



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF SEPTEMBER 9, 2019**

PROJECT: Lofts at 660

FILE NUMBER: P19-084

APPLICATION TYPE: Design Review

REPRESENTATIVE: Hollis Rumpeltes Architects =

OWNER: Galena Peak Partners, LLC (Carla Donaldson per Blaine County Assessor's Office as of 9/6/19)

REQUEST: Design Review

LOCATION: 660 N 1st Avenue (Ketchum Townsite: Block 34: Lot 6)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2)

OVERLAY: None

NOTICE: A public hearing notice was mailed to adjacent property owners on August 30th, 2019.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

The subject Design Review application is for the development of a new multi-family residential building located at 660 N 1st Avenue, a 5,500 sq ft Ketchum Townsite lot in the Mixed-Use Subdistrict of the Community Core (CC-2). The proposed 12,129 sq ft three-story building is comprised of seven dwelling units including one community housing unit studio. The project includes three parking spaces within two separate and enclosed garages at the ground level as well as four on-site parking spaces covered by the second-level roof and accessed from the Block 34 alleyway. The property is developed with an existing commercial building currently utilized by Sun Valley Dental Arts. Development adjacent to the subject property includes the new three-story Sun Valley Dental Arts building and an existing residential development. The Erickson and Olympic Terrace condominiums are located across the Block 34 alleyway from the proposed development.

At the July 8th, 2019 meeting, the Planning & Zoning Commission held a site visit and considered the Pre-Application Mountain Overlay Design Review submittal as well as Staff analysis, the applicant's presentation, and public comment. Following review of the Pre-Application, the Commission moved to advance the project to final Design Review.

ANALYSIS:

Staff analysis of the application is provided in Tables 1-5 including the project's compliance with the City of Ketchum 2014 Comprehensive Plan, City Department comments, Community Core (CC) Zoning District requirements, Design Review standards, and other provisions of Ketchum Municipal Code.

COMPREHENSIVE PLAN ANALYSIS:

The proposed multi-family residential building is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

Table 1. Comprehensive Plan Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Mixed-Use Commercial	This Mixed-Use Commercial category is intended to promote a wide range of land uses, including offices, medical facilities, health/wellness-related services, recreation, government, residential, and services. General retail is limited to the downtown core. (Areas in the ACI with this designation will require evaluation with regard to the provision of access, utility service, safety, and environmental impacts.)
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Goal H-1	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
Goal H-3	Ketchum will have a mix of housing types and styles.
Policy H-3.1 Mixture of Housing Types in New Development	The City should encourage the private sector, through land-use regulations and incentive programs, to provide a mixture of housing types with varied price ranges and densities that meet a variety of needs. The City will evaluate the use of incentives, such as flexibility in height, density and parking requirements to achieve greater housing diversity. Additionally, the City will promote the siting of higher density housing near public transportation, the ski base areas, shopping, and designated neighborhoods and districts.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
Future Land Use	
Policy LU-2.2 Compatible Residential Infill	Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.

Table 2. City Department Comments

City Department Comments
<i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the Public Works Department (City Engineer, Streets Department, and Utilities Department) prior to issuance of a Building Permit for the project. All City Department requirements and</i>

associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Fire Department:

- It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.
- The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.
 - NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved fire detection system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 12. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the Fire Department. This site map shall show the locations of gas shut-off, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways, and any additional fire department requirements. Exact details of color coded "On-Sites" can be found at www.ketchumfire.org.

<ul style="list-style-type: none"> • Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.
<p>City Engineer & Streets Department:</p> <ul style="list-style-type: none"> • The sidewalk within the 1st Avenue ROW was recently constructed. Any damage to sidewalk during the course of construction will require the full removal and replacement of the 5ft sidewalk, curb, and gutter adjacent to the property line at the sole expense of the applicant. • All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1). • All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site. • The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code. • Soil nails walls are not permitted within the City of Ketchum. • Sidewalk snow removal shall be the responsibility of the property owner. Pursuant to Ordinance #545, the property owner will be responsible for clearing ice and snow for the public sidewalk adjacent to their property the same day as a storm event or within the first 6 hours of daylight the following day. • Pursuant to International Building Code, impervious surfaces within 10 ft of a building foundation (ie sidewalks) are required to provide positive drainage away from the building. • Alley improvements will be necessary which may include grading, drainage, and paving improvements along the property. • All vehicle access will shall be from the alley and angled parking along 1st Avenue • The new building water service line will be from served from the municipal line within the 1st Avenue ROW. • City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.
<p>Utilities:</p> <ul style="list-style-type: none"> • If improvements to the alley lower the grade, then the Ketchum Springs Water line must be lowered to 6 ft below grade. • The new water service will connect from the municipal line with the 1st Avenue ROW and the Ketchum Service Water line shall be abandoned at the main. • The applicant must submit a utilities plan must indicating the location and size of water and sewer mains to be reviewed and approved by the Utilities Department prior to issuance of a Building Permit for the project (KMC §17.96.040.C.2c & KMC §17.96.060.D.1-3). • Requirements and specifications for the water and sewer connections and associated fees will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.
<p>Building:</p> <ul style="list-style-type: none"> • The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code. • Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.
<p>Planning and Zoning: Comments are denoted throughout Tables 3, 4, and 5.</p>

Table 3: Zoning Standard Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			Staff Comments	Required: 5,500 square feet minimum Existing: 5,500 square feet
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing
			Staff Comments	<p>Permitted in Community Core Subdistrict 2(CC-2) Permitted Gross FAR: 1.0 Permitted Gross FAR with Inclusionary Housing Incentive: 2.25 Proposed Gross FAR: Proposed Gross Floor Area: 12,129 gross square feet</p> <p>Pursuant to the definition of gross floor area (KMC §17.08.020), four parking stalls for developments on single Ketchum Townsite lots of 5,600 sq ft or less are not included in the gross floor area calculation. The applicant has provided six parking spaces on-site. As the subject lot is less than 5,600 sq ft, Staff has discounted four parking stalls [4 x parking stall dimension pursuant to KMC §17.125.030(9 x 18)= 648 square feet] from the gross floor area calculation.</p> <p>Gross Floor Area with Parking Discount: 11,481 sq ft Ketchum Townsite Lot 6 Area: 5,500 sq ft FAR Proposed: 2.09 (11,481 gross sq ft/5,500 sq ft lot area) Increase Above Permitted FAR: 5,981 sq ft 20% of Increase: 1,196 sq ft Net Livable (15% Reduction): 1,017 sq ft Community Housing In-Lieu Fee: \$241,991 As indicated on Sheet A2.2 and the applicant's cover letter, the applicant has proposed providing a 575 sq ft community housing studio on the second level of the multi-family residential building. Total Proposed Community Housing Net Livable Sq Ft Contribution: 575 sq ft Remainder (442 sq ft) Community Housing In-Lieu Fee: \$105,196</p> <p>Prior to issuance of a Building Permit for the project, an Exceedance Agreement approved by Ketchum City Council addressing the square footage above the permitted 1.0 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Building Setbacks
			Staff Comments	<p>Required: Front & Street Side: 5' avg Rear side not adjacent to an alleyway: 0' Interior Side: 0' Cantilevered decks and overhangs: 0' Setbacks for 4th floors: 10 ft Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to the room from all building facades: 10 ft</p> <p>Proposed:</p>

				<p>The site plan indicating the setbacks of proposed multi-family residential building in relation to front, side, and rear property line is included on Sheet A1.1 of the Design Review Submittal.</p> <p>Front (1st Avenue): 5 ft average (Setback Ranges from Minimum: 2'-6" to Maximum: 7'-11¾")</p> <p>Interior Side (adjacent to existing residential development): 5'</p> <p>Interior Side (adjacent to new Sun Valley Dental Arts Building): 0'</p> <p>Rear Side Adjacent to Alleyway: 3'</p> <p>As conditioned, the project shall meet all standards for setbacks required in the CC-2 Zone.</p> <p>Cantilevered decks and overhangs: While the Architectural Site Plan (Sheet A1.2) indicates that cantilevered decks and roof overhangs are contained within the property boundaries, the south elevation (Sheet A3.1) indicates that portions of cantilevered decks at the second and third level encroach over the property line. Cantilevered decks may extend to the property line (0' setback) but may not encroach over the property line. All proposed cantilevered decks must be contained within the property boundary.</p> <p>Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to the room from all building facades: The roof plan indicated on Sheet A1.2 does not include non-habitable structures or fixed amenities. Any mechanical equipment affixed to the roof shall be setback from the property lines a minimum of 10 ft.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040 Staff Comments	Building Height Maximum Permitted: 42' Proposed: As measured consistent with the definition of building height in the CC district pursuant to KMC 17.08.020, the maximum height of the proposed building is 38'-9".
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030.H Staff Comments	Curb Cut Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking. Proposed: N/A as the applicant has proposed accessing the two parking garages and on-site, unenclosed, and surface parking spaces from the Block 34 alleyway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.40 Staff Comments	Parking Spaces Required Residential multiple-family dwelling within the Community Core (CC) District: Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces 17.125.040(C) Exemptions: In the Community Core (CC) and Tourist (T) zoning districts the following uses meeting the definitions found in 17.08.020 are exempt from providing off street parking: a. Community Housing The proposed multi-family residential housing development generates a total parking demand of 5 spaces.

				Proposed: 6 parking spaces
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Table 4: Design Review Improvements and Standards

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Staff Comments	The property is located at 660 N 1 st Avenue with 55 ft of linear frontage adjacent to 1 st Ave. The applicant has proposed access to the parking garages as well as a covered, surface parking area from the Block 34 alleyway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			Staff Comments	The street design does not change with this proposal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	The project qualifies as a substantial improvement. As part of the city-initiated sidewalk infill project, a new 5 ft sidewalk was recently installed adjacent to the front property line adjacent to 1 st Avenue. The sidewalk within the 1 st Avenue ROW was recently constructed. Any damage to sidewalk during the course of construction will require the full removal and replacement of the 5ft sidewalk, curb, and gutter adjacent to the property line at the sole expense of the applicant. See Table 2 for comments and conditions from the City Engineer & Streets Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	The newly installed sidewalk is 5 ft in width.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Staff Comments	The project qualifies as a substantial improvement. As part of the city-initiated sidewalk infill project, a new 5 ft sidewalk was recently installed adjacent to the front property line adjacent to 1 st Avenue. The sidewalk within the 1 st Avenue ROW was recently constructed. Any damage to sidewalk during the course of construction will require the full removal and replacement of the 5ft sidewalk, curb, and gutter adjacent to the property line at the sole expense of the applicant. See Table 2 for comments and conditions from the City Engineer & Streets Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	N/A as the recently installed sidewalk is equal to the length of the subject property adjacent to 1 st Avenue.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	The sidewalk recently installed by the City was part of an infill project and connected the existing and newly constructed sidewalks adjacent to Block 34 within the 1 st Avenue ROW.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			Staff Comments	All storm water shall be retained on site including water from roof drains. The applicant has submitted a preliminary drainage plan on Sheets C1 and C2 of the Design Review submittal. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped and Idaho licensed engineer and require review approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			Staff Comments	All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	The applicant is aware of this requirement and the preliminary plans indicated on Sheets C1 and C2 show utility connections and locations. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Idaho Power. See Table 2 for Utilities Department comments and conditions.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Staff Comments	All utilities within the development site shall be underground and concealed from public view. See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement and will comply with these standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	As indicated on Sheet A0.7 of the Design Review submittal, the proposed exterior materials include finished steel siding, basalt stone cladding, Stonewood vertical and horizontal siding, bronze clad windows and doors, and architectural grade concrete. In harmony with Ketchum's mountain backdrop, the natural color palette complements existing development in the neighborhood. The more modern design elements including the butterfly roof system echo the architectural vernacular of newer development in the neighborhood including the adjacent Sun Valley Dental Arts building. The applicant has not indicated the installation of exterior signage on the building facades. If a sign for the condominium development is proposed in the future, the applicant will be required obtain a Sign Permit consistent with KMC §17.127.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	N/A. There are no identified landmarks on the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	N/A as the existing building on site will be demolished and the project will be new construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	The sidewalk within the public ROW will connect to terraces and pathways surrounding the building. A paver walkway borders the interior property line leading residents to the main entrance. The entryway leading to the foyer and circulation corridor is defined through material differentiation as well as the variation in roofing heights and forms. The finished steel siding distinguishes the entryway and circulation corridor and highlights the separation between common area and the private residential units. As indicated on Sheet L1, two planters frame the entryway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			Staff Comments	As indicated by the Building Massing Models on Sheets A0.4, A0.5, and A0.6 of the Design Review submittal, the modulation across the facades in conjunction with the butterfly roof system at varying heights serve to define the building into three distinct masses. The exterior elevations included as Sheets A3.1 and A3.2 illustrate that the character of the building will defined in part by the alternating placement of horizontal and vertical Stonewood panel siding. Material differentiation through fenestration as well as steel siding is proposed along all facades. The steel siding proposed for the circulation corridor enhances the prominence of this distinctive feature. The contrast between the steel and Stonewood siding reduces the

				appearance of flatness along all facades. The second and third floor decks in conjunction with the placement of vertical and horizontal elements enhance modulations at each façade. The front elevation is distinguished from the side and rear facades by a basalt stone clad component, which integrates planters at the ground level and second floor.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			Staff Comments	The same materials and color schemes are used on all four facades of the building. No exterior signage has been proposed for the multi-family residential project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Staff Comments	The applicant has not proposed any accessory structures with the project. A 5 ft fence is proposed to screen the garbage storage area adjacent to the alley. The landscape features including the planters at the front façade enhance the building design and enrich the outdoor living areas including the front terraces.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Staff Comments	The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The façades combine horizontal and vertical elements through the variation of Stonewood siding, the placement of balconies and associated railings, the steel panels, as well as the fenestration. The entryway and circulation corridor are distinguished through the use of steel siding and the roofing forms at varying elevations. The front elevation is defined by the basalt stone cladding feature integrated with the proposed planters at the ground level and second floor.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			Staff Comments	The applicant has proposed a landscaped terrace including planters at the front façade adjacent to 1 st Avenue. A paver walkway will direct tenants and their guests along the interior property line towards the main entrance of the building leading to the shared foyer and circulation corridor. While the main entrance is located at the interior property line, the building orients to the primary street frontage through defined architectural features including the butterfly roof system, the landscape planters and terraces, and the basalt stone cladding.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	As indicated on Sheet A2.1 of the Design Review submittal, the trash area is located off the alley. The south exterior building elevation indicated on Sheet A3.1 indicates that the garbage storage area will be fully screened from public view. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Staff Comments	As indicated on Sheet A1.2 of the Design Review submittal, weather protection is provided through the use of overhangs as well as a roof drain system. No roof drainage is permitted within the public ROW.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Staff Comments	The proposed paver pathway links to the existing sidewalk recently installed by the City, which connects with existing and newly constructed sidewalks within the ROW adjacent to 1 st Avenue and Block 34.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Staff Comments	N/A as the applicant has not proposed any awnings that project over a public sidewalk.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	Vehicular traffic will access the proposed parking spaces from the Block 34 alleyway accessed from either 6 th St or 7 th St. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	N/A the project does not propose any curb cuts or driveways as the proposed parking areas will be accessed from the Block 34 alleyway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	Emergency vehicles may access the building from 1 st Avenue and the Block 34 alleyway. The applicant has proposed garbage bins that will have to be rolled to the alley for pick up. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Staff Comments	The proposed surface parking spaces accessed from the alleyway sited underneath an overhang. As indicated on Sheet A1.2, roof overhangs cover the paver walkway leading to the building entrance. As overhangs cover the pedestrian and parking circulation areas, the applicant has not provided a snow storage area on site. Pursuant to Ordinance #545, the property owner will be responsible for clearing ice and snow for the public sidewalk adjacent to their property the same day as a storm event or within the first 6 hours of daylight the following day.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Staff Comments	See above Staff comment for Ketchum City Code §17.96.060(H)(1).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			Staff Comments	See above Staff comment for Ketchum City Code §17.96.060(H)(1).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Staff Comments	N/A the applicant has not proposed a snowmelt system for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			Staff Comments	The landscape plan is included on Sheet L1 of the Design Review submittal. The landscape plan includes Swedish aspens as well as planters comprised of ornamental grasses and perennial flowers.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Staff Comments	The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the multi-family residential building and complement the neighborhood. The planters integrated within the front façade enhance the building design and facilitate the creation of inviting outdoor living areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			Staff Comments	All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Staff Comments	The proposed landscaping will provide a buffer between the multi-family residential building and 1 st Avenue. The line of Swedish Aspen trees bordering the interior property line will provide a buffer between the paver walkway leading to the entryway from the adjacent residential development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	The sidewalk is existing within the 1 st Avenue ROW.

Table 5: Design Review Standards for Community Core Projects

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070 A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			Staff Comments	As noted in the City Department comments, street trees, lights, and furnishings are not required for the project as the sidewalk is existing within the 1 st Avenue ROW.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			Staff Comments	N/A as no street trees are proposed with this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.
			Staff Comments	Modification to the requirements of this subsection 17. 96.070(A) may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the Building Permit application. Preliminary plans submitted with Design Review are reviewed in concept only. The final civil drawings including the drainage plan shall be reviewed

				and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			Staff Comments	The front and rear façade as well as the interior façade adjacent to the pedestrian walkway have been designed to include both solid surfaces and window/door openings intended to avoid the creation of blank walls. The interior façade adjacent to the new Sun Valley Dental Arts building is blank wall with no window openings as building is built to the interior property line. While the front façade is distinguished through the use of the basalt stone cladding, similar materials including the vertical and horizontal Stonewood panel siding as well as architectural features including the cantilevered balconies are integrated throughout the building design.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			Staff Comments	The building contains solely multi-family residential dwelling units and does not include any commercial space.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			Staff Comments	The building contains solely multi-family residential dwelling units and does not include any commercial space.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			Staff Comments	The proposed residential building incorporates a butterfly roof system and balcony overhangs at varying heights. As indicated on Sheet A2.7, the pitched roof elements are standing seam metal and the flat roof components are ballast over membrane. The butterfly roof form serves as a unique architectural feature that defines the building. Reflective materials are prohibited. The applicant shall ensure that none of the metal components or materials proposed are reflective. All metal components shall be subject to Final Inspection prior to issuance of a Certificate of Occupancy for the project to ensure no reflectivity.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			Staff Comments	As indicated on Sheet A2.7, the roof system includes gutters and roof drains. Roof drainage is prohibited within the ROW.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			Staff Comments	No roof overhangs are proposed that extend over the public sidewalks. The second and third floor balconies are prohibited from encroaching over the property line as indicated on the south elevation (Sheet A3.1).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			Staff Comments	The applicant has proposed a private, unenclosed terrace area at the front elevation.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			Staff Comments	The proposed trash disposal area is located at the rear of the building. The plans indicate that the garbage bin area will be screened from public view. The applicant shall submit a will serve letter from Clear Creek Disposal prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			Staff Comments	All roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Roof mounted mechanical equipment will not exceed 5 ft over the maximum building height and must be setback a minimum of 10 ft from property lines. The final screening, location, and height of all ground and roof mounted mechanical equipment shall be reviewed prior to the issuance of a Building Permit and shall be approved upon Final Inspection prior to Certificate of Occupancy for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			Staff Comments	As indicated on the topographical and site information (Sheet labeled TOPO) no healthy or mature trees exist on the site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			Staff Comments	The applicant has not proposed trees placed within a public courtyard, plaza, or pedestrian walkway. The proposed aspen trees bordering the pedestrian walkway at the interior property line are sited within the property boundary and do not require tree wells or grates.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			Staff Comments	See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			Staff Comments	The surface parking spaces are accessed off of the alley and are covered by the second-level overhang.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Staff Comments	N/A as the surface parking area is covered by the second-level roof overhang.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			Staff Comments	The applicant has proposed planters comprised of ornamental grasses and perennial flowers as well as aspen trees. The planters at the ground level and second floor at the front façade enhance the design and soften the mass of the multi-family residential development.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			Staff Comments	The applicant is required to install 1 bike rack able to accommodate 2 bikes. The final specification and siting of the bike rack shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			Staff Comments	See Staff comment above. The fraction of the calculation is not equal to or greater than one-half.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			Staff Comments	The proposed bicycle rack as indicated on Sheet L1 of the Design Review submittal is located within the 1 st Avenue ROW. The final siting of all ROW improvements and public amenities requires review and approval by the City Engineer and Streets Department.

STAFF RECOMMENDATION

Staff recommends the Planning & Zoning Commission approve the Lofts at 660 multi-family residential building Design Review application, subject to conditions 1-XXX listed below.

RECOMMENDED CONDITIONS

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, 4, and 5.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho including the utilities and drainage plans to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
3. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
6. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.

7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
8. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
9. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,017 sq ft t is required. Following submittal of the Building Permit application for the project, plans will be reviewed to verify FAR calculations and the community housing square footage. An exceedance agreement between the applicant and the City regarding the community housing contribution shall be signed prior to issuance of a Building Permit for the project.
10. Approval of a condominium plat is required before the residential units may be sold separately from the principal building.
11. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Exhibits:

A. Lofts at 660 Design Review Submittal Package

Exhibit A:
Lofts at 660
Design Review
Submittal Package



PO Box 1769 [post]
Sun Valley, ID 83353
220 River Street, East
Ketchum, ID 83340
v 208.721.0633 / 208.721.7160

21 August 2019

Abby Rivin

City of Ketchum – Design Review Committee
P.O. Box 2315
480 East Ave. N.
Ketchum, ID 83340

Dear Design Review Committee,

We are excited to submit to you for “*Formal Design review*” our Multi-Family project (“***The Lofts @ 660***”) located at 660 1st Avenue North, Ketchum. A 3 story, multi-residential structure, 12,129 sf, located next to the new Franz project. All of the residential units will be available for market rate sales.

The programming of the building is as follows:

Ground Level:

- Parking access from alley to the East.
- 9' - 10'-0" High Ceilings.
- Multiple Foyer/Entry Stairs for Upper Residential Units
- Mechanical Space
- (1) Studio / Office unit @ 746 square feet
- (1) 2 Bedroom / 2 bathroom @ 1,268 square feet
- Outdoor Trash / Recycling area
- (1) 2 car garage @ 508 Square feet.
- (1) car garage @ 263 square feet.
- Storage lockers.
- Additionally, 3 car parking spaces including one ADA Van space.
- Landscaped Entry courtyard.

