

# Appellation | Sun Valley

KETCHUM, IDAHO

## DESIGN REVIEW APPLICATION

September 21, 2022 Update

August 30, 2022 Update

August 18, 2022 Update

August 05, 2022 Update

July 29, 2022

**Hornberger + Worstell**

Architects and Planners  
170 Maiden Lane  
San Francisco, CA 94108

415.391.1080  
design@hwiarchitects.com

Prepared for:  
Harriman Ketchum Hotel LLC  
Sun Valley, Idaho

# APPELLATION HOTEL / SUN VALLEY SEPTEMBER 2022

APPELLATION  
HOTEL

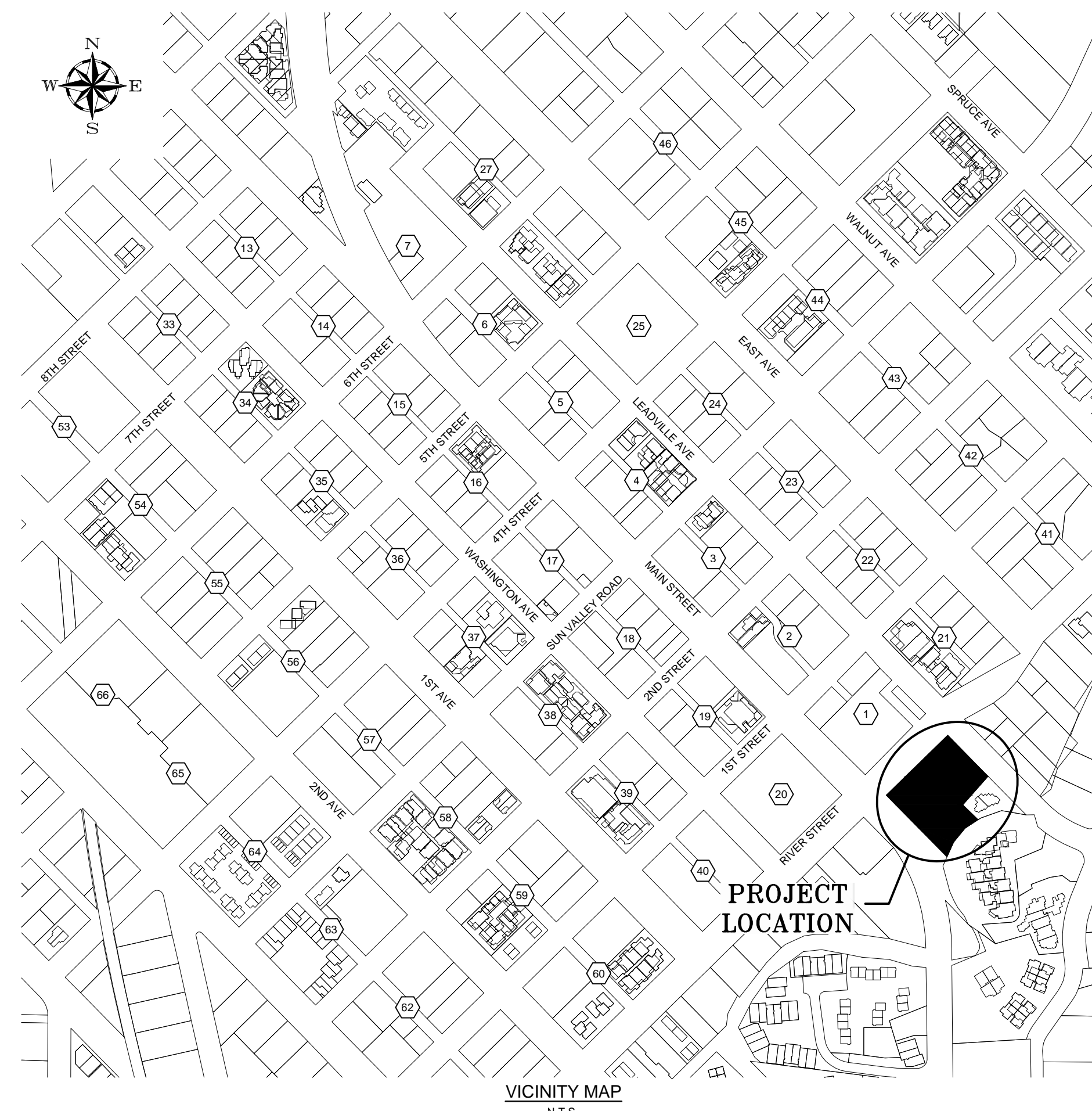
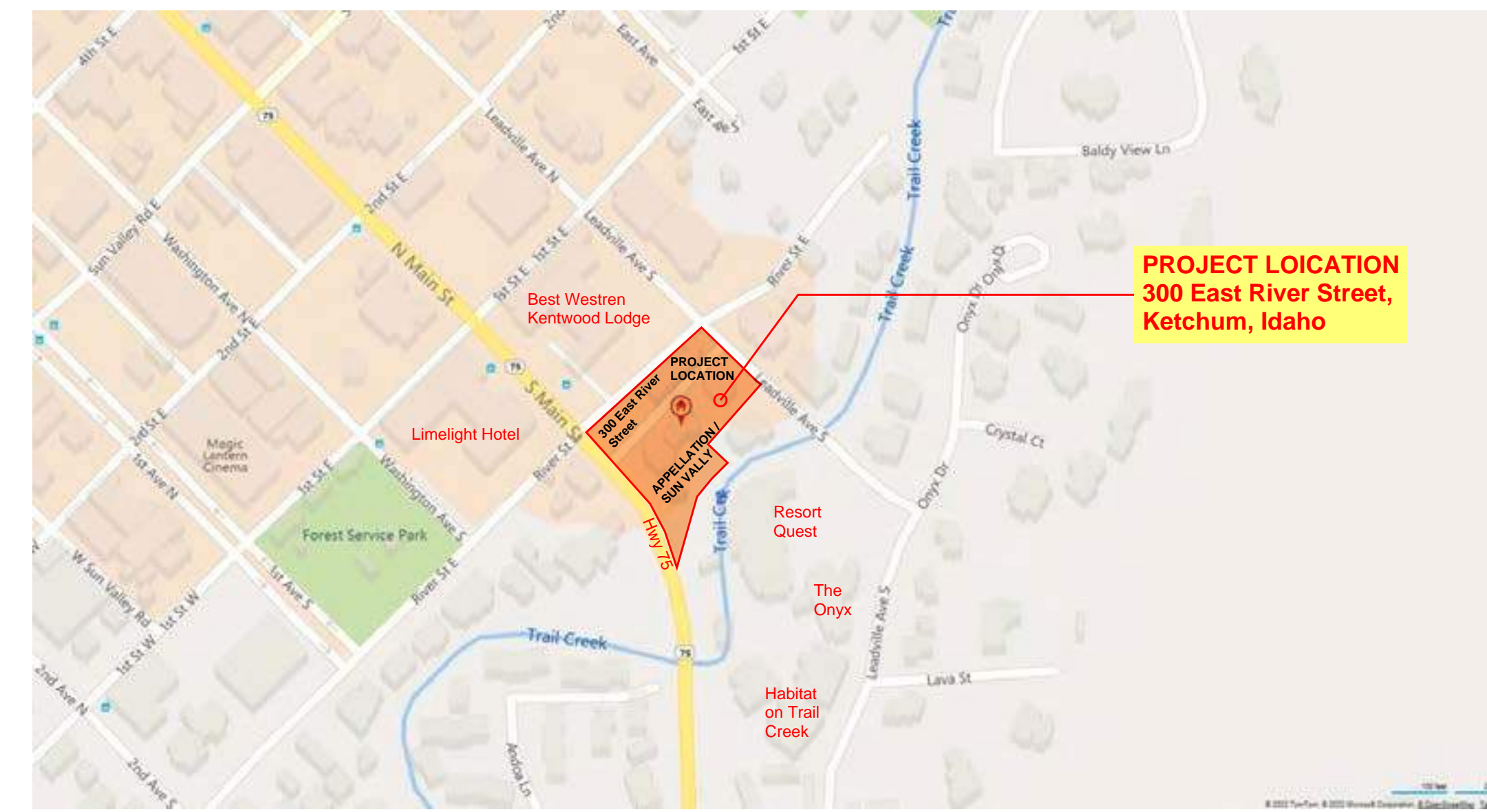
**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Hailey, Idaho 83333  
(208) 785-1705  
email: galena@galena-engineering.com

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

THE APPELLATION HOTEL  
SUN VALLEY IDAHO  
300 E RIVER ST  
KETCHUM, ID 83340

## CIVIL DRAWINGS SHEET INDEX

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### CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
  - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
  - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.

### LEGEND

EXISTING ITEMS	PROPOSED ITEMS
PROPERTY LINE	NEW ASPHALT
SH-75 RIGHT-OF-WAY	CONCRETE SIDEWALK
CENTERLINE OF RIGHT-OF-WAY	CONCRETE 6" ROLLED CURB
EASEMENT / SETBACK	CURB TRANSITION (ZERO REVEAL TO TYPICAL 6" ROLLED)
EGS = EDGE OF GRAVEL	ZERO REVEAL CURB & GUTTER
PB = BURIED POWER LINE	RETAINING WALL
W = WATER MAIN	ADA ACCESS TRUNCATED DOME
WS = WATER SERVICE	SIGN
8" SEWER MAIN	FIRE HYDRANT
SS = SEWER SERVICE	WATER VALVE
GM = GAS MAIN	5' CONTOUR INTERVAL
GS = GAS SERVICE	1' CONTOUR INTERVAL
PHB = BURIED TELEPHONE LINE	DRYWELL
STORM DRAIN	STORM DRAIN
5' CONTOUR INTERVAL	CATCH BASIN
1' CONTOUR INTERVAL	SAWCUT LINE
CURB & GUTTER	APPROXIMATE LIMITS OF DISTURBANCE
CONCRETE	ROAD PAINT
BUILDING	GRADE
FH = FIRE HYDRANT	SPOT ELEVATION
WV = WATER VALVE	CONCRETE PAVER EDGING
WTMR = WATER METER	CONCRETE PAVERS
VB = VALVE BOX	GAS SERVICE
FIBER OPTIC VAULT	SEWER SERVICE
GV = GAS VALVE	POWER TRANSFORMER
GMKR = GAS MARKER	STREET LIGHT
TVBOX = TV RISER	
PHBOX = TELEPHONE RISER	
PHMH = TELEPHONE MANHOLE	
SMH = SEWER MANHOLE	
SCC = SEWER CLEANOUT	
CB = CATCH BASIN	
DWELL = DRY WELL	
SDMH = STORM DRAIN MANHOLE	
PMH = POWER MANHOLE	
LIGHT	
PBOX = POWER BOX	
DT = DECIDUOUS TREE	
CT = CONIFER TREE	
AP = ANGLE POINT	
BEG = BEGINNING BLDG = BUILDING	
BOW = BACK OF WALK	
CC = CURB CUT	
CL = CENTER LINE	
CLUST = CLUSTER	
COR = CORNER	
DAY = DAYLIGHT	
DF = DECK FINISHED FLOOR	
DY = DOUBLE YELLOW LINE	
EOA = EDGE OF ASPHALT	
EOC = EDGE OF CONCRETE	
EOP = EDGE OF PAVERS	
FF = FINISHED FLOOR	
FL = FLOW LINE	
GB = GRADE BREAK	
GRG = GARAGE	
INT = INTERSECTION	
LIP = LIP OF GUTTER	
NG = NATURAL GROUND	
PC = POINT OF CURVATURE	
PI = POINT OF INTERSECTION	
PT = POINT OF TANGENCY	
TBC = TOP BACK OF CURB	
TOE = TOE OF SLOPE	
TOP = TOP OF SLOPE	
TP = TOP OF PAVEMENT	
TW = TOP OF WALL	
TWELL = TREE WELL	
TBW = TOP BACK OF WALK	
WM = WATERMAIN	
X-WALK = CROSSWALK	

REVIEW SET 08/30/22

Design Review 092122  
Project Number 6560.04

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Hornberger + Worstell  
170 Maiden Lane, San Francisco, CA 94108  
Telephone 415.391.1000  
Facsimile 415.600.1872  
www.hornbergerworstell.com

COVER SHEET

C0.1

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THE APPELLATION HOTEL SUN VALLEY IDAHO

300 E RIVER ST KETCHUM, ID 83340

Design Review 14686 Project Number 09.2122

6560.04

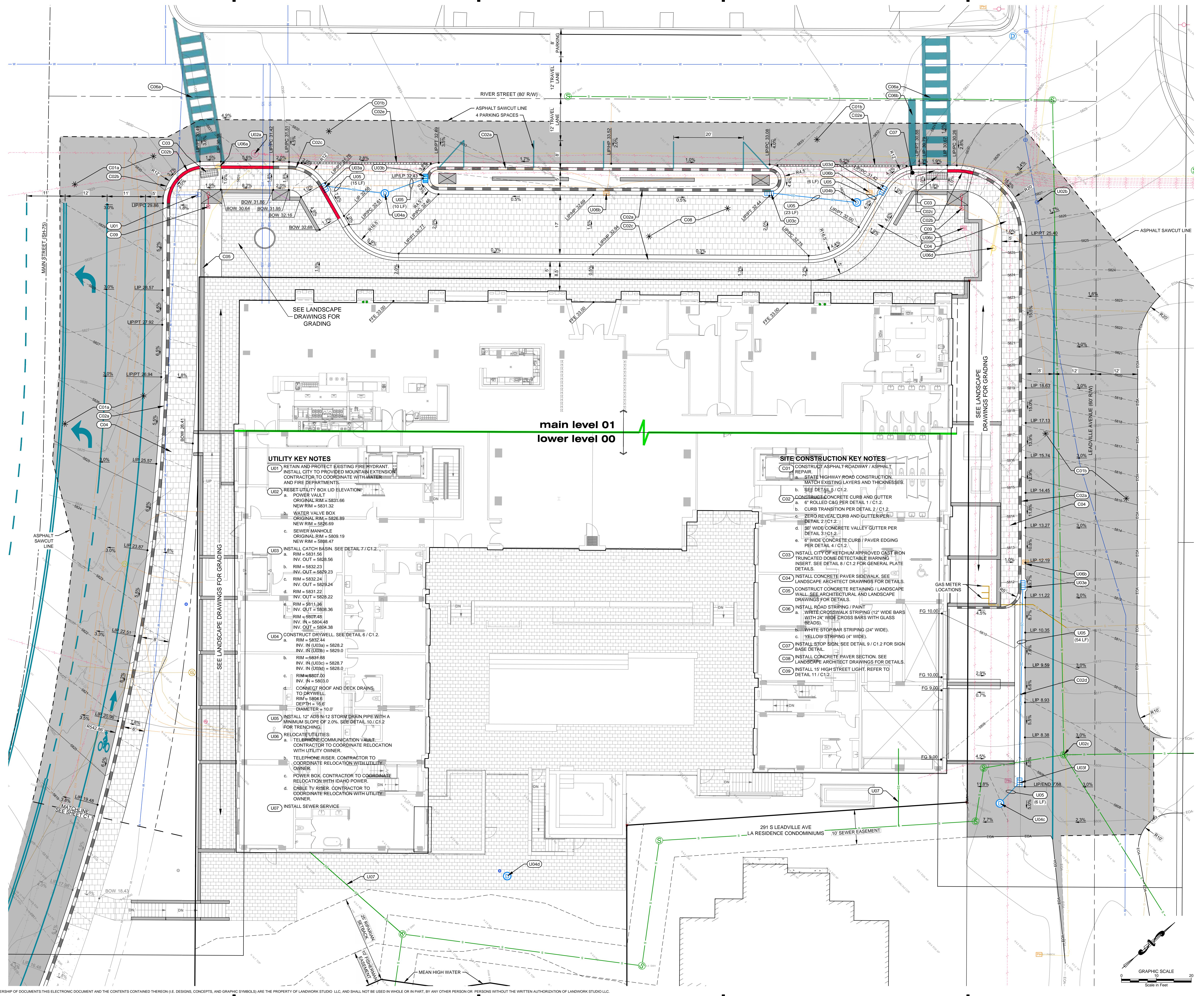
Hornberger + Worstell 170 Market Lane, San Francisco, CA 94108 Telephone: 415.391.1000 Facsimile: 415.695.1872 www.hornbergerworstell.com

SITE GRADING AND DRAINAGE

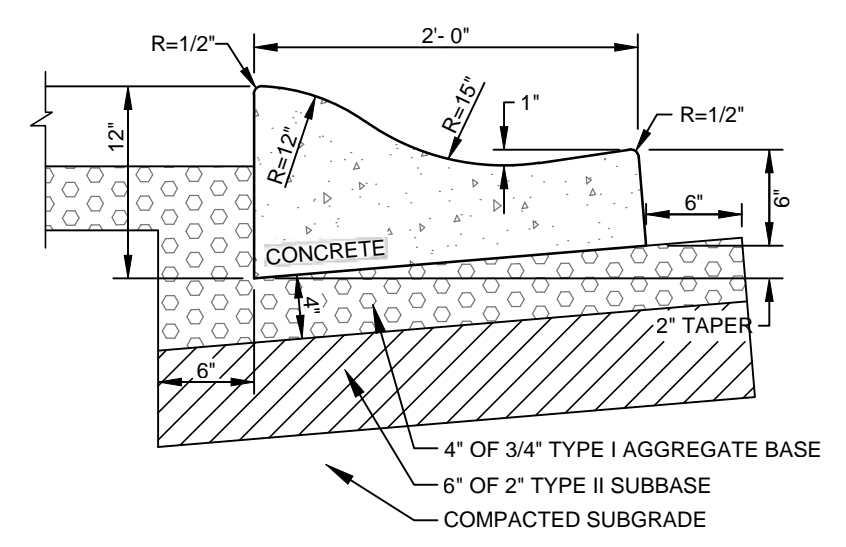
C1.0

NOT FOR CONSTRUCTION

REVIEW SET 08/30/22

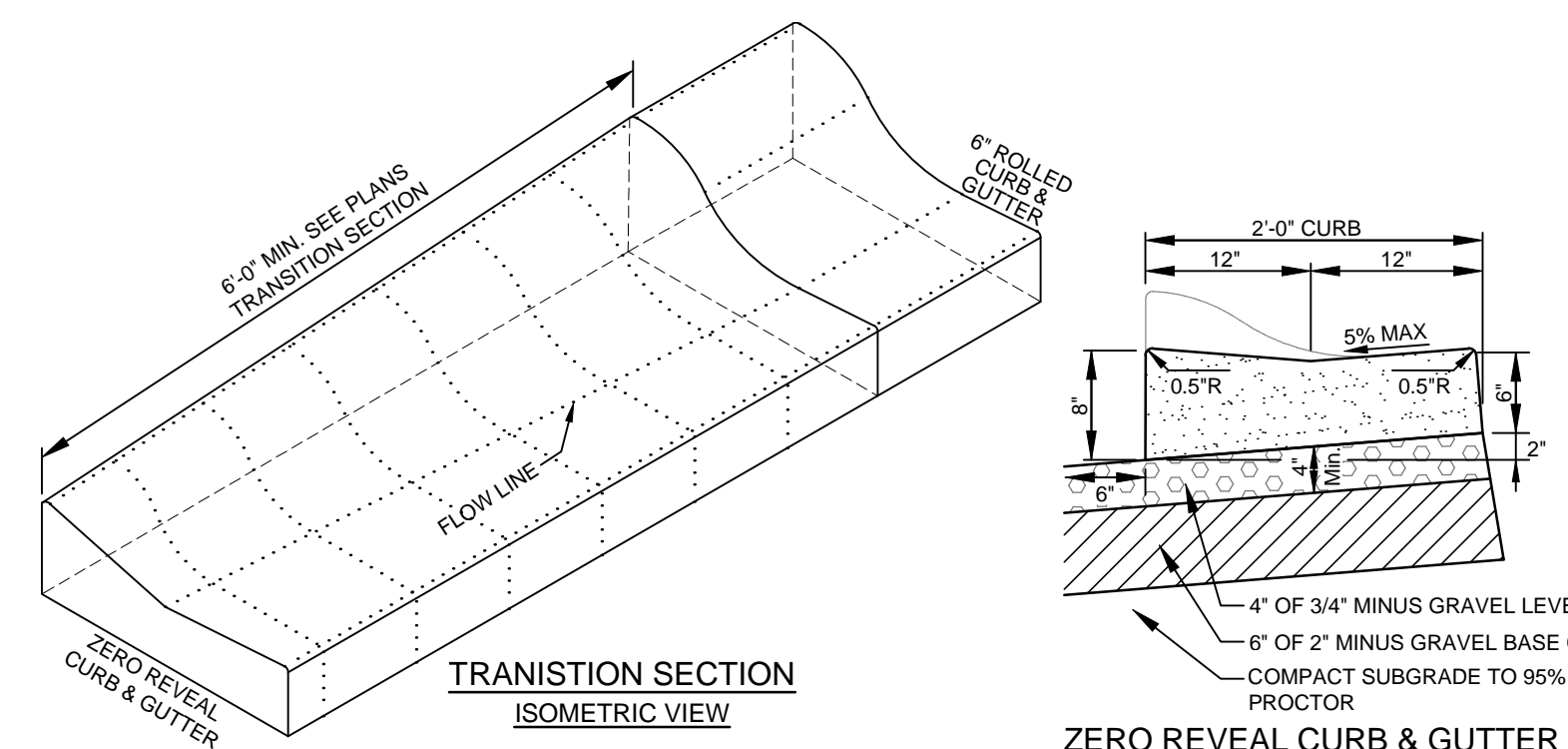






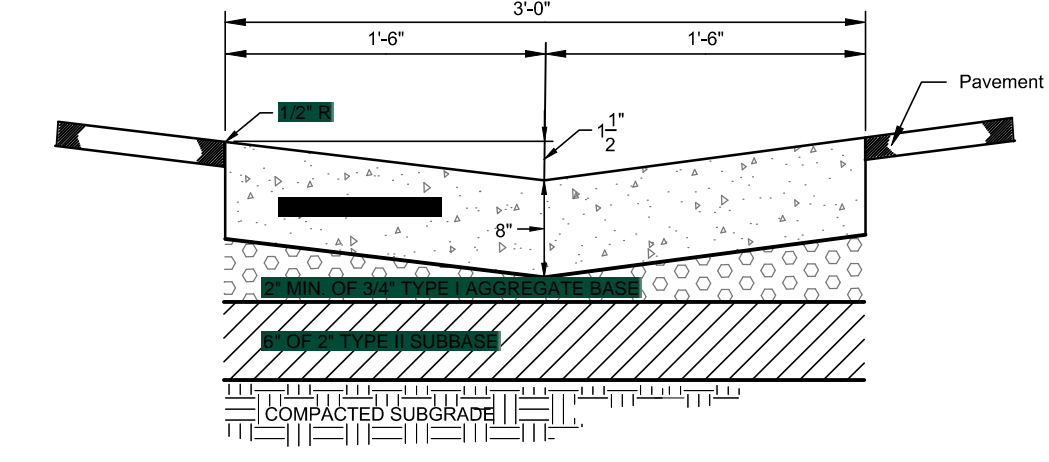
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISDEWALK).

**1**  
C1.2 **6" CONCRETE ROLLED CURB & GUTTER**  
N.T.S.



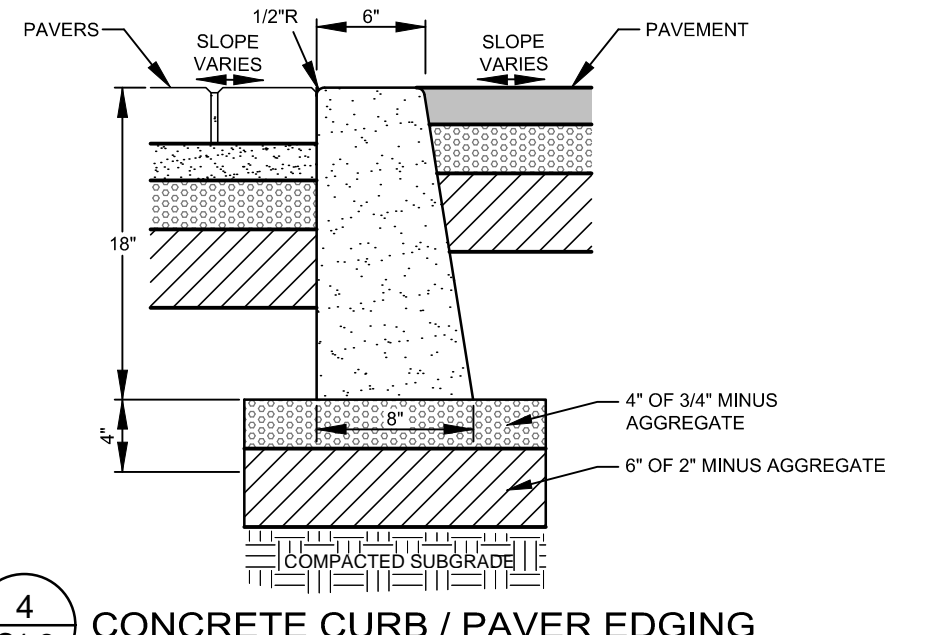
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**2**  
C1.2 **TYPICAL ROLLED CURB TRANSITION DETAIL**  
N.T.S.

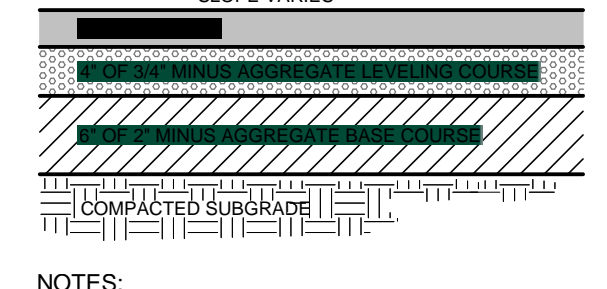


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING.

