



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 9th, 2020

PROJECT: 4th & Main St Mixed-Use Building

FILE NUMBER: P 20-002

APPLICATION TYPE: Pre-Application Design Review

ARCHITECT: Peter Paulos, PH Architects

DEVELOPER: Chris Ensign, Solstice Homes Development

PROPERTY OWNER: 400 North Main LLC & Formula Investment LLC (Blaine County Assessor's Office Database as of 3/6/20)

REQUEST: Pre-Application Design Review for the development of a new four-story, 47.5-foot tall, 59,130 sq ft mixed-use building

LOCATION: West Half of Block 5 adjacent to Main Street between 4th & 5th Streets (Ketchum Townsite: Block 5: Lots 1, 2, 3, & 4)

ZONING: Retail Core of the Community Core (CC-1)

REVIEWER: Abby Rivin, Associate Planner

NEW MIXED-USE BUILDING ON MAIN STREET

Chris Ensign of Solstice Homes, a Utah-based developer, has proposed a new four-story, 47.5-foot tall, 59,130-square-foot mixed-use building located on Main Street between 4th and 5th streets. The ground level features 7,523 square feet of retail space and an underground parking garage with 16 spaces. The upper floors contain 12 two- and three-bedroom condominium and penthouse units with private balconies and rooftop terraces. The developer has proposed five community housing units within the building in exchange for an increase in total floor area.



Figure 1: Rendered Elevation, Project Plans: Sheet A5.1

DESIGN REVIEW MAINTAINS THE CHARACTER OF OUR MOUNTAIN COMMUNITY

The Pre-Application facilitates an iterative and collaborative process between the Planning & Zoning Commission, developers and their design teams, and the community. This preliminary review allows the Commission to identify design issues, offer constructive advice, and highlight opportunities to improve project. The Commission's feedback helps developers produce high-quality buildings and projects that enhance the character of downtown Ketchum.

PROJECT LOCATION

The new mixed-use building will be located on four lots along Main Street between 4th and 5th streets within the Retail Core of downtown Ketchum. The 21,989-square-foot site has topographical challenges including multiple slopes. An existing retaining wall divides the block separating the natural topography of lots 1 and 2 from existing development on lots 3 and 4. The developer will demolish the historic A-frame that was Ketchum's first post office and is currently occupied by Formula Sports. While undeveloped, the southern half of the site is the summer home of Irving's Red Hots, an iconic hot dog stand.



Figure 2: Formula Sports within Historic A-frame at Southeast Corner of Main & 5th Streets

HOW BIG IS THE BUILDING?

The project plans maximize the size of the building to the greatest extent permitted by Ketchum's Zoning Regulations. The 59,130-square-foot mixed-use building has a total Floor Area Ratio of 2.23. The building reaches 47.5-feet in height from Main Street to the fourth-floor roof. Covering the length of the entire block, the building's front façade will span 210 feet along Main Street.

DESIGN CHANGES ARE NEEDED TO IMPROVE QUALITY OF PROJECT

Before granting Design Review approval, the Planning & Zoning Commission must determine that applications meet two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC 17.96.050.A). Design Review safeguards the well-being of our mountain community. This project needs significant changes to improve design and meet the high-quality standards of the surrounding built environment in downtown Ketchum. Design Review helps us achieve a more sustainable, vibrant, connected, and beautiful Ketchum. The Staff Analysis highlights areas of concern in relation to Design Review standards and other provisions of Ketchum Municipal Code.

Architectural

Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).

The proposed design exacerbates the building's bulk and flatness. Lacking continuity, the design layers monotonous one-story elements on top of each other through uniform steps. The building moves to the same degree at the same locations in just one direction—in and out. The projections and recessions of building mass along Main Street fail to meaningfully undulate the front façade. The 210-foot building wall along Main Street appears entirely flat with no relief. The uniform steps to the third and fourth floors exacerbate the building's bulk and mass. The walls of windows with glass-railing borders aggravate the appearance of flatness. With any roof-line variation or two-story elements, the design is devoid of any vertical elements to undulate the facade up and down.

The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).

The design is monotonous—three materials, two colors, and rectangular shapes repeat the same pattern. Walls of windows are separated by horizontal bands of red brick and black steel. The building lacks continuity because these horizontal layers fail to provide any connection between floor levels. Horizontal borders of black fascia and red brick separate each floor level. Without any vertical elements to connect floor levels, nothing grounds the building. The building looks like a layered-wedding-cake due to the lack of vertical integration.

Compatibility of Design

The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures (Ketchum Municipal Code §17.96.060.E1).

The mass and height of the building is overbearing and out of scale with downtown Ketchum. The design incorporates limited materials, colors, and shapes in repetitive patterns. The red brick on such a big building may overpower the material palette of nearby structures. The final Design Review application must include a materials and colors sample board showing all exterior materials used on the façade of the structure (KMC §17.96.040.C.2i). All specifications for the proposed materials must be included with the project plans. For example, the specification for the brick must include the proposed dimension of the veneer's thickness.

The rendering submitted with the Pre-Application (Sheet A5.0) is an unrealistic bird's-eye view of the building. In order to ensure the proposed development maintains Ketchum's mountain town character, the project plans must show the mixed-use building within the context of downtown Ketchum. The final Design Review application must include building renderings within the context of neighboring buildings and from multiple key vantage points throughout town. The renderings should represent realistic points-of-view to show the building's relationship to Main Street and with the existing development in downtown Ketchum.



Figure 3: Perspective Rendering, Project Plans: Sheet A5.0

Walls of Windows

The walls of windows make the building look like an industrial warehouse that is out of context in our mountain town. The extensive use of glass used for the window treatments raises several concerns:

4th and Main Mixed-Use Building

Pre-Application Design Review

Planning & Zoning Commission Meeting of March 9th, 2020

City of Ketchum Planning & Building Department

- How will the project look at night with light emanating from the inside of the building? How will the project appear at night when no one is home and the retail spaces have closed?
- With Ketchum’s high-altitude UV levels, what solar control or building elements will be incorporated to help shade the west- and south-facing facades? With the astronomical heat gain, how will the commercial and residential units be cooled? Where will the A/C units be located? Will the mixed-use building be capable of meeting Ketchum’s Green Building Code standards? What are the mixed-use building’s energy demands?
- Is the project feasible with local conditions in our mountain town including seismic zone and snow loads? With the extensive use of glass, will the building be able to structurally withstand seismic conditions and snow loads? The project plans submitted with the Design Review application must be prepared and stamped by an Idaho licensed architect or engineer (KMC §17.96.040.B)

The floor plans on Sheets A1.0, A1.1, A1.2, and A1.3 don’t show the location of window or door openings. The elevations indicate residential units with walls comprised entirely of windows. The building’s outsides don’t match its insides—the exterior of the building doesn’t match the residential use proposed within the building. This discrepancy raises a concern that of the preliminary design drawings unrealistically depict the building’s appearance.

Circulation Design

Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage (Ketchum Municipal Code §17.96.060.G3).

The site plan (Sheet C1.0) indicates three parking spaces, including the ADA space, that appear to require backing out onto 5th Street. The Design Review application should include a diagram illustrating circulation within the underground parking garage and vehicles exiting onto 5th Street.

Service Areas and Mechanical Equipment

Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views (Ketchum Municipal Code §17.96.070.C1).

The refuse building is located within the building adjacent to the parking garage access along 5th Street (Sheet C1.). The trash disposal area must be adequately sized for both trash and recycling for the entire building, including the commercial retail spaces. The developer must submit a will-serve letter from Clear Creek Disposal with the final Design Review application.

Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design (Ketchum Municipal Code §17.96.070.C2).

All roof and ground mounted mechanical and electrical equipment and associated screening must be shown on the project plans and elevation drawings. The developer must submit a will-serve letter from Idaho Power with the final Design Review application.

RECOMMENDATION

After considering the Pre-Application Design Review submittal attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to either:

- (a) Continue the Pre-Application Design Review to a date certain and direct the developer to submit drawings, renderings, or information to assist in the Commission's review of the project plans and the design concept, or
- (b) Advance the 4th and Main Mixed-Use Building to final Design Review with the condition that significant changes to the project plans will require Commission review of an additional Pre-Application.

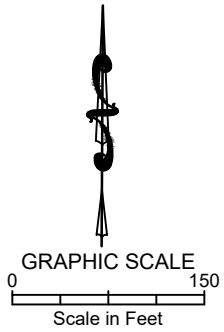
EXHIBITS:

- A. 4th and Main Mixed-Use Building Pre-Application Design Review Submittal

Exhibit A:
4th and Main
Mixed-Use Building
Pre-Application
Design Review
Submittal

NOTES:

1. AERIAL IMAGERY SHOWN HEREON PER GOOGLE EARTH.
2. PROPERTY LINES SHOWN HEREON PER BLAINE COUNTY GIS.



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

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Civil Engineers & Land Surveyors
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Hailey, Idaho 83333
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(208) 788-4612 fax
email galena@galena-engineering.com

A VICINITY MAP
KETCHUM TOWNSITE, LOTS 1-4, BLOCK 5
WITHIN S 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLSTICE DEVELOPMENT

PROJECT INFORMATION
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SHT 1 OF 1

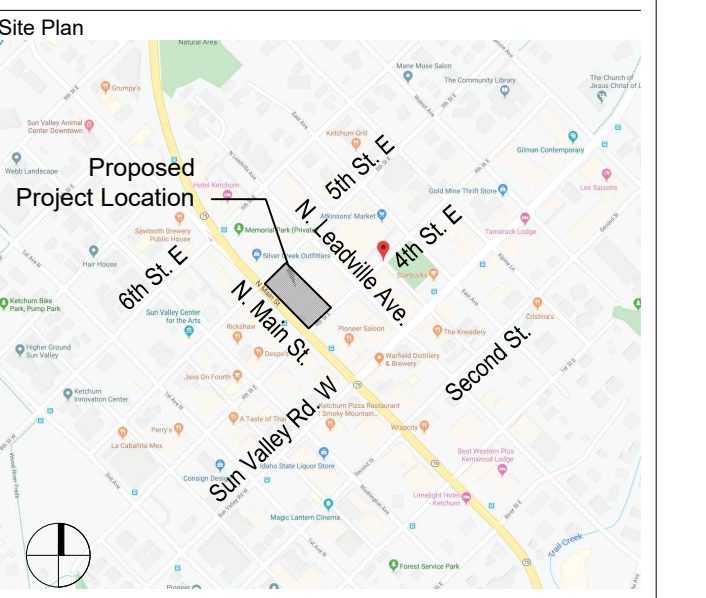
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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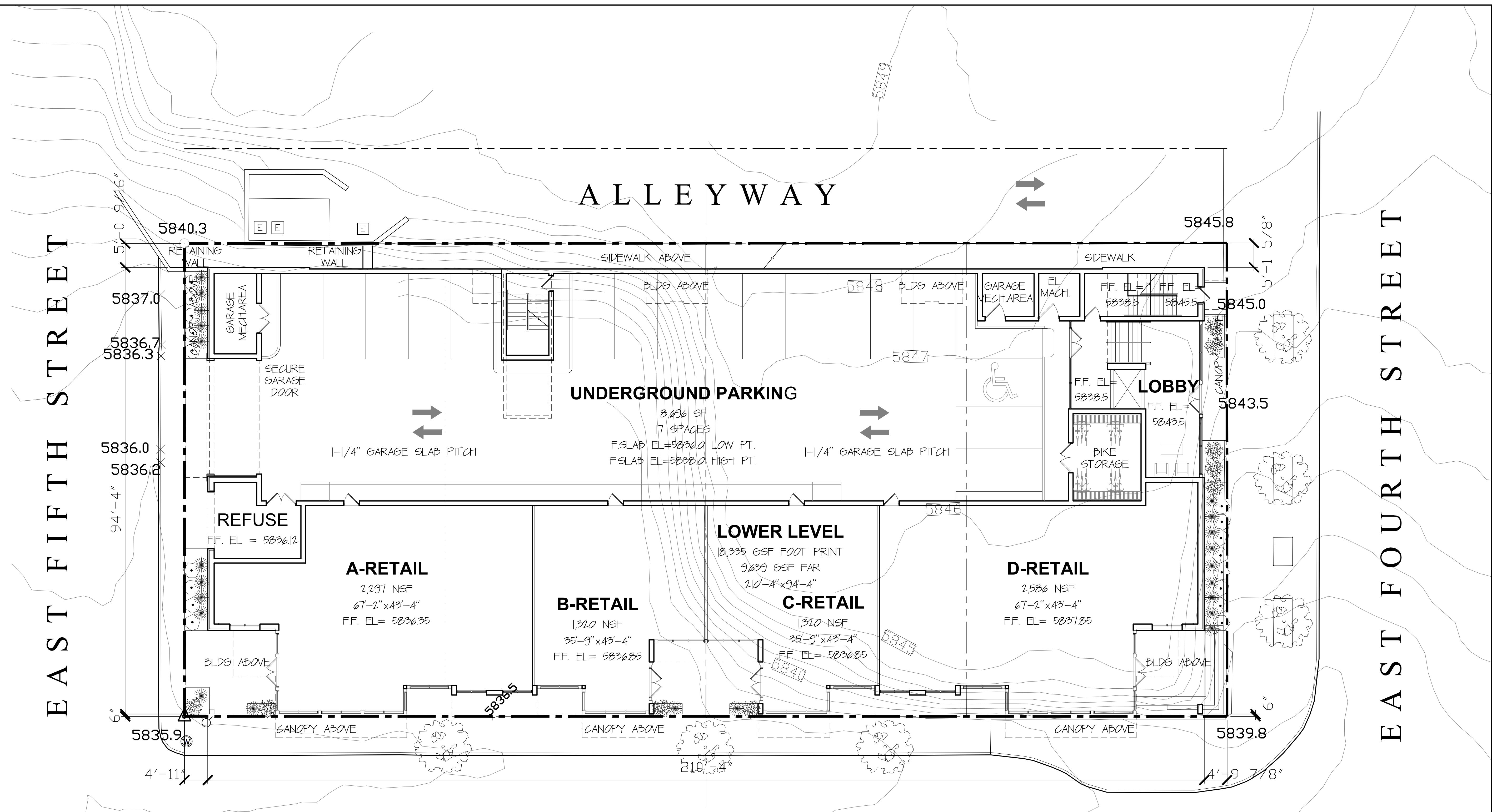


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EAST FIFTH STREET

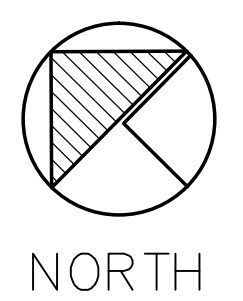
EAST FOURTH STREET

ALLEYWAY



FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

SUMMARY					
GENERAL BUILDING INFORMATION	FLOOR	GROSS SQUARE FOOTAGE PER AREA	GROSS SQUARE FOOTAGE PER FAR	UNITS/ BEDROOM COUNT	REMARKS
OCCUPANCY CLASS - MERCANTILE USE (M) - RESIDENTIAL USE (R-2) - UNDERGROUND PARKING - LOW-HAZARD STORAGE USE (S-2)	MAIN LEVEL	8,436 SQ. FT. UNDERGROUND PARKING 7,994 SQ. FT. RETAIL SPACE 954 SQ. FT. ALCOHOLS 502 SQ. FT. CIRCULATION	9,499 SQ. FT. (INCLUDING MAIN LEVEL CIRCULATION, ELEVATOR MACHINE, RM & REFUSE)	N/A	LOT SIZE: 23,993 SQ. FT. MAXIMUM FAR: 235 X 21,990 = 49,455 SQ. FT.
	SECOND LEVEL	5,208 SQ. FT. ALIVING (COMMUNITY HOUSING) 2,299 SQ. FT. ALIVING (COMMUNITY HOUSING) 484 SQ. FT. CIRCULATION 141 SQ. FT. CORRIDOR	17,471 SQ. FT. (INCLUDING 2ND FLOOR STAIRWELLS & ELEVATOR)	(9)- 1 BEDROOM UNITS (COMMUNITY HOUSING) (3)- 2 BEDROOM UNITS (COMMUNITY HOUSING) (9)- 3 BEDROOM UNITS (COMMUNITY HOUSING)	COMMUNITY HOUSING REQUIRES 5,475 SQ. FT. MIN. GROSS AREA (20% OF AREA INCREASED) WITH PER CIRCULATION REDUCTION= 4,873 SQ. FT. MIN. NET SQ. FT. COMMUNITY HOUSING REQUIRED.
	THIRD LEVEL	1,844 SQ. FT. ALIVING (COMMUNITY HOUSING) 929 SQ. FT. CIRCULATION 109 SQ. FT. CORRIDOR 258 SQ. FT. PRIVATE ROOF TERRACE	14,781 SQ. FT. (INCLUDING 3RD FLOOR STAIRWELLS FROM 2ND FLOOR & ELEVATOR)	(9)- 2 BEDROOM UNITS (COMMUNITY HOUSING) (1)- 3 BEDROOM UNITS (COMMUNITY HOUSING)	
	FOURTH LEVEL	4,280 SQ. FT. ALIVING (COMMUNITY HOUSING) 987 SQ. FT. CIRCULATION 869 SQ. FT. CORRIDOR 4,440 SQ. FT. ROOF TERRACE	12,714 SQ. FT. (INCLUDING 4TH FLOOR STAIRWELLS & ELEVATOR)	(1)- 3 BEDROOM UNITS (COMMUNITY HOUSING)	
BUILDING CONSTRUCTION PROTECTED WOOD CONSTRUCTION (TYPE V-III)					
BUILDING VOLUME FOUR STORIES MAX. 17,675 SF PER FLOOR PLATE					
	TOTAL	8,436 SQ. FT. UNDERGROUND PARKING 7,994 SQ. FT. RETAIL SPACE 954 SQ. FT. ALCOHOLS 2,299 SQ. FT. CIRCULATION 5,208 SQ. FT. ALIVING (COMMUNITY HOUSING) 2,299 SQ. FT. ALIVING (COMMUNITY HOUSING) 484 SQ. FT. CORRIDOR 141 SQ. FT. ROOF TERRACE	TOTAL PROVIDED PER FAR: 49,455 SQ. FT. FAR: 134 (TOTAL GROSS SQ. FT.: 99,429 SQ. FT.)	(9)- 1 BEDROOM UNITS (COMMUNITY HOUSING) (3)- 2 BEDROOM UNITS (COMMUNITY HOUSING) (9)- 3 BEDROOM UNITS (COMMUNITY HOUSING) 28 TOTAL UNITS	
PARKING COUNT					
	1 BEDROOM UNITS (COMMUNITY HOUSING)	(9)- 1 BEDROOM UNITS UNDER 500 SF	0 PARKING/UNIT	0 PARKING NEEDED	0 PARKING NEEDED PER COMMUNITY HOUSING EXEMPTION
	2 BEDROOM UNITS (COMMUNITY HOUSING)	(3)- UNITS UNDER 500 SF (4)- UNITS OVER 500 SF	1 PARKING/UNIT	3 PARKING NEEDED	
	3 BEDROOM UNITS (COMMUNITY HOUSING)	(9)- UNITS OVER 500 SF	2 PARKING/UNIT	18 PARKING NEEDED	TOTAL 17 PARKING PROVIDED- UNDERGROUND PARKING (1 OF WHICH IS HANDICAP)
	RETAIL	7,994 NSQ. FT. RETAIL	1 PARKING/1,000 SQ. FT. (INITIAL REDUCTION OF 500 SQ. FT.)	8 PARKING NEEDED	3 ON STREET PARKING PROVIDED **EXACT ON STREET PARKING TBD**
				3 TOTAL PARKING NEEDED	3 ON STREET PARKING PROVIDED **EXACT ON STREET PARKING TBD**



