



STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF SEPTEMBER 9, 2025

**PROJECT:** Warm Springs Townhomes

**FILE NUMBER:** P24-063

**APPLICATION:** Design Review

**PROPERTY OWNER:** 108-110 Ritchie LLC (Presidio Vista Properties – Shane McGrath)

**ARCHITECT:** Ro Rockett Design, LLC – Zac Rockett (architect)

**LOCATION:** 108 Ritchie Dr  
(Warm Springs Village Subdivision 2<sup>nd</sup> Revision Lot 3A Blk 4)

**ZONING:** Tourist 3000 - (T-3000)

**OVERLAY:** None

**REVIEWER:** Morgan Landers, AICP – Director of Planning and Building

**NOTICE:** A public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on August 20, 2025. The notice was published in the Idaho Mountain Express on August 20, 2025. A notice was posted on the project site on September 2, 2025, and the city’s website on August 19, 2025.

**EXECUTIVE SUMMARY**

The applicant has submitted a Design Review application for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the “subject property”). The subject property is zoned Tourist 3000 (T-3000) and is vacant (See Figure 1). The development proposes to utilize the city’s density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. 11 of the townhouse units range in size from approximately 2,500 SF to 4,400 SF with the twelfth unit being approximately 1,900 SF. The units within the development would be accessed by a private

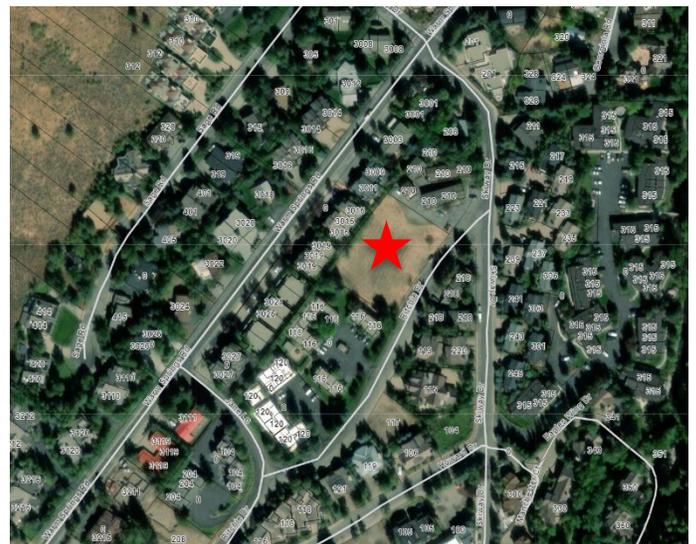


Figure 1: Subject Property

road entering from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment B.

The project is subject to Design Review pursuant to Ketchum Municipal Code §17.96 as the property is a new multi-family development. A pre-application design review meeting was held with the Commission on April 23, 2024. [CLICK HERE](#) to listen to the recording of that meeting. Feedback from the Commission and staff has been incorporated into the development, resulting in substantial changes to the exterior design of the development. All city departments have completed their review of the development. At this time, all technical items have been resolved through corrections in the project plans and potential conditions of approval. However, planning staff does believe additional review and discussion on key architectural design review criteria is warranted prior to approval. See below for discussion of these items. Additionally, Attachment C includes the review of zoning compliance with dimensional standards, parking, and dark skies. Attachment D includes the review of all applicable design review criteria. No Public comments have been received prior to packet publication.

## **BACKGROUND**

The subject property was previously two vacant lots. Prior to the adoption of Interim Ordinance 1234, an application was filed with the city to consolidate the lots (P22-027). The consolidation of the lots was approved on July 18, 2022 by the Ketchum City Council.

The Planning and Building Department received a Pre-Application Design Review application on November 17, 2023 and a public meeting with the Commission was held on April 23, 2024. At the pre-application meeting, the Commission provided a variety of feedback on the design of the project. An overview of that feedback can be found below in the design review criteria section of the staff report.

The Planning and Building Department received the Design Review application on July 22, 2024 and conducted multiple rounds of review to address comments, most specifically related to exterior design of the buildings.

## **Analysis**

Per KMC 17.96.050.A Criteria. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

## **Criteria 1 & 2**

The 2014 Comprehensive Plan designates the subject property's future land use as "Medium Density Residential". Appropriate uses in this designation include single-family, duplexes, and other attached-unit types such as townhouses. The plan also states that multi-family housing is appropriate in many locations. The proposed development includes two multi-family buildings (Buildings 1 and 3) and two duplex units (Buildings 2 and 4). Staff believes the proposed development meets the intent of the future land use designation as proposed.

Chapter 4 of the comprehensive plan, Community Design and Neighborhoods, states that “Infill and development projects should be contextually appropriate to the neighborhood and development in which they will occur” (Policy CD-1.3). The plan also states that “Each new project should be well-designed and attractive and should complement surrounding land uses and existing neighborhood character” (Policy CD-1.4). The surrounding Warm Springs neighborhood is characterized by a variety of two- and three-story multi-family and duplex developments. Figure 2 shows the subject property highlighted in yellow and surrounding properties. The surrounding properties have an outline of the buildings. Where no building is shown, the property is either vacant or has a single-family residence. As shown in the image, most of the surrounding properties have a similar development pattern as the proposed development.



Figure 2: Surrounding Neighborhood Development

Staff believes that the type of development proposed is appropriate for the neighborhood, however, staff does believe that the design of the development should be further considered. Following the pre-application design review meeting and first round of comments from staff on the final design review, the applicant made substantial changes to the exterior design of the building. Staff believes these changes have dramatically improved the compatibility of the development; however, staff does have further comments on the undulation/relief of certain facades, glass railing details on decks, and window detailing. See discussion below for additional discussion.

### Criteria 3: Zoning and Design Review Standards

#### *Zoning and Dimensional Standards*

Staff reviewed the application for applicable zoning and dimensional standards including setbacks, building height, open site area, floor area ratio, parking, dark skies, and other applicable requirements. A full review of zoning and dimensional standards can be found in Attachment C. As proposed, the development meets most of the zoning requirements. Two items were missed by staff during the department review related to bicycle parking and retaining walls. These items are addressed through conditions of approval 6 and 13 and will be verified for compliance at the time of building permit review.

As noted above, the applicant is utilizing the FAR density bonus program. The base FAR permitted in the T-3000 zone district is 0.5, but can be increased to 1.6 with community housing mitigation. The proposed development has an FAR of 1.37 as shown on Sheets A-000 and A-002 of the application materials. The applicant has elected to pay a fee in-lieu of community housing for their mitigation and will be required to pay approximately \$2.4 million in housing in-lieu fees. The detailed calculation of the fee can be found in Attachment C.

### *Design Review Criteria*

As noted above, the Planning and Zoning Commission provided a variety of feedback items to the applicant during the pre-application meeting. In general, that feedback included concerns related to:

- Deck railing transparency and amount of glazing proposed
- Monochromatic color palette and contrast of materials
- Size/scale/mass of the buildings – specifically the length of the larger buildings along Ritchie Dr.
- Incongruous proportions of the structures
- Material orientation – the design proposed mostly vertical siding orientation and other vertical architectural elements

Following the pre-application meeting and first round of review from departments, the applicant team elected to take a different approach to the design of the buildings. See figures below for the initial development proposed at the pre-application meeting compared to the proposed development today.

### View from Ritchie Dr.



*Figure 3: Initial Application*



*Figure 4: Current Proposal*

## View of the Rear



Figure 5: Initial Application



Figure 6: Current Proposal

## View from South/West



Figure 7: Initial Proposal



Figure 8: Current Proposal

## View from North/East



Figure 99: Initial Proposal



Figure 10: Current Proposal

Overall, staff believes the current proposal is significantly more compatible with the surrounding neighborhood. The color palette, the roof detailing, and the landscape plan address many of the Commission's early concerns. However, staff believe there are still items worth discussing prior to approval of the development.

### *Bulk/Mass/Flatness*

The Ketchum design review criteria address the bulk and mass of buildings through a few different criteria. Staff believe there are two that directly speak to this development:

- KMC 17.96.060.F.5 - *Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.*
- KMC 17.96.060.F.2 - *The building character shall be clearly defined by the use of architectural features.*

The current proposal takes care in ensuring that the street frontage of the development is well articulated and detailed to enhance the streetscape. The initial proposal contained a significant number of vertical elements that elongated and enhanced the size of the structures along the street. The current proposal relies on horizontal elements, such as the cantilevered decks, which reduces the perceived size of the structures. Unfortunately, that same level of detailing does not translate to the other exterior facades of the development that will be visible from public view. More specifically, the south/west and north/east facades (see Figures 7 through 10 above).

Staff believe these facades to be quite flat and lack architectural features that provide interest and relief from the flat appearance of the structures. It is clear the applicant is drawing inspiration from historic mining structures that often feature tall narrow windows in a repetitive pattern. However, the recessed nature of the windows with minimal trim contributes to the flat nature of the elevations. Staff believe the addition of some key architectural features could assist in adding interest to these elevations. Additionally, the Commission commented on the front façade of Building 3 (see Figures 7 and 8) noting that interior buildings should have similar consideration as the others. Staff agrees that continuity throughout the development is critical and also understands the varying degree of architectural detailing between interior and exterior facing facades. Some considerations for Building 3 may be the reduction of the roof overhang so it is no longer flush with the first and second levels of the building. The applicant could also consider some window trim options to add interest to the facades.

### *Materials*

The Commission provided feedback during the pre-application design review related to the monochromatic color palette and transparency of the decks. As shown in the project plans, the color palette has been adjusted dramatically to a darker and richer brown. Staff believe this color choice is much more compatible with the surrounding structures and allows the buildings to recess into the landscape more. The applicant has also changed the railings along the decks from glass to solid, with a small glass railing on top. KMC 17.96.060.F.3 states *“There shall be continuity of materials, colors and signing within the project”*. Staff believe there is continuity of materials and colors within the project with the exception of the glass railing. Staff recommends the consideration of a metal railing detail rather than the glass railing proposed. See figures below that identify the glass railing currently proposed.



### *Utilities*

The civil and landscape plans both show proposed locations of transformers to serve the development. KMC 17.96.060.D.2 states *“Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view”*. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #7 states that the development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.

## Staff Recommendation

Staff recommends the Commission review the Design Review Application and provide direction on items outlined above in the staff report. Following direction, the Commission has the following options:

- Continue the application to a date certain or uncertain with a request for revisions or more information.
- Approve the application with conditions
- Deny the application

If the Commission chooses to move forward with approving the application as presented or revised, staff recommend the following conditions of approval be considered. The Commission may delete, revise, or add to the conditions of approval based on the discussion.

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated September 9, 2025 and the information presented and approved at the September 9, 2025 Planning and Zoning Commission included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR pursuant to KMC 17.124.040, a total community housing contribution of 4,429 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize how the community housing contribution will be met shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.
4. For driveways less than 18 feet in length, "No Parking" signs shall be installed on or adjacent to every driveway prior to certificate of occupancy for each building.
5. A final landscape plan shall be provided for review and approval prior to building permit issuance. Said landscaping plan shall provide a detailed plan list showing the drought tolerance level of each proposed species. Species must be a minimum of "moderately" drought tolerant, "highly" drought tolerant is preferred.
6. Pursuant to KMC 17.125.060, the development shall provide a minimum of 6 bicycle racks, each serving two bicycles. The location and design shall be submitted, reviewed, and approved by the Planning Department prior to issuance of the first building permit.
7. The development shall utilize internal transformer locations for the development first. Street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view. Final transformer locations and screening proposals shall be reviewed and approved by the Planning Department prior to installation.
8. The grass-crete areas shown in Exhibit A shall always remain clear of snow. In the event snow storage cannot be accommodated by designated snow storage areas, snow shall be hauled off site to always ensure unobstructed access for fire and emergency vehicles.
9. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.

