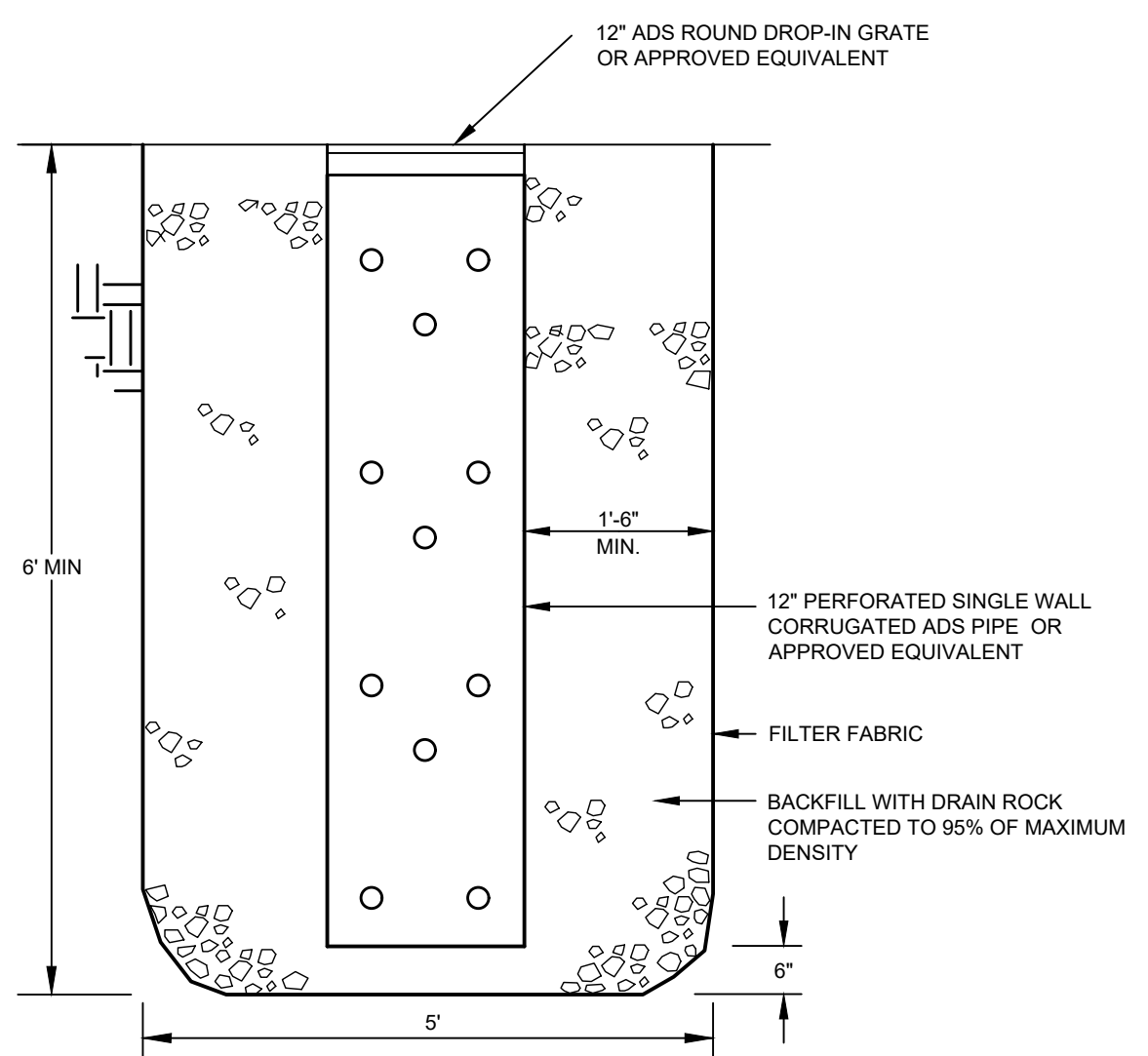
6
C2.10 **DETECTABLE WARNING PLATE**
N.T.S.

- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFFILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

