



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2020

PROJECT: My Sun Valley Home Property Services Mixed-Use Building

FILE NUMBERS: P20-003 & P20-004

APPLICATION TYPES: Design Review and Conditional Use Permit

REPRESENTATIVE: Don Stamp, Architect

OWNER: Corey & Amber Black/Black Properties, LLC

REQUEST: Design Review for the proposed development of a new three-story, 9,822 gross sq ft mixed-use building, which will include work spaces, offices, a laundry facility, and storage for My Sun Valley Home Property Services and a Conditional Use Permit for the three employee housing units on the third level.

LOCATION: 120 Northwood Way (Northwood Light Industrial Park Subdivision Phase 1: Block 1: Lot 8)

ZONING: Light Industrial District Number 2 (LI-2)

OVERLAY: 48 ft Height Overlay

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 ft of the development site on December 30th, 2019. The public hearing notice was published in the Idaho Mountain Express on December 25th, 2019.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

Owners and operators of My Sun Valley Home, Corey and Amber Black have submitted a Design Review application concurrent with a Conditional Use Permit application for the development of a new three-story, 9,822 sq ft mixed-use building, which will contain three employee housing units on the third level, located at 120 Northwood Way (Northwood Light Industrial Subdivision: Lot 8) within the Light Industrial Number 2 (LI-2) Zoning District. The mixed-use building will be comprised of light industrial, office, and residential uses. The property management operation includes multiple permitted light industrial uses, such as a maintenance service facility, storage, industrial laundry, repair shop, and motor vehicle service. The second-level of the proposed mixed-use building is comprised of offices as well as a conference room for administrative functions associated with the property management service, which is permitted use in the LI-2 Zone as a contractor-related business as specified in Ketchum Municipal Code (KMC) §17.08.020.

OFFICE, CONTRACTOR-RELATED BUSINESS: An establishment wherein the primary use is the conduct of a business or profession specifically related to building contracting including, design services, engineering, construction, landscaping, maintenance and property management (KMC §17.08.020).

As indicated on Sheet 5 of the applicant submittal (Exhibit A), the third level of the building is reserved for three one-bedroom employee housing units. The housing units are accessed from a common lobby. Each unit has its own separate storage area and designated parking space. The employee housing units are subject to the minimum criteria for residential units in light industrial districts as specified in KMC §17.124.090.

The subject property, Lot 8 of Northwood Light Industrial Park Subdivision Phase 1, is currently vacant and has a total area of 8,040 sq ft, which complies with the 8,000 sq ft minimum lot area required in the LI-2 Zone. To the east of the subject property at the corner of Northwood Way and Lewis Street, the 100 Northwood Way mixed-use building is currently under construction. A commercial building utilized by High County Resort Properties, sheet-metal fabrication, and auto detailing lies adjacent to the west of the subject property. The Glaske and Horn Industrial condominiums are across Northwood Way to the north of subject Lot 8.

At the December 9th, 2019 meeting, the Planning & Zoning Commission held a site visit and considered the Pre-Application Design Review submittal as well as Staff analysis, the applicant's presentation, and public comment. Following review of the Pre-Application and providing feedback to the applicant, the Commission unanimously moved to advance the project to final Design Review.

ANALYSIS

Staff analysis of the application is provided in Tables 1-6 including the project's compliance with the City of Ketchum 2014 Comprehensive Plan, City Department comments, Light Industrial District Number 2 (LI-2) Zoning District requirements, Design Review standards, standards for residential units in light industrial districts, Conditional Use Permit criteria, and other provisions of Ketchum Municipal Code.

Table 1: Comprehensive Plan Analysis

The proposed mixed-use building project demonstrates three of the Core Community Values contained in the 2014 Comprehensive Plan—A Strong and Diverse Economy, Well-Connected Community, and a Variety of Housing Options. The project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
Land Use Category: Mixed-Use Industrial	PRIMARY USES Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.
	SECONDARY USES A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.
	CHARACTERISTICS AND LOCATION The Mixed-Use Industrial category is intended to provide critical lands for Ketchum's economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.

	<i>My Sun Valley Home is a property management operation that combines many light industrial uses including routine maintenance of buildings, industrial laundry, repair shop, storage, and motor vehicle service. The proposed mixed-use building will also contain offices for the business's administrative functions, which is permitted in the LI-2 Zone as a contractor-related business. The commercial components of the mixed-use building meet the intention for primary uses in the mixed-use industrial area. The employee housing units provided on the third floor meet the intention for secondary uses in the mixed-use industrial land use category.</i>
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Goal H-1	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
Policy H-1.2 Local Solutions to Attainable Housing	The City of Ketchum will place greater emphasis on locally-developed solutions to meet the housing needs of low-, moderate-, and median-income households. The City further recognizes that such needs likely will not be met solely through private development. To facilitate affordable housing opportunities, the City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions. <i>The proposal integrates housing into the light industrial area in a mixed-use building.</i>
Goal H-3	Ketchum will have a mix of housing types and styles.
Policy H-3.1 Mixture of Housing Types in New Development	<i>The housing stock in Ketchum predominately consists of single-family homes, attached and detached townhomes, large scale condominium developments, and condominiums within mixed use buildings in the Community Core. These three employee housing units represent a less common housing type (residential above a business in the LI), thus diversifying the mixture of housing available.</i>
A Strong and Diverse Economy	
Goal E-1	Ketchum will work to retain and help expand existing independent small local business and corporations.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
Future Land Use	
Goal LU-1: Promote a functional, compact, and	Policy LU-1.1 Integrated and Compatible Land Uses

mixed-use pattern that integrates land and balances residential and non-residential land uses.	<i>The project seamlessly balances the light industrial functions associated with the property management with the residential employee housing units. The uses associated with the property management operations including storage and laundry are compatible with the adjacent land uses in the LI-2 Zone.</i>
Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.	<p>Policy LU-2.2 Compatible Residential Infill Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.</p> <p><i>The project includes new residential units on the third floor of the property services building.</i></p>

Table 2: City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An

approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system. NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The shall improve the adjacent Northwood Way right-of-way to comply with City ROW standards specified for a 60-foot wide right-of-way including: (a) sidewalk, parking, and drive lane width, (b) stop, street, and parking sign installation, (c) street lights, and (d) parking stall dimensions. Specifications for the ROW

improvements shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an encroachment permit approved by the City will be required. Property owner will be responsible for all associated maintenance and repair.
- All lighting within the ROW will need to meet city ROW standards (see Right-of-Way Standards, Commercial Category). Per City ROW standards a lighting study will need to be provided to ensure proper lighting of sidewalks. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc.
- Per ADA Standards sidewalks cross slopes are 1.75 +/- 0.25 percent.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching ("DIG") Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit ("TURP").
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing connections to the water and sewer system at Northwood Way.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 1, 3, 4, 5, and 6.

Table 3: Zoning and Dimensional Standard Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Lot Area
			Staff Comment	Required: 8,000 square feet minimum Existing: Lot 8 has a total area of 8,040 sq ft (Sheet 1)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Coverage
			Staff Comment	Permitted: 75% Proposed: 72%(5,757 sq ft building coverage/8,040 sq ft lot area)

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Building Setbacks
			Staff Comment	Minimum Required Setbacks: Front: 20' Side: 0' for internal side yards Rear: 0' Proposed: Front (N): 20' (Sheet 4) Side (E): 2'' Side (W): 2'' Rear (S): 2''
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Height
			Staff Comment	Maximum Building Height Permitted: 35' Non-habitable Structures Located on Building Rooftops: 6 ft above roof surface height Parapets and Rooftop Walls Screening/Enclosing Mechanical Equipment: 4 ft above roof surface height Rooftop Solar and Mechanical Equipment Above Roof Surface: 5 ft above roof surface height Proposed: Maximum Building Height Top of Roof Deck: 32'-6'' (Sheet 7) Maximum Building Height Top of Parapet: 35' (Sheet 7) Elevator (non-habitable structure): 3'-6'' above roof surface (Sheet 7)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 030.H	Curb Cut
			Staff Comment	Maximum Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: As indicated on Sheet C1.0, the applicant has proposed a 31 ft curb cut, which is 35% of the property's total street frontage along Northwood Way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A1 & 17.125.040.B	Parking Spaces
			Staff Comment	Required In Light Industrial Districts: <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 1 parking space per bedroom Office, Contractor-Related Business: 1 parking space per 250 gross sq ft LI Uses (Maintenance Service Facility): 1 parking space per 1,000 gross sq ft Required with My Sun Valley Home Mixed-Use Building: <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 3 parking space (3 one-bedroom employee housing units)

				<ul style="list-style-type: none"> Office, Contractor-Related Business: 3 parking spaces (845 sq ft office and conference room/ 250 gross sq ft) LI Uses (Maintenance Service Facility): 6 parking space (6,101 gross sq ft LI uses/1,000 gross sq ft) <p>12 total parking space are required for the proposed use.</p> <p>Proposed: <i>The applicant has provided 15 total off-street parking spaces. 12 parking spaces are provided within the enclosed garage and 3 surface parking spaces are provided underneath the second-level cantilever. As indicated on Sheet 3 of the submittal drawings, the 3 surface parking spaces will be designated and reserved for the three employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 040.D	Off Street Vehicle Loading Area Staff Comment Required: In the LI-1, LI-2, and LI-3 Districts, off street loading areas shall be required as an accessory use for new construction or additions involving an increase in gross floor area as follows: 1. Number Of Spaces: a. One off street loading space is required for gross floor area in excess of two thousand (2,000) square feet. b. No loading space shall occupy any part of a public street, alley, driveway, or sidewalk. Where practicable to do so, an alley may be used in lieu of the requirement for off street loading space(s) if permission is granted by the Administrator. 2. Dimensions: An off street loading space shall be a minimum of one hundred eighty (180) square feet with no length of the space being less than ten feet (10'). Proposed: <i>The off-street loading space is provided within the surface parking area underneath the second-floor cantilever. Sufficient area has been provided on the site for vehicles to back in towards the rear of the property to the elevator on the first level, which leads to the second-level storage area.</i>

Table 4: Design Review Standards Analysis

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The subject property has existing street frontage on Northwood Way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.

