



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF SEPTEMBER 9, 2025

PROJECT: Warm Springs Townhomes

FILE NUMBER: P24-063

APPLICATION: Design Review

PROPERTY OWNER: 108-110 Ritchie LLC (Presidio Vista Properties – Shane McGrath)

ARCHITECT: Ro Rockett Design, LLC – Zac Rockett (architect)

LOCATION: 108 Ritchie Dr
(Warm Springs Village Subdivision 2nd Revision Lot 3A Blk 4)

ZONING: Tourist 3000 - (T-3000)

OVERLAY: None

REVIEWER: Morgan Landers, AICP – Director of Planning and Building

NOTICE: A public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on August 20, 2025. The notice was published in the Idaho Mountain Express on August 20, 2025. A notice was posted on the project site on September 2, 2025, and the city's website on August 19, 2025.

EXECUTIVE SUMMARY

The applicant has submitted a Design Review application for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the “subject property”). The subject property is zoned Tourist 3000 (T-3000) and is vacant (See Figure 1). The development proposes to utilize the city's density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. 11 of the townhouse units range in size from approximately 2,500 SF to 4,400 SF with the twelfth unit being approximately 1,900 SF. The units within the development would be accessed by a private

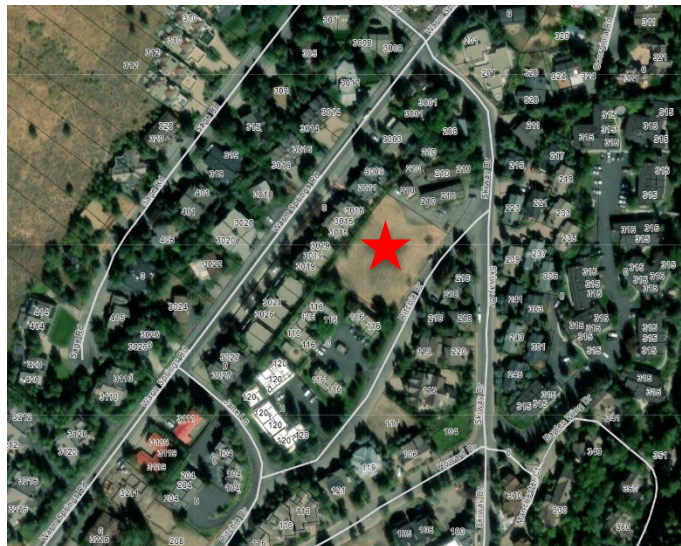


Figure 1: Subject Property

road entering from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment B.

The project is subject to Design Review pursuant to Ketchum Municipal Code §17.96 as the property is a new multi-family development. A pre-application design review meeting was held with the Commission on April 23, 2024. [CLICK HERE](#) to listen to the recording of that meeting. Feedback from the Commission and staff has been incorporated into the development, resulting in substantial changes to the exterior design of the development. All city departments have completed their review of the development. At this time, all technical items have been resolved through corrections in the project plans and potential conditions of approval. However, planning staff does believe additional review and discussion on key architectural design review criteria is warranted prior to approval. See below for discussion of these items. Additionally, Attachment C includes the review of zoning compliance with dimensional standards, parking, and dark skies. Attachment D includes the review of all applicable design review criteria. No Public comments have been received prior to packet publication.

BACKGROUND

The subject property was previously two vacant lots. Prior to the adoption of Interim Ordinance 1234, an application was filed with the city to consolidate the lots (P22-027). The consolidation of the lots was approved on July 18, 2022 by the Ketchum City Council.

The Planning and Building Department received a Pre-Application Design Review application on November 17, 2023 and a public meeting with the Commission was held on April 23, 2024. At the pre-application meeting, the Commission provided a variety of feedback on the design of the project. An overview of that feedback can be found below in the design review criteria section of the staff report.

The Planning and Building Department received the Design Review application on July 22, 2024 and conducted multiple rounds of review to address comments, most specifically related to exterior design of the buildings.

Analysis

Per KMC 17.96.050.A Criteria. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & 2

The 2014 Comprehensive Plan designates the subject property's future land use as "Medium Density Residential". Appropriate uses in this designation include single-family, duplexes, and other attached-unit types such as townhouses. The plan also states that multi-family housing is appropriate in many locations. The proposed development includes two multi-family buildings (Buildings 1 and 3) and two duplex units (Buildings 2 and 4). Staff believes the proposed development meets the intent of the future land use designation as proposed.

Chapter 4 of the comprehensive plan, Community Design and Neighborhoods, states that “Infill and development projects should be contextually appropriate to the neighborhood and development in which they will occur” (Policy CD-1.3). The plan also states that “Each new project should be well-designed and attractive and should complement surrounding land uses and existing neighborhood character” (Policy CD-1.4). The surrounding Warm Springs neighborhood is characterized by a variety of two- and three-story multi-family and duplex developments. Figure 2 shows the subject property highlighted in yellow and surrounding properties. The surrounding properties have an outline of the buildings. Where no building is shown, the property is either vacant or has a single-family residence. As shown in the image, most of the surrounding properties have a similar development pattern as the proposed development.



Figure 2: Surrounding Neighborhood Development

Staff believes that the type of development proposed is appropriate for the neighborhood, however, staff does believe that the design of the development should be further considered. Following the pre-application design review meeting and first round of comments from staff on the final design review, the applicant made substantial changes to the exterior design of the building. Staff believes these changes have dramatically improved the compatibility of the development; however, staff does have further comments on the undulation/relief of certain facades, glass railing details on decks, and window detailing. See discussion below for additional discussion.

Criteria 3: Zoning and Design Review Standards

Zoning and Dimensional Standards

Staff reviewed the application for applicable zoning and dimensional standards including setbacks, building height, open site area, floor area ratio, parking, dark skies, and other applicable requirements. A full review of zoning and dimensional standards can be found in Attachment C. As proposed, the development meets most of the zoning requirements. Two items were missed by staff during the department review related to bicycle parking and retaining walls. These items are addressed through conditions of approval 6 and 13 and will be verified for compliance at the time of building permit review.

As noted above, the applicant is utilizing the FAR density bonus program. The base FAR permitted in the T-3000 zone district is 0.5, but can be increased to 1.6 with community housing mitigation. The proposed development has an FAR of 1.37 as shown on Sheets A-000 and A-002 of the application materials. The applicant has elected to pay a fee in-lieu of community housing for their mitigation and will be required to pay approximately \$2.4 million in housing in-lieu fees. The detailed calculation of the fee can be found in Attachment C.

Design Review Criteria

As noted above, the Planning and Zoning Commission provided a variety of feedback items to the applicant during the pre-application meeting. In general, that feedback included concerns related to:

- Deck railing transparency and amount of glazing proposed
- Monochromatic color palette and contrast of materials
- Size/scale/mass of the buildings – specifically the length of the larger buildings along Ritchie Dr.
- Incongruous proportions of the structures
- Material orientation – the design proposed mostly vertical siding orientation and other vertical architectural elements

Following the pre-application meeting and first round of review from departments, the applicant team elected to take a different approach to the design of the buildings. See figures below for the initial development proposed at the pre-application meeting compared to the proposed development today.

View from Ritchie Dr.



Figure 3: Initial Application



Figure 4: Current Proposal

View of the Rear



Figure 5: Initial Application



Figure 6: Current Proposal

View from South/West



Figure 7: Initial Proposal



Figure 8: Current Proposal

View from North/East



Figure 99: Initial Proposal



Figure 10: Current Proposal

Overall, staff believes the current proposal is significantly more compatible with the surrounding neighborhood. The color palette, the roof detailing, and the landscape plan address many of the Commission's early concerns. However, staff believe there are still items worth discussing prior to approval of the development.

Bulk/Mass/Flatness

The Ketchum design review criteria address the bulk and mass of buildings through a few different criteria. Staff believe there are two that directly speak to this development:

- KMC 17.96.060.F.5 - *Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.*
- KMC 17.96.060.F.2 - *The building character shall be clearly defined by the use of architectural features.*

The current proposal takes care in ensuring that the street frontage of the development is well articulated and detailed to enhance the streetscape. The initial proposal contained a significant number of vertical elements that elongated and enhanced the size of the structures along the street. The current proposal relies on horizontal elements, such as the cantilevered decks, which reduces the perceived size of the structures. Unfortunately, that same level of detailing does not translate to the other exterior facades of the development that will be visible from public view. More specifically, the south/west and north/east facades (see Figures 7 through 10 above).

Staff believe these facades to be quite flat and lack architectural features that provide interest and relief from the flat appearance of the structures. It is clear the applicant is drawing inspiration from historic mining structures that often feature tall narrow windows in a repetitive pattern. However, the recessed nature of the windows with minimal trim contributes to the flat nature of the elevations. Staff believe the addition of some key architectural features could assist in adding interest to these elevations. Additionally, the Commission commented on the front façade of Building 3 (see Figures 7 and 8) noting that interior buildings should have similar consideration as the others. Staff agrees that continuity throughout the development is critical and also understands the varying degree of architectural detailing between interior and exterior facing facades. Some considerations for Building 3 may be the reduction of the roof overhang so it is no longer flush with the first and second levels of the building. The applicant could also consider some window trim options to add interest to the facades.

Materials

The Commission provided feedback during the pre-application design review related to the monochromatic color palette and transparency of the decks. As shown in the project plans, the color palette has been adjusted dramatically to a darker and richer brown. Staff believe this color choice is much more compatible with the surrounding structures and allows the buildings to recess into the landscape more. The applicant has also changed the railings along the decks from glass to solid, with a small glass railing on top. KMC 17.96.060.F.3 states *“There shall be continuity of materials, colors and signing within the project”*. Staff believe there is continuity of materials and colors within the project with the exception of the glass railing. Staff recommends the consideration of a metal railing detail rather than the glass railing proposed. See figures below that identify the glass railing currently proposed.



Utilities

The civil and landscape plans both show proposed locations of transformers to serve the development. KMC 17.96.060.D.2 states *“Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view”*. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #7 states that the development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.

Staff Recommendation

Staff recommends the Commission review the Design Review Application and provide direction on items outlined above in the staff report. Following direction, the Commission has the following options:

- Continue the application to a date certain or uncertain with a request for revisions or more information.
- Approve the application with conditions
- Deny the application

If the Commission chooses to move forward with approving the application as presented or revised, staff recommend the following conditions of approval be considered. The Commission may delete, revise, or add to the conditions of approval based on the discussion.

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated September 9, 2025 and the information presented and approved at the September 9, 2025 Planning and Zoning Commission included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR pursuant to KMC 17.124.040, a total community housing contribution of 4,429 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize how the community housing contribution will be met shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.
4. For driveways less than 18 feet in length, "No Parking" signs shall be installed on or adjacent to every driveway prior to certificate of occupancy for each building.
5. A final landscape plan shall be provided for review and approval prior to building permit issuance. Said landscaping plan shall provide a detailed plan list showing the drought tolerance level of each proposed species. Species must be a minimum of "moderately" drought tolerant, "highly" drought tolerant is preferred.
6. Pursuant to KMC 17.125.060, the development shall provide a minimum of 6 bicycle racks, each serving two bicycles. The location and design shall be submitted, reviewed, and approved by the Planning Department prior to issuance of the first building permit.
7. The development shall utilize internal transformer locations for the development first. Street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view. Final transformer locations and screening proposals shall be reviewed and approved by the Planning Department prior to installation.
8. The grass-crete areas shown in Exhibit A shall always remain clear of snow. In the event snow storage cannot be accommodated by designated snow storage areas, snow shall be hauled off site to always ensure unobstructed access for fire and emergency vehicles.
9. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.

10. A preliminary plat application shall be submitted prior to building permit issuance. If the development is to be constructed in multiple phases, the preliminary plat application must include a request for a phased development agreement per KMC 16.04.110.
11. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
12. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
13. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
14. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Attachments:

- A. Application and Supplemental Materials
- B. Project Plans
- C. Zoning and Dimensional Standards Analysis
- D. Design Review Standards Analysis



City of Ketchum

ATTACHMENT A:

Application and Supplemental Documents



City of Ketchum
Planning & Building

Design Review Application

OFFICIAL USE ONLY

File Number: P24-063

Date Received: 7/22/24

By: GB

Pre-Application Fee Paid:

Design Review Fee Paid: \$3,900

By:

Submit completed application and documentation to planningandbuilding@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION

Project Name: Warm Springs Townhomes	Phone: 603-801-0419
Owner: 108-110 Ritchie, LLC	Mailing Address: PO BOX 14001-174, Ketchum, ID 83340
Email: hank@presidiovistaproperties.com	
Architect/Representative: 359 Design, LLC	Phone: (303)884-9131
Email: whentschel@359design.co	Mailing Address: 3459 Ringsby Court, Denver, CO 80211
Architect License Number: 2465	
Engineer of Record: Benchmark Associates	Phone: (208)726-9512
Email: phoebe@galena-benchmark.com	Mailing Address: 100 Bell Drive, Ketchum, ID 83340
Engineer License Number: 17661	
Primary Contact Name and Phone Number: Hank Moore, 603-801-0419	

PROJECT INFORMATION

Legal Land Description: Lot 3&4 Blk 4 Warm Springs Subdivision		Street Address: 108 Ritchie Drive		
Lot Area (Square Feet): 35,799 sqft.	Zoning District: T-3000	RPK #:		
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain	<input checked="" type="checkbox"/> None
Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel	<input type="checkbox"/> Other
Anticipated Use: Residential	Number of Residential Units: 12			

GROSS FLOOR AREA

	Proposed	Existing
Basements	0 Sq. Ft.	Sq. Ft.
1 st Floor	15,110 Sq. Ft.	Sq. Ft.
2 nd Floor	13,370 Sq. Ft.	Sq. Ft.
3 rd Floor	12,743 Sq. Ft.	Sq. Ft.
Mezzanine	0 Sq. Ft.	Sq. Ft.
Total	41,223 Sq. Ft.	Sq. Ft.

FLOOR AREA RATIO

Community Core:	Tourist:	General Residential-High: 1.375
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BUILDING COVERAGE/OPEN SPACE

Percent of Building Coverage: 65%

DIMENSIONAL STANDARDS/PROPOSED SETBACKS

Front: 15'	Side: 10' - 11'8"	Side: 10' - 11'8"	Rear: 10' - 11'8"
Building Height: 35'			


OFF STREET PARKING

Parking Spaces Provided: 23	Curb Cut: 20' Sq. Ft.	% 9- % of curb cut % to street frontage
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WATER SYSTEM

<input checked="" type="checkbox"/> Municipal Service	<input type="checkbox"/> Ketchum Spring Water
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The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Hank Moore
Signature of Owner/Representative

7/17/24
Date



Outlook

Will Serve Email

From Bennett, Cheryl <CBennett2@idahopower.com>

Date Fri 5/17/2024 11:27 AM

To Hank Moore <hank@presidiovistaproperties.com>

Cc Erik de Bruijn <erik@presidiovistaproperties.com>

Hank and Erik,

You can provide this email to the city of Ketchum for your application:

I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments.



CONCEPT PLAN - NOT F

WARM SPRINGS TOWNHOMES

Pre-Design Review Presentation \ April 23, 2024

Cheryl Bennett

Senior Distribution Designer

Idaho Power | COBD

Office 208-788-8058 | Mobile 208-721-8822
11831 Highway 75 | Hailey, ID | 83333

IDAHO POWER LEGAL DISCLAIMER

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C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

June 14, 2024

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340

Via email:

Re: 108 Richie Drive

To whom It May Concern,

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

Conditions that will need to be maintained:

- Snow and Ice removal to and inside of the enclosure
- Access to the enclosure and the turn around area for egress
- Gates maintained in working order

Multiple pickup days may be necessary to accommodate the amount of waste generated depending on type(s) of occupancy.

Respectfully,



Mike Goitiandia
Clear Creek Disposal

.108 Richie Drive





2 SNOWMELT BOILER SECTION 1



DESIGN REVIEW APPLICATION

SHEET TITLE

SNOWMELT- VAULT DETAILS

SHEET NO.

TOWN STAMP

359
DESIGN

3459 RINGSBY CT.
SUITE 201 & 202
DENVER, CO 80216
720.512.3437

**WARM SPRINGS
TOWNHOMES**
108 RITCHIE DRIVE
KETCHUM, CO 83340

DESIGN REVIEW APPLICATION

SHEET TITLE

**SNOWMELT- VAULT
DETAILS**

SHEET NO.

SM.1



City of Ketchum

ATTACHMENT B:

Project Plans

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.

PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
COVER SHEET

SEAL

PROJECT NUMBER
2305

DRAWING NUMBER:

G-000

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DESIGN REVIEW APPLICATION / SEPTEMBER 09, 2025

DESCRIPTION

3-4 STORY MULTI-FAMILY RESIDENCE WITH 12 UNITS (4 BUILDINGS) WITH 23 INTERIOR, PRIVATE GARAGE PARKING SPACES. SCOPE OF WORK INCLUDES NEW CONSTRUCTION OF FOUNDATION, ERECTION OF STRUCTURE, CIVIL, LANDSCAPING, HARDSCAPING AND FINISHES.

PROJECT ADDRESS

108 / 110 RITCHIE DRIVE KETCHUM, ID 83340

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH:
2018 INTERNATIONAL BUILDING CODE*
2018 INTERNATIONAL RESIDENTIAL CODE*
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS*
2018 INTERNATIONAL ENERGY CONSERVATION CODE*
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
TITLE 15 KETCHUM MUNICIPAL CODE
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
ALL APPLICABLE COUNTY ORDINANCES

*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES

CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES

JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT

PROJECT DATA

PROJECT DATA
LOT AREA: 35,799 SF
ZONING DESIGNATION: T-3000 (TOURIST ZONE)
OCCUPANCY: MULTI-FAMILY (PRIVATE CONDOS)
CONSTRUCTION TYPE: TYPE V
CLIMATE ZONE: 6

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.

2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.

3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH DOES CONFORM TO THE GENERAL CONTRACT. THE SUBCONTRACTORS SHALL SUBMIT RESULTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.

5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.

6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO COMFORM TO THESE STANDARDS.



1	NTS	PROJECT DESCRIPTION	3	NTS	PROJECT NOTES	3	NTS	PROJECT LOCATION	©2025, RO ROCKETT DESIGN, INC.
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OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
1000 W MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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601 MONTGOMERY STREET SUITE 1450
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MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

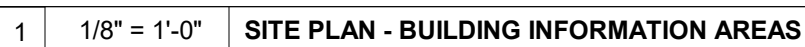
EGGERS ASSOCIATES
5600 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

[illegible]

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SEAL:

DRAWING NUMBER:
A-000





ZONING

T-3000 ZONING DISTRICT

FAR OF 1.6 MAX, WITH INCLUSIONARY HOUSING INCENTIVE

SETBACKS

FRONT: 15'-0"

SIDE: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

REAR: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

THE PROPOSED DEVELOPMENT HAS A 15' SETBACK ALONG RITCHIE DRIVE, AND 11'-8" SIDE AND REAR AS REQUIRED BY 35'-0" BLDG HEIGHTS.

HEIGHT LIMIT

FOR ROOF PITCHES 5:12 AND UNDER = 35'-0"

CODE REQUIREMENT: PARKING

17.125.040 - OFF STREET PARKING AND LOADING CALCULATIONS

A. COMPUTATIONAL RULES: THE FOLLOWING RULES APPLY WHEN COMPUTING OFF STREET PARKING AND LOADING REQ. 3. AREA MEASUREMENTS.

-UNLESS OTHERWISE SPECIFICALLY NOTED, RESIDENTIAL PARKING REQUIREMENTS FOR ALL SQUARE FOOTAGE BASED PARKING AND LOADING STANDARDS SHALL BE COMPUTED ON THE INTERIOR SQUARE FOOTAGE OF EACH RESIDENTIAL UNIT, MEASURED BETWEEN THE INTERIOR WALLS OF THE UNIT.

B. OFF STREET PARKING MATRIX.
2. RESIDENTIAL MULTIFAMILY DWELLING WITHIN THE COMMUNITY CORE (CC) DISTRICT AND THE TOURIST (T), TOURIST 3000 (T-3000), AND TOURIST 4000 (T-4000)
-UNITS 751 SF TO 2,000 SF - 1 PARKING SPACE
-UNITS 2,001 SF AND ABOVE - 2 PARKING SPACES

THE PROPOSED DEVELOPMENT INCLUDES 23 TOTAL INTERIOR PARKING SPACES.

-UNIT 1A NET SF = 4,427 SF (2 PARKING SPACES)
-UNIT 1B NET SF = 4,433 SF (2 PARKING SPACES)
-UNIT 1C NET SF = 4,433 SF (2 PARKING SPACES)
-UNIT 1D NET SF = 3,570 SF (2 PARKING SPACES)
-UNIT 2A NET SF = 3,978 SF (2 PARKING SPACES)
-UNIT 2B NET SF = 3,978 SF (2 PARKING SPACES)
-UNIT 3A NET SF = 2,703 SF (2 PARKING SPACES)
-UNIT 3B NET SF = 2,507 SF (2 PARKING SPACES)
-UNIT 3C NET SF = 2,315 SF (2 PARKING SPACES)
-UNIT 3D NET SF = 1,900 SF (1 PARKING SPACE)
-UNIT 4A NET SF = 2,344 SF (2 PARKING SPACES)
-UNIT 4B NET SF = 2,344 SF (2 PARKING SPACES)

CODE REQUIREMENT: SIDEWALKS

12.04.030 DESIGN CRITERIA, M. SIDEWALKS, CURB AND GUTTER. 6. SIDEWALKS SHALL BE FIVE FEET WIDE, EXCEPT SPECIFICALLY AS FOLLOWS, IN ORDER TO ACCOMMODATE HEAVY PEDESTRIAN CIRCULATION: SUN VALLEY ROAD AND MAIN STREET WITHIN THE COMMUNITY CORE ZONING DISTRICT (CC), AS DEFINED IN TITLE 17 OF THIS CODE, SHALL BE EIGHT FEET IN WIDTH; AND SKYWAY DRIVE, LLOYD DRIVE, GATES ROAD, RITCHIE DRIVE AND HOWARD DRIVE SHALL BE SEVEN FEET IN WIDTH, UNLESS OTHERWISE REQUIRED OR APPROVED BY THE CITY COUNCIL.

THE PROPOSED DEVELOPMENT INCLUDES A 7'-0" WIDE SIDEWALK ALONG THE LOT LINE THAT IS ADJACENT TO RITCHIE DRIVE WITHIN THE R.O.W.

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.728.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE DESCRIPTION DATE

1 DESIGN REVIEW APPLICATION 25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - BUILDING CODES

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-001

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OWNER:

BUILDING ARCHITECT:

STRUCTURAL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

TEL: 208.725.0988

CODE REQUIREMENT: FAR

THE PROPOSED DEVELOPMENT HAS A LOT AREA OF 35,799 SF, A PRIVATE STREET AND FIRE LANE EXCLUSIONARY AREA OF 5,897 SF AND A TOTAL GROSS BUILDING AREA OF 41,003 SF.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

ALLOWABLE AREA (0.5): 14,951 SF

ALLOWABLE AREA (1.6): 47,843.20 SF

PROPOSED FLOOR AREA: 41,003.00 SF (FAR: 1.37 - COMPLIANT)

CODE REQUIREMENT: DENSITY

THE PROPOSED DEVELOPMENT IS REQUIRED TO HAVE A MINIMUM OF 12 UNITS.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

$$29,902 \text{ SF} / 10,000 \text{ SF} = 2.9902$$

2.9902 X 4 UNITS = 12 UNITS (11.96)

[illegible]

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - BUILDING FAR &
DENSITY

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-002

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OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**SITE PLAN - FIRE ACCESS &
SNOWMELT**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-004

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D105.1 - WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

D105.3 - ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED NOT LESS THAN 15 FEET AND NOT GREATER THAN 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

THE PROPOSED DEVELOPMENT HAS A 20 FOOT WIDE PRIVATE ROAD THAT WOULD PROVIDE ACCESS TO THE INTERIOR OF THE SITE AND A DESIGNATED 20 FOOT WIDE PORTION OF THE ROAD FOR AERIAL FIRE ACCESS TO BUILDING 3 AND 4. ADDITIONALLY, BUILDING 3 AND 4 ARE SETBACK 15 FEET FROM THE EDGE OF THE FIRE ACCESS ROAD.