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Revisions		
No.	Date	Issue
1.	10/10/21	CLIENT REVISIONS

FIRST FLOOR PLAN

Date: 10/10/21
Scale: 3/32" = 1'-0"
Design: sbz
Sheet No.:

Project No.: 20-00
CAD File Name: base-floor plans
Checked:

A1.0

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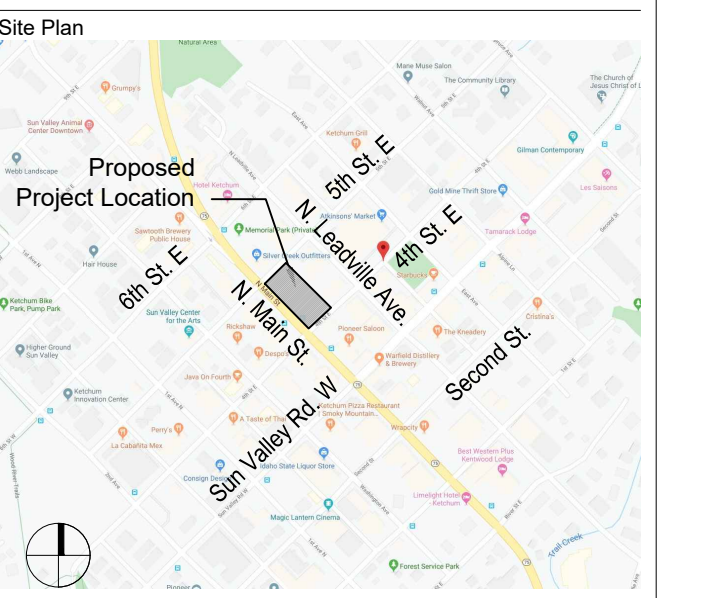
MIXED USE DEVELOPMENT

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IDAHO 84117

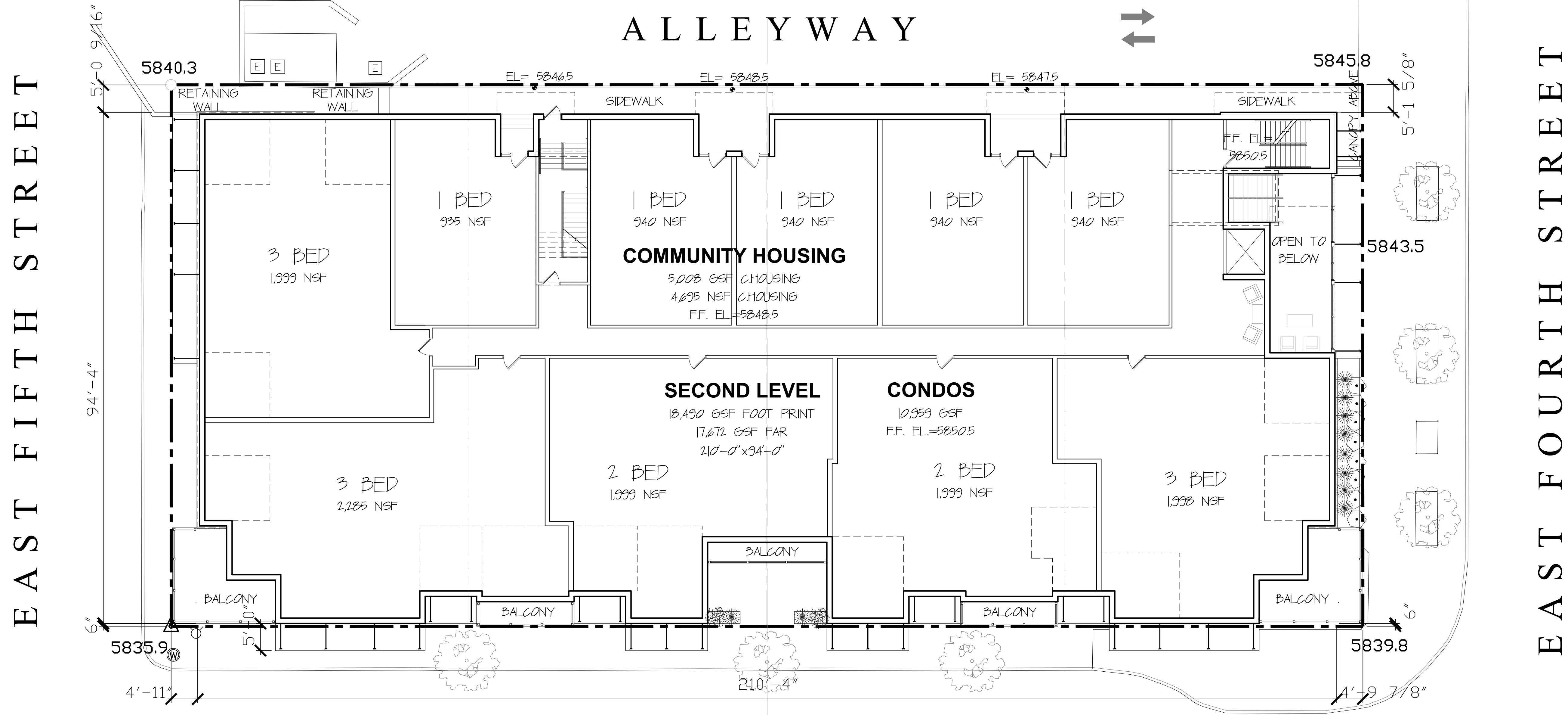
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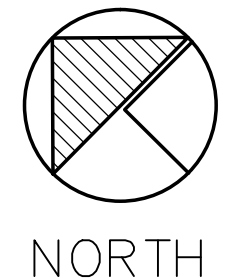
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1 SECOND FLOOR PLAN
All SCALE: 3/32"=1'-0"



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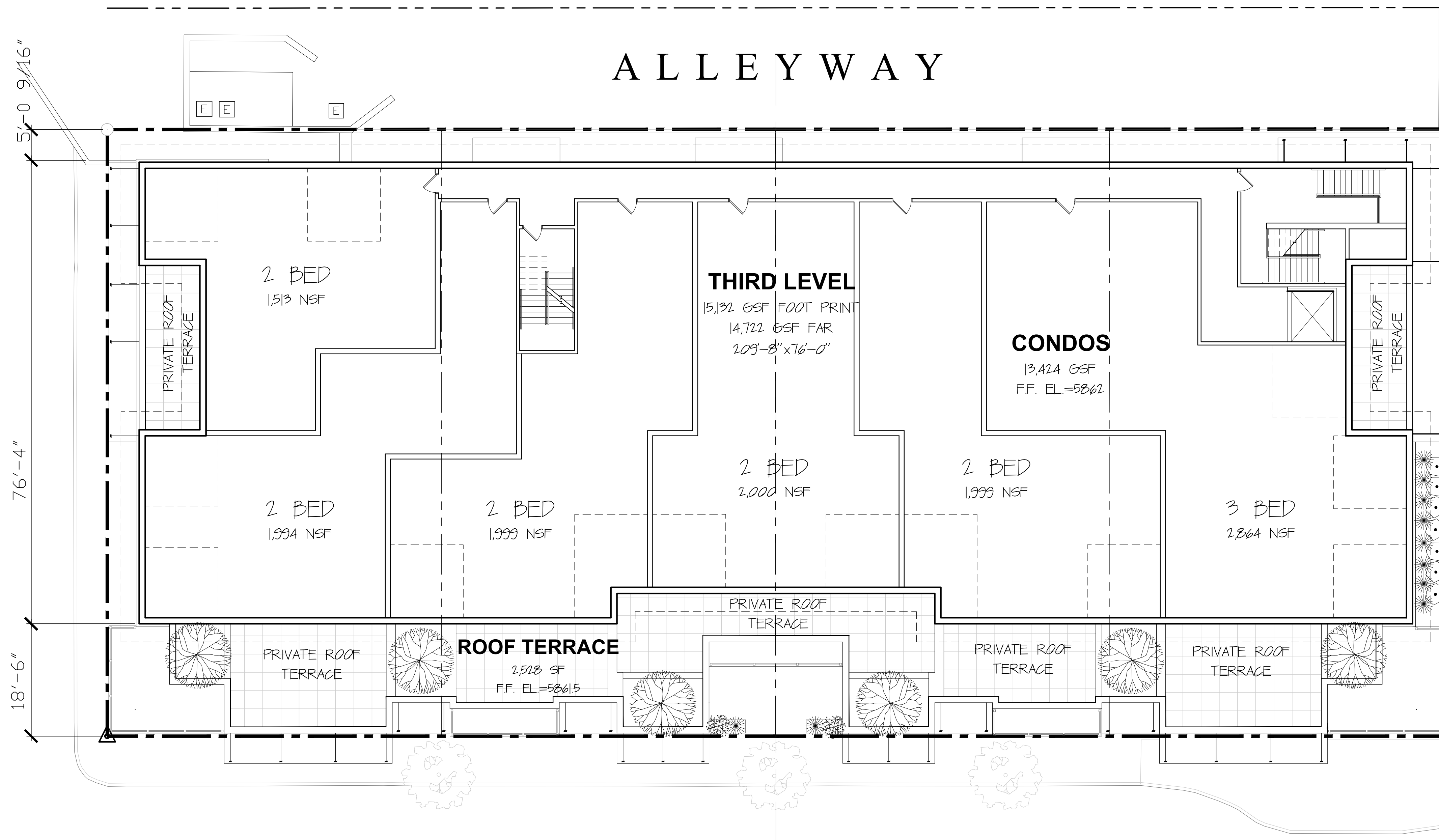
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Revisions	No.	Date	Issue
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SECOND FLOOR PLAN

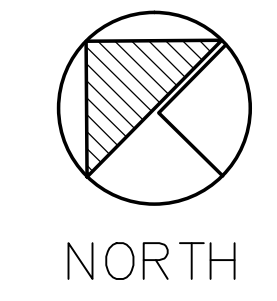
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Sheet No.:

EAST FIFTH STREET



EAST FOURTH STREET

1 THIRD FLOOR PLAN
A1.2 SCALE: 3/32"=1'-0"



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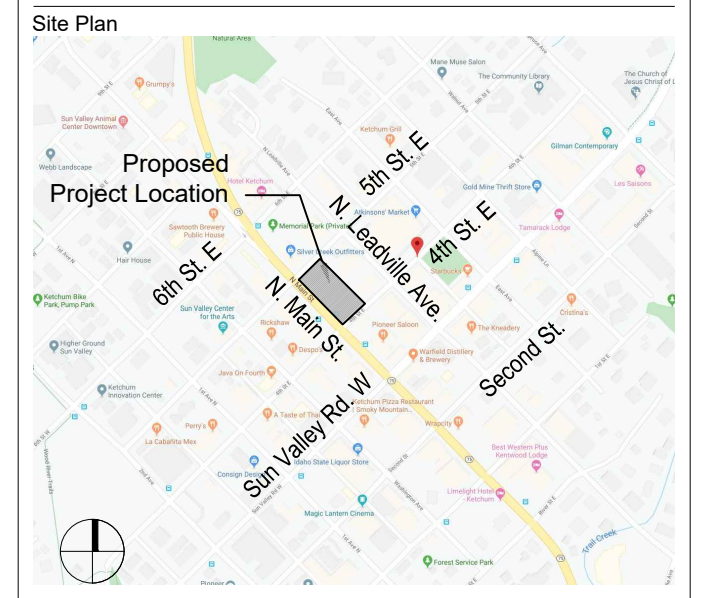
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Revisions		
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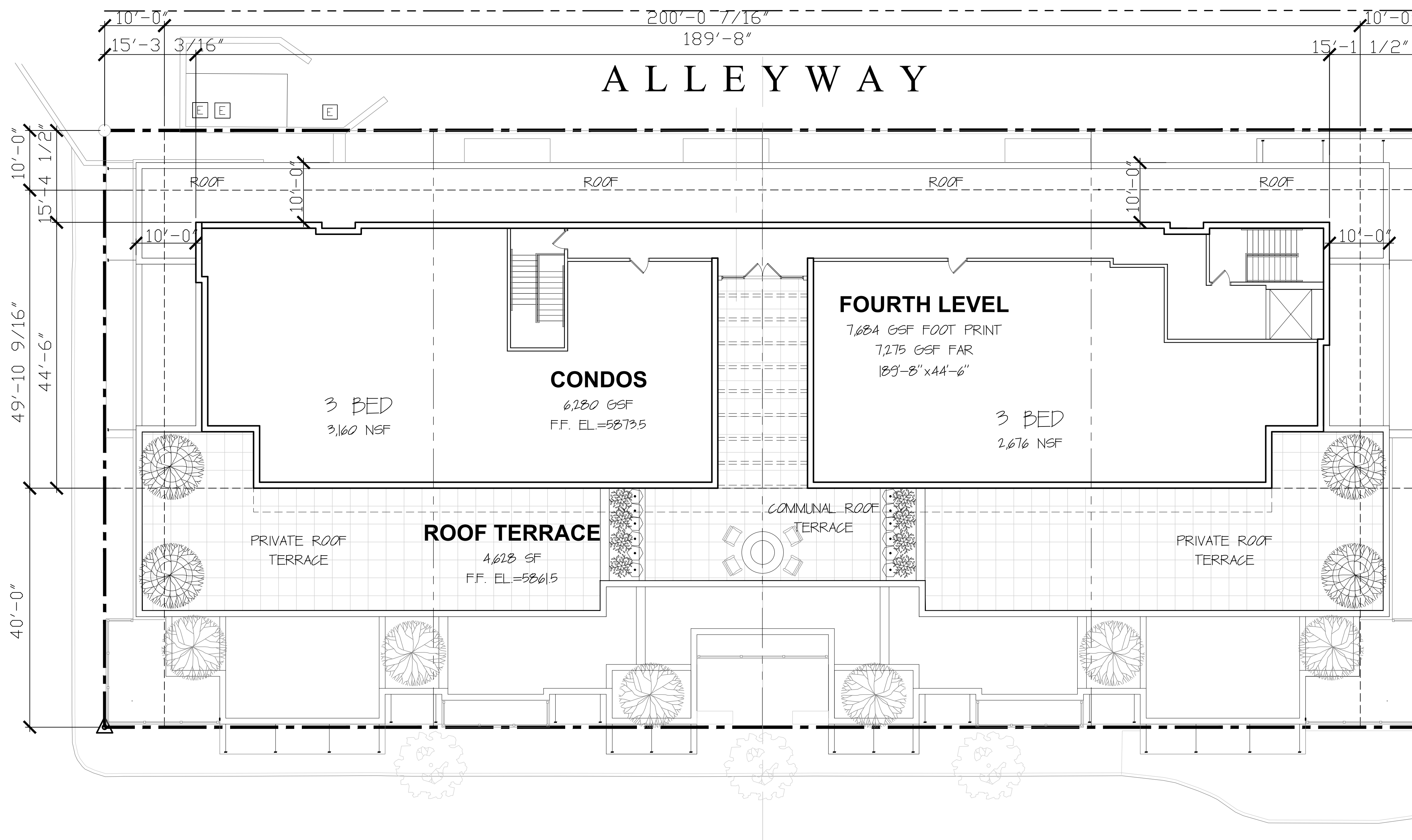
THIRD FLOOR PLAN

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A1.2

EAST FIFTH STREET

EAST FOURTH STREET



1 FOURTH FLOOR PLAN
A1.3 SCALE: 3/32"=1'-0"

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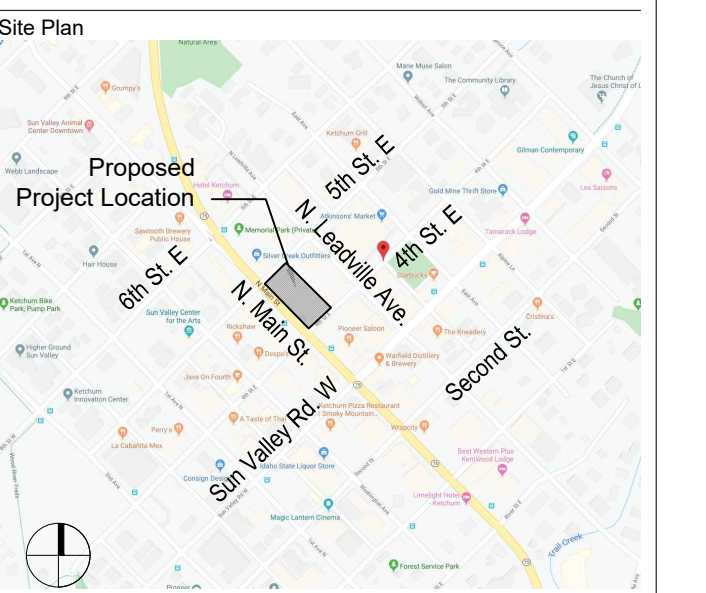
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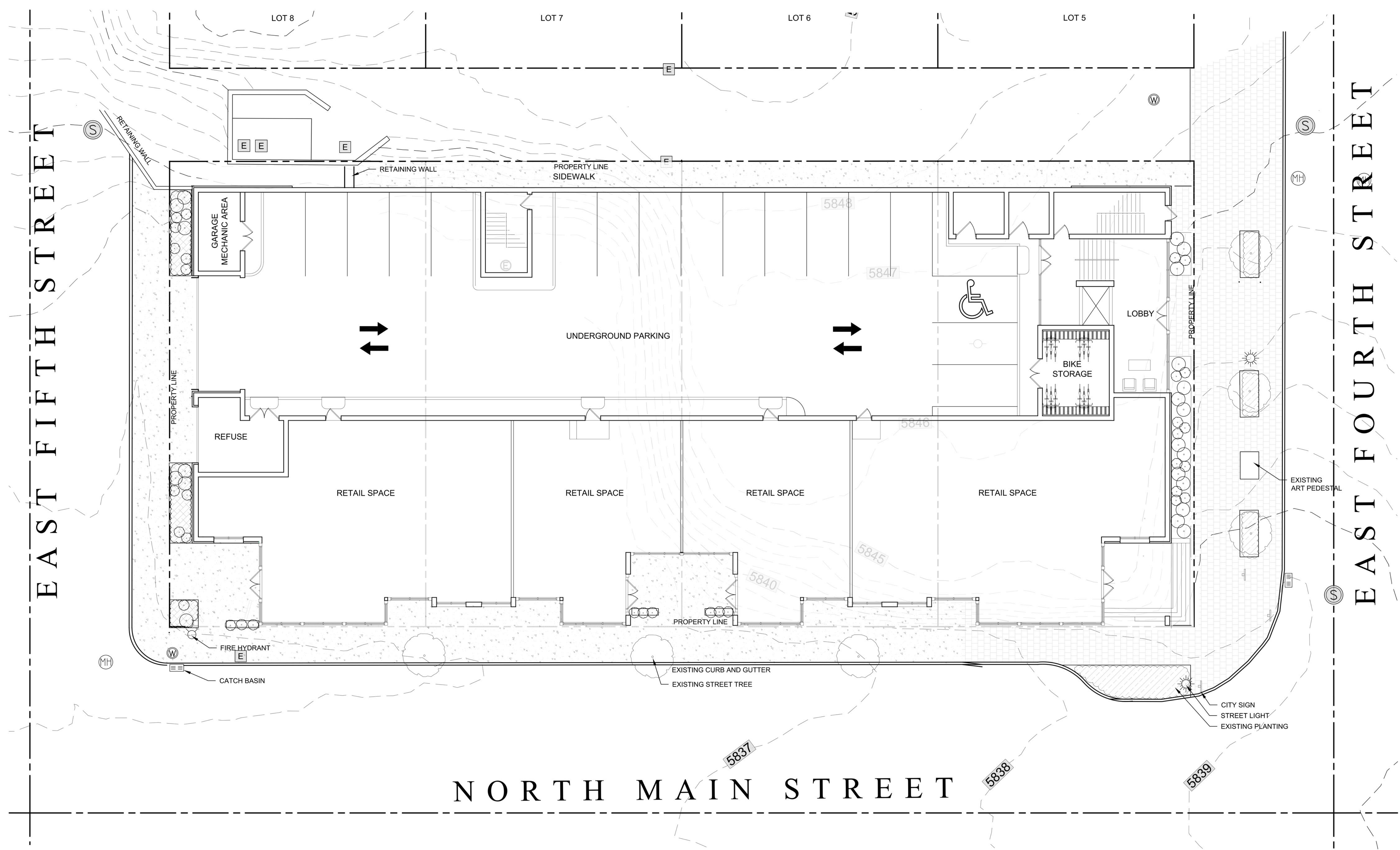
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No.	Date	Issue
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FOURTH FLOOR PLAN

