



**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF SEPTEMBER 9, 2025**

PROJECT: Knob Hill Residence

FILE NUMBER: P24-087

APPLICATION TYPES: Mountain Overlay Design Review & Lot Consolidation Subdivision Preliminary Plat with Waiver Request

APPLICATION FILE #: P25-016 & P25-016a

PROPERTY OWNER: Knob Hill Properties LLC

REPRESENTATIVES: Peter Seidner & Hank Moore, Presidio Vista Properties

ARCHITECT: Zac Rockett, Architect, Ro Rockett Design

REQUEST: Mountain Overlay Design Review for the development of a new three-story, 6,212 gross-square-foot single-family residence and associated site improvements and Lot Consolidation Subdivision Preliminary Plat with Waiver Request to establish building envelope in 25% and greater slope

LOCATION: Ketchum Townsite—Block 91: Lots 3 & 4
(Parcel Numbers: RPK0000091004A & RPK00000910030)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay (MO)

REVIEWER: Abby Rivin, Senior Planner

NOTICE: The public hearing for this project was continued from the Planning & Zoning Commission Meeting on August 26, 2025. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on August 1, 2025. The public hearing notice was published in the Idaho Mountain Express on August 6, 2025. A notice was posted on the project site on August 11, 2025. The public hearing notice was published on the city's website on August 7, 2025. The building corners were staked and the story pole was installed on the project site on August 19, 2025. A pink ribbon has been added to the story pole to show the proposed reduction in building height.

BACKGROUND

The Planning and Zoning Commission conducted a public hearing to consider the Knob Hill Residence project during their last meeting on August 26, 2025. The August 26 staff report and video recording of the meeting may be viewed by clicking the link [here](#). The Commission expressed concerns about the height and mass of the home and design of three-story, 33.5-foot-tall east side wall. The applicant has modified the project in response the Commission's feedback and submitted updated elevations, renderings, floors plans, site plan, and lot disturbance diagrams showing the proposed changes. The project plan updates are included as Attachment A.

ANALYSIS

The applicant has increased the proposed cut into the hillside to lower the home by 2 feet. While the maximum height of the east side façade remains 33.5 feet, the elevation at the top of the roof has decreased by 2 feet to 5952'-3" (see Figure 1). Lowering the home increase the cut by 360 cubic yards. The total cut increased to a total of 3,910 cubic yards.

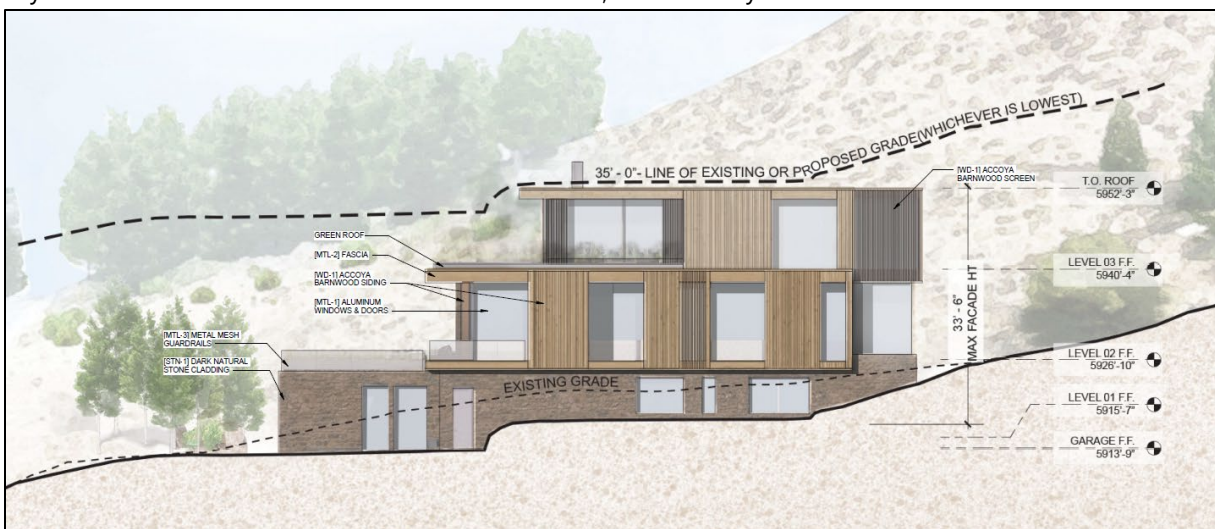


Figure 1: East Side Elevation (Sheet G-023)

As shown in Figure 2, lowering the home not only increased the cut but also slightly increased the total amount of disturbed area on the subject property.

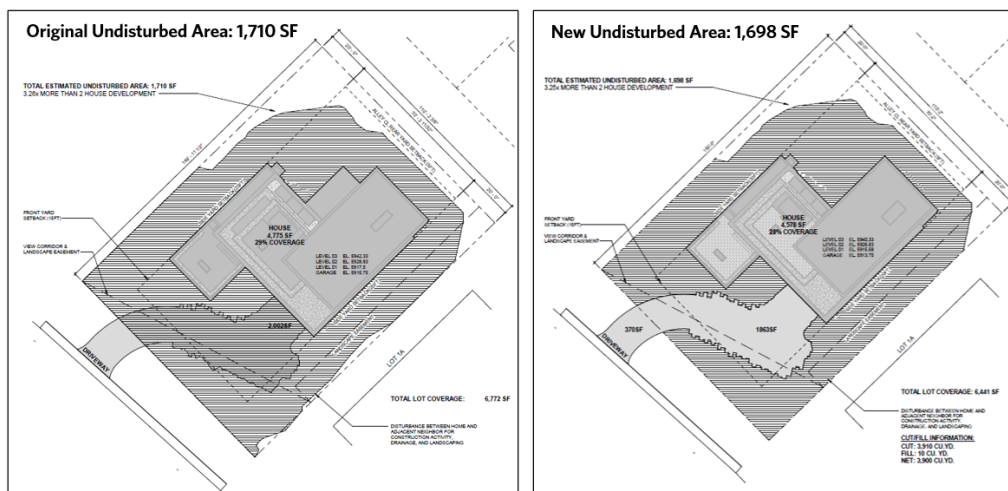


Figure 2: Original & Proposed Update Lot Disturbance Diagrams

While no changes The applicant revised the modulation of the east side elevation by stepping back the third floor 3 to 4.5 feet from the lower floors (see Figure 3).

