



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF AUGUST 11, 2020

PROJECT: 4th & Walnut Ave Commercial Development Design Review

FILE NUMBER: P20-046

APPLICATION TYPE: Design Review

APPLICANT: Graham Whipple, Resin Architecture

PROPERTY OWNER: Walnut & Fourth LLC

LOCATION: 371 & 391 N Walnut Avenue (Ketchum Townsite: Block 44: Lots 7 & 8)

ZONING DISTRICT: Retail Core Subdistrict of the Community Core (CC-1)

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on June 26th, 2020. The public hearing for this application was continued from the July 13th Planning & Zoning Commission Meeting.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

The Planning & Zoning Commission previously considered this Design Review application for the development of a new mixed-use building at the southwest corner of 4th Street and Walnut Avenue during their last meeting on July 13th. The Commission moved to continue review of the project and directed the applicant to update the project plans based on their feedback.



Figure 1: 4th and Walnut Perspective, Preliminary Design Review Project Plans, Sheet AS-102

UPDATED PROJECT PLANS

The updated project plans are attached as Exhibit A to the Staff Report. The following analysis summarizes the proposed changes and additions to the project plans.

Colors & Materials

The applicant has annotated the elevations (Sheets A-201 & A-202) to specify the proposed exterior materials. The applicant has included additional renderings in the updated project plans. A link to a video illustrating the project from all elevations is attached to the Staff Report as Exhibit B.

Corner Element

The project is anchored by a coffee shop at the southwest corner of 4th Street and Walnut Avenue. The applicant has introduced a shed roof overhanging the entrance and decreased the size of the second-level window. The overhang distinguishes the corner entrance at the street level and facilitates an inviting pedestrian experience.



Figure 2: Exterior Materials, Project Plans, Sheet AF-101



Figure 3: Exterior Lighting Fixtures, Project Plans

Exterior Lighting

The applicant has provided specifications for the proposed exterior lighting fixtures on Sheet AF-102 of the updated project plans. The lighting plan proposes four types of fixtures—three fully shielded wall sconces and one recessed can light. The first and second floor plans (Sheets A-101 & A-102) show the proposed locations of the four types of fixtures. The wall sconces frame the entrances to the retail spaces and the coffee shop. The lighting enhances safety for pedestrians entering and exiting the mixed-use building. The proposed exterior lighting is Dark Sky compliant as the fixtures shield the light bulbs to minimize glare and light trespass (KMC 17.132.030.H).

Public Amenities

Two benches along 4th Street have been added to the architectural site plan (Sheet AS-101). The site plan notes that benches, trash receptacles, and art are anticipated to be provided with the project. The applicant will coordinate with the City Engineer, Streets Department, and Planning Department to determine the final location of all public amenities associated with the project.

ANALYSIS

This project combines vibrant uses—retail with engaging storefront windows, a coffee shop with outdoor dining areas, and housing—within an appropriately scaled mixed-use building designed to enhance the visual quality of downtown Ketchum’s built environment. The design incorporates exterior materials and ornamentation characteristic of alpine and barn architecture with timber trusses and decorative gable ends. Not only is the building contained within the 42-foot maximum

height limit, but all roof-mounted equipment, including the development's solar system, will be fully screened within the recession created by the false mansard roof. While buildings in the Retail Core may be built all the way to front and street-side property lines, this development is setback along 4th Street and Walnut Avenue. This setback provides outdoor dining and seating areas that will encourage spontaneous and accessible social interactions and gatherings. Activating a pedestrian-friendly streetscape, the project will enliven Ketchum's dynamic downtown by facilitating social connections that build community.

Staff's comprehensive analysis of the project is attached as Exhibit C, including: (1) the project's compliance with zoning and dimensional standards, (2) evaluation of Design Review criteria, (3) evaluation of Community Core Design Review standards, and (4) City Department comments.

STAFF RECOMMENDATION

After considering the updated project plans attached as Exhibit A, Staff's analysis attached as Exhibit C, the applicant's presentation, and public comment, Staff recommends the Commission move to approve the Design Review application for the 4th & Walnut Ave Commercial Development project.

RECOMMENDED MOTION

"I move to approve the Design Review application for the 4th & Walnut Ave Commercial Development project, subject to conditions 1-13."

RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Exhibits C1, C2, C3, and C4.
2. Prior to issuance of a building permit for the project, the applicant must receive approval of a Lot Line Shift application to remove the common boundary line separating Lots 7 and 8 of Block 44 within Ketchum's Townsite.
3. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 765 square feet is required. A Floor Area Ratio Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed prior to issuance of a building permit for the project.
4. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
5. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
6. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specifications for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.

7. Prior to issuance of a building permit for the project, the applicant shall submit a ROW Encroachment Permit application for any proposed encroachments within the 4th Street, Walnut Avenue, or alley rights-of-way for review and approval by the Ketchum City Council.
8. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
9. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
10. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and will be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
11. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
12. Prior to issuance of a building permit for the project, the applicant shall submit a construction management plan, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
13. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

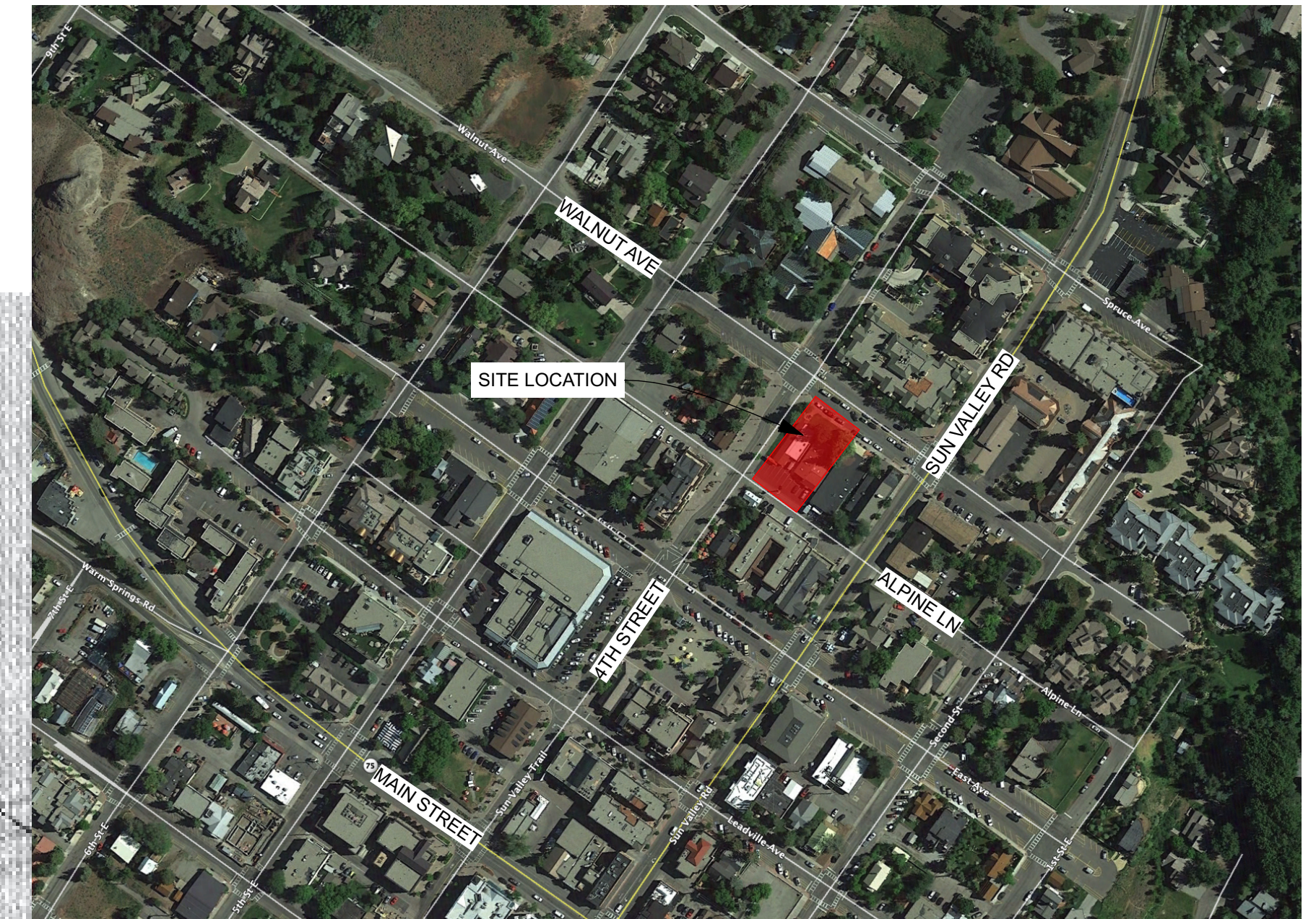
EXHIBITS

- A. Updated Project Plans
- B. Video Link
- C. Staff Analysis
 1. Zoning and Dimensional Standards Analysis
 2. Design Review Standards Analysis
 3. Community Core Design Review Standards Analysis
 4. City Department Comments
- D. Link to July 13th Staff Report

Exhibit A:
Updated Project Plans

4th & Walnut Ave. Commercial Development

"TBD" Ketchum Idaho 83340



N
VICINITY MAP
NOT TO SCALE

Cover Sheet	G-1 COVER SHEET
Civil	C0.1 NOTES AND DETAILS C0.2 NOTES AND DETAILS C1.1 SITE PLAN
Landscaping	L-1 DEMOLITION LANDSCAPING PLAN L-2 LANDSCAPING PLAN L-3 LANDSCAPING PLANTS
Architectural Site Plans	AS-101 ARCHITECTURAL SITE PLAN AS-102 ARCHITECTURAL VICINITY MAP AS-103 CONSTRUCTION MANAGEMENT PLAN
Floor Plans	A-100 BASEMENT FLOOR PLAN A-101 FIRST FLOOR PLAN A-102 SECOND FLOOR PLAN
Elevations	A-201 ELEVATIONS A-202 ELEVATIONS
Renderings	A-301 RENDERINGS A-302 RENDERINGS
Materials	AF-101 EXTERIOR MATERIALS AF-102 EXTERIOR LIGHTING

COVER SHEET

8/4/20

4th & Walnut Ave. Commercial Development

Design Review August 11th 2020 G-1



305 1st STREET,
Idaho Falls, ID 83401
PH: 208.757.5700
www.resinarchitecture.com

Original document is on file
with the date and architect signature

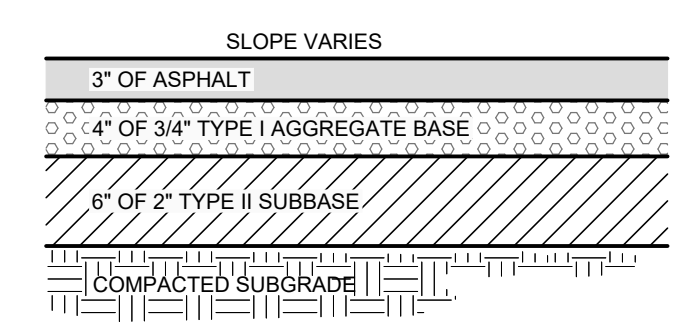
Original documents signed by:
J. GRAHAM WHIPPLE
Date original documents signed:
8/4/20

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CONSTRUCTION NOTES

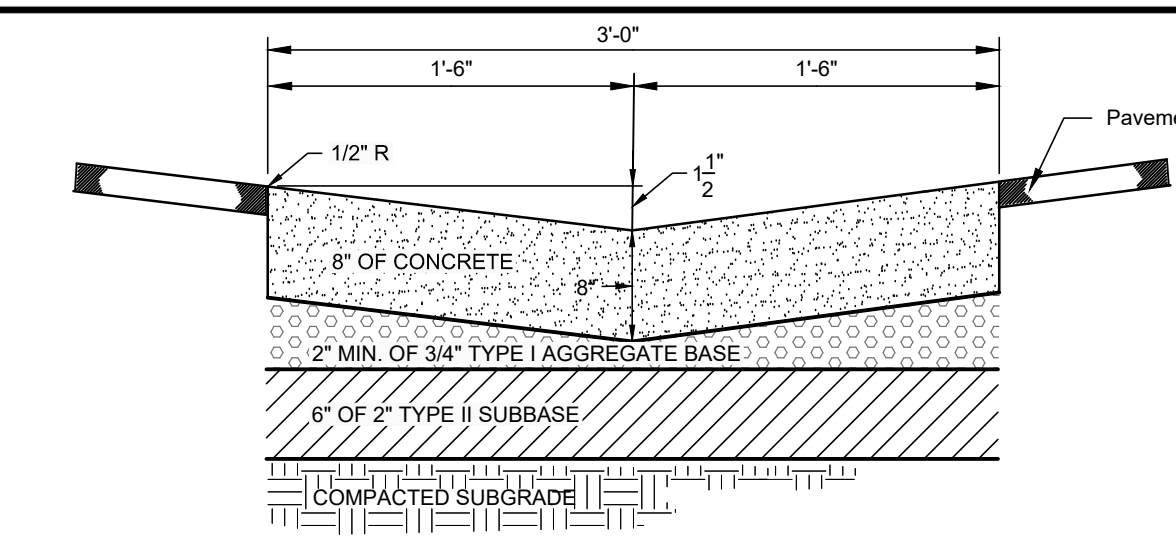
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1595) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58 01 08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTING, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIN/STF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIN/STF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.

1
C0.1 **TYPICAL STREET ASPHALT SECTION**
N.T.S.



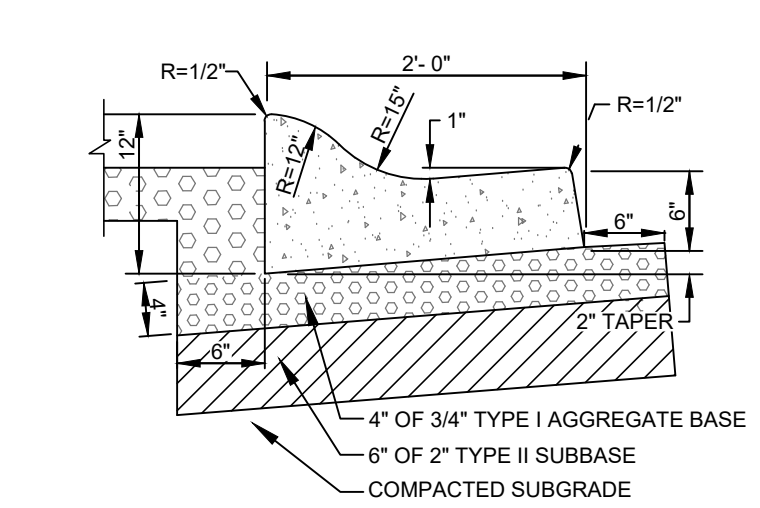
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2
C0.1 **36" CONCRETE VALLEY GUTTER**
N.T.S.



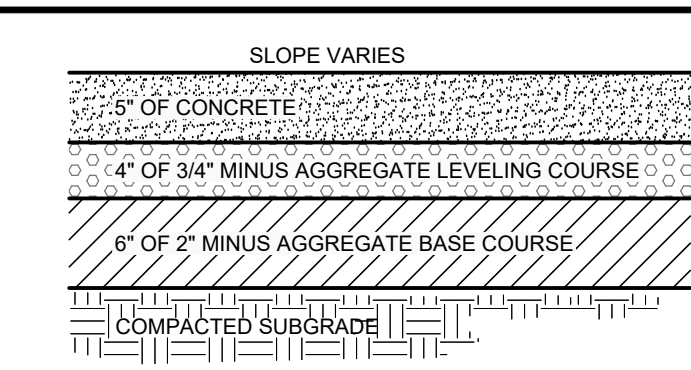
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

3
C0.1 **6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.

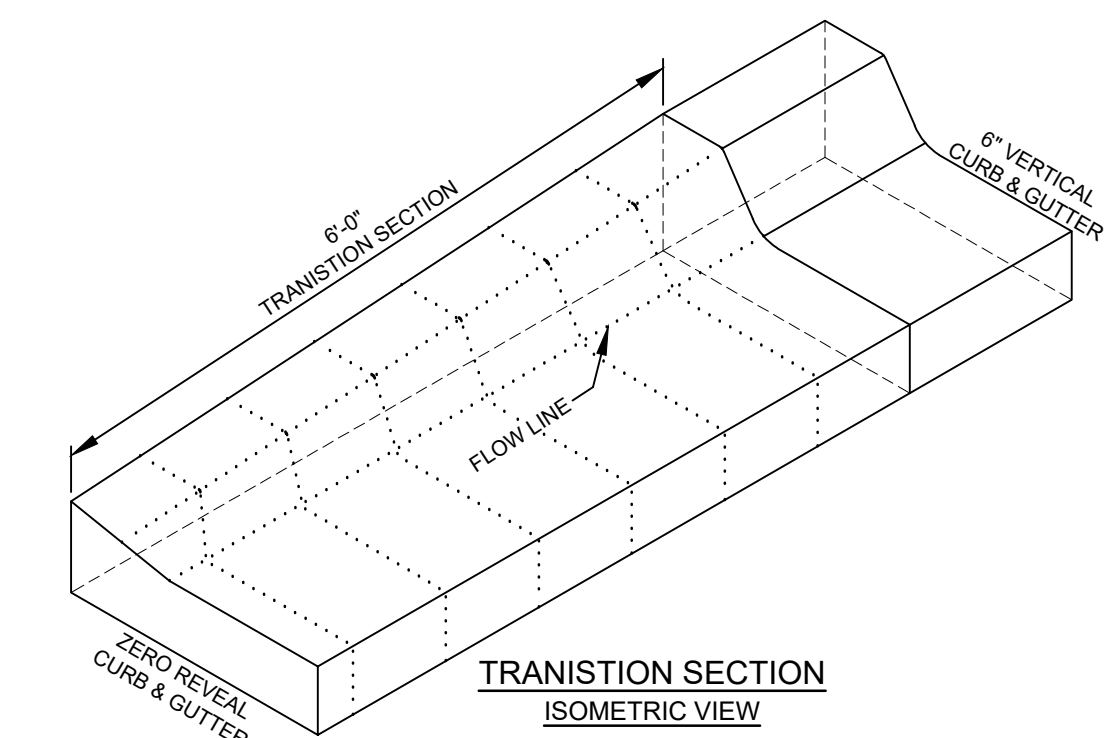


- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

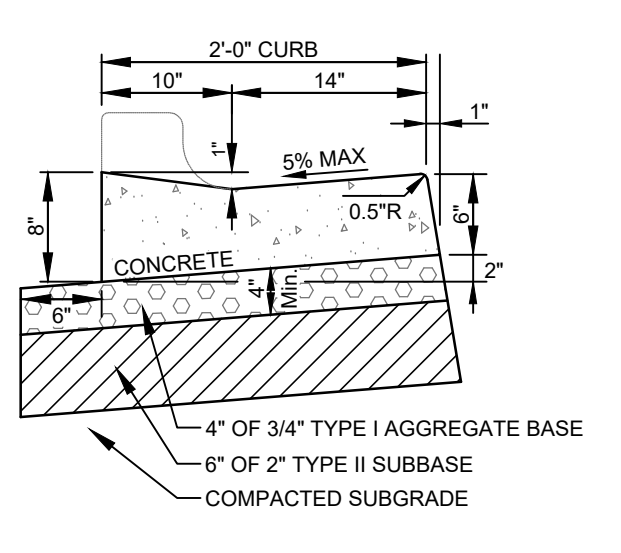
4
C0.1 **TYPICAL CONCRETE SECTION**
N.T.S.



- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 3" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.



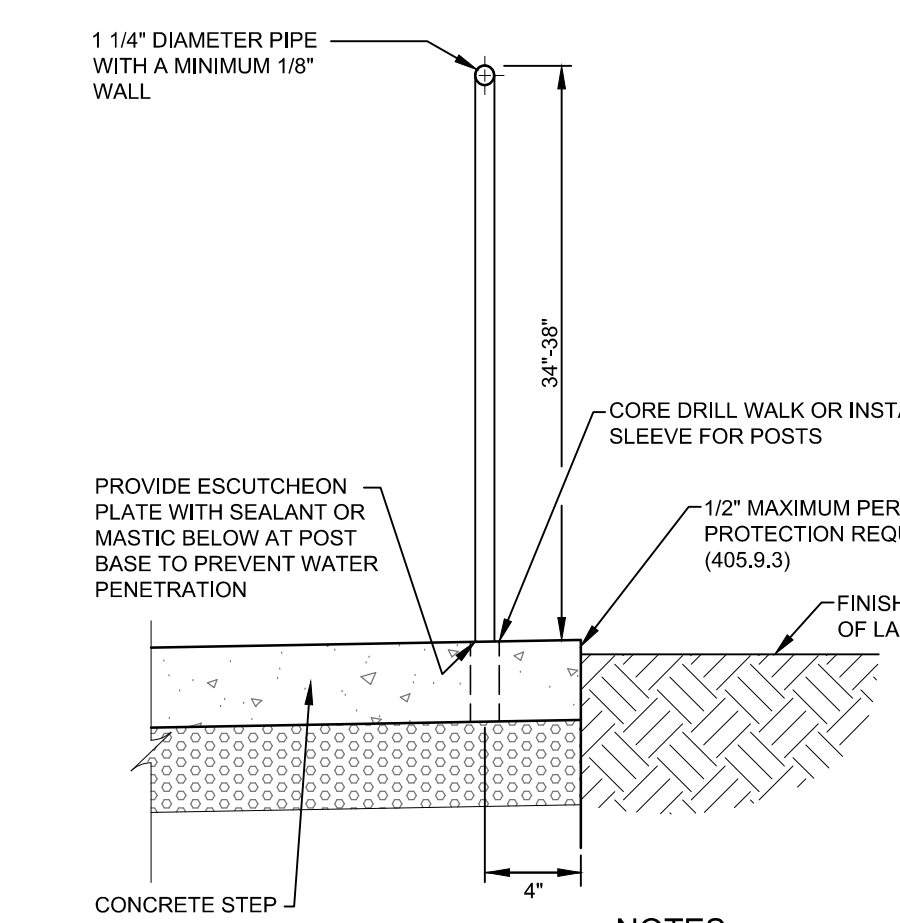
TRANSITION SECTION ISOMETRIC VIEW



ZERO REVEAL CURB & GUTTER

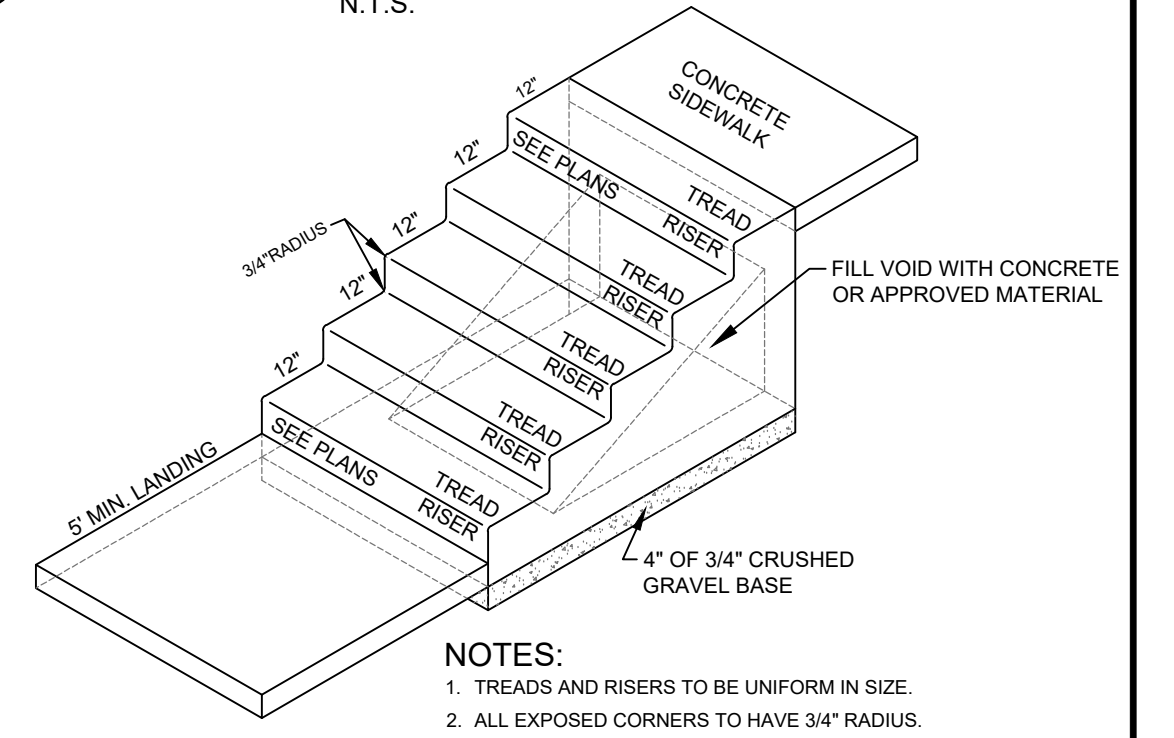
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT W/SIDEWALK).