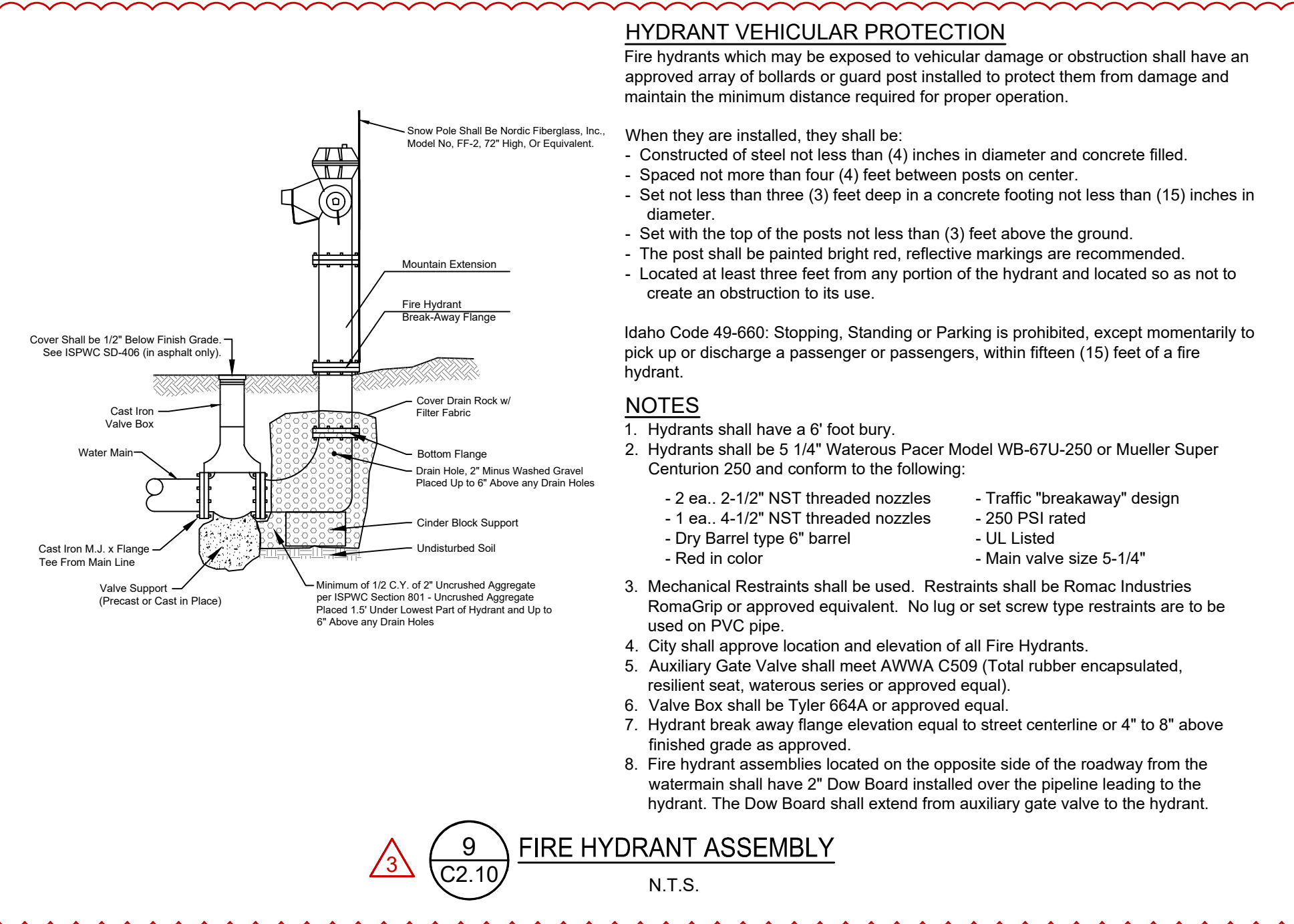


- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

7
C2.10 **30" DIAMETER CATCH BASIN**
N.T.S.



8
C2.10 **LANDSCAPE DRYWELL**
N.T.S.



9
C2.10 **FIRE HYDRANT ASSEMBLY**
N.T.S.

- HYDRANT VEHICULAR PROTECTION**
Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum distance required for proper operation.
- When they are installed, they shall be:
- Constructed of steel not less than (4) inches in diameter and concrete filled.
 - Spaced not more than four (4) feet between posts on center.
 - Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter.
 - Set with the top of the posts not less than (3) feet above the ground.
 - The post shall be painted bright red, reflective markings are recommended.
 - Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.
- Idaho Code 49-660: Stopping, Standing or Parking is prohibited, except momentarily to pick up or discharge a passenger or passengers, within fifteen (15) feet of a fire hydrant.
- NOTES:**
- Hydrants shall have a 6' foot bury.
 - Hydrants shall be 5 1/4" Waterous Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following:
 - 2 ea. 2-1/2" NST threaded nozzles
 - 1 ea. 4-1/2" NST threaded nozzles
 - Dry Barrel type 6" barrel
 - Red in color
 - Traffic "breakaway" design
 - 250 PSI rated
 - UL Listed
 - Main valve size 5-1/4"
 - Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe.
 - City shall approve location and elevation of all Fire Hydrants.
 - Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, waterous series or approved equal).
 - Valve Box shall be Tyler 664A or approved equal.
 - Hydrant break away flange elevation equal to street centerline or 4" to 8" above finished grade as approved.
 - Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

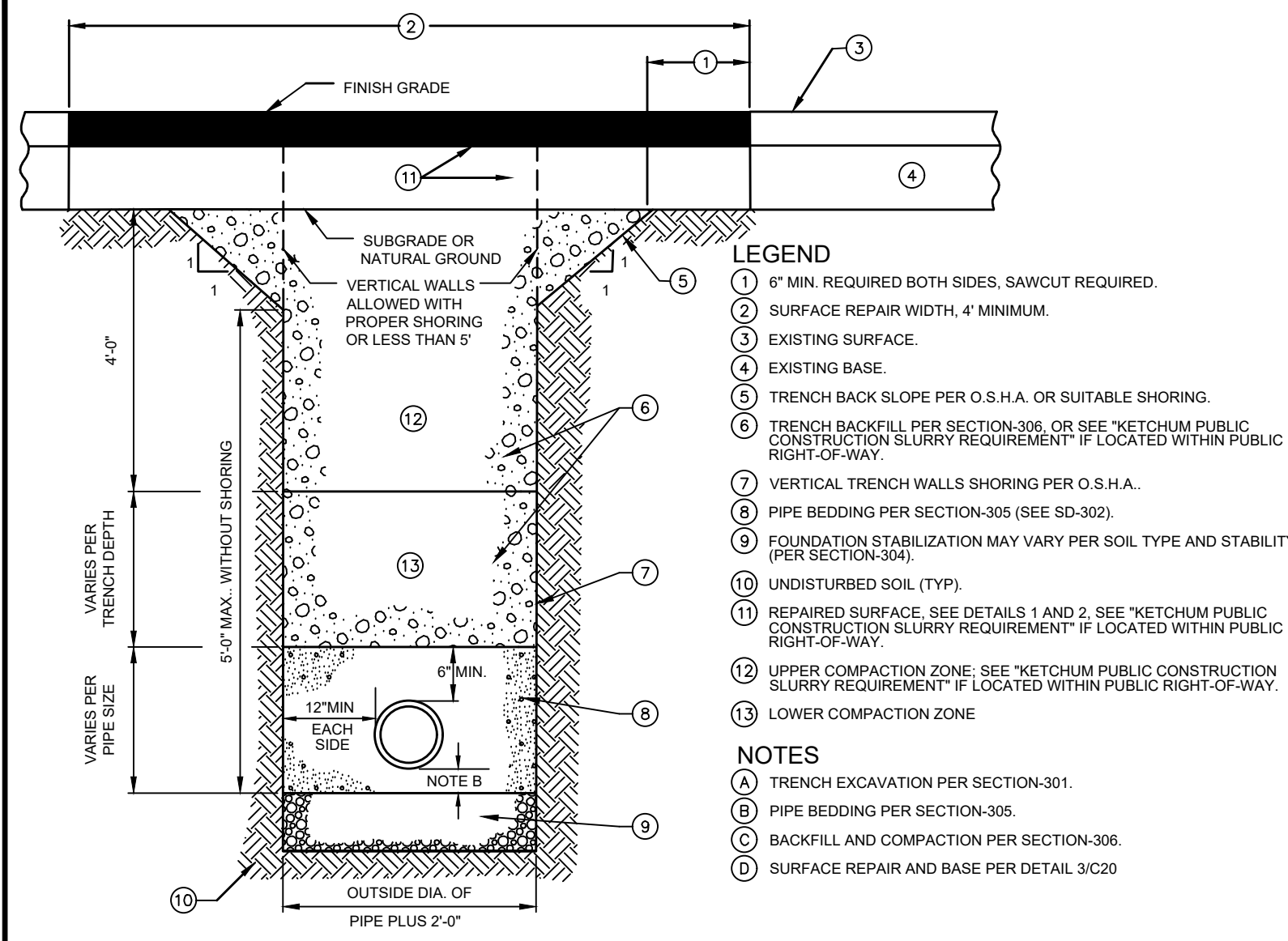
NO.	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR BUILDING PERMIT (10/11/2022)

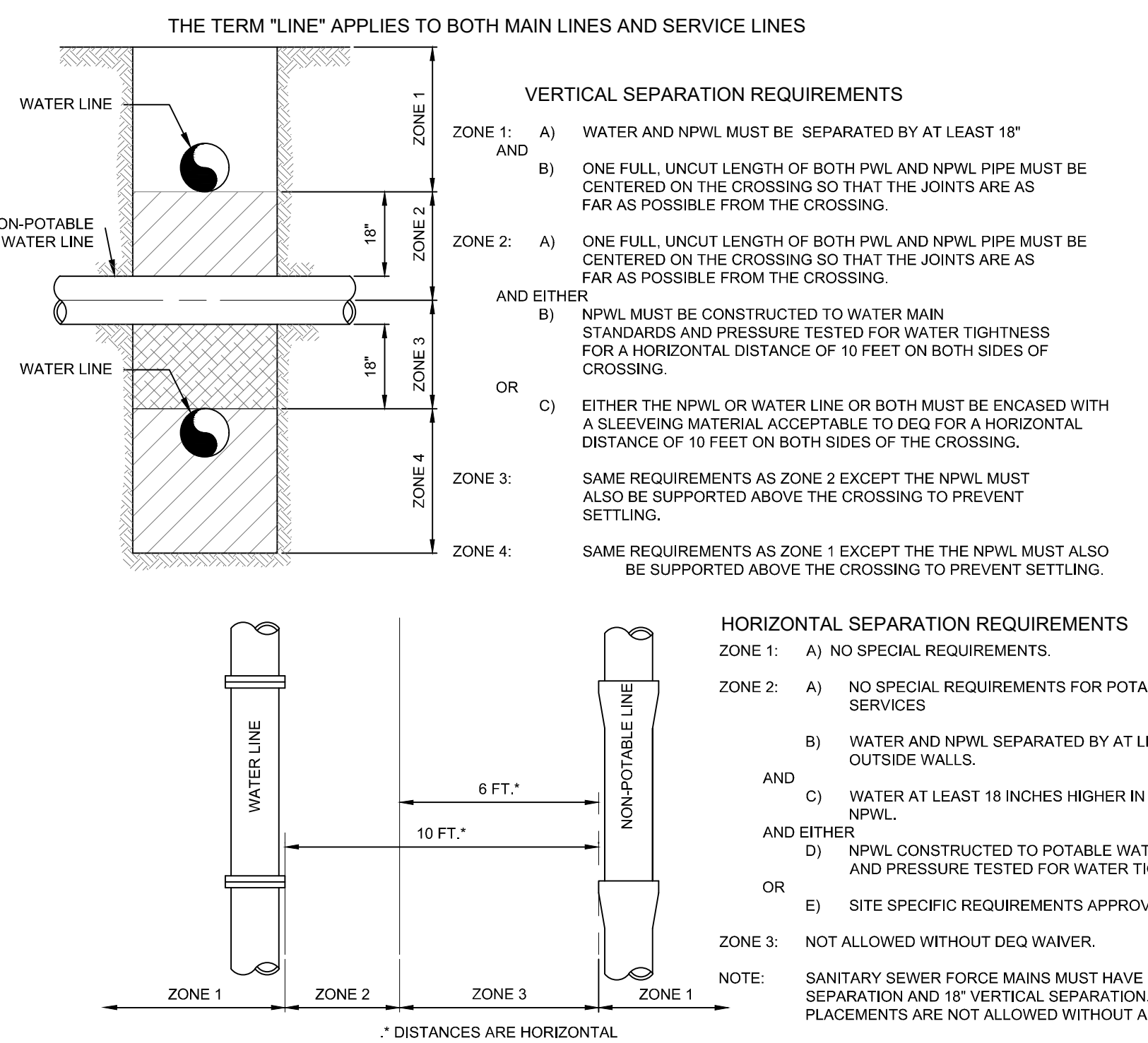
PROJECT INFORMATION
 Prepared by: JONATHAN SHERMAN, J.S. SHERMAN, LLC
 B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 11/06/22 1:25:32 PM
 7986
 STATE OF IDAHO
 JEFF C. LOUIS
 REGISTERED PROFESSIONAL ENGINEER