SNOW STORAGE

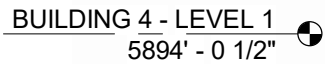
GRASS-CRETE PAVERS

1 - SNOW STORAGE AREAS SHALL NOT BE LESS THAN THIRTY PERCENT (30%) OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.

- 2 - SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.
- 3 - A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANY DIMENSION LESS THAN FIVE FEET (5') AND SHALL BE A MINIMUM OF TWENTY FIVE SQUARE FEET (25 SF)
- 4 - IN LIEU OF PROVIDING SNOW STORAGE AREAS, SNOWMELT AND HAULING OF SNOW MAY BE ALLOWED.

THE PROPOSED DEVELOPMENT WILL PROVIDE SITE SNOWMELT FOR ALL DRIVEWAYS, PATHWAYS, AND PRIVATE ROADS. SNOWMELT BOILER EQUIPMENT WILL BE SUBGRADE, LOCATED AT THE END OF THE PRIVATE ROAD AND SCREENED FROM VIEW OF NEIGHBORS. SEE MEP FOR DETAILED SNOWMELT PLANS.

THERE IS 638 SF OF GRASS-CRETE SCHEDULED FOR FIRE ACCESS THAT WILL NOT HAVE SNOWMELT. THESE AREAS WILL BE SHOVELED AND AN ADDITIONAL 884 SF OF SNOW STORAGE HAS BEEN DESIGNATED ON SITE.



NOTE

SCREENED TRASH ENCLOSURE WITH SNOWMELT BOILER ROOM. BOILER LOCATED FULLY SUBGRADE AND NOT VISIBLE. TRASH ENCLOSURE SLAB AND ACCESS WELL SCHEDULED TO BE SNOWMELTED TO ALLOW CLEAR ACCESS IN WINTER.



6	1/2" = 1'-0"	DUMPSTER ENCLOSURE / ELEVATION - EAST
---	--------------	---------------------------------------



4	1/4" = 1'-0"	DUMPSTER ENCLOSURE / SECTION - EW
---	--------------	-----------------------------------



2	1/4" = 1'-0"	DUMPSTER ENCLOSURE - ENLARGED FLOOR PLAN
---	--------------	------------------------------------------



5	1/4" = 1'-0"	DUMPSTER ENCLOSURE / SECTION - NS A
---	--------------	-------------------------------------

3	1/4" = 1'-0"	DUMPSTER ENCLOSURE / SECTION - NS B
---	--------------	-------------------------------------

1	1/8" = 1'-0"	DUMPSTER ENCLOSURE - FLOOR PLAN
---	--------------	----------------------------------------

**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNE

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER.

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TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

**SNOWMELT VAULT &
DUMPSTER DETAILS**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER

A-005

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WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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DENVER, CO 80212
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CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

Hank Moore

From: Bennett, Cheryl <CBennett2@idahopower.com>
Sent: Friday, May 17, 2024 10:27 AM
To: Hank Moore
Cc: Erik de Bruijn
Subject: Will Serve Email

Hank and Erik,

You can provide this email to the city of Ketchum for your application:

I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments.

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
WILL SERVE LETTERS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-006

CLEAR CREEK DISPOSAL

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

June 14, 2024

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340

Via email:

Re: 108 Ritchie Drive

To whom It May Concern,

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

- Conditions that will need to be maintained:
- Snow and Ice removal to and inside of the enclosure
 - Access to the enclosure and the turn around area for egress
 - Gates maintained in working order

Multiple pickup days may be necessary to accommodate the amount of waste generated depending on type(s) of occupancy.

Respectfully,


Mike Goitiandia
Clear Creek Disposal

.108 Ritchie Drive



451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342
www.intgas.com

Presidio Vista Properties
Hank Moore
Senior Development Manager
603-801-0419
hank@presidiovistaproperties.com

May 13, 2024

RE: 108 & 110 Richie Dr., Ketchum Idaho 83340. Lots 3 & 4 Warm Springs Village Subdivision. County of Blaine.

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

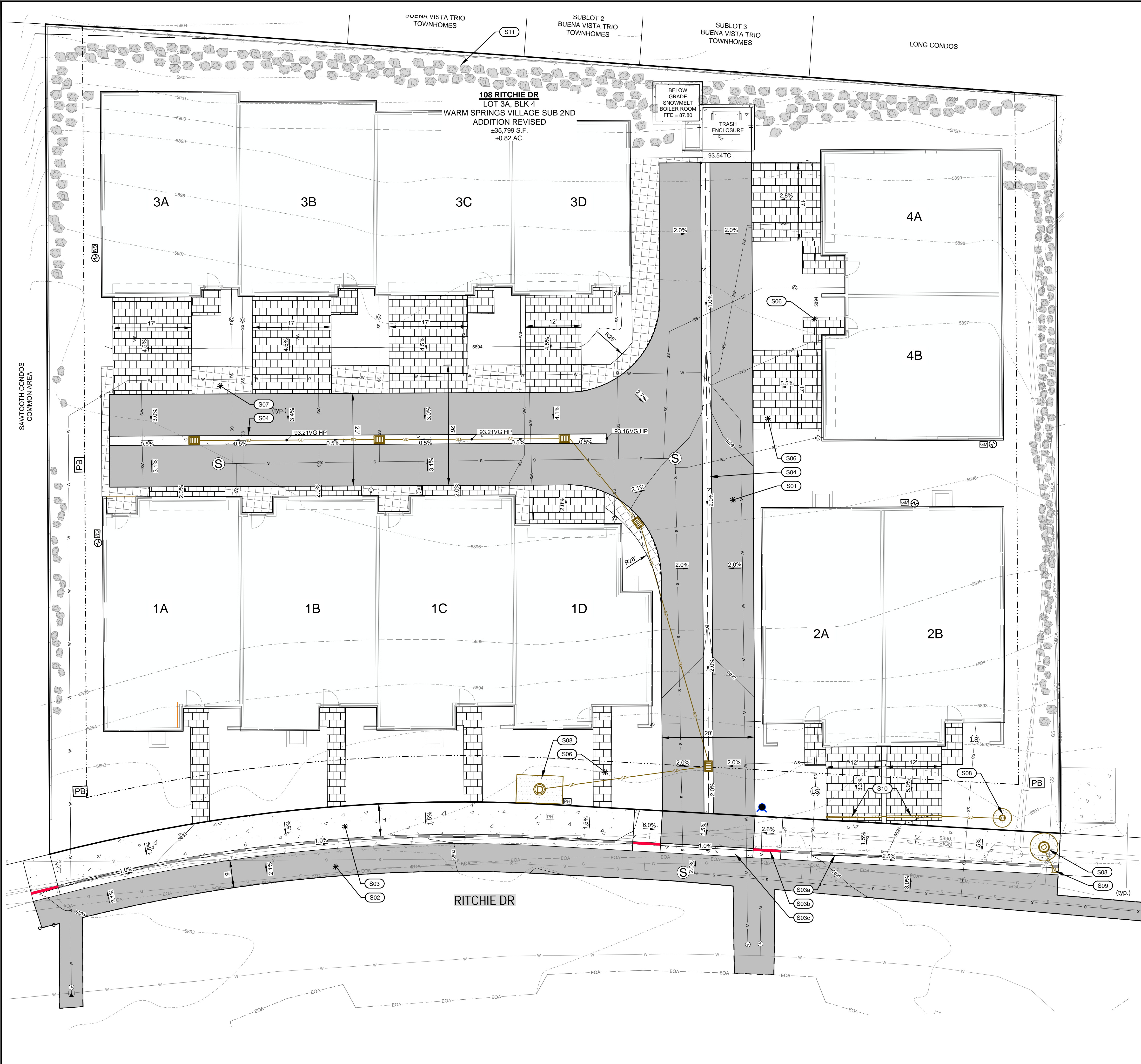
If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

Lance D. McBride

Lance D. McBride
Energy Services Representative Sr.
lance.mcbride@intgas.com
208-737-6314

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LEGEND

- BLOCK BOUNDARY
- ADJOINER'S LOT LINE
- EASEMENT
- ROAD CENTERLINE
- 5' CONTOUR INTERVAL (EXISTING)
- 1' CONTOUR INTERVAL (EXISTING)
- FENCE LINE
- RETAINING WALL
- EOA
- ASPHALT
- STORM DRAIN PROPOSED
- SAWCUT LINE
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL

SITE IMPROVEMENT KEY NOTES

- S01 CONSTRUCT HEATED ASPHALT ROADWAY. SEE DETAIL TBD.
- S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL TBD.
- S03 CONSTRUCT CONCRETE SIDEWALK, CURB AND GUTTER.
 - a. 6" ROLLED C&G
 - b. CURB TRANSITION
 - c. ZERO REVEAL CURB AND GUTTER
- S04 CONSTRUCT 24" WIDE HEATED CONCRETE VALLEY GUTTER
- S06 INSTALL SITE PAVERS. SEE LANDSCAPE PLAN FOR DETAILS.
- S07 INSTALL SITE GRASS PAVE. SEE LANDSCAPE PLAN FOR DETAILS.
- S08 CONSTRUCT DRYWELL. SEE DETAIL TBD. PROVIDE MIN. 12-24" SOIL COVER FOR PLANTINGS. REFER TO LANDSCAPE PLANS FOR SOIL COVER REQUIREMENTS.
- S09 CONSTRUCT 30" CATCH BASIN. SEE DETAIL TBD.
- S10 INSTALL TRENCH DRAIN.
- S11 SEE LANDSCAPE SHEETS FOR SITE GRADING AND BOULDER PLACEMENT.

PURPOSE: ISSUE FOR DESIGN REVIEW

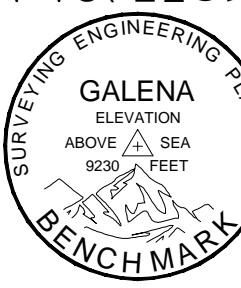
NO. DATE BY REVISIONS

C1.00

GALENA-BENCHMARK

ENGINEERING

Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com



DESIGNED BY: SLS/MS
DRAWN BY: SLS/MS
CHECKED BY: MS
SURVEY DATE: 06/12/22

PRELIMINARY
NOT FOR
CONSTRUCTION

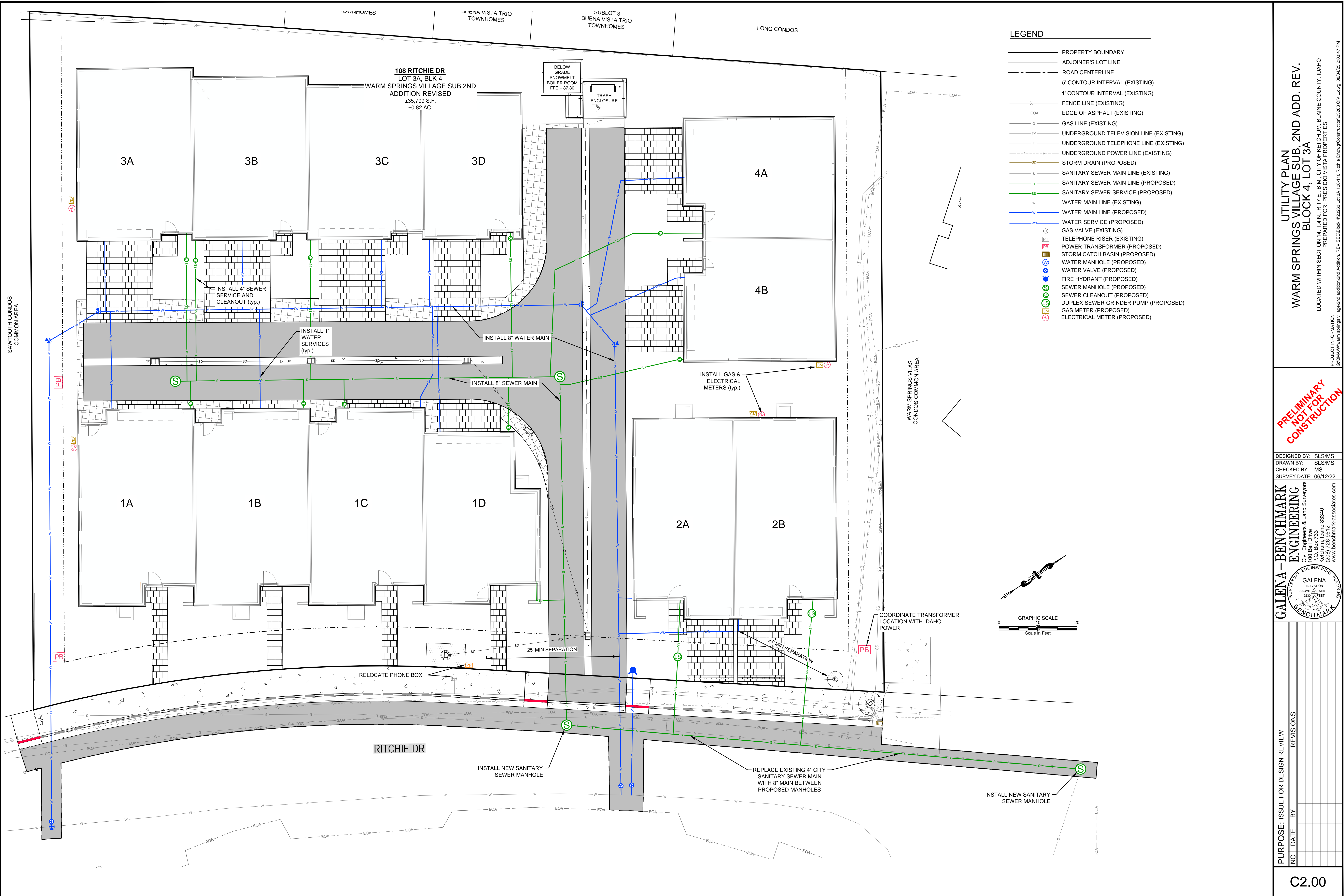
GRADING & DRAINAGE PLAN
WARM SPRINGS VILLAGE SUB 2ND ADD. REV.
BLOCK 4, LOT 3A

LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION
G:\BNA\Warm Springs Village\2nd Addition\REVISED\Block 4\2022\Lot 3A 108-110 Ritchie Dr\Grading\Construction\2022 CIVIL.dwg 08/04/25 2:03:47 PM

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PURPOSE: ISSUE FOR DESIGN REVIEW

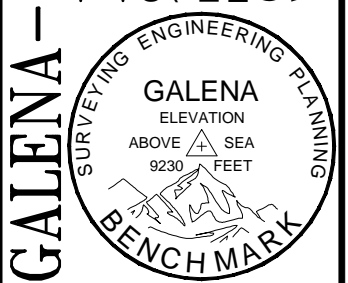
NO. DATE BY REVISIONS

C2.00

GALENA-BENCHMARK

ENGINEERING

Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

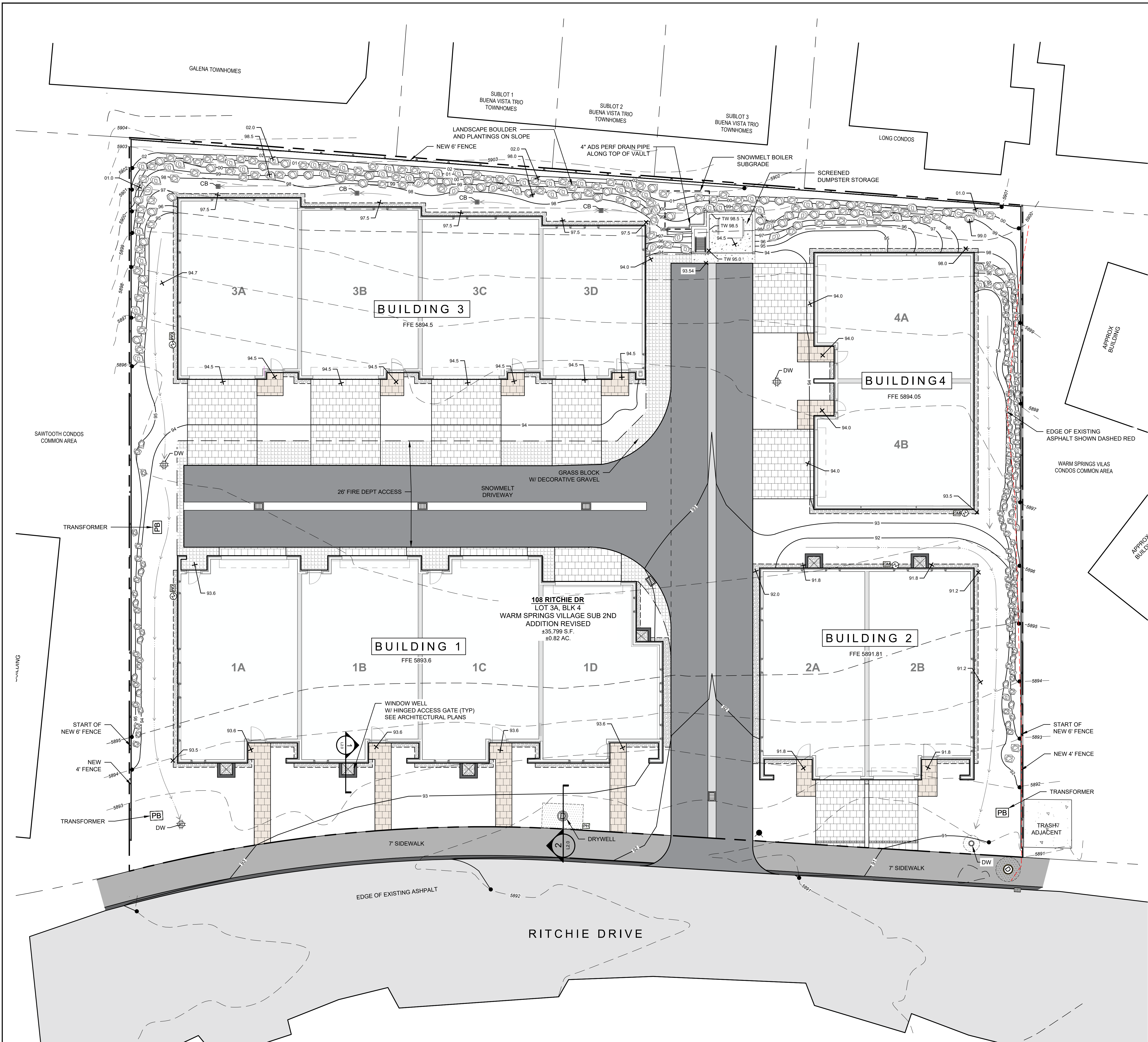


DESIGNED BY: SLS/MS
DRAWN BY: SLS/MS
CHECKED BY: MS
SURVEY DATE: 06/12/22

PRELIMINARY
NOT FOR
CONSTRUCTION

UTILITY PLAN
WARM SPRINGS VILLAGE SUB 2ND ADD. REV.
BLOCK 4, LOT 3A
LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION
G:\BNA\Warm Springs Village\2nd Addition, REVISED\Block 4\22081 Lot 3A 108-110 Ritchie Dr\wg\Construction\22081 Lot 3A 108-110 Ritchie Dr.dwg 08/04/25 2:03:47 PM

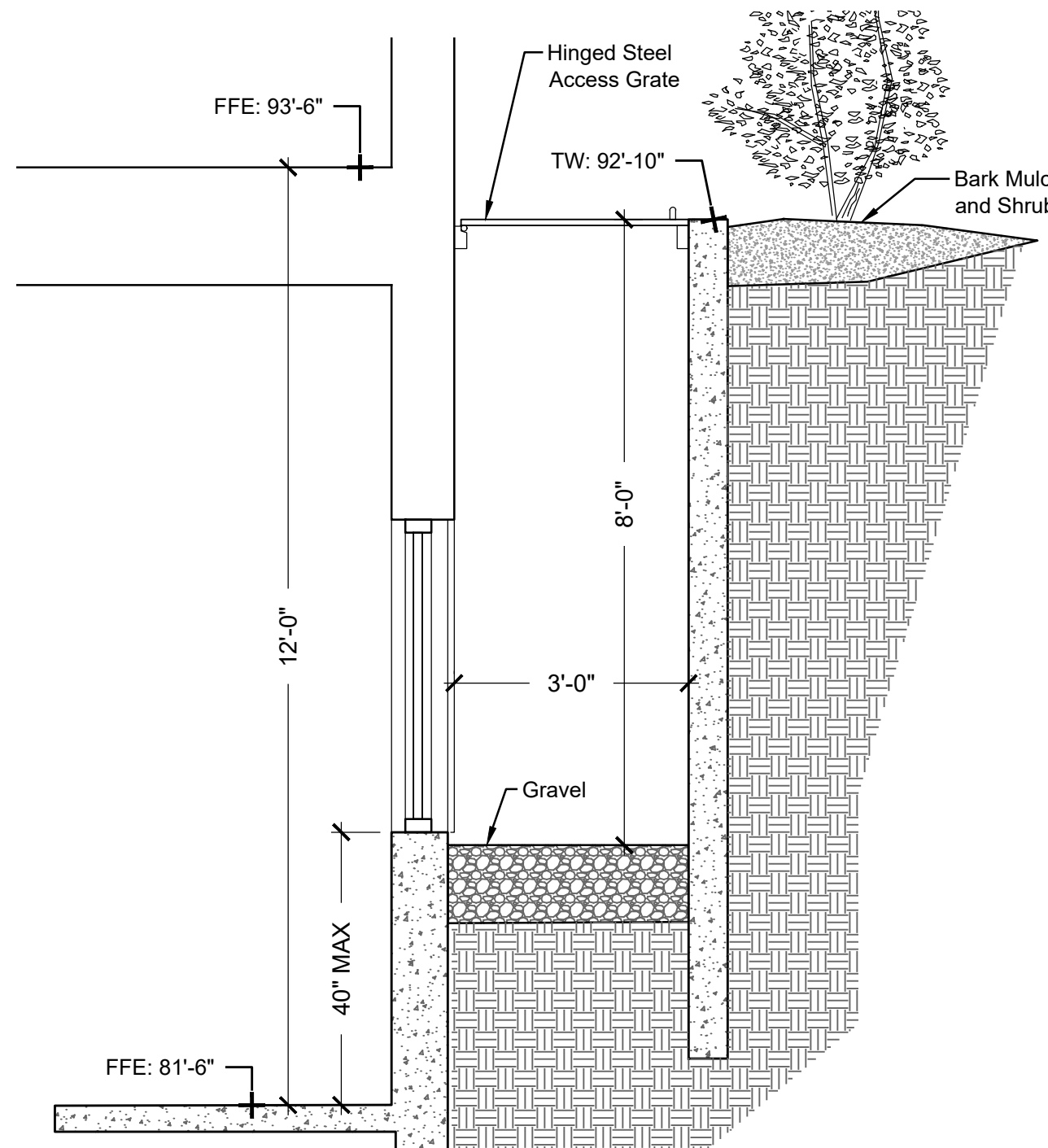


Plan Legend

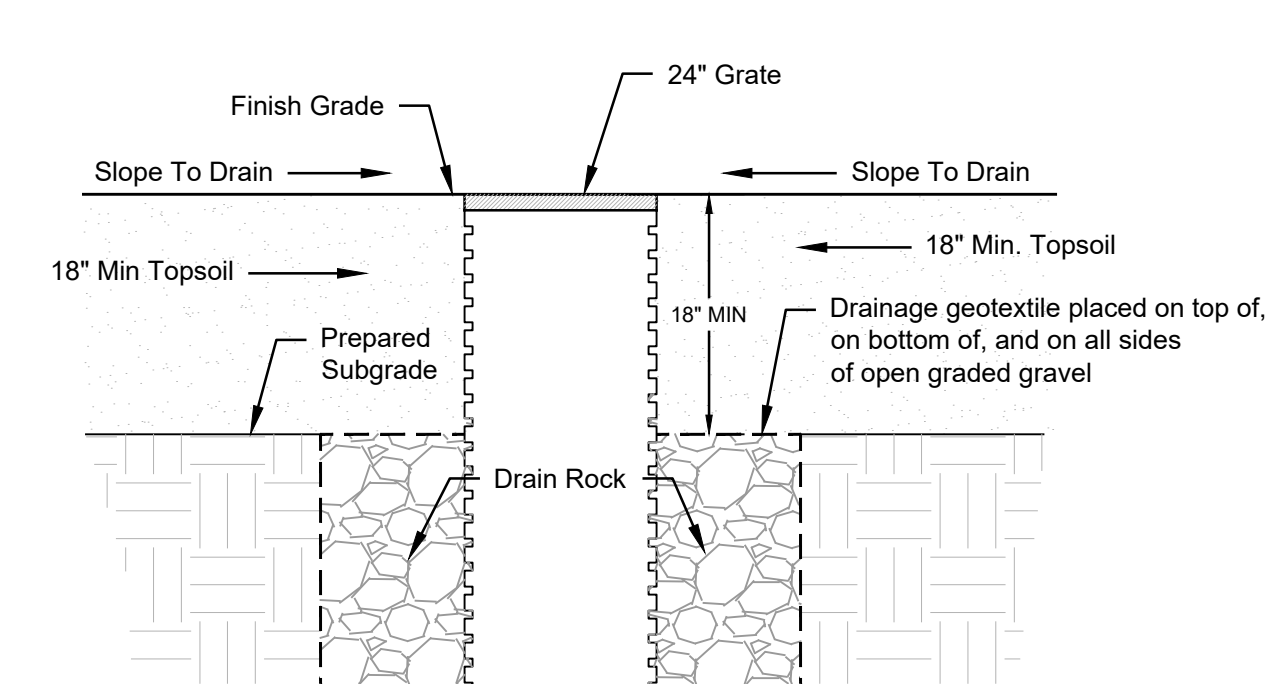
- Property Line
- Existing Contour
- Proposed Contour
- New Fence
- Boulder Retaining
- Grass Pave
- Pavers
- Concrete
- Gravel
- Lawn Grass
- Natural Grass
- Perennials and Groundcover
- Drywell
- Catch Basin
- Drainage Swale