5
C0.1 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



- NOTES:**
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
 - CLEAR WIDTH: THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.5).

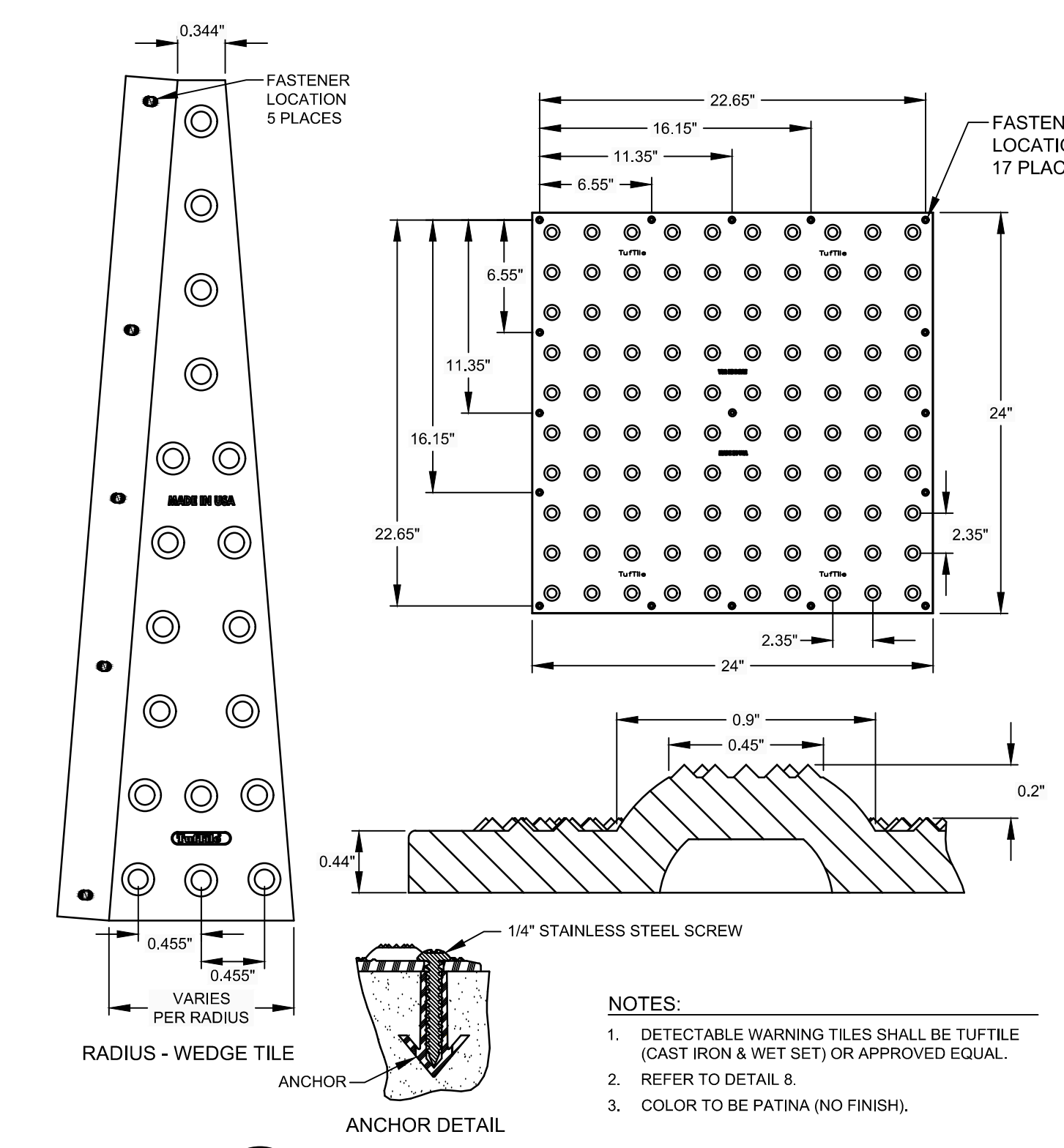
STAND ALONE HANDRAIL DETAIL
N.T.S.



- NOTES:**
- TREADS AND RISERS TO BE UNIFORM IN SIZE.
 - ALL EXPOSED CORNERS TO HAVE 3/4" RADIUS.
 - IF SPACE PERMITS, FIRST TREAD TO BE AT GRADE WITH SIDEWALK.

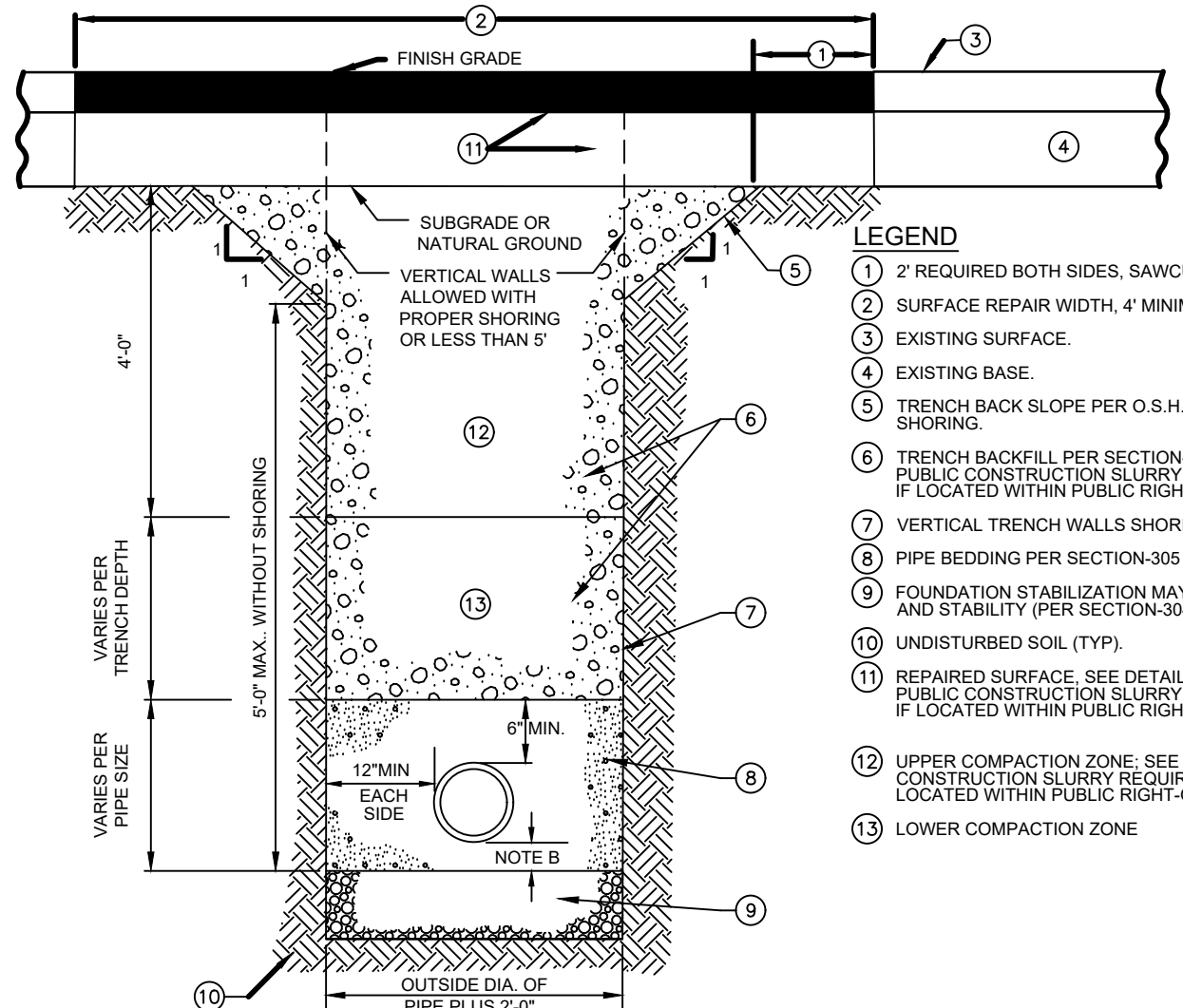
WALL MOUNTED HANDRAIL DETAIL
N.T.S.

6
C0.1 **TYPICAL HANDRAIL AND STAIRS DETAIL**
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

7
C0.1 **DETECTABLE WARNING PLATE**
N.T.S.



- LEGEND**
- 2" REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER 0.5 H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER 0.5 H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP).
 - REPAIRED SURFACE. SEE DETAIL 8. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (MINUS) : 2,800 LBS
 SAND : 800 LBS
 PORTLAND CEMENT : 94 LBS
 WATER : 11 GAL (MAX.)

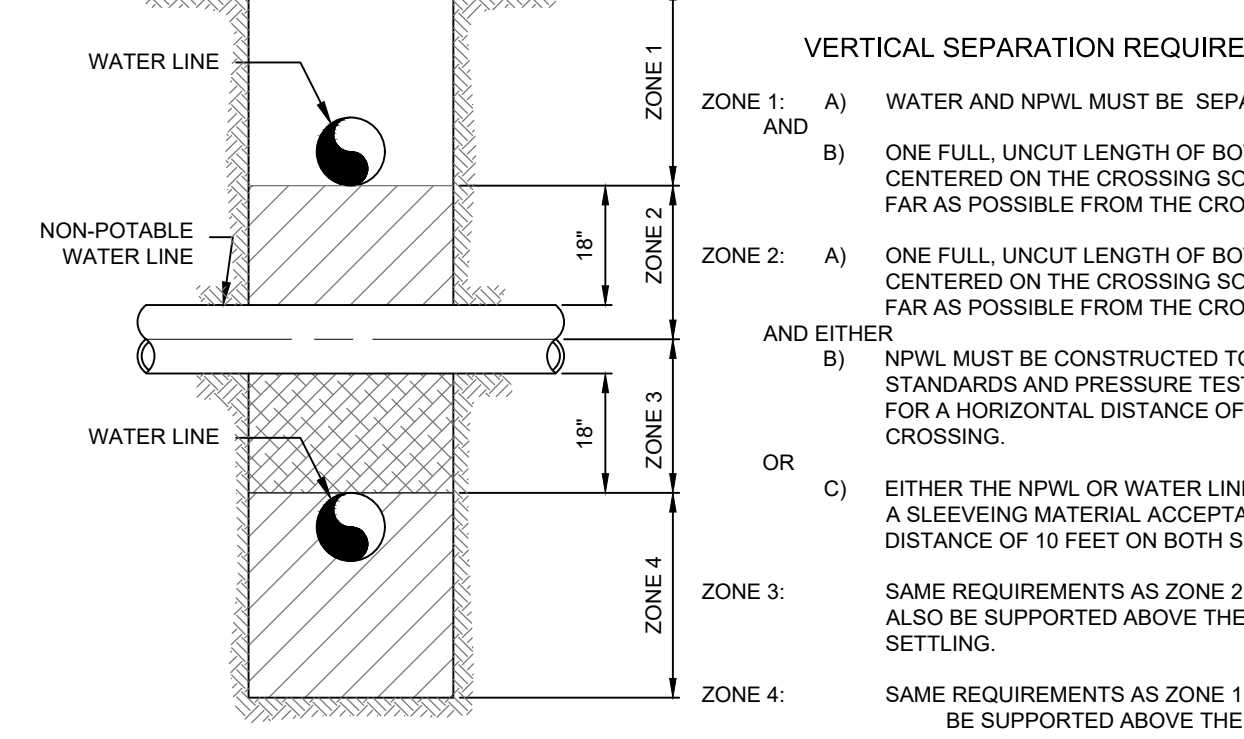
WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF CONSTRUCTION PRIOR TO COMPLETING THE PERMANENT REPAIR.

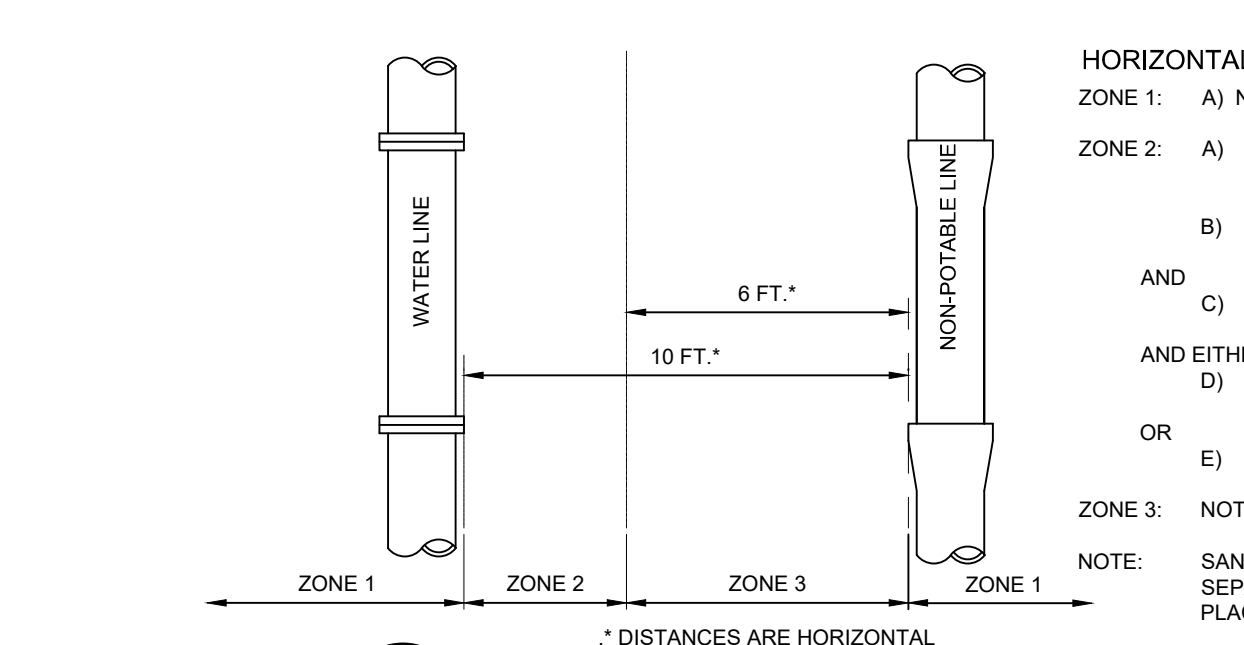
- NOTES:**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3.
 - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPCW SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
 - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

8
C0.1 **TYPICAL TRENCH**
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES AND B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

7
C0.1 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.

NOTES AND DETAIL SHEET
4TH AND WALNUT
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR WALNUT & FOURTH LLC

PROJECT INFORMATION
 Prepared by: GALENA ENGINEERING, INC.
 Date: 10/14/2020

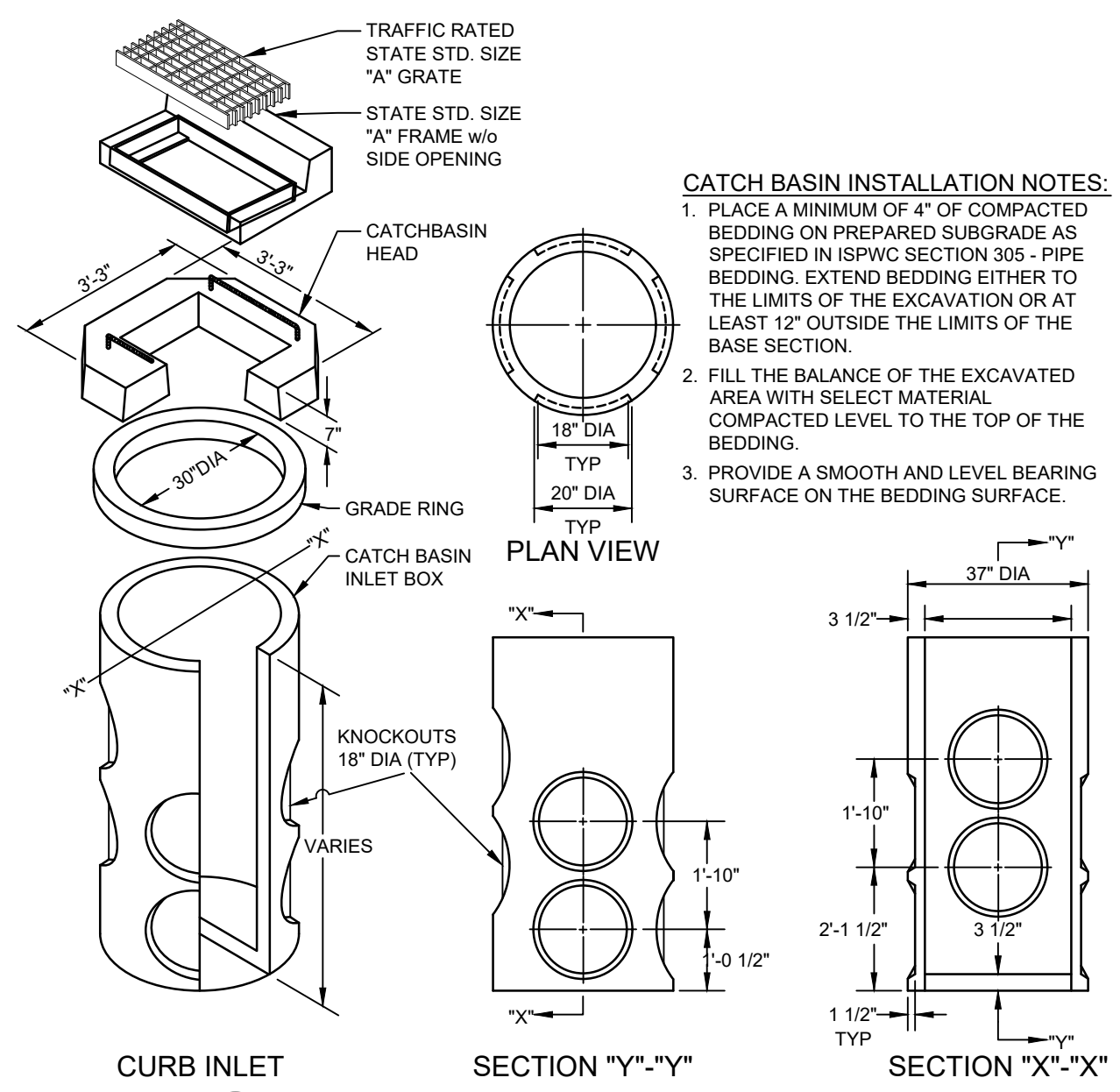
PROFESSIONAL ENGINEER
 LICENSE NO. 17616
 GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