Second Level:

- Stair / elevator /Access Points to Residential Units
- (1) 2 bedroom, 2 bath unit, 1,018 square feet
- (1) Studio Apt @ 575 square feet (BCH)
- (1) 3 bedroom, 3 bath unit, 1,961 square feet
- Balconies and Terraces for Residential Units
- (2) Storage Areas
- Mechanical Space

Third Level:

- Stair / elevator /Access Points to Residential Units

- (2) 3 bedroom, 3 bath ranging from 1,740 – 1,961 square feet each
- Balconies and Terraces for Residential Units
- Mechanical

Roof Level:

- Outdoor mechanical area set at least 12' from any building edge.

We have proposed a mix of materials and colors that will hopefully enact a sense of vibrancy to this area of Ketchum. Key materials as per sample board images include a Stonewood siding/panel product connected to the building via a "rain-screen" detail. We have anchored the building by proposing the use of perforated / 12 gauge hot rolled steel panels. Where the building steps in along the Southern, and Western Facades, the exterior material is broken by using strips of the Stonewood siding as well as a mix of Stonewood paneling which is broken at window / door jambs, headers, sills and mullions.

We are proposing to also break up the building mass / scale by using 2 types of balcony / deck structures. One being a solid parapet condition with metal tube steel placed on top and then the other deck handrails will be a steel mesh system.

We will be submitted another updated set of drawings in around 4 weeks which has further detailed information about the project. We are also asking that at the September 9th hearing that you also do the findings of fact at that meeting as well so that we can submit for building permit shortly there-after.

We look forward to conversing more about the project at the September 9th meeting, please feel free to ask any questions or for additional information that will assist in approving this project to the next level. We are excited to work with you on this project, and we look forward to starting the next phase of the design process.

Sincerely,



Daniel Hollis, Principal



J.J. Rumpeltes, Principal

CONTENTS:

Project Data sheet – Development Potential

Design Review Application

Design Review Application Checklist

Existing Site Pictures

Materials additional Information

Lighting Cut sheets

Drawing List:

- A0.0 Project Data / General Notes
- A0.4 Exterior 3D Massing Model Views
- A0.5 Exterior 3D Massing Model Views
- A0.6 Exterior 3D Massing Model Views
- A0.7 Material Samples / Color Board
- A0.8 Construction Management Plan

- C Topographical & Site Information (Galena Engineering)
 - C1.0 Site Improvements Plan (Drainage)
 - C2.0 Drainage Details

- L1.0 Landscape Plan (Eggers & Associates)

- A1.1 Site Plan
- A1.2 Arch Site Plan
- A2.1 First Level Floor Plan
- A2.2 Second Level Floor Plan
- A2.3 Third Level Floor Plan
- A2.7 Roof Plan
- A3.1 Exterior Elevations (North / West)
- A3.2 Exterior Elevations East
- A4.1 Building Sections
- A4.2 Building Sections
- A5.1 Wall Sections / Details
- A5.2 Wall Sections / Details
- A5.3 Wall Sections / Details

- P1.0 Mechanical Utilities Plan (Musgrove, PA)
- E1.0 Electrical Site Plan (Musgrove, PA)
- E1.1 Photometric Electrical Site Plan (Musgrove, PA)

660 N First Avenue Development Potential

Legal – Lot 6, Block 34, 660 N 1st Avenue

Parcel Size – 5,500 SF

Dimensions – 55' on First Avenue, 100' First Ave to Alleyway

Permissible Gross Density @ 2.25 Floor Area Ratio (FAR) = 12,375 SF

Community Housing Requirement (net SF)

20% of Gross FAR in excess of 1.0 FAR x 85% = 10,310 SF

Can be satisfied on-site, off-site, or by payment in lieu (currently set at \$238/SF)

(1) unit will be Deed restricted, a 2nd floor Studio unit (**575** proposed sf, meaning that will are 132sf less than the required **707 sf** = \$31,416.00)

Parking Requirement

Residential – one space over 750 (5 spaces required)

Project will provide 6 parking spaces, 1 more than required.

Maximum Building Height

42 Feet (Proposed 38'-9" south west roof)

Setbacks

1st Avenue North - average of 5 feet

Alley - 3 feet

South Side – 0' (we are proposing a 5'-0" setback)

North Side – 0' (Our project will be directly adjacent to new Franz building)



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EXISTING SITE PICTURES



View looking east from 1st Avenue



View looking South West from Alleyway



View looking west from Alleyway



View Looking North East from 1st Avenue



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MATERIALS INFORMATION:

Western Rib Siding Reizbond (grey)

Specifications

Material Type:

Western Rib® Metal Roofing and Siding Panels

Rib Distance (Pitch)

7.2"

Rib Height:

1.5"

Available Gauges:

20, 22, 24, 26

Substrate:

AZ50 Minimum (Galvalume®/Zincalume®)

Fasteners:

Exposed

Panel Length:

1' to 52'

Recommended Minimum Roof Slope:

1/12

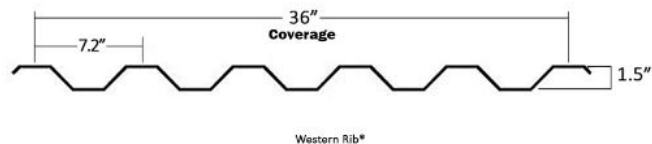
Coverage for Roof and Wall Application:

36"

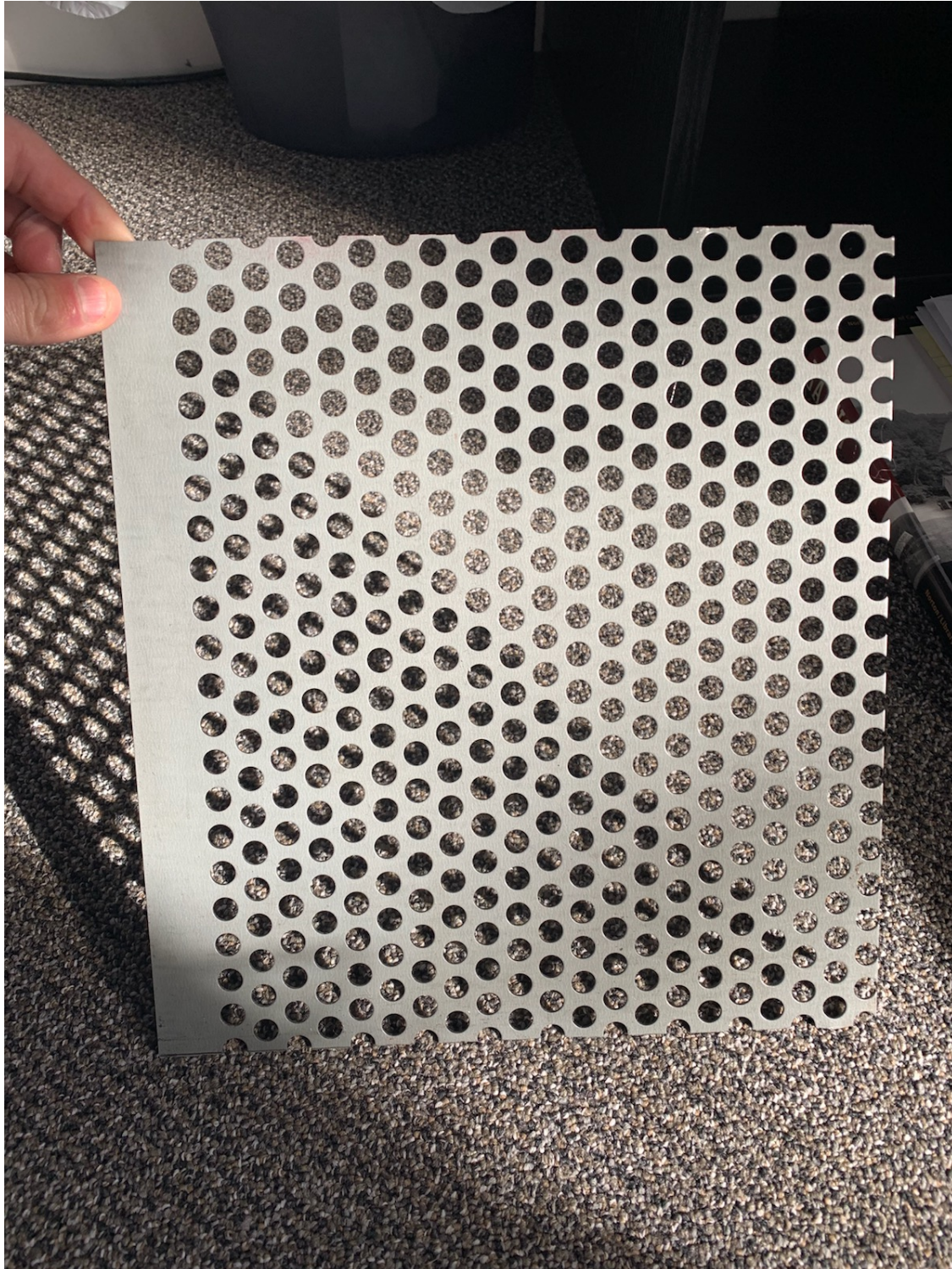
Installation

Can be installed over an open purlin system or a solid substrate.

Use bead mastic on the overlap if used for a roofing application.



Perforated ZALMAG panels (grey)



Stonewood Panels / Siding (color unknown)

About Stonewood Panels

- Solid phenolic panels for use as open joint exterior cladding or interior wall covering
- **Manufactured by Fibersin in Wisconsin, USA**
- Exceptional product quality and competitive pricing
- Reliable, on-time delivery
- **Low minimum orders**

Cladding Built to Last

- Non-porous surface, easy to clean; graffiti and scratch resistant
- Simplified long-term maintenance, replace singular panels as required
- Highly impact resistant, ideal choice for heavy traffic areas
- Available with Class A or B fire rating
- **Passed stringent NFPA 285 Standard Fire Test for wall assemblies.**
- Standard and custom thicknesses available
- In-house routers can shape panels to specific sizes and shapes
- UV resistant
- Standard ten (10) year warranty

Panels for Every Purpose

- **Division 07-42 Solid Phenolic Exterior Wall Cladding**
- **Division 09 Finishes (Interior)**
- Suited for all construction types: commercial, hospitality, mixed-use, municipal, multi-family, healthcare and institutional
- Interior panels optimized for use as elevator panels, soffits, entryways, lobbies, common areas and more

Straightforward Installation and Attachment

- **Attach using non-proprietary exposed fastener systems (exterior) or threaded fasteners (interior)**
- On-site or factory fabrication options
- Self-edging or traditional edge treatments

Environmentally Responsible

- Proudly offered with Forest Stewardship Council® certification
- Production energy sourced from in-house scrap materials
- Kraft fibers extracted from sustainability-managed forests
- BIFMA® level certified manufacturing facility

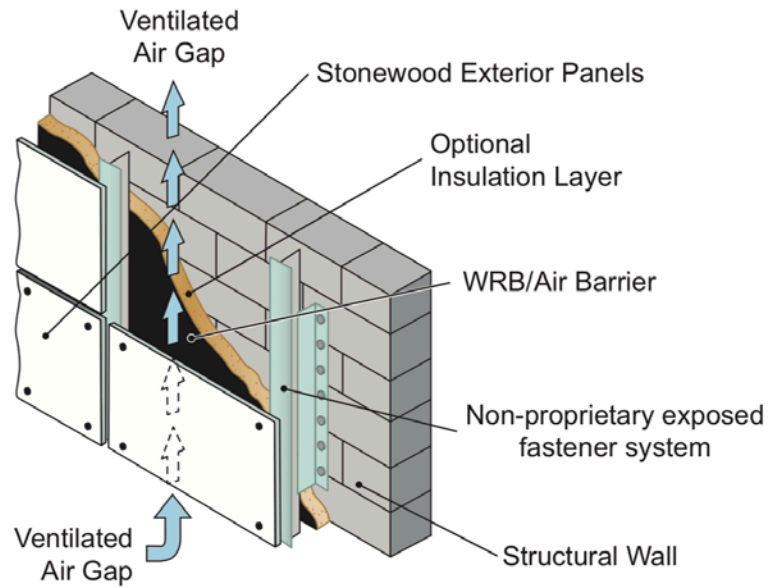
Outstanding Customer Service

- Wisconsin-based customer service available via phone 7:30am – 4pm CST

- Quick sample turnaround
- Mock-up materials available
- Local representation in most states

<http://stonewoodpanels.com/home/about-stonewood>

Phenolic Exterior Wall Cladding



SECTION 07 42 43 COMPOSITE WALL PANELS

See pages following for design intent imagery for materials used on previous projects.



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PROPOSED EXTERIOR LIGHTING SPECIFICATIONS.



ARIA 2300KZ-LED

BUCKEYE BRONZE

WIDTH:	5.0"
HEIGHT:	15.5"
WEIGHT:	1.0 LBS
MATERIAL:	ALUMINUM
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	8.3"
SOCKET:	1-5W DSLG-40 *INCLUDED
DARK SKY:	YES
LED INFO:	
LUMENS:	400
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	5w
INCANDESCENT EQUIVALENCY:	40w
DIMMABLE:	No
EXTENSION:	6.8"
TTO:	5.0"
CERTIFICATION:	C-US WET RATED
UPC:	640665230062

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

*life*AGLOW®



LUNA LED STEP 120V 58504MZ	
MATTE BRONZE	

WIDTH:	3.0"
HEIGHT:	4.5"
WEIGHT:	0.7 LBS
MATERIAL:	CAST BRASS
SOCKET:	1-4W LS-20 *INCLUDED
LED INFO:	
LUMENS:	240
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	4w
INCANDESCENT EQUIVALENCY:	20w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
NOTES:	CAST BRASS FACEPLATE. ZINC ALUMINUM ALLOY HOUSING.
EXTENSION:	0.5"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665585155

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FREDRICK RAMOND | LANDSCAPE LIGHTING

WHERE TO BUY | LIVE HELP | WISH LIST

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OUTDOOR LIGHTING

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> **SHOW ME** Lighting I Will Love

Product Catalog > LED Outdoor

ZOOM



ARIA 2302KZ-LED

Like 0

Dimensions + Resources

View Full Collection

2302KZ-LED

Width:	5.0"
Height:	19.3"
Material:	Aluminum
Canopy:	6" Dia.
Socket:	1-5w DSLG-40 *Included
Dark Sky:	Yes
LED Info:	
Lumens:	400
Color Temp:	2700k
CRI:	90
LED Wattage:	5w
Incandescent Equivalency:	40w
Dimmable:	No
Max Height:	51.5"
Leadwire:	120.0"
Down Rods:	1-6", 2-12"
Certification:	C-US Damp Rated

View More (+)

RESOURCES

- + Find a Local Showroom
- + Lighting Made Simple Worksheet
- + Order a Finish Sample
- + Spec Sheet
- + Assembly Instructions
- + Share with a Friend

+ Add To Compare

+ Add to Wishlist



Alternate Images



Finish Options

Related Products



ARIA 2302KZ-LED

BUCKEYE BRONZE

WIDTH:	5.0"
HEIGHT:	19.3"
MATERIAL:	ALUMINUM
CANOPY:	6" DIA.
SOCKET:	1-5W DSLG-40 *INCLUDED
DARK SKY:	YES
LED INFO:	
LUMENS:	400
COLOR TEMP:	2700k
CRI:	90
LED WATTAGE:	5w
INCANDESCENT EQUIVALENCY:	40w
DIMMABLE:	No
MAX HEIGHT:	51.5"
LEADWIRE:	120.0"
DOWN RODS:	1-6", 2-12"
CERTIFICATION:	C-US DAMP RATED
UPC:	640665230260

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*life*AGLOW®



LOT 6, BLOCK 34 660 1st AVENUE, KETCHUM, IDAHO



LOT 6, BLOCK 34 660 1st AVENUE, KETCHUM, IDAHO



1. THE WORK INCLUDED UNDER THIS CONTRACT IS FOR THE DEVELOPMENT OF A TRANSPORTATION TOOLS & EQUIPMENT

1. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS & EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.
2. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATION, AIA GENERAL CONDITIONS DOCUMENT A-201, 1988 EDITION, REPRESENT THE CONTRACT DOCUMENTS.
3. THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES.
4. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CLIENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT & COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES & SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
6. THE GENERAL CONTRACTOR SHALL VERIFY & ASSUME RESPONSIBILITY FOR ALL DIMENSIONS & SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES & TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSAL. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH EXAMINATION.
7. WRITTEN DIMENSIONS TAKE PRECEDENCE. **DO NOT SCALE DRAWINGS.**
8. ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF EXTERIOR WALL SHEATHING, FACE OF CMU, OR FACE OF INTERIOR STUD, U.N.O.
9. ALL DIMENSIONS ARE TO TOP OF FINISHED FLOOR IN SECTION OR ELEVATION, U.N.O.
10. THE GENERAL CONTRACTOR SHALL REVIEW ALL BUILDING DIMENSIONS FOR ACCURACY PRIOR TO LAYING OUT ANY PORTION OF BUILDING ON SITE, & SHALL NOTIFY THE ARCHITECT WELL IN ADVANCE OF ANY DISCREPANCIES OR ERRORS.
11. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, WATER LINES, SEWER & STORMWATER LINES, GAS LINES, ETC.

12. THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN, INCLUDING TREES & SHRUBS, PAVING, FENCES, WALLS, ETC.
13. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
14. VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS PRIOR TO THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
15. INSTALL ALL EQUIPMENT & MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
16. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. PRIOR TO ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
17. SEALANT, CAULKING & FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS & STANDARD INDUSTRY & BUILDING PRACTICES.
18. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, & WASTE MATERIAL ON A REGULAR BASIS OF ALL SUBCONTRACTORS & TRADES, & SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS INSIDE OR OUTSIDE THE JOB SITE.
19. THE GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL EQUIPMENT, CASEWORK, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
20. FOR ALL FINISHES AT FLOORS, WALLS, & CEILINGS, REFER TO CLIENT.
21. DRIVEWAY ORIENTATION, HARDSCAPE, & LANDSCAPE ARE DESIGN/BUILD UNDER THE DIRECT SUPERVISION OF THE GENERAL CONTRACTOR INCLUDED UNDER THIS CONTRACT. FOLLOW LANDSCAPE & ARCHITECTURAL DRAWINGS WHERE APPROPRIATE FOR DESIGN INTENT.
22. THE GENERAL CONTRACTOR SHALL ADHERE TO ALL APPLICABLE BUILDING CODES, AS WELL AS CITY, COUNTY, & STATE BUILDING REGULATIONS. ALSO ADHERE TO O.S.H.A GUIDELINES.

[illegible]

LEGAL OWNER	GALENA PEAK PARTNERS, LLC
OWNER'S ADDRESS	660 1st AVENUE KETCHUM, ID 83340

CODE	2012 IBC
ZONING	CC2: COMMUNITY CORE (2)
SETBACKS	
FRONT YARD	5' AVERAGE
SIDE YARD	0' INTERIOR (5' PROPOSED ON SOUTH)
REAR YARD	3' (ALLEY)

HT LIMITATION	42' (PROPOSED 38'-0")
USE OCCUPANCY	RESIDENTIAL: GROUP R-2
CONST. TYPE	V-B (SPRINKLED)

CODE COMPLIANCE: IBC 2012
IRC 2012
IECC 2012
CMEC 2012
IPMC 2012
IFC 2012

PROVIDE REQUIRED UNDER FLOOR VENTING/
RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDER FLOOR VENTING
MOLD MITIGATION AS REQUIRED.

PROVIDE UNDER FLOOR (CRAWL SPACE)
VENTILATION OF 1 SF PER 150 SF OF FLOOR
AREA

FLOOR LIVE LOAD: 100 PSF, 40 PSF RESIDENTIAL
 ROOF LIVE LOAD: 100 PSF (SNOW LOAD)
 SEISMIC ZONE: D
 WIND LOADS: 115 MPH 3 SECOND GUST (ULT)
 CATEGORY II
 IMPORTANCE FACTOR = I

SITE AREA	5,500 SF
PROPOSED 1st FLR AREA	3,763 SF
PROPOSED 2nd FLR AREA	4,245 SF
PROPOSED 3rd FLR AREA	4,121 SF
PROPOSED DECK / PATIO AREA	1,024 SF
NET RESIDENTIAL AREA	9,247 SF
<u>TOTAL GROSS RESIDENTIAL AREA</u>	<u>12,129 SF</u>

GENERAL	
A0.0	PROJECT DATA / GENERAL NOTES / INDEX
A0.1	DOOR & WINDOW SCHEDULE
A0.2	DOOR & WINDOW SCHEDULE
A0.3	DOOR & WINDOW SCHEDULE
A0.4	DOOR & WINDOW SCHEDULE
A0.5	EXTERIOR 3D MODEL VIEWS
A0.6	EXTERIOR 3D MODEL VIEWS
A0.7	EXTERIOR MATERIALS & COLORS SAMPLE BOARD
A0.8	STAGING AND CONTRACTOR PARKING PLAN
A0.9	CODE ANALYSIS
A0.10	CODE ANALYSIS
A0.11	CODE ANALYSIS - EXITING PLAN
A0.12	RES-CHECK (GREENWORKS)

SURVEY PLAN	
C	TOPOGRAPHICAL & SITE INFORMATION
C-1	SITE AND UTILITY PLAN (GALENA ENG.)
C-2	DETAILS (GALENA ENG.)