			Staff Comments	<i>No changes to the lanes of travel in the street are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	<p><i>As the mixed-use building is new construction, the project qualifies as a substantial improvement and the developer shall install sidewalks, curb, and gutter adjacent to the front property line along Northwood Way to comply with City right-of-way standards specified for 60-foot wide ROW roads.</i></p> <p><i>See Table 2 for comments and conditions from the City Engineer & Streets Department.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060B2c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	<i>All ROW improvements shall be constructed to City ROW standards including specifications for sidewalk width. See Table 2 for comments and conditions from the City Engineer & Streets Department. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Staff Comments	<i>N/A as sidewalks are required to be installed with the My Sun Valley Home Mixed-Use Building development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<i>The length of sidewalk improvements constructed shall be equal to the length of the subject front property line) adjacent to Northwood Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	<i>As indicated on Sheet C1.0, the new 6 ft concrete sidewalk is designed to connect to the existing sidewalks along Northwood Way adjacent to Lots 7A and 9 of the Northwood Light Industrial Subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by

				the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1	All storm water shall be retained on site.
			Staff Comments	<i>All storm water shall be retained on site including water from roof drains. The applicant has submitted a preliminary drainage plan on Sheets C1.0 and C2.0 of the submittal drawings. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped by an Idaho licensed engineer and require review approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C4	Drainage facilities shall be constructed per City standards.
			Staff Comments	<i>All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	<i>The applicant is aware of this requirement and the preliminary plans indicated on Sheets C1.0 and C2.0 show utility connections and locations. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Idaho Power. See Table 2 for Utilities Department comments and conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

			Staff Comments	<i>All utilities within the development site shall be underground and concealed from public view. See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	<i>The applicant is aware of this requirement and will comply with these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	<p><i>As indicated on the Material Board and Sheet 7 of the drawings, the proposed exterior materials include: (1) "weathered zinc" vertical standing seam siding, (2) prefabricated, light-gray stucco panels, (3) "rubi" Parklex wood siding panels, (4) corrugated galvanized guardrail panels with dark gray steel supports, (5) "hemlock" clad wood windows and doors, (6) brown fiberglass windows, (7) dark-gray, exposed steel beams and columns, and (8) red/brown gridded steel screening panels. The roof system is comprised of (1) "weathered zinc" standing seam metal roofing, (2) a white TPA flat roof system, and (3) curved corrugated galvanized roofing.</i></p> <p><i>The proposed design including the exterior materials and colors of the mixed-use building is complementary to other structures within the neighborhood. The gray stucco and wood siding panels combined with the exposed steel beams and columns echo the light industrial area's interaction with Ketchum's mountain backdrop and natural surroundings. Disparate from the flat roof system, the low pitch roof (1.5/12) element is highlighted as a distinguished feature that resonates with the architectural vernacular of the new, more modern development within the City of Ketchum.</i></p> <p><i>The specification and rendering for the proposed sign is included on Sheet 9 of the submittal drawings. The proposed sign materials including the gridded steel panels and exposed tube steel as well as the dark brown and gray colors match the design of the mixed-use building.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	<i>N/A as the lot is vacant and the project will be new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	<i>The sidewalk within the public ROW will connect to an on-site concrete entry walkway, which leads to the front entrance of the mixed-use building and</i>

				<i>spans the length of the garage bay (Sheet L1.0). The main building entrance is defined through the use of architectural elements, including the low pitch roof and cantilever of the second-level balcony, which frame and highlight the entryway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2	The building character shall be clearly defined by use of architectural features.
			Staff Comments	<i>As indicated by the renderings on Sheets 2, 7, and 8, breaks are incorporated within the vertical wall planes through projecting elements, such as the balconies, and recessed building masses. The design of each façade is further articulated by varying roof heights. The material differentiation and fenestration provided across all façade further define the building. The design incorporates a rectangular rhythm with the unique patterns provided by the wood and gray stucco siding panels. The low pitch roof element enhances the prominence of the main entrance to the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3	There shall be continuity of materials, colors and signing within the project.
			Staff Comments	<i>The same materials and color schemes are used on all four facades of the building. The materials and color of the proposed sign complement the exterior design of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.F4	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Staff Comments	<i>The gridded steel screening panels, roof overhang, and steel beams associated with the dumpster enclosure serve as a unique architectural element that complements the design of the mixed-use building. The landscape plantings combine Swedish aspens with grasses and shrubs that complement the mixed-use building and serve as a buffer from Northwood Way and the adjacent property to the west.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Staff Comments	<i>The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The façades combine horizontal and vertical elements through the variation of siding materials, the placement of balconies and associated railings, the garage doors, as well as the fenestration provided through multiple window and door openings. The main entrance is distinguished by the low pitch roof and the overhang of the second-level balcony. Breaks are incorporated into the vertical wall plane through recessed building masses and projecting elements, which articulate the each and reduce the appearance of flatness.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6	Building(s) shall orient towards their primary street frontage.
			Staff Comments	<i>The front façade of the building orients towards Northwood Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	<i>While located at the front façade, the dumpster enclosure is fully screened from public view through gridded steel screening panels and exposed steel beams and columns. The curved roof overhanging the dumpster enclosure serves as a unique architectural element that complements the light industrial</i>

				<i>design aesthetic. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The majority of the roof system is flat with roof drains that prevent water from dripping or snow from sliding onto circulation areas. As noted on Sheet 5 of the drawings, the curved roof element overhanging the dumpster will include snow retention devices. The projected low pitch roof overhang and second-level balcony overhang serve as weather protection for the front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The applicant as proposed an on-site concrete entry walkway, which will connect to the new concrete sidewalk along Northwood Way (Sheet L1.0). As indicated on Sheet C1.0, the proposed concrete sidewalk will connect to the existing sidewalk along Northwood Way. No new easements or pathways are expected in this vicinity of the Light Industrial zone. Equestrian access is not appropriate in this location.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A as no awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>Vehicular traffic will access the development from Northwood Way. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The subject property is located over 150 ft from the intersection of Northwood Way and Lewis Street. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Northwood Way provides unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles. The project poses no impediment to emergency or service vehicles.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>N/A. As indicated on Sheet 1, the applicant has proposed hauling snow from the site as permitted pursuant to KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			<i>Staff Comments</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>As noted on Sheet 1 of the drawings, the applicant has proposed hauling the snow off-site in lieu of providing a snow storage area on-site. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is included on Sheet L1.0 of the submittal drawings. The landscape plan includes Swedish aspens as well as planters comprised of ornamental grasses and perennial flowers.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the mixed-use building and enhance the neighborhood. Bordering the front property line, the planters framing the driveway access create an inviting entryway to the mixed-use development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.I3	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The proposed landscaping will provide a buffer between the mixed-use building and Northwood Way. The line of Swedish Aspen trees bordering the interior property line will provide a buffer between the entryway to the mixed-use building from the adjacent mixed-use development to the west.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	<i>The project is located in the Light Industrial area and the width of the existing sidewalks in the neighborhood as well as the proposed sidewalk along Northwood Way range from 5 to 6 ft. As a result, the width does not provide sufficient clearance to allow public amenities in the sidewalk while still maintaining a clear path of travel as required by ADA. Further, sight constraints limit available locations to install amenities as any obstruction would conflict with vehicle ingress and egress into the site. Given the associated site constraints, Staff finds this standard to be inapplicable to the project.</i>

Table 5: Dwelling Units in Light Industrial Districts Standards Analysis

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The three employee housing units are located on the third level of the mixed-use building as specified on Sheet 5 of the submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>The applicant has concurrently submitted a Design Review application for the proposed mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>The total area of residential use including the employee housing dwelling units and associated storage areas is 2,543 sq ft, which is 26% of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section;

				<p>d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965;</p> <p>e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.</p>
			Staff Comments	<i>The applicant has not proposed separating the dwelling units for sale as individual units. The dwelling units are reserved for My Sun Valley Home employees.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <p>a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant;</p> <p>b. The work unit is:</p> <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
			Staff Comments	<i>N/A as no work/live units have been proposed within the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<i>The three employee housing units have similar floor plans with an open kitchen and living area, a bathroom, and one bedroom. Each unit has its own designated storage area accessed from a lobby area as well as a designated parking space. Each employee housing unit contains one bedroom. Each unit and associated storage area is ~843 sq ft. The mean average of all of the employee housing units is ~845 sq ft, which is 155 sq ft less than the mean average permitted.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted</p>

				<p>community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<i>N/A. The proposed mixed-use building is three stories.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The property owner is aware of the nature of the light industrial zone and is aware of the other standards within this section.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall</p>

				be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.
			Staff Comments	<i>The applicant has provided three more parking spaces than are required for the uses proposed within the building. The proposed light industrial, office, and residential uses generate a parking demand of 12 parking spaces and the applicant has provided 15 off-street parking space, which include three spaces specifically designated for the employee housing units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval: <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval for the subject Conditional Use Permit application are specified in the Staff Report below. The Planning & Zoning Commission may attach additional conditions of approval to the Conditional Use Permit as specified by KMC §17.124.090.A10.</i>

Table 6: Conditional Use Permit Criteria Analysis

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.

			Staff Comments	<p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is to, “provide for a permanent year round employment base and the location of light manufacturing, wholesale trade and distribution, research and development, service industries, limited related, bulk retail and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public.”</i></p> <p><i>Many permitted light industrial uses, such as manufacturing, maintenance service facilities, repair shops, and motor vehicle service, may not occur elsewhere within the City of Ketchum, and these uses are largely permitted by-right in this district. In contrast, residential dwellings are permitted by Conditional Use Permit only – in order to both mitigate the impact of residential uses on light industrial operations and to ensure the proposed residential use will be located and constructed in such a manner that minimizes any negative externalities.</i></p> <p><i>The proposed mixed-use building is comprised of uses, which include storage, industrial laundry, maintenance service facility, and a repair shop. The property management operations align with permitted uses within the LI-2 Zone and existing uses within the Northwood Way area. Offices and a conference room are included within the building to serve the administrative functions of the property management business. The offices on the second level provide a buffer between the light industrial uses on the first level and the residential dwelling units on the third level.</i></p> <p><i>The light industrial, office, and residential uses are compatible with the types of uses permitted in the LI-2 Zone and existing within the Northwood Way area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Staff Comments	<i>The My Sun Valley Home Mixed-Use Building project is consistent with the types of uses in the neighborhood. The proposed residential use is not expected to materially endanger the health, safety, or welfare of the community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Staff Comments	<i>The proposed project is not anticipated to significantly increase pedestrian and vehicular traffic as the building will primarily serve My Sun Valley Home employees. Clients and customers will not frequent the mixed-use building. The applicant has provided three more off-street parking spaces than required for the proposed development. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances as well as safe vehicular and pedestrian circulation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Staff Comments	<i>The three employee housing units will be adequately supported by public facilities and services. The addition of three new dwelling units on the third level of the mixed-use building will not adversely affect the delivery of public services to the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.