10. A preliminary plat application shall be submitted prior to building permit issuance. If the development is to be constructed in multiple phases, the preliminary plat application must include a request for a phased development agreement per KMC 16.04.110.
11. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
12. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
13. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
14. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

**Attachments:**

- A. Application and Supplemental Materials
- B. Project Plans
- C. Zoning and Dimensional Standards Analysis
- D. Design Review Standards Analysis



City of Ketchum

## **ATTACHMENT A:**

# **Application and Supplemental Documents**



City of Ketchum  
Planning & Building

Design Review Application

OFFICIAL USE ONLY
File Number: P24-063
Date Received: 7/22/24
By: GB
Pre-Application Fee Paid:
Design Review Fee Paid: \$3,900
By:

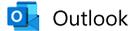
Submit completed application and documentation to [planningandbuilding@ketchumidaho.org](mailto:planningandbuilding@ketchumidaho.org) Or hand deliver to Ketchum City Hall, 191 5<sup>th</sup> St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: [www.ketchumidaho.org](http://www.ketchumidaho.org) and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: Warm Springs Townhomes		Phone: 603-801-0419	
Owner: 108-110 Ritchie, LLC		Mailing Address: PO BOX 14001-174, Ketchum, ID 83340	
Email: hank@presidiovistaproperties.com			
Architect/Representative: 359 Design, LLC		Phone: (303)884-9131	
Email: whentschel@359design.co		Mailing Address: 3459 Ringsby Court, Denver, CO 80211	
Architect License Number: 2465			
Engineer of Record: Benchmark Associates		Phone: (208)726-9512	
Email: phoebe@galena-benchmark.com		Mailing Address: 100 Bell Drive, Ketchum, ID 83340	
Engineer License Number: 17661			
Primary Contact Name and Phone Number: Hank Moore, 603-801-0419			
PROJECT INFORMATION			
Legal Land Description: Lot 3&4 Blk 4 Warm Springs Subdivision		Street Address: 108 Ritchie Drive	
Lot Area (Square Feet): 35,799 sqft.		Zoning District: T-3000	RPK #:
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Residential		Number of Residential Units: 12	
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	0 Sq. Ft.	Sq. Ft.	
1 <sup>st</sup> Floor	15,110 Sq. Ft.	Sq. Ft.	
2 <sup>nd</sup> Floor	13,370 Sq. Ft.	Sq. Ft.	
3 <sup>rd</sup> Floor	12,743 Sq. Ft.	Sq. Ft.	
Mezzanine	0 Sq. Ft.	Sq. Ft.	
Total	41,223 Sq. Ft.	Sq. Ft.	
FLOOR AREA RATIO			
Community Core:		Tourist:	General Residential-High: 1.375
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 65%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 15'	Side: 10' - 11'8"	Side: 10' - 11'8"	Rear: 10' - 11'8"
Building Height: 35'			
OFF STREET PARKING			
Parking Spaces Provided: 23	Curb Cut: 20'	Sq. Ft.	%9- % of curb cut % to street frontage
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

 Hank Moore  
Signature of Owner/Representative

7/17/24  
Date



Will Serve Email

From Bennett, Cheryl <CBennett2@idahopower.com>  
Date Fri 5/17/2024 11:27 AM  
To Hank Moore <hank@presidiovistaproperties.com>  
Cc Erik de Bruijn <erik@presidiovistaproperties.com>

Hank and Erik,

You can provide this email to the city of Ketchum for your application:

I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statues of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments.



CONCEPT PLAN - NOT F

WARM SPRINGS TOWNHOMES  
Pre-Design Review Presentation \ April 23, 2024

Cheryl Bennett  
Senior Distribution Designer  
Idaho Power | COBD

Office 208-788-8058 | Mobile 208-721-8822  
11831 Highway 75 | Hailey, ID | 83333

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# C L E A R   C R E E K   D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • [www.ccdisposal.com](http://www.ccdisposal.com)

June 14, 2024

Planning & Zoning  
City of Ketchum  
P O Box 2315  
Ketchum, ID 83340

Via email:

Re: 108 Richie Drive

To whom It May Concern,

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

Conditions that will need to be maintained:

- Snow and Ice removal to and inside of the enclosure
- Access to the enclosure and the turn around area for egress
- Gates maintained in working order

Multiple pickup days may be necessary to accommodate the amount of waste generated depending on type(s) of occupancy.

Respectfully,



Mike Goitiandia  
Clear Creek Disposal

.108 Richie Drive





	Gross SQFT.				Net SQFT.					
	Garage	Level 1	Level 2	Level 3	Total Gross	Level 1	Level 2	Level 3	Total Net	
1A	523.10	1416.71	1216.50	1337.88	3971.09	771.37	1111.81	1216.44	3099.62	
1B	526.52	1399.34	1196.08	1316.48	3911.90	773.72	1118.86	1238.11	3130.69	
1B-alt	526.52	1393.06	1193.74	1314.15	3900.95	773.05	1120.66	1240.14	3133.85	
1C	521.62	1285.12	1071.12	1192.55	3548.79	657.92	980.75	1110.06	2748.73	
2A	535.83	1310.38	1043.65	1336.88	3990.91	671.88	967.12	1254.85	2893.85	
2B	535.83	1307.15	1039.05	1277.72	3623.92	669.50	963.46	1196.37	2829.33	
3A	525.12	1396.16	1299.04	969.24	3664.44	755.03	1209.51	885.61	2850.15	
3B	489.24	1268.74	1228.47	896.19	3393.40	688.34	1157.60	834.77	2680.71	
3C	491.66	1194.33	1122.11	845.42	3161.86	612.60	1048.12	779.03	2439.75	
3D	303.58	762.28	703.68	566.72	2032.68	388.49	649.06	516.04	1553.59	
4A	492.59	1212.17	1118.59	842.86	3173.62	620.94	1034.50	767.39	2423.83	
4B	493.70	1218.23	1123.95	862.83	3205.01	620.41	1033.35	779.52	2433.28	
					Project Totl	41278.57			Project Totl	32216.38

RESIDENTIAL TOWNHOMES CONSTRUCTED UNDER 2018 IRC, AS AMENDED BY THE IDAHO BUILDING CODE BOARD



TOWN STAMP

**359**  
DESIGN

3459 RINGSBY CT.  
SUITE 201 & 202  
DENVER, CO 80216  
720.512.3437

DISCIPLINE STAMP

**WARM SPRINGS**  
**TOWNHOMES**  
108 RITCHIE DRIVE  
KETCHUM, CO 83340

REVISION		
No.	Description	Date

PROJECT NUMBER PROJECT NUMBER  
ISSUE DATE

ISSUE  
**DESIGN REVIEW APPLICATION**

SHEET TITLE  
**BLDG PLAN- LEVEL 1**

SHEET NO.  
**DR.21**



City of Ketchum

# **ATTACHMENT B:**

# **Project Plans**



**WARM SPRINGS TOWNHOMES KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988



AREA - GROSS	
BLDG UNIT	AREA
1A (GARAGE)	541 SF
1A (LEVEL 01)	843 SF
1A (LEVEL 02)	1374 SF
1A (LEVEL 03)	1239 SF
	3997 SF
1B (GARAGE)	541 SF
1B (LEVEL 01)	843 SF
1B (LEVEL 02)	1374 SF
1B (LEVEL 03)	1239 SF
	3998 SF
1C (GARAGE)	541 SF
1C (LEVEL 01)	843 SF
1C (LEVEL 02)	1374 SF
1C (LEVEL 03)	1240 SF
	3998 SF
1D (GARAGE)	543 SF
1D (LEVEL 01)	815 SF
1D (LEVEL 02)	1143 SF
1D (LEVEL 03)	1011 SF
	3312 SF
2A (GARAGE)	548 SF
2A (LEVEL 01)	708 SF
2A (LEVEL 02)	1237 SF
2A (LEVEL 03)	1138 SF
	3631 SF
2B (GARAGE)	548 SF
2B (LEVEL 01)	708 SF
2B (LEVEL 02)	1237 SF
2B (LEVEL 03)	1138 SF
	3631 SF
3A (GARAGE)	449 SF
3A (LEVEL 01)	827 SF
3A (LEVEL 02)	1198 SF
3A (LEVEL 03)	976 SF
	3448 SF
3B (GARAGE)	449 SF
3B (LEVEL 01)	761 SF
3B (LEVEL 02)	1133 SF
3B (LEVEL 03)	893 SF
	3236 SF
3C (GARAGE)	449 SF
3C (LEVEL 01)	695 SF
3C (LEVEL 02)	1067 SF
3C (LEVEL 03)	827 SF
	3037 SF
3D (GARAGE)	363 SF
3D (LEVEL 01)	556 SF
3D (LEVEL 02)	866 SF
3D (LEVEL 03)	682 SF
	2469 SF
4A (GARAGE)	476 SF
4A (LEVEL 01)	677 SF
4A (LEVEL 02)	1111 SF
4A (LEVEL 03)	859 SF
	3123 SF
4B (GARAGE)	476 SF
4B (LEVEL 01)	677 SF
4B (LEVEL 02)	1112 SF
4B (LEVEL 03)	859 SF
	3123 SF
<b>TOTAL</b>	<b>41003 SF</b>

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

All designs, ideas, arrangements and plans indicated by these drawings are the property and copyright of the Architect and shall neither be used on any other work nor be disclosed to any other person for any use whatsoever without written permission.

RO|ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.

PROJECT:  
**WARM SPRINGS TOWNHOMES KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**SITE PLAN - BUILDING AREAS**

SEAL:

PROJECT NUMBER:  
2305

DRAWING NUMBER:  
**A-000**

RITCHIE DRIVE









**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**

OWNER:  
108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:  
RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:  
ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:  
PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:  
GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:  
EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

**NOTE**

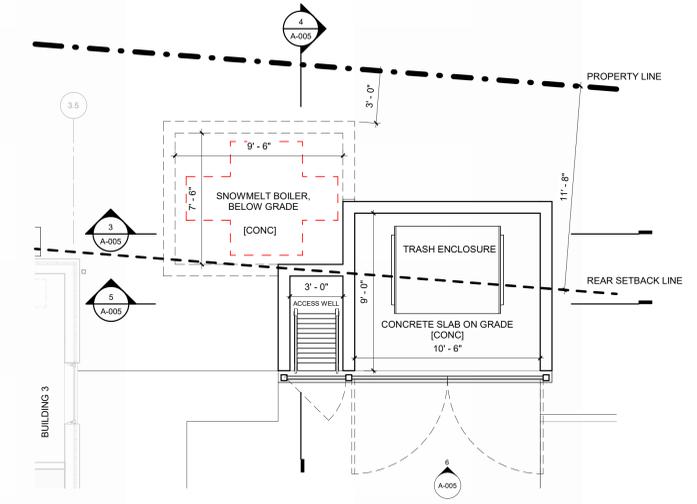
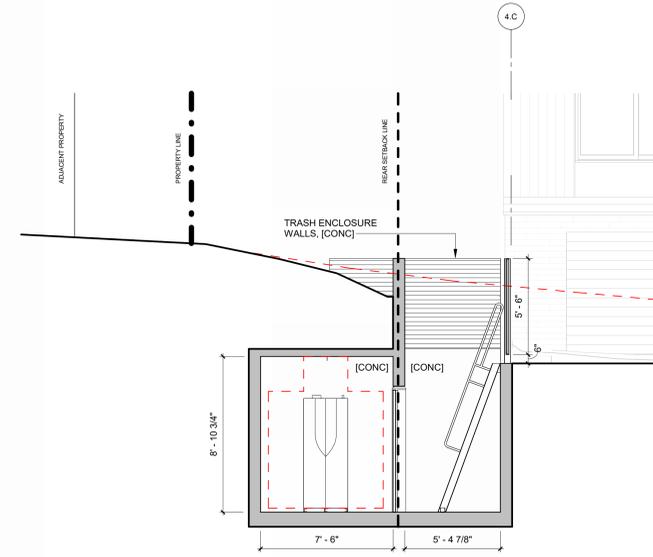
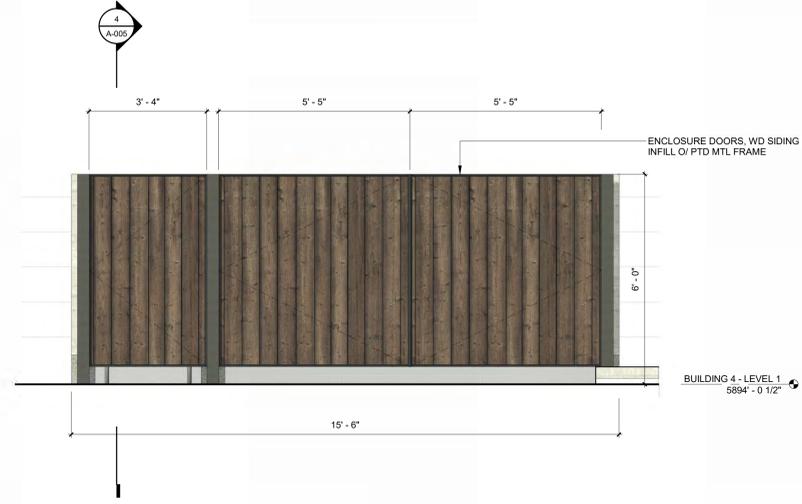
SCREENED TRASH ENCLOSURE WITH SNOWMELT BOILER ROOM. BOILER LOCATED FULLY SUBGRADE AND NOT VISIBLE. TRASH ENCLOSURE SLAB AND ACCESS WELL SCHEDULED TO BE SNOWMELTED TO ALLOW CLEAR ACCESS IN WINTER.