SKS DESIGNED BY
 SKS DRAWN BY
 SMF CHECKED BY

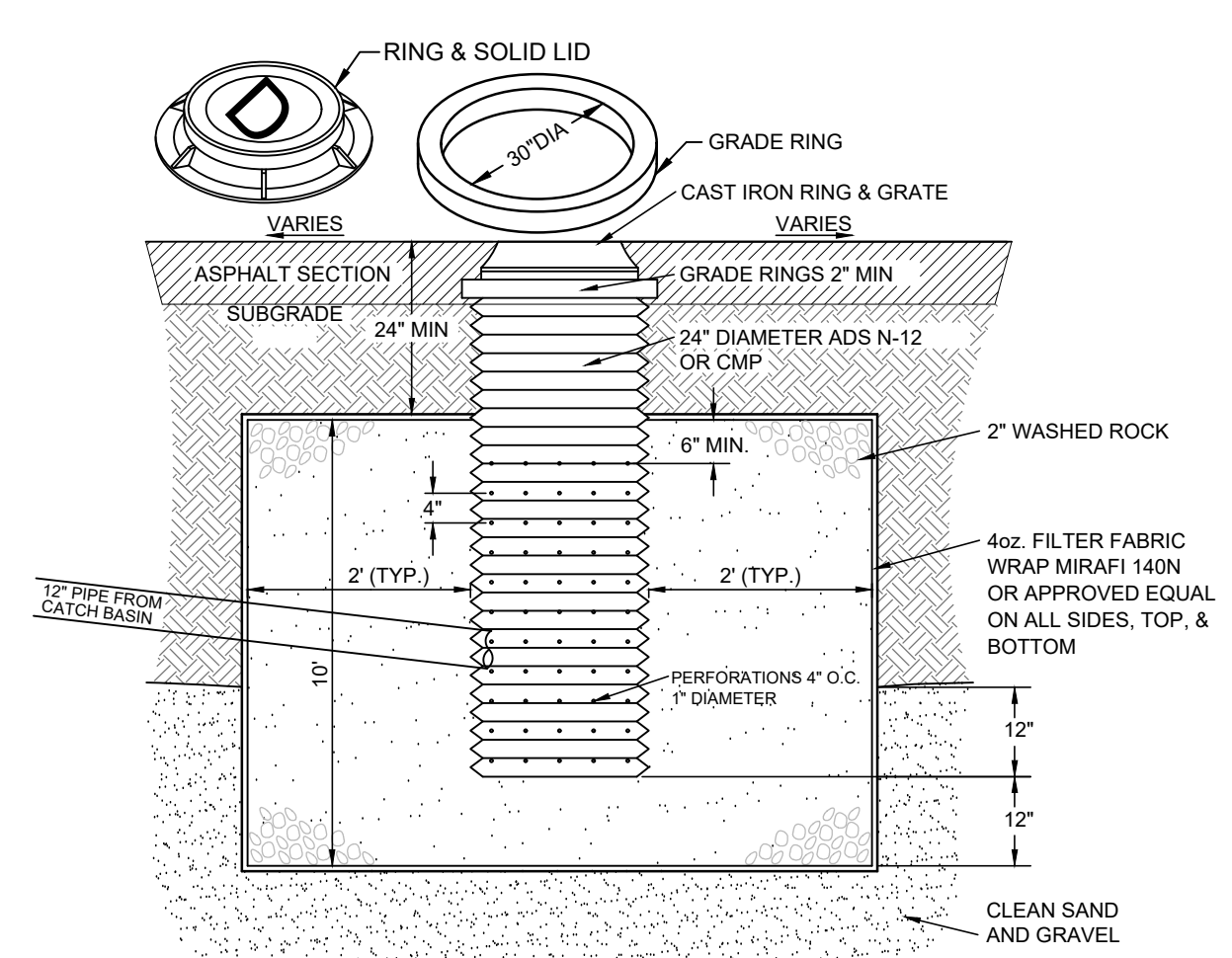
PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)

NO.	DATE	BY	REVISIONS

C0.1

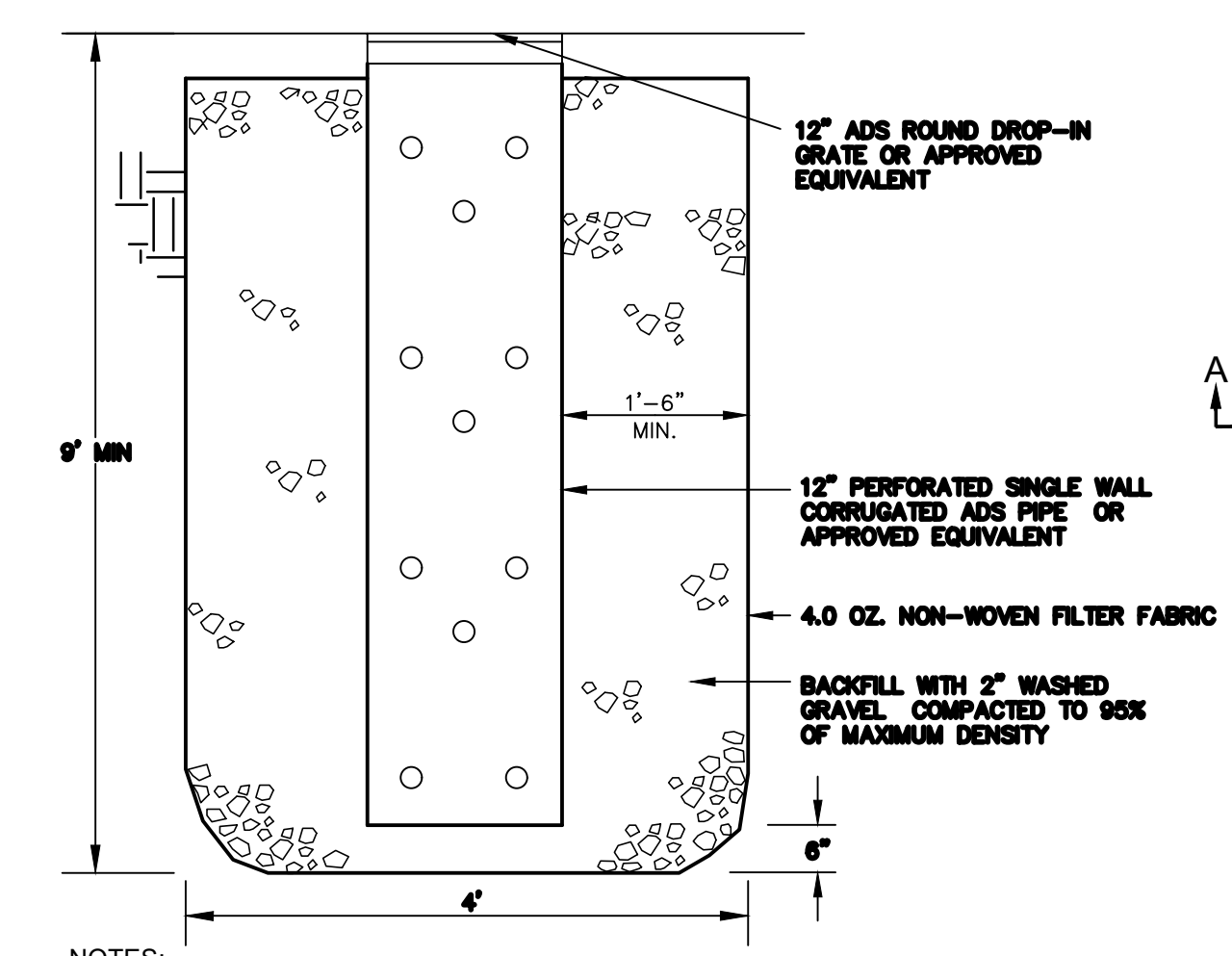


1
C0.2 **30\"/>**



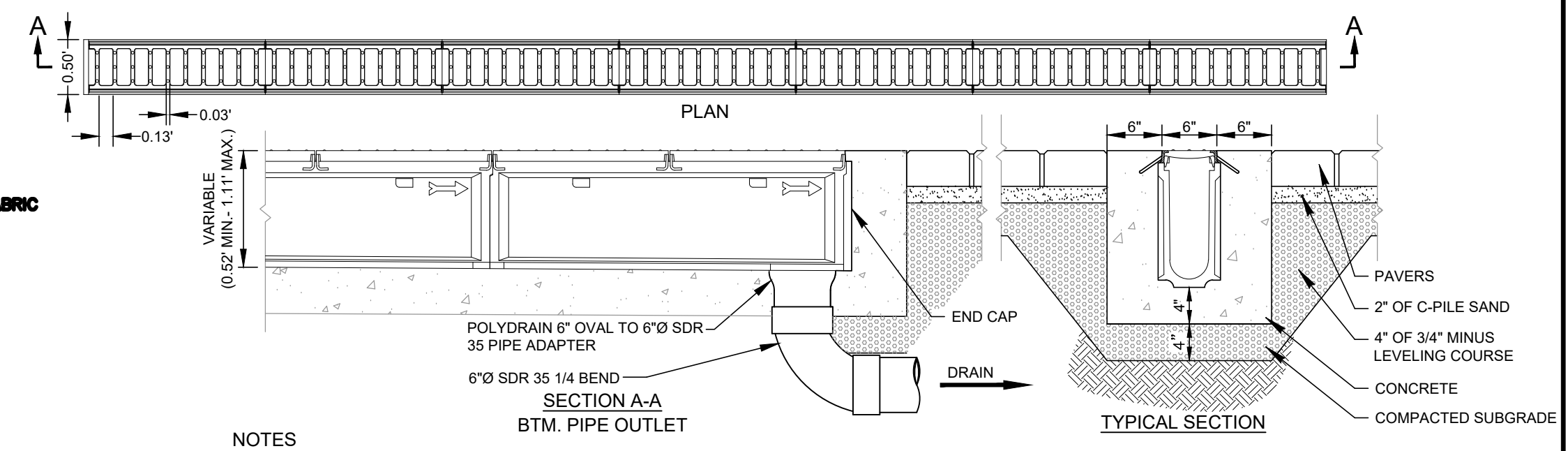
- NOTES:**
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

2
C0.2 **DRYWELL DETAIL (6'X6')**
N.T.S.



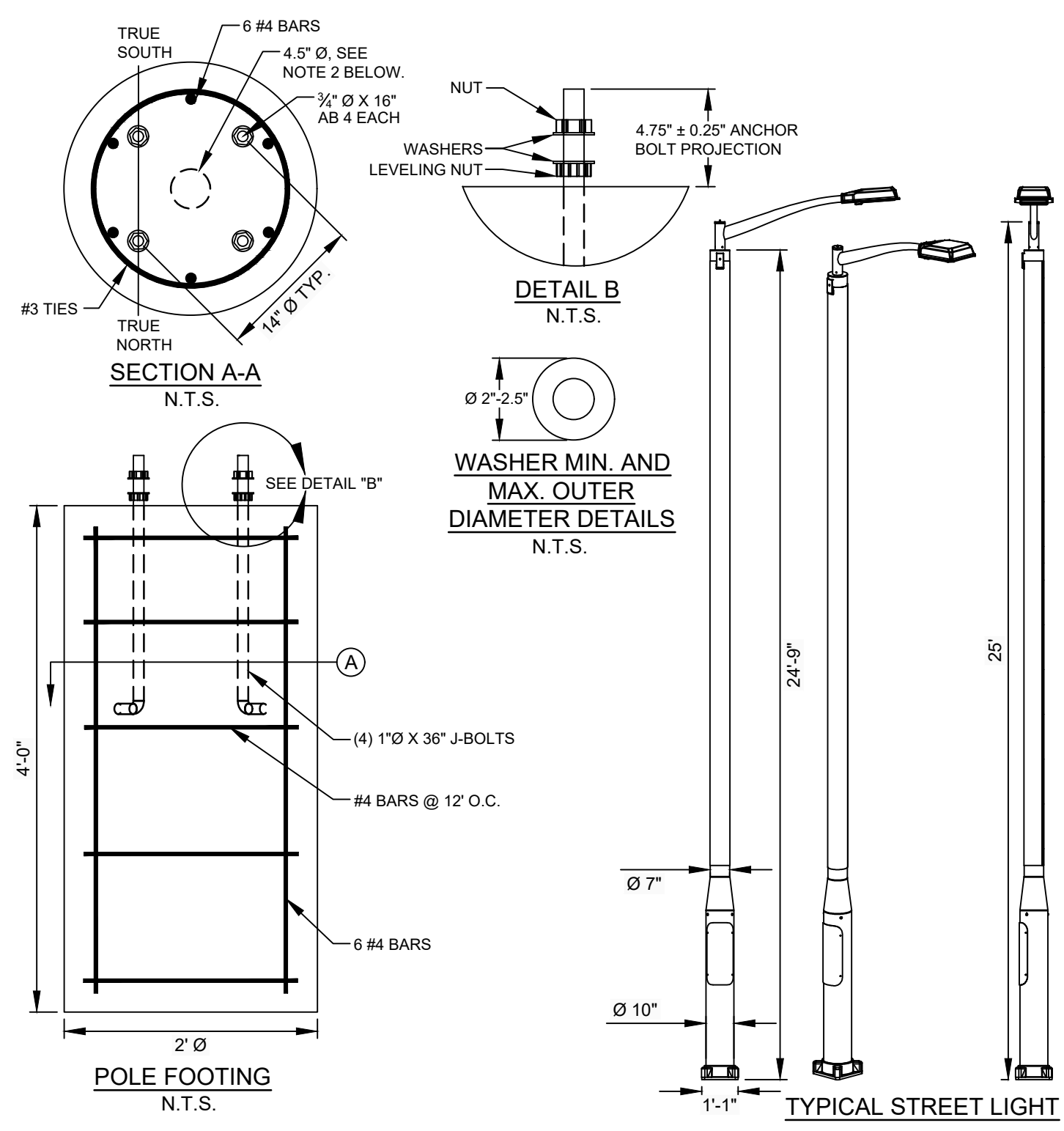
- NOTES:**
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

3
C0.2 **TYPICAL HANDRAIL AND STAIRS DETAIL**
N.T.S.



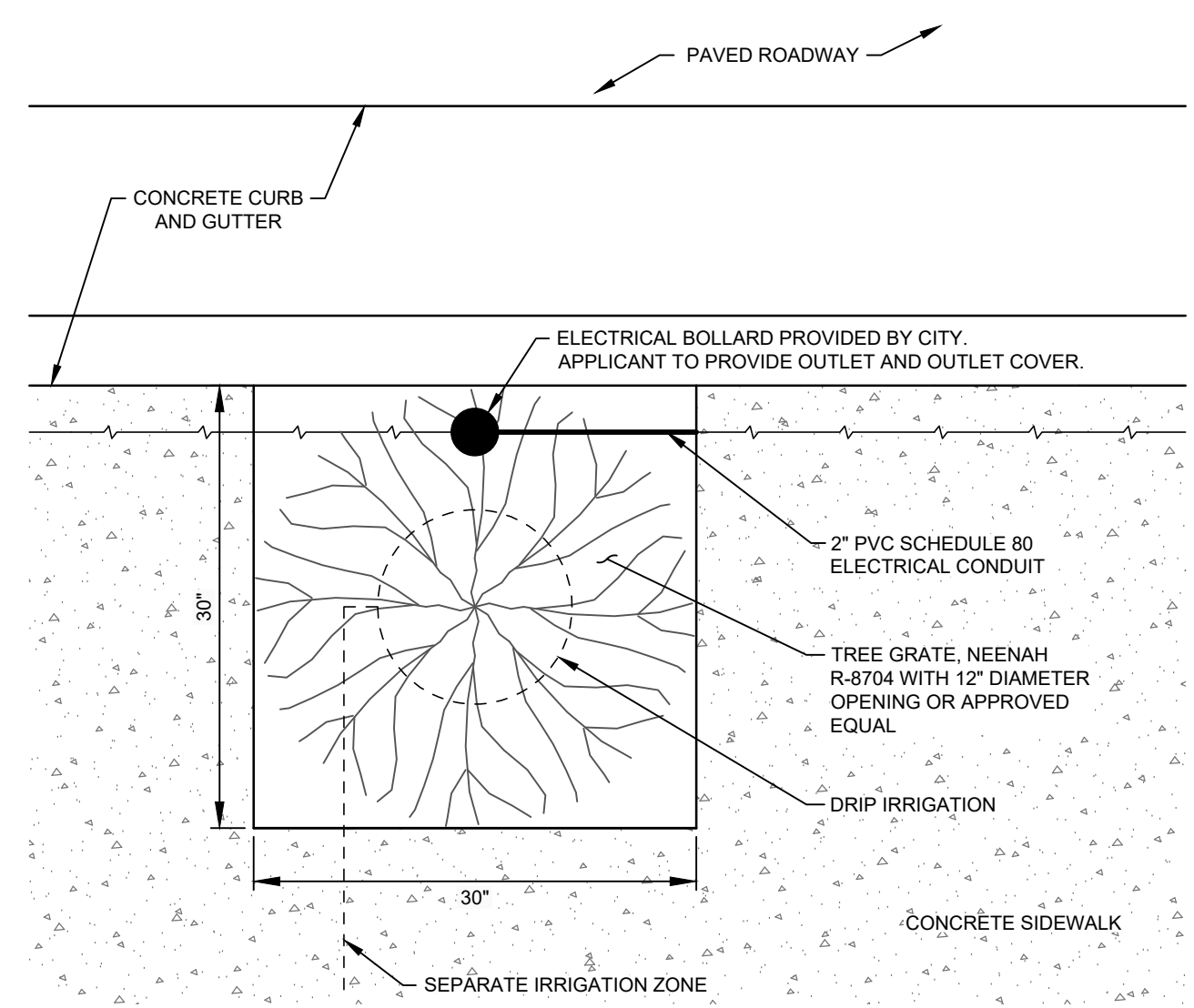
- NOTES:**
1. LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.

4
C0.2 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



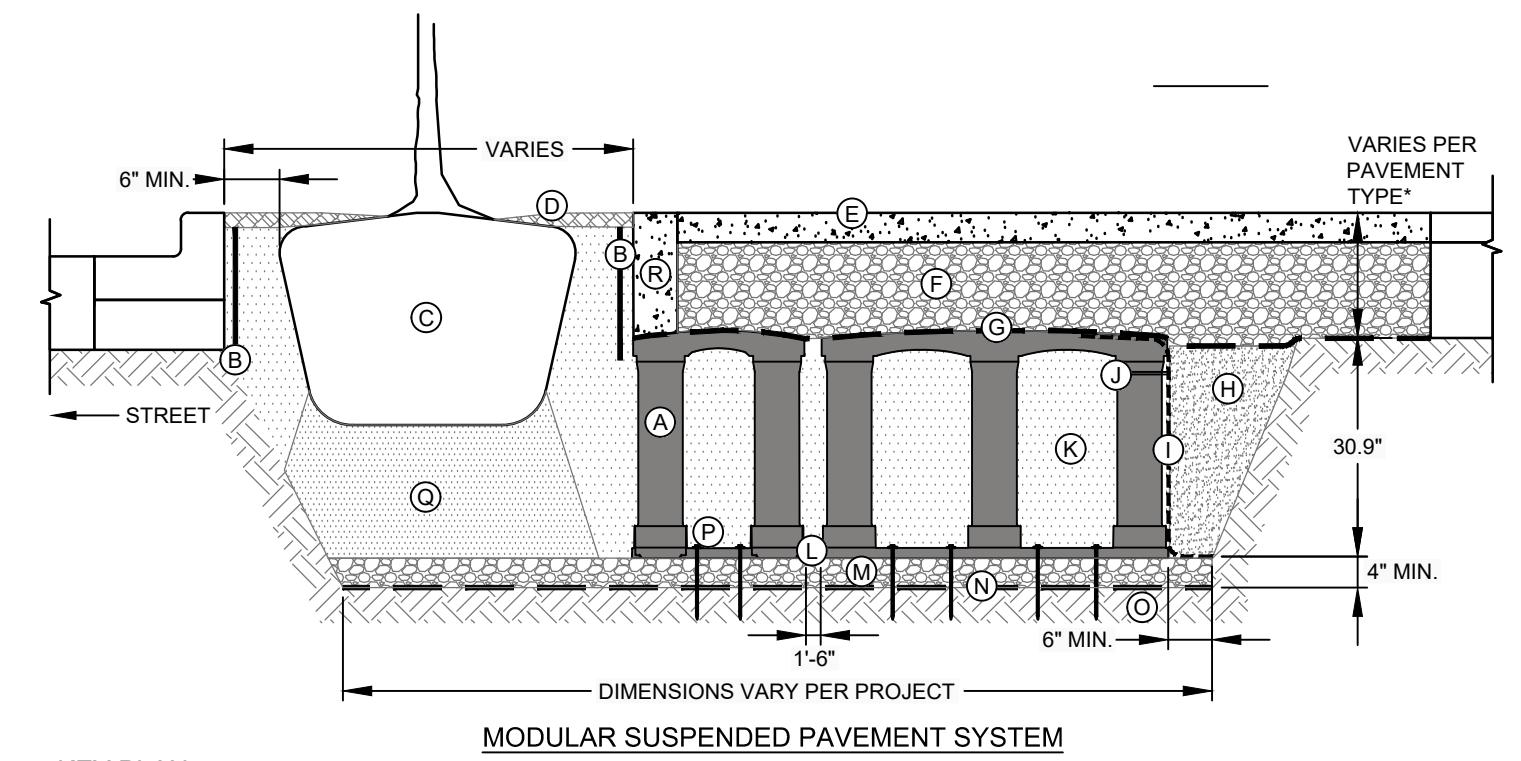
- NOTES:**
1. STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 2. ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5\"/>

5
C0.2 **TYPICAL STREET LIGHT**
N.T.S.



- NOTES:**
1. TREE TO BE 3\"/>

PLAN VIEW



- KEY PLAN:**
- SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - DEEPROOT ROOT BARRIER, 12\"/>

***MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING**

PAVEMENT	BASE COURSE	AGGREGATE
4\"/>		

- NOTES:**
1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.