LANDSCAPE	
L0.0	LANDSCAPE PLAN
L1.0	LANDSCAPE PLANTING SCHEDULE

ARCHITECTURAL	
D1.1	DEMOLITION SITE PLAN
A1.1	ARCHITECTURAL SITE PLAN
A1.2	SITE PLAN
A2.0	BASEMENT LEVEL MECH. PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN
A2.4	DIMENSIONED FIRST FLOOR PLAN
A2.5	DIMENSIONED SECOND FLOOR PLAN
A2.6	DIMENSIONED THIRD FLOOR PLAN
A2.7	ROOF PLAN
A2.8	FIRST FLOOR FINISHES PLAN
A2.9	SECOND FLOOR FINISHES PLAN
A2.10	THIRD FLOOR FINISHES PLAN
A2.11	ISOLATED PLAN - 2 BEDROOM UNITS
A2.12	ISOLATED PLAN - 1 BEDROOM STUDIO UNITS
A2.13	ISOLATED PLAN - PENTHOUSE UNITS
A2.14	REFLECTED CEILING PLAN - 1st FLOOR
A2.15	REFLECTED CEILING PLAN - 2nd FLOOR
A2.16	REFLECTED CEILING PLAN - 3rd FLOOR
A3.1	EXTERIOR ELEVATIONS (NORTH & EAST)
A3.2	EXTERIOR ELEVATIONS (SOUTH & WEST)
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A5.1	WALL SECTIONS & DETAILS
A5.2	WALL SECTIONS & DETAILS
A5.3	WALL SECTIONS & DETAILS
A5.4	DETAILS
A5.5	DETAILS
A7.1	INTERIOR ELEVATIONS
A7.2	INTERIOR ELEVATIONS
A7.3	INTERIOR ELEVATIONS
A7.4	INTERIOR ELEVATIONS
A7.5	INTERIOR ELEVATIONS
A7.6	INTERIOR ELEVATIONS
A7.7	INTERIOR ELEVATIONS
A7.8	INTERIOR ELEVATIONS
A7.9	INTERIOR ELEVATIONS
A7.10	INTERIOR ELEVATIONS

A8.1 CASEWORK UNIT #101
A8.2 CASEWORK UNIT #101
A8.3 CASEWORK UNIT #101
A8.4 CASEWORK UNIT #102
A8.5 CASEWORK UNIT #102
A8.6 CASEWORK UNIT #201
A8.7 CASEWORK UNIT #201
A8.8 CASEWORK UNIT #201
A8.9 CASEWORK UNIT #202
A8.10 CASEWORK UNIT #203
A8.11 CASEWORK UNIT #203
A8.12 CASEWORK UNIT #301
A9.1 STAIR DETAILS

STRUCTURAL

S 0.00 STRUCTURAL INDEX, LEGENDS & SPECIFICATIONS
S 0.01 STRUCTURAL MATERIAL SPECIFICATIONS
S 1.01 FOUNDATION PLAN
S 1.01S SHEAR WALLS PLAN
S 1.02 SECOND FLOOR FRAMING PLAN
S 1.02S SECOND FLOOR SHEAR WALL PLAN
S 1.03 ROOF FRAMING PLAN
S 2.01 CONCRETE FOUNDATION PLAN
S 2.02 CONCRETE SLAB
S 2.03 CONCRETE REINFORCING - TYP DETAILS
S 2.41 WOOD WALL, HEADER, BEAM - DETAILS
S 2.42 WOOD DECK, JOIST, TRUSS - SCHEDULES & DETAILS
S 2.43 WOOD SHEARWALL - SCHEDULES & DETAILS
S 2.44 WOOD SHEARWALL - ALTERNATES
S 3.01 FOUNDATION DETAILS
S 3.11 FLOOR FRAMING DETAILS
S 3.12 FLOOR FRAMING DETAILS
S 3.21 ROOF FRAMING DETAILS

MECHANICAL	
M 0.0	MECHANICAL COVER SHEET
M 0.1	MECHANICAL COMMCHECK
M 2.1	1st FLOOR HVAC PLAN
M 2.2	2nd FLOOR HVAC PLAN
M 2.3	ROOF HVAC PLAN
M 3.0	HVAC SCHEDULES
P 0.0	PLUMBING COVER SHEET
P 1.0	MECHANICAL UTILITY PLAN
P 2.0	1st FLOOR UNDERGROUND PLUMBING PLAN
P 2.1	1st FLOOR ABOVE FLOOR WASTE & VENT PLAN
P 2.2	2nd FLOOR WASTE & VENT PLAN
P 2.3	1st FLOOR WATER & GAS PLAN
P 2.4	2nd FLOOR WATER & GAS PLAN
P 2.5	ROOF PLUMBING PLAN
P 3.0	PLUMBING SCHEDULES
P 4.0	PLUMBING DETAILS
P 4.1	PLUMBING DETAILS
E 0.0	ELECTRICAL COVER SHEET
E 0.1	ELECTRICAL SPECIFICATIONS
E 0.2	LIGHTING COMPLIANCE REPORT
E 1.0	ELECTRICAL SITE PLAN
E 1.1	ELECTRICAL SITE PHOTOMETRIC PLAN
E 2.0	1st FLOOR LIGHTING PLAN
E 2.1	2nd FLOOR LIGHTING PLAN
E 3.0	1st FLOOR POWER PLAN
E 3.1	2nd FLOOR POWER PLAN
E 4.0	ENLARGED ELECTRICAL PLANS
E 5.0	ELECTRICAL ROOF PLAN
E 6.0	ONE-LINE DIAGRAM & ELECTRICAL DETAILS
E 7.0	ELECTRICAL PANEL SCHEDULES
E 8.0	ELECTRICAL DETAILS

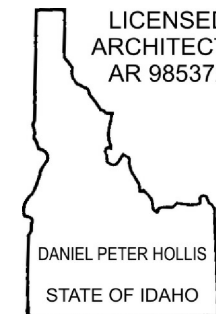
① — — — — — GRID NO.

	GRID NO.		WALL TYPE
	DOOR NO.		FIN. CLNG MAT.
	WINDOW NO.		FIN. FLR MAT.
	INTERCONNECTED, HARDWIRED, BATT. BACKUP SMOKE ALARM / DETECTOR		CEILING MOUNTED EXHAUST FAN
			ROOM NO. / ENLARGED PLAN & INT. ELEVATION SHEET NO.
	ELEV. KEY		ELEVATION MARKER
	SECT. KEY		
	INT. ELEV. KEY		



PO BOX 1769 [post]
SUN VALLEY, ID 83353
220 River St. E [courier]
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633



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OR UNDER MY SUPERVISION AND
CONSTRUCTION OF THIS PROJECT
WILL BE UNDER MY OBSERVATION

[illegible]

THE LOFTS @
660 1st AVE

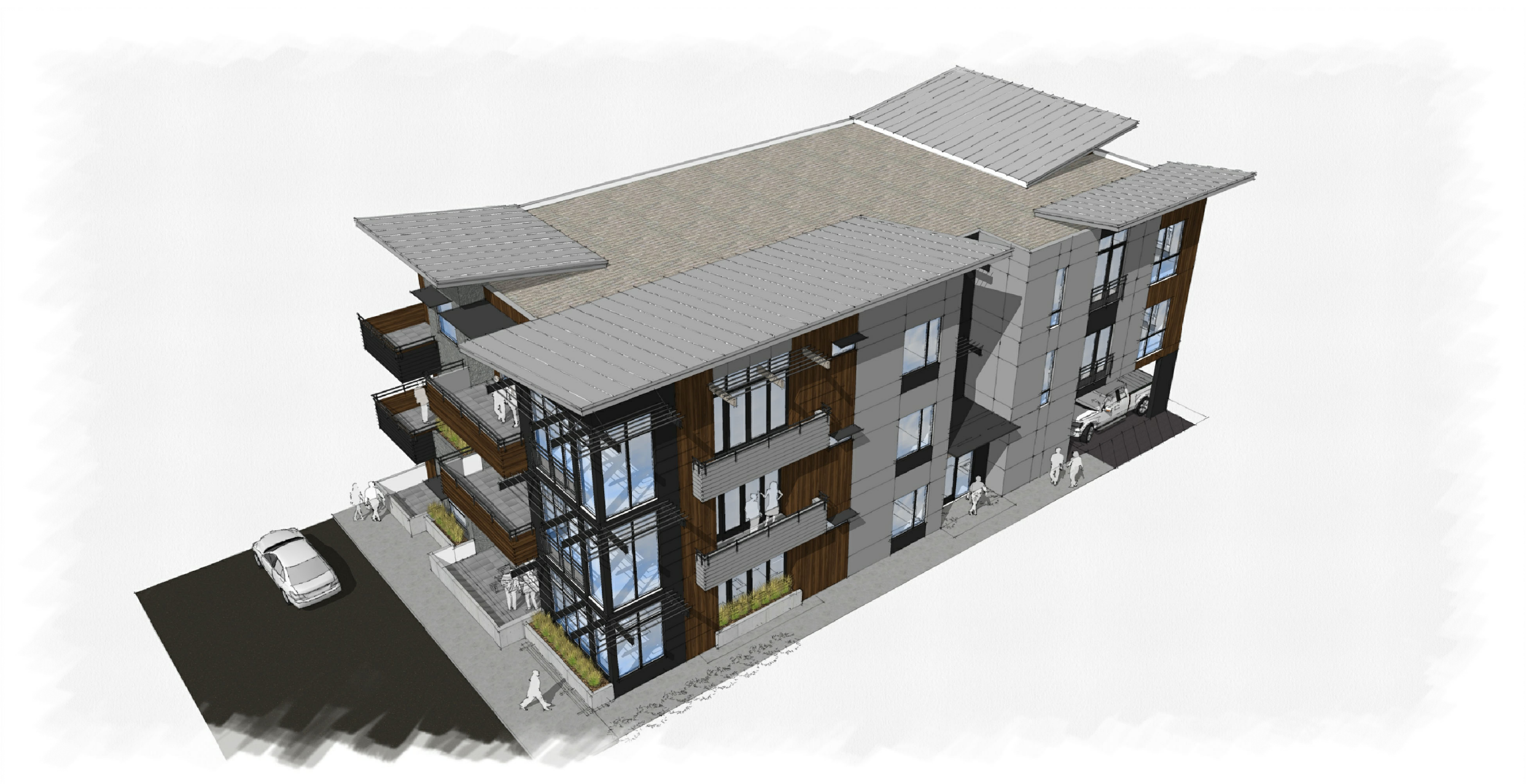
660 1st AVENUE,
KETCHUM, IDAHO

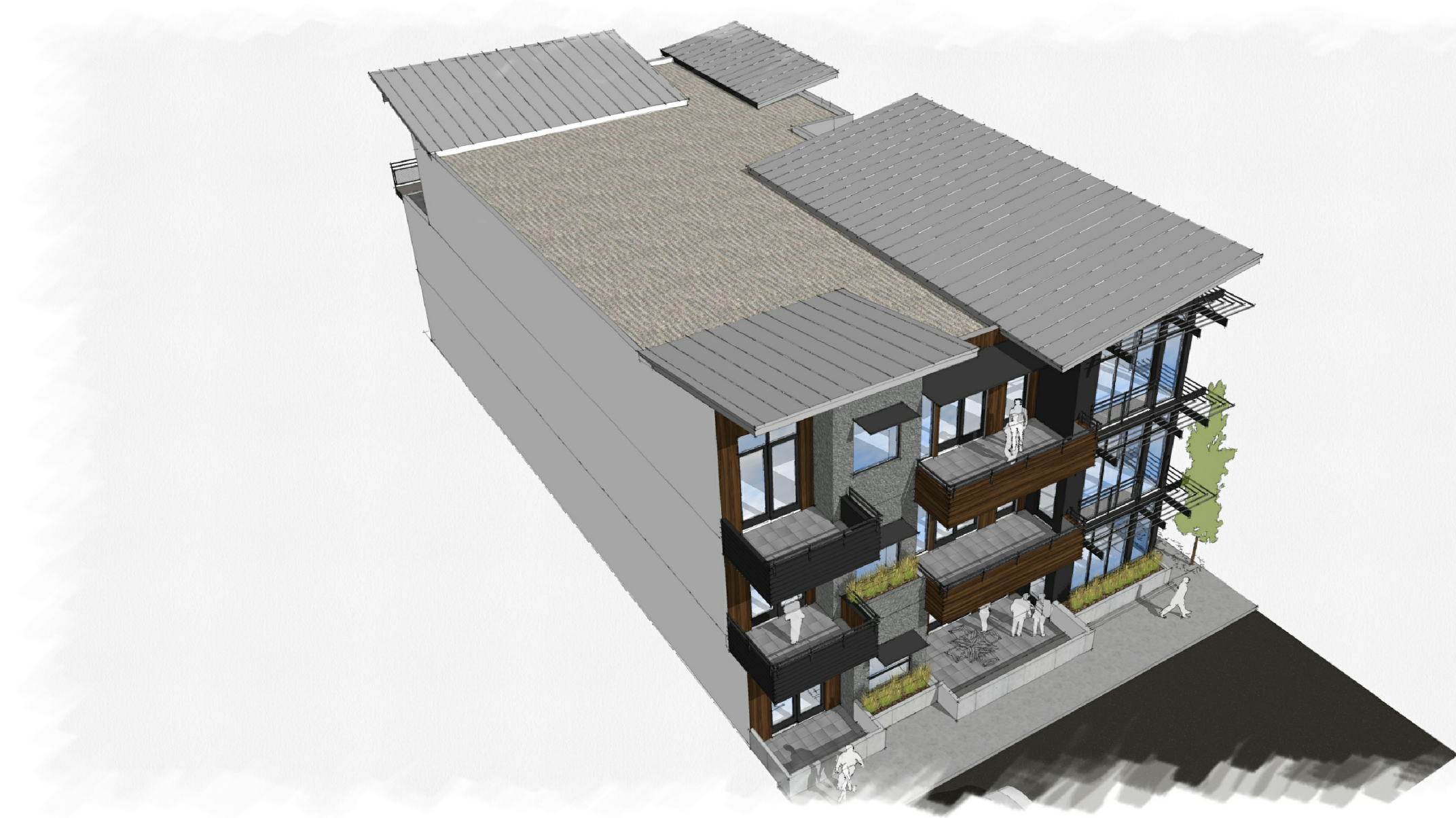
PROJECT DATA GENERAL NOTES

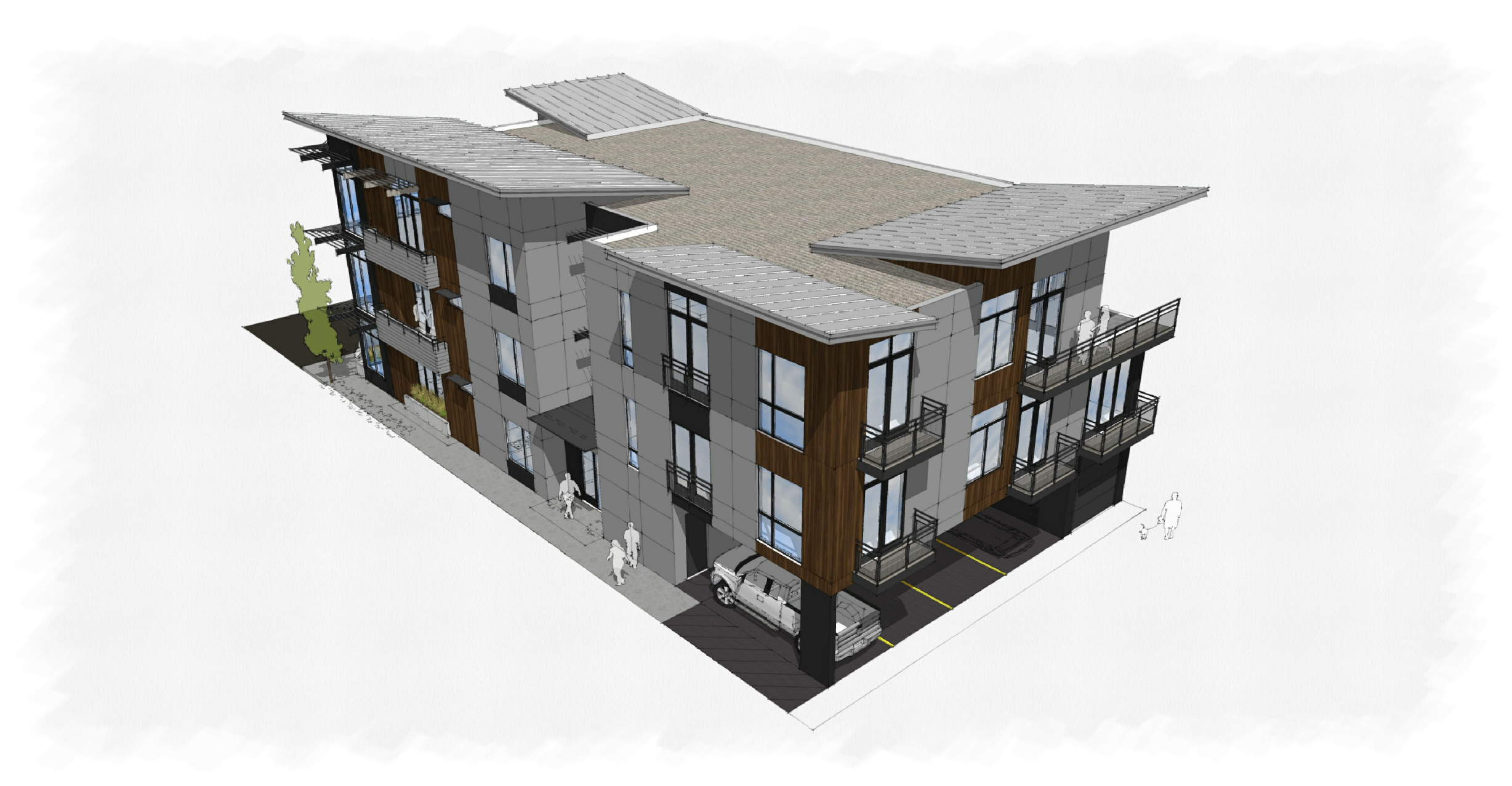
A
CATEGORY

0.0
SEQUENCE

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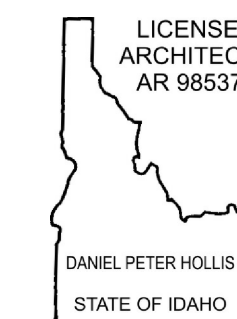






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220 River St. E [courier]
KETCHUM, ID 83343

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André Malraux

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[illegible]

THE LOFTS @
660 1st AVE

660 1st AVENUE,
KETCHUM, IDAHO

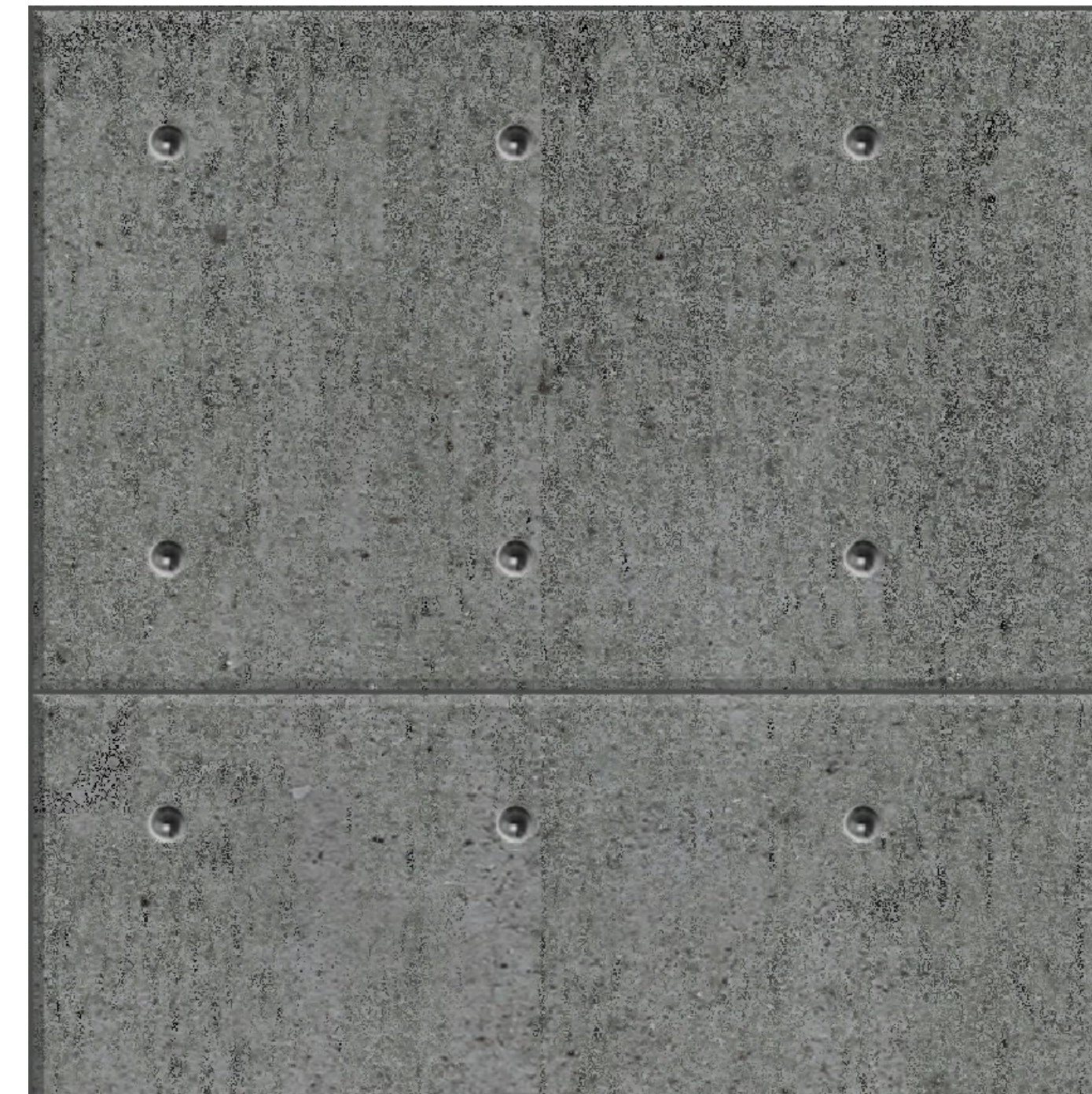
BUILDING
MASSING MODEL

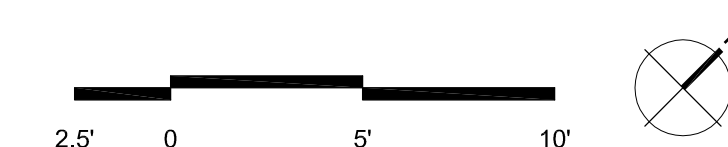
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CATEGORY