MEDIUM BROWN WOOD SIDING TO MATCH BUILDING SIDING MATERIAL



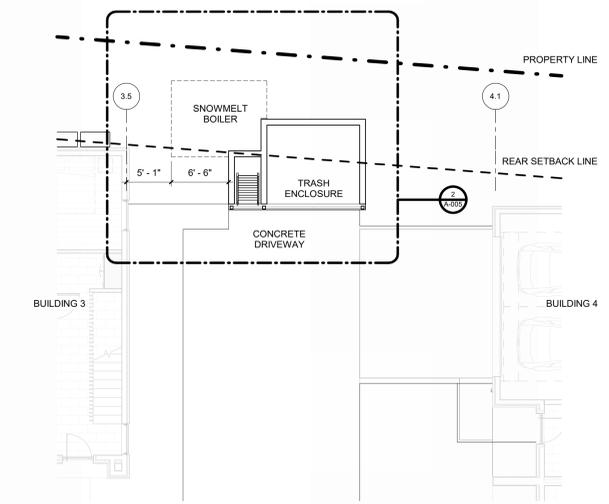
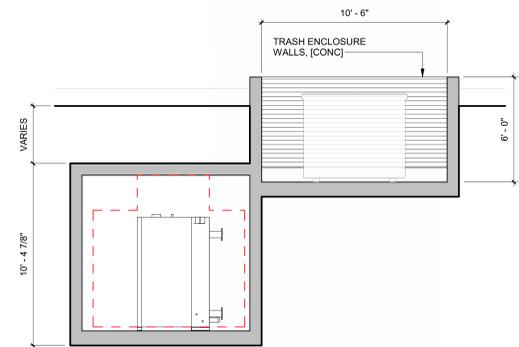
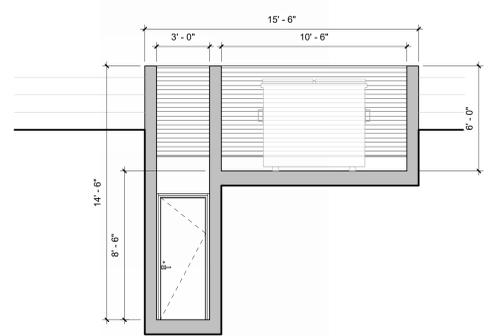
DARK PAINTED METAL STRUCTURE



6 1/2" = 1'-0" DUMPSTER ENCLOSURE / ELEVATION - EAST

4 1/4" = 1'-0" DUMPSTER ENCLOSURE / SECTION - EW

2 1/4" = 1'-0" DUMPSTER ENCLOSURE - ENLARGED FLOOR PLAN



ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:  
**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**SNOWMELT VAULT &  
DUMPSTER DETAILS**

SEAL:

PROJECT NUMBER:  
2305

DRAWING NUMBER:  
**A-005**

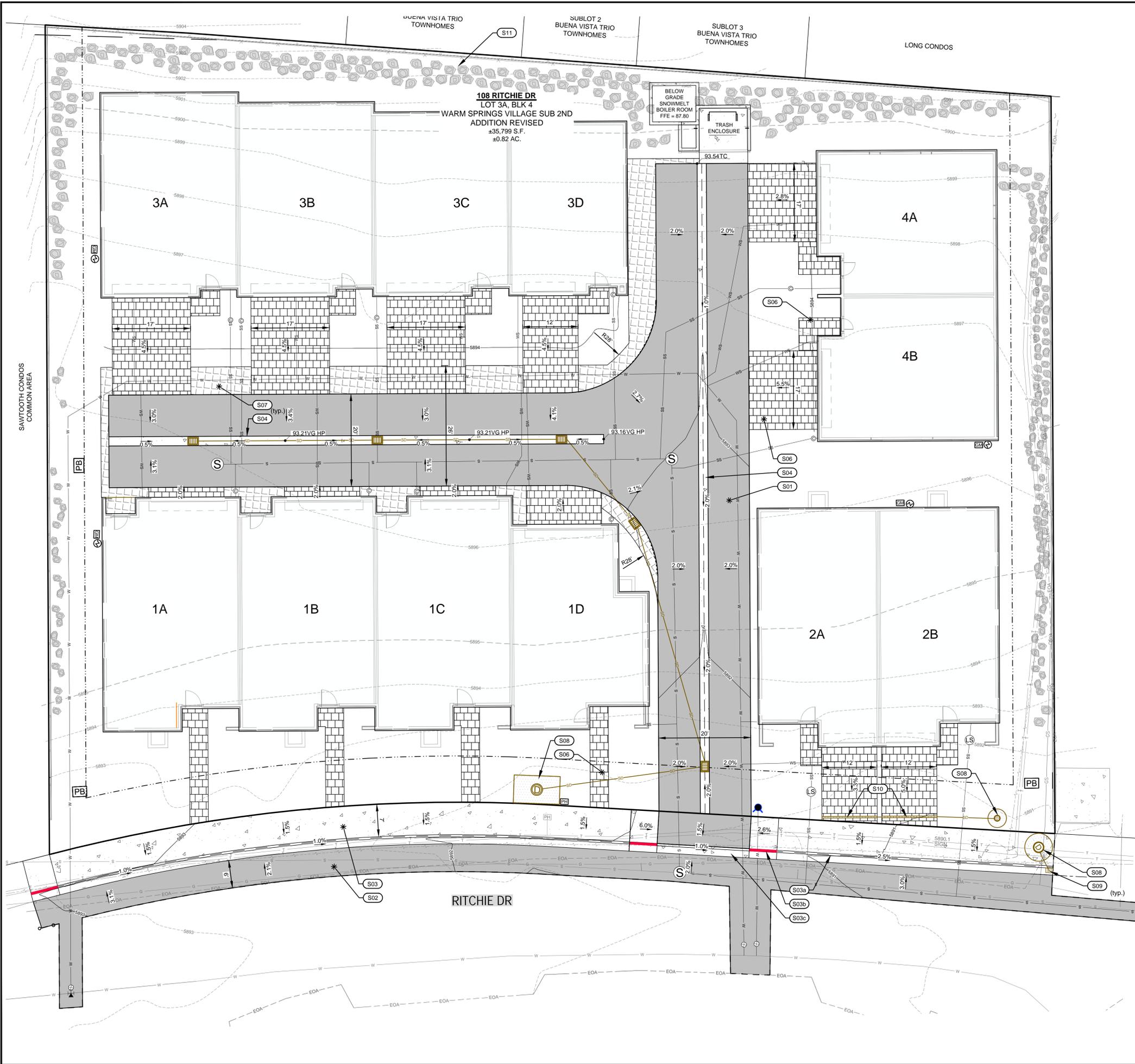
5 1/4" = 1'-0" DUMPSTER ENCLOSURE / SECTION - NS A

3 1/4" = 1'-0" DUMPSTER ENCLOSURE / SECTION - NS B

1 1/8" = 1'-0" DUMPSTER ENCLOSURE - FLOOR PLAN



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena-Benchmark Engineering.



- LEGEND**
- BLOCK BOUNDARY
  - ADJOINER'S LOT LINE
  - - - EASEMENT
  - ROAD CENTERLINE
  - 5' CONTOUR INTERVAL (EXISTING)
  - 1' CONTOUR INTERVAL (EXISTING)
  - FENCE LINE
  - RETAINING WALL
  - ASPHALT
  - STORM DRAIN PROPOSED
  - SAWCUT LINE
  - 5' CONTOUR INTERVAL
  - 1' CONTOUR INTERVAL

- SITE IMPROVEMENT KEY NOTES**
- S01** CONSTRUCT HEATED ASPHALT ROADWAY. SEE DETAIL TBD.
  - S02** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL TBD.
  - S03** CONSTRUCT CONCRETE SIDEWALK, CURB AND GUTTER.
    - a. 6" ROLLED C&G
    - b. CURB TRANSITION
    - c. ZERO REVEAL CURB AND GUTTER
  - S04** CONSTRUCT 24" WIDE HEATED CONCRETE VALLEY GUTTER
  - S06** INSTALL SITE PAVERS. SEE LANDSCAPE PLAN FOR DETAILS.
  - S07** INSTALL SITE GRASS PAVE. SEE LANDSCAPE PLAN FOR DETAILS.
  - S08** CONSTRUCT DRYWELL. SEE DETAIL TBD. PROVIDE MIN. 12-24" SOIL COVER FOR PLANTINGS. REFER TO LANDSCAPE PLANS FOR SOIL COVER REQUIREMENTS.
  - S09** CONSTRUCT 30" CATCH BASIN. SEE DETAIL TBD.
  - S10** INSTALL TRENCH DRAIN.
  - S11** SEE LANDSCAPE SHEETS FOR SITE GRADING AND BOULDER PLACEMENT.

**GRADING & DRAINAGE PLAN**  
**WARM SPRINGS VILLAGE SUB. 2ND ADD. REV.**  
**BLOCK 4, LOT 3A**  
 LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR: PRESIDIO VISTA PROPERTIES

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

DESIGNED BY: SLS/MS  
 DRAWN BY: SLS/MS  
 CHECKED BY: MS  
 SURVEY DATE: 06/12/22

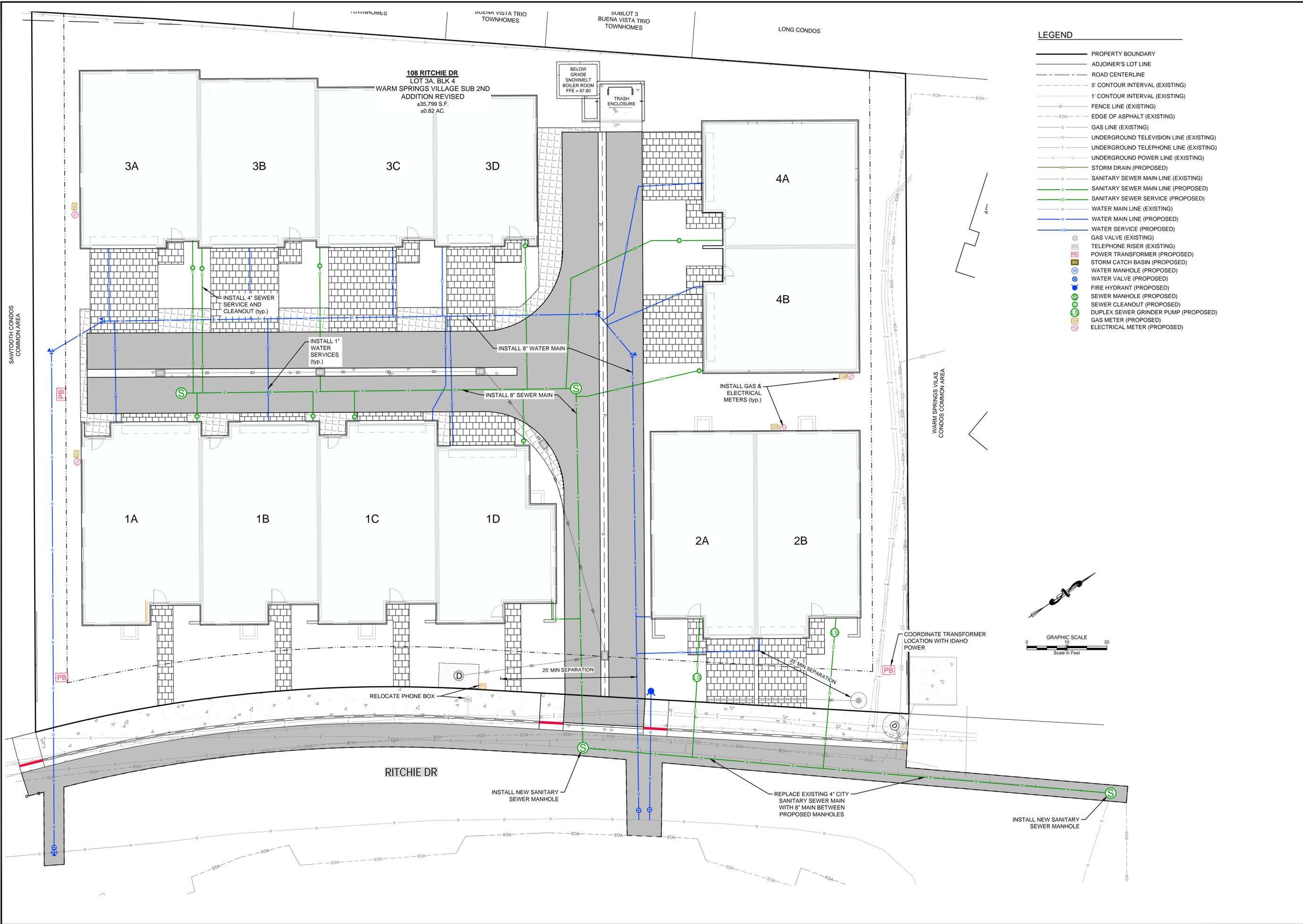
**GALENA-BENCHMARK**  
 ENGINEERING  
 Civil Engineers & Land Surveyors  
 100 Bell Drive  
 Ketchum, ID 83340  
 (208) 726-9512  
 www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW

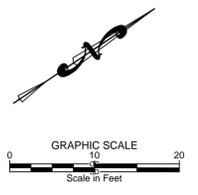
NO.	DATE	BY	REVISIONS

C1.00

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- LEGEND**
- PROPERTY BOUNDARY
  - ADJOINER'S LOT LINE
  - ROAD CENTERLINE
  - - - 5' CONTOUR INTERVAL (EXISTING)
  - - - 1' CONTOUR INTERVAL (EXISTING)
  - X - FENCE LINE (EXISTING)
  - EOA - EDGE OF ASPHALT (EXISTING)
  - G - GAS LINE (EXISTING)
  - TV - UNDERGROUND TELEVISION LINE (EXISTING)
  - T - UNDERGROUND TELEPHONE LINE (EXISTING)
  - P - UNDERGROUND POWER LINE (EXISTING)
  - SD - STORM DRAIN (PROPOSED)
  - S - SANITARY SEWER MAIN LINE (EXISTING)
  - SS - SANITARY SEWER SERVICE (PROPOSED)
  - W - WATER MAIN LINE (EXISTING)
  - WS - WATER MAIN LINE (PROPOSED)
  - WS - WATER SERVICE (PROPOSED)
  - G - GAS VALVE (EXISTING)
  - PH - TELEPHONE RISER (EXISTING)
  - PT - POWER TRANSFORMER (PROPOSED)
  - SCB - STORM CATCH BASIN (PROPOSED)
  - WM - WATER MANHOLE (PROPOSED)
  - WV - WATER VALVE (PROPOSED)
  - FH - FIRE HYDRANT (PROPOSED)
  - SM - SEWER MANHOLE (PROPOSED)
  - SC - SEWER CLEANOUT (PROPOSED)
  - D - DUPLEX SEWER GRINDER PUMP (PROPOSED)
  - GM - GAS METER (PROPOSED)
  - EM - ELECTRICAL METER (PROPOSED)