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Design: sbz Checked:
Sheet No.:

A1.3



MIXED USE DEVELOPMENT
 4TH & MAIN ST.
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Seal

Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

LANDSCAPE PLAN

Date: 2020/1/11 Project No.:
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 Design: sbz Checked:
 Sheet No.:

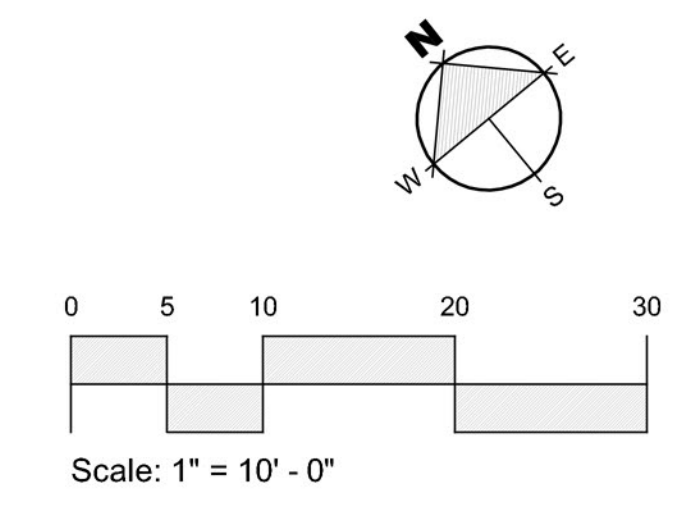
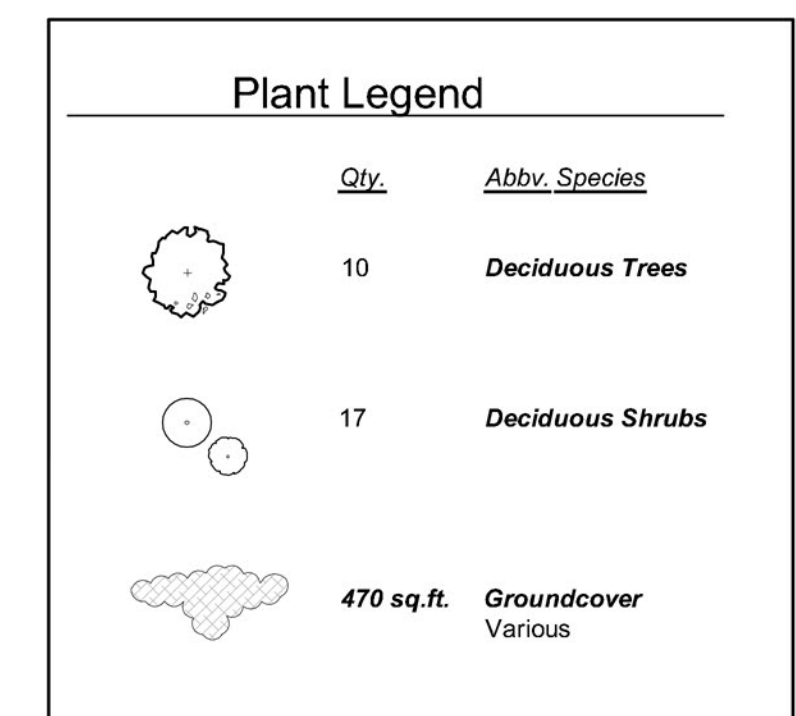
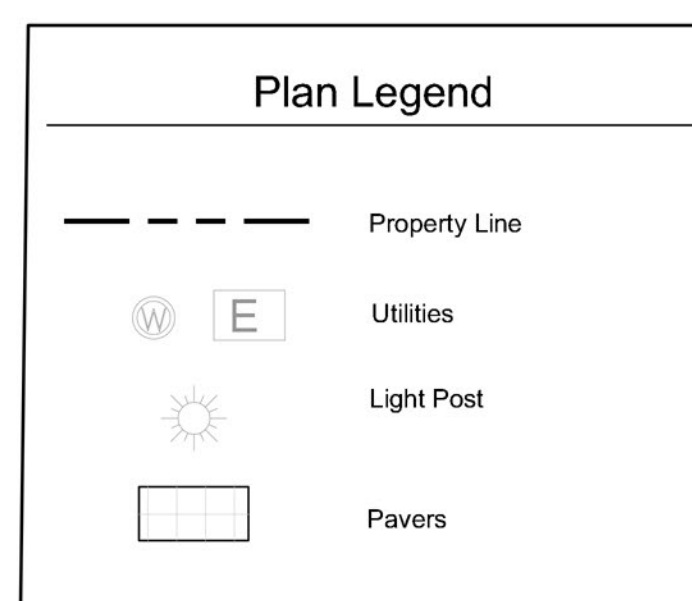
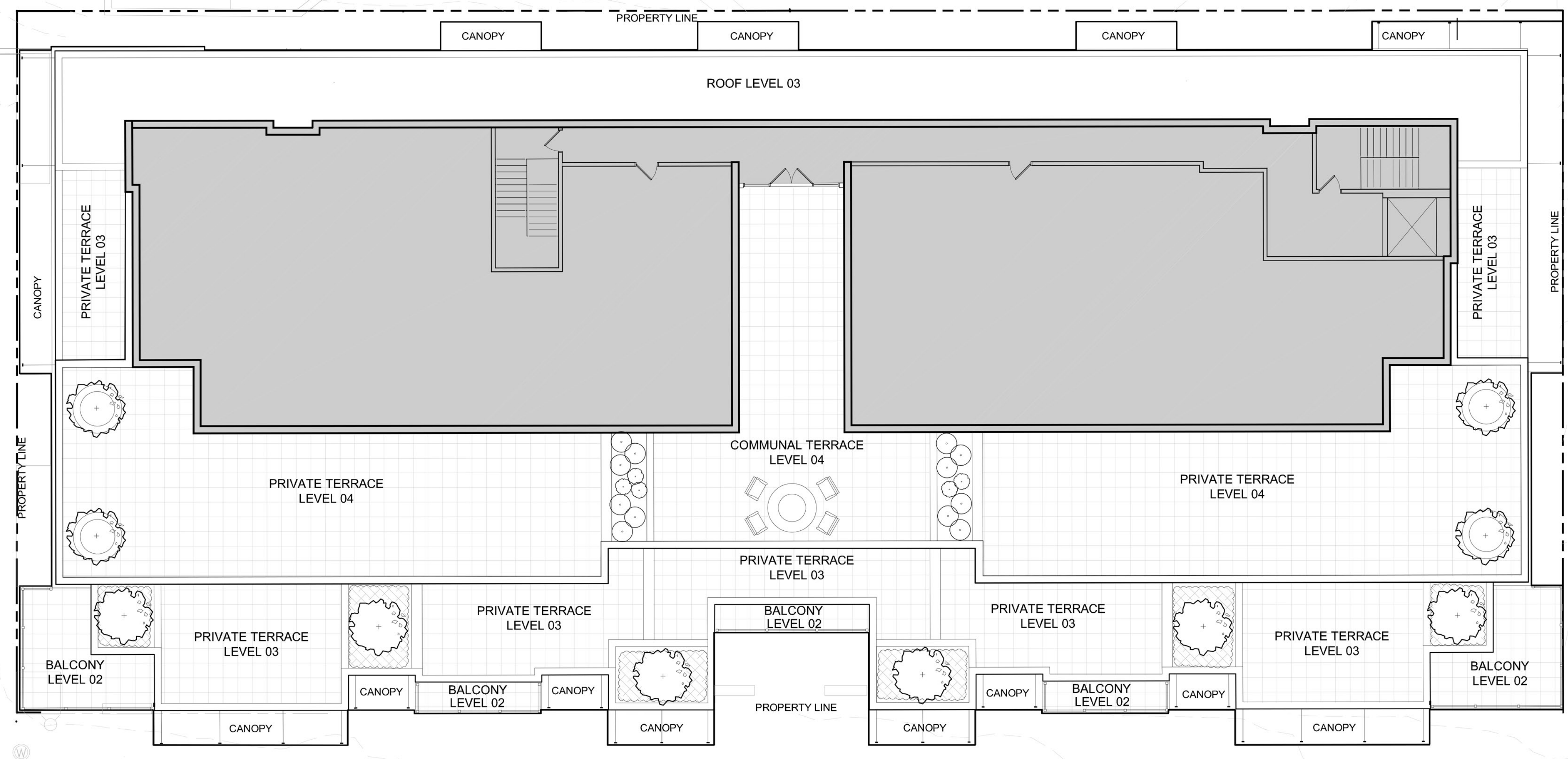
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PRELIMINARY ONLY - NOT FOR CONSTRUCTION

EAST FIFTH STREET

EAST FOURTH STREET

NORTH MAIN STREET

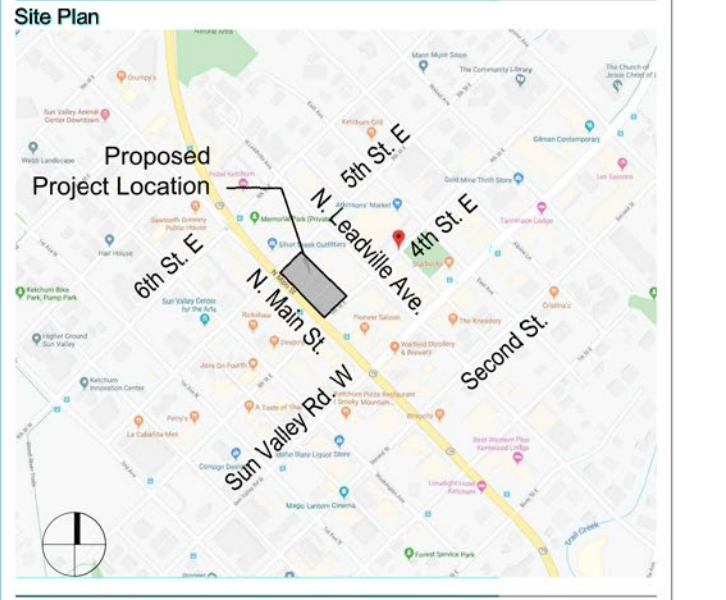


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Seal

Revisions

No.	Date	Issue
1	2020/01/05	CLIENT REVISIONS

LANDSCAPE PLAN

Date: 2020/1/7
Scale: 1"=10'-0"
Design: sbz
Sheet No.:

L 1.4
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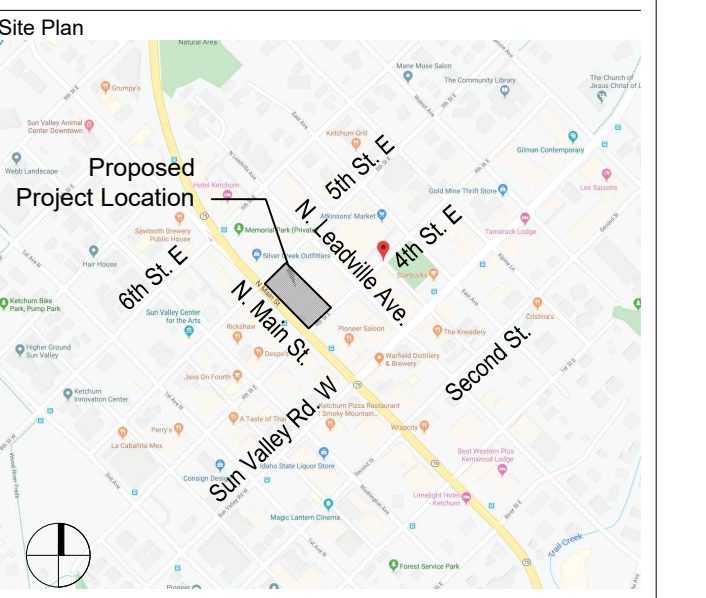
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

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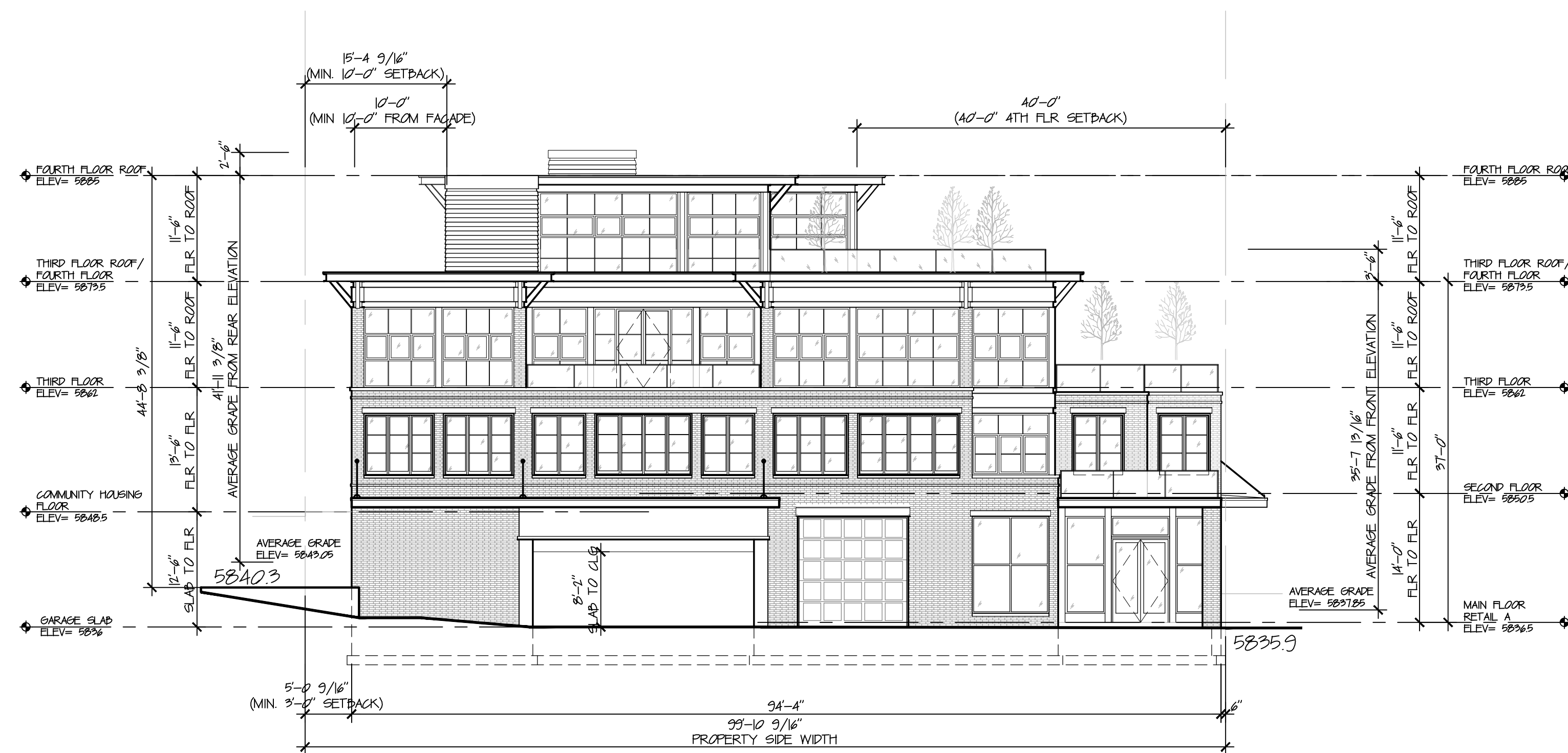
38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax



1 REAR EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (NORTH)
SCALE: 3/32"=1'-0"

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Seal

Revisions		
No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS

REAR & SIDE EXTERIOR ELEVATIONS

Date: 2010/01/07 Project No.: 20-00
Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A2.1

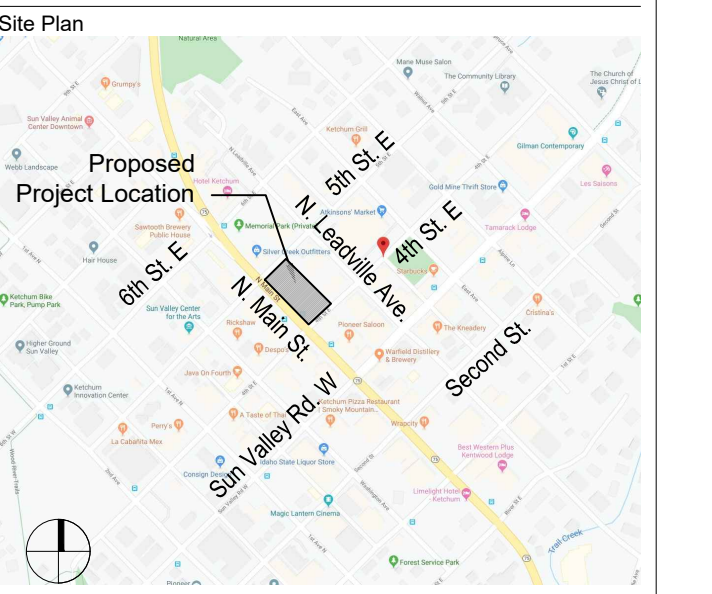
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