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SEQUENCE



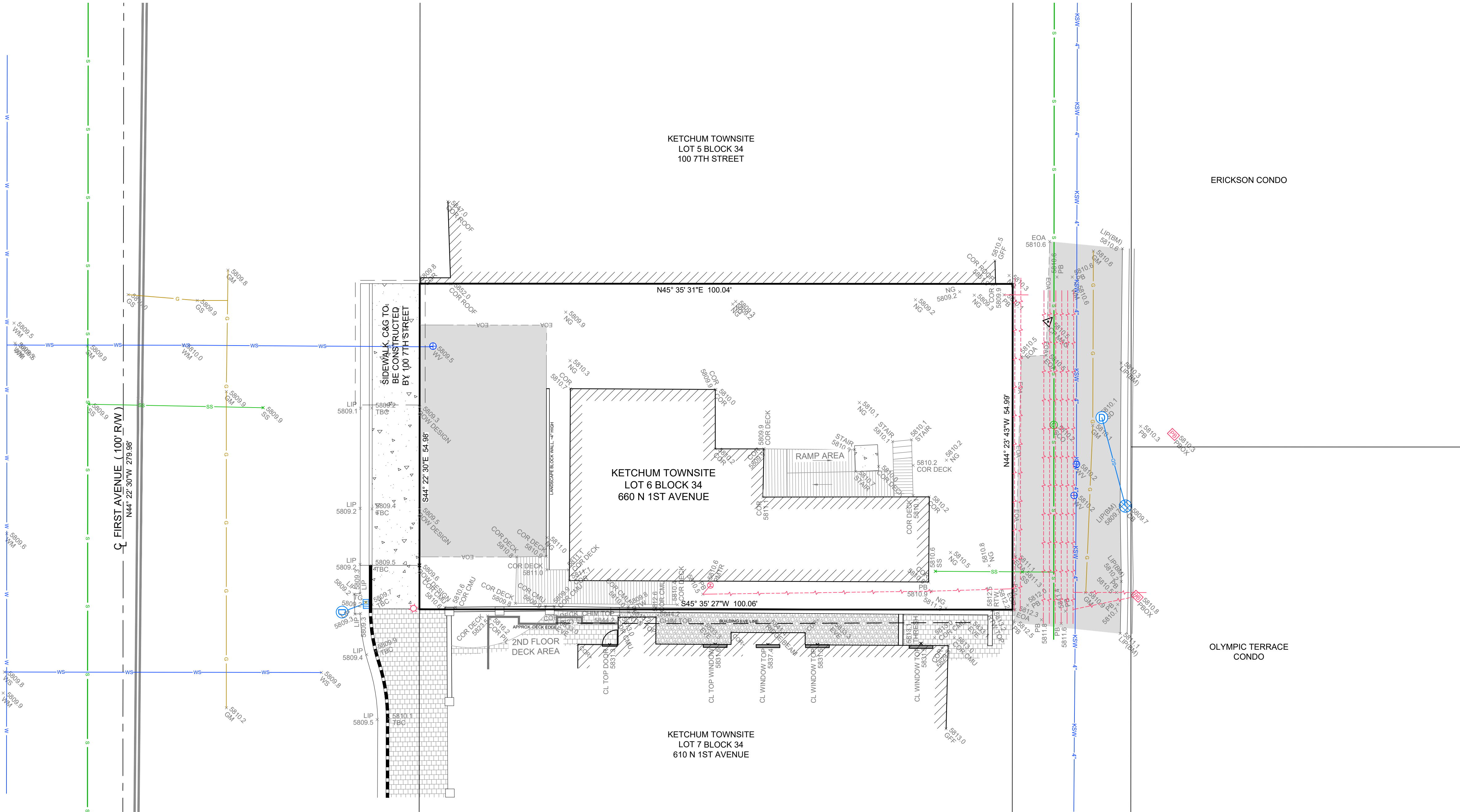
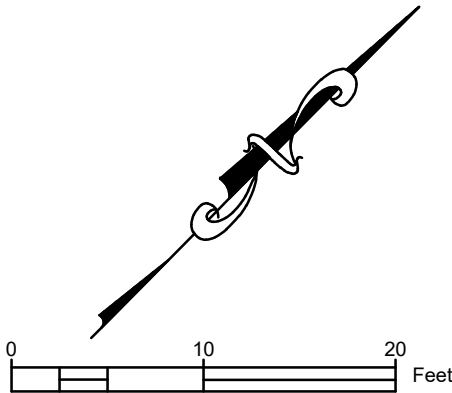


NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (06/11/19 & 6/18/19-1st Ave Curb and Gutter).
- Boundary information is based on Found Centerline Monumentation and the recorded plat of the Village of Ketchum, Inst. No. 302967, records of Blaine County, Idaho. A Record of Survey will be filed with Blaine County once the property corners are set after sidewalk construction.
- Underground utility locations are based on above ground appurtenances/ utilities visible at the time of the survey, and underground utility locates performed by Digline. Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

LEGEND

EXISTING ITEMS		
	Property Line	CHIM = Chimney
	Adjoiner's Lot Line	CL = Centerline
	Centerline	CMU = Concrete Masonry Unit
	CNTRL = Survey Control	COR = Corner
	6" Vertical Curb & Gutter	BOW = Back of Walk
	Zero Reveal Curb & Gutter	DESIGN = Not Constructed At Time of Survey
	Curb & Gutter Transition	EOA = Edge of Asphalt
	Roll Curb & Gutter	EOP = Edge of Pavers
	Building	FF = Finished Floor
	Edge of Asphalt	LIP = Lip of Gutter
	Concrete Sidewalk	NG = Natural Ground
	Pavers	RTW = Retaining Wall
	Gravel	TA = Top of Asphalt
	Street Centerline Paint	TBC = Top Back of Curb
	GM = Gas Main	WM = Watermain
	PB = Buried Power Line	
	Light	
	PBOX = Power Box	
	PMTR = Power Meter	
	Sewer Main	
	SS = Sewer Service	
	SCO = Sewer Cleanout	
	CB = Catch Basin	
	DWELL = Dry Well	
	WM = Water Main	
	KSW = Ketchum Spring Water Main	
	WS = Water Service	
	WV = Water Valve	
	2nd Floor Window, Top of Window Elevation	
	2nd Floor Door, Top of Door Elevation	



REVISIONS

NO. DATE BY

TOPO

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors

317 N. River Street
Hailey, Idaho 83433
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com

REUSE OF DRAWINGS
The drawings and information hereof shall not be used for any project or extensions of this project except by agreement in writing with Galena Engineering, Inc..

DESIGNED BY
SKE
CHECKED BY
MEP

A TOPOGRAPHIC SURVEY FOR

660 N 1ST AVE
LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GALENA PARTNERS, LLC

PROJECT INFORMATION
P:\sdsdpsg\1724dwg\10017724-TOPO.dwg 06/19/19 11:33:13 AM

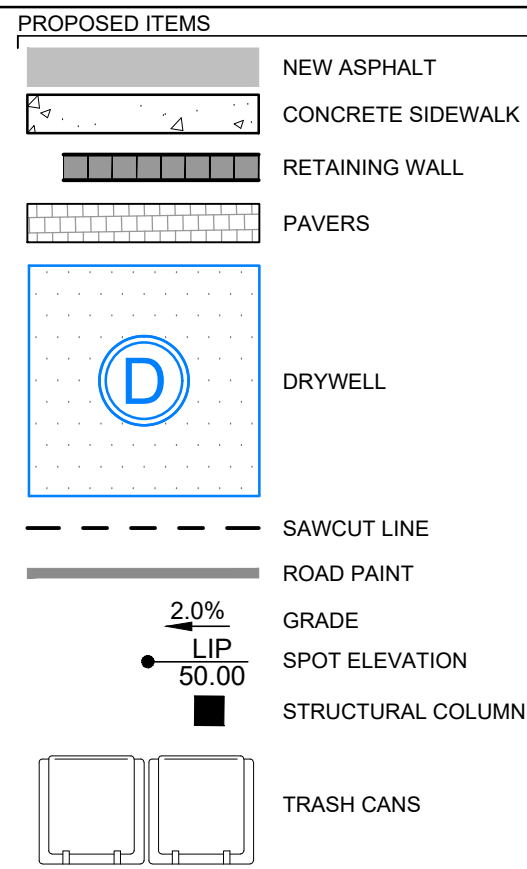
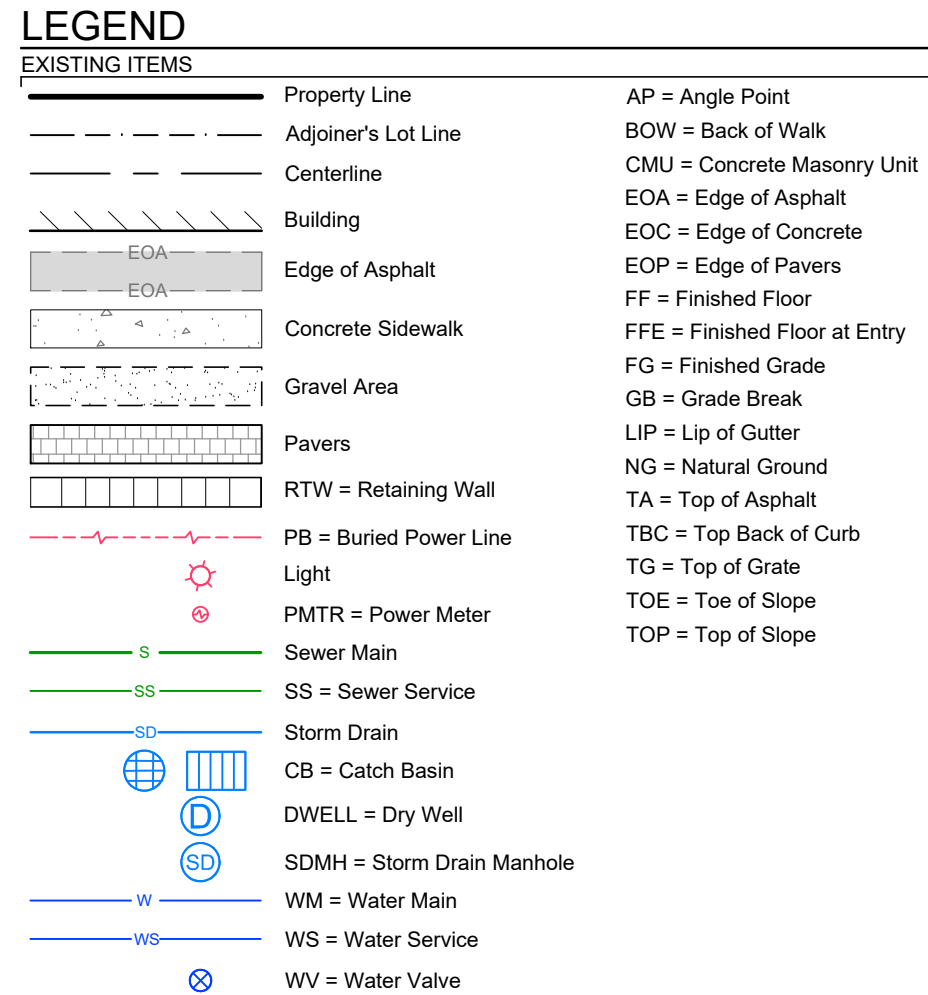
ERICKSON CONDO

OLYMPIC TERRACE CONDO

KETCHUM TOWNSITE
LOT 5 BLOCK 34
100 7TH STREET

KETCHUM TOWNSITE
LOT 6 BLOCK 34
660 N 1ST AVENUE

KETCHUM TOWNSITE
LOT 7 BLOCK 34
610 N 1ST AVENUE



C01 SAWCUT A MINIMUM OF 24" OF ASPHALT TO PROVIDE CLEAN VERTICAL EDGE.
REMOVE AND DISPOSE OF ASPHALT.

C02 CONSTRUCT ASPHALT ROADWAY OR PARKING AREA / ASPHALT REPAIR. SEE DETAIL 1 / C2.0.

C03 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 3 / C2.0.

C04 CONSTRUCT CONCRETE SIDEWALK WITHIN RIGHT-OF-WAY. SEE DETAIL 2 / C2.0.

C05 INSTALL ROAD STRIPING / PAINT
a. WHITE PARKING STRIPING (3" WIDE).
b. BLUE ADA PARKING STRIPING (3" WIDE) AND ADA SYMBOL.

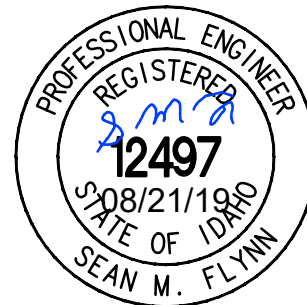
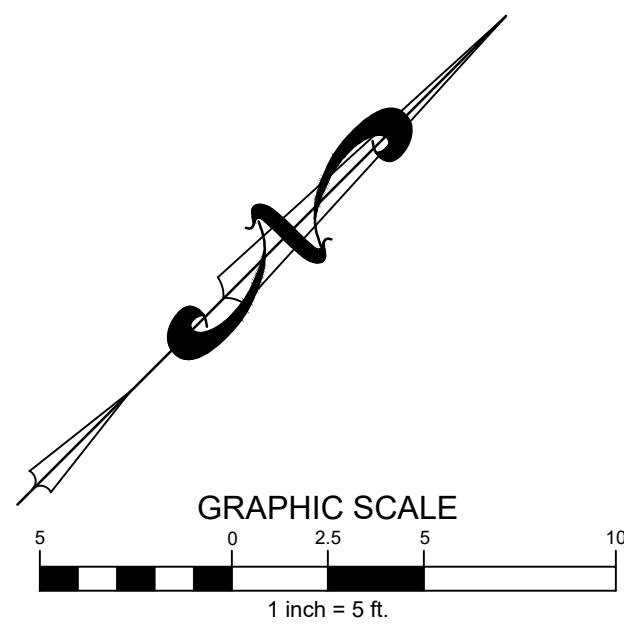
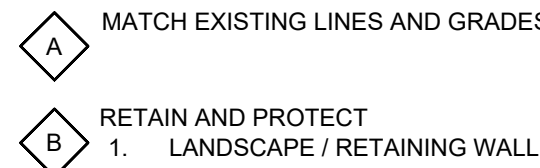
C06 CONSTRUCT DRYWELL. CONNECT ROOF DRAINS TO DRYWELL. SEE DETAIL 4 / C2.0
a. RIM = 5810.64

C07 REMOVE AND RESET PAVES.

C08 CONSTRUCT CONCRETE RETAINING WALL. SEE ARCHITECTURAL / STRUCTURAL PLANS FOR DETAILS. MATCH HEIGHT OF EXISTING ADJOINING WALL.

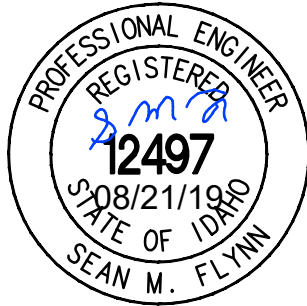
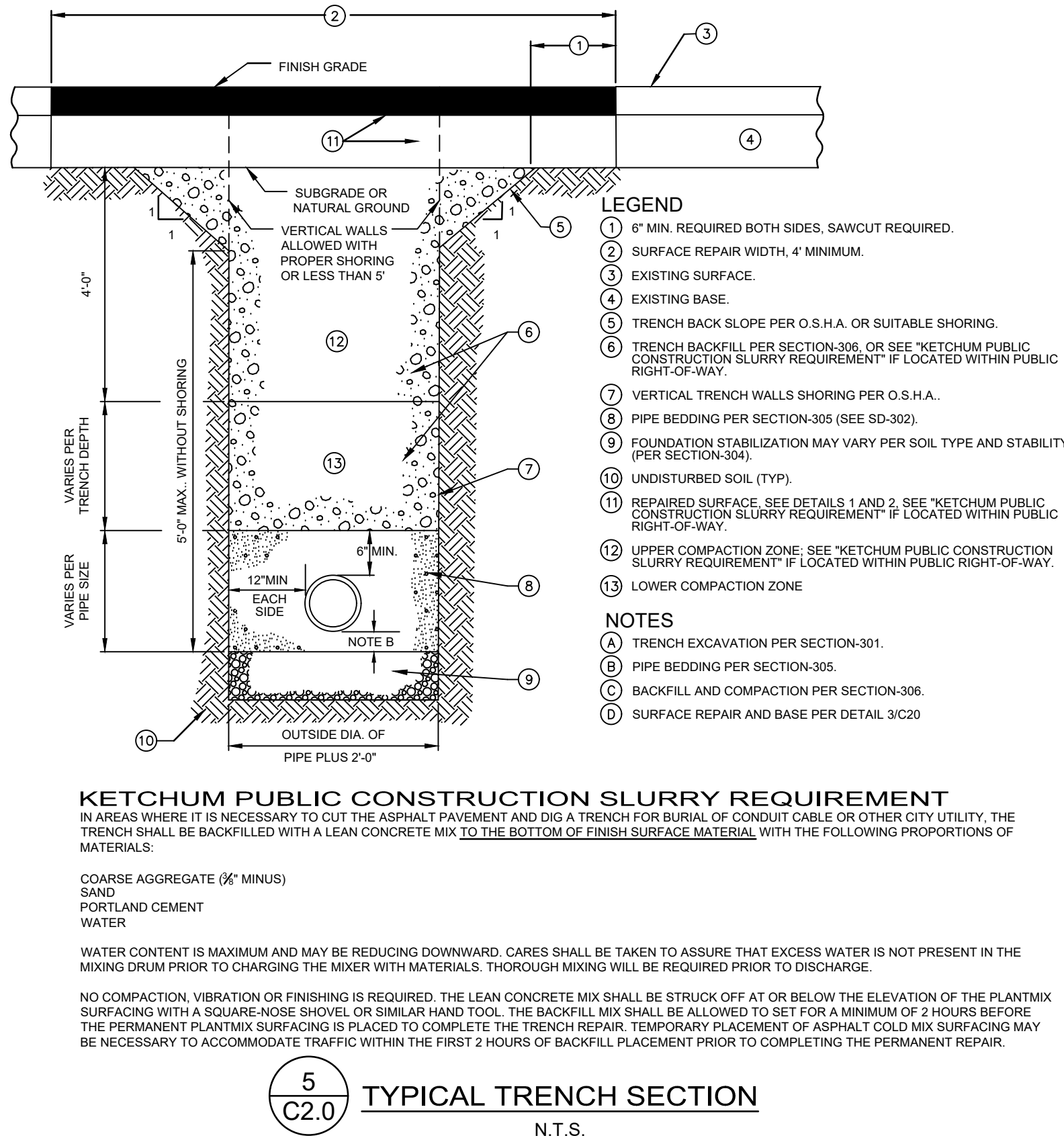
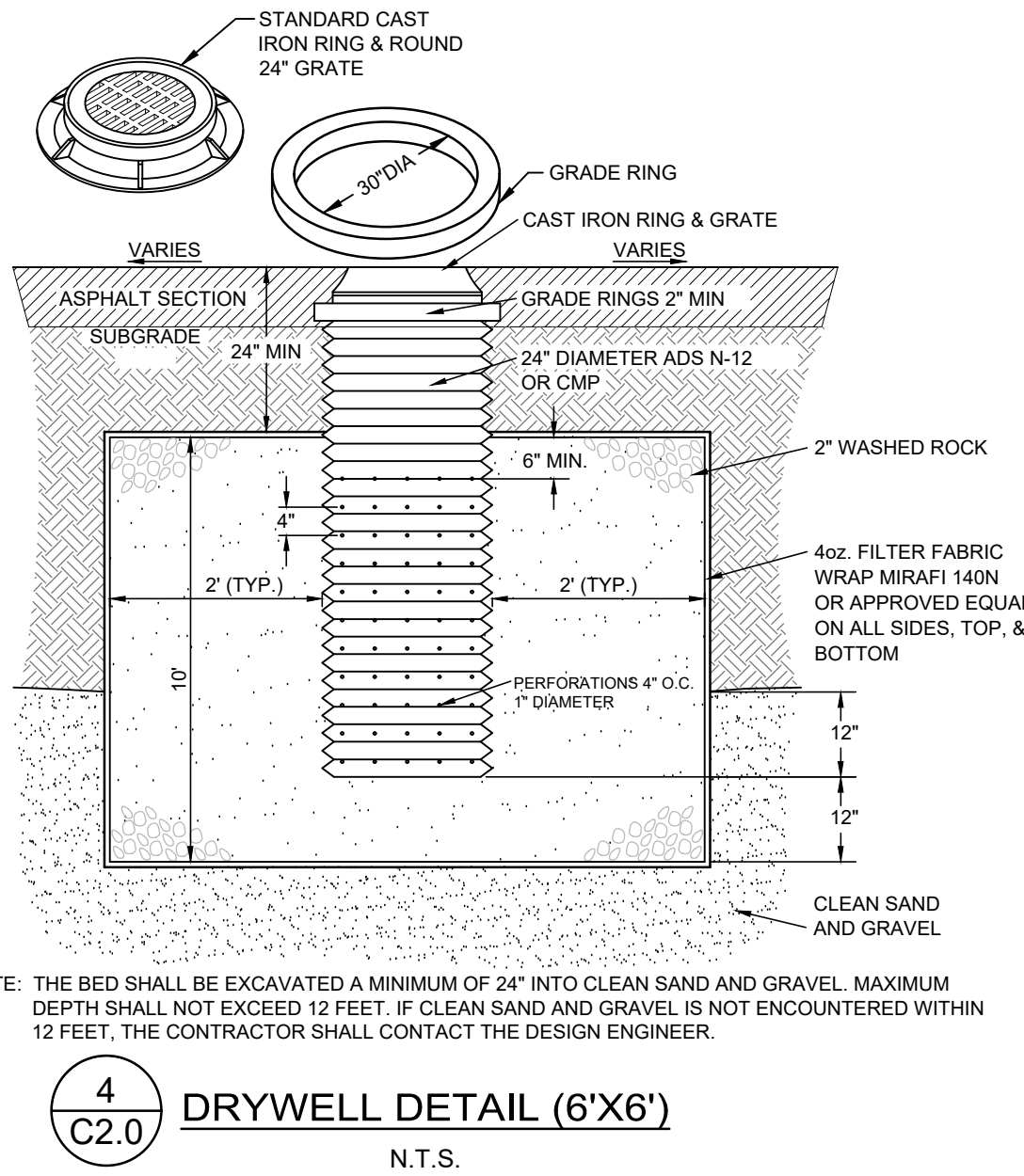
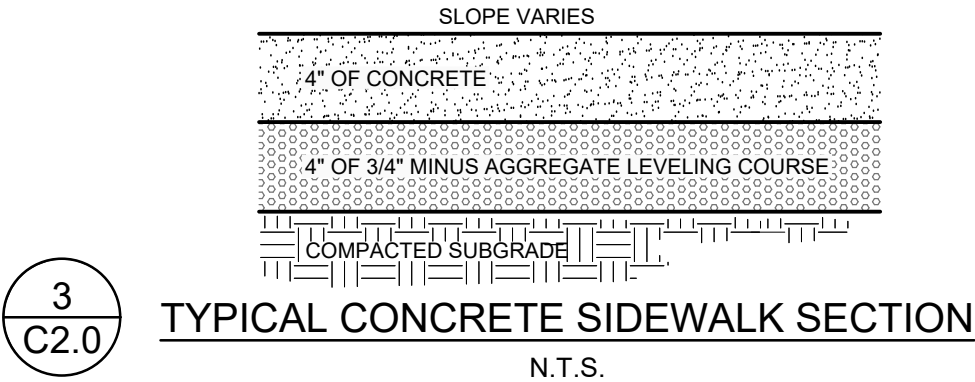
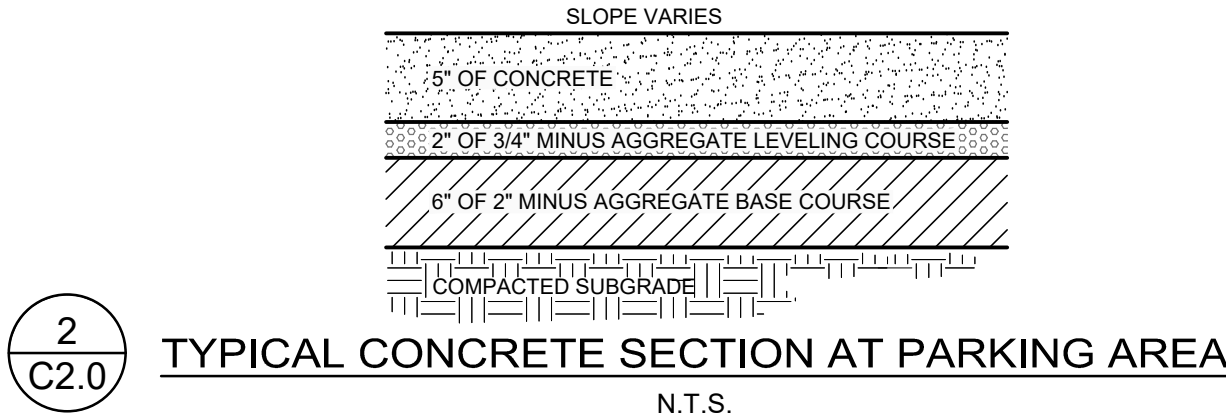
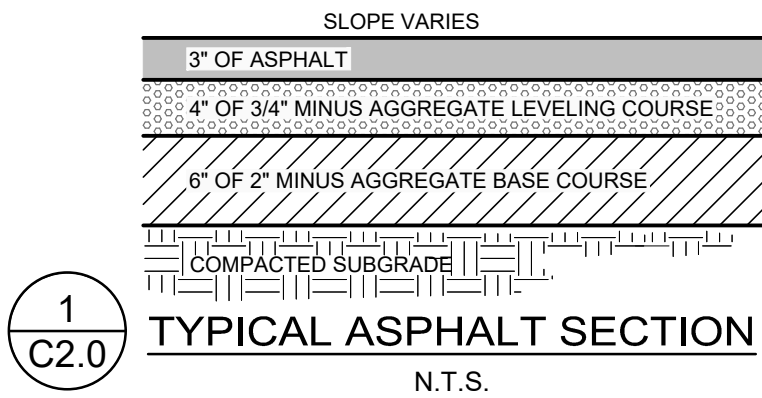
C09 PAINT ON THE GROUND SUGGESTS THERE ARE NO SEWER SERVICES TO THIS LOT.
CONTRACTOR TO CONFIRM WHICH SEWER SERVICE IS IN USE AND UTILIZE. IF ALLEY SERVICE IS USED, RELOCATE AS NECESSARY TO ENSURE STRUCTURAL LOAD OF COLUMN IS NOT PLACED ON SEWER PIPE.

