



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 11th, 2022

PROJECT: 460 North Main Street Mixed-Use Building

FILE NUMBERS: P21-097

APPLICATION: Pre-Application Design Review

REPRESENTATIVE: Michael Bulls, Ruscitto Latham Blanton Architecture

OWNER: David Wilson, Main Street Realty Partners LLC

LOCATION: 460 N Main Street (Ketchum Townsite: Block 5: Lots 3 & 4)

ZONING: Retail Core Subdistrict of the Community Core (CC-1)

OVERLAY: None

REVIEWER: Abby Rivin, Senior Planner

460 North Main Street Mixed-Use Building Pre-Application Design Review

The applicant, property owner David Wilson represented by architect Michael Bulls of Ruscitto Latham Blanton Architecture, has submitted a Pre-Application Design Review for the development of a new 24,501-square-foot mixed-use building located at 460 N Main Street within the Retail Core (CC-1 Zone) of downtown. The mixed-use building will accommodate two retail units on the ground floor, a parking garage with 8 off-street parking spaces, 4 community housing units with private entrances accessed from the alley, and 4 market-rate residential units.

Design Review is required for the development of new mixed-use buildings. The project is subject to Pre-Application Design Review pursuant to Ketchum Municipal Code (KMC) §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the preliminary design concept in relation to all Design Review criteria and evaluation standards. The Pre-Application facilitates an iterative and collaborative process between the Planning & Zoning Commission, developers, design teams, and the community. This preliminary review allows the Commission to identify design issues, offer constructive advice, and highlight opportunities to improve project. The Commission's feedback helps developers produce high-quality buildings and projects that enhance the character of downtown Ketchum.

Formula Sports/Former Post Office Historic A-Frame Demolition

The Formula Sports/Former Post Office A-Frame on the project site is one of the 27 structures on Ketchum's Historic Building List. The Historic Preservation Commission (HPC) approved the applicant's request to demolish the historic structure on November 2nd, 2021. The HPC concluded that the A-Frame merits demolition because the structure cannot reasonably be repaired, restored, or converted to an adaptive reuse without diminishing the historic integrity of the building.

Project Location

The project is located in the heart of downtown Ketchum at the southeast corner of Main and 5th streets. Ketchum has grown incrementally through time with an eclectic mix of diverse building types. Main Street's built environment combines repurposed historic buildings, like the Lane Mercantile built in 1887, with more modern development, like the Argyros Theater, to form a textured urban fabric with western mountain charm. The variation of building types and façade identities create unique urban spatial experiences that visually engage pedestrians and activate the streetscape. This redevelopment project will contribute to the character of the community and enhance downtown's built environment through its authentic design and vibrant streetscape.

Blocks in downtown are historically platted into 55-foot-wide lot increments. These platted façade increments along a block create an urban pattern with an authentic rhythm. This project proposes to combine two of these historically platted lots. The 11,000-square-foot site has 110 feet of frontage along Main Street and 100 feet of frontage along 5th Street. The project site is the same size as neighboring properties with existing developments on consolidated lots. The project is similar in size and scale to the 491 N Main Street Building, Wells Fargo, the 511 Building, and the Jones Building.

Contextual Redevelopment with High-Quality Design and Pedestrian-Friendly Streetscape

The 460 N Main Mixed-Use Building will enhance Ketchum's mountain-town character and help achieve the community's vision to maintain downtown as a vibrant commercial area where the community gathers. The project design creates an inviting, sociable, interactive, and dynamic place along Main Street.

The proposed mixed-use development is big. The 24,501-square-foot building has a total Floor Area Ratio (FAR) of 2.22. While big, the applicant has sensitively designed the project to complement the existing neighborhood character. The building tucks into the slope created by the site's 8-foot grade change. This reduces the visual appearance of building mass at the alley. This rear elevation (Sheet A4.0) is two stories and 29'-6" in height from the second level floor to the top of the gable end. This building orientation on the sloped site also allows private entrances to be provided for each of the 4 community housing units accessed from a heated, paver pathway along the alleyway. The front façade along Main Street is three stories and 42 feet in height from the ground level floor to the top of the gables ends. The private terraces provided for the upper-level residential units step the building back at the second and third floors. The second-level terraces are 21'-3" and 35'-6" wide stepping the building back 16'-4" from the ground-floor façade. The third-level terraces are each 49 feet wide stepping back the floor 22'-4" from the ground-level and 6' from the second-level façade.

The mixed-use development orients towards Main Street and the street intersection. The building angles at the street corner softening its edge while exposed wood beams distinguish the building corner entrance. The retail units provide an active use at the ground-level that will add vibrancy to both street frontages. The 12-foot first-floor ceiling height enhances the retail use's prominence within

the development. The commercial and residential uses with the building's interior program are visually distinguished through different exterior materials and architectural features. The ground level is defined by natural stone veneer and arches. The arches are equally separated forming a repeating pattern that creates rhythm along the streetscape. The arches project 3 feet from the front and street side facades creating covered spaces for benches and landscaped planters along both street frontages. These public amenities create an activated, pedestrian friendly streetscape. Both the stone arches and wood beams echo the exposed structural elements that characterize alpine architecture and vernacular buildings, like the A-Frame, capable of shedding and withstanding snow loads in the mountains. The roof includes both flat and pitched, gable elements that vary the height of the roofline and provide visual interest.

Staff Suggestions to Improve Project

The fourth-level roof plan on Sheet A2.4 includes a stairwell, elevator, and enclosed corridor to access the rooftop terraces. This feature is contained within the 42-foot maximum height area as measured from the average elevation at the rear property line. Pursuant to Ketchum Municipal Code §17.12.040, the only elements permitted to extend above the roof surface are non-habitable structures, decks with associated amenities, and solar and mechanical equipment. The 289-square-foot enclosed corridor qualifies this feature as a fourth floor. All buildings greater than 48 feet in height or that contain a fourth floor require final approval from the City Council (Ketchum Municipal Code §17.12.040 Footnote 2). Staff suggests the applicant remove the fourth-level stairwell, elevator, and enclosed corridor in their entirety from the roof. This feature provides access to two, 514-square-foot rooftop terraces. More desirable open space is provided for each residential unit through the terraces fronting Main Street. Removing this fourth-floor feature would enhance the design of the mixed-use development by reducing building mass.

The proposed gable roof elements are a defining architectural feature that distinguish this project from the flat-roofed, rectangular-shaped buildings dominating recent downtown infill and redevelopment projects. While adding visual interest, the pitched gables contrast with the semicircular arches at the ground level. The gable roofs compete with the ground-level arches for visual attention. The inclusion of both distinctive elements diminishes the impact of each unique feature. Additionally, the project lacks vertical visual continuity. The ground floor appears completely disconnected from the upper levels. Staff suggests the applicant refine the visual hierarchy created by the arches and gables and unify the design across the three levels of the building.

The second-level floor plan on Sheet A2.2 indicates that a 42" high metal guard protects the edge of the paver pathway along the alley that provides access to the community housing units. Staff suggests the applicant connect this paver pathway to the 5th Street sidewalk to enhance pedestrian connectivity. The second-level floor plan also shows that a separated, enclosed garbage area has been provided for each community housing unit. Staff suggests the dumpster provided in the garage serve as the garbage disposal area for all uses within the development, including the community housing units. These enclosed garbage areas could then be designated as additional storage for each community housing unit.

Staff Recommendation

After considering the project plans attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to advance the 460 North Main Mixed-Use Building to final Design Review.

Exhibits:

- A. 460 North Main Mixed-Use Building Project Plans

Exhibit A
460 North Main Street
Mixed-Use Building
Project Plans

460 NORTH MAIN STREET

KETCHUM, IDAHO

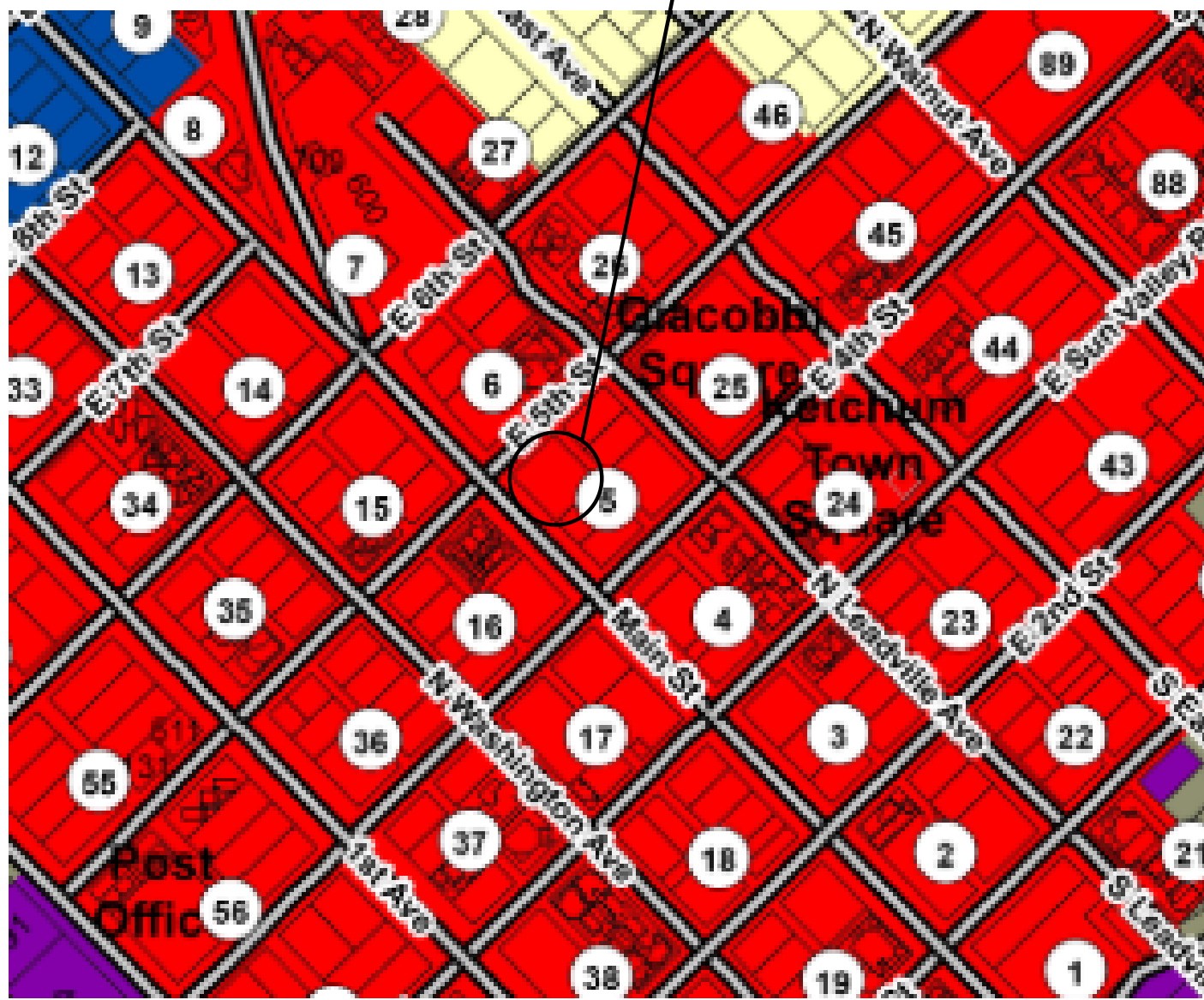


ISSUED	
12.09.2021	DESIGN REVIEW



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PROJECT LOCATION
COMMUNITY CORE (CC)
RETAIL CORE SUBDISTRICT (CC-1)



ZONING MAP
N. T. S.

PROJECT LOCATION
COMMUNITY CORE (CC)
RETAIL CORE SUBDISTRICT (CC-1)



VICINITY PLAN
SCALE: 1" = 200'-0"
AERIAL COURTESY OF GOOGLE MAPS

PROJECT INFORMATION

OWNER:	MAIN STREET REALTY PARTNERS LLC P.O. BOX 6770, KETCHUM, ID 83340	
PROJECT ADDRESS:	460 N MAIN ST. KETCHUM, ID 83340	
LEGAL DESCRIPTION:	KETCHUM LOT 3 & 4 BLK 5	
ZONING DISTRICT:	COMMUNITY CORE (CC) - RETAIL CORE SUBDISTRICT (CC-1)	
APPLICABLE CODES:	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL FIRE CODE (IFC) WITH AMENDMENTS PER KETCHUM ORDINANCE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS AMENDED BY IDAHO BUILDING CODE BOARD 2017 NATIONAL ELECTRICAL CODE (NEC) 2017 IDAHO STATE PLUMBING CODE (ISPC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC) CITY OF KETCHUM GREEN BUILDING CODE	
PROJECT USE:	MIXED USE: COMMERCIAL - RETAIL RESIDENTIAL - COMMUNITY HOUSING DWELLING UNITS SINGLE FAMILY DWELLING UNITS	
OCCUPANCY:	M MERCANTILE (RETAIL AREAS) R-2 RESIDENTIAL S-2 PARKING AREAS	
OCCUPANCY SEPARATION:	M / R-2 1 HOUR M / S-2 1 HOUR R-2 / S-2 1 HOUR DWELLING UNIT SEPARATION 1/2 HOUR W/ FIRE SPRINKLERS	
CONSTRUCTION TYPE:	V-B	
LOT AREA:	11,000 SQ. FT.	
BUILDING AREA CALCULATIONS: (GROSS)	BASEMENT:	964 SQ. FT.
	GROUND LEVEL:	9,351 SQ. FT.
	SECOND LEVEL:	8,528 SQ. FT.
	THIRD LEVEL:	6,962 SQ. FT.
	FOURTH LEVEL:	581 SQ. FT.
	TOTAL:	26,386 SQ. FT.
FIRE SPRINKLERS:	NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM WITH MONITORED ALARM SYSTEM PROVIDED PER CITY OF KETCHUM ORDINANCE AND NFPA 72	
ALARM & FIRE DETECTION:	APPROVED FIRE ALARM AND DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE PROJECT.	
WATER SOURCE CONSERVATION:	ALL WATER CONSUMPTION SHALL COMPLY WITH CITY OF KETCHUM REQUIREMENTS, APPENDIX M AND THE INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC), SECTION 701.1 - 702.6. ALL PLUMBING FIXTURES FLOW RATES SHALL COMPLY WITH TABLE 702.1 OF THE IGCC.	
OTHER GREEN BUILDING REQ:	RESIDENTIAL PORTIONS OF THE PROJECT TO ACHIEVE NATIONAL GREEN BUILDING STANDARD (NGBS) SILVER CERTIFICATION, VERIFICATION BY THIRD PARTY NAHB VERIFIER.	
FLOOR AREA RATIO (F.A.R.):	REFER TO SHEET A1.2	
COMMUNITY HOUSING:	REFER TO SHEET A1.2	
BUILDING HEIGHT:	42'-0" (42'-0" MAX)	
SETBACKS:	NORTH-WEST SIDE (5TH STREET)	0'-0"
	SOUTH-WEST SIDE (MAIN STREET)	0'-0"
	NORTH-EAST SIDE (ALLEY)	3'-0"
	SOUTH-EAST (PROPERTY LINE)	1'-0"
PARKING:	<u>OFF STREET PARKING</u> RETAIL: EXEMPT (LESS THAN 5,500 SQ. FT.) 0 SPACES COMMUNITY HOUSING: (LESS THAN 750 SQ. FT.) 0 SPACES RESIDENTIAL: 8 SPACES	

PROJECT TEAM

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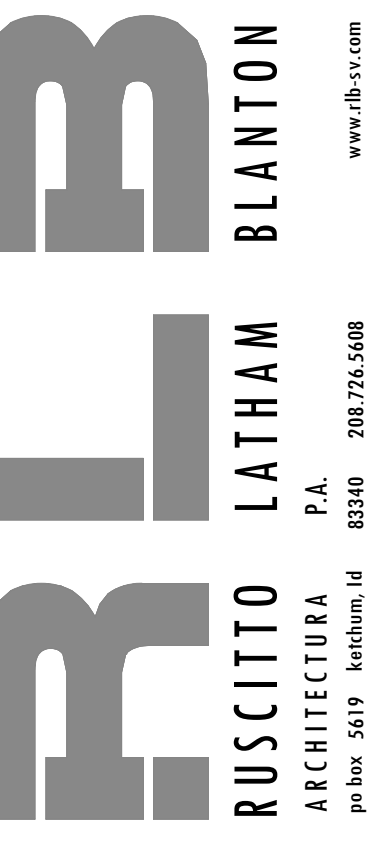
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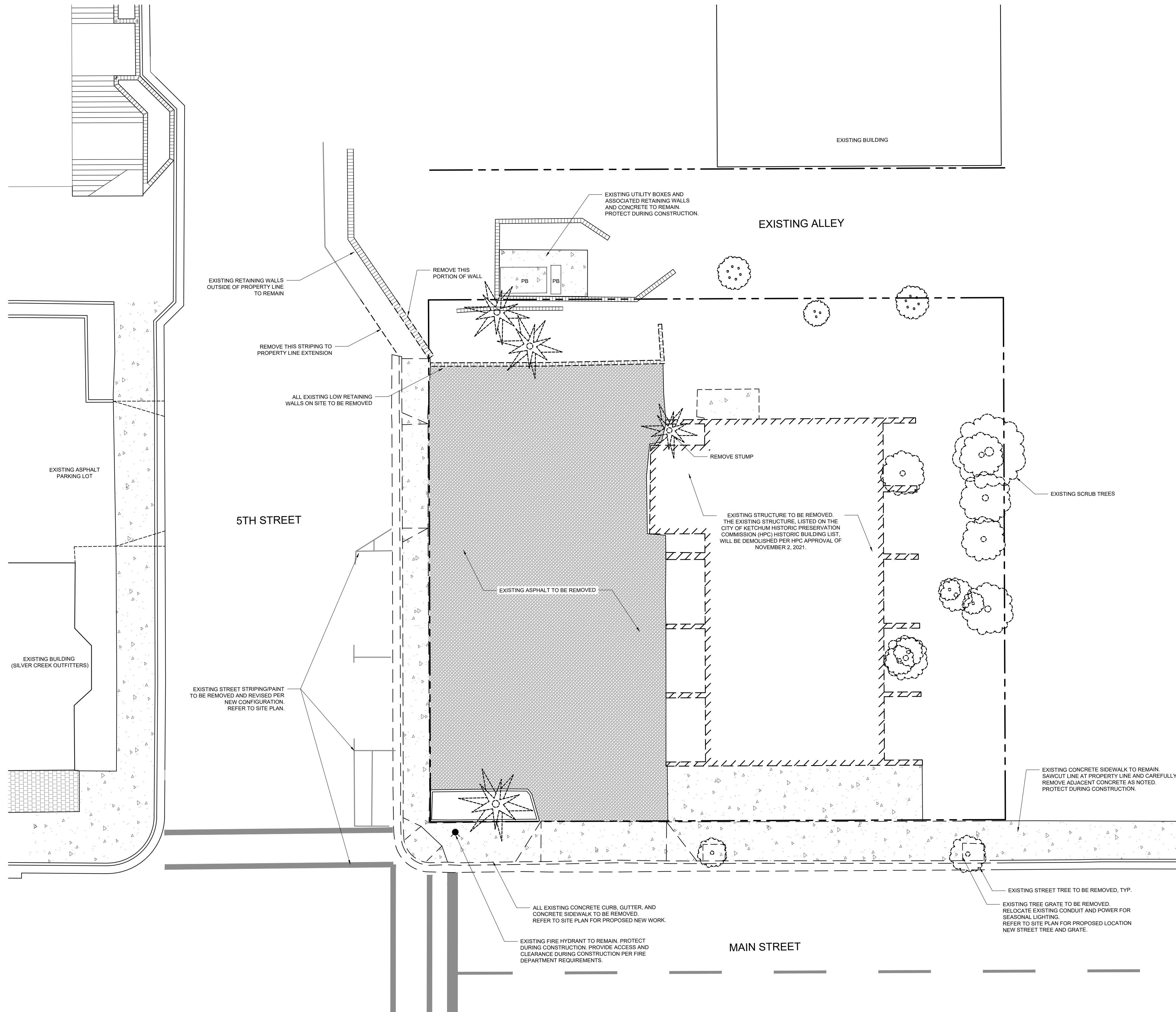
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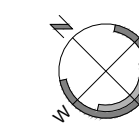
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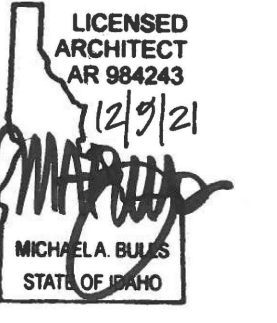


SITE DEMOLITION AND LANDSCAPE REMOVAL PLAN

SCALE: 1" = 10'



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 DRAWING
 SITE
 DEMOLITION &
 LANDSCAPE
 REMOVAL PLAN
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A 1 . 1

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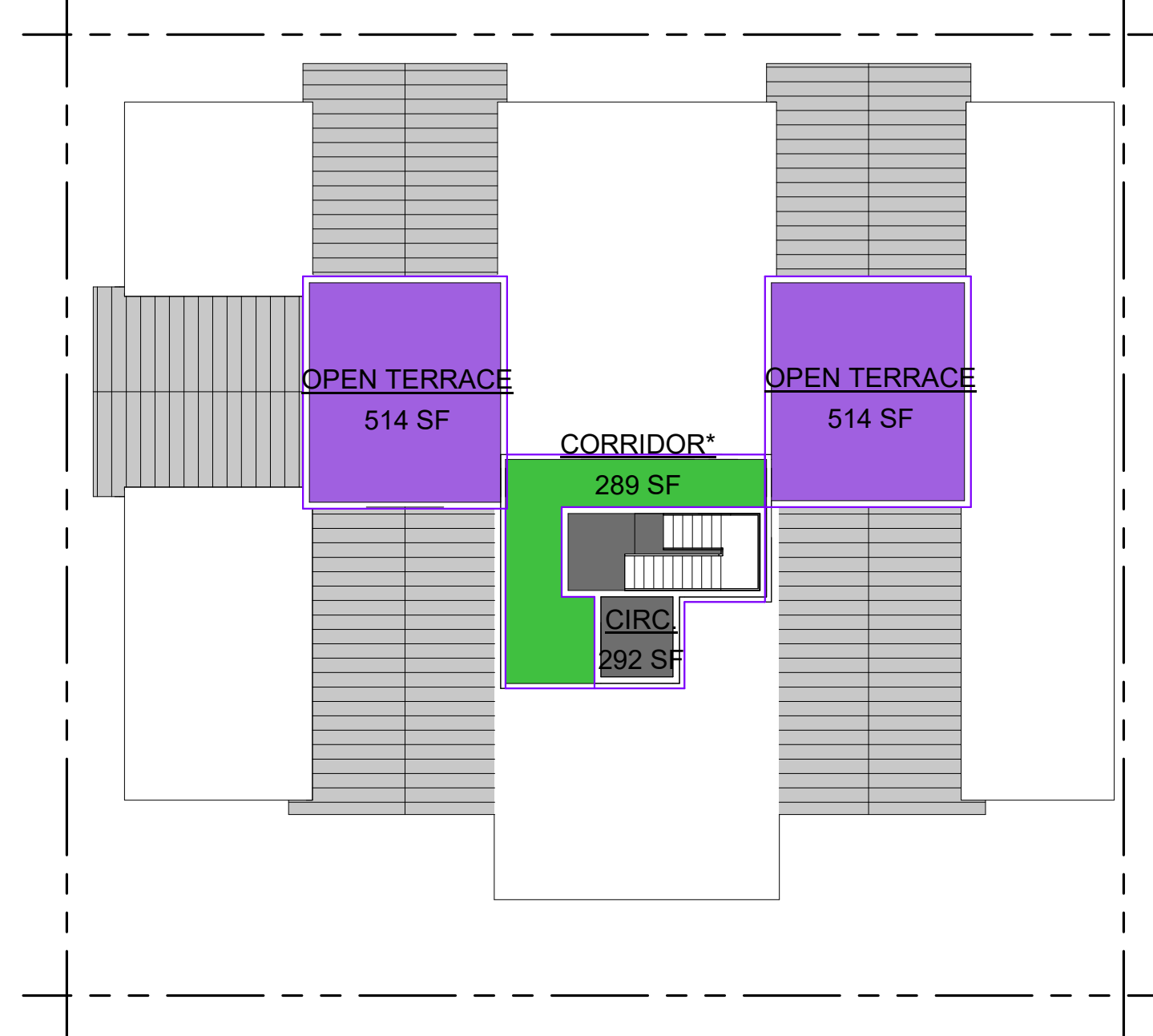


BUILDING AREA LEGEND

- CIRC.
- OPEN TERRACE
- UNIT 301*
- UNIT 302*

THIRD LEVEL FLOOR PLAN

SCALE: 1/16" = 1'-0"