**3**  
C1.2 **36" CONCRETE VALLEY GUTTER**  
N.T.S.

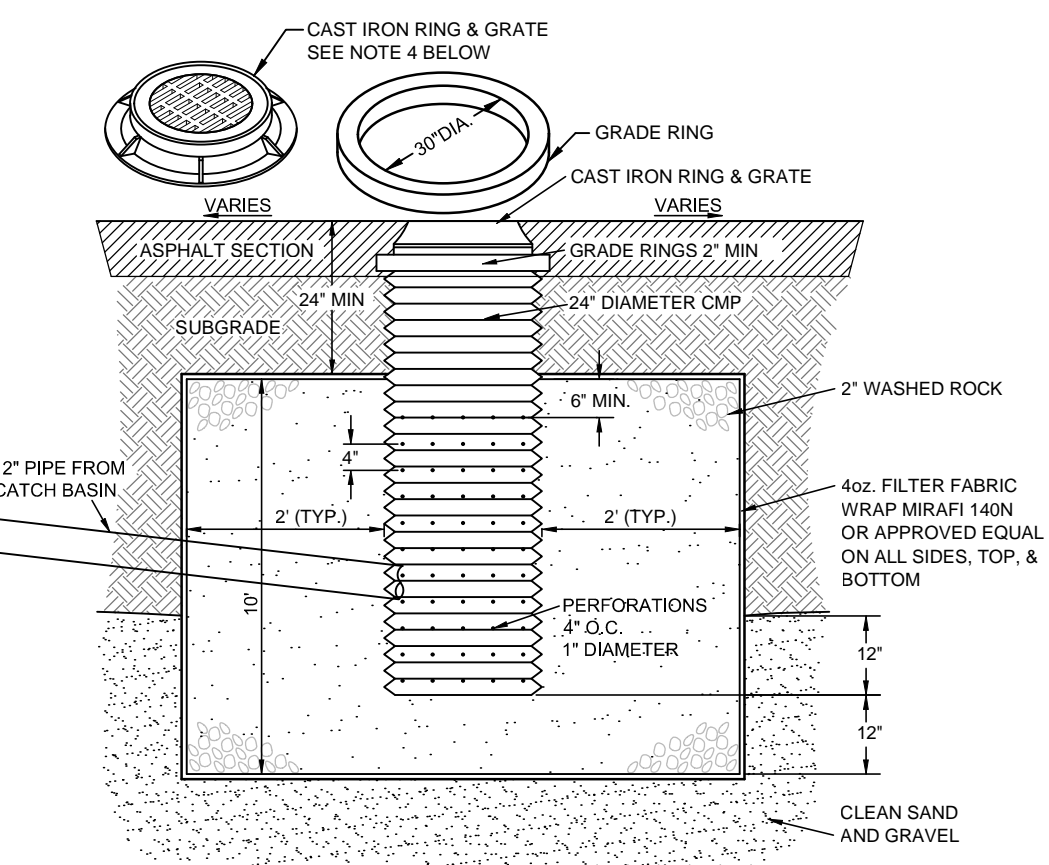


**4**  
C1.2 **CONCRETE CURB / PAVER EDGING**  
N.T.S.



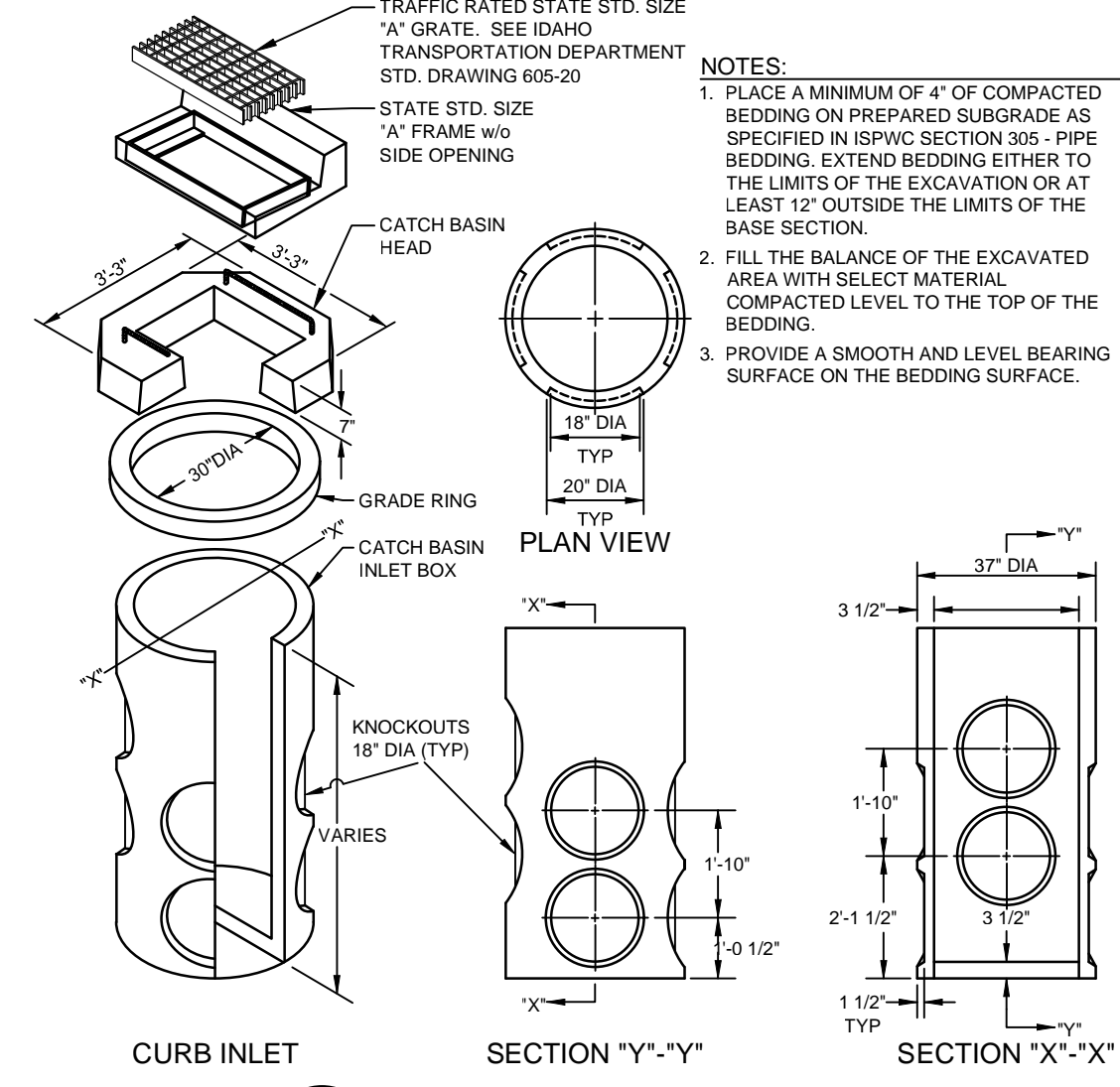
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**5**  
C1.2 **TYPICAL ASPHALT SECTION**  
N.T.S.

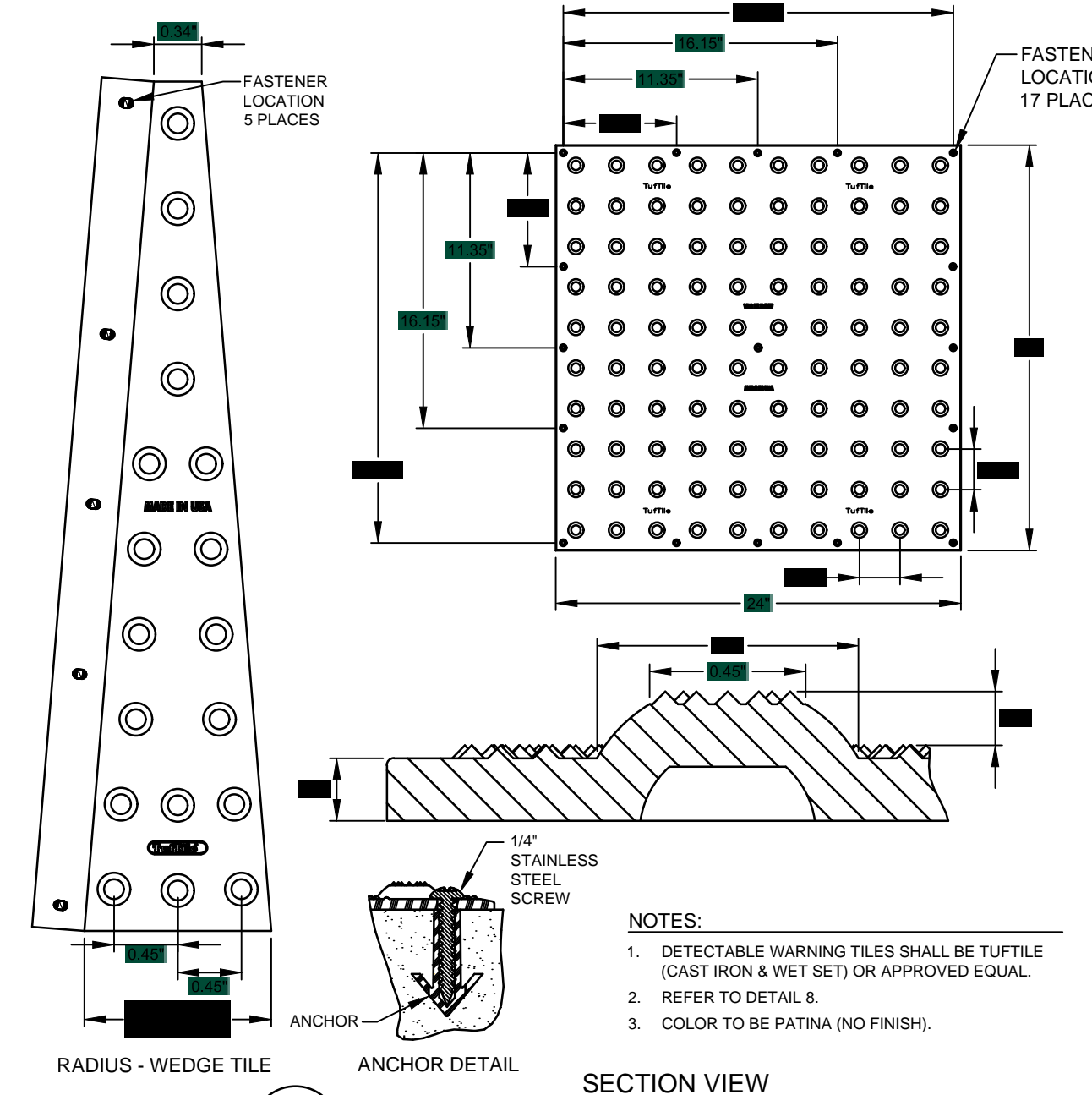


- NOTE:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

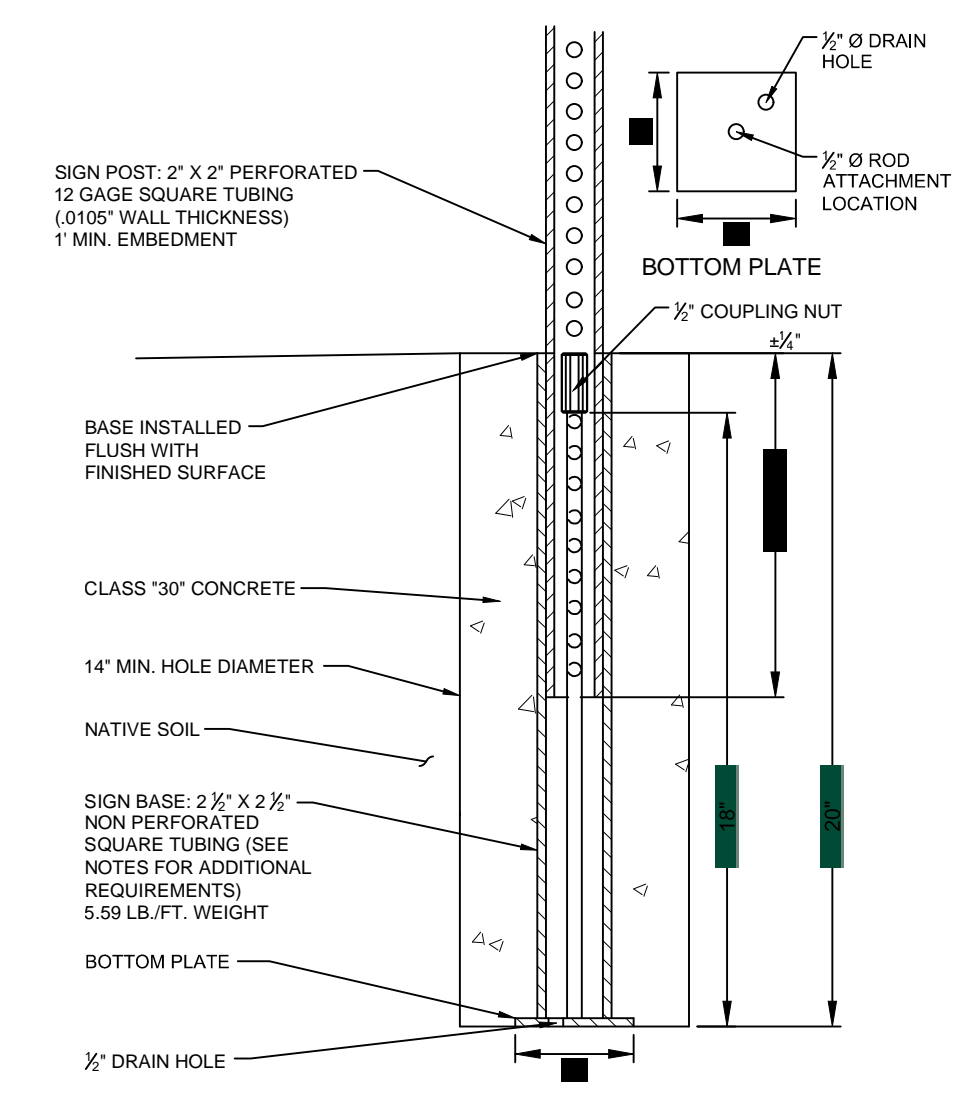
**6**  
C1.2 **DRYWELL DETAIL**  
N.T.S.



**7**  
C1.2 **30" DIAMETER CATCH BASIN**  
N.T.S.

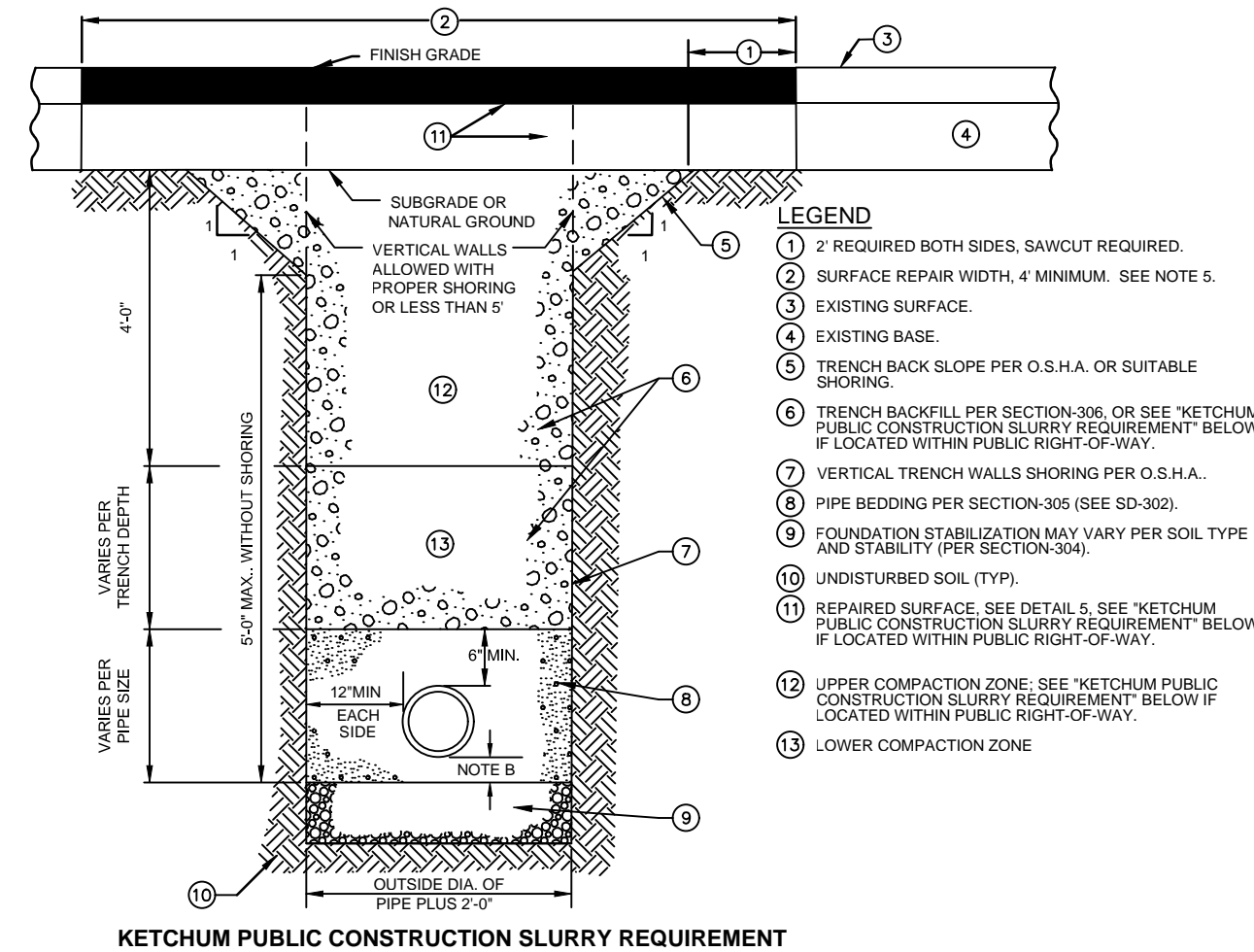


**8**  
C1.2 **DETECTABLE WARNING PLATE DETAIL**  
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 1/4" MINIMUM FOUNDATION OR GRADED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.
- SIGN BASE MATERIAL & DIMENSION REQUIREMENTS**
- 2" OUTSIDE TUBE STEEL (20" LENGTH)
  - 2" INSIDE TUBE STEEL
  - 3/4" THICK
  - ADDITIONAL ROD MATERIAL & DIMENSION REQUIREMENTS
  - 7/8" TALL ROLLED ROD (16" LENGTH)
  - 7/8" COUPLING NUTS
  - BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
  - 4" X 4" X 3/8" STEEL STRAP

**9**  
C1.2 **SIGN BASE DETAIL**  
N.T.S.



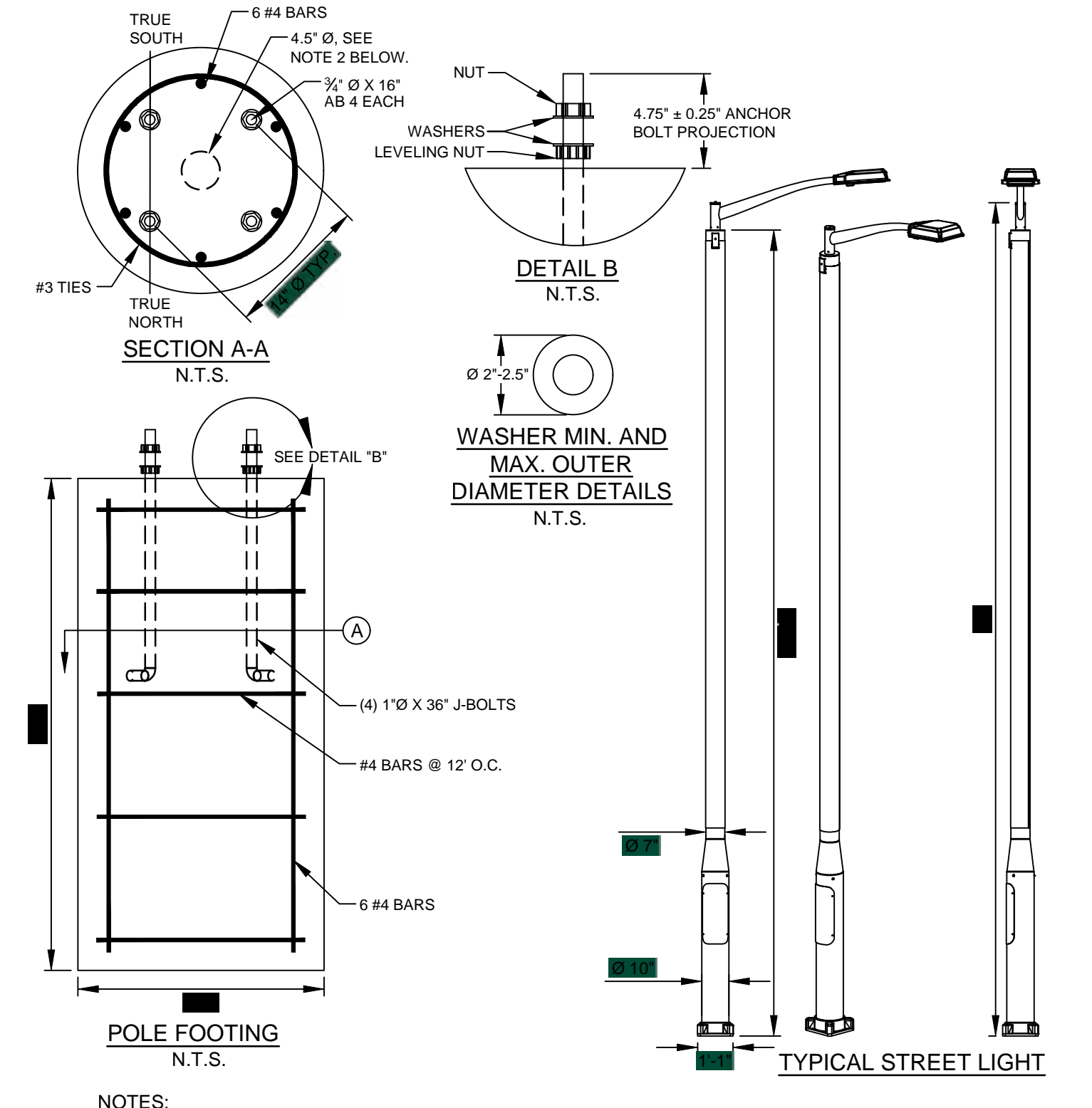
- LEGEND**
- 2" REQUIRED BOTH SIDES, SAWCUT REQUIRED.
  - SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
  - EXISTING SURFACE.
  - EXISTING BASE.
  - TRENCH BACK SLOPE PER O.S.H.A. OR SUTABLE.
  - SHORING.
  - TRENCH BACKFILL PER SECTION 306, OR SEE 'KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT' BELOW IF LOCATED WITHIN PUBLIC RIGHT OF WAY.
  - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - PIPE BEDDING PER SECTION 305 (SEE SD-302).
  - FOUNDATION REPAIRS SECTION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 304).
  - UNDISTURBED SOIL (P.P.P.).
  - REPAIRED SURFACE. SEE DETAIL 5. SEE 'KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT' BELOW IF LOCATED WITHIN PUBLIC RIGHT OF WAY.
  - UPPER COMPACTION ZONE. SEE 'KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT' BELOW IF LOCATED WITHIN PUBLIC RIGHT OF WAY.
  - LOWER COMPACTION ZONE.
- KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**
- ALL AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR SHALL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX SOLID BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:
- COURSE AGGREGATE (90 MINUS) 2 800 LBS  
SAND 800 LBS  
PORTLAND CEMENT 90 LBS (MAX)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD, CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTY SURFACING WITH A ROLLER HOSE SHOVEL OR SHOVEL HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTY SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

- NOTES:**
- TRENCH EXCAVATION PER SECTION 301.
  - PIPE BEDDING PER SECTION 305.
  - BACKFILL AND COMPACTION PER SECTION 306.
  - SURFACE REPAIR AND BASE PER DETAIL 3.
  - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPCW SECTIONS 805, 805, AND 811 FOR CLASS 5 PAVEMENT. ASPHALT AGGREGATE SHALL BE 5/8" (13MM) NOMINAL SIZE CONFORMING TO TABLE 805B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58 28 CONFORMING TO TABLE 1. IN ISPCW SECTION 803.
  - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

**10**  
C1.2 **TYPICAL TRENCH SECTION**  
N.T.S.



- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LF OR APPROVED EQUAL.
  - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" O.D. CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE AND AC SUPPLY WIRE (IF REQUIRED) ARE 5 MIN. ABOVE THE BASE.
  - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
  - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
  - STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

**11**  
C1.2 **TYPICAL STREET LIGHT**  
N.T.S.

**APPELLATION HOTEL**

**GALENA ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 788-1705  
email galena@galena-engineering.com

**PRELIMINARY NOT FOR CONSTRUCTION**

**THE APPELLATION HOTEL SUN VALLEY IDAHO**  
300 E RIVER ST  
KETCHUM, ID 83340

**REVIEW SET 08/30/22**

Design Review	14686
Project Number	092122
6560.04	

Hornberger + Worstell  
170 Main Lane, San Francisco, CA 94108  
Telephone: 415.391.1000  
Facsimile: 415.691.1872  
www.hornbergerworstell.com

**DETAIL SHEET**

**C1.2**

**NOT FOR CONSTRUCTION**

Project Number	14695
Design Review	09.21.22
Scale	

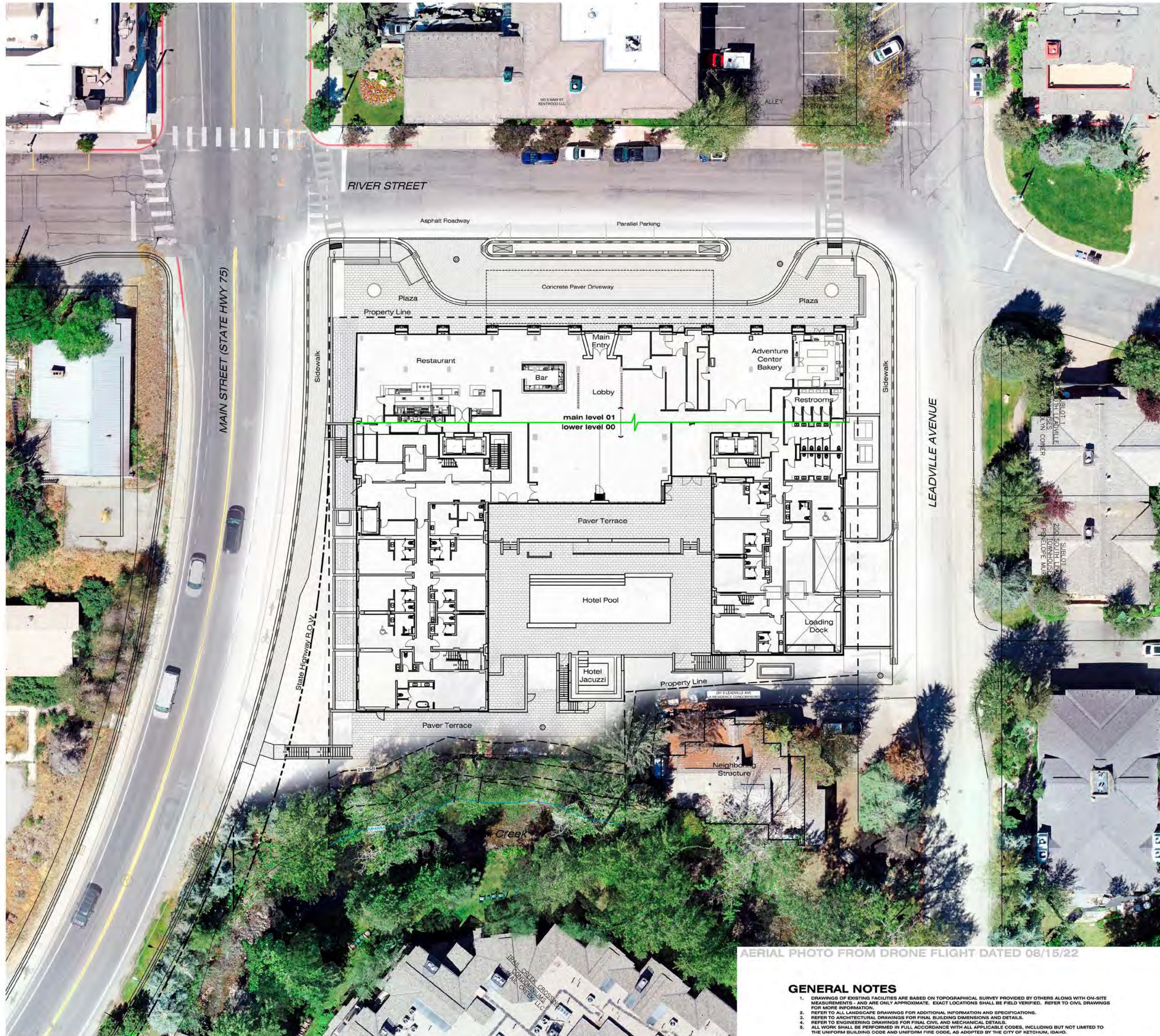
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**Hornberger + Worstell**  
175 Madson Lane, San Francisco, CA 94108  
Telephone +1 510 281 1000  
Facsimile +1 510 888 3512  
www.hornbergerworstell.com

**OVERALL  
SITE PLAN**

**L1.0**

**NOT FOR CONSTRUCTION**



AERIAL PHOTO FROM DRONE FLIGHT DATED 08/15/22

**GENERAL NOTES**

1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
2. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
3. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
4. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
5. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF KETCHUM, IDAHO.