**UTILITY PLAN**  
**WARM SPRINGS VILLAGE SUB, 2ND ADD. REV.**  
**BLOCK 4, LOT 3A**  
 LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR: PRESIDIO VISTA PROPERTIES

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

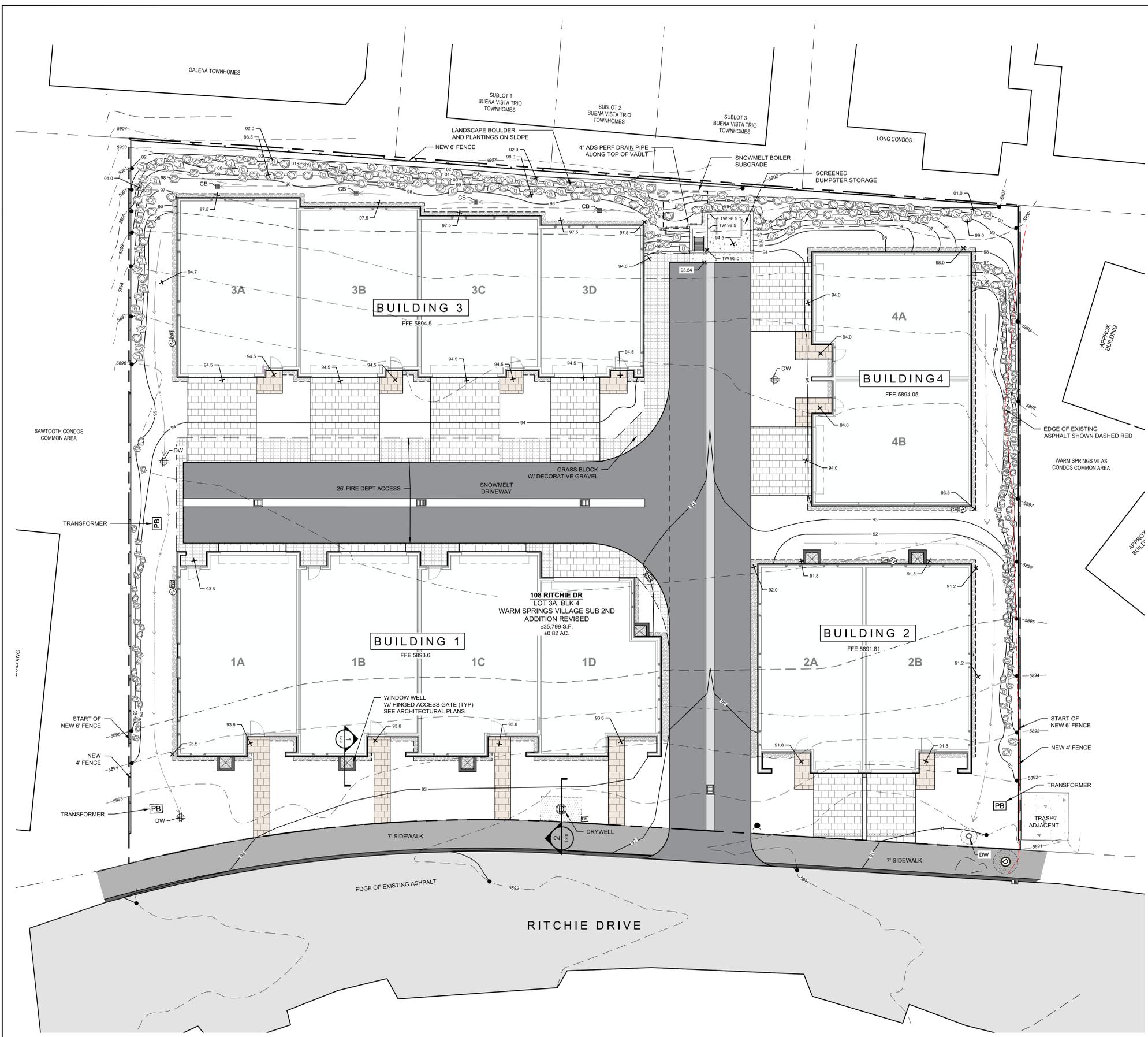
DESIGNED BY: SLS/MS  
 DRAWN BY: SLS/MS  
 CHECKED BY: MS  
 SURVEY DATE: 06/12/22

**GALENA-BENCHMARK**  
 ENGINEERING  
 Civil Engineers & Land Surveyors  
 100 Bell Drive  
 P.O. Box 733  
 Ketchum, ID 83340  
 (208) 726-9512  
 www.benchmark-associates.com

NO.	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR DESIGN REVIEW  
 C2.00

PROJECT INFORMATION  
 (G:\BNA\Warm Springs Village\2nd Addition, REVISED\Block 4\22081 Lot 3A, 108-110 Return Drawing\Construction\22081 CIVIL.dwg 08/04/22 2:04:47 PM)

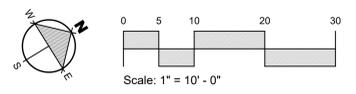
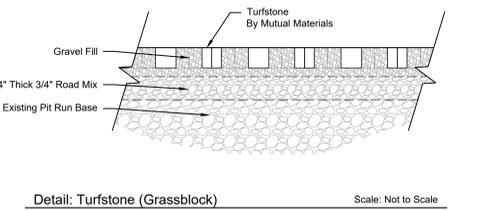
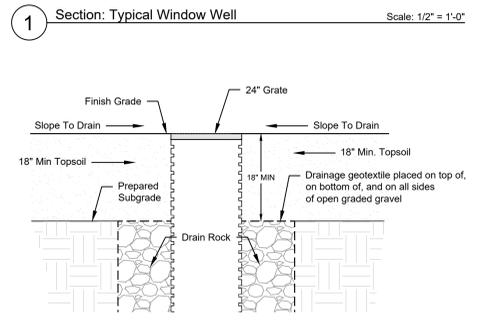
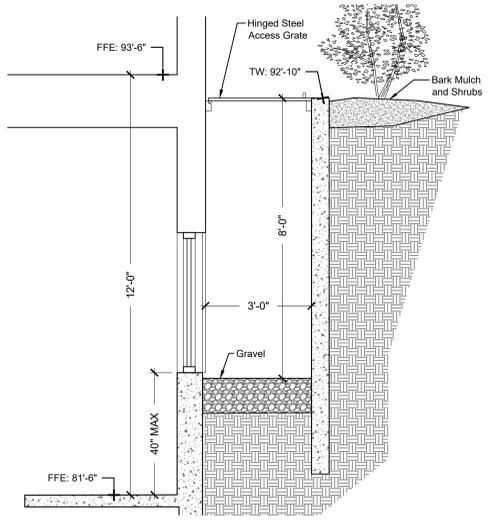


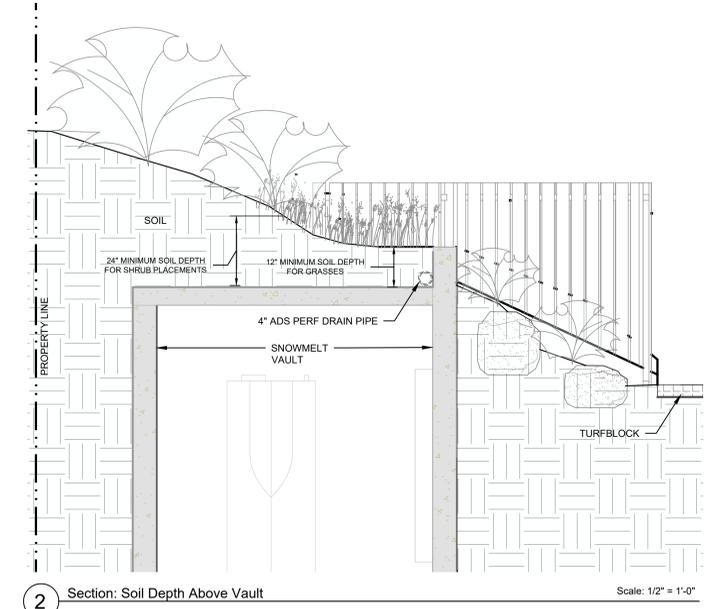
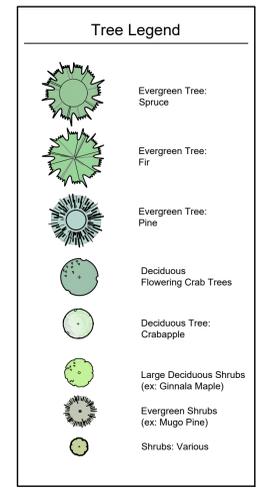
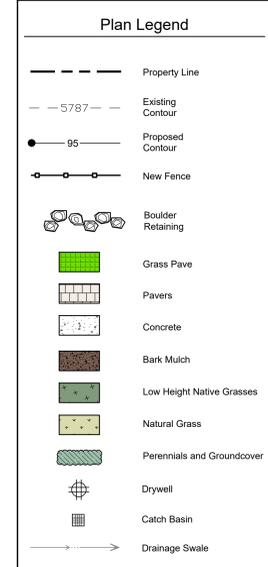
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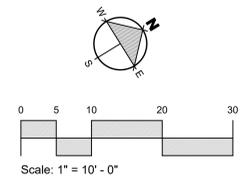
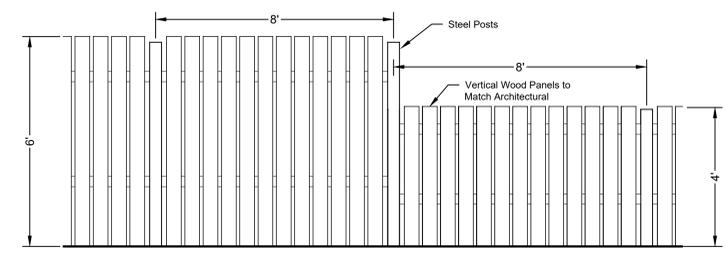
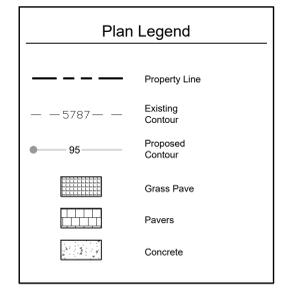
- Property Line
- Existing Contour
- Proposed Contour
- New Fence
- Boulder Retaining
- Grass Pave
- Pavers
- Concrete
- Gravel
- Lawn Grass
- Natural Grass
- Perennials and Groundcover
- Drywell
- Catch Basin
- Drainage Swale

**Grading Abbreviations**

- EL SPOT ELEVATION
- FFE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- HPS HIGH POINT OF SWALE
- TS TOP OF STAIR
- BS BOTTOM OF STAIR
- TW TOP OF WALL
- SW BOTTOM OF WALL
- DI DRAIN INLET ELEVATION
- DW DRYWELL RIM ELEVATION
- TC TOP OF CURB
- BC BOTTOM OF CURB
- FG FINISHED GRADE









Flowering Crab Trees (8 Feet Installation Height)



Fir Tree (6 - 8 Feet Installation Height)



Spruce Tree (6 - 8 Feet Installation Height)



Mugo Pine Tree (6 - 8 Feet Installation Height)



Streetside Example: Low Natural Grass (Scottish Links)

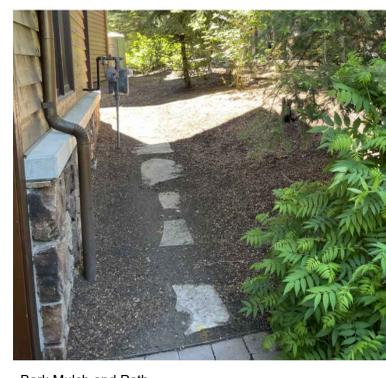
PLANT MATERIALS



STREET PLANTING EXAMPLES

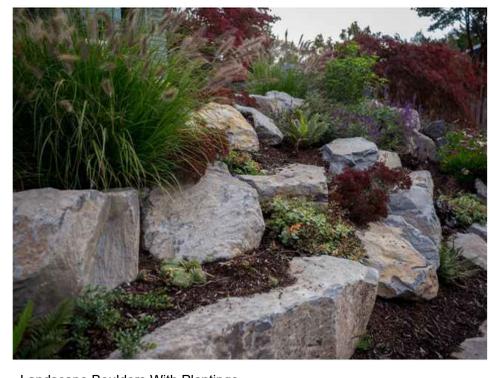


Transformer Screening



Bark Mulch and Path

HARDSCAPE MATERIALS



Landscape Boulders With Plantings

**Benefits of Belgard® Permeable Paving Stone Systems**

- On the US Environmental Protection Agency's (EPA) menu for structural Low Impact Development (LID) BMPs
- Can contribute toward several LEED NC-2009 points
- Reduces stormwater runoff by up to 100%
- Can be used to achieve total maximum daily load (TMDL) limits for a range of pollutants
- Certified SRI colors reduce heat island effect
- Can reduce or eliminate the need for traditional drainage and detention requirements, saving space and money
- Can be designed to accommodate all native soil types
- 50-year design life based on proven field performance

**Shape**  
 15 3/4" x 23 5/8" x 3 1/8"  
 (400mm x 600mm x 80mm)

**Laying Patterns**

Driveable Permeable Pavers / Filled with Decorative Gravel

108 & 110 Richie Drive  
 Lots 3 & 4  
 Warm Springs Village Subd.  
 Ketchum, Idaho

Job No: 23.31

Scale:

Issue/Revisions:	Date:
Concept Update	07/10/24
Design Review	11/06/24
DR Resubmission	03/14/25
DR Resubmission	06/23/25
DR Resubmission	07/17/25
DR Resubmission	08/04/25



Sheet Title:  
 Plant Materials

Sheet No:  
 L4.0









**DISCLAIMER:**

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This technical information is not intended to be used as final drawings or specifications and is provided only as an aid in architect's/engineer's development of the final Specification and is not intended as a substitute for sound architectural/engineering judgment. The architect/engineer shall be responsible to convert this technical information into a final Specification that meets the functional and aesthetic needs of its client, as well as complying with all applicable codes and local climate conditions.