C10 CONTRACTOR TO CONFIRM SIZE OF EXISTING WATER SERVICE.
- UTILIZE IF SIZE MATCHES THE REQUIREMENTS OF THE PLUMBING ENGINEER.
- IF SIZE DOES NOT MATCH THE REQUIREMENTS OF THE PLUMBING ENGINEER, CONTRACTOR TO LOCATE AND DISCONNECT WATER SERVICE AT WATER MAIN AND TURN OFF CURB STOP. INSTALL NEW WATER SERVICE PER PLUMBING ENGINEER WITH GATE VALVE AT WATER MAIN. CONTRACTOR SHALL NOTIFY KETCHUM WATER DEPARTMENT FOR AN INSPECTION PRIOR TO BACKFILLING. TRENCHING AND ROAD REPAIR SHALL CONFORM TO DETAIL 5 / C2.0.



CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE CITY DIG PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
12. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE KETCHUM STREET DEPARTMENT PRIOR TO WORKING WITH THE RIGHTS-OF-WAY.
13. ALL CONCRETE FORM WORK SHALL SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
14. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
15. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
16. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
17. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
18. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
19. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.

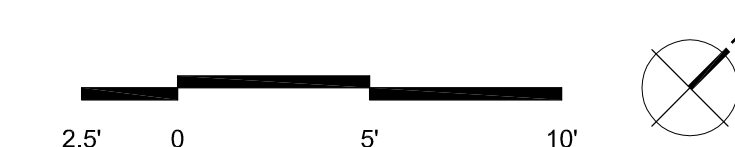


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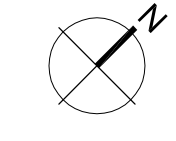
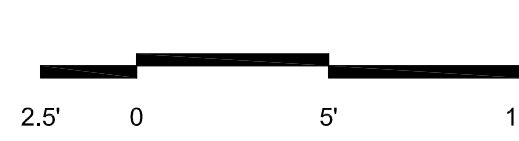
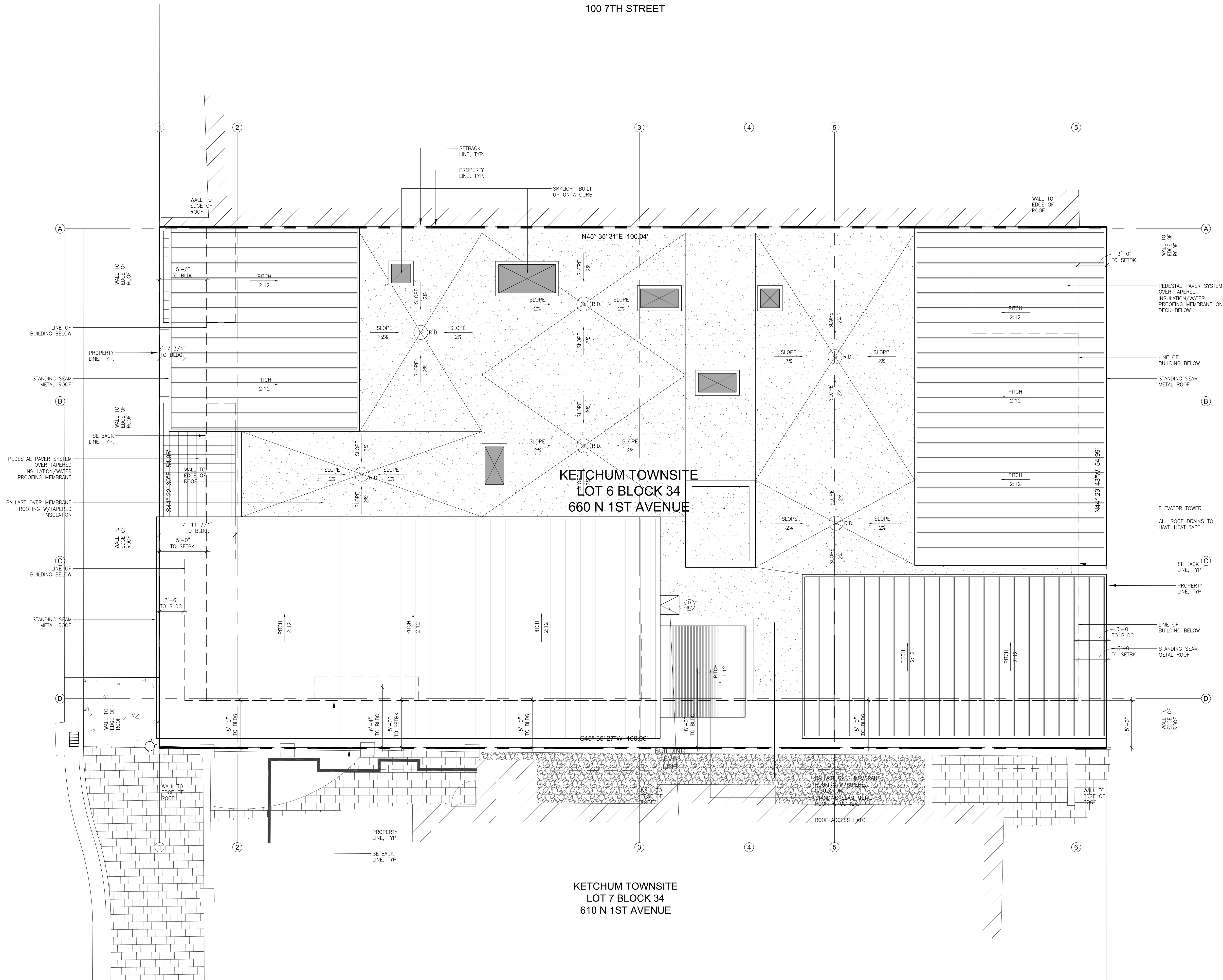
GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 788-1705
(208) 788-4612 fax
email: galena@galena-engineering.com

NO	DATE	BY	REVISIONS



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1 ARCHITECTURAL SITE PLAN - OVERALL
A1.2 SCALE: 1" = 5'

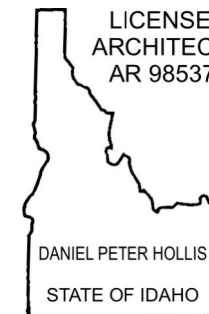


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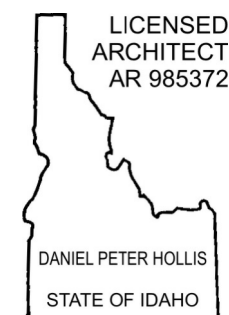
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SCHEMATIC	07/12/19
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CHECKED BY	DPH,JJR
DATE	06/10/19
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ARCHITECTURAL
SITE PLAN

A	1.2
CATEGORY	SEQUENCE



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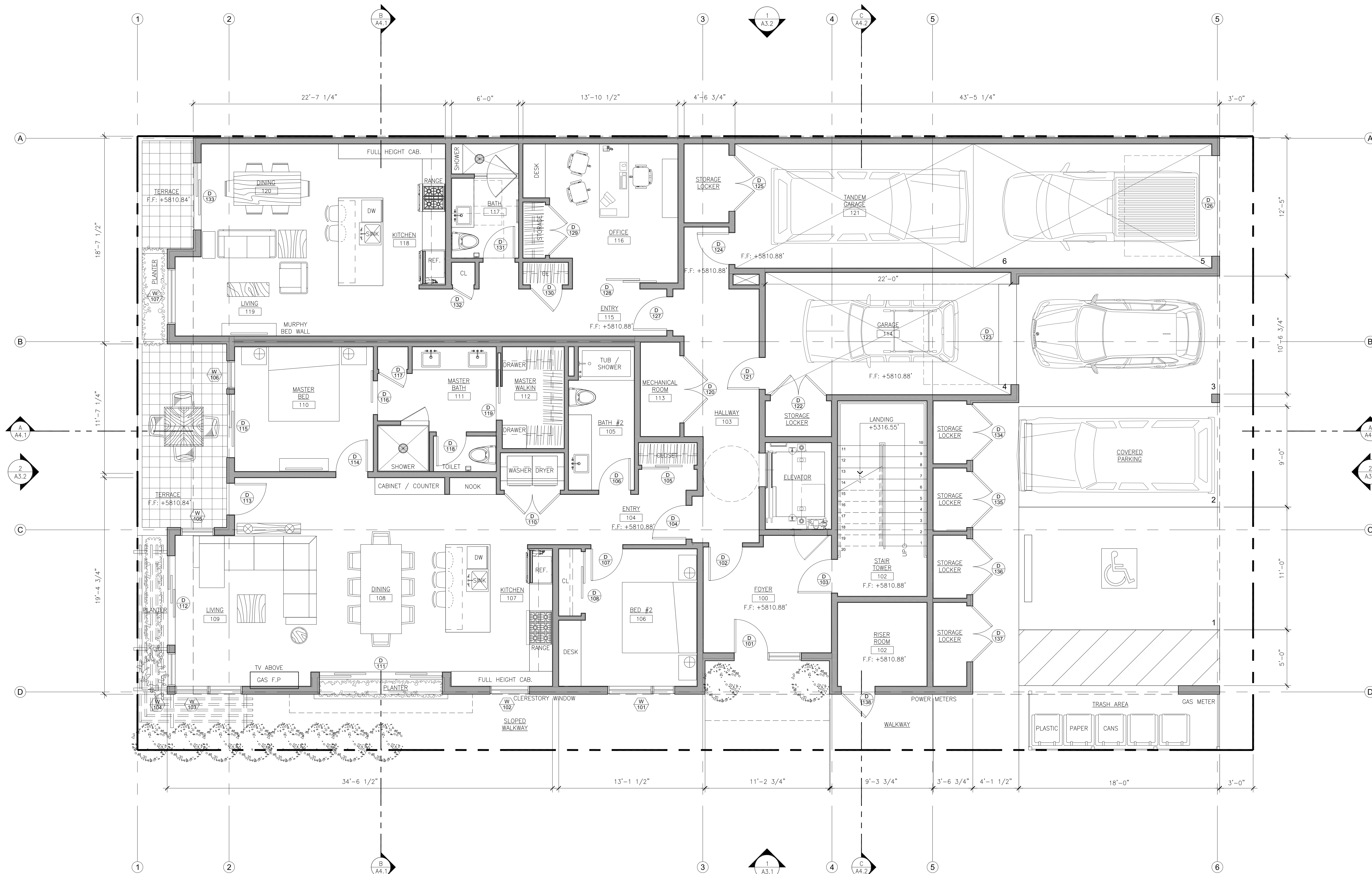
**THE LOFTS @
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**ARCHITECTURAL
FLOOR PLANS**

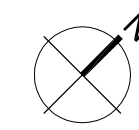
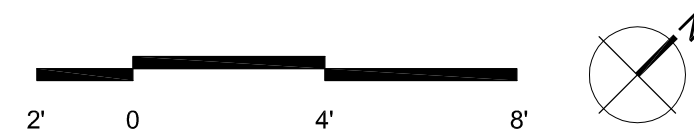
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CATEGORY

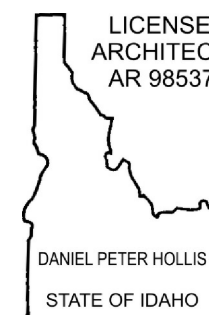
2.1
SEQUENCE



1 FIRST FLOOR PLAN
A2.1

SCALE: 1/4" = 1'-0"





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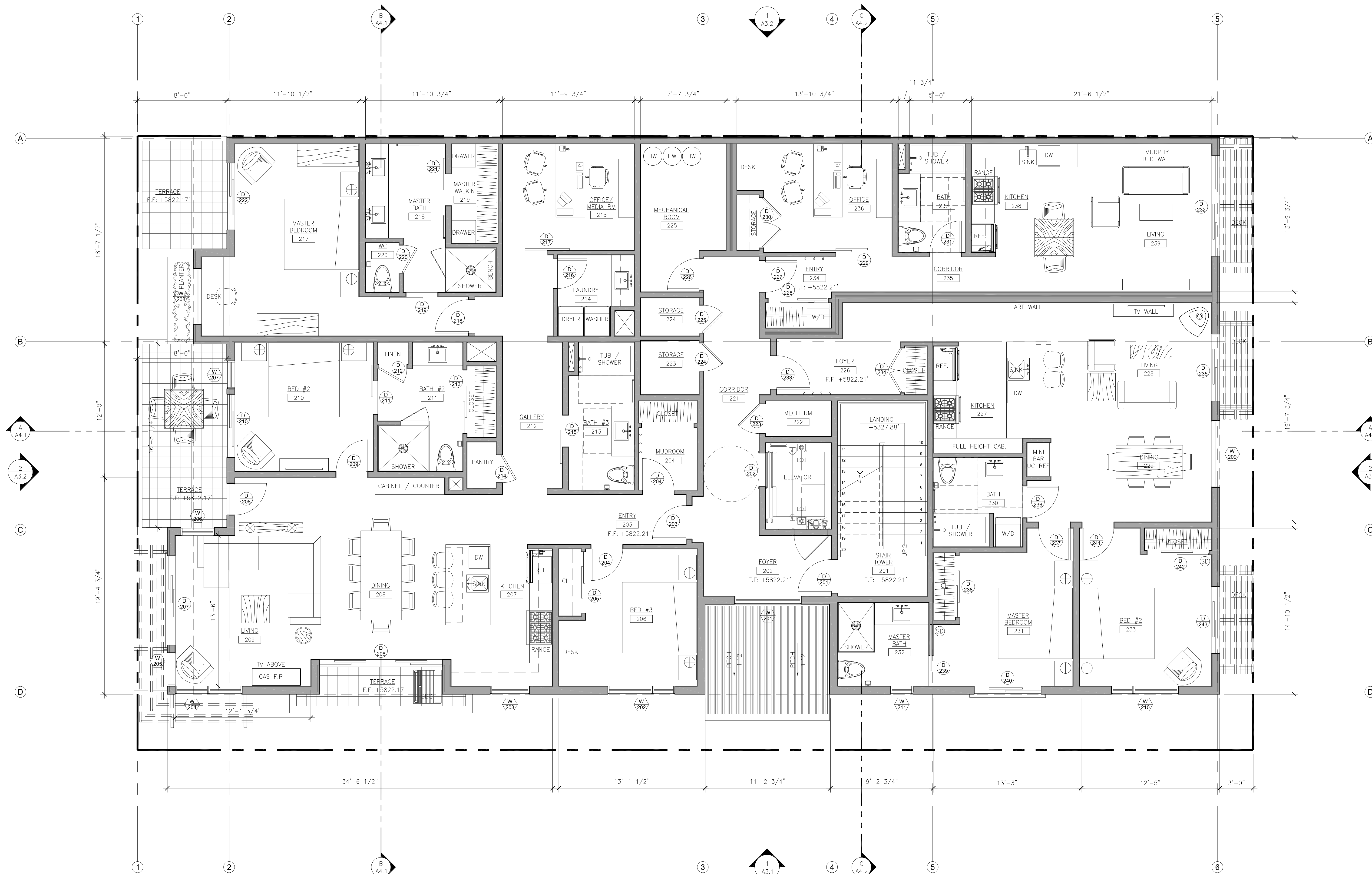
ARCHITECTURAL
FLOOR PLANS

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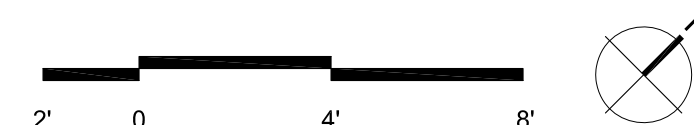
CATEGORY

2.2

SEQUENCE



1 SECOND FLOOR PLAN
A2.2 SCALE: 1/4" = 1'-0"



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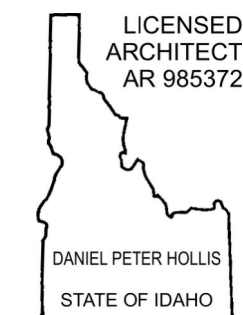
1 THIRD FLOOR PLAN
A2.3 SCALE: 1/4" = 1'-0"

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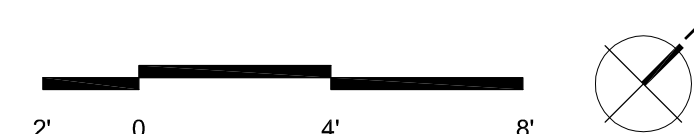
ARCHITECTURAL
FLOOR PLANS

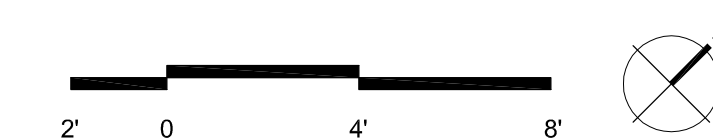
A

CATEGORY

2.3

SEQUENCE





SCALE: 1/4" = 1'-0"



2 EXTERIOR BUILDING ELEVATION-EAST
A3.1 SCALE: 3/16" = 1'-0"



1 EXTERIOR BUILDING ELEVATION-SOUTH

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ARCHITECTURAL
EXT. ELEVATIONS

A

3.1

CATEGORY

SEQUENCE



2 EXTERIOR BUILDING ELEVATION-WEST
A3.2 SCALE: 3/16" = 1'-0"

1 EXTERIOR BUILDING ELEVATION-NORTH



A	3.2
CATEGORY	SEQUENCE

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ARCHITECTURAL
EXT. ELEVATIONS