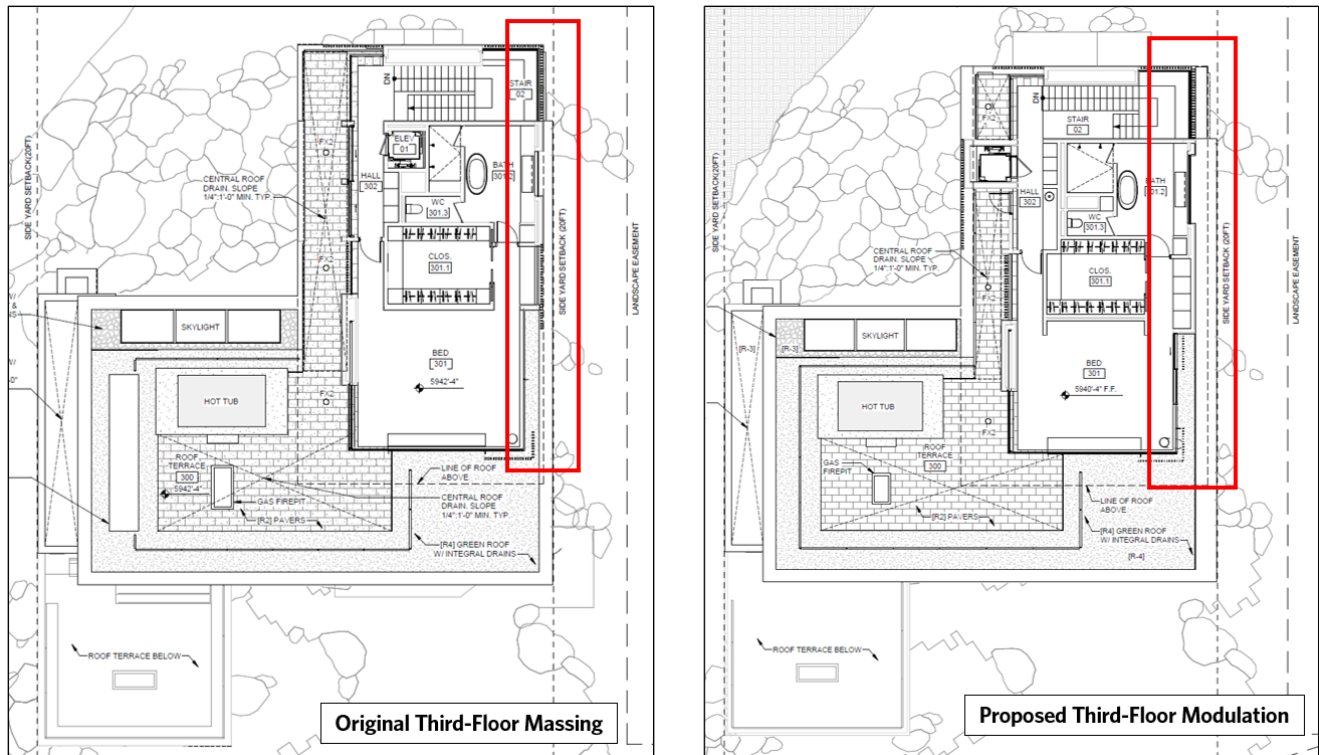


Figure 3: Original & Proposed Third-Floor Massing

STAFF RECOMMENDATION

If the Commission believes the applicant's proposed updates sufficiently address their concerns, then Staff recommends the Commission approve the Knob Hill Residence Mo Design Review Application and recommend approval of the Lot Consolidation Subdivision Preliminary Plat Application and Waiver Requests to the City Council subject to conditions.

If the Commission does not believe the applicant's proposed updates sufficiently address their concerns

Recommended Motions

- "I move to approve the Knob Hill Residence Mountain Overlay Design Review Application subject to conditions 1 through 11 and direct staff to return with draft findings of fact."
- "I move to recommend approval of the Knob Hill Residence Lot Consolidation Subdivision Preliminary Plat Application and Waiver Requests to the City Council subject to conditions 1 through 3 and direct staff to return with draft findings of fact."

Recommended Conditions of Approval

Staff recommends the conditions that were listed in the [August 26 report](#) with the following changes:

Condition of Approval #4

In the August 26 report, staff recommended Condition of Approval #4, which stated:

The limits of disturbance shall be established on the construction activity plan submitted at time of building permit and protected by fencing for the duration of construction.

The Commission recommended strengthening this condition of approval to reference that the limits of disturbance shall not exceed the disturbed area shown on the project plans. Staff recommends the following update to condition of approval #4:

The limits of disturbance shall be established on the construction activity plan submitted at time of building permit and protected by fencing for the duration of construction. The limits of disturbance shall not exceed the disturbed area shown on the lot disturbance diagram on sheet G-020. No construction activity is permitted to encroach within the 1,698-square-foot undisturbed hillside area on the subject property as shown on sheet G-020.

New Condition of Approval

Should the Commission support the applicant's proposed updates and move to approve the Knob Hill Residence, staff recommends adding the following condition of approval requiring the applicant to submit a final drawing set updating all the plan sheets to reflect the proposed changes:

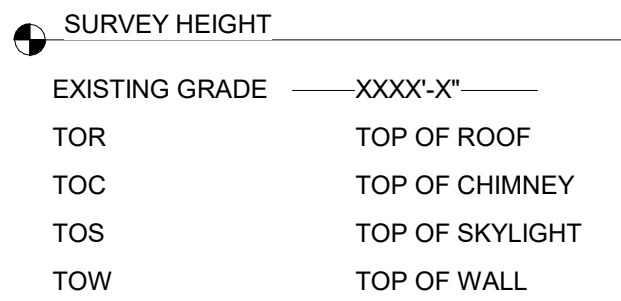
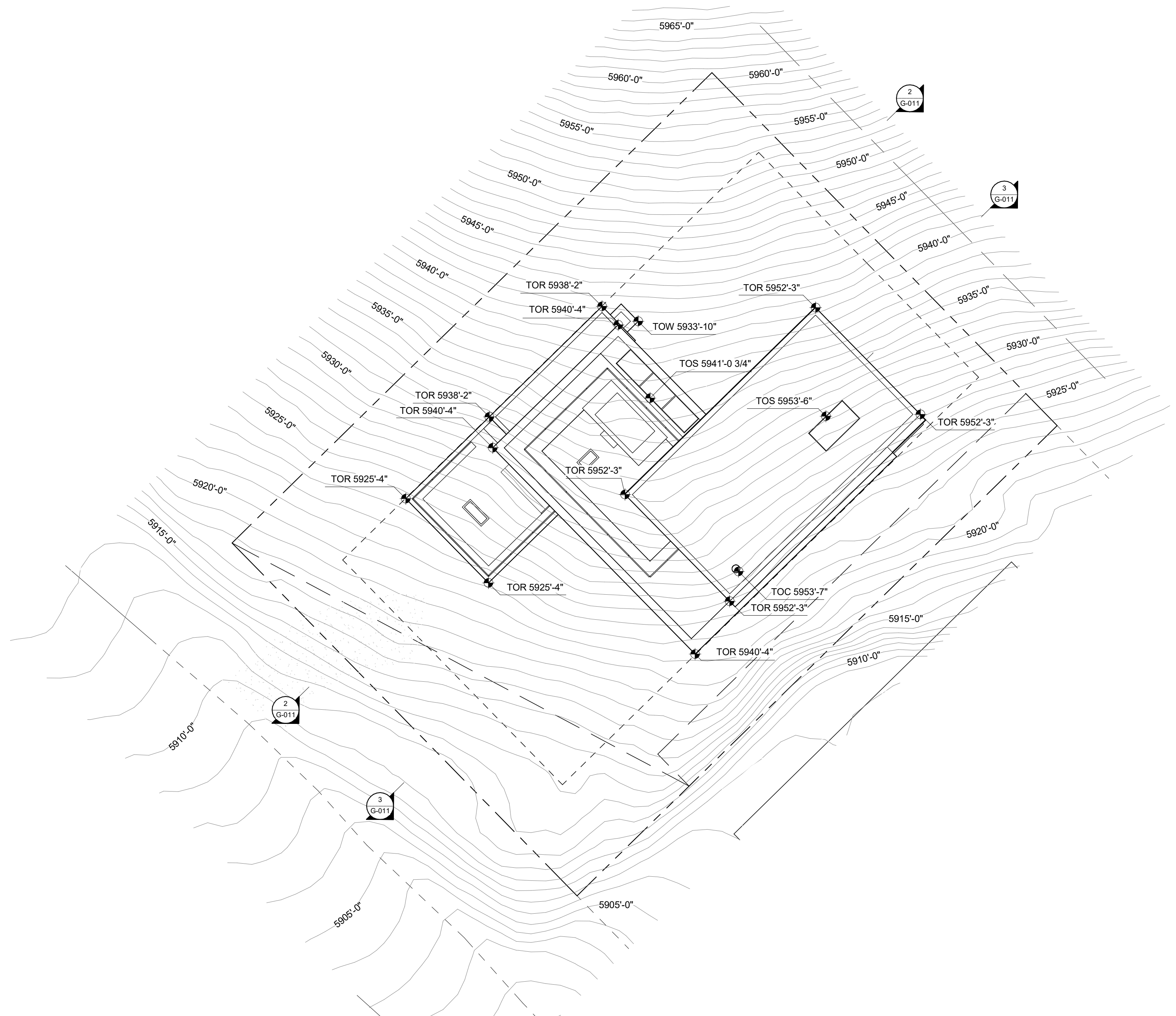
The applicant shall submit a final MO Design Review drawing set that revises all plan sheets to reflect the updates presented by the applicant during the September 9, 2025 Planning and Zoning Commission Meeting.