			Staff Comments	<i>As described in Table 1 of this Staff Report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i>
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STAFF RECOMMENDATION

Staff recommends that the Commission consider the applicant's submittal attached as Exhibit A, the applicant's presentation, and any public comment received, deliberate, and approve the My Sun Valley Home Mixed-Use Building Design Review and Conditional Use Permit applications by adopting the following motions:

- (a) "I move to approve the My Sun Valley Home Mixed-Use Building Design Review application subject to conditions of approval 1-12," and
- (b) "I move approve the My Sun Valley Home Conditional Use Permit application for three new dwelling units in the Li-2 zone subject to conditions of approval 1-13."

DESIGN REVIEW RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. This Design Review approval is subject to Conditional Use Permit P20-004. All conditions of approval shall apply.
4. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.
5. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
6. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
7. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
8. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
9. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
10. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.

11. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

CONDITIONAL USE PERMIT RECOMMENDED CONDITIONS OF APPROVAL

1. The Conditional Use Permit is non-transferable.
2. This Conditional Use Permit approval is subject to all comments and conditions as described in Tables 2, 5, and 6.
3. This Conditional Use Permit approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Conditional Use Permit plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. This Conditional Use Permit approval is subject to Design Review P20-003. All conditions of approval shall apply.
5. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2
6. No individual housing unit may exceed a maximum of 2,000 sq ft or contain more than two bedrooms and all units within a building shall not exceed a mean average of 1,000 sq ft.
7. No residential use shall occur on the ground level (first floor).
8. Due to both the mixed-use nature of this space and in order to ensure compliance with the zoning code requirement that the employee housing units do not exceed the residential unit size restriction in the LI-2 Zone, the Fire Marshal shall conduct routine inspections of the mixed-use building.
9. Inspections by Planning Staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of Staff.
10. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
11. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
12. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
13. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

EXHIBITS:

- A. My Sun Valley Home Mixed-Use Building Design Review & Conditional Use Permit Submittal Drawings

Exhibit A:

My Sun Valley Home
Mixed-Use Building
Design Review
&
Conditional Use Permit
Submittal Drawings

my sun valley home

PROJECT TEAM

OWNER:
MY SUN VALLEY HOME LLC
COREY AND AMBER BLACK
310 SOUTH MAIN STREET
P.O. BOX 1441
KETCHUM, IDAHO 83340
PH: 208-721-7520 EMAIL: AMBERBLACKABC@YAHOO.COM

ARCHITECT:
DGSTAMP ARCHITECTS
221 NORTH TOWER CREEK ROAD
CARMEN, IDAHO 83462
PH: 208-756-6570 EMAIL: dgst@centurytel.net

CIVIL ENGINEER:
GALENA ENGINEERING
SAMANTHA STAHLNECKER, PE
317 N. RIVER STREET
HAILEY, IDAHO 83333
PH: 208-788-1705 EMAIL: SAM@GALENA-ENGINEERING.COM

LANDSCAPE ARCHITECT:
BYLA
BOB BIRKELAND
323 LEWIS STREET, SUITE N
KETCHUM, IDAHO 83340
PH: 510-502-1834 EMAIL: BOB@BYLA.US

CODE CONSULTANT:
CHARLIE ALLEN
1928 HIGH TOP LANE
REXBURG, IDAHO 83440
PH: 208-360-1302

BUILDING INFORMATION

PROJECT ADDRESS: 120 NORTHWOOD WAY
KETCHUM, IDAHO 83340

LEGAL LAND DESCRIPTION: LOT 8, NORTHWOOD LIGHT INDUSTRIAL

ZONING DISTRICT: LI-2

OCCUPANCY: MIXED-USE

TYPE OF CONSTRUCTION: TYPE VB - SPRINKLERED

LOT AREA: 8,040 SF

LOT COVERAGE: 5,757 SF / 71.6%

BUILDING HEIGHT ALLOWED: 35'-0"

BUILDING HEIGHT PROPOSED: 35'-0"

ELEVATOR OVERHEAD PROPOSED: 38'-6"

SETBACKS: NORTH: 20'-0"
EAST: 0'-2"
WEST: 0'-2"
SOUTH: 0'-2"

BUILDING FLOOR AREA (GROSS): FIRST LEVEL: 3,733 SF
SECOND LEVEL: 3,546
THIRD LEVEL: 2,543 SF
TOTAL: 9,822 SF

RESIDENTIAL AREA: TOTAL: 2,543 SF

PARKING SPACES PROVIDED: (10) - TOTAL, INCLUDING (3) - RESIDENTIAL

SNOW STORAGE AREA: SNOW TO BE REMOVED FROM SITE



120 Northwood Way
Ketchum, Idaho

SHEET INDEX

- 1 • INTRODUCTION
- 2 • RENDERING IMAGE
- 3 • VICINITY
- 4 • FLOOR PLANS
 - FIRST LEVEL
 - SECOND LEVEL
- 5 • FLOOR PLAN
 - 3RD LEVEL
- 6 • ROOF PLAN
- 6 • ELEVATIONS
- 7 • SECTIONS
- 7 • MATERIALS
- 8 • IMAGES w/ CONTEXT
- 9 • LIGHTING / SIGNAGE
- 10 • CM PLAN
- L1 • LANDSCAPE PLAN
- C1 • GRADING / DRAINAGE
- C2 • DETAILS
- LS • LEGAL SURVEY

1/2/2020

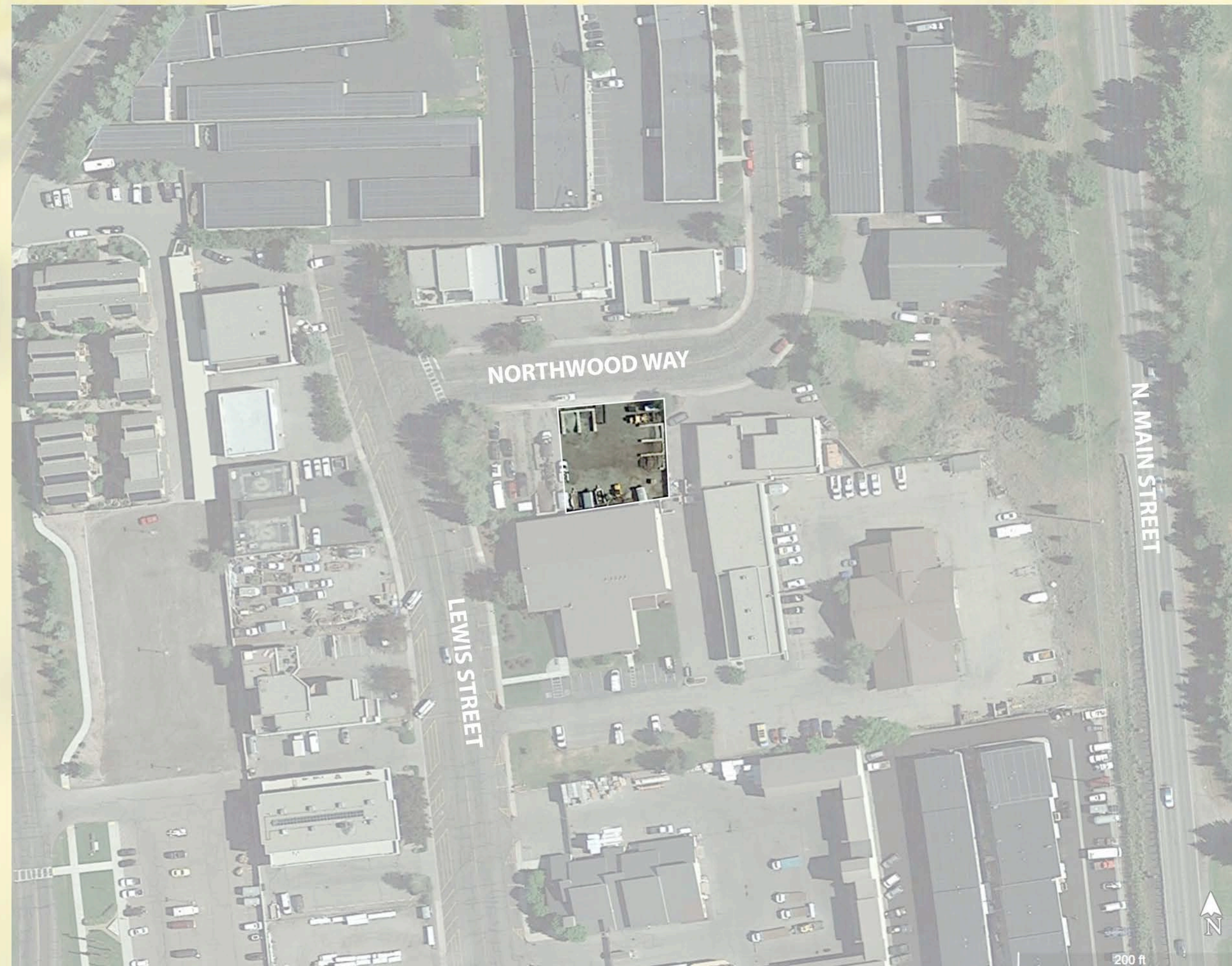


Don Stamp
Principal
NCARB

221 N. Tower Creek Road
Carmen, ID 83462

TEL: 208-756-6570
FAX: 208-756-6576
E-MAIL: dgst@centurytel.net
WEB: www.dgstamparchitects.com

