

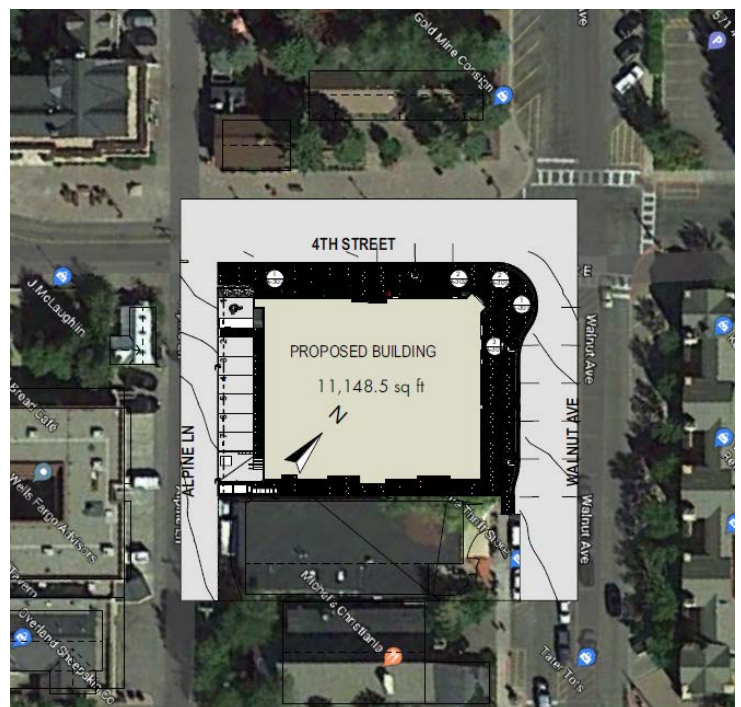


**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**MEETING OF JULY 13, 2020**

- PROJECT:** 4<sup>th</sup> & Walnut Ave Commercial Development Design Review
- FILE NUMBER:** P20-046
- APPLICATION TYPE:** Design Review
- APPLICANT:** Graham Whipple, Resin Architecture
- PROPERTY OWNER:** Walnut & Fourth LLC
- LOCATION:** 371 & 391 N Walnut Avenue (Ketchum Townsite: Block 44: Lots 7 & 8)
- ZONING DISTRICT:** Retail Core Subdistrict of the Community Core (CC-1)
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on June 26<sup>th</sup>, 2020. The Planning & Building Department has received no public comment as of the publication of the Staff Report. Public comment received after the Staff Report’s publication will be forwarded to the Planning & Zoning Commission and included in the project record.
- REVIEWER:** Abby Rivin, Associate Planner

**NEW MIXED-USE BUILDING AT CORNER OF 4<sup>th</sup> & WALNUT**

The subject Design Review application is for the development of a new 20,876 square-foot, two-story building located at the corner of 4<sup>th</sup> Street and Walnut Avenue. The Planning & Zoning Commission reviewed the Pre-Application for the proposed development on March 9<sup>th</sup>, 2020 and unanimously advanced the project to the final Design Review. The mixed-use building will include a coffee shop, retail, offices, three residential units, and one community housing unit. The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building’s exterior providing visual texture to each façade. Timber trusses and



**Figure 1: Architectural Vicinity Map-Project Plans Sheet AS-102**

decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains. The development is anchored by a coffee shop at the intersection of 4<sup>th</sup> Street and Walnut Avenue. Orienting towards this vibrant street corner, this frontispiece is distinguished by a canopy overhanging the entrance, floor-to-ceiling glass doors and storefront windows, and a pronounced gable end.

### PROJECT LOCATION

The proposed development is located on two lots at the southwest corner of the intersection of Walnut Avenue and 4<sup>th</sup> Street within the Retail Core Subdistrict of the Community Core (CC-1). The total area of the two combined lots is 16,371 square feet. The site is developed with two existing buildings, which will be demolished to accommodate the new development. The Gold Mine Thrift Store and Michel’s Christiania restaurant neighbor the project to the south along Walnut Avenue. Unlike more recent large-scale projects in downtown Ketchum, many older developments along Walnut Avenue and 4<sup>th</sup> Street are smaller in scale and comprised of one-story buildings. While smaller buildings like the Gold Mine Thrift Store neighbor the proposed development, the mixed-use building is proportional in size and scale to larger buildings in the neighborhood like the Colonnade and the Community Library.

### HOW BIG IS THE BUILDING?

The 42-foot tall building’s gross floor area is 20,876 square feet with a total Floor Area Ratio of 1.28. The building spans approximately 93 feet along Walnut Avenue and 140 feet along 4<sup>th</sup> Street. The development’s scale is contextually appropriate and proportional to the size of buildings in downtown Ketchum. In the Retail Core, buildings may extend all the way to the front and street side property lines. While not required by the CC-1 dimensional standards, the proposed building is setback from 4<sup>th</sup> Street and Walnut Avenue. Most of the building frontage along 4<sup>th</sup> Street is setback 5 feet and most of the front façade along Walnut Avenue is setback 10 feet. This setback area provides flexible outdoor space on-site to accommodate outdoor dining as illustrated on the renderings (Exhibit A: Sheets A-301 & A-302).

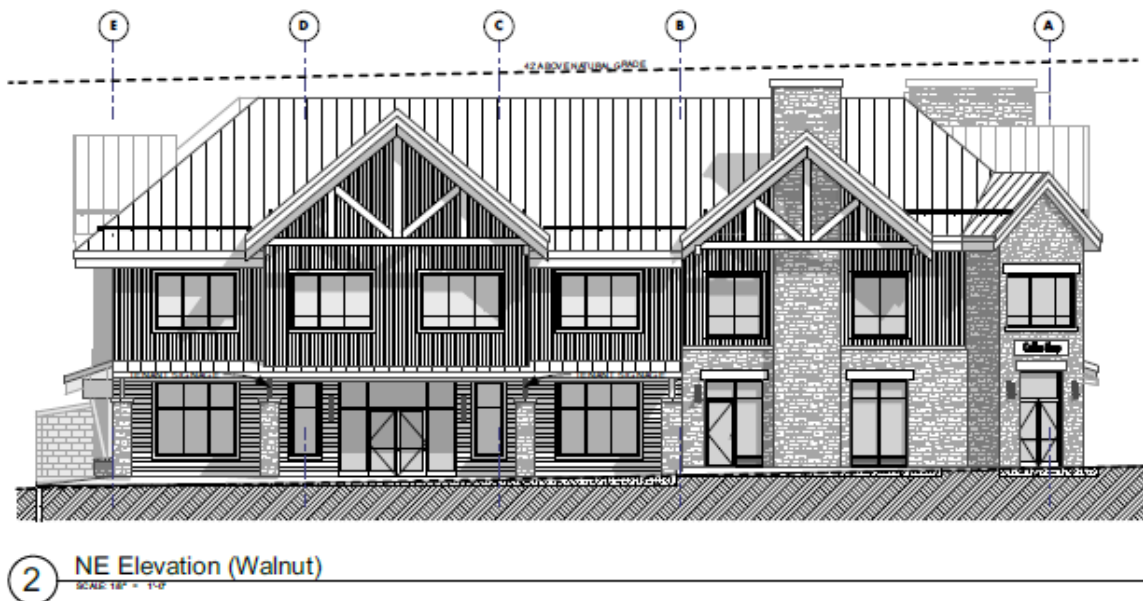


Figure 2: NE Elevation (Walnut)--Project Plans Sheet A-201

## PROJECT CONTRIBUTES TO KETCHUM'S VIBRANT DOWNTOWN

Activating the streetscape along 4<sup>th</sup> Street and Walnut Avenue, the project will enhance downtown's vibrancy by serving as an inclusive third-place that facilitates social connection and builds community. The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.

## STAFF RECOMMENDATION

Staff recommends that the Commission consider the project plans, the applicant's presentation, and any public comment received, deliberate, provide feedback to the applicant, and move to continue review of the 4<sup>th</sup> & Walnut Ave Commercial Development Design Review application.

The proposed mixed-use building complies both with dimensional standards required in the CC-1 Zone and Design Review standards. The project plans need more detail to fully understand the building's materiality. Staff recommends that the Commission provide feedback regarding the project plans attached as Exhibit A and direct the applicant to provide the following supplemental material:

- Renderings that illustrate the front, side, and rear façades; and  
*The renderings indicated on Sheets A301 and A302 of the project plans illustrate views the 4<sup>th</sup> Street, Walnut Avenue, and street corner elevations. Renderings illustrating the entire surface area of each façade will further emphasize each façade's undulation, articulation, and material differentiation.*
- Colored elevations specifying the building's exterior materials.

## ANALYSIS

Staff analysis is provided in Tables 1 through 4 including: (1) City Department comments, (3) compliance with zoning and dimensional standards, (3) evaluation of Design Review criteria, and (4) adherence to Community Core Design Review standards. Project plans are attached as Exhibit A to the Staff Report.

**Table 1: City Department Comments**

City Department Comments
<p><i>Note: City Department comments are preliminary. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p><b>Fire Department:</b></p> <ul style="list-style-type: none"><li>• It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.</li><li>• The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</li><li>• Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.</li></ul>

- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.  
NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.  
Note: The entire building shall be protected by a NFPA 13, Fire Sprinkler System.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

**City Engineer & Streets Department:**

- Pursuant to KMC §17.96.060.C1, all storm water drainage shall be retained on site, including water from any roof drains. All roof drain locations will need to be shown on the project plans submitted with the building permit application.
- Drainage improvements shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060.C).
- The sidewalks along 4<sup>th</sup> Street and Walnut Avenue shall be improved to the City’s ROW standards. The City is finalizing specifications and standards for the 4<sup>th</sup> Street Heritage Corridor right-of-way, which will apply to this project.
- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an Encroachment Permit from the City will be required. Applicant will be required to maintain and repair all associated encroachments.

- All lighting within the ROW will need to meet city ROW standards. (see Right-of-Way Standards, Commercial Category) on both Washington St. and 1st St. Per City ROW standards a lighting study will need to be provided to ensure project meets city illumination standards for sidewalks. Additional lights may be necessary. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc. If lights are hardwired a separate lighting pedestal may be necessary to provide power to lights and provided at applicant’s expense.
- 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights.
- Pursuant to ADA standards, sidewalks cross slopes are 1.75 +/- 0.25 percent
- Sign locations and bases will need to be shown on the plans submitted with the Building Permit application. The Streets Department will provide the sign bases.
- Parallel parking stalls are 8’ wide x 20’ long.
- Roof overhangs shall not extend more than 3 feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the City Engineer and Streets Department (KMC §17.96.070 B.6) through an Encroachment Permit.
- If the project results in increased loading, Will Serve letters for gas and electrical must be submitted prior to issuance of a Building Permit for the project.
- Utilities (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary, the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved by the Building Department prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code (KMC §12.04.030.L).
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

**Utilities:**

- Existing sewer stubs serving the properties shall be capped and abandoned at the property line.
- The Ketchum Spring Water (KSW) lines serving the properties must be cut and capped at the main within the Walnut Avenue ROW.
- A new fire line shall be installed for the fire sprinkler system and all metering must be taken off the new fire line. The distance between the fire line and the abandoned services will dictate design options. Only a certain number of penetrations are allowed per the manufacturer’s specifications per piece of pipe.
- The plans indicate the installation of a 6-inch pvc sewer service. This sewer service should be tied into the sewer main with a manhole.
- The water meters should be separate for the commercial and residential uses—one water meter should be provided for the residential use and one water meter should be provided for the commercial use.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a building permit for the project.

**Building:**

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.

- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

**Planning and Zoning:**

Comments are denoted throughout the Staff Report and Tables 2, 3, and 4.

**Table 2: Zoning and Dimensional Standards Analysis**

<b>Zoning and Dimensional Standards Analysis</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			Staff Comments	<p><b>Required:</b> 5,500 square feet minimum  <b>Existing:</b> Lots 7 and 8 have a combined area of 16,378 square feet.</p> <p>The applicant must submit a Lot Line Shift application to remove the common boundary line between lots 7 and 8. The amended plat shall be recorded prior to issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<b>Floor Area Ratios and Community Housing</b>
			Staff Comments	<p><b>Permitted Gross FAR in Community Core Subdistrict 1(CC-1) :</b> 1.0  <b>Permitted Gross FAR with Inclusionary Housing Incentive:</b> 2.25</p> <p><b>Proposed Gross Floor Area:</b> 20,876 gross square feet  <b>Lot Area:</b> 16,378 square feet  <b>FAR Proposed:</b> 1.28 (20,876 gross sq ft/16,378 sq ft lot area)  <b>Increase Above Permitted FAR:</b> 4,498 square feet  <b>20% of Increase:</b> 899.60 square feet  <b>Net Livable (15% Reduction):</b> 765 square feet</p> <p>The applicant has included a 1,625-square-foot community housing unit within the basement to satisfy the community housing contribution (Exhibit A: Basement Floor Plan Sheet A-101).</p> <p>Prior to issuance of a building permit for the project, an Exceedance Agreement approved by Ketchum City Council addressing the square footage above the permitted 1.0 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>
			Staff Comments	<p><b>Required</b>  <b>Front &amp; Street Side:</b> 0'  <b>Rear Side Adjacent to an Alleyway:</b> 3'  <b>Interior Side:</b> 0'  <b>Cantilevered decks and overhangs:</b> 0'  <b>Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades:</b> 10'</p>

				<p><b><u>Proposed Building Setbacks</u></b></p> <p>The applicant has indicated the proposed setbacks on the Architectural Site Plan (Sheet AS-101) of the Design Review submittal attached as Exhibit A.</p> <p><b>Front (Walnut Avenue): 6.5'</b>  <b>Street Side: (4<sup>th</sup> Street): 1.5'</b>  <b>Rear Side (adjacent to alleyway): 3'</b>  <b>Interior Side: 6'</b>  <b>Cantilevered decks and overhangs: 0'</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p><b>Maximum Building Heights</b></p> <p><b>Staff Comments</b></p> <p><b><u>Permitted</u></b>  <b>Building Height: 42'</b>  <b>Non-Habitable Structures Located on Building Rooftops: 10'</b></p> <p><b><u>Proposed</u></b>  The proposed mixed-use building is 42-feet in height. Sheets A201 and A202 indicate the 42-foot building height limit from the average elevation of front and rear property lines. The building elevations follows the site's natural, sloping grade. The entirety of the building including the chimneys is contained within the required 42-square-foot maximum limit.</p> <p>The proposed roof is a false mansard. As illustrated on the southeast elevation indicated on Sheet A-202, the top of the mansard roof falls into a 10-foot deep recessed area that is fully screened from public view. All roof-mounted mechanical, plumbing, and electrical equipment is contained within this fully screened, false mansard recession. The applicant has also proposed a roof-mounted solar system contained within this recession.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030H	<p><b>Curb Cut</b></p> <p><b>Staff Comments</b></p> <p><b><u>Required</u></b>  A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p><b><u>Proposed</u></b>  The parking area is located off the alley. No curb cuts along 4<sup>th</sup> Street or Walnut Avenue are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p><b>Parking Spaces</b></p> <p><b>Staff Comments</b></p> <p><b><u>Required (KMC §17.125.040)</u></b>  <b>Multi-Family Dwelling Units in CC Zone</b>  Units 750 square feet or less: 0 parking spaces  Units 751 square feet to 2,000 square feet: 1 parking space  Units 2,001 square feet and above: 2 parking spaces</p> <p>Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p>

Exemptions in CC Zone

- Community housing
- Food service
- The first 5,500 gross square feet of retail trade
- The first 5,500 gross square feet of assembly uses

Project Parking Demand

*Basement*

Community Housing Unit (1,522 sq ft): Exempt  
Office (227 sq ft) : basement not included in gross floor area calculation

*Ground Floor*

Coffee Shop (2,914 gross sq ft): food service exempt  
Retail (6,338 gross sq ft): first 5,500 sq ft retail trade exempt, 838 sq ft = 1 parking space  
Residential (1,020 sq ft): 1 parking space

*Second Floor*

Balcony (807 gross sq ft): first 5,500 sq ft of assembly exempt  
Office (3,974 gross sq ft): 4 parking spaces required  
Residential Unit A (1,773 square feet): 1 parking space required  
Residential Unit B (1,928 square feet): 1 parking space required

Total Parking Demand: 8 Parking Spaces (3 residential & 5 non-residential)

Community Core On Street Parking Credit (KMC §17.125.050.C)

- 4 parking spaces per 5,500 sq ft of lot area may be credited after 4 spaces minimum is satisfied  
*8 parking spaces may be credited based on 16,378 sq ft lot area*
- Only spaces directly adjacent to property lines  
*Six parking spaces are located within the ROW directly adjacent to the property lines*
- Credit spaces shall only be credited for non-residential parking demand  
*The project's non-residential parking demand is 5 spaces.*

Proposed

7 parking spaces are provided on-site satisfying the 4 on-site parking spaces as well as the residential parking demand of 3 spaces. 1 credit space of the 6 eligible credit spaces has been utilized for the non-residential parking demand.