SECTION VIEW

6
C0.2 **TREE WELL DETAILS**
N.T.S.

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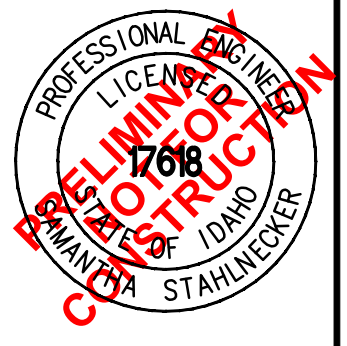
PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)

NO.	DATE	BY	REVISIONS

C0.2

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DESIGNED BY
SKS
DRAWN BY
SMF
CHECKED BY

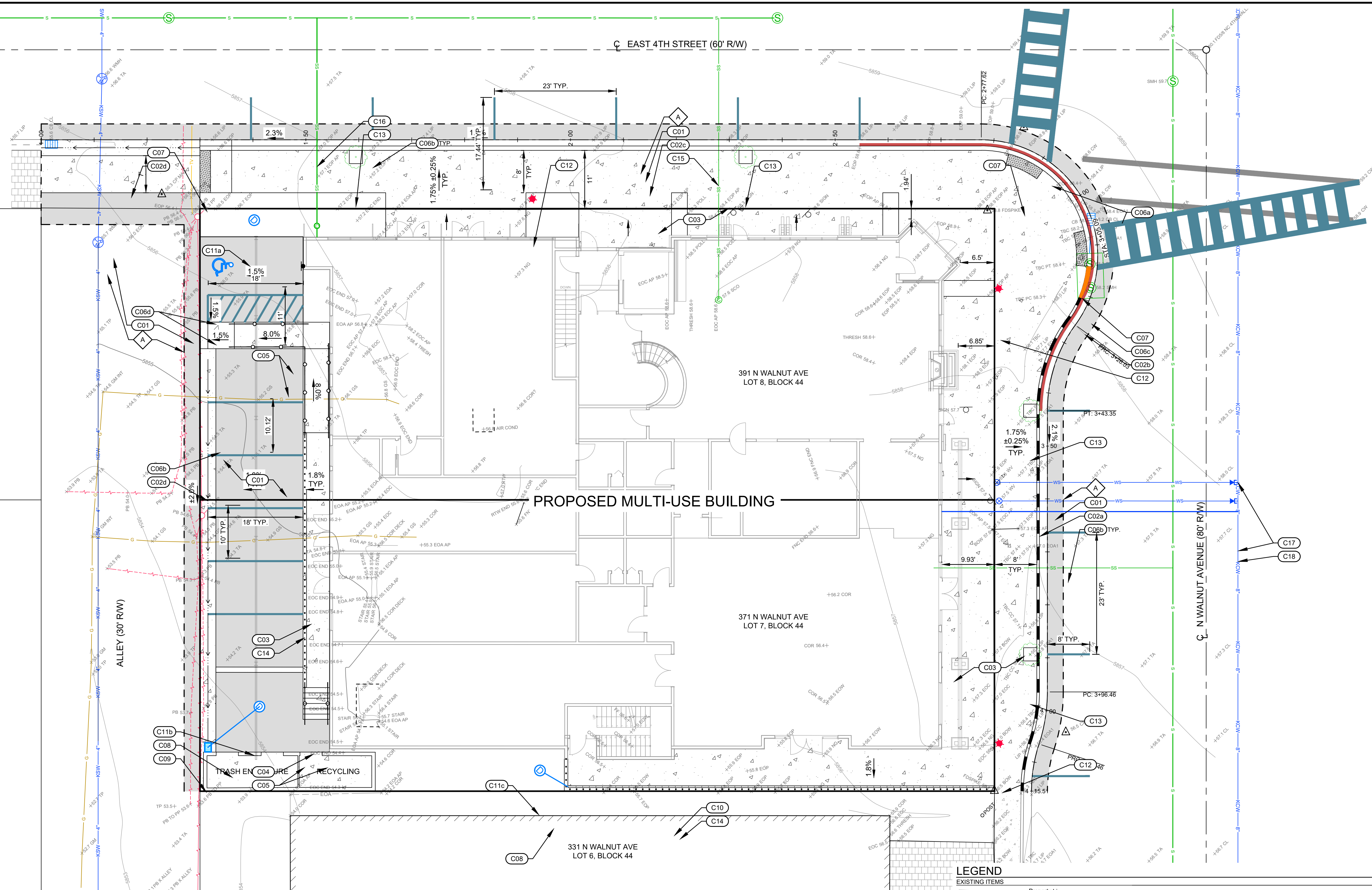
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com



DETAIL SHEET
4TH AND WALNUT
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WALNUT & FOURTH LLC

PROJECT INFORMATION
P:\id\06017819\img\Construction\1819-ENG-BASE.dwg 000620 10:14:52 AM

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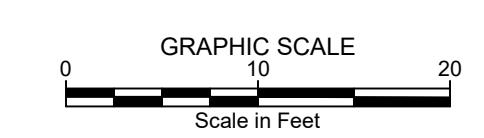


CONSTRUCTION KEY NOTES

- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.1.
C02 CONSTRUCT CONCRETE CURB AND GUTTER. a. 6" ROLLED C&G PER DETAIL 3 / C0.1. b. CURB TRANSITION PER DETAIL 5 / C0.1. c. ZERO REVEAL CURB AND GUTTER PER DETAIL 5 / C0.1. d. CONCRETE VALLEY GUTTER PER DETAIL 2 / C0.1.
C03 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 4 / C0.1.
C04 CONSTRUCT CONCRETE STAIRS. SEE DETAIL 6 / C0.1.
C05 INSTALL HANDRAIL. SEE DETAIL 6 / C0.1.
C06 INSTALL ROAD STRIPING / PAINT. a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS. b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS. c. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS. d. BLUE ADA PARKING STRIPING AND SYMBOL.
C07 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 9 / C0.1.
C08 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 7 / C0.1 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 8 / C0.1 FOR TRENCHING.
C09 INSTALL CATCH BASIN. SEE DETAIL 1 / C0.2 RIM = XX INV. OUT = XX
C10 INSTALL TRENCH DRAIN. SEE DETAIL 4 / C0.2
C11 DRYWELL. a. CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 3 / C0.2 RIM = XX INV. IN = XX b. CONSTRUCT NEW DRYWELL; CONNECT ROOF DRAINS PER ARCHITECT. SEE DETAIL 2 / C0.2 RIM = XX INV. IN = XX c. CONSTRUCT NEW DRYWELL. SEE DETAIL 2 / C0.2 RIM = XX INV. IN = XX
C12 INSTALL CITY OF KETCHUM STANDARD STREET LIGHT. SEE DETAIL 5 / C0.2.
C13 INSTALL TREE WELL BOLLARDS AND MODULAR SUSPENDED PAVEMENT SYSTEM. SEE DETAIL 6 / C0.2.
C14 INSTALL RETAINING WALL PER ARCHITECT.
C15 CUT AND CAP EXISTING SEWER SERVICE.
C16 INSTALL 6" PVC SEWER SERVICE. MECHANICAL ENGINEER TO CONFIRM SERVICE SIZE.
C17 CUT, CAP, AND ABANDON EXISTING WATER SERVICE AT MAIN LINE.
C18 INSTALL 6" PVC WATER SERVICE. MECHANICAL ENGINEER TO CONFIRM SERVICE SIZE.
C19 RELOCATE UTILITIES. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.
MATCH EXISTING LINES AND GRADES

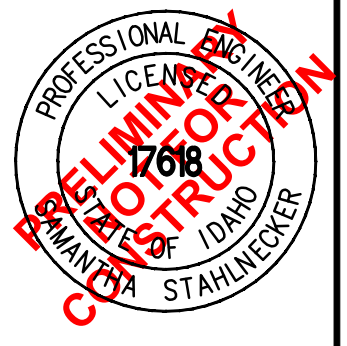
LEGEND

LEGEND EXISTING ITEMS: Property Line, Adjoiner's Lot Line, Centerline, etc. PROPOSED ITEMS: Asphalt, Concrete, 6" Rolled Curb & Gutter, etc. Includes symbols for utilities like TV, PHBOX, PB, AC, S, SS, SMH, etc.



NOTES AND DETAIL SHEET
4TH AND WALNUT

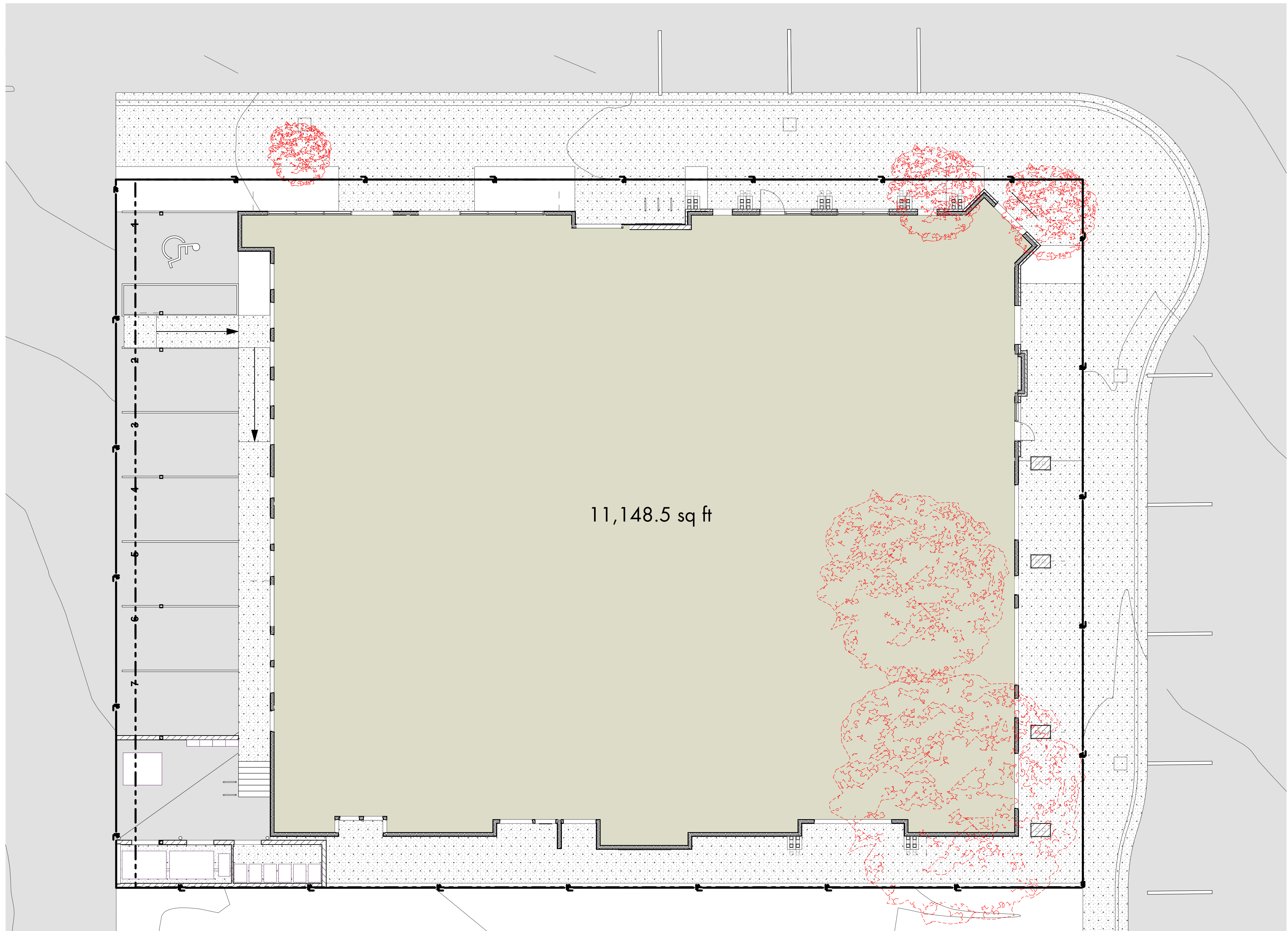
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WALNUT & FOURTH LLC



DESIGNED BY
DRAWN BY
SMF
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GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)
NO. DATE BY REVISIONS



11,148.5 sq ft



305 1st STREET,
 Idaho Falls, ID 83401
 PH: 208.757.5700
 www.resinarchitecture.com

Original document is on file
 with the date and architect signature

Original documents signed by:
 J. GRAHAM WHIPPLE
 Date original documents signed:
 8/4/20

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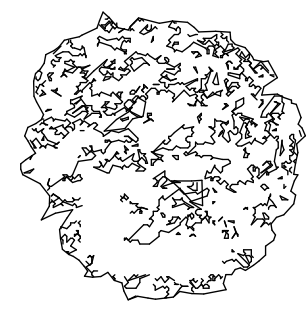
DEMOLITION LANDSCAPING PLAN

8/4/20

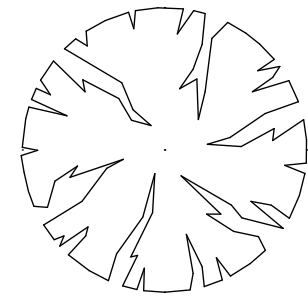
4th & Walnut Ave.
 Commercial Development

Design Review August 11th 2020

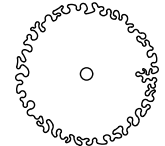
L-1



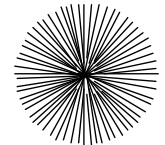
ARMSTRONG MAPLE, ACER x FREEMANII "ARMSTRONG"
15-20 x 40-50 MATURE



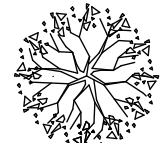
TANNENBAUM PINE, PINUS MUGHO "TANNENBAUM"
8-10 x 12-15 MATURE



PERENNIALS AND GRASSES
1 GAL @ 12"-18" O.C.



AUTUMN MOOR GRASS



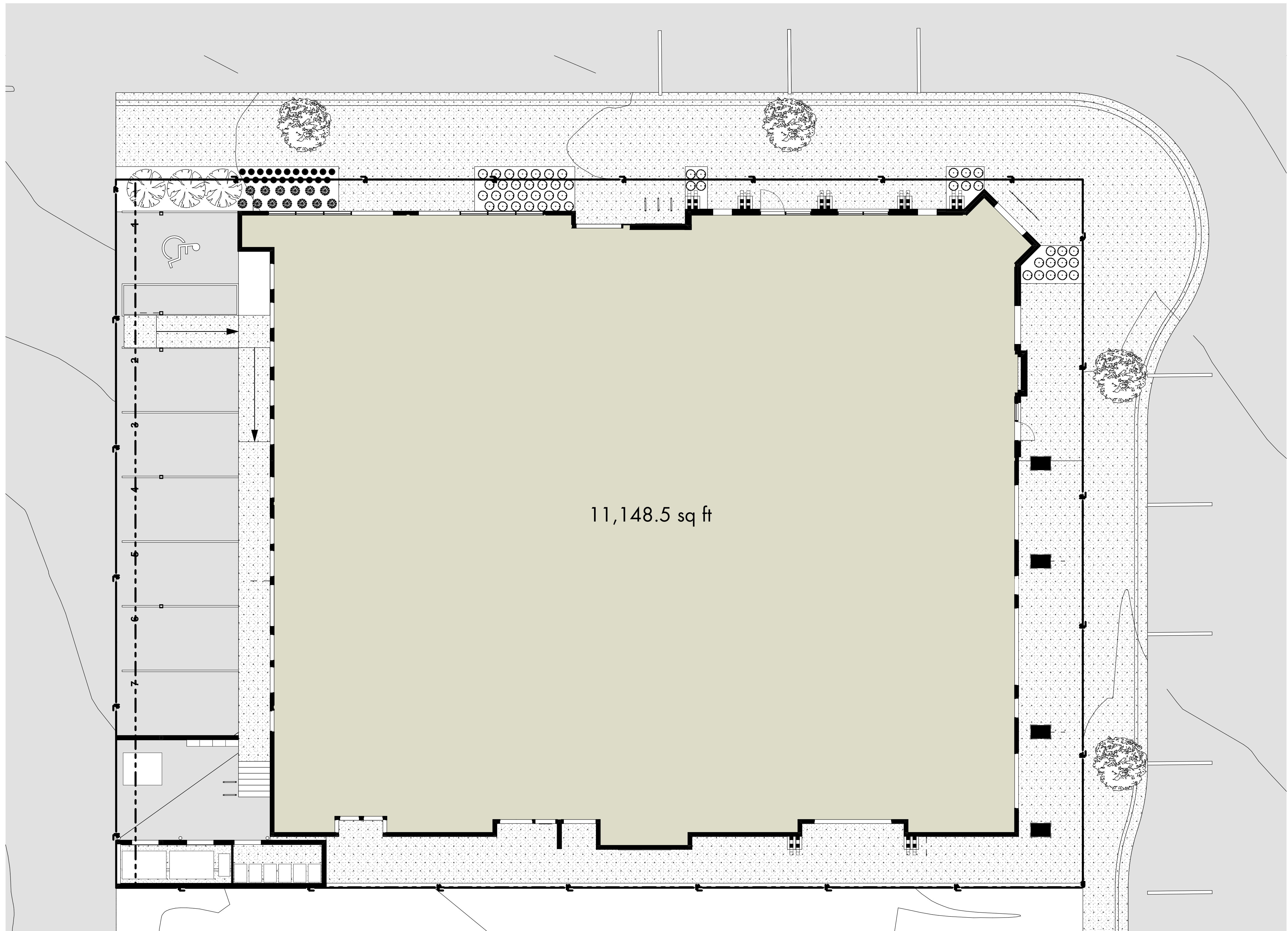
TOR BIRCHLEAF SPIREA, SPIRAEA BETULIFOLIA "TOR"



2 Mugho Tannenbaum
SCALE: 1:1.39



1 Armstrong Maple
SCALE: 1:1.19



11,148.5 sq ft



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ARCHITECTURE

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LANDSCAPING PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

L-2

Perennials (1 gal. @ 12"-18")

- *Alchillea millefolium* – Yarrow ‘Terracotta’
- *Geum* – Avens ‘Mai Tai’
- *Nepeta musinii* – Catmint ‘Blue Wonder’
- *Penstemon digitalis* – Penstemon ‘Dark Towers’
- *Salvia nemerosa* - ‘Ave Maria’
- *Salvia nemerosa* - ‘Caradonna’
- *Sedum telephium* - ‘Knight Rider’
- *Sedum telephium* - ‘Matrona’
- *Veronica longifolia* - ‘First Lady’



12 Veronica Longifolia First Lady
NOT TO SCALE



11 Yarrow Terracotta
NOT TO SCALE



10 Avens Mai Tai
NOT TO SCALE

Ornamental Grasses (1 gal.) - 40

- *Calamagrostis acutiflora* – Feather Reed Grass ‘Avalanche’
- *Sesleria autumnalis* - Autumn Moor Grass w



9 Penstemon Dark Towers
NOT TO SCALE



8 Sedum Telephium Knight Rider
NOT TO SCALE



7 Salvia Nemerosa Caradonna
NOT TO SCALE



6 Tor Birchleaf Spirea
SCALE: 1:1.63



5 Autumn Moor Grass
NOT TO SCALE



4 Feather Reed grass Avalanche
NOT TO SCALE



3 Sedum Telephium Matrona
NOT TO SCALE



2 Catmint Blue Wonder
NOT TO SCALE



1 Salvia Nemerosa Ave Maria
NOT TO SCALE



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LANDSCAPING PLANTS

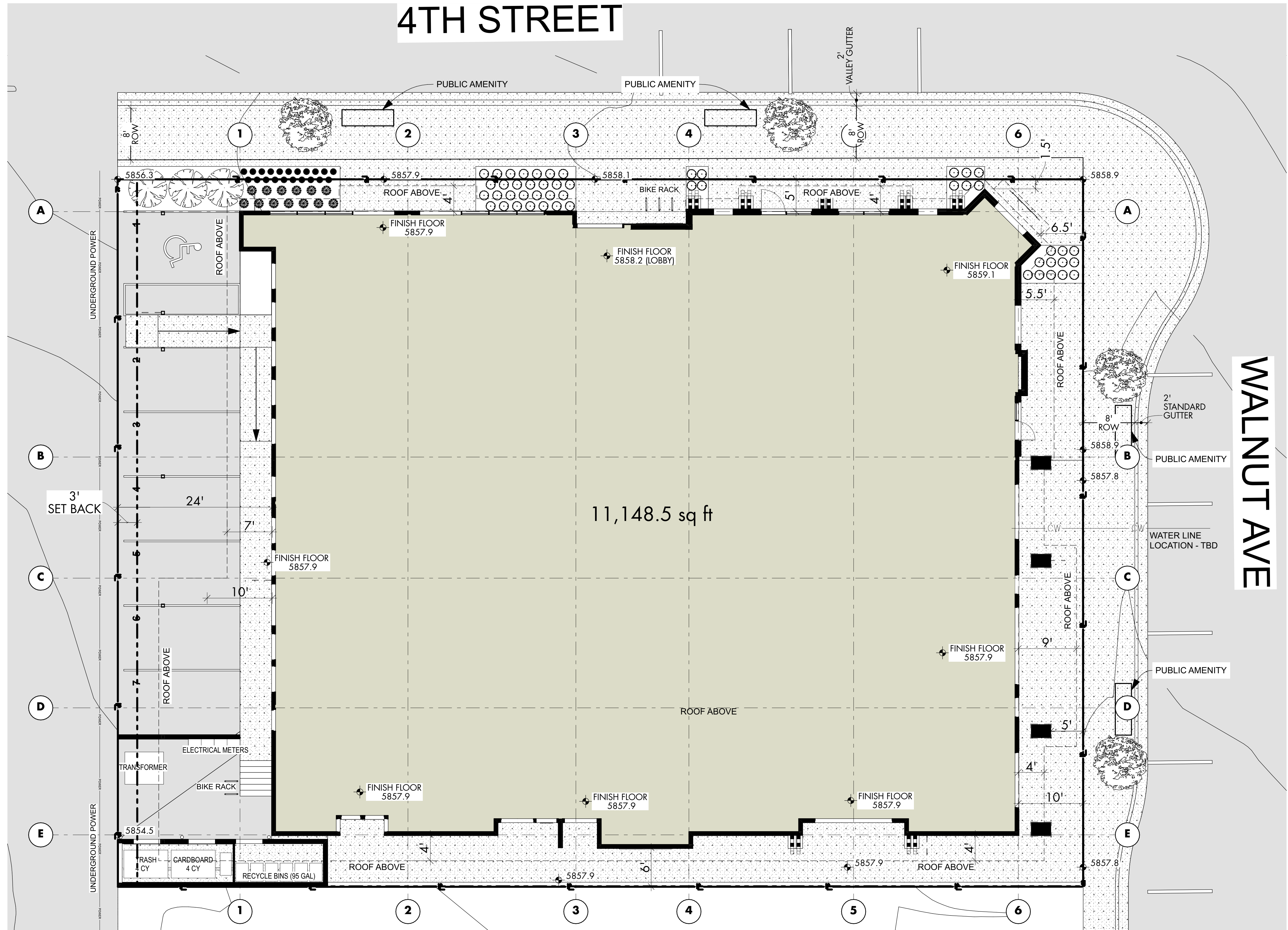
8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

ARCH SITE GENERAL NOTES

- A. ALL SIDE WALKS AND RIGHT OF WAY SHALL COMPLY WITH KMC 17.96.060.H.4 "4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed."
- B. PUBLIC AMENITIES COMPLYING WITH KMC 17.96.060.J "1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches or other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. all public amenities shall receive approval from the Public Works Department prior to design review approval from the commission." PUBLIC AMENITIES IN THE FORM OF BENCHES, TRASH RECEPTACLES AND/OR ART ARE ANTICIPATED AS PART OF THIS PROJECT. FINAL LOCATION AND DESIGN WILL BE COORDINATED WITH PUBLIC WORKS AND PLANNING DEPARTMENTS PRIOR TO PERMITTING.