ATTACHMENTS:

- A. Project Plan Updates
- B. Public Comment

Attachment A

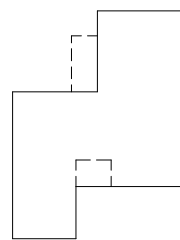
PROJECT PLAN UPDATES



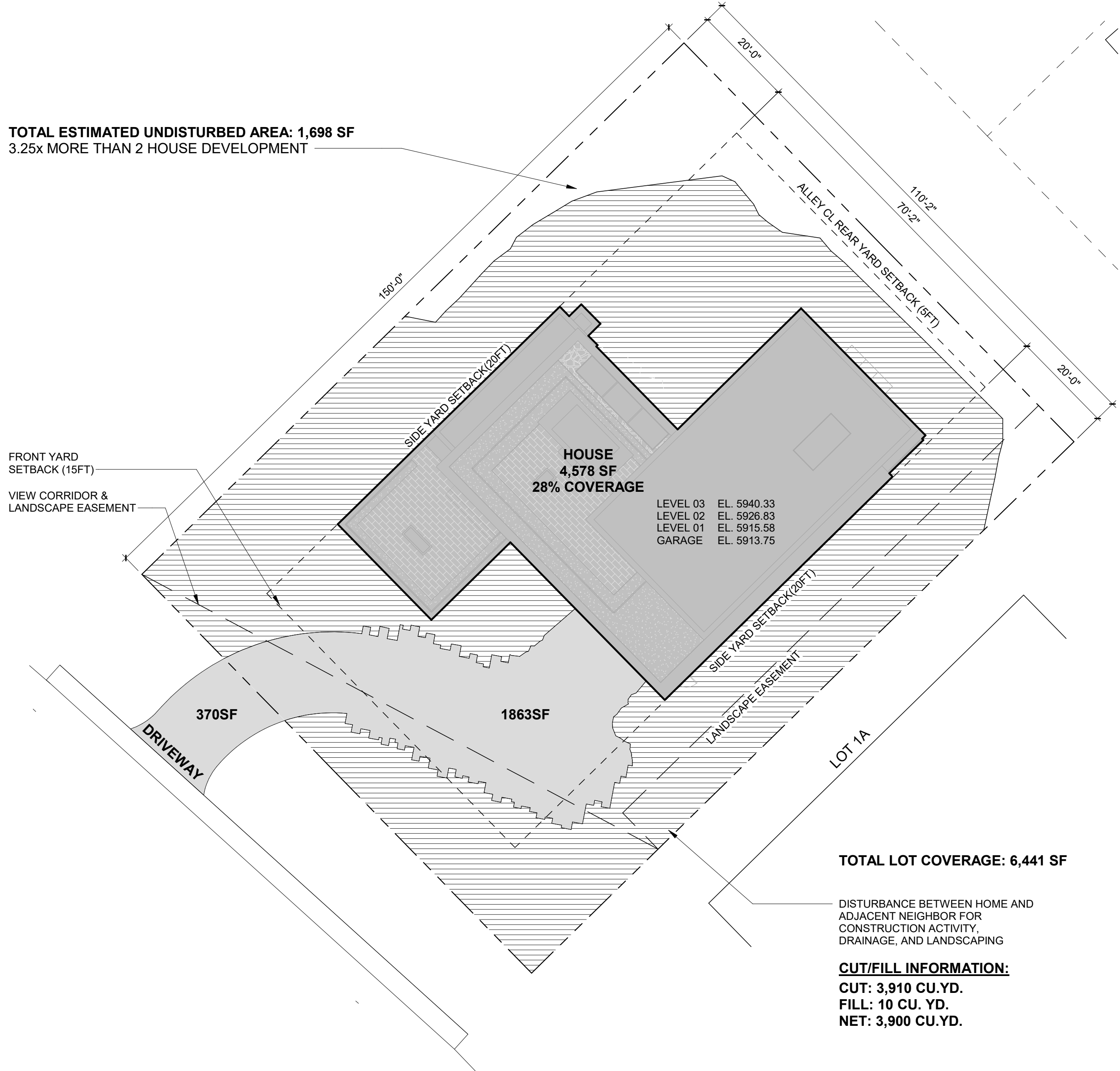
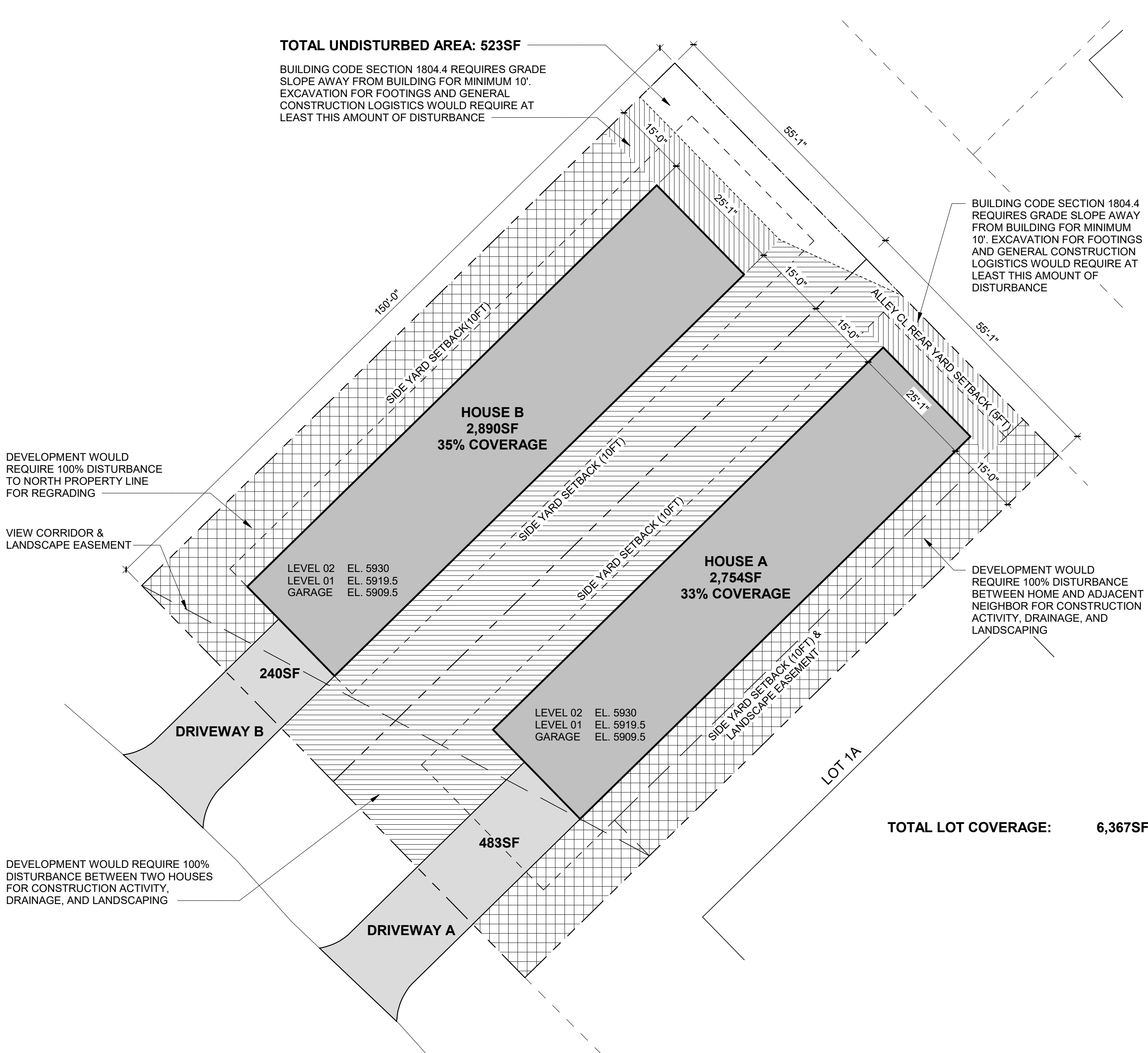
THE GREATEST VERTICAL DISTANCE MEASURED AT ANY POINT FROM THE ROOF TO NATURAL, EXISTING, OR FINISHED GRADE, WHICHEVER IS LOWEST. THE MAXIMUM VERTICAL DISTANCE FROM THE LOWEST EXPOSED FINISHED FLOOR TO THE HIGHEST POINT OF THE ROOF (RIDGE) SHALL BE LESS THAN 12 FEET. THERE SHALL BE NO MORE THAN FIVE FEET GREATER THAN THE MAXIMUM HEIGHT PERMITTED IN THE ZONING DISTRICT (SEE ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK). NO FACADE SHALL BE GREATER THAN THE MAXIMUM HEIGHT PERMITTED IN THE ZONING DISTRICT. (SEE DEFINITION OF "FACADE" IN THIS SECTION AND ILLUSTRATION C ON FILE IN THE OFFICE OF THE CITY CLERK.) FACADES WHICH STEP UP OR DOWN HILLSIDES SHALL BE SET BACK FROM THE LOWER FACADE A MINIMUM OF 50 PERCENT OF THE HEIGHT OF THE LOWER FACADE; EXCEPT, THAT ROOF OVERHANGS MAY EXTEND UP TO THREE FEET INTO THIS AREA (SEE ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK). THIS BUILDING HEIGHT PROVISION SHALL APPLY TO PARADES, PORCHES, STAIRS AND OTHER SMALL PORTION OF A BUILDING ROOF, BUT SHALL NOT APPLY TO FLAGPOLES, LIGHTNING RODS, WEATHER VANS, ANTENNAS OR CHIMNEYS.