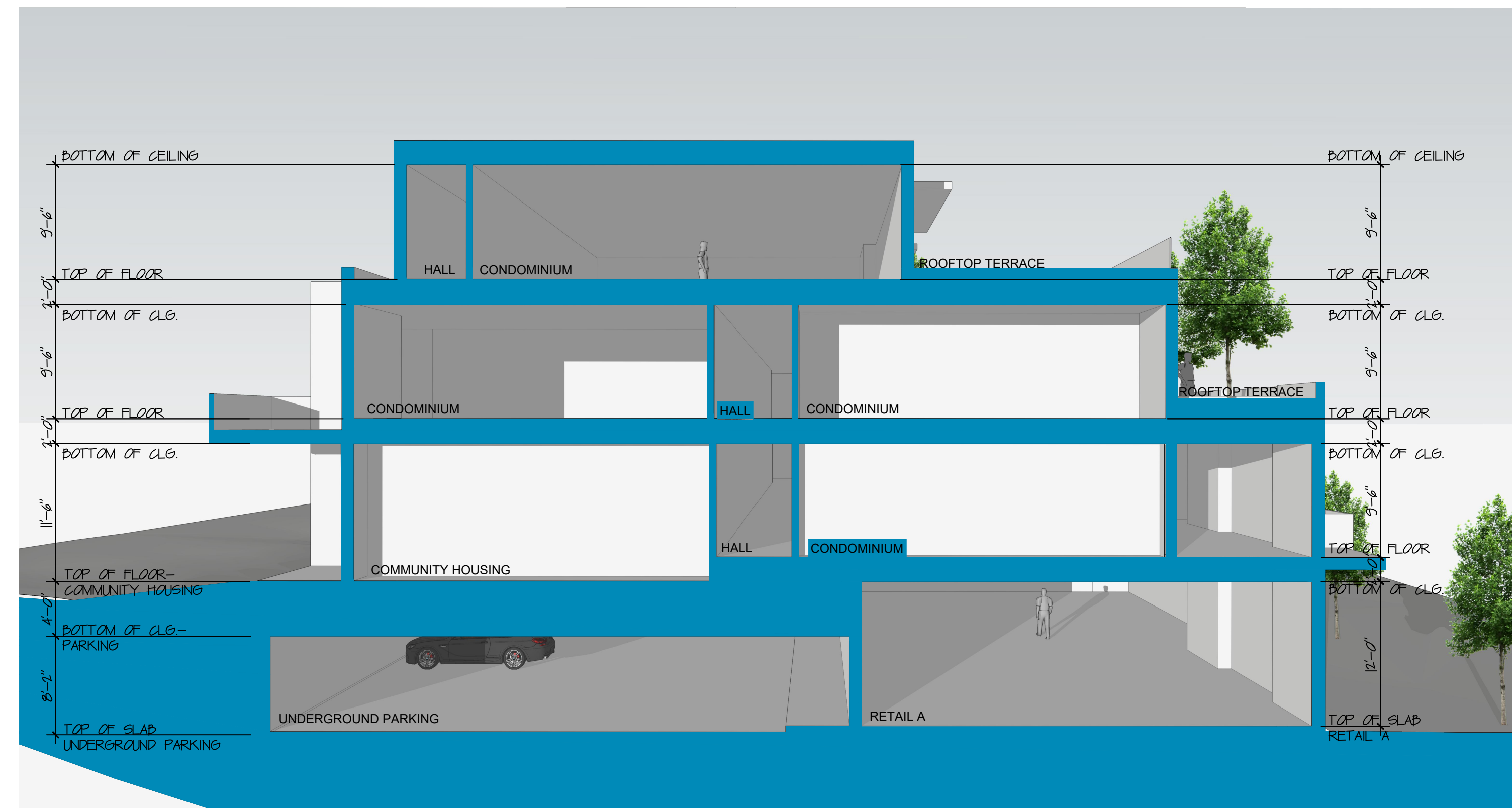
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MILLCREEK, UT 84117

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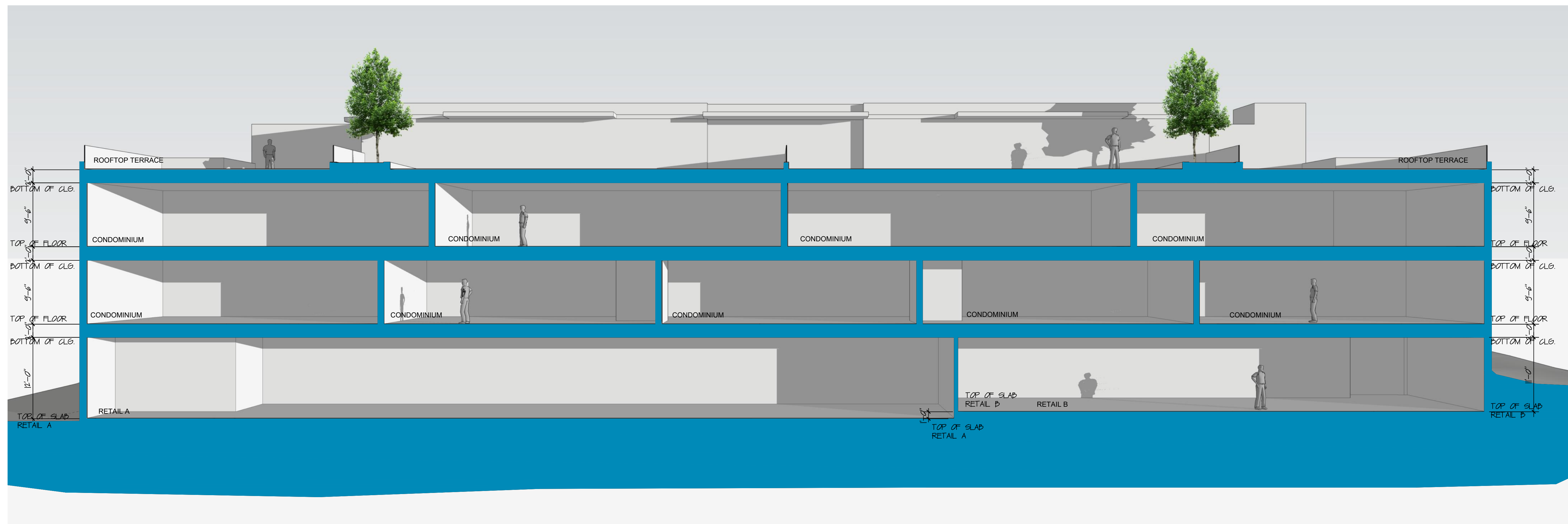
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2 BUILDING SECTION-RETAIL A
SCALE: 1/8"=1'-0"



1 LONGITUDINAL BUILDING SECTION
SCALE: 1/8"=1'-0"

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Revisions		
No.	Date	Issue

BUILDING SECTIONS

Date: 2010/1/17 Project No.:
Scale: 1/8"=1'-0" CAD File Name:
Design: sbz Checked:
Sheet No.:
A3.0
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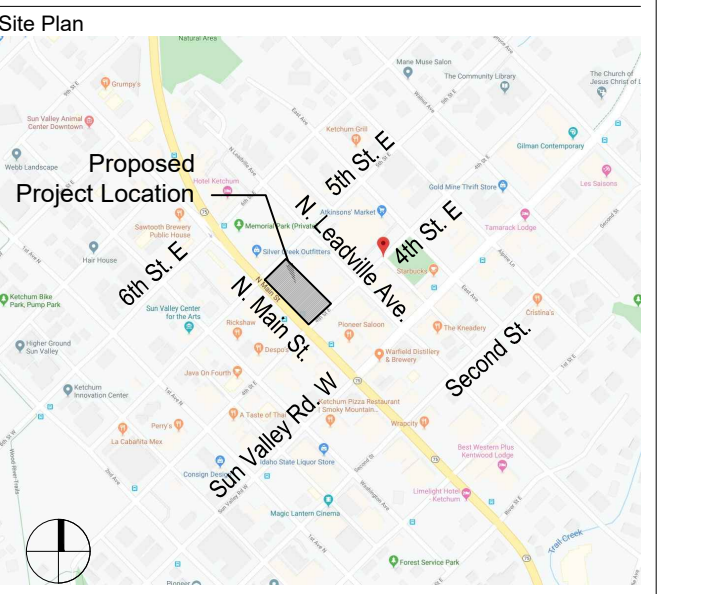
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IDAHO 84117

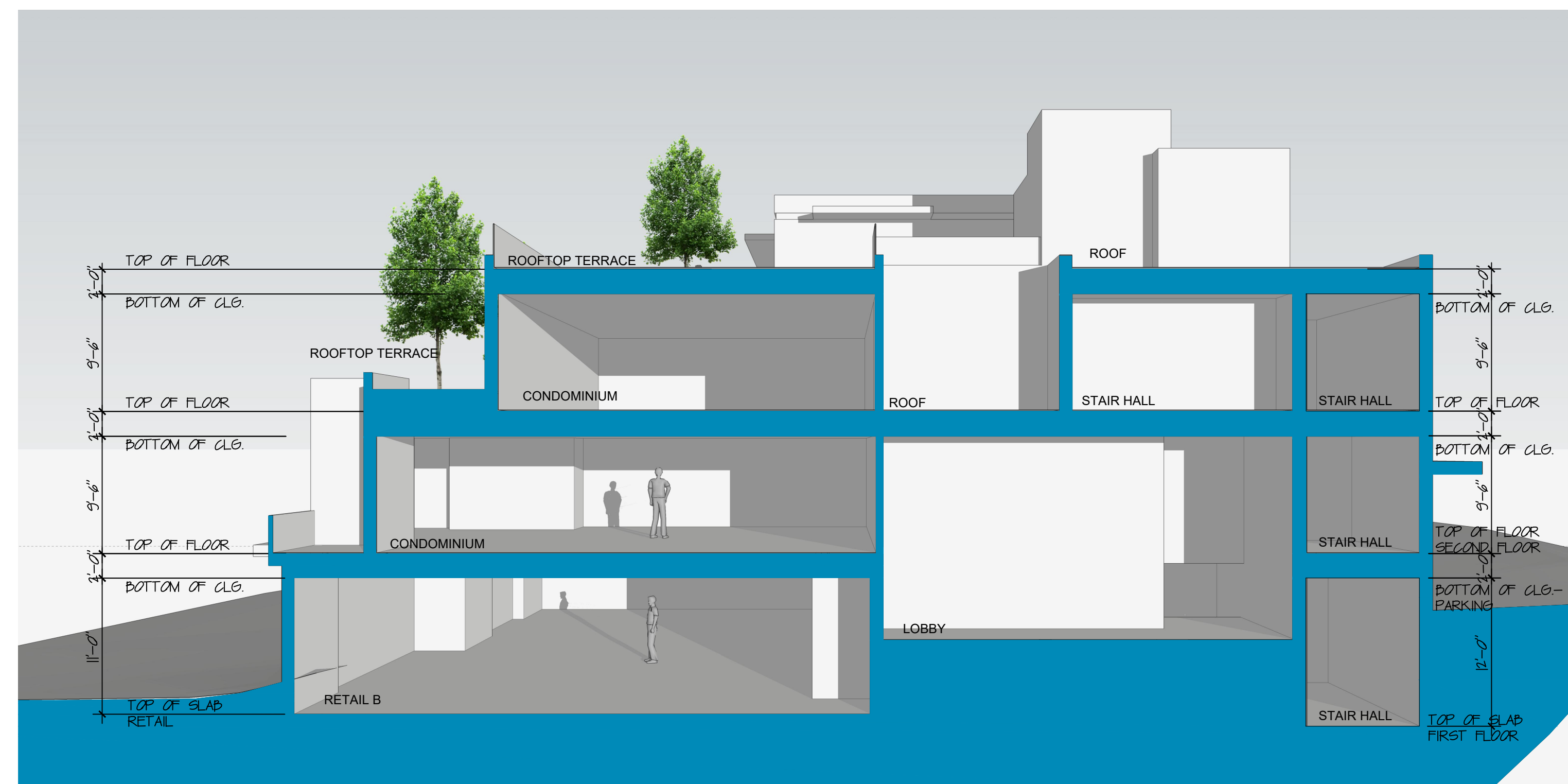
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BUILDING SECTION-RETAIL B
SCALE: 1/8"=1'-0"

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Seal

Revisions		
No.	Date	Issue

BUILDING SECTIONS

Date: 2010/1/17 Project No.:
Scale: 1/8"=1'-0" CAD File Name:
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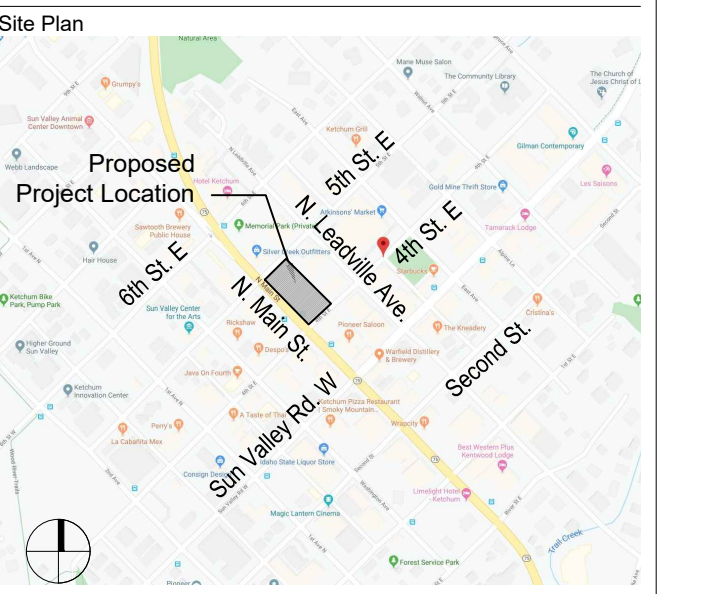
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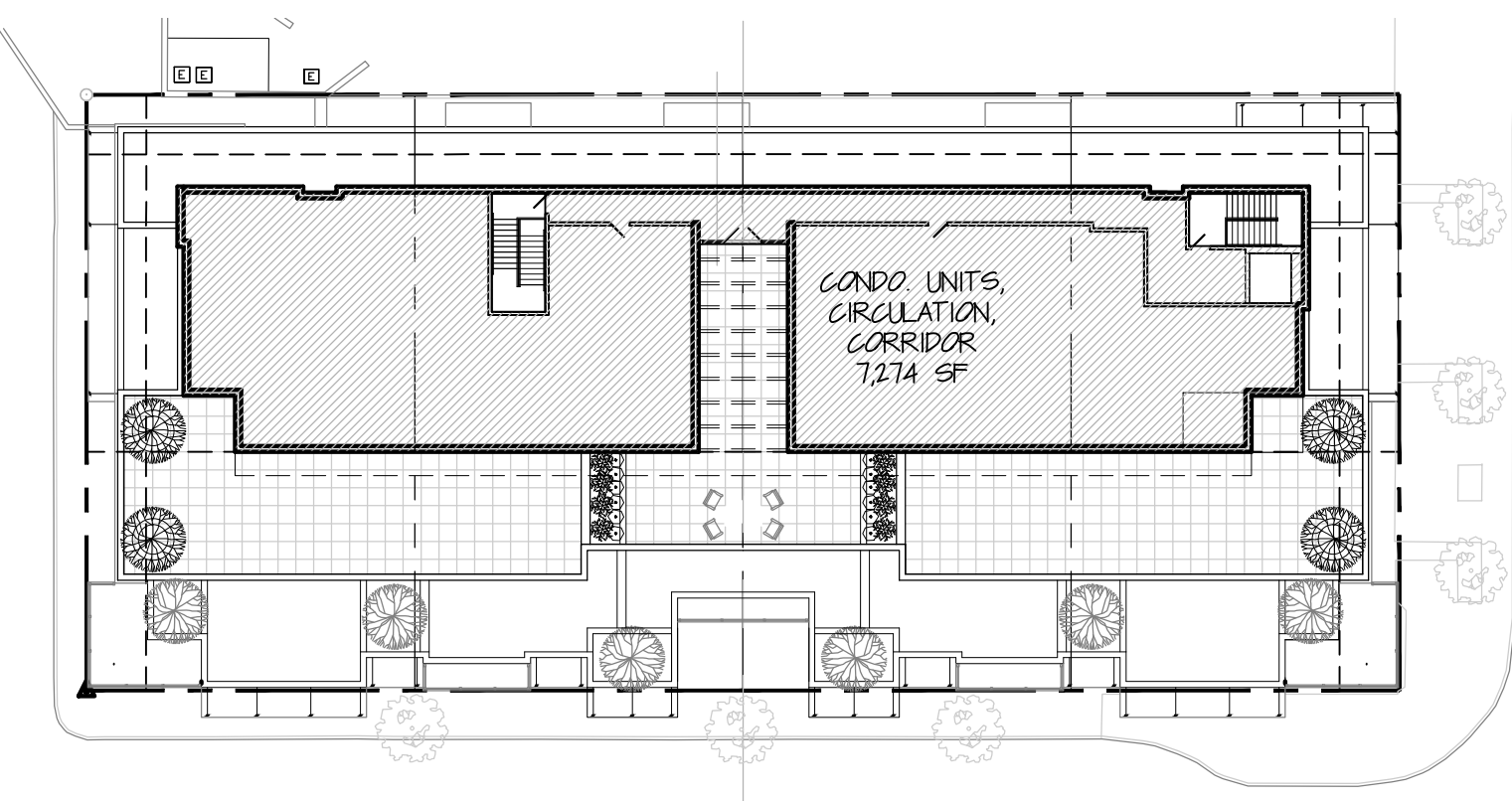
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Revisions No.	Date	Issue
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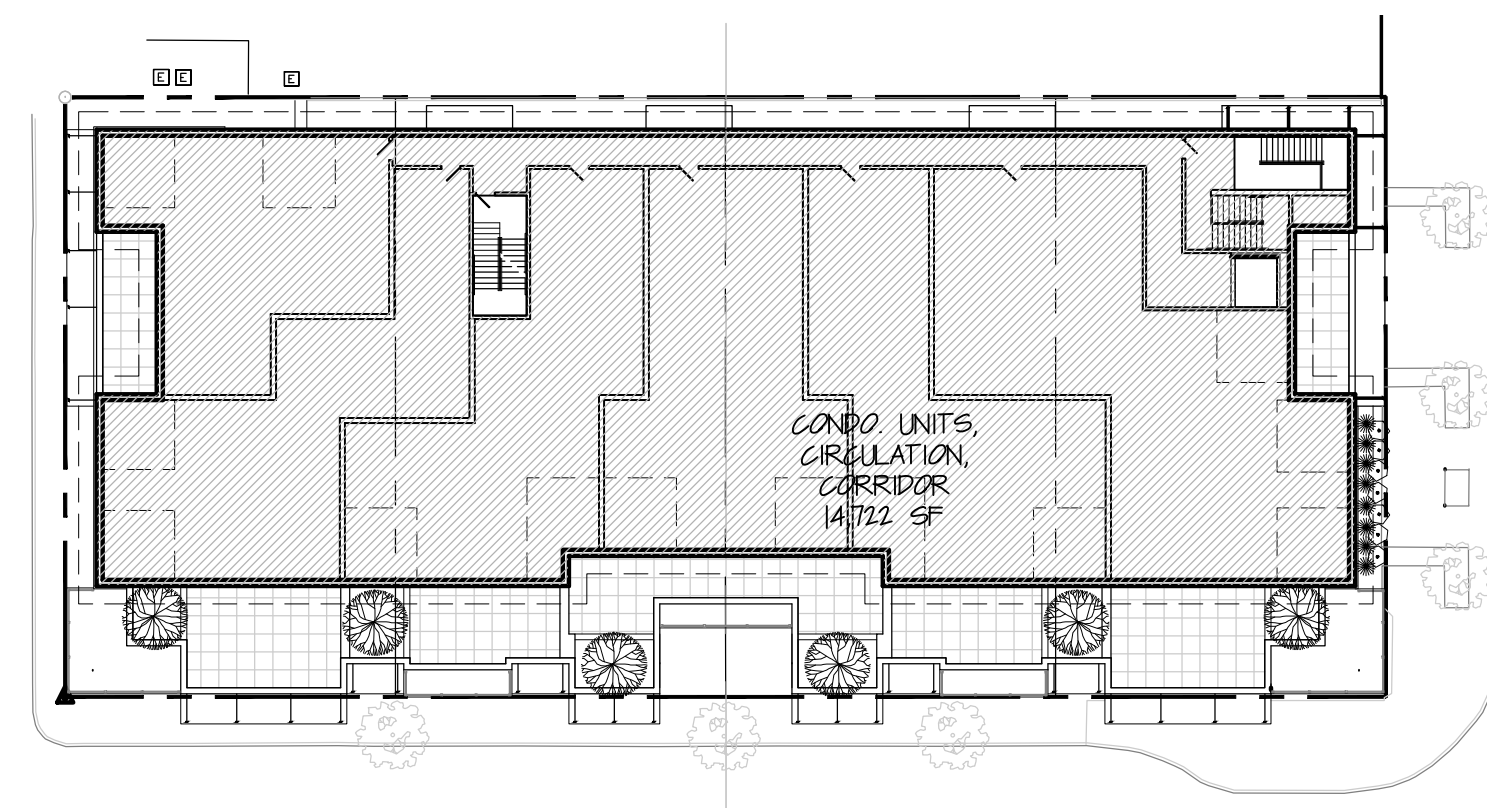
F.A.R. CALCULATIONS

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Sheet No.:
Project No.:
CAD File Name:
Checked:

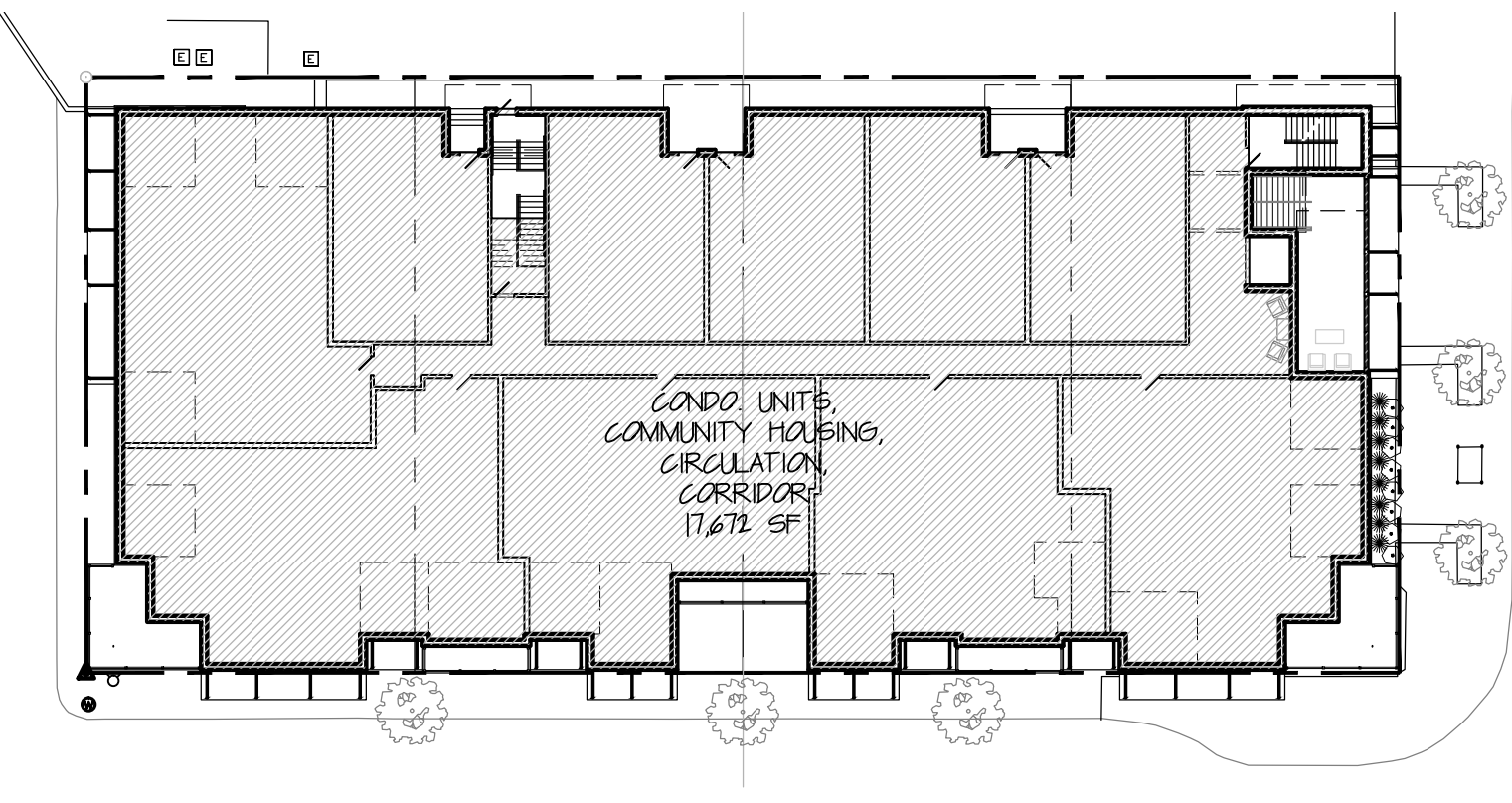
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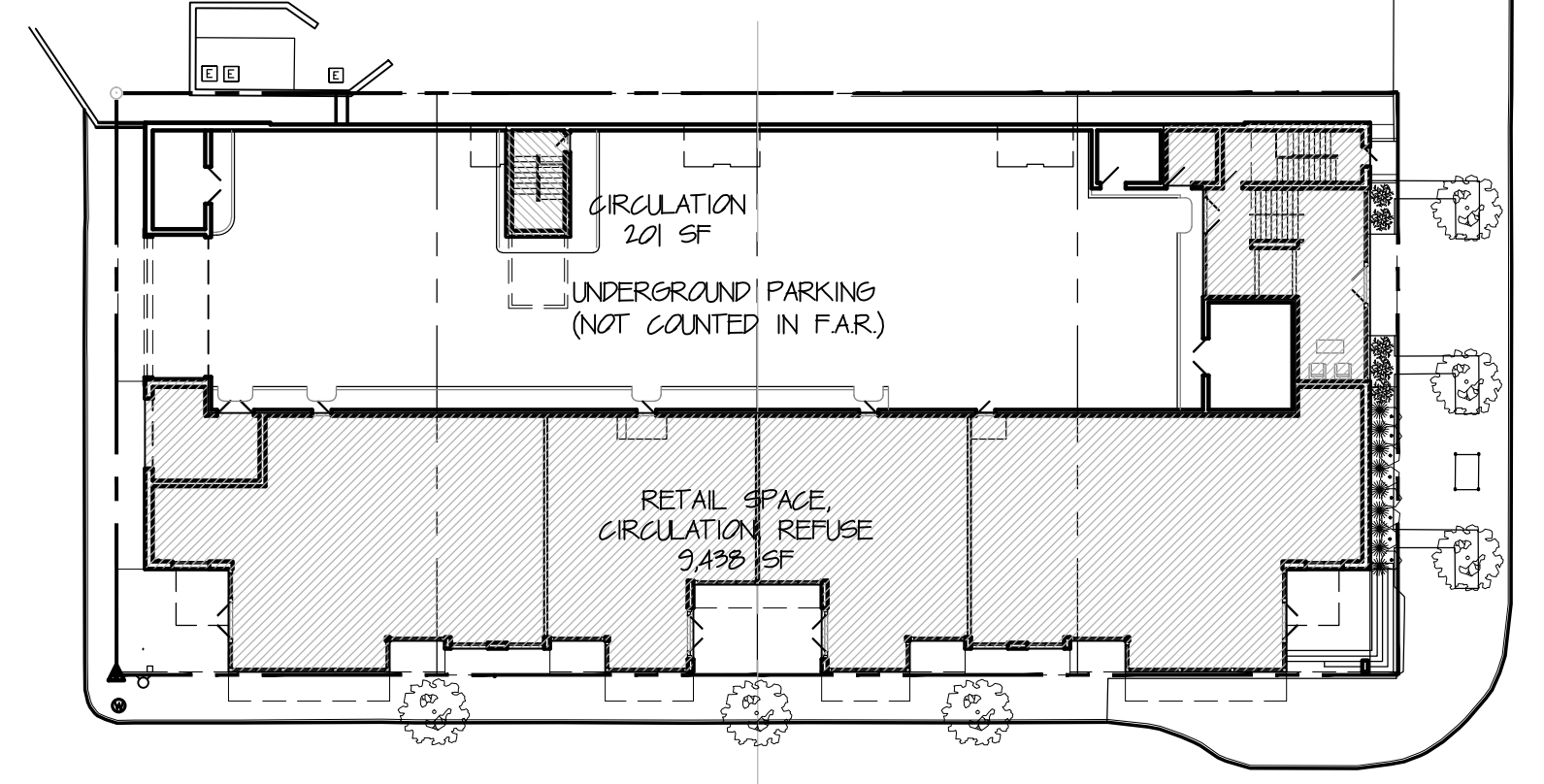
5 FOURTH FLOOR F.A.R.
SCALE: 1/32"=1'-0"



4 THIRD FLOOR F.A.R.
SCALE: 1/32"=1'-0"



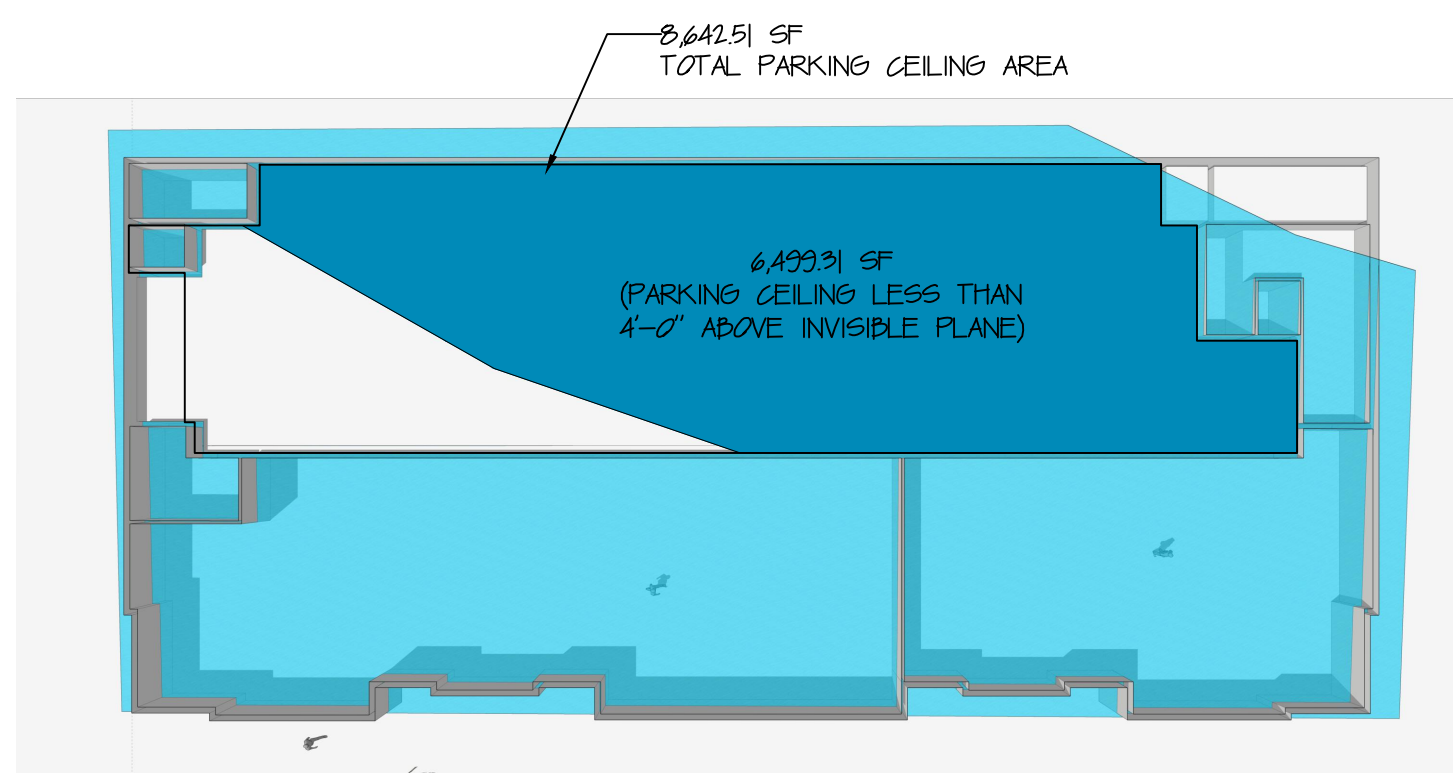
3 SECOND FLOOR F.A.R.
SCALE: 1/32"=1'-0"



2 FIRST FLOOR F.A.R.
SCALE: 1/32"=1'-0"

9,699 GSF FIRST FLOOR
17,672 GSF SECOND FLOOR
14,722 GSF THIRD FLOOR
1,274 GSF FOURTH FLOOR
49,307 GSF TOTAL FLOOR AREA

49,307 GSF TOTAL FLOOR AREA = 2.24 F.A.R. □ 2.25 ALLOWED
21,989 SF LOT AREA



1 UNDERGROUND PARKING DIAGRAM
SCALE: 1/32"=1'-0"

6,499.21 SF = 75% LESS THAN 8,642.51 SF
= 75% LESS THAN 4'-0" ABOVE INVISIBLE PLANE
PARKING MEETS UNDERGROUND PARKING DEFINITION (NOT INCLUDED IN F.A.R. AREA)

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1 PERSPECTIVE RENDERING
 A5.0 SCALE: NTS

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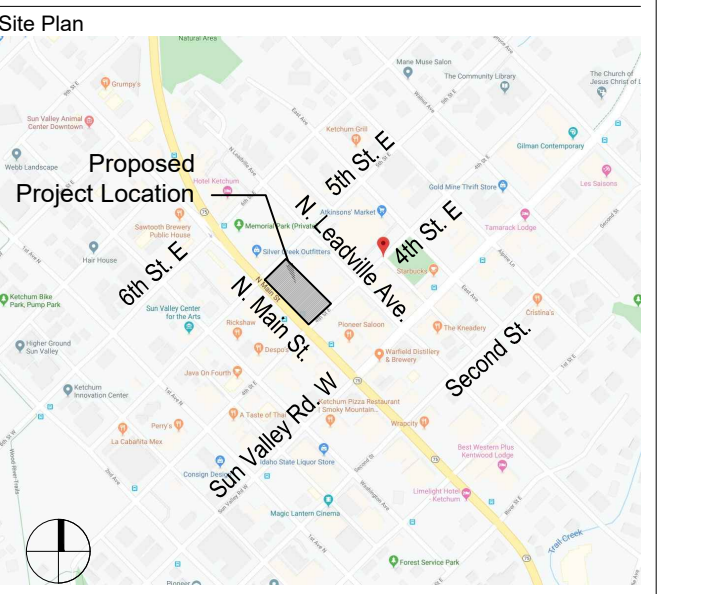
MIXED USE DEVELOPMENT

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 KETCHUM, BLAINE COUNTY,
 IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
 4686 HIGHLAND DR. #224
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Seal

Revisions	No.	Date	Issue
	1.	2010/01/05	CLIENT REVISIONS

PERSPECTIVE RENDERING

Date: 2010/01/05 Project No.: 10-00
 Scale: NTS CAD File Name:
 Design: sbz Checked:
 Sheet No.:

A5.0



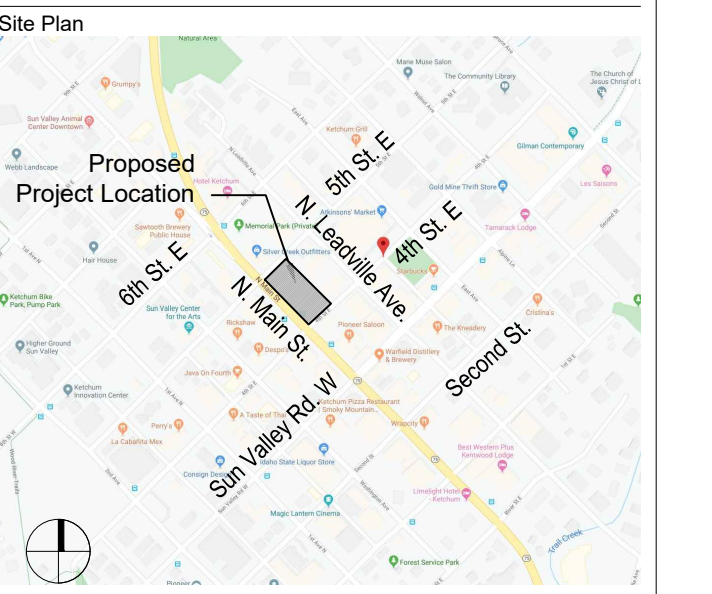
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DEVELOPMENT**

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IDAHO 84117

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4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

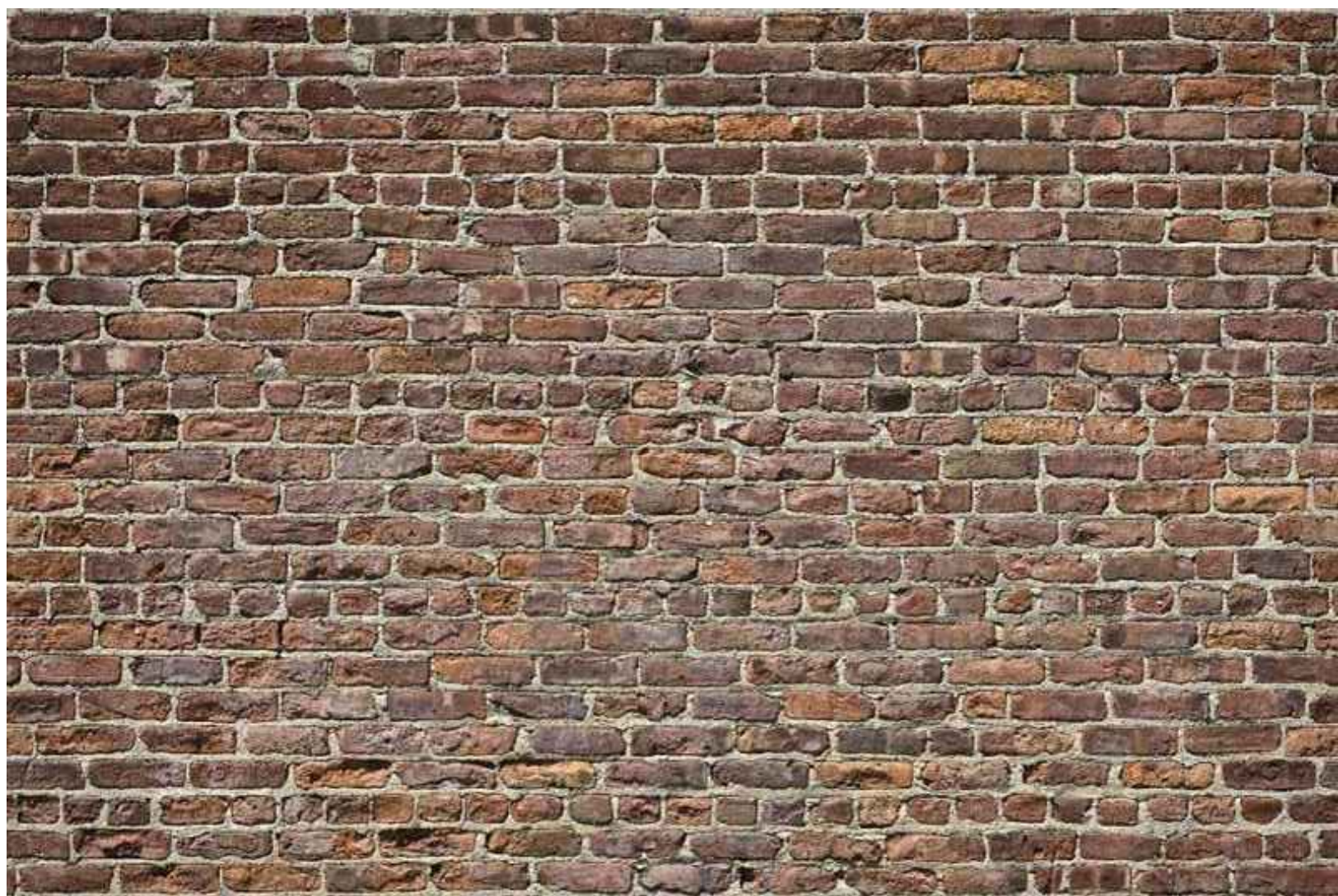
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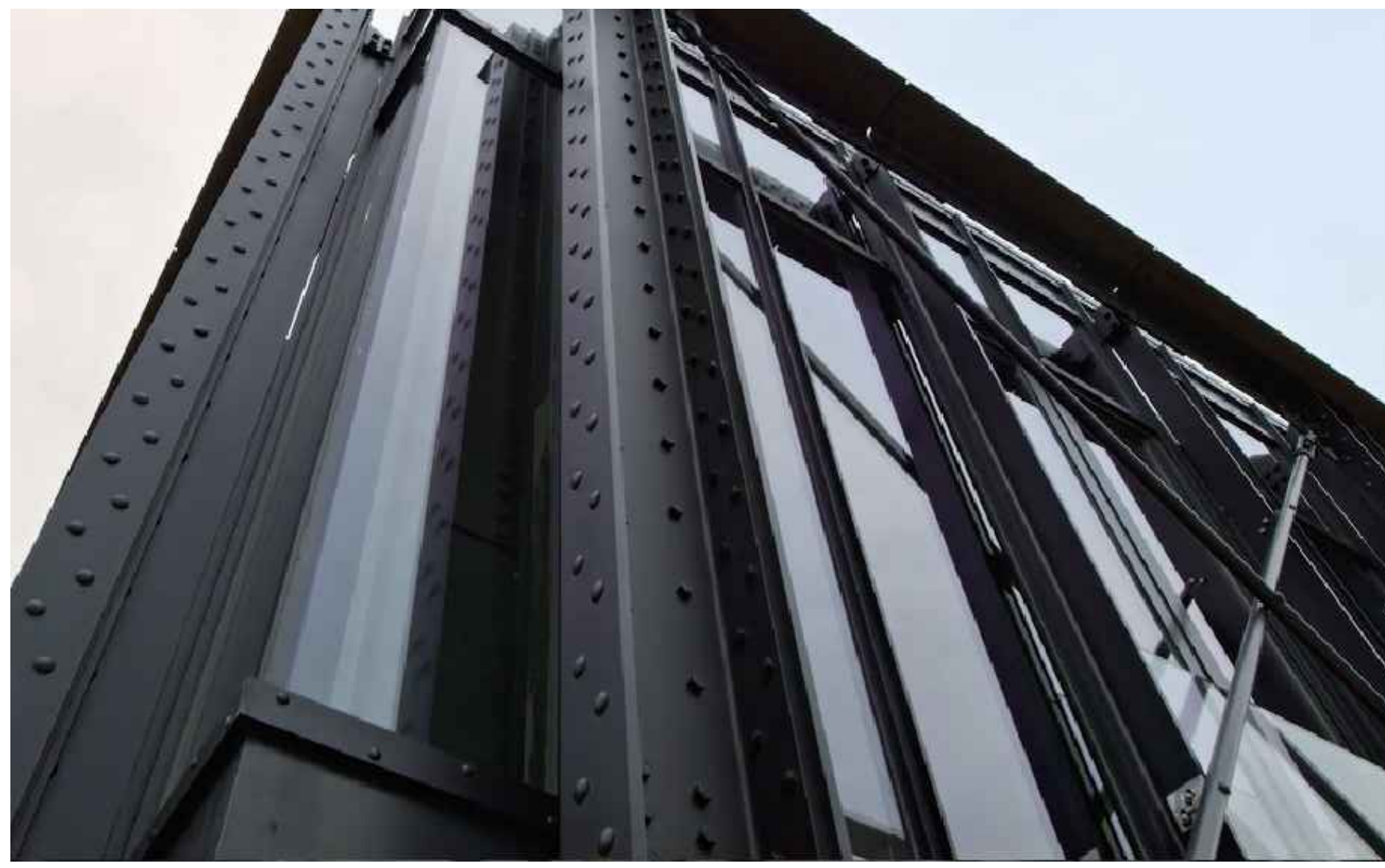