DESIGNED BY: CT
 DRAWN BY: JCL
 CHECKED BY:
 GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

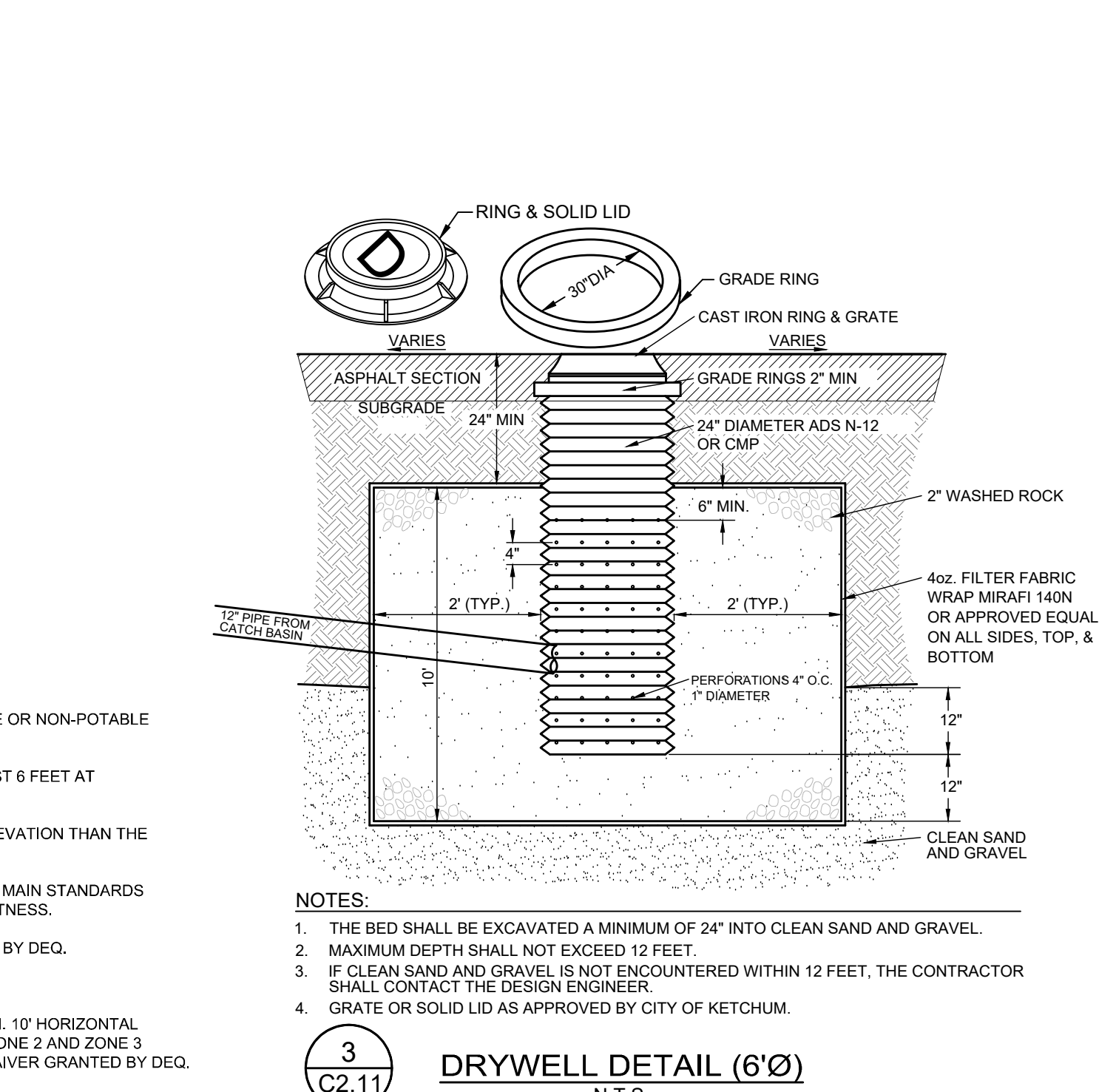
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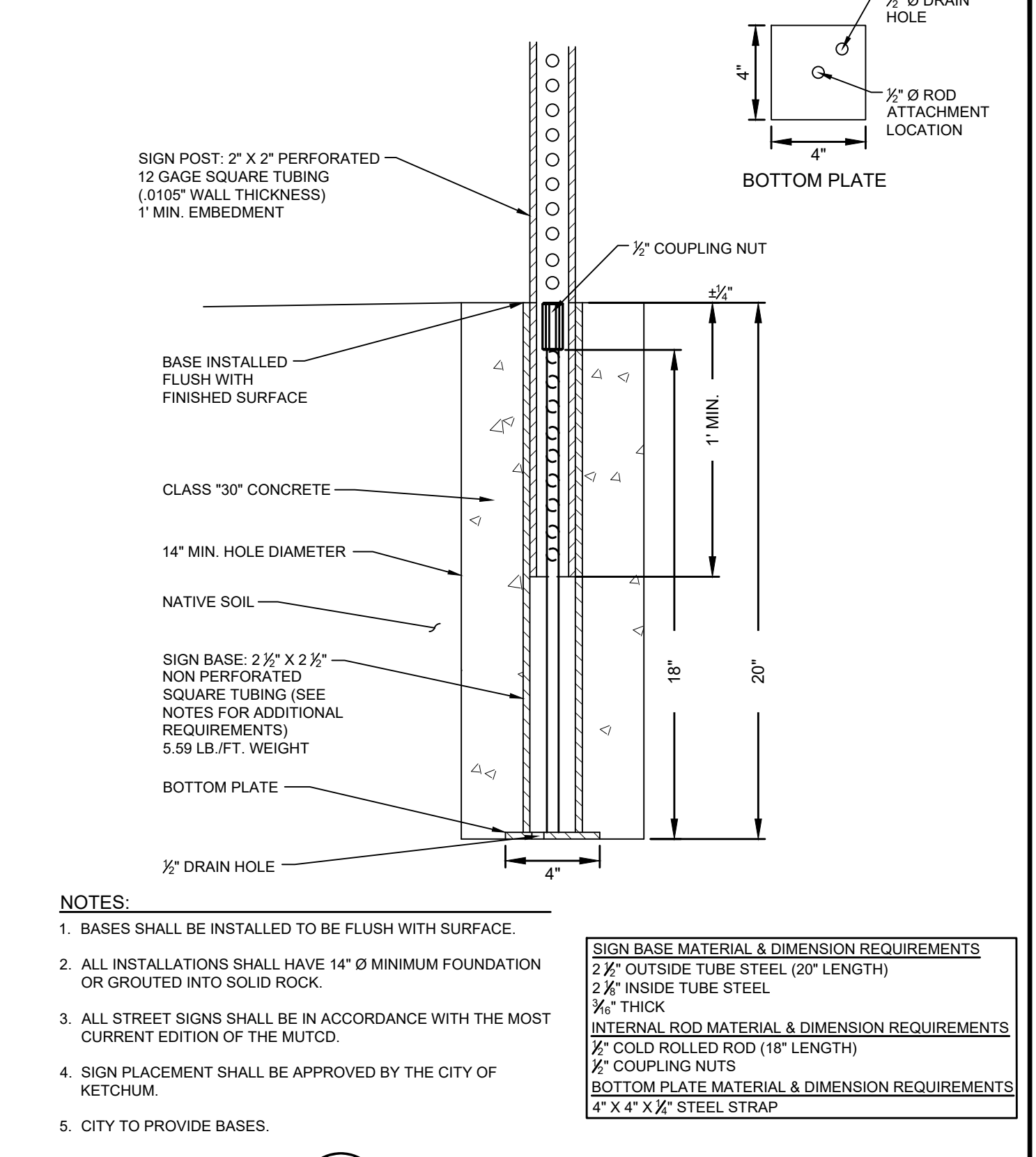
1
C2.11
TYPICAL TRENCH SECTION
N.T.S.