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ARCHITECTURAL SITE PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 AS-101



1 ARCHITECTURAL SITE VICINITY
SCALE: 1:288



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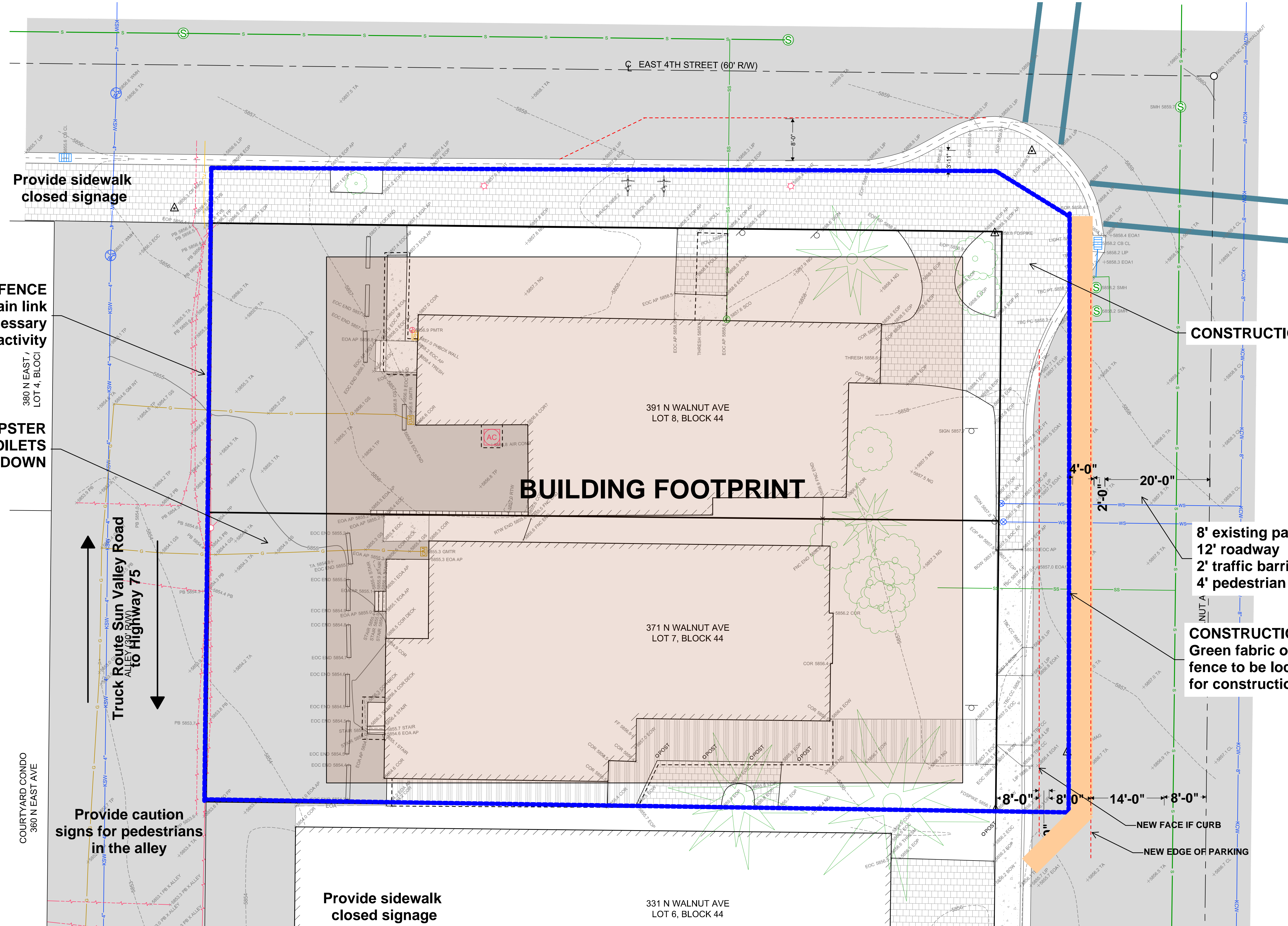
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ARCHITECTURAL VICINITY MAP

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 AS-102



CONSTRUCTION FENCE
Green fabric over 6' chain link fence to be located as necessary for construction activity

**DUMPSTER
CHEMICAL TOILETS
MATERIAL LAYDOWN**

380 N EAST /
LOT 4, BLOCK 1

Provide caution signs for pedestrians in the alley

Provide sidewalk closed signage

BUILDING FOOTPRINT

391 N WALNUT AVE
LOT 8, BLOCK 44

371 N WALNUT AVE
LOT 7, BLOCK 44

331 N WALNUT AVE
LOT 6, BLOCK 44

CONSTRUCTION OFFICE

8' existing parking
12' roadway
2' traffic barrier
4' pedestrian walkway

CONSTRUCTION FENCE
Green fabric over 6' chain link fence to be located as necessary for construction activity

- Contractor Parking will be provided**
1. Onsite
 2. Public parking lot at the east end of 4th Street
 3. Public parking lot on Washington Street with shuttle

CONSTRUCTION MANAGEMENT PLAN

8/4/20

4th & Walnut Ave.

Commercial Development

Design Review August 11th 2020

AS-103



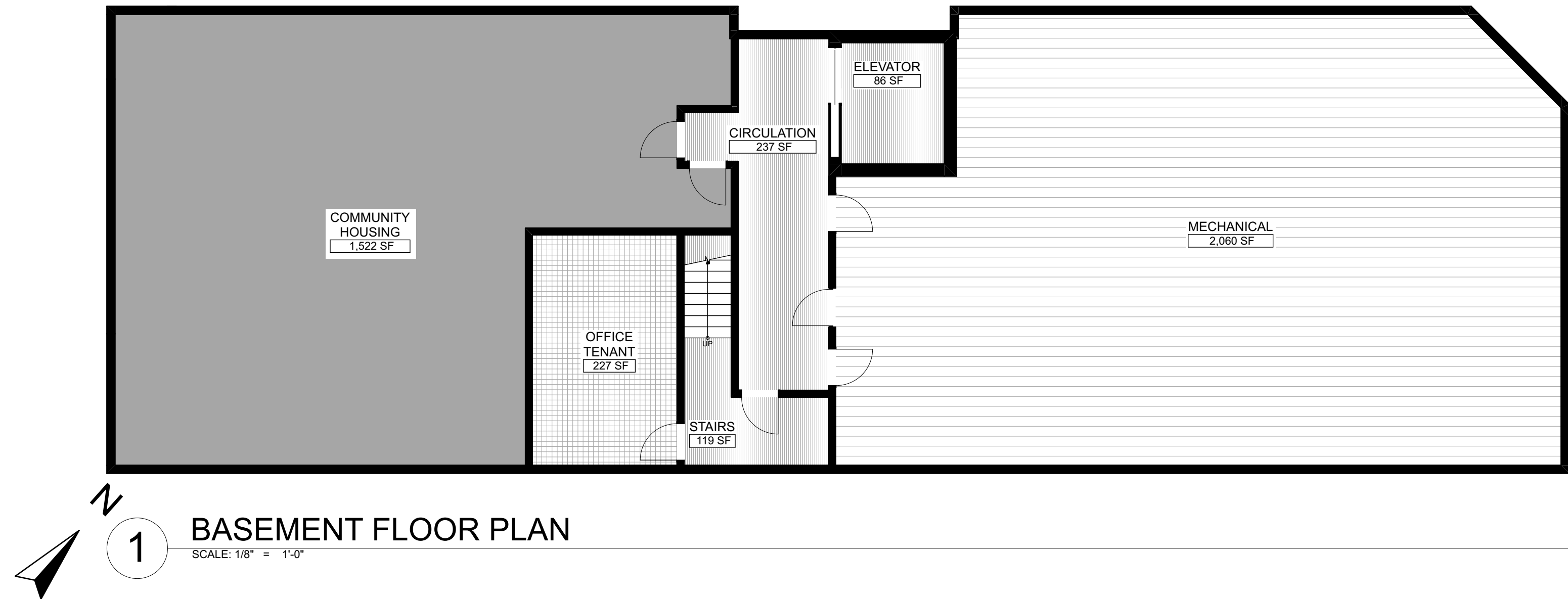
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Original documents signed by:
J. GRAHAM WHIPPLE
Date original documents signed:
8/4/20

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
Assembly			
	SECOND FLOOR	BALCONY	807.02
			807.02 sq ft
Circulation			
	BASEMENT	CIRCULATION	276.06
	BASEMENT	ELEVATOR	120.00
	BASEMENT	STAIRS	150.45
	FIRST FLOOR	CIRCULATION	542.31
	FIRST FLOOR	ELEVATOR	120.12
	FIRST FLOOR	STAIRS	195.82
	SECOND FLOOR	CIRCULATION	1,060.44
	SECOND FLOOR	ELEVATOR	124.57
	SECOND FLOOR	STAIRS	214.79
			2,804.56 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,625.14
			1,625.14 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,914.49
			2,914.49 sq ft
Office			
	BASEMENT	OFFICE TENANT	243.61
	SECOND FLOOR	OFFICE TENANT	3,974.19
			4,217.80 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,085.12
	SECOND FLOOR	RESIDENTIAL A	1,845.38
	SECOND FLOOR	RESIDENTIAL B	1,994.78
			4,925.28 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,338.40
			6,338.40 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,157.06
			2,157.06 sq ft
			25,789.75 sq ft

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
Assembly			
	SECOND FLOOR	BALCONY	745.30
			745.30 sq ft
Circulation			
	BASEMENT	CIRCULATION	236.79
	BASEMENT	ELEVATOR	86.33
	BASEMENT	STAIRS	119.13
	FIRST FLOOR	CIRCULATION	485.54
	FIRST FLOOR	ELEVATOR	92.53
	FIRST FLOOR	STAIRS	160.51
	SECOND FLOOR	CIRCULATION	943.60
	SECOND FLOOR	ELEVATOR	92.53
	SECOND FLOOR	STAIRS	186.24
			2,403.20 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,521.78
			1,521.78 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,783.72
			2,783.72 sq ft
Office			
	BASEMENT	OFFICE TENANT	226.69
	SECOND FLOOR	OFFICE TENANT	3,867.44
			4,094.13 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,020.42
	SECOND FLOOR	RESIDENTIAL A	1,772.70
	SECOND FLOOR	RESIDENTIAL B	1,927.91
			4,721.03 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,145.23
			6,145.23 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,060.06
			2,060.06 sq ft
			24,474.45 sq ft



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8/4/20

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BASEMENT FLOOR PLAN

8/4/20

4th & Walnut Ave.

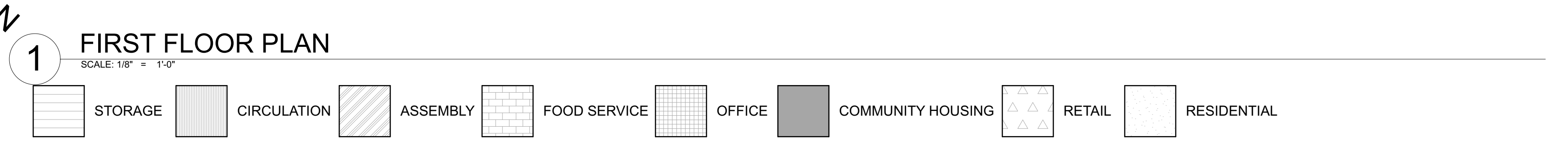
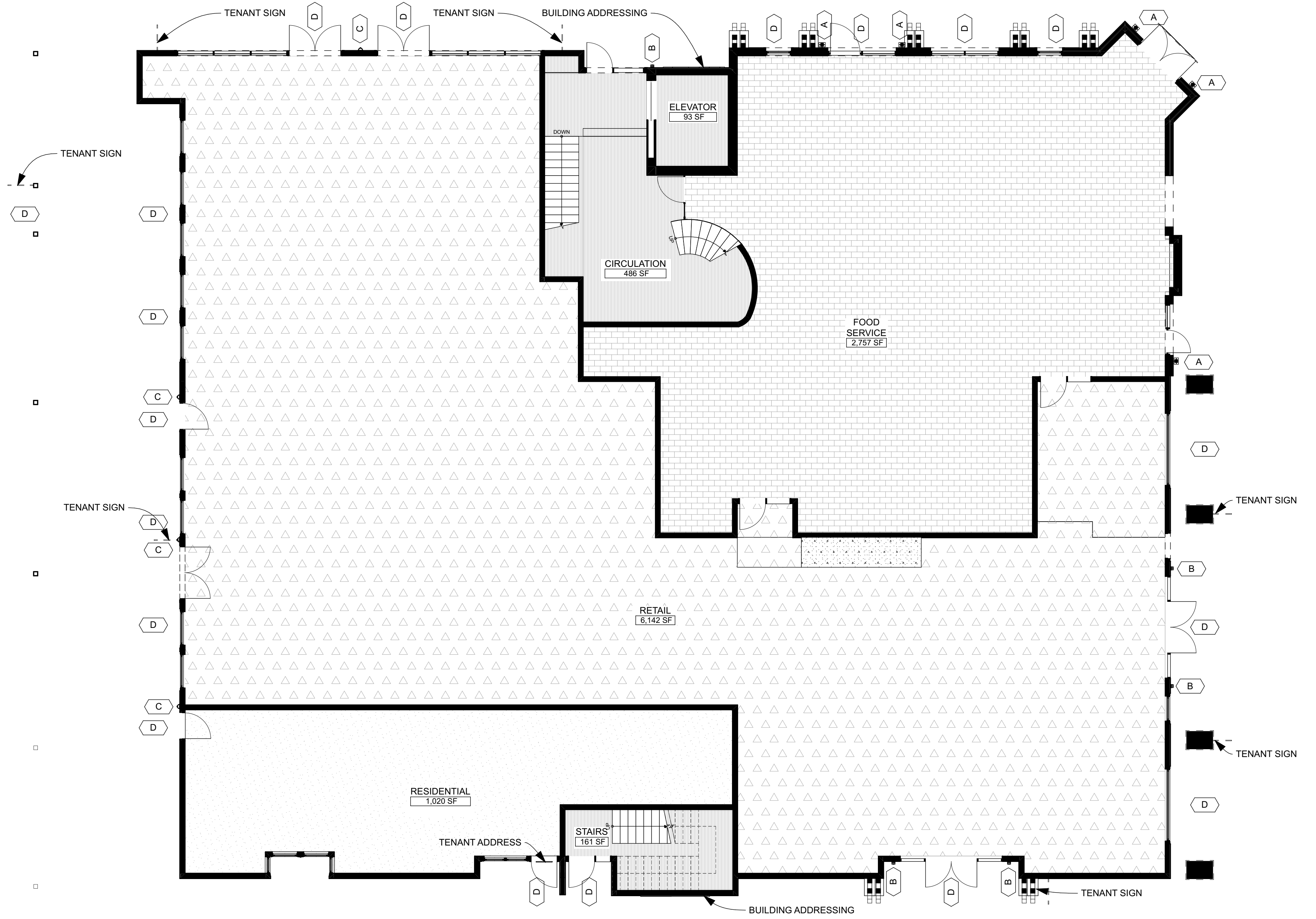
Commercial Development

Design Review August 11th 2020

A-100

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
Assembly			
	SECOND FLOOR	BALCONY	807.02
			807.02 sq ft
Circulation			
BASEMENT	CIRCULATION		276.06
BASEMENT	ELEVATOR		120.00
BASEMENT	STAIRS		150.45
FIRST FLOOR	CIRCULATION		542.31
FIRST FLOOR	ELEVATOR		120.12
FIRST FLOOR	STAIRS		195.82
SECOND FLOOR	CIRCULATION		1,060.44
SECOND FLOOR	ELEVATOR		124.57
SECOND FLOOR	STAIRS		214.79
			2,804.56 sq ft
Community Housing			
BASEMENT	COMMUNITY HOUSING		1,625.14
			1,625.14 sq ft
Food Service			
FIRST FLOOR	FOOD SERVICE		2,914.49
			2,914.49 sq ft
Office			
BASEMENT	OFFICE TENANT		243.61
SECOND FLOOR	OFFICE TENANT		3,974.19
			4,217.80 sq ft
Residential			
FIRST FLOOR	RESIDENTIAL		1,085.12
SECOND FLOOR	RESIDENTIAL A		1,845.38
SECOND FLOOR	RESIDENTIAL B		1,994.78
			4,925.28 sq ft
Retail			
FIRST FLOOR	RETAIL		6,338.40
			6,338.40 sq ft
Storage & Mechanical			
BASEMENT	MECHANICAL		2,157.06
			2,157.06 sq ft
			25,789.75 sq ft

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
Assembly			
	SECOND FLOOR	BALCONY	745.30
			745.30 sq ft
Circulation			
BASEMENT	CIRCULATION		236.79
BASEMENT	ELEVATOR		86.33
BASEMENT	STAIRS		119.13
FIRST FLOOR	CIRCULATION		485.54
FIRST FLOOR	ELEVATOR		92.53
FIRST FLOOR	STAIRS		160.51
SECOND FLOOR	CIRCULATION		943.60
SECOND FLOOR	ELEVATOR		92.53
SECOND FLOOR	STAIRS		186.24
			2,403.20 sq ft
Community Housing			
BASEMENT	COMMUNITY HOUSING		1,521.78
			1,521.78 sq ft
Food Service			
FIRST FLOOR	FOOD SERVICE		2,783.72
			2,783.72 sq ft
Office			
BASEMENT	OFFICE TENANT		226.69
SECOND FLOOR	OFFICE TENANT		3,867.44
			4,094.13 sq ft
Residential			
FIRST FLOOR	RESIDENTIAL		1,020.42
SECOND FLOOR	RESIDENTIAL A		1,772.70
SECOND FLOOR	RESIDENTIAL B		1,927.91
			4,721.03 sq ft
Retail			
FIRST FLOOR	RETAIL		6,145.23
			6,145.23 sq ft
Storage & Mechanical			
BASEMENT	MECHANICAL		2,060.06
			2,060.06 sq ft
			24,474.45 sq ft



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



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Date original documents signed:
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FIRST FLOOR PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-101

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
Assembly			
	SECOND FLOOR	BALCONY	807.02
			807.02 sq ft
Circulation			
	BASEMENT	CIRCULATION	276.06
	BASEMENT	ELEVATOR	120.00
	BASEMENT	STAIRS	150.45
	FIRST FLOOR	CIRCULATION	542.31
	FIRST FLOOR	ELEVATOR	120.12
	FIRST FLOOR	STAIRS	195.82
	SECOND FLOOR	CIRCULATION	1,060.44
	SECOND FLOOR	ELEVATOR	124.57
	SECOND FLOOR	STAIRS	214.79
			2,804.56 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,625.14
			1,625.14 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,914.49
			2,914.49 sq ft
Office			
	BASEMENT	OFFICE TENANT	243.61
	SECOND FLOOR	OFFICE TENANT	3,974.19
			4,217.80 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,085.12
	SECOND FLOOR	RESIDENTIAL A	1,845.38
	SECOND FLOOR	RESIDENTIAL B	1,994.78
			4,925.28 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,338.40
			6,338.40 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,157.06
			2,157.06 sq ft
			25,789.75 sq ft

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
Assembly			
	SECOND FLOOR	BALCONY	745.30
			745.30 sq ft
Circulation			
	BASEMENT	CIRCULATION	236.79
	BASEMENT	ELEVATOR	86.33
	BASEMENT	STAIRS	119.13
	FIRST FLOOR	CIRCULATION	485.54
	FIRST FLOOR	ELEVATOR	92.53
	FIRST FLOOR	STAIRS	160.51
	SECOND FLOOR	CIRCULATION	943.60
	SECOND FLOOR	ELEVATOR	92.53
	SECOND FLOOR	STAIRS	186.24
			2,403.20 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,521.78
			1,521.78 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,783.72
			2,783.72 sq ft
Office			
	BASEMENT	OFFICE TENANT	226.69
	SECOND FLOOR	OFFICE TENANT	3,867.44
			4,094.13 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,020.42
	SECOND FLOOR	RESIDENTIAL A	1,772.70
	SECOND FLOOR	RESIDENTIAL B	1,927.91
			4,721.03 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,145.23
			6,145.23 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,060.06
			2,060.06 sq ft
			24,474.45 sq ft



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



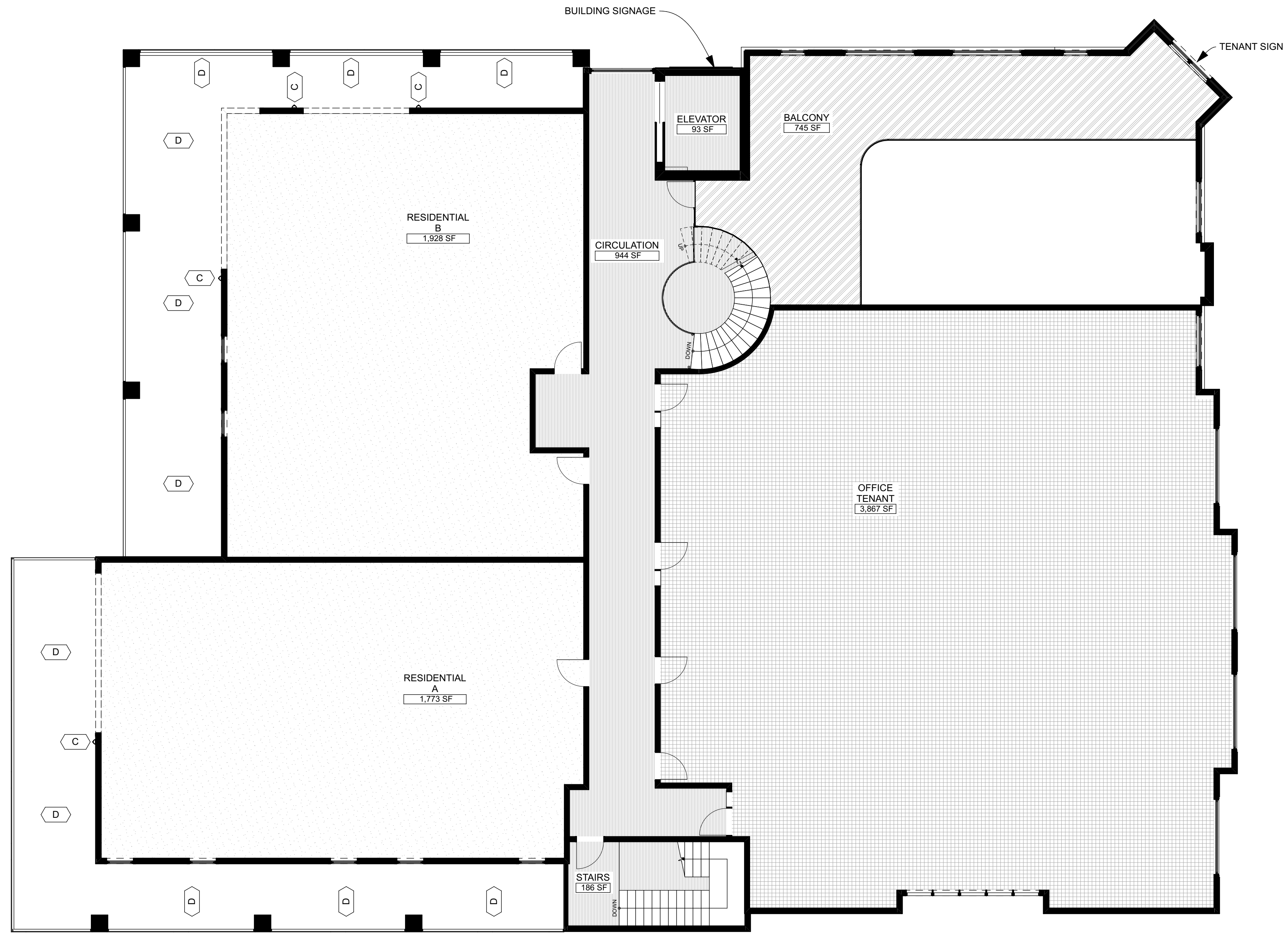
TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND: STORAGE, CIRCULATION, ASSEMBLY, FOOD SERVICE, OFFICE, COMMUNITY HOUSING, RETAIL, RESIDENTIAL