A	3.2
CATEGORY	SEQUENCE



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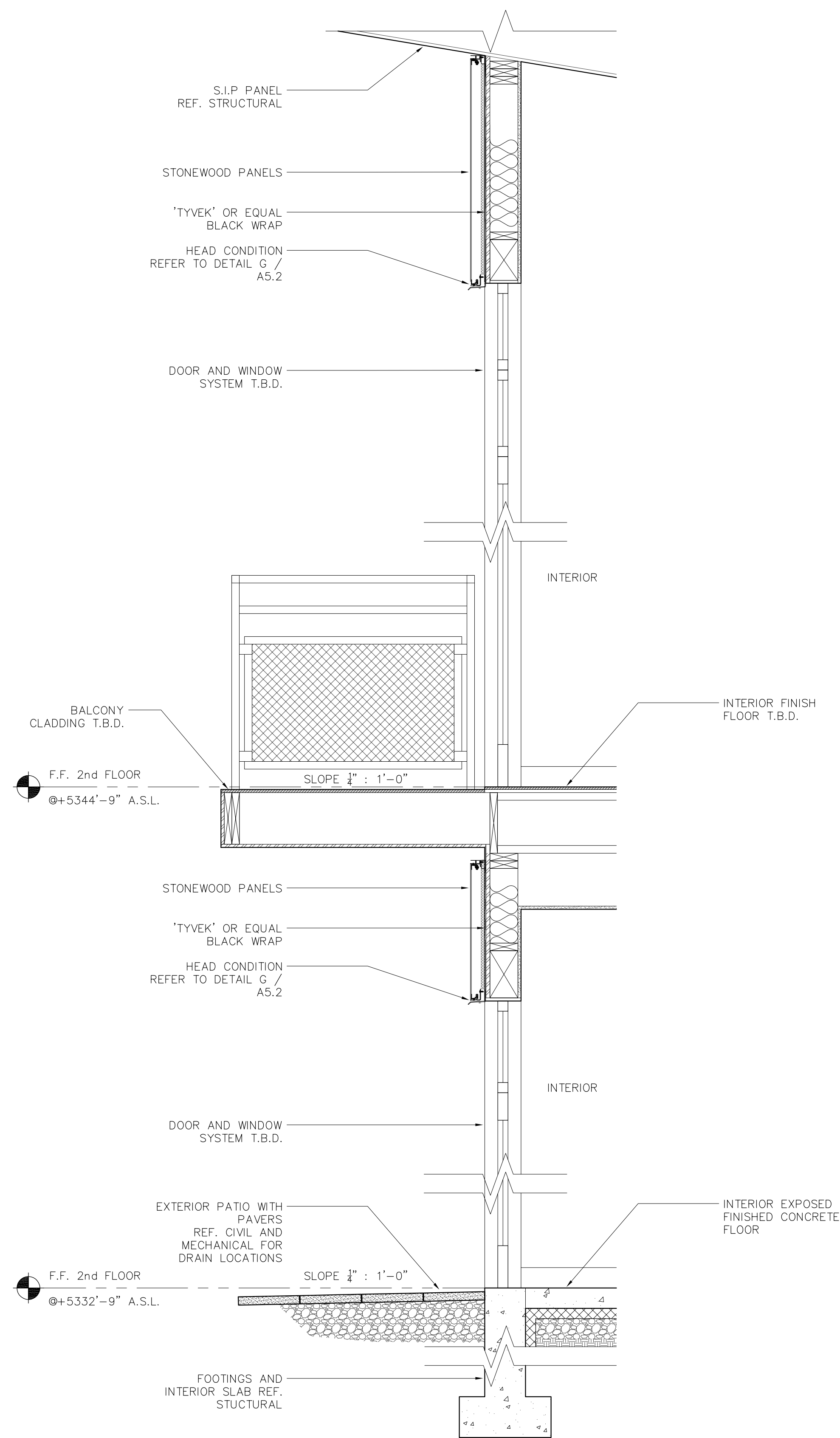
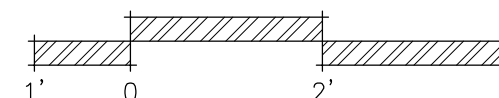
WALL SECTIONS & DETAILS

A

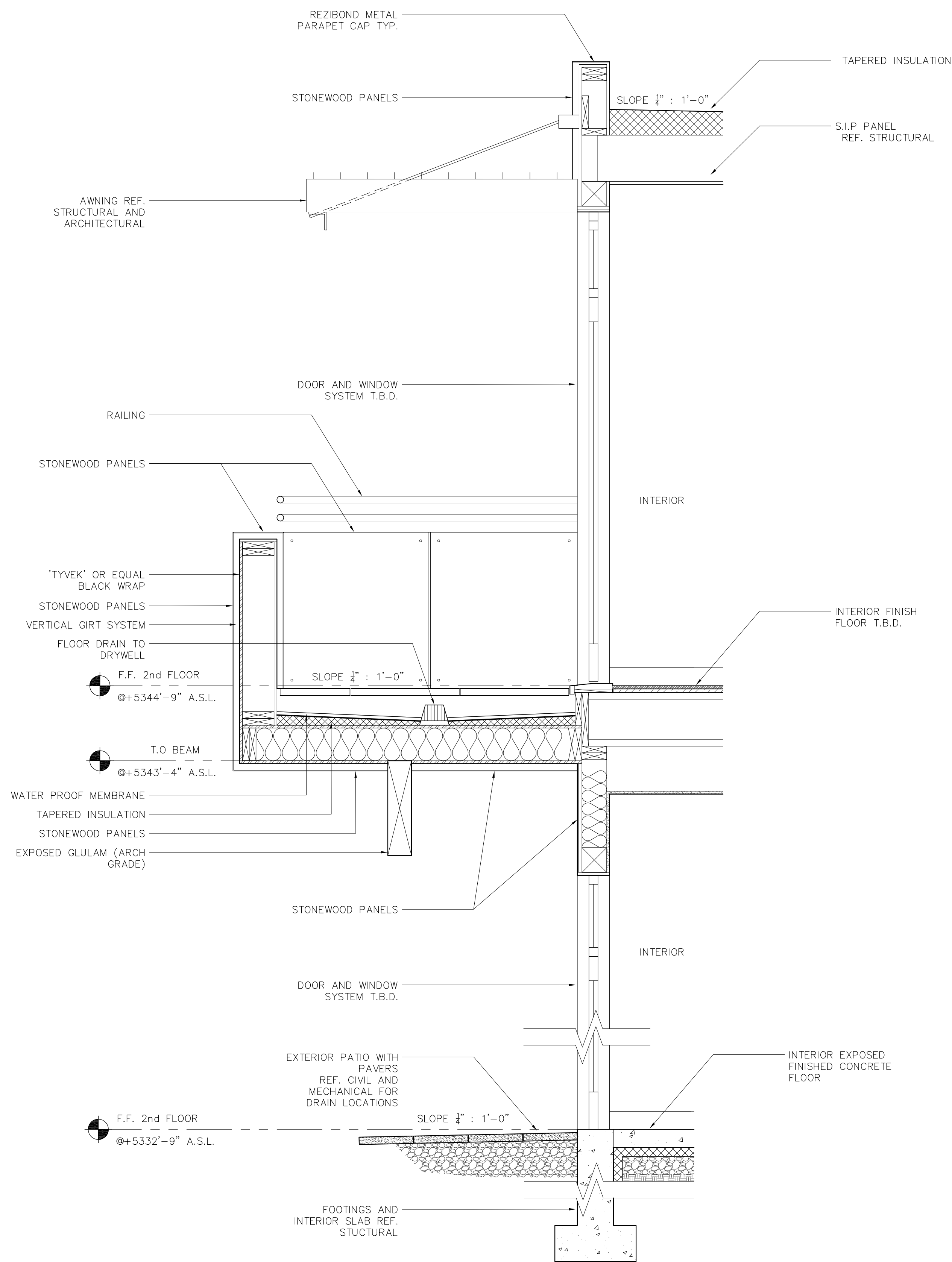
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5.1

SEQUENCE

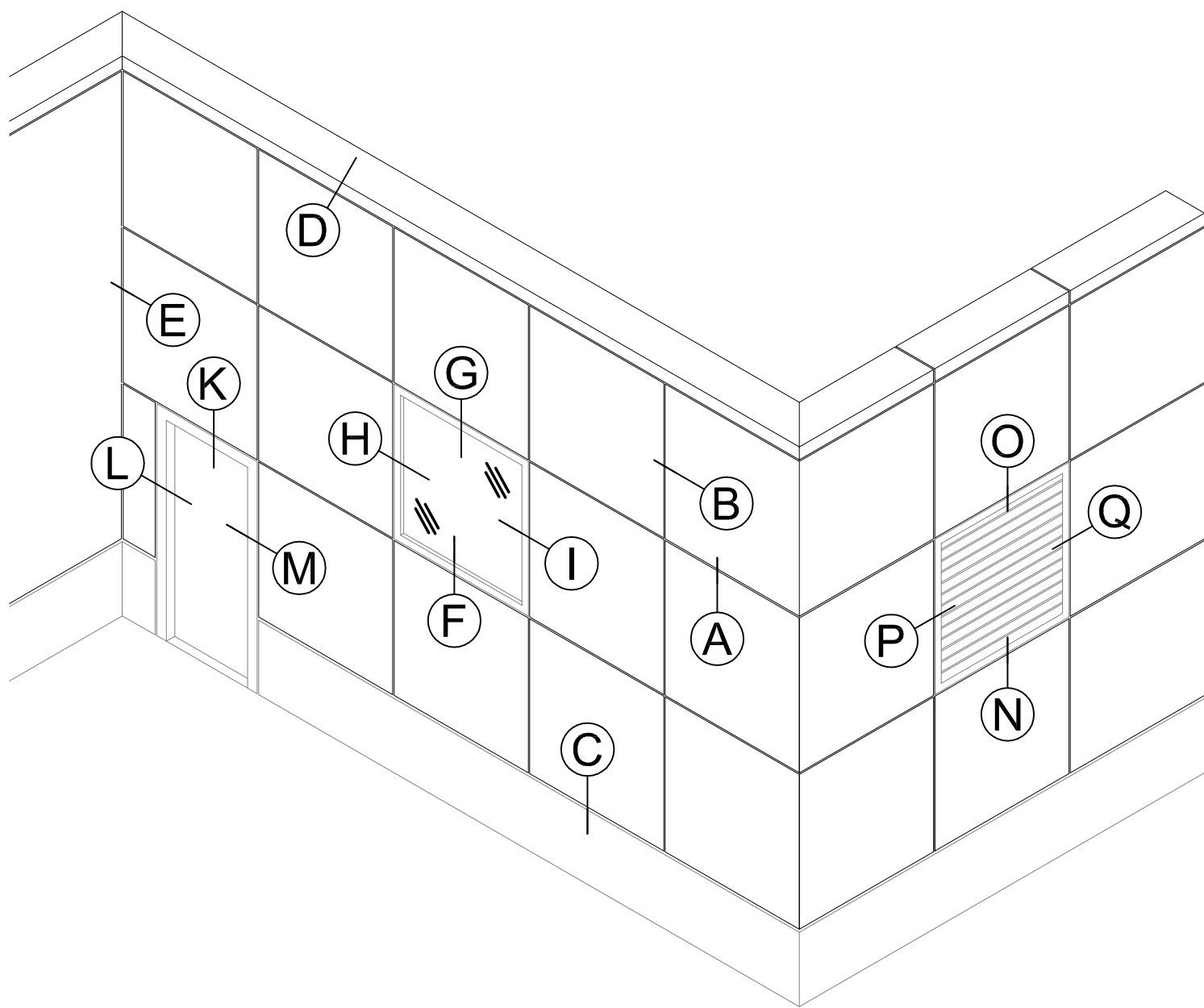


1 WALL SECTIONS
A5.1 SCALE: 3/16" = 1'-0"

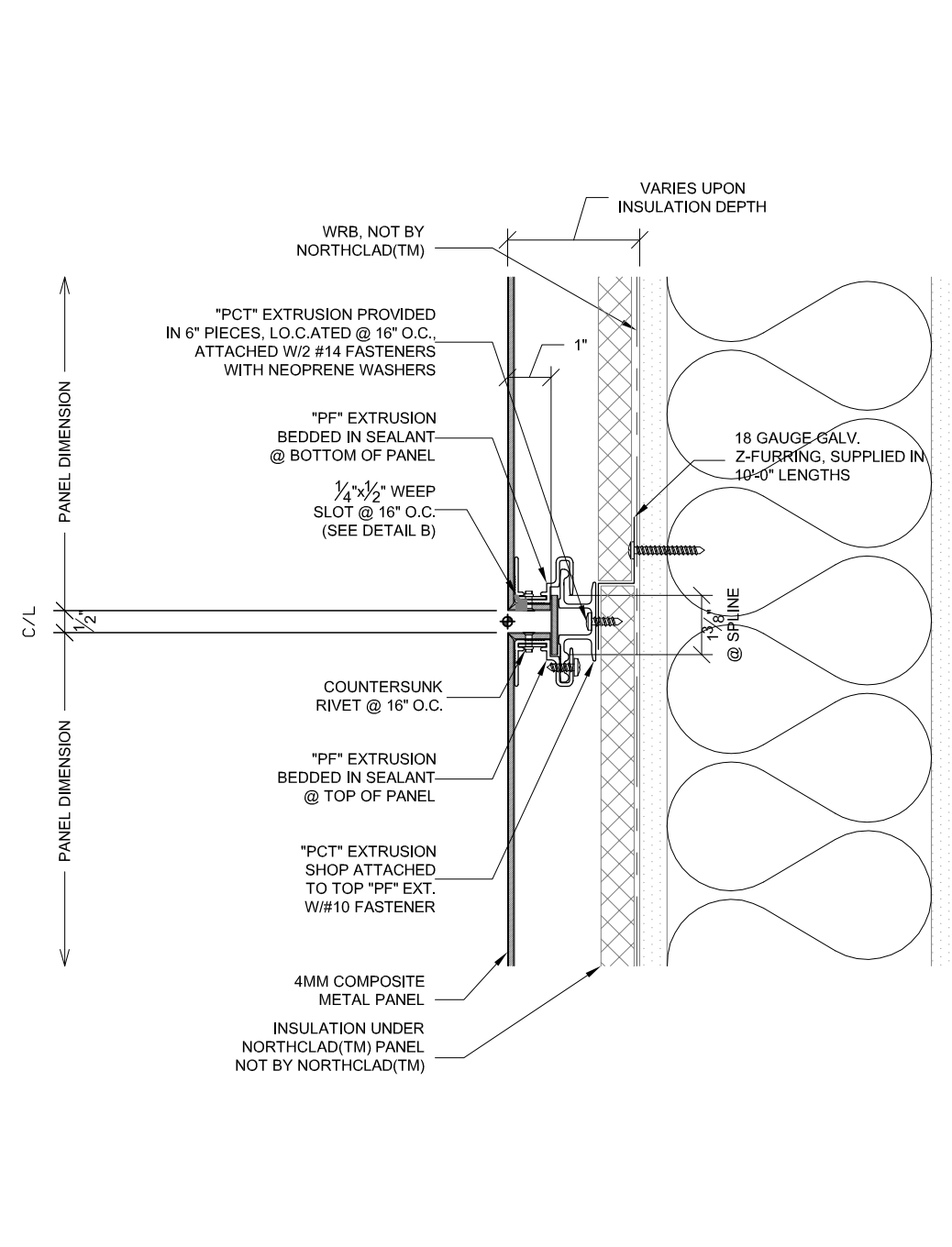


2 WALL SECTIONS
A5.1 SCALE: 3/16" = 1'-0"

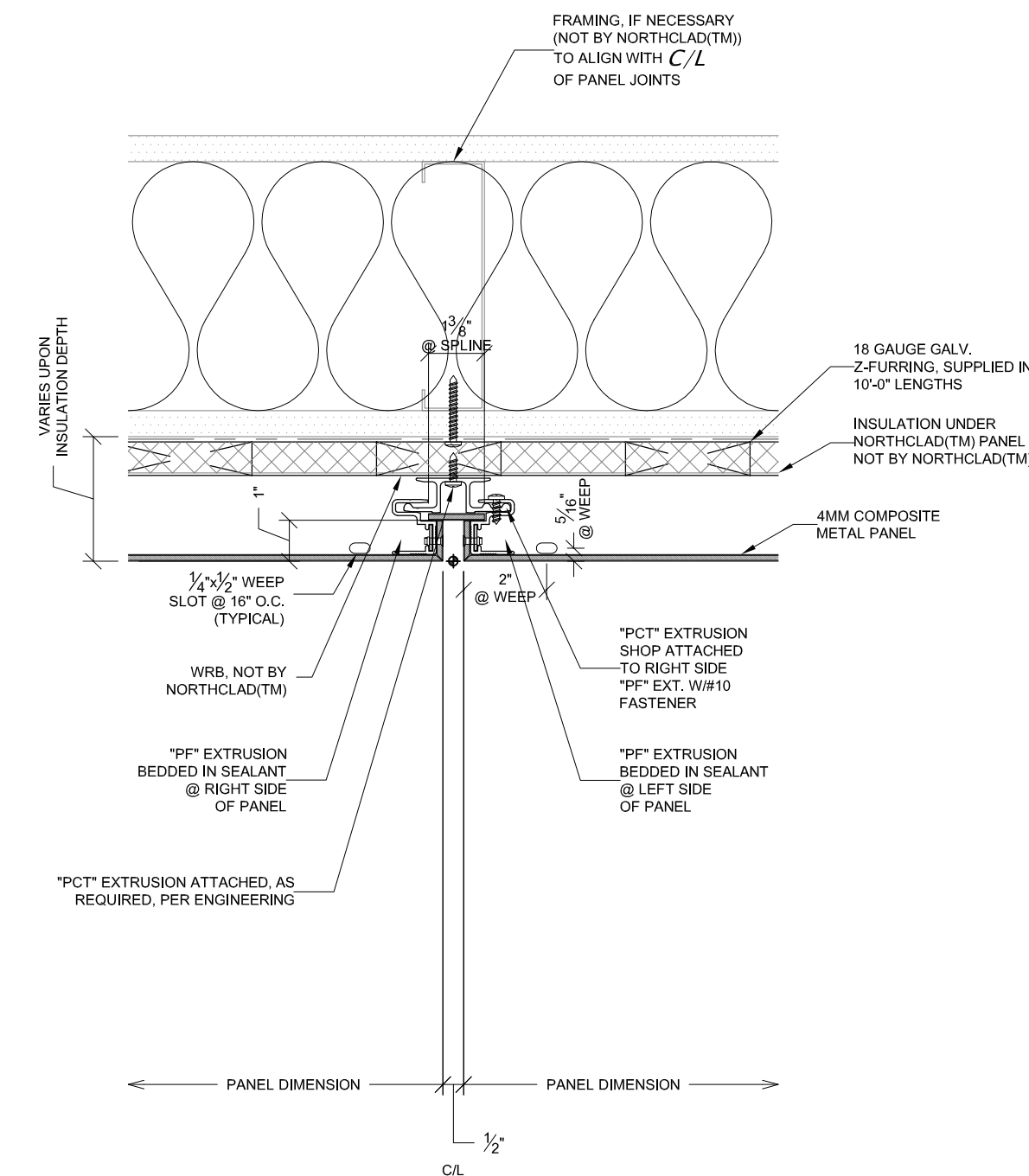
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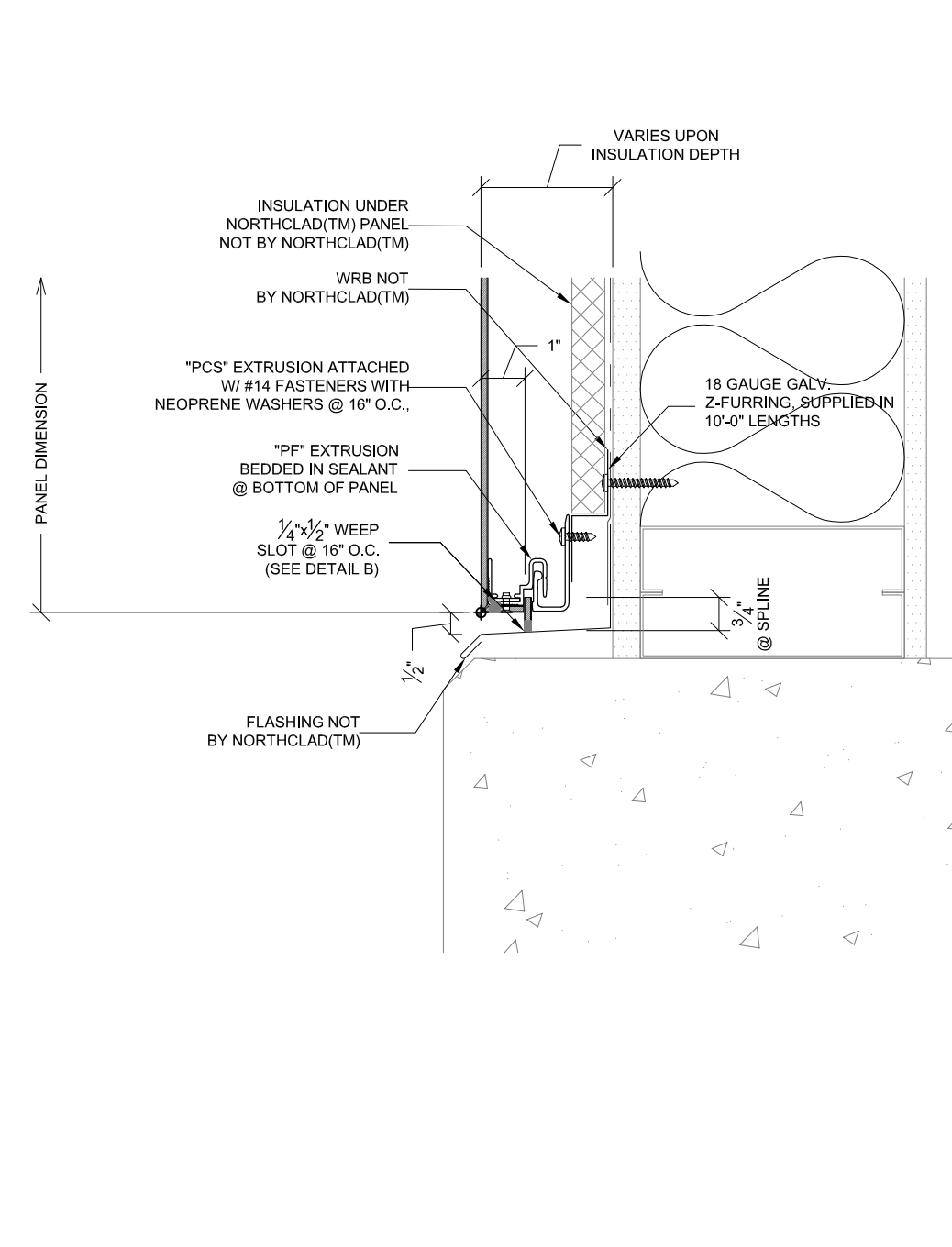
1 WALL DETAILS - KEY
A5.2 SCALE: 1/4" = 1'-0"