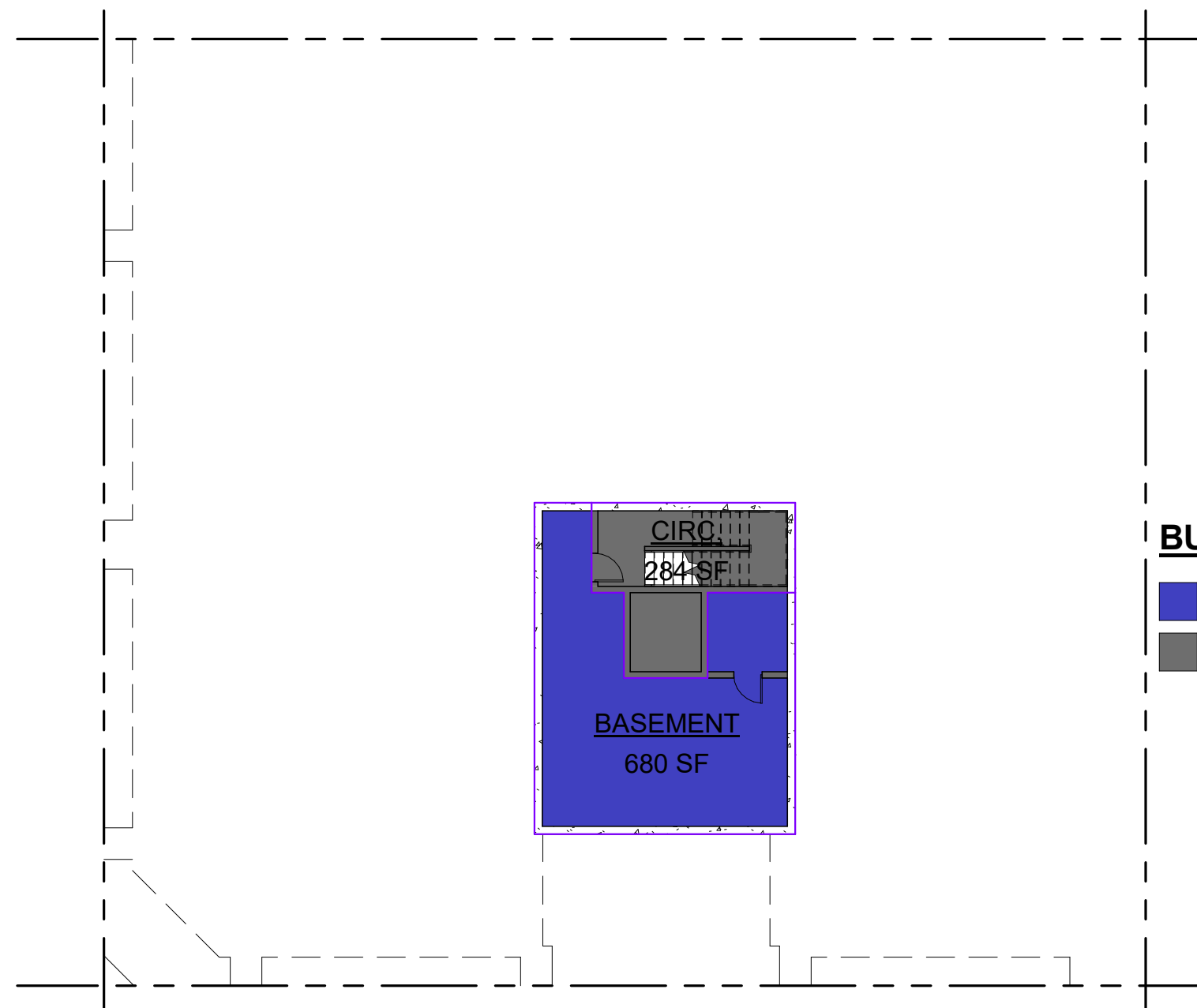


BUILDING AREA LEGEND

- CIRC.
- CORRIDOR*
- OPEN TERRACE

FOURTH LEVEL ROOF PLAN

SCALE: 1/16" = 1'-0"

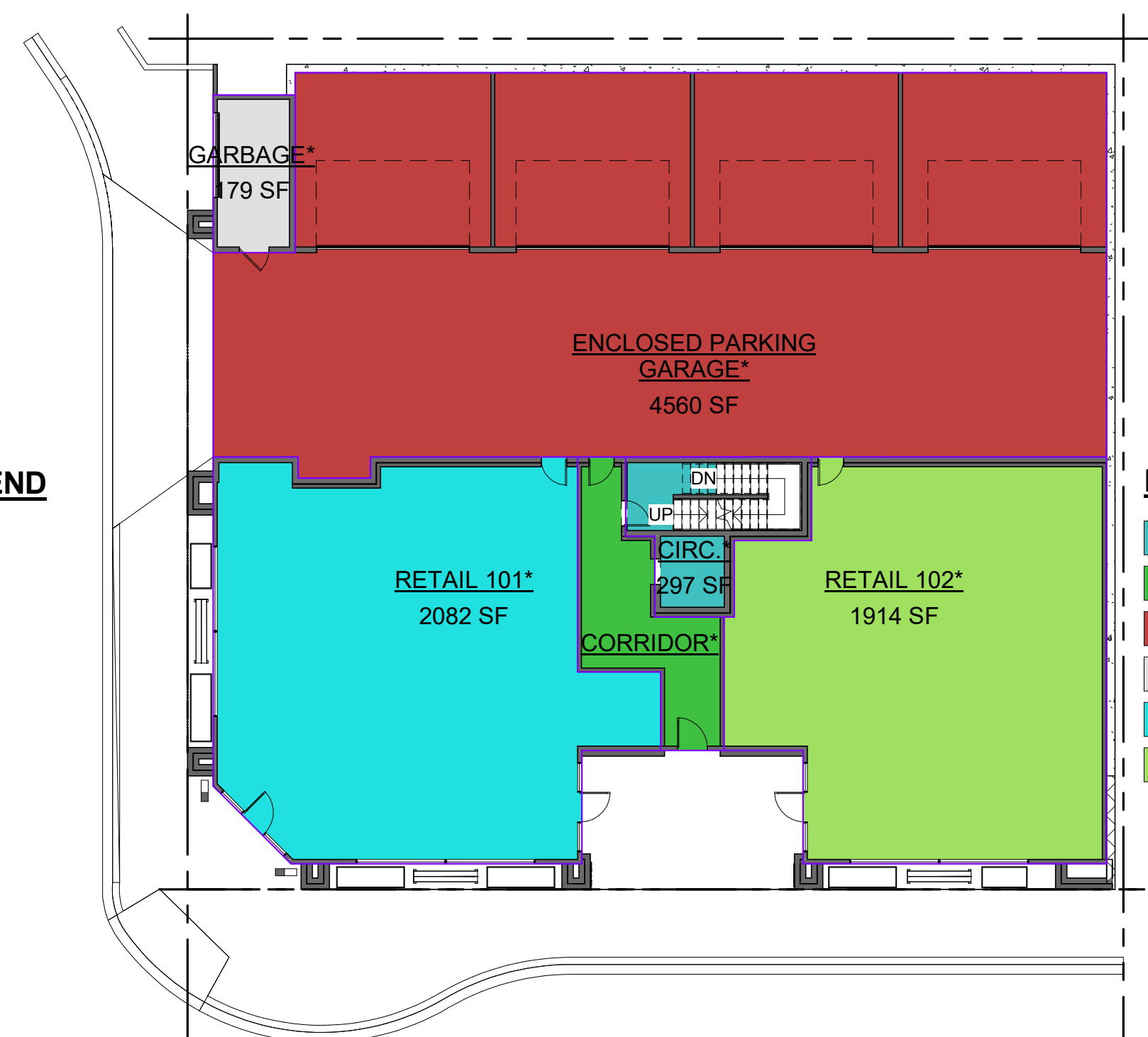


BUILDING AREA LEGEND

- BASEMENT
- CIRC.

BASEMENT FLOOR PLAN

SCALE: 1/16" = 1'-0"

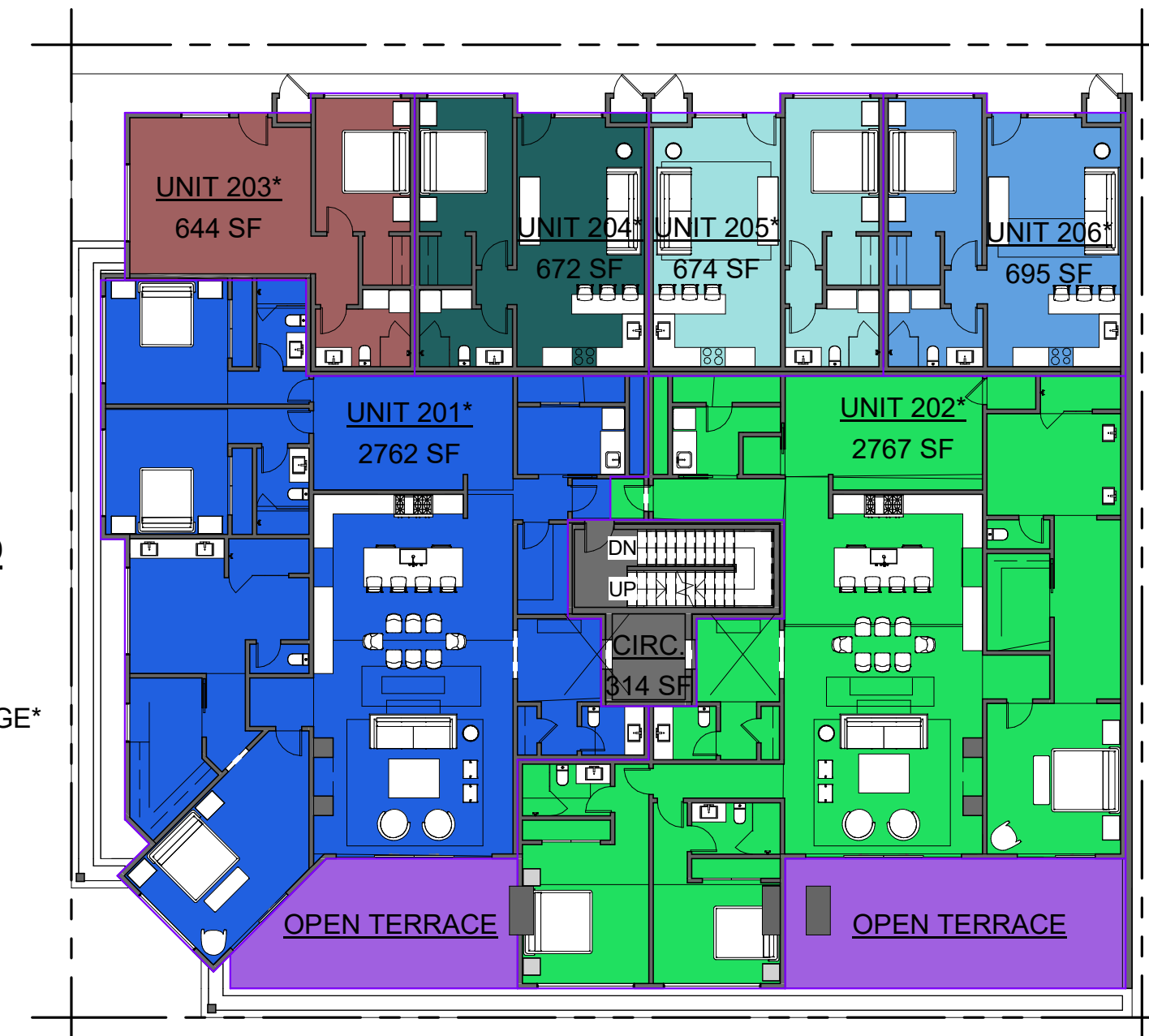


BUILDING AREA LEGEND

- CIRC.*
- CORRIDOR*
- ENCLOSED PARKING GARAGE*
- GARBAGE*
- RETAIL 101*
- RETAIL 102*

GROUND LEVEL FLOOR PLAN

SCALE: 1/16" = 1'-0"



BUILDING AREA LEGEND

- CIRC.
- OPEN TERRACE
- UNIT 201*
- UNIT 202*
- UNIT 203*
- UNIT 204*
- UNIT 205*
- UNIT 206*

SECOND LEVEL FLOOR PLAN

SCALE: 1/16" = 1'-0"

GROSS BUILDING AREA SCHEDULE		
LEVEL	SPACE	AREA
BASEMENT FLOOR PLAN	BASEMENT	680 SF
BASEMENT FLOOR PLAN	CIRC.	284 SF
BASEMENT FLOOR PLAN		964 SF
GROUND LEVEL FLOOR PLAN	CIRC.*	297 SF
GROUND LEVEL FLOOR PLAN	CORRIDOR*	319 SF
GROUND LEVEL FLOOR PLAN	ENCLOSED PARKING GARAGE*	4560 SF
GROUND LEVEL FLOOR PLAN	GARBAGE*	179 SF
GROUND LEVEL FLOOR PLAN	RETAIL 101*	2082 SF
GROUND LEVEL FLOOR PLAN	RETAIL 102*	1914 SF
GROUND LEVEL FLOOR PLAN		9351 SF
SECOND LEVEL FLOOR PLAN	CIRC.	314 SF
SECOND LEVEL FLOOR PLAN	OPEN TERRACE	467 SF
SECOND LEVEL FLOOR PLAN	OPEN TERRACE	345 SF
SECOND LEVEL FLOOR PLAN	UNIT 201*	2762 SF
SECOND LEVEL FLOOR PLAN	UNIT 202*	2767 SF
SECOND LEVEL FLOOR PLAN	UNIT 203*	644 SF
SECOND LEVEL FLOOR PLAN	UNIT 204*	672 SF
SECOND LEVEL FLOOR PLAN	UNIT 205*	674 SF
SECOND LEVEL FLOOR PLAN	UNIT 206*	695 SF
SECOND LEVEL FLOOR PLAN		9340 SF
THIRD LEVEL FLOOR PLAN	CIRC.	314 SF
THIRD LEVEL FLOOR PLAN	OPEN TERRACE	737 SF
THIRD LEVEL FLOOR PLAN	OPEN TERRACE	742 SF
THIRD LEVEL FLOOR PLAN	UNIT 301*	3393 SF
THIRD LEVEL FLOOR PLAN	UNIT 302*	3254 SF
THIRD LEVEL FLOOR PLAN		8441 SF
FOURTH LEVEL ROOF PLAN	CIRC.	292 SF
FOURTH LEVEL ROOF PLAN	CORRIDOR*	289 SF
FOURTH LEVEL ROOF PLAN	OPEN TERRACE	514 SF
FOURTH LEVEL ROOF PLAN	OPEN TERRACE	514 SF
FOURTH LEVEL ROOF PLAN		1608 SF
FOURTH LEVEL ROOF PLAN		29704 SF
TOTAL GROSS BUILDING AREA		29704 SF

AREA OF TOTAL LOT	=	11,000 SF
GROSS BUILDING AREA FOR F.A.R. **	=	24,501 SF
PERMITTED F.A.R.	=	1.0
PERMITTED F.A.R. W/ 20% COMM. HOUSING	=	2.25
ADJUSTED AREA FOR F.A.R. COMM. HOUSING	=	13,501 SF
COMM. HOUSING	=	2,685 SF
COMM. HOUSING % OF ADJUSTED AREA	=	20%
PROPOSED F.A.R.	=	2.22

** GROSS AREA FOR OPEN TERRACES, BASEMENT, STAIRWAYS AND ELEVATOR OTHER THAN GROUND FLOOR, NOT INCLUDED IN THE "GROSS BUILDING AREA FOR F.A.R."
* BUILDING AREAS INCLUDED IN GROSS BUILDING AREA F.A.R.

ISSUED
12.09.2021 DESIGN REVIEW

LICENSED ARCHITECT
AR 984243
12/9/21
MICHELLE A. BLANTON
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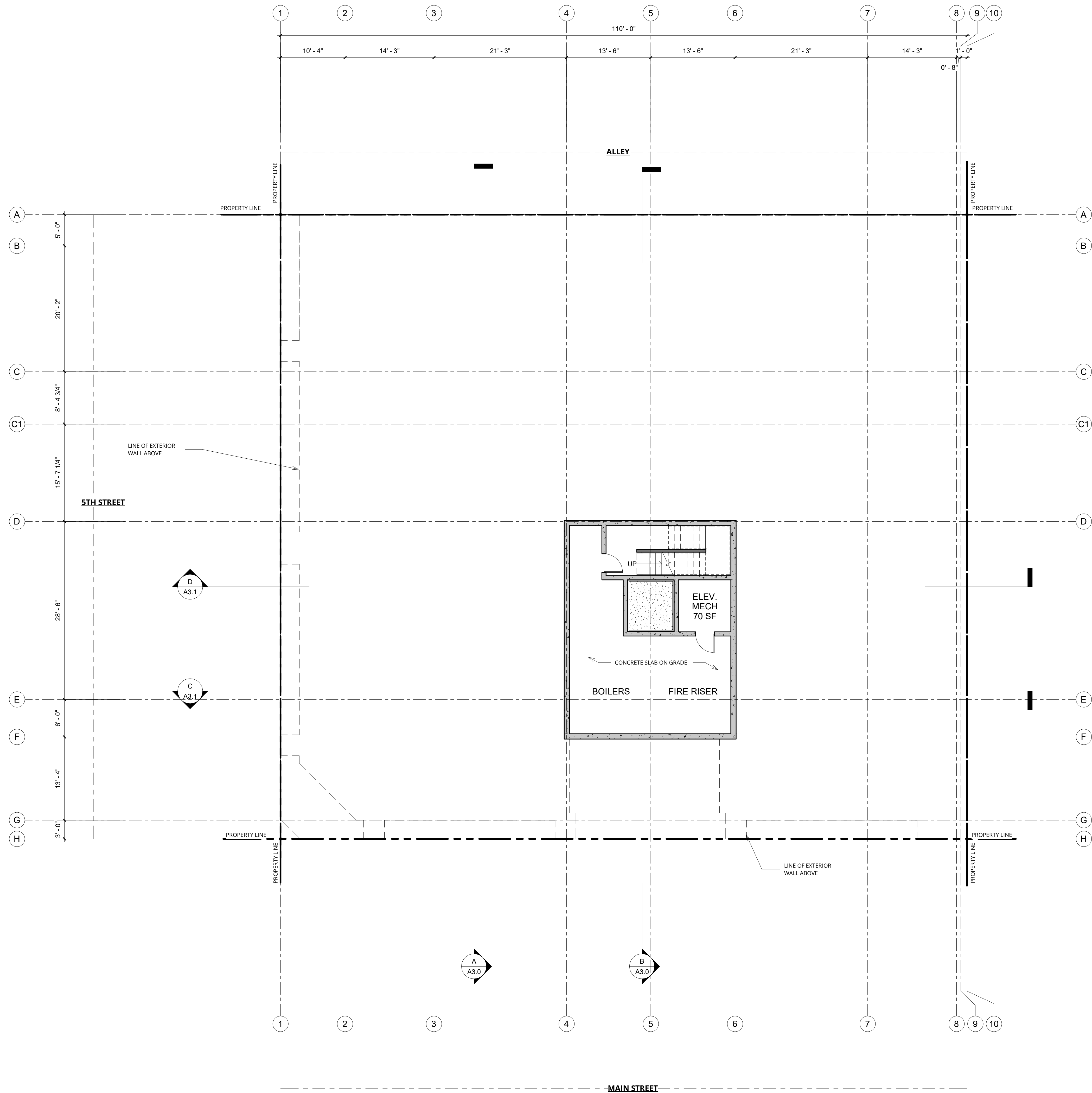
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F.A.R.
CALCULATION

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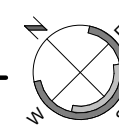
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BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



BASEMENT	
TYPE OF CONSTRUCTION:	V-B
TYPE OF OCCUPANCY:	S-2
GROSS SQUARE FOOTAGE:	964 SF
NET SQUARE FOOTAGE:	0 SF

ISSUED	
12.09.2021	DESIGN REVIEW



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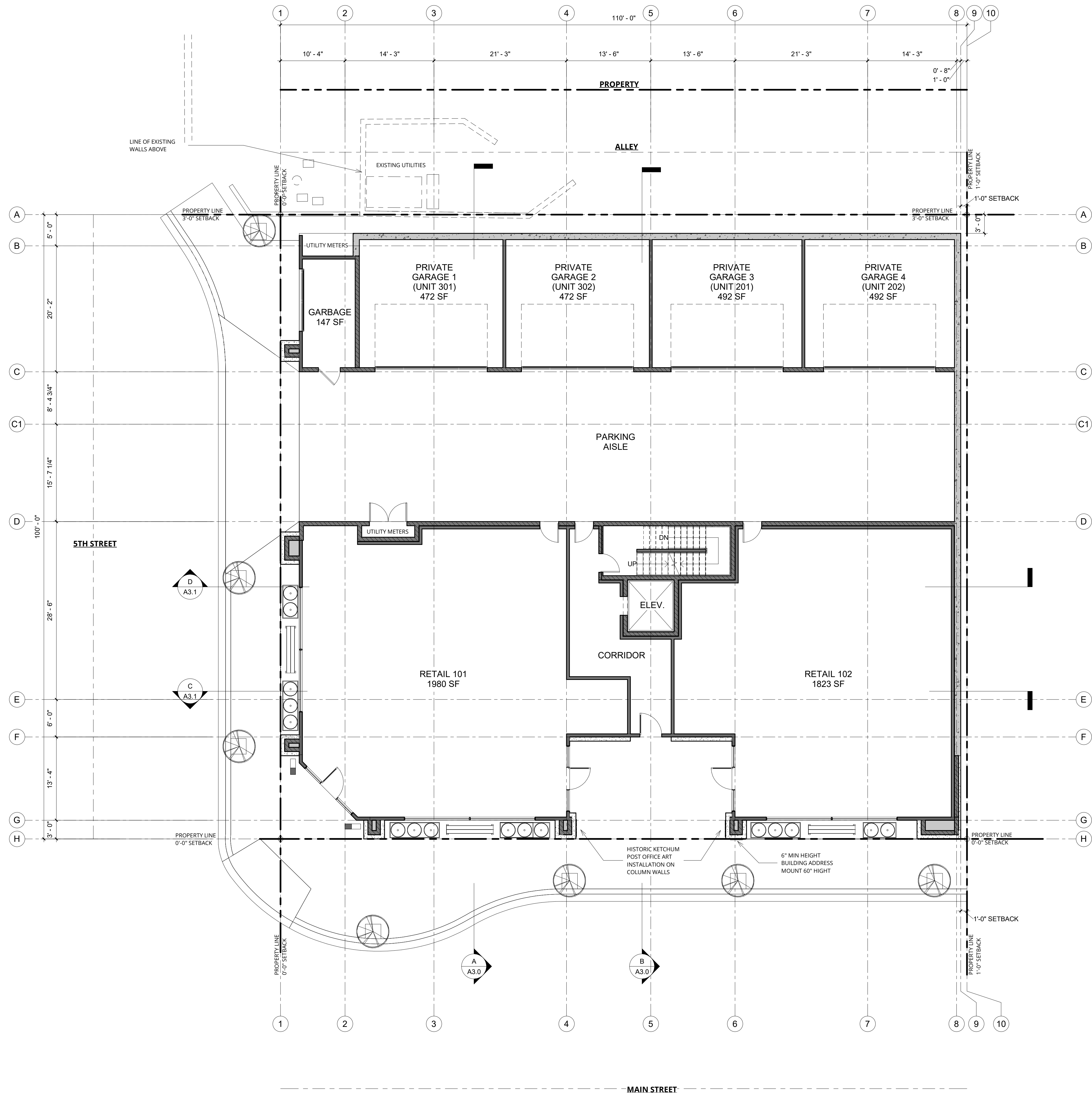
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BASEMENT
 LEVELFLOOR
 PLAN

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A2.0

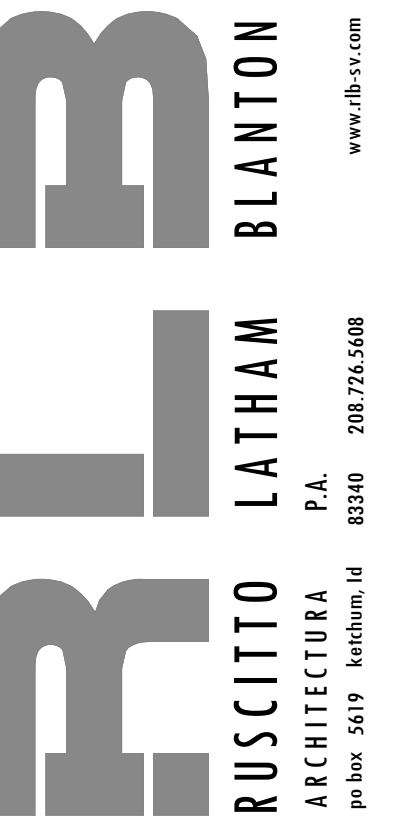
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GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

GROUND LEVEL	
TYPE OF CONSTRUCTION:	V-B
TYPE OF OCCUPANCY:	M / S-2
GROSS SQUARE FOOTAGE:	9,351 SF
NET SQUARE FOOTAGE:	3,996 SF

ISSUED	
12.09.2021	DESIGN REVIEW



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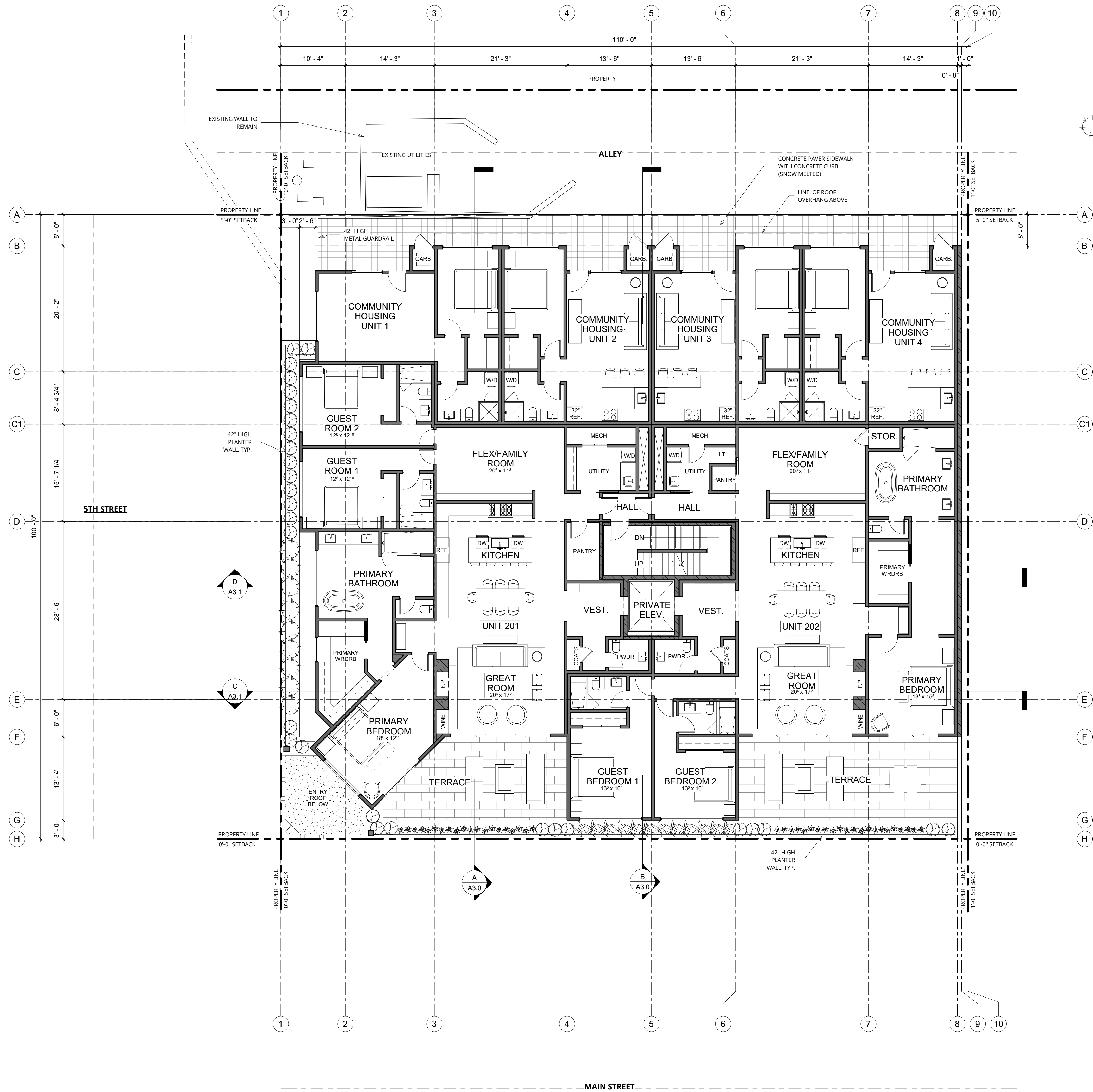
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GROUND LEVEL FLOOR PLAN