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Date original documents signed:
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SECOND FLOOR PLAN
8/4/20
4th & Walnut Ave.
Commercial Development
Design Review August 11th 2020
A-102



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



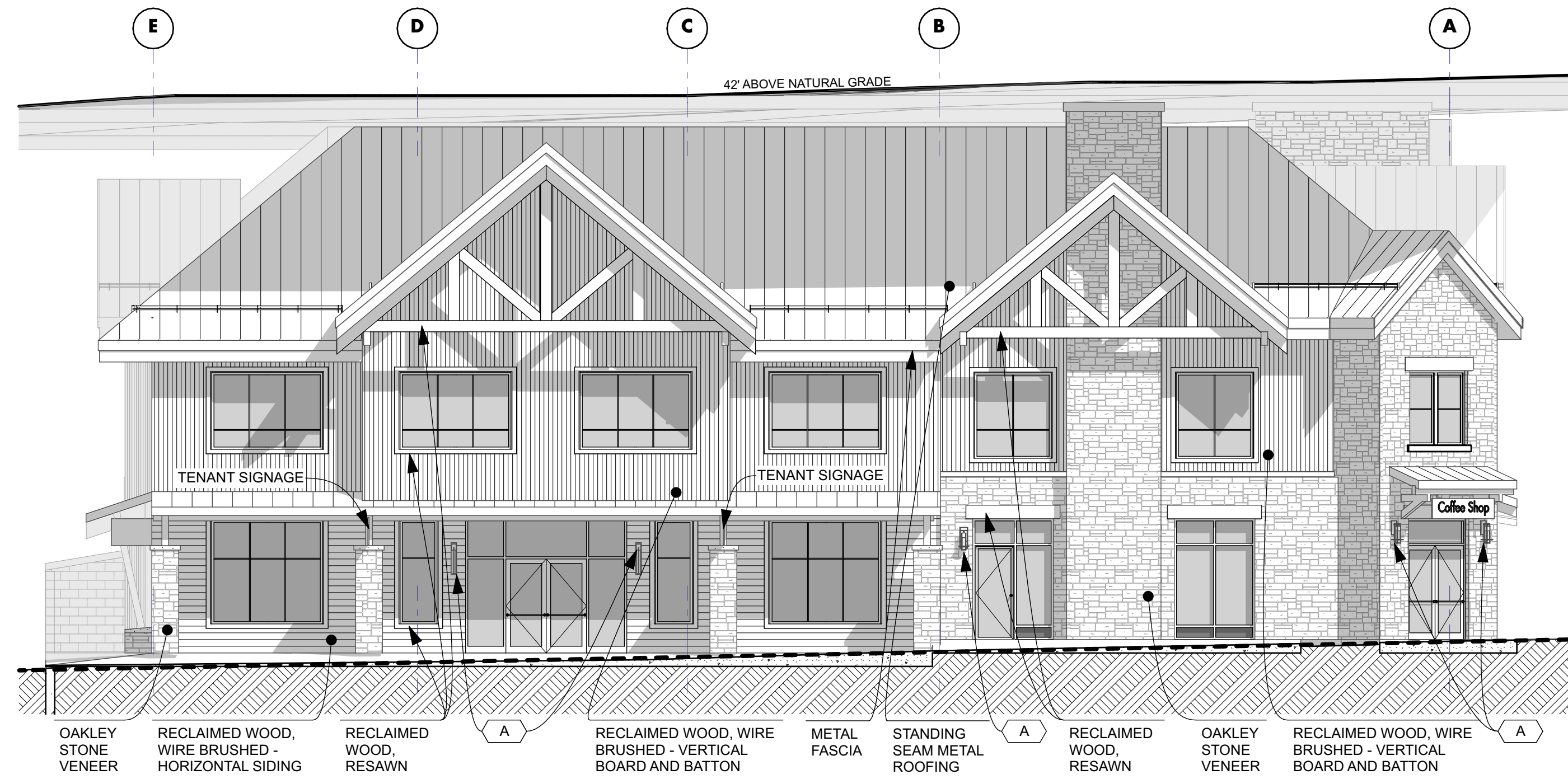
TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



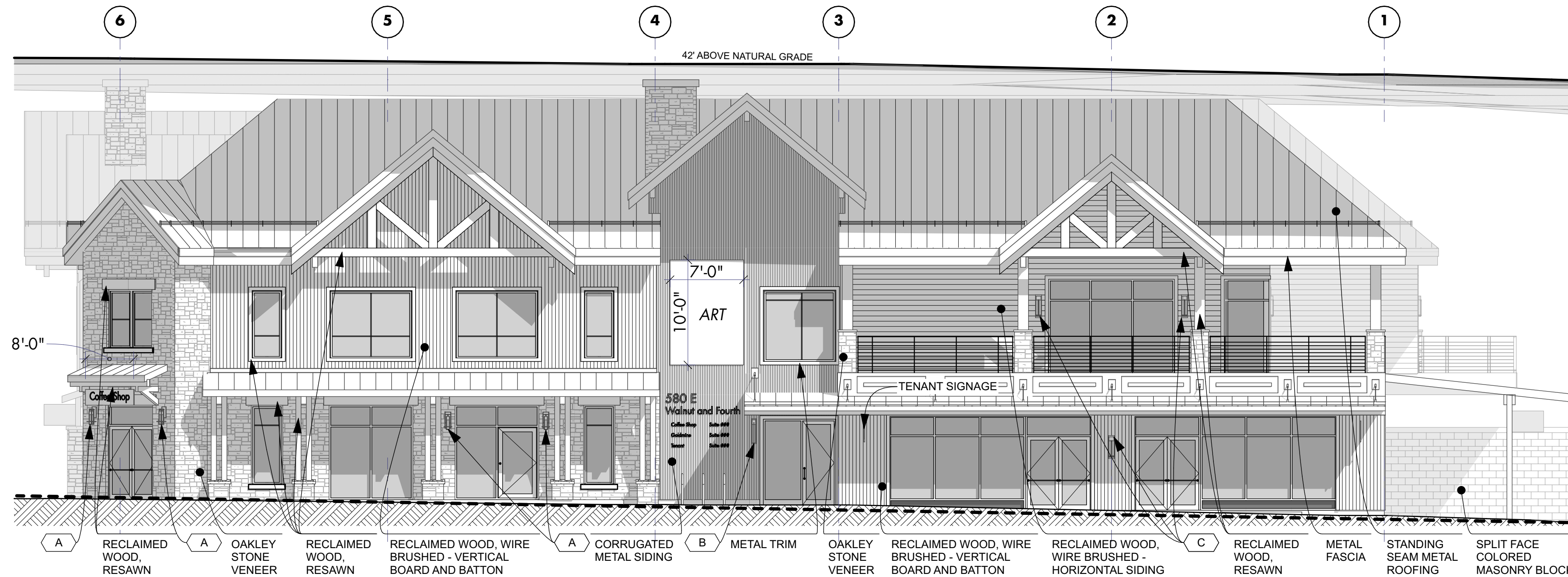
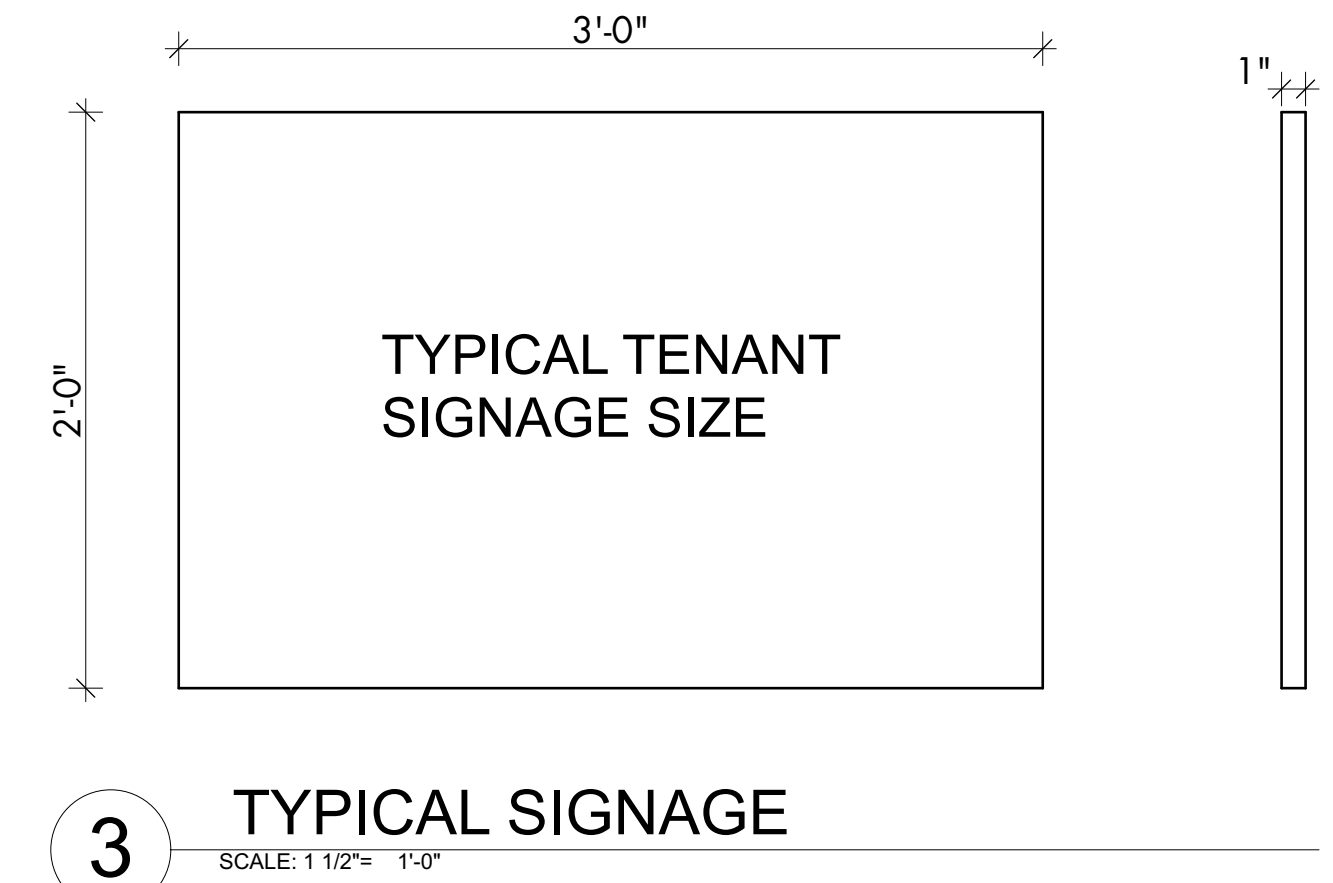
TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



2 NE Elevation (Walnut)
SCALE: 1/8" = 1'-0"



1 NW Elevation (4th)
SCALE: 1/8" = 1'-0"



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ELEVATIONS

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-201



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



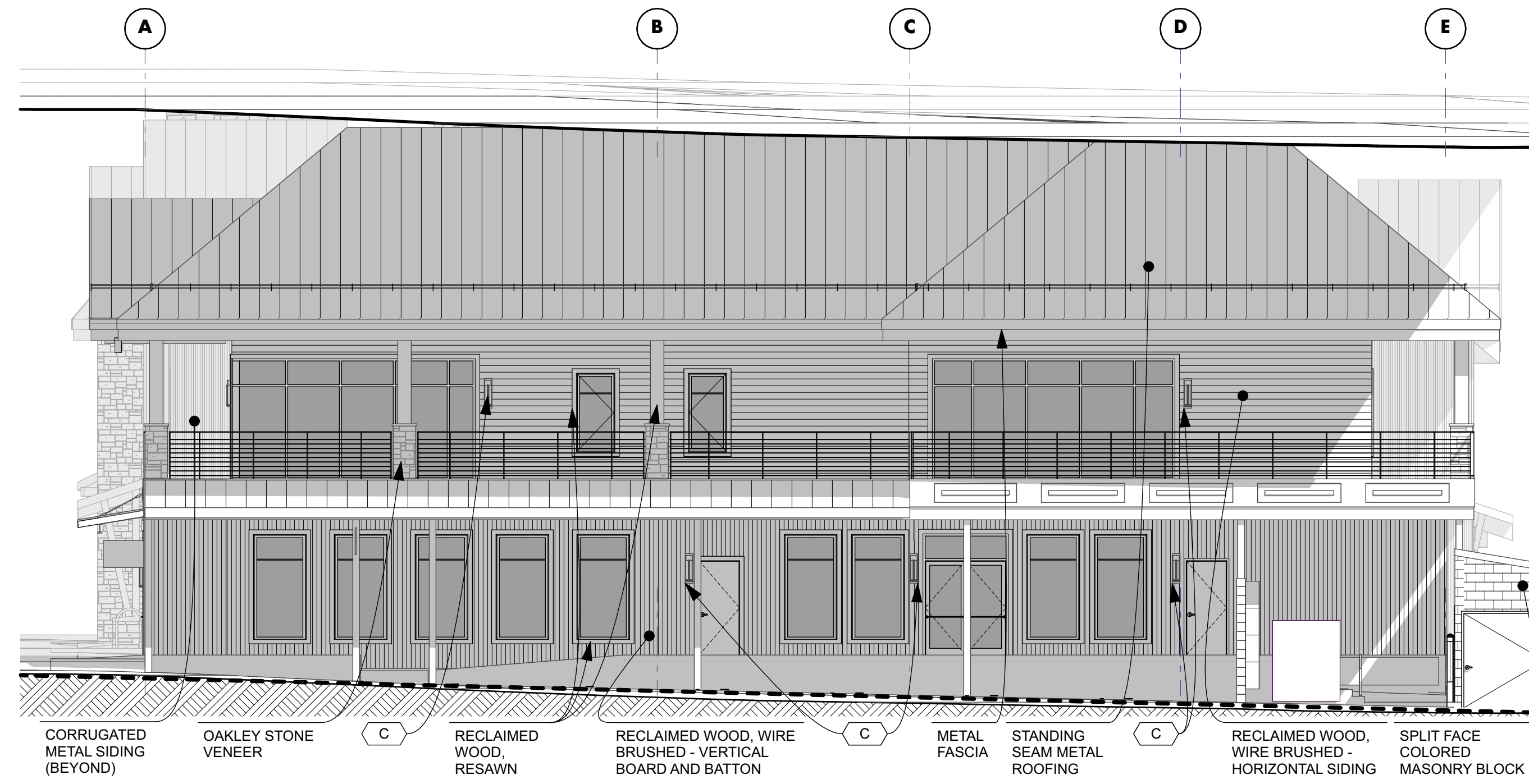
TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



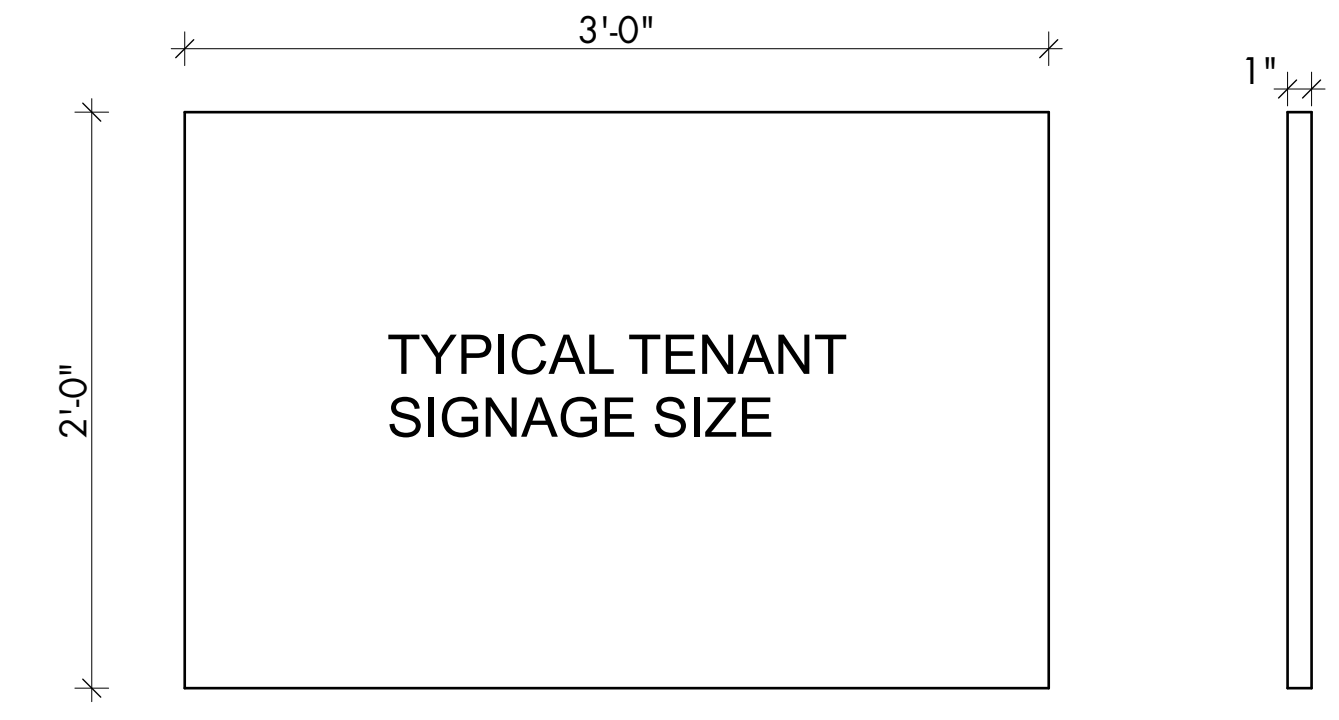
TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



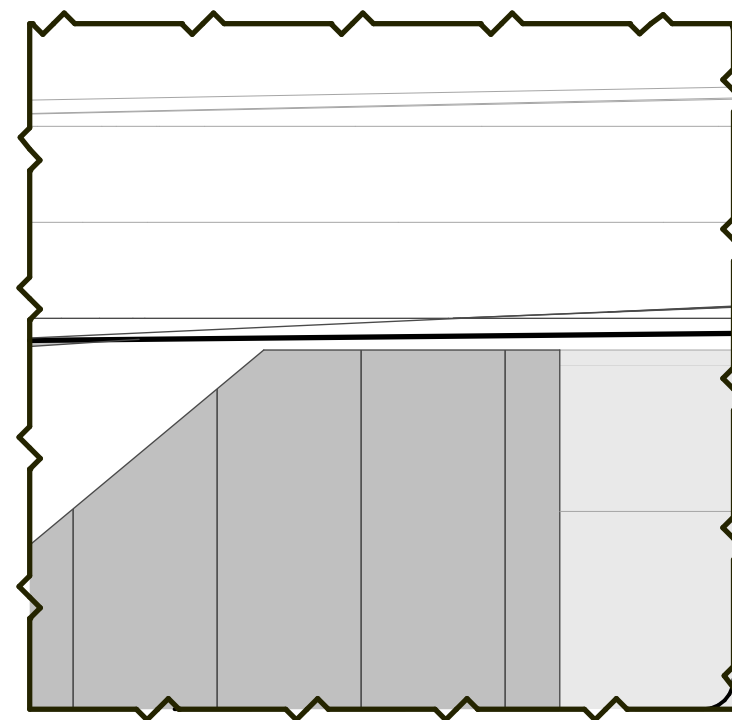
TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



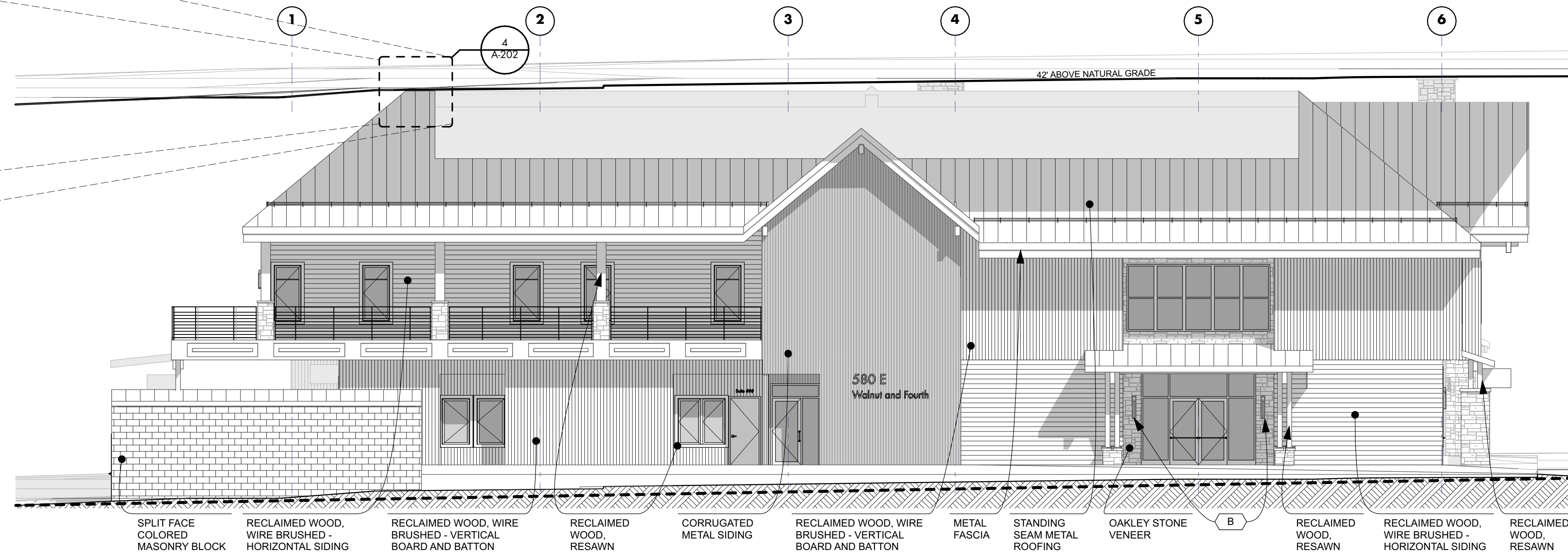
2 SW Elevation (Alley)
SCALE: 1/8" = 1'-0"