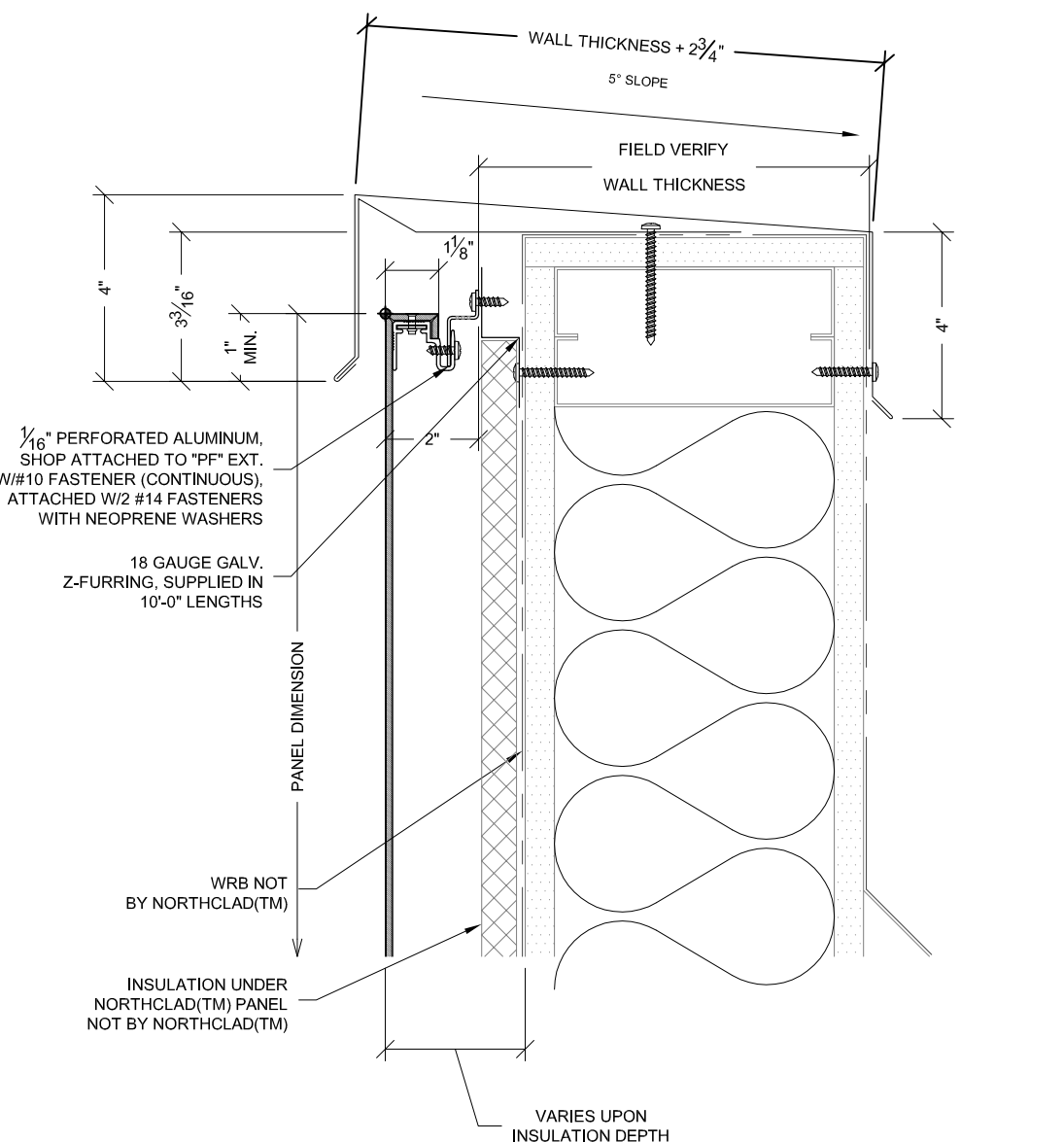
A WALL DETAILS - HORIZONTAL JOINT
A5.2 SCALE: 3" = 1'-0"



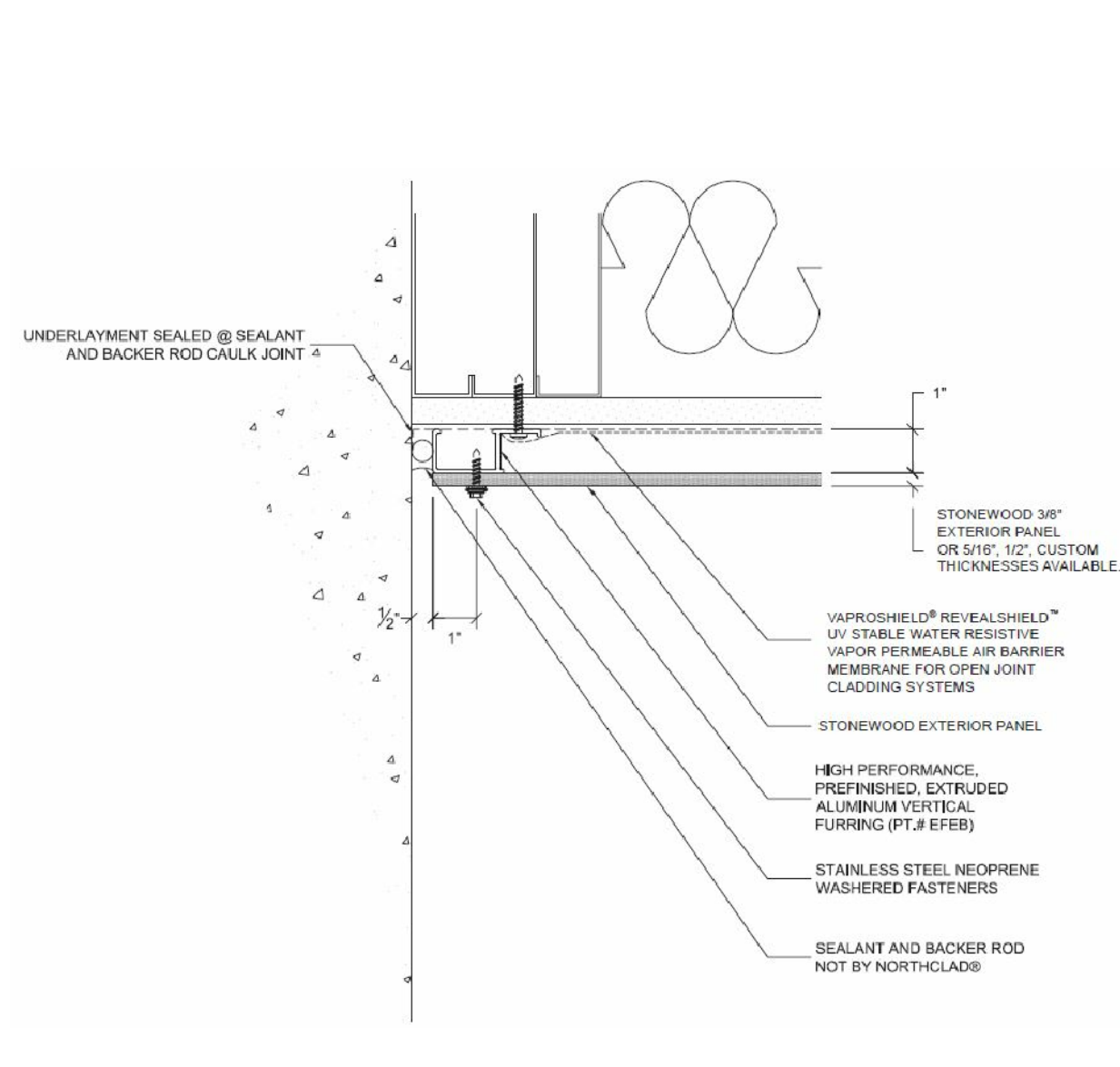
B WALL DETAILS - VERTICAL FASTENER
A5.2 SCALE: 3" = 1'-0"



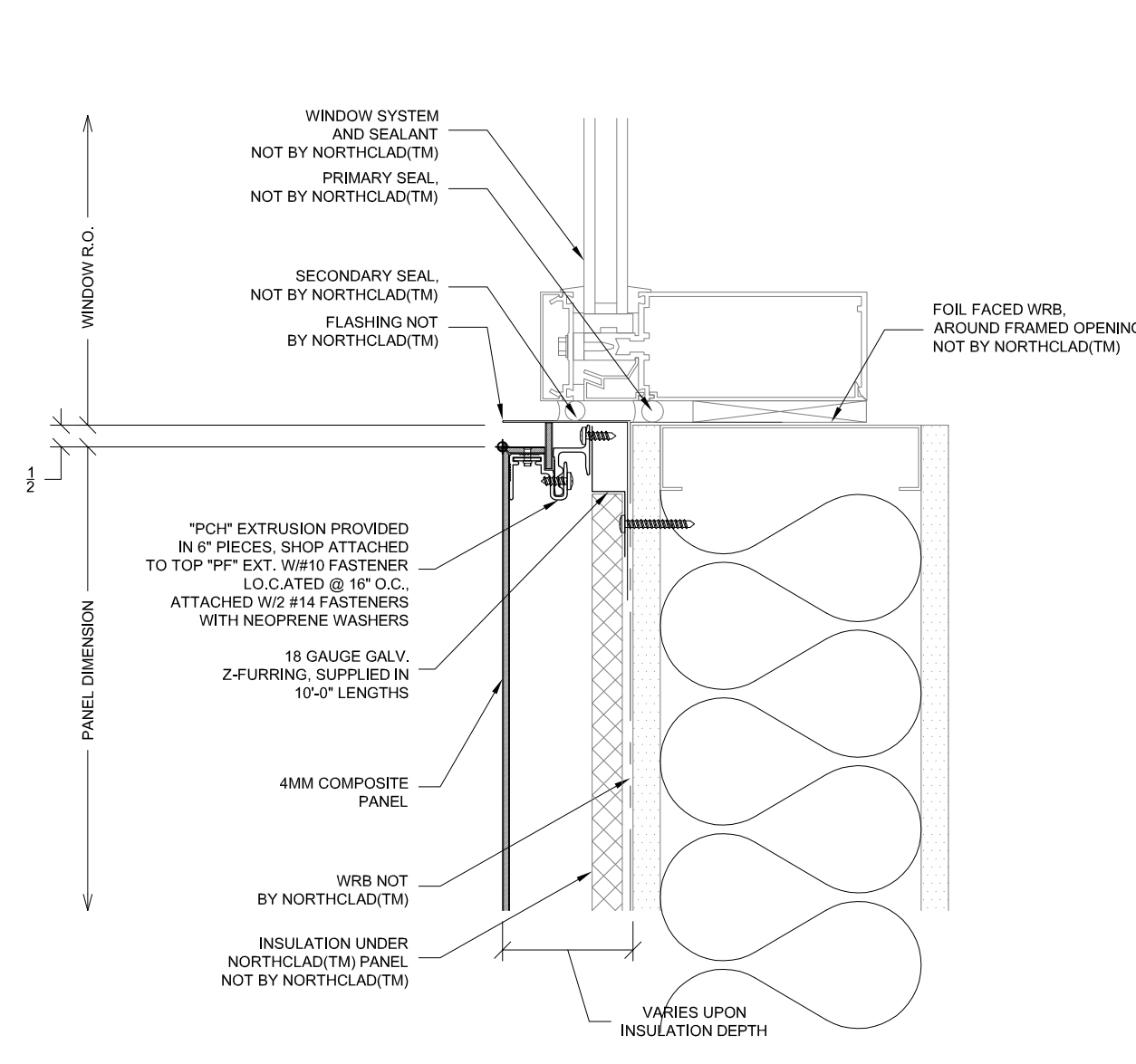
C WALL DETAILS - BASE DETAIL
A5.2 SCALE: 3" = 1'-0"



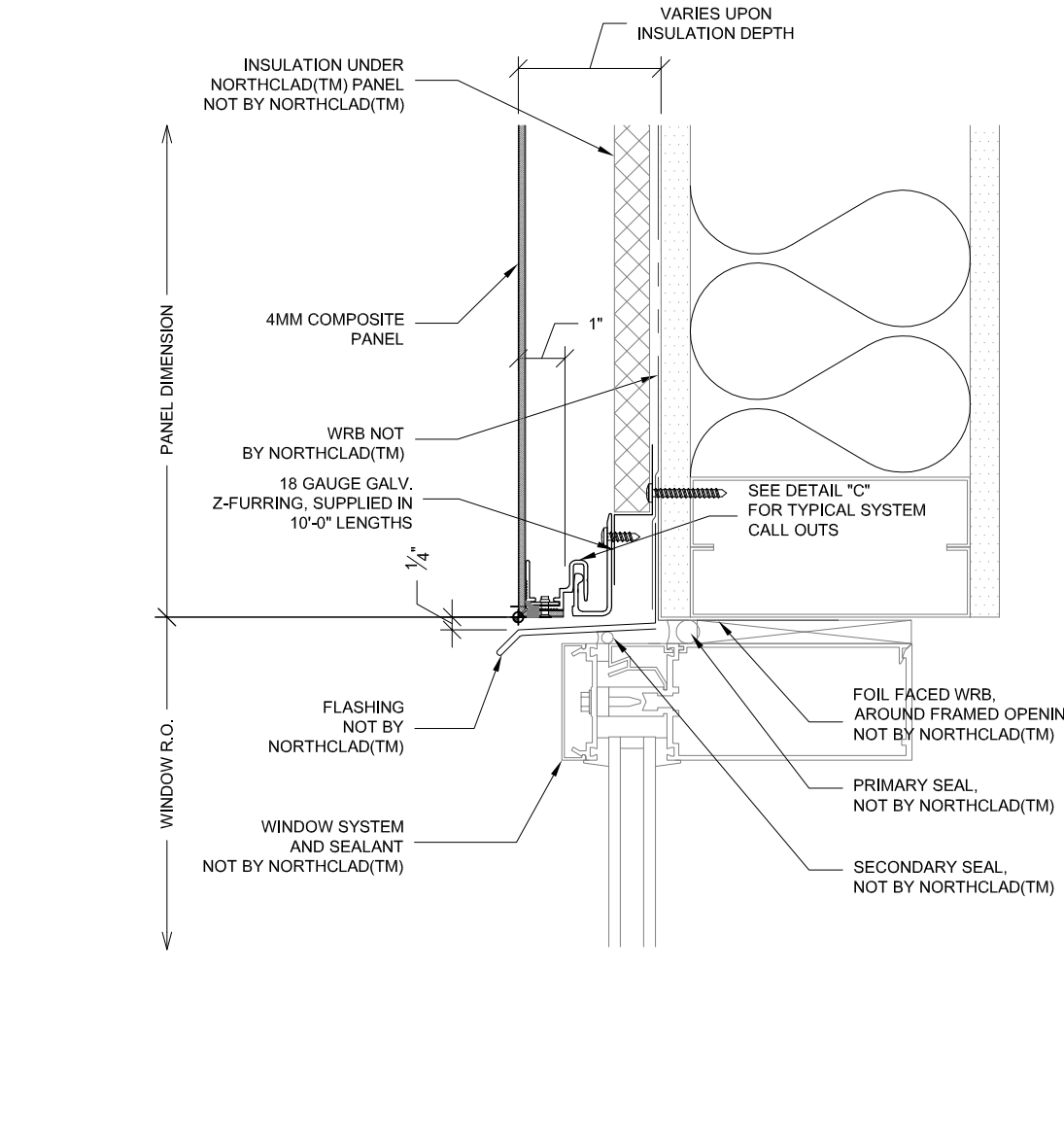
D WALL DETAILS - COPING
A5.2 SCALE: 3" = 1'-0"



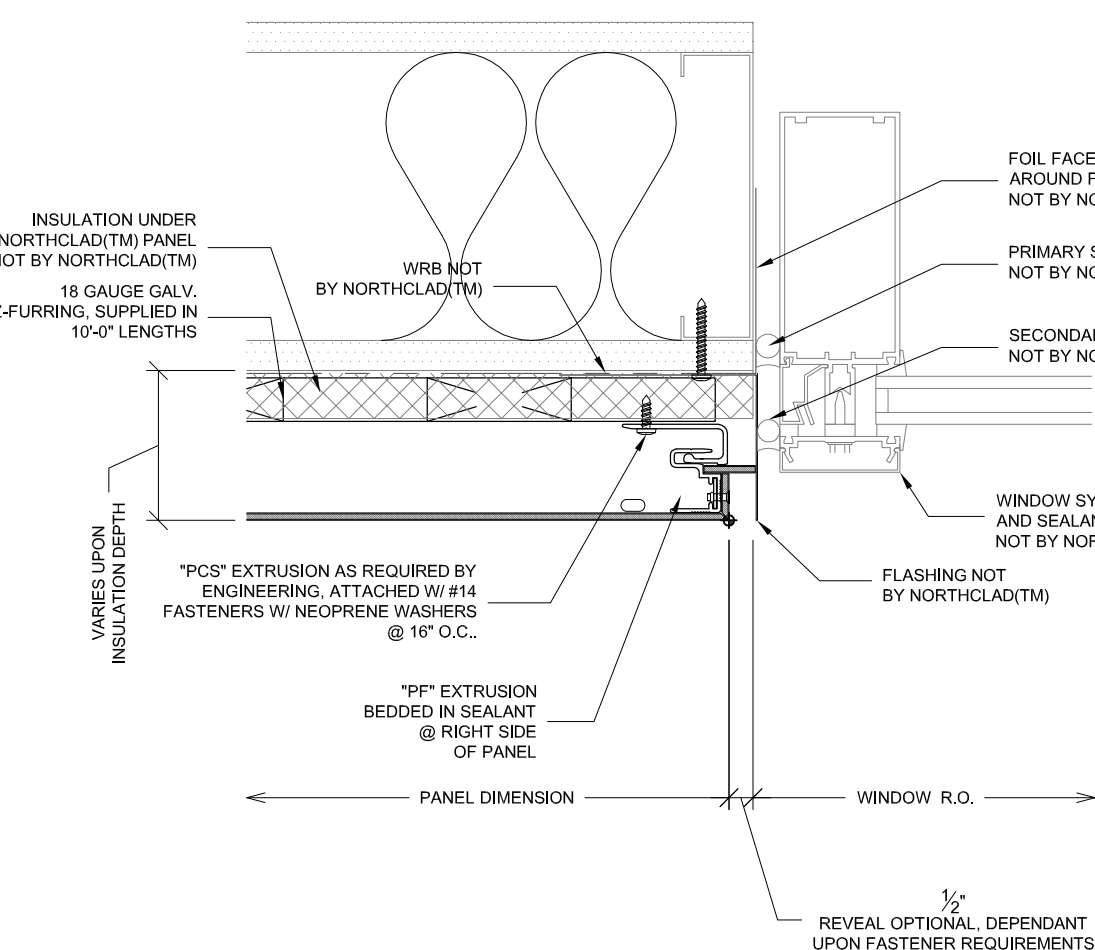
E WALL DETAILS - INSIDE CORNER
A5.2 SCALE: 3" = 1'-0"



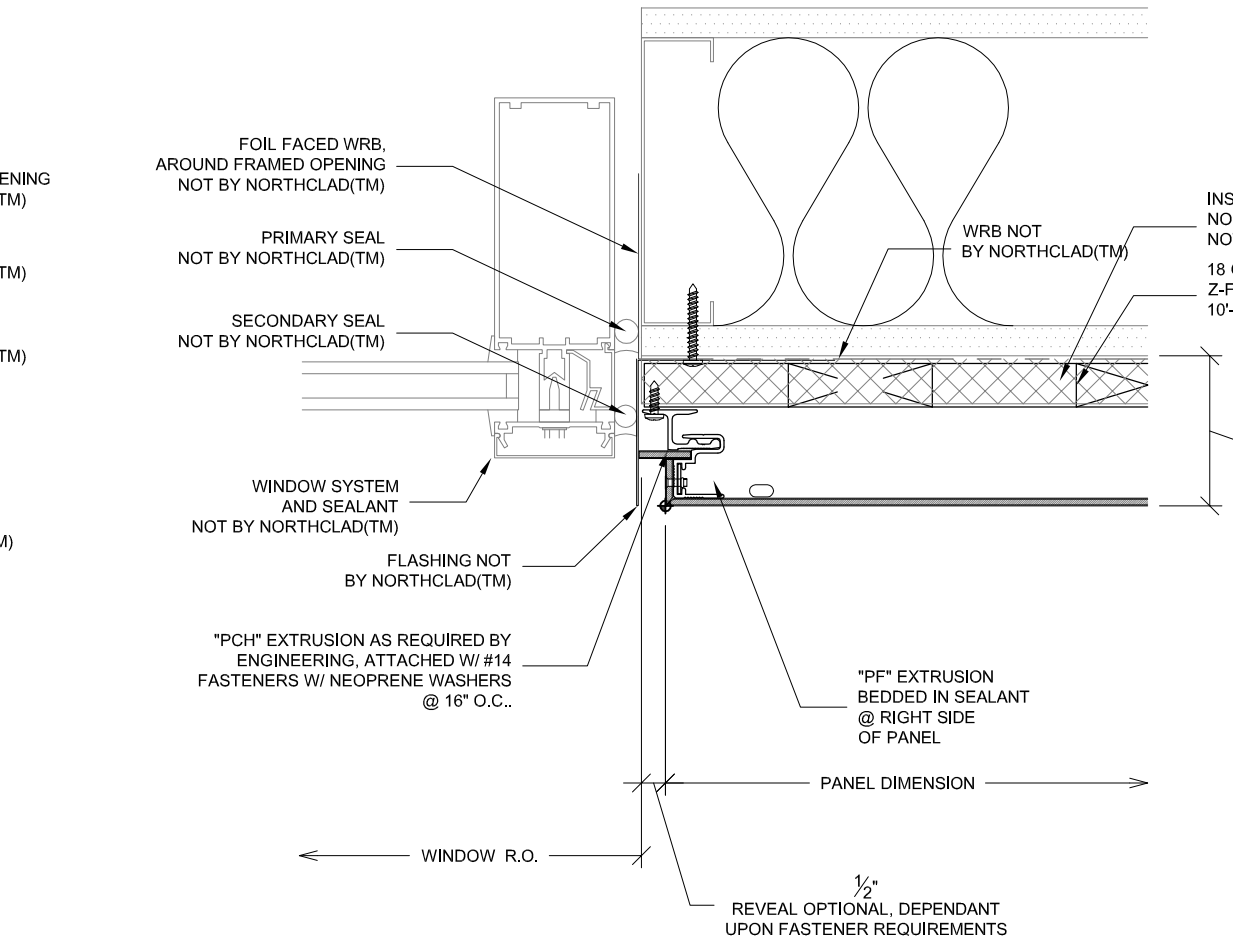
F WALL DETAILS - WINDOW SILL
A5.2 SCALE: 3" = 1'-0"