PROJECT:  
**Warm Springs Snowmelt REV8**  
**Quote#061725DPMEQ**

CUSTOMER:

PROJECT NO.:  
**061725DPMEQ**

SCALE:  
**3/16"=1'**

DRAWING NAME:  
**Snow Melt**

DRAWN BY:  
**Dylan Meyer**

Created Using LoopCAD 2024 24.0.0696 (6/17/2025)

DATE:  
**6/17/2025**

**REVISIONS**

No	Desc	Date

REVISION No.	Description	Date
1	Design Review Resubmission	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER: 324050  
ISSUE DATE: 7/10/2024

ISSUE  
**DESIGN REVIEW APPLICATION**

SHEET TITLE  
**SNOW MELT SYSTEM LOOP**

SHEET NO.  
**M3.0**

TOWN STAMP



DISCIPLINE STAMP

**WARM SPRINGS TOWNHOMES**  
108 RITCHIE DRIVE  
KETCHUM, ID 83340



**1 FLOOR PLANS - LEVEL 1**  
3/16"=1'-0"

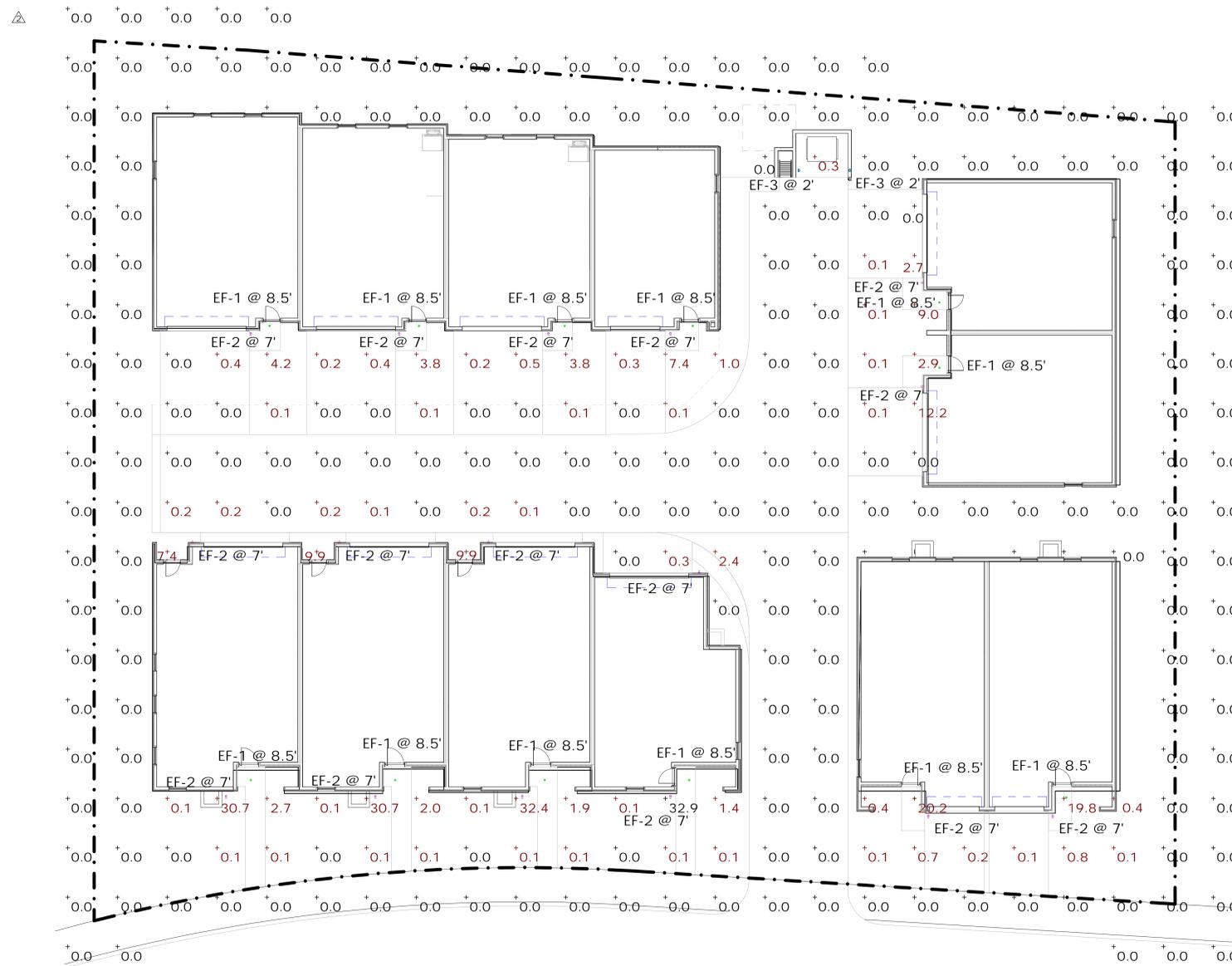
PAGE NO.

1



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
⊖	EF-1	12	WAC LIGHTING	R3CRDL-BK(N927)	Recessed-mounted Luminaires	R3CRDL-BK(N927).IES	1	842	13.5	
⊕	EF-2	16	WAC LIGHTING	DS-WS0622-F927A-WT	Surface-mounted Luminaires	DS-WS0622-F927A-WT.IES	1	2034	21.8545	
⊞	EF-3	2	WAC Lighting	WL-LED100-27-BK	LED Step light	WL-LED100-C-BK.IES	1	31	4	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	32.9 fc	0.0 fc	N/A	N/A



TOWN STAMP



PROFICIENT ENGINEERING  
4704 N. Harbor St. Suite 120  
Donner, California 94712  
707.779.3556  
PROJECT # 224028



DISCIPLINE STAMP

WARM SPRINGS  
TOWNHOMES  
108 RITCHIE DRIVE  
KETCHUM, ID 83340

REVISION	No.	Description	Date
	1	Design Review	11/5/2024
	2	Resubmission	3/14/2025
	3	Design Review	6/25/2025
		Resubmission	

PROJECT NUMBER 324050  
ISSUE DATE 7/10/2024

ISSUE  
DESIGN REVIEW APPLICATION

SHEET TITLE  
SITE PHOTOMETRIC

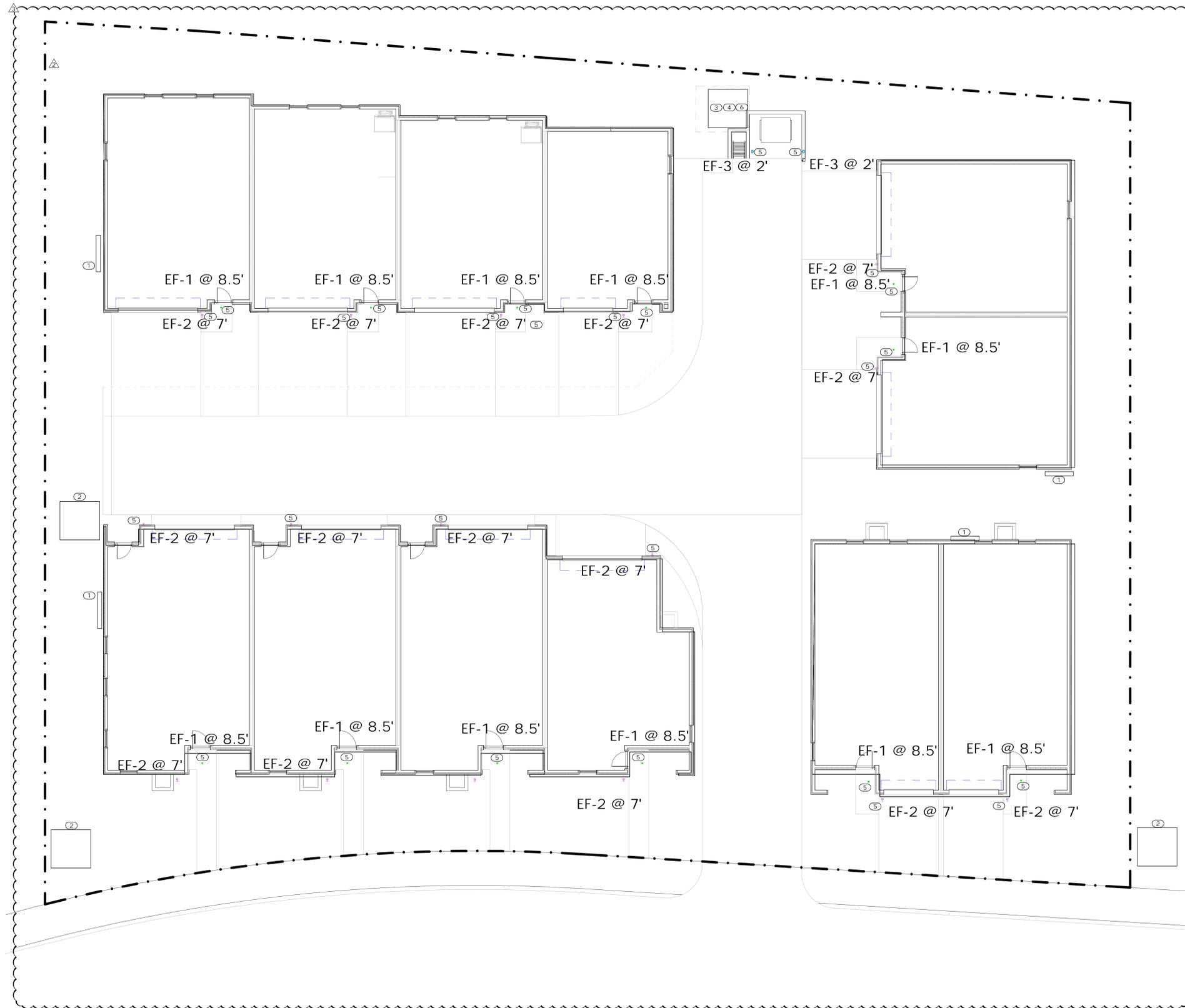
SHEET NO.  
E0.10

**GENERAL NOTES**

ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.

**KEYNOTES**

- ① PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- ② PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
- ③ PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- ④ PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- ⑤ PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINAIRE CONTROL TO EXTERIOR LUMINAIRE. CIRCUIT FROM TENANT PANEL.
- ⑥ PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.



TOWN STAMP



DISCIPLINE STAMP

**WARM SPRINGS  
TOWNHOMES**  
108 RITCHIE DRIVE  
KETCHUM, ID 83340

REVISION No.	Description	Date
1	Design Review	11/5/2024
2	Resubmission	3/14/2025
3	Design Review	6/25/2025
	Resubmission	

PROJECT NUMBER: 324050  
ISSUE DATE: 7/10/2024

ISSUE  
**DESIGN REVIEW APPLICATION**

SHEET TITLE  
**SITE PLAN**

SHEET NO.  
**E0.11**

**OCULARC 3.5**  
Adjustable Downlight - R3CRDT, R3CRDL

**WAC LIGHTING**  
Responsible Lighting®



Fixture Type: **EF-1**

Catalog Number: **R3CRDL-BK-N927**

Project: \_\_\_\_\_

Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**  
Ocularc 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trim.