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Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

1 RENDERED ELEVATION
SCALE: NTS



2 BRICK VENEER EXAMPLE
SCALE: NTS



3 METAL FACADE EXAMPLE
SCALE: NTS



4 METAL CANOPY IMAGE
SCALE: NTS

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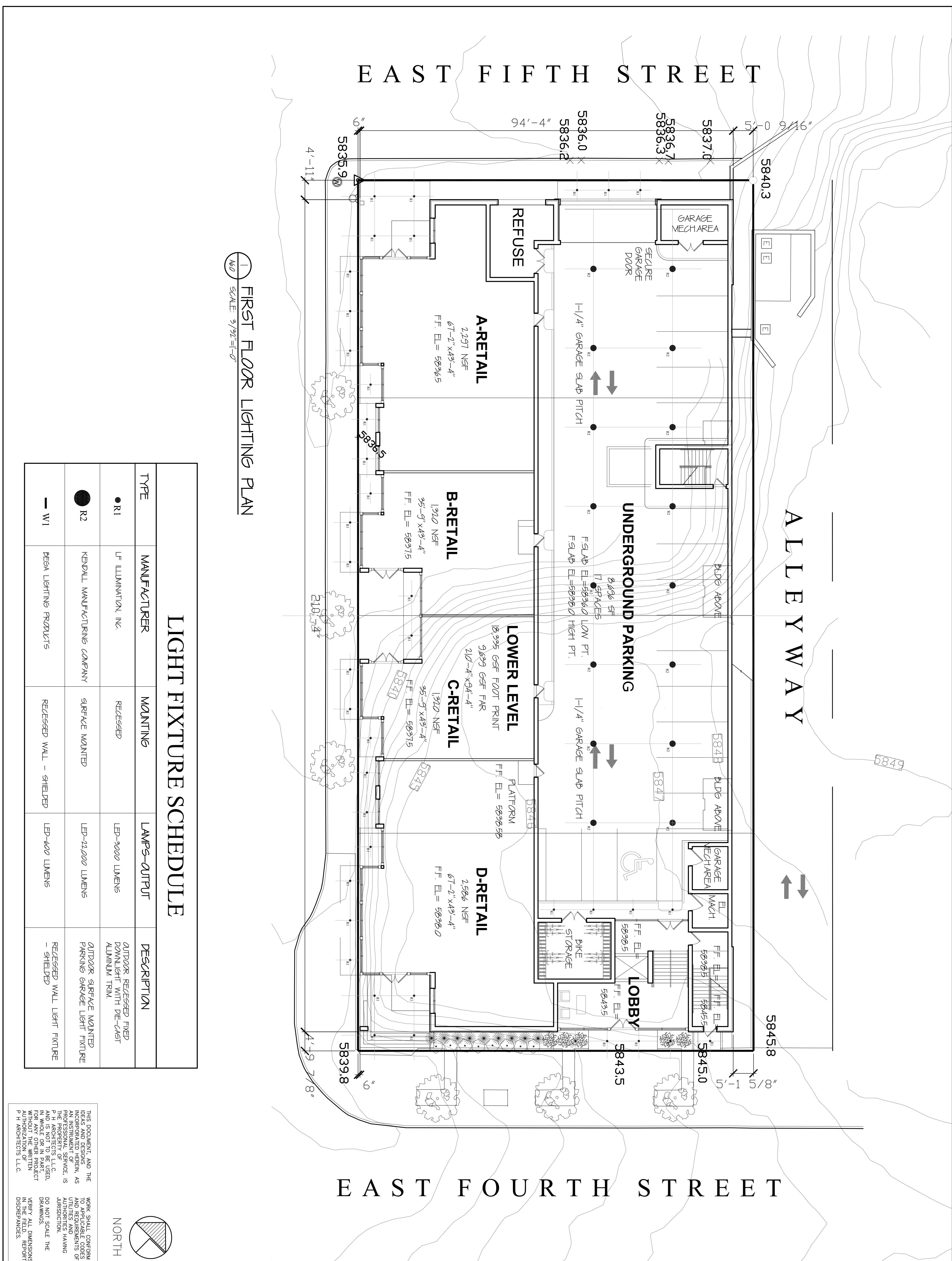
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Revisions		
No.	Date	Issue

RENDERED ELEVATION

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Scale: NTS CAD File Name:
Design: sbz Checked:
Sheet No.:

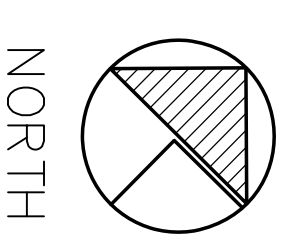
A5.1



① FIRST FLOOR LIGHTING PLAN
SCALE: 3/32"=1'-0"

LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	MOUNTING	LAMPS-OUTPUT	DESCRIPTION
● R1	LF ILLUMINATION, INC.	RECESSED	LED-3000 LUMENS	OUTDOOR RECESSED FIXED DOWNLIGHT WITH DIE-CAST ALUMINUM TRIM
● R2	KENDALL MANUFACTURING COMPANY	SURFACE MOUNTED	LED-21,000 LUMENS	OUTDOOR SURFACE MOUNTED PARKING GARAGE LIGHT FIXTURE
— W1	PEGA LIGHTING PRODUCTS	RECESSED WALL - SHIELDED	LED-600 LUMENS	RECESSED WALL LIGHT FIXTURE - SHIELDED



NORTH

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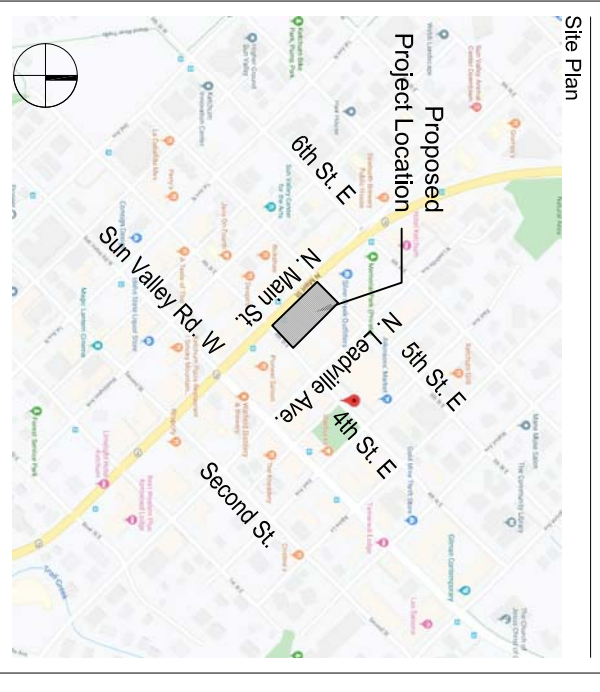
MIXED USE DEVELOPMENT

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KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGH AND DR 4224
MILLCREEK UT 84117

Z:\General\Autocad Reference\FloorPlan_Rev1.jpg

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Newtown, Connecticut 06470
(203) 426-6500 fax
(203) 426-6503 fax

Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

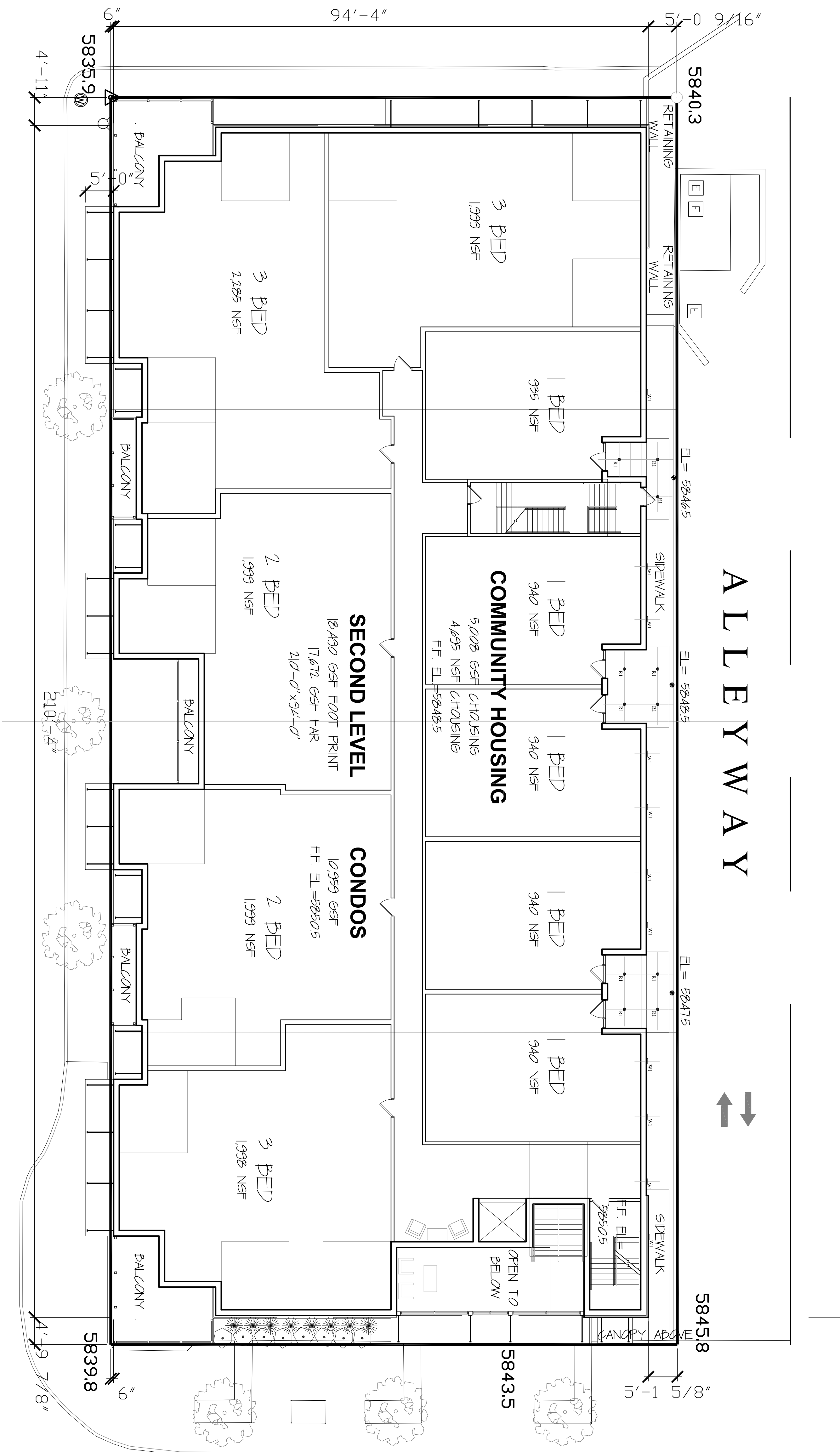
FIRST FLOOR LIGHTING PLAN

Date: 2020/01/17
Scale: 3/32"=1'-0"
Sheet No.: SBZ

Project No.: 20-001
GAS FLOOR PLANS
Checked:

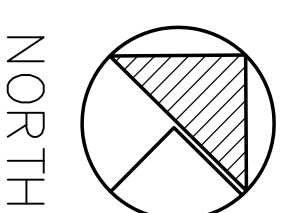
A6.0

EAST FIFTH STREET



EAST FOURTH STREET

Ⓛ SECOND FLOOR LIGHTING PLAN
SCALE: 3/32"=1'-0"



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KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGH AND DR 4224
MILLCREEK UT 84117

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Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

SECOND FLOOR LIGHTING PLAN

Date: 2020/01/17
Scale: 3/32"=1'-0"
Sheet No.: SBZ

A6.1

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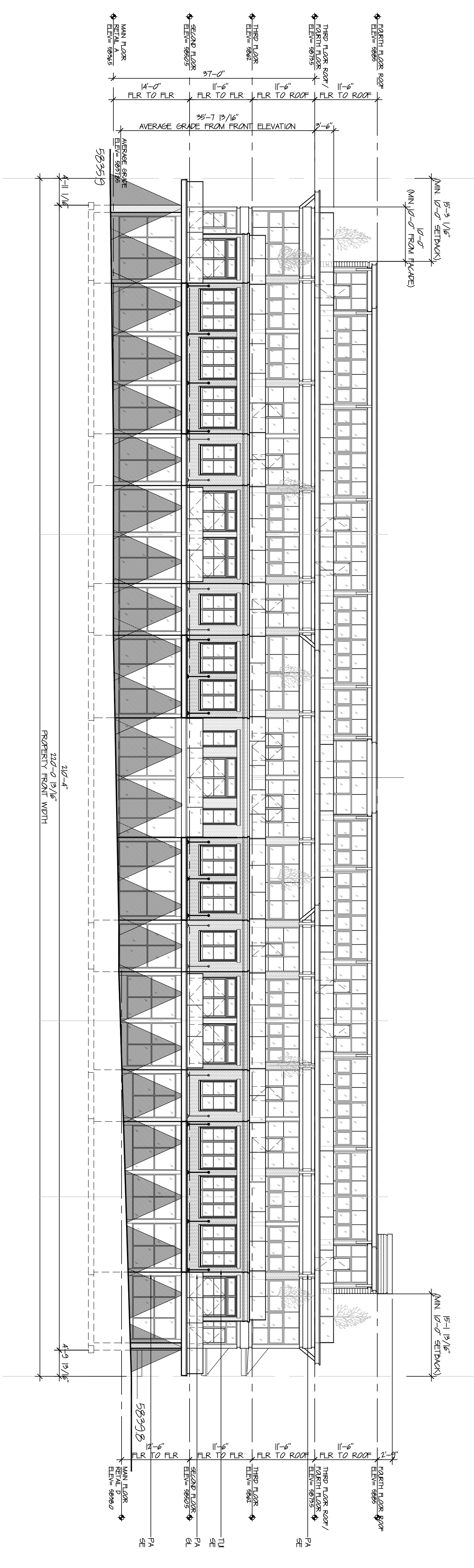
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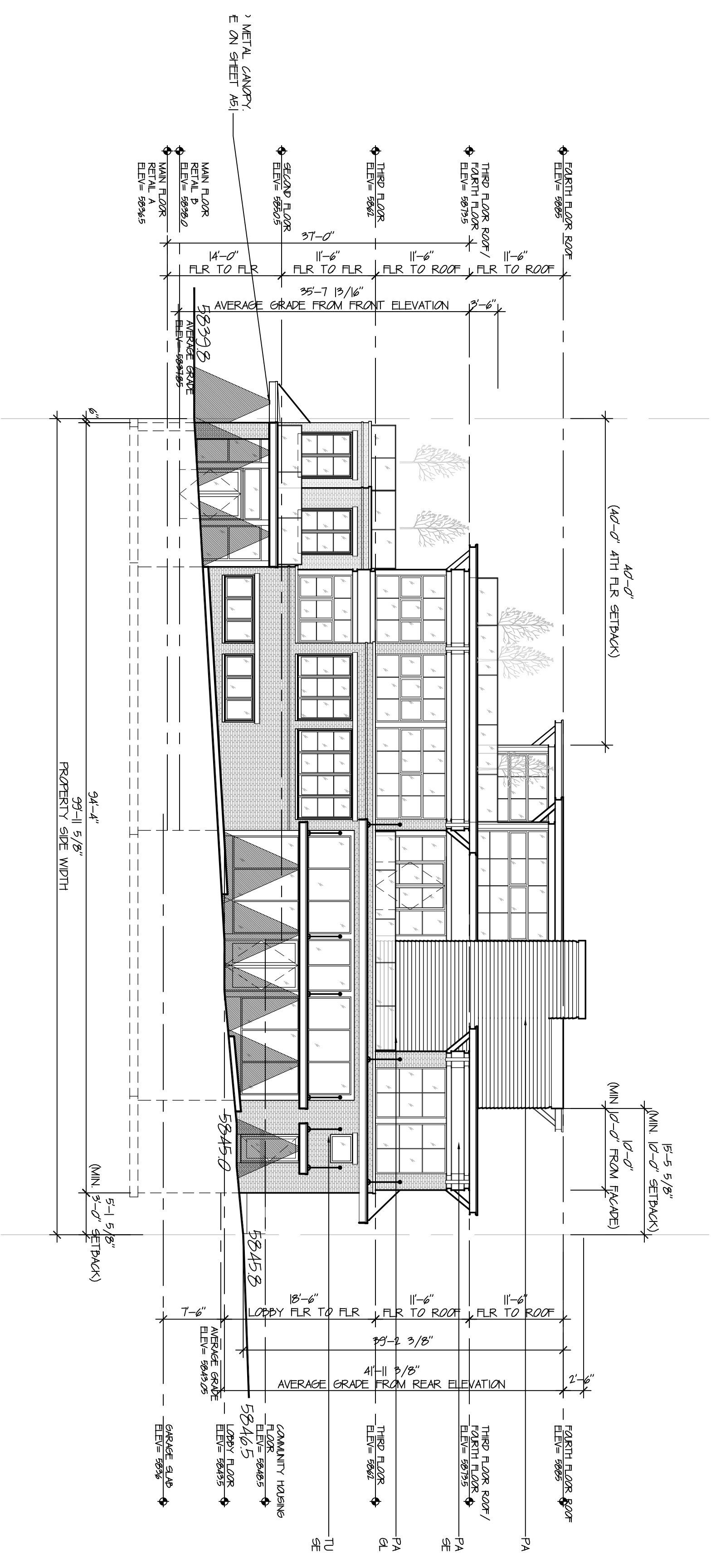
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 Architect and Planner:
 P H Architects LLC
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1 FRONT ELEVATION - LIGHTING
 SCALE: 3/32"=1'-0"