Sun Valley
Ketchum




my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho

VICINITY MAP

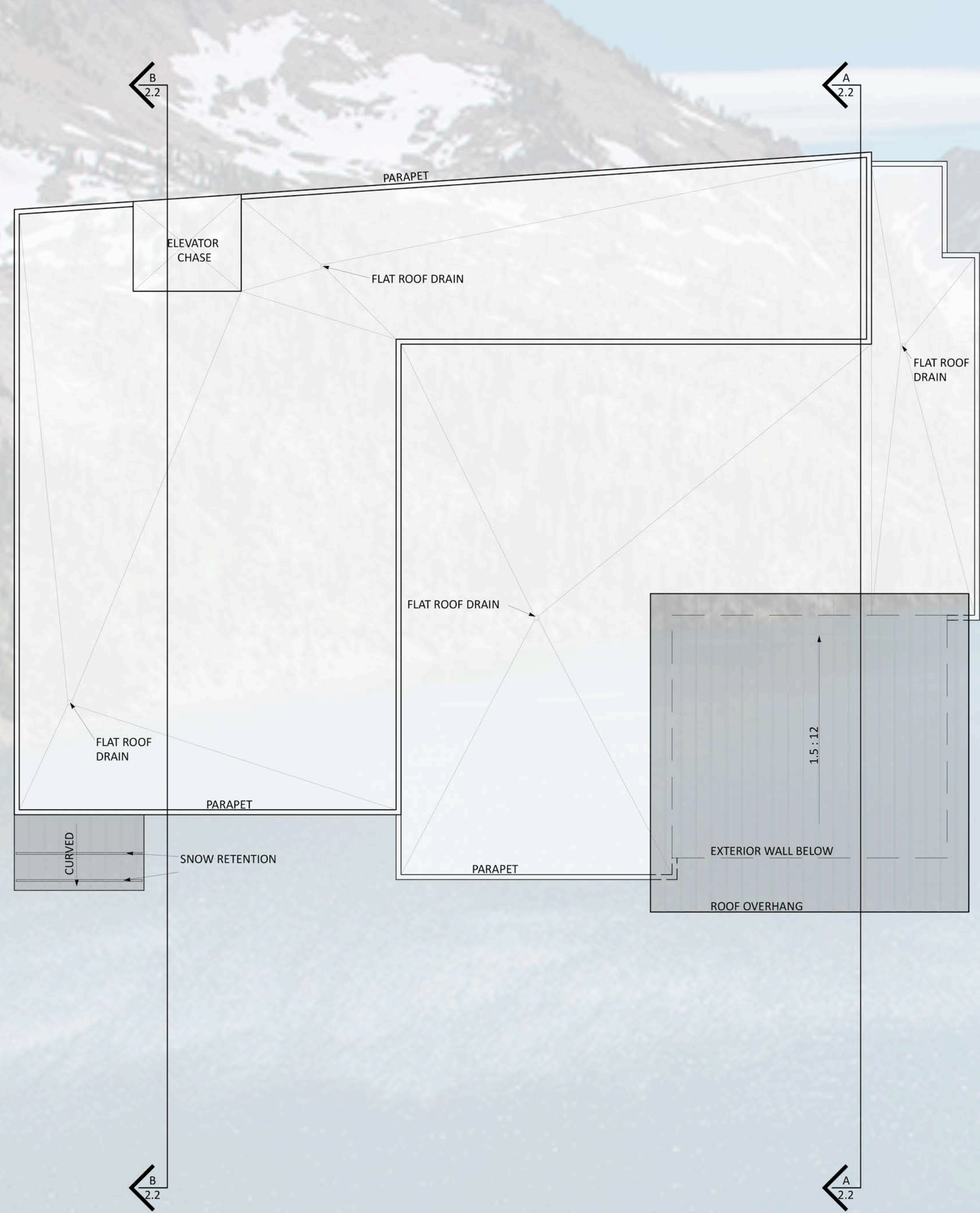
1/2/20



my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho





120 Northwood Way
Ketchum, Idaho

ROOF PLAN

FLOOR PLAN - THIRD LEVEL • 2,543 SF



SCALE: 1/8" = 1'-0"



NORTH ELEVATION

WEST ELEVATION



120 Northwood Way
Ketchum, Idaho

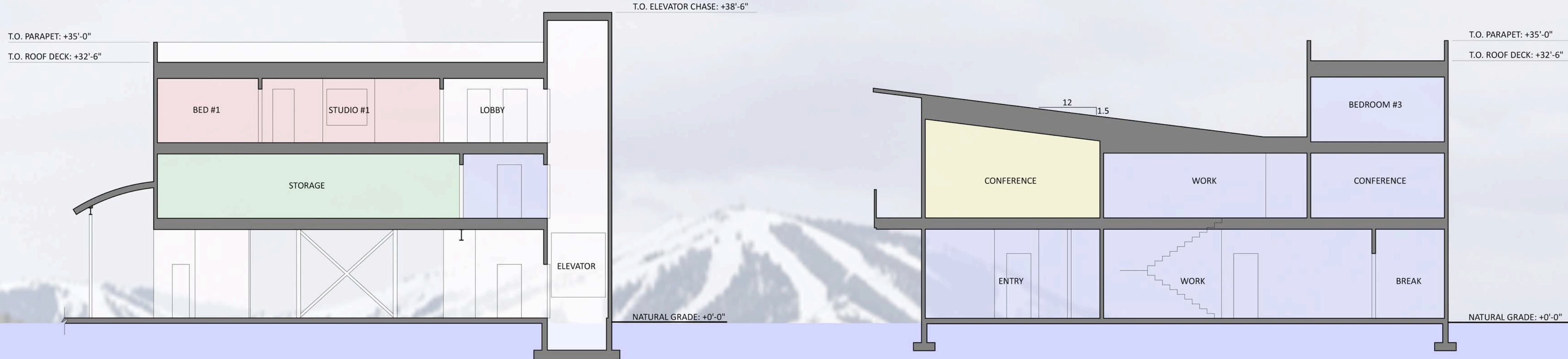


SOUTH ELEVATION

EAST ELEVATION

SCALE: 1/8" = 1'-0"

1/2/2020



120 Northwood Way
Ketchum, Idaho

SECTION B

- 1 - VERTICAL STANDING SEAM SIDING - "WEATHERED ZINC"
- 2 - STUCCO PANELS - PRE FABRICATED - "LIGHT GRAY"
- 3 - PARKLEX WOOD SIDING PANELS - "RUBI"
- 4 - STANDING SEAM METAL ROOFING - "WEATHERED ZINC"
- 5 - TPA FLAT ROOF SYSTEM - "WHITE"
- 6 - CURVED CORRUGATED GALVANIZED ROOFING
- 7 - CORRUGATED GALVANIZED GUARDRAIL PANELS w/ DARK GRAY STEEL SUPPORTS
- 8 - CLAD WOOD WINDOWS & DOORS - "HEMLOCK"
- 9 - FIBERGLASS WINDOWS - "BROWN"
- 10 - CUSTOM GARAGE DOOR
- 11 - EXPOSED STEEL BEAM & COLUMNS - "DARK GRAY"
- 12 - GRIDDED STEEL DUMPSTER SCREENING PANELS - "RED/BROWN"

SECTION A



MATERIAL LEGEND

MATERIALS

SCALE: 1/8" = 1'-0"

1/2/2020

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Principal
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my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho

1/2/2020

IMAGES IN CONTEXT

Sana Outdoor Wall Sconces
By Tech Lighting

Product Options

Size: Medium, Large

Details

- Finish: Black
- Material: Aluminum
- Shade Material: Concrete
- Dimmable When Used With a 0-10V Dimmer (Not Included)
- ADA compliant, Title 20 compliant
- UL Listed Wet
- Marine Grade
- Warranty: Limited 5 Year
- Made In China

Dimensions

Medium Option Backplate: Width 5.3", Height 16", Depth 2.9"
Medium Option Fixture: Width 5.3", Height 16", Depth 2.9", Weight 6Lbs
Medium Option Maximum Hanging: Length Adjustable From 16", Adjustable To 16"
Large Option Backplate: Width 5.3", Height 22", Depth 2.9"
Large Option Fixture: Width 5.3", Height 22", Depth 2.9", Weight 9Lbs
Large Option Maximum Hanging: Length Adjustable From 22", Adjustable To 22"

Lighting

- 7.5 Watt (137 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

4 inch Square Regressed Trim
By Lotus LED Lights

Product Options

Finish: Black, White
Light Temperature: 2700K, 4100K

Details

- Sleek, modern regressed trim
- No housing required
- No additional hardware needed
- Approved for insulated ceilings and open plenum
- Oil based spray painted for scratch resistance
- 2" above ceiling clearance required
- Designed in 2017
- Material: Diecast Aluminum Alloy
- Title 24 compliant
- UL Listed Damp
- Warranty: 10 Year Residential / 5 Year Commercial
- Made In China

Dimensions

Cut-out: Length 4", Width 4"
Outer Shade: Length 5", Width 5"
Trim: Height 2"