- FEATURES**
- 3 beam angle options included.
  - Narrow flood beam film pre-installed, interchangeable flood beam film supplied, remove film for spot beam.
  - IC-Rated, Airtight, New Construction
  - Adjustable LED light engine included with housing.
  - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
  - Shallow housing under 4" depth
  - 5 year warranty

**SPECIFICATIONS**

**Construction:** Die-cast aluminum trim and heat sink

**Dimming:** 100% - 1% TRIAC, ELV 100% - 5% 0-10V

**Input Power:** 13.5W, 120V-277V 50/60Hz

**Light Source:** High output COB LED rated life of 50,000 hours.

**Mounting:** Retention clips firmly hold trim to housing. Cutout 4 1/4"

**Finish:** Powder coated white, enamel-coated haze.

**Ceiling Thickness:** 1" - 1 1/4"

**Standards:** UL & cUL, Wet location listed, Energy Star® 2.0

**Title 24 JAS-2016 Compliant**

**Operating Temperature:** -4°F to 104°F (-20°C to 40°C)

Trims (Order Housing Separately)	Model	Beam	Color Temp	Lumens	CRI	Finish
	<b>R3CRDT</b> Round Trim Downlight & Adjustable	Spot 16°	927 2700K	852	4989	
			935 3000K	920	5364	
			940 4000K	995	5472	
		Narrow Flood 36°	927 2700K	840	1463	<b>HZW</b> Haze/White
			930 3000K	905	1574	<b>WT</b> White
			935 3500K	920	1605	<b>BK</b> Black
	<b>R3CRDL</b> Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	852	4989	
			930 3000K	920	5364	
			940 4000K	995	5472	
		Spot 16°	927 2700K	840	1463	<b>HZ</b> Haze
			930 3000K	920	1605	<b>WT</b> White
			935 3500K	920	1605	<b>BK</b> Black

**R3CRD -** \_\_\_\_\_

Example: **R3CRDT-WT**

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585

Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050

Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122

Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

**OCULARC 3.5**  
Adjustable Downlight - R3CRDT, R3CRDL

**WAC LIGHTING**  
Responsible Lighting®

Housing (Required - Order separately from trims)	Model	Power	Color Temp
	<b>R3CRN-11</b> IC-Rated Airtight	13.5W	<b>927</b> 2700K
			<b>930</b> 3000K
			<b>935</b> 3500K
	<b>R3CHR-11</b> Non-IC Airtight	13.5W	<b>927</b> 2700K
			<b>930</b> 3000K
			<b>935</b> 3500K
	<b>R3CRL-11</b> Non-IC Airtight	13.5W	<b>935</b> 3500K
			<b>940</b> 4000K

**R3CR - 11 -** \_\_\_\_\_

Example: **R3CRN-11-R27**

- FEATURES**
- Adjustable LED light engine included with housing.
  - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
  - Trim or trimless with die-cast spigole frame included.
  - Accepts one optional honeycomb louver or optical lens.

**GLARE CONTROL ACCESSORIES** sold separately

**LENS-16 HCL** Honeycomb Louver

**LENS ACCESSORIES** sold separately

**AMB** Amber

**RED** Red

**FR** Frosted

**SPR** Sprayed

**BEL** Beams/Blurring

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585

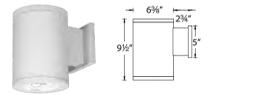
Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050

Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122

Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

**TUBE ARCHITECTURAL DS-WS06**  
LED Wall Mounts

**WAC LIGHTING**



Fixture Type: **EF-2**

Catalog Number: **DS-WS0622-F927A-WT**

Project: \_\_\_\_\_

Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**  
The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

- FEATURES**
- High performance exterior rated LED wall mount light
  - Fixture can install upside down to alter light distribution
  - Solid aluminum construction
  - 5 year warranty

**SPECIFICATIONS**

**Input:** Universal voltage 120V - 277VAC, 50/60Hz

**Dimming:** Electronic low voltage (ELV) 100% - 5% 0-10V, 100% - 1%

**Light Source:** High output 3 Step Mac Adam Ellipse COB

**Rated life:** 40,000 hours (L70)

**Finish:** Electrostatically powder coated, white, black, bronze and graphite

**Standards:** IP65 rated, ETL & cETL wet location listed, Energy Star® 2.2 rated Title 24 JAS-2016 Compliant -13°F to 122°F (-25°C to 50°C)

**Operating Temp:** \_\_\_\_\_

**ORDERING NUMBER**

Diameter	Watt	Beam Angle	Color Temp	CR	Reference Output Lumens	Efficacy (lm/w)	Light Distribution	Finish		
<b>DS-WS06</b> 6" 35W	Straight up or down	16°	<b>927S</b> 2700K	90	2820	18842	81		<b>BK</b> Black <b>WT</b> White <b>BZ</b> Bronze <b>GH</b> Graphite	
			<b>930S</b> 3000K	90	3185	20609	97			
			<b>935S</b> 3500K	85	3330	23632	101			
	Straight up or down	20°	<b>927N</b> 2700K	90	2800	7992	80			
			<b>930N</b> 3000K	90	3160	8390	96			
			<b>935N</b> 3500K	85	3310	10024	100			
	Straight up or down	38°	<b>927F</b> 2700K	90	2820	5451	81			
			<b>930F</b> 3000K	90	3190	5654	84			
			<b>935F</b> 3500K	85	3460	7917	104			
	<b>DS-WS0622</b> 6" 22W	Straight up or down	16°	<b>927S</b> 2700K	90	2820	18842	81		
				<b>930S</b> 3000K	90	3185	20609	97		
				<b>935S</b> 3500K	85	3330	23632	101		
Away from the wall		N/A	<b>927A</b> 2700K	85	3435	N/A	88			
			<b>930A</b> 3000K	90	3970	N/A	103			
			<b>935A</b> 3500K	85	3465	N/A	106			
Towards the wall		N/A	<b>927B</b> 2700K	90	2860	82				
			<b>930B</b> 3000K	90	3170	85				
			<b>935B</b> 3500K	85	3390	103				
Towards the wall		N/A	<b>927B</b> 2700K	85	3435	N/A	88			
			<b>930B</b> 3000K	90	3970	N/A	103			
			<b>935B</b> 3500K	85	3465	N/A	106			

**DS-WS06 -** \_\_\_\_\_

Example: **DS-WS06-F930A-WT**

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585

Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050

Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122

Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

**Model: WL-LED100**  
LEDme® Step Light

**WAC LIGHTING**  
Responsible Lighting®



Fixture Type: **EF-3**

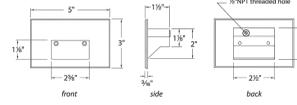
Catalog Number: **WL-LED100-27-BK**

Project: \_\_\_\_\_

Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**  
Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

- FEATURES**
- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
  - Direct wiring, no driver needed
  - Low profile, built to wall aesthetics with no visible hardware
  - 54,000 hour rated life
  - Balanced lighting, free of shadows with minimum glare
  - IP65 rated, Protected against high pressure water jets
  - Up to 300 fixtures can be connected in parallel
  - 5 year WAC Lighting product warranty



**SPECIFICATIONS**

**Construction:** Die-cast aluminum or 316 marine grade cast stainless steel

**Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC, 50/60Hz

**Light Source:** 2700K or 3000K CCT Samsung HW-AC High Power LED, CRI: 90

**Optional color lenses.** Total power consumption of 3.3W

**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3/4" x 2 1/4" x 1 1/4"

**Includes bracket for J-Box mount.**

**Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer

**Approved dimmers:** Lutron Nova T NTELV-300 & NTELV-600, Lutron Vista NTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

**Standards:** IP65, UL & cUL Listed for wet locations, Title 24 JAS-2016 Compliant.

**ORDER NUMBER**

120V Model #	Light Color	Finish	277V Model #	Light Color	Finish
<b>WL-LED100</b> 120V	<b>27</b> Warm 2700K	<b>BK</b> Black on Aluminum	<b>WL-LED100F</b> 277V	<b>C</b> White 3000K	<b>BK</b> Black on Aluminum
	<b>C</b> White 3000K	<b>BZ</b> Brushed Nickel on Aluminum		<b>AM</b> Amber 610nm	<b>BZ</b> Bronze on Aluminum
	<b>AM</b> Amber 610nm	<b>GH</b> Graphite on Aluminum		<b>RD</b> Red 640nm	<b>GH</b> Graphite on Aluminum
	<b>RD</b> Red 640nm	<b>SS</b> Stainless Steel		<b>BL</b> Blue 450nm	<b>SS</b> Stainless Steel
	<b>BL</b> Blue 450nm	<b>WT</b> White on Aluminum			<b>WT</b> White on Aluminum
<b>WL-LED100</b> 120V	<b>27</b> Warm 2700K	<b>BBR</b> Bronze on Brass			
	<b>C</b> White 3000K				
	<b>AM</b> Amber 610nm				

\*Brushed Nickel Finish is for interior use only

Example: **WL-LED100F-BL-SS**

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585

Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050

Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122

Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

TOWN STAMP



DISCIPLINE STAMP

**WARM SPRINGS**  
**TOWNHOMES**  
108 RITCHIE DRIVE  
KETCHUM, ID 83340

REVISION

No.	Description	Date
1	Design Review Resubmission	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER: 324050  
ISSUE DATE: 7/10/2024

DESIGN REVIEW APPLICATION

SHEET TITLE: SCHEDULES

SHEET NO.: E0.12





**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**

OWNER:  
**108-110 RITCHIE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:  
**RO | ROCKETT DESIGN**  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:  
**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:  
**PROFICIENT ENGINEERING**  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:  
**GALENA BENCHMARK ASSOCIATES**  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:  
**EGGERS ASSOCIATES**  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:  
**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

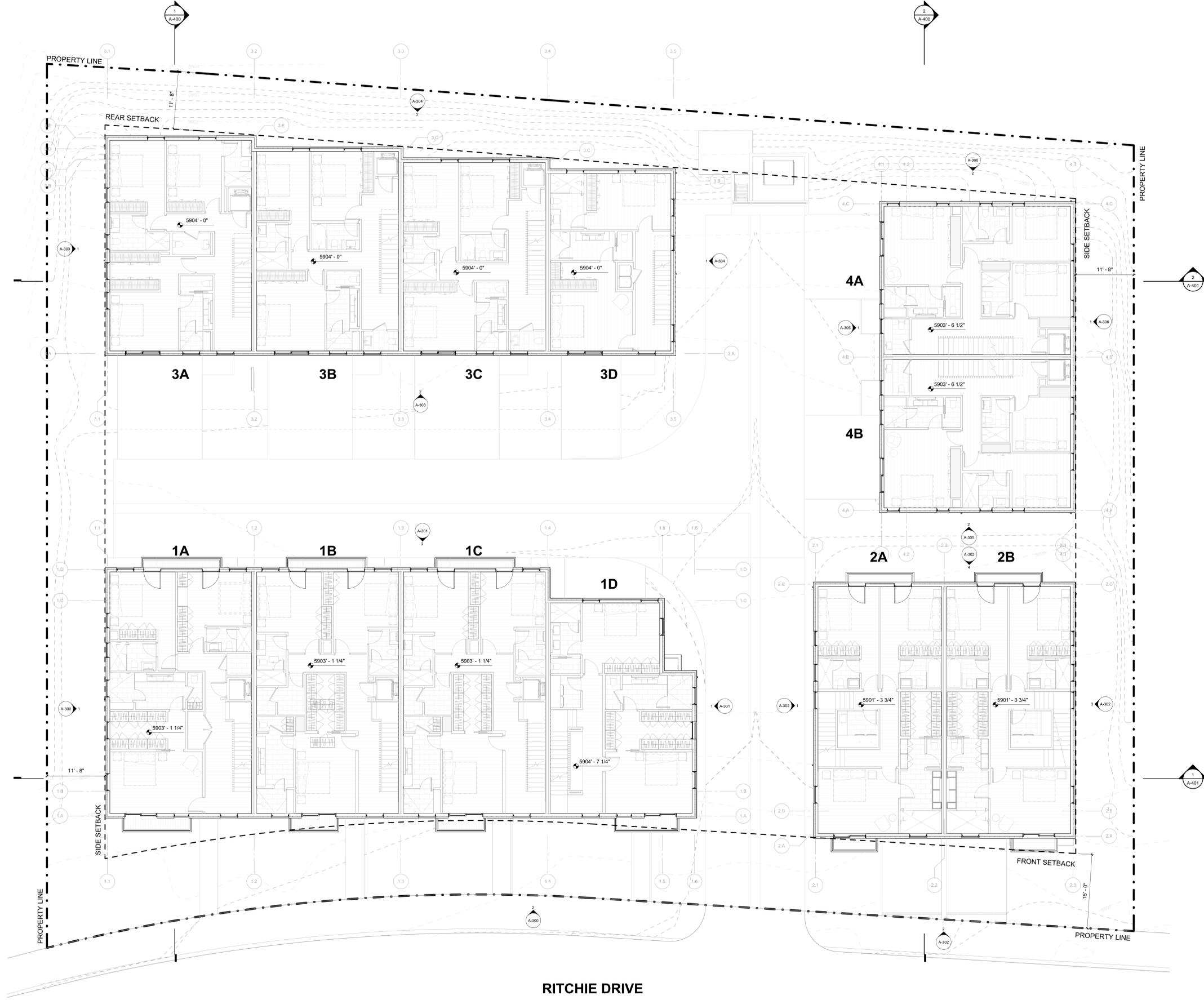
DRAWING TITLE:  
**LEVEL 02 OVERALL FLOOR PLAN**

SEAL:

PROJECT NUMBER:  
2305

DRAWING NUMBER:  
**A-102**

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**RITCHIE DRIVE**



















**WARM SPRINGS TOWNHOMES KETCHUM, ID**

OWNER:  
**108-110 RITCHEE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340  
 TEL: 603.801.0419