**Table 3: Design Review Standards Evaluation**

<b>Design Review Improvements and Standards (KMC §17.96.060)</b>				
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.  <i>Staff Comments</i> <i>The subject property has existing street frontage along 4<sup>th</sup> Street and Walnut Avenue.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.  <i>Staff Comments</i> <i>No changes to the lanes of travel or the street designs are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.  <i>Staff Comments</i> <i>The applicant has proposed to improve the sidewalks to City ROW standards (Exhibit A: Sheets C1.1, C0.1, and C0.2).</i>  <i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i>  <i>See Table 1 for comments and conditions from the City Engineer &amp; Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.  <i>Staff Comments</i> <i>The applicant will improve the sidewalks to City ROW standards along both Walnut Avenue and 4<sup>th</sup> Street. Sheet C1.1 indicates an 8-foot wide sidewalk, which is the required width for 60’ (4<sup>th</sup> Street) and 80’ (Walnut Avenue) ROWs.</i>  <i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> <li>a. The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ul> <i>Staff Comments</i> <i>N/A as sidewalks are required for this project.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>The proposed sidewalk improvements are equal to the length of property's frontage along Walnut Avenue and 4<sup>th</sup> Street.</i>  <i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>The proposed sidewalk design connects with existing sidewalks along Walnut Avenue and 4<sup>th</sup> Street.</i>  <i>The applicant will improve the sidewalks to City ROW standards along both Walnut Avenue and 4th Street. Sheet C1.1 indicates an 8-foot wide sidewalk, which is the required width for 60' (4th Street) and 80' (Walnut Avenue) ROWs.</i>  <i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>All storm water shall be retained on site, including storm water from roof drains. Sheets C1.1, C0.1, and C0.2 of the project plans attached as Exhibit A indicate the proposed drainage improvements.</i>  <i>Roof drain locations and specifications must be indicated the project plans submitted with the building permit application for review and approval by the City Engineer and Streets Department.</i>  <i>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins,</i>

				<i>pipng, and drywells (KMC §17.96.040.C.2b &amp; KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>Drainage improvements shall be equal to the length of the property lines along Walnut Avenue and 4<sup>th</sup> Street. See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards.</i>  <i>Final civil drawings for all drainage improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i>  <i>See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer &amp; Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>All utilities necessary for the project shall be improved and installed at the sole expense of the applicant.</i>  <i>Prior to issuance of a building permit, the applicant must secure a will-serve letter from Idaho Power and Intermountain Gas if upgrades are required.</i>  <i>Final plans will be reviewed and approved by the City Engineer and Utilities Department prior to issuance of a building permit for the project. See Table 1 for City Department comments and conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

			<i>Staff Comments</i>	<p>All utilities within the development site shall be underground and concealed from public view. The Architectural Site Plan (Sheet AS-101), First Floor Plan (A-102), and Alley Elevation (Sheet A-202) of the project plans indicate the electrical utility enclosure. The Architectural Site Plan (Sheet AS-101) indicates that the transformer serving the development will be located at the back of the building adjacent to the Block 44 alleyway and fully concealed from public view.</p> <p>An existing overhead power line runs along the Block 44 alleyway adjacent to the subject property. The project plans indicate that this power line will be buried underground.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.D3 Utilities	<p>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</p>
			<i>Staff Comments</i>	<p>The subject property is served by high-speed internet. If an extension is needed, then the applicant will work with the City Engineer to identify the location of a fiber line to serve the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	<p>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</p>
			<i>Staff Comments</i>	<p>The proposed exterior materials include:</p> <ul style="list-style-type: none"> <li>• Honey heritage ledge stone &amp; juniper blend</li> <li>• Re-sawn reclaimed lumber</li> <li>• Wire-brushed reclaimed lumber</li> </ul> <p>The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building's exterior providing visual texture to each façade. Timber trusses and decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains.</p> <p>The project plans include perspective renderings showing the building within the context of this surrounding neighborhood. The proposed materials are compatible with neighboring buildings and the surrounding downtown area.</p> <p>Blade signs and monument signs are proposed for tenants by the building entrances along 4<sup>th</sup> Street, Walnut Avenue, the alley, and the interior side adjacent to the Gold Mine building. These 6-square-foot blade signs are mounted perpendicular to pedestrian traffic inviting the public into the building.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives</p>

				historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. No significant landmarks of historical or cultural importance have been identified on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A. This standard does not apply because the existing buildings located on lots 7 and 8 will be demolished and the proposed mixed-use building is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The coffee shop's entryway is located at the corner of 4<sup>th</sup> Street and Walnut Avenue. The retail space on the ground floor may be accessed from 5 separate entryways—one along Walnut Avenue, two along 4<sup>th</sup> Street, one along the interior side, and one from the Block 44 alleyway. The circulation area containing the building's elevator and stairwell is accessed from 4<sup>th</sup> Street. An additional stairwell may be accessed from an entrance at the interior side.</i>  <i>Activating the streetscape along 4th Street and Walnut Avenue, the project will enhance downtown's vibrancy by serving as an inclusive third-place that facilitates social connection and builds community. The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.</i>  <i>Unobstructed pedestrian access is provided from the multiple entryways to an internal circulation system of concrete paths that will connect to the new sidewalks along 4<sup>th</sup> Street and Walnut Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building's exterior providing visual texture to each façade. Timber trusses and decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains. The development is anchored by a coffee shop at the intersection of 4th Street and Walnut Avenue. Orienting towards this vibrant street corner, this frontispiece is distinguished by a canopy overhanging the entrance, floor-to-ceiling glass doors and storefront windows, and a pronounced gable end.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The same materials, colors, and tenant signs are proposed to be used on all four facades of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The project plans do not indicate the installation of a fence or wall. The only accessory structure proposed is the CMU trash and recycling bin enclosure located at the rear of the building adjacent to the Block 44 alleyway.</i>  <i>Landscape features soften the mass of building and provide visual relief to the vertical wall planes. Planters with colorful perennials and ornamental grasses beautify the streetscape. The applicant has proposed four street trees within the ROW along Walnut Avenue and 4<sup>th</sup> Street. Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW, such as the snowmelt system, require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The building design creates one- and two-story distinct elements through the pattern of exterior material placement that provide visual interest and reduce the appearance of bulk and flatness. The facades fronting Walnut Avenue and 4<sup>th</sup> Street incorporate material patterns that visually separate the building into two unique masses—one half of the façade is defined by stone that extends vertically up and down the two floor levels. The other half of the façade is characterized by one-story elements defined by the horizontal and vertical placement of siding.</i>  <i>The design incorporates exterior materials and ornamentation characteristic of alpine architecture. The placement of stone and wood siding pattern the building's exterior providing visual texture to each façade. Timber trusses and decorative gable ends imitate hardy structural elements capable of shedding and withstanding snow loads in the mountains. The development is anchored by a coffee shop at the intersection of 4th Street and Walnut Avenue. Orienting towards this vibrant street corner, this frontispiece is distinguished by a canopy overhanging the entrance, floor-to-ceiling glass doors and storefront windows, and a pronounced gable end.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.

			<i>Staff Comments</i>	<i>The building orients toward its two primary street frontages—Walnut Avenue and 4<sup>th</sup> Street. The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>The garbage and recycling area is proposed to be located at the rear of the building and will be accessed from the alley. Prior to issuance of a building permit for the project, the applicant shall submit a will-serve letter from Clear Creek Disposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The elevations on Sheets A-201 and A-202 indicate the installation of snow guards that will provide weather protection preventing water from dripping or snow from sliding onto circulation areas. Canopy and overhang elements will serve as weather protection for pedestrians entering the mixed-use building and will shield the bicycle racks installed on site along 4<sup>th</sup> Street and at the rear of the building adjacent to the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>This standard has been met by the proposed sidewalk improvements. The new sidewalks will connect to existing sidewalks along 4<sup>th</sup> Street and Walnut Avenue, which extend to the downtown pedestrian network.</i>  <i>The applicant will improve the sidewalks to City ROW standards along both Walnut Avenue and 4th Street. Sheet C1.1 indicates an 8-foot wide sidewalk, which is the required width for 60' (4th Street) and 80' (Walnut Avenue) ROWs.</i>  <i>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	<i>N/A. No awnings extending over public sidewalks are proposed with the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use.

			Circulation Design	Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	<p><i>Vehicle access to the carport is provided from the Block 44 alleyway. This circulation configuration complies with the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development. No curb cuts are proposed along 4<sup>th</sup> Street or Walnut Avenue, which enhances safety as driveways intersecting sidewalks may increase congestion and create safety hazards for pedestrians and bicyclists.</i></p> <p><i>Pedestrian and bicycle access to the building is provided from an internal circulation system of concrete pathways that will connect to the public sidewalks along 4<sup>th</sup> Street and Walnut Avenue.</i></p> <p><i>Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed development.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	<i>N/A as no curb cuts or driveway entrances are proposed along 4<sup>th</sup> Street or Walnut Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	<i>Unobstructed access for emergency vehicles, snowplows, and garbage trucks is provided from the Block 44 alley, 4<sup>th</sup> Street, and Walnut Avenue. The applicant shall submit a will-serve letter from Clear Creek Disposal prior to issuance of a building permit for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Staff Comments	<p><i>The Architectural Site Plan on Sheet AS-101 of the project plans note that snowmelt and hauling snow off-site is proposed in lieu of providing snow storage areas on-site.</i></p> <p><i>Most of the on-site circulation areas are covered by roof overhangs and canopies. Snow removal from the sidewalk along 4<sup>th</sup> Street and Walnut Avenue will be the responsibility of the property owner.</i></p> <p><i>The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.</i></p>
			17.96.060.H2	Snow storage areas shall be provided on-site.



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Snow Storage	
			<i>Staff Comments</i>	<i>The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			<i>Staff Comments</i>	<i>N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt and snow hauling in lieu of providing any snow storage areas on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The Architectural Site Plans on Sheet AS-101 notes that snow management will be accomplished by snowmelt and hauling snow off-site. Most of the on-site circulation areas are protected by roof overhangs and canopies. Snow removal from the sidewalk along 4<sup>th</sup> Street and Walnut Avenue will be the responsibility of the property owner.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is indicated on sheets L-2 and L-3 of the Design Review submittal attached as Exhibit A.</i>  <i>The landscape plan incorporates at-grade planters along 4<sup>th</sup> Street and Walnut Avenue. The planters will include colorful perennials and ornamental grasses that beautify the streetscape. 3 tannebaum pines are proposed on-site at the corner of 4<sup>th</sup> Street and the alley.</i>  <i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4<sup>th</sup> Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscaping will complement the new mixed-use building and surrounding neighborhood. The vegetation will beautify the pedestrian-friendly streetscape. The landscape plan shall meet requirements for microclimate, soil conditions, orientation and aspect.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.

			<i>Staff Comments</i>	<i>All trees, shrubs, grasses, and perennials shall be drought tolerant. Native plants are recommended.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The subject property is surrounded by compatible uses within the Community Core Zone. The landscape features soften the mass of building and provide visual relief to the vertical wall planes.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<p><i>5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4<sup>th</sup> Street and 2 bike racks at the back of the building by the alley.</i></p> <p><i>Street trees and streetlights are proposed within the sidewalk along 4<sup>th</sup> Street and Walnut Avenue. 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights.</i></p> <p><i>The applicant has indicated that a bench and trash receptacle will be installed as a public amenity for the new development.</i></p> <p><i>All amenities proposed within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p> <p><i>Final civil drawings for all associated ROW and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</i></p>

Table 4: Community Core Design Review Standards Evaluation

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			Staff Comments	<i>5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4<sup>th</sup> Street and 2 bike racks at the back of the building by</i>

				<p><i>the alley. Street trees and streetlights are proposed within the sidewalk along 4<sup>th</sup> Street and Walnut Avenue. The applicant has indicated that a bench and trash receptacle will be installed as a public amenity for the new development.</i></p> <p><i>6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p> <p><i>Final civil drawings for all associated ROW and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			Staff Comments	<p><i>Sheet C0.2 specifies that proposed street trees shall be 3-inches minimum caliper with Autumn Blaze Maple or an approved equal tree.</i></p> <p><i>Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans with the building permit application for final review and approval by the City Engineer and Streets Department. All encroachments within the ROW require an Encroachment Permit issued by the City.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.
			Staff Comments	<p><i>Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. Modification to the requirements of KMC §17. 96.070(A) may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the building permit application. The final civil drawings including the streetscape, sidewalk, utilities, and drainage plans shall be reviewed and approved by the City Engineer, Streets Department prior to issuance of a building permit for the project. Final details and approval will occur during building permit review.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(1)	<p>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</p>
			Staff Comments	<p><i>The mixed-use building is setback 6 feet from the interior side and must meet this standard. The alley, 4<sup>th</sup> Street, and interior side facades utilize the same materials, colors, and architectural</i></p>

				<i>elements as the front façade along Walnut Avenue. The building design creates one- and two-story distinct elements through the pattern of exterior material placement that provide visual interest and reduce the appearance of bulk and flatness. The façade design incorporates material patterns that visually distinguish the building walls into unique masses. Window openings are incorporated into the design of each façade and provide visual relief to the solid walls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			Staff Comments	<i>The storefront entrances are distinguished with ornamentation, including canopies, timber trusses, and decorative gable ends. Planters with colorful perennials and ornamental grasses beautify the streetscape. Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			Staff Comments	<i>Floor-to-ceiling glass doors and storefront windows enhance curb appeal inviting the public inside the building. The pedestrian-friendly streetscape and building design will not only attract customers to shop and dine, but will also cultivate a lively, social atmosphere.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			Staff Comments	<i>The design incorporates a mansard roofing form and gable ends characteristic of alpine architecture. The roof material will be dark gray standing seam metal. The color is specified on the exterior materials. Reflective roofing materials are prohibited.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			Staff Comments	<i>The elevations indicate that the roof will include snow clips for weather protection.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			Staff Comments	<i>N/A as no overhangs are proposed to encroach over the property line into the adjacent ROW.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			Staff Comments	<i>N/A as no front porches or stoops are proposed on the ground level. The building entrances lead to at-grade paver pathways that</i>

				<i>connect to the sidewalks along 4<sup>th</sup> Street and Walnut Avenue. These entrances are open and unenclosed. The entryways include roof overhangs canopy elements to provide weather protection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			Staff Comments	<i>The trash disposal area is located at the rear of the building and accessed from the alley. The trash and recycling area will be screened from public view within a CMU enclosure.</i>  <i>The applicant shall submit a will serve letter from Clear Creek Disposal prior to issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			Staff Comments	<i>The proposed roof is a false mansard. As illustrated on the southeast elevation indicated on Sheet A-202, the top of the mansard roof falls into a 10-foot deep recessed area that is fully screened from public view. All roof-mounted mechanical, plumbing, and electrical equipment is contained within this fully screened, false mansard recession. The applicant has also proposed a roof-mounted solar system contained within this recession.</i>  <i>All utilities within the development site shall be underground and concealed from public view. The Architectural Site Plan (Sheet AS-101), First Floor Plan (A-102), and Alley Elevation (Sheet A-202) of the project plans indicate the electrical utility enclosure. The Architectural Site Plan (Sheet AS-101) indicates that the transformer serving the development will be located at the back of the building adjacent to the Block 44 alleyway and fully concealed from public view.</i>  <i>An existing overhead power line runs along the Block 44 alleyway adjacent to the subject property. The project plans indicate that this power line will be buried underground.</i>  <i>All roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. The final screening, location, and height of all ground and roof mounted mechanical equipment shall be reviewed prior to the issuance of a building permit and shall be approved upon final inspection prior to Certificate of Occupancy for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.

			Staff Comments	<p><i>The Demolition Landscaping Plan on Sheet L-1 indicates that 5 mature trees will be removed from the project site to accommodate the new development.</i></p> <p><i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4<sup>th</sup> Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i></p> <p><i>The applicant shall coordinate with the City Arborist regarding the placement of off-site replacement trees. The siting of the 5 replacement trees shall be finalized on the project plans submitted with the building permit application for review and approval by the City Arborist, the City Engineer, and the Streets Department. The installation of the 5 replacement trees shall be verified upon final inspection prior to issuance of a Certificate of Occupancy for the project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	<p>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</p>
			Staff Comments	<p><i>The tree well details are indicated on Sheet CO.2 of the project plans. The 4 street trees are proposed to be installed in tree wells and covered by grates.</i></p> <p><i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4<sup>th</sup> Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(3)	<p>The city arborist shall approve all parking lot and replacement trees.</p>
			Staff Comments	<p><i>No parking lot is proposed to serve the new development. 5 replacement trees are required for the project.</i></p> <p><i>The applicant shall coordinate with the City Arborist regarding the placement of off-site replacement trees. The siting of the 5 replacement trees shall be finalized on the project plans submitted with the building permit application for review and approval by the City Arborist, the City Engineer, and the Streets Department. The installation of the 5 replacement trees shall be verified upon final</i></p>

				<i>inspection prior to issuance of a Certificate of Occupancy for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			Staff Comments	<i>N/A. No surface parking lot is proposed with the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Staff Comments	<i>N/A. The project does not include a surface parking lot. On-site parking is accommodated the carport at the back of the building adjacent to the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			Staff Comments	<i>Planters with colorful perennials and ornamental grasses beautify the streetscape. The 4 street trees are proposed to be installed in tree wells and covered by grates.</i>  <i>6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i>  <i>The applicant has proposed four street trees within the ROW along Walnut Avenue and 4<sup>th</sup> Street. Street trees may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			Staff Comments	<i>The development generates a parking demand of 8 spaces. 2 bike racks accommodating 4 bikes is required for the project. 5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4<sup>th</sup> Street and 2 bike racks at the back of the building by the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.