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SECOND LEVEL	
TYPE OF CONSTRUCTION:	V-B
TYPE OF OCCUPANCY:	R-2
GROSS SQUARE FOOTAGE:	8,528 SF
NET SQUARE FOOTAGE:	8,069 SF

SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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12.09.2021 DESIGN REVIEW

LICENSED ARCHITECT
AR 984243
12/9/21
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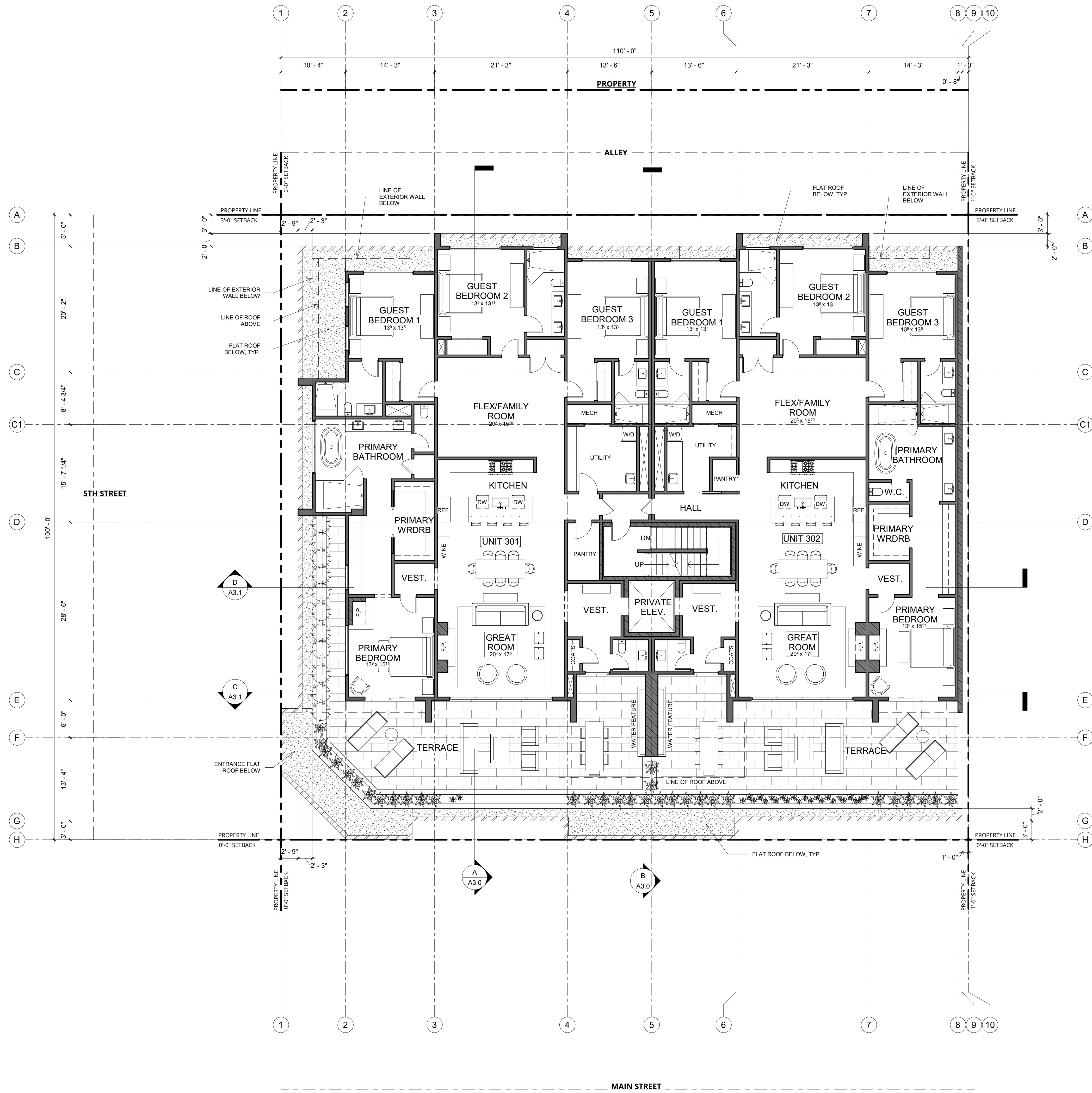
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SECOND LEVEL FLOOR PLAN
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A2.2

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THIRD LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

THIRD LEVEL	
TYPE OF CONSTRUCTION:	V-8
TYPE OF OCCUPANCY:	R-2
GROSS SQUARE FOOTAGE:	6,962 SF
NET SQUARE FOOTAGE:	6,503 SF

ISSUED	
12.09.2021	DESIGN REVIEW



460 N MAIN ST.
460 N MAIN STREET KETCHUM, IDAHO

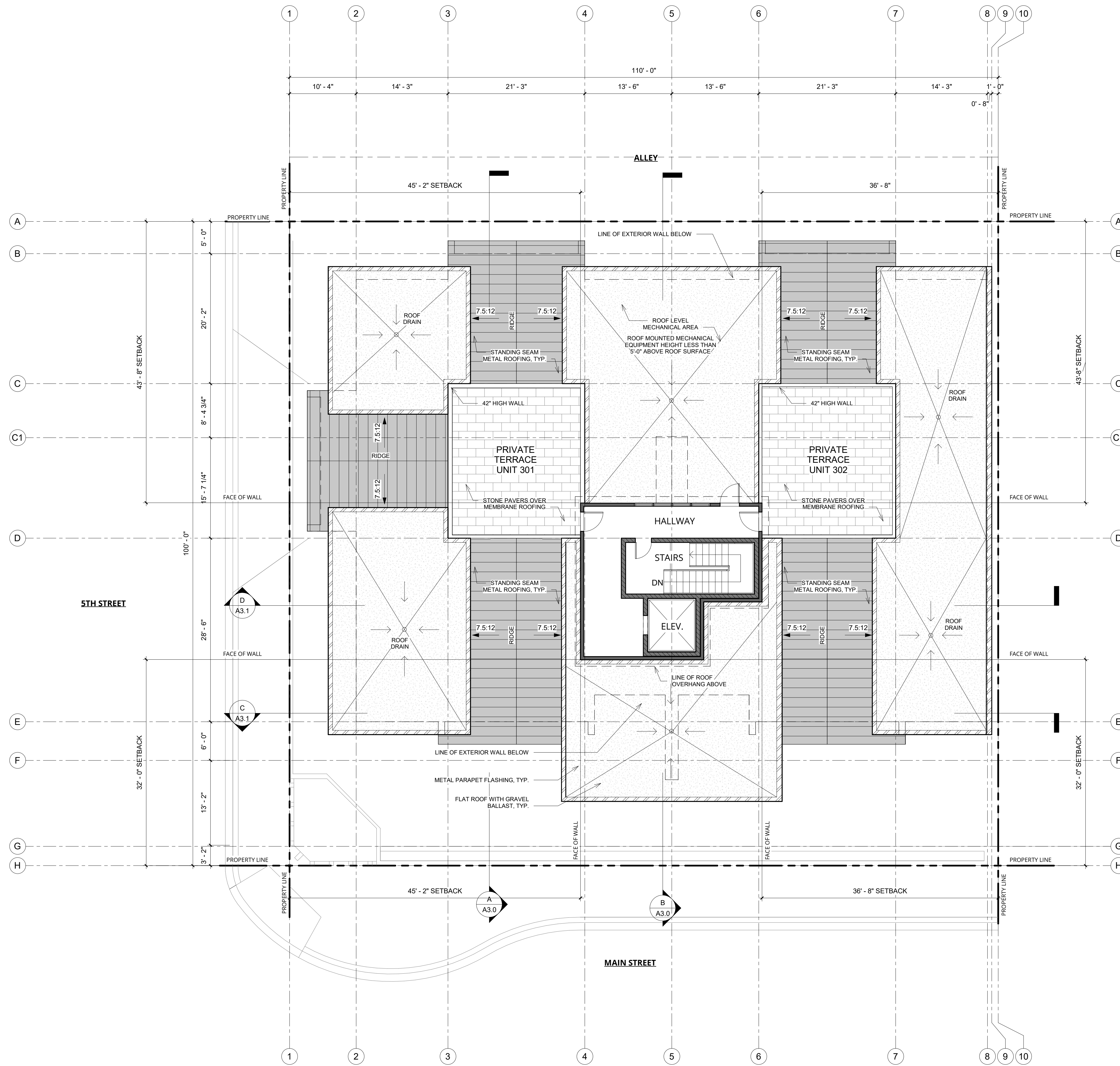
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THIRD LEVEL
FLOOR PLAN

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FOURTH LEVEL ROOF PLAN
SCALE: 1/8" = 1'-0"

FOURTH LEVEL	
TYPE OF CONSTRUCTION:	V-8
TYPE OF OCCUPANCY:	R-2
GROSS SQUARE FOOTAGE:	581 SF
NET SQUARE FOOTAGE:	0 SF

ISSUED	
12.09.2021	DESIGN REVIEW



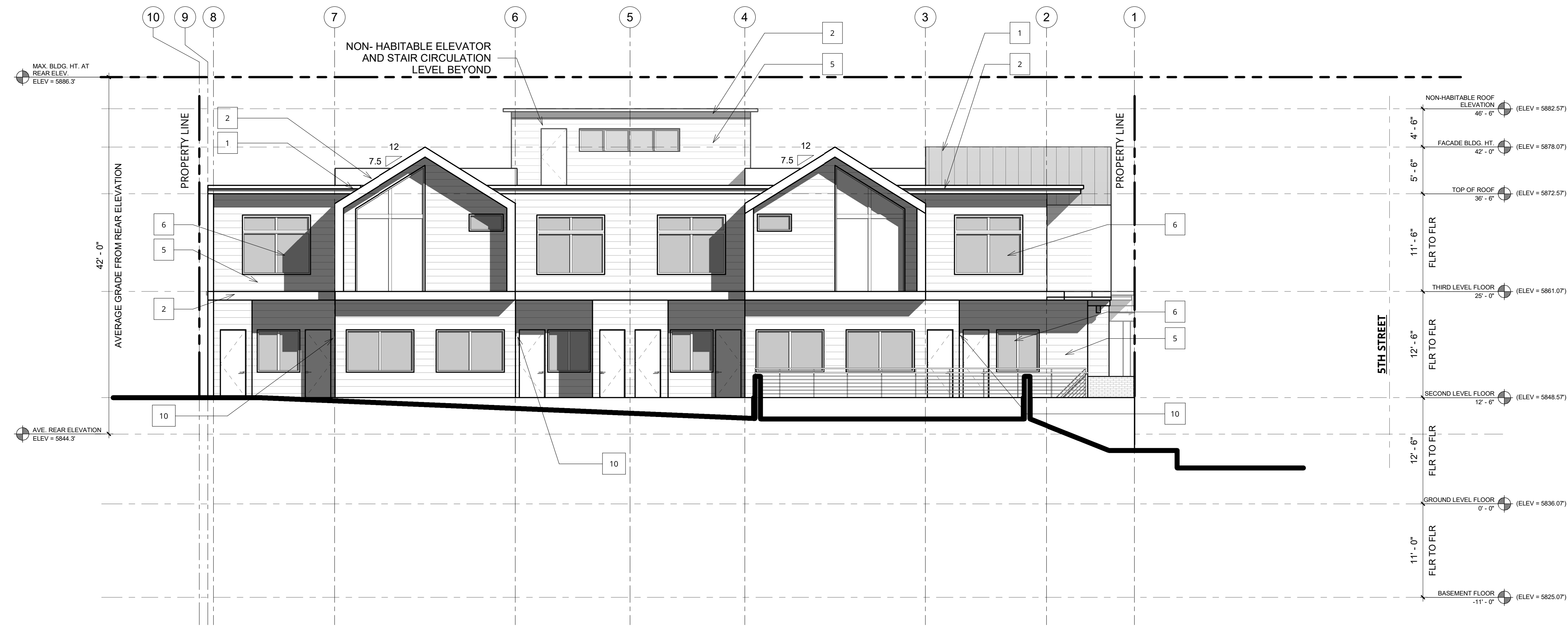
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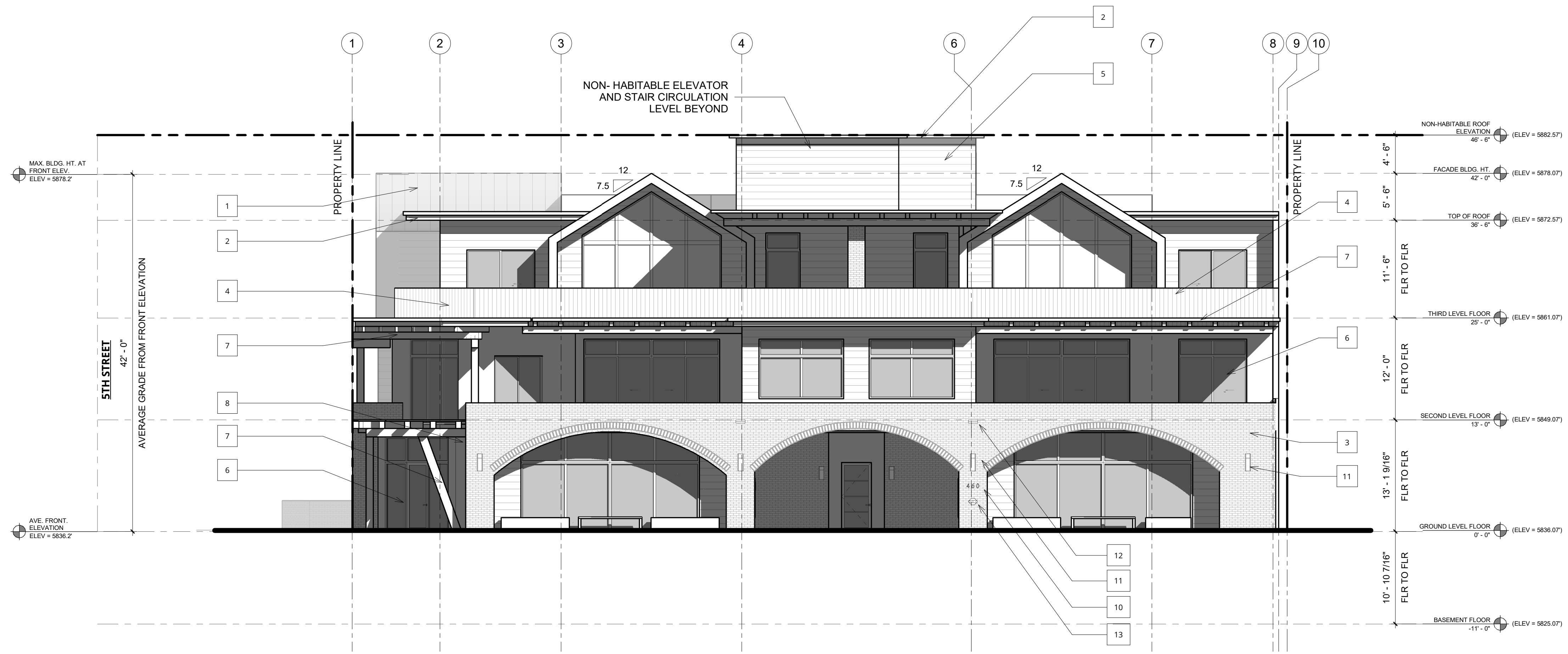
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NORTHEAST ELEVATION (ALLEY)
SCALE: 1/8" = 1'-0"



SOUTHWEST ELEVATION (MAIN ST)
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS AND NOTES	
1	STANDING SEAM METAL ROOFING - MATTE DARK BRONZE
2	PRE-FINISHED METAL FASCIA & FLASHINGS
3	NATURAL STONE VENEER/BRICK COURSE LAYUP
4	WEATHERED WOOD VERTICAL SIDING
5	WEATHERED WOOD HORIZONTAL SIDING
6	METAL CLAD WOOD WINDOWS AND DOORS
7	STAINED WOOD BEAMS, COLUMNS AND TRIM
8	METAL PANEL
9	PAINTED CMU
10	6" MIN. HEIGHT BUILDING ADDRESS MOUNT 60" HIGH
11	LIGHT FIXTURE
12	STREET LIGHT MOUNTED TO BUILDING, TYP.
13	FDC CONNECTION

ISSUED
12.09.2021 DESIGN REVIEW

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AR 984243
12/9/21
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STATE OF IDAHO

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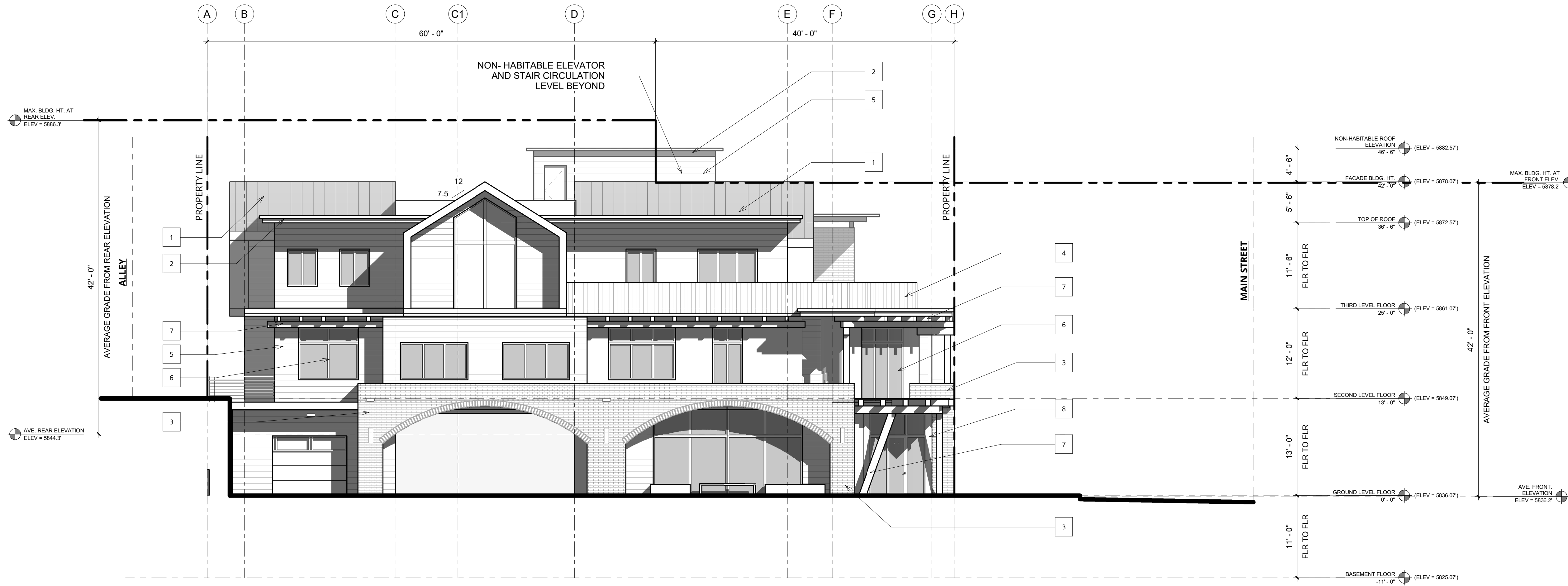
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BUILDING ELEVATIONS

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NORTHWEST ELEVATION (5TH ST)
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS AND NOTES	
1	STANDING SEAM METAL ROOFING - MATTE DARK BRONZE
2	PRE-FINISHED METAL FASCIA & FLASHINGS
3	NATURAL STONE VENEER/BRICK COURSE LAYUP
4	WEATHERED WOOD VERTICAL SIDING
5	WEATHERED WOOD HORIZONTAL SIDING
6	METAL CLAD WOOD WINDOWS AND DOORS
7	STAINED WOOD BEAMS, COLUMNS AND TRIM
8	METAL PANEL
9	PAINTED CMU
10	6" MIN. HEIGHT BUILDING ADDRESS MOUNT 60" HIGH
11	LIGHT FIXTURE
12	STREET LIGHT MOUNTED TO BUILDING, TYP.
13	FDC CONNECTION

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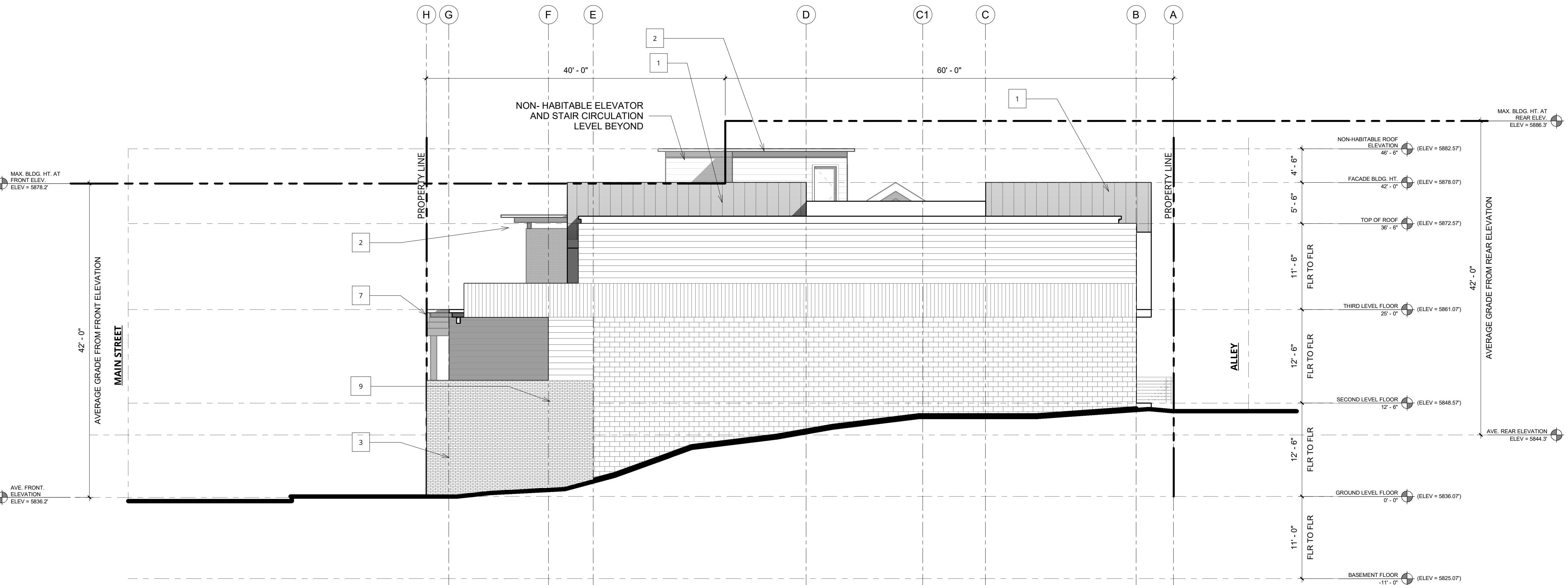
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BUILDING ELEVATIONS

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A4.1



SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

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EXTERIOR RENDERING: MAIN STREET & 5TH STREET