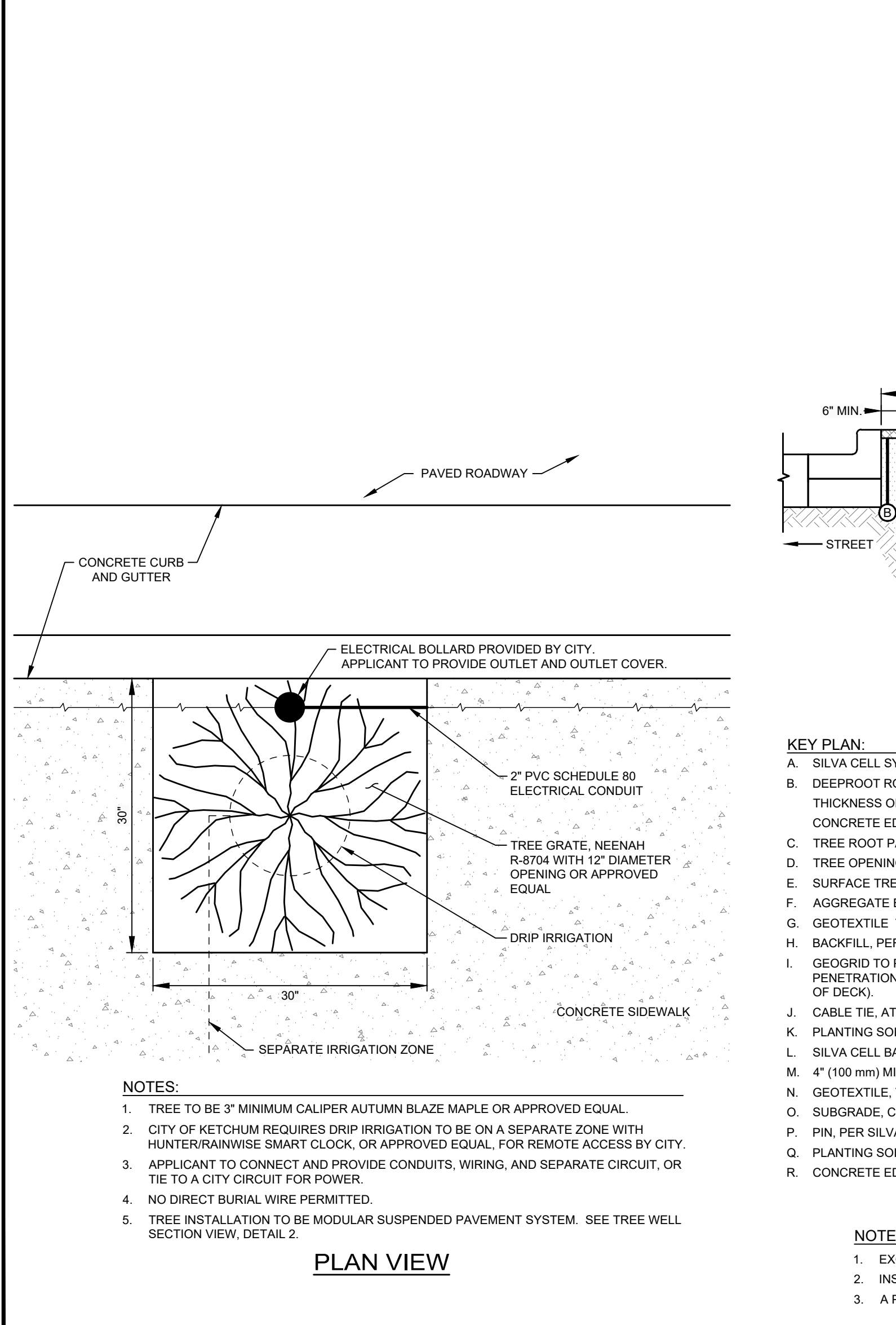
2
C2.11
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



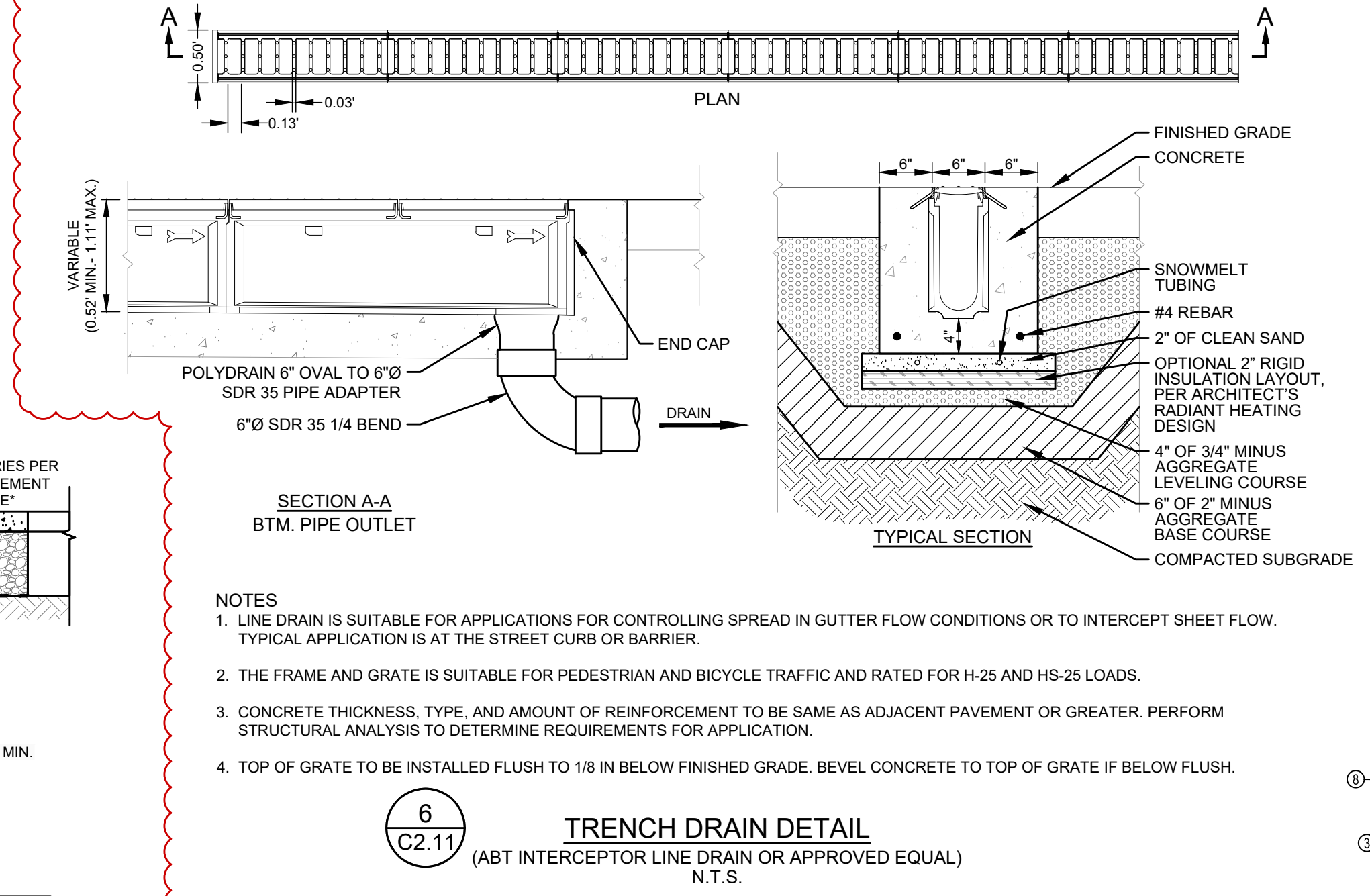
3
C2.11
DRYWELL DETAIL (6")
N.T.S.