			Staff Comments	<i>Two bicycle racks are required. The fraction of the calculation is not equal to or greater than one-half.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			Staff Comments	<p><i>5 bike racks are provided on-site. The applicant has provided 3 bike racks along 4<sup>th</sup> Street and 2 bike racks at the back of the building by the alley.</i></p> <p><i>The bicycle racks along 4<sup>th</sup> Street are located on-site by the entrance and are covered by the canopy overhang. The bike racks installed at the back of the building by the alley are located by the rear retail entry and the entrance to the ground level residential unit. The bike racks are located to achieve unobstructed access from the public right-of-way.</i></p>

**STAFF RECOMMENDATION**

Staff recommends that the Commission consider the project plans, the applicant’s presentation, and any public comment received, deliberate, provide feedback to the applicant, and move to continue review of the 4<sup>th</sup> & Walnut Ave Commercial Development Design Review application.

**RECOMMENDED MOTION**

“I move to continue review of the 4<sup>th</sup> & Walnut Ave Commercial Development Design Review application to the Planning & Zoning Commission Meeting of August 11<sup>th</sup>.”

**EXHIBITS:**

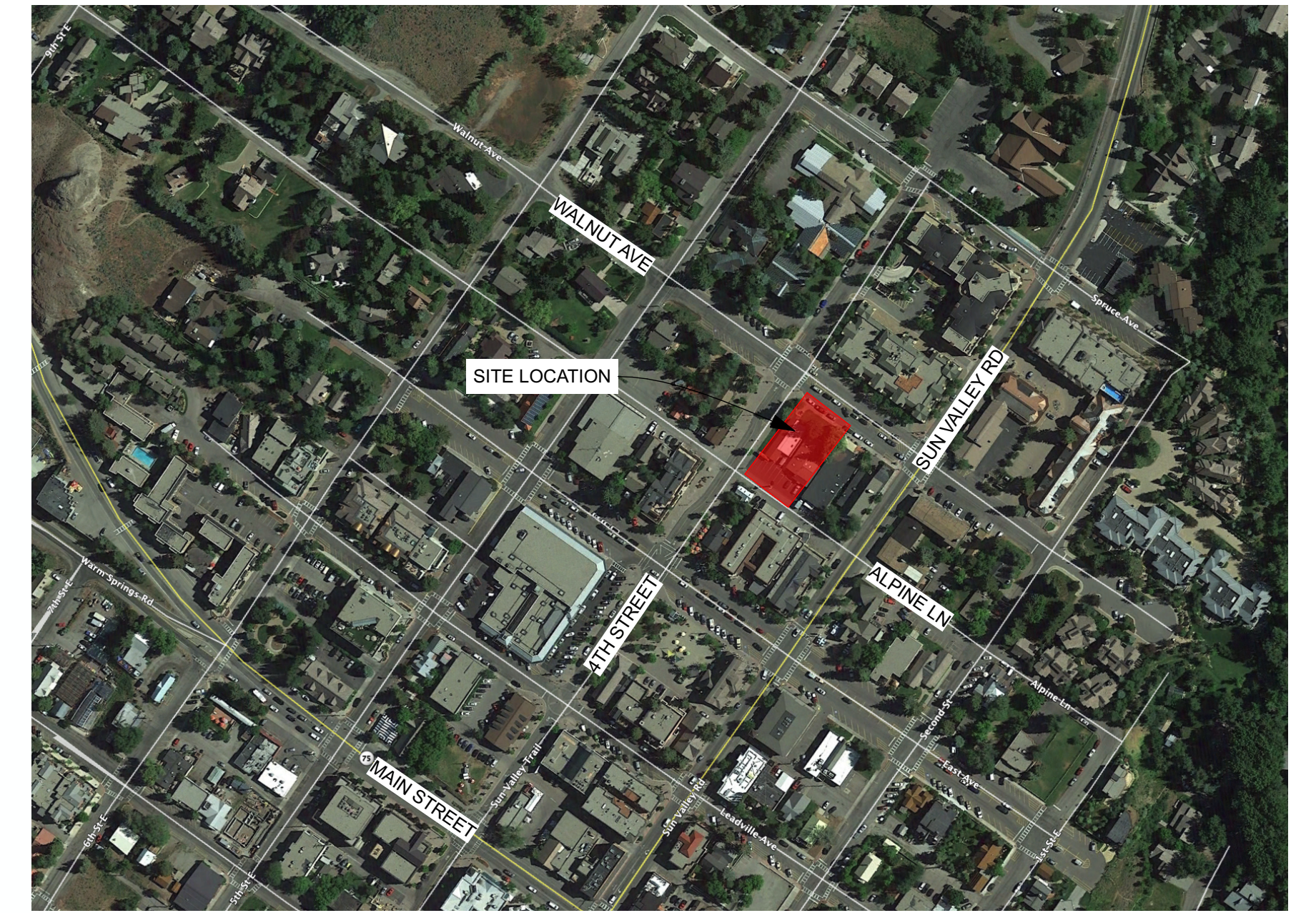
- A. Project Plans



# Exhibit A: Project Plans

# 4th & Walnut Ave. Commercial Development

"TBD" Ketchum Idaho 83340



N  
VICINITY MAP  
NOT TO SCALE

<b>Cover Sheet</b>	
G-1	COVER SHEET
<b>Civil</b>	
C0.1	NOTES AND DETAILS
C0.2	NOTES AND DETAILS
C1.1	SITE PLAN
<b>Landscaping</b>	
L-1	DEMOLITION LANDSCAPING PLAN
L-2	LANDSCAPING PLAN
L-3	LANDSCAPING PLANTS
<b>Architectural Site Plans</b>	
AS-101	ARCHITECTURAL SITE PLAN
AS-102	ARCHITECTURAL VICINITY MAP
AS-103	CONSTRUCTION MANAGEMENT PLAN
<b>Floor Plans</b>	
A-101	BASEMENT FLOOR PLAN
A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
<b>Elevations</b>	
A-201	ELEVATIONS
A-202	ELEVATIONS
<b>Renderings</b>	
A-301	RENDERINGS
A-302	RENDERINGS
<b>Materials</b>	
AF-101	EXTERIOR MATERIALS

## COVER SHEET

7/6/20

# 4th & Walnut Ave. Commercial Development

Design Review July 13th 2020 G-1



305 1st STREET,  
Idaho Falls, ID 83401  
PH: 208.757.5700  
www.resinarchitecture.com

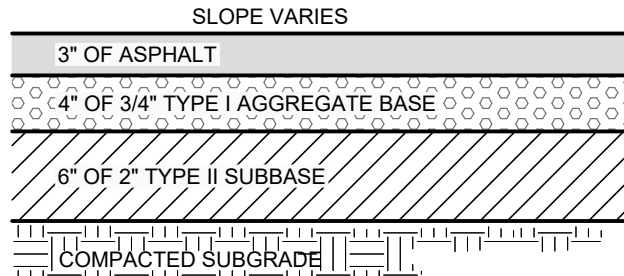
Original document is on file  
with the date and architect signature

Original documents signed by:  
J. GRAHAM WHIPPLE  
Date original documents signed:  
7/6/20

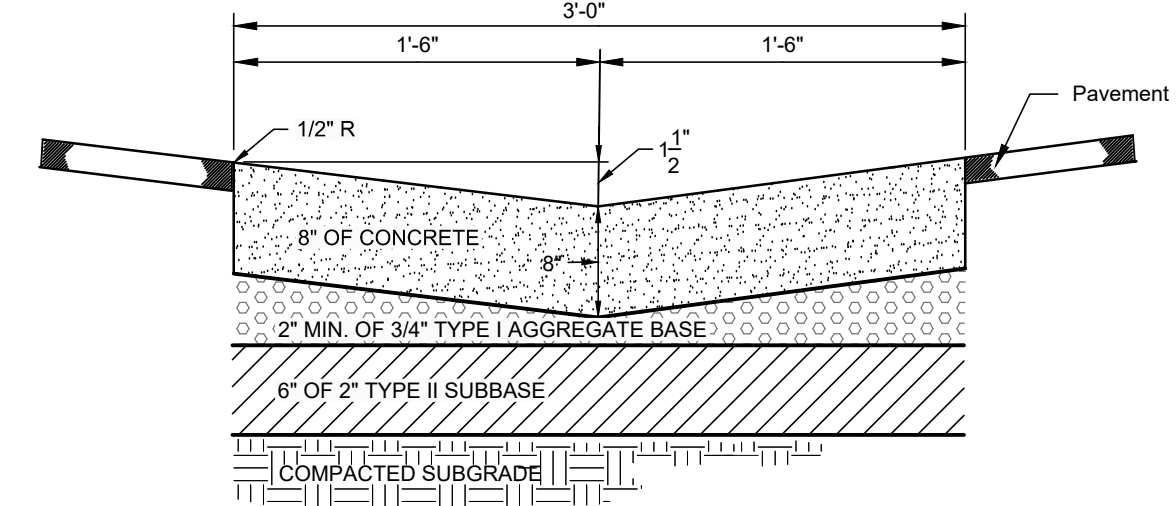
THESE PLANS, DRAWINGS, AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF RESIN ARCHITECTURE, LLC AND SHALL NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN CONSENT. ALL RIGHTS RESERVED © 2020 RESIN ARCHITECTURE, LLC.

**CONSTRUCTION NOTES**

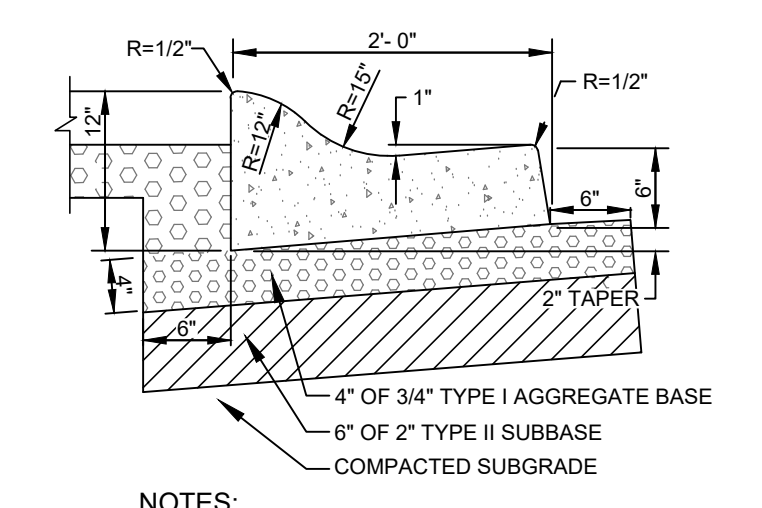
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1595) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58 01 08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTING, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINFSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



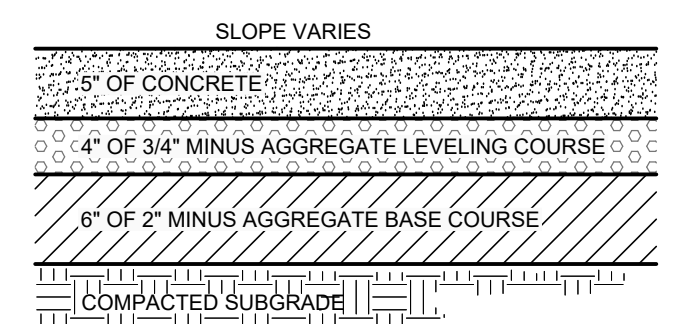
**1**  
C0.1 TYPICAL STREET ASPHALT SECTION  
N.T.S.



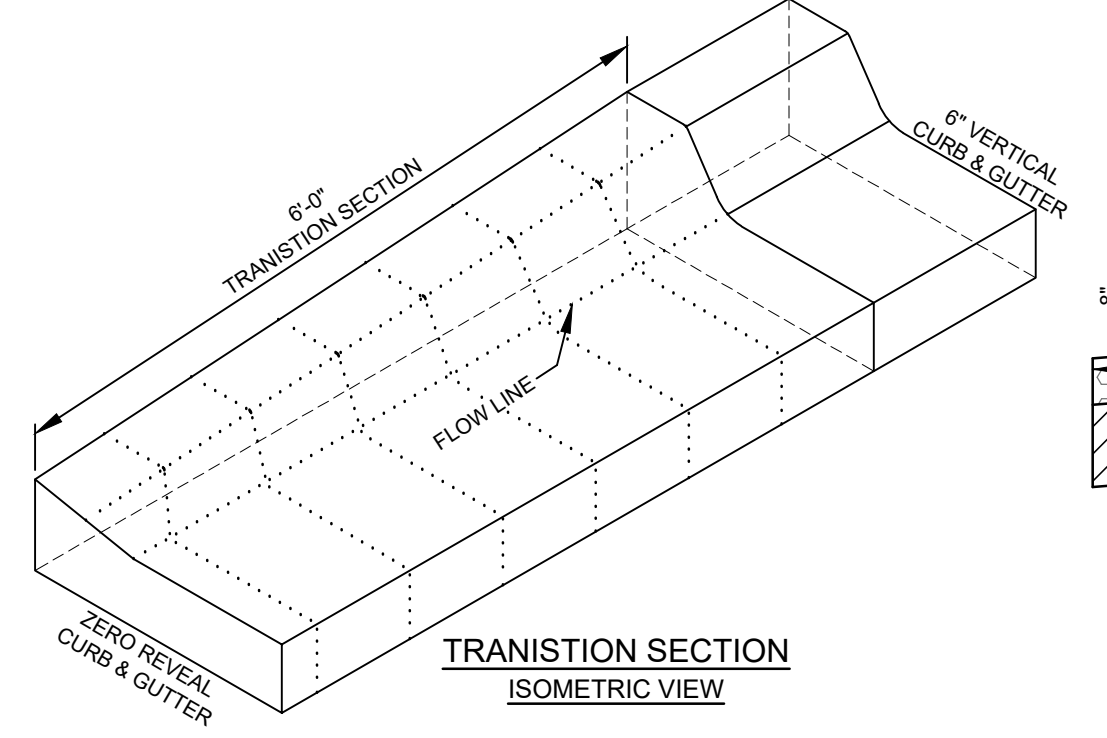
**2**  
C0.1 36" CONCRETE VALLEY GUTTER  
N.T.S.



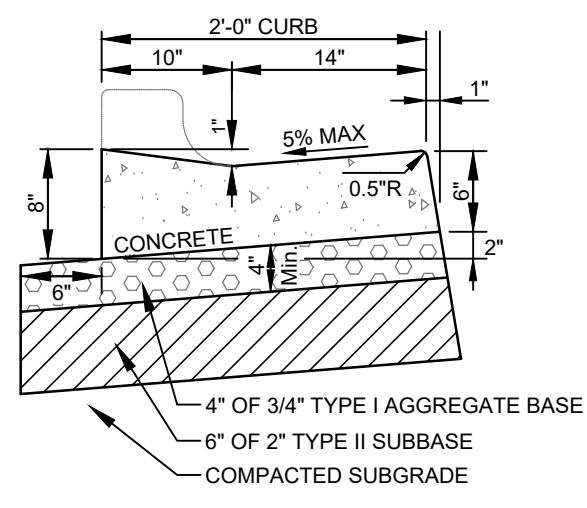
**3**  
C0.1 6" CONCRETE ROLLED CURB & GUTTER  
N.T.S.



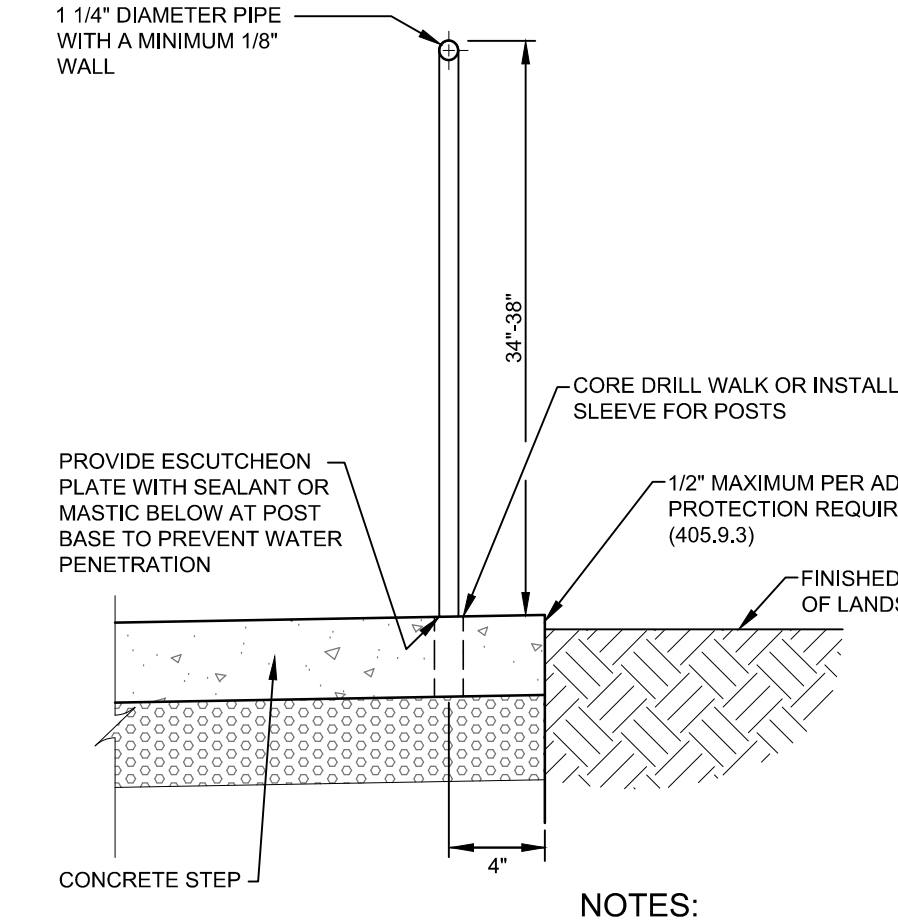
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C0.1 TYPICAL CONCRETE SECTION  
N.T.S.