EXTERIOR RENDERING: 5TH STREET



EXTERIOR RENDERING: MAIN STREET

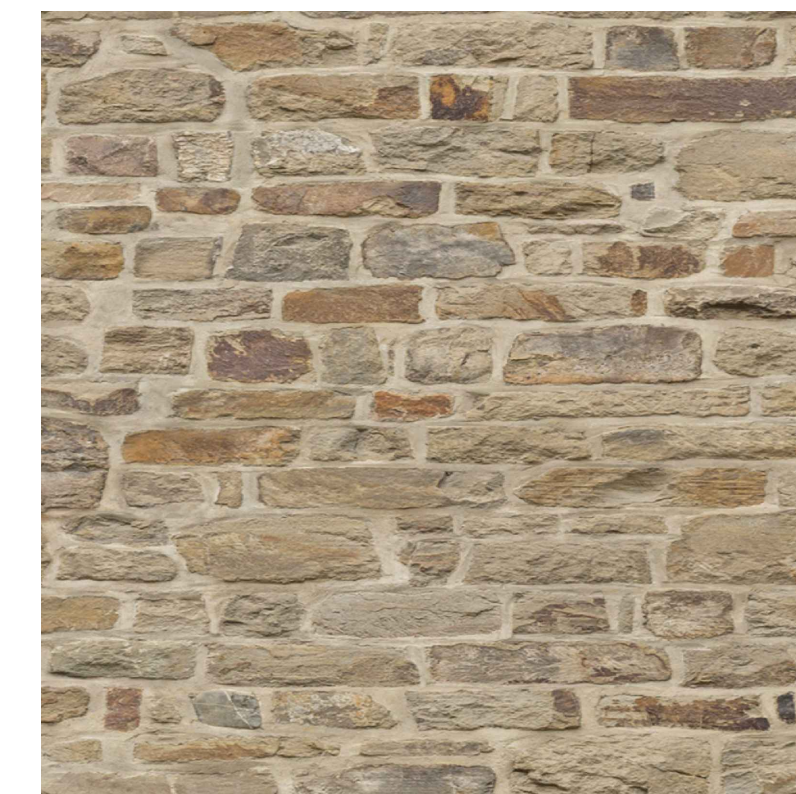


METAL: MATTE DARK BRONZE



WOOD SIDING COLUMNS, BEAMS AND TRIM

- STANDING SEAM METAL ROOFING
- METAL FASCIA
- FLASHINGS
- WINDOWS & DOORS



NATURAL STONE VENEER / BRICK COURSE LAYUP



WOOD SOFFITS

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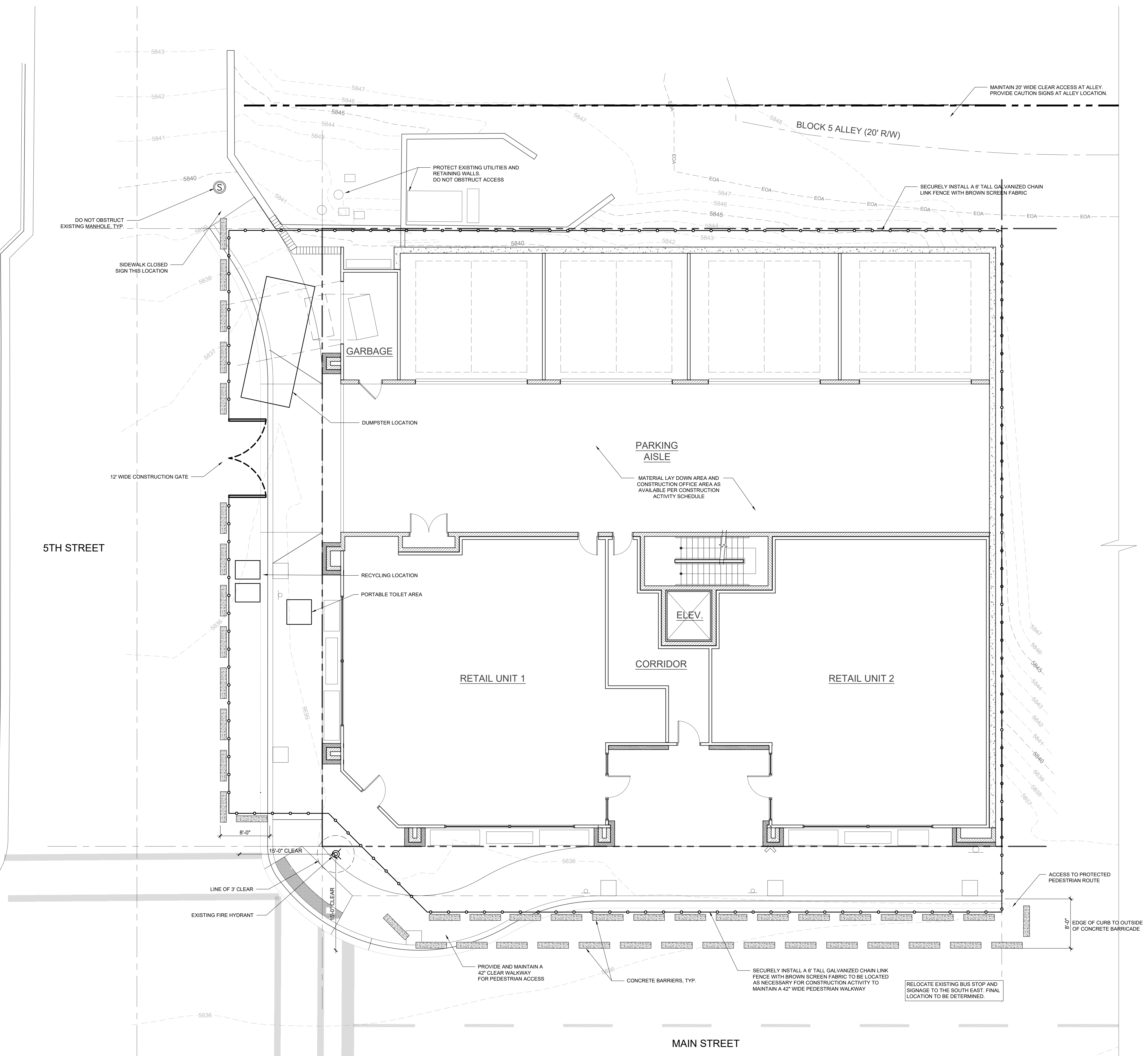
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EXTERIOR RENDERINGS & MATERIALS

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- CONSTRUCTION ACTIVITY NOTES**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUBCONTRACTORS AND ALL ASPECTS OF THE CONSTRUCTION ACTIVITY PERMIT.
 - GENERAL CONTRACTOR TO PROVIDE NOTICE OF PROJECT SCHEDULE INFO AND GENERAL CONTRACTOR'S CONTACT INFORMATION TO ALL NEIGHBORS PRIOR TO CONSTRUCTION.
 - GENERAL CONTRACTOR TO PROVIDE DUST, MUD, SAND, AND GRAVEL CONTROL AND PROVIDE CLEANING FOR VEHICLES, TIRES, AND AFFECTED STREETS (KMC 15.06.030.B.4)
 - CONTRACTOR SHALL SUBMIT A TEMPORARY USE OF RIGHT OF WAY PERMIT (TURP) FOR THE USE OF CITY RIGHT OF WAY FOR CONSTRUCTION INCLUDING THE CLOSURE OF ADJACENT STREETS OR SIDEWALKS FOR REVIEW AND APPROVAL BY THE STREETS DEPARTMENT.
 - EXISTING CONDITION OF RIGHT-OF-WAY SHALL BE DOCUMENTED WITH PHOTOGRAPHS AND A SITE VISIT WITH STREET DEPARTMENT PERSONNEL. REPAIR OF DAMAGE TO THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - MAINTAIN CLEAN SITE AND PERIMETER OUTSIDE OF CONSTRUCTION FENCE DAILY. TRASH TO BE REMOVED DAILY. MATERIALS TO BE STORED NEATLY.
 - FIRE EXTINGUISHERS SHALL BE INSTALLED PER 2018 IFC SECTION 906 DURING CONSTRUCTION.
 - CONSTRUCTION VEHICLES TO LIMIT SPEED TO 15 MPH ONE BLOCK FROM CONSTRUCTION SITE.
 - TRUCKING ROUTE: MAIN STREET TO 5TH STREET TO SITE.
 - THE CONTRACTOR WILL PROVIDE BUS TRANSPORT FOR CONSTRUCTION EMPLOYEES.
 - CONSTRUCTION MATERIALS WILL BE TIMED DELIVERIES WHEN NEEDED TO INSTALL ON SITE. TEMPORARY TRAFFIC CONTROL WILL BE USED AS NECESSARY FOR MATERIALS DELIVERY AND HAULING.

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12.09.2021 DESIGN REVIEW

LICENSED ARCHITECT
AR 984243
12/9/21
MICHELLE BLUES
STATE OF IDAHO

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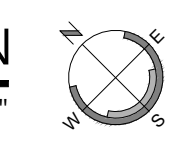
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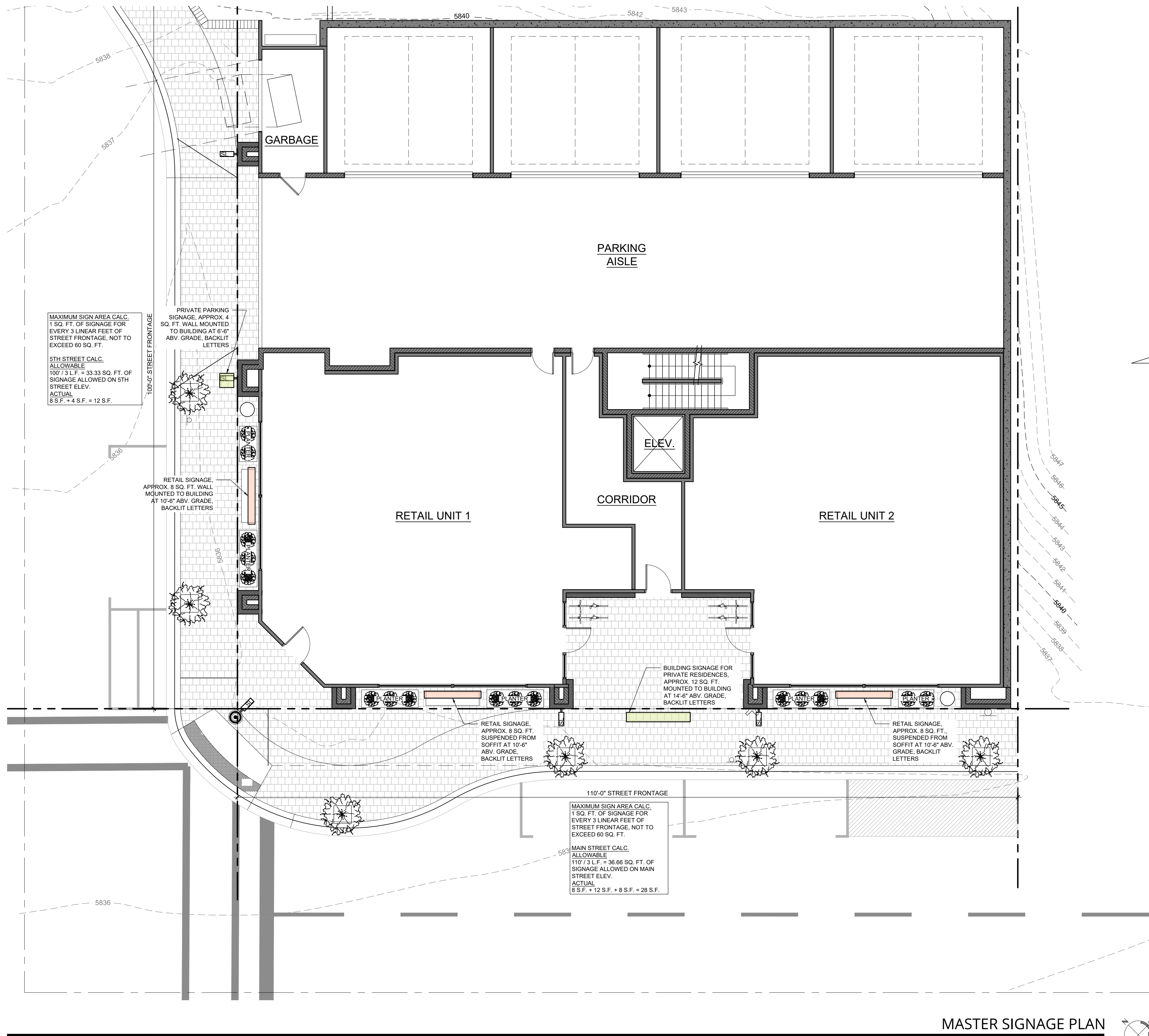
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CONSTRUCTION ACTIVITY PLAN
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A 6.0

CONSTRUCTION ACTIVITY PLAN

SCALE: 1/8" = 1'-0"





MASTER SIGNAGE PLAN
SCALE: 1/8" = 1'-0"

KETCHUM SIGN ORDINANCE

SECTION 17.127.040

A. SAFETY.
1. ALL SIGNS SHALL BE STRUCTURALLY SOUND AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE INTERNATIONAL BUILDING CODE EDITION CURRENTLY ADOPTED BY THE CITY.

B. COMPUTATIONS.
1. SIGN AREA. SIGN AREA SHALL BE MEASURED AS THE AREA CONTAINED WITHIN THE SMALLEST POLYGONAL SHAPE THAT WILL ENCLOSE BOTH THE COPY AND THE BACKGROUND. SIGN COPY MOUNTED AS INDIVIDUAL LETTERS OR GRAPHIC, WHERE A SIGN CONSISTS OF MORE THAN ONE FACE, SECTION OR MODULE, ALL AREA SHALL BE TOTALED.

D. SIGN LIGHTING REGULATIONS. THE FOLLOWING SHALL APPLY TO ALL SIGNS PROPOSED IN ALL ZONING DISTRICTS.
1. EXTERNAL ILLUMINATION OF SIGNS SHALL CONFORM TO CHAPTER 17.132, "DARK SKIES," OF THIS TITLE AND BE DESIGNED, LOCATED, SHIELDED AND DIRECTED IN SUCH A MANNER THAT THE LIGHT SOURCE IS FIXED AND IS NOT DIRECTLY VISIBLE FROM ANY ADJACENT PUBLIC RIGHT-OF-WAY, SURROUNDING PROPERTY, OR MOTORISTS VISION.
2. INTERNAL LIGHTING OR BACKLIGHTING SHALL CONFORM TO CHAPTER 17.132, "DARK SKIES," OF THIS TITLE.
3. GAS FILLED LIGHT TUBE (NEON OR FASIMILE) SIGNS WITH TUBES EXPOSED TO VIEW OF ANY SIZE MAY BE UTILIZED INSIDE THE PREMISES. ONE GAS FILLED LIGHT TUBE (NEON OR FASIMILE) PER BUSINESS, PROVIDED IT DOES NOT EXCEED FOUR SQUARE FEET AND IS DISPLAYED FROM THE INSIDE OF THE BUILDING.
4. LED LIGHTING MAY BE UTILIZED PROVIDED THE LIGHT SOURCE IS RECESSED AND NOT DIRECTLY VISIBLE FROM ANY ADJACENT PUBLIC RIGHT-OF-WAY, SURROUNDING PROPERTY, OR MOTORISTS VISION.
5. SIGNS OVERHANGING PUBLIC RIGHTS-OF-WAY. ALL SIGNS, AWNINGS, AND MARQUEES ALLOWED TO OVERHANG A PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO BUILDING CODE COMPLIANCE, RELEASE OF CITY LIABILITY, MAINTENANCE, SAFETY, REMOVAL UPON DEMAND OF THE CITY, AND OTHER CONDITIONS AT THE TIME OF PERMIT ISSUANCE AND PRIOR INSTALLATION. THE SIGN SHALL CONSTITUTE AN AGREEMENT BETWEEN THE APPLICANT AND THE CITY CONCERNING THE PUBLIC RIGHT-OF-WAY.

SIGN SPECIFICATIONS MATRIX (SECTION 17.127.050)					
CC, T, T-3000, T-4000, LK-1, LK-2, AND LK-3 DISTRICTS					
SIGN TYPES	MAXIMUM AREA / SIZE	MAXIMUM HEIGHT	SETBACK / LOCATION	MAXIMUM NUMBER	SPECIAL PROVISIONS
PROJECTING	DETERMINED BY HEIGHT, CLEARANCE AND PROJECTION PARAMETERS	A MINIMUM OF 8' OF CLEARANCE TO GRADE REQUIRED FOR THE LOWEST PORTION OF THE PROJECTING SIGN. THE TOP OF SIGN SHALL BE LOCATED BELOW THE WINDOWS ON THE SECOND FLOOR OF THE BUILDING.	N/A	1 PER STOREFRONT ENTRANCE	SHALL NOT EXTEND MORE THAN 8' FROM THE BUILDING. THE MAXIMUM PROFILE OR THICKNESS SHALL NOT EXCEED 6"
WALL	1 SQ. FT. OF SIGNAGE FOR EVERY 3 LINEAR FEET OF STREET FRONTAGE, NOT TO EXCEED 60 SQ. FT. EACH STREET FRONTAGE WITH DIRECT CUSTOMER ACCESS IS CONSIDERED SEPARATELY.	SHALL NOT BE ABOVE THE LOWEST PORTION OF A PARAPET WALL, OR ABOVE THE RAISED LINE/FASCIA OF ANY ROOF TYPE	N/A	EACH INDIVIDUAL PERMITTED COMMERCIAL SIGN IS LIMITED TO 2 SIGNS THAT ARE PARALLEL TO THE STREET FRONTAGE WITH DIRECT CUSTOMER ACCESS	ANY BUILDING FACADE SHALL NOT HAVE A WALL SIGN MORE THAN 60% OF THE UNBROKEN FACADE AREA
WINDOW	SHALL NOT OCCUPY MORE THAN 20% OF THE TOTAL AREA OF A SINGLE WINDOW SURFACE	N/A	N/A	N/A	ANY SIGN LOCATED INSIDE OF A BUILDING WITHIN 3' OF AN EXTERIOR WINDOW SHALL BE COUNTED AS A WINDOW SIGN. ALL VIDEO DISPLAYS VISIBLE FROM AN EXTERIOR WINDOW ARE PROHIBITED. WINDOW SIGNS ARE NOT INCLUDED IN THE TOTAL ALLOWED SIGNAGE.



INSPIRATION IMAGES

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12.09.2021 DESIGN REVIEW

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AR 984243
12/9/21
MICHELA BLUES
STATE OF IDAHO

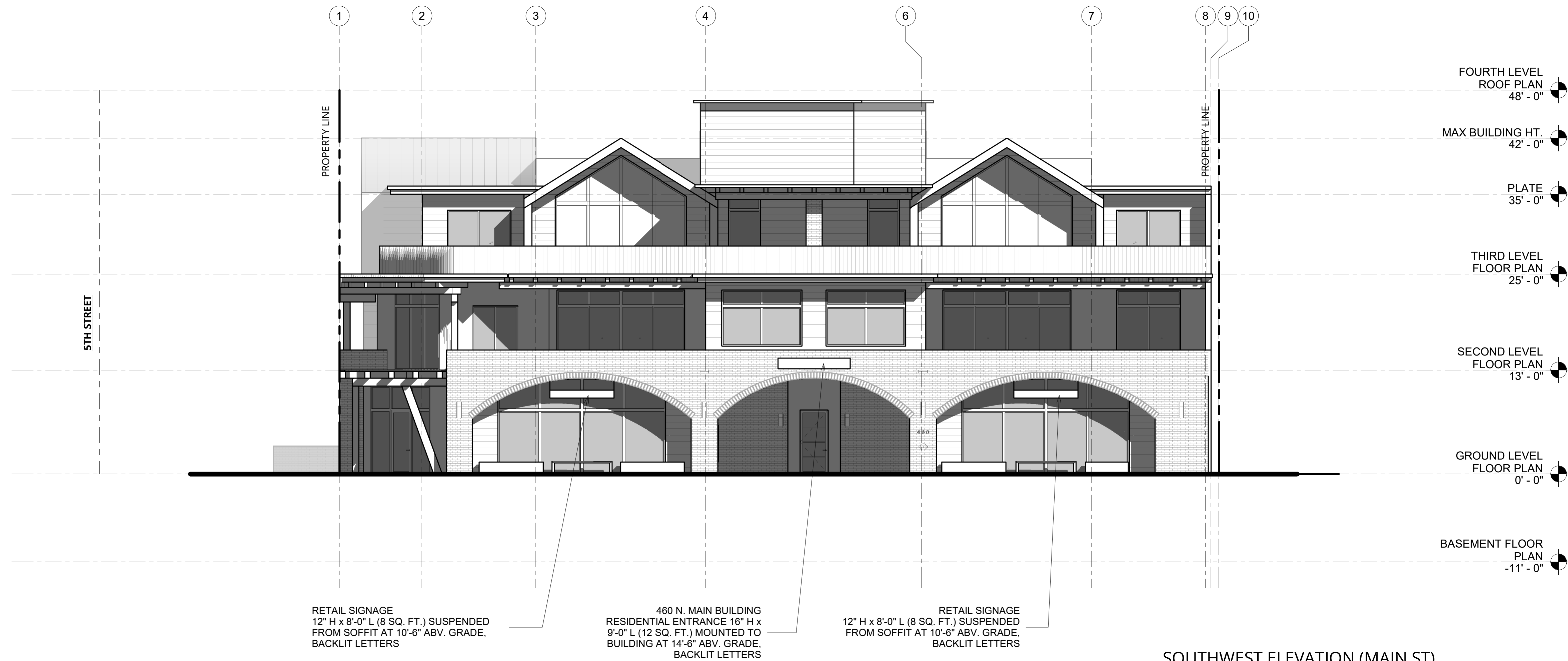
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MASTER SIGNAGE PLAN
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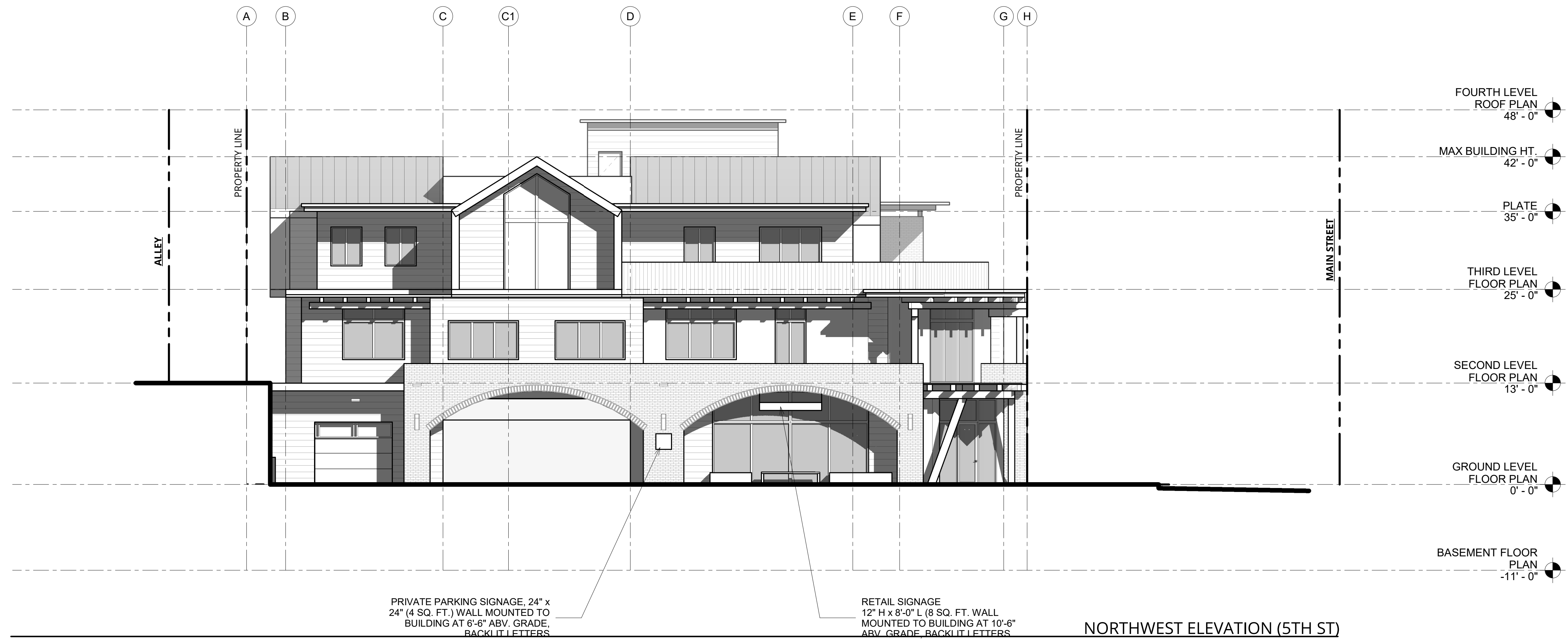
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SOUTHWEST ELEVATION (MAIN ST)

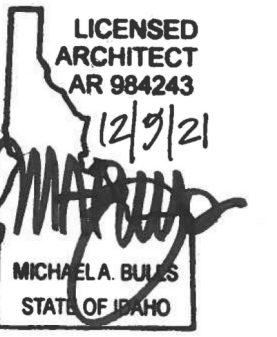
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION (5TH ST)

SCALE: 1/8" = 1'-0"

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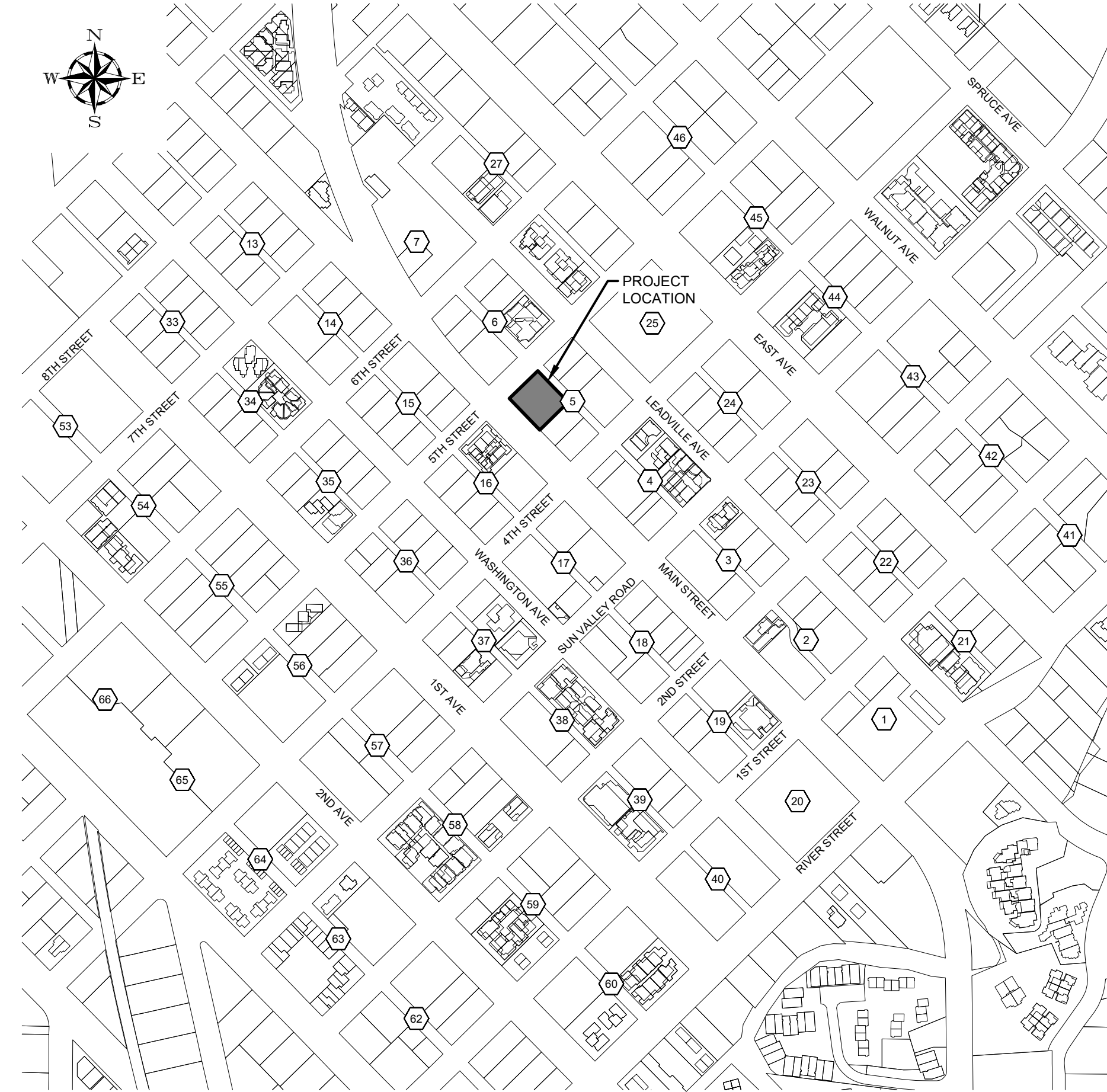
460 N. MAIN STREET

KETCHUM, IDAHO

DECEMBER 2021

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY BENCHMARK ASSOCIATES, P.A., 11/6/2019. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C0.2	EXISTING SITE CONDITIONS
C1.0	SITE GEOMETRY
C2.0	SITE GRADING AND DRAINAGE
C2.1	DETAIL SHEET
C2.2	DETAIL SHEET
C2.3	DETAIL SHEET