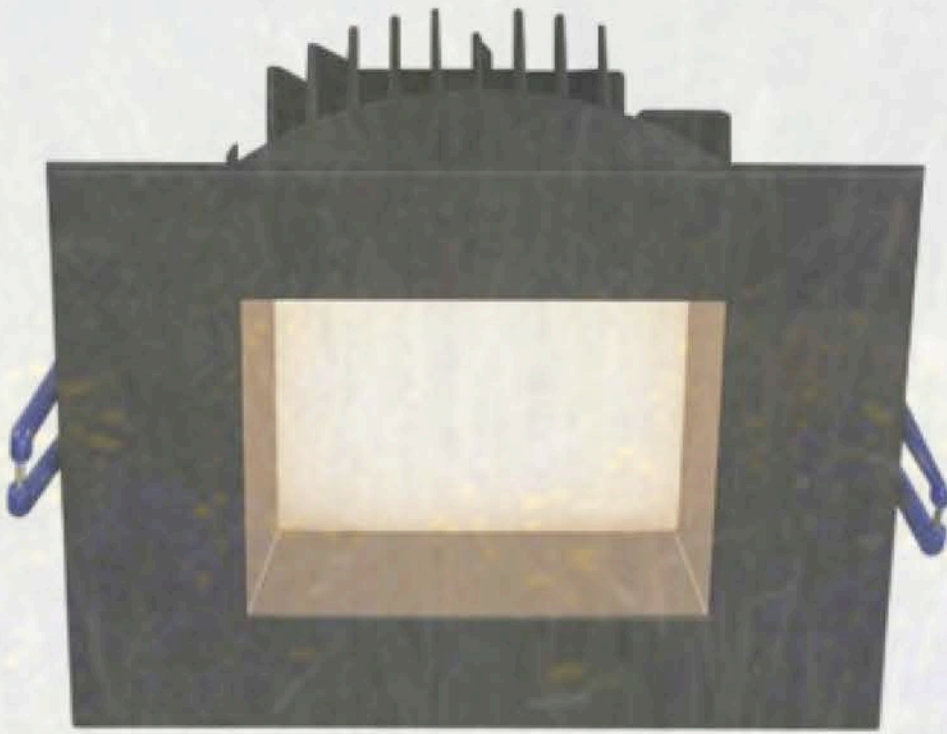
Lighting

- 2700K Option: 14.5 Watt (850 Lumens) 120 Volt Integrated LED: CRI: 92 Color Temp: 2700K
- 4100K Option: 14.5 Watt (900 Lumens) 120 Volt Integrated LED: CRI: 92 Color Temp: 4100K



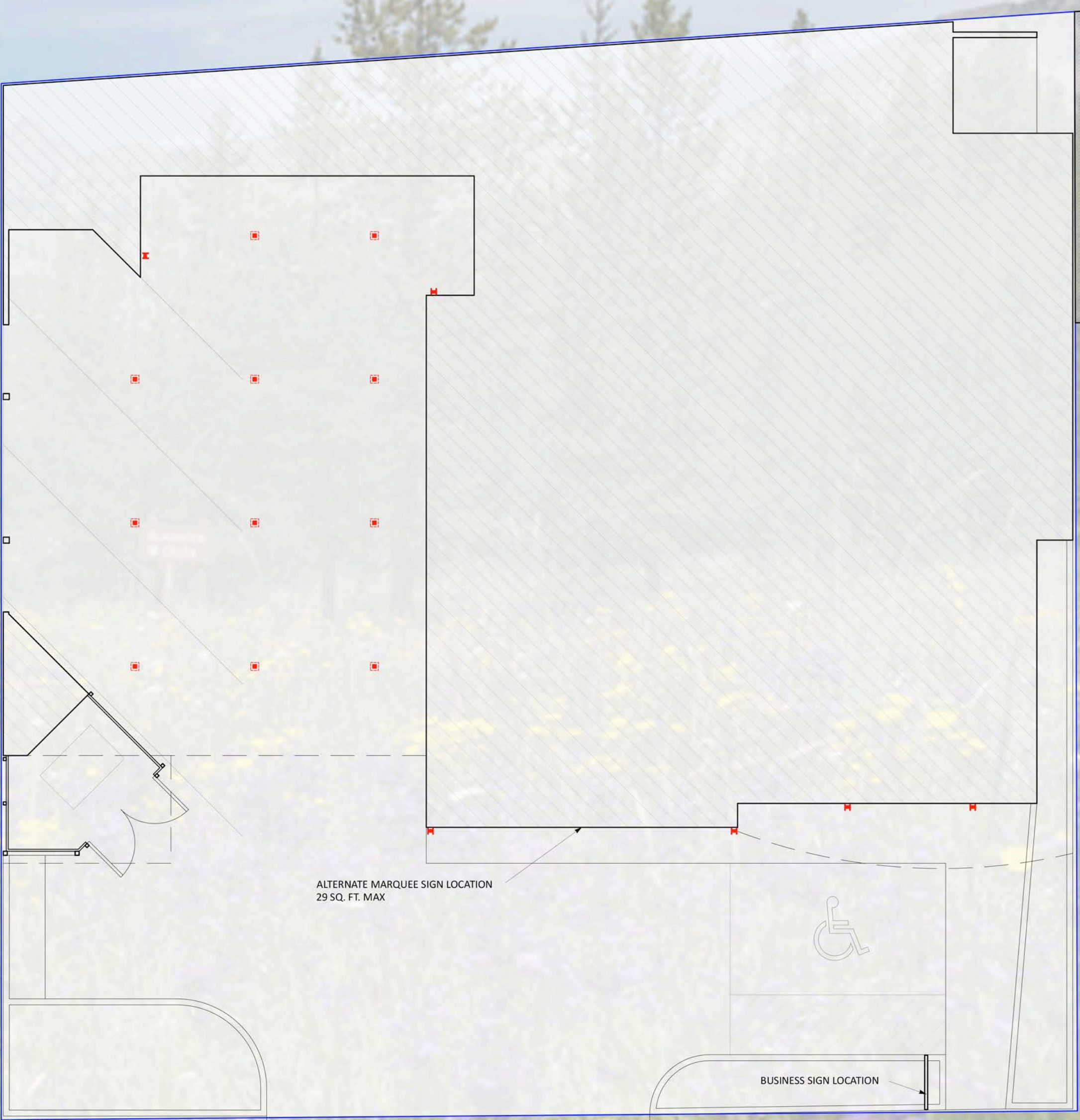
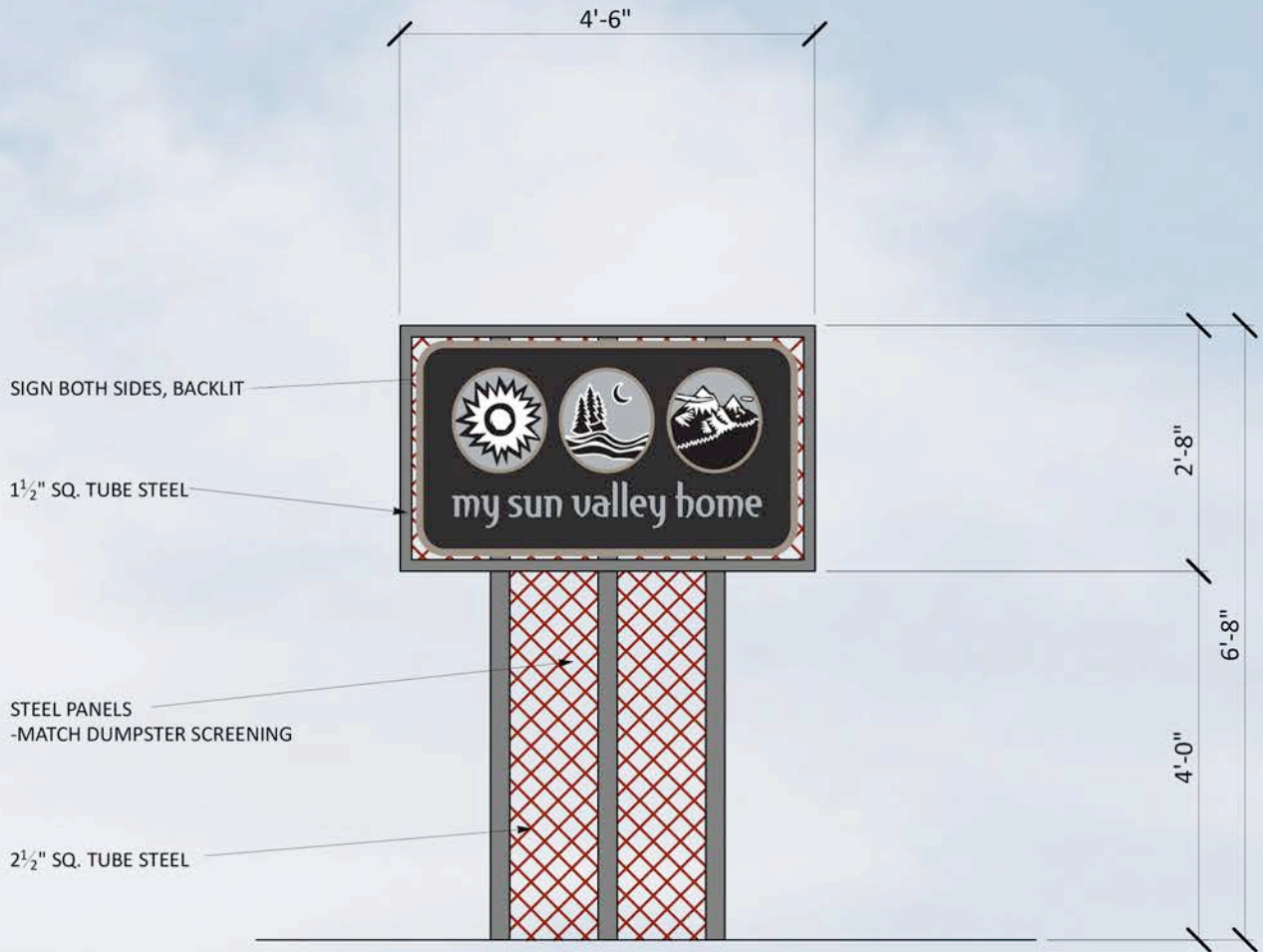
Shown in Black finish, Medium size

Notes:
5'-6" ABOVE GROUND SURFACE TO LIGHT SOURCE.



Shown in Black finish

Notes:
10'-8" ABOVE GROUND SURFACE.
RECESSED TO SOFFIT.