**OVERALL SITE PLAN**

PLAN DATED: 09/01/22







RIVER STREET

MAIN STREET (STATE HWY 75)

PLANT LEGEND

	15	EVERGREEN TREES
	6 @ 10'	MUGO TANNENBAUM PINE, Pinus mugo Tannenbaum
	9 @ 15-20'	SISALPINE FIR, Abies lasiocarpa
	6 @ 22'	PONDEROSA PINE, Pinus ponderosa
	4	DECIDUOUS TREES
	4 @ 4'	ARMSTRONG MAPLE, Acer Freemanii
	18	DECIDUOUS TREES
	18 @ 3'	QUAKING ASPEN, Populus tremuloides
	63	SHRUBS
		SPECIES TO BE DETERMINED
	120	ORNAMENTAL GRASSES
		SPECIES TO BE DETERMINED
		PLANTING BEDS
		PERENNIALS + GROUNDCOVERS
		Beds Prepared with Planting Mix Consisting of 50% Compost/50% Top-Soil, and APEX Fertilizer or similar - Per Manufacturers Specified Application Rates.
		Fescue Grass Mix
		Planter Containers

LANDSCAPE + PLANTING NOTES

1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

LEGEND

	MASONRY SITE WALL
	Match Veneer Pattern of Architectural Stone
	MASONRY SITE COLUMN
	Match Veneer Pattern of Architectural Stone
	TERRACE PAVERS
	DRIVEWAY & SIDEWALK PAVERS

RESTORATION NOTES

1. DISTURBED AREAS WILL BE REPAIRED AS NECESSARY. EXISTING BOG STRUCTURES, AND DEBRIS WILL BE REMOVED FROM RIPARIAN SETBACK AREA, EXCEPT THAT WHICH IS DEEMED INTEGRAL OR NECESSARY TO MAINTAIN BANK STABILIZATION.
2. THE RIPARIAN AREA WILL BE RESTORED/ENHANCED WITH RIPARIAN PLANTINGS AS SHOWN AND ALL DISTURBED AREAS WILL BE RESEED WITH NATURAL GRASSES.
3. THE RIPARIAN RESTORATION INCLUDES ESTABLISHMENT OF UNDERSTORY PLANTINGS THAT WERE PREVIOUSLY REMOVED AND ARE CURRENTLY NOT PRESENT.
4. A CONSTRUCTION FENCE WILL BE PLACED ALONG THE RIPARIAN SETBACK PRIOR TO EXCAVATION.
5. ALL DISTURBED AREAS TO BE REVEGETATED AND IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM WHICH WILL BE LOCATED OUTSIDE THE 25' RIPARIAN ZONE.

RIPARIAN ENHANCEMENT PLANT LEGEND

	3	RIPARIAN TREES
	4 @ 2' CAL	MOUNTAIN ASH, Sorbus aucuparia
	1 @ 2' CAL	MOUNTAIN ALDER, Alnus incana
	28	RIPARIAN SHRUBS
	5 GAL	SERVICEBERRY, Amelanchier alnifolia
		DOGWOOD, Cornus alabastera
		SAGEBRUSH, Salix exigua
		ELDERBERRY, Sambucus racemosa
		GOOSEBERRY, Ribes satsum
		CREeping WILLOW, Salix oregona
		GOLDEN CURRANT, Ribes aurum
	20 GAL	PLANE WILLOW, Salix sp. 'Plane'
		RIPARIAN GRASS MIX
		STREAMBANK WHEATGRASS, Agropyron riparium,
		CANADIAN BLUEGRASS, Poa compressa
		IDAHO FESCUE, Festuca idahoensis
		GROUNDCOVER/ LOW SHRUBS @ 8' O.C.
		OREGON GRAPE HULLY, Mahonia repens
		MOUNTAIN LOVER, Pachytaria myrsinites
		WINTERGREEN, Gaultheria procumbens

**Harriman Hotel, LLC**

**Hornberger**

**Worstell**

LANDWORK STUDIO LLC  
LANDSCAPE ARCHITECTURE + DESIGN



APPELLATION / SUN VALLEY

300 EAST RIVER STREET, KETCHUM, IDAHO

Design Review 09.21.22

Project Number Scale

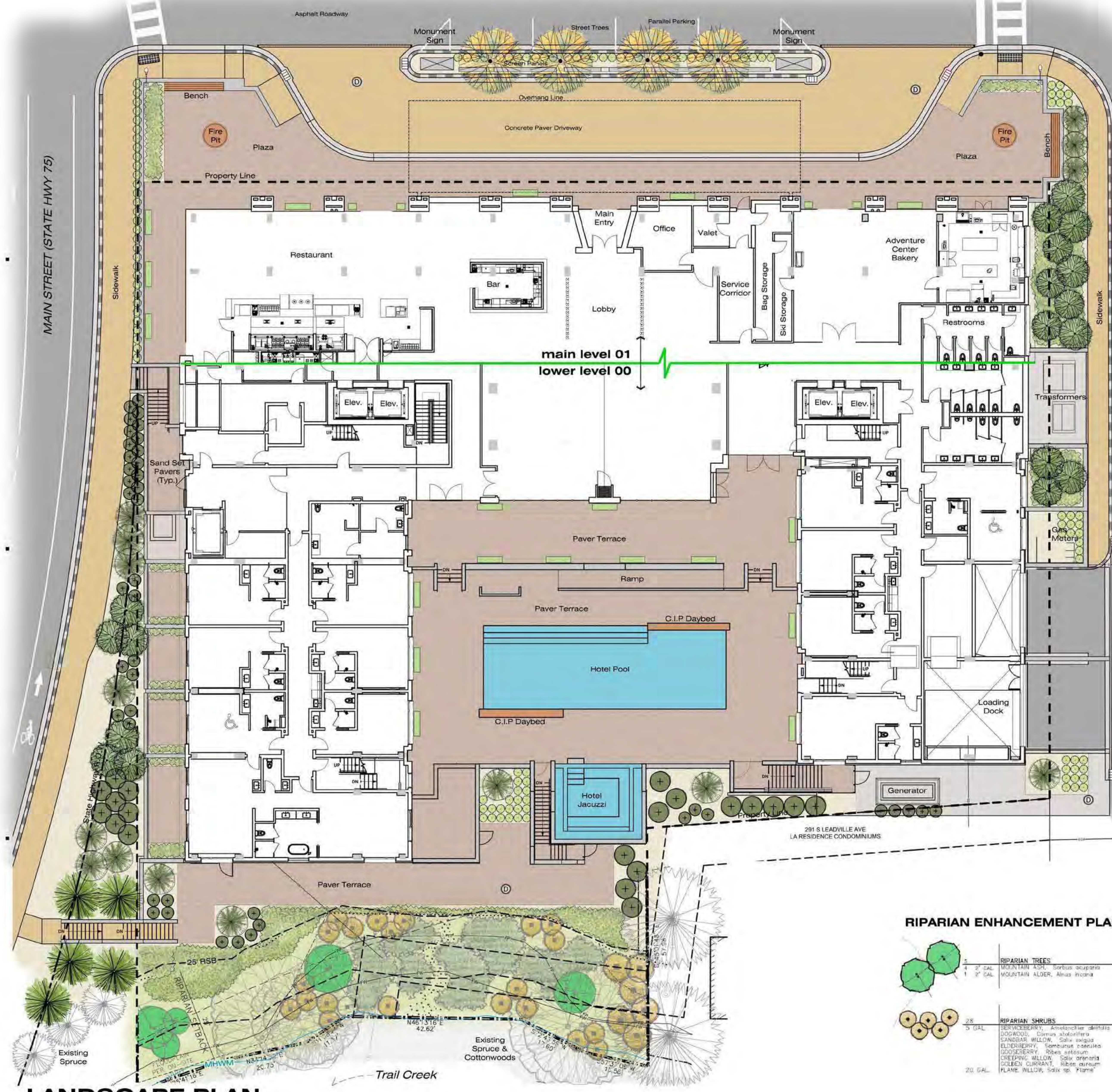
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LANDSCAPE PLAN

L3.0

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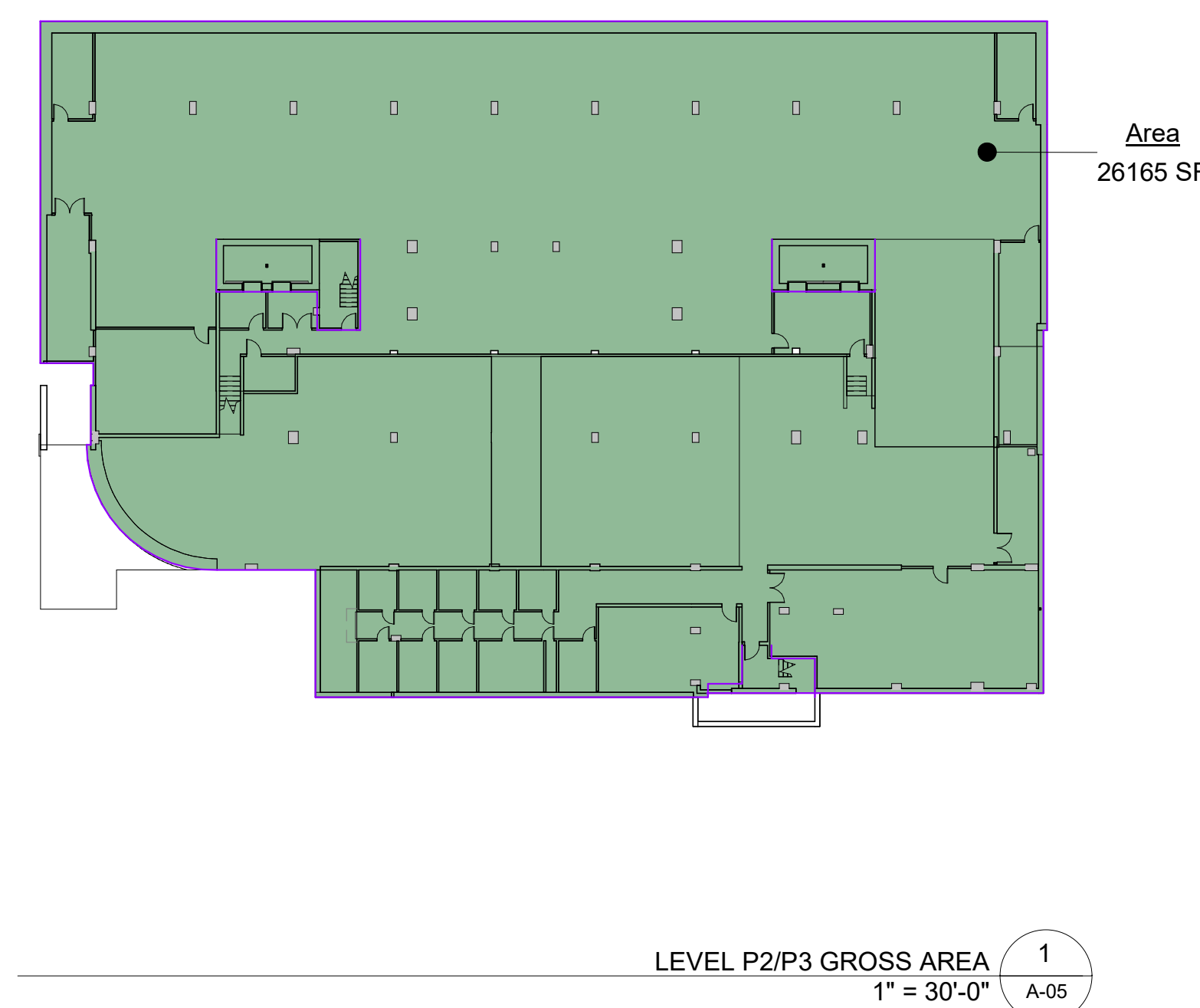
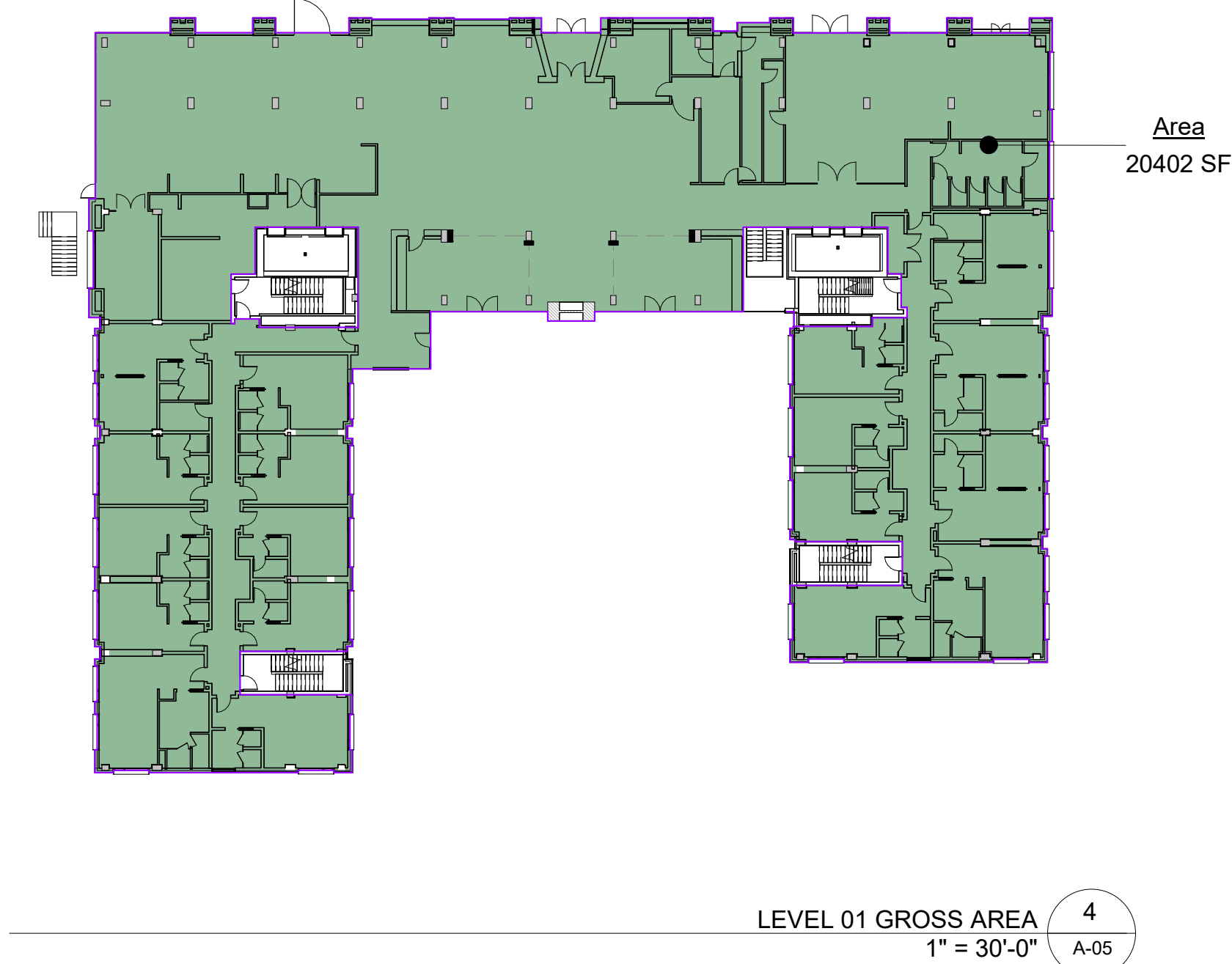
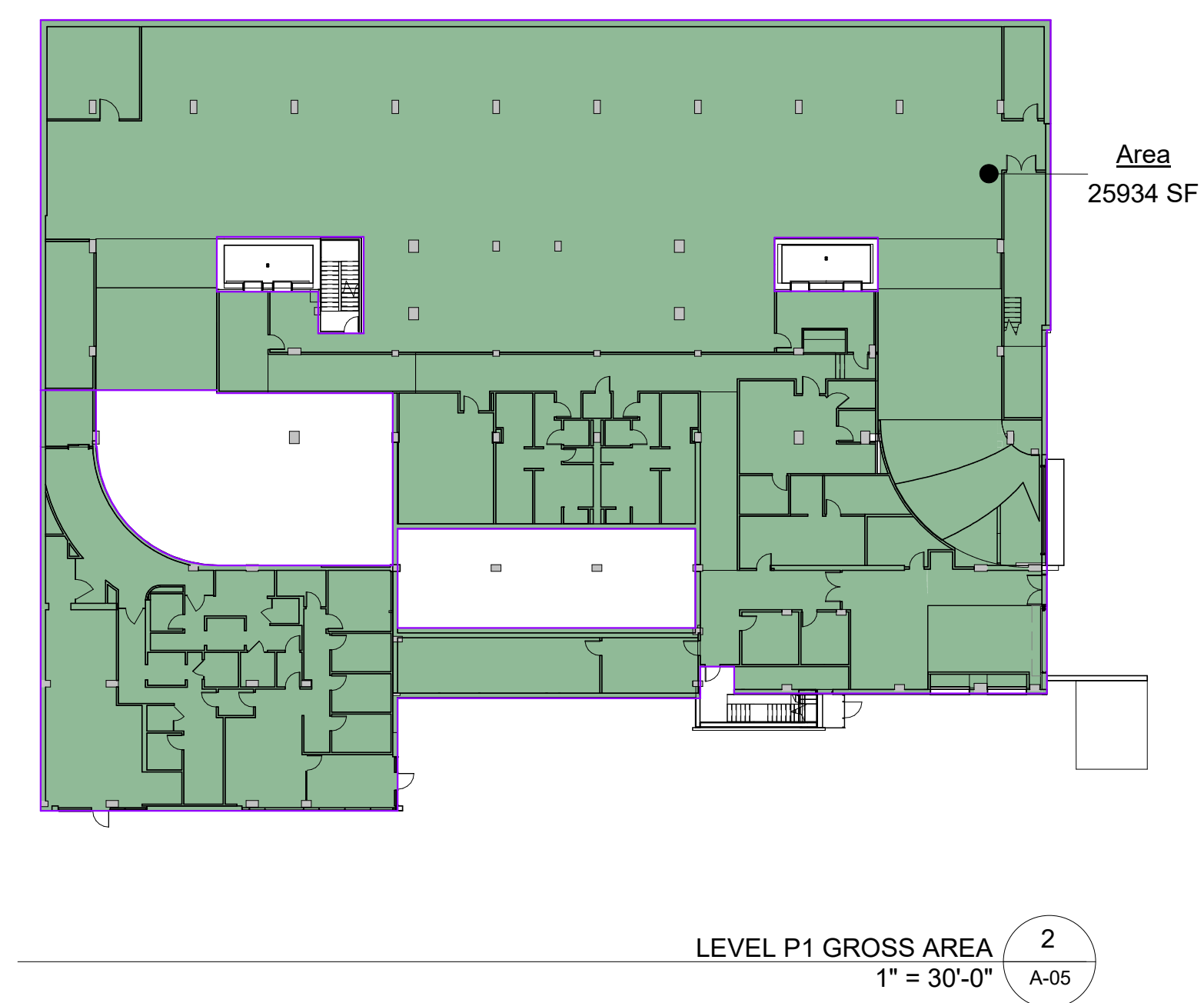
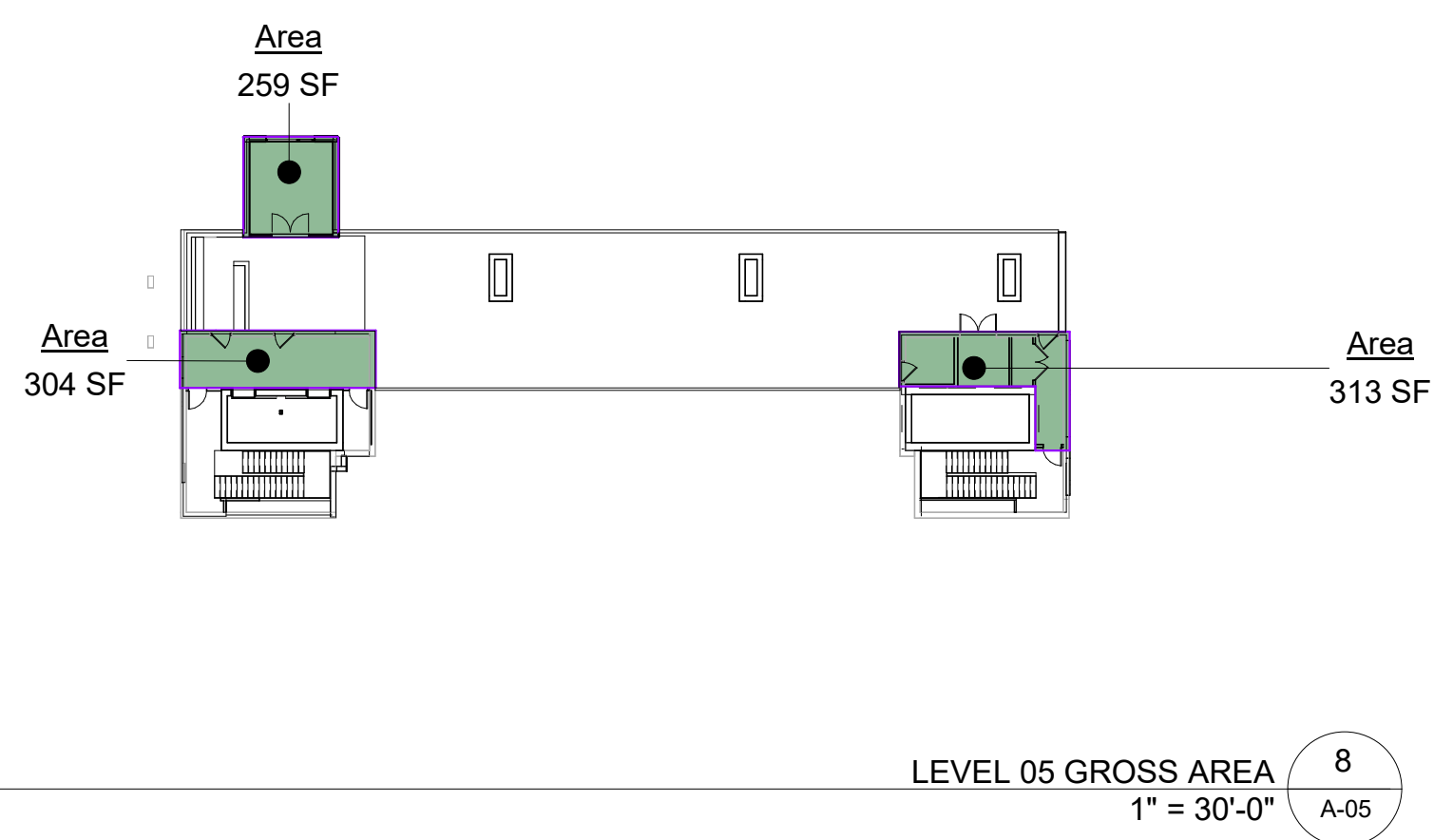
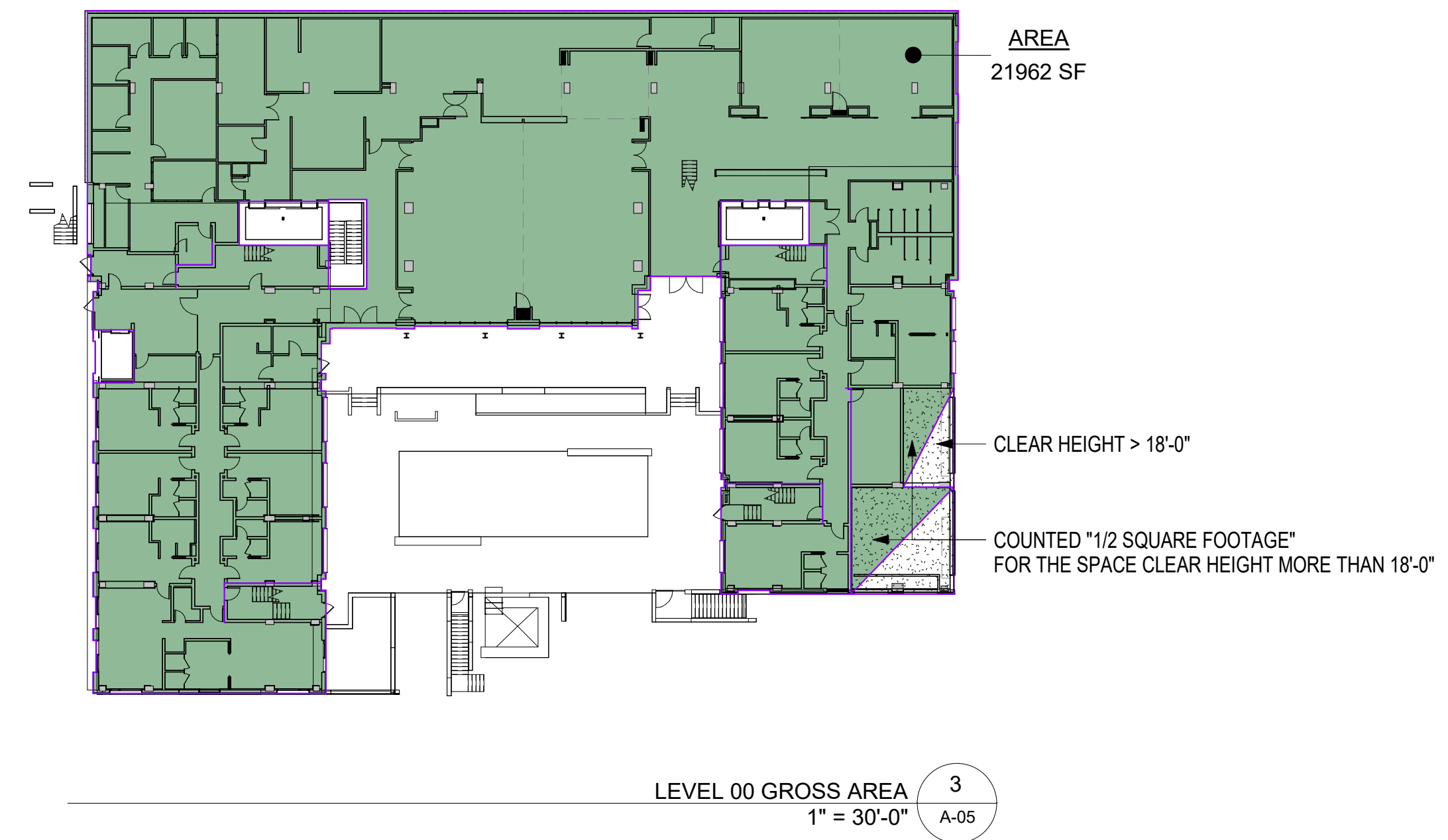
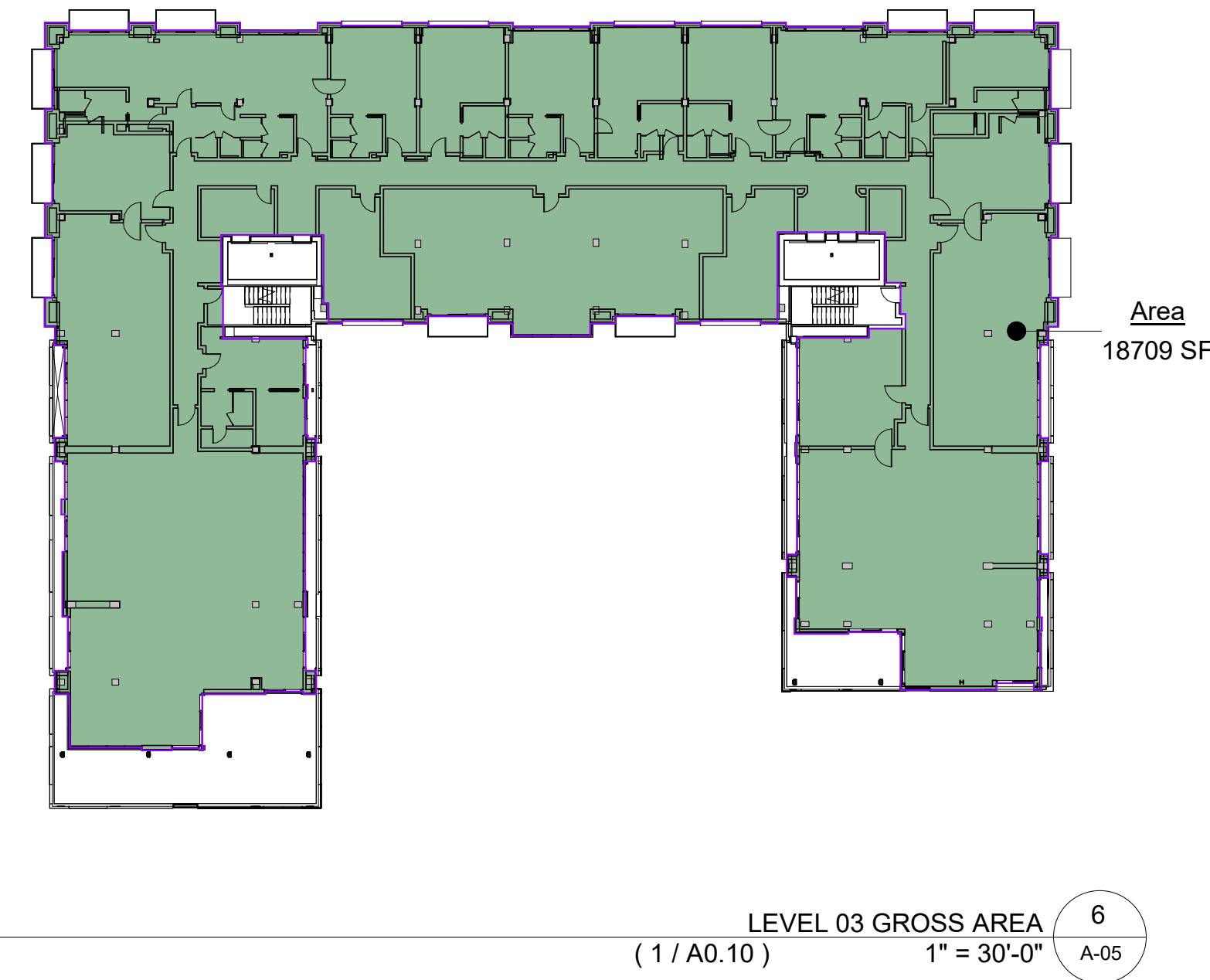
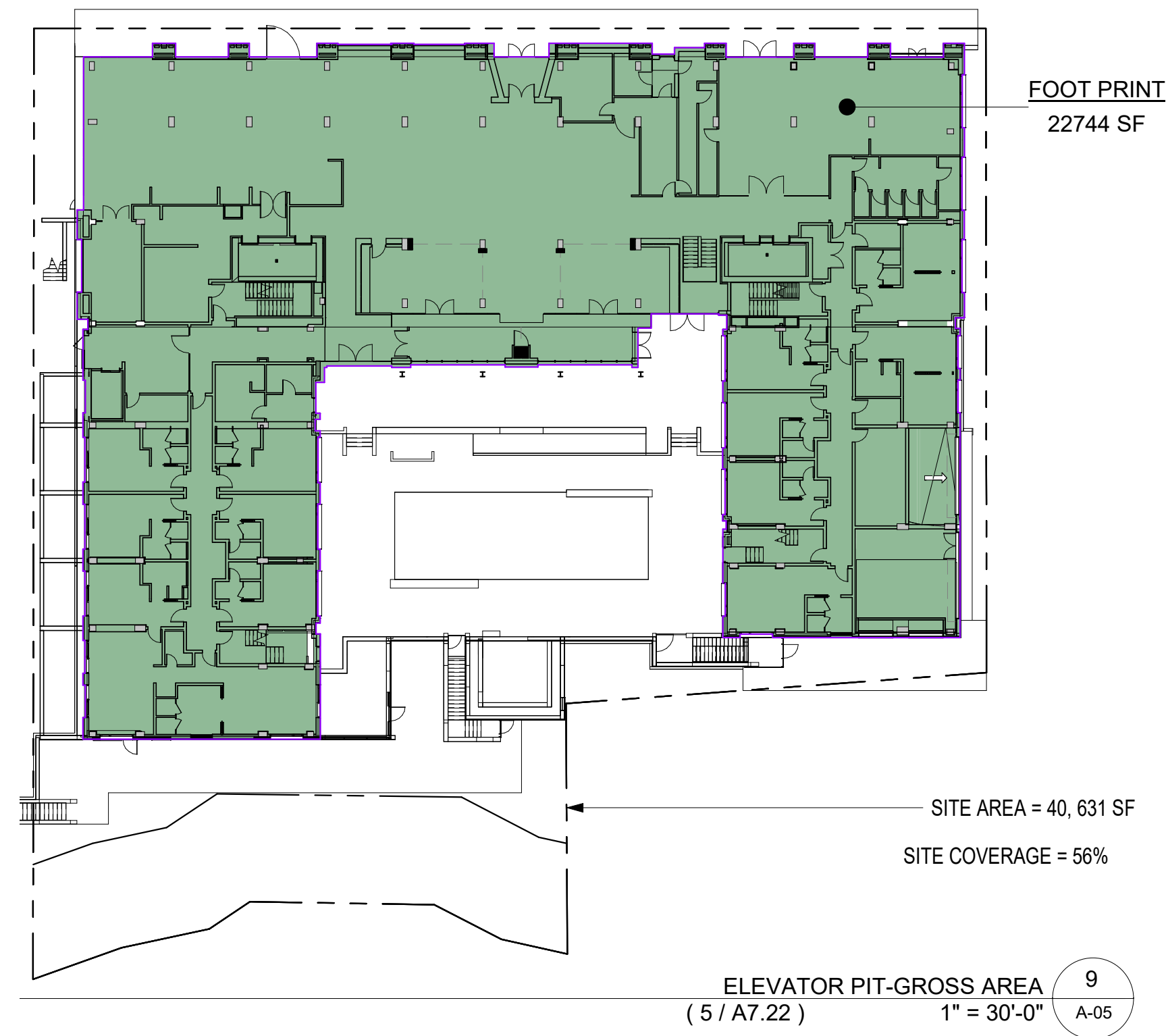
**LANDSCAPE PLAN**