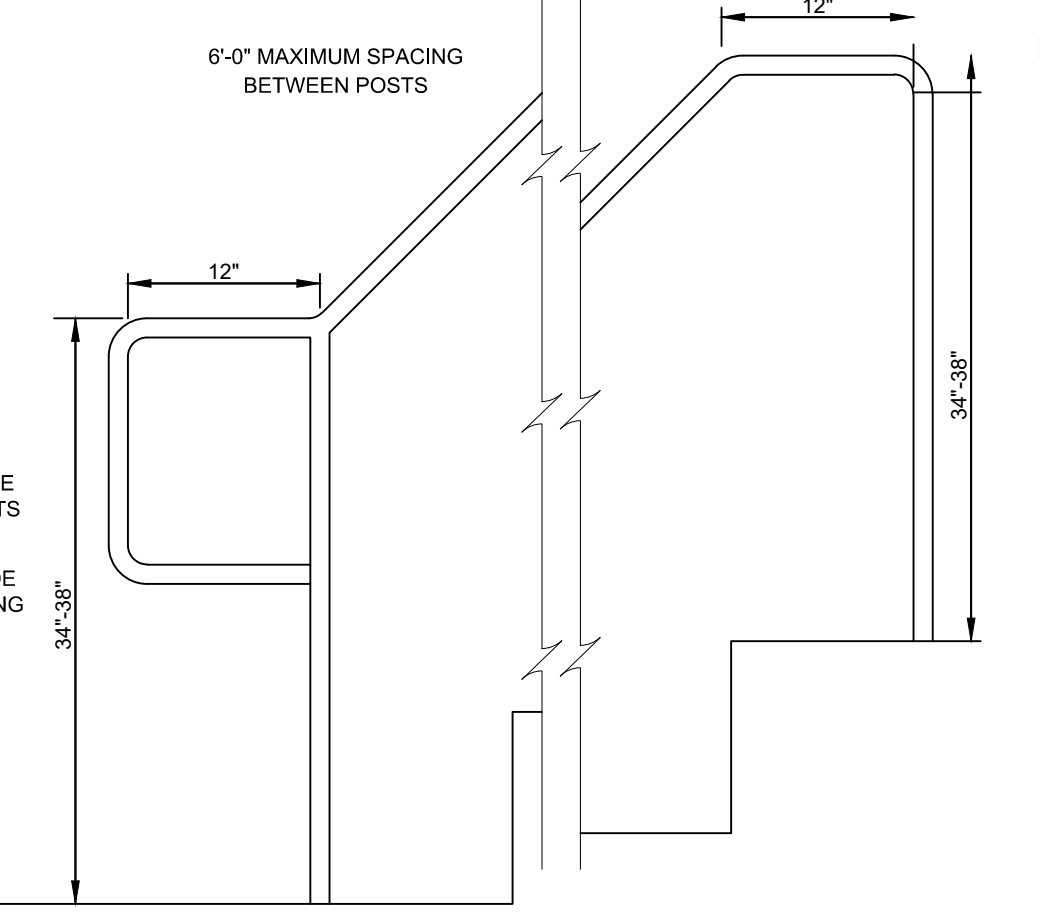
**5**  
C0.1 TRANSITION SECTION  
N.T.S.



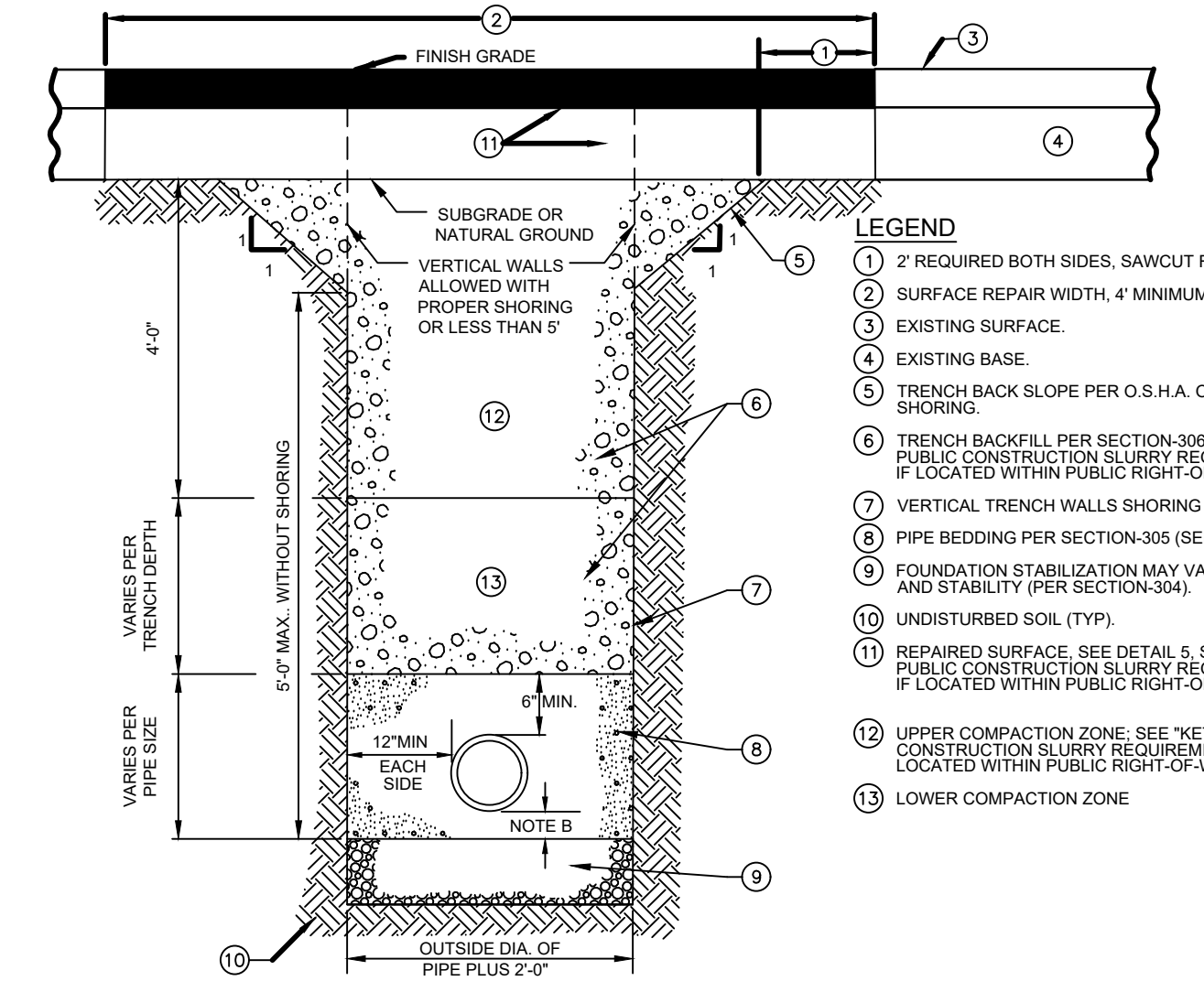
ZERO REVEAL CURB & GUTTER



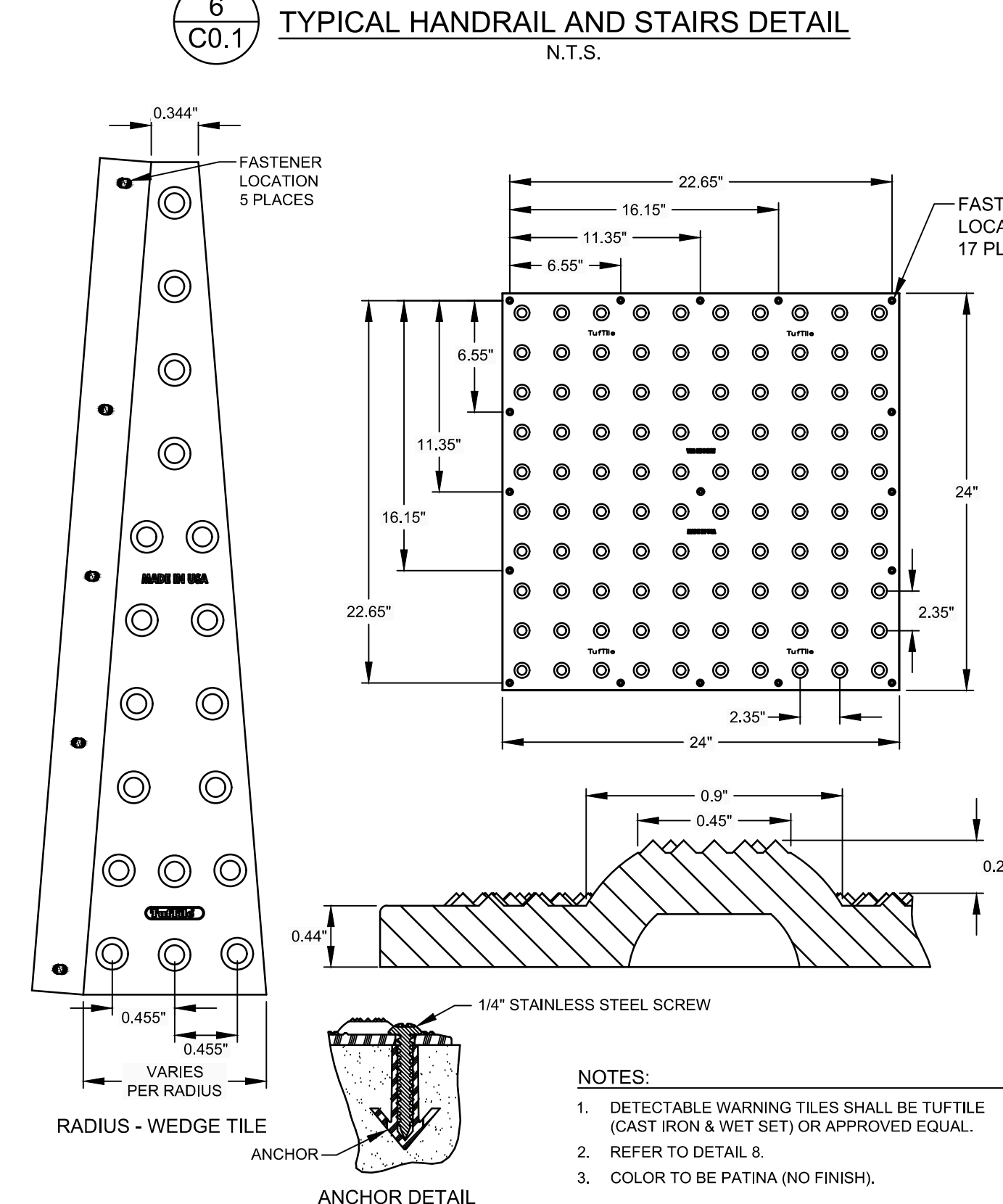
**7**  
C0.1 STAND ALONE HANDRAIL DETAIL  
N.T.S.



**8**  
C0.1 WALL MOUNTED HANDRAIL DETAIL  
N.T.S.

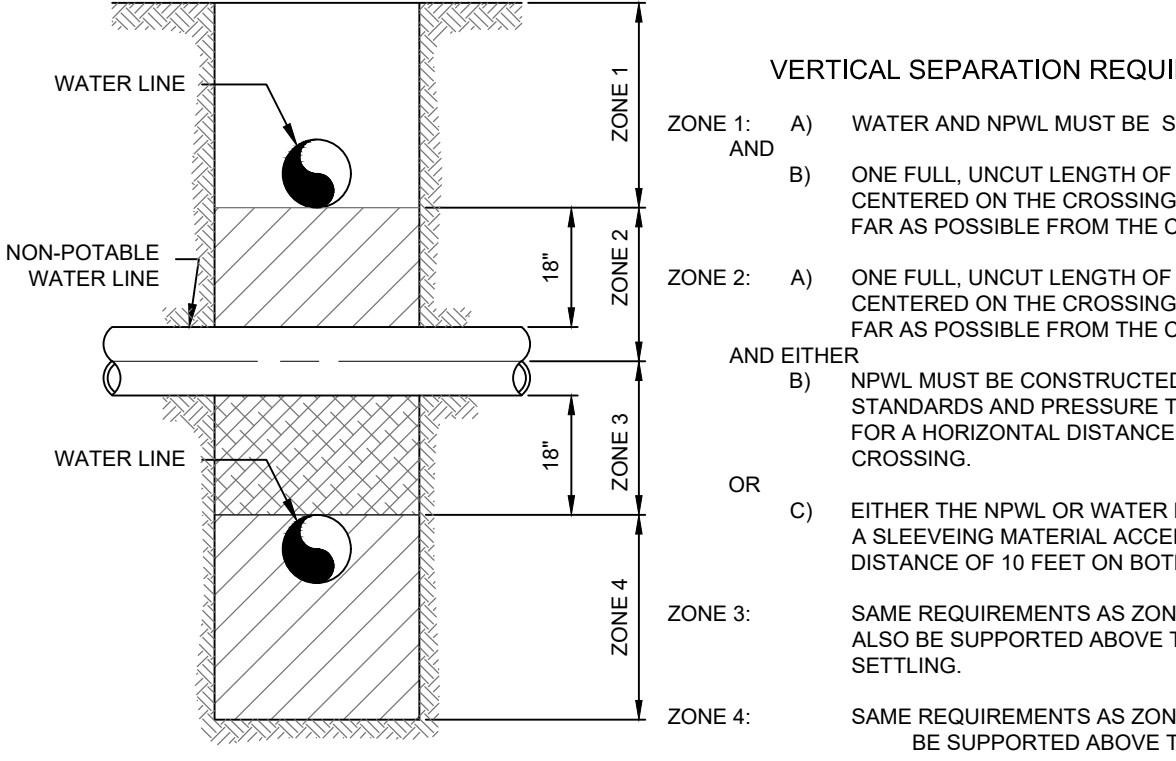


**9**  
C0.1 TYPICAL TRENCH  
N.T.S.

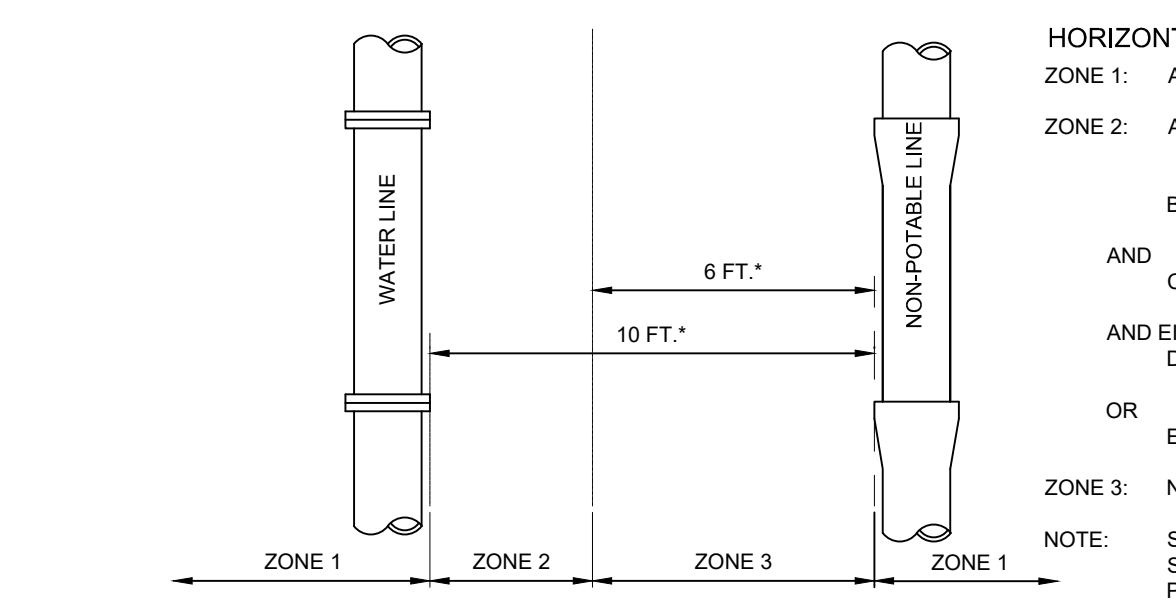


**10**  
C0.1 DETECTABLE WARNING PLATE  
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



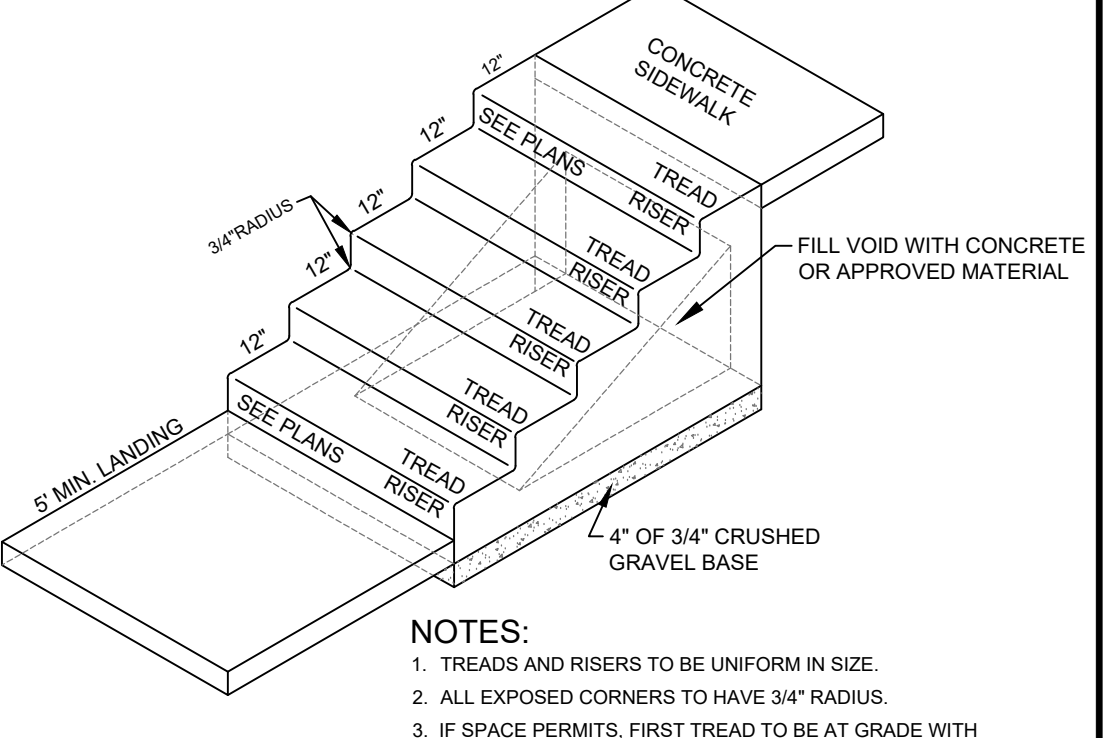
- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES AND B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

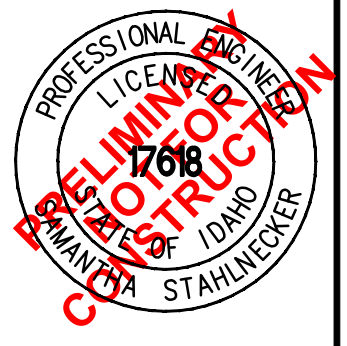
**11**  
C0.1 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
N.T.S.

- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
  - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 3" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
  - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
  - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.



- NOTES:**
- TREADS AND RISERS TO BE UNIFORM IN SIZE.
  - ALL EXPOSED CORNERS TO HAVE 3/4" RADIUS.
  - IF SPACE PERMITS, FIRST TREAD TO BE AT GRADE WITH SIDEWALK.

**NOTES AND DETAIL SHEET**  
**4TH AND WALNUT**  
LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR WALNUT & FOURTH LLC

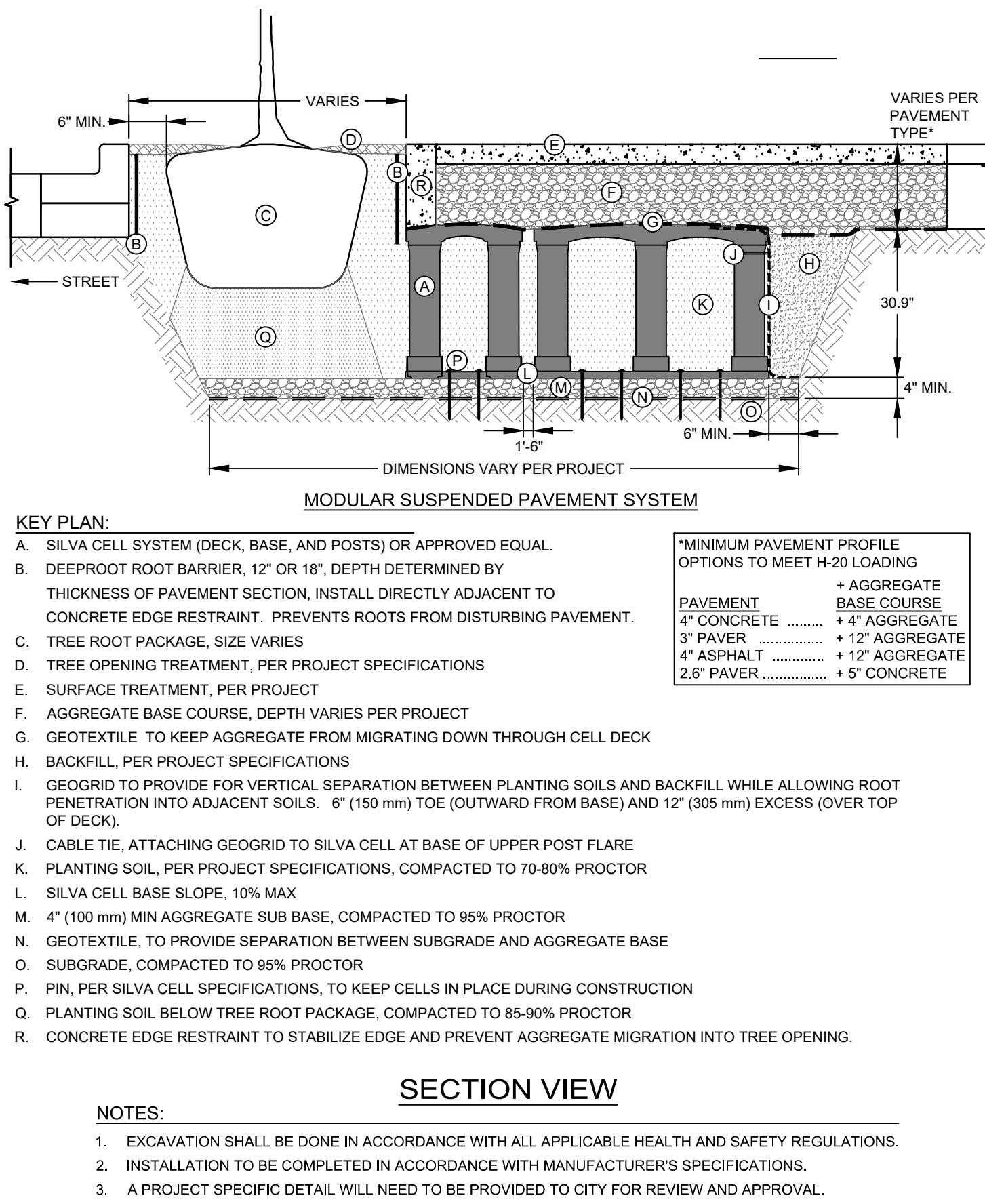
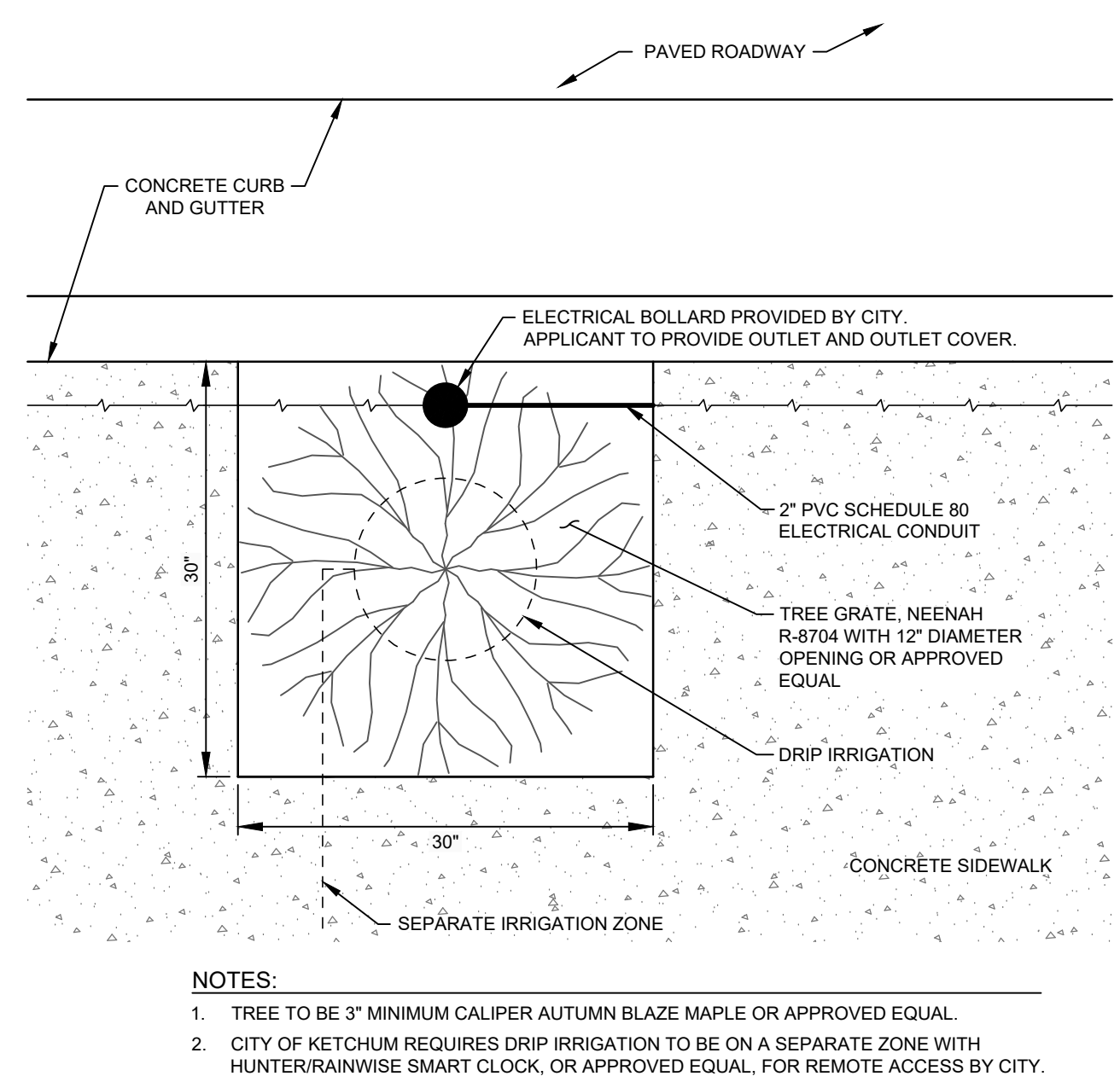
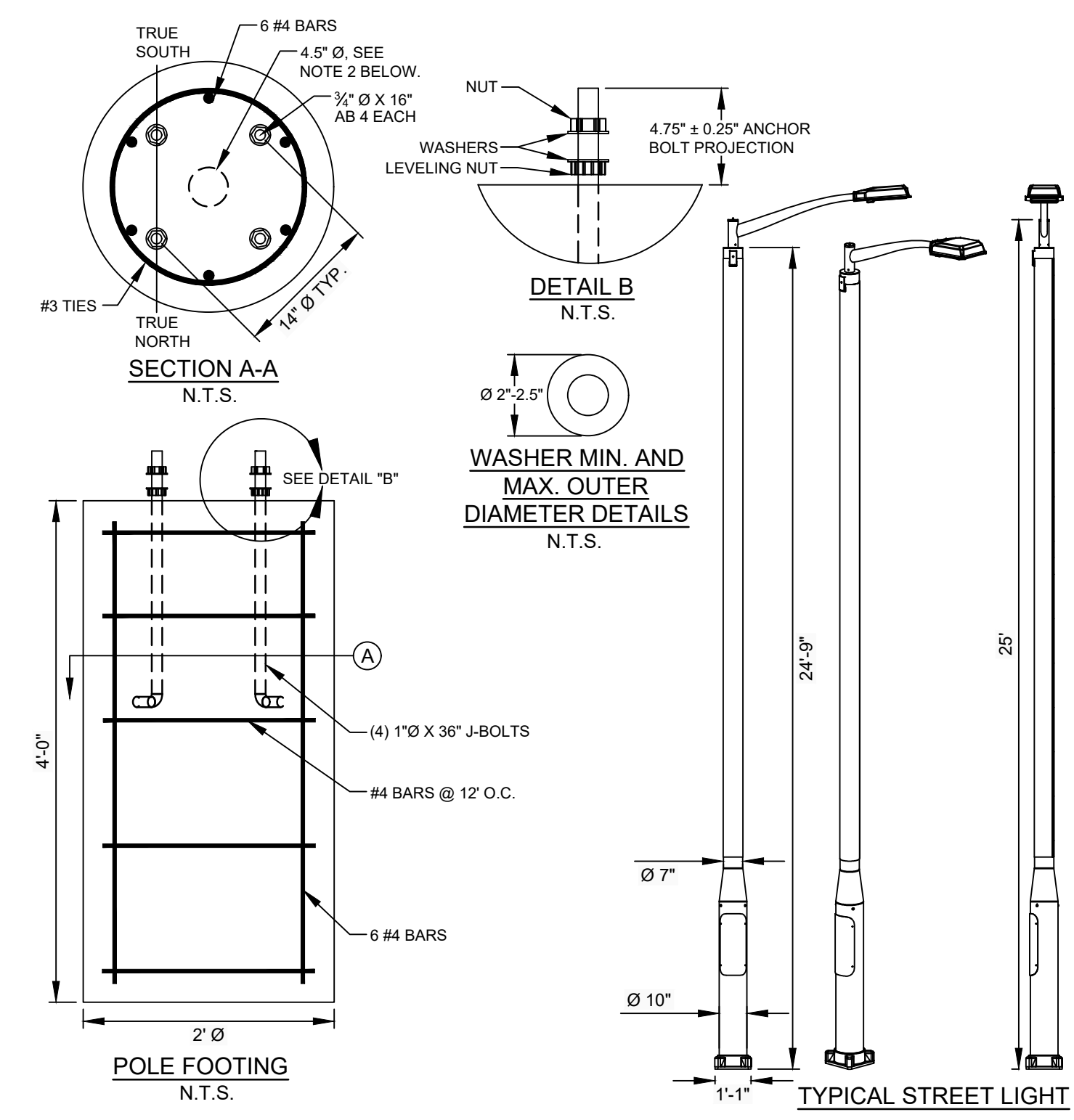
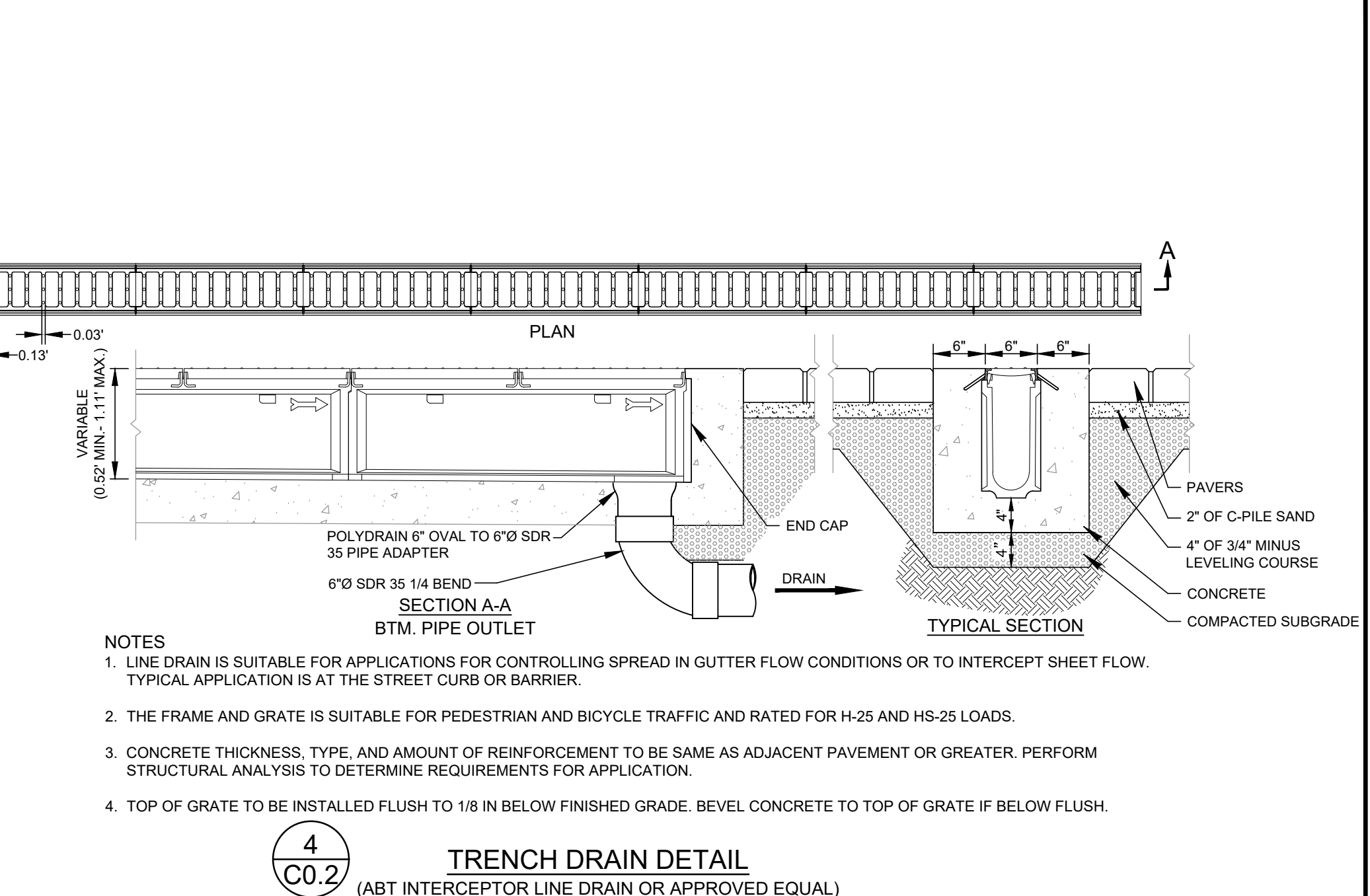
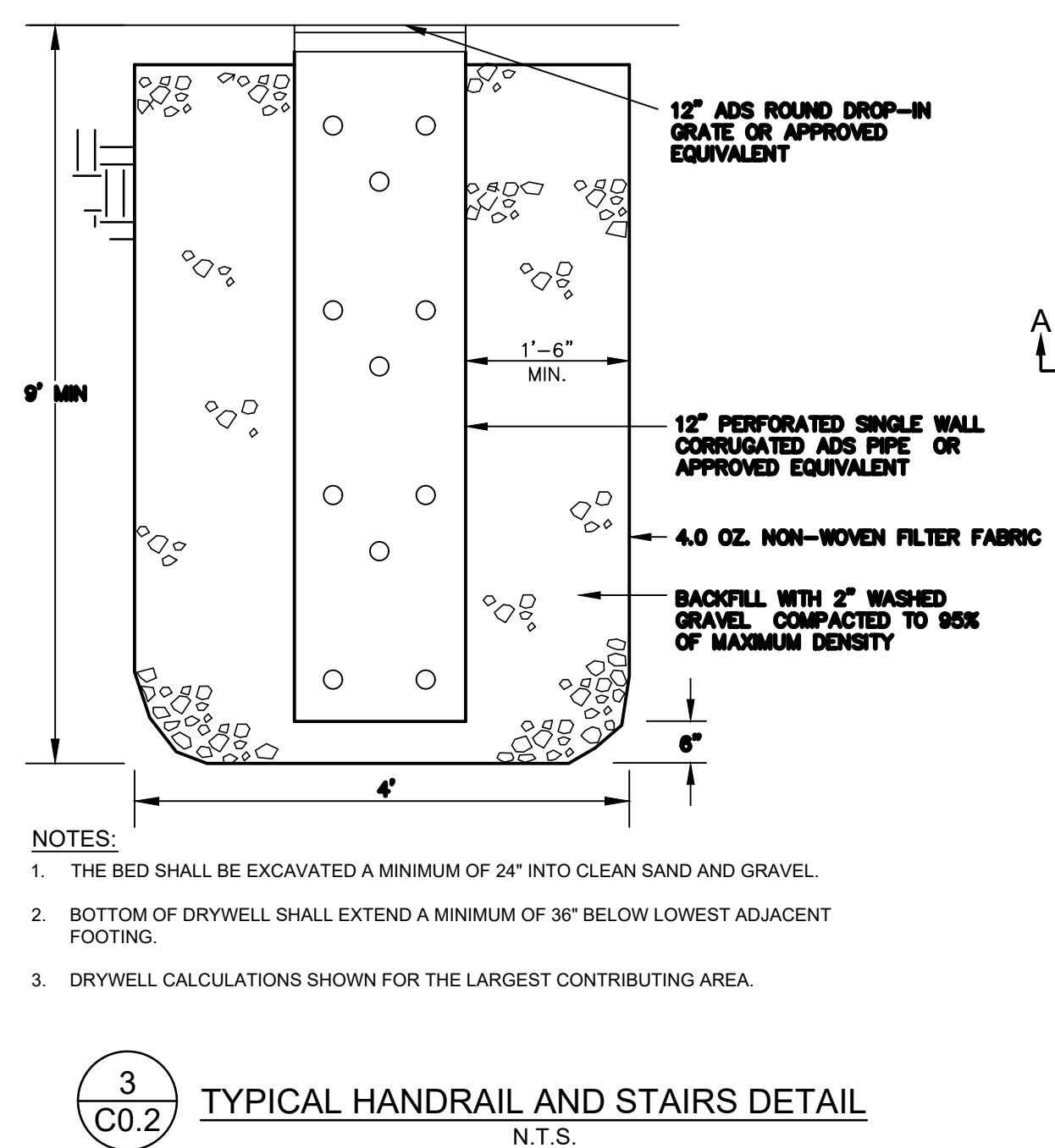
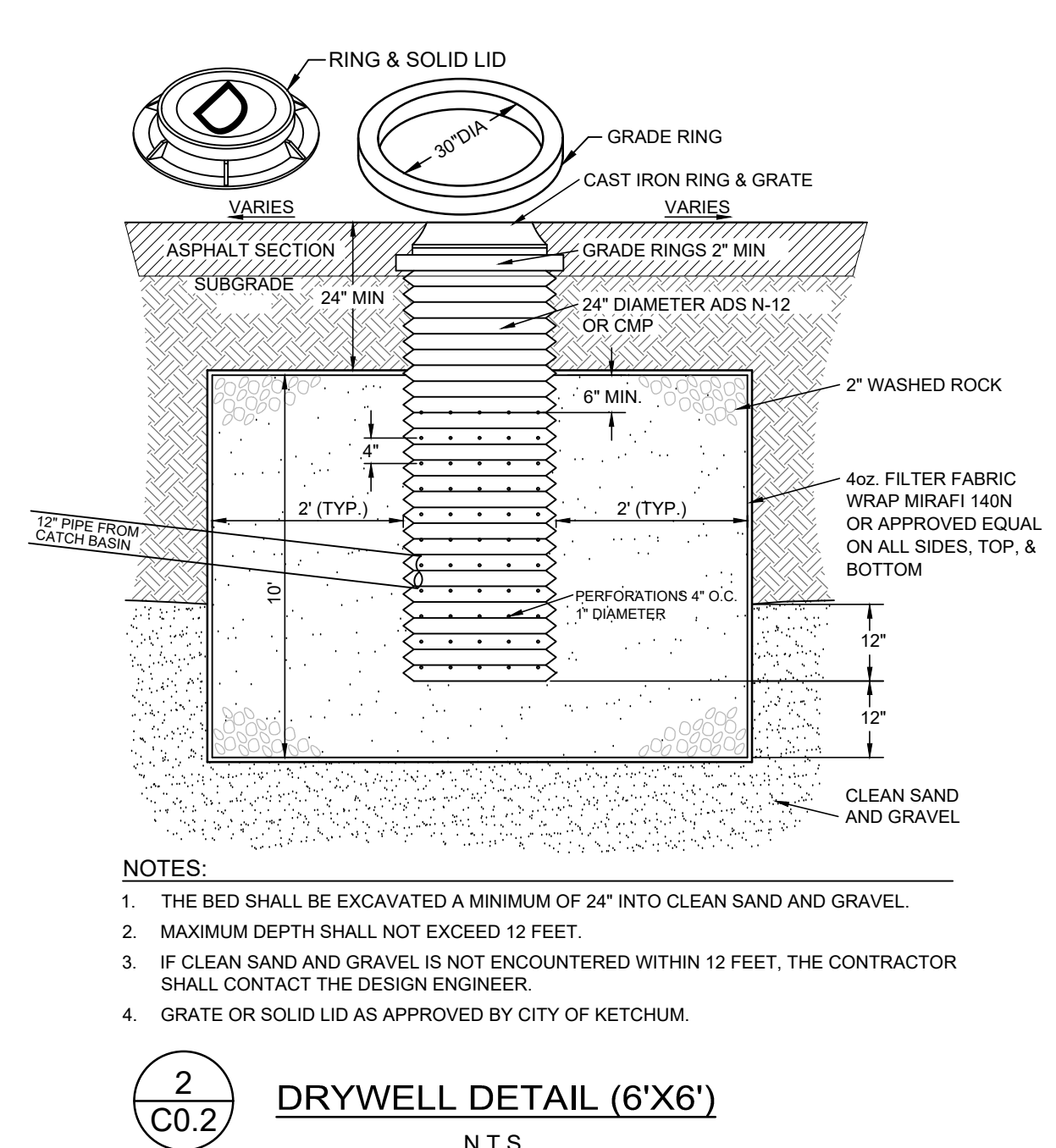
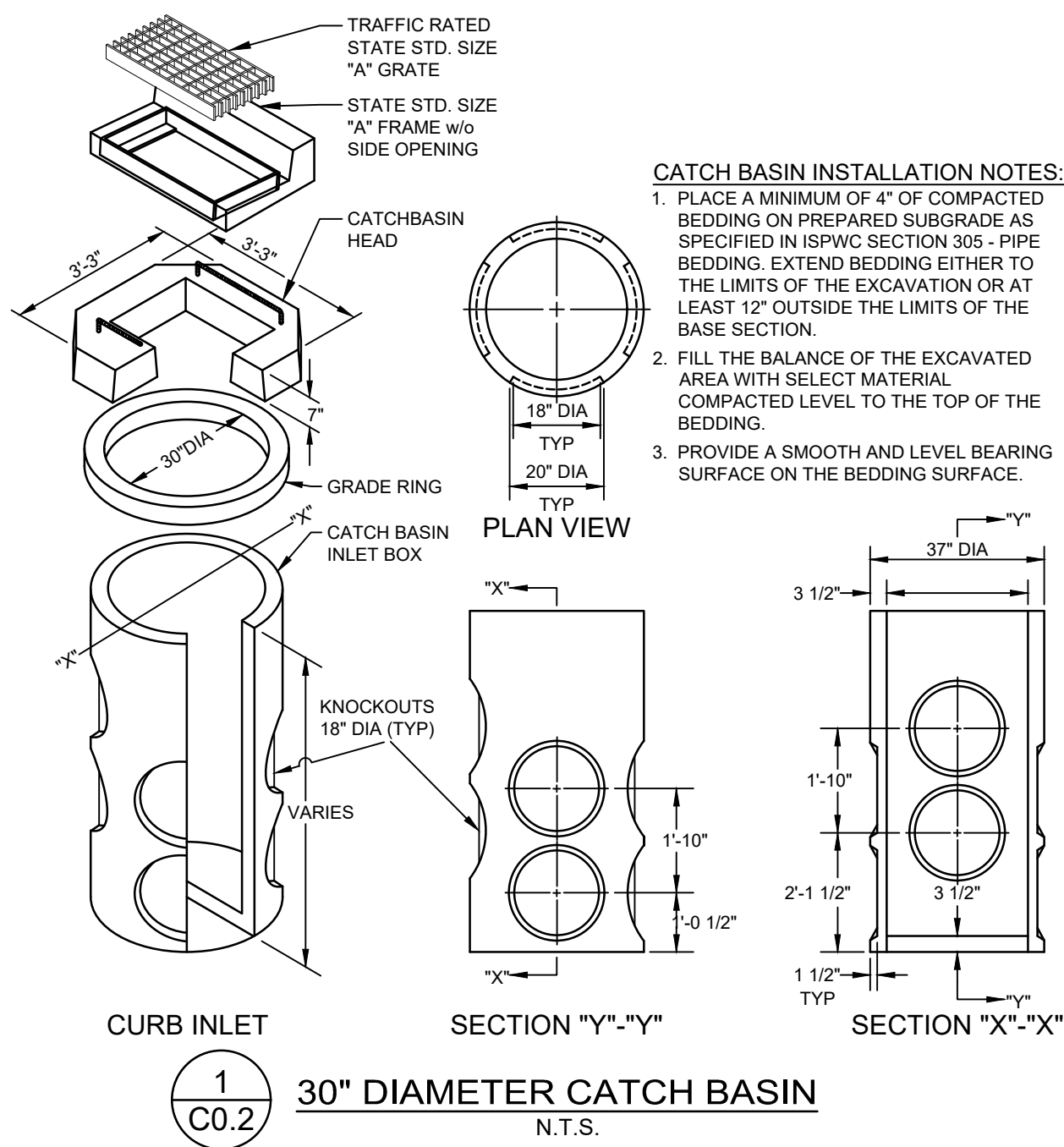