Grading Abbreviations

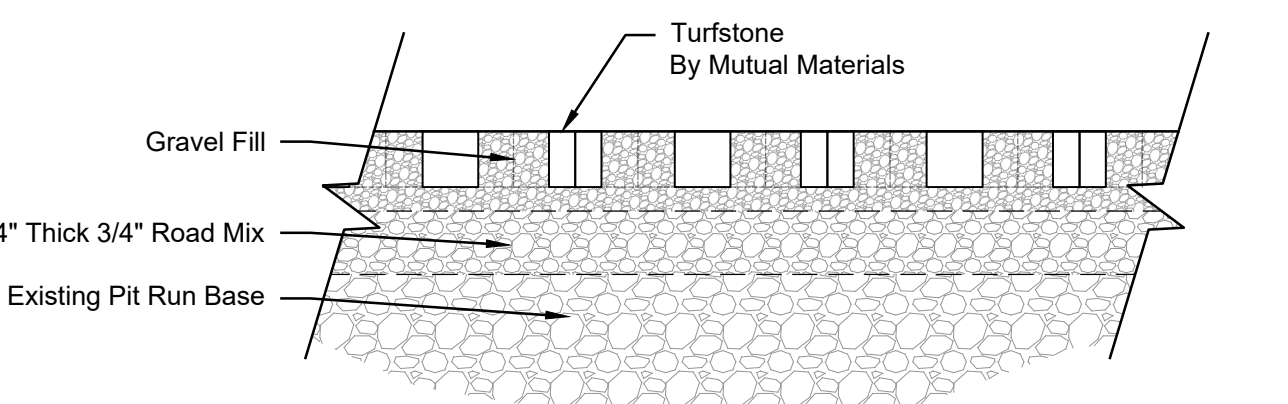
EL	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
DI	DRAIN INLET ELEVATION
DW	DRYWELL RIM ELEVATION
TC	TOP OF CURB
BC	BOTTOM OF CURB
FG	FINISHED GRADE



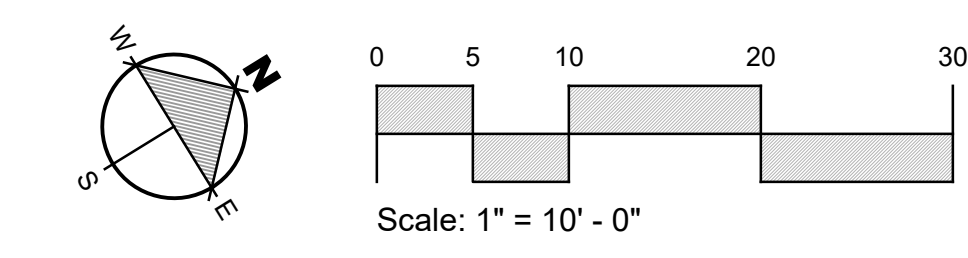
1 Section: Typical Window Well Scale: 1/2" = 1'-0"



2 Section: Drywell Landscape Integration Scale: 1/2" = 1'-0"



Detail: Turfstone (Grassblock) Scale: Not to Scale



Warm Springs

EGGERS ASSOCIATES, P.A.
landscape architecture
T (208) 755-5988
F (208) 755-5972
P.O. Box 973
Ketchum, ID 83340

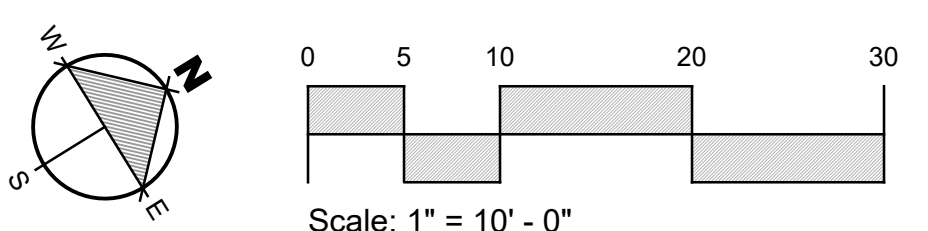
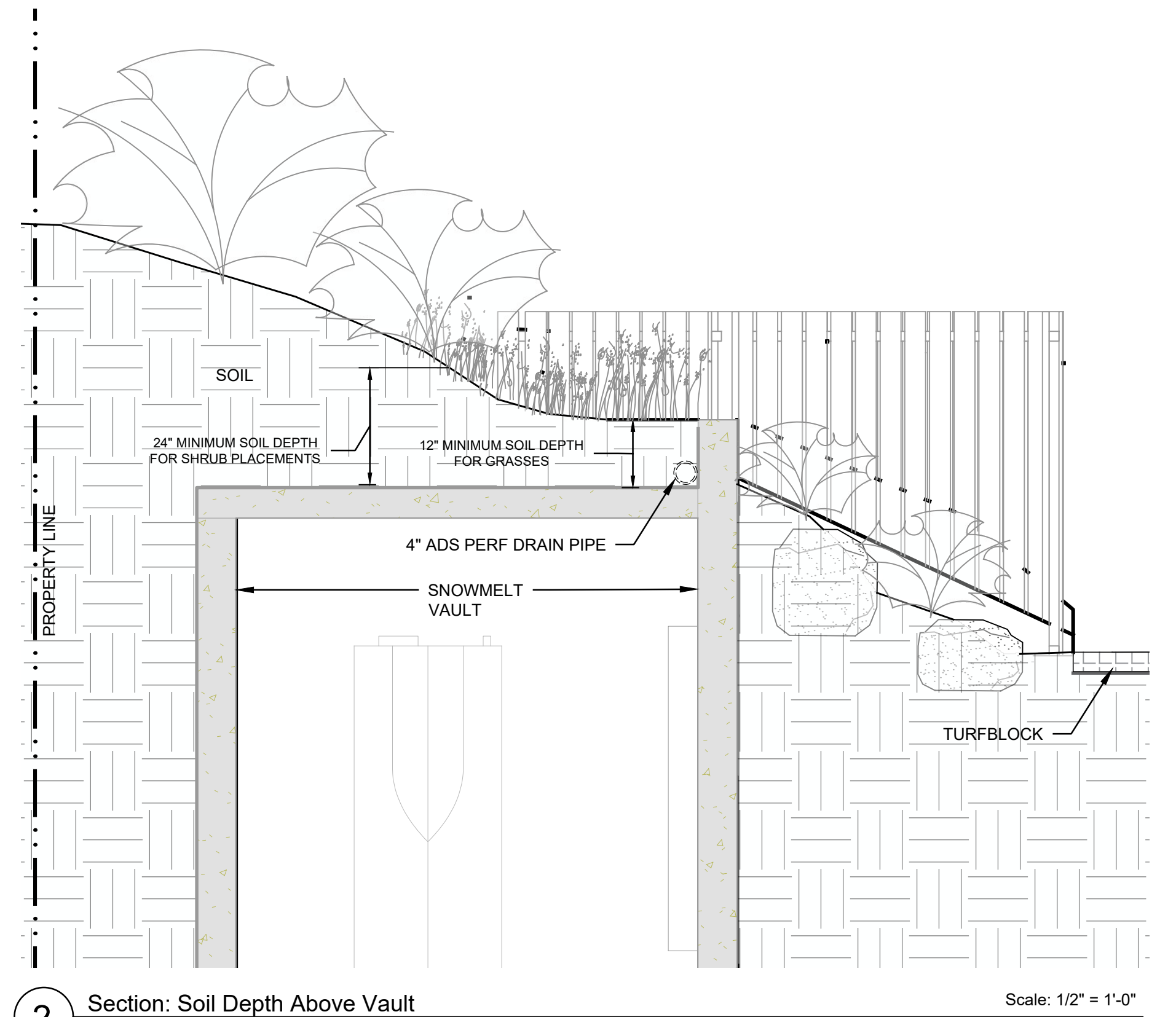
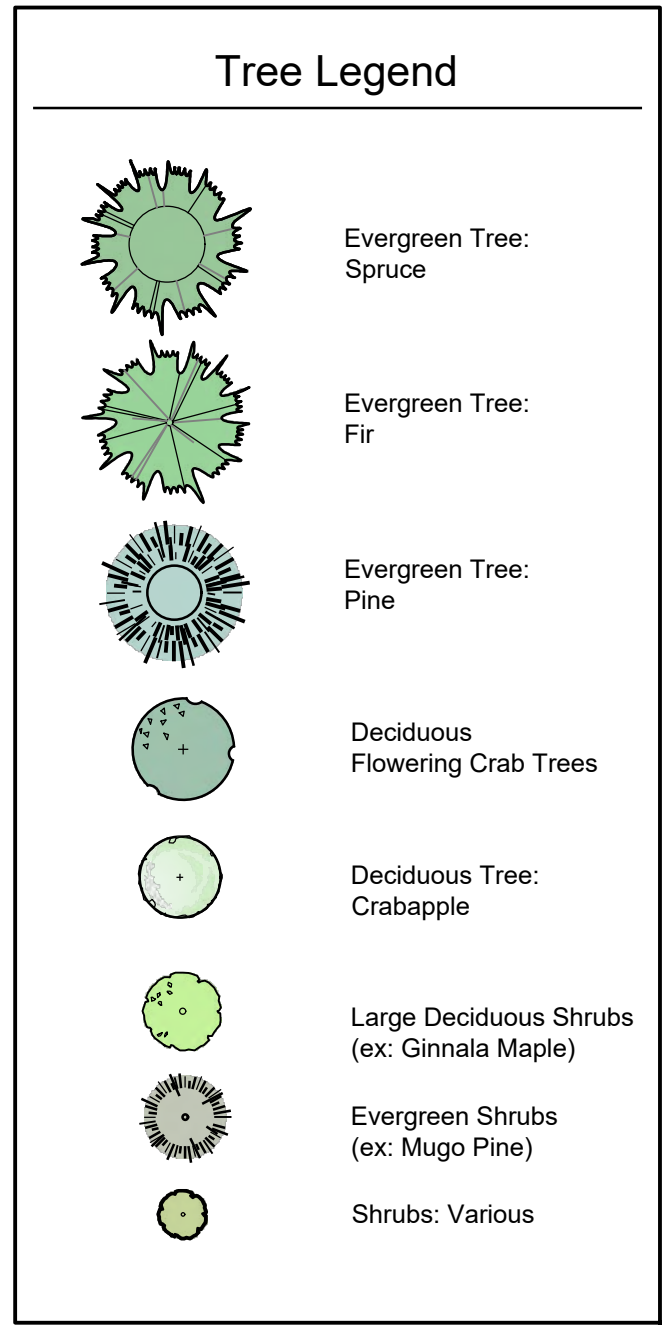
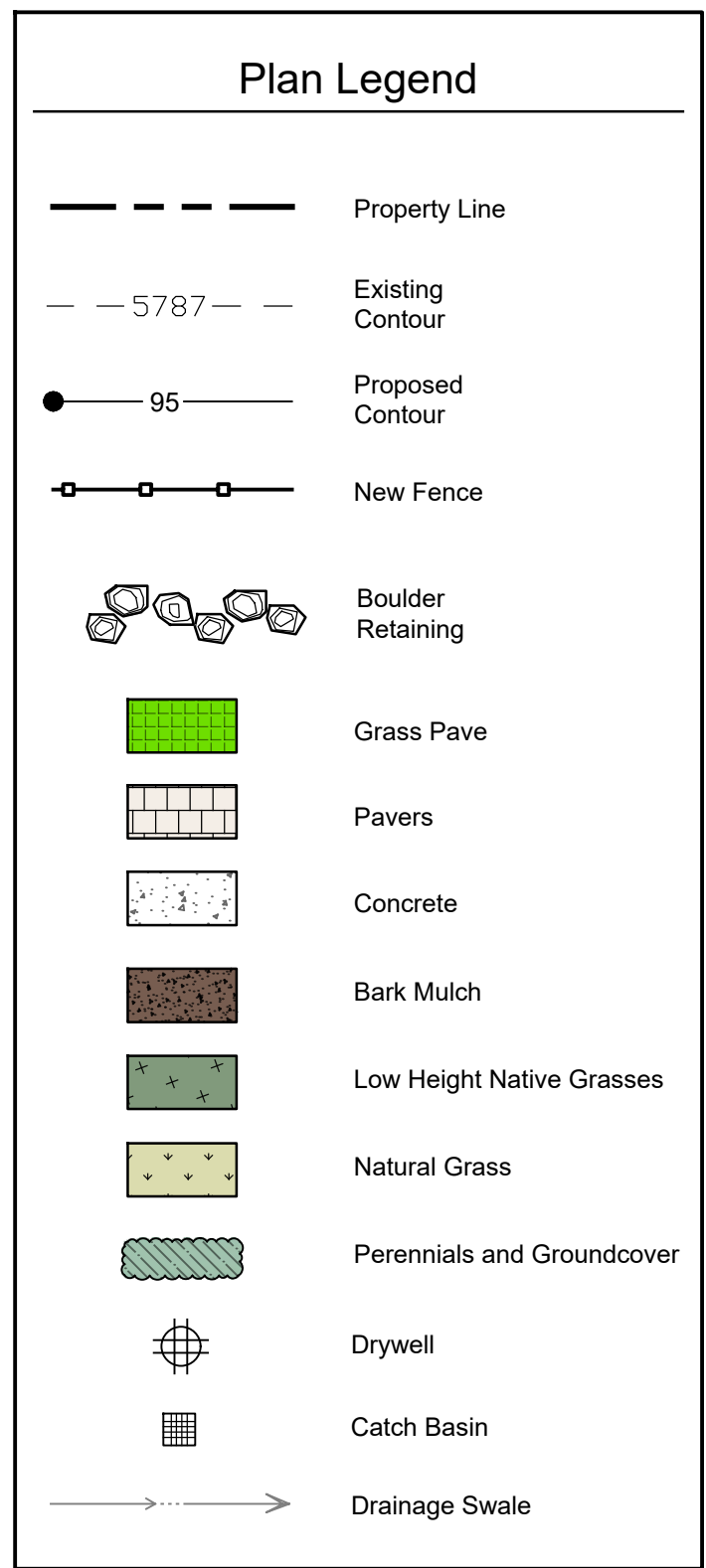
108 & 110 Ritchie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 2331
Scale: 1"=10'-0"
Issue/Revisions Date:
Concept Update 07/10/24
Design Review 11/06/24
DR Resubmission 03/14/25
DR Resubmission 06/23/25
DR Resubmission 07/17/25
DR Resubmission 08/04/25

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STATE OF IDAHO
EGGERS ASSOCIATES, P.A.
LANDSCAPE ARCHITECT
NOV 21 2024

Sheet Title:
Grading Plan

Sheet No:
L2.0



Warm Springs

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108 & 110 Ritchie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 23.31
Scale: 1" = 10' - 0"

Issue/Revisions	Date:
Concept Update	07/10/24
Design Review	11/06/24
DR Resubmission	03/14/25
DR Resubmission	06/23/25
DR Resubmission	07/17/25
DR Resubmission	08/04/25

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LANDSCAPE ARCHITECT
STATE OF IDAHO
No. 16827
Exp. 12-31-25

Sheet Title:
Landscape Plan

Sheet No:
L3.0



Plan Legend	
	Property Line
	Existing Contour
	Proposed Contour
	Grass Pave
	Pavers
	Concrete

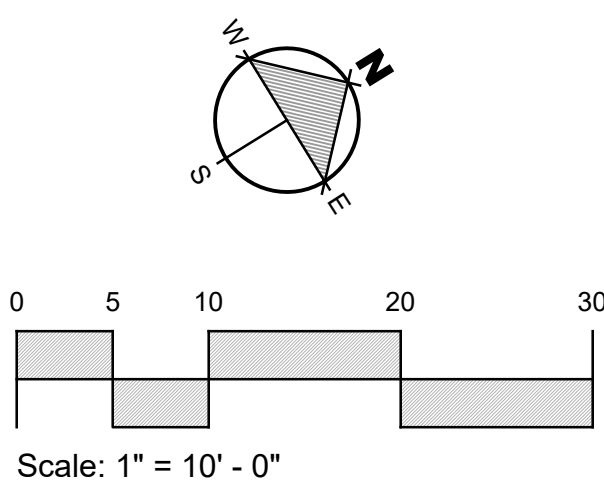
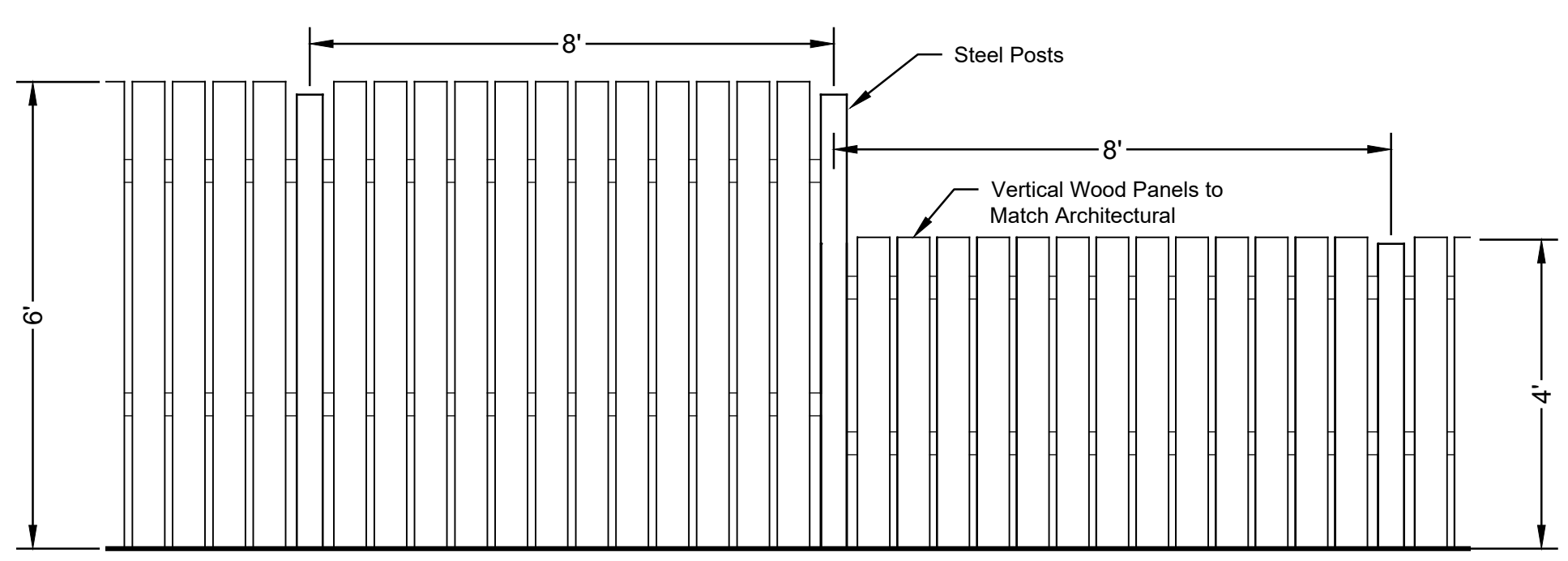
Fence Legend	
	6 Foot High Fence
	4 Foot High Fence

30' FROM PROPERTY LINE
4' HIGH FENCING

6' HIGH FENCING

6' HIGH FENCING

30' FROM PROPERTY LINE
4' HIGH FENCING



Warm Springs

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108 & 110 Ritchie Drive
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Ketchum, Idaho

Job No: 23.31
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STATE OF IDAHO
J. EGGERS
LANDSCAPE ARCHITECT
16-21

Sheet Title:
Fencing Plan

Sheet No:
L3.2

DESIGN REVIEW RESUBMITTAL - 08/04/25



Flowering Crab Trees (8 Feet Installation Height)



Fir Tree (6 - 8 Feet Installation Height)



Spruce Tree (6 - 8 Feet Installation Height)



Mugo Pine Tree (6 - 8 Feet Installation Height)



Streetside Example: Low Natural Grass (Scottish Links)