PLAN DATED: 09/01/22

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# Gross Building Areas



- AREA MEASUREMENT CRITERIA**
1. OUTSIDE FACE OF EXTERIOR WALL
  2. FACE OF GLASS
  3. EXCLUDES ELEVATOR, STAIR, AND MECHANICAL SHAFTS

GROSS AREA	
Level	AREA
Level P3	26165 SF
Level P1	25934 SF
Level 00	21963 SF
Level 01	20403 SF
Level 02	20093 SF
Level 03	18709 SF
Level 04	13677 SF
Level 05	313 SF
Level 05	304 SF
Level 05	259 SF
	147820 SF

**Harriman  
Ketchum  
Hotel, LLC**

**Hornberger  
Worstell**

**APPELLATION**  
SUN VALLEY

Design Review	09.14.22
Design Review	09.21.22
Project Number	14695
Scale	
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# Site Open Area Calculations

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APPELLATION/SUN VALLEY OPEN AREA CALCULATIONS			
COLOR CODE	AREA	AREA in SF	PERCENTAGE OF SITE AREA
[Red]	TOTAL PROPERTY SITE	40,631 SF	100%
[Cyan]	BUILDING FOOTPRINT	22,744 SF	56%
[Light Blue]	GROSS OPEN AREA	17,877 SF	44%
[Orange]	DRIVEWAYS	277 SF	
[Light Blue]	SITE OPEN AREA	17,610 SF	43.3%
[Green]	PRIVATE DECKS & WALKWAYS	1,615 SF	4.0%
[Light Blue]	NET OPEN AREA, INCLUDING POOLS	15,995 SF	39.4%
[Hatched]	POOL AREAS	1,458 SF	
[Light Blue]	NET OPEN AREA, NOT INCLUDING POOLS	14,537 SF	35.8%

SITE AREA: 40, 631 SF  
BUILDING FOOT PRINT: 22, 744 SF

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Design Review 09.21.22

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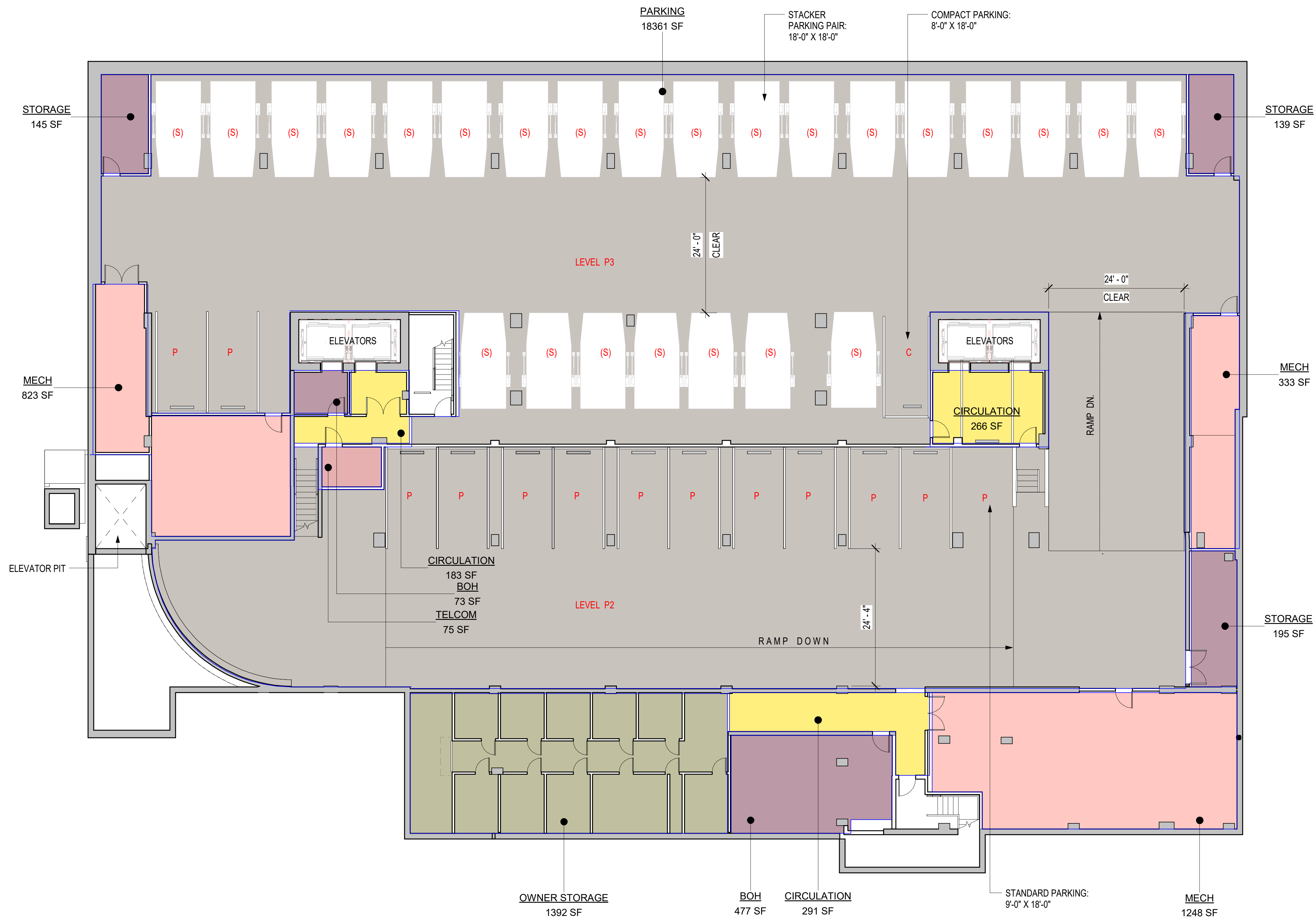
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# Level P2/P3 Plan

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Level P2/P3 Plan

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Parking	18,300		67 Spaces	S2
2	Mechanical, Telecom	2,479			S2
3	Owner Storage	1,392			S2
4	Service Lobby				
5	Storage	479			S2
6	Back of House	550			S2
7	Circulation	740			
8	Telecom				S2
<b>TOTAL AREA</b>		<b>23,940</b>	<b>26,165</b>		

LEVEL P3 PARKING SCHEDULE	
ACCESSIBLE	0
COMPACT	1
STANDARD	2
STACKERS (25 X 2)	50
VALET	0
<b>TOTAL PARKING</b>	<b>53</b>

LEVEL P2 PARKING SCHEDULE	
ACCESSIBLE	0
COMPACT	0
STANDARD	11
STACKERS (0 X 2)	0
VALET	0
<b>TOTAL PARKING</b>	<b>11</b>

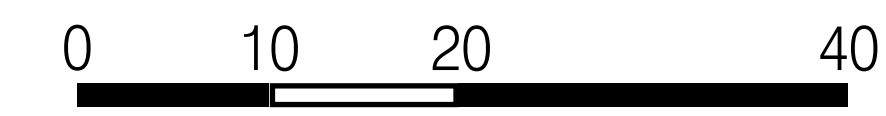
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SUN VALLEY

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Design Review	09.14.22
Design Review	09.21.22

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# Level P1 Plan

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Level P1 Plan		NSF	GSF	KEYS	OCCUPANCY
1	Parking	12,555		39 Spaces	S2
2	Mechanical, Electrical, Telecom	1,051			S2
3	Passenger Elevator				
4	Service Elevator				
5	Circulation	1,936			
6	Spa/Fitness	3,874			A3
7	Back of House	3,698			S1/S2
8	Loading Dock	898			S2
9	Storage	281			S2
<b>TOTAL AREA</b>		<b>24,293</b>	<b>25,934</b>		

24293 SF

LEVEL P1 PARKING SCHEDULE	
ACCESSIBLE	5
COMPACT	0
STANDARD	0
STACKERS (18 X 2)	36
VALET	0
<b>TOTAL PARKING</b>	<b>41</b>

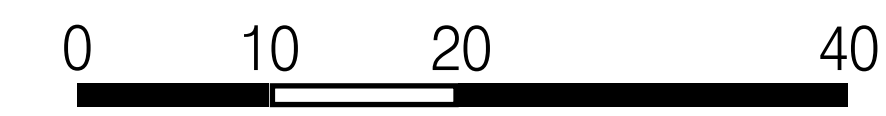
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APPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

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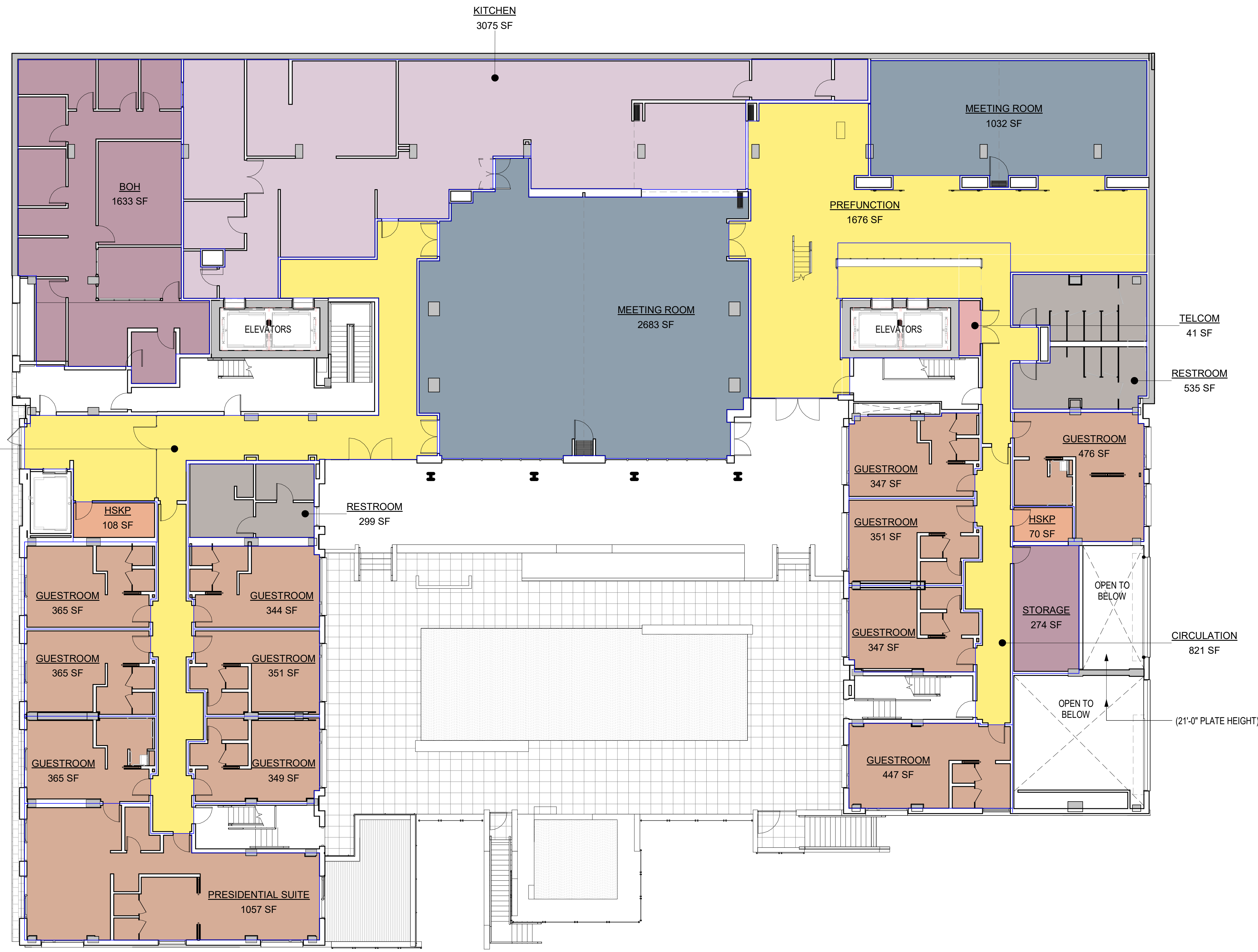
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# Level 0 Plan

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**Level 0 Plan**

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Meeting Room	3,715			A2
2	Mens + Womens Bathrooms	835			
3	Passenger Elevator				
4	Service Elevator				
5	Storage	274			S2
6	Circulation	2,377			
7	Prefunction	1,676			
8	Housekeeping	178			S2
9	Back of House	1,633			S2
10	Telecom	41			S2
11	Kitchen	3,075			B

Color Code	Guestroom Type	NSF	KEYS	OCCUPANCY
12	Guestroom	4,107	11	R1
13	Presidential Suite	1,057	1	R1
<b>TOTAL AREA + KEYS</b>		<b>18,968</b>	<b>21,528</b>	<b>12</b>

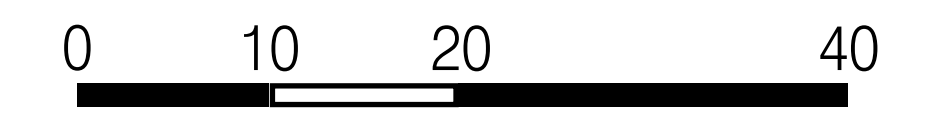
APPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

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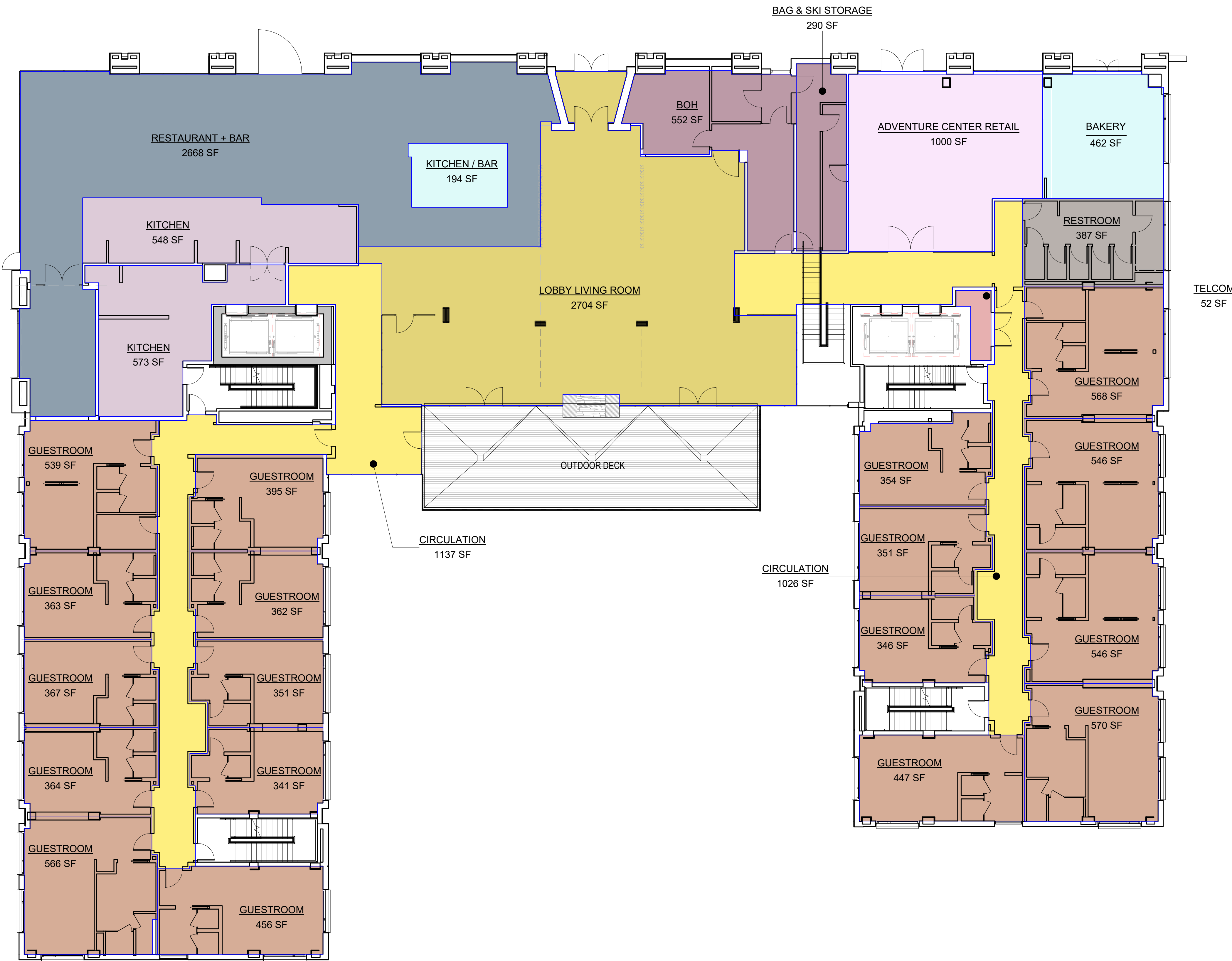
Approved for Construction: 08/18/22  
 Approved for Construction: 09/14/22  
 Approved for Construction: 09/21/22

# Level 1 Plan

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Level 1 Plan

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Restaurant (Bar+Seating)	2,668			A2
2	Kitchen	1,121			B
3	Kitchen/Bar/Bakery	656			B
4	Mens + Womens Bathrooms	387			
5	Circulation	2,163			
6	Back of House	552			B
7	Lobby/Living Room	2,704			
8	Bag & Skies Storage	290			S2
9	Adventure Center	1,000			B
10	Passenger Elevator				
11	Service Elevator				
12	Mechanical				
13	Telecom				S2
14	Exit Stairs				
Color Code	Guestroom Type				
15	Guestroom	7,832		18	R1
<b>TOTAL AREA + KEYS</b>		<b>19,373</b>	<b>20,402</b>	<b>18</b>	

APPELLATION  
SUN VALLEY

Design Review 09.14.22  
Design Review 09.21.22

Project Number 14695  
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# Level 2 Plan