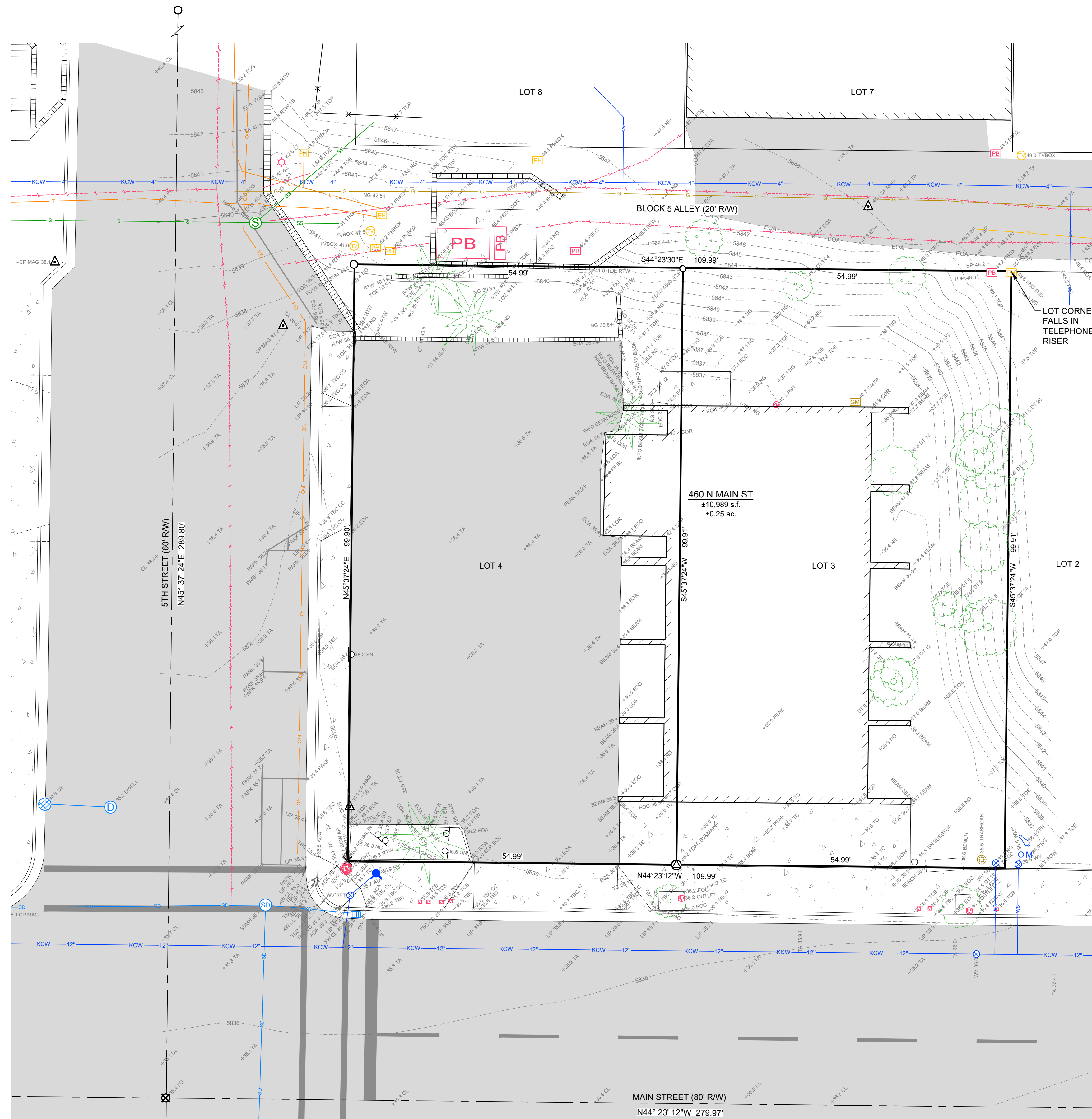


DESIGNED BY _____
 CT
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

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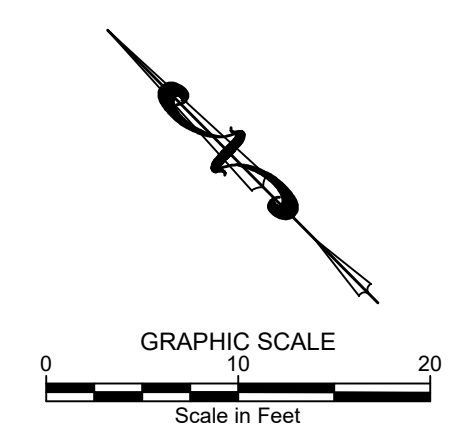


LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- FD = Found Monument Well
- FDAC = Found Aluminum Cap
- FD5/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- FDNAIL = Nail
- CP = Survey Control Point
- 5' Contour Interval
- 1' Contour Interval
- Curb & Gutter
- FNC = Fence Line
- Building
- Asphalt
- Concrete Sidewalk
- RTW = Retaining Wall
- CT = Conifer Tree
- DT = Deciduous Tree
- SGN = Sign
- Road Paint
- FOB = Fiber Optic Line
- GM = Gas Main
- GMTR = Gas Meter
- TVB = Cable TV Buried
- TVBOX = Cable TV Riser
- PHB = Buried Telephone Line
- PHBOX = Telephone Riser
- BP, PB = Buried Power Line
- Light
- PBOX = Power Box
- PMTR = Power Meter
- OUTLET = Power Outlet
- Traffic Signal Post
- TCB = Traffic Control Box
- Sewer Main
- SS = Sewer Service
- SMH = Sewer Manhole
- Storm Drain
- CB = Catch Basin
- DWELL = Dry Well
- SDMH = Storm Drain Manhole
- Ketchum City Water Line (12")
- Ketchum City Water Line (4")
- WS = Water Service
- WMT = Water Meter
- FH = Fire Hydrant
- FFH = Frost Free Hydrant
- WV = Water Valve
- Trash Can
- BOW = Back of Walk
- CC = Curb Cut
- CL = Centerline
- COR = Corner
- EOA = Edge of Asphalt
- EOC = Edge of Concrete
- FF = Finished Floor
- GB = Grade Break
- IC = Illegible Cap
- LIP = Lip of Gutter
- NC = No Cap
- NG = Natural Ground
- TA = Top of Asphalt
- TBC = Top Back of Curb
- TOE = Toe of Slope
- TOP = Top of Slope

NOTES

1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (05/05/2021).
2. Boundary information is based on Found Monumentation. Please refer to the Official Map of the Village of Ketchum, Instr# 302967, and a Record of Survey for Ketchum Block 5, Lots 3 & 4, Instr# 642700, records of Blaine County, Idaho. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
3. Underground utility locations are based on above ground appearances / utilities visible at the time of the survey and City Maps. Utilities should be located prior to any excavation.
4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
5. Benchmark is top of Aluminum Cap at the common property corner of Lots 3 & 4 along Main Street, elevation = 5836.23. Point elevations shown are truncated (i.e. 36.2 is 5836.2). Vertical Datum is NAVD 1988.



**460 N MAIN ST
EXISTING SITE CONDITIONS**

LOCATED WITHIN SECTION 15, T.2 N., R. 18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR DAVE WILSON

PROJECT INFORMATION
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DESIGNED BY	
DRAWN BY	
SMF	
CHECKED BY	

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE:	DATE:	BY:	REVISIONS

C0.2

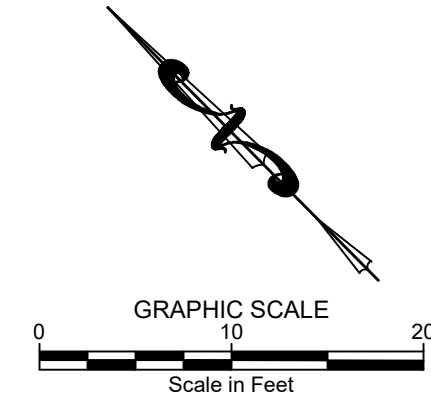
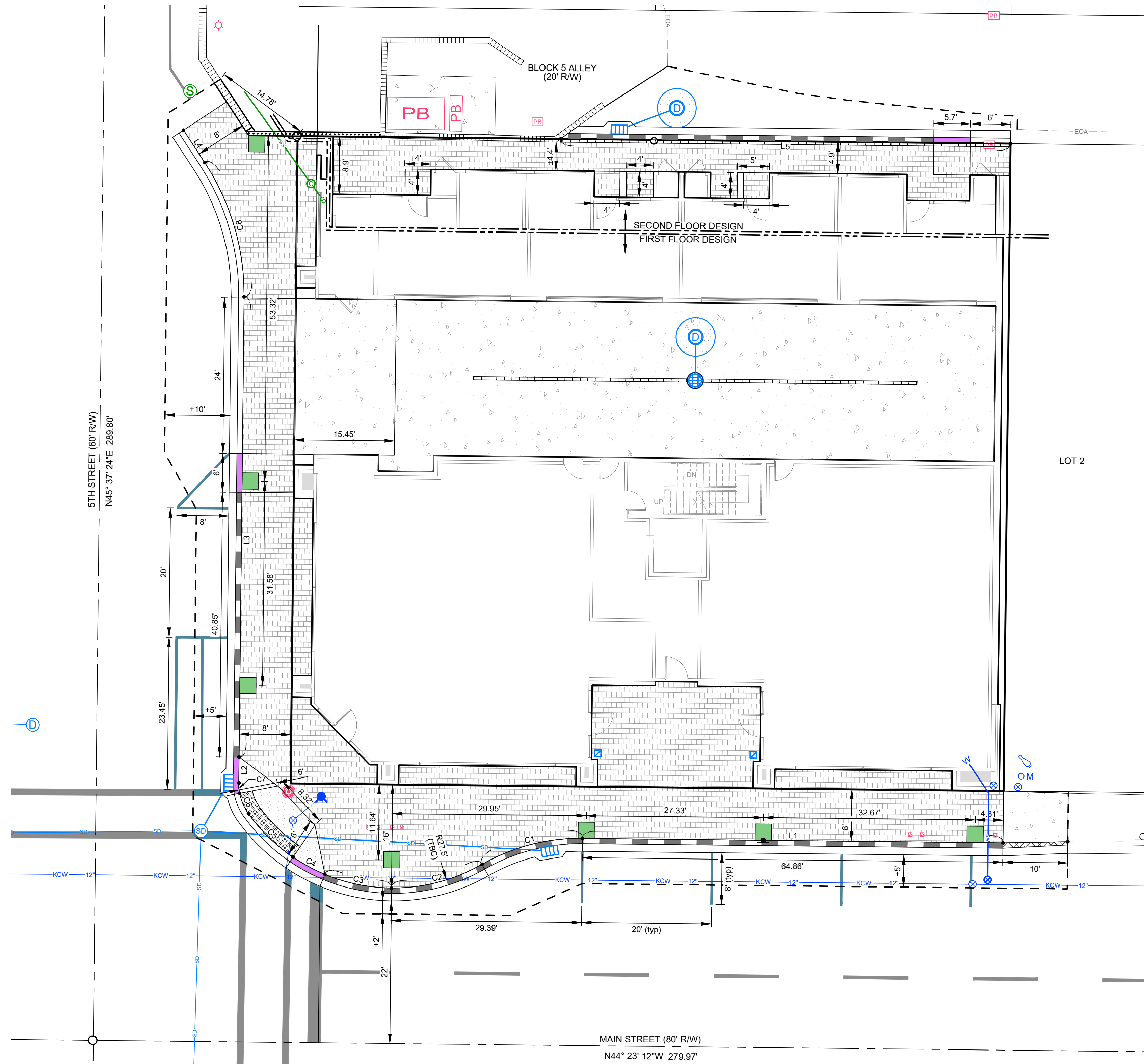
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.

Top Back of Curb Line Table

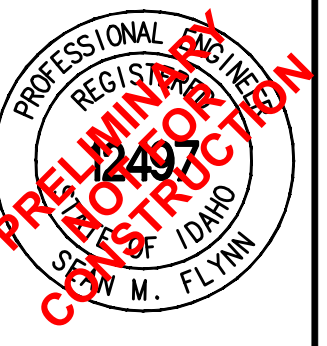
Line	Direction	Length	Start Northing	Start Easting
L1	N44° 23' 12"W	64.86'	734716.935	1544248.532
L2	N45° 37' 24"E	4.00'	734806.831	1544171.702
L3	N45° 37' 24"E	71.05'	734809.632	1544174.564
L4	N11° 44' 14"E	5.99'	734878.239	1544235.695
L5	N44° 23' 30"W	69.41'	734792.408	1544325.663

Top Back of Curb Curve Table

Curve	Radius	Length	Delta	Chord Direction	Chord Length	Start Northing	Start Easting
C1	30.50'	16.21'	30° 27' 01"	N59° 36' 42"W	16.02'	734763.287	1544203.161
C2	27.50'	14.62'	30° 27' 01"	N59° 36' 42"W	14.44'	734771.391	1544189.343
C3	27.50'	10.54'	21° 57' 05"	N33° 24' 39"W	10.47'	734778.697	1544176.883
C4	27.50'	5.60'	11° 40' 25"	N16° 35' 54"W	5.59'	734787.439	1544171.117
C5	27.50'	9.67'	20° 08' 45"	N00° 41' 19"W	9.62'	734792.799	1544169.520
C6	8.00'	3.46'	24° 44' 48"	N21° 45' 27"E	3.43'	734802.418	1544169.404
C7	8.00'	1.60'	11° 29' 33"	N39° 52' 38"E	1.60'	734805.602	1544170.675
C8	37.00'	21.88'	33° 53' 11"	N28° 40' 49"E	21.57'	734859.319	1544225.345



460 N. MAIN STREET
SITE GEOMETRY PLAN
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR DAVE WILSON
PROJECT INFORMATION
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SMF
CHECKED BY

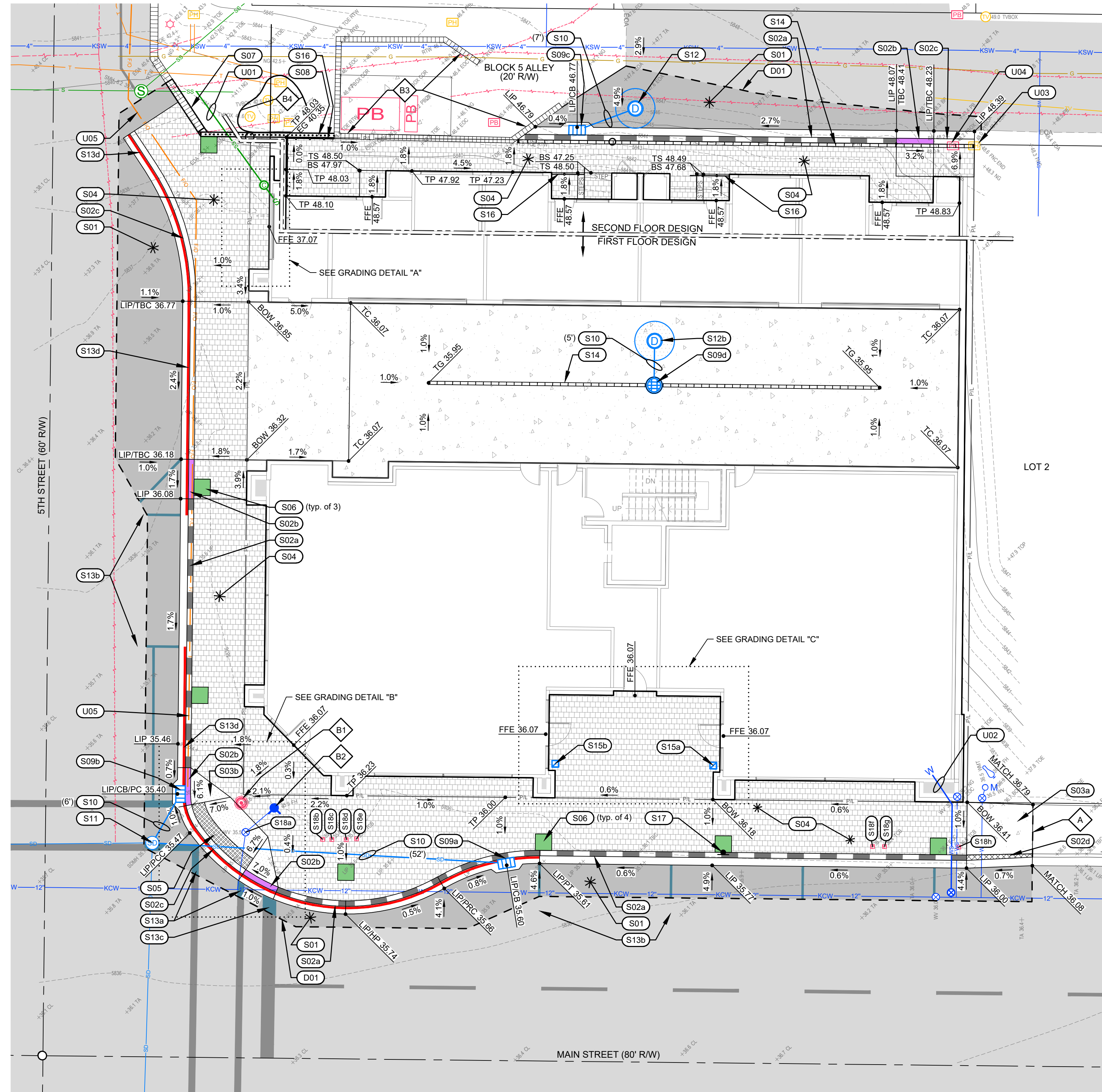
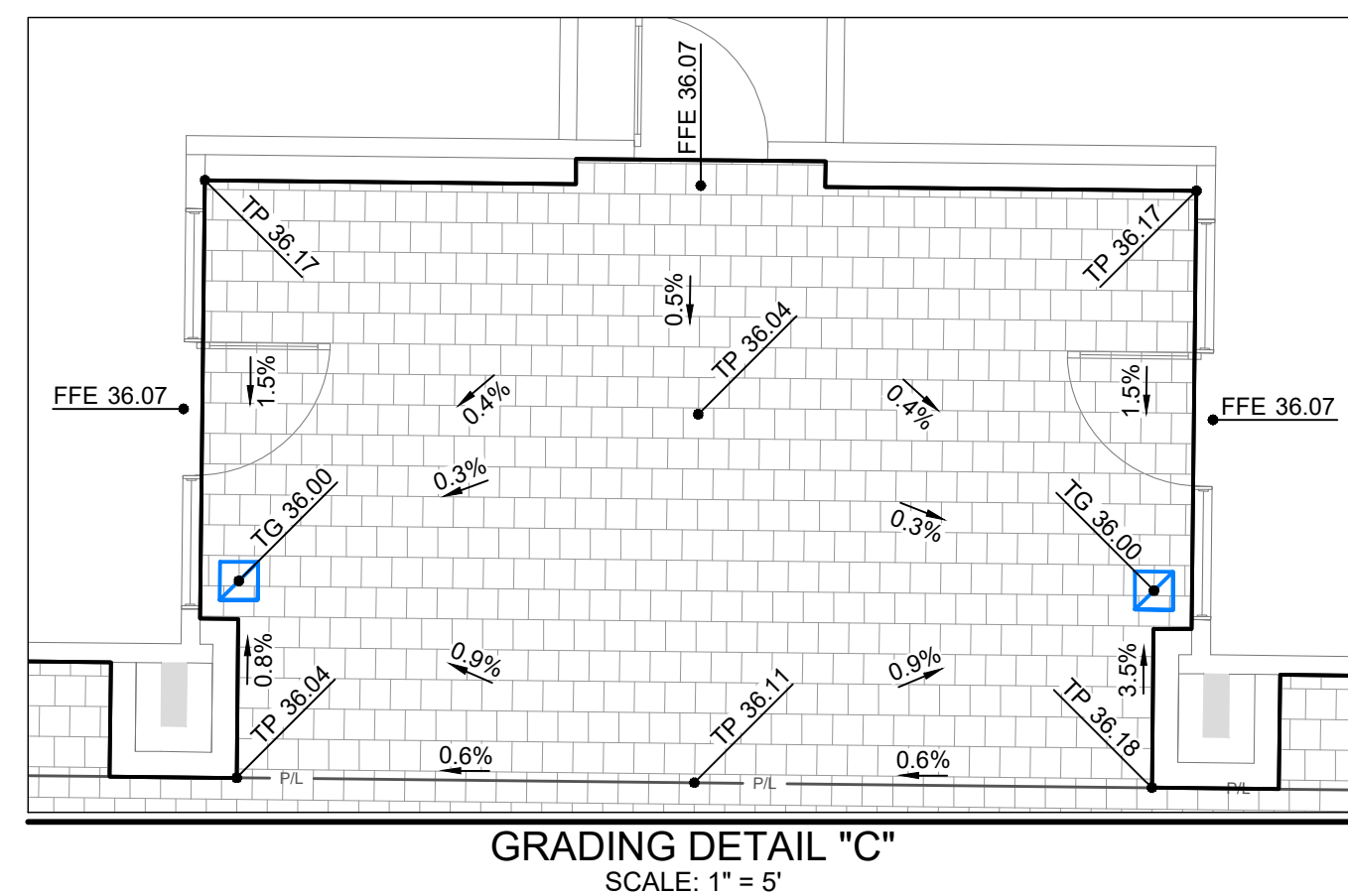
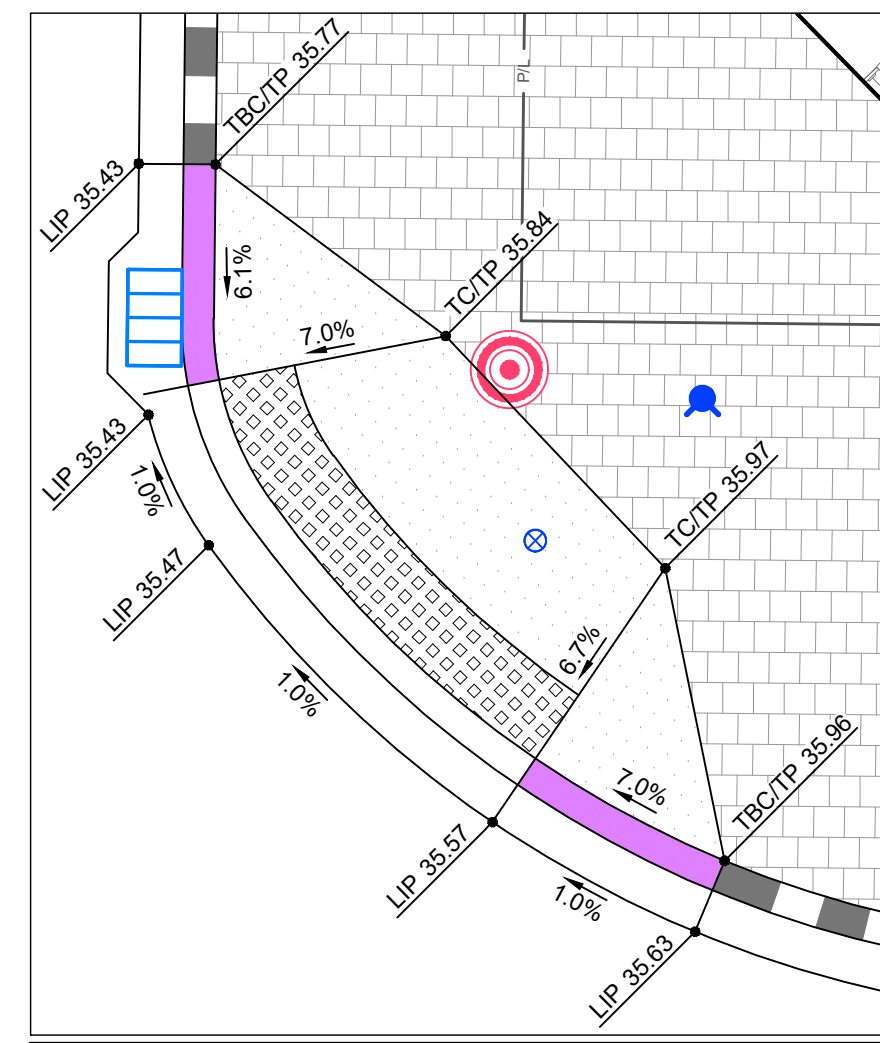
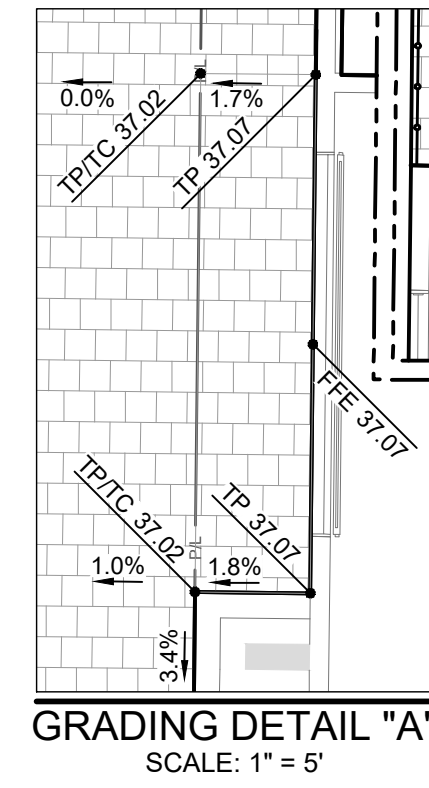
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email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

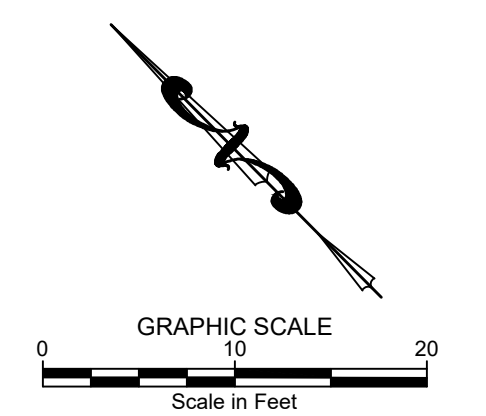
C1.0

UTILITY IMPROVEMENT KEY NOTES

- U01 INSTALL 4" PVC SEWER SERVICE WITH CLEANOUT. CONNECT TO 8" CONCRETE SEWER MAIN. SEE DETAIL 1 / C2.3 FOR TRENCHING.
- U02 REMOVE AND DISPOSE OF EXISTING WATER SERVICE. INSTALL 6" PVC WATER SERVICE. SEE DETAIL 1 / C2.3 FOR TRENCHING.
- U03 MOVE TELEPHONE RISER. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISE.
- U04 MOVE POWER BOX. CONTRACTOR TO COORDINATE ACTIVITY WITH IDAHO POWER.
- U05 EXISTING FIBER OPTIC LINE (F/O) EXISTS IN THIS AREA. CONTRACTOR SHALL EXPOSE LINE TO CONFIRM LOCATION AND DEPTH. F/O LINE MAY NEED TO BE LOWERED OR MOVED.