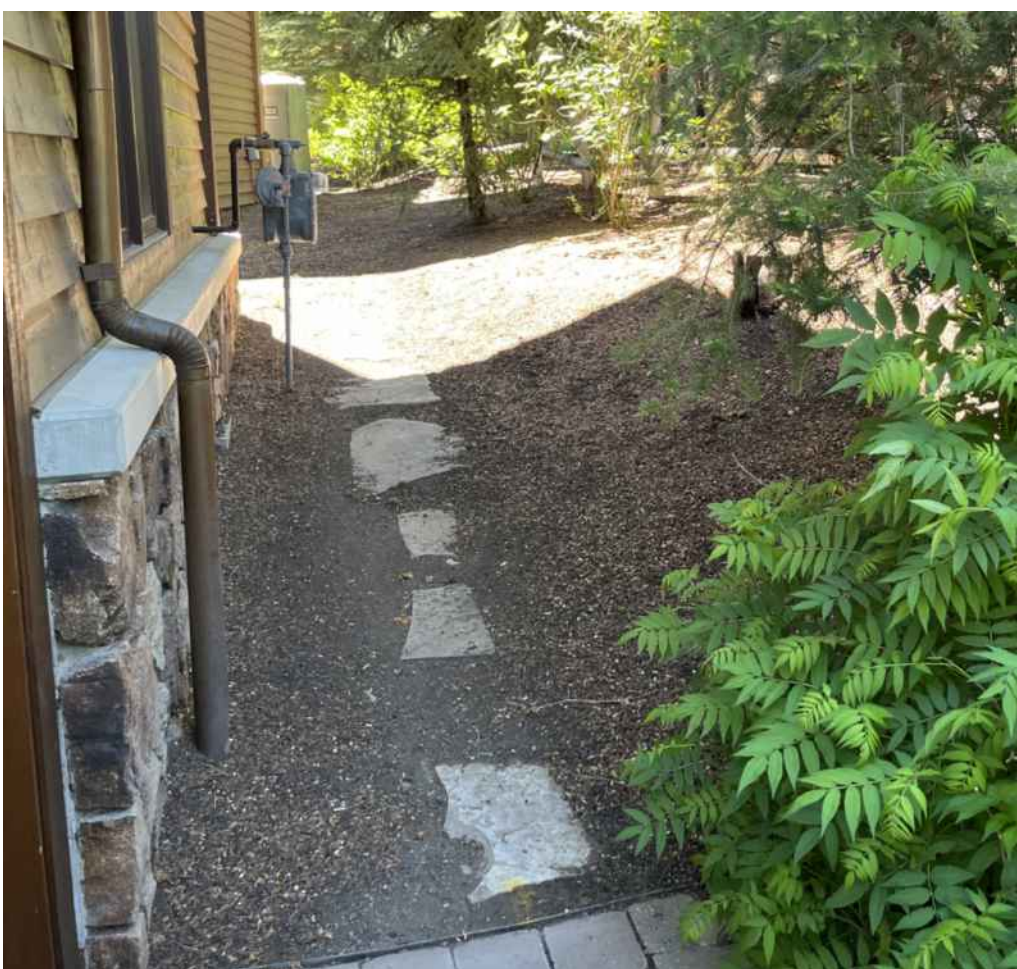
PLANT MATERIALS



STREET PLANTING EXAMPLES



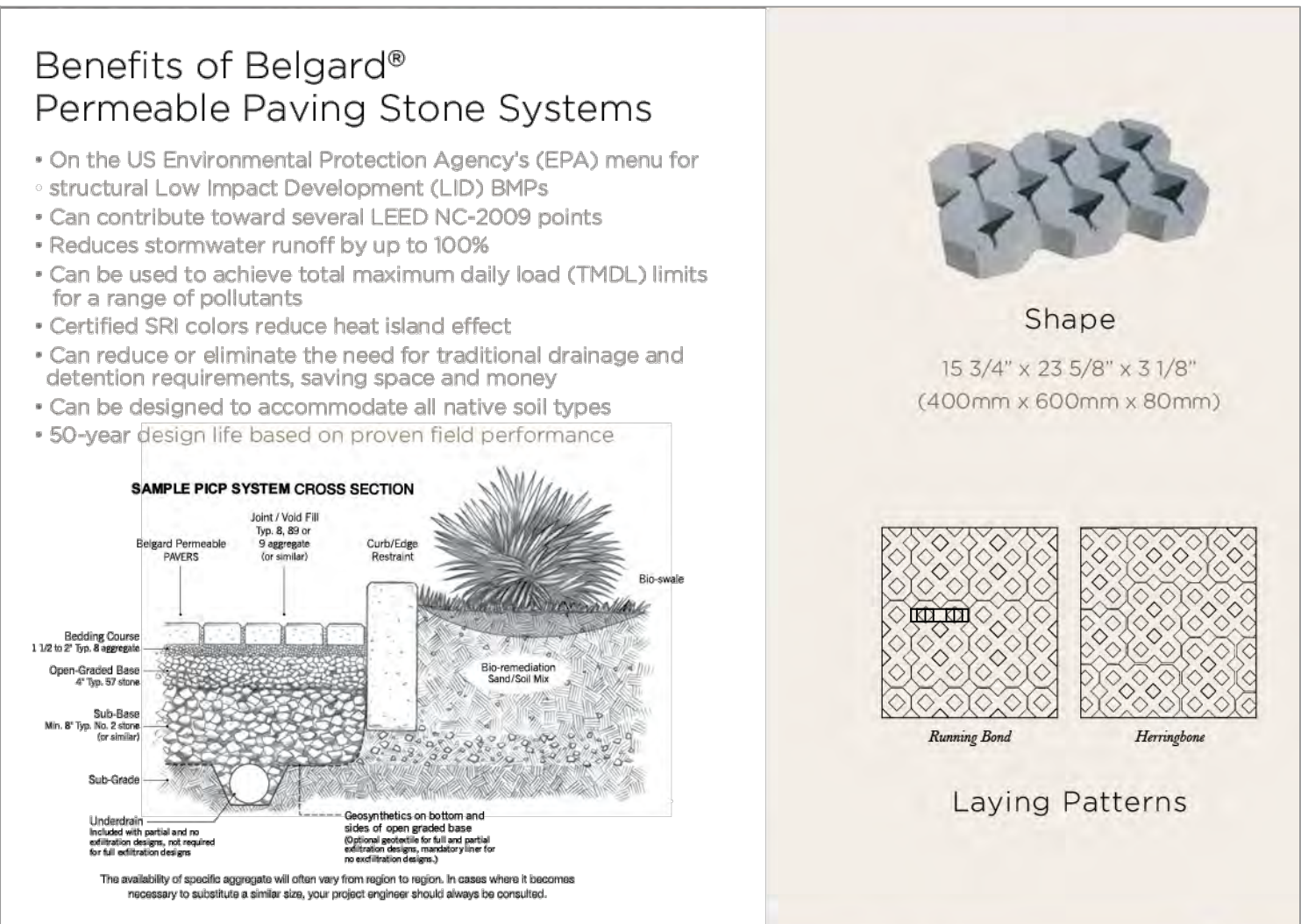
Transformer Screening



Bark Mulch and Path



Landscape Boulders With Plantings



Driveable Permeable Pavers / Filled with Decorative Gravel

Warm Springs

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Ketchum, Idaho

Job No: 23.31

Scale:

Issue/Revisions: Date:

Concept Update 07/10/24

Design Review 11/06/24

DR Resubmission 03/14/25

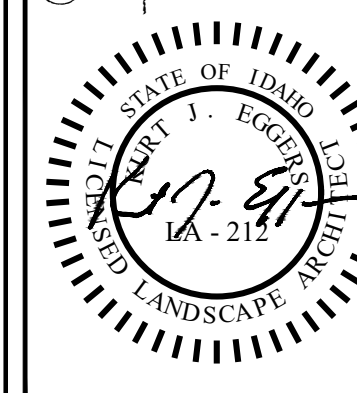
DR Resubmission 06/23/25

DR Resubmission 07/17/25

DR Resubmission 08/04/25

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Sheet Title:
Plant Materials

Sheet No:
L4.0

ABBREVIATIONS			
CD	CONDENSATE DRAIN	MV	MIXING VALVE
CONT	CONTINUATION	O/H	OVERHEAD
CW	COLD WATER	G	NATURAL GAS
DN	DOWN	PD	PUMPED DISCHARGE
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE
EW	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP
ex.	EXISTING	S. SAN	SANITARY
FCO	FLOOR CLEANOUT	SH	SHOWER
FD	FLOOR DRAIN	SK	SINK
FHB	FREEZEPROOF HOSE BIBB	TP	TRAP PRIMER
FS	FLOOR SINK	TYP	TYPICAL
FRH	FREEZEPROOF ROOF HYDRANT	UR	URINAL
FWH	FREEZEPROOF WALL HYDRANT	V	VENT
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF
GI	GREASE INTERCEPTOR	WC	WATER CLOSET
HB	HOSE BIBB	W. C.	WATER COLUMN
HD	HUB DRAIN	WCO	WALL CLEANOUT
HWS	HOT WATER SUPPLY	WHA	WATER HAMMER ARRESTER
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX

LEGEND

	COLD WATER PIPE
	HOT WATER PIPE
	HOT WATER RETURN PIPE
	SANITARY PIPE
	VENT PIPE
	NATURAL GAS PIPE
	GREASE WASTE PIPE
	PIPE UP / PIPE DOWN
	PIPE TEE FROM TOP / TEE FROM BOTTOM
	PIPE CAP / PIPE CONTINUATION
	DIRECTIONAL FLOW ARROW
	BALL VALVE / CHECK VALVE
	MIXING VALVE / PRESSURE REDUCING VALVE
	FLOOR DRAIN / FLOOR SINK
	WATER HAMMER ARRESTER
	GAS COCK / GAS SOLENOID VALVE
	P-TRAP
	HUB DRAIN
	FLOOR CLEANOUT / GRADE CLEANOUT
	VENT THROUGH ROOF
	PIPE CLEANOUT / WALL CLEANOUT

LEGEND

SYMBOLS	DESCRIPTION
	DUCT UP
	DUCT UP
	DUCT DOWN
	EQUIPMENT TYPE EQUIPMENT NUMBER. WHERE A LETTER IS USED, THERE ARE MULTIPLE INSTANCES.

SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL GAS UTILITY PROVIDER TO CONFIRM THE AVAILABILITY OF THE INDICATED DESIGN DELIVERY PRESSURE PRIOR TO COMMENCING WORK.

ALL GAS PIPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL FUEL GAS CODE AND NFPA 54.

ABOVE GRADE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL (ASTM A53/A53M). FITTINGS SHALL BE ASME B16.3 MALLEABLE IRON OR ASTM A234/A234M WROUGHT STEEL WELDING TYPE. JOINTS SHALL BE THREADED OR WELDED TO ASME B31.1.

BELOW GRADE GAS PIPING SHALL BE FLEXIBLE POLYETHYLENE TUBING AND SHALL COMPLY WITH ASTM D2513.1 AND CSA B137.4, AND SHALL BE INSTALLED IN ACCORDANCE WITH IFGC SECTION 402.11.2. PROVIDE MANUFACTURED RISER ASSEMBLY TO TRANSITION FROM TUBING TO ABOVEGROUND METALLIC PIPING.

SHUTOFF VALVES SHALL BE PROVIDED AND LOCATED IN PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.

ALL GAS FIRED APPLIANCES ARE PROVIDED WITH A GAS PRESSURE OF 7" W.C. AT FINAL EQUIPMENT CONNECTION. IF 7" W.C. EXCEEDS EQUIPMENT'S SPECIFIC INLET PRESSURE REQUIREMENT, CONTRACTOR SHALL PROVIDE APPROPRIATE PRESSURE REGULATING VALVE.

GAS PIPING ON ROOF SURFACES SHALL BE ELEVATED NO LESS THAN 3/8" INCHES ABOVE ROOF SURFACE AND SHALL BE CLAMPED TO RUBBER CHANNEL SUPPORTS (M/FAB C10 SERIES OR EQUAL). PROVIDE SUPPORT AT EVERY ELBOW. THE MAXIMUM SPACING OF SUPPORTS SHALL BE: 1/2" PIPE: 5'-0"; 3/4" TO 1 1/4" PIPE: 6'-0"; 1 1/2" AND LARGER: 12'-0". VERTICAL PIPING SHALL BE SUPPORTED AT BASE, TOP AND AT 10' INTERVALS (MINIMUM).

ALL EXTERIOR GAS PIPING ON ROOF SHALL BE PRIMED AND PAINTED O.S.H.A. YELLOW. GAS PIPING RUNNING ON EXTERIOR WALLS SHALL BE PRIMED AND PAINTED TO MATCH BUILDING WALL.

EXPPOSED GAS PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED 'GAS' IN BLACK LETTERS. ALL PIPING GREATER THAN 7" W.C. SERVICE PRESSURE SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEEDING 5 FEET ALONG ITS EXPOSED LENGTH.

BALL VALVES: THREE PIECE BODY, FULL PORT, CHROME PLATED BALL, BLOWOUT PROOF STEM, TFE SEATS, UL LISTED FOR FLAMMABLE LIQUIDS, 600 PSI WOG, THREADED ENDS.

PRESSURE REGULATOR VALVE: SINGLE STAGE AND SUITABLE FOR NATURAL GAS, STEEL JACKET AND CORROSION RESISTANT COMPONENTS, THREADED FOR REGULATORS NPS 2 AND SMALLER. PROVIDE SHUTOFF VALVE IMMEDIATELY AHEAD OF REGULATOR, AND INSTALL TEST PORTS ON EITHER SIDE REGULATOR, WITH UPSTREAM TEST PORT DOWNSTREAM OF SHUTOFF VALVE. REGULATORS SHALL BE INSTALLED PER IFGC SECTION 410. FOR 2PSI INLET, PROVIDE MAXIKROL 325.1 SERIES. PROVIDE VENT PROTECTOR FOR EXTERIOR APPLICATIONS. FOR INTERIOR APPLICATIONS, VENT SHALL BE PIPED TO THE EXTERIOR WITH TURNDOWN AND SCREEN PROTECTOR (REGULATOR EQUIPPED WITH FACTORY PROVIDED VENT LIMITER IS ACCEPTABLE WHERE APPROVED BY THE LOCAL JURISDICTION).

SHUTOFF VALVES SHALL BE PROVIDED IN ACCORDANCE WITH IFGC 409. INSTALL MANUAL GAS SHUTOFF VALVE FOR EACH GAS APPLIANCE AHEAD OF CORRUGATED STAINLESS STEEL TUBING OR COPPER CONNECTOR. SHUTOFF SHALL BE WITHIN 6' OF APPLIANCE.

INSTALL UNIONS IN PIPES NPS 2 AND SMALLER, ADJACENT TO EACH VALVE, AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT.

ALL GAS PIPING INSTALLED BENEATH THE BUILDING SLAB SHALL BE ENCASED IN WROUGHT IRON CONDUIT. PIPING SHALL BE PROTECTED AND INSTALLED ACCORDING TO THE INTERNATIONAL FUEL GAS CODE SECTION 404.14.

TANK TYPE WATER HEATERS
WATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF ENERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1.

WATER HEATERS SHALL HAVE 150PSI WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND HIGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS OTHERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM STEEL STAND OR CONCRETE PAD, AS INDICATED ON DRAWINGS.

WATER HEATERS SHALL HAVE A MINIMUM 3 YEAR LIMITED WARRANTY.

WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR SERVICING.

INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP.

HANGERS AND SUPPORTS
HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.

WHERE SEVERAL PIPES 3/4" AND SMALLER RUN PARALLEL AND IN THE SAME PLANE, THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.

PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IPC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-0" OF EACH ELBOW.

VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.

SUPPORT DOMESTIC WATER PIPING IN SPACES BEHIND PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING.

AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO HOLE SHOWS AT THE CEILING.

WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISSIMILAR MATERIALS SHALL BE PROVIDED.

PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURER'S STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.

SLEEVES
SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS.
PROVIDE STANDARD WEIGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION. PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.

SLEEVES MAY BE OMITTED WHEN OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.

SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.

PENETRATIONS THROUGH OUTSIDE WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK, 1" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.

WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES
SANITARY PIPING SHALL BE PVC SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.

PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 12454 PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2665. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2665. FITTED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.

WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.

ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.

NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED IN THE HORIZONTAL.

WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.

WHERE DRAWINGS REQUIRE CONNECTION TO EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE IN CONNECTING TO EXISTING, OR IF THERE IS A MORE DIRECT CONNECTION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED & 1/4" MINIMUM AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER OF ANY DEFICIENCIES.

DOMESTIC WATER SYSTEMS AND ACCESSORIES
WATER PIPING ABOVE SLAB: TYPE 1 HARD DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI B16.22.

WATER PIPING BELOW SLAB: TYPE K SOFT DRAWN COPPER TUBING, WITH NO JOINTS BELOW SLAB, ASTM B88.

ALL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.

DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.

BALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. SEATS SHALL BE REINFORCED TFE WITH TEFLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM EXTENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.

BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR BACKFLOW PREVENTERS WITH VENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. BACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.10.2. CONTRACTOR SHALL PROVIDE CERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.

THERMOMETERS SHALL BE 9" ADJUSTABLE ANGLE, 30°-180°F RANGE (TERRICE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE 4 1/2" DIA. SIZE, 0-160PSI (TERRICE 600CB OR EQUAL).

CONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE DOMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE PRESSURE EXCEEDS 80PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS LF223) AND UPSTREAM STRAINER (WATTS LSF777).

CONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER SUPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE BIBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) SHALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED.

INSULATION
INSULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. PIPE UP TO 1 1/4": 1" THICK INSULATION. PIPE 1 1/2" OR LARGER: 1 1/2" THICK INSULATION

INSULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING. VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, EXPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO 1"-3/4" THICK. PIPING 1 1/2" AND OVER: 1" THICK INSULATION. ALL WATER AND DRAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED WITH FOAM INSULATION.

ALL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.

INSULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-IN/HR x SQFT x F.

PROTECTION OF PIPING
PIPING PASSING UNDER FOOTINGS OR THROUGH FOUNDATION WALLS SHALL BE PROVIDED WITH A SLEEVE TWICE THE DIAMETER OF THE PIPE. OPEN ENDS OF SLEEVES SHALL BE SEALED. PIPING PASSING THROUGH CONCRETE OR CINDER WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED IN ACCORDANCE WITH IPC 305.1. ALL PIPING INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RATTERS OR SIMILAR MEMBERS SHALL BE PROTECTED BY STEEL SHIELD PLATES IN ACCORDANCE WITH IPC 305.6. VERTICAL STACKS IN WOOD CONSTRUCTION SHALL BE PROTECTED FROM BUILDING SETTLING WITH COMPRESSION/EXPANSION FITTINGS AND PIPE CLAMPS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS (FERNCO XI SERIES OR EQUAL).

SPECIFICATIONS

APPLICABLE CODES:

INTERNATIONAL FIRE CODE (IFC), 2018 EDITION
2020 IFC CO AMENDMENTS
INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION
2020 IPC CO AMENDMENTS
INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION
2020 IMC CO AMENDMENTS
INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION
2020 IFGC CO AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 EDITION
2020 SUPPLEMENTS AND AMENDMENTS

GENERAL NOTES:

REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL CEILING MOUNTED EQUIPMENT.

ALL DUCT DIMENSIONS INDICATED IN THESE DOCUMENTS ARE INSIDE-CLEAR DIMENSIONS.

PORTIONS OF DUCTWORK OR PIPING VISIBLE THROUGH GRILLES AND REGISTERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK. PAINT BLACK BEHIND ALL GRILLES.

ALL WIRING IN THE CEILING PLENUM SHALL BE PLENUM RATED CABLE.

MOUNTING FRAME OF CEILING MOUNTED AIR DISTRIBUTION DEVICES SHALL BE COMPATIBLE WITH CEILING TYPE. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE.

ALL FIRE SEPARATIONS MUST BE PROTECTED WHEN APPLICABLE.

PROVIDE NEW FILTERS (MERV 7 OR BETTER PER OWNER) FOR ALL APPLICABLE HVAC EQUIPMENT AT THE END OF CONSTRUCTION.

ALL MATERIAL IN PLENUM MUST MEET FIRE AND SMOKE SPREAD AS REQUIRED BY NFPA 90A.

ALL ROOF PENETRATIONS TO BE 12" APART AND AT LEAST 12" AWAY FROM CURBS, WALLS, AND DRAIN SUMPS TO PROVIDE ROOFING CONTRACTOR WITH SUFFICIENT ACCESS FOR FLASHING EACH ROOF PENETRATION.

SUBSTITUTIONS MUST BE APPROVED IN WRITING BY ARCHITECT PRIOR TO BID SUBMISSION.

CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH THE SCOPE AND REQUIREMENTS OF THIS PROJECT. ANY DISCREPANCIES OR LACK OF CLARITY IN THE DOCUMENTS SHALL BE IDENTIFIED TO THE ARCHITECT OR ENGINEER PRIOR TO THE SUBMISSION OF PRICING BIDS. WITH A SUBMITTED BID, CONTRACTOR IS ACCEPTING THESE DOCUMENTS AS SUFFICIENT DEFINITION OF THE SCOPE OF WORK, AND ANY ADDITIONAL COSTS BASED ON UNCLEARITY OF CONTRACT DOCUMENTS WILL NOT BE CONSIDERED.

THE CONTRACTOR SHALL REFERENCE THE FULL SET OF CONSTRUCTION DOCUMENTS DURING PRICING AND CONSTRUCTION FOR COORDINATION BETWEEN DISCIPLINES RELATIVE TO THE MECHANICAL SCOPE.

EXISTING CONDITIONS:

CONTRACTOR SHALL VISIT THE SITE AND UNDERSTAND JOB CONDITIONS BEFORE SUBMITTING A PROPOSAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITY SERVICES PRIOR TO SUBMITTING HIS PROPOSAL. NO CONSIDERATION WILL BE GIVEN TO CLAIMS FOR EXTRA COST ARISING FROM CONTRACTOR'S FAILURE TO BE FULLY COGNIZANT OF JOB OR SITE CONDITIONS EXISTING AT TIME OF ACCEPTANCE OF BID.

ACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, PROTECT, BRACE, SUPPORT EXISTING ACTIVE SEWERS, GAS AND OTHER SERVICES REQUIRED FOR PROPER EXECUTION OF WORK. IF EXISTING ACTIVE SERVICES ARE ENCOUNTERED THAT REQUIRE RELOCATION, RELOCATE AS APPROVED. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES THAT ARE TO REMAIN.

INACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, REMOVE, CAP OR PLUG INACTIVE SERVICES, AS INDICATED.

INTERRUPTION OF SERVICES: WHERE WORK MAKES TEMPORARY SHUT-DOWNS OF SERVICES UNAVOIDABLE, SHUT DOWN AT NIGHT, OR AT SUCH TIMES AS APPROVED BY OWNER, WHICH WILL CAUSE LEAST INTERFERENCE WITH ESTABLISHED OPERATING ROUTINE. ARRANGE WORK TO ASSURE THAT SERVICES WILL BE SHUT DOWN ONLY DURING TIME ACTUALLY REQUIRED TO MAKE NECESSARY CONNECTION TO EXISTING WORK.

WHERE EXISTING WALLS, CEILINGS, FLOORS, ETC., ARE CUT OR OTHERWISE DAMAGED DURING CONSTRUCTION, REPAIR ALL SURFACES TO THEIR ORIGINAL CONDITION.

SHOP DRAWINGS:

SUBMIT SHOP DRAWINGS FOR REVIEW. PDF FILES PREFERRED. SHOP DRAWINGS SHALL BE BOUND INTO VOLUMES (FILES), WITH EACH VOLUME (FILE) CONTAINING ONE COPY OF ALL SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED SIMULTANEOUSLY; NO SHOP DRAWINGS WILL BE CHECKED UNTIL ALL HAVE BEEN SUBMITTED.