2 SIDE ELEVATION (SOUTH) - LIGHTING
 SCALE: 3/32"=1'-0"

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Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

FRONT & SIDE ELEVATIONS - LIGHTING

Sheet No.: SBZ
 Date: 2020/01/07
 Scale: 3/32"=1'-0"
 Designer: GAG
 Checker: GAG

Project No.: 20-001
 Client: BOSE-EXT Elev.
 P H ARCHITECTS LLC

A6.2

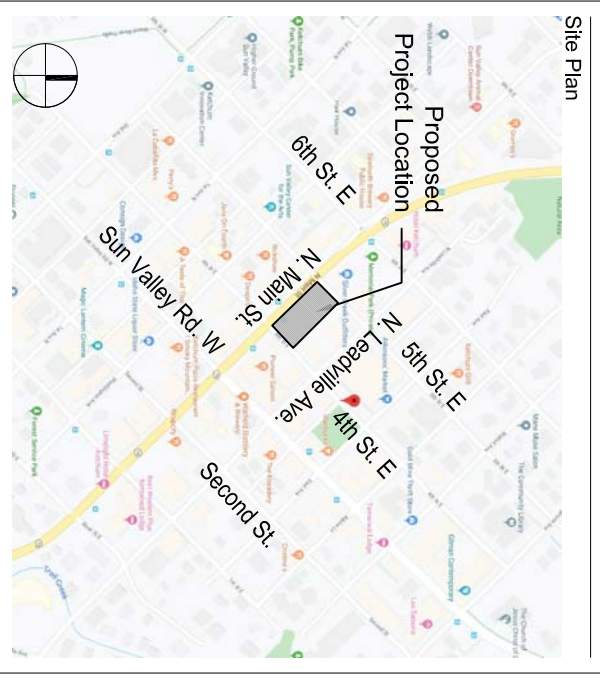
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ph-archs.com



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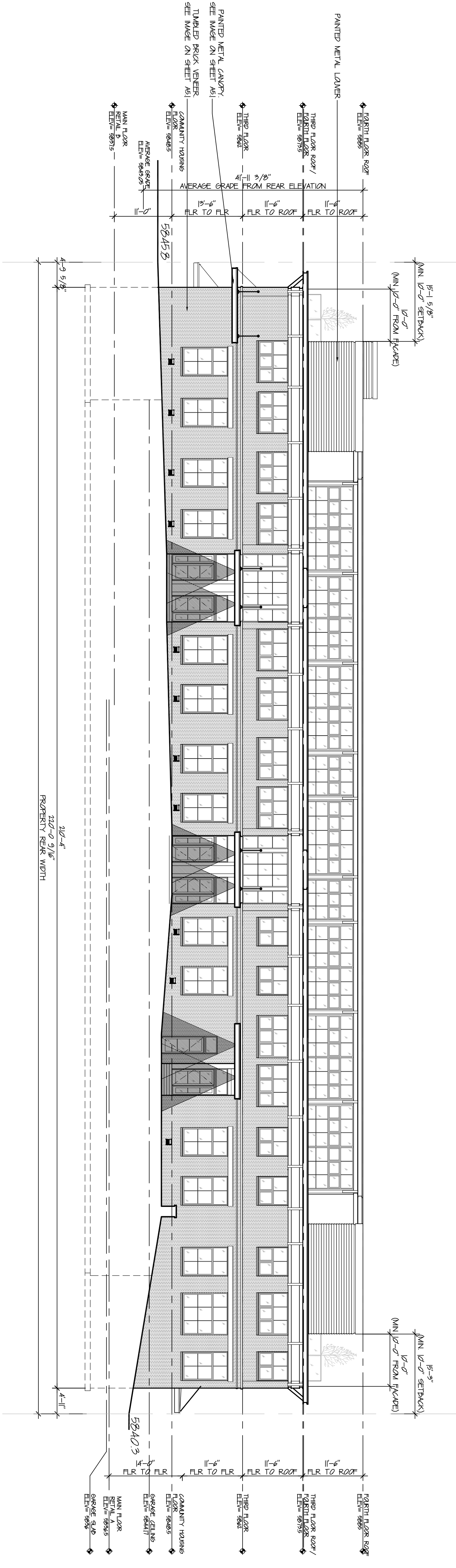
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Revisions	No.	Date	Issue
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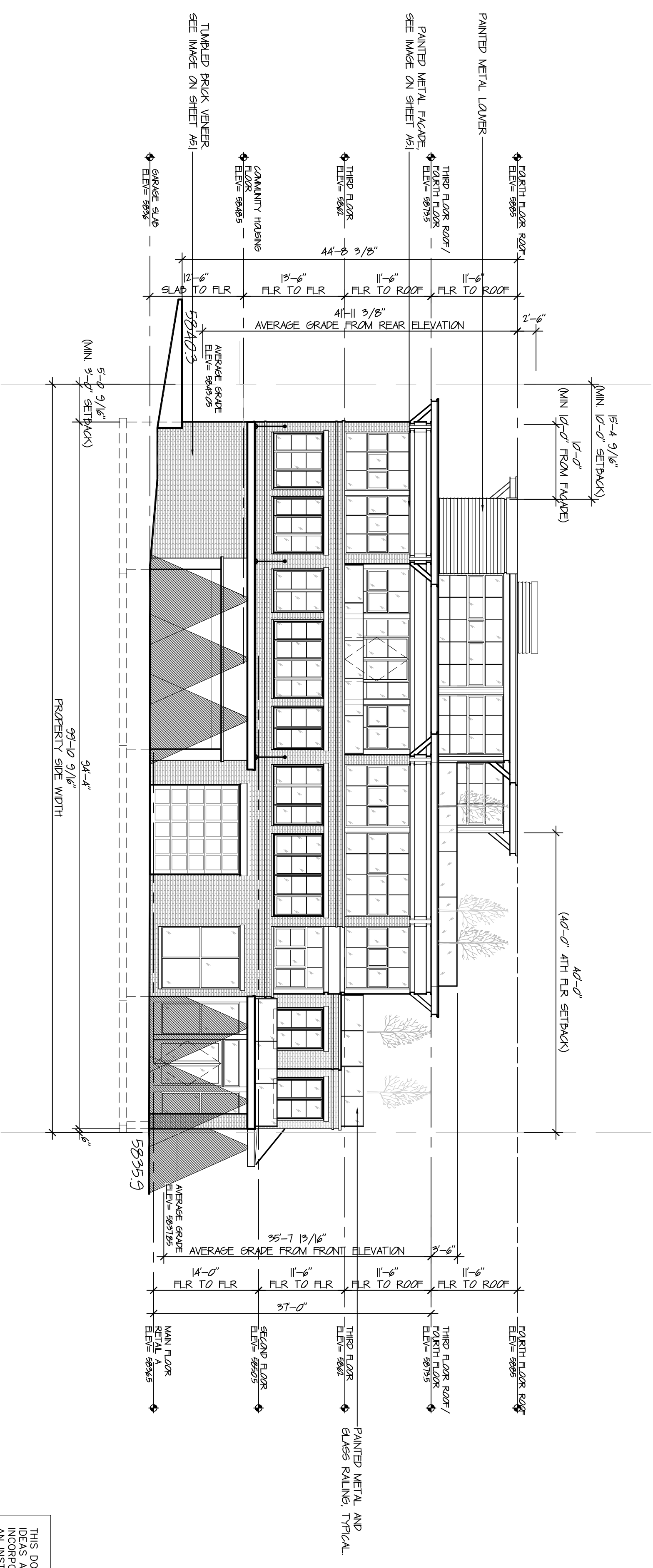
REAR & SIDE ELEVATIONS - LIGHTING

Date: 2020/01/07
Scale: 3/32"=1'-0"
Sheet No.: SBZ
Project No.: 20-001
GAS REX elev.
base-ext elev.
Check: [Signature]

PH ARCHITECTS LLC



1 REAR ELEVATION - LIGHTING
SCALE: 3/32"=1'-0"



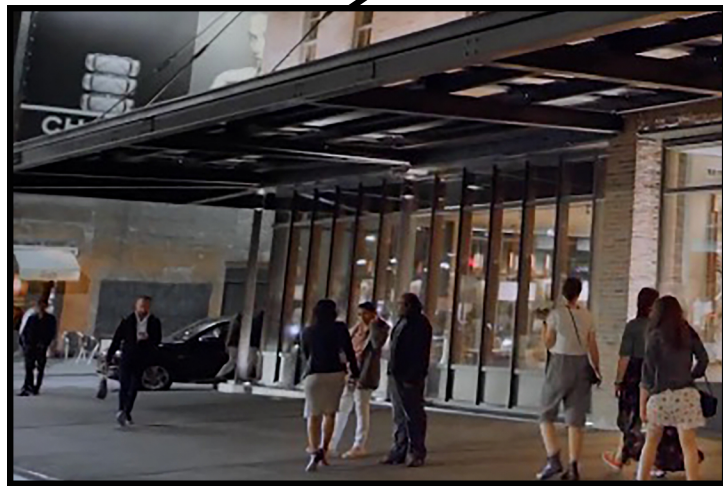
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SCALE: 3/32"=1'-0"

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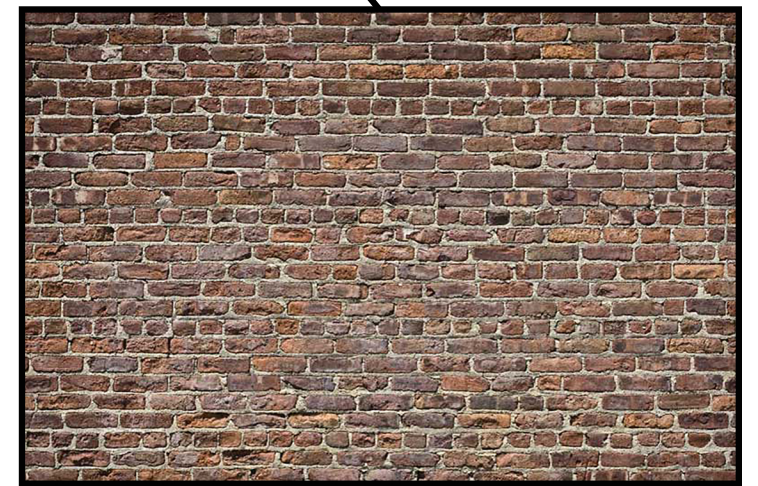
VERIFY ALL DIMENSIONS IN THE FIELD REPORT DISCREPANCIES.



PAINTED METAL CANOPY



PAINTED METAL FACADE



BRICK VENEER

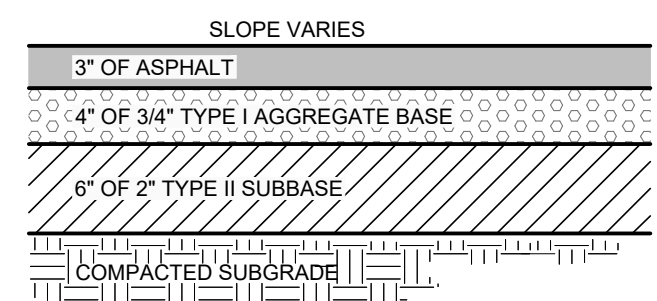
MATERIAL SAMPLE BOARD
 SCALE: NOT TO SCALE
 February 11, 2020

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 ARCHITECTS
 38 TAUNTON HILL ROAD NEWTOWN, CT 06470
 PH-ARCHS.COM

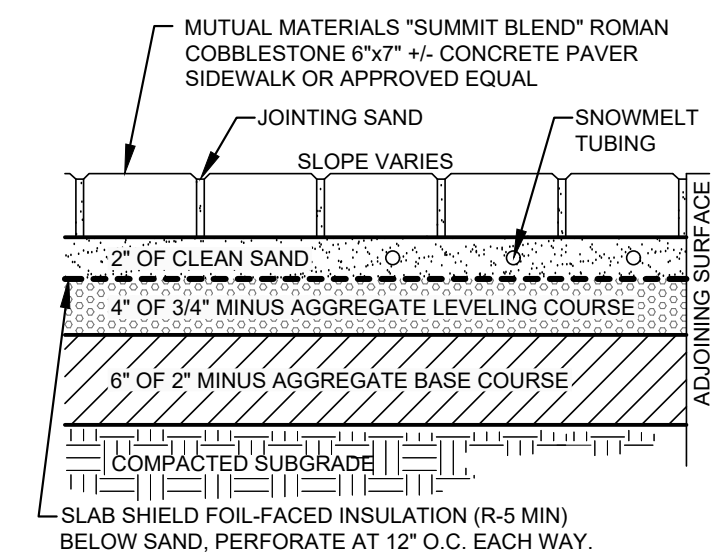
MIXED USE DEVELOPMENT
 4TH & MAIN ST.
 KETCHUM, IDAHO

CONSTRUCTION NOTES

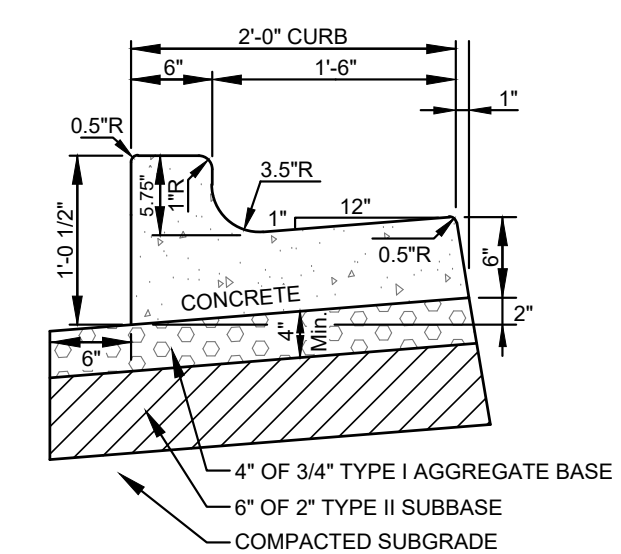
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY BENCHMARK ASSOCIATES, P.A., 11/6/2019. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



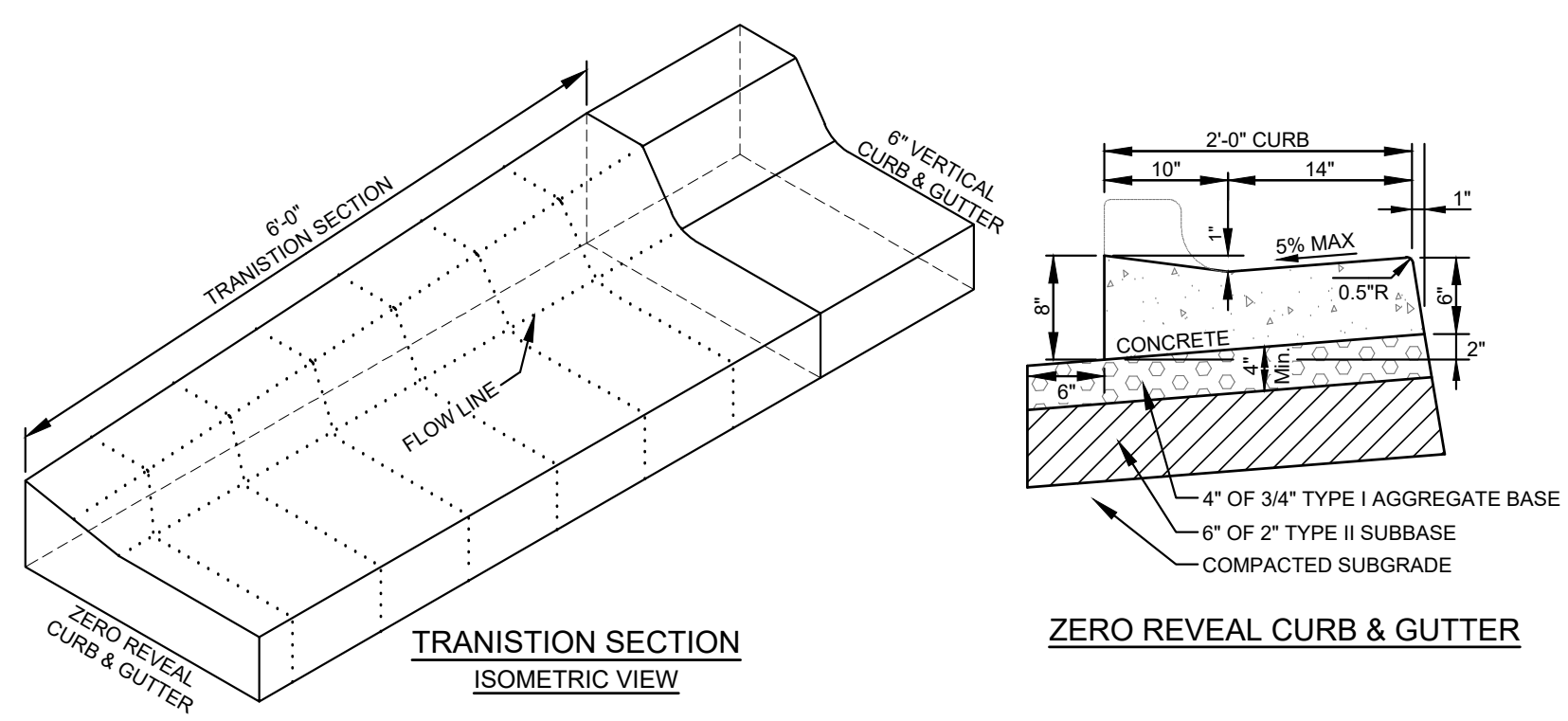
1
C0.1 TYPICAL STREET ASPHALT SECTION
N.T.S.