1. SEE LANDSCAPE DRAWINGS FOR EXISTING & NEW TREE LOCATIONS.
2. SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.
3. SEE A-100 FOR ARCHITECTURAL SITE PLAN.
4. ALL ROOFING TO BE A CLASS 'A' NON-COMBUSTIBLE FLAT ROOF ASSEMBLY.
5. BUILDING EAVES TO BE 0'-0" = +5.917'-6" USGS.
6. ALL TOP OF ROOF ELEVATIONS LOCATE THE HIGHEST POINT OF THE ROOF STRUCTURE, WITH ROOF ASSEMBLY SLOPING INWARDS TOWARDS THE INTERIOR ROOF DRAINS, WITH THE EXCEPTION OF THE T.O. SKYLIGHTS AS NOTED.

LOT 3 & 4, BLOCK 91



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Knob Hill Residence

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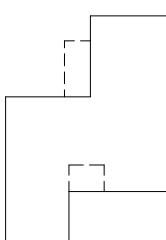
SEAL:

3	09.09.25	MODR APPLICATION
2	06.13.25	MODR APPLICATION
1	01.15.25	MODR PRE-APPLICATION
NO	DATE	ISSUE

PROJECT:

Knob Hill Residence

LOT 3 & 4, BLOCK 91



PROJECT NUMBER

2204

DRAWING TITLE:

**LOT DISTURBANCE
DIAGRAMS**

DRAWING NUMBER:

G-020

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NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

2 NTS PERSPECTIVE / BIRD'S EYE



NOTE:
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FOR MATERIAL SPECIFICATIONS

1 NTS PERSPECTIVE / STREET VIEW



NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

1 NTS PERSPECTIVE / STREET VIEW

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PROJECT:
KNOB HILL RESIDENCE
LOT 3 & 4, BLOCK 91

PROJECT NUMBER
2204

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RENDERED PERSPECTIVES

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G-022

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2 1/8" = 1'-0" ELEVATION / SOUTH



NOTE:
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1 1/8" = 1'-0" ELEVATION / EAST

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LOT 3 & 4, BLOCK 91

PROJECT NUMBER

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DRAWING TITLE:

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DRAWING NUMBER:

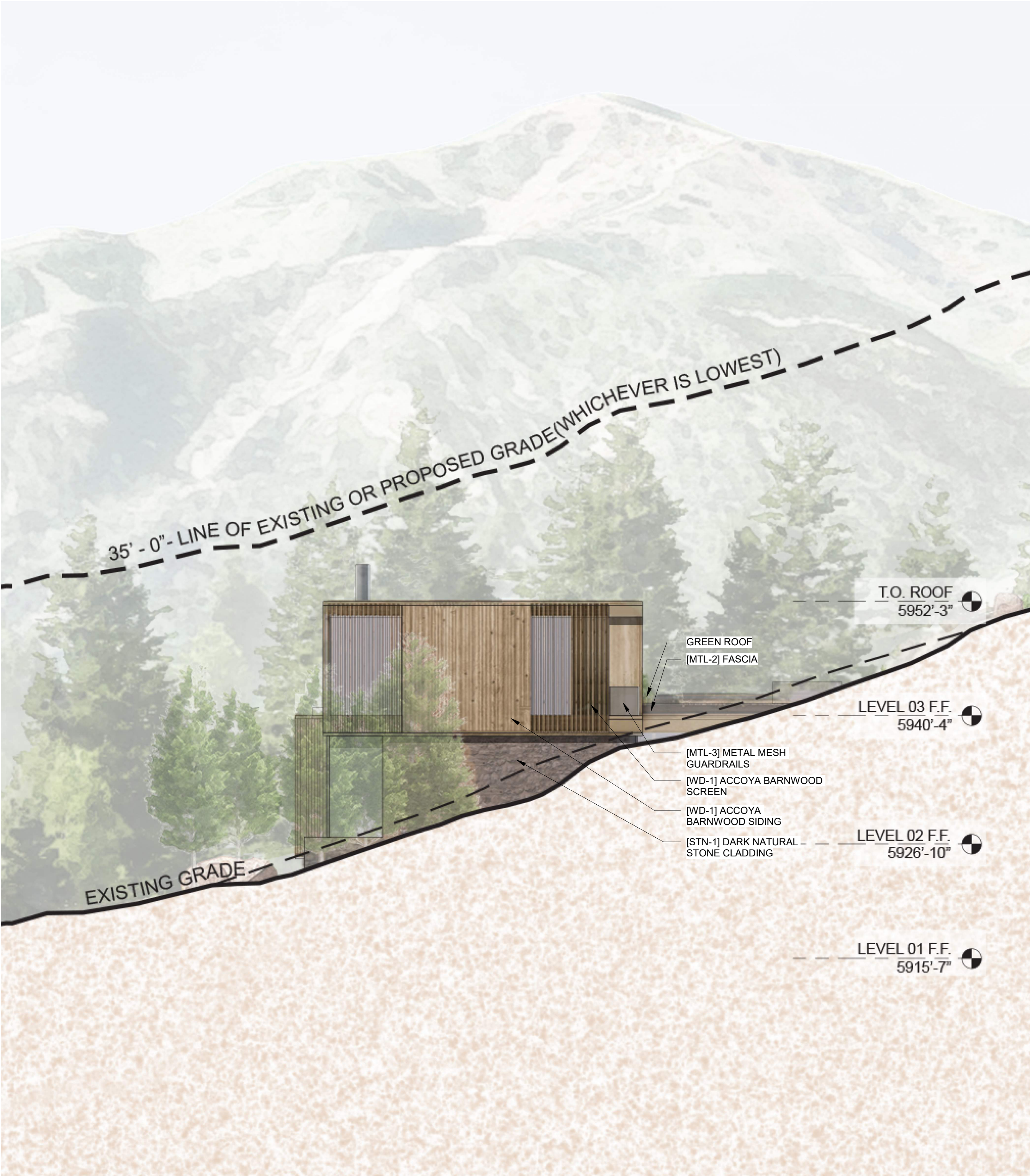
G-023

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PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