SUBMITTALS SHALL BE SUPPORTED BY DESCRIPTIVE MATERIAL, SUCH AS CATALOG CUTS, DIAGRAMS, PERFORMANCE CURVES AND CHARTS PUBLISHED BY THE MANUFACTURER, TO SHOW CONFORMANCE TO SPECIFICATION AND DRAWING REQUIREMENTS. MODEL NUMBERS ALONE WILL NOT BE ACCEPTABLE. ALL LITERATURE SHALL CLEARLY INDICATE THE SPECIFIED MODEL NUMBER, DIMENSIONS, ARRANGEMENT, RATING AND CHARACTERISTICS OF THE PROPOSED EQUIPMENT. CAPACITIES AND RATINGS SHALL BE BASED ON CONDITIONS INDICATED OR SPECIFIED HEREIN. ANY DEVIATIONS FROM SPECIFIED EQUIPMENT (PARTICULARLY THOSE WHICH REQUIRE COORDINATION WITH OTHER TRADES) SHALL BE CLEARLY NOTED IN A CONCISE LIST ON A SEPARATE SHEET.

TEST AND BALANCE:

TEST AND BALANCE (TAB) CONTRACTOR SHALL HOLD A CURRENT NATIONAL BALANCING COUNCIL (NBO) CERTIFICATION AND POSSESS ACCURATE AND CALIBRATED INSTRUMENTS. TAB WORK AND REPORTS SHALL BE PER NBO PRACTICAL STANDARDS, PROCEDURES AND FORMS. ACCEPTABLE ALTERNATIVE TAB FIRM CERTIFICATIONS/PROCEDURES: NEBB, AABC, OR TABB.

PRIOR TO COMMENCEMENT OF THE TAB WORK, THE MECHANICAL SYSTEMS ARE TO BE STARTED AND FULLY FUNCTIONING. A CHECKLIST PRIOR TAB WORK IS TO BE SENT TO THE INSTALLING CONTRACTOR AND RETURNED ATTESTING TO THE READINESS OF THE SYSTEMS FOR BALANCING.

PREFERRED TAB FIRM: P-TAB.COM

GUARANTEE:

GUARANTEE THAT EACH PIECE OF APPARATUS SHALL BE OF THE CUSTOMARY STANDARD AND QUALITY FURNISHED BY THE DESIGNED MANUFACTURER FOR THAT CATALOG NUMBER.

GUARANTEE THAT THE AIR SYSTEMS SHALL OPERATE WITHOUT AERODYNAMIC NOISE GENERATED FROM THE FAULTY INSTALLATION OF DUCT WORK OR ANY COMPONENT OF THE AIR DISTRIBUTION SYSTEM.

GUARANTEE THAT ALL SYSTEMS AND COMPONENTS SHALL BE PROVIDED WITH A ONE YEAR WARRANTY FROM THE TIME OF DATE OF SUBSTANTIAL COMPLETION. THE WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP. DURING THIS WARRANTY PERIOD, ALL DEFECTS IN MATERIALS AND WORKMANSHIP SHALL BE CORRECTED BY REPAIR OR REPLACEMENT WITHOUT INCURRING ADDITIONS TO THE CONTRACT.

SNOW MELT BOILER WATER PIPING:

CONDENSER WATER PIPING SHALL BE SCHEDULE 40 STEEL PIPE: GROOVED, MECHANICAL JOINT COUPLING AND FITTINGS; AND GROOVED MECHANICAL JOINTS.

SNOW MELT BOILER WATER PIPING INSULATION:

CONDENSER WATER PIPING SHALL BE INSULATED WITH 1-1/2" CELLULAR GLASS WITH ALL SERVICE JACKET (ASJ) OR 1-1/2" MINERAL FIBER PREFORMED PIPE, TYPE I, WITH ASJ.



DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

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PROJECT NUMBER	324050
ISSUE DATE	7/10/2024

ISSUE

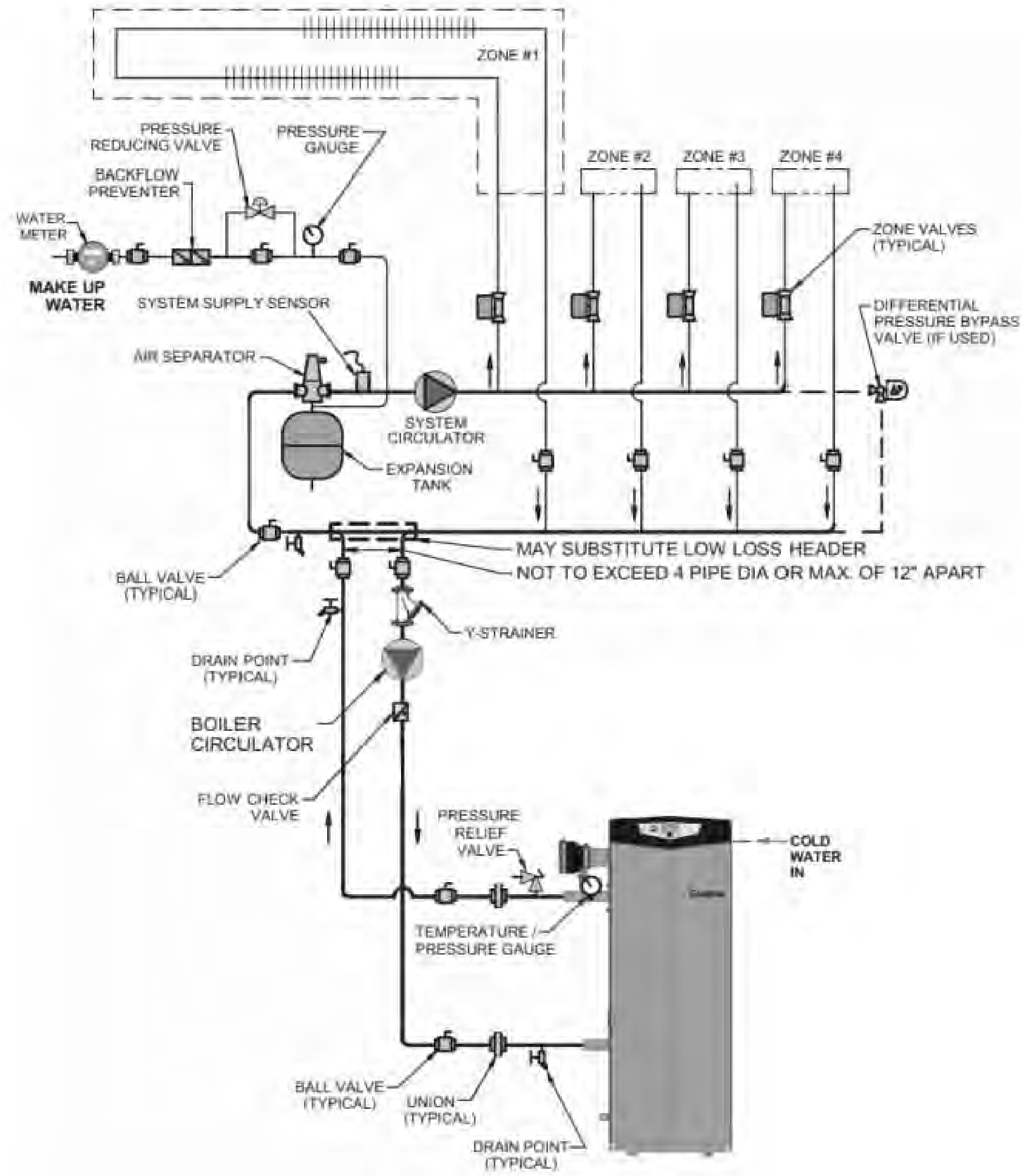
DESIGN REVIEW APPLICATION

SHEET TITLE

GENERAL

SHEET NO.

MO.1



BOILER INSTALLATION DETAIL
NO SCALE

HOT WATER BOILER

MARK	SERVES	BASIS OF DESIGN	WATER			HEATER		TURN DOWN	THERMAL EFFICIENCY (%)	OPERATING WEIGHT (LBS)	REMARKS									
			GPM	EWT (°F)	LWT (°F)	INPUT (MBH)	OUTPUT (MBH)				1	2	3	4	5	6	7	8	9	10
B-1	BUILDING B RAMP	FBI 751	145.0	40	121	1,751.0	1,694.0	25:1	96.2	250	X	X	X	X	X	X	X	X	X	X
NOTES:											REMARKS:									
A. SELECTIONS ARE BASED ON LOCHINVAR, EQUAL PRODUCTS BY AERCO, PATTERSON KELLEY, HYDROTHERM.											1. SINGLE POINT POWER CONNECTION.									
B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.											2. DISCONNECT SWITCH PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.									
C. THERMAL EFFICIENCY IS BASED ON AHRI EFFICIENCY 80°F TO 180°F.											3. FACTORY PROVIDED MULTI-BOILER CONTROL SYSTEM.									
											4. OUTDOOR AIR RESET.									
											5. BAS INTERFACE (BACNET).									
											6. DIRECT VENT SEALED COMBUSTION CONFIGURATION.									
											7. CONCENTRIC VENT KIT.									
											8. HIGH & LOW GAS PRESSURE SWITCHES WITH MANUAL RESET.									
											9. 50%-50% PROPYLENE GLYCOL AND WATER SOLUTION. PROVIDE ADVANTAGE CONTROLS 55 GALLON E-GLYCOL FEEDER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE WITH BAS INTERFACE (BACNET).									

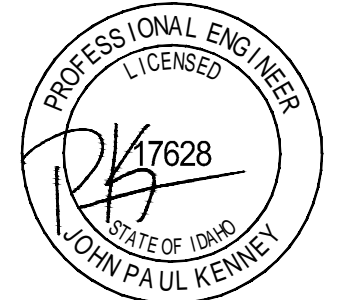
PUMP SCHEDULE

MARK	SERVICE / DUTY	TYPE	GPM	HEAD (FT)	IMPELLER DIAMETER (IN)	MAX NPSHR (PSI)	MOTOR (HP)	PUMP* SPEED (RPM)	PUMP EFF (%)	OPERATING WEIGHT (LBS)	BASIS OF DESIGN MODEL	REMARKS							
												1	2	3	4	5	6	7	8
P-1 A	B-4: PRIMARY LOOP	ECM HIGH-EFFICIENCY	145	11,000	10"	4.35	2.1	4760	36	52	TACO VR25MSP	X	X	X	X	X	X	X	X
P-1 B	B-4: SECONDARY LOOP	ECM HIGH-EFFICIENCY	145	13,900	10"	4.4	5	4400	63	72	TACO SKV3009D	X	X	X	X	X	X	X	X
NOTES (APPLY TO ALL):											REMARKS:								
A. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION											1. FLEXIBLE COUPLING.								
B. BASIS OF DESIGN: TACO AND GRUNDFOS											2. DISCONNECT SWITCH BY THE ELECTRICAL SUBCONTRACTOR.								
ACCEPTABLE ALTERNATES: BELL & GOSSETT, ARMSTRONG, AURORA.											3. SUCTION DIFFUSER WITH INTEGRAL STRAINER.								
											4. INVERTER DUTY MOTOR WITH VFD. VFD PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.								
											5. DDC CONTROL. INTERLOCK WITH BAS.								
											6. FIELD INSTALLED DIFFERENTIAL PRESSURE SENSOR AT MOST CRITICAL POINT.								
											7. PUMP & INERTIA BASE MOUNTED ON CONCRETE HOUSEKEEPING PAD PROVIDED BY OTHERS.								
											8. PUMP IS PROVIDED WITH BOILER AND IS SHOWN FOR REFERENCE ONLY								

MANIFOLD SCHEDULE

MARK	BOILER	CIRCUITS	GPM	REQUIRED TEMP (°F)	SUPPLIED TEMP (°F)	MANIFOLD TYPE (FT)	MANIFOLD HEAD LOSS (FT)	CIRCUIT HEAD LOSS (FT)	S/R HEAD LOSS (FT)	TOTAL HEAD LOSS (FT)
MANIFOLD 1	B-1	6	14.17	115	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	5.2	10.2	0	15
MANIFOLD 2	B-1	5	10.98	116	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	3.9	10.1	0	14
MANIFOLD 3	B-1	12	31.36	115	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	13.9	13.6	0	28
MANIFOLD 4	B-1	4	10.48	116	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	5.1	13.0	0	18
MANIFOLD 5	B-1	11	26.83	117	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	10.7	14.2	0	25
MANIFOLD 6	B-1	7	17.80	116	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	6.7	14.1	0	21
MANIFOLD 7	B-1	1	1.90	112	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	2.7	7.5	0	10
MANIFOLD 8	B-1	2	3.01	123	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	1.8	3.9	0	6
MANIFOLD 9	B-1	8	18.81	115	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	6.0	13.0	0	19
MANIFOLD 10	B-1	4	6.59	117	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	2.0	4.3	0	6
MANIFOLD 11	B-1	2	2.56	117	121	PRO-BALANCE 1-1/2" STAINLESS STEEL MANIFOLD WITH GAUGES	2.7	9.5	0	12
NOTES (APPLY TO ALL):										
A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION										

TOWN STAMP



DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

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ISSUE		

DESIGN REVIEW APPLICATION

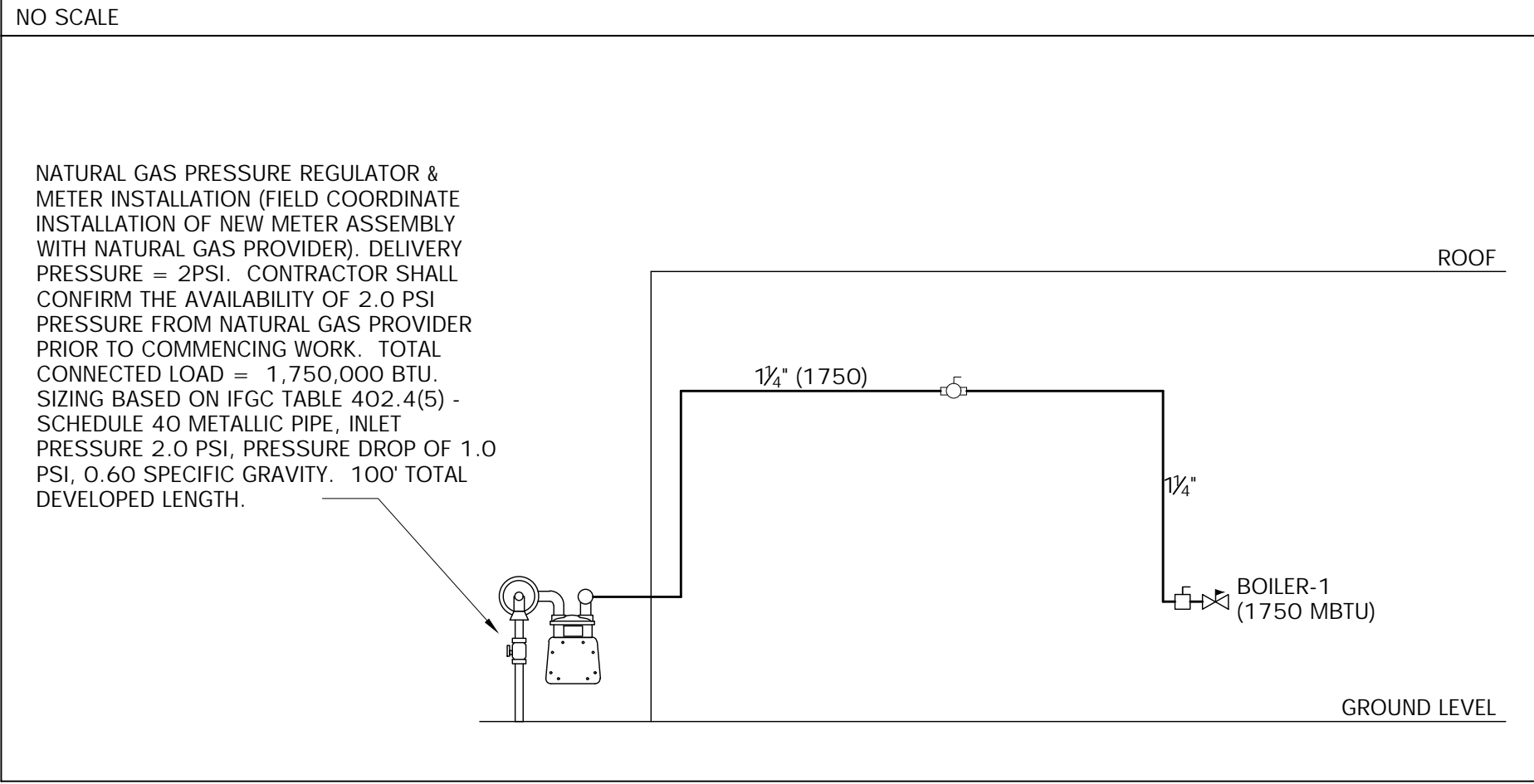
SHEET TITLE

SCHEDULES & DETAILS

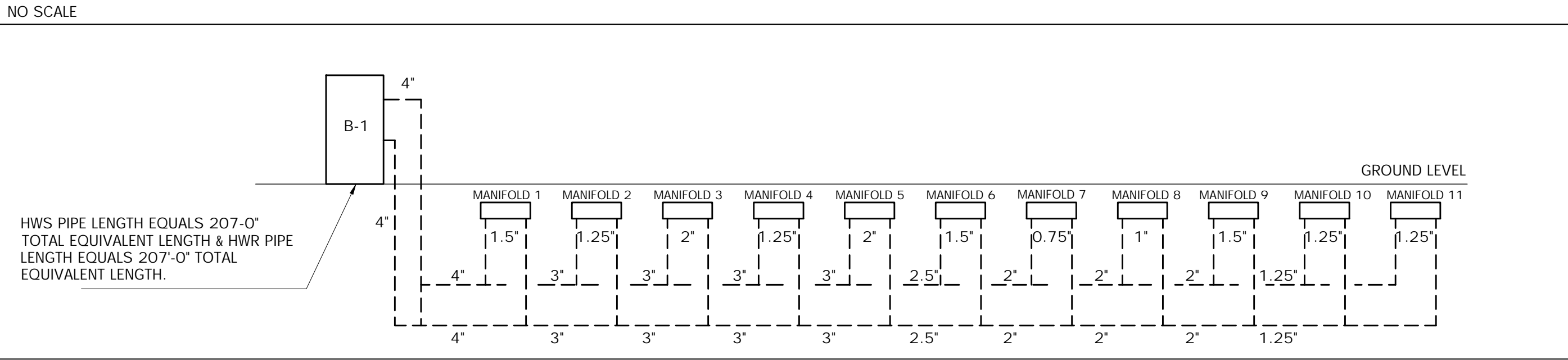
SHEET NO.

MO.2

NATURAL GAS RISER DIAGRAM



MANIFOLD PIPING DIAGRAM FOR BOILER 4



GENERAL NOTES

- A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION ON SNOW MELT PIPING AND MANIFOLDS.
- B. REFER TO MANIFOLD PIPING DIAGRAM FOR BOILER 1 ON THIS SHEET FOR MORE INFORMATION ON BOILER SYSTEM PIPE SIZES.

KEYNOTES

- ① NATURAL GAS DN TO BOILER WITH SHUTOFF VALVE, DIRT LEG & UNION. FIELD COORDINATE FINAL CONNECTION.
- ② 1" DOMESTIC WATER SERVICE BIG. SEE CIVIL DWG FOR CONT
- ③ BOILER FLUE VENT TO EXTERIOR WALL TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.
- ④ ROUTE 4" HWS TO MANIFOLDS AND CONTINUE 4" HWR FROM MANIFOLDS BACK TO BOILER. REFER TO SNOW MELT SYSTEM LOOP DRAWING ON SHEET M3.0 FOR MANIFOLD LOCATIONS AND MANIFOLD PIPING DIAGRAM.
- ⑤ NATURAL GAS DN TO NEW METER/PRV INSTALLATION, COORDINATE WITH UTILITY PROVIDER. SEE NATURAL GAS RISER DIAGRAM FOR ADDITIONAL INFORMATION AND SIZING CRITERIA.
- ⑥ BOILER COMBUSTION PIPE TO EXTERIOR WALL TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.

BOILER VENT CLEARANCES:

- AT LEAST 6 FEET (1.8 M) FROM ADJACENT WALLS.
- NO CLOSER THAN 12 INCHES (305 MM) BELOW ROOF OVERHANG.
- AT LEAST 7 FEET (2.1 M) ABOVE ANY PUBLIC WALKWAY.
- AT LEAST 3 FEET (.9 M) ABOVE ANY FORCED AIR INTAKE WITHIN 10 FEET (3 M).
- NO CLOSER THAN 4 FEET (1.2 M) BELOW OR HORIZONTALLY FROM ANY DOOR OR WINDOW OR ANY OTHER GRAVITY AIR INLET.

B. AIR INLET MUST TERMINATE AT LEAST 12 INCHES (305 MM) ABOVE GRADE OR SNOW LINE; AT LEAST 3 FEET (.9 M) BELOW THE VENT TERMINATION (FIG. 4-1B); AND THE VENT PIPE MUST NOT EXTEND MORE THAN 24 INCHES (610 MM) VERTICALLY OUTSIDE THE BUILDING.

C. DO NOT TERMINATE CLOSER THAN 4 FEET (1.2 M) HORIZONTALLY FROM ANY ELECTRIC METER, GAS METER, REGULATOR, RELIEF VALVE, OR OTHER EQUIPMENT. NEVER TERMINATE ABOVE OR BELOW ANY OF THESE WITHIN 4 FEET (1.2 M) HORIZONTALLY.



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ISSUE

DESIGN REVIEW
APPLICATION

SHEET TITLE

SNOW MELT DESIGN

SHEET NO.

M1.0

1 FLOOR PLANS - LEVEL 1
1/8" = 1'-0"



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This technical information is provided only for general quotation purposes and is based in part on information you provided. No representations, warranties, or guarantees are made regarding the suitability of REHAU technical information to meet code requirements for any particular project, nor regarding the accuracy of the costing of any project based upon this information.

This technical information is not intended to be used as final drawings or specifications and is provided only as an aid in architect's/engineer's development of the final Specification and is not intended as a substitute for sound architectural/engineering judgment. The architect/engineer shall be responsible to convert this technical information into a final Specification that meets the functional and aesthetic needs of its client, as well as complying with all applicable codes and local climate conditions.