SKS DESIGNED BY  
SKS DRAWN BY  
SMF CHECKED BY

**GALENA ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 768-1705  
email: galena@galena-engineering.com

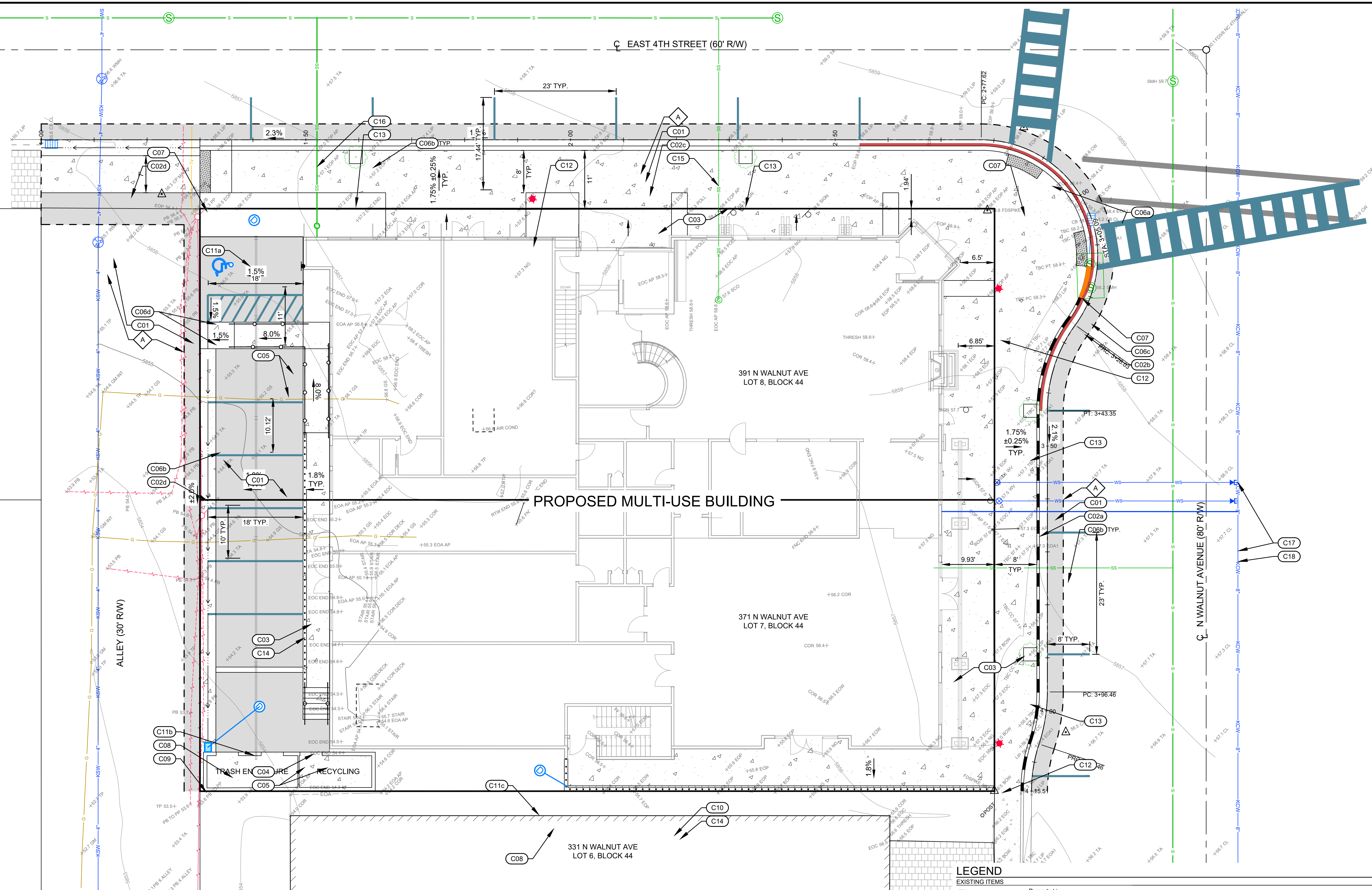
PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)

NO.	DATE	BY	REVISIONS



PROJECT INFORMATION  
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 PREPARED FOR WALNUT & FOURTH LLC  
 CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M.  
 1706  
 PROFESSIONAL ENGINEER  
 LICENSED IN THE STATE OF IDAHO  
 GALENA ENGINEERING, INC.  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 768-1705  
 email: galena@galena-engineering.com  
 PURPOSE: ISSUE FOR DESIGN REVIEW (06/06/2020)  
 NO. DATE BY REVISIONS  
 C0.2

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.