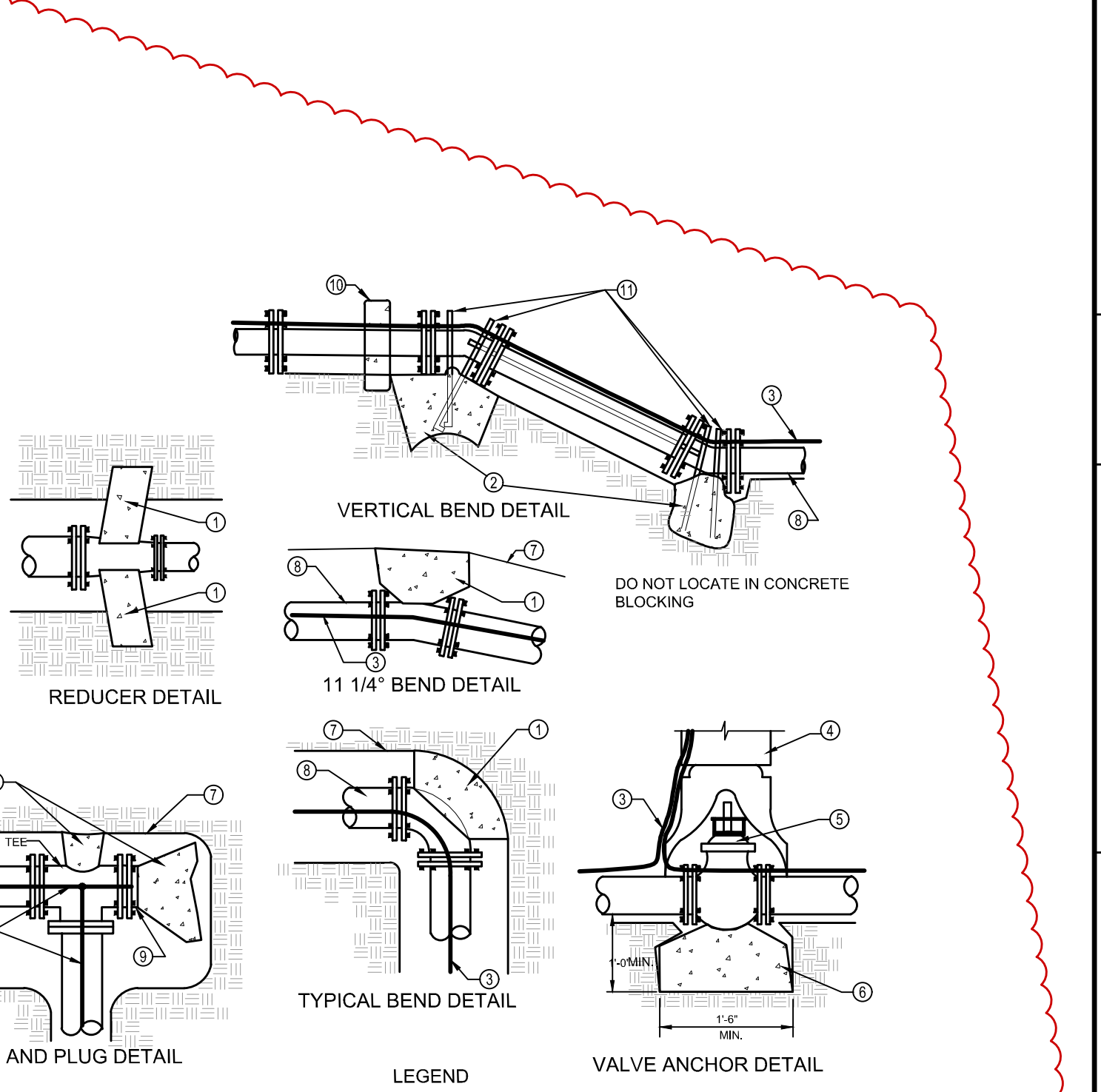
4
C2.11
TYPICAL SIGN BASE
N.T.S.



5
C2.11
TREE WELL DETAILS
N.T.S.



6
C2.11
TRENCH DRAIN DETAIL
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



7
C2.11
THRUST BLOCK AND ANCHOR DETAILS
N.T.S.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.

DETAIL SHEET
200 N. MAIN STREET
THE 208 BUILDING
 LOCATED WITHIN SECTION 18, T. 4N., R. 18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR JONATHAN SHERMAN, J.S. SHERMAN, LLC
 PROJECT INFORMATION
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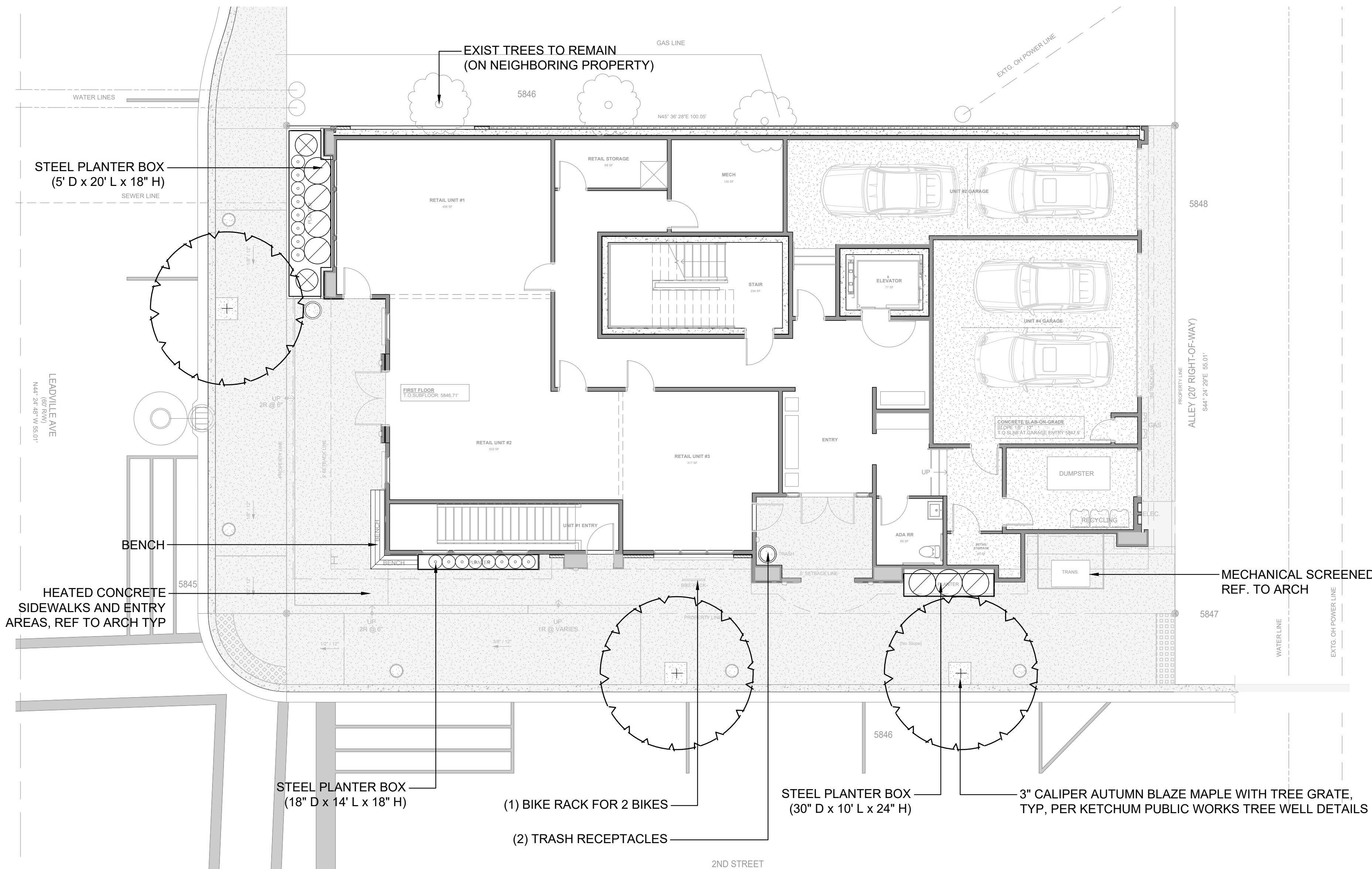
DESIGNED BY
CT
DRAWN BY
JCL
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR BUILDING PERMIT (10/11/2022)