PROJECT:
Warm Springs Snowmelt REV8
Quote#061725DPMEQ

CUSTOMER:

PROJECT NO.:
061725DPMEQ

SCALE:
3/16"=1'

DRAWING NAME:
Snow Melt

DRAWN BY:
Dylan Meyer
Created Using LoopCAD 2024 24.0.0696 (6/17/2025)

DATE:
6/17/2025

REVISIONS		
No	Desc	Date

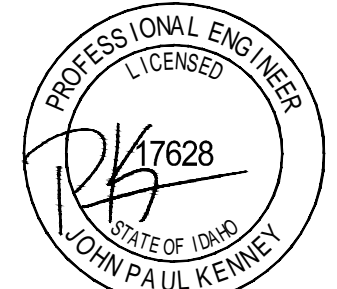
REVISION No.	Description	Date
1	Design Review	11/5/2024
2	Resubmission	3/14/2025
3	Design Review	6/25/2025
	Resubmission	

PROJECT NUMBER: 324050
ISSUE DATE: 7/10/2024

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DESIGN REVIEW APPLICATION

PAGE NO.
1

TOWN STAMP



DISCIPLINE STAMP

WARM SPRINGS TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340







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1	Design Review	11/5/2024
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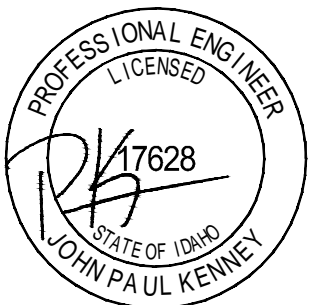
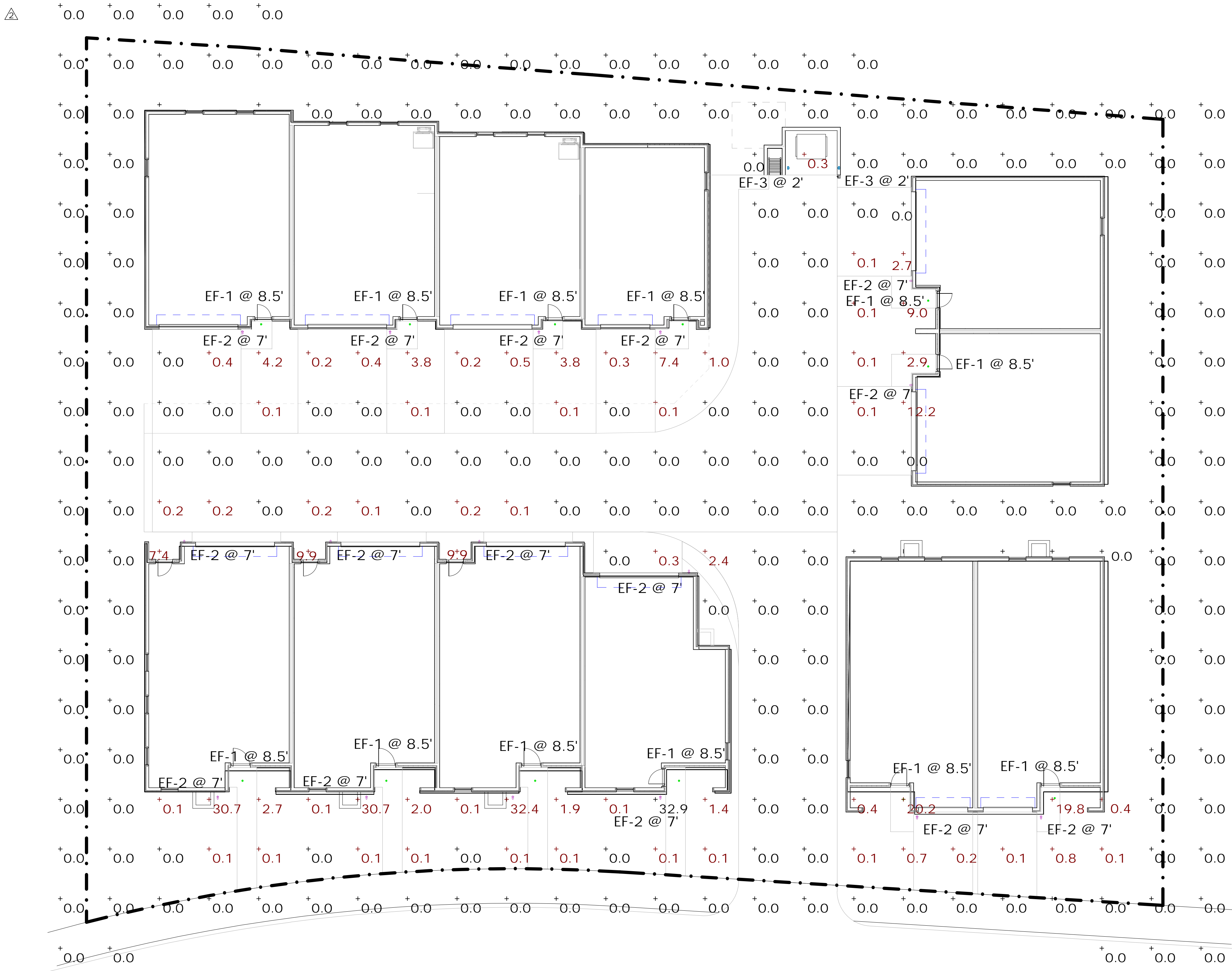
ISSUE:
DESIGN REVIEW APPLICATION

SHEET TITLE:
SNOW MELT SYSTEM LOOP

SHEET NO.
M3.0

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
	EF-1	12	WAC LIGHTING	R3CRDL-BK(N927)	Recessed-mounted Luminaires	R3CRDT-WT(N927).IES	1	842	13.5	
	EF-2	16	WAC LIGHTING	DS-WS0622-F927A-WT	Surface-mounted Luminaires	DS-WS0622-F927A-WT.IES	1	2034	21.8545	
	EF-3	2	WAC Lighting	WL-LED100-27-BK	LED Step light	WL-LED100-C-BK.IES	1	31	4	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		0.9 fc	32.9 fc	0.0 fc	N/A	N/A



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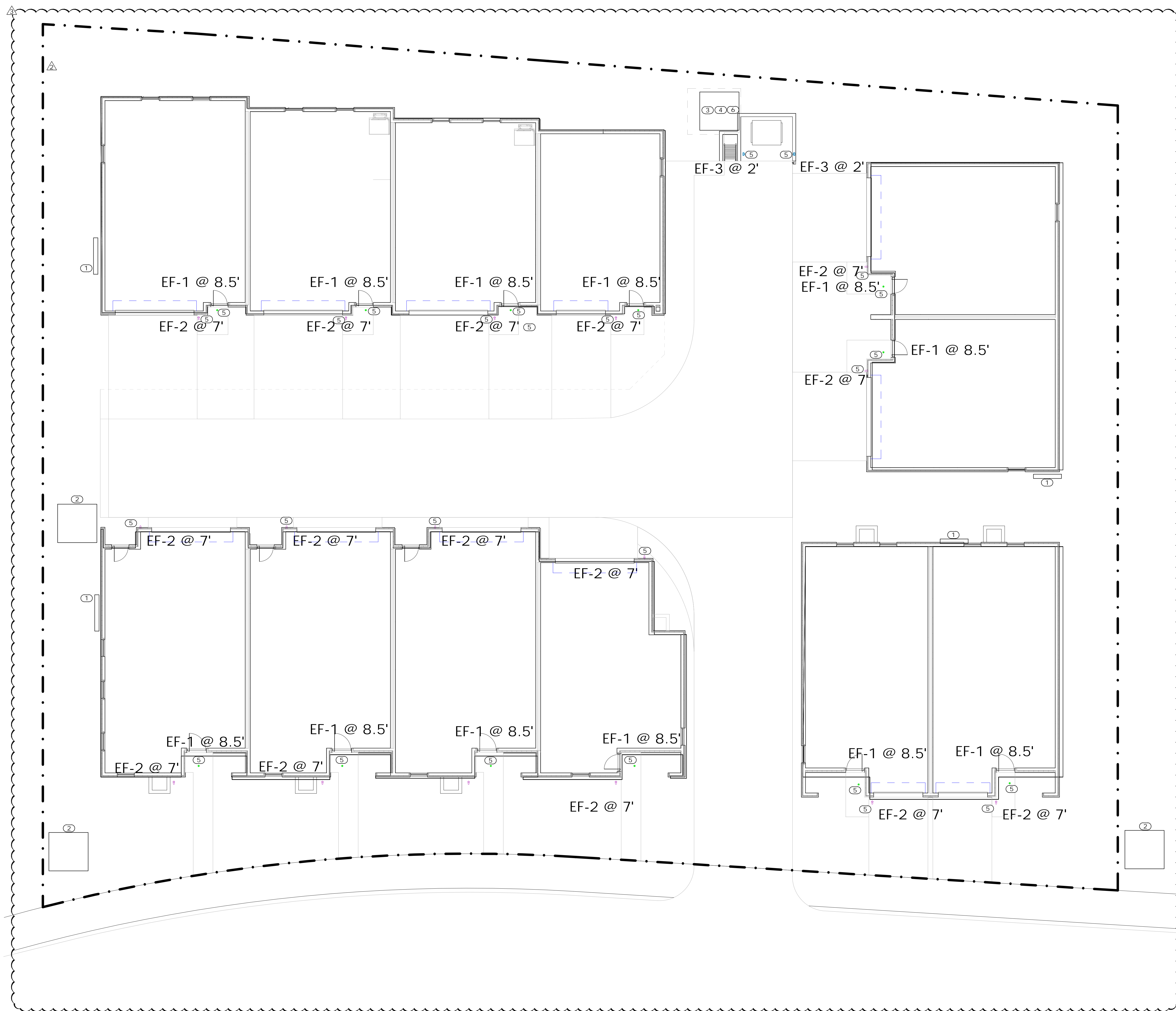
DESIGN REVIEW
APPLICATION

SHEET TITLE

SITE PHOTOMETRIC

SHEET NO.

E0.10



- GENERAL NOTES
- ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.
- KEYNOTES
- 1

PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 2

PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
- 3

PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- 4

PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- 5

PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINAIRE CONTROL TO EXTERIOR LUMINAIRE. CIRCUIT FROM TENANT PANEL.
- 6

PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.

TOWN STAMP

PROFICIENT

ENGINEERING

4704 N. Harlem St Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

PROFESSIONAL ENGINEER
LICENSED
PAUL KENNEY
7628
STATE OF COLORADO
JOHN PAUL KENNEY

DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
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DESIGN REVIEW APPLICATION

SHEET TITLE

SITE PLAN

SHEET NO.

E0.11

1 FLOOR PLANS - LEVEL 1

1/8" = 1'-0"

OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®



Fixture Type: **EF-1**

Catalog Number: **R3CRDL-BK-N927**

Project:

Location:

- PRODUCT DESCRIPTION**
- Ocularc 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trims.
- FEATURES**
- 3 beam angle options included:
 - Narrow flood beam film pre-installed, interchangeable flood beam film supplied, remove film for spot beam.
 - IC-Rated, Airtight, New Construction
 - Adjustable LED light engine included with housing:
 - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
 - Shallow housing under 4" depth
 - 5 year warranty

- SPECIFICATIONS**
- Construction:** Die-cast aluminum trim and heat sink
- Dimming:** 100% - 1% TRIAC, ELV
- 100% - 5%, 0-10V
- Input Power:** 13.5W, 120V-277V 50/60Hz
- Light Source:** High output COB LED rated life of 50,000 hours.
- Mounting:** Retention clips firmly hold trim to housing. Cutout 4 1/4"
- Finish:** Powder coated white, enamel-coated haze.
- Ceiling Thickness:** 1/2" - 1"
- Standards:** UL & cUL, Wet location listed, Energy Star® 2.0
- Operating Temperature:** -4°F to 104°F (-20°C to 40°C)

Trims (Order Housing Separately)	Model	Beam	Color Temp	Lumens	CRI	Finish
	R3CRDT Round Trim Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	R3CRDL Round Trimless Downlight & Adjustable	Narrow Flood 36°	927 2700K	840	1463	HZW Haze/White
			930 3000K	905	1574	WT White
			935 3500K	920	1605	BK Black
			940 4000K	965	1683	
	R3CRDL Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	805	839	
			930 3000K	865	902	
			935 3500K	885	920	
			940 4000K	925	965	
	R3CRDL Round Trimless Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	R3CRDL Round Trimless Downlight & Adjustable	Narrow Flood 36°	927 2700K	840	1463	HZ Haze
			930 3000K	905	1574	WT White
			935 3500K	920	1605	BK Black
			940 4000K	965	1683	
	R3CRDL Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	805	839	
			930 3000K	865	902	
			935 3500K	885	920	
			940 4000K	925	965	

R3CRD - -
Example: **R3CRDT-WT**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

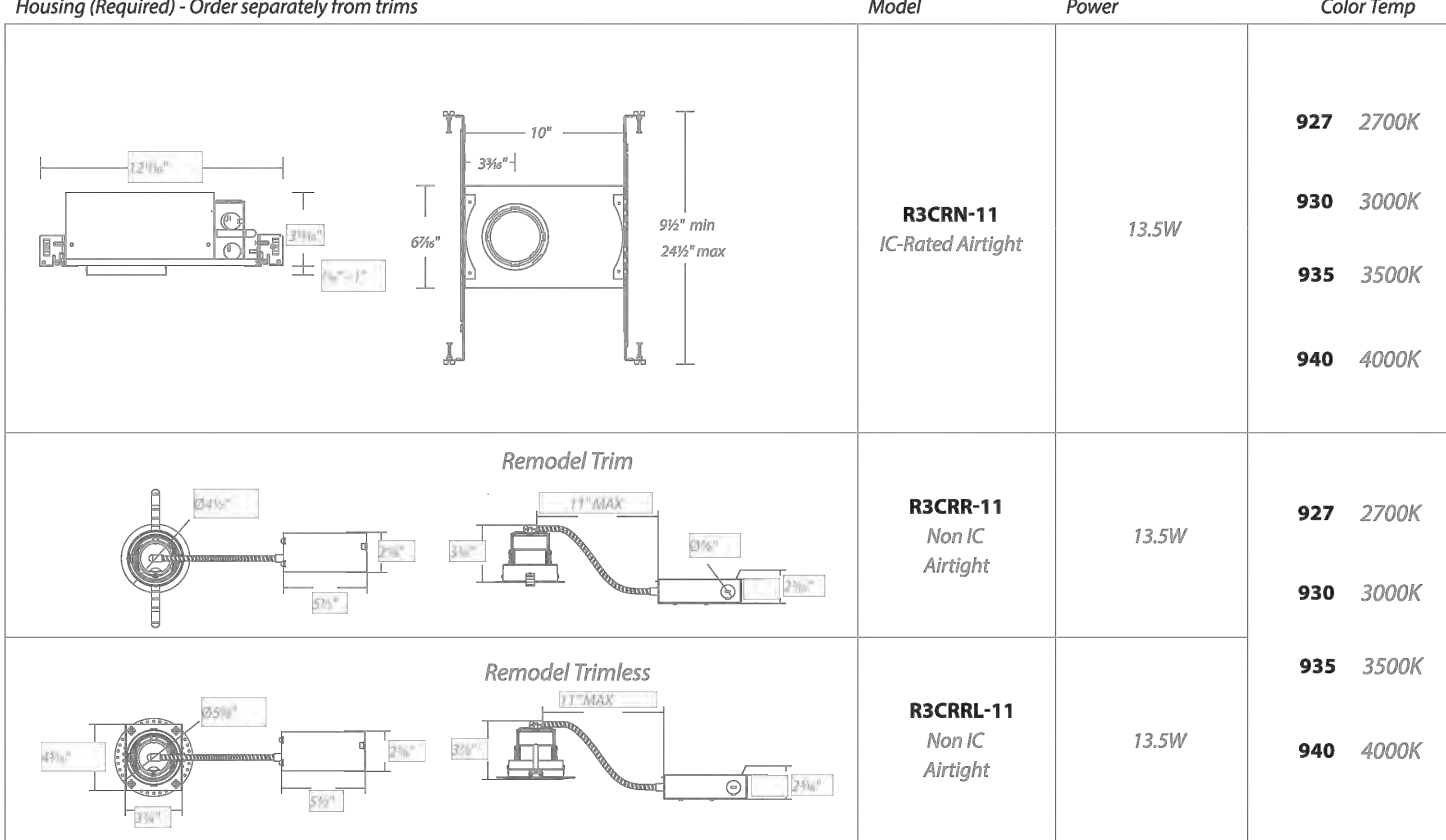
Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB. 2021 1

OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®



R3CR - 11 -
Example: **R3CRN-11-R27**

- FEATURES**
- Adjustable LED light engine included with housing:
 - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
 - Trim or trimless with die-cast spackle frame included.
 - Accepts one optional honeycomb louver or optical lens.

GLARE CONTROL ACCESSORIES sold separately

LENS-16 HCL Honeycomb Louver

LENS ACCESSORIES sold separately

AMB Amber
RED Red
FR Frosted
SPR Spread
BEL Beam Elongating

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

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TUBE ARCHITECTURAL DS-WS06
LED Wall Mounts



Fixture Type: **EF-2**

Catalog Number: **DS-WS0622-F927A-WT**

Project:

Location:

- PRODUCT DESCRIPTION**
- The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.
- FEATURES**
- High performance exterior rated LED wall mount light
 - Fixture can install upside down to alter light distribution
 - Solid aluminum construction
 - 5 year warranty
- SPECIFICATIONS**
- Inputs:** Universal voltage 120V - 277VAC, 50/60Hz
- Dimming:** Electronic low voltage (ELV) 100% - 5%
0-10V, 100% - 1%
- Light Source:** High output 3 Step Mac Adam Ellipse COB
- Rated life:** 60,000 hours at L70
- Finish:** Electrostatically powder coated, white, black, bronze and graphite
- Standards:** IP65 rated, ETL & cETL wet location listed, Energy Star® 2.2 rated, Title 24 JAS-2016 Compliant
- Operating Temp:** -13°F to 122°F (-23°C to 50°C)

Diameter	Watt	Beam Angle	Color Temp	Reference Output CRI Lumens	Efficacy lm/w	Light Distribution	Finish
DS-WS06 6" 35W	S Straight up or down	16°	927S	2700K 90	2820	18842 81	
			927S	2700K 85	3385	39089 97	
			930S	3000K 90	2925	19543 84	
			935S	3500K 85	3335	23632 101	
DS-WS0622 6" 22W	F Straight up or down	38°	927F	2700K 90	2820	7992 81	
			927F	2700K 85	3390	6540 97	
			930F	3000K 90	2930	8290 83	
			935F	3500K 85	3310	10024 100	
DS-WS06 6" 35W	N Straight up or down	28°	927N	2700K 90	2820	7992 81	
			927N	2700K 85	3390	6540 97	
			930N	3000K 90	2930	8290 83	
			935N	3500K 85	3310	10024 100	
DS-WS0622 6" 22W	WT Towards the wall	N/A	927WT	2700K 90	2820	7992 81	
			927WT	2700K 85	3390	6540 97	
			930WT	3000K 90	2930	8290 83	
			935WT	3500K 85	3310	10024 100	
DS-WS06 6" 35W	F Away from the wall	N/A	927F	2700K 90	2820	7992 81	
			927F	2700K 85	3390	6540 97	
			930F	3000K 90	2930	8290 83	
			935F	3500K 85	3310	10024 100	
DS-WS0622 6" 22W	F Towards the wall	N/A	927F	2700K 90	2820	7992 81	
			927F	2700K 85	3390	6540 97	
			930F	3000K 90	2930	8290 83	
			935F	3500K 85	3310	10024 100	

DS-WS06 - -
Example: **DS-WS06-F930A-WT**

Reference output shows 35W output. Multiply by 0.7 to determine output for 22W combinations.

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Ontario, CA 91760

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Model: WL-LED100
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®



Fixture Type: **EF-3**

Catalog Number: **WL-LED100-27-BK**

Project:

Location:

- PRODUCT DESCRIPTION**
- Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.
- Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

- FEATURES**
- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
 - Direct wiring, no driver needed
 - Low profile, flush to wall aesthetics with no visible hardware
 - 54,000 hour rated life
 - Balanced lighting, free of shadows with minimum glare
 - IP66 rated. Protected against high pressure water jets
 - Up to 200 fixtures can be connected in parallel
 - 5 year WAC Lighting product warranty
- SPECIFICATIONS**
- Construction:** Die-cast aluminum or 316 marine grade cast stainless steel
- Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC, 50/60Hz
- Light Source:** 2700K or 3000K CCT Samsung HW-AC High Power LED, CRI: 90
- Optional color lenses.** Total power consumption of 3.3W
- Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/4" x 2 1/4" x 2 1/4"
- Includes bracket for J-Box mount.**
- Approved dimmers:** Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vista NTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600
- Standards:** IP66, UL & cUL Listed for wet locations, Title 24 JAS-2016 Compliant.

ORDER NUMBER	Light Color	Finish	277V Model #	Light Color	Finish
WL-LED100 120V	27 Warm 2700K	BK Black on Aluminum	WL-LED100F 277V	27 Warm 2700K	BK Black on Aluminum
	27 White 3000K	BN* Brushed Nickel on Aluminum		27 White 3000K	BN* Brushed Nickel on Aluminum
	27 Amber 610nm	BZ Bronze on Aluminum		27 Amber 610nm	BZ Bronze on Aluminum
	27 Red 640nm	GH Graphite on Aluminum		27 Red 640nm	GH Graphite on Aluminum
WL-LED100 120V	27 Blue 450nm	SS Stainless Steel	WL-LED100F 277V	27 Blue 450nm	SS Stainless Steel
	27 White on Aluminum	WT White on Aluminum		27 White on Aluminum	WT White on Aluminum
	27 Warm 2700K	BBR Bronze on Brass		27 Warm 2700K	BBR Bronze on Brass
	27 White 3000K	BBR Bronze on Brass		27 White 3000K	BBR Bronze on Brass

*Brushed Nickel Finish is for interior use only

Example: **WL-LED100F-BL-SS**

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Ontario, CA 91760

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DISCIPLINE STAMP

WARM SPRINGS
TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION	No.	Description	Date
1	1	Design Review	11/5/2024
2	2	Resubmission	3/14/2025
3	3	Design Review	6/25/2025

PROJECT NUMBER 324050
ISSUE DATE 7/10/2024

ISSUE

DESIGN REVIEW
APPLICATION

SHEET TITLE

SCHEDULES

SHEET NO.