3 TYPICAL SIGNAGE
SCALE: 1 1/2" = 1'-0"



4 SE Elevation
SCALE: 1/2" = 1'-0"



1 SE Elevation
SCALE: 1/8" = 1'-0"



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ELEVATIONS

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-202



1 WALNUT & 4TH
NOT TO SCALE



2 WALNUT & 4TH
NOT TO SCALE



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RENDERINGS

8/4/20

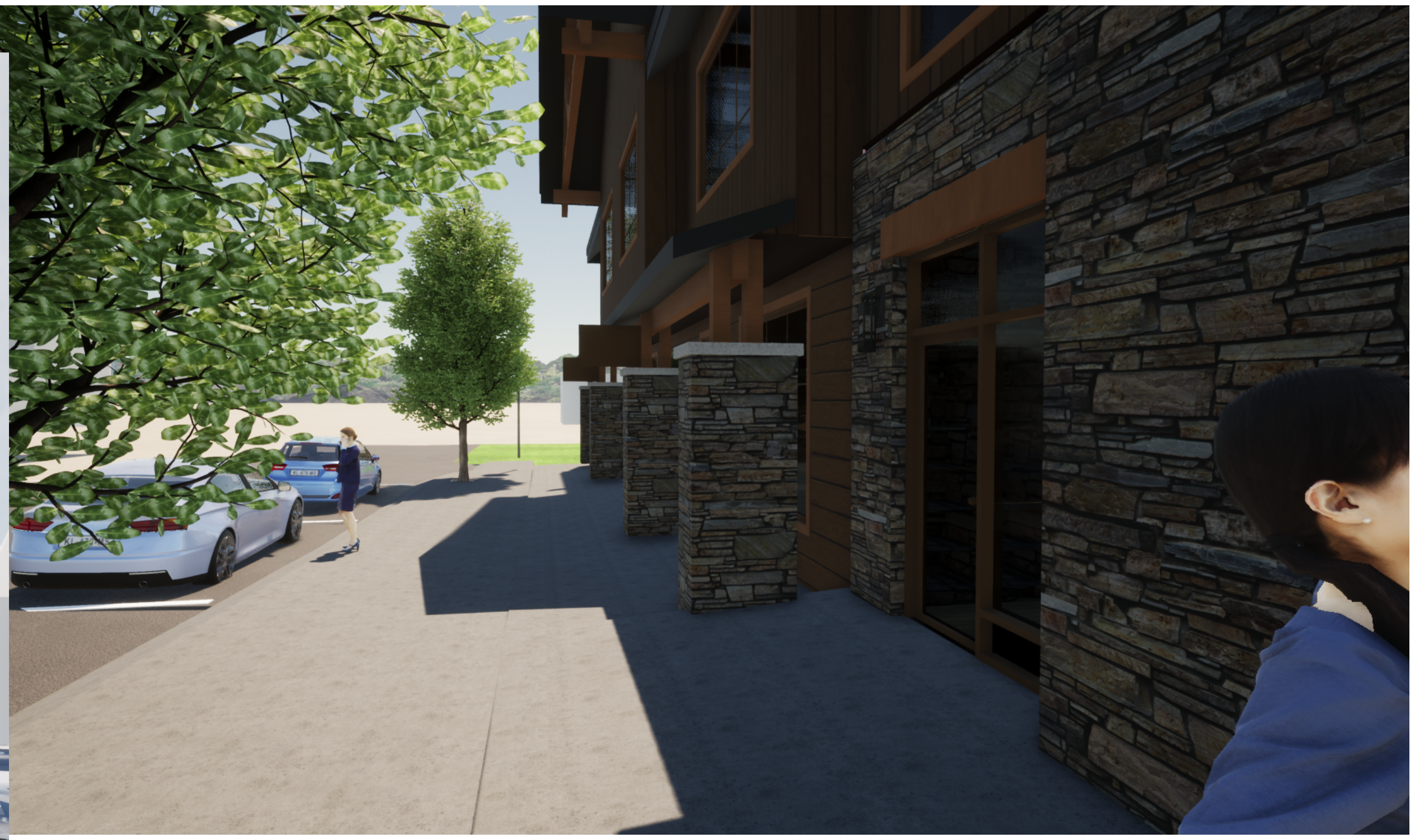
4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-301



2 4TH
NOT TO SCALE



3 WALNUT
NOT TO SCALE



1 4TH
NOT TO SCALE



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Date original documents signed:
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RENDERINGS

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 A-302



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 Date original documents signed:
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EXTERIOR MATERIALS

8/4/20

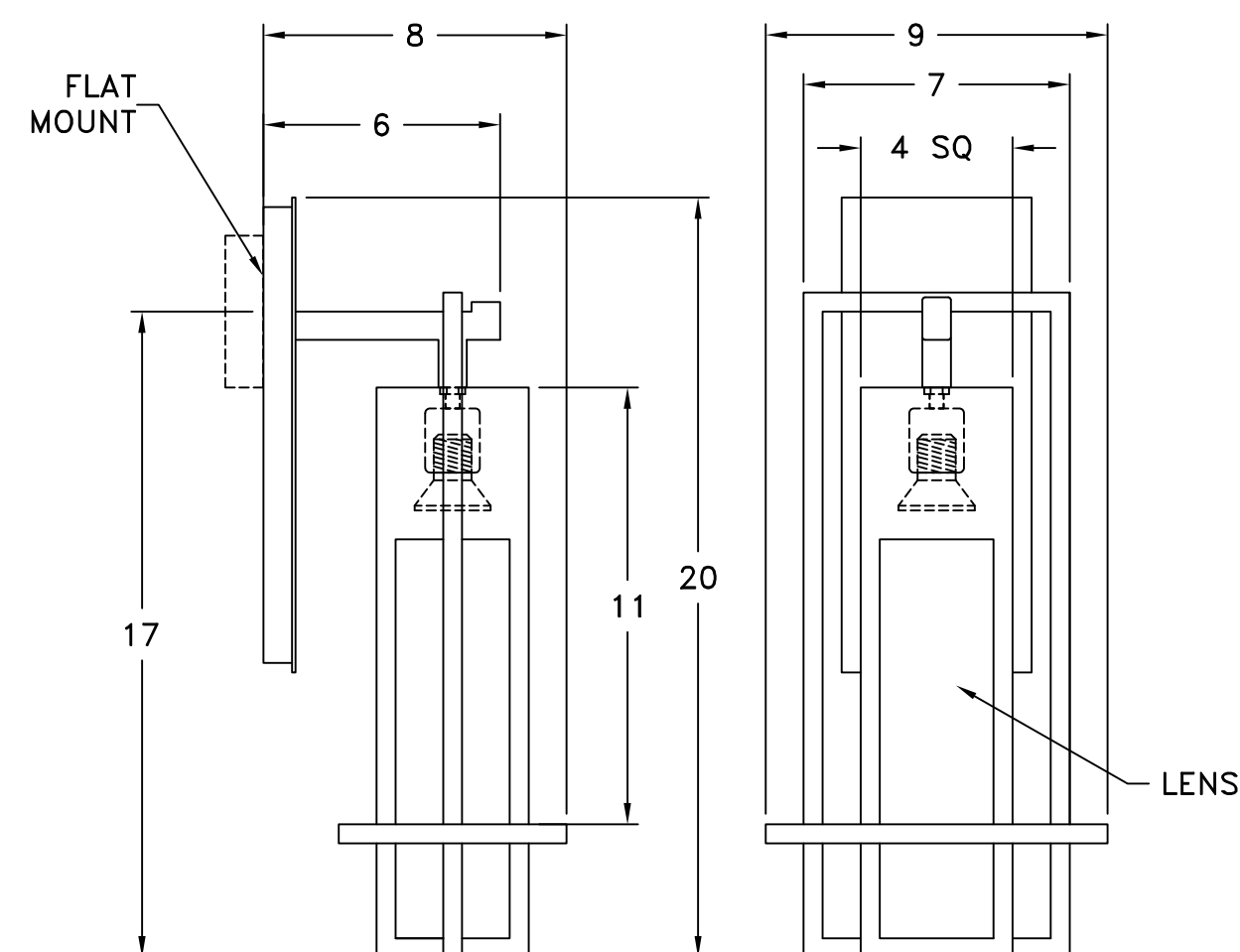
4th & Walnut Ave.
 Commercial Development

Design Review August 11th 2020 AF-101

HAMMERTON

CONCEPT

Location: Product #: CU-OD2186-20C-A
Date: 6/25/2020
Concept drawing only. A final specification drawing will be provided after purchase order.



NOTE: FIXTURE IS IDA (DARK SKY) COMPLIANT

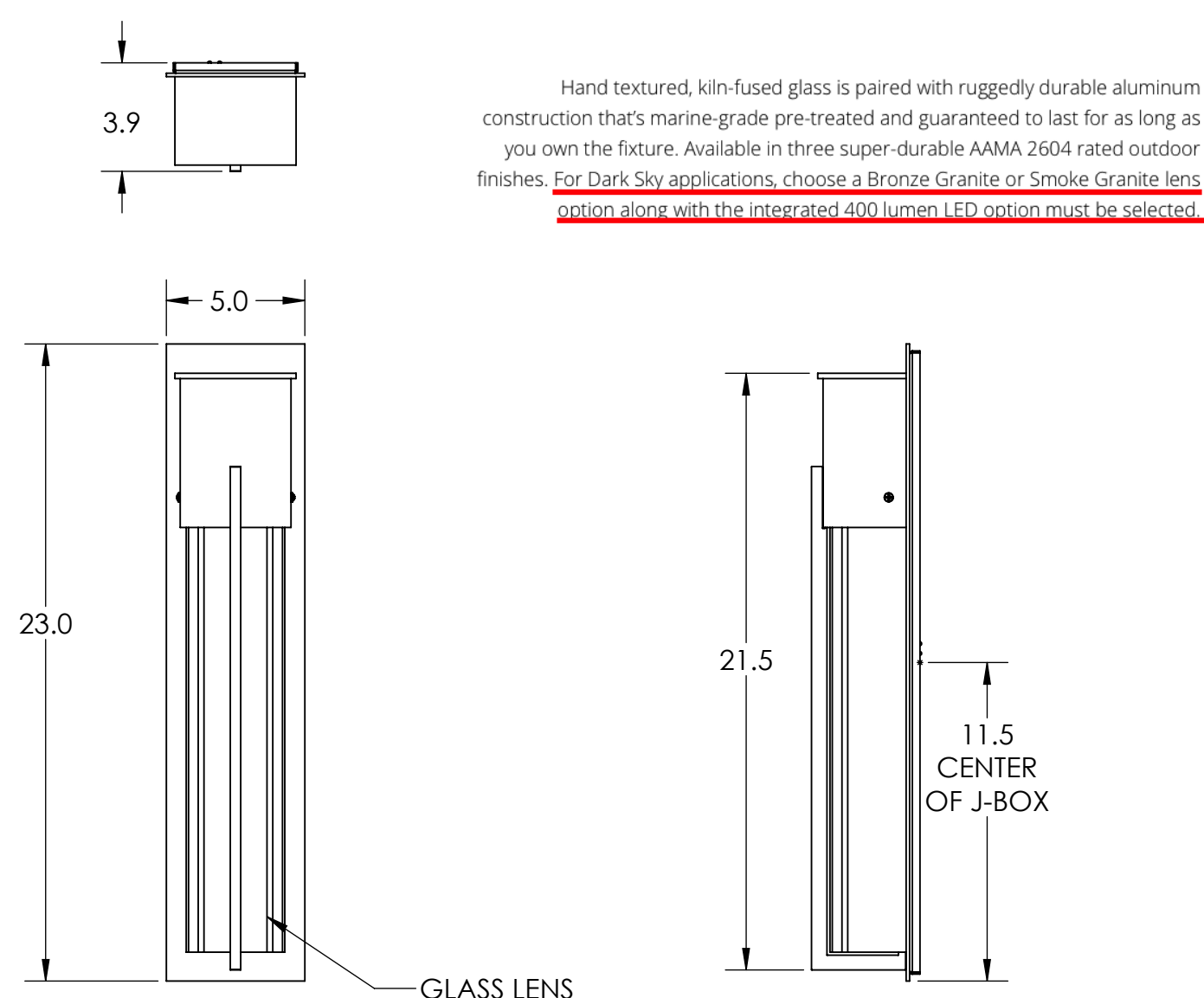
Finish: TBD	UL Location: DAMP	Mounting Style
Top Diffuser: CLOSED	Electrical Type: MR-16	<p>CAUTION HARDWARE PACKET "D" MOUNTS DIRECTLY TO J-BOX.</p>
Bottom Diffuser: OPEN	Bulb Qty: 1 Wattage: 35	
	Voltage: 120	

All fixtures created by Hammerton are handcrafted by artisans—dimensions may vary.
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Hammerton.com · 217 Wright Brothers Dr. Salt Lake City, UT 84116 · (801) 973-8095

1 TYPE A
SCALE: 1" = 1'-0"

HAMMERTONSTUDIO™ SPECIFICATION DRAWING

Collection: OUTDOOR Product #: ODB0055-23



Bulbs Not Included Visit hammertonstudio.com for product options and specifications. 12/7/2017 (A)

Mounting Packet: U	Electrical Type: HALOGEN/LED RETRO	Mounting Detail
Approximate lbs.: 15	Bulb Qty: 1 Bulb Type: MR16	<p>MOUNTS DIRECTLY TO J-BOX</p>
Finish: SEE WEB SITE FOR OPTIONS	Wattage: 35 Voltage: 120	
Top Diffuser: CLOSED METAL	Socket Type: GU10	
Bottom Diffuser: OPEN	UL Location: WET	

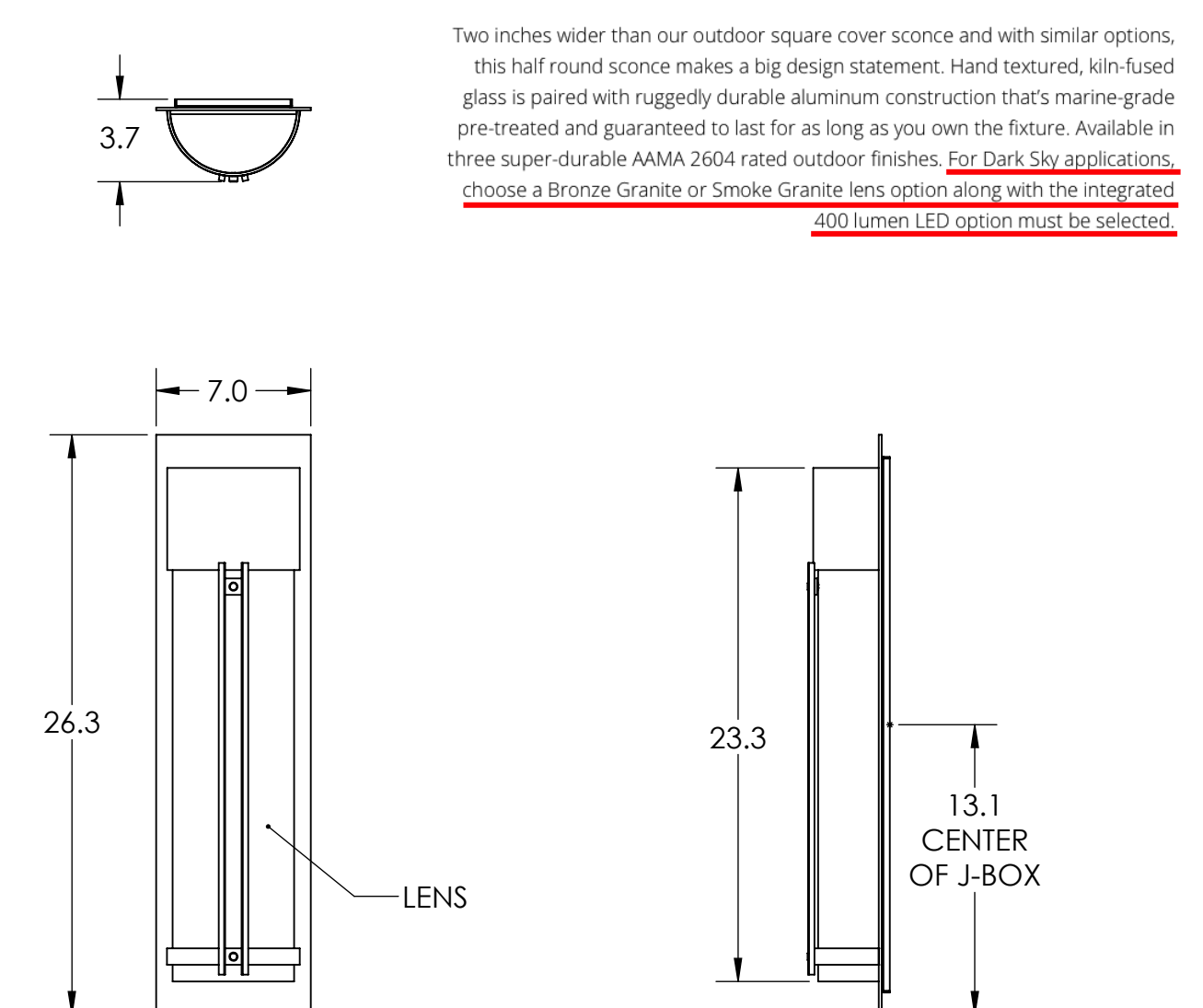
All fixtures created by Hammerton are handcrafted by artisans. Dimensions may vary up to 7/8".
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3 TYPE B
SCALE: 1" = 1'-0"

HAMMERTONSTUDIO™ SPECIFICATION DRAWING

Collection: OUTDOOR Product #: ODB0054-26

FOR BEST RESULTS USE A 10°-20° DIRECTIONAL BULB



Bulbs Not Included Visit hammertonstudio.com for product options and specifications. 12/7/2017 (A)

Mounting Packet: U	Electrical Type: HALOGEN/LED RETRO	Mounting Detail
Approximate lbs.: 10	Bulb Qty: 1 Bulb Type: MR16	<p>MOUNTS DIRECTLY TO J-BOX</p>
Finish: SEE WEB SITE FOR OPTIONS	Wattage: 35 Voltage: 120	
Top Diffuser: CLOSED METAL	Socket Type: GU10	
Bottom Diffuser: OPEN	UL Location: WET	

All fixtures created by Hammerton are handcrafted by artisans. Dimensions may vary up to 7/8".
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2 TYPE C
SCALE: 1" = 1'-0"



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EXTERIOR LIGHTING

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 AF-102

Exhibit B:

Video Link

https://youtu.be/_Jvj_lacGs

Exhibit C: Staff Analysis

1. Zoning and Dimensional Standards Analysis
2. Design Review Standards Analysis
3. Community Core Design Review Standards Analysis
4. City Department Comments



4th & Walnut Ave Commercial Development Design Review
EXHIBIT C1: ZONING & DIMENSIONAL STANDARDS ANALYSIS

Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			Staff Comments	<p>Required: 5,500 square feet minimum Existing: Lots 7 and 8 have a combined area of 16,378 square feet.</p> <p>The applicant must submit a Lot Line Shift application to remove the common boundary line between lots 7 and 8. The amended plat shall be recorded prior to issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing
			Staff Comments	<p>Permitted Gross FAR in Community Core Subdistrict 1(CC-1) : 1.0 Permitted Gross FAR with Inclusionary Housing Incentive: 2.25</p> <p>Proposed Gross Floor Area: 20,876 gross square feet Lot Area: 16,378 square feet FAR Proposed: 1.28 (20,876 gross sq ft/16,378 sq ft lot area) Increase Above Permitted FAR: 4,498 square feet 20% of Increase: 899.60 square feet Net Livable (15% Reduction): 765 square feet</p> <p>The applicant has included a 1,625-square-foot community housing unit within the basement to satisfy the community housing contribution (Exhibit A: Basement Floor Plan Sheet A-101).</p> <p>Prior to issuance of a building permit for the project, an Exceedance Agreement approved by Ketchum City Council addressing the square footage above the permitted 1.0 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Building Setbacks
			Staff Comments	<p>Required Front & Street Side: 0' Rear Side Adjacent to an Alleyway: 3' Interior Side: 0' Cantilevered decks and overhangs: 0'</p>

				<p>Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: 10'</p> <p><u>Proposed Building Setbacks</u> The applicant has indicated the proposed setbacks on the Architectural Site Plan (Sheet AS-101) of the Design Review submittal attached as Exhibit A. Front (Walnut Avenue): 6.5' Street Side: (4th Street): 1.5' Rear Side (adjacent to alleyway): 3' Interior Side: 6' Cantilevered decks and overhangs: 0'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.040</p> <p>Staff Comments</p>	<p>Maximum Building Heights</p> <p><u>Permitted</u> Building Height: 42' Non-Habitable Structures Located on Building Rooftops: 10'</p> <p><u>Proposed</u> The proposed mixed-use building is 42-feet in height. Sheets A201 and A202 indicate the 42-foot building height limit from the average elevation of front and rear property lines. The building elevations follows the site's natural, sloping grade. The entirety of the building including the chimneys is contained within the required 42-square-foot maximum limit.</p> <p>The proposed roof is a false mansard. As illustrated on the southeast elevation indicated on Sheet A-202, the top of the mansard roof falls into a 10-foot deep recessed area that is fully screened from public view. All roof-mounted mechanical, plumbing, and electrical equipment is contained within this fully screened, false mansard recession. The applicant has also proposed a roof-mounted solar system contained within this recession.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.125.030H</p> <p>Staff Comments</p>	<p>Curb Cut</p> <p><u>Required</u> A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p><u>Proposed</u> The parking area is located off the alley. No curb cuts along 4th Street or Walnut Avenue are proposed.</p>
			17.125.040	Parking Spaces