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Level 2 Plan

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Circulation	2,626			
2	Housekeeping	148			S2
3	Passenger Elevator				
4	Service Elevator				
5	Electrical				S1
6	Exit Stairs				
	<b>TOTAL HOTEL SERVICES</b>	<b>2,774</b>			
Color Code	Guestroom Type	NSF	GSF	KEYS	OCCUPANCY
7	Guestroom	16,509		37	R1
	<b>TOTAL AREA + KEYS</b>	<b>19,283</b>	<b>20,093</b>	<b>37</b>	

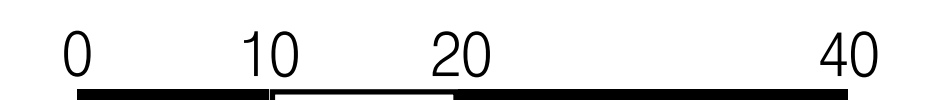
APPELLATION  
SUN VALLEY

Design Review 09.14.22  
Design Review 09.21.22

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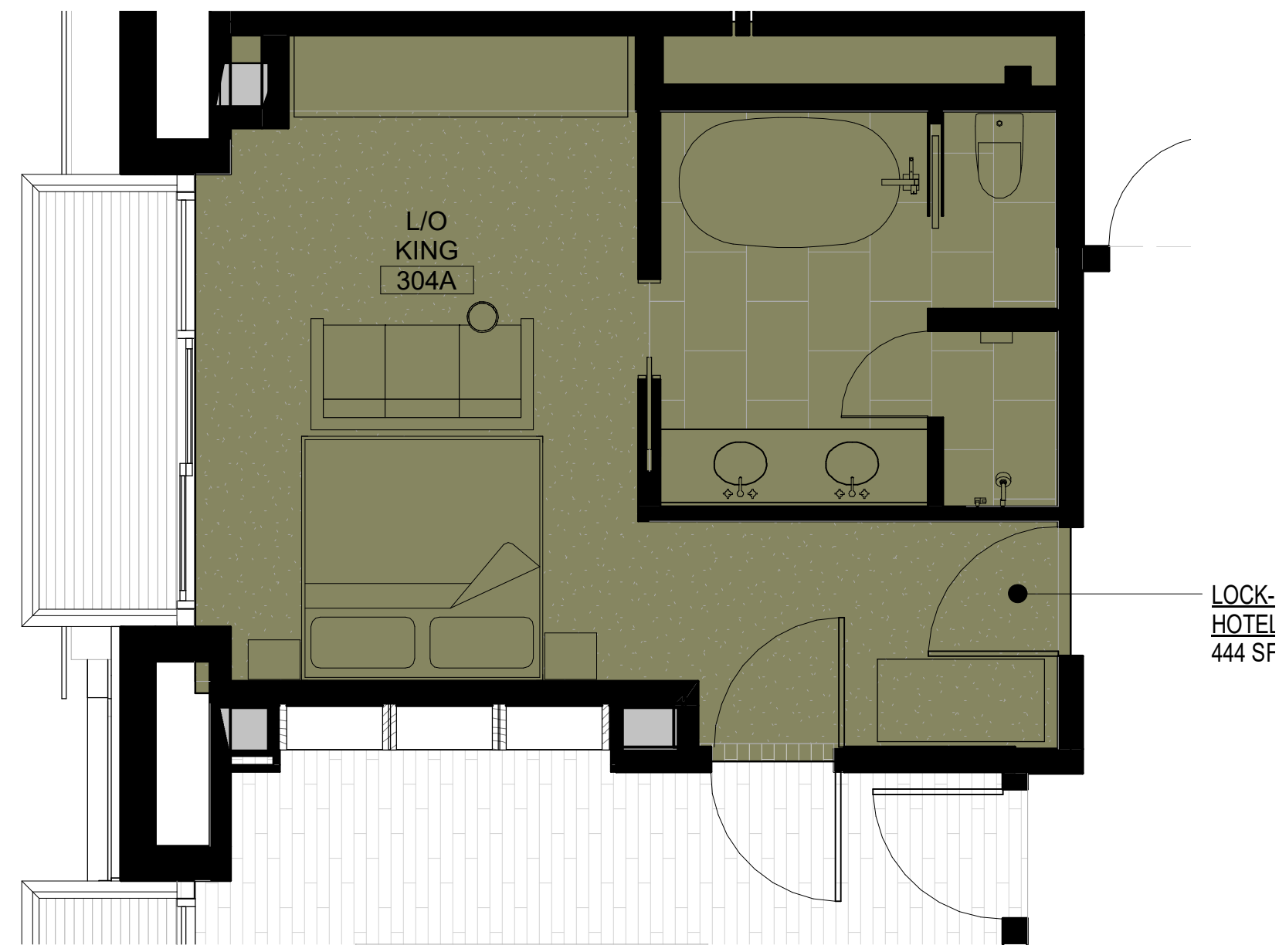
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A2.02

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# Level 3 Plan



LEVEL 3 LOCK-OFF UNIT LAYOUT  
1/4" = 1'-0" A-03



LEVEL 03 NET AREA  
1" = 10'-0" A-03

Level 3 Plan		NSF	GSF	KEYS	OCCUPANCY
1	Circulation	1,793			
2	Housekeeping	152			S2
3	Passenger Elevator				
4	Service Elevator				
5	Mechanical				S2
6	Exit Stairs				
TOTAL HHOTEL SERVICES		1,945			

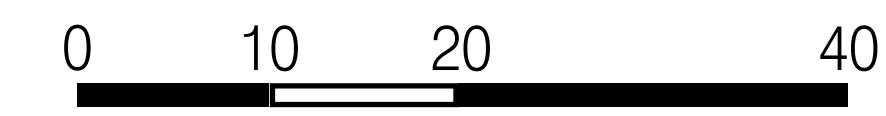
  

Color Code	Guestroom Type	NSF	KEYS	OCCUPANCY
7	Guestroom	2,643	6	R1
8	Lock-Off Hotel Keys	2,337	5	
TOTAL HOTEL KEYS			11	

Color Code	Condominium Type	NSF	KEYS	OCCUPANCY
9	2 Bedroom	8,028	5	R2
10	3 Bedroom	5,239	2	R2
TOTAL AREA + KEYS		13,267	7	

NOTE:  
"LOCK-OFF" AREA INCLUDED IN THE AREA SHOWN FOR EACH RESIDENCE.

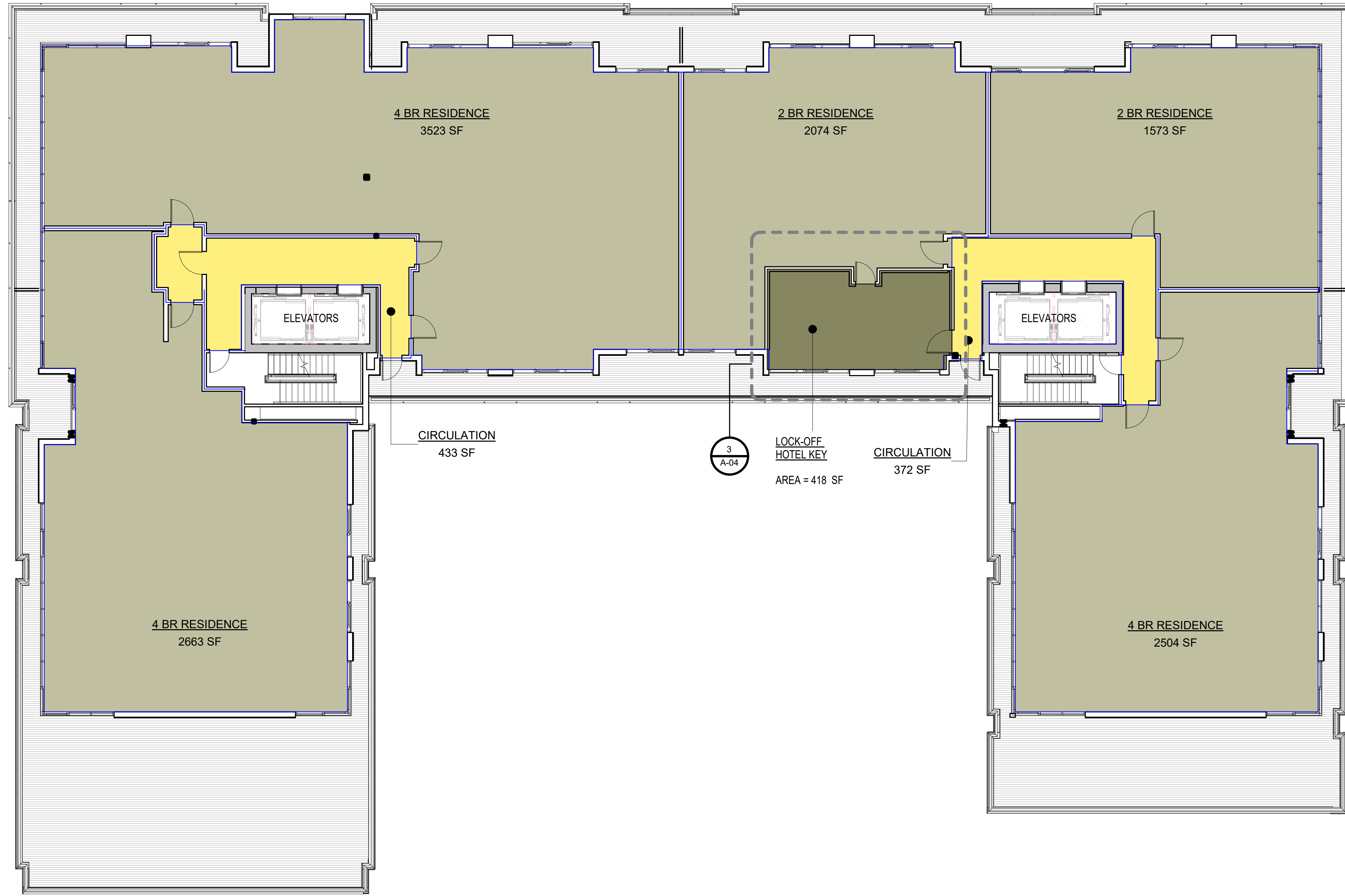


# Level 4 Plan

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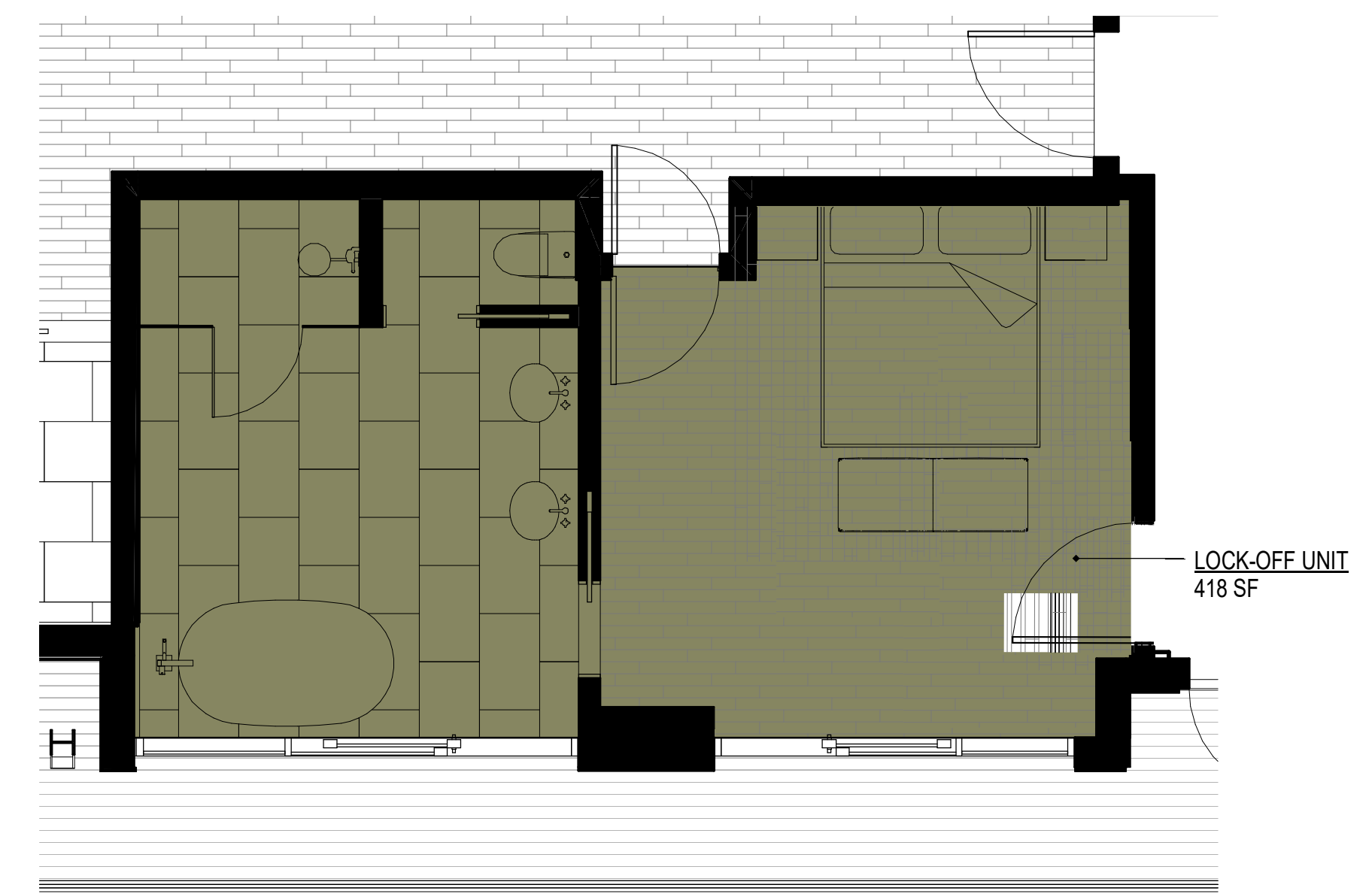
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LEVEL 04 NET AREA  
1" = 10'-0" 1 A-04

Level 4 Plan				NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name						
1	Circulation		805				
2	Passenger Elevator						
3	Service Elevator						
4	Exit Stairs						
Color Code	Guestroom Type						
5	Lock-Off Hotel Keys		418		1		
TOTAL HOTEL KEYS					1		
Color Code	Condominium Type						
6	Two Bedrooms		3,647		2	R2	
7	Four Bedrooms		8,690		3	R2	
TOTAL AREA + KEYS			12,337	13,676	5		

NOTE:  
"LOCK-OFF" AREA INCLUDED IN THE AREA SHOWN FOR EACH RESIDENCE.



LEVEL 4 LOCK-OFF UNIT LAYOUT  
1/4" = 1'-0" 3 A-04

APPPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number 14695 Scale

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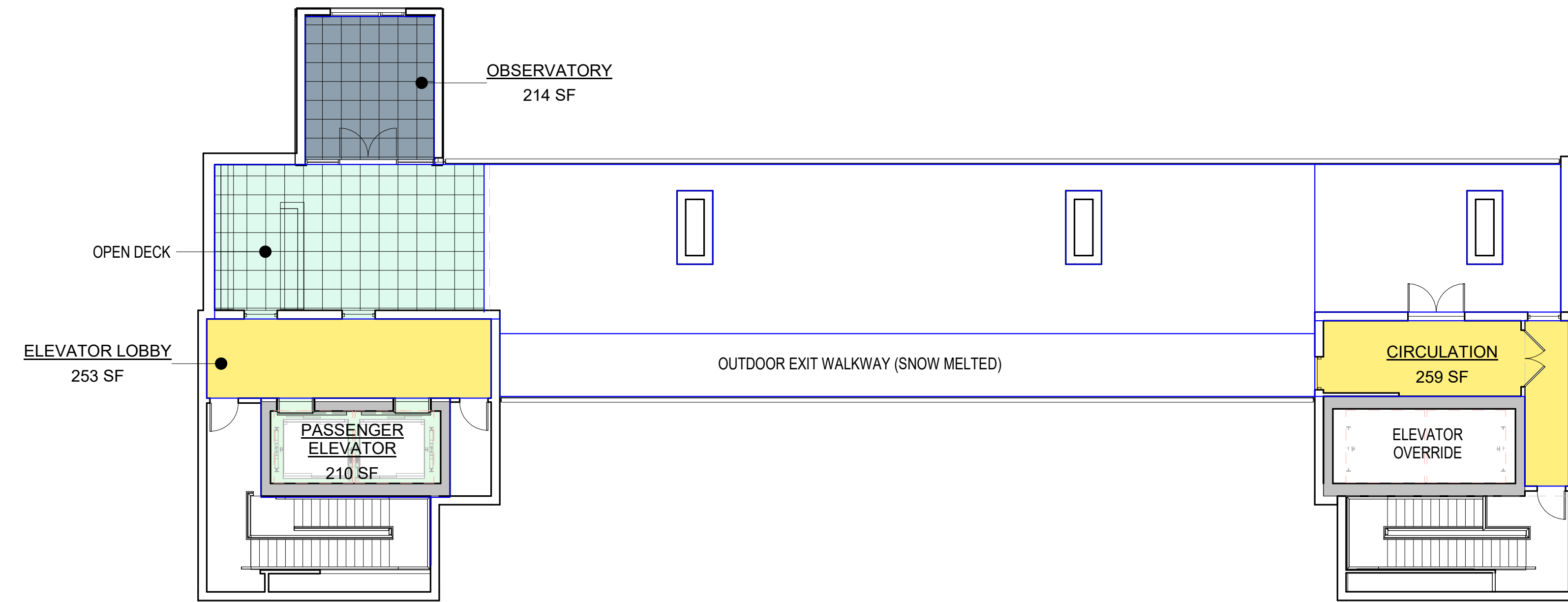
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A2.04

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# Level 5 Plan



LEVEL 05 NET AREA 2

Level 5 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Passenger Elevator				
2	Service Elevator				
3	Elevator Lobby/Circulation	512			
4	Observatory	214			A3
5	Open Deck				A3
6	Exit Stairs				
<b>TOTAL AREA + KEYS</b>		726	1,110	0	

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APPELLATION  
SUN VALLEY

Design Review 09.14.22  
Design Review 09.21.22

Project Number 14695 Scale

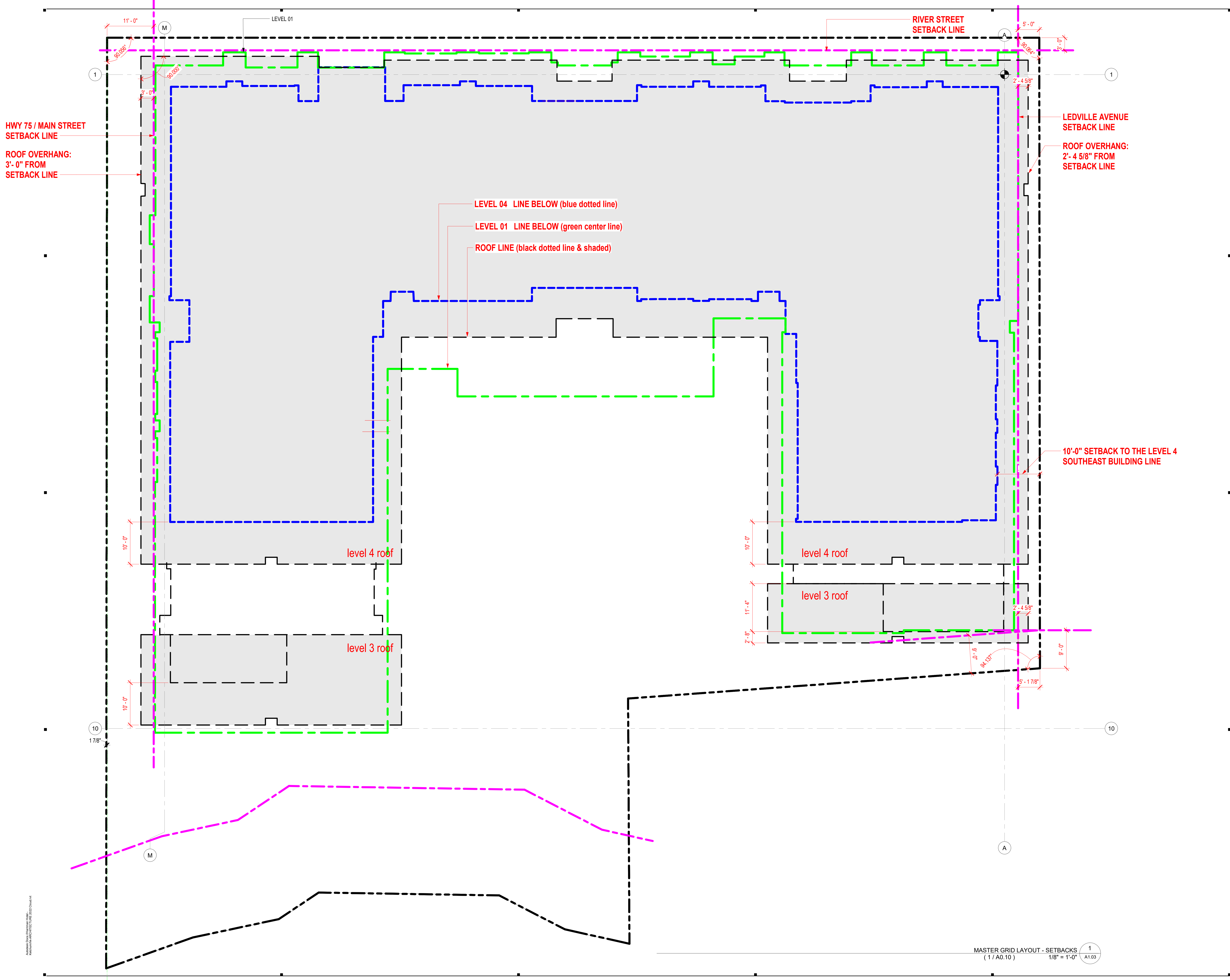
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A2.05

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HWY 75 / MAIN STREET  
SETBACK LINE

ROOF OVERHANG:  
3'- 0" FROM  
SETBACK LINE

RIVER STREET  
SETBACK LINE

LEDVILLE AVENUE  
SETBACK LINE

ROOF OVERHANG:  
2'- 4 5/8" FROM  
SETBACK LINE

LEVEL 04 LINE BELOW (blue dotted line)

LEVEL 01 LINE BELOW (green center line)

ROOF LINE (black dotted line & shaded)

10'-0" SETBACK TO THE LEVEL 4  
SOUTHEAST BUILDING LINE

level 4 roof

level 4 roof

level 3 roof

level 3 roof

MASTER GRID LAYOUT - SETBACKS  
( 1 / A0.10 )

1  
1/8" = 1'-0"  
A1.03

**Harriman  
Hotel, LLC**

**Hornberger**

**Worstell**

APPELLATION / SUN VALLEY

300 EAST RIVER STREET, KETCHUM, IDAHO

Project Number  
14695

Scale  
1/8" = 1'-0"

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BUILDING / ROOF  
SETBACKS

A1.03

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# Summary Statistics

Level 0 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Meeting Room	3,715			A2
2	Mens + Womens Bathrooms	835			
3	Passenger Elevator				
4	Service Elevator				
5	Storage	274			S2
6	Circulation	2,377			
7	Prefunction	1,676			
8	Housekeeping	178			S2
9	Back of House	1,633			S2
10	Telecom	41			S2
11	Kitchen	3,075			B
Color Code	Guestroom Type				
12	Guestroom	4,107		11	R1
13	Presidential Suite	1,057		1	R1
TOTAL AREA + KEYS		18,968	21,526	12	

Level 4 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Circulation	805			
2	Passenger Elevator				
3	Service Elevator				
4	Exit Stairs				
Color Code	Guestroom Type				
5	Lock-Off Hotel Keys	418		1	
TOTAL HOTEL KEYS				1	
Color Code	Condominium Type				
6	Two Bedrooms	3,647		2	R2
7	Four Bedrooms	8,690		3	R2
TOTAL AREA + KEYS		12,337	13,676	5	

Parking Summary (cars per level)		Accessible	Compact	Standard	Stacker	Valet
Color Code	Program Space Name					
1	River Street Parking	0	0	4	0	0
2	P1 Parking Level	5	0	0	36	0
3	P2 Parking Level	0	0	11	0	0
4	P3 Parking Level	0	1	2	50	0
SUB-TOTAL PER TYPE		5	1	17	86	0
GRAND TOTAL PARKING SPACES						109

Level 1 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Restaurant (Bar+Seating)	2,668			A2
2	Kitchen	1,121			B
3	Kitchen/Bar/Bakery	656			B
4	Mens + Womens Bathrooms	387			
5	Circulation	2,163			
6	Back of House	552			B
7	Lobby/Living Room	2,704			
8	Bag & Skies Storage	290			S2
9	Adventure Center	1,000			B
10	Passenger Elevator				
11	Service Elevator				
12	Mechanical				
13	Telecom				S2
14	Exit Stairs				
Color Code	Guestroom Type				
15	Guestroom	7,832		18	R1
TOTAL AREA + KEYS		19,373	20,402	18	

Level 5 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Passenger Elevator				
2	Service Elevator				
3	Elevator Lobby/Circulation	512			
4	Observatory	214			A3
5	Open Deck				A3
6	Exit Stairs				
TOTAL AREA + KEYS		726	1,110	0	

Guestroom Summary Levels 00 - 04		NSF	GSF	KEYS
Color Code	Guestroom Type			
	Guestroom	32,148		73
	Condo Lock-off Keys	2,755		6
TOTAL AREA + KEYS		34,903		79

Condominiums Summary Level L3-L4		NSF	GSF	KEYS
Color Code	Condominium Type			
	Two Bedroom	11,675		7
	Three Bedroom	5,239		2
	Four Bedroom	8,690		3
TOTAL AREA + CONDOMINIUMS		25,604		12

Level 2 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Circulation	2,626			
2	Housekeeping	148			S2
3	Passenger Elevator				
4	Service Elevator				
5	Electrical				S1
6	Exit Stairs				
TOTAL HOTEL SERVICES		2,774			
Color Code	Guestroom Type				
7	Guestroom	16,509		37	R1
TOTAL AREA + KEYS		19,283	20,093	37	

Level P1 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Parking	12,555		39 Spaces	S2
2	Mechanical, Electrical, Telecom	1,051			S2
3	Passenger Elevator				
4	Service Elevator				
5	Circulation	1,936			
6	Spa/Fitness	3,874			A3
7	Back of House	3,698			S1/S2
8	Loading Dock	898			S2
9	Storage	281			S2
TOTAL AREA		24,293	25,934		

Level 3 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Circulation	1,793			
2	Housekeeping	152			S2
3	Passenger Elevator				
4	Service Elevator				
5	Mechanical				S2
6	Exit Stairs				
TOTAL HHOTEL SERVICES		1,945			
Color Code	Guestroom Type				
7	Guestroom	2,643		6	R1
8	Lock-Off Hotel Keys	2,337		5	
TOTAL HOTEL KEYS				11	
Color Code	Condominium Type				
9	2 Bedroom	8,028		5	R2
10	3 Bedroom	5,239		2	R2
TOTAL AREA + KEYS		13,267	18,709	7	

Level P2/P3 Plan		NSF	GSF	KEYS	OCCUPANCY
Color Code	Program Space Name				
1	Parking	18,300		67 Spaces	S2
2	Mechanical, Telecom	2,479			S2
3	Owner Storage	1,392			S2
4	Service Lobby				
5	Storage	479			S2
6	Back of House	550			S2
7	Circulation	740			
8	Telecom				S2
TOTAL AREA		23,940	26,165		

# North Elevation

**Harriman  
Ketchum  
Hotel, LLC**

**Hornberger**

*Worstell*



**RIVER STREET**

**APPELLATION**  
SUN VALLEY

Design Review 09.14.22  
Design Review 09.21.22

Project Number 14695 Scale

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Telephone: 415.391.1980  
www.hornbergerworstell.com

**Design Review:  
North Elevation**

**A3.01**

**NOT FOR CONSTRUCTION**

Approved for Construction by the City of San Francisco on 09/21/22

# East Elevation

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell



**A**  
APPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number	Scale
14695	

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Design Review:  
East Elevation

A3.02

NOT FOR CONSTRUCTION



# South Elevation

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell



**A**  
APPELLATION  
SUN VALLEY

Update	Scale
Design Review	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number: 14695

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Design Review:  
South Elevation

A3.03

NOT FOR CONSTRUCTION

# West Elevation



**Harriman  
Ketchum  
Hotel, LLC**

**Hornberger**

**Worstell**

**APPELLATION**  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number	14695
Scale	

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**Design Review:  
West Elevation**

**A3.04**

**NOT FOR CONSTRUCTION**

# Building Elevation Comparison - North

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell



**2008 APPROVED DESIGN**



**PROPOSED 2022 APPELLATION DESIGN**

**A**  
APPELLATION  
SUN VALLEY

Design Review 09.14.22  
Design Review 09.21.22

Project Number 14695  
Scale Not to Scale.