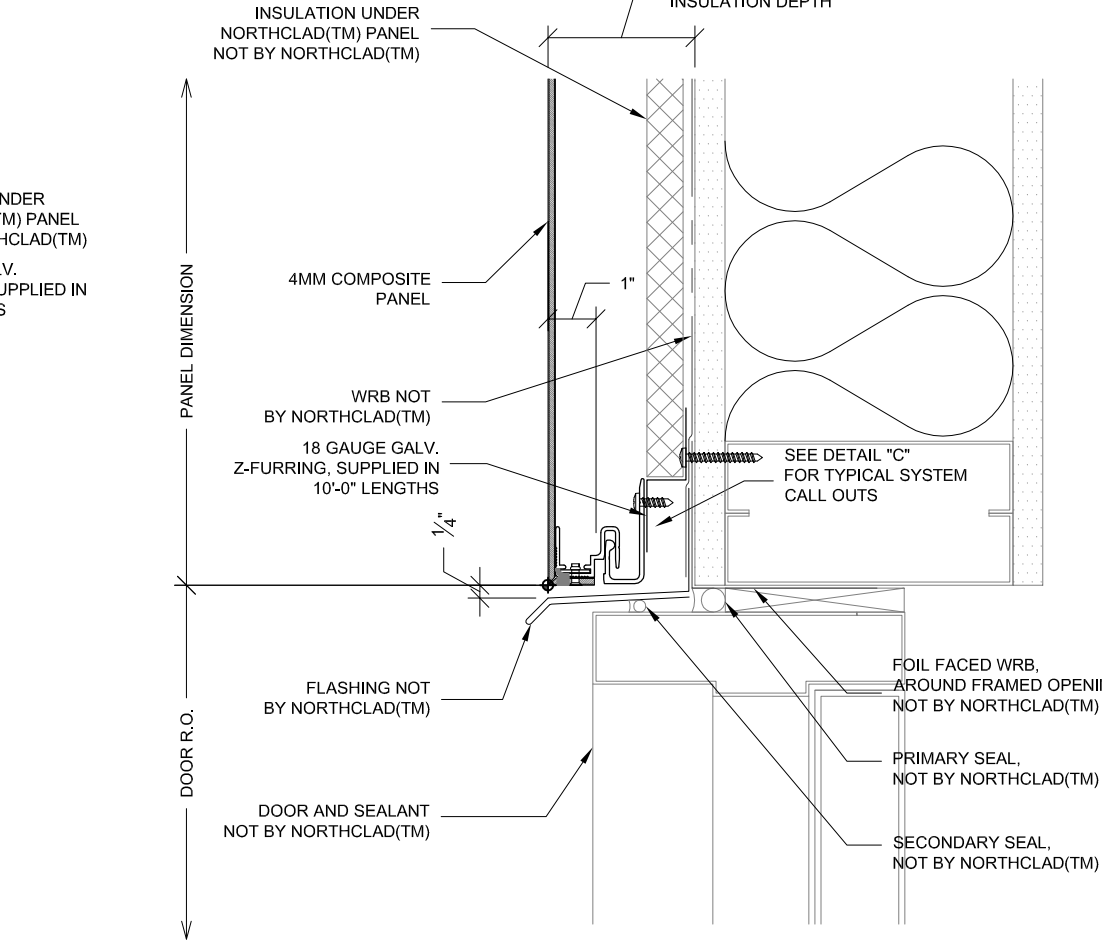
G WALL DETAILS - WINDOW HEADER
A5.2 SCALE: 3" = 1'-0"



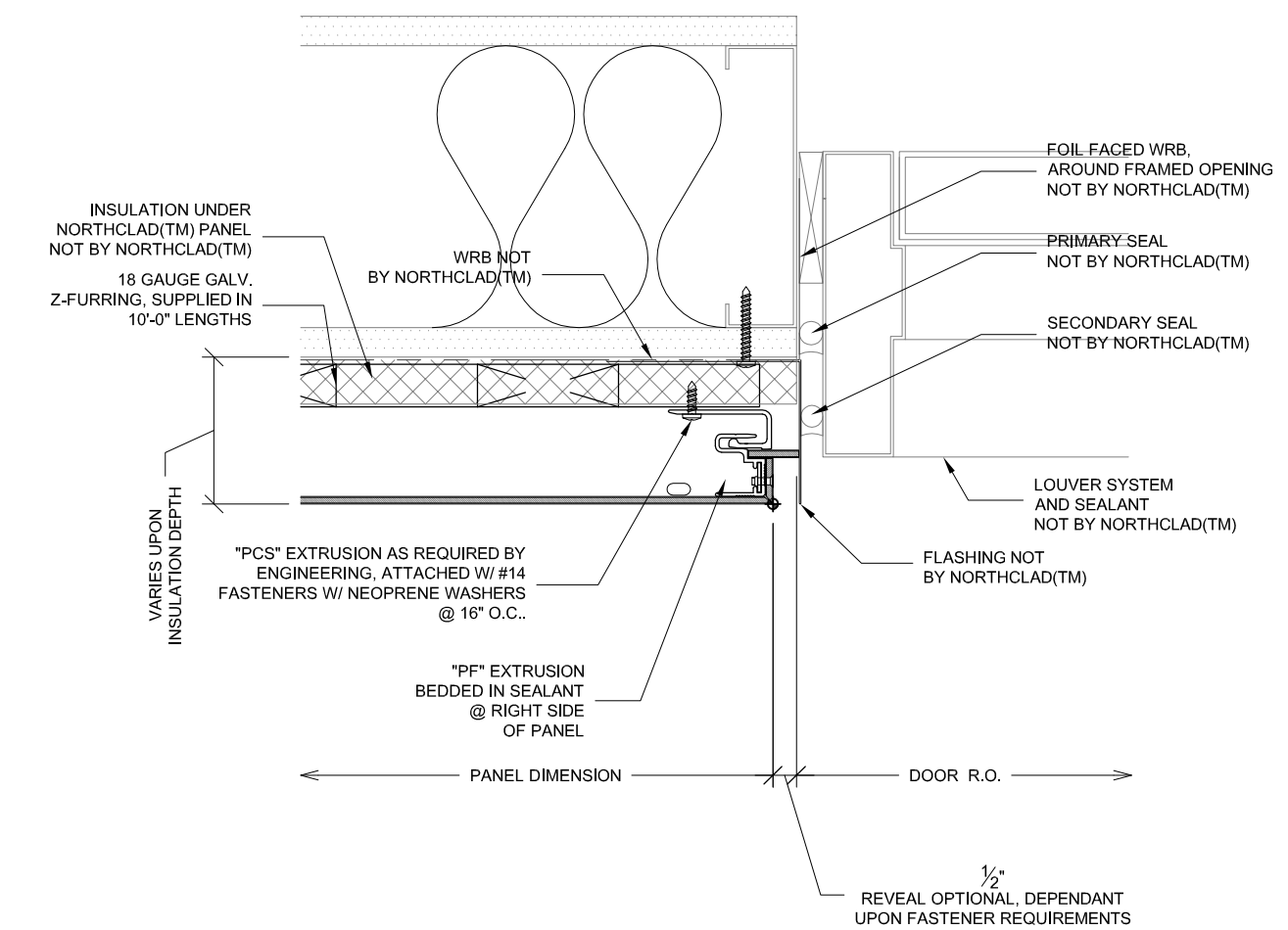
H WALL DETAILS - WINDOW LH JAMB
A5.2 SCALE: 3" = 1'-0"



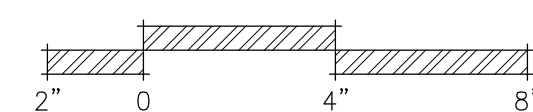
I WALL DETAILS - WINDOW RH JAMB
A5.2 SCALE: 3" = 1'-0"



K WALL DETAILS - DOOR HEADER
A5.2 SCALE: 3" = 1'-0"



L WALL DETAILS - DOOR JAMB LH
A5.2 SCALE: 3" = 1'-0"



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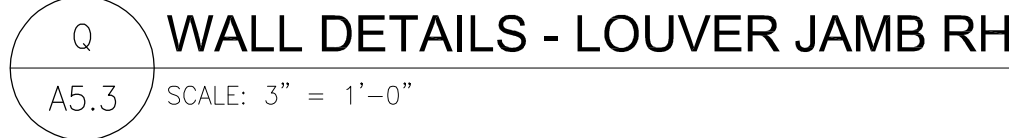
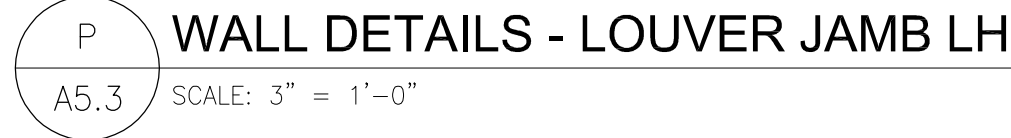
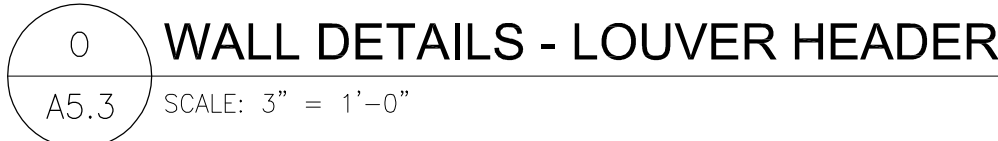
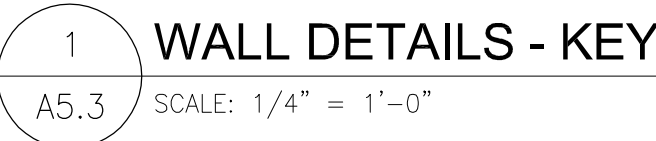
WALL
SECTIONS
& DETAILS

A

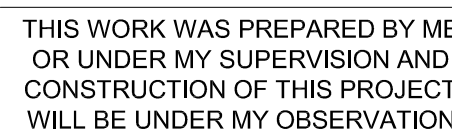
CATEGORY

5.2

SEQUENCE



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	DD	08/02/19
	D.REVIEW	07/29/19
ISSUE/DATE	SCHEMATIC	07/12/19
DRAWN BY	DPH,JJR	
CHECKED BY	DPH,JJR	
DATE	06/10/19	
JOB NO.	1061	

660 1st AVENUE,
KETCHUM, IDAHO

A

5.3

CATEGORY

SEQUENCE



MUSGROVE
ENGINEERING, P.A.
234 S. Whisperwood Way
Boise, Idaho 83709
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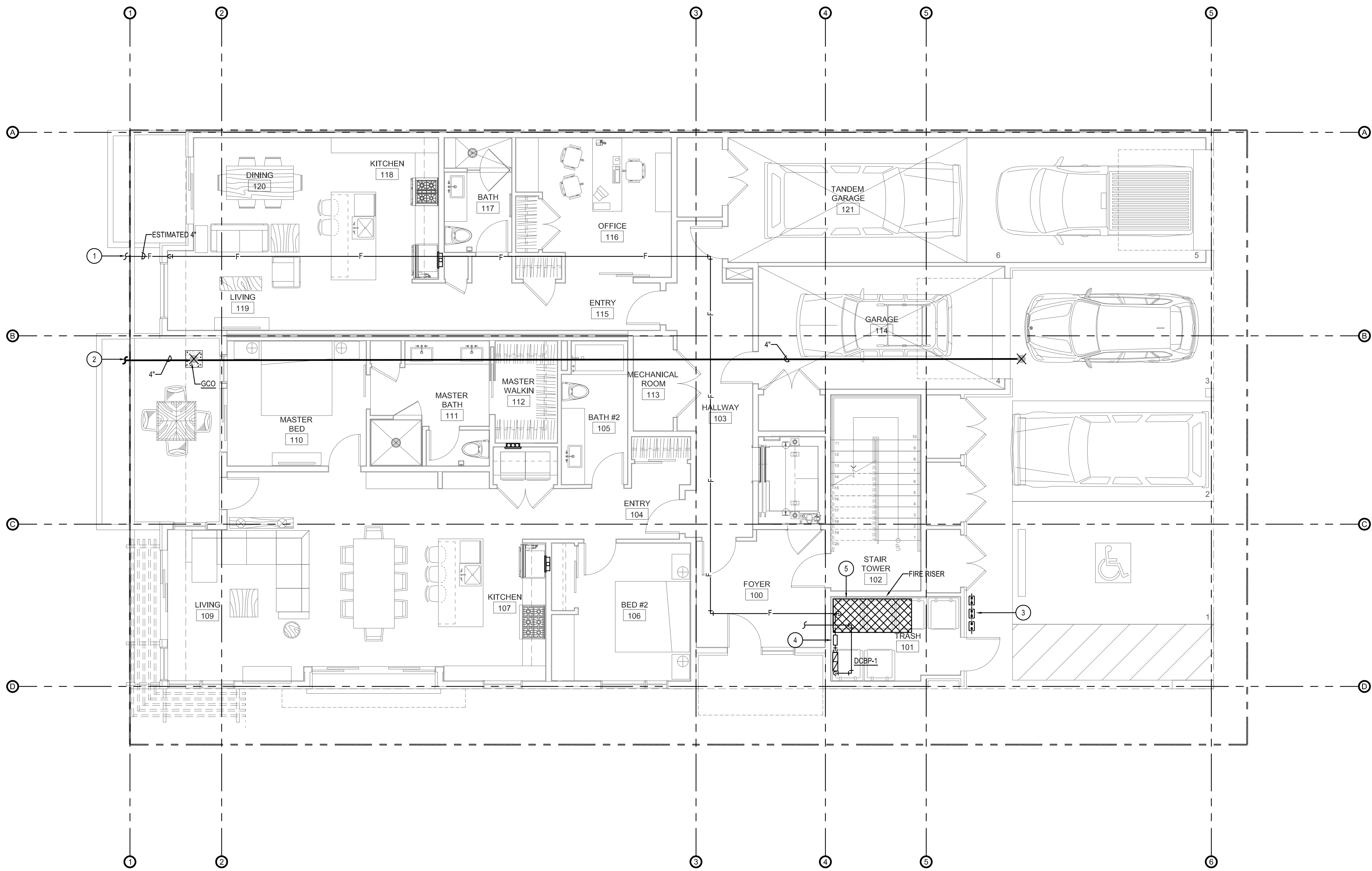
PO BOX 1769 [post]
SUN VALLEY, ID 83353
480 N. WASHINGTON AVE
SUITE 201 [courtesy]
KETCHUM, ID 83343
V.208.721.7160 / V.208.721.0633



KEYED NOTES:

⑤ SYMBOL USED FOR NOTE CALLOUT.

1. FIRE/WATER LINE FROM STREET TO BUILDING. SEE CIVIL SITE PLAN FOR CONTINUATION.
2. 4" WASTE LINE OUT TO MAIN IN STREET. SEE CIVIL SITE PLAN FOR CONTINUATION.
3. GAS METER BANK BY INTERMOUNTAIN GAS COMPANY. SEE DETAIL FOR REQUIREMENTS OF MANFOLD. APPROXIMATE SIZE IS 3FT WIDE BY 3 METERS TALL 6FT TALL.
4. INSTALL DOMESTIC WATER METER PROVIDED BY CITY OF KETCHUM INSTALLED BY PLUMBING CONTRACTOR.
5. FIRE RISER ASSEMBLY SIZED AND INSTALLED BY FIRE SPRINKLER CONTRACTOR.



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REVISION DATE	____

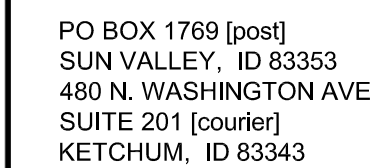
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DATE	08/21/19
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660 1st AVE

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MECHANICAL
UTILITY PLAN

P 1.0
CATEGORY SEQUENCE



V.208.721.0633 / V.208.721.7160



- A. CONTRACTOR SHALL COORDINATE WITH AN UNDERGROUND LOCATING SERVICE PRIOR TO COMMENCING WORK. COORDINATE WITH OTHER SITE DISCIPLINES.
- B. ROUTE CONDUITS IN COMMON TRENCH WHERE POSSIBLE REFER TO TRENCHING DETAIL. RE-TRENCHING DETAIL.
- C. SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- D. SITE LIGHTING AND UTILITY EQUIPMENT SHOWN IN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS, PROPERTY LINES, AND UTILITY COMPANIES PRIOR TO ROUGH-IN.
- E. PROVIDE PULL-LINE IN ALL EMPTY CONDUITS.

SYMBOL USED FOR NOTE CALLOUT.

- (1) (1"4" CONDUIT FOR PHONE SERVICE, (12" CONDUIT FOR CATV SERVICE AND (14" CONDUIT FOR FIBER OPTIC CABLE SERVICE. COORDINATE INSTALLATIONS REQUIREMENTS WITH UTILITIES. STUB CONDUITS 12" ABOVE FLOOR AT TTB AND STUB CONDUITS TO NEAREST TELEPHONE UTILITY FEEDSTALK. COORDINATE UTILITY LOCATION PRIOR TO BEGIN. PROVIDE CONDUIT AS REQUIRED. MARK LOCATION WITH MONUMENT MARKER. PROVIDE PULL-LINE WITH EACH CONDUIT.
- (2) TO EXISTING/UPGRADED PAD MOUNTED TRANSFORMER BY IDEAHU POWER COMPANY.
- (3) UNDERGROUND SECONDARY.

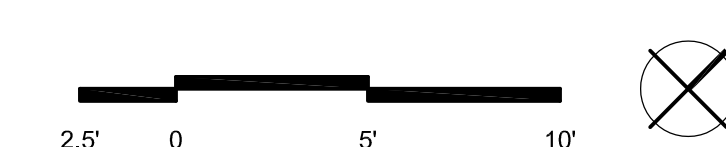
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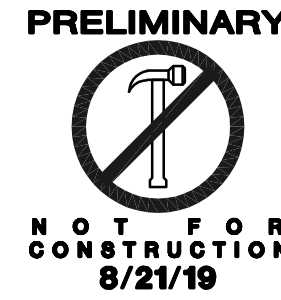
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DATE	08/21/19
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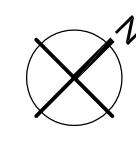
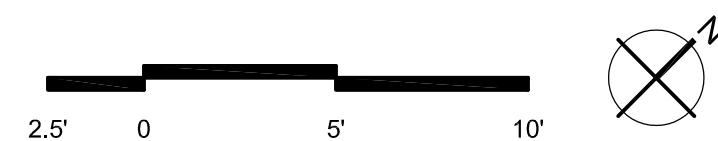
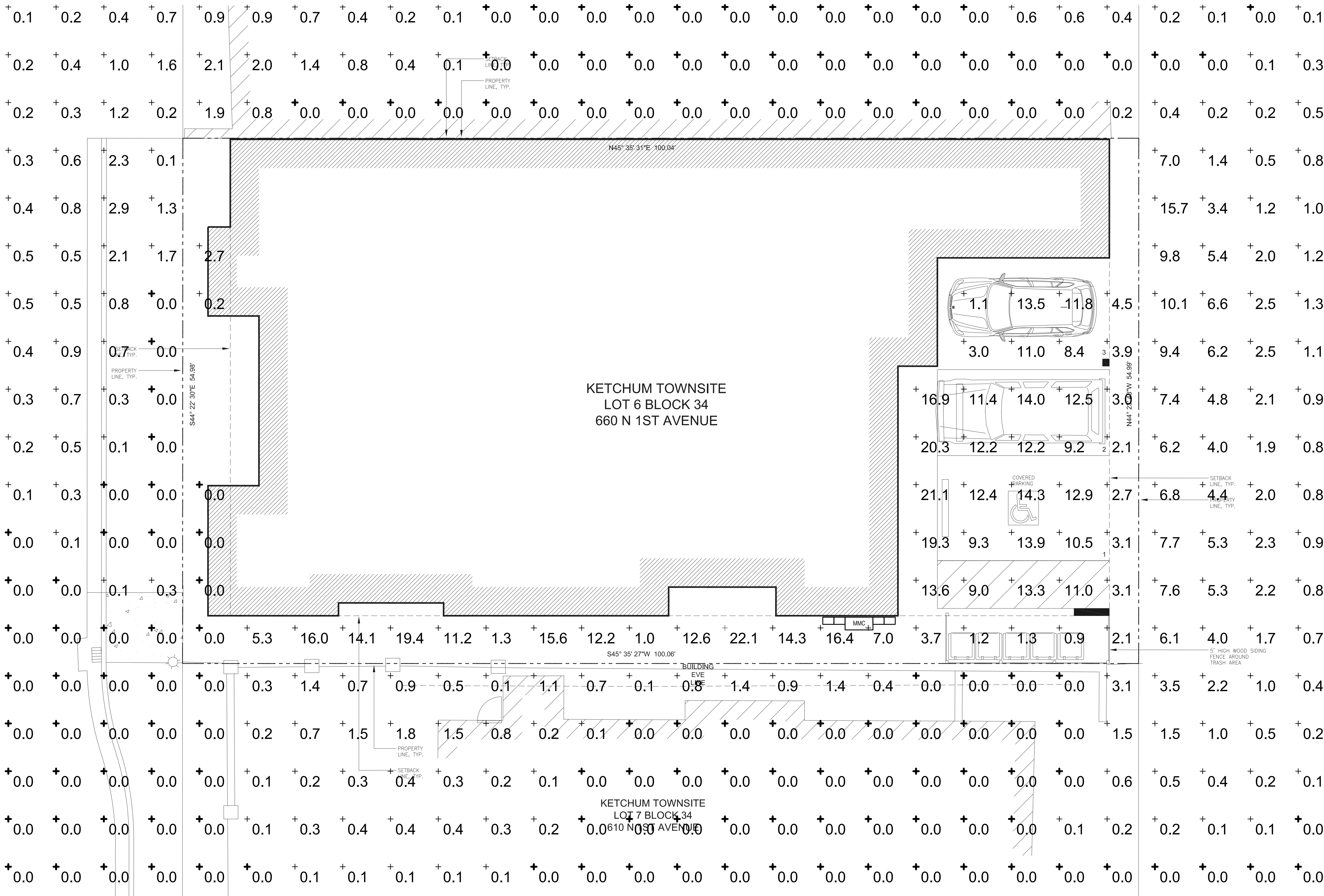
ELECTRICAL SITE PLAN

E	1.0
CATEGORY	SEQUENCE





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ELECTRICAL
SITE
PHOTOMETRIC
PLAN

E 1.1
CATEGORY SEQUENCE