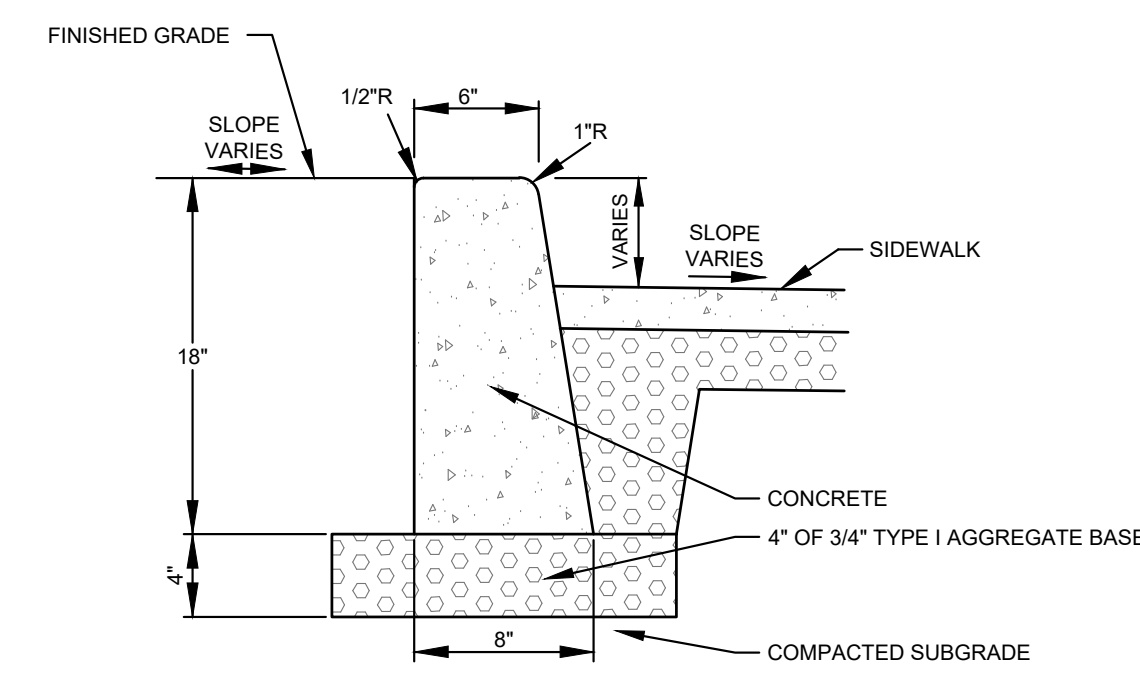
2
C0.1 PAVER DETAIL
N.T.S.



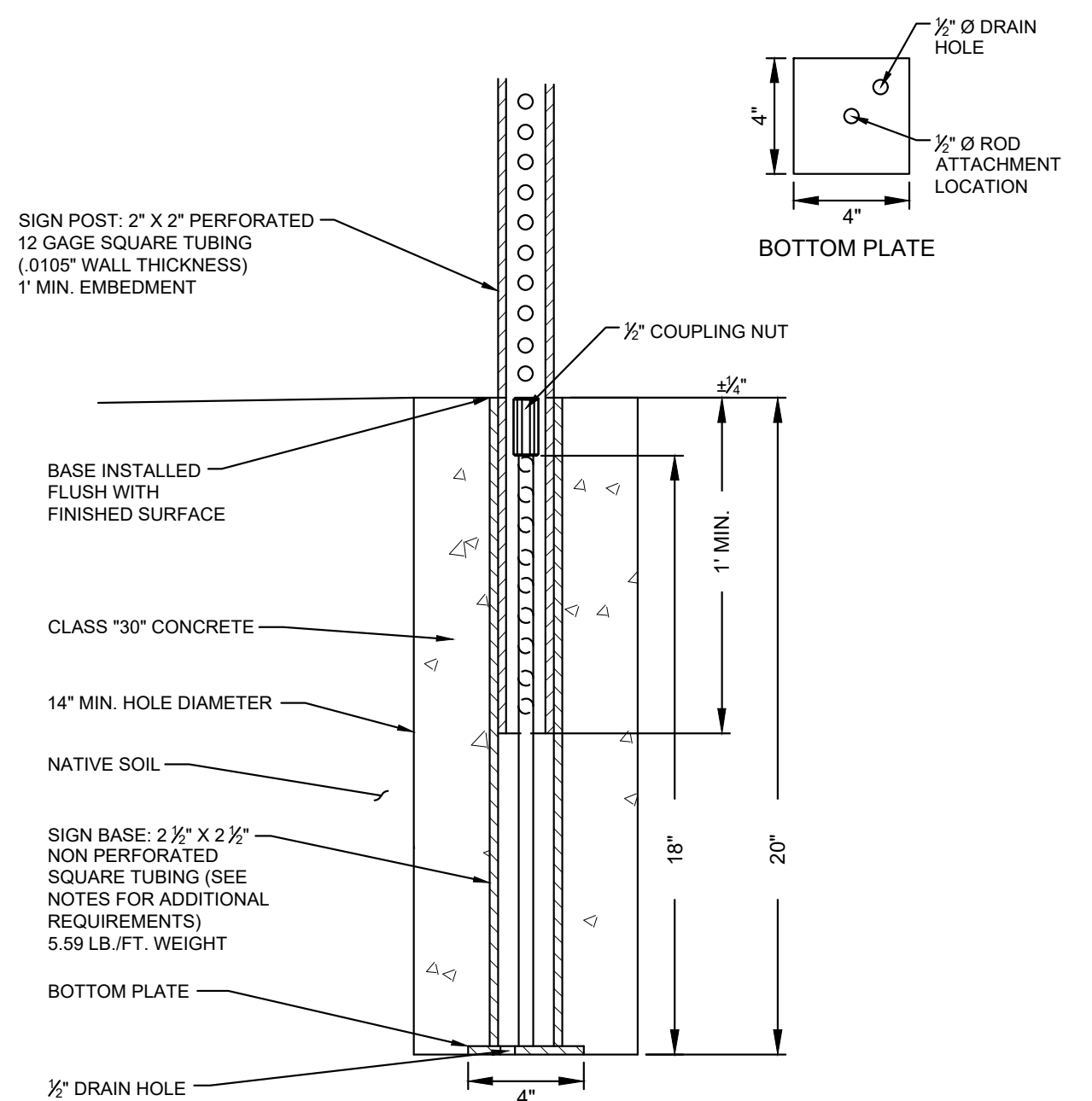
3
C0.1 6" CONCRETE VERTICAL CURB & GUTTER
N.T.S.



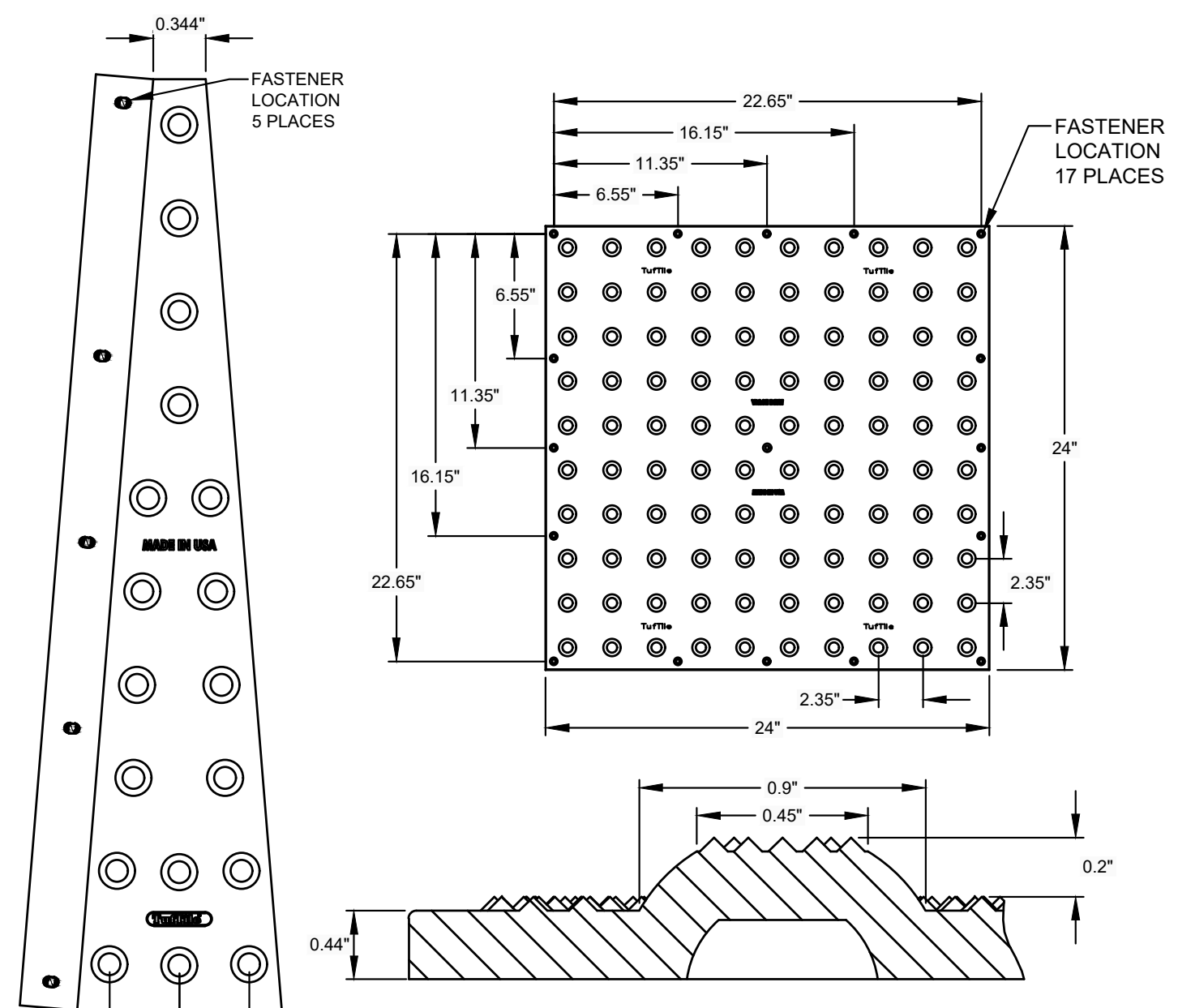
4
C0.1 TYPICAL CURB TRANSITION DETAIL
N.T.S.



5
C0.1 CONCRETE VERTICAL CURB
N.T.S.



6
C0.1 TYPICAL SIGN BASE
N.T.S.



7
C0.1 DETECTABLE WARNING PLATE
N.T.S.

DESIGNED BY
CT
DRAWN BY
SMF
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NO.	DATE	BY	REVISIONS

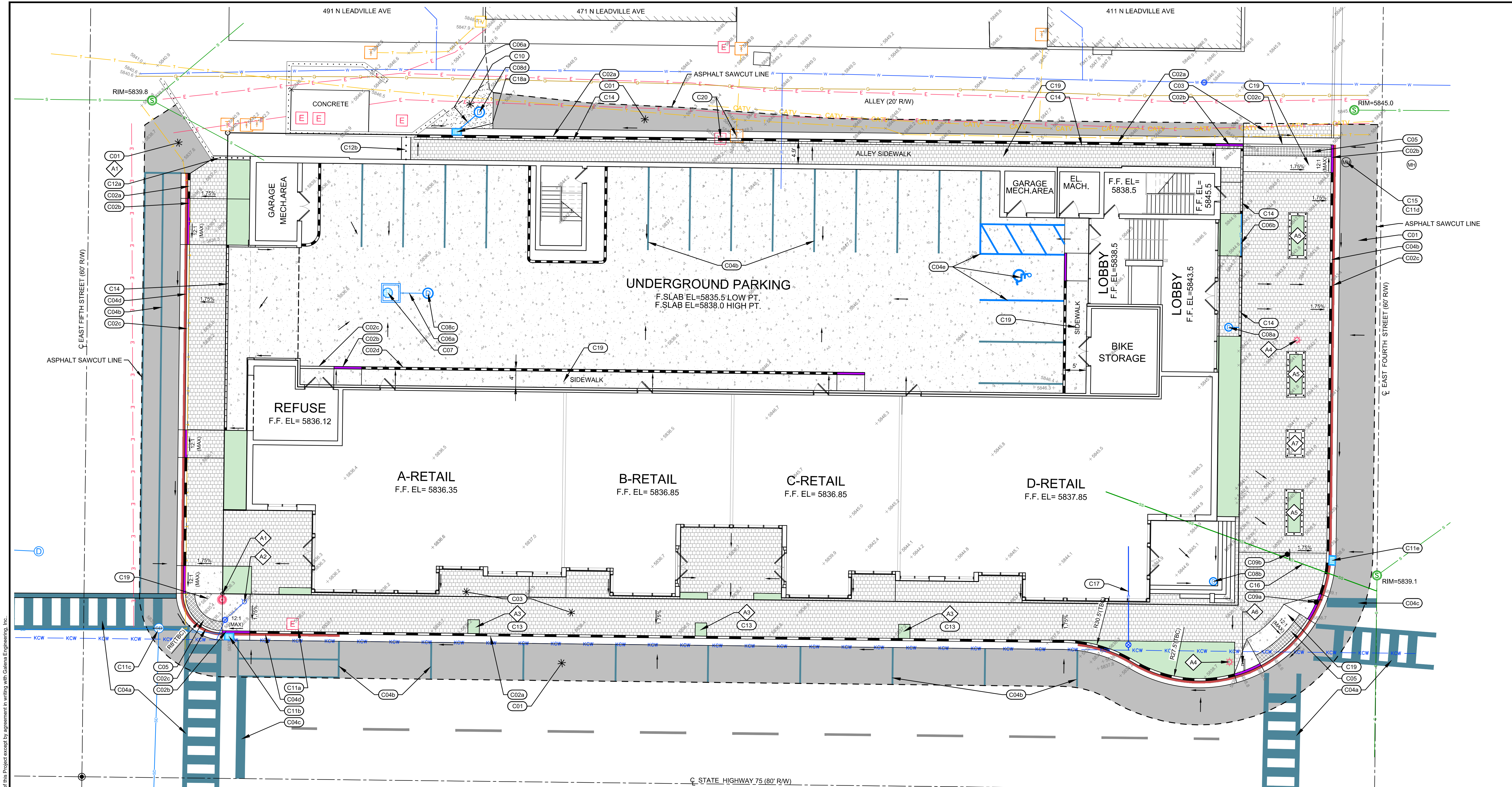
PURPOSE: ISSUE FOR DESIGN REVIEW

C0.1

PRELIMINARY
NOT FOR
CONSTRUCTION

NOTES AND DETAIL SHEET
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
LOCATED WITHIN SEC 13, T4N, R17E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLISTICE DEVELOPMENT
PROJECT INFORMATION
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REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



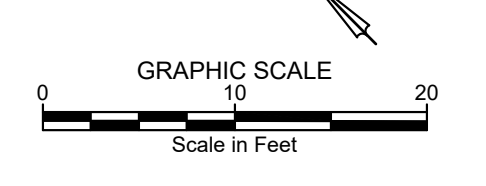
LEGEND

EXISTING ITEMS		PROPOSED ITEMS	
Property Line	—	Asphalt	▨
Adjainer's Lot Line	—	Paver Sidewalk	▨
Centerline	—	6" Vertical Curb & Gutter	▨
Edge of Pavement	—	Zero Reveal Curb & Gutter	▨
5' Contour Interval	—	Curb Transition	▨
1' Contour Interval	—	6" Vertical Curb (no gutter)	▨
Cable TV Line	—	No Parking Zone	▨
Buried Power Line	—	ADA Access Truncated Dome	▨
Gas Line	—	Street Light	⬮
Telephone Line	—	Sign	⬮
Sewer Line	—	Drywell	⬮
Spring Water Line	—	Sand & Grease Trap	⬮
Ketchum City Water	—	Storm Drain	⬮
Storm Drain Manhole	⊙	Catch Basin	⬮
Fire Hydrant	⊙	Sawcut Line	▨
Water Valve	⊙	Road Paint	▨
Traffic Signal Light Base	⊙	Grade	▨
Street Light	⬮	Spot Elevation	⬮
Water Manhole	⊙	Trench Drain	▨
Telephone Riser	⊙	Retaining/Landscape Wall	▨
Electrical Box	⊙	Gravel	▨
		Concrete	▨

CONSTRUCTION KEY NOTES

- C01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.1.
- C02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" VERTICAL C&G PER DETAIL 3 / C0.1.
 - b. CURB TRANSITION PER DETAIL 4 / C0.1.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C0.1.
 - d. CONCRETE VERTICAL CURB PER DETAIL 5 / C0.1.
- C03** CONSTRUCT HEATED PAVER SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C0.1.
- C04** INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
 - c. WHITE STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. BLUE ADA PARKING STRIPING AND SYMBOL.
- C05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 7 / C0.1.
- C06** STORM DRAIN.
 - a. INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.3 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C0.3 FOR TRENCHING.
 - b. INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%.
- C07** INSTALL CONCRETE 350 GALLON SAND AND GREASE TRAP WITH 24" GRATE
 - RIM = 5835.68
 - INV. OUT = 5832.6
- C08** DRYWELL:
 - a. CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 4 / C0.2
 - RIM = 58
 - INV. IN = 58
 - b. CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 4 / C0.2
 - RIM = 5837.63
 - c. CONSTRUCT NEW DRYWELL. SEE DETAIL 5 / C0.2
 - RIM = 5835.73
 - INV. IN = 5832.4
 - d. CONSTRUCT NEW DRYWELL. SEE DETAIL 5 / C0.2
 - RIM = 58
 - INV. IN = 58
- C09** SIGNS:
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.
- C10** CONSTRUCT GRAVEL DRIVEWAY / PARKING AREA IMPROVEMENTS. REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION. SEE DETAIL 1 / C0.2.
- C11** RESET UTILITY BOX LID/GRATE ELEVATION.
 - a. POWER HANDHOLE/TRAFFIC SIGNAL CONTROL. ORIGINAL RIM = 5836.0 NEW RIM = 5835.95
 - b. CATCH BASIN GRATE. ORIGINAL RIM = 5835.42 NEW RIM = 5835.26
 - c. STORM DRAIN MANHOLE LID. ORIGINAL RIM = 5835.75 NEW RIM = 5835.7
 - d. PAVER HYDRONIC HEATING MANHOLE LID. ORIGINAL RIM = 58__ NEW RIM = 58__
 - e. CATCH BASIN GRATE. ORIGINAL RIM = 5838.62 NEW RIM = 5838.66
- C12** CONSTRUCT RETAINING WALL:
 - a. USE PREVIOUSLY REMOVED KEYSTONE BLOCKS.
 - b. TYPE TO BE DETERMINED BY STRUCTURAL ENGINEER.
- C13** INSTALL TREE WELL BOLLARDS AND MODULAR SUSPENDED PAVEMENT SYSTEM. SEE DETAIL 6 / 4.0.
- C14** INSTALL TRENCH DRAIN. SEE DETAIL 2 / C0.2
- C15** DISCONNECT EXISTING PAVER HYDRONIC HEATING SYSTEM. CAP EXISTING TUBES FOR FUTURE CITY USE. COORDINATE WORK WITH CITY.
- C16** INSTALL 6" PVC SEWER SERVICE.
- C17** INSTALL 6" PVC WATER SERVICE.
- C18** INSTALL CATCH BASIN. SEE DETAIL 3 / C0.2.
 - a. RIM = 58
 - INV. OUT = 58
- C19** CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 8 / C0.2.
- C20** RELOCATE UTILITIES. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.

- A** RETAIN AND PROTECT
 - 1. TRAFFIC SIGNAL.
 - 2. FIRE HYDRANT.
 - 3. TREE.
 - 4. STREET LIGHT.
 - 5. LANDSCAPE WALL / LANDSCAPING.
 - 6. PEDESTRIAN CROSSING SIGN.
 - 7. ART PEDESTAL.
- B** MATCH EXISTING LINES AND GRADES
- C** REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION.



GRADING AND DRAINAGE PLAN
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
 LOCATED WITHIN SEC 13, T4N, R17E & SEC 18, T4N, R17E & SEC 18, T4N, R18E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PROJECT INFORMATION
 Prepared for SOLISTICE DEVELOPMENT
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PRELIMINARY
 NOT FOR
 CONSTRUCTION

DESIGNED BY	_____
DRAWN BY	_____
SMF	_____
CHECKED BY	_____

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 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW		REVISIONS	
NO.	DATE	BY	

C1.0