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Design Review:  
Elevation  
Comparison:  
North

A3.11



APPELLATION SUN VALLEY PROJECT 2022 CONCEPT

NOT FOR CONSTRUCTION

# Building Elevation Comparison - East

Harriman  
Ketchum  
Hotel, LLC

Hornberger

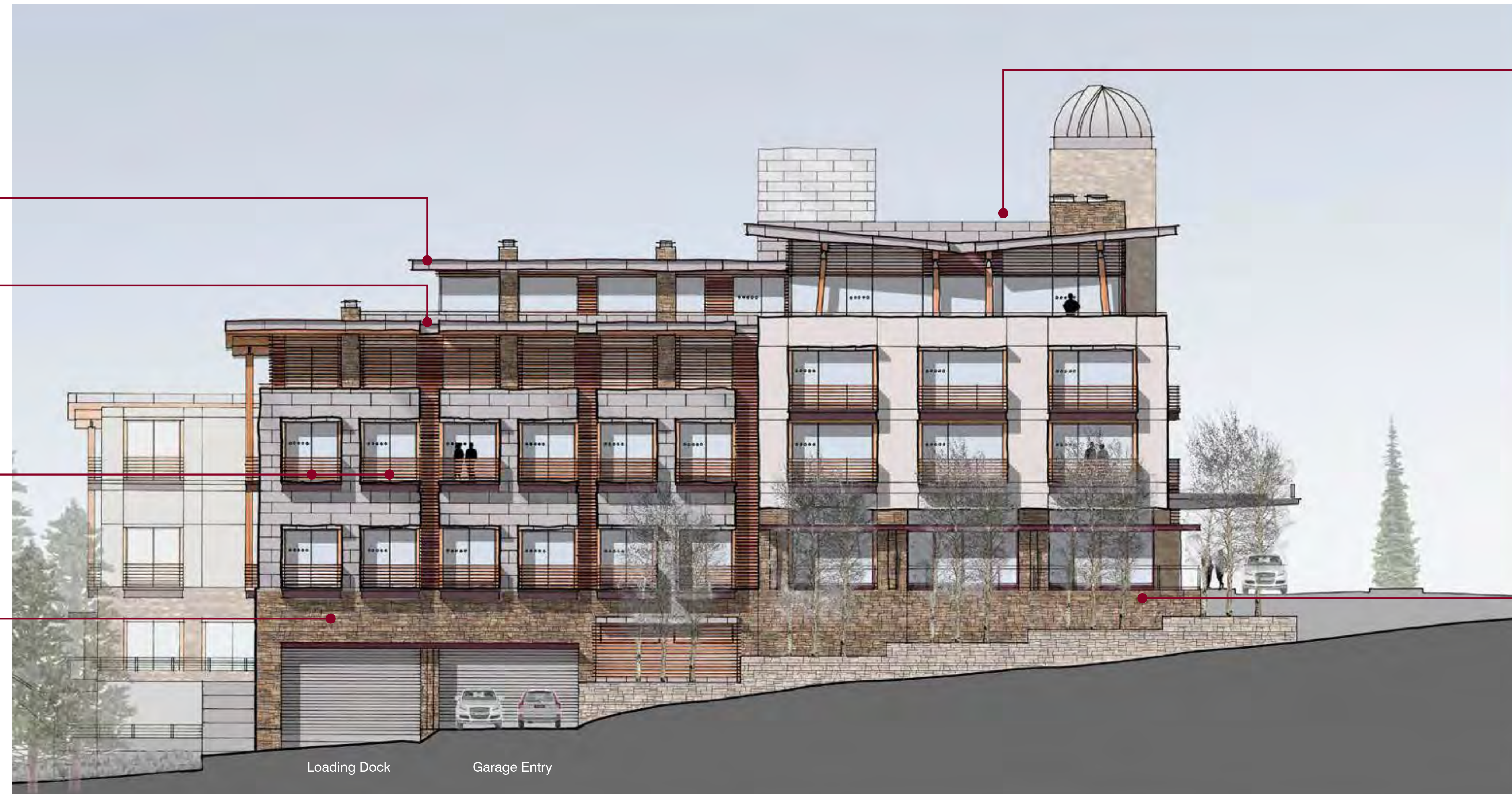
Worstell

(Conceptual  
Roof Edge)

(Parapet Edge)

(Balconies)

(Stone Veneer)



**2008 APPROVED DESIGN**

(No East  
Stair to Roof)

(Stone Veneer)

Expressed  
Roof Edge/Eaves

Parapet Railing  
Revised

Metal Panel

Concrete  
Board Form  
Stone



**PROPOSED 2022 APPELLATION DESIGN**

Elevator & Stair at  
Penthouse/East  
per Code

T.O. Observatory  
5906' - 0"

Level 05  
5897' - 8"

Level 04  
5871' - 3"

Level 03  
5859' - 0"

Level 02  
5848' - 0"

Level 01  
5833' - 0"

Level 00  
5819' - 0"

Level P1  
5800' - 0"

58' Roof Plane

75' Top of Observatory

APPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number	14695	Scale	Not to Scale.
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Design Review:  
Elevation  
Comparison:  
East

A3.12

1/8" = 1'-0"  
2' 4' 8' 16'

Approved for Construction 08/18/2022

NOT FOR CONSTRUCTION

# Building Elevation Comparison - South

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell



2008 APPROVED DESIGN



PROPOSED 2022 APPELLATION DESIGN

APPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number	Scale
14695	

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Design Review:  
Elevation  
Comparison:  
South

A3.13



NOT FOR CONSTRUCTION

# Building Elevation Comparison - West

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell



(Parapet Edge)

(Balconies)

(Stone Veneer)

(Original Fenestration)

2008 APPROVED DESIGN



Balconies  
Remain

Board Form  
Site Wall

Revised Parapet  
Railing

Board Form  
Site Wall  
for Sound  
Isolation

PROPOSED 2022 APPELLATION DESIGN

APPELLATION  
SUN VALLEY

Update	08.18.22
Design Review	09.14.22
Design Review	09.21.22

Project Number	14895
Scale	Not to Scale.

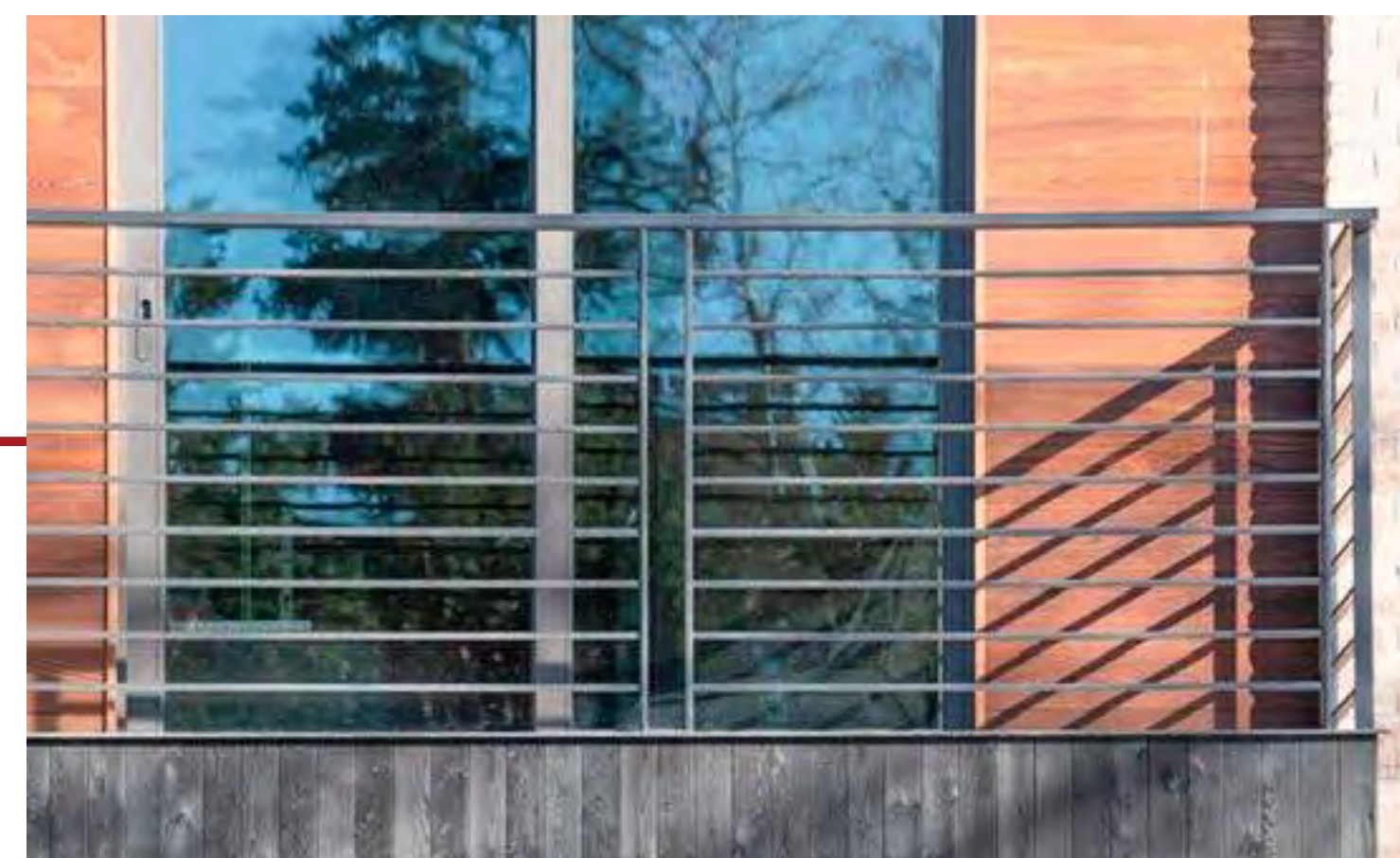
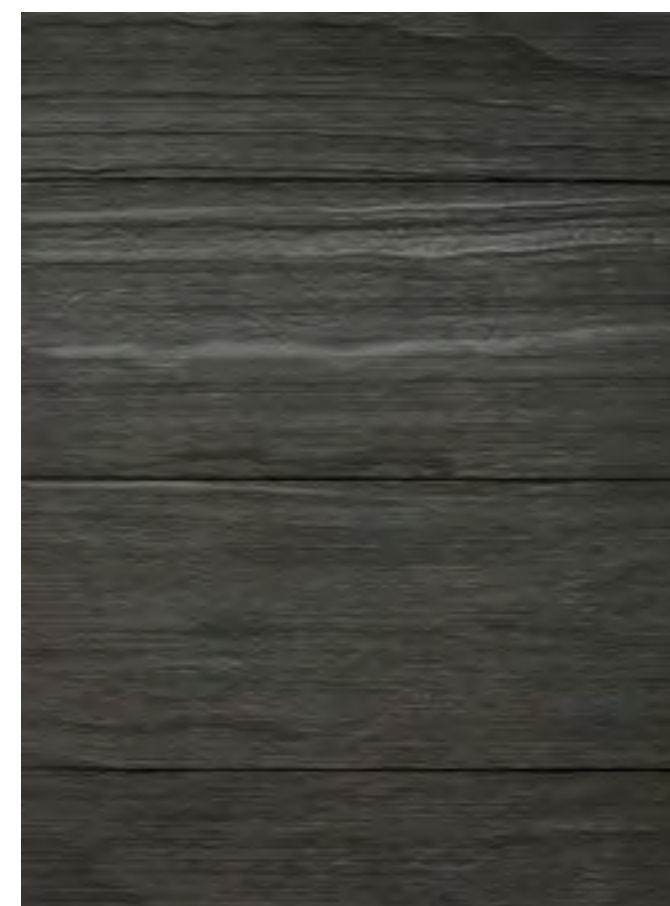
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Design Review:  
Elevation  
Comparison:  
West

A3.14

NOT FOR CONSTRUCTION

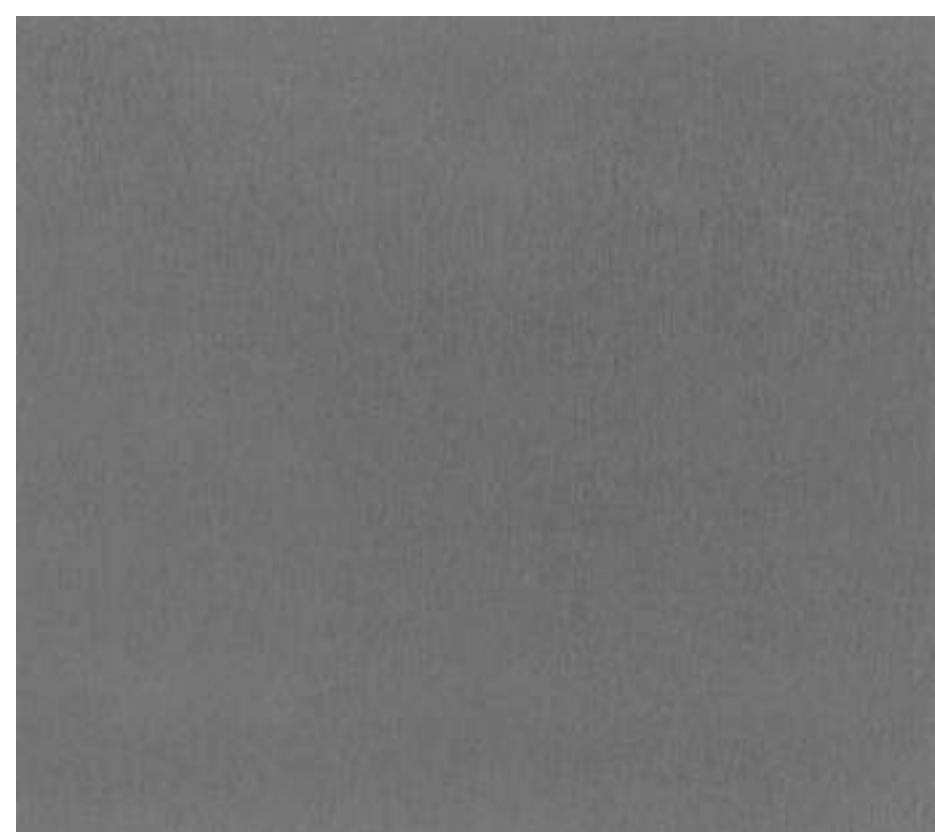


**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.

**WOOD CLADDING** - Accoya | Saguro | Delta Black  
Western Red Cedar | SSB | Wolverine  
Western Red Cedar | SSB | Kodiak  
Basis of Design: Delta Millworks.

**STEEL GUARD RAILINGS** - galvanized and painted.

**CEMENT PLASTER** - 3-coat system,  
hard-troweled finish with 100% acrylic topcoat finish.



**METAL PANELS** - 24" X 60" with PVDF finish.  
Basis of Design: EN-V Architectural Metal  
Panel System.



**Partial North Elevation**



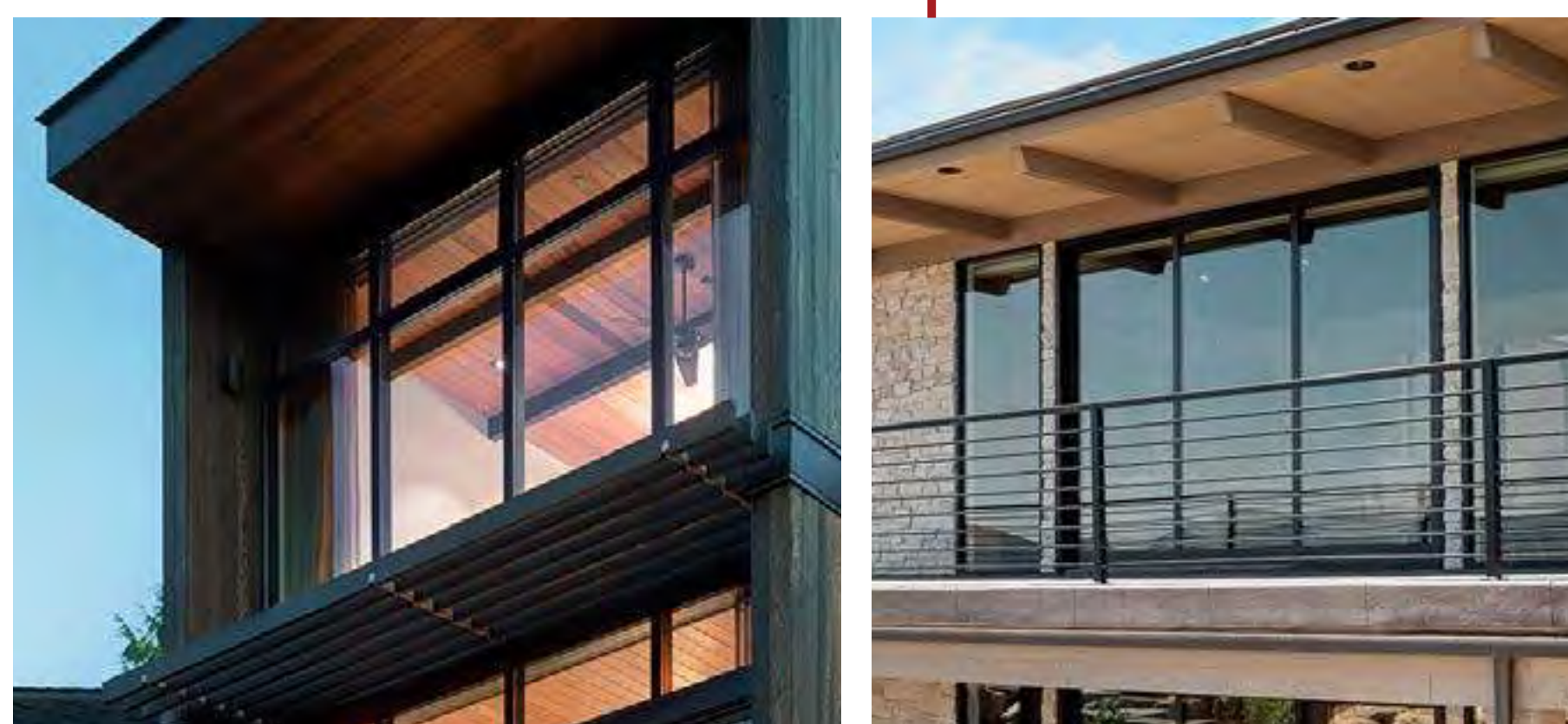
**Perspective - Building Massing**



**STONE VENEER** - Natural stone with stainless steel masonry anchor system.  
Montana Moss Rock or Basalt



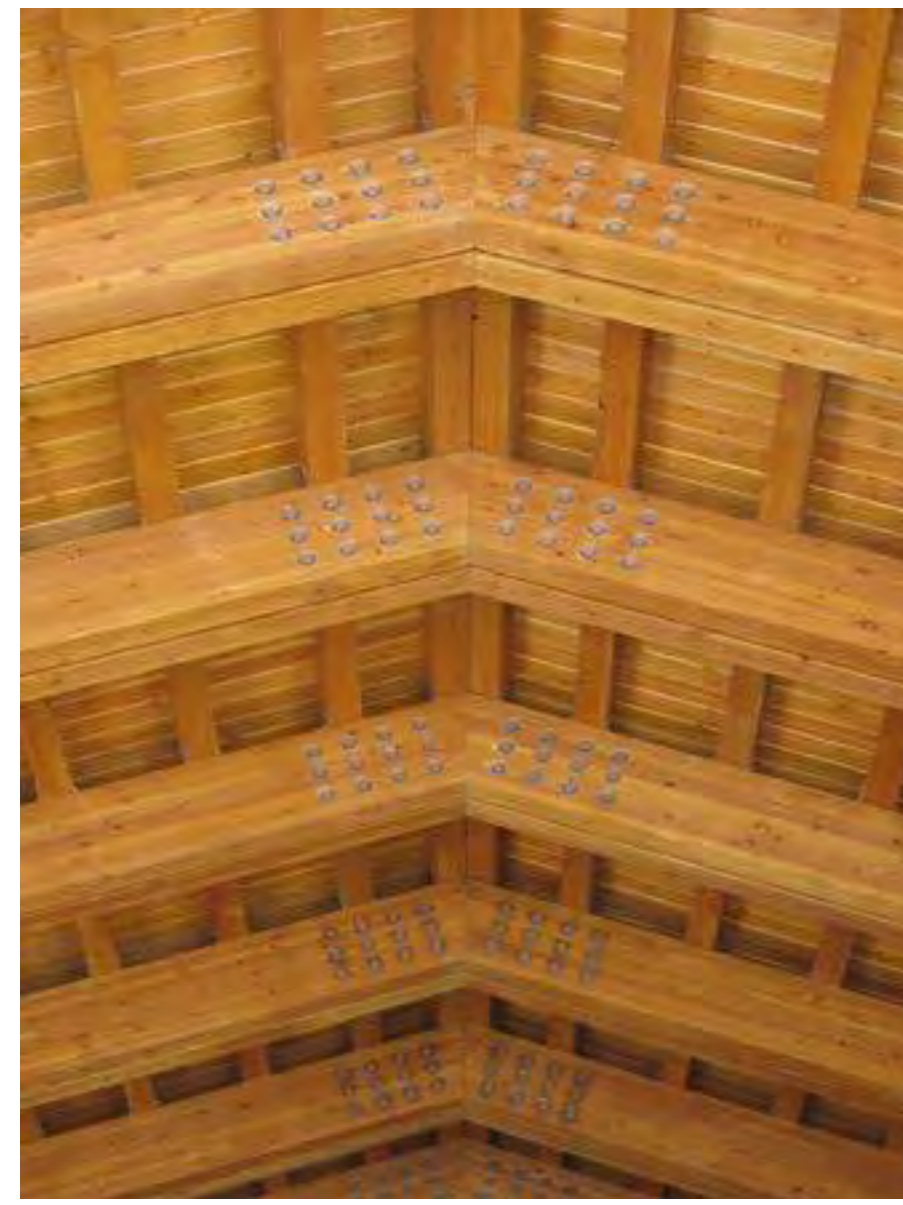
**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



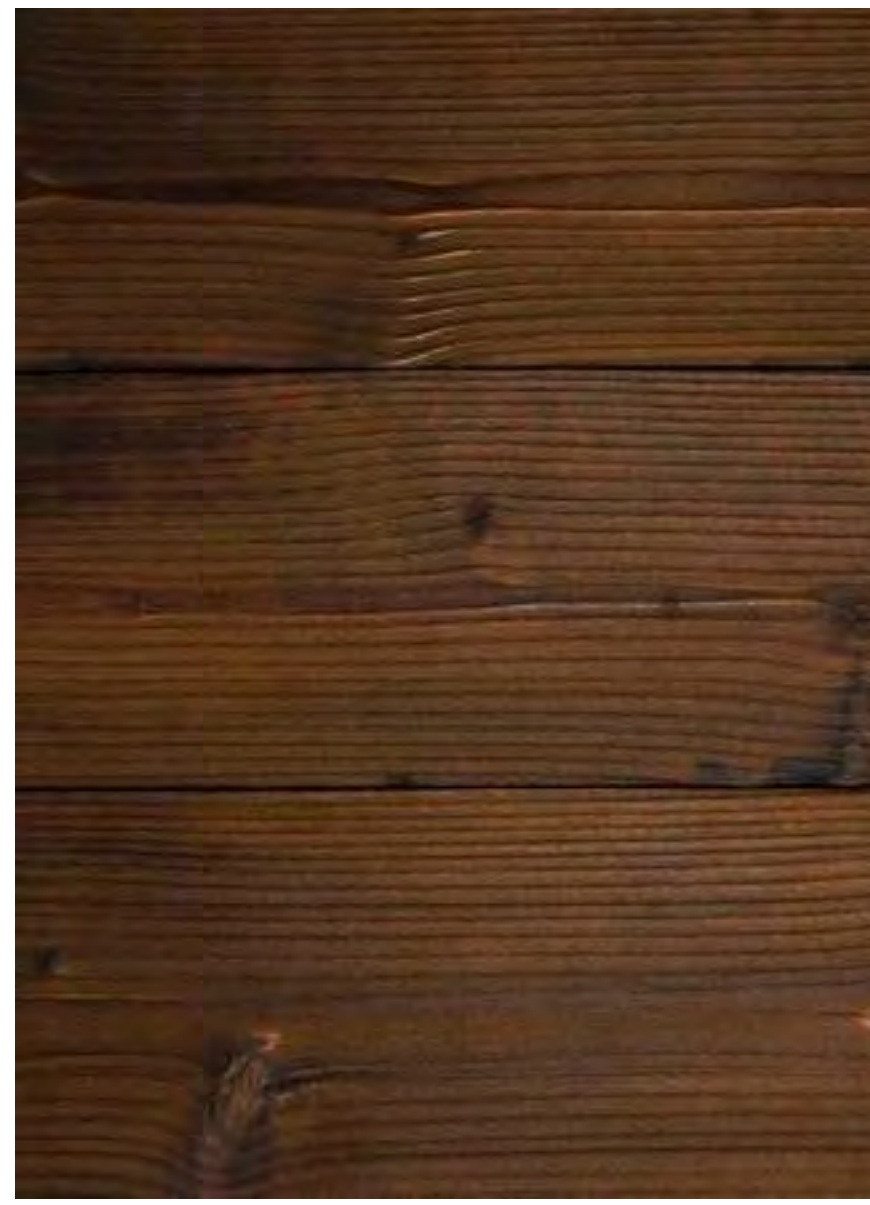
**ALUMINUM WINDOWS AND DOORS** - extruded aluminum with Low "E" insulated glass.  
Basis of Design: Vistaluxe Collection AL Line - Kolbe Windows and Doors.  
Basis of Design: Reynaers CP155LS Monorail System.  
Basis of Design: Sherwin-Williams Fluoropon 70% PVDF Coating System