- ABBREVIATIONS**
- BOW = BACK OF WALK
 - BS = BOTTOM OF STEP
 - EG = EXISTING GRADE
 - FFE = FINISHED FLOOR AT ENTRY
 - LF = LINEAL FEET
 - LIP = LIP OF GUTTER
 - HP = HIGH POINT
 - PC = POINT OF CURVATURE
 - PCC = POINT OF COMPOUND CURVE
 - PT = POINT OF TANGENCY
 - TC = TOP OF CONCRETE
 - TP = TOP OF PAVERS
 - TG = TOP OF GRATE



SITE IMPROVEMENT KEY NOTES

- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C2.1.
- S02 CONSTRUCT CONCRETE CURB AND GUTTER.
 - a. 6" ROLLED C&G PER DETAIL 3 / C2.1.
 - b. CURB TRANSITION PER DETAIL 4 / C2.1.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C2.1.
 - d. ±10' OF CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
- S03 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C2.1.
 - a. FLAT WORK.
 - b. ADA COMPLIANT RAMPS / LANDING.
- S04 CONSTRUCT HEATED PAVER SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C2.1.
- S05 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 7 / C2.1.
- S06 INSTALL TREE AND TREE WELL AS SHOWN HEREON. SEE DETAIL 4 / C2.2.
- S07 REMOVE AND RE-CONSTRUCT DRYSTACK / KEYSTONE BLOCK RETAINING WALL.
- S08 CONSTRUCT CONCRETE RETAINING WALL. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILS.
- S09 INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12".
- ITD STANDARD CATCH BASIN. SEE DETAIL 1 / C2.2.
 - a. RIM = 5835.40
INV. OUT = 5832.70
 - b. RIM = 5835.20
INV. OUT = 5832.20
- 30" DIAMETER CATCH BASIN. SEE DETAIL 2 / C2.2.
 - c. RIM = 5846.58
INV. OUT = 5843.58
 - d. RIM = 5835.95
INV. OUT = 5832.95
- S10 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C2.3 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C2.3 FOR TRENCHING.
- S11 CONNECT TO EXISTING STORM DRAIN MANHOLE.
 - a. I.E. (N - S11a) = 5831.66
 - b. I.E. (N - S11b) = 5832.08
- D12 INSTALL DRYWELL. SEE DETAIL 3 / C2.2.
 - a. RIM = 5847.04
I.E. (N) = 5843.62
 - b. RIM = 5836.02
I.E. (N) = 5832.85
- S13 INSTALL ROAD STRIPING / PAINT.
 - a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE) MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- S14 INSTALL TRENCH DRAIN. SEE DETAIL 8 / C2.1. CONNECT TO BUILDING STORM DRAIN SYSTEM IN PARKING GARAGE AREA.
- S15 INSTALL LANDSCAPE CATCH BASIN. SEE DETAIL 3 / C2.3. CONNECT TO BUILDING STORM DRAIN SYSTEM IN GROUND LEVEL.
 - a. RIM = 5836.00
 - b. RIM = 5836.00
- S16 INSTALL ADA COMPLIANT HAND RAIL PAINTED PER ARCHITECTURAL SPECIFICATIONS. SEE DETAIL 5 / C2.2.
- S17 INSTALL PARKING REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C2.1 FOR SIGN BASE DETAIL.
- S18 RESET UTILITY BOX LID ELEVATION.
 - a. WATER VALVE BOX
ORIGINAL RIM = 5835.46
NEW RIM = 5835.80
 - b. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5835.87
NEW RIM = 5836.10
 - c. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5835.84
NEW RIM = 5836.13
 - d. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5835.75
NEW RIM = 5836.16
 - e. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5835.78
NEW RIM = 5836.15
 - f. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5836.32
NEW RIM = 5836.26
 - g. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5836.36
NEW RIM = 5836.27
 - h. POWER HANDHOLE / TRAFFIC CONTROL BOX
ORIGINAL RIM = 5836.48
NEW RIM = 5836.34

- A MATCH EXISTING LINES AND GRADES
- B RETAIN AND PROTECT
 - 1. SIGNAL POLE
 - 2. FIRE HYDRANT
 - 3. UTILITY STRUCTURE AND RISERS
 - 4. UTILITY RISERS

460 N. MAIN STREET
SITE GRADING AND DRAINAGE
 LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR DAVE WILSON
 PROJECT INFORMATION
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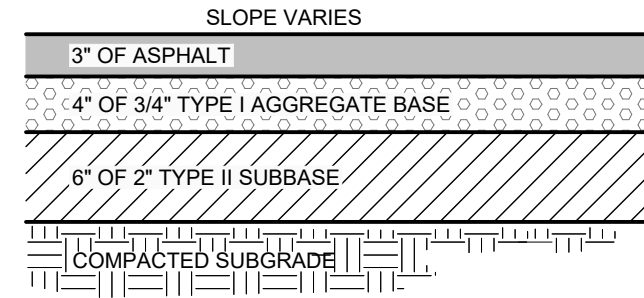
DESIGNED BY _____
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NO.	DATE	BY	REVISIONS

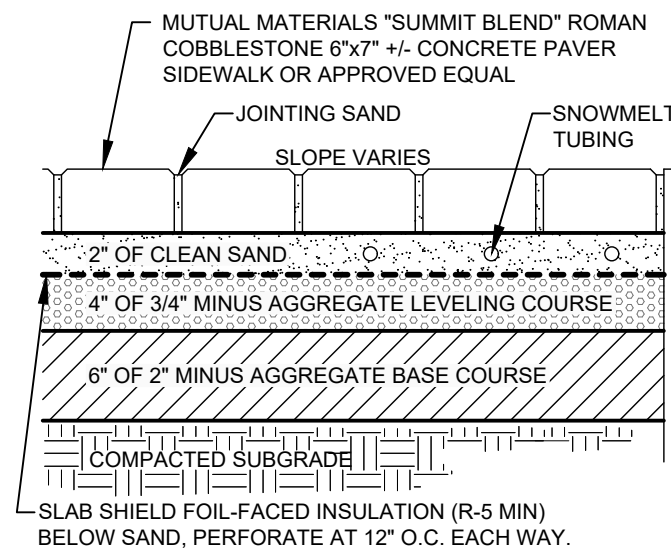
PURPOSE: **C2.0**

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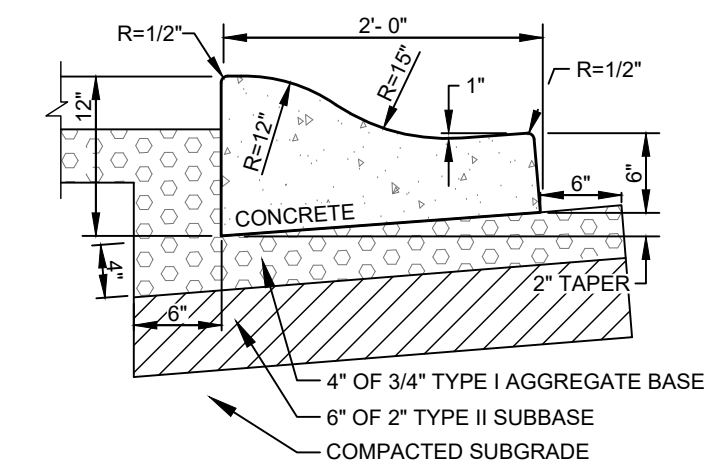


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C2.1 **TYPICAL ASPHALT SECTION**
N.T.S.

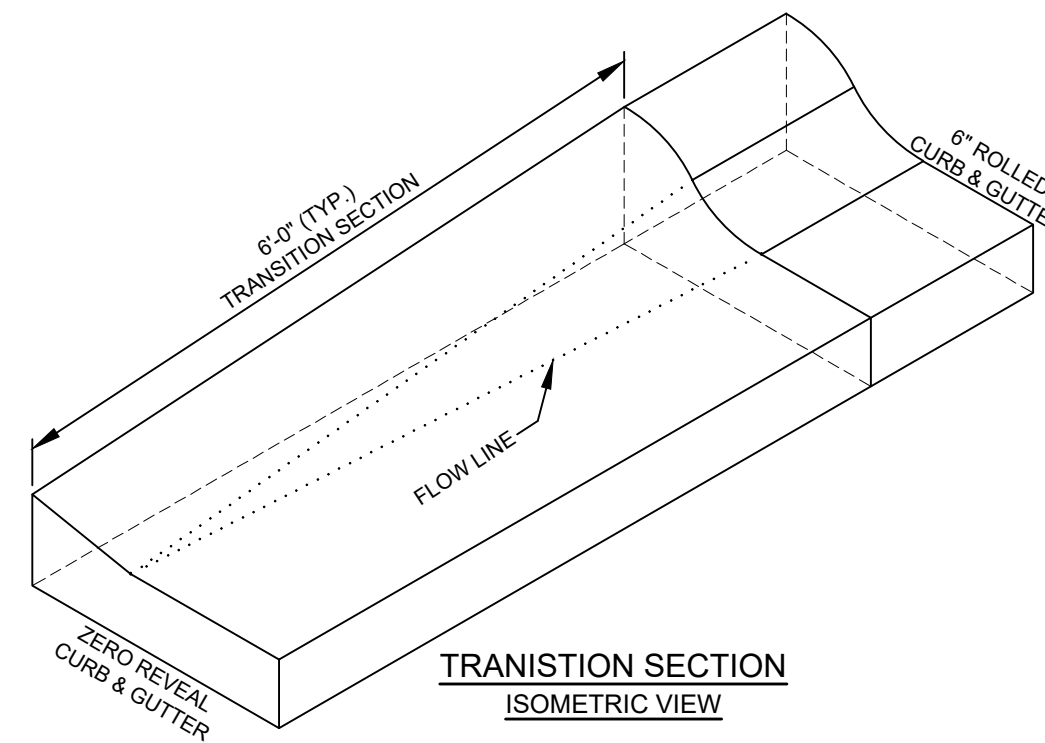


2
C2.1 **PAVER DETAIL**
N.T.S.

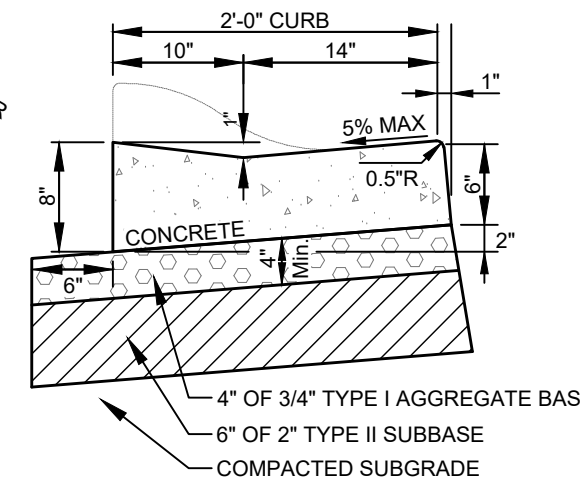


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT W/SIDEWALK).

3
C2.1 **6\"/>**



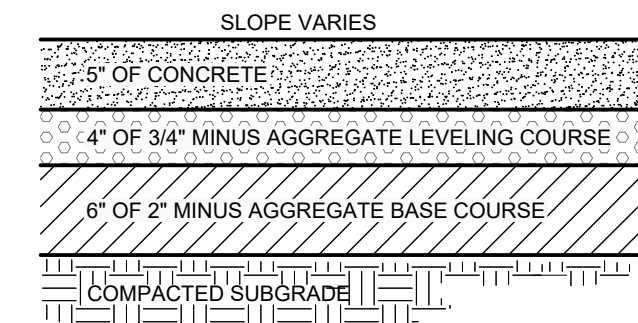
TRANSITION SECTION
ISOMETRIC VIEW



ZERO REVEAL CURB & GUTTER

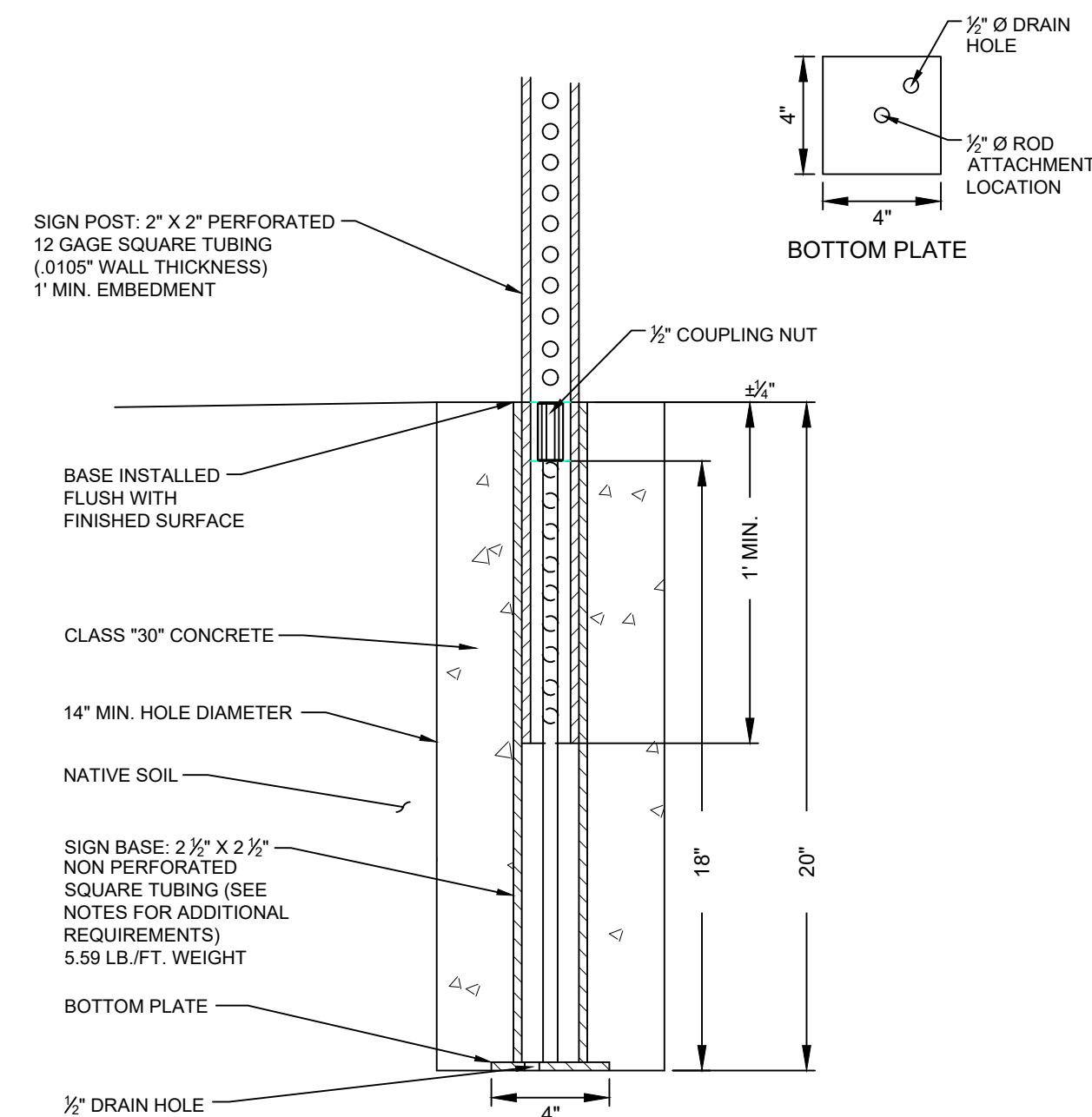
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT W/SIDEWALK).

4
C2.1 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 3/8" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 3/8" WIDE, 2" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

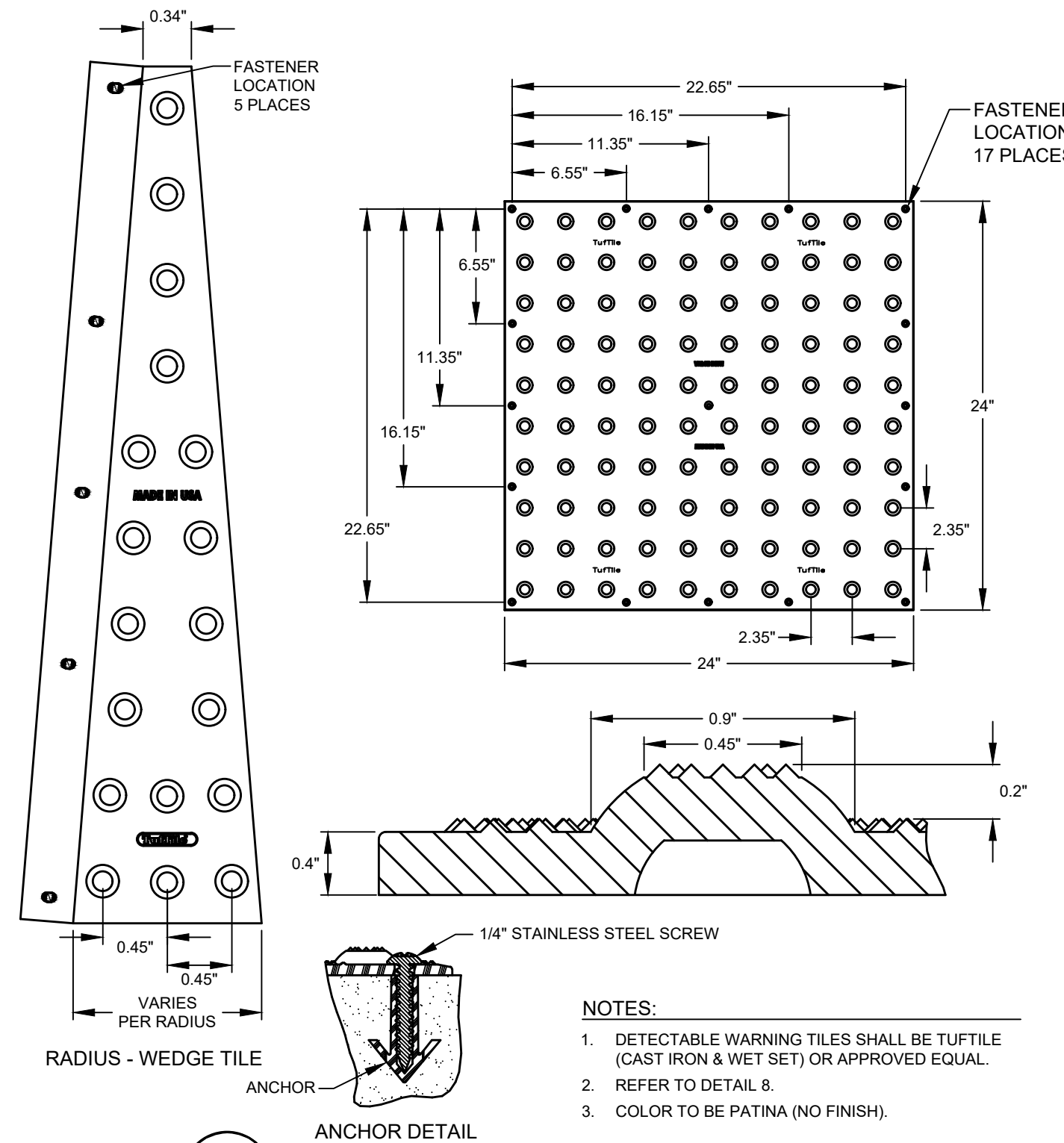
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C2.1 **TYPICAL CONCRETE SECTION**
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

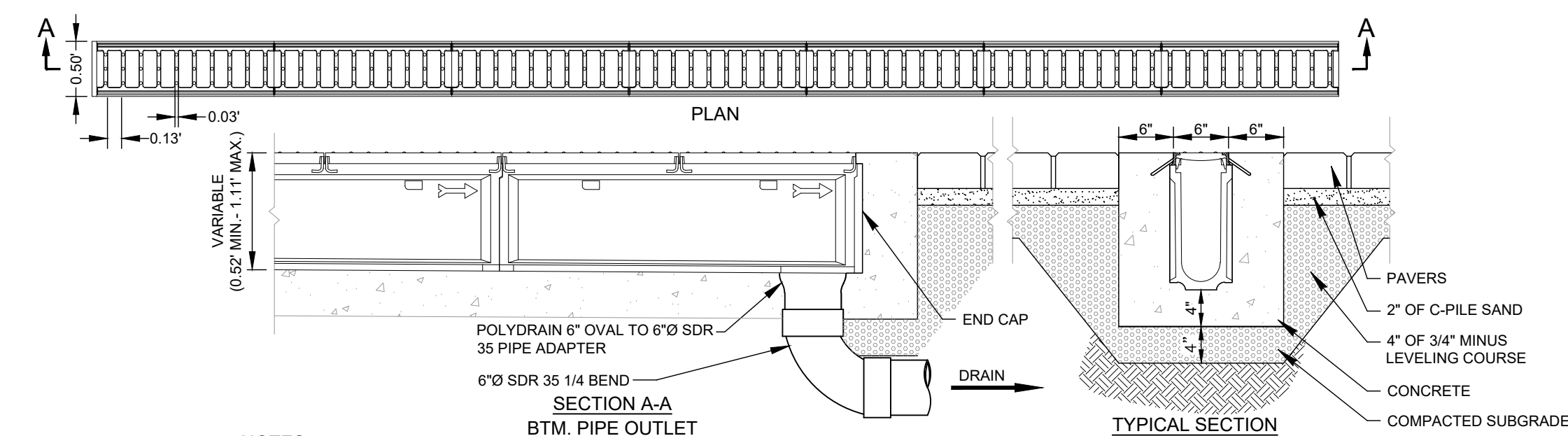
SIGN BASE MATERIAL & DIMENSION REQUIREMENTS
 2 1/2" OUTSIDE TUBE STEEL (20' LENGTH)
 2 1/2" INSIDE TUBE STEEL
 3/8" THICK
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
 1/2" COLD ROLLED ROD (18' LENGTH)
 1/2" COUPLING NUTS
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
 4" X 4" X 1/2" STEEL STRAP

6
C2.1 **TYPICAL SIGN BASE**
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

7
C2.1 **DETECTABLE WARNING PLATE**
N.T.S.



- NOTES:**
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8" BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

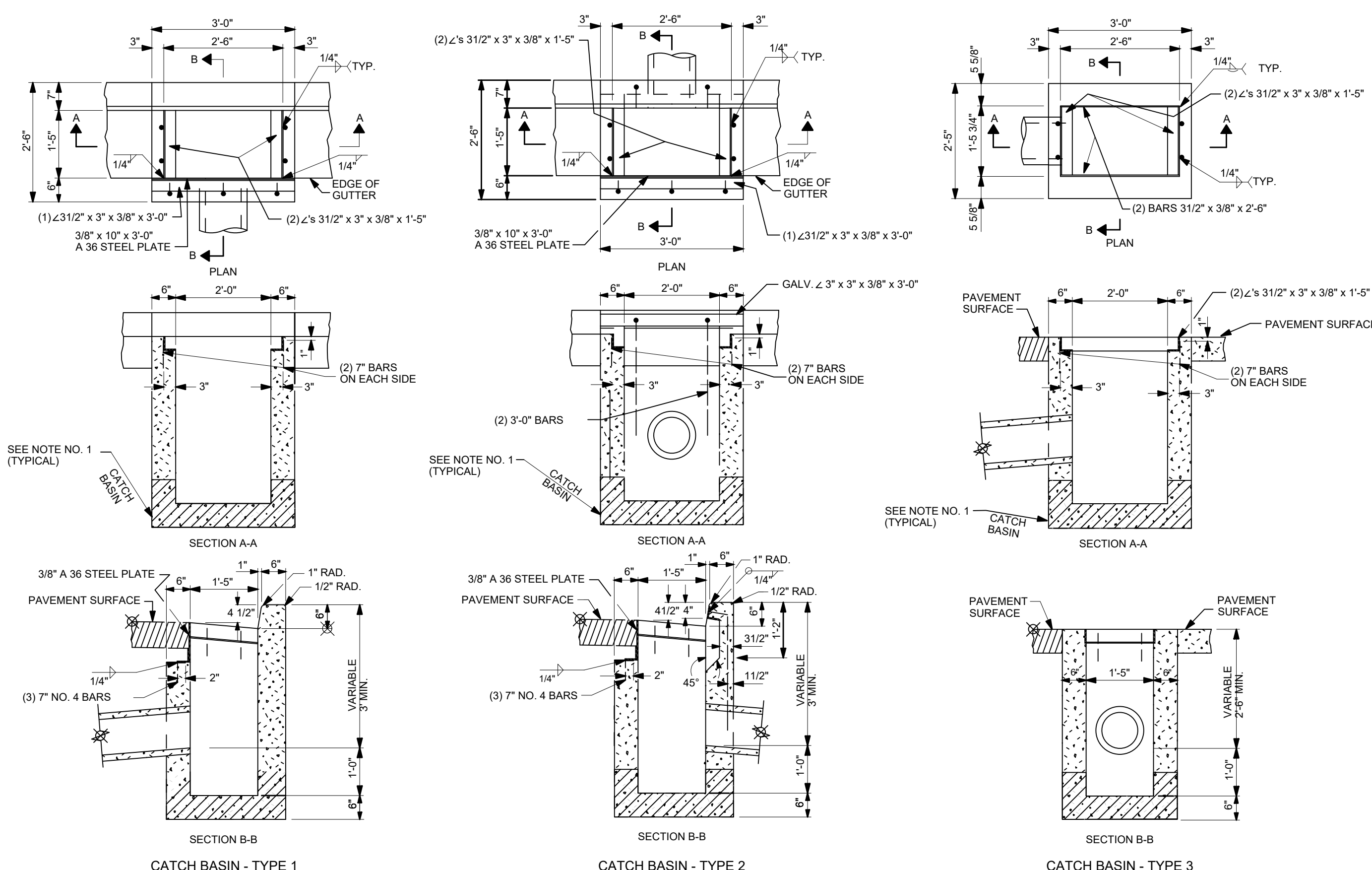
8
C2.1 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