NO.	DATE	BY	REVISIONS

C2.11



- LANDSCAPE LEGEND**
- TRASH RECEPTACLE
 - BIKE RACK
 - INTEGRATED BENCHES
 - HEATED CONCRETE SIDEWALKS

- LANDSCAPE NOTES**
- STREET TREES**
- 1 STREET TREE / 40 LF OF STREET FRONTAGE
 - 100' LF OF FRONTAGE / 40 LF = 3 (2.5) STREET TREES REQUIRED

- BIKE RACKS**
- 1 BIKE RACK PROVIDED FOR 4 PARKING SPACES
 - INVERTED U SHAPE FOR 2 BIKES

- BENCHES & TRASH**
- 1 BENCH AND 1 TRASH RECEPTACLE PROVIDED ALONG EACH FRONTAGE OF 2ND ST AND LEADVILLE AVE

- SNOW STORAGE**
- HEATED CONCRETE SIDEWALKS AND ENTRY AREAS PROVIDED, ELIMINATING REQUIREMENT FOR SNOW STORAGE

SITE AMENITIES



LANDSCAPE FORMS GENERATION 50 BENCH AND TRASH RECEPTACLE



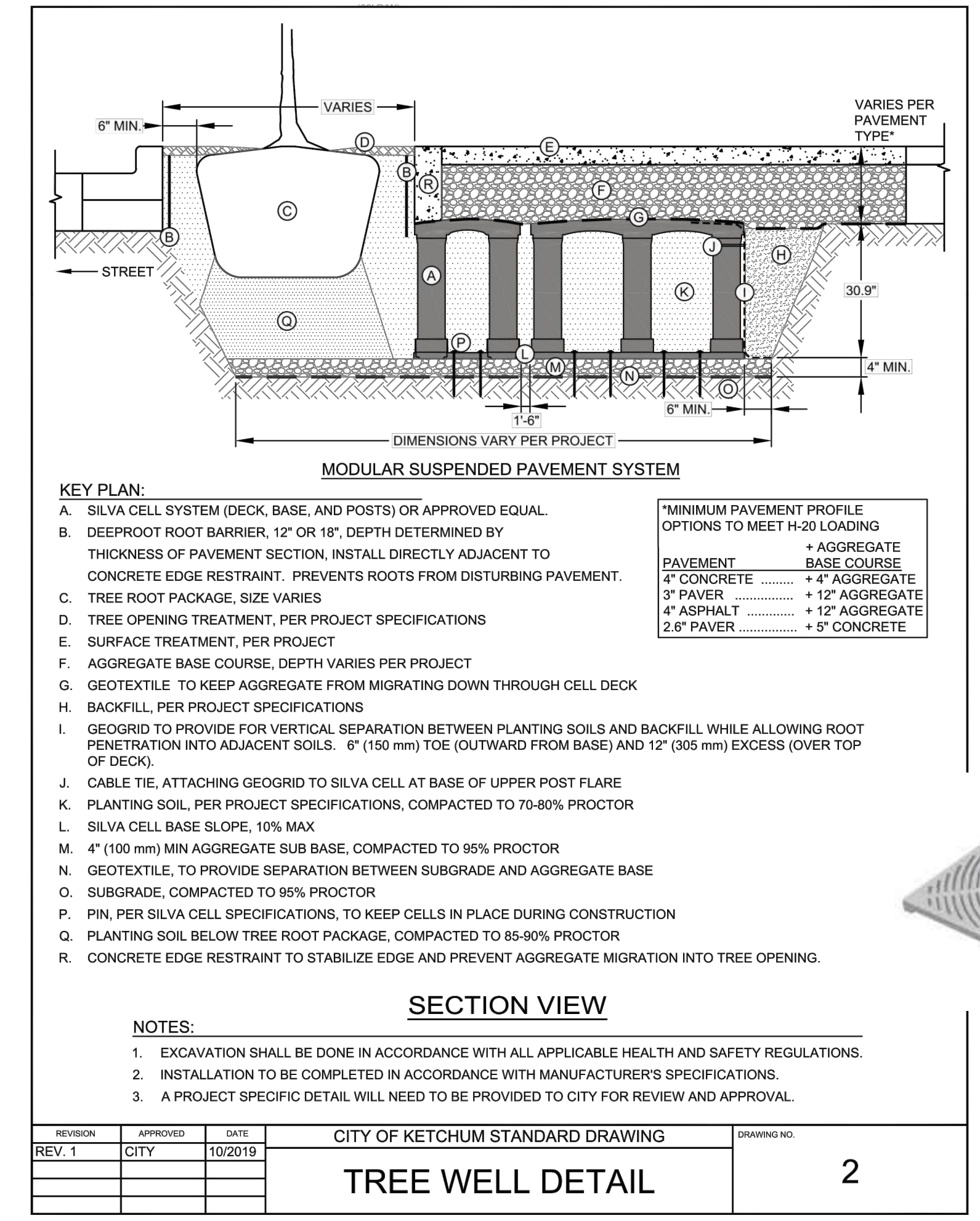
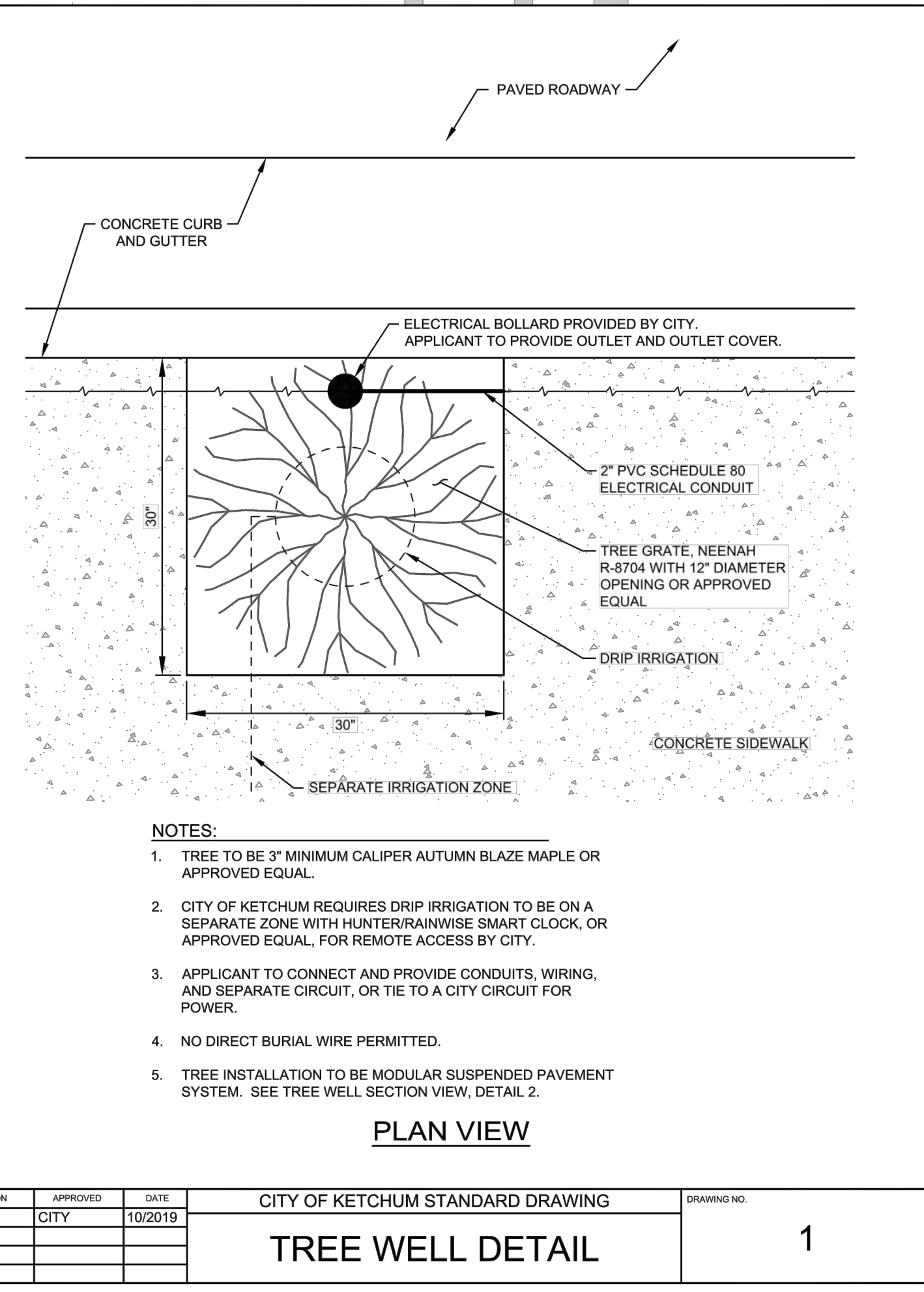
INVERTED U BIKE RACK