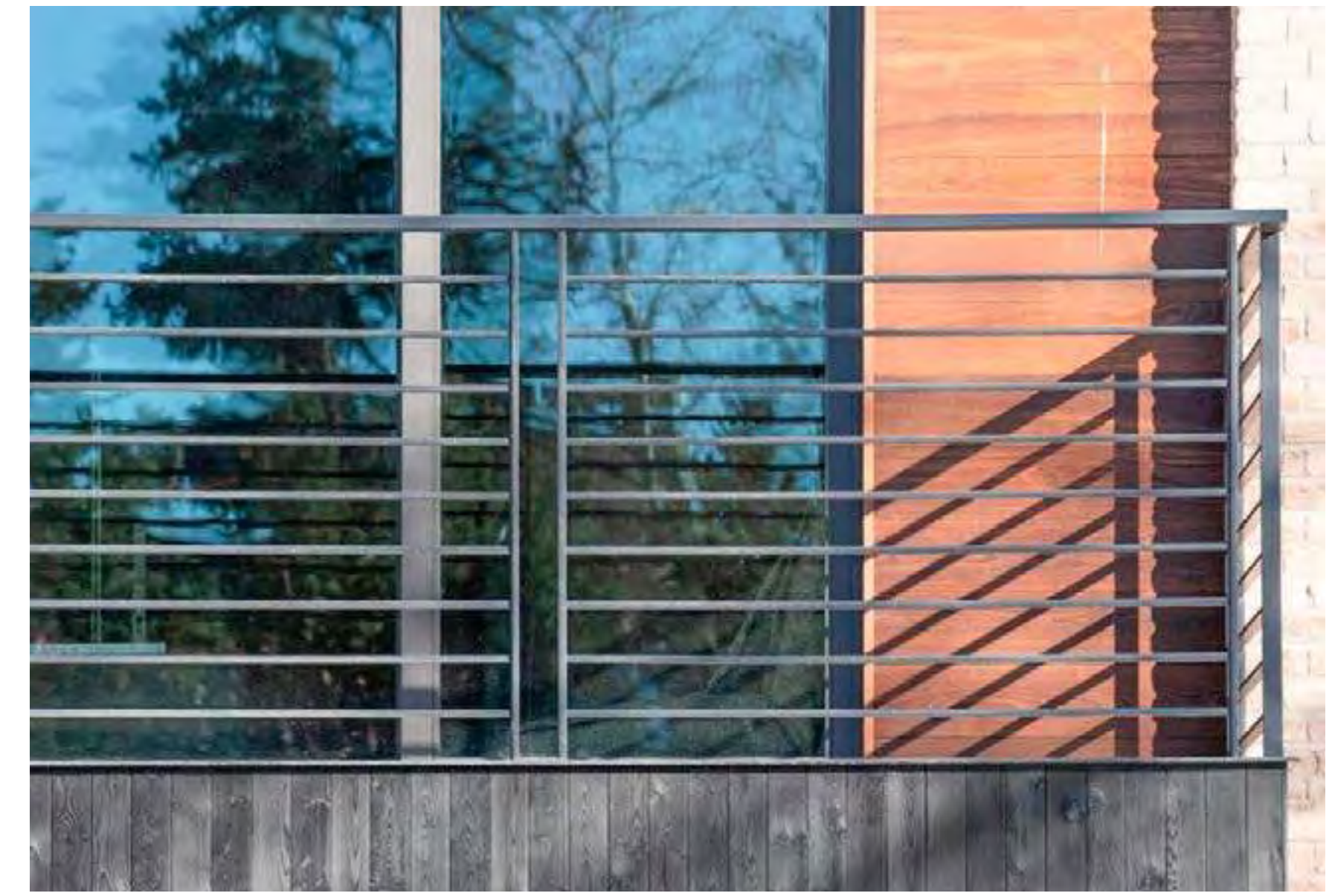
**BOARD-FORMED CONCRETE** - cast-in-place.



**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**WOOD CLADDING** - Accoya | Saguario | Delta Black: Western Red Cedar | SSB | Wolverine: Western Red Cedar | SSB | Kodiak  
*Basis of Design: Delta Millworks.*



**STEEL GUARD RAILINGS** - galvanized and painted.



**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



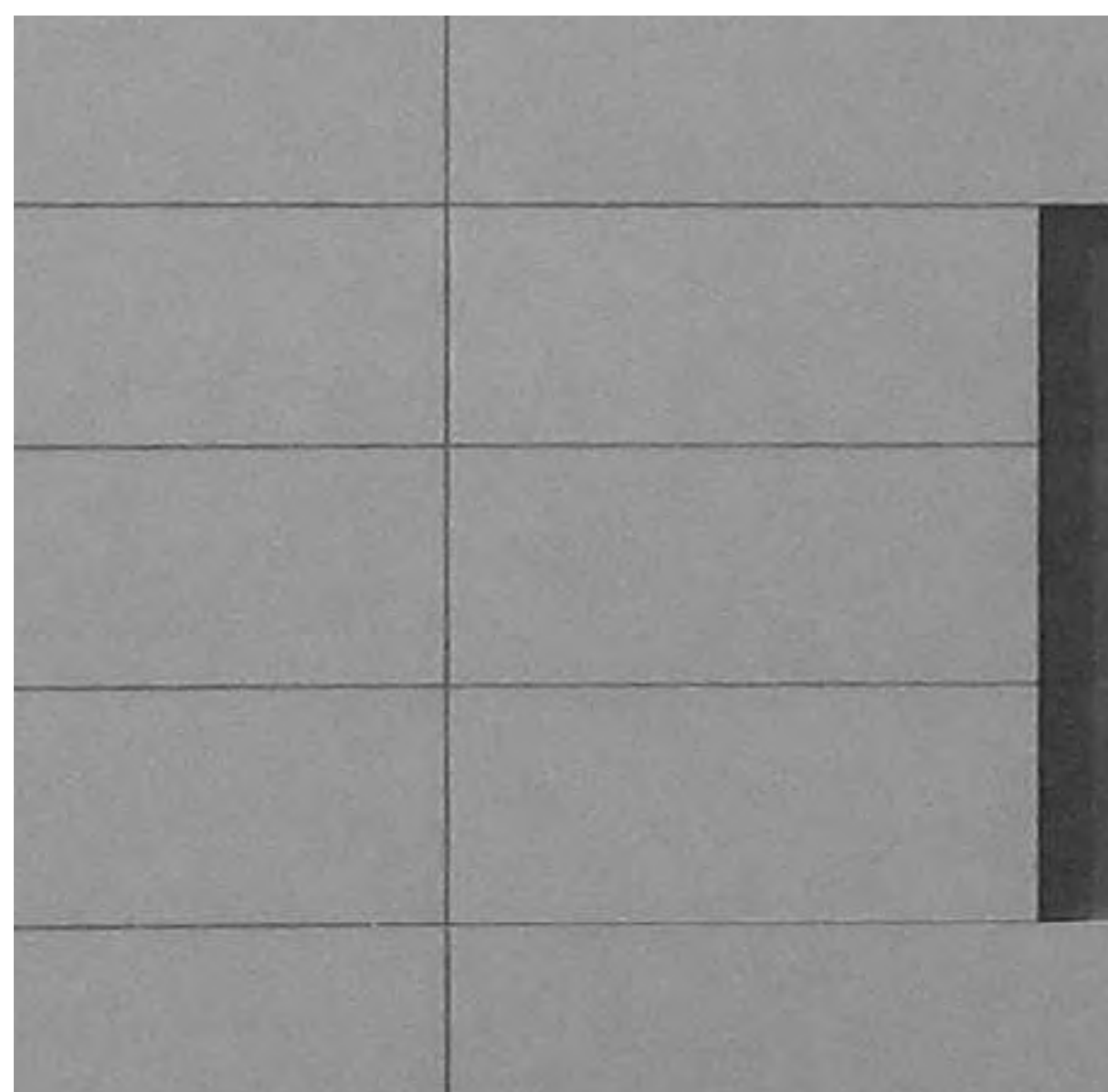
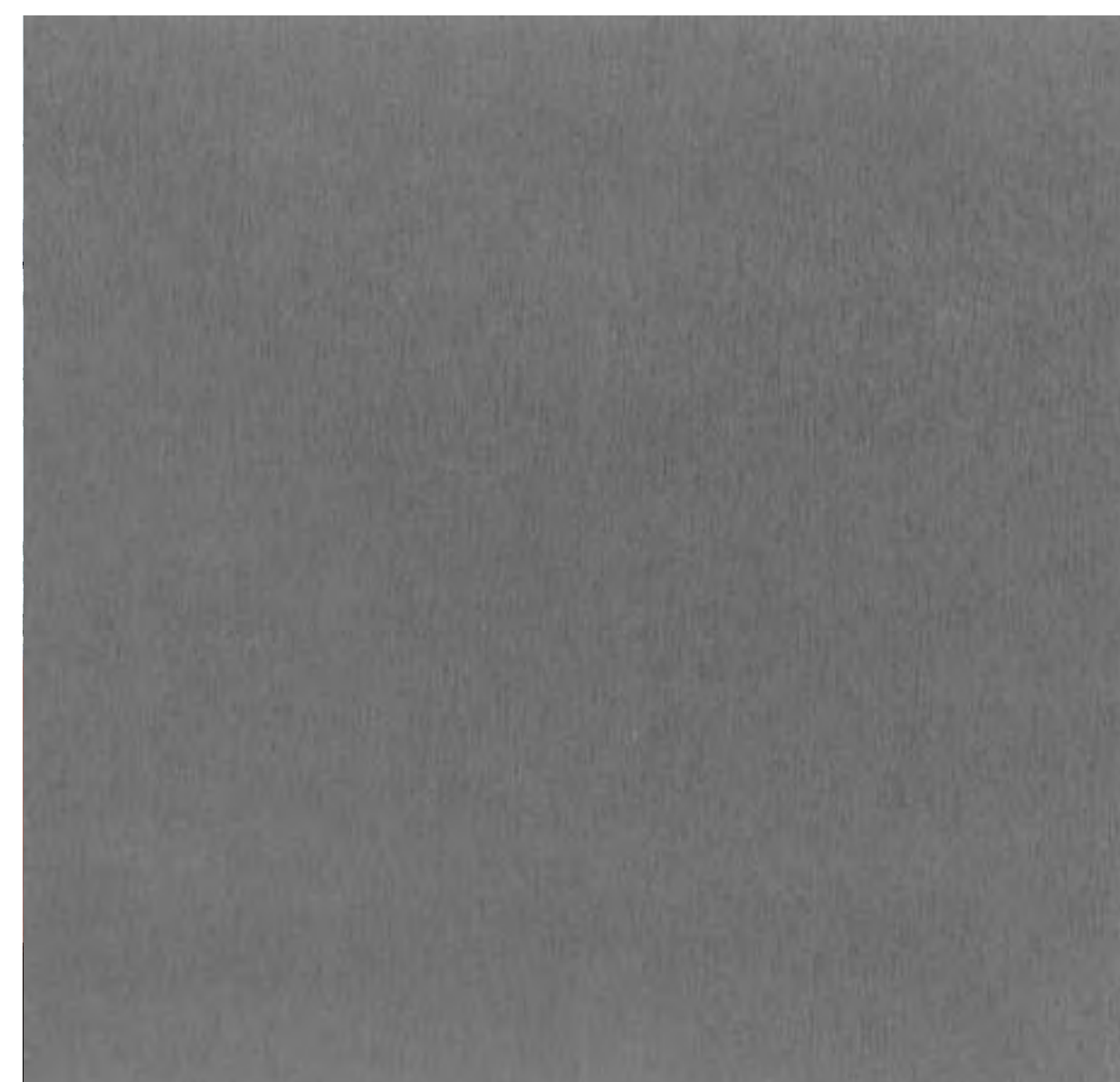
**ALUMINUM WINDOWS AND DOORS** - extruded aluminum with Low "E" insulated glass.  
*Basis of Design: Vistaluxe Collection AL Line - Kolbe Windows and Doors.*  
*Basis of Design: Reynaers CP155LS Monorail System.*  
*Basis of Design: Sherwin-Williams Fluoropon 70% PVDF Coating System*



**CEMENT PLASTER** - 3-coat system, hard-troweled finish with 100% acrylic topcoat finish.



**STONE VENEER** - Natural stone with stainless steel masonry anchor system. Montana Moss Rock or Basalt



**METAL PANELS** - 24" X 60" with PVDF finish.  
*Basis of Design: EN-V Architectural Metal Panel System.*



**BOARD-FORMED CONCRETE** - cast-in-place.

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell

APPPELLATION  
SUN VALLEY

Design Review 09.14.22  
Design Review 09.21.22

Project Number 14895 Scale

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Telephone: 415.391.1980  
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Design Review:  
Materials and  
Colors Sample  
Key

A3.22





**METAL PANELS**  
*dri-design Wall Panel System EN-V Architectural Metal Panel System*  
24"x60" panels with OCM Old Country Millwork Inc. Kynar finish.  
Facade: Titanium Ore (Matte)  
Tower: Chromium Ore (Matte)

**CEMENT PLASTER**  
3-Coat System, smooth finish with 100% acrylic topcoat.

**WOOD CLADDING**  
*Delta Millworks*  
Western Red Cedar | SSB | Wolverine

**HEAVY TIMBER GLULAM BEAMS, RAFTERS, AND COLUMNS**  
Clear Heart Western Red Cedar with resawn finish.  
Wood clear coat stain; painted galvanized steel knife-plate connections.

**WOOD CLADDING**  
*Delta Millworks*  
Western Red Cedar | SSB | Kodiak

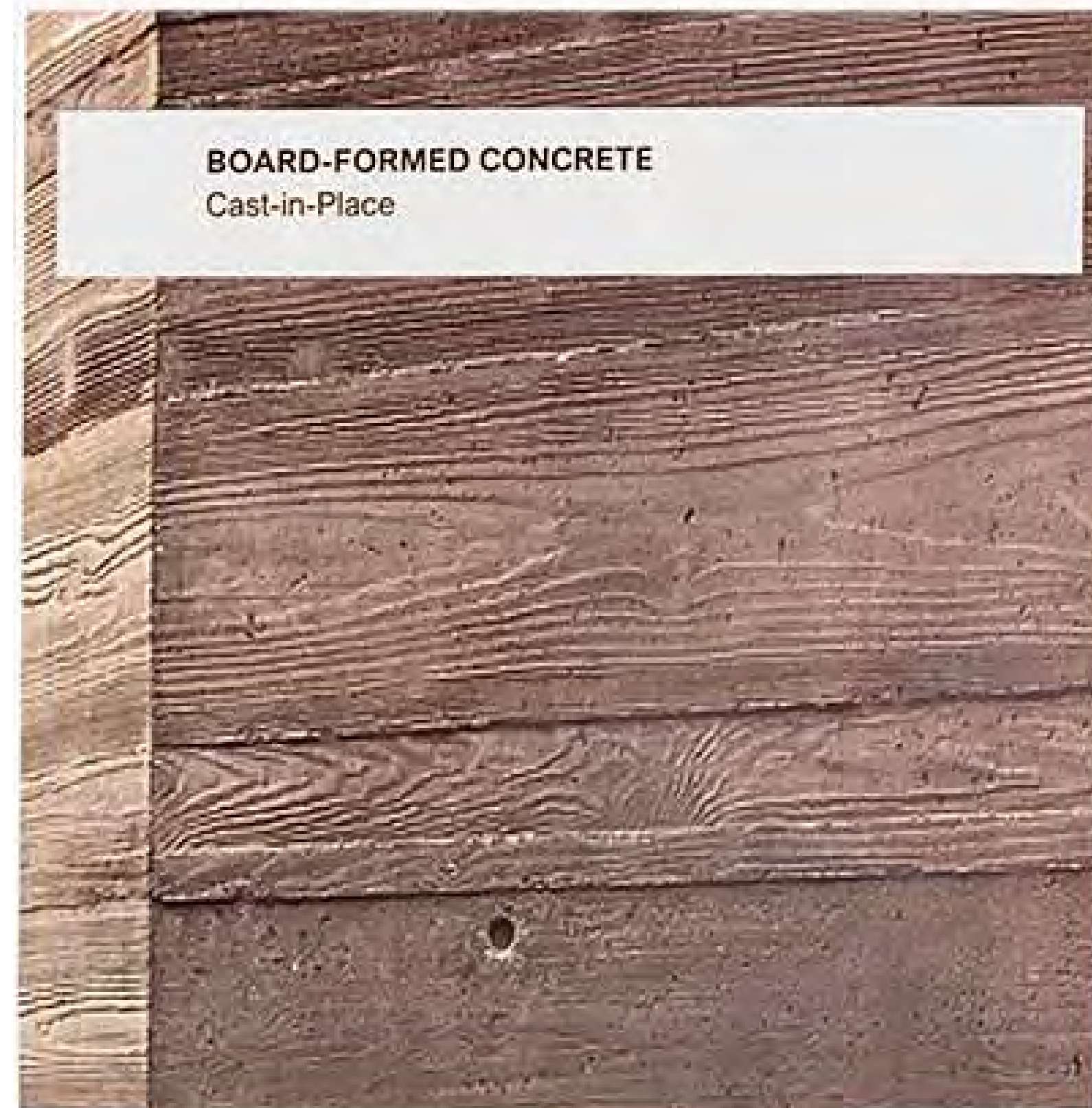
**ACCENT METAL**  
PPG UC52179XL Duranar XL Bronze

**STEEL GUARD RAILINGS**  
Custom Color: "Mountain Shadow"

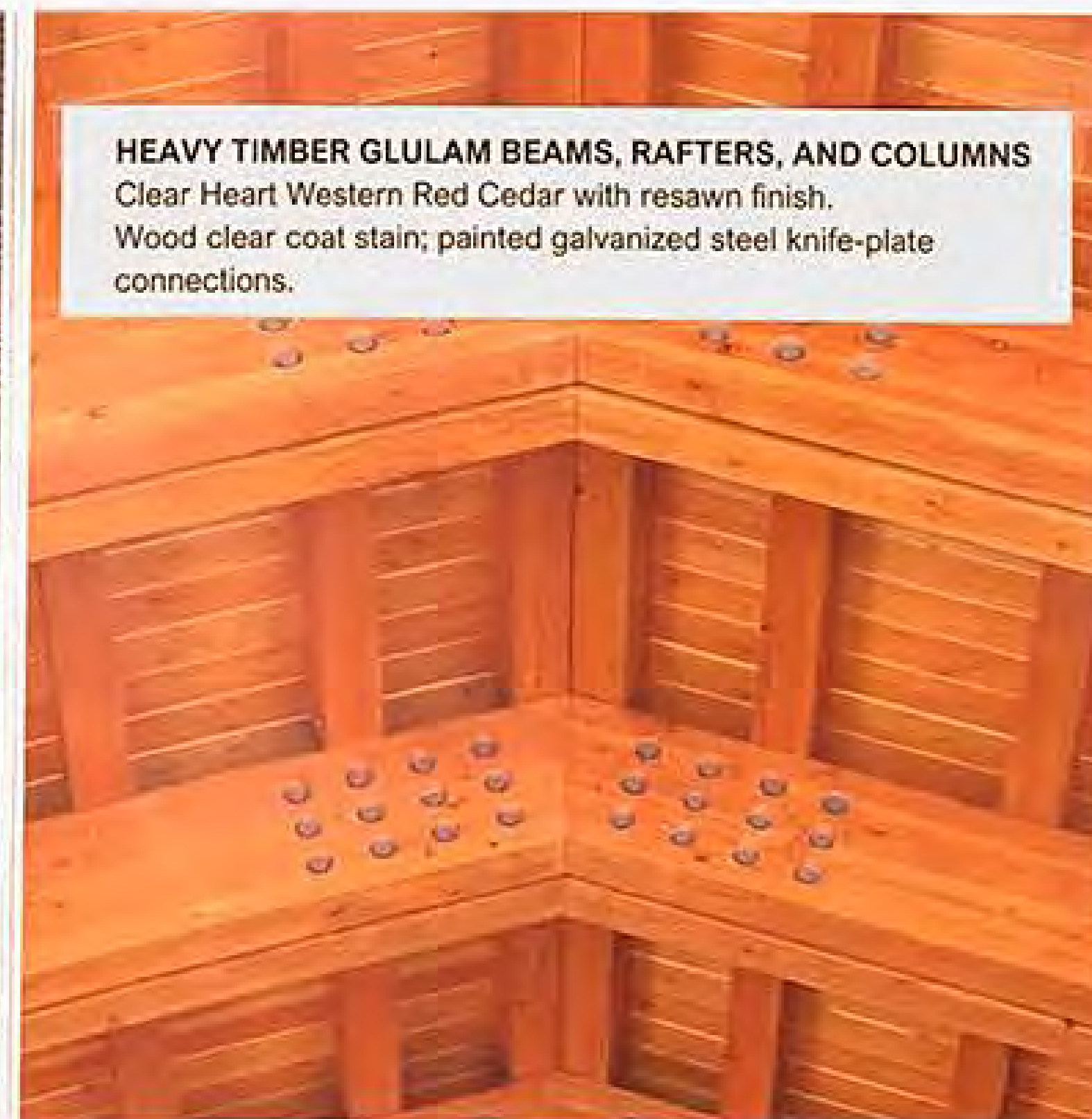
**WINDOWS AND DOORS**  
Extruded aluminum with Low "E" insulated glass.  
Fluropon 70% PVDF Coating System.  
Sherwin-Williams 392F232 Fluropon Charcoal



**STONE VENEER**  
Natural stone with stainless steel masonry anchor system. Montana Moss Rock or Basalt



**BOARD-FORMED CONCRETE**  
Cast-in-Place



**HEAVY TIMBER GLULAM BEAMS, RAFTERS, AND COLUMNS**  
Clear Heart Western Red Cedar with resawn finish.  
Wood clear coat stain; painted galvanized steel knife-plate connections.



**WOOD CLADDING**  
*Delta Millworks*  
Accoya | Saguaro | Delta Black

Design Review 09.14.22  
Design Review 09.21.22

Project Number 14895 Scale

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Telephone: 415.391.1980  
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**Design Review:  
Materials and  
Colors Board**

Harriman  
Ketchum  
Hotel, LLC

Hornberger

Worstell



À  
APPELLATION  
SUN VALLEY

Design Review	09.14.22
Design Review	09.21.22

Project Number	Scale
14695	

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Design Review:  
Rendering View  
at Main and  
River Street

A3.24

NOT FOR CONSTRUCTION



**Harriman  
Ketchum  
Hotel, LLC**

**Hornberger**

*Worstell*

**À**  
**APPELLATION**  
SUN VALLEY

Design Review 09.2122

Project Number 14895 Scale

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**Design Review:  
Rendering  
View from State  
Highway 75**

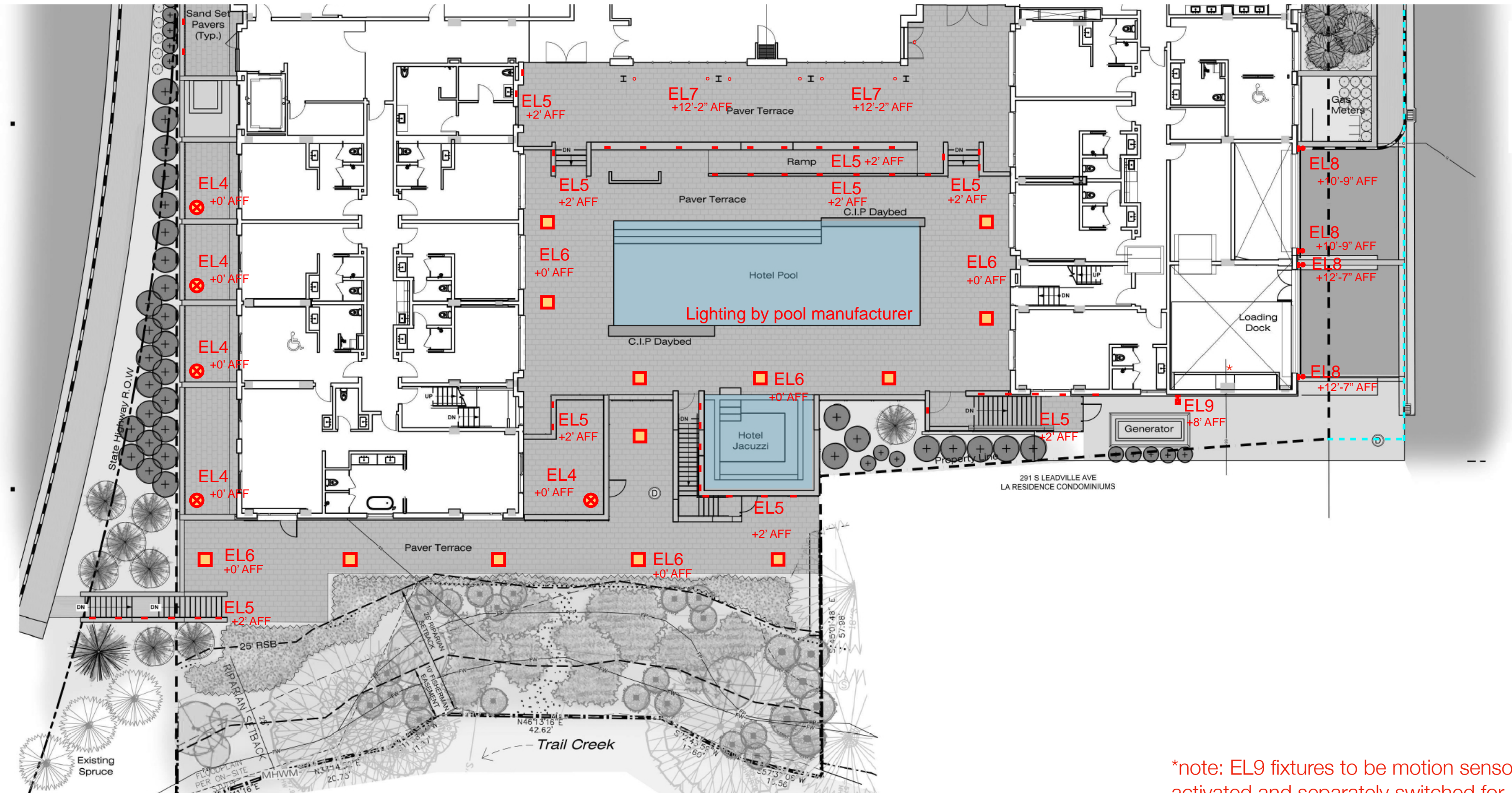
**A3.25**

**Harriman Hotel**  
Exterior Lighting Dark Sky Compliance  
08.12.2022



\*note: EL9 fixtures to be motion sensor activated and separately switched for operation only during servicing of utility areas.