RENDERED ELEVATIONS

DRAWING NUMBER:

G-024

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LEGEND

PROPERTY BOUNDARY

EXISTING CONTOUR

EXISTING VEGETATION TO REMAIN

ORNAMENTAL LANDSCAPE BOULDERS

LANDSCAPE BOULDERS NECESSARY FOR RETAINING

CONCRETE PAVING

STONE PLANK PAVERS

GRAVEL SHOULDER

LOT CALCULATIONS

LOT COVERAGE

LOT SIZE = ± 16,523 SF (0.38 ACRES)
BUILDING COVERAGE = 4,578 SF
COVERAGE BY DRIVEWAY/PARKING = 1,863 SF
TOTAL = 6,441 SF

PROPOSED BUILDING COVERAGE PERCENTAGE: ~ 28%



F I E L D
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Knob Hill Residence

KETCHUM, ID

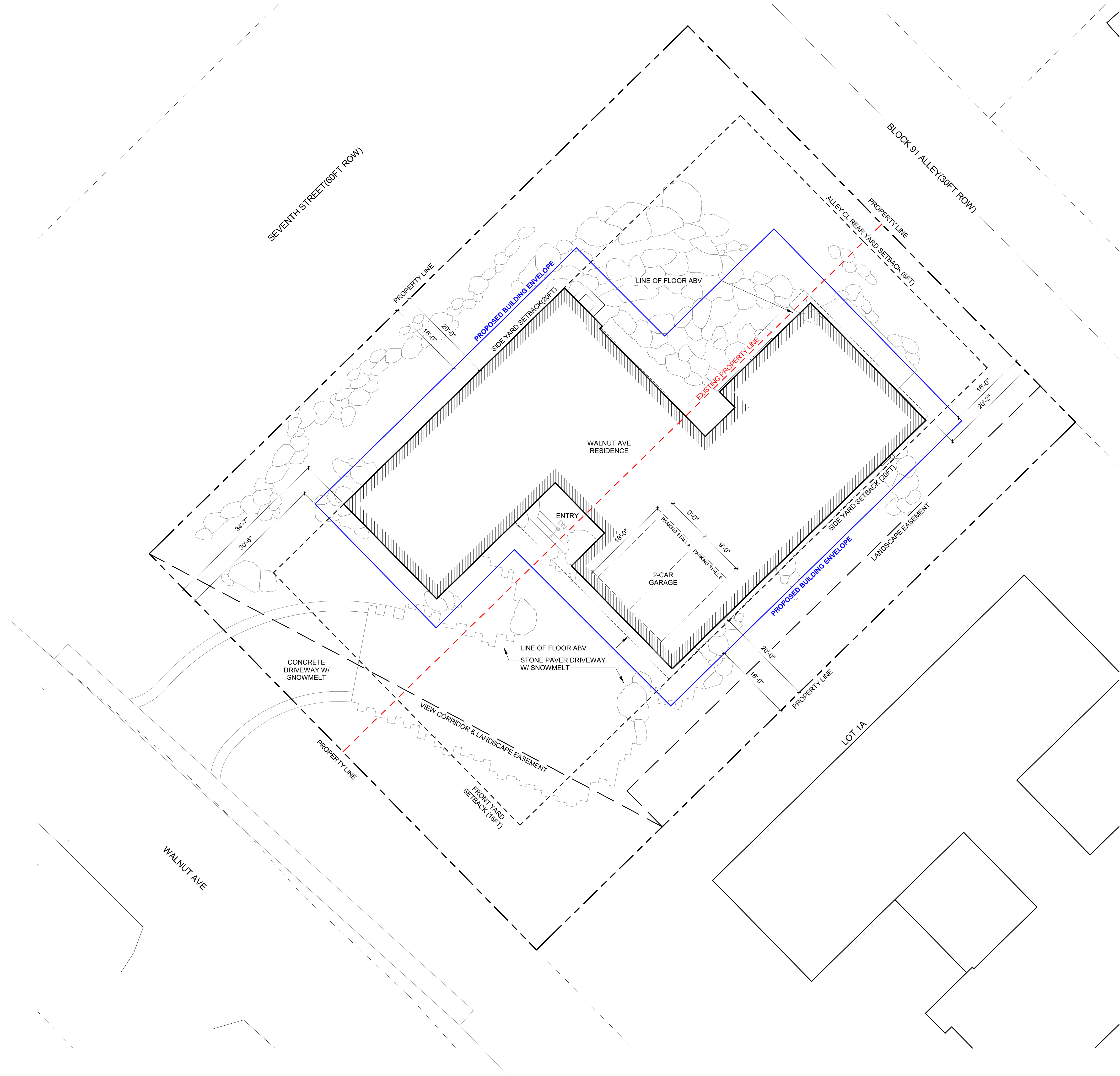
DATE	ISSUE
2025.01.15	MODR PRE-APP
2025.06.13	MODR APP
2025.09.03	MODR REV 1

SHEET TITLE

OVERALL
SITE PLAN

SHEET 1 OF 4
L-0.00

PRELIMINARY • NOT FOR CONSTRUCTION



SITE PLAN NOTES:

1. SEE LANDSCAPE PLAN FOR (E) & (N) TREE LOCATIONS
2. SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.

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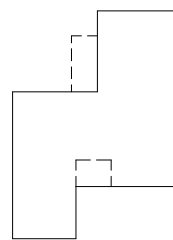
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PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91



PROJECT NUMBER

2204

DRAWING TITLE:

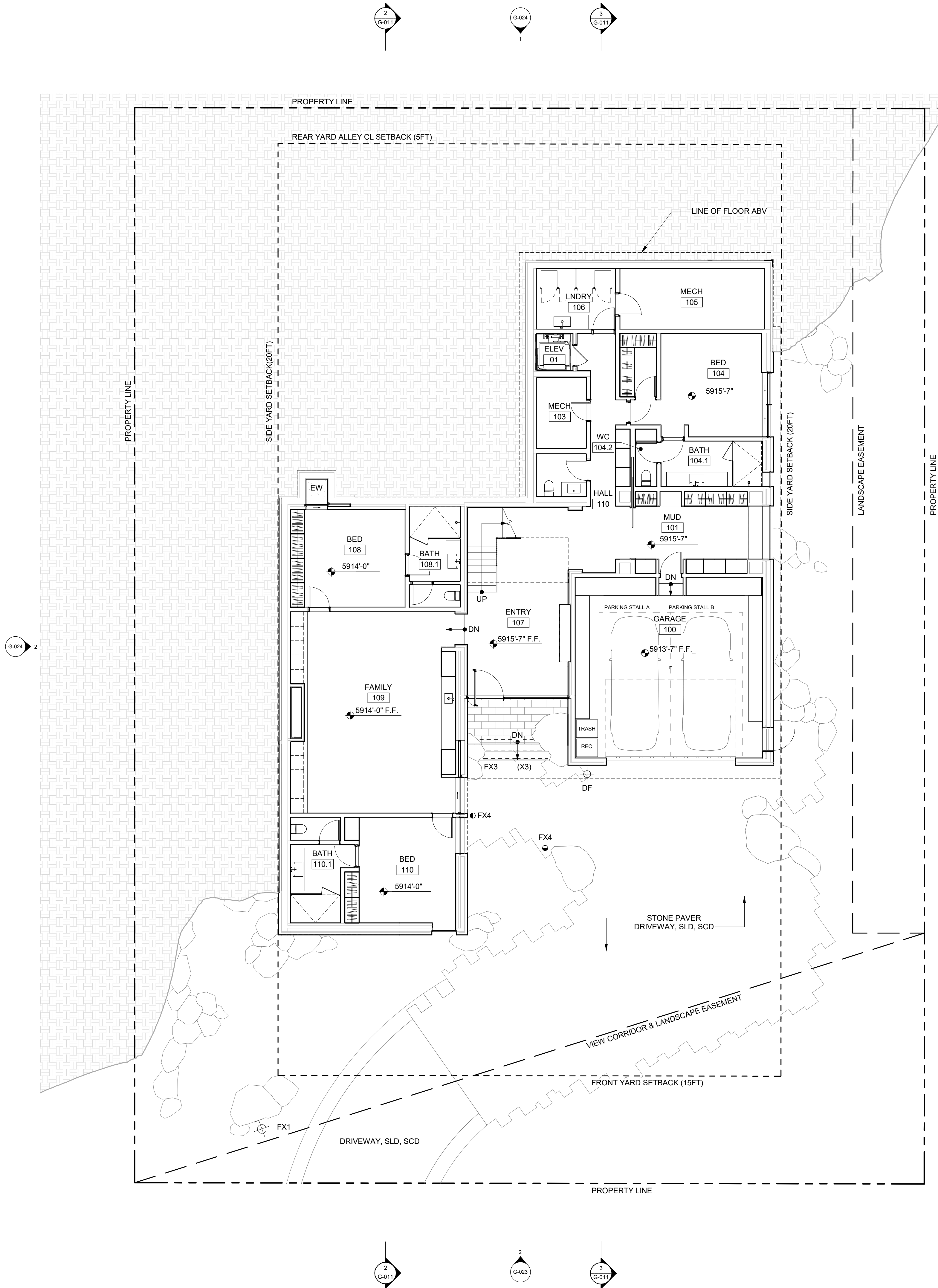
SITE PLAN

DRAWING NUMBER:

A-100

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PROPOSED GROSS FLOOR AREA - BASEMENT	
BASEMENT	2151 SF
PROPOSED GROSS FLOOR AREA - LEVEL 01	
LEVEL 01	1356 SF
PROPOSED NET FLOOR AREA - LEVEL 01	
LEVEL 01	3260 SF

KMC §17.08 - DEFINITIONS

FLOOR AREA, GROSS: THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SQUARE FEET IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

FLOOR AREA, NET: THE SUM OF THE HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.

LIGHT FIXTURE LEGEND:

- FX1 / SHIELDED WALL MOUNTED SCONCE
- FX2 / RECESSED CEILING DOWNLIGHT
- FX3 / RECESSED LINEAR COVE LIGHT
- FX4 / SHIELDED RECESSED IN-GRADE GRAZER

REFERENCE PLAN NOTES:

- SEE LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE INFORMATION
- SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
- USGS ELEVATION +5.917'-6" IS NOTED AS +100'-0" IN SUBSEQUENT ARCHITECTURAL DRAWINGS
- COORDINATE STARTPOINT WITH CIVIL
- SEE G-200 FOR MORE INFORMATION REGARDING ROOF ASSEMBLIES
- ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED AND COMPLY WITH KMC 17.132 - DARK SKIES
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTILAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. ALL EXTERIOR DOORS SHALL BE SOLID CORE CONSTRUCTION OR HAVE A FIRE RATING OF NOT LESS THAN 20 MINUTES. ALL EXTERIOR VENTS SHALL BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION AND ALL EXTERIOR MESH SHALL HAVE OPENINGS THAT DO NOT EXCEED 1/8". GUTTERS AND DOWNSPOUTS SHALL BE NON-COMBUSTIBLE AND SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
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KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

MEP ENGINEER

PROFICIENT ENGINEERING
4704 HARLAN STREET, SUITE 620
DENVER, CO 80212
TEL: 727.779.3556

STRUCTURAL ENGINEER

KL&A ENGINEERS AND BUILDERS
1717 WASHINGTON AVE
GOLDEN, CO 80401
TEL: 303.384.9910

LIGHTING

KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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SEAL:

NO	DATE	ISSUE
3	09.09.25	MODR APPLICATION
2	06.13.25	MODR APPLICATION
1	01.15.25	MODR PRE-APPLICATION

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

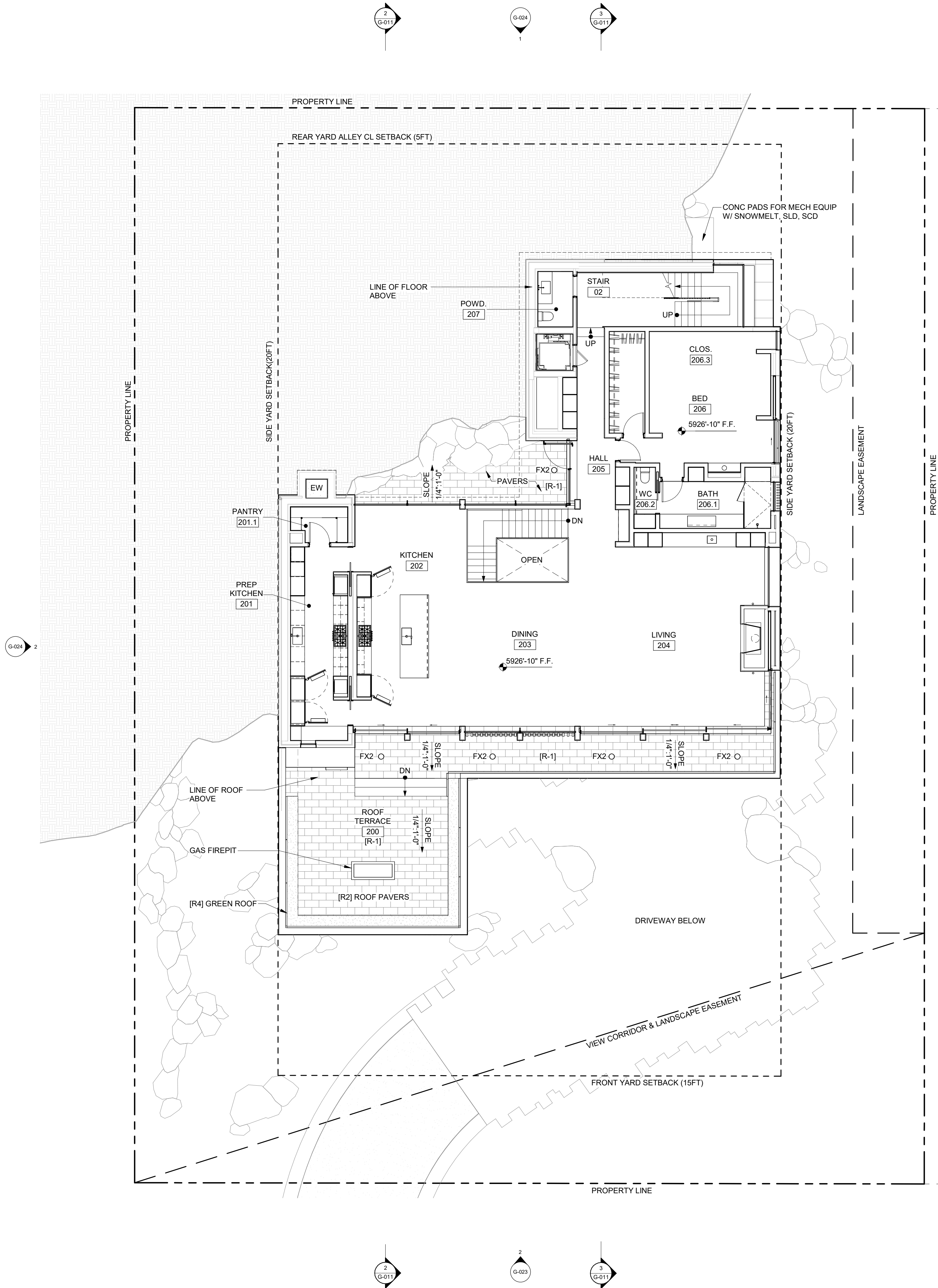
REFERENCE PLAN / LEVEL 01

DRAWING NUMBER:

A-102

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PROPOSED GROSS FLOOR AREA - LEVEL 02		
LEVEL 02		3138 SF
PROPOSED NET FLOOR AREA - LEVEL 02		
LEVEL 02		3138 SF

KMC §17.08 - DEFINITIONS

FLOOR AREA, GROSS: THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SQUARE FEET IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

FLOOR AREA, NET: THE SUM OF THE HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.

LIGHT FIXTURE LEGEND:	
	FX1 / SHIELDED WALL MOUNTED SCONCE
	FX2 / RECESSED CEILING DOWNLIGHT
	FX3 / RECESSED LINEAR COVE LIGHT
	FX4 / SHIELDED RECESSED IN-GRADE GRAZER

- REFERENCE PLAN NOTES:**
- SEE LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE INFORMATION
 - SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
 - USGS ELEVATION +5.917'-6" IS NOTED AS +100'-0" IN SUBSEQUENT ARCHITECTURAL DRAWINGS
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Knob Hill Residence

OWNER:	
Knob Hill Properties, LLC P.O. BOX 14001-174 Ketchum, ID 83340	
PROJECT ARCHITECT:	
RO Rockett Design 1306 Bridgeway, Floor 2 Sausalito, CA 94965 TEL: 415.289.0830	
SURVEYOR:	
Galena-Benchmark Engineering P.O. BOX 733 - 100 Bell Drive Ketchum, ID 83340 TEL: 208.726.9512	
GEOTECHNICAL ENGINEER:	
Butler Associates, Inc. P.O. BOX 1034 Ketchum, ID 83340 TEL: 208.720.6432	
CIVIL ENGINEER:	
Galena-Benchmark Engineering P.O. BOX 733 - 100 Bell Drive Ketchum, ID 83340 TEL: 208.726.9512	
LANDSCAPE ARCHITECT:	
Field Studio 722 N Rouse Ave Bozeman, MT 59715 TEL: 406.551.2098	
MEP ENGINEER	
Proficient Engineering 4704 Harlan Street, Suite 620 Denver, CO 80212 TEL: 727.779.3556	
STRUCTURAL ENGINEER	
KL&A Engineers and Builders 1717 Washington Ave Golden, CO 80401 TEL: 303.384.9910	
LIGHTING	
KGM Architectural Lighting 270 Coral Circle El Segundo, CA 90245 TEL: 310.552.2191	

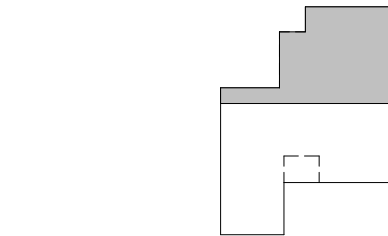
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3	09.09.25	MODR APPLICATION	
2	06.13.25	MODR APPLICATION	
1	01.15.25	MODR PRE-APPLICATION	

PROJECT:
Knob Hill Residence
Lot 3 & 4, Block 91



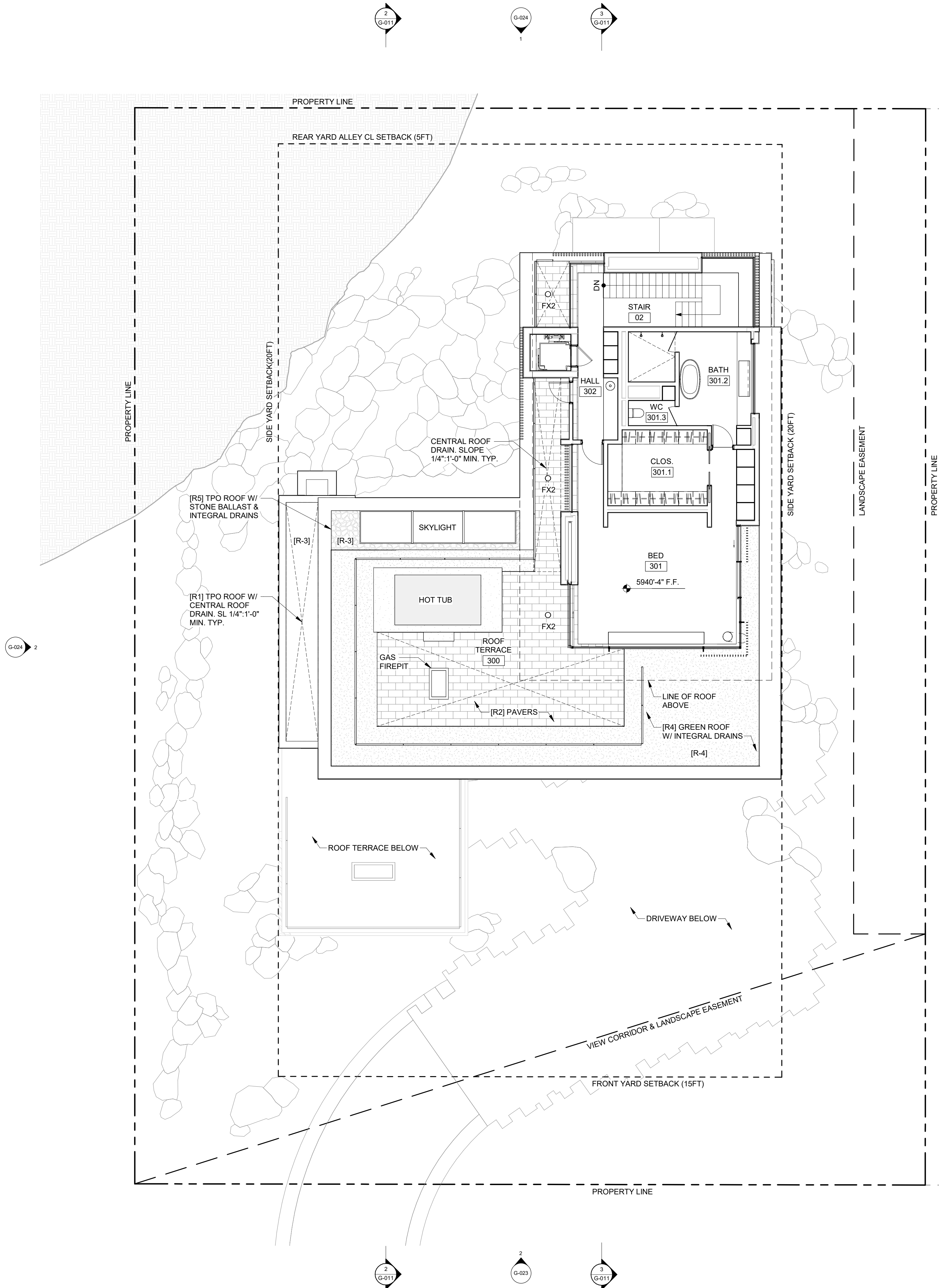
PROJECT NUMBER
2204

DRAWING TITLE:
REFERENCE PLAN / LEVEL 02

DRAWING NUMBER:
A-103

NOT FOR CONSTRUCTION

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PROPOSED GROSS FLOOR AREA - LEVEL 03		
LEVEL 03		1274 SF
PROPOSED NET FLOOR AREA - LEVEL 03		
LEVEL 03		1274 SF