120 Northwood Way
Ketchum, Idaho



SCALE: 1/8" = 1'-0"

1/2/2020



120 Northwood Way
Ketchum, Idaho

1 - PARKING

2 - MATERIAL STORAGE

3 - DUMPSTER

4 - FILL STOCKPILE STORAGE

5 - BATHROOM



• SEE WRITTEN DOCUMENT SUBMITTED WITH APPLICATION

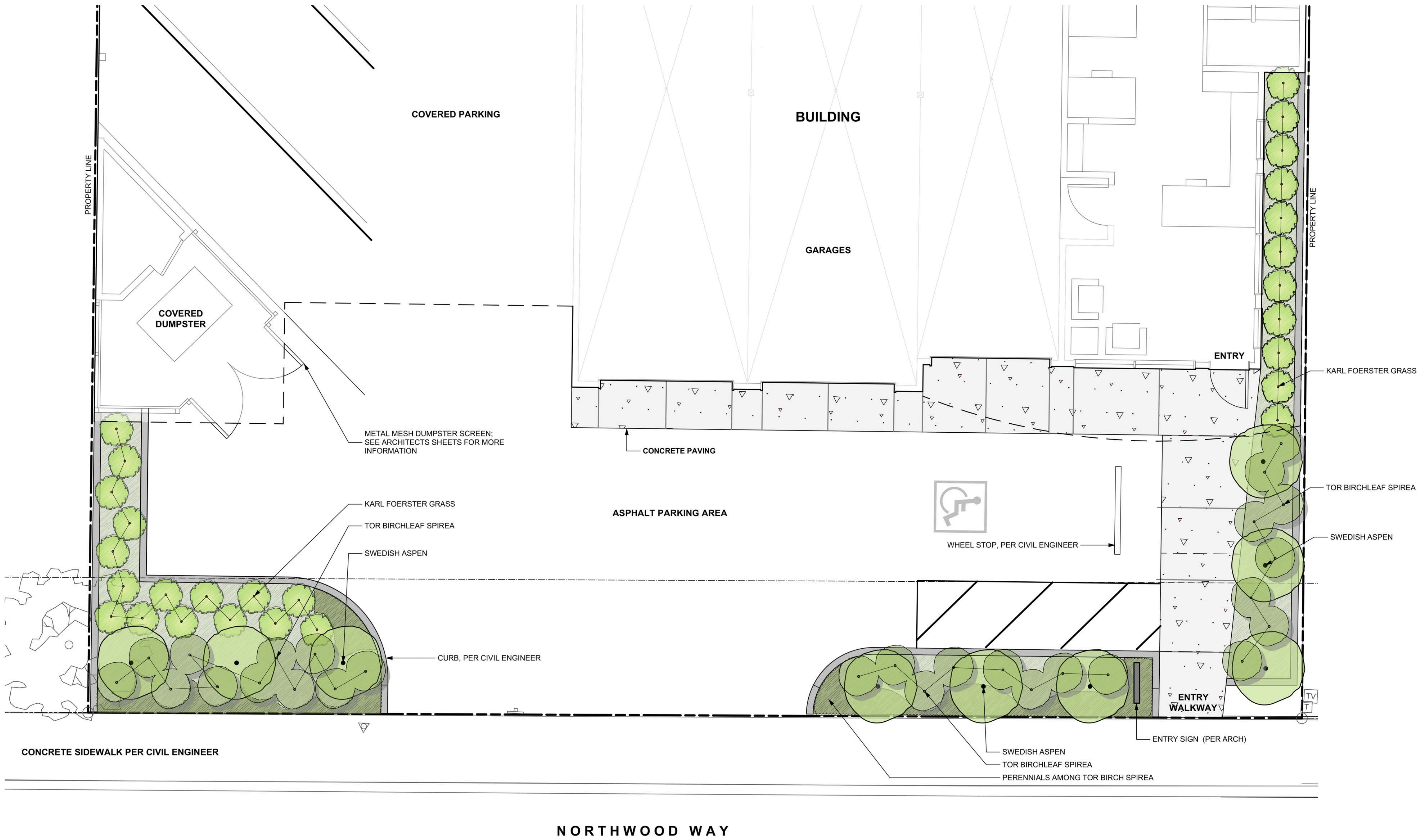
1/2/2020

LEGEND

CONSTRUCTION MANAGEMENT PLAN



SCALE: 1/8" = 1'-0"



GENERAL NOTES:

1. GRADING & DRAINAGE: PER CIVIL ENGINEERING
2. SNOW REMOVAL: SNOW TO BE REMOVED FROM SITE
3. SIDEWALK & CURB: CONCRETE WITH BROOM FINISH
4. IRRIGATION: TO BE DRIP IRRIGATED

PLANT PALETTE



TREE | SWEDISH ASPEN



SHRUB | TOR BIRCHLEAF SPIREA



PERENNIAL | KARL FOERSTER GRASS

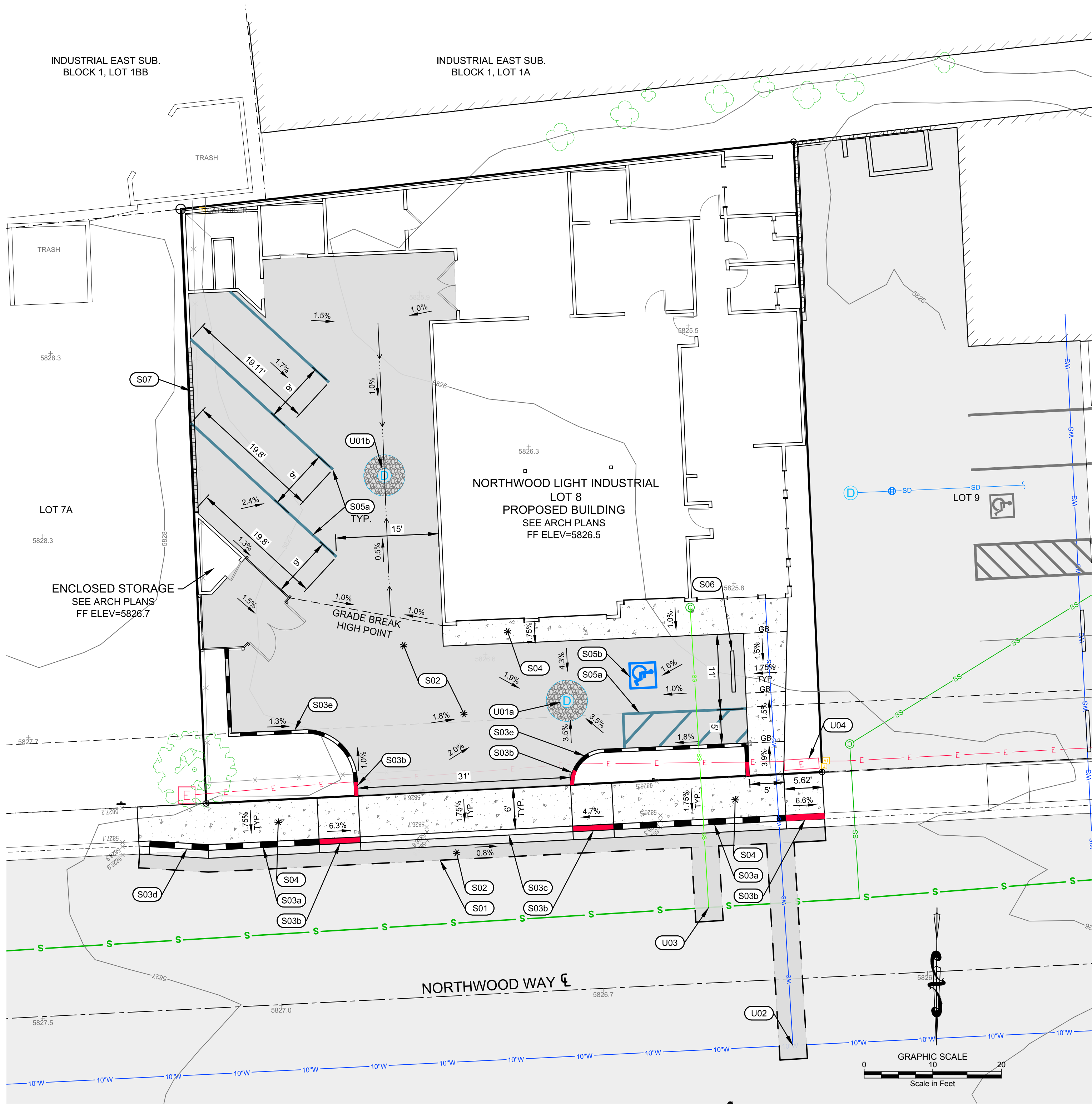


PERENNIAL | SALVIA 'MAY NIGHT'



PERENNIAL | ACHILLEA 'MOONSHINE'


REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND	
EXISTING ITEMS	
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	ASPHALT PAVEMENT
	CURB AND GUTTER
	EXTERIOR BUILDING FOOTPRINT
	EASEMENT
	SEWER PAINT MARKS
	UNDERGROUND POWER PAINT MARKS
	FOUND 1/2" REBAR
	FOUND 5/8" REBAR
	POWER BOX
	TELEPHONE RISER
	CABLE TV RISER
	DECIDUOUS TREE
PROPOSED ITEMS	
	NEW ASPHALT
	CONCRETE SIDEWALK
	CONCRETE VERTICAL CURB & GUTTER
	CONCRETE ROLLED CURB & GUTTER
	CURB TRANSITION
	ZERO REVEAL CURB & GUTTER
	RETAINING WALL
	WATER SERVICE
	4" SEWER SERVICE
	DRYWELL
	FLOW LINE
	SAWCUT LINE
	GRADE

CONSTRUCTION KEYNOTES

SITE IMPROVEMENTS

- S01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
- S02 CONSTRUCT/ REPAIR ASPHALT. SEE DETAIL 1, SHEET C2.0
- S03 CONSTRUCT CONCRETE CURB
 - a. 6" CONCRETE ROLLED CURB AND GUTTER PER DETAIL 3, SHEET C2.0
 - b. CURB TRANSITION PER DETAIL 4, SHEET C2.0 [], (typ.).
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4, SHEET C2.0
 - d. TRANSITION FROM 6" CONCRETE ROLLED CURB AND GUTTER TO MATCH EXISTING CURB AND GUTTER
 - e. 6" VERTICAL CURB PER DETAIL 5, SHEET C2.0
- S04 CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2, SHEET C2.0
- S05 INSTALL PAVEMENT MARKINGS
 - a. 4" WIDE WHITE PARKING STRIPE
 - b. ADA COMPLIANT SYMBOL
- S06 6' LONG CONCRETE CURB STOP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- S07 CONSTRUCT RETAINING WALL WITH 12" EXPOSURE PER ARCHITECT/ STRUCTURAL ENGINEER

UTILITY IMPROVEMENTS

- U01 INSTALL DRYWELL PER DETAIL 8, SHEET C2.0
 - a. RIM ELEV= 5826.07
 - b. RIM ELEV= 5826.32
- U02 INSTALL WATER SERVICE PER CITY OF KETCHUM STANDARDS; SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF WATER MAIN. TRENCH CONSTRUCTION PER DETAIL 6, SHEET C2.0. SEE DETAIL 7, SHEET C2.0 FOR POTABLE, NON-POTABLE WATER LINE SEPARATION REQUIREMENTS.
- U03 INSTALL 4"Ø SEWER SERVICE @ S=2.0% MIN; CONNECT TO EXISTING SERVICE STUB. TRENCH CONSTRUCTION PER DETAIL 9, SHEET C2.0
- U04 RETAIN AND PROTECT EXISTING TRANSFORMER.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1885) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.0. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 65-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK ASSOCIATES.