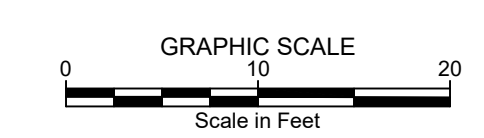


**CONSTRUCTION KEY NOTES**

- C01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.1.
- C02** CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" ROLLED C&G PER DETAIL 3 / C0.1.
  - b. CURB TRANSITION PER DETAIL 5 / C0.1.
  - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 5 / C0.1.
  - d. CONCRETE VALLEY GUTTER PER DETAIL 2 / C0.1.
- C03** CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 4 / C0.1.
- C04** CONSTRUCT CONCRETE STAIRS. SEE DETAIL 6 / C0.1.
- C05** INSTALL HANDRAIL. SEE DETAIL 6 / C0.1.
- C06** INSTALL ROAD STRIPING / PAINT
  - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
  - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - c. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
  - d. BLUE ADA PARKING STRIPING AND SYMBOL.
- C07** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 9 / C0.1.
- C08** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 7 / C0.1 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 8 / C0.1 FOR TRENCHING.
- C09** INSTALL CATCH BASIN. SEE DETAIL 1 / C0.2 RIM = XX INV. OUT = XX
- C10** INSTALL TRENCH DRAIN. SEE DETAIL 4 / C0.2
- C11** DRYWELL
  - a. CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 3 / C0.2 RIM = XX INV. IN = XX
  - b. CONSTRUCT NEW DRYWELL; CONNECT ROOF DRAINS PER ARCHITECT. SEE DETAIL 2 / C0.2 RIM = XX INV. IN = XX
  - c. CONSTRUCT NEW DRYWELL. SEE DETAIL 2 / C0.2 RIM = XX INV. IN = XX
- C12** INSTALL CITY OF KETCHUM STANDARD STREET LIGHT. SEE DETAIL 5 / C0.2.
- C13** INSTALL TREE WELL BOLLARDS AND MODULAR SUSPENDED PAVEMENT SYSTEM. SEE DETAIL 6 / C0.2.
- C14** INSTALL RETAINING WALL PER ARCHITECT.
- C15** CUT AND CAP EXISTING SEWER SERVICE.
- C16** INSTALL 6" PVC SEWER SERVICE. MECHANICAL ENGINEER TO CONFIRM SERVICE SIZE.
- C17** CUT, CAP, AND ABANDON EXISTING WATER SERVICE AT MAIN LINE.
- C18** INSTALL 6" PVC WATER SERVICE. MECHANICAL ENGINEER TO CONFIRM SERVICE SIZE.
- C19** RELOCATE UTILITIES. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.
- A** MATCH EXISTING LINES AND GRADES

**LEGEND**

<b>EXISTING ITEMS</b>	Property Line	TV = Cable TV Buried	AP = Angle Point
Adjoiner's Lot Line	TVBOX = Cable TV Riser	TVBOX = Cable TV Riser	BEG = Beginning
Centerline	PHBOX = Buried Telephone Line	PHBOX = Telephone Riser	BOW = Back of Walk
FD5/8 = Found 5/8" Rebar	PHBOX = Telephone Riser	PHBOX = Telephone Riser	CC = Curb Cut
CP / CNTRL = Survey Control	PB = Buried Power Line	PB = Buried Power Line	CL = Centerline
5' Contour Interval	Overhead Power Line	Overhead Power Line	COR = Corner
1' Contour Interval	Light	Light	EOA = Edge of Asphalt
Curb & Gutter	PMTR = Power Meter	PMTR = Power Meter	EOC = Edge of Concrete
Valley Gutter	PP = Power Pole	PP = Power Pole	EOP = Edge of Pavers
FNC = Fence Line	AC = Air Conditioner	AC = Air Conditioner	EW = Edge of Walk
Building	SS = Sewer Service	SS = Sewer Service	FDSRIKE = Survey Control
Building / Structure Overhang	SMH = Sewer Manhole	SMH = Sewer Manhole	FF = Finished Floor
Edge of Asphalt	SCO = Sewer Cleanout	SCO = Sewer Cleanout	GS = Gas Service
Concrete Sidewalk	Sand & Grease Trap	Sand & Grease Trap	IC = Illegible Cap
Boardwalk	CB = Catch Basin	CB = Catch Basin	INT = Intersection
Pavers	DWELL = Dry Well	DWELL = Dry Well	LIP = Lip of Gutter
RTW = Retaining Wall	WS = Water Service	WS = Water Service	NC = No Cap
Concrete Wheel Stop	WMH = Water Manhole	WMH = Water Manhole	NG = Natural Ground
CT = Conifer Tree	WV = Water Valve	WV = Water Valve	PC = Point of Curvature
DT = Deciduous Tree	Ketchum City Water Line (8")	Ketchum City Water Line (8")	PT = Point of Tangent
SGN = Sign	Ketchum Spring Line (8")	Ketchum Spring Line (8")	RTW = Retaining Wall
B-Rack = Bike Rack	Ketchum Spring Line (4")	Ketchum Spring Line (4")	TA = Top of Asphalt
GM = Gas Main	CW = Crosswalk	CW = Crosswalk	TBC = Top Back of Curb
GMTR = Gas Meter			THRESH = Threshold
			TP = Top of Pavers



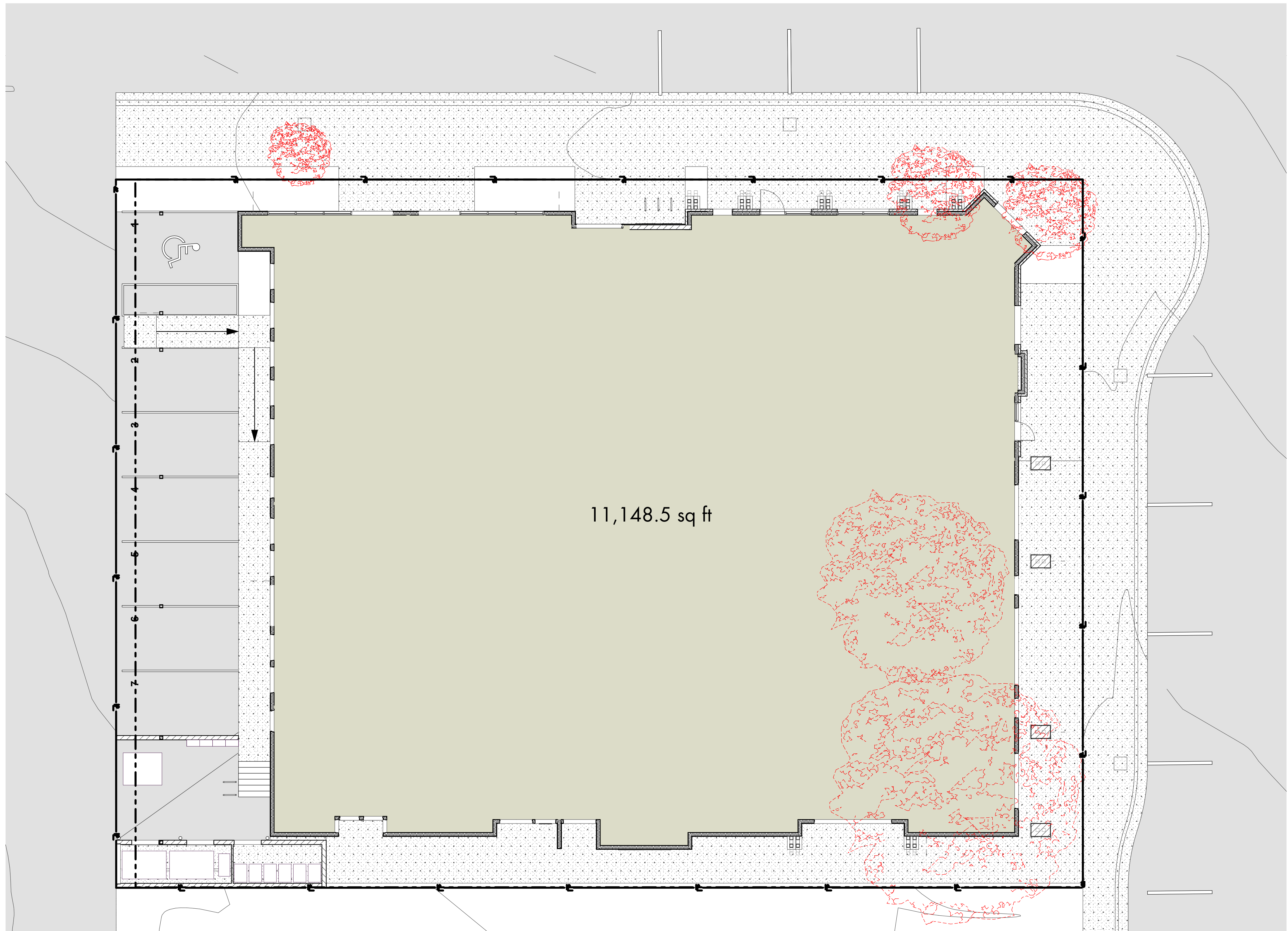
PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)

NO.	DATE	BY	REVISIONS

**NOTES AND DETAIL SHEET**  
**4TH AND WALNUT**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR WALNUT & FOURTH LLC

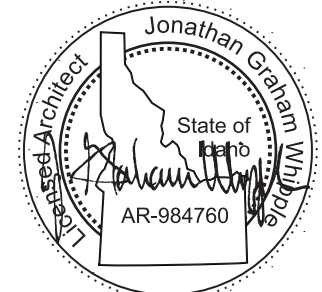
DESIGNED BY \_\_\_\_\_  
 CT  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Hailey, Idaho 83433  
 (208) 768-1705  
 email: galena@galena-engineering.com



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 Idaho Falls, ID 83401  
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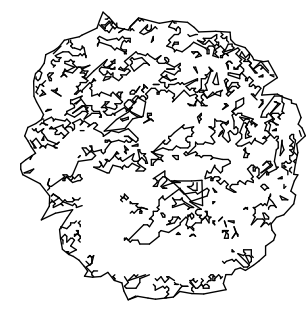
DEMOLITION LANDSCAPING PLAN

7/6/20

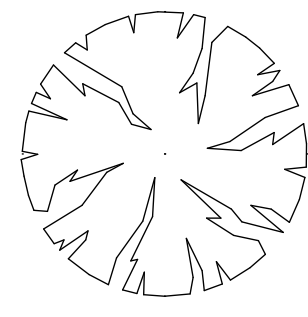
4th & Walnut Ave.  
 Commercial Development

Design Review July 13th 2020

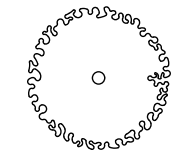
L-1



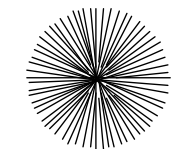
ARMSTRONG MAPLE, ACER x FREEMANII "ARMSTRONG"  
15-20 x 40-50 MATURE



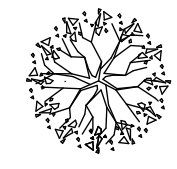
TANNENBAUM PINE, PINUS MUGHO "TANNENBAUM"  
8-10 x 12-15 MATURE



PERENNIALS AND GRASSES  
1 GAL @ 12"-18" O.C.



AUTUMN MOOR GRASS



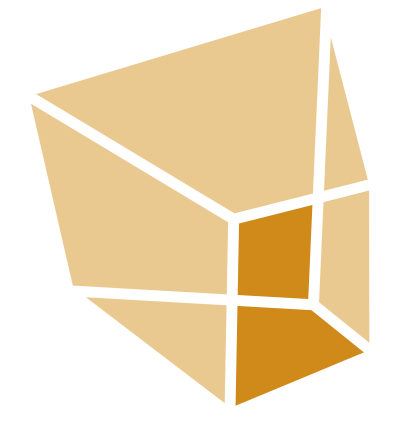
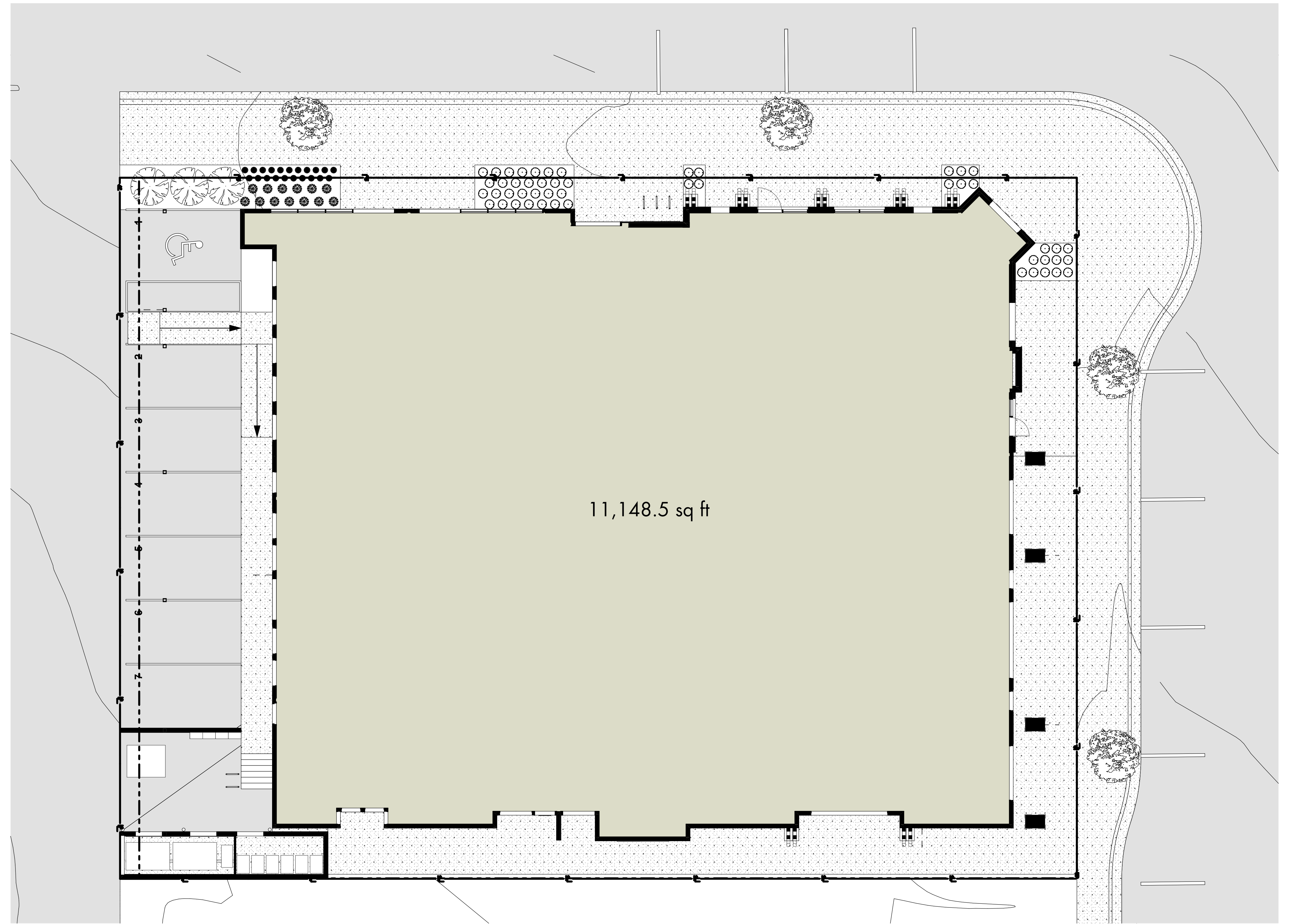
TOR BIRCHLEAF SPIREA, SPIRAEA BETULIFOLIA "TOR"



2 Mugho Tannenbaum  
SCALE: 1:1.39



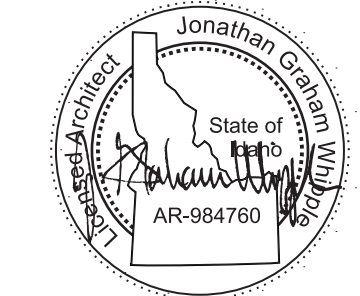
1 Armstrong Maple  
SCALE: 1:1.19



**RESIN**  
ARCHITECTURE

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LANDSCAPING PLAN

7/6/20

4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020

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**Perennials (1 gal. @ 12"-18")**

- *Alchillea millefolium* – Yarrow ‘Terracotta’
- *Geum* – Avens ‘Mai Tai’
- *Nepeta musinii* – Catmint ‘Blue Wonder’
- *Penstemon digitalis* – Penstemon ‘Dark Towers’
- *Salvia nemerosa* - ‘Ave Maria’
- *Salvia nemerosa* - ‘Caradonna’
- *Sedum telephium* - ‘Knight Rider’
- *Sedum telephium* - ‘Matrona’
- *Veronica longifolia* - ‘First Lady’



12 Veronica Longifolia First Lady  
NOT TO SCALE



11 Yarrow Terracotta  
NOT TO SCALE



10 Avens Mai Tai  
NOT TO SCALE

**Ornamental Grasses (1 gal.) - 40**

- *Calamagrostis acutiflora* – Feather Reed Grass ‘Avalanche’
- *Sesleria autumnalis* - Autumn Moor Grass w