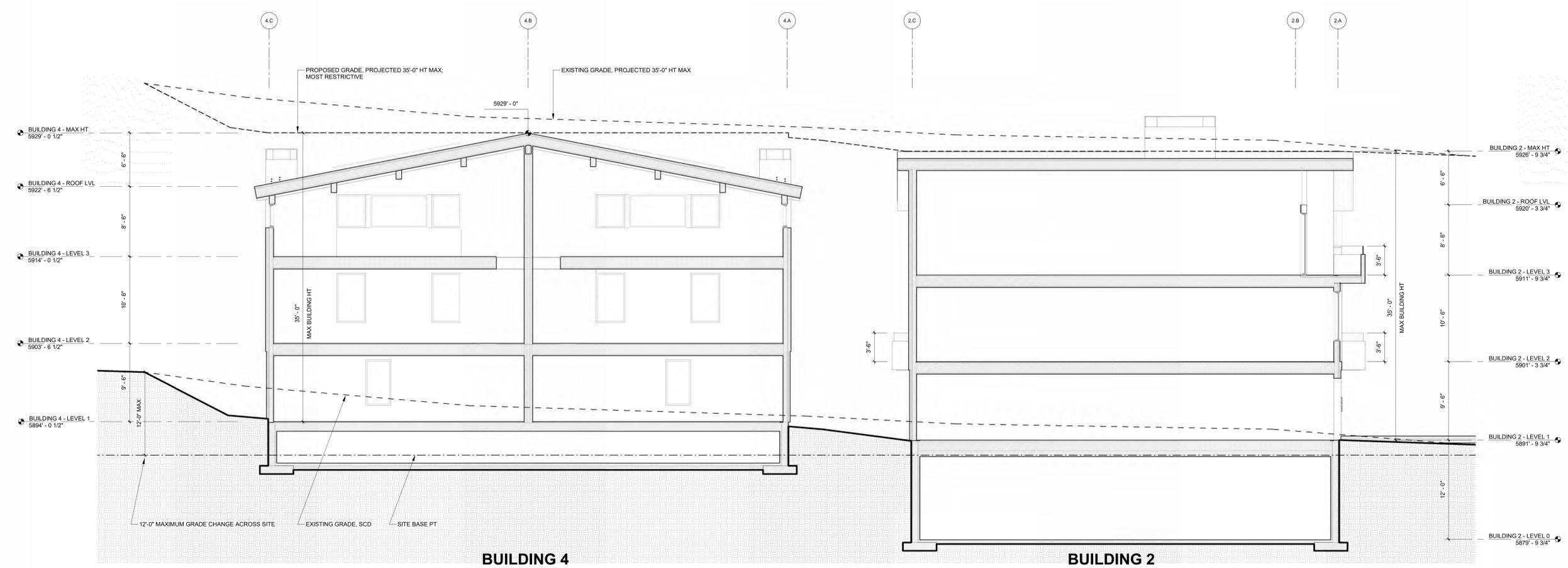
BUILDING ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD. UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

STRUCTURAL ENGINEER:  
**ZFA STRUCTURAL ENGINEERS**  
 601 MONTGOMERY STREET SUITE 1450  
 SAN FRANCISCO, CA 94111  
 TEL: 415.243.4091

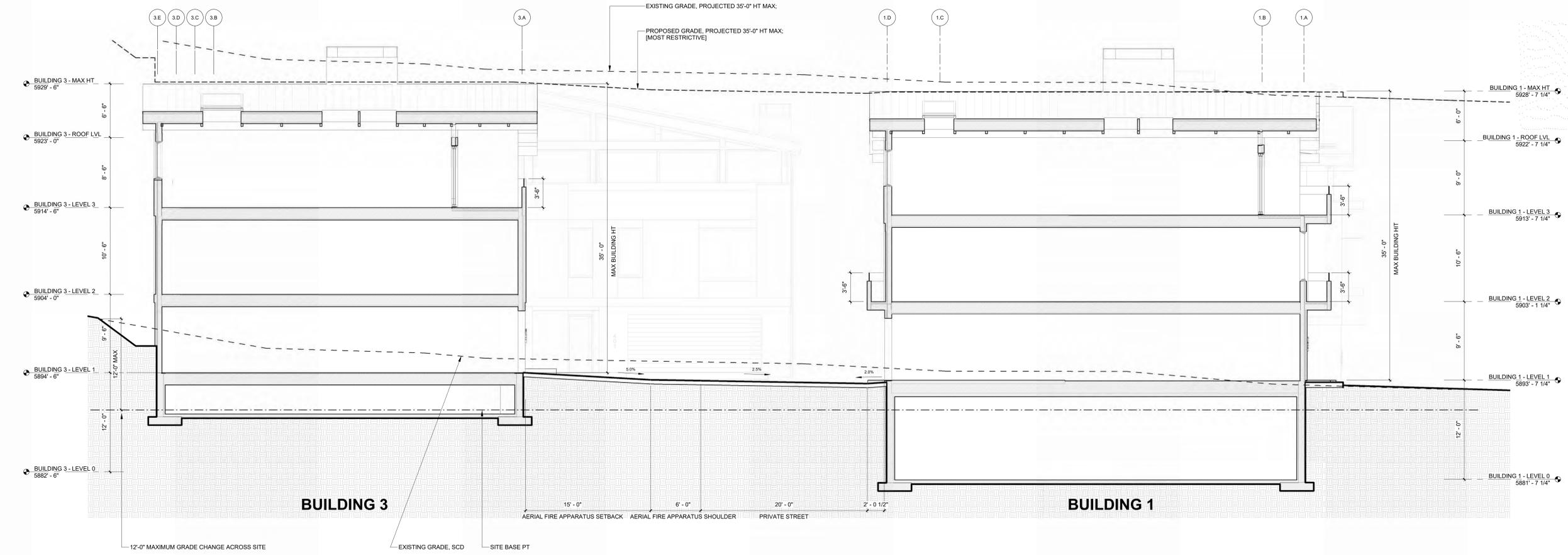
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LANDSCAPE ARCHITECT:  
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 560 NORTH 2ND AVENUE  
 KETCHUM, ID 83340  
 TEL: 208.725.0988



2 3/16" = 1'-0" BUILDING SECTION - EW B



1 3/16" = 1'-0" BUILDING SECTION - EW A

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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RO|ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.

PROJECT:  
**WARM SPRINGS TOWNHOMES KETCHUM, ID**  
 108 & 110 RITCHEE DR.  
 KETCHUM, IDAHO

DRAWING TITLE:  
**BUILDING SECTIONS**

SEAL:

PROJECT NUMBER:  
**2305**

DRAWING NUMBER:  
**A-400**

















City of Ketchum

## **ATTACHMENT C:**

# **Zoning and Dimensional Standards Analysis**



City of Ketchum  
Planning & Building

**PROJECT NAME:** Warm Springs Townhomes  
**DESIGN REVIEW FILE NUMBER:** P24-063  
**ADDRESS:** 108 Ritchie Dr.  
**ZONE DISTRICT:** T-3000

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Minimum Lot Area and Width</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> 8,000 square feet with minimum of 80-foot width</p> <p><b>Existing:</b> Per Sheet A-002 35,799 SF lot area – 5,897 SF of private road and fire lane area = 29,902 SF</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>FAR or Lot Coverage</b>
			<b>Staff Comments</b>	<p><b>Permitted FAR:</b> 0.5 <b>Permitted FAR with Community Housing:</b> 1.6</p> <p><b>Floor Area, Gross:</b> The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.</p> <p><b>Proposed:</b> Per Sheet A-000 Gross Square Footage – 41,003 SF Total Lot Area – 29,902 SF FAR – 1.37 FAR</p>

				<p>Community Housing Mitigation Calculation:          Permitted Gross Square Feet (0.5 FAR): 14,951 SF          Proposed Gross Square Feet: 41,003 SF          Increase Above Permitted FAR: 26,052 SF          20% of Increase: 5,210 SF          Net Livable (15% Reduction): 4,429 SF</p> <p>Fee In-Lieu Proposed: 4,429 SF x \$550/SF = \$2,453,950</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<p><b>Minimum Building Setbacks</b></p> <p><b>Staff Comments</b></p> <p><b>Permitted:</b>          Front (Ritchie/south): 15 feet          Side (west): The greater of 1 foot per 3 feet in building height, or 5 feet.          Side (east): The greater of 1 foot per 3 feet in building height, or 5 feet.          Rear (north): The greater of 1 foot per 3 feet of building height, or 10 feet.</p> <p>Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>Proposed Building Height: Per Sheets A-300 through A-306          Building 1 – 35 ft          Building 2 – 35 ft          Building 3 – 35ft</p>

				<p>Building 4 – 35ft *11.6 ft of setback required on sides and rear</p> <p><b>Proposed:</b> Per Sheet A-001 Front (Ritchie, south): 15 feet Side (west): 11 feet 8 inches Side (east): 11 feet 8 inches Rear (Alley/east): 11 feet 8 inches</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<p><b>Building Height</b></p> <p><b>Permitted:</b> 35 feet</p> <p><b>Proposed:</b> Per Sheets A-300 through A-306 Building 1 – 35 ft Building 2 – 35 ft Building 3 – 35ft Building 4 – 35ft</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.030H</b>	<p><b>Driveway</b></p> <p><b>Permitted:</b> Not less than 12 feet and not more than 35% of street frontage or 30 feet (whichever is less) unless otherwise approved by the City Engineer.</p> <p><b>Proposed:</b> Private roads curb cuts onto public roads are not subject to driveway width requirements. Building 2 has driveways directly onto Ritchie Dr which are 12 feet in width for a total of 24 feet. The total length of the property is approximately 219 ft. 35% of street frontage would be 77 ft, therefore the maximum width is 30 feet. A total of 24 feet is proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.040</b>	<p><b>Parking Spaces</b></p> <p><b>Required:</b> 1 space for units between 751 and 2,000 SF 2 spaces for units 2,001 SF and greater</p>
			<b>Staff Comments</b>	

				<p><b>Proposed: (per Page 11)</b>  12 units total  11 units over 2,001 SF = 22 parking spaces required  1 unit between 751 and 2,000 SF = 1 parking space required  Total spaces required: 23  Total Spaces provided: 23</p> <p><b>Bicycle Parking:</b>  Required: One bike rack (for two bikes) for every 4 required spaces. <math>23/4 = 6</math> (5.75) racks are required.  Proposed: None identified on the development plans, see condition of approval #6.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Open Site Area</b>
			<b>Staff Comments</b>	<p><b>Required:</b> 35% site area excluding buildings, structures, parking areas, driveways, cul-de-sacs or streets - A maximum of five percent open site area may be used for private decks or patios and walkways subject to design review approval.  <b>Required Open Site Area:</b>  12,523 SF (35%) total – of that total, a maximum of 626 SF can be private decks or patios and walkways</p> <p><b>Proposed: Per Sheet A-003</b>  Total Lot area: 35,799 SF  Total SF of Buildings, Streets, Driveways, and Dumpster = 23,091 SF  <math>35,799 \text{ SF} - 23,091 \text{ SF} = 12,708 \text{ SF} = 35\%</math>  Total proposed patios and walkways = 622.25 SF = &lt;5%</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.124.180</b>	<b>Minimum Residential Density</b>
			<b>Staff Comments</b>	<p><b>Required:</b> 4 residential units per 10,000 SF of lot area  Total Lot Area: 29,902 SF / 10,000 SF = 2.99  <math>2.99 \times 4 \text{ units} = 12 \text{ units}</math></p> <p><b>Proposed:</b> 12 Units</p>
X			<b>17.124.130</b>	<b>Fences/Hedges/Walls</b>

			<p><b>Staff Comments</b></p> <p><b>Required:</b> All retaining walls must meet the requirements of 17.124.130.E including:</p> <ul style="list-style-type: none"> <li>- Setback a minimum of one foot from property lines unless adjacent owner authorizes</li> <li>- All retaining structures four feet or more in height that are visible from public rights of way shall be constructed or faced with materials that reduce the apparent mass of the retaining structure</li> <li>- There is no maximum height limit in the Tourist 3000 zone district for retaining.</li> </ul> <p><b>Proposed:</b> Per sheets C1.0 and L2.0/L3.0, boulder retaining walls are proposed along the rear and side property lines to manage grade. The height of the retaining on the eastern side property line varies between 1-4 feet in height. The retaining proposed along the eastern property line is located more than 30 feet from the front lot line but is located within one foot of the property line (see condition #13). The western property line contains retaining that varies from 1-4 feet with the highest retaining toward the rear property line. The rear of the property includes retaining that varies from 4-6 feet with 7 ft retaining adjacent to the garbage and snow vault area. There is no maximum height limit in the Tourist 3000 zone district for retaining. As shown on sheet L4.0, all retaining walls are to be constructed with natural boulders and have plantings in between grade changes to soften the appearance.</p>
X		<b>17.132.030</b>	<p><b>Exterior Lighting</b></p>
			<p><b>Staff Comments</b></p> <p><b>Required:</b> All exterior lighting shall meet dark sky requirements including:</p> <ul style="list-style-type: none"> <li>- Maximum color temperature of 2700 Kelvins</li> <li>- Fixtures must be dark sky compliant and meet the definition of full cutoff fixture</li> <li>- Zero foot candles measured along all property lines</li> </ul> <p><b>Proposed:</b> Per Sheets E0.10, E0.11, and E0.12</p> <ul style="list-style-type: none"> <li>- The development shows zero-foot candles at all property lines</li> <li>- All proposed fixtures are full cut-off fixtures</li> <li>- All fixtures are factory equipped for 2700 Kelvins, see condition of approval #12</li> </ul>



City of Ketchum

# **ATTACHMENT D:**

# **Design Review Standards Analysis**



City of Ketchum  
Planning & Building

CONFORMANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #11
<p><b>Finding:</b> The proposed development accesses directly off of Ritchie Dr via a private road for the majority of the units, except the two units contained within Building 2. The two units in building two are access with private driveways directly off of Ritchie Dr. The City Engineer has conducted a review of the development plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #11. The developer is responsible for the cost of all improvements related to the development. No funds are supplied by the city for the development.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #11
<p><b>Finding:</b> As noted above, the development proposes a private street to access the development. The city engineer and the fire department have reviewed the proposed street layout and dimensions and have confirmed that the road is adequate to serve the residences and provide adequate access for fire and emergency vehicles. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #11.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p><b>Finding:</b> Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the T zone district, sidewalks are required and included in the development plans. Pursuant to KMC Section 12.04.030.M.6 the applicant has proposed to install a new 7-foot-wide sidewalk along Ritchie Dr.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
<b>Finding:</b> The applicant has proposed installing a new 7-foot-wide, concrete sidewalk along Ritchie Dr. The City Engineer and Streets Department have conducted a review of the development plans and believe the proposed right-of-way improvements comply with city standards. No waiver for sidewalk width was approved by the city engineer.	