PURPOSE: ISSUE FOR DESIGN REVIEW (10/29/2019)

NO. DATE BY REVISIONS

C1.0

SKS
DESIGNED BY
SKS
DRAWN BY
SKS
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 788-1705
email: galena@galena-engineering.com



GRADING AND DRAINAGE PLAN
BLACK BUILDING - 120 NORTHWOOD WAY
LOCATED WITHIN SECTION 12, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR MY SUN VALLEY HOME

PROJECT INFORMATION
Prepared by: Galena Engineering, Inc. Date: 10/29/2019
Drawing No.: 159-46 PM

6 CITY OF KETCHUM TYPICAL TRENCH (DETAIL 12)
N.T.S.

2 CITY OF KETCHUM
CONCRETE SIDEWALK WITH CURB AND GUTTER
(DETAIL 7)
N.T.S.

CITY OF KETCHUM
STEEL ROLLED CURB AND GUTTER (DETAIL 4)
N.T.S.

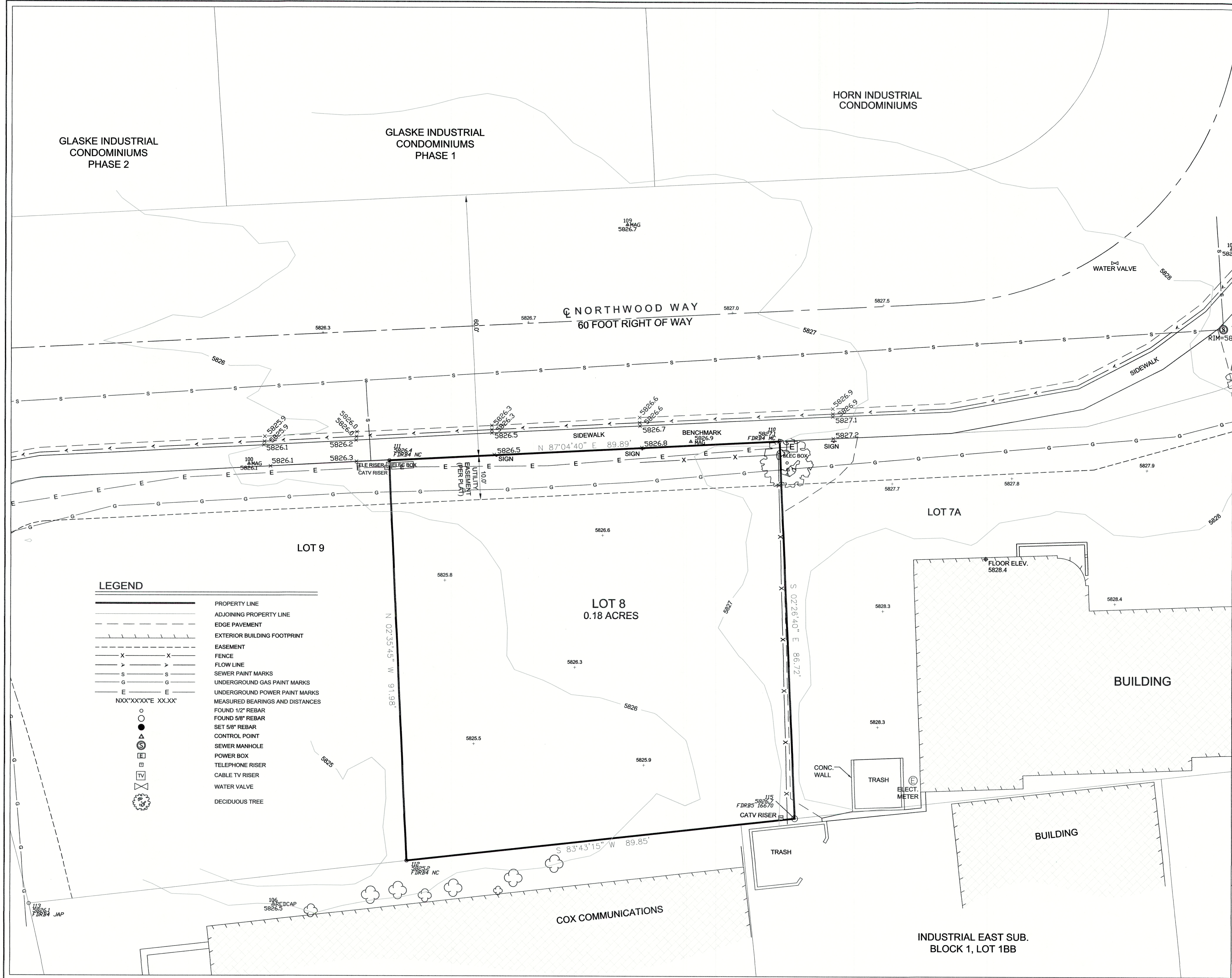
ZERO REVEAL CURB & GUTTER
CITY OF KETCHUM
④ TYPICAL CURB TRANSITION (DETAIL 6)
N.T.S.

5 CITY OF KETCHUM
6" CONCRETE VERTICAL CURB (DETAIL 5)
N T S

7 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

SEPARATION AND VERTICAL
PLACEMENTS ARE NOT ALLOWED

8 CITY OF KETCHUM DRYWELL (DETAIL 10)
N.T.S.



NOTES

GENERAL RESTRICTIONS & TITLE INFORMATION:

1. THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHIC/SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE.
2. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
3. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
4. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
5. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:

6. BUILDING AREA: BUILDING ENVELOPE AS SHOWN, IS PER PLAT, OR THE ORIGINAL PLAT DOES NOT SHOW BUILDING ENVELOPES. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
7. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE, ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
8. WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.
9. STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.
10. FLOOD PLAIN: THE 1% ANNUAL FLOOD LINE, IF DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, BENCHMARK ASSOCIATES DOES NOT REPRESENT, GUARANTEE, WARRANT NOR IMPLY THAT AREAS OUTSIDE OF THE DESIGNATED FLOOD PLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER. FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO, UNINCORPORATED AREAS) COMMUNITY NUMBER 165167 - PANEL NO. 0453 E - NOVEMBER 26, 2010.
11. FLOOD PLAIN DESIGN ELEVATIONS: CURRENT FEMA FLOOD INSURANCE REGULATIONS SPECIFY THE BOTTOM FLOOR OF STRUCTURE AS EITHER THE BOTTOM OF FOUNDATION CRAWL SPACE OR TOP OF SLAB. THE BASE FLOOD ELEVATION ON THE UPSTREAM SIDE OF THE STRUCTURE DETERMINES THE FLOOD ELEVATION FOR THE ENTIRE STRUCTURE AND SHOULD BE CONSIDERED PRIOR TO DESIGN. REFER TO LOCAL BUILDING CODES FOR ADDITIONAL CONSTRAINTS AND REGULATIONS.

SURVEY AND SITE FEATURES:

12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT & R.O.S. REFER TO PLAT, R.O.S. (INST. # 655878) & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
13. ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM.
14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.,) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: JUNE 2017.
19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
21. FEATURES OBSCURED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY:

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NORTHWOOD LIGHT INDUSTRIAL PARK, LOT 8

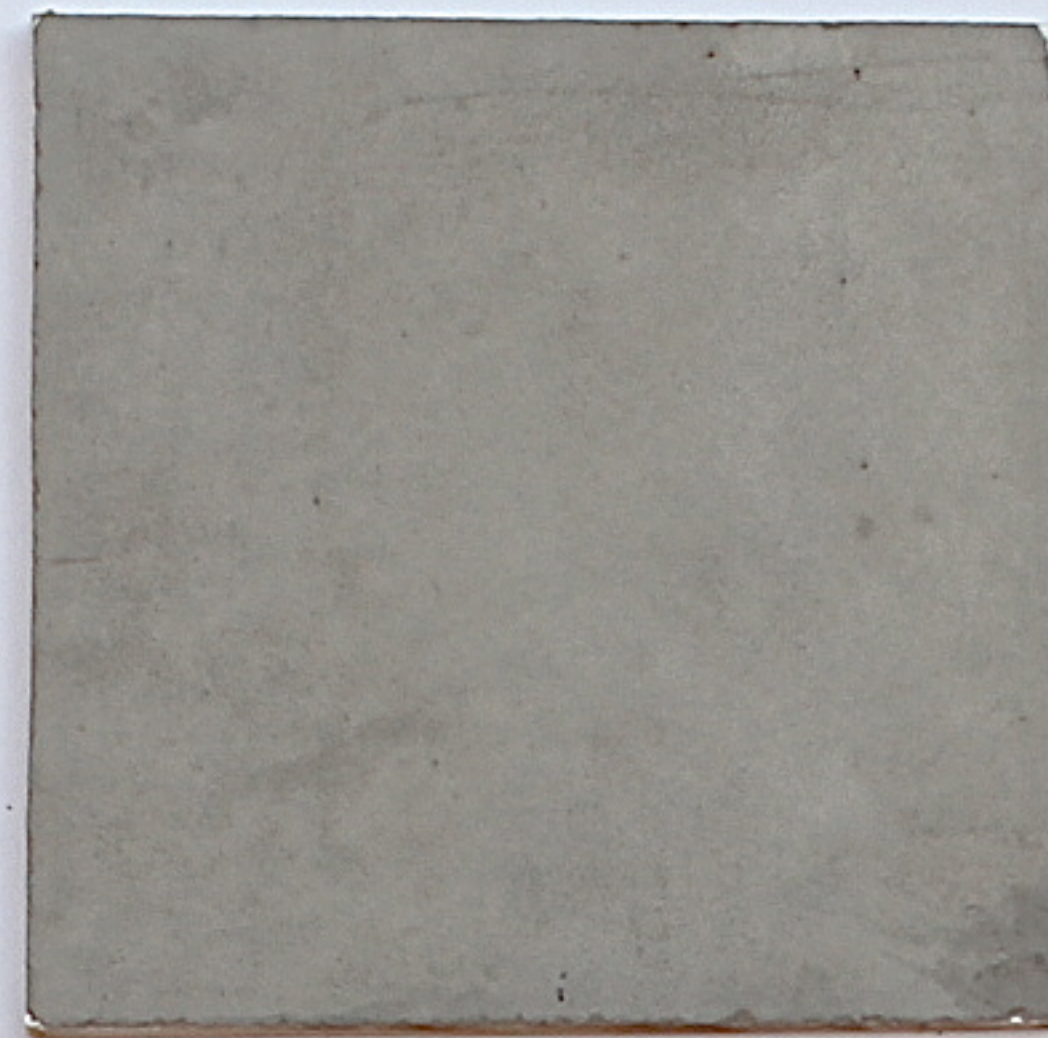
LOCATED WITHIN
SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BYLA