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<p><u>Required (KMC §17.125.040)</u></p> <p>Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces</p> <p>Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p> <p><u>Exemptions in CC Zone</u></p> <ul style="list-style-type: none"> • Community housing • Food service • The first 5,500 gross square feet of retail trade • The first 5,500 gross square feet of assembly uses <p><u>Project Parking Demand</u></p> <p><i>Basement</i> Community Housing Unit (1,522 sq ft): Exempt Office (227 sq ft) : basement not included in gross floor area calculation</p> <p><i>Ground Floor</i> Coffee Shop (2,914 gross sq ft): food service exempt Retail (6,338 gross sq ft): first 5,500 sq ft retail trade exempt, 838 sq ft = 1 parking space Residential (1,020 sq ft): 1 parking space</p> <p><i>Second Floor</i> Balcony (807 gross sq ft): first 5,500 sq ft of assembly exempt Office (3,974 gross sq ft): 4 parking spaces required Residential Unit A (1,773 square feet): 1 parking space required Residential Unit B (1,928 square feet): 1 parking space required</p> <p>Total Parking Demand: 8 Parking Spaces (3 residential & 5 non-residential)</p> <p><u>Community Core On Street Parking Credit (KMC §17.125.050.C)</u></p> <ul style="list-style-type: none"> • 4 parking spaces per 5,500 sq ft of lot area may be credited after 4 spaces minimum is satisfied <i>8 parking spaces may be credited based on 16,378 sq ft lot area</i> • Only spaces directly adjacent to property lines <i>Six parking spaces are located within the ROW directly adjacent to the property lines</i>
-------------------------------------	--------------------------	--------------------------	-----------------------	---

				<ul style="list-style-type: none"> • Credit spaces shall only be credited for non-residential parking demand <i>The project's non-residential parking demand is 5 spaces.</i> <p><u>Proposed</u> 7 parking spaces are provided on-site satisfying the 4 on-site parking spaces as well as the residential parking demand of 3 spaces. 1 credit space of the 6 eligible credit spaces has been utilized for the non-residential parking demand.</p>
--	--	--	--	--



4th & Walnut Ave Commercial Development Design Review
EXHIBIT C2: DESIGN REVIEW STANDARDS ANALYSIS

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. <i>Staff Comments</i> The subject property has existing street frontage along 4 th Street and Walnut Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer. <i>Staff Comments</i> No changes to the lanes of travel or the street designs are proposed with this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department. <i>Staff Comments</i> The applicant has proposed to improve the sidewalks to City ROW standards (Exhibit A: Sheets C1.1, C0.1, and C0.2). Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for comments and conditions from the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. <i>Staff Comments</i> The applicant will improve the sidewalks to City ROW standards along both Walnut Avenue and 4 th Street. Sheet C1.1 indicates an 8-foot wide sidewalk, which is the required width for 60’ (4 th Street) and 80’ (Walnut Avenue) ROWs. Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer & Streets Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	Sidewalks may be waived if one of the following criteria is met:

				<p>a. The project comprises an addition of less than 250 square feet of conditioned space.</p> <p>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</p>
			<i>Staff Comments</i>	<i>N/A as sidewalks are required for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<p><i>The proposed sidewalk improvements are equal to the length of property's frontage along Walnut Avenue and 4th Street.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<p><i>The proposed sidewalk design connects with existing sidewalks along Walnut Avenue and 4th Street.</i></p> <p><i>The applicant will improve the sidewalks to City ROW standards along both Walnut Avenue and 4th Street. Sheet C1.1 indicates an 8-foot wide sidewalk, which is the required width for 60' (4th Street) and 80' (Walnut Avenue) ROWs.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>

☒	☐	☐	17.96.060.C1 Drainage	All storm water shall be retained on site.
			<i>Staff Comments</i>	<p><i>All storm water shall be retained on site, including storm water from roof drains. Sheets C1.1, C0.1, and C0.2 of the project plans attached as Exhibit A indicate the proposed drainage improvements.</i></p> <p><i>Roof drain locations and specifications must be indicated the project plans submitted with the building permit application for review and approval by the City Engineer and Streets Department.</i></p> <p><i>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</i></p>
☒	☐	☐	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<p><i>Drainage improvements shall be equal to the length of the property lines along Walnut Avenue and 4th Street. See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards.</i></p> <p><i>Final civil drawings for all drainage improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i></p> <p><i>See Table 1 for review comments and conditions from the City Engineer & Streets Department.</i></p>
☒	☐	☐	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary.</i>
☒	☐	☐	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit</i>

				<i>application to be reviewed and approved by the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<p><i>All utilities necessary for the project shall be improved and installed at the sole expense of the applicant.</i></p> <p><i>Prior to issuance of a building permit, the applicant must secure a will-serve letter from Idaho Power and Intermountain Gas if upgrades are required.</i></p> <p><i>Final plans will be reviewed and approved by the City Engineer and Utilities Department prior to issuance of a building permit for the project. See Table 1 for City Department comments and conditions.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<p><i>All utilities within the development site shall be underground and concealed from public view. The Architectural Site Plan (Sheet AS-101), First Floor Plan (A-102), and Alley Elevation (Sheet A-202) of the project plans indicate the electrical utility enclosure. The Architectural Site Plan (Sheet AS-101) indicates that the transformer serving the development will be located at the back of the building adjacent to the Block 44 alleyway and fully concealed from public view.</i></p> <p><i>An existing overhead power line runs along the Block 44 alleyway adjacent to the subject property. The project plans indicate that this power line will be buried underground.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The subject property is served by high-speed internet. If an extension is needed, then the applicant will work with the City Engineer to identify the location of a fiber line to serve the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<p><i>The proposed exterior materials include:</i></p> <ul style="list-style-type: none"> • <i>Honey heritage ledge stone & juniper blend</i> • <i>Re-sawn reclaimed lumber</i> • <i>Wire-brushed reclaimed lumber</i>

				<p><i>The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building’s exterior providing visual texture to each façade. Timber trusses and decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains.</i></p> <p><i>The project plans include perspective renderings showing the building within the context of this surrounding neighborhood. The proposed materials are compatible with neighboring buildings and the surrounding downtown area.</i></p> <p><i>Blade signs and monument signs are proposed for tenants by the building entrances along 4th Street, Walnut Avenue, the alley, and the interior side adjacent to the Gold Mine building. These 6-square-foot blade signs are mounted perpendicular to pedestrian traffic inviting the public into the building.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.E2 Compatibility of Design</p> <p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p>	
			<p><i>Staff Comments</i></p> <p><i>N/A. No significant landmarks of historical or cultural importance have been identified on the property.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.E3 Compatibility of Design</p> <p>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</p>	
			<p><i>Staff Comments</i></p> <p><i>N/A. This standard does not apply because the existing buildings located on lots 7 and 8 will be demolished and the proposed mixed-use building is new construction.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F1 Architectural</p> <p>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</p>	
			<p><i>Staff Comments</i></p> <p><i>The coffee shop’s entryway is located at the corner of 4th Street and Walnut Avenue. The retail space on the ground floor may be accessed from 5 separate entryways—one along Walnut Avenue, two along 4th Street, one along the interior side, and one from the Block 44 alleyway. The circulation area containing the building’s elevator and stairwell is accessed from 4th Street. An additional stairwell may be accessed from an entrance at the interior side.</i></p> <p><i>Activating the streetscape along 4th Street and Walnut Avenue, the project will enhance downtown’s vibrancy by serving as an inclusive third-place that facilitates social connection and builds community.</i></p>	

				<p><i>The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.</i></p> <p><i>Unobstructed pedestrian access is provided from the multiple entryways to an internal circulation system of concrete paths that will connect to the new sidewalks along 4th Street and Walnut Avenue.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	<p>The building character shall be clearly defined by use of architectural features.</p> <p><i>Staff Comments</i> <i>The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building’s exterior providing visual texture to each façade. Timber trusses and decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains. The development is anchored by a coffee shop at the intersection of 4th Street and Walnut Avenue. Orienting towards this vibrant street corner, this frontispiece is distinguished by a canopy overhanging the entrance, floor-to-ceiling glass doors and storefront windows, and a pronounced gable end.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	<p>There shall be continuity of materials, colors and signing within the project.</p> <p><i>Staff Comments</i> <i>The same materials, colors, and tenant signs are proposed to be used on all four facades of the building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	<p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p> <p><i>Staff Comments</i> <i>The project plans do not indicate the installation of a fence or wall. The only accessory structure proposed is the CMU trash and recycling bin enclosure located at the rear of the building adjacent to the Block 44 alleyway.</i></p> <p><i>Landscape features soften the mass of building and provide visual relief to the vertical wall planes. Planters with colorful perennials and ornamental grasses beautify the streetscape. The applicant has proposed four street trees within the ROW along Walnut Avenue and 4th Street. Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and</i></p>

				<i>Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW, such as the snowmelt system, require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The building design creates one- and two-story distinct elements through the pattern of exterior material placement that provide visual interest and reduce the appearance of bulk and flatness. The facades fronting Walnut Avenue and 4th Street incorporate material patterns that visually separate the building into two unique masses—one half of the façade is defined by stone that extends vertically up and down the two floor levels. The other half of the façade is characterized by one-story elements defined by the horizontal and vertical placement of siding.</i> <i>The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building’s exterior providing visual texture to each façade. Timber trusses and decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains. The development is anchored by a coffee shop at the intersection of 4th Street and Walnut Avenue. Orienting towards this vibrant street corner, this frontispiece is distinguished by a canopy overhanging the entrance, floor-to-ceiling glass doors and storefront windows, and a pronounced gable end.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The building orients toward its two primary street frontages—Walnut Avenue and 4th Street. The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>The garbage and recycling area is proposed to be located at the rear of the building and will be accessed from the alley. Prior to issuance of a building permit for the project, the applicant shall submit a will-serve letter from Clear Creek Disposal.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The elevations on Sheets A-201 and A-202 indicate the installation of snow guards that will provide weather protection preventing water from dripping or snow from sliding onto circulation areas. Canopy and overhang elements will serve as weather protection for pedestrians entering the mixed-use building and will shield the bicycle racks installed on site along 4th Street and at the rear of the building adjacent to the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>This standard has been met by the proposed sidewalk improvements. The new sidewalks will connect to existing sidewalks along 4th Street and Walnut Avenue, which extend to the downtown pedestrian network. The applicant will improve the sidewalks to City ROW standards along both Walnut Avenue and 4th Street. Sheet C1.1 indicates an 8-foot wide sidewalk, which is the required width for 60' (4th Street) and 80' (Walnut Avenue) ROWs. Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	<i>N/A. No awnings extending over public sidewalks are proposed with the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>Vehicle access to the carport is provided from the Block 44 alleyway. This circulation configuration complies with the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development. No curb cuts are proposed along 4th Street or Walnut Avenue, which enhances safety as driveways intersecting sidewalks may increase congestion and create safety hazards for pedestrians and bicyclists.</i>

				<p><i>Pedestrian and bicycle access to the building is provided from an internal circulation system of concrete pathways that will connect to the public sidewalks along 4th Street and Walnut Avenue.</i></p> <p><i>Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed development.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.G4 Circulation Design</p> <p>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</p>	
			<p><i>Staff Comments</i></p> <p><i>N/A as no curb cuts or driveway entrances are proposed along 4th Street or Walnut Avenue.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.G5 Circulation Design</p> <p>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</p>	
			<p><i>Staff Comments</i></p> <p><i>Unobstructed access for emergency vehicles, snowplows, and garbage trucks is provided from the Block 44 alley, 4th Street, and Walnut Avenue. The applicant shall submit a will-serve letter from Clear Creek Disposal prior to issuance of a building permit for the project.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.H1 Snow Storage</p> <p>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</p>	
			<p><i>Staff Comments</i></p> <p><i>The Architectural Site Plan on Sheet AS-101 of the project plans note that snowmelt and hauling snow off-site is proposed in lieu of providing snow storage areas on-site.</i></p> <p><i>Most of the on-site circulation areas are covered by roof overhangs and canopies. Snow removal from the sidewalk along 4th Street and Walnut Avenue will be the responsibility of the property owner.</i></p> <p><i>The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.H2 Snow Storage</p> <p>Snow storage areas shall be provided on-site.</p>	
			<p><i>Staff Comments</i></p> <p><i>The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.H3 Snow Storage</p> <p>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</p>	

			<i>Staff Comments</i>	<i>N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt and snow hauling in lieu of providing any snow storage areas on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The Architectural Site Plans on Sheet AS-101 notes that snow management will be accomplished by snowmelt and hauling snow off-site. Most of the on-site circulation areas are protected by roof overhangs and canopies. Snow removal from the sidewalk along 4th Street and Walnut Avenue will be the responsibility of the property owner.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is indicated on sheets L-2 and L-3 of the Design Review submittal attached as Exhibit A.</i> <i>The landscape plan incorporates at-grade planters along 4th Street and Walnut Avenue. The planters will include colorful perennials and ornamental grasses that beautify the streetscape. 3 tannebaum pines are proposed on-site at the corner of 4th Street and the alley.</i> <i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4th Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscaping will complement the new mixed-use building and surrounding neighborhood. The vegetation will beautify the pedestrian-friendly streetscape. The landscape plan shall meet requirements for microclimate, soil conditions, orientation and aspect.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All trees, shrubs, grasses, and perennials shall be drought tolerant. Native plants are recommended.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The

				development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The subject property is surrounded by compatible uses within the Community Core Zone. The landscape features soften the mass of building and provide visual relief to the vertical wall planes.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<p><i>5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4th Street and 2 bike racks at the back of the building by the alley.</i></p> <p><i>Street trees and streetlights are proposed within the sidewalk along 4th Street and Walnut Avenue. 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights.</i></p> <p><i>The applicant has indicated that a bench and trash receptacle will be installed as a public amenity for the new development.</i></p> <p><i>All amenities proposed within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p> <p><i>Final civil drawings for all associated ROW and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer & Streets Department.</i></p>



4th & Walnut Ave Commercial Development Design Review
EXHIBIT C3: COMMUNITY CORE DESIGN REVIEW STANDARDS ANALYSIS

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070A(1)	<p>Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</p> <p>Staff Comments <i>5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4th Street and 2 bike racks at the back of the building by the alley. Street trees and streetlights are proposed within the sidewalk along 4th Street and Walnut Avenue. The applicant has indicated that a bench and trash receptacle will be installed as a public amenity for the new development.</i></p> <p><i>6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p> <p><i>Final civil drawings for all associated ROW and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer & Streets Department.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	<p>Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.</p> <p>Staff Comments <i>Sheet C0.2 specifies that proposed street trees shall be 3-inches minimum caliper with Autumn Blaze Maple or an approved equal tree.</i></p> <p><i>Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans with the building permit application for final review and approval by the City Engineer and Streets Department. All encroachments within the ROW require an Encroachment Permit issued by the City.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(3)	<p>Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.</p>

			Staff Comments	<i>Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. Modification to the requirements of KMC §17. 96.070(A) may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the building permit application. The final civil drawings including the streetscape, sidewalk, utilities, and drainage plans shall be reviewed and approved by the City Engineer, Streets Department prior to issuance of a building permit for the project. Final details and approval will occur during building permit review.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			Staff Comments	<i>The mixed-use building is setback 6 feet from the interior side and must meet this standard. The alley, 4th Street, and interior side facades utilize the same materials, colors, and architectural elements as the front façade along Walnut Avenue. The building design creates one- and two-story distinct elements through the pattern of exterior material placement that provide visual interest and reduce the appearance of bulk and flatness. The façade design incorporates material patterns that visually distinguish the building walls into unique masses. Window openings are incorporated into the design of each façade and provide visual relief to the solid walls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			Staff Comments	<i>The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			Staff Comments	<i>Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly</i>

				<i>streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			Staff Comments	<i>The design incorporates a mansard roofing form and gable ends characteristic of alpine architecture. The roof material will be dark gray standing seam metal. The color is specified on the exterior materials. Reflective roofing materials are prohibited.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			Staff Comments	<i>The elevations indicate that the roof will include snow clips for weather protection.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			Staff Comments	<i>N/A as no overhangs are proposed to encroach over the property line into the adjacent ROW.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			Staff Comments	<i>N/A as no front porches or stoops are proposed on the ground level. The building entrances lead to at-grade paver pathways that connect to the sidewalks along 4th Street and Walnut Avenue. These entrances are open and unenclosed. The entryways include roof overhangs canopy elements to provide weather protection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			Staff Comments	<i>The trash disposal area is located at the rear of the building and accessed from the alley. The trash and recycling area will be screened from public view within a CMU enclosure.</i> <i>The applicant shall submit a will serve letter from Clear Creek Disposal prior to issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			Staff Comments	<i>The proposed roof is a false mansard. As illustrated on the southeast elevation indicated on Sheet A-202, the top of the mansard roof falls into a 10-foot deep recessed area that is fully screened from public view. All roof-mounted mechanical, plumbing, and electrical</i>

				<p>equipment is contained within this fully screened, false mansard recession. The applicant has also proposed a roof-mounted solar system contained within this recession.</p> <p>All utilities within the development site shall be underground and concealed from public view. The Architectural Site Plan (Sheet AS-101), First Floor Plan (A-102), and Alley Elevation (Sheet A-202) of the project plans indicate the electrical utility enclosure. The Architectural Site Plan (Sheet AS-101) indicates that the transformer serving the development will be located at the back of the building adjacent to the Block 44 alleyway and fully concealed from public view.</p> <p>An existing overhead power line runs along the Block 44 alleyway adjacent to the subject property. The project plans indicate that this power line will be buried underground.</p> <p>All roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. The final screening, location, and height of all ground and roof mounted mechanical equipment shall be reviewed prior to the issuance of a building permit and shall be approved upon final inspection prior to Certificate of Occupancy for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	<p>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</p>
			Staff Comments	<p>The Demolition Landscaping Plan on Sheet L-1 indicates that 5 mature trees will be removed from the project site to accommodate the new development.</p> <p>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4th Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</p> <p>The applicant shall coordinate with the City Arborist regarding the placement of off-site replacement trees. The siting of the 5 replacement trees shall be finalized on the project plans submitted with the building permit application for review and approval by the City Arborist, the City Engineer, and the Streets Department. The installation of the 5 replacement trees shall be verified upon final</p>

				<i>inspection prior to issuance of a Certificate of Occupancy for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			Staff Comments	<i>The tree well details are indicated on Sheet C0.2 of the project plans. The 4 street trees are proposed to be installed in tree wells and covered by grates.</i> <i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4th Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			Staff Comments	<i>No parking lot is proposed to serve the new development. 5 replacement trees are required for the project.</i> <i>The applicant shall coordinate with the City Arborist regarding the placement of off-site replacement trees. The siting of the 5 replacement trees shall be finalized on the project plans submitted with the building permit application for review and approval by the City Arborist, the City Engineer, and the Streets Department. The installation of the 5 replacement trees shall be verified upon final inspection prior to issuance of a Certificate of Occupancy for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			Staff Comments	<i>N/A. No surface parking lot is proposed with the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Staff Comments	<i>N/A. The project does not include a surface parking lot. On-site parking is accommodated the carport at the back of the building adjacent to the alley.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			Staff Comments	<p><i>Planters with colorful perennials and ornamental grasses beautify the streetscape. The 4 street trees are proposed to be installed in tree wells and covered by grates.</i></p> <p><i>6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p> <p><i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4th Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			Staff Comments	<i>The development generates a parking demand of 8 spaces. 2 bike racks accommodating 4 bikes is required for the project. 5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4th Street and 2 bike racks at the back of the building by the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			Staff Comments	<i>Two bicycle racks are required. The fraction of the calculation is not equal to or greater than one-half.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.

			Staff Comments	<p><i>5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4th Street and 2 bike racks at the back of the building by the alley.</i></p> <p><i>The bicycle racks along 4th Street are located on-site by the entrance and are covered by the canopy overhang. The bike racks installed at the back of the building by the alley are located by the rear retail entry and the entrance to the ground level residential unit. The bike racks are located to achieve unobstructed access from the public right-of-way.</i></p>
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4th & Walnut Ave Commercial Development Design Review
EXHIBIT C4: CITY DEPARTMENT COMMENTS

City Department Comments

Note: City Department comments are preliminary. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Fire Department:

- It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.
- The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.
- Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.
NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
Note: The entire building shall be protected by a NFPA 13, Fire Sprinkler System.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.

- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- Pursuant to KMC §17.96.060.C1, all storm water drainage shall be retained on site, including water from any roof drains. All roof drain locations will need to be shown on the project plans submitted with the building permit application.
- Drainage improvements shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060.C).
- The sidewalks along 4th Street and Walnut Avenue shall be improved to the City's ROW standards. The City is finalizing specifications and standards for the 4th Street Heritage Corridor right-of-way, which will apply to this project.
- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an Encroachment Permit from the City will be required. Applicant will be required to maintain and repair all associated encroachments.
- All lighting within the ROW will need to meet city ROW standards. (see Right-of-Way Standards, Commercial Category) on both Washington St. and 1st St. Per City ROW standards a lighting study will need to be provided to ensure project meets city illumination standards for sidewalks. Additional lights may be necessary. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc. If lights are hardwired a separate lighting pedestal may be necessary to provide power to lights and provided at applicant's expense.
- 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights.
- Pursuant to ADA standards, sidewalks cross slopes are 1.75 +/- 0.25 percent
- Sign locations and bases will need to be shown on the plans submitted with the Building Permit application. The Streets Department will provide the sign bases.
- Parallel parking stalls are 8' wide x 20' long.
- Roof overhangs shall not extend more than 3 feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the City Engineer and Streets Department (KMC §17.96.070 B.6) through an Encroachment Permit.
- If the project results in increased loading, Will Serve letters for gas and electrical must be submitted prior to issuance of a Building Permit for the project.
- Utilities (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary, the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas.

- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved by the Building Department prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code (KMC §12.04.030.L).
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

Utilities:

- Existing sewer stubs serving the properties shall be capped and abandoned at the property line.
- The Ketchum Spring Water (KSW) lines serving the properties must be cut and capped at the main within the Walnut Avenue ROW.
- A new fire line shall be installed for the fire sprinkler system and all metering must be taken off the new fire line. The distance between the fire line and the abandoned services will dictate design options. Only a certain number of penetrations are allowed per the manufacturer’s specifications per piece of pipe.
- The plans indicate the installation of a 6-inch pvc sewer service. This sewer service should be tied into the sewer main with a manhole.
- The water meters should be separate for the commercial and residential uses—one water meter should be provided for the residential use and one water meter should be provided for the commercial use.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a building permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout the Staff Report and Exhibits C1, C2, and C3.

Exhibit D:
July 13th Staff Report

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