KMC §17.08 - DEFINITIONS

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KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
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KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

MEP ENGINEER

PROFICIENT ENGINEERING
4704 HARLAN STREET, SUITE 620
DENVER, CO 80212
TEL: 727.779.3556

STRUCTURAL ENGINEER

KL&A ENGINEERS AND BUILDERS
1717 WASHINGTON AVE
GOLDEN, CO 80401
TEL: 303.384.9910

LIGHTING

KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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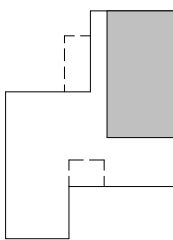
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1	01.15.25	MODR PRE-APPLICATION

PROJECT:

KNOB HILL RESIDENCE
LOT 3 & 4, BLOCK 91



PROJECT NUMBER
2204

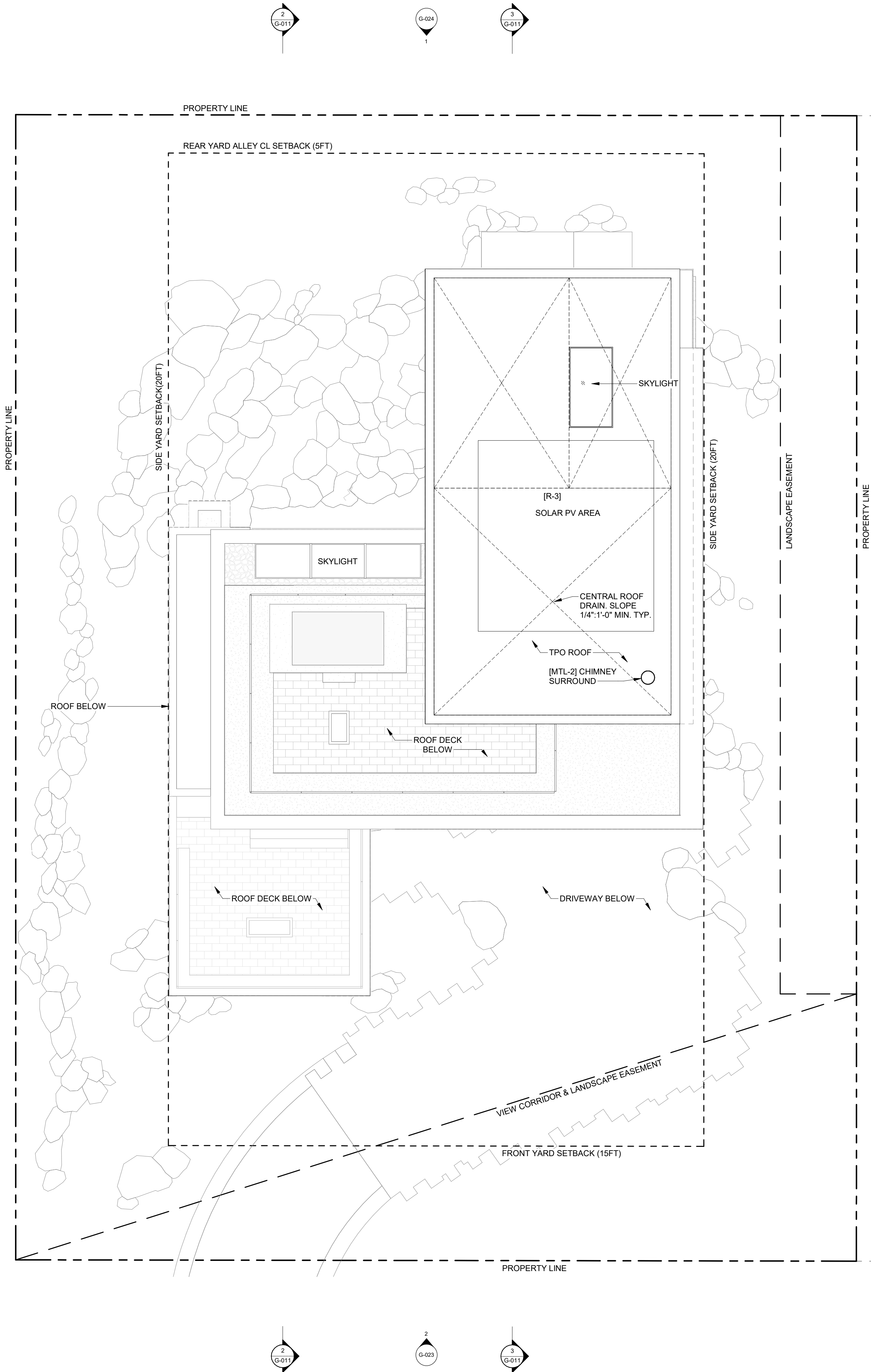
DRAWING TITLE:
REFERENCE PLAN / LEVEL 03

DRAWING NUMBER:

A-104

NOT FOR CONSTRUCTION

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REFERENCE PLAN NOTES:

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- SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
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KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

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LANDSCAPE ARCHITECT:

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NO	DATE	ISSUE

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

REFERENCE PLAN / ROOF

DRAWING NUMBER:

A-105

NOT FOR CONSTRUCTION

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Attachment B

PUBLIC COMMENT

Dawn Hofheimer

From: Charles Stevenson <charlespstevenson@gmail.com>
Sent: Wednesday, August 27, 2025 7:08 AM
To: Participate
Cc: Anna Geist; Jolyon H Sawrey
Subject: Fwd: Comment on Proposed Project in Mountain Overlay

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Planning and Zoning Commissioners,

As a neighbor owing lots on 6th St and Walnut, I agree that the project should be reduced for the very good reasons described in Albina Parks letter.

Charles Stevenson
charlespstevenson@gmail.com

----- Forwarded message -----

From: **Albina Parks** <parksalbina@gmail.com>
Date: Tue, Aug 26, 2025 at 12:30 PM
Subject: Comment on Proposed Project in Mountain Overlay
To: <Participate@ketchumidaho.org>

Dear Planning and Zoning Commissioners,

I am writing to share my concerns regarding the proposed project in the Mountain Overlay. As the immediate neighbor across the street at 711 Walnut, I am directly affected by the scale and visibility of what is being proposed.

Preservation and Views

The hillside and ridgeline at issue form part of the community's shared experience of Knob Hill—one of Ketchum's defining landmarks. Preserving that view is central to the intent of the Mountain Overlay, which exists to protect the unique character of our natural landscape. A project of this scale—approximately 8,300 square feet with a basement and three above-ground stories—would dominate the ridgeline rather than blend with it.

Neighborhood and Environmental Impact

Reducing the mass and profile of the project would help limit the significant toll on infrastructure, utilities, water, and light exposure to the neighborhood. The excavation alone, at nearly 100,000 cubic feet, would dramatically alter the hillside and impose lasting disruption on the area. Smaller scale alternatives would have far less impact on both the environment and surrounding homes.

Mountain Overlay Expectations

Applicants building within the Mountain Overlay should reasonably anticipate lower allowances for size and height than would be appropriate on a standard city lot. This is essential to maintaining the intent of the Overlay and ensuring projects respect the natural setting rather than overwhelm it.

For these reasons, I respectfully urge the Commission to require a smaller, lower-profile project that aligns with the spirit of the Mountain Overlay and preserves the Knob Hill ridgeline for the community.

Thank you for considering my perspective as a direct neighbor and for your service to Ketchum.

Sincerely,
Albina Parks
711 Walnut Ave
Ketchum Idaho

Sent from my iPhone

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