PROJECT NO. 18179	DWG BY: ROB	CRD: 18174.CRD	18174.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 6/5/2019	SHEET: 1 OF 1	



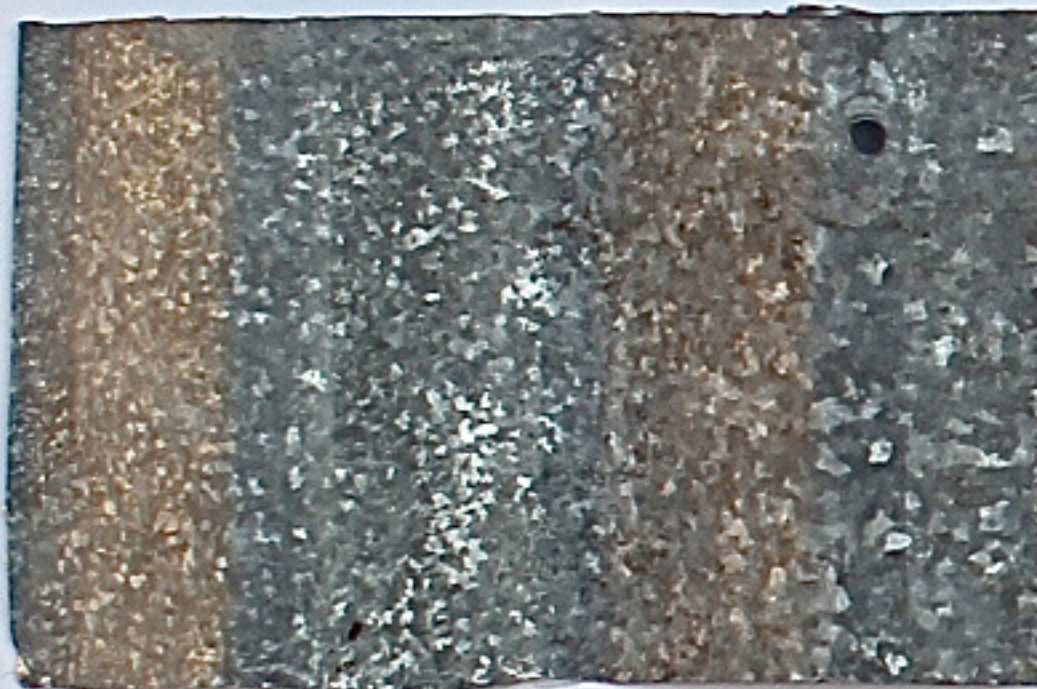
Standing Seam Metal Roofing
- "Weathered Zinc"
Vertical Standing Seam Metal
Siding - "Weathered Zinc"



Stucco Pre-Fabricated Wall Panels
- "Light Gray"



Parklex Wood Siding Panels - "Rubi"



Curved Corrugated Galvanized
Roofing / Guardrail Panels



Fiberglass Windows and Doors
@ Metal / Stucco Siding - "Brown"

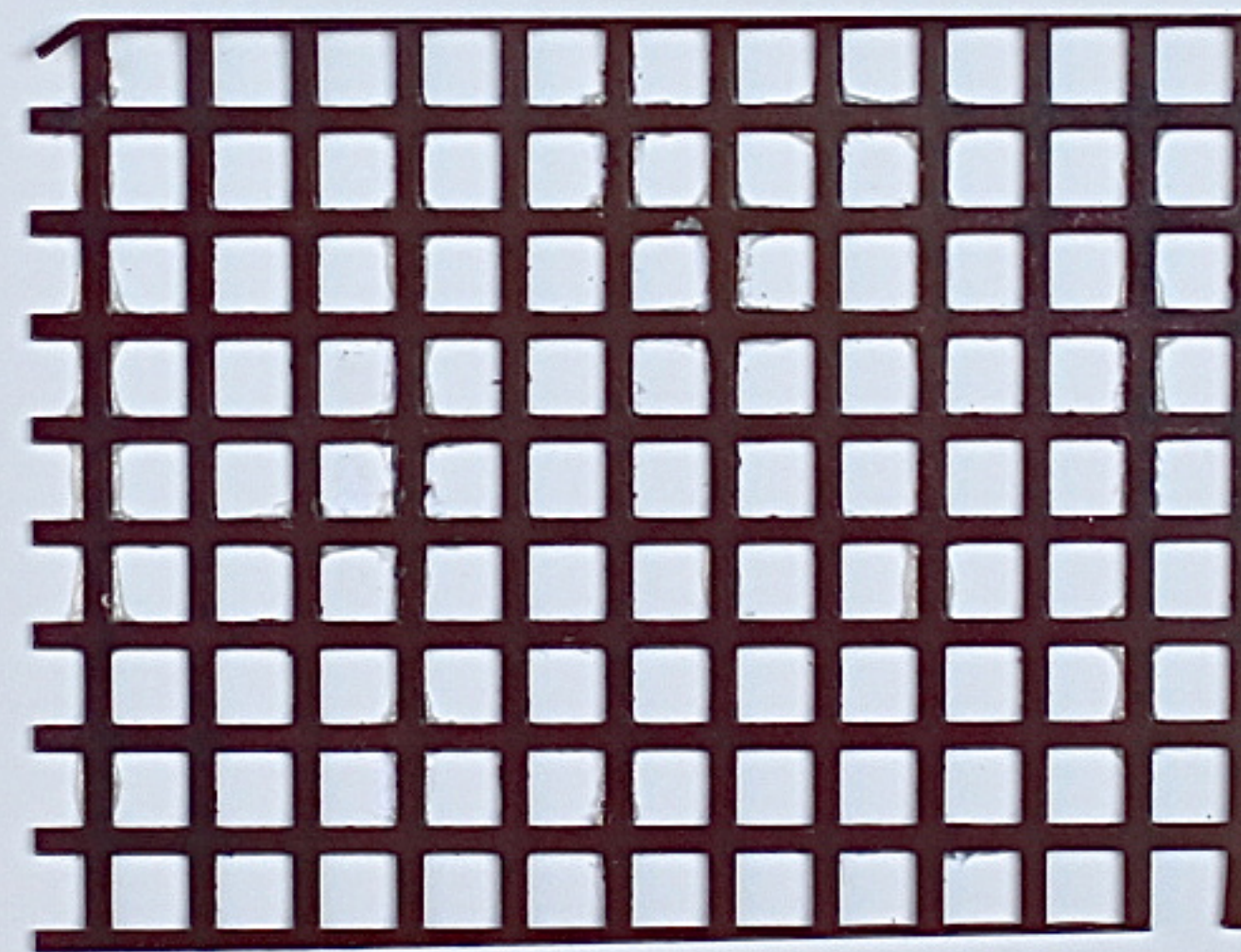


Clad Wood Windows and Doors
@ Parklex Siding - "Hemlock"



Drift II Corrugated 2-Pipe Bolt-Down Fence-Style

Snow Retention



Grided Steel Dumpster Screening Panels - "Red-Brown"

DGS
STAMP
ARCHITECTS

Don Stamp
Principal
NCAAB

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Carmen, ID 83402

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My Sun Valley Home Office – CONSTRUCTION ACTIVITY PLAN
120 Northwood Way – Ketchum Idaho

We will be constructing a 9,822 sq. office space with optional living quarters above.

This project will start the end of March 2020 or after ground thaw and is scheduled to be completed in November 2020. Contractor and trailer parking will be kept onsite as well as using 3 street parking spaces on Northwood Way on a first come first serve basis. All materials storage will happen within the property, mainly in the covered parking area noted on the site plan. Material fill and stockpile will take place on the NE corner of property.

Onsite restrooms will be provided and situated in the NW corner of property next to dumpster. Job site will be maintained and walked for trash in the evenings before wrapping up. A temporary fence will be installed around property to assist with debris and bystander safety.

The curb and small section of asphalt will need to be redone during the project. At that time, we will extend our temporary fence to block bystanders and will involve traffic control throughout the project as needed.

Large delivery trucks will be able to pull in east to west using street parking on Northwood Way for load and unload allowing traffic to flow both ways.

There will be a jobsite representative from Mountainwood Construction present during construction hours to keep the site clean, safe and minimize the impact to the surrounding neighbors.

Mountainwood Construction
171 Stoney Cove
Hailey, Idaho 83333
208-721-7146

David Wood

A handwritten signature in blue ink, appearing to read 'David Wood', is written over a horizontal line. The signature is stylized and fluid.