Plan south

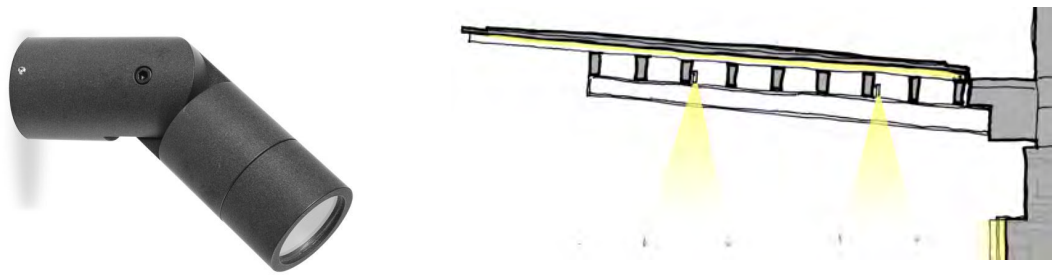


\*note: EL9 fixtures to be motion sensor activated and separately switched for operation only during servicing of utility areas.

## Harriman fixtures

### EL1

surface mounted downlight mounted to canopy | 2700K CCT | 10 W | 1230 lm | full cutoff



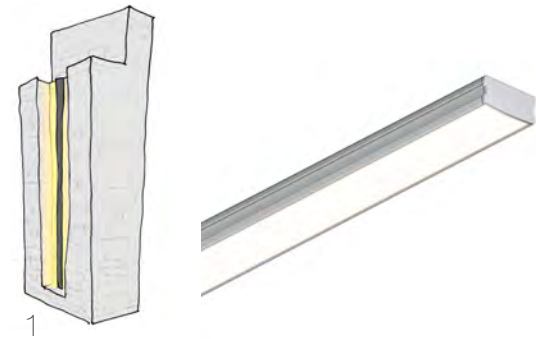
### EL2

linear grazing light at porte cochere canopy | 2700K CCT | 4.8 W/ft | 382 lm/ft | full cutoff



### EL3

entry column accent options | 2700K CCT | 6.5 W/ft | 313 lm/ft | full cutoff



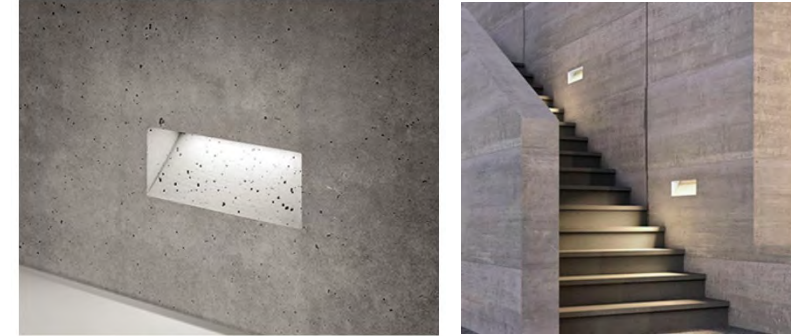
### EL4

level 00 patio lantern | 2700K CCT | 13.3 W | 1250 lm | full cutoff



### EL5

cast in steplight niche | 2700K CCT | 10 W | 491 lm | full cutoff



### EL6

illuminated furniture | 2700K CCT | 17 W | x 664 lm | full cutoff



### EL7

recessed small downlight | 2700K CCT | 6.1 W | 768 lm | full cutoff



### EL8

wall mounted direct sconce | 2700K CCT | 3 W | 139 lm | full cutoff



## Harriman fixtures

### EL9

wall mounted light at utility areas | 2700K CCT | 12.5 W | 1250 lm | full cutoff  
| occupancy sensor control or manual switch



### EL10

surface mounted downlight mounted to trellis | 2700K CCT | 8 W | 330 lm | full cutoff



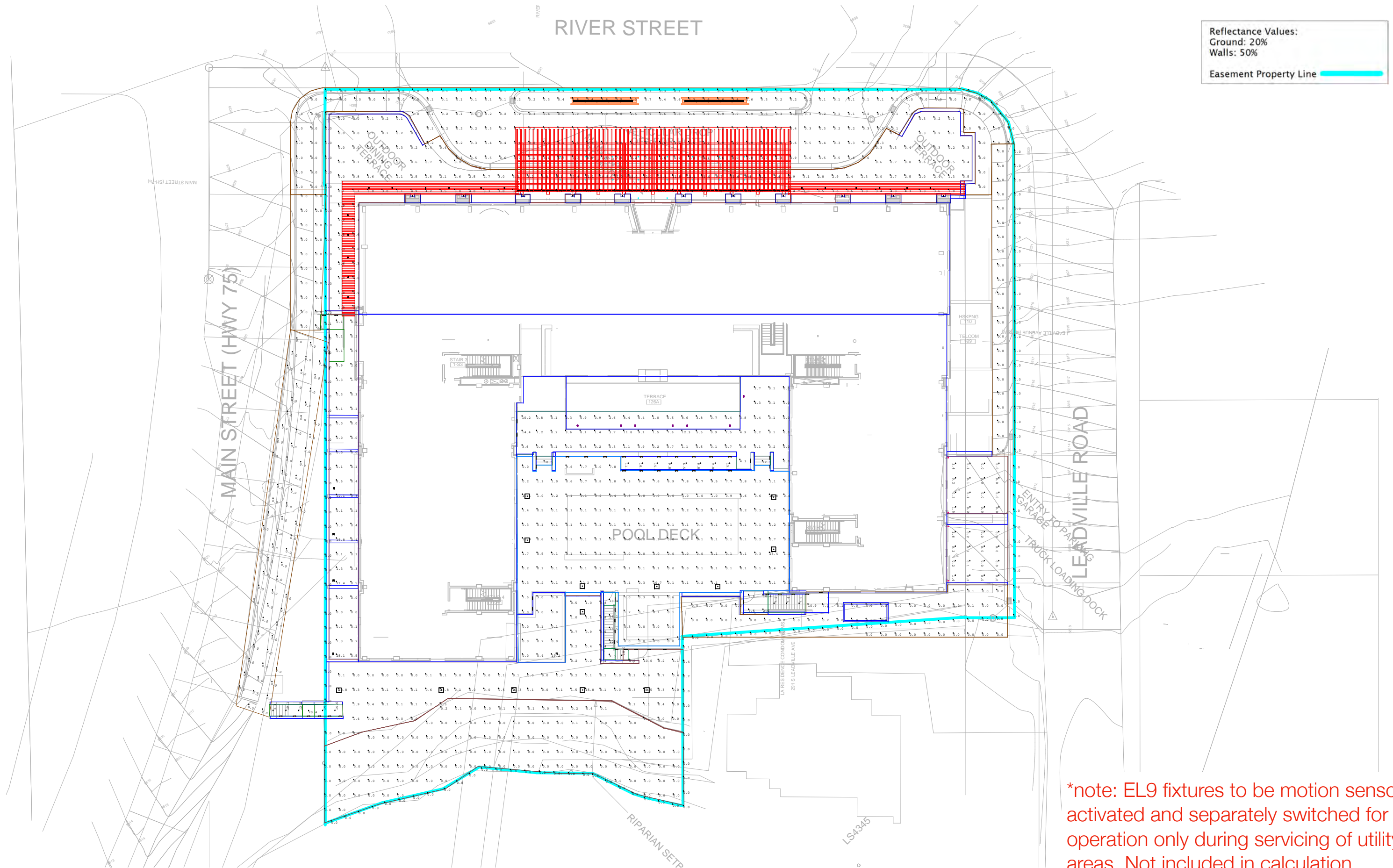
### EL11

surface mounted linear grazing downlight at screen panels | 2700K CCT | 4.8 W/ft | 382 lm/ft | full cutoff





# Site Lighting Calculation - Horizontal Illumination at Ground Level



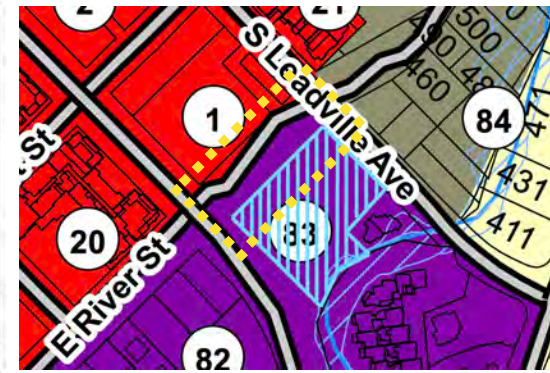
Reflectance Values:  
Ground: 20%  
Walls: 50%  
Easement Property Line

\*note: EL9 fixtures to be motion sensor activated and separately switched for operation only during servicing of utility areas. Not included in calculation.

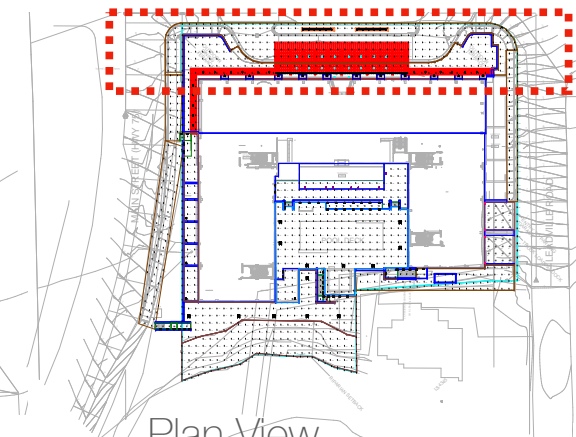
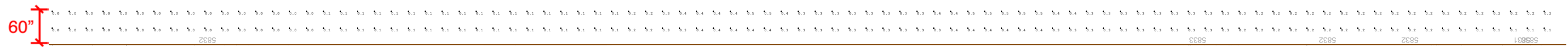
# Site Lighting Calculation - River Street

Figure 1: Light Trespass and Overlighting Matrix

Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Commercial Zones (T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Community Core (CC)	Community Core (CC)	No limit



Plan View



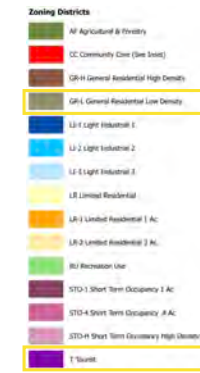
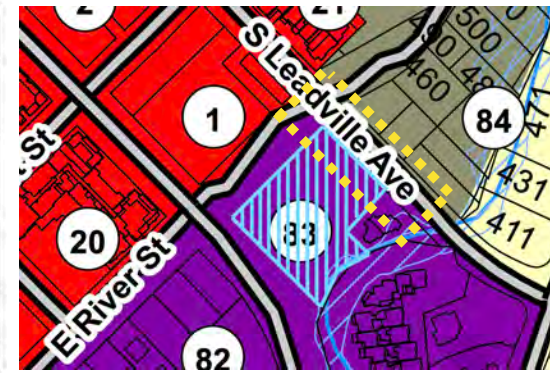
Plan View

River Street Vertical and Horizontal Calculation | Impacted Zone: CC | Fc Limit: No limit | Maximum Value: 0.5 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

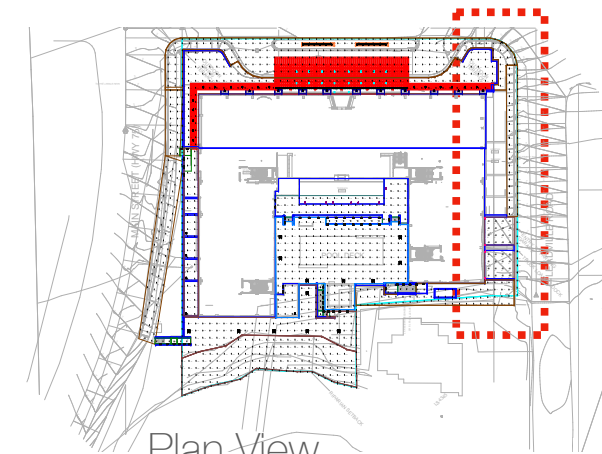
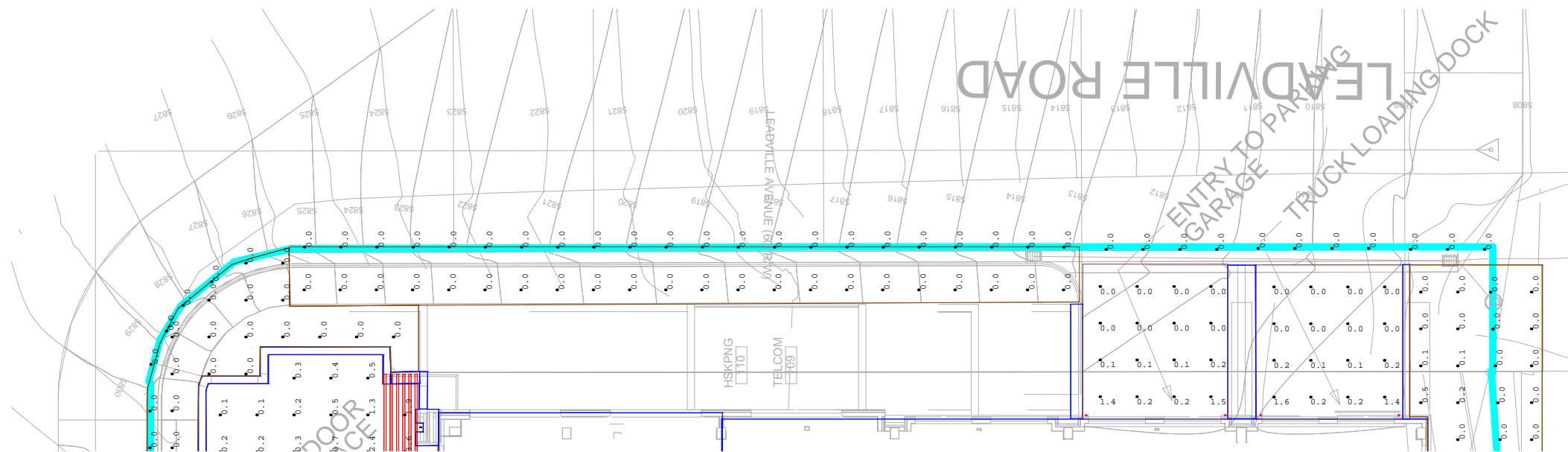
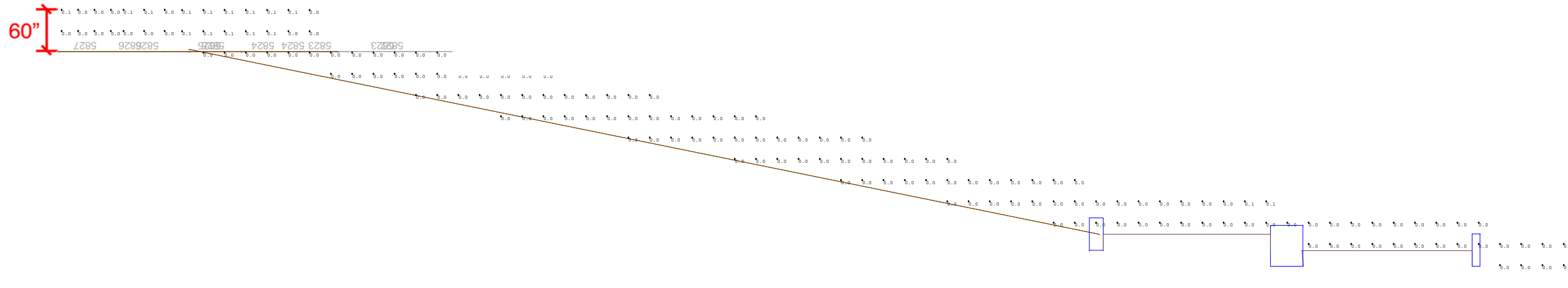
# Site Lighting Calculation - Leadville Ave

Figure 1: Light Trespass and Overlighting Matrix

Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Commercial Zones (T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Community Core (CC)	Community Core (CC)	No limit



Plan View



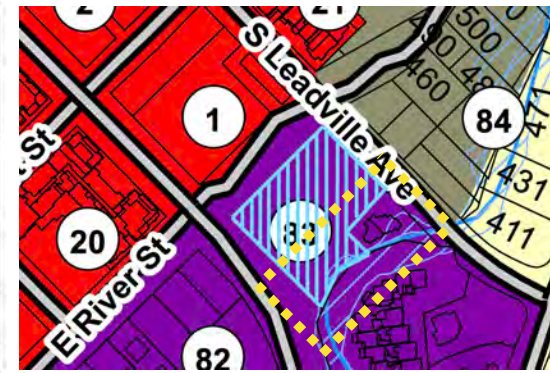
Plan View

Leadville Ave Vertical and Horizontal Calculation | Impacted Zone: GR-L | Fc Limit: 0.1 fc | Maximum Value: 0.1 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

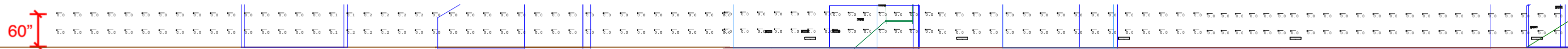
# Site Lighting Calculation - Trail Creek

Figure 1: Light Trespass and Overlighting Matrix

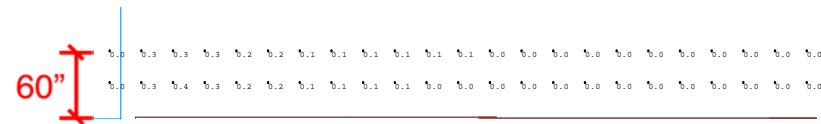
Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Commercial Zones (T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Community Core (CC)	Community Core (CC)	No limit



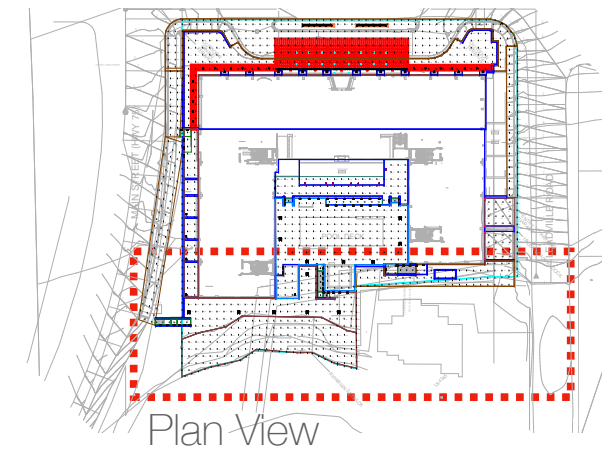
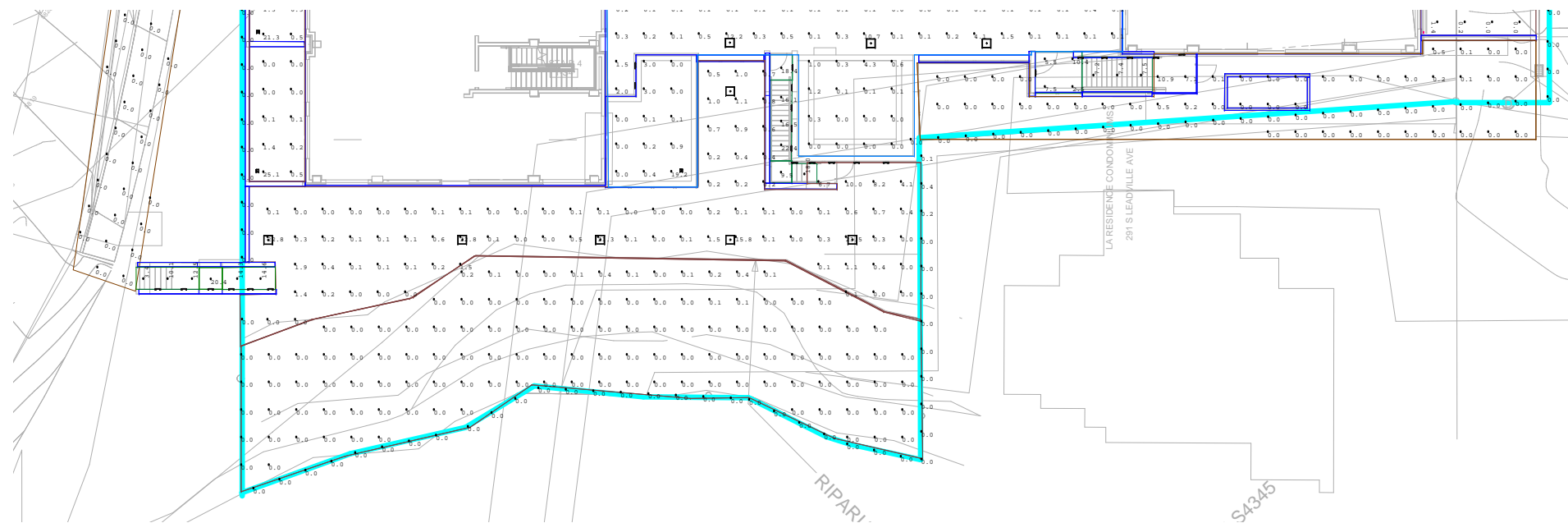
Plan View



Elevation A



Elevation B



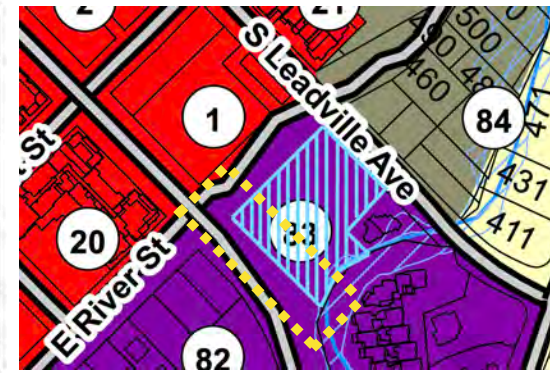
Plan View

Trail Creek Vertical and Horizontal Calculation | Impacted Zone: T | Fc Limit: 0.5 fc | Maximum Value: 0.4 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

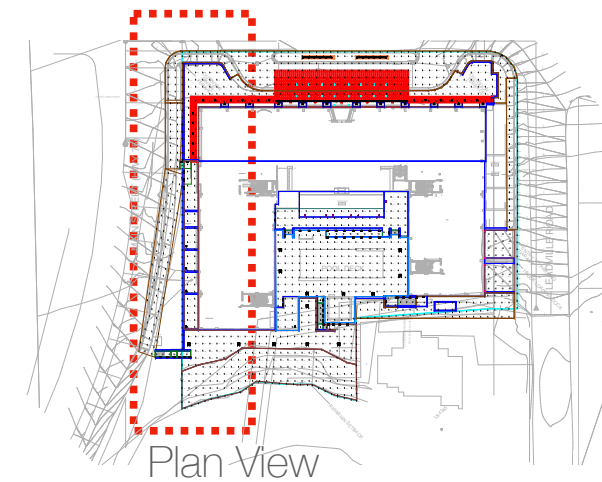
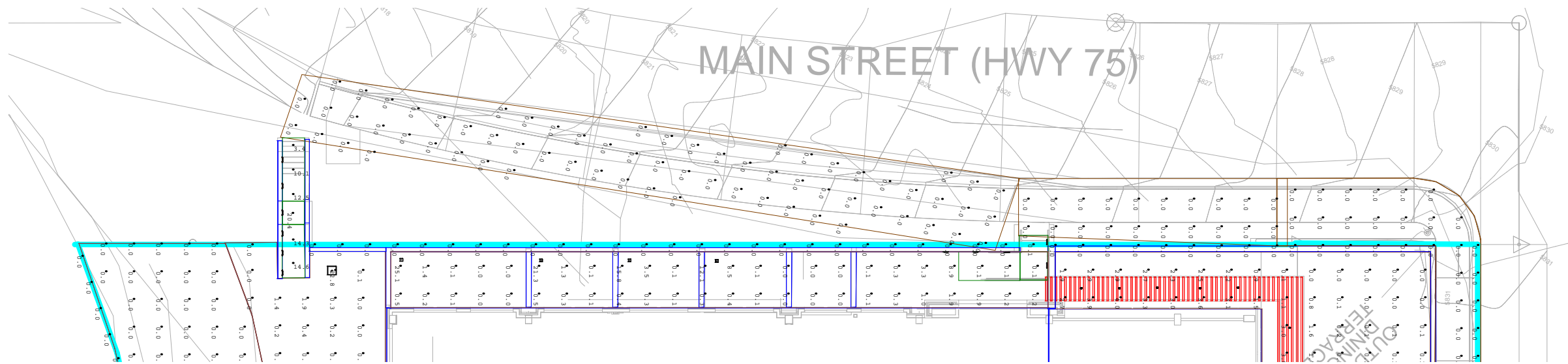
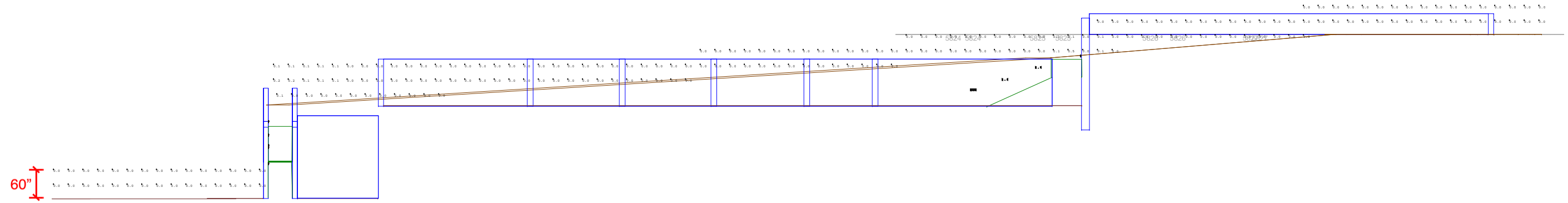
# Site Lighting Calculation - State Hwy 75

Figure 1: Light Trespass and Overlighting Matrix

Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-.4, STO-1, STO-H, RU, AF)	0.1 foot-candles
Commercial Zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3)	Commercial Zones (T, T-3000, T-4000, LI-1, LI-2, LI-3)	0.5 foot-candles
Community Core (CC)	Community Core (CC)	No limit



Plan View



Plan View

Main Street (State Hwy 75) Vertical and Horizontal Calculation | Impacted Zone: T | Fc Limit: 0.5 fc | Maximum Value: 0.5 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