PLANT SCHEDULE - FIRST FLOOR

QTY. TREES	BOTANICAL NAME	COMMON NAME	SIZE & SPACING, NOTES
3	Acer x freemanii	Autumn Blaze Maple	3" caliper, full & uniform, B&B
2	Salvia sylvestris 'May Night'	May Night Salvia	1 gal @ 30" oc
7	Spiraea betulifolia 'Tor'	Birch Tor Spirea	3 gal @ 3' OC
16	Festuca glauca 'Elijah Blue'	Blue Fescue	1 gal @ 18" OC



NEENAH R-8704 TREE GRATE



DRAWING SET:
3.18.22 Pre-Application Submittal
5.31.22 Design Review Submittal

REVISIONS:
REV 1:
REV 2:
REV 3:

PROJECT ADDRESS:

The 208
200 N Leadville
Ketchum, Idaho 83340

DESIGN: ML
DRAWN: ML
CHECKED: EW

DATE: September 28, 2022

PROJECT: 200 Leadville

NUMBER: LLA0292.21

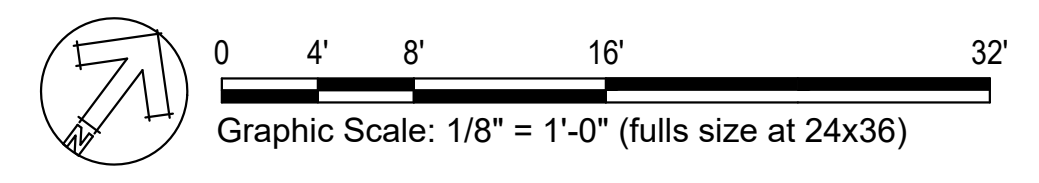
SCALE: 1/8" = 1'-0"

TITLE:

LANDSCAPE SITE PLAN

SHEET:

L1.00





DRAWING SET:
 3.18.22 Pre-Application Submittal
 5.31.22 Design Review Submittal

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

The 208
 200 N Leadville
 Ketchum, Idaho 83340

DESIGN: ML
 DRAWN: ML
 CHECKED: EW

DATE: September 28, 2022

PROJECT: 200 Leadville

NUMBER: LLA0292.21

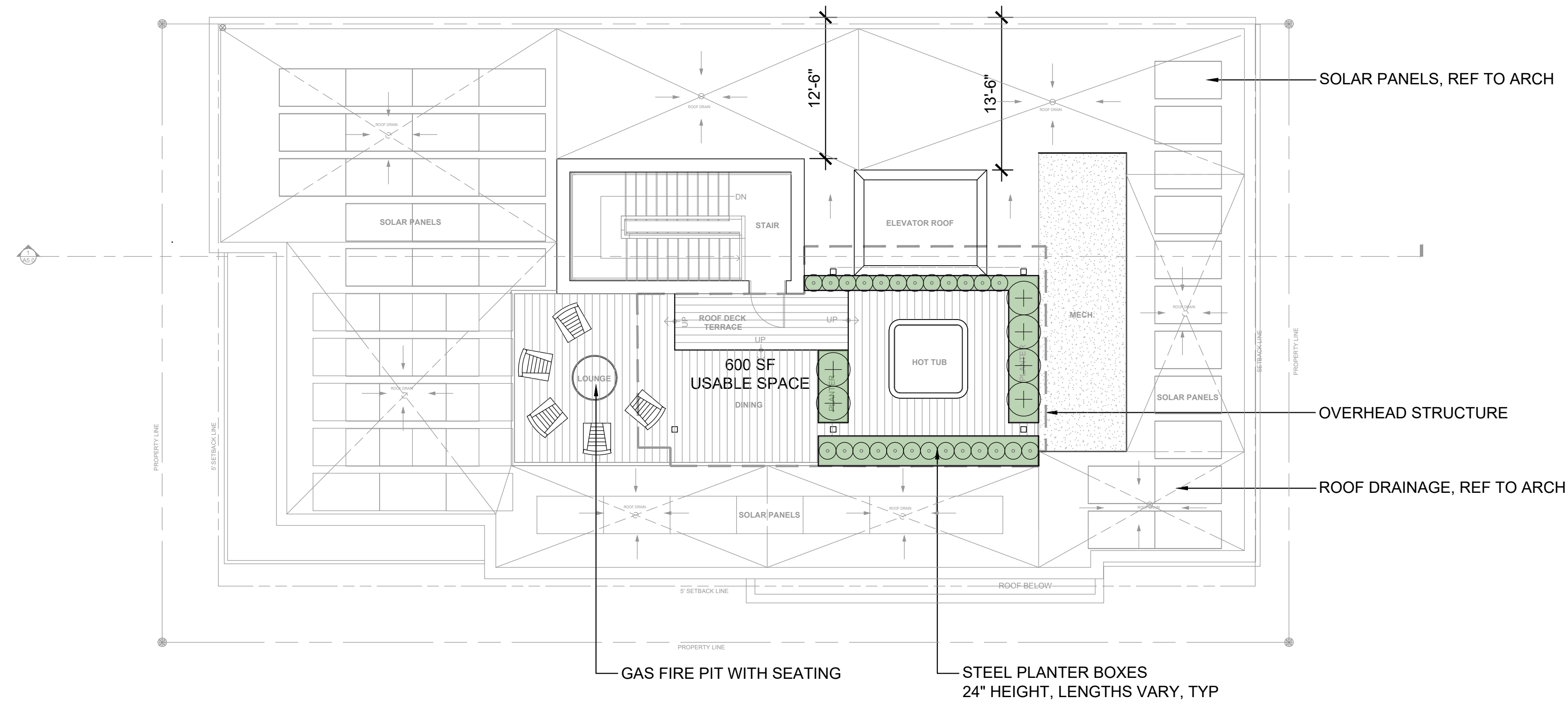
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TITLE:

**ROOFTOP
 LAYOUT PLAN**

SHEET:

L1.01



ROOF DECK NOTES

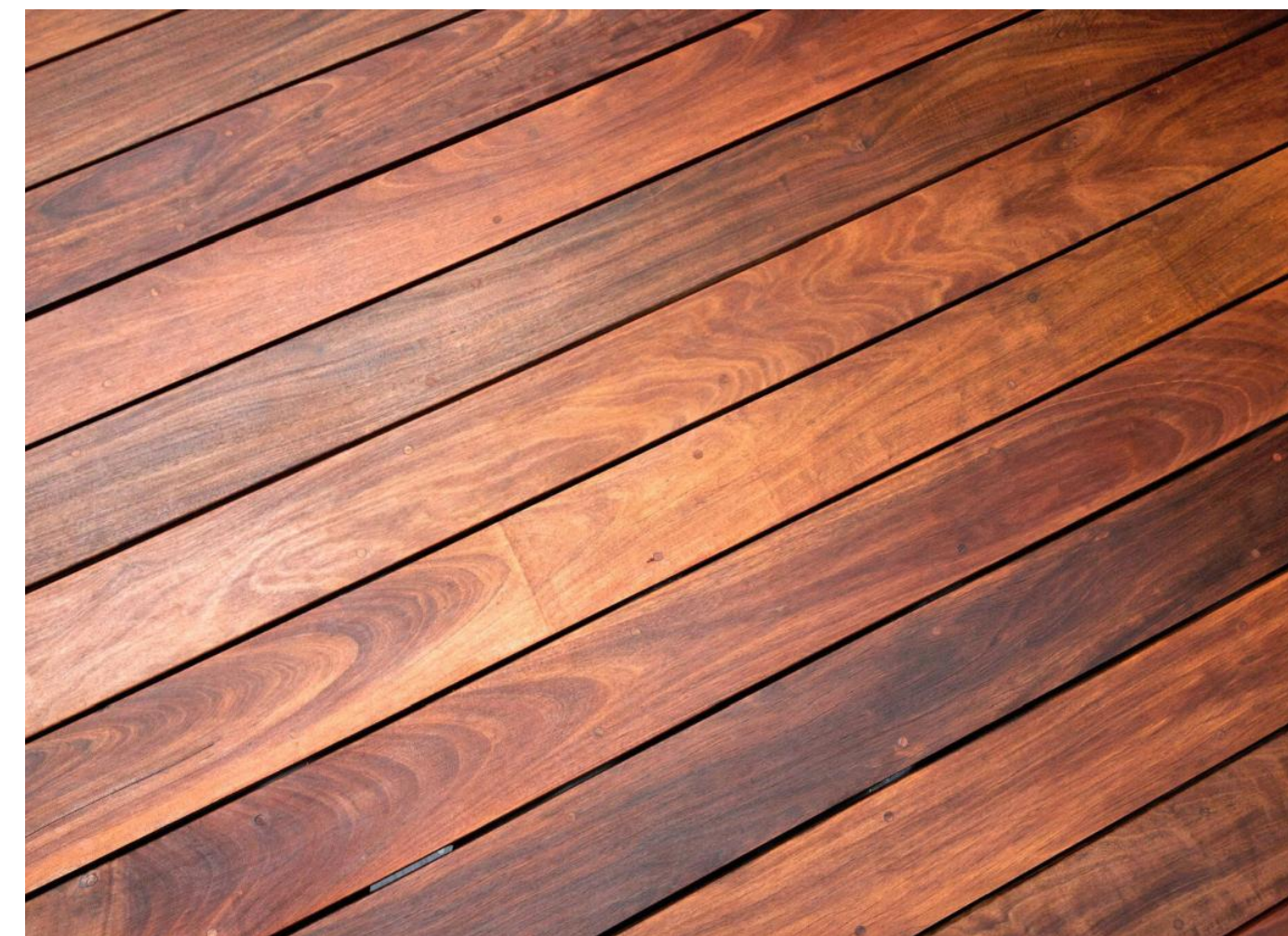
- Landscape planters, tables, chairs & hot tub are not permanently affixed in place
- Gas Fire Pit - May be a permanent structure, requiring a min 10' setback from building facade.

PLANT SCHEDULE - ROOF DECK

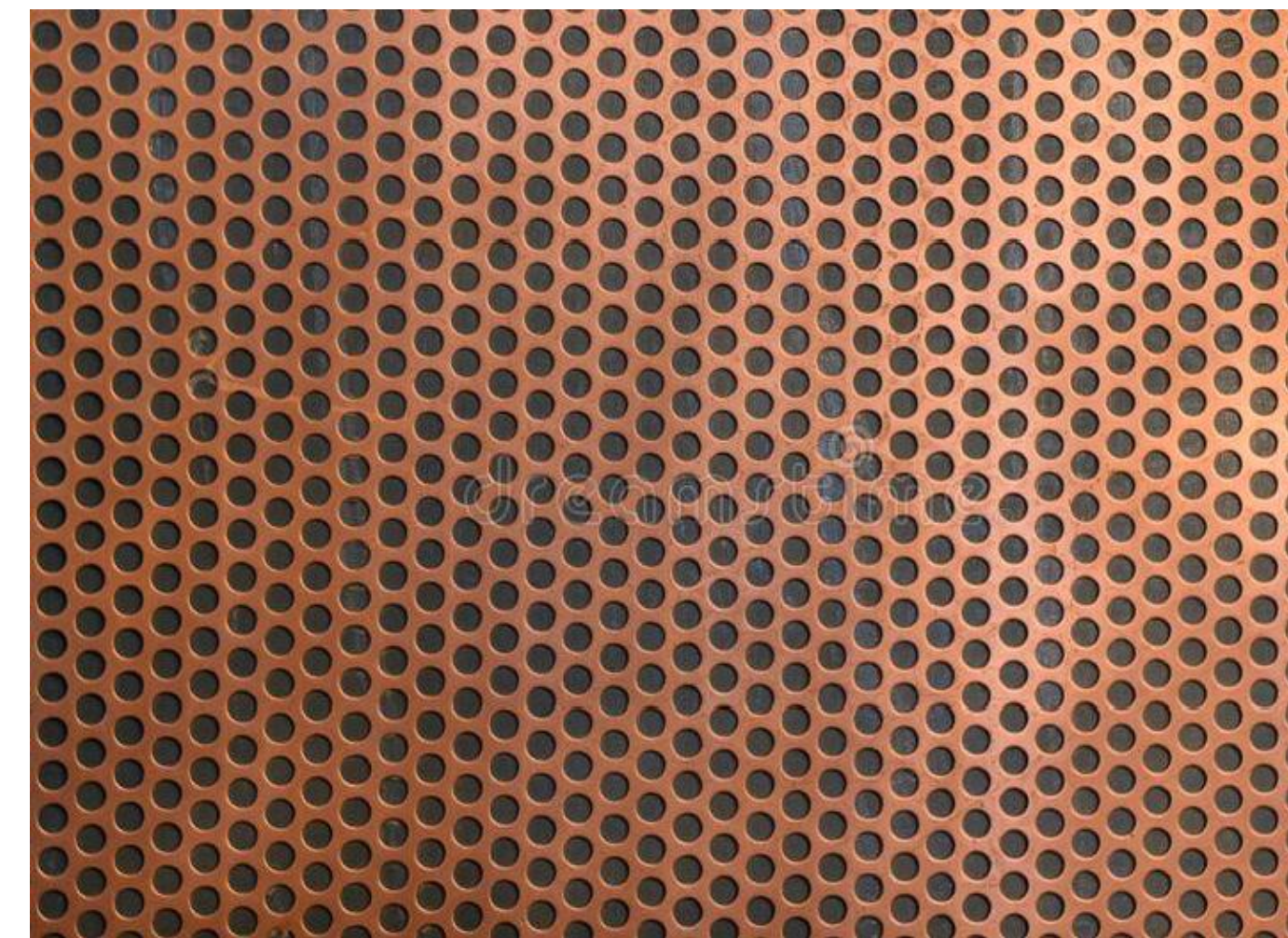
QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING, NOTES
GRASSES			
6	Calamagrostis acutiflora	Karl Foerster Grass	2 gal @ 36" OC
25	Festuca glauca 'Elijah Blue'	Blue Fescue	1 gal @ 18" OC



ROOFTOP & AT GRADE STEEL PLANTERS



ROOFTOP DECKING MATERIAL



METAL MESH SCREENING OF UTILITIES