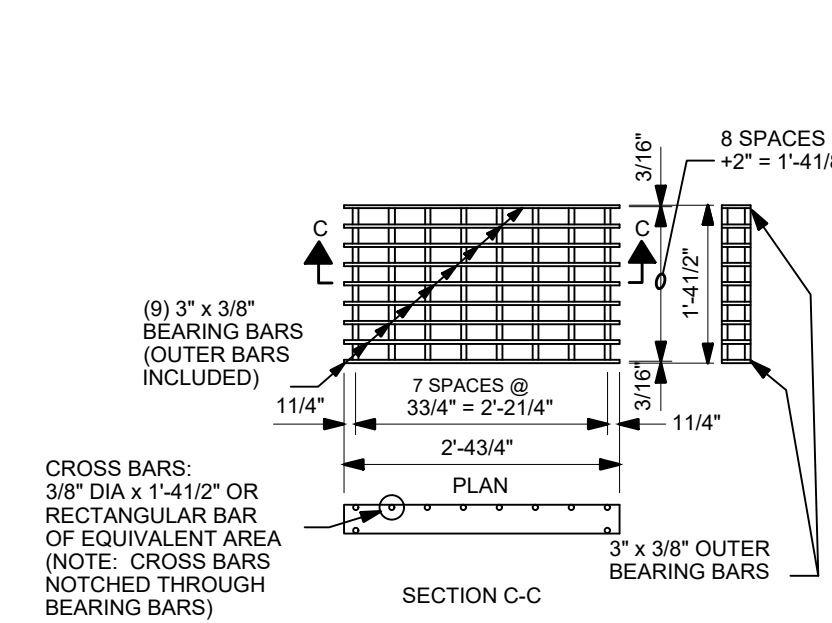
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NO.	DATE	BY	REVISIONS

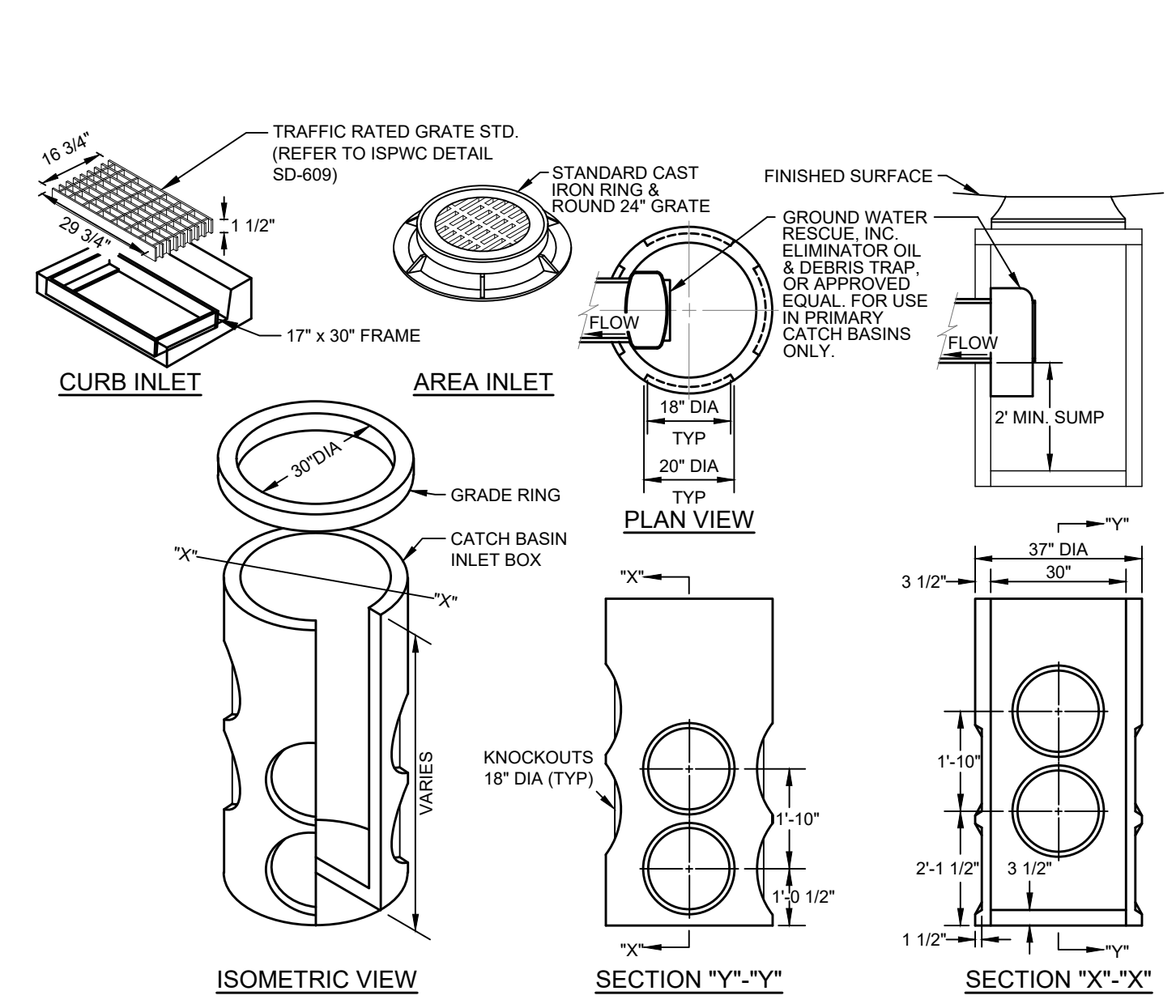


**IDAHO DEPARTMENT OF TRANSPORTATION
CATCH BASINS TYPES 1, 2, & 3
STANDARD DRAWING NO. 605-20
N.T.S.**



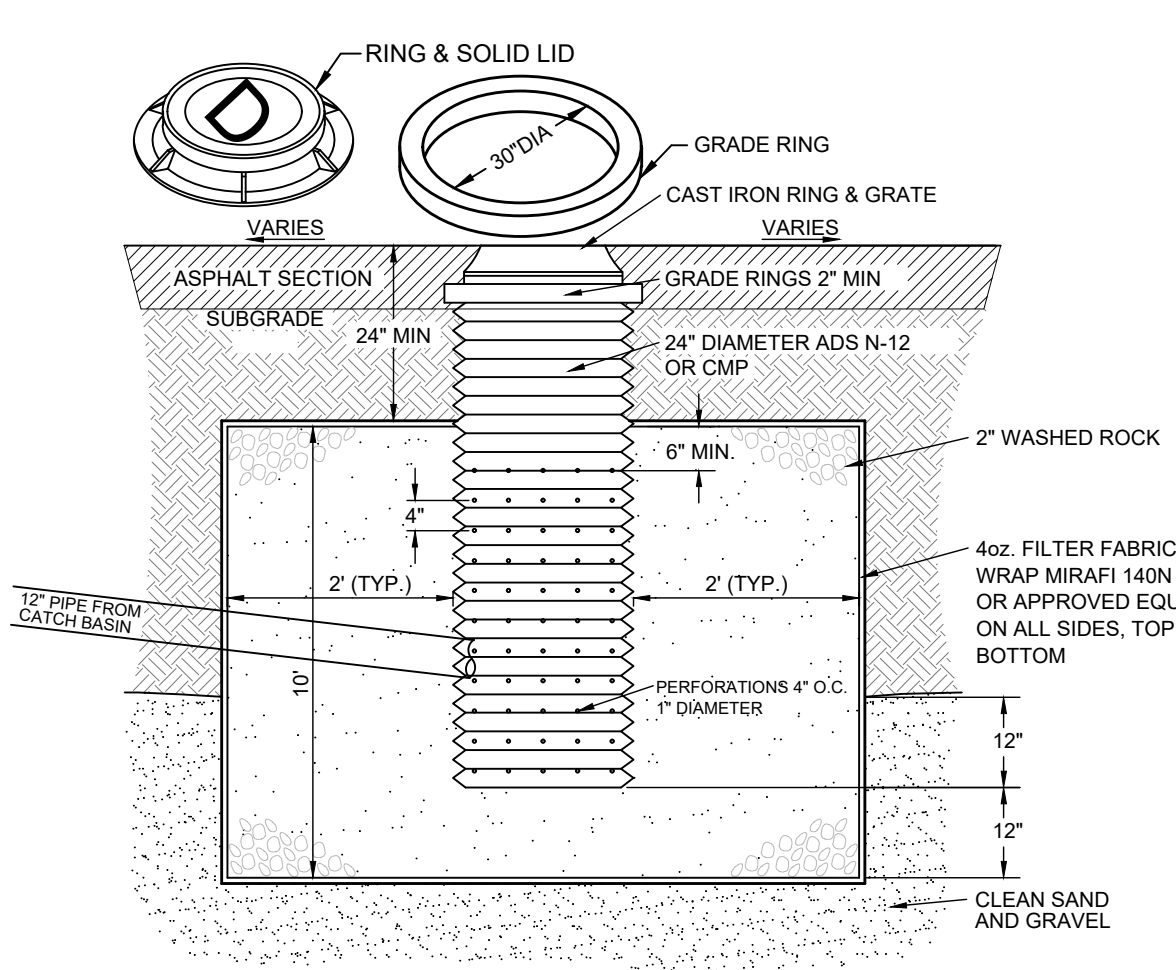
**SECTION C-C
GRATE A (STEEL)
(WEIGHT: APPROXIMATELY 88 LBS. SEE NOTE 9 & 10)**

- NOTES**
- PATTERNS USED IN DRAWING:
INLET SECTIONS: [Symbol]
CATCH BASIN BOTTOMS: [Symbol]
PAVEMENT: [Symbol]
 - INLETS AND CATCH BASINS MAY BE EITHER PRECAST OR CAST-IN-PLACE. PRECAST UNITS SHALL MEET THE REQUIREMENTS OF ASTM C 913. (PRIOR APPROVAL OF SHOP DRAWINGS WILL BE REQUIRED ON MODIFIED UNITS.)
 - A 1" SIDE DRAFT IS ALLOWED FOR FORM REMOVAL.
 - CAST-IN-PLACE INLETS AND CATCH BASINS SHALL CONFORM TO SECTION 609 - MINOR STRUCTURES OF THE CURRENT ITO STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - THE GRADE LINE OF THE TOP INSIDE OF ANY PIPE SHALL ENTER AT A POINT NO LOWER THAN THE TOP INSIDE OF THE OUTLET PIPE.
 - PIPES CAN ENTER OR LEAVE THE BOX IN ANY DIRECTION. ALL CONNECTIONS AND BROKEN AREAS SHALL BE GROUTED SMOOTH.
 - STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BAR OR PREFABRICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLE/GRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A 36.
 - ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES.
 - GRAY IRON CAST TO THE DIMENSIONS GIVEN FOR THE STEEL GRATES MAY BE USED. THE CASTINGS SHALL CONFORM TO AASHTO M306 CLASS 35B GRAY IRON CASTINGS.
 - INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE THE GRATE SHALL BE TRUE AND FLUSH.
 - GRATE B WILL BE USED ONLY WHEN SPECIFIED.
 - NOT TO SCALE.



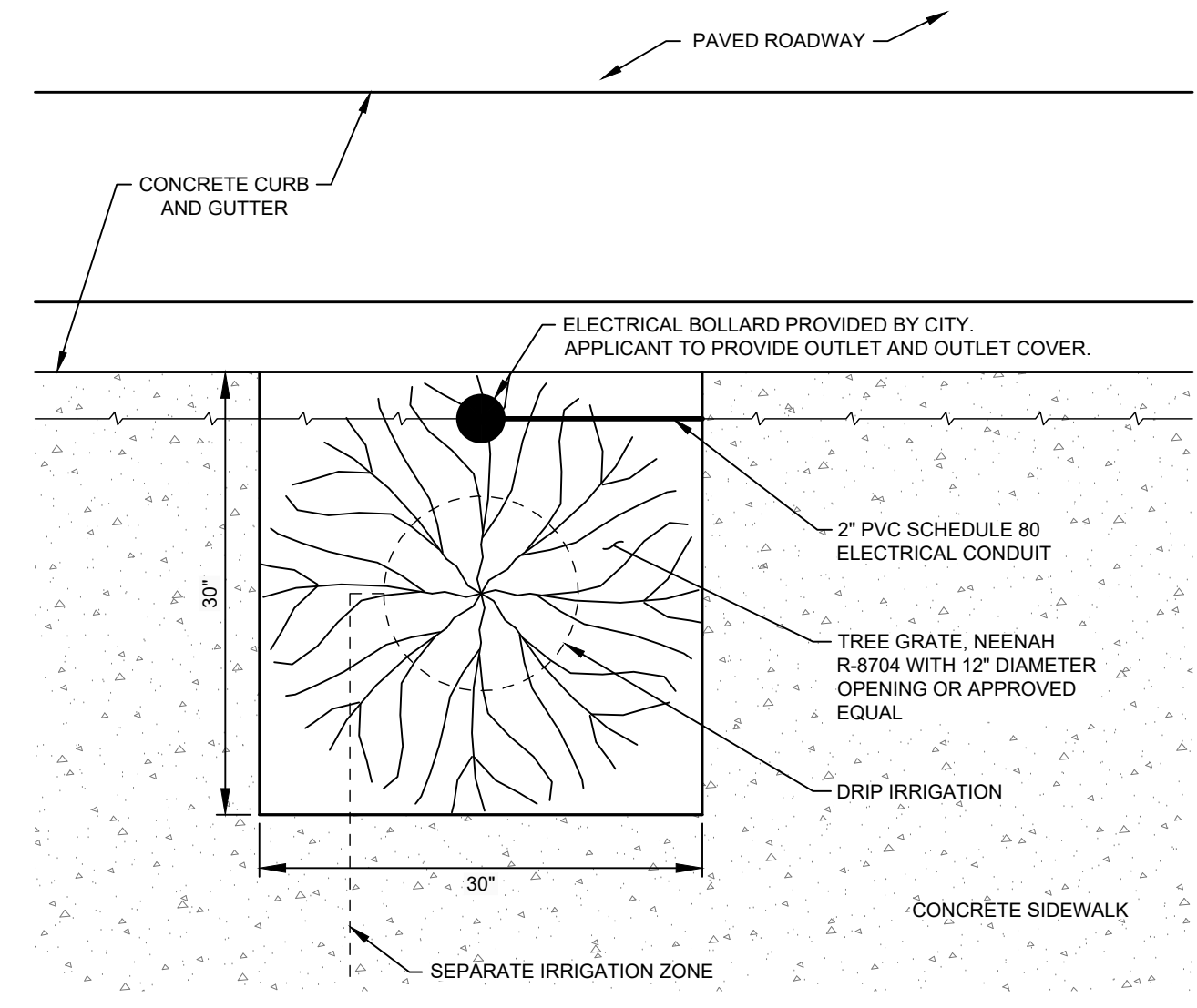
- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPCW SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

**2
C2.2 30" DIAMETER CATCH BASIN
N.T.S.**



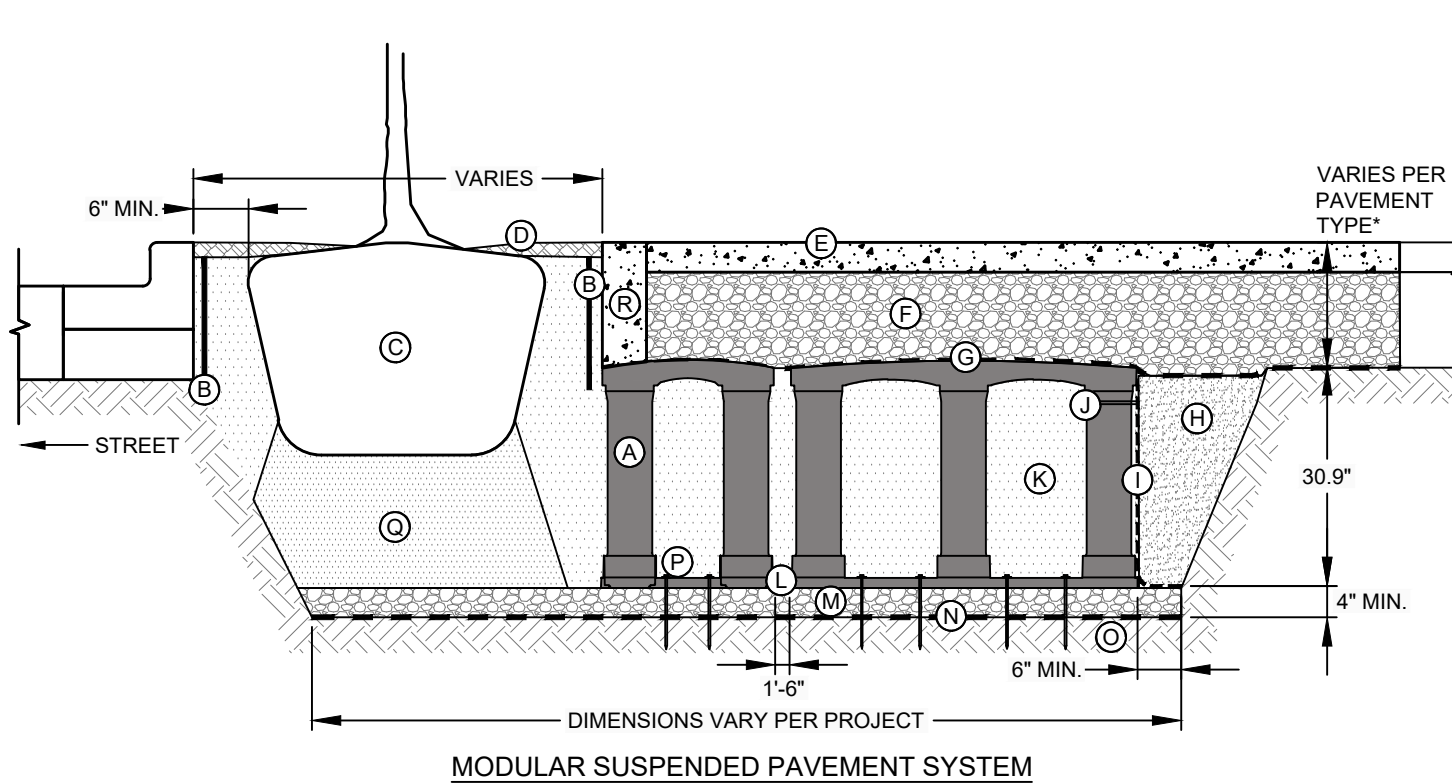
- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

**3
C2.2 DRYWELL DETAIL (6'X6')
N.T.S.**



- NOTES:**
- TREE TO BE 3" MINIMUM CALIBER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
 - CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER-RANWISSE SMART CLOCK OR APPROVED EQUAL. FOR REMOTE ACCESS BY CITY.
 - APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
 - NO DIRECT BURIAL WIRE PERMITTED.
 - TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELL SECTION VIEW, DETAIL 2.

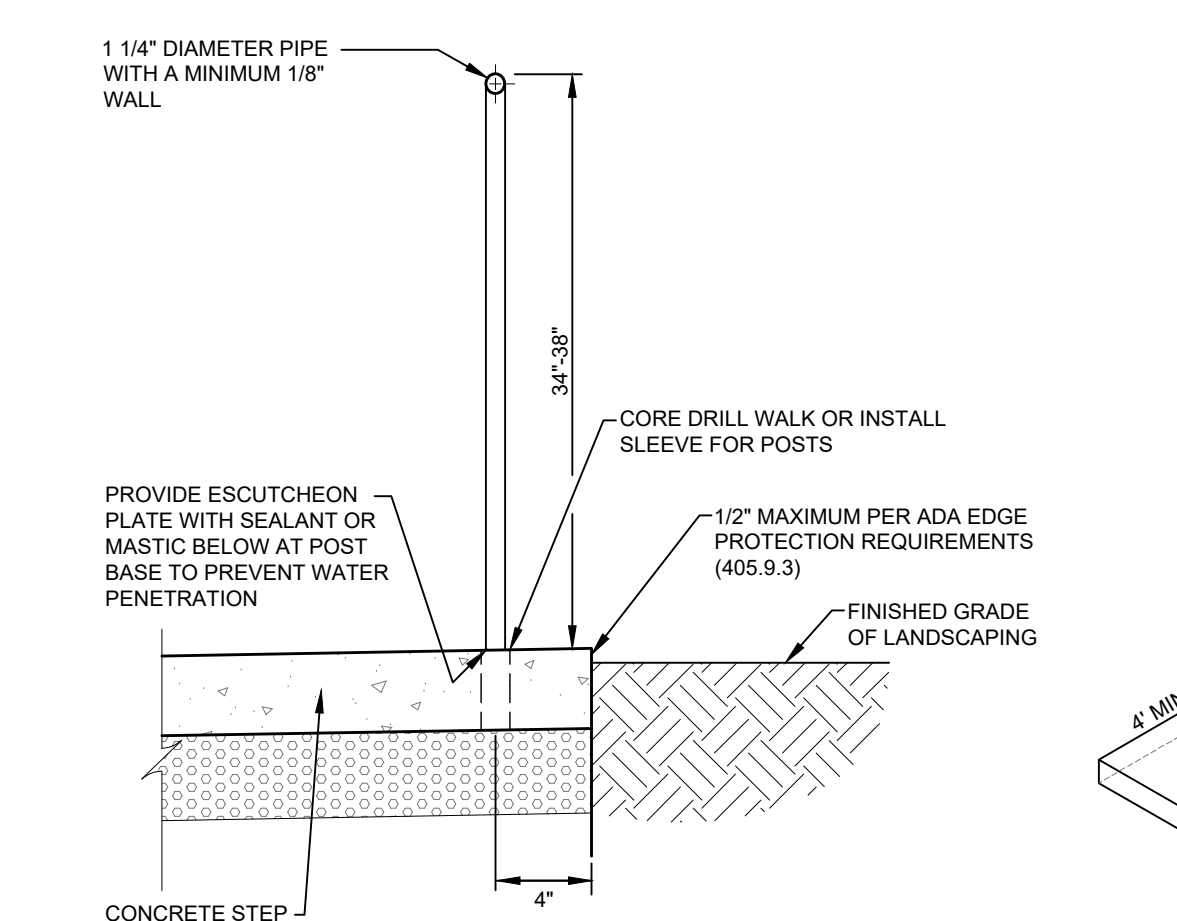
PLAN VIEW



- KEY PLAN:**
- SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - DEEPROOT ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 - TREE ROOT PACKAGE, SIZE VARIES.
 - TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
 - SURFACE TREATMENT, PER PROJECT.
 - AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
 - GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
 - BACKFILL, PER PROJECT SPECIFICATIONS.
 - GEOSGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 - CABLE TIE, ATTACHING GEOSGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
 - PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR.
 - SILVA CELL BASE SLOPE, 10% MAX.
 - 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
 - GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
 - SUBGRADE, COMPACTED TO 95% PROCTOR.
 - PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
 - PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
 - CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

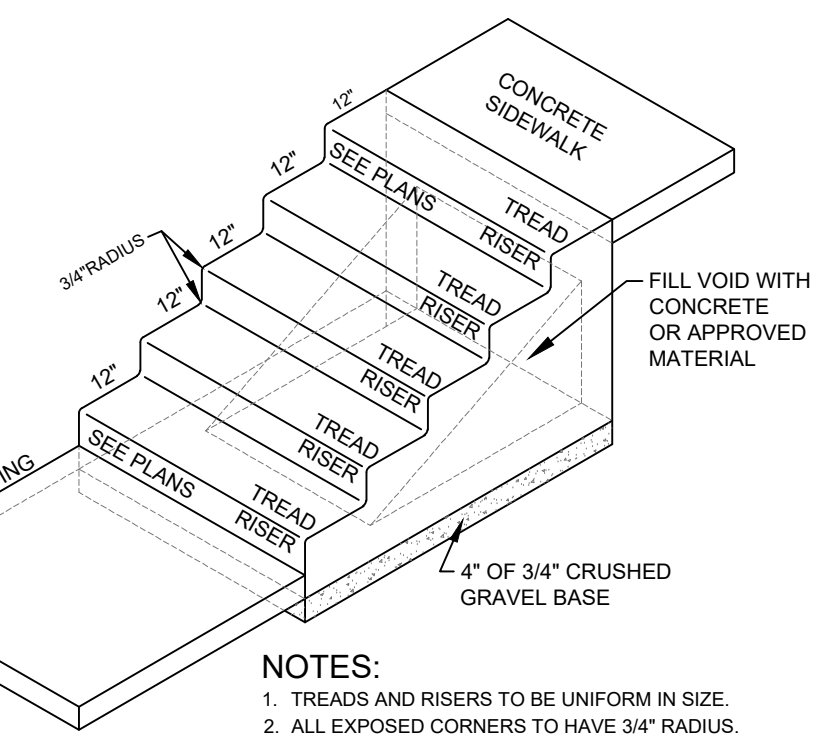
SECTION VIEW

- NOTES:**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



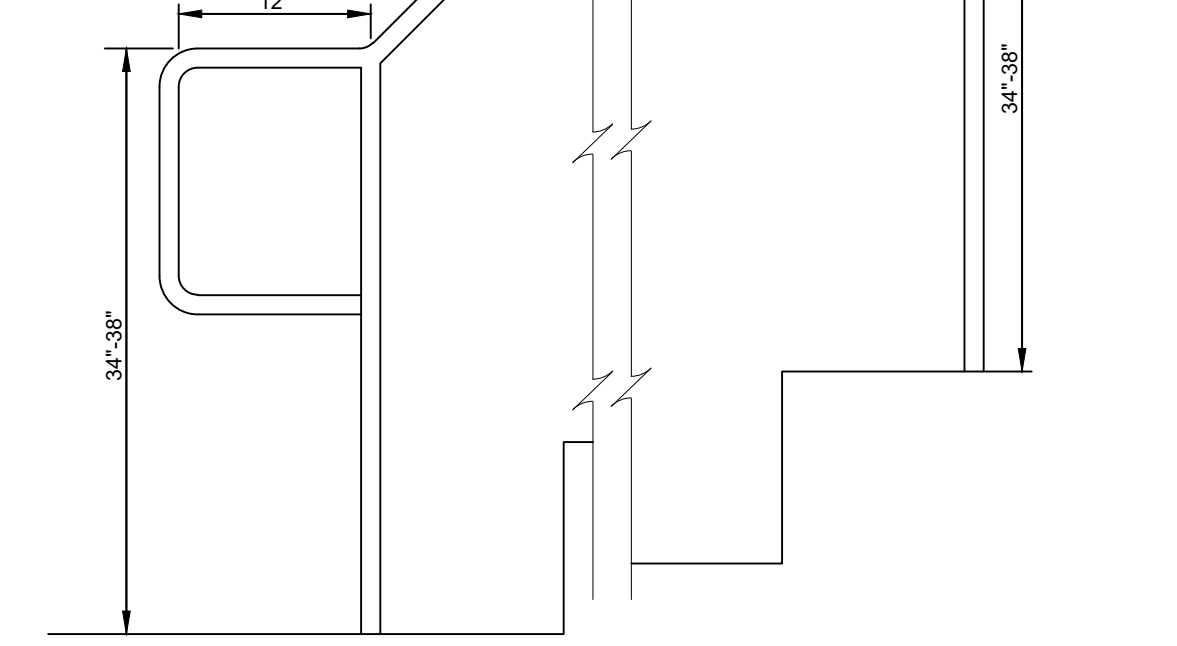
- NOTES:**
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
 - CLEAR WIDTH: THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.5).