17.96.060.B.3 - Sidewalks	Conformance
<p data-bbox="191 613 1230 655"><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <li data-bbox="256 688 1140 760">a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i></li> <li data-bbox="256 772 1205 919">b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></li> </ul>	N/A
<b>Finding:</b> N/A. Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
<b>Finding:</b> The proposed sidewalk improvements are equal to the length of the subject property's frontage along Ritchie Dr as shown on Sheet C1.00 of the development plans.	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES
<b>Finding:</b> Sidewalks adjacent to the subject property do not exist but are planned. To the north are the Warm Springs Vilas Condos, with the Sawtooth Condos to the south along Ritchie Dr. Neither condominium complexes have sidewalks, however, sidewalk improvements are included in the city's sidewalk plan for future construction by the city. Sidewalks do exist on the south side of Ritchie Dr between the subject property and Jane Lane. In addition, as shown on Sheet C1.00, individual walkways are planned for each unit along Ritchie Dr and from the private road to each unit.	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	<p>N/A</p>
<p><b>Finding:</b> N/A. The applicant has not requested relief from the requirement to construct sidewalks nor has the city granted any such request.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	<p>YES Condition #11</p>
<p><b>Finding:</b> As shown on Sheet C1.00, all stormwater from development surfaces are collected within a series of catch basins and drywells contained on the subject property. The private road is designed to ensure that all surface water from the road drains to catch basins into two on-site drywells. Additionally, there is a catch basin and drywell within the city right-of-way to manage drainage from the sidewalk and street.</p> <p>Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<p><i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i></p>	<p>YES Condition #11</p>
<p><b>Finding:</b> As shown on Sheet C1.00, the project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Ritchie Dr. In addition, drainage facilities are accounted for along the private road internal to the development. All drainage improvements are required to be constructed to comply with city standards. Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #11
<p><b>Finding:</b> The City Engineer has reviewed the preliminary drainage plans and determined that the proposed improvements are sufficient, however, a final review of all drainage improvements will be conducted during the building permit review stage. The City Engineer may require additional documentation to verify drainage improvement adequacy at that time. Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #11
<p><b>Finding:</b> The City Engineer and Streets Department have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p><b>Finding:</b> All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the development.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES Condition #7
<p><b>Finding:</b> The civil and landscape plans both show proposed locations of transformers to serve the development. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #7 states that the</p>	

development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	YES Condition #9
<p><b>Finding:</b> At the time of this application, it has not been determined if fiber optic services exist adjacent to the subject property. Condition of approval #9 states that prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p><b>Finding:</b> The materials palette is shown on Sheet A-500. All four buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for fascia and accents, and darker wood and metal accents for the roof, windows, and trim. The Warm Springs Base Area neighborhood consists of multi-family developments featuring warm brown of varying shades on wood siding being the predominant material. Developments adjacent to the proposed development have varying degrees of darkness in the brown they feature. Some developments include stone as an accent material in contrast to the predominant material of brown wood. The tone of the wood with the stone accent proposed for the development is complementary with the townscape, surrounding neighborhood and adjoining structures.</p>	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<p><b>Finding:</b> The subject property is vacant and does not contain a historical or cultural landmark on the city of Ketchum’s Historical Building/Site List, therefore this standard does not apply.</p>	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<b>Finding:</b> N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
<b>Finding:</b> As noted above, all buildings have access to the new 7-foot sidewalk along Ritchie Dr from individual walkways, driveways, or the private road. Each residential unit has a separate front door entrance from the garage that is oriented to the street.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by the use of architectural features.</i>	NO
<b>Finding:</b> The building character is consistent with many other single family condominium buildings in the neighborhood which include architectural features such as pitched roofs with exposed beam rafters, decks/windows that project and recess from the building façade, window detailing, and individual unit entrances, and material differentiation. Buildings 1 and 2 that front Ritche Dr. have a stronger use of architectural features than buildings 3 and 4. See the staff report for further discussion.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	NO
<b>Finding:</b> No signage is proposed with the development aside from addressing. The materials palette is shown on Sheet A-500. All four buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for facia and accents, and darker wood and metal accents for the roof, windows, and trim. The materials and color palette are continuous throughout the development.  However, the glass railing material at the top of the outdoor decks seems incongruous from the rest of the materials palette. See the staff report for further discussion on this item.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<b>Finding:</b> The development proposes a perimeter fence along three sides of the subject property. Fence materials and details are shown on Sheet A-005. The fencing material is a wood slat that matches the wood siding proposed on the buildings with metal structure that matches the metal detailing color of the windows/trim. The development also proposes	

natural boulder retaining walls with plantings between along the rear property line to manage grade changes. Natural boulder walls are complementary to the building and the overall landscape plan for the development.

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	NO
<p><b>Finding:</b> There are four buildings within the proposed development, each one with certain aspects of the building visible from public vantage points. Elevations of the buildings are included in Sheets A-300 through A-306. Perspectives from the street are provided on Sheets A-500 through A-505. Buildings 1 and 2 front Ritchie Dr. These elevations have pitched roofs with modest overhangs that do not extend past the cantilevered decks below. The roof detailing also includes exposed beams which is a common architectural feature in the area that softens any sharpness created by the roof overhang. The cantilevered decks, although repetitive along the façade, occur at a separation that accentuates the individual units. The glazing of the second floor is appropriate for the scale of the façade. There are recessions on the ground floor for entrances which also create interest at the street level.</p> <p>However, the side elevations of all 4 buildings and the front elevations of Buildings 3 and 4 lack undulation and relief. See the staff report for further discussion.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p><b>Finding:</b> The development has street frontage along Ritchie Dr. and internal along the private road. For buildings 1 and 2 that front Ritchie, the buildings are designed with front door entrances directly from the street with individual walkways from the pedestrian sidewalk to the front doors. Similar treatments are proposed with Buildings 3 and 4 that front the internal private road. The buildings are designed with front door entrances from the street, in addition to garage entrances. Additionally, outdoor spaces such as decks and patios are oriented toward Ritchie Dr and the private road.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p><b>Finding:</b> The subject property is not accessed by an alley. However, as shown on the development plans, there is a consolidated dumpster that serves all 12 of the units. The garbage dumpster is enclosed and located at the rear of the property between buildings 3 and 4. Details of the garbage enclosure can be found on Sheets A-005. No satellite receivers are proposed.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES

**Finding:** Sheet A-104 of the development plans shows the roof plan for the development. As shown, two rows of snow fencing is called for on all roofs with gutters and downspouts at all roof eaves to manage roof drainage. None of the roofs or projected decks overhang onto sidewalks where pedestrians gather and setback requirements are adequate for the accumulation of snow if and when roofs need to be cleared during the winter.

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES

**Finding:** There are no equestrian access points or trail easements adjacent to the property. The Warm Springs regional bike path is accessed by taking Ritchie Dr. to Skiway Dr and on to Warm Springs Rd. As noted above, there are no pedestrian sidewalks to the north or south constructed. However, these improvements are planned for in the city’s sidewalk plan and there is a sidewalk that exists on the south side of Ritchie Dr between the subject property and Jane Lane.

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A

**Finding:** N/A. No awnings are proposed to extend over the property line.

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES

**Finding:** Access to the project is provided along Ritchie Dr for vehicles, bicycles, and pedestrians. Vehicular access onto Ritchie Dr. is consolidated on the private road and two private driveways. Front setbacks allow for adequate site distance for vehicles and bicycles exiting the development from the private road. Pedestrians walking to the Warm Springs base area will cross Ritchie Dr. to the south side to access sidewalks into the base area.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
<p><b>Finding:</b> The city engineer reviewed the driveway entrances in relationship to the private road access to the overall development and determined that the 20 feet minimum distance does not apply as the private road functions more like a private driveway with access to only this development, rather than a residential street which serves residences along the street and through traffic from other origins and destinations. Because parking is not permitted within the driveways, site visibility requirements are met and congestion concerns do not exist due to traffic volumes on Ritchie Dr.</p>	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES Condition #8
<p><b>Finding:</b> Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Ritchie Dr and the private road serving the development. The private road and driveways are snow melted to ensure adequate access during winter months. Condition of approval #8 addresses snow removal in the grass-crete areas to ensure that access for fire and emergency services remain unobstructed during winter months.</p>	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES Condition #8
<p><b>Finding:</b> As shown in the snowmelt diagram on Sheet A-004. The private road, driveways, and walkways are proposed to be snow melted. Therefore, no snow storage is required for those elements. There is 638 SF of grass-crete, or grass block and gravel that is required space for fire and emergency service vehicles. This area will remain open and unobstructed during the summer months, however, the grass-crete area is not snow-melted. The development proposes to hand shovel those areas to ensure they remain unobstructed. The snow storage areas for this snow is shown as being landscaped with trees and shrubs. Due to the size of the grass-crete areas, the proposed snow storage should be adequate. Condition of approval #8 states that the grass-crete areas shall remain clear of snow at all times. In the event snow cannot be accommodated by designated snow storage areas, snow shall be hauled off site to ensure unobstructed access for fire and emergency vehicles.</p>	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES Condition #8
<b>Finding:</b> On-site snow storage areas are designated on Sheet A-004. Should the snow storage areas prove to be inadequate during large snow years, snow shall be hauled off-site per condition of approval #8.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
<b>Finding:</b> As shown on Sheet A-004, the smallest snow storage area is 7.5 ft x 7.5 ft (56 square feet). All other snow storage areas are larger in size. All snow storage areas meet the minimum requirements of this standard.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #8
<b>Finding:</b> As noted above, all areas are proposed to be snow melted except the grass-crete areas. Per condition of approval #8, snow shall be hauled off-site if proposed snow storage areas are inadequate.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
<b>Finding:</b> The development project has a comprehensive landscape plan proposed with internal and external landscaping. See Sheets L3.0, L3.2, L4.0 for the landscape plan, planting plan, and sample species.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<b>Finding:</b> The landscape plan for the development implements many species and planting patterns consistent with the neighborhood. The Warm Springs Base Area is known for having large mature deciduous and evergreen trees fronting streets with attached and detached sidewalks. The proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received	

during the Pre-Application Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is predominantly shrubs with a few sparse trees. All proposed species are readily adaptable to the Ketchum climate and are found throughout the Warm Springs Base Area.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES Condition #5
<p><b>Finding:</b> The planting plan proposed for the development includes general species labels of moderately and somewhat drought tolerant species. However, not all species are noted as drought tolerant. Condition #5 outlines a requirement for all species to be a minimum of moderately drought tolerant and that a final planting plan with detailed plant list shall be provided for review and approval by the Planning Department prior to building permit issuance.</p>	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<p><b>Finding:</b> As noted above, The proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received during the PreApplication Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is predominantly shrubs with a few sparse trees. Public courtyards are not included in the development as the interior of the development is accessible by a private road, not public. However, there are small pockets of programmed landscaping between buildings.</p>	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
<p><b>Finding:</b> Sidewalks are required for the development; however, public amenities are not necessary for the development as the development is not located near the base area or along a frequently traveled pedestrian pathway that would warrant the addition of benches, trash</p>	

receptacles, kiosks or bus shelters. In addition, there are no bus stops adjacent to the development. Should the city choose to install public amenities in the future as part of the comprehensive sidewalk plan, the 7-foot sidewalk would have some space for certain improvements.

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	YES

**Finding:** The development plans include one below grade encroachment, the snow melt vault on the north end of the property adjacent to the garbage enclosure. As shown on Sheet A-003, the enclosure is within the rear setback of the development. As shown on Sheet A-005, the portion of the vault within the setback is completed below grade. The landscape plan on Sheet L3.0 shows the minimum depth of soil for landscape cover of the vault. The below grade encroachment meets the requirements outlined in KMC 17.128.020.K as there is no riparian setback, the construction does not encroach onto adjacent properties, there are no conflicting easements or sensitive areas, and it is located completely below grade. Finally, the below grade encroachment is located deep enough to allow for landscaping above the encroachment that is consistent and compatible with the rest of the development’s proposed landscaping. The city engineer has reviewed the below grade encroachment and verified that there are no impediments to proper drainage with the encroachment. The snow melt vault does have a portion that is open air with ladder access to the boiler room. The development proposed to snow melt the floor of the vault to ensure proper drainage and to maintain adequate access to the system during winter months.

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
<b>Finding:</b> N/A. The subject property is not adjacent to a river or other water body, therefore no riparian setback exists.	