E0.12

OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
100 W MANCHESTER BLVD, UNIT 6
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TEL: 213.784.0014

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SAN FRANCISCO, CA 94111
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LANDSCAPE ARCHITECT:

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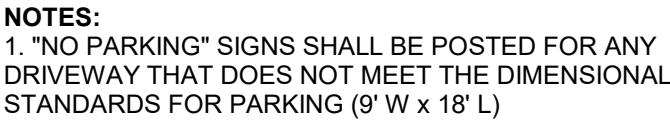
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DRAWING TITLE:
**LEVEL 01 OVERALL FLOOR
PLAN**

PROJECT NUMBER
2305

DRAWING NUMBER:
A-101

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KETCHUM, ID 83340
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DRAWING TITLE:
**LEVEL 02 OVERALL FLOOR
PLAN**

PROJECT NUMBER
2305

DRAWING NUMBER:
A-102

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OWNER:

108-119 RITCHIE LLC
P.O. BOX. 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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KETCHUM, ID 83340
TEL: 208.726.9512

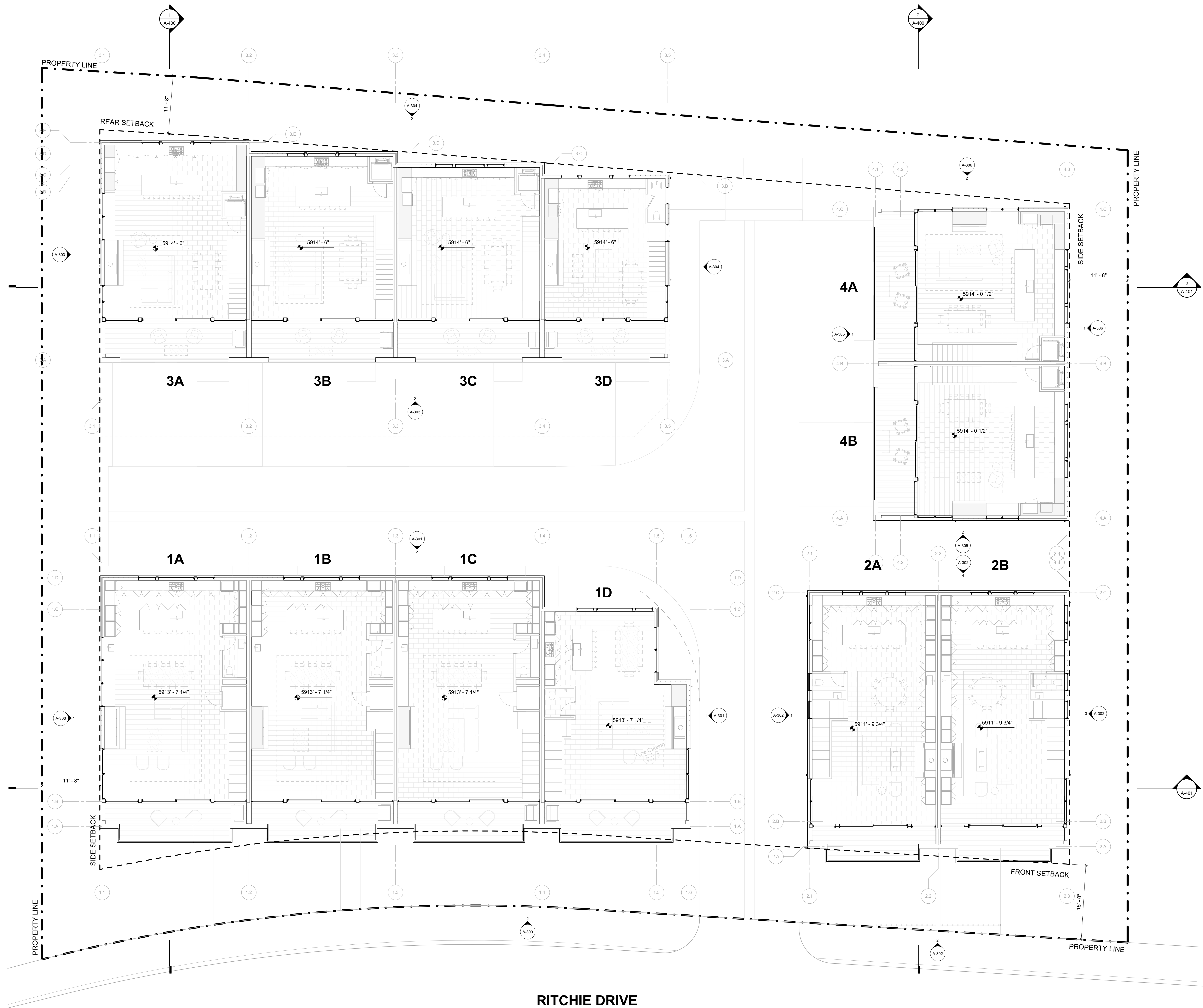
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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

SEAL: _____

PROJECT NUMBER
2305

DRAWING NUMBER:
A-103



OWNER:

108-110 RITCHIE LLC
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KETCHUM, ID 83340
TEL: 603.801.0419

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LANDSCAPE ARCHITECT:

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

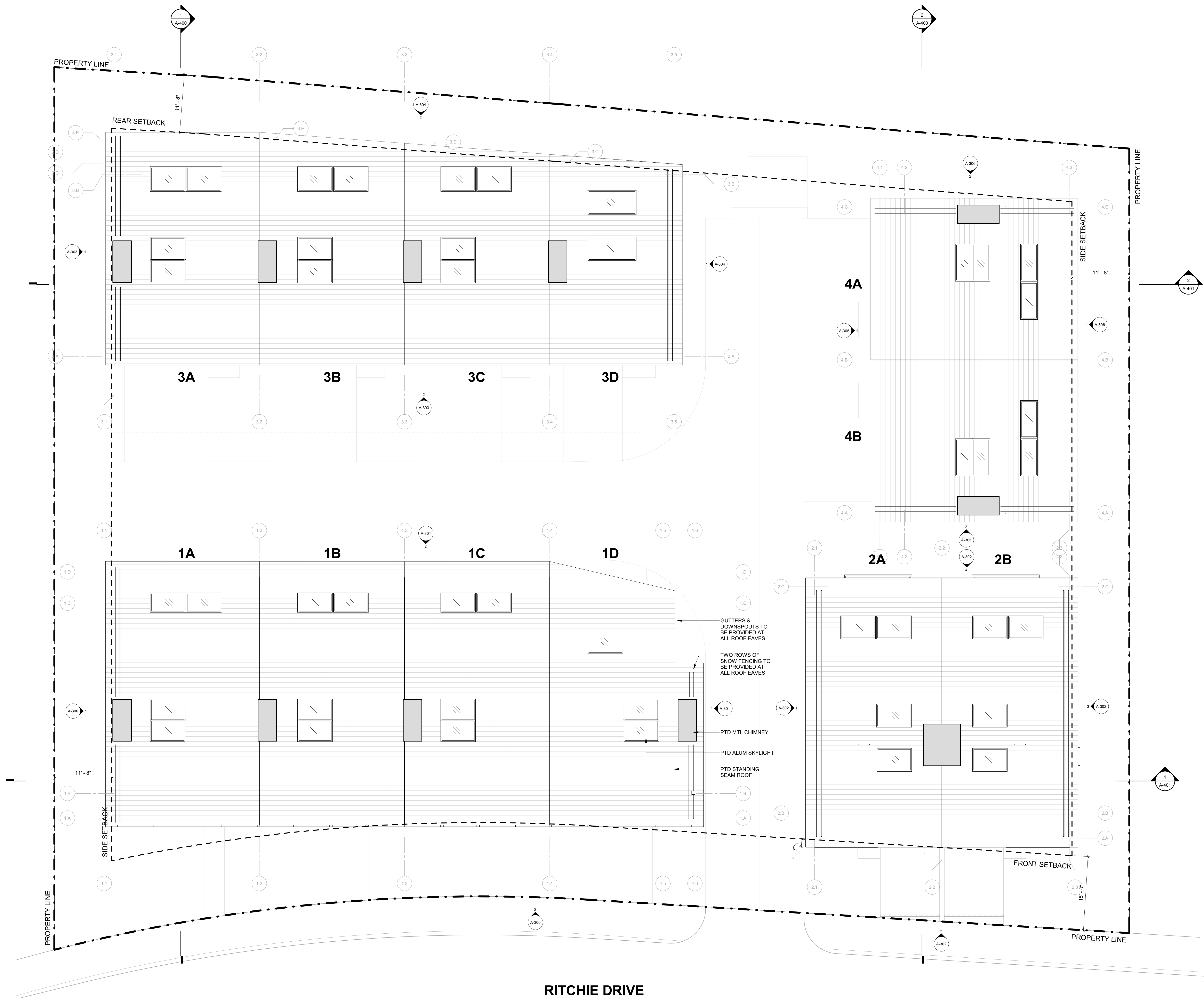
DRAWING TITLE:
OVERALL ROOF PLAN

SEAL: _____

PROJECT NUMBER
2305

DRAWING NUMBER:
A-104

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LANDSCAPE ARCHITECT:

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 1**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-301

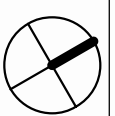
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2	1/4" = 1'-0"	BUILDING 1 / ELEVATION - WEST
---	--------------	-------------------------------



1	1/4" = 1'-0"	BUILDING 1 / ELEVATION - NORTH
---	--------------	--------------------------------



WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

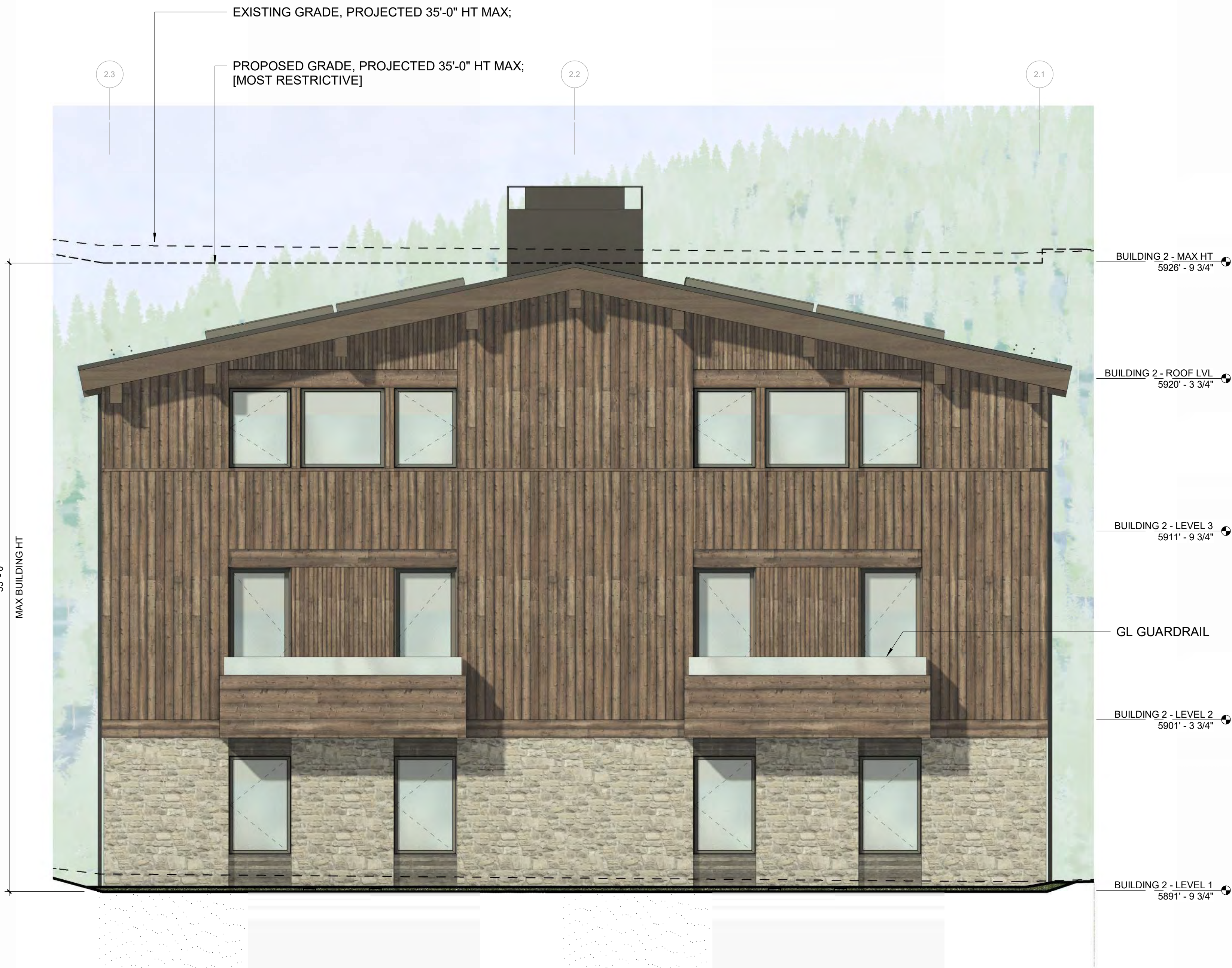
DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 2**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-302

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4 1/4" = 1'-0" BUILDING 2 / ELEVATION - WEST



2 1/4" = 1'-0" BUILDING 2 / ELEVATION - EAST



3 1/4" = 1'-0" BUILDING 2 / ELEVATION - NORTH



1 1/4" = 1'-0" BUILDING 2 / ELEVATION - SOUTH

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 3**

SEAL:

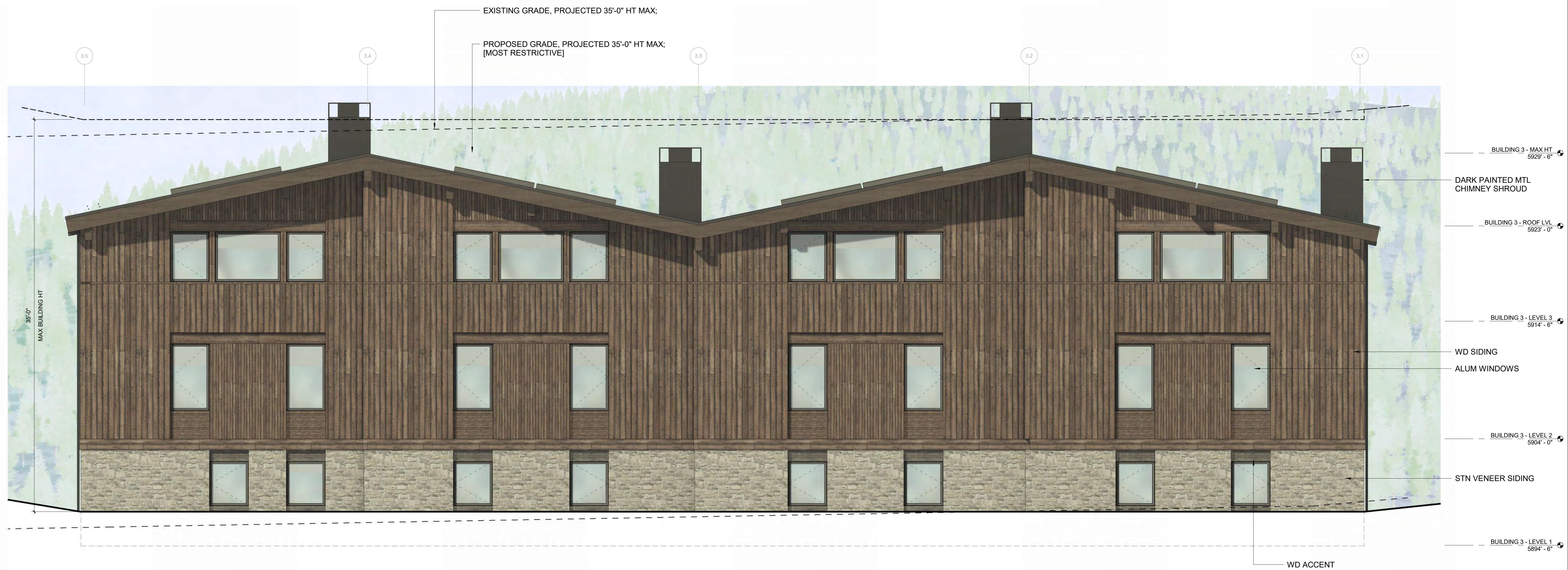
PROJECT NUMBER

2305

DRAWING NUMBER:

A-304

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2	1/4" = 1'-0"	BUILDING 3 / ELEVATION - WEST
---	--------------	-------------------------------



1	1/4" = 1'-0"	BUILDING 3 / ELEVATION - NORTH
---	--------------	--------------------------------

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

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TEL: 208.725.9512

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KETCHUM, ID 83340
TEL: 208.725.0988



2 1/4" = 1'-0" BUILDING 4 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - SOUTH

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
**BUILDING ELEVATIONS -
BUILDING 4**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-305

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -
BUILDING 4

SEAL:

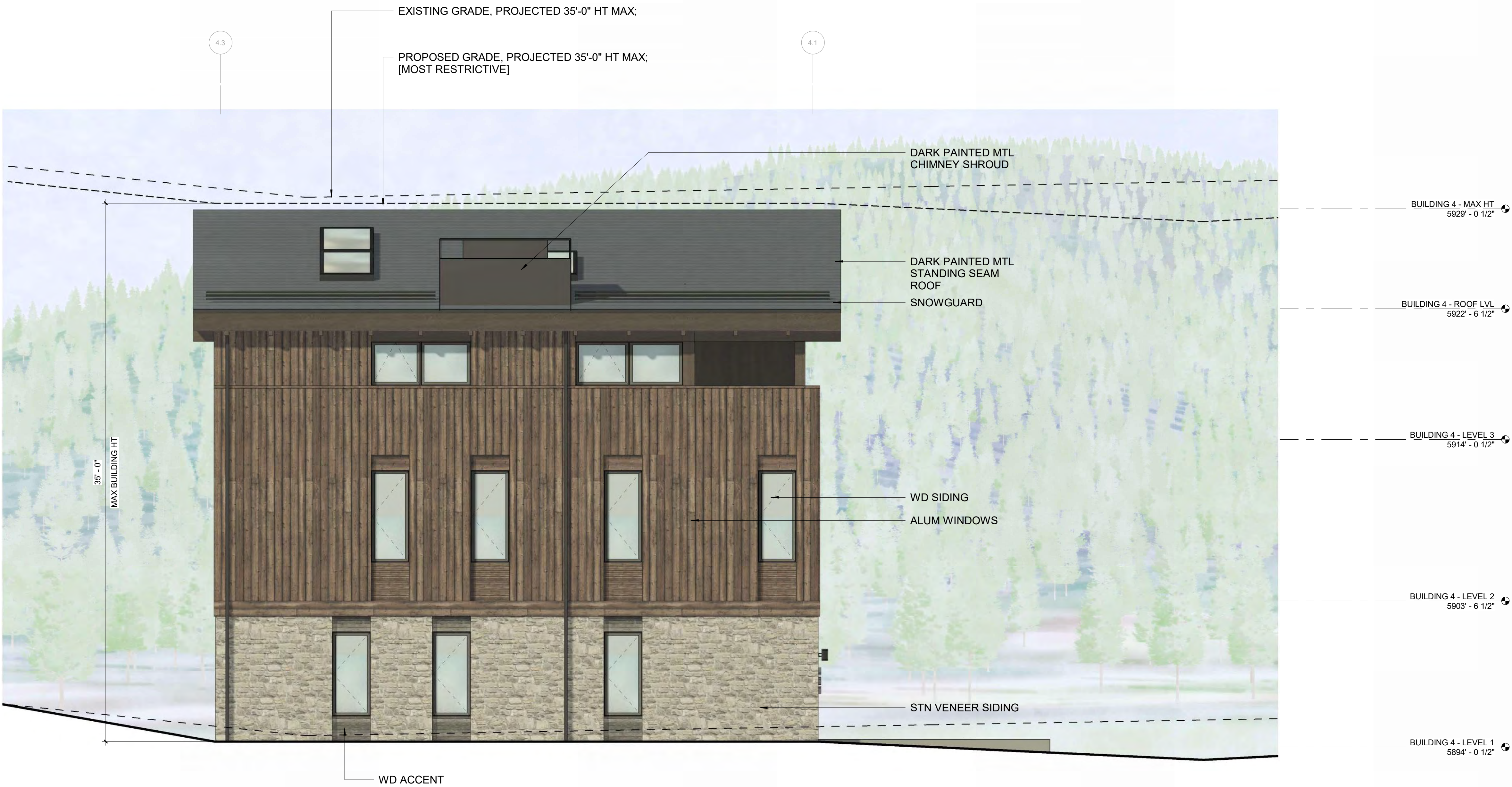
PROJECT NUMBER

2305

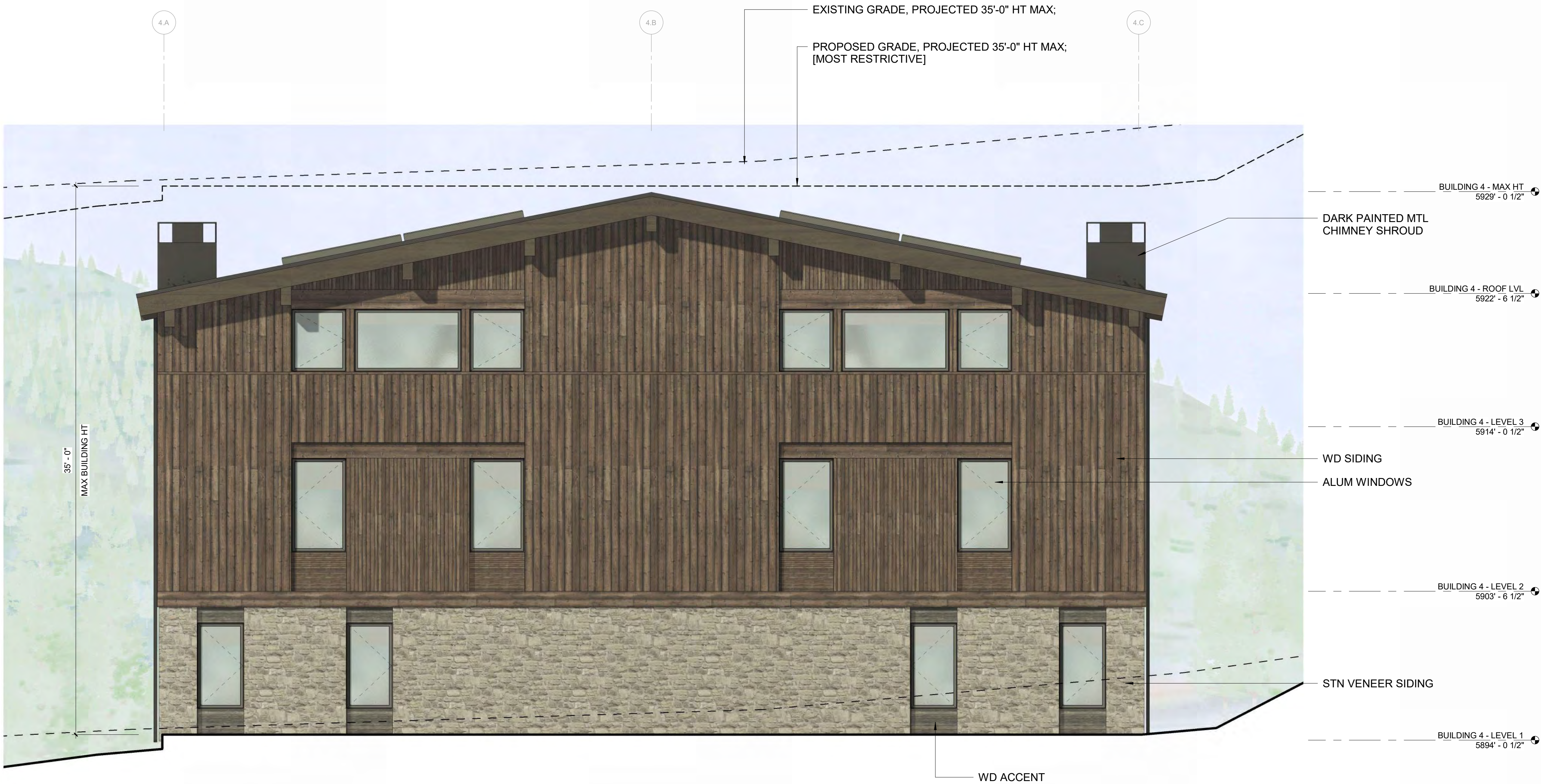
DRAWING NUMBER:

A-306

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2 1/4" = 1'-0" BUILDING 4 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - NORTH

OWNER:

108-110 RITCHIE LLC
P O BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO J ROCKETT DESIGN
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CIVIL ENGINEER:

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LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
5600 NORTH 2ND AVENUE
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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
BUILDING SECTIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-400

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OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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601 W. HANCOCK STREET, BLDV. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.764.0014

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
56 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988



2	3/16" = 1'-0"	BUILDING SECTION - NS B
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1	3/16" = 1'-0"	BUILDING SECTION - NS A
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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
BUILDING SECTIONS

SEAL: _____

PROJECT NUMBER
2305

DRAWING NUMBER:
A-401

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WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:	108-110 RITCHIE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 TEL: 803.801.0419
BUILDING ARCHITECT:	RO ROCKETT DESIGN 1031 W. MANCHESTER BLVD. UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014
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MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:	PROFICIENT ENGINEERING 4704 HARLAN STREET SUITE 620 DENVER, CO 80212 TEL: 720.779.3596
CIVIL ENGINEER:	GALENA BENCHMARK ASSOCIATES 100 BELL DRIVE SUITE C KETCHUM, ID 83340 TEL: 208.725.9512
LANDSCAPE ARCHITECT:	EGGERS ASSOCIATES 560 NORTH 2ND AVENUE KETCHUM, ID 83340 TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
MATERIALS

SEAL:

PROJECT NUMBER
2305
DRAWING NUMBER:
A-500



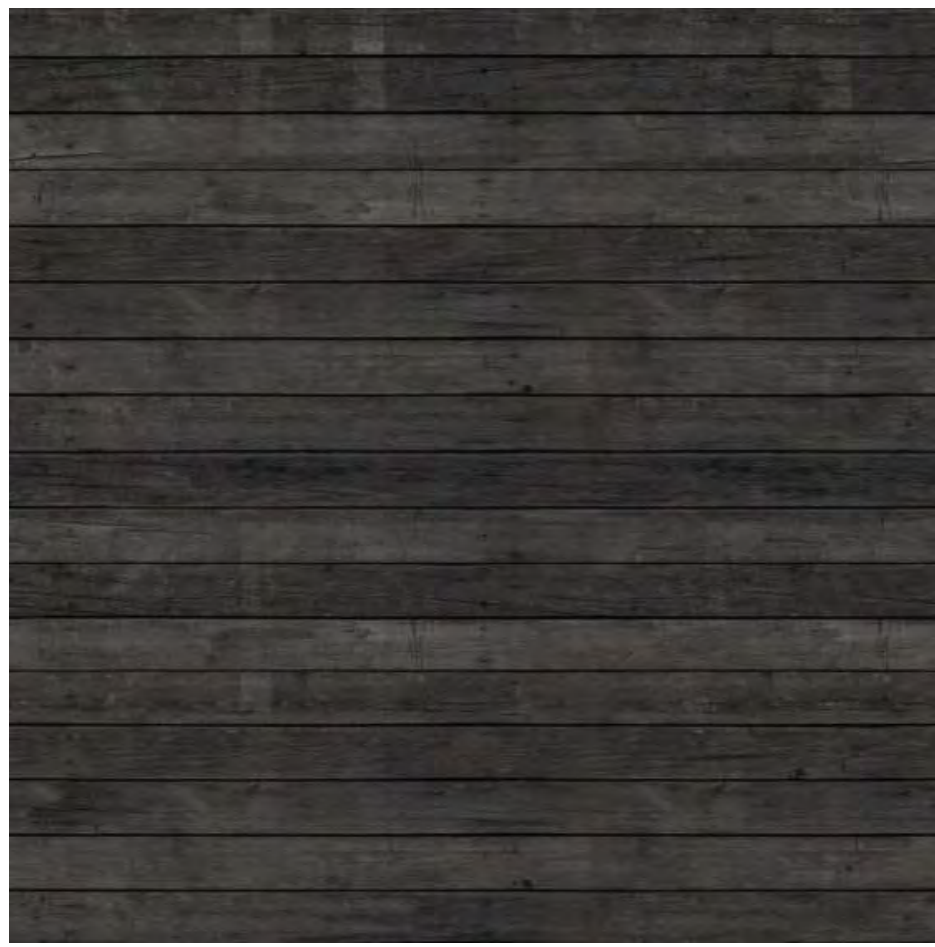
MEDIUM GREY, PARGED FIELD STONE



MEDIUM BROWN, RUSTIC TONGUE AND GROOVE WOOD SIDING W/ FACE NAILING



MEDIUM BROWN, RUSTIC WD BEAMS, FASCIA & ACCENTS



DARK, RUSTIC WD TONGUE AND GROOVE ACCENTS



DARK STANDING SEAM ROOF



DARK METAL TRIM & WINDOW FRAMES

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 803.801.0419

BUILDING ARCHITECT:
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TEL: 213.784.0014

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TEL: 415.243.4091

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DENVER, CO 80212
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CIVIL ENGINEER:
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LANDSCAPE ARCHITECT:
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ISSUE	DESCRIPTION	DATE
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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-501



2 12" = 1'-0" SITE ELEVATION - EAST



1 12" = 1'-0" SITE ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES
KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
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TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
**WARM SPRINGS TOWNHOMES
KETCHUM, ID**
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-502



2 12" = 1'-0" SITE ELEVATION - WEST



1 12" = 1'-0" SITE ELEVATION - NORTH



VIEW FROM AERIAL PERSPECTIVE



VIEW FROM RITCHIE DRIVE - NORTH

WARM SPRINGS
TOWNHOMES
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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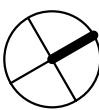
ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO



DRAWING TITLE:

PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

A-503



**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
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TEL: 208.725.0988

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PROJECT:

**WARM SPRINGS TOWNHOMES
KETCHUM, ID**

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-504

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**WARM SPRINGS
TOWNHOMES
KETCHUM, ID**

OWNER: _____

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES
KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-505

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City of Ketchum

ATTACHMENT C:

Zoning and Dimensional Standards Analysis



City of Ketchum
Planning & Building

PROJECT NAME: Warm Springs Townhomes
DESIGN REVIEW FILE NUMBER: P24-063
ADDRESS: 108 Ritchie Dr.
ZONE DISTRICT: T-3000

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area and Width
			Staff Comments	<p>Permitted: 8,000 square feet with minimum of 80-foot width</p> <p>Existing: Per Sheet A-002 35,799 SF lot area – 5,897 SF of private road and fire lane area = 29,902 SF</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR or Lot Coverage
			Staff Comments	<p>Permitted FAR: 0.5 Permitted FAR with Community Housing: 1.6</p> <p>Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.</p> <p>Proposed: Per Sheet A-000 Gross Square Footage – 41,003 SF Total Lot Area – 29,902 SF FAR – 1.37 FAR</p>

				<p>Community Housing Mitigation Calculation:</p> <p>Permitted Gross Square Feet (0.5 FAR): 14,951 SF</p> <p>Proposed Gross Square Feet: 41,003 SF</p> <p>Increase Above Permitted FAR: 26,052 SF</p> <p>20% of Increase: 5,210 SF</p> <p>Net Livable (15% Reduction): 4,429 SF</p> <p>Fee In-Lieu Proposed: 4,429 SF x \$550/SF = \$2,453,950</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Building Setbacks</p> <p>Staff Comments</p> <p>Permitted:</p> <p>Front (Ritchie/south): 15 feet</p> <p>Side (west): The greater of 1 foot per 3 feet in building height, or 5 feet.</p> <p>Side (east): The greater of 1 foot per 3 feet in building height, or 5 feet.</p> <p>Rear (north): The greater of 1 foot per 3 feet of building height, or 10 feet.</p> <p>Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>Proposed Building Height: Per Sheets A-300 through A-306</p> <p>Building 1 – 35 ft</p> <p>Building 2 – 35 ft</p> <p>Building 3 – 35ft</p>

				<p>Building 4 – 35ft *11.6 ft of setback required on sides and rear</p> <p>Proposed: Per Sheet A-001 Front (Ritchie, south): 15 feet Side (west): 11 feet 8 inches Side (east): 11 feet 8 inches Rear (Alley/east): 11 feet 8 inches</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Height</p> <p>Permitted: 35 feet</p> <p>Proposed: Per Sheets A-300 through A-306 Building 1 – 35 ft Building 2 – 35 ft Building 3 – 35ft Building 4 – 35ft</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	<p>Driveway</p> <p>Staff Comments Permitted: Not less than 12 feet and not more than 35% of street frontage or 30 feet (whichever is less) unless otherwise approved by the City Engineer.</p> <p>Proposed: Private roads curb cuts onto public roads are not subject to driveway width requirements. Building 2 has driveways directly onto Ritchie Dr which are 12 feet in width for a total of 24 feet. The total length of the property is approximately 219 ft. 35% of street frontage would be 77 ft, therefore the maximum width is 30 feet. A total of 24 feet is proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p>Staff Comments Required: 1 space for units between 751 and 2,000 SF 2 spaces for units 2,001 SF and greater</p>

				<p>Proposed: (per Page 11) 12 units total 11 units over 2,001 SF = 22 parking spaces required 1 unit between 751 and 2,000 SF = 1 parking space required Total spaces required: 23 Total Spaces provided: 23</p> <p>Bicycle Parking: Required: One bike rack (for two bikes) for every 4 required spaces. $23/4 = 6$ (5.75) racks are required. Proposed: None identified on the development plans, see condition of approval #6.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Open Site Area
			Staff Comments	<p>Required: 35% site area excluding buildings, structures, parking areas, driveways, cul-de-sacs or streets - A maximum of five percent open site area may be used for private decks or patios and walkways subject to design review approval. Required Open Site Area: 12,523 SF (35%) total – of that total, a maximum of 626 SF can be private decks or patios and walkways</p> <p>Proposed: Per Sheet A-003 Total Lot area: 35,799 SF Total SF of Buildings, Streets, Driveways, and Dumpster = 23,091 SF $35,799 \text{ SF} - 23,091 \text{ SF} = 12,708 \text{ SF} = 35\%$ Total proposed patios and walkways = 622.25 SF = <5%</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.180	Minimum Residential Density
			Staff Comments	<p>Required: 4 residential units per 10,000 SF of lot area Total Lot Area: 29,902 SF / 10,000 SF = 2.99 $2.99 \times 4 \text{ units} = 12 \text{ units}$</p> <p>Proposed: 12 Units</p>
X			17.124.130	Fences/Hedges/Walls

			Staff Comments	<p>Required: All retaining walls must meet the requirements of 17.124.130.E including:</p> <ul style="list-style-type: none"> - Setback a minimum of one foot from property lines unless adjacent owner authorizes - All retaining structures four feet or more in height that are visible from public rights of way shall be constructed or faced with materials that reduce the apparent mass of the retaining structure - There is no maximum height limit in the Tourist 3000 zone district for retaining. <p>Proposed: Per sheets C1.0 and L2.0/L3.0, boulder retaining walls are proposed along the rear and side property lines to manage grade. The height of the retaining on the eastern side property line varies between 1-4 feet in height. The retaining proposed along the eastern property line is located more than 30 feet from the front lot line but is located within one foot of the property line (see condition #13). The western property line contains retaining that varies from 1-4 feet with the highest retaining toward the rear property line. The rear of the property includes retaining that varies from 4-6 feet with 7 ft retaining adjacent to the garbage and snow vault area. There is no maximum height limit in the Tourist 3000 zone district for retaining. As shown on sheet L4.0, all retaining walls are to be constructed with natural boulders and have plantings in between grade changes to soften the appearance.</p>
X			17.132.030	Exterior Lighting
			Staff Comments	<p>Required: All exterior lighting shall meet dark sky requirements including:</p> <ul style="list-style-type: none"> - Maximum color temperature of 2700 Kelvins - Fixtures must be dark sky compliant and meet the definition of full cutoff fixture - Zero foot candles measured along all property lines <p>Proposed: Per Sheets E0.10, E0.11, and E0.12</p> <ul style="list-style-type: none"> - The development shows zero-foot candles at all property lines - All proposed fixtures are full cut-off fixtures - All fixtures are factory equipped for 2700 Kelvins, see condition of approval #12



City of Ketchum

ATTACHMENT D:

Design Review Standards Analysis



City of Ketchum
Planning & Building

CONFORMANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #11
<p>Finding: The proposed development accesses directly off of Ritchie Dr via a private road for the majority of the units, except the two units contained within Building 2. The two units in building two are access with private driveways directly off of Ritchie Dr. The City Engineer has conducted a review of the development plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #11. The developer is responsible for the cost of all improvements related to the development. No funds are supplied by the city for the development.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #11
<p>Finding: As noted above, the development proposes a private street to access the development. The city engineer and the fire department have reviewed the proposed street layout and dimensions and have confirmed that the road is adequate to serve the residences and provide adequate access for fire and emergency vehicles. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #11.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the T zone district, sidewalks are required and included in the development plans. Pursuant to KMC Section 12.04.030.M.6 the applicant has proposed to install a new 7-foot-wide sidewalk along Ritchie Dr.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
Finding: The applicant has proposed installing a new 7-foot-wide, concrete sidewalk along Ritchie Dr. The City Engineer and Streets Department have conducted a review of the development plans and believe the proposed right-of-way improvements comply with city standards. No waiver for sidewalk width was approved by the city engineer.	

17.96.060.B.3 - Sidewalks	Conformance
<i>Sidewalks may be waived if one of the following criteria is met:</i> <ul style="list-style-type: none"> a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
Finding: N/A. Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
Finding: The proposed sidewalk improvements are equal to the length of the subject property's frontage along Ritchie Dr as shown on Sheet C1.00 of the development plans.	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES
Finding: Sidewalks adjacent to the subject property do not exist but are planned. To the north are the Warm Springs Vilas Condos, with the Sawtooth Condos to the south along Ritchie Dr. Neither condominium complexes have sidewalks, however, sidewalk improvements are included in the city's sidewalk plan for future construction by the city. Sidewalks do exist on the south side of Ritchie Dr between the subject property and Jane Lane. In addition, as shown on Sheet C1.00, individual walkways are planned for each unit along Ritchie Dr and from the private road to each unit.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
Finding: N/A. The applicant has not requested relief from the requirement to construct sidewalks nor has the city granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #11
<p>Finding: As shown on Sheet C1.00, all stormwater from development surfaces are collected within a series of catch basins and drywells contained on the subject property. The private road is designed to ensure that all surface water from the road drains to catch basins into two on-site drywells. Additionally, there is a catch basin and drywell within the city right-of-way to manage drainage from the sidewalk and street.</p> <p>Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #11
<p>Finding: As shown on Sheet C1.00, the project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Ritchie Dr. In addition, drainage facilities are accounted for along the private road internal to the development. All drainage improvements are required to be constructed to comply with city standards. Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #11
Finding: The City Engineer has reviewed the preliminary drainage plans and determined that the proposed improvements are sufficient, however, a final review of all drainage improvements will be conducted during the building permit review stage. The City Engineer may require additional documentation to verify drainage improvement adequacy at that time. Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #11
Finding: The City Engineer and Streets Department have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #11, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the development.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES Condition #7
Finding: The civil and landscape plans both show proposed locations of transformers to serve the development. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #7 states that the	

development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	YES Condition #9
Finding: At the time of this application, it has not been determined if fiber optic services exist adjacent to the subject property. Condition of approval #9 states that prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
Finding: The materials palette is shown on Sheet A-500. All four buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for fascia and accents, and darker wood and metal accents for the roof, windows, and trim. The Warm Springs Base Area neighborhood consists of multi-family developments featuring warm brown of varying shades on wood siding being the predominant material. Developments adjacent to the proposed development have varying degrees of darkness in the brown they feature. Some developments include stone as an accent material in contrast to the predominant material of brown wood. The tone of the wood with the stone accent proposed for the development is complementary with the townscape, surrounding neighborhood and adjoining structures.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: The subject property is vacant and does not contain a historical or cultural landmark on the city of Ketchum's Historical Building/Site List, therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: As noted above, all buildings have access to the new 7-foot sidewalk along Ritchie Dr from individual walkways, driveways, or the private road. Each residential unit has a separate front door entrance from the garage that is oriented to the street.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by the use of architectural features.</i>	NO
Finding: The building character is consistent with many other single family condominium buildings in the neighborhood which include architectural features such as pitched roofs with exposed beam rafters, decks/windows that project and recess from the building façade, window detailing, and individual unit entrances, and material differentiation. Buildings 1 and 2 that front Ritchie Dr. have a stronger use of architectural features than buildings 3 and 4. See the staff report for further discussion.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	NO
Finding: No signage is proposed with the development aside from addressing. The materials palette is shown on Sheet A-500. All four buildings are proposed to have the same material and color palette including a stone base, warm brown wood siding and beams for fascia and accents, and darker wood and metal accents for the roof, windows, and trim. The materials and color palette are continuous throughout the development. However, the glass railing material at the top of the outdoor decks seems incongruous from the rest of the materials palette. See the staff report for further discussion on this item.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: The development proposes a perimeter fence along three sides of the subject property. Fence materials and details are shown on Sheet A-005. The fencing material is a wood slat that matches the wood siding proposed on the buildings with metal structure that matches the metal detailing color of the windows/trim. The development also proposes	

natural boulder retaining walls with plantings between along the rear property line to manage grade changes. Natural boulder walls are complementary to the building and the overall landscape plan for the development.

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	NO
<p>Finding: There are four buildings within the proposed development, each one with certain aspects of the building visible from public vantage points. Elevations of the buildings are included in Sheets A-300 through A-306. Perspectives from the street are provided on Sheets A-500 through A-505. Buildings 1 and 2 front Ritchie Dr. These elevations have pitched roofs with modest overhangs that do not extend past the cantilevered decks below. The roof detailing also includes exposed beams which is a common architectural feature in the area that softens any sharpness created by the roof overhang. The cantilevered decks, although repetitive along the façade, occur at a separation that accentuates the individual units. The glazing of the second floor is appropriate for the scale of the façade. There are recessions on the ground floor for entrances which also create interest at the street level.</p> <p>However, the side elevations of all 4 buildings and the front elevations of Buildings 3 and 4 lack undulation and relief. See the staff report for further discussion.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The development has street frontage along Ritchie Dr. and internal along the private road. For buildings 1 and 2 that front Ritchie, the buildings are designed with front door entrances directly from the street with individual walkways from the pedestrian sidewalk to the front doors. Similar treatments are proposed with Buildings 3 and 4 that front the internal private road. The buildings are designed with front door entrances from the street, in addition to garage entrances. Additionally, outdoor spaces such as decks and patios are oriented toward Ritchie Dr and the private road.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p>Finding: The subject property is not accessed by an alley. However, as shown on the development plans, there is a consolidated dumpster that serves all 12 of the units. The garbage dumpster is enclosed and located at the rear of the property between buildings 3 and 4. Details of the garbage enclosure can be found on Sheets A-005. No satellite receivers are proposed.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES

Finding: Sheet A-104 of the development plans shows the roof plan for the development. As shown, two rows of snow fencing is called for on all roofs with gutters and downspouts at all roof eaves to manage roof drainage. None of the roofs or projected decks overhang onto sidewalks where pedestrians gather and setback requirements are adequate for the accumulation of snow if and when roofs need to be cleared during the winter.

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES

Finding: There are no equestrian access points or trail easements adjacent to the property. The Warm Springs regional bike path is accessed by taking Ritchie Dr. to Skiway Dr and on to Warm Springs Rd. As noted above, there are no pedestrian sidewalks to the north or south constructed. However, these improvements are planned for in the city's sidewalk plan and there is a sidewalk that exists on the south side of Ritchie Dr between the subject property and Jane Lane.

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A

Finding: N/A. No awnings are proposed to extend over the property line.

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES

Finding: Access to the project is provided along Ritchie Dr for vehicles, bicycles, and pedestrians. Vehicular access onto Ritchie Dr. is consolidated on the private road and two private driveways. Front setbacks allow for adequate site distance for vehicles and bicycles exiting the development from the private road. Pedestrians walking to the Warm Springs base area will cross Ritchie Dr. to the south side to access sidewalks into the base area.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
Finding: The city engineer reviewed the driveway entrances in relationship to the private road access to the overall development and determined that the 20 feet minimum distance does not apply as the private road functions more like a private driveway with access to only this development, rather than a residential street which serves residences along the street and through traffic from other origins and destinations. Because parking is not permitted within the driveways, site visibility requirements are met and congestion concerns do not exist due to traffic volumes on Ritchie Dr.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES Condition #8
Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Ritchie Dr and the private road serving the development. The private road and driveways are snow melted to ensure adequate access during winter months. Condition of approval #8 addresses snow removal in the grass-crete areas to ensure that access for fire and emergency services remain unobstructed during winter months.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES Condition #8
Finding: As shown in the snowmelt diagram on Sheet A-004. The private road, driveways, and walkways are proposed to be snow melted. Therefore, no snow storage is required for those elements. There is 638 SF of grass-crete, or grass block and gravel that is required space for fire and emergency service vehicles. This area will remain open and unobstructed during the summer months, however, the grass-crete area is not snow-melted. The development proposes to hand shovel those areas to ensure they remain unobstructed. The snow storage areas for this snow is shown as being landscaped with trees and shrubs. Due to the size of the grass-crete areas, the proposed snow storage should be adequate. Condition of approval #8 states that the grass-crete areas shall remain clear of snow at all times. In the event snow cannot be accommodated by designated snow storage areas, snow shall be hauled off site to ensure unobstructed access for fire and emergency vehicles.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES Condition #8
Finding: On-site snow storage areas are designated on Sheet A-004. Should the snow storage areas prove to be inadequate during large snow years, snow shall be hauled off-site per condition of approval #8.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: As shown on Sheet A-004, the smallest snow storage area is 7.5 ft x 7.5 ft (56 square feet). All other snow storage areas are larger in size. All snow storage areas meet the minimum requirements of this standard.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #8
Finding: As noted above, all areas are proposed to be snow melted except the grass-crete areas. Per condition of approval #8, snow shall be hauled off-site if proposed snow storage areas are inadequate.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: The development project has a comprehensive landscape plan proposed with internal and external landscaping. See Sheets L3.0, L3.2, L4.0 for the landscape plan, planting plan, and sample species.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The landscape plan for the development implements many species and planting patterns consistent with the neighborhood. The Warm Springs Base Area is known for having large mature deciduous and evergreen trees fronting streets with attached and detached sidewalks. The proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received	

during the Pre-Application Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is predominantly shrubs with a few sparse trees. All proposed species are readily adaptable to the Ketchum climate and are found throughout the Warm Springs Base Area.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES Condition #5
Finding: The planting plan proposed for the development includes general species labels of moderately and somewhat drought tolerant species. However, not all species are noted as drought tolerant. Condition #5 outlines a requirement for all species to be a minimum of moderately drought tolerant and that a final planting plan with detailed plant list shall be provided for review and approval by the Planning Department prior to building permit issuance.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: As noted above, The proposed plan includes an attached sidewalk with individual walkways leading to each front facing residential unit along Ritchie Dr. Landscaping along Ritchie includes a mix of evergreen (fir and pine) and deciduous (flowering crab) trees covering a variety of species and sizes of shrubs. Proposed landscaping is well placed to create aesthetic appeal from the street and buffer the development from surrounding properties. Public comments received during the PreApplication Design Review meeting resulted in a request by the Commission to reduce the size of landscaping along the rear of the property. The proposed landscape plan is predominantly shrubs with a few sparse trees. Public courtyards are not included in the development as the interior of the development is accessible by a private road, not public. However, there are small pockets of programmed landscaping between buildings.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
Finding: Sidewalks are required for the development; however, public amenities are not necessary for the development as the development is not located near the base area or along a frequently traveled pedestrian pathway that would warrant the addition of benches, trash	

receptacles, kiosks or bus shelters. In addition, there are no bus stops adjacent to the development. Should the city choose to install public amenities in the future as part of the comprehensive sidewalk plan, the 7-foot sidewalk would have some space for certain improvements.

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	YES

Finding: The development plans include one below grade encroachment, the snow melt vault on the north end of the property adjacent to the garbage enclosure. As shown on Sheet A-003, the enclosure is within the rear setback of the development. As shown on Sheet A-005, the portion of the vault within the setback is completed below grade. The landscape plan on Sheet L3.0 shows the minimum depth of soil for landscape cover of the vault. The below grade encroachment meets the requirements outlined in KMC 17.128.020.K as there is no riparian setback, the construction does not encroach onto adjacent properties, there are no conflicting easements or sensitive areas, and it is located completely below grade. Finally, the below grade encroachment is located deep enough to allow for landscaping above the encroachment that is consistent and compatible with the rest of the development's proposed landscaping. The city engineer has reviewed the below grade encroachment and verified that there are no impediments to proper drainage with the encroachment. The snow melt vault does have a portion that is open air with ladder access to the boiler room. The development proposed to snow melt the floor of the vault to ensure proper drainage and to maintain adequate access to the system during winter months.

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. The subject property is not adjacent to a river or other water body, therefore no riparian setback exists.	