STAND ALONE HANDRAIL DETAIL



- NOTE:**
- WALL MOUNTED HANDRAIL SHALL BE USED NEXT TO BUILDING.

WALL MOUNTED HANDRAIL DETAIL



- NOTES:**
- TREADS AND RISERS TO BE UNIFORM IN SIZE.
 - ALL EXPOSED CORNERS TO HAVE 3/4" RADIUS.
 - IF SPACE PERMITS, FIRST TREAD TO BE AT GRADE WITH SIDEWALK.

**5
C2.2 TYPICAL HANDRAIL AND STAIRS DETAIL
N.T.S.**

**4
C2.2 TREE WELL DETAILS
N.T.S.**

**460 N. MAIN STREET
DETAIL SHEET**

LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR DAVE WILSON

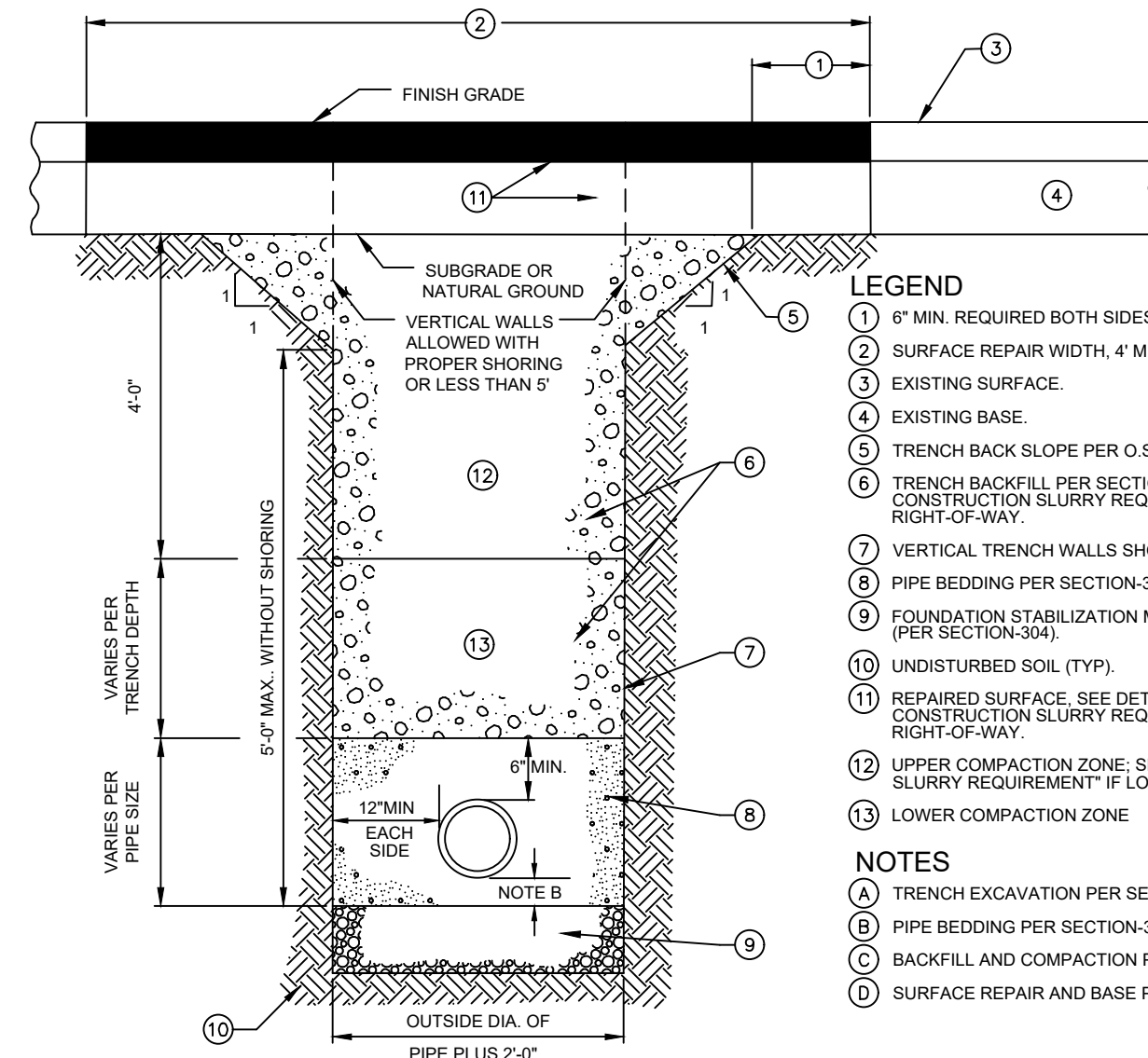
PROJECT INFORMATION
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GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
email: galena@galena-engineering.com
(208) 788-1705

DESIGNED BY _____
DRAWN BY _____
SMF
CHECKED BY _____

PURPOSE: _____
NO. DATE BY REVISIONS

C2.2



- LEGEND**
- 1 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - 2 SURFACE REPAIR WIDTH, 4' MINIMUM.
 - 3 EXISTING SURFACE.
 - 4 EXISTING BASE.
 - 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - 6 TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 7 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - 8 PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - 9 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - 10 UNDISTURBED SOIL (TYP).
 - 11 REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 12 UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 13 LOWER COMPACTION ZONE.
- NOTES**
- A TRENCH EXCAVATION PER SECTION-301.
 - B PIPE BEDDING PER SECTION-305.
 - C BACKFILL AND COMPACTION PER SECTION-306.
 - D SURFACE REPAIR AND BASE PER DETAIL 3/C20.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

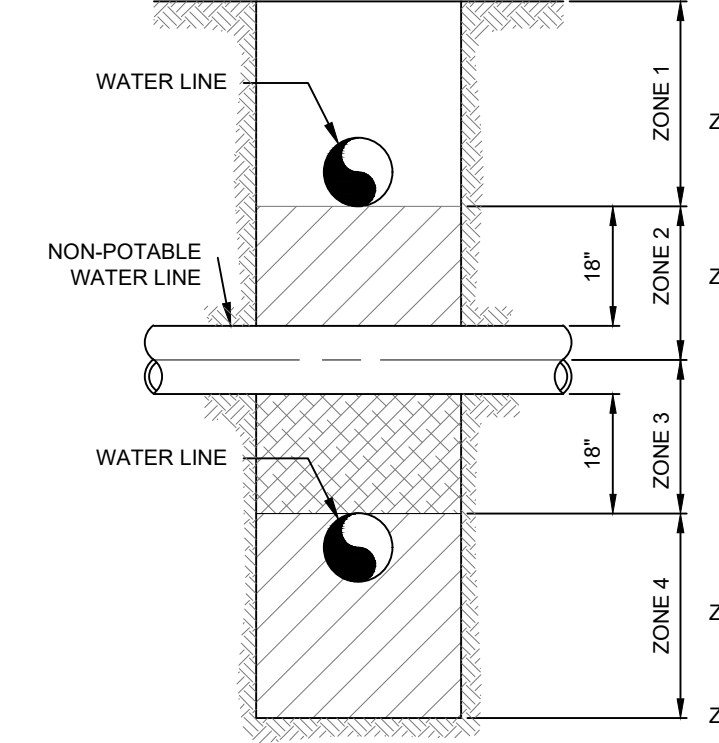
COARSE AGGREGATE (3/4" MINUS) 2,600 LBS.
 SAND 800 LBS.
 PORTLAND CEMENT 94 LBS.
 WATER 11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

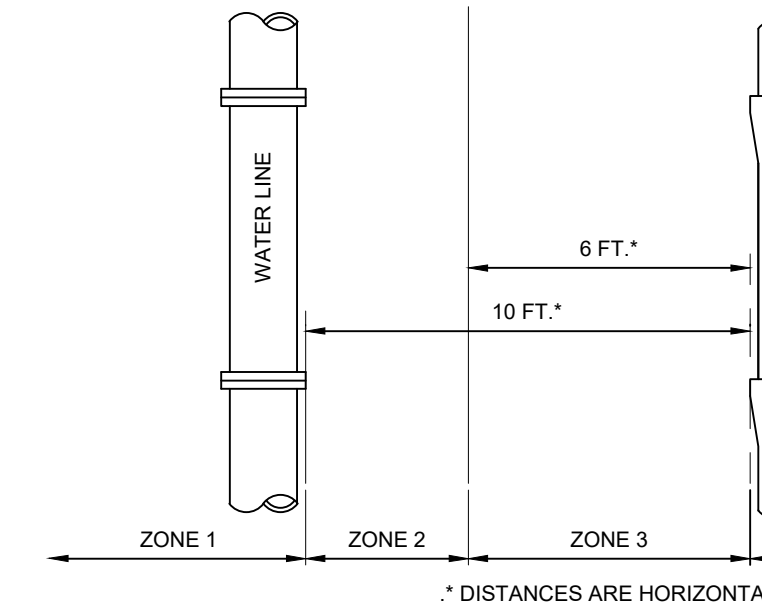
1
C2.3 TYPICAL TRENCH SECTION
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18"
 AND B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
 AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

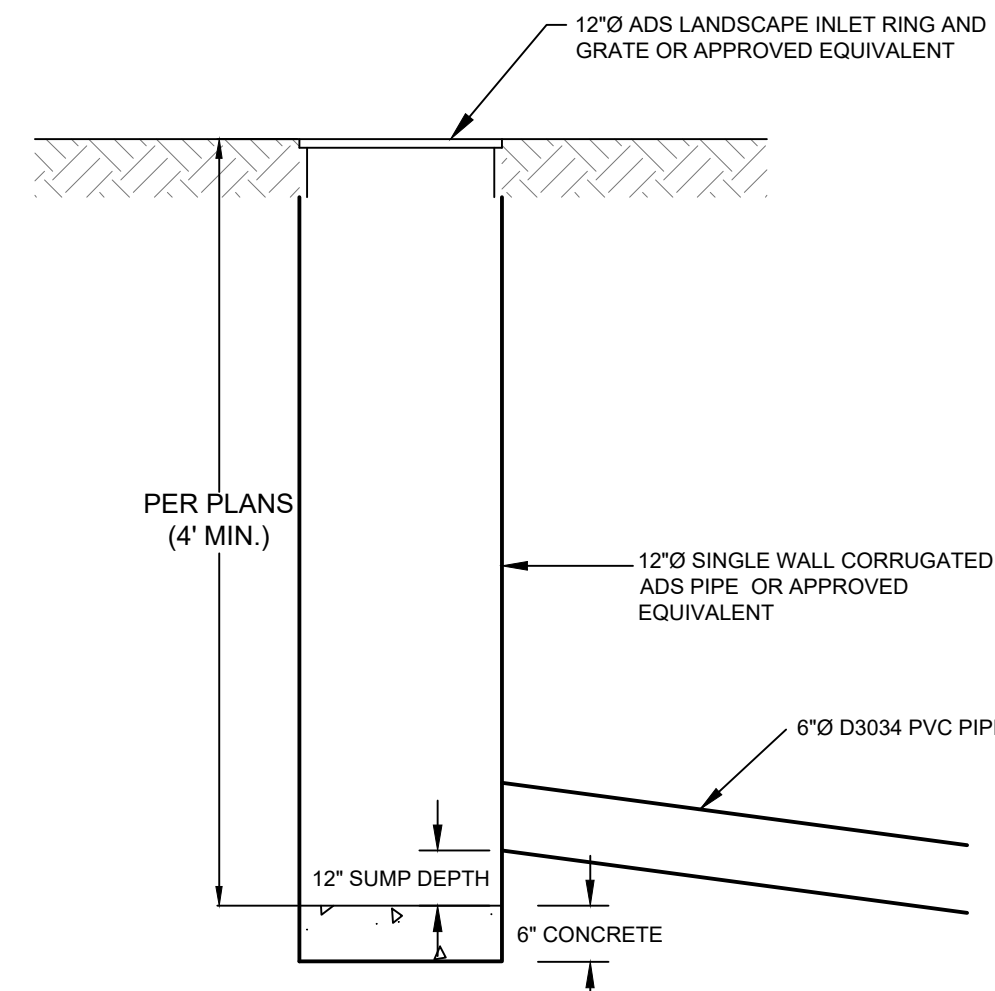


HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
 B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
 AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
 AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
 OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

2
C2.3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



3
C2.3 LANDSCAPE CATCH BASIN
N.T.S.

460 N. MAIN STREET
 DETAIL SHEET
 LOCATED WITHIN SECTION 15, T. 2 N., R. 18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR DAVE WILSON
 PROJECT INFORMATION
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DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

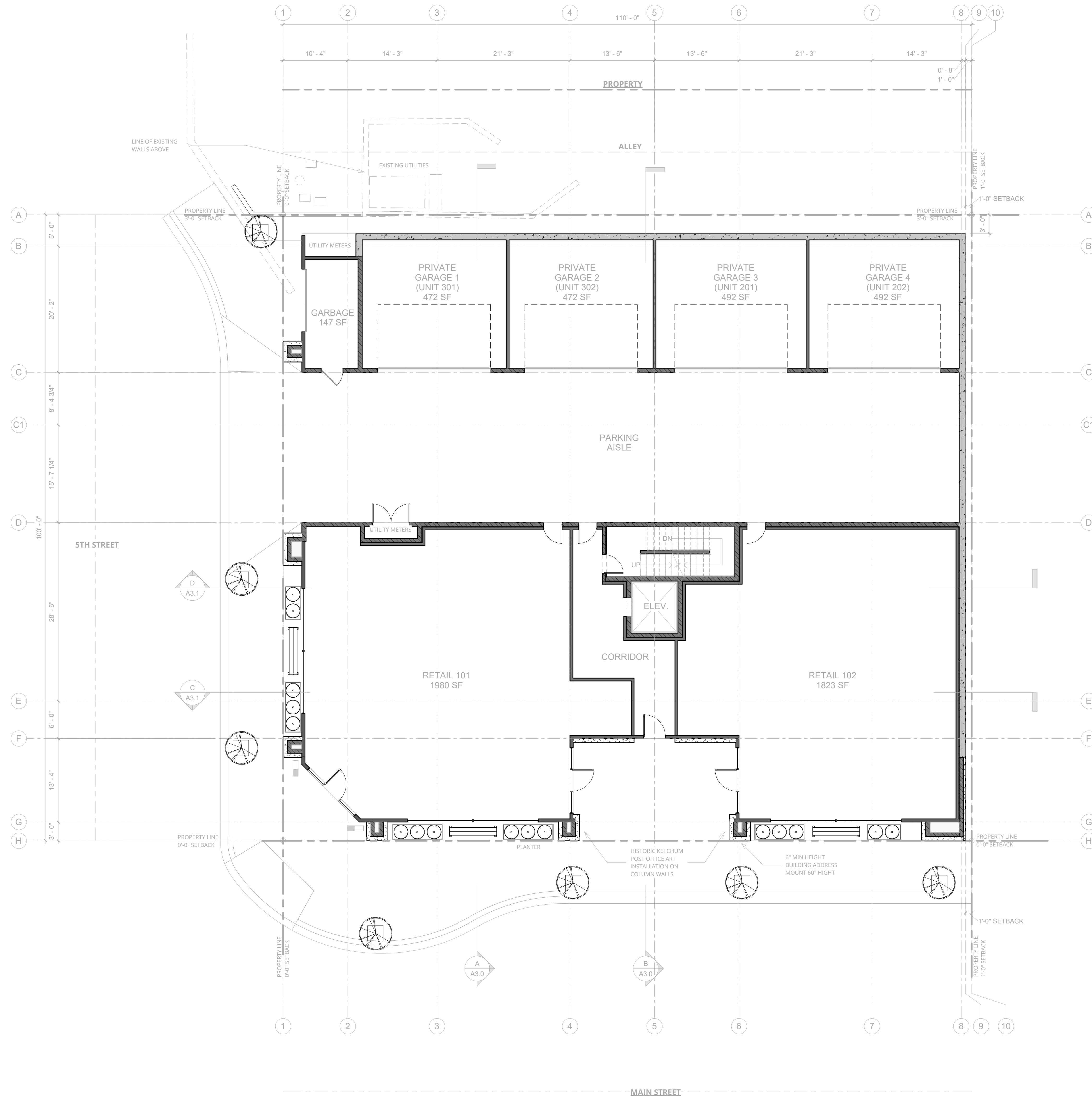
GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

C2.3

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galeana Engineering, Inc.

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LANDSCAPING KEY	
	8'-0" L x 2'-6" W x 1'-6" H STEEL FRAME SEASONAL PLANTER. QUANTITY: 4. SUMMER: ANNUAL FLOWERS; WINTER: PINE BOWS, WILLOW TWIGS.
	5'-0" L x 2'-6" W x 1'-6" H STEEL FRAME SEASONAL PLANTER. QUANTITY: 2. SUMMER: ANNUAL FLOWERS; WINTER: PINE BOWS, WILLOW TWIGS.
	3" CALIPER AUTUMN BLAZE MAPLE STREET TREE W/ NEEMAN R-8704 TREE GRATE PER CITY OF KETCHUM STANDARD DETAIL #1 & 2. QUANTITY: 7.

ISSUED	
12.09.2021	DESIGN REVIEW



R. L. B. BLANTON
R. L. B. LATHAM
R. L. B. RUSCITTO ARCHITECTURA P.A.
 www.rlb-sv.com
 208.726.5408
 po box 5419 ketchum, id 83340

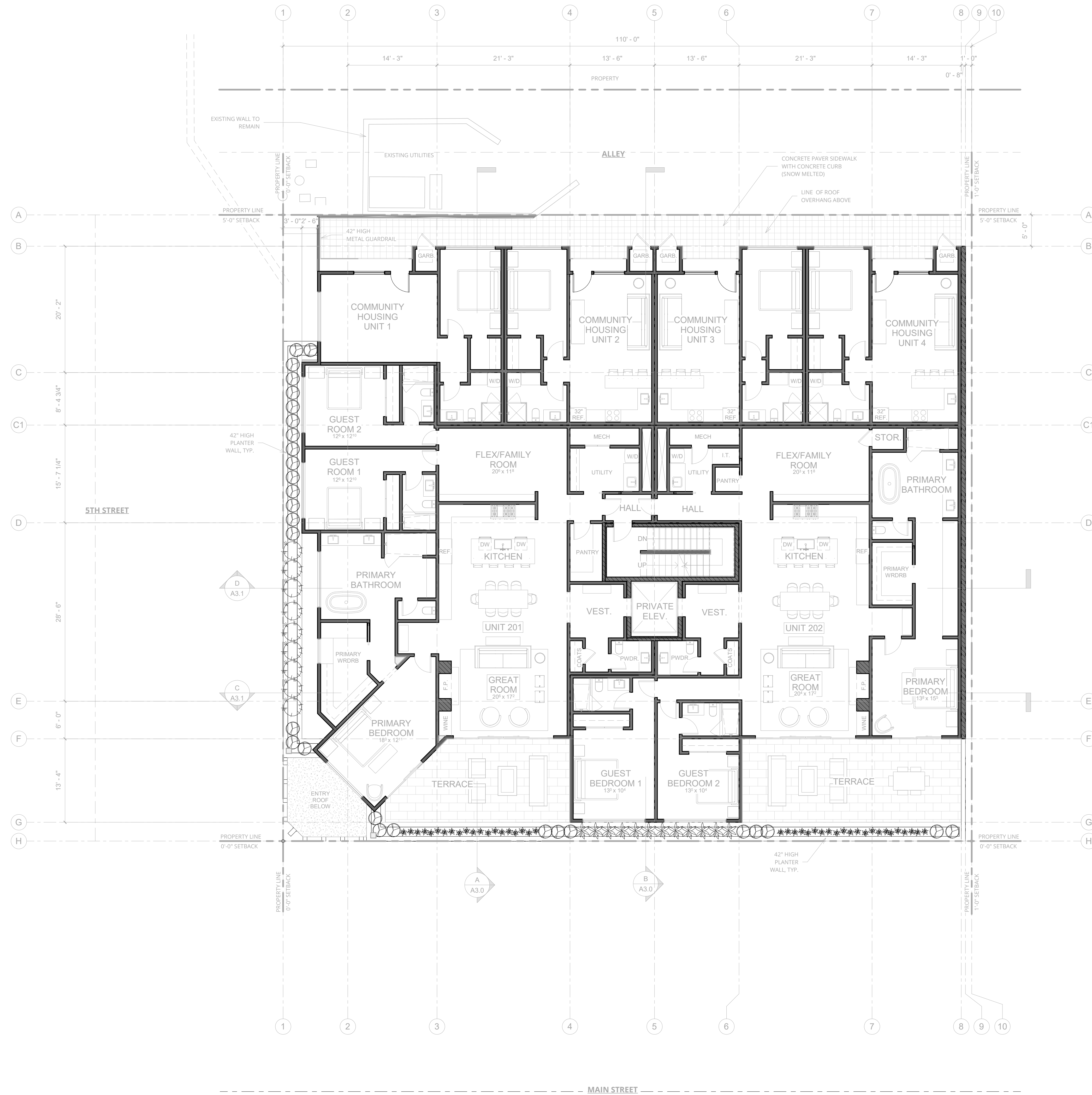
460 N MAIN ST.
 460 N MAIN STREET KETCHUM, IDAHO

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 DRAWING
 GROUND LEVEL LANDSCAPE
 DWG. #

L1.1

GROUND LEVEL FLOOR PLAN
 LANDSCAPE
 SCALE: 1/8" = 1'-0"

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LANDSCAPING KEY	
	TOR BIRCHLEAF SPIREA. QUANTITY: 9
	JUNIPER BLUE CREEPER (JUNIPERUS SCOPULORUM). QUANTITY: 29
	ANNUALS/PERENNIAL. TOTAL: 64.0 SQ. FT.
	GOLDFLAME SPIREA (SPIREA BULAMDA). QUANTITY: 12

ISSUED	
12.09.2021	DESIGN REVIEW



RUSCITTO LATHAM BLANTON
ARCHITECTURE P.A.
 208.726.5408
 www.rlbv.com

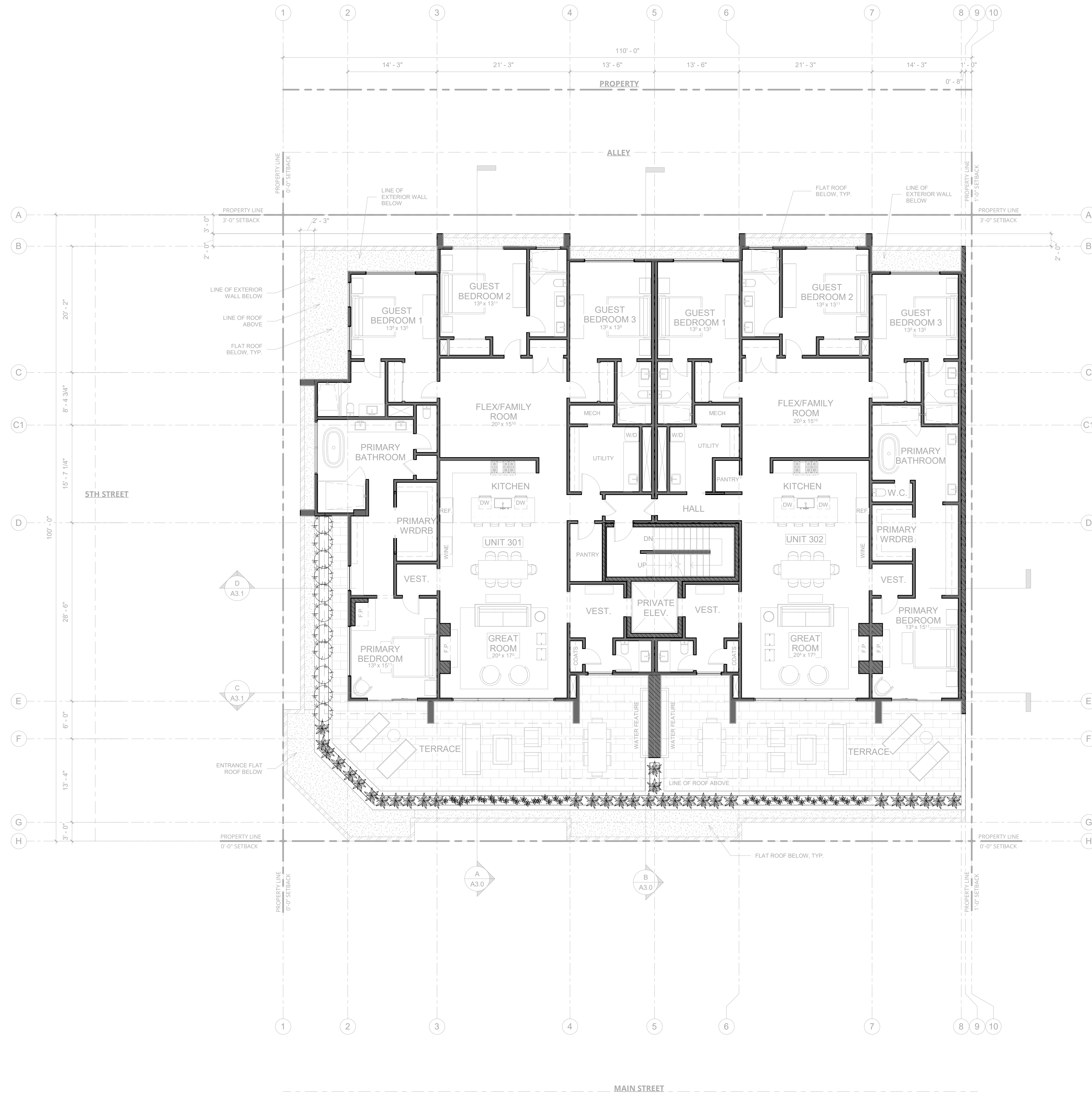
460 N MAIN ST.
 460 N MAIN STREET KETCHUM, IDAHO

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 DRAWING
 SECOND LEVEL LANDSCAPE
 DWG. #

L1.2

SECOND LEVEL LANDSCAPE
 SCALE: 1/8" = 1'-0"

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LANDSCAPING KEY	
	TOR BIRCHLEAF SPIREA. QUANTITY: 11
	BLUE OAT GRASS (HELICTOTRICHON SEMPERVIRENS). QUANTITY: 32
	ANNUALS/PERENNIAL. TOTAL: 64.0 SQ.FT.

ISSUED	
12.09.2021	DESIGN REVIEW



R. L. B.
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 DRAWING

THIRD LEVEL
 LANDSCAPE

DWG. #

L1.3

THIRD LEVEL LANDSCAPE
 SCALE: 1/8" = 1'-0"