9 Penstemon Dark Towers  
NOT TO SCALE



8 Sedum Telephium Knight Rider  
NOT TO SCALE



7 Salvia Nemerosa Caradonna  
NOT TO SCALE



6 Tor Birchleaf Spirea  
SCALE: 1:1.63



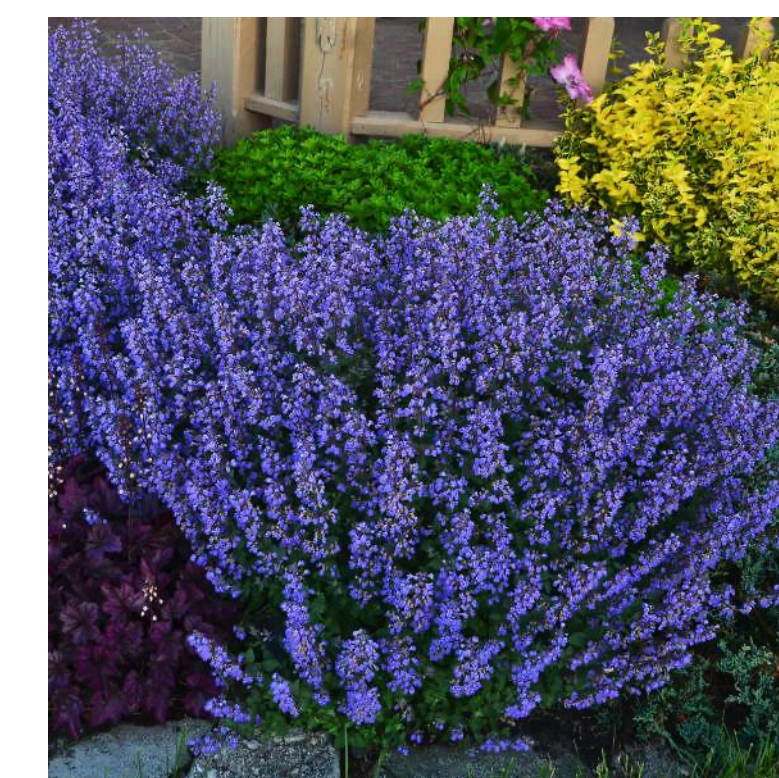
5 Autumn Moor Grass  
NOT TO SCALE



4 Feather Reed grass Avalanche  
NOT TO SCALE



3 Sedum Telephium Matrona  
NOT TO SCALE



2 Catmint Blue Wonder  
NOT TO SCALE



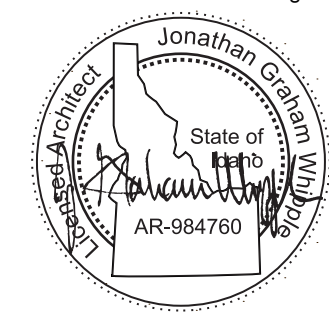
1 Salvia Nemerosa Ave Maria  
NOT TO SCALE



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**LANDSCAPING PLANTS**

7/6/20

**4th & Walnut Ave.**  
Commercial Development

Design Review July 13th 2020





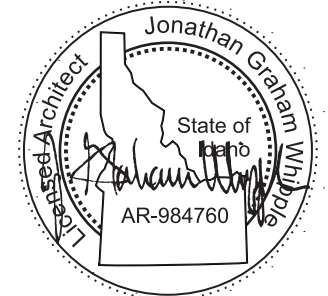


1 ARCHITECTURAL SITE VICINITY  
SCALE: 1:288



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ARCHITECTURAL VICINITY MAP

7/6/20

4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020 AS-102



2 4th and Walnut Perspective

SCALE: 1/32" = 1'-0"



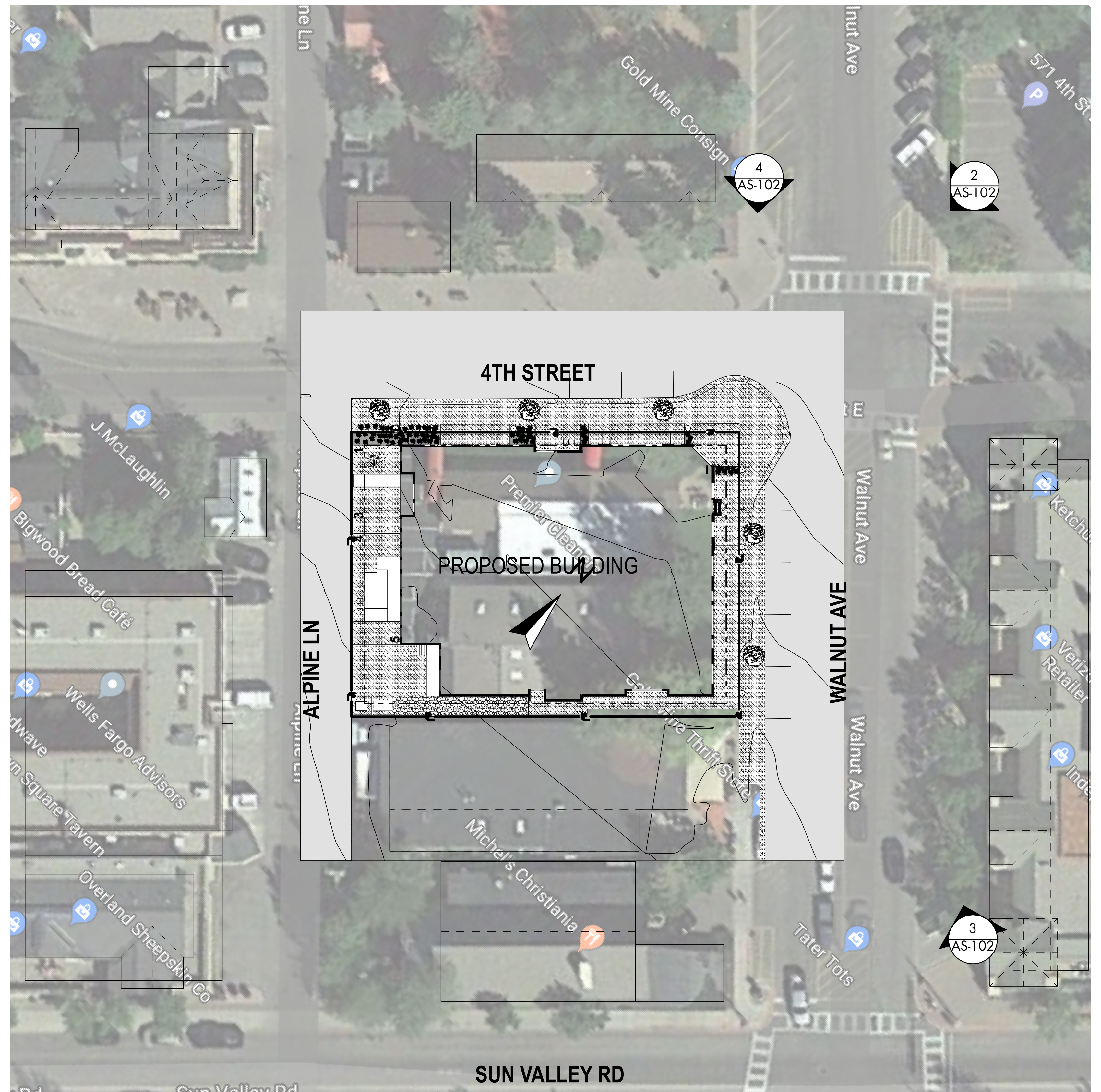
3 Walnut Perspective

SCALE: 1/32" = 1'-0"



4 4th Perspective

SCALE: 1/32" = 1'-0"



1 ARCHITECTURAL SITE VICINITY

SCALE: 1:288



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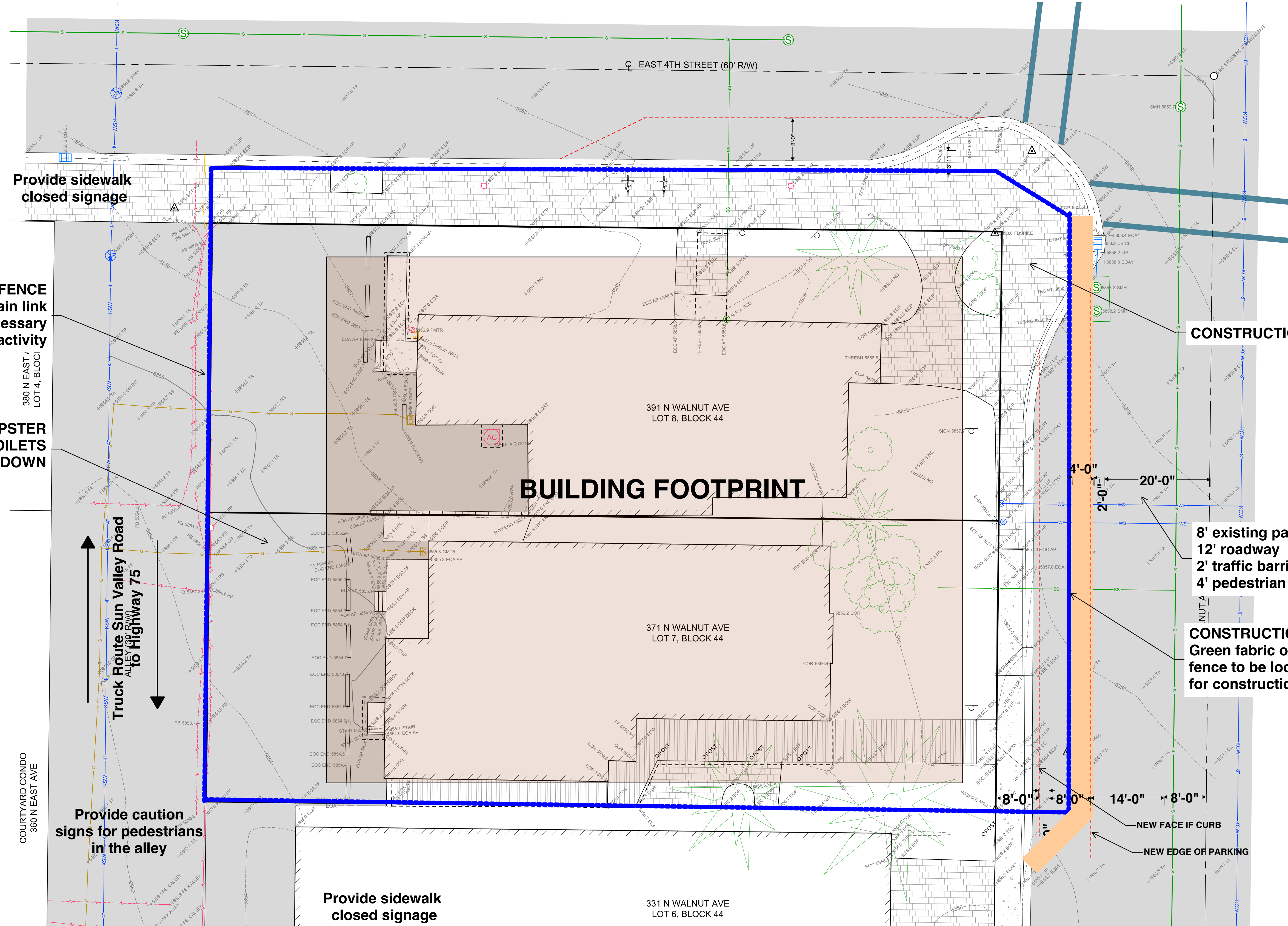
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ARCHITECTURAL VICINITY MAP

3/4/20

4th & Walnut Ave.  
Commercial Development

Preliminary Design Review March 9 2020 AS-102



**CONSTRUCTION FENCE**  
Green fabric over 6' chain link fence to be located as necessary for construction activity

**DUMPSTER  
CHEMICAL TOILETS  
MATERIAL LAYDOWN**

380 N EAST /  
LOT 4, BLOCK 1

Provide caution signs for pedestrians in the alley

Provide sidewalk closed signage

**BUILDING FOOTPRINT**

391 N WALNUT AVE  
LOT 8, BLOCK 44

371 N WALNUT AVE  
LOT 7, BLOCK 44

331 N WALNUT AVE  
LOT 6, BLOCK 44

**CONSTRUCTION OFFICE**

8' existing parking  
12' roadway  
2' traffic barrier  
4' pedestrian walkway

**CONSTRUCTION FENCE**  
Green fabric over 6' chain link fence to be located as necessary for construction activity

Contractor Parking will be provided

1. Onsite
2. Public parking lot at the east end of 4th Street
3. Public parking lot on Washington Street with shuttle

**CONSTRUCTION MANAGEMENT PLAN**

7/6/20

**4th & Walnut Ave.**

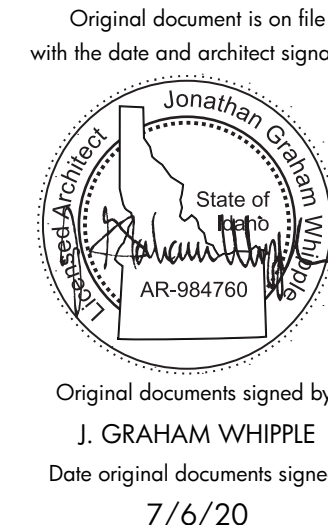
Commercial Development

Design Review July 13th 2020

AS-103



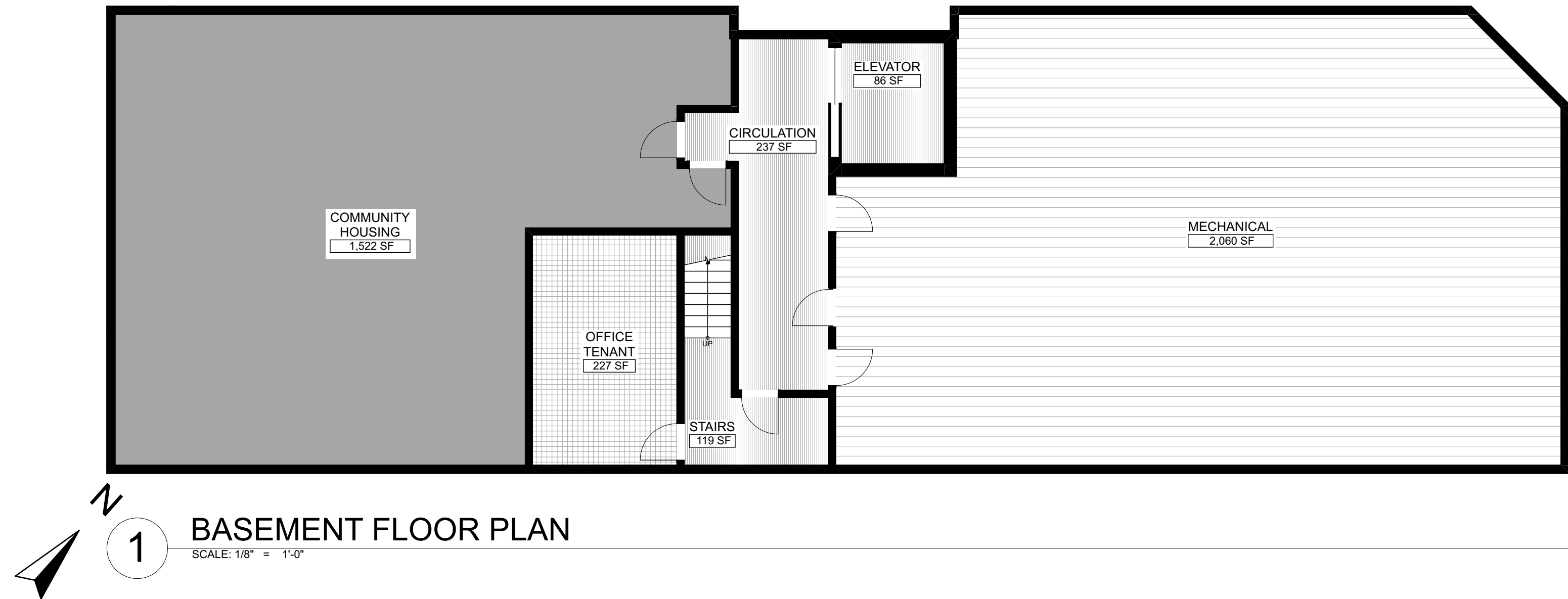
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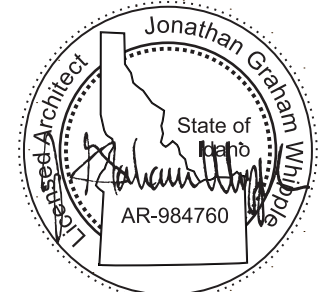
Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
<b>Assembly</b>			
	SECOND FLOOR	BALCONY	807.02
			<b>807.02 sq ft</b>
<b>Circulation</b>			
	BASEMENT	CIRCULATION	276.06
	BASEMENT	ELEVATOR	120.00
	BASEMENT	STAIRS	150.45
	FIRST FLOOR	CIRCULATION	542.31
	FIRST FLOOR	ELEVATOR	120.12
	FIRST FLOOR	STAIRS	195.82
	SECOND FLOOR	CIRCULATION	1,060.44
	SECOND FLOOR	ELEVATOR	124.57
	SECOND FLOOR	STAIRS	214.79
			<b>2,804.56 sq ft</b>
<b>Community Housing</b>			
	BASEMENT	COMMUNITY HOUSING	1,625.14
			<b>1,625.14 sq ft</b>
<b>Food Service</b>			
	FIRST FLOOR	FOOD SERVICE	2,914.49
			<b>2,914.49 sq ft</b>
<b>Office</b>			
	BASEMENT	OFFICE TENANT	243.61
	SECOND FLOOR	OFFICE TENANT	3,974.19
			<b>4,217.80 sq ft</b>
<b>Residential</b>			
	FIRST FLOOR	RESIDENTIAL	1,085.12
	SECOND FLOOR	RESIDENTIAL A	1,845.38
	SECOND FLOOR	RESIDENTIAL B	1,994.78
			<b>4,925.28 sq ft</b>
<b>Retail</b>			
	FIRST FLOOR	RETAIL	6,338.40
			<b>6,338.40 sq ft</b>
<b>Storage &amp; Mechanical</b>			
	BASEMENT	MECHANICAL	2,157.06
			<b>2,157.06 sq ft</b>
			<b>25,789.75 sq ft</b>

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
<b>Assembly</b>			
	SECOND FLOOR	BALCONY	745.30
			<b>745.30 sq ft</b>
<b>Circulation</b>			
	BASEMENT	CIRCULATION	236.79
	BASEMENT	ELEVATOR	86.33
	BASEMENT	STAIRS	119.13
	FIRST FLOOR	CIRCULATION	485.54
	FIRST FLOOR	ELEVATOR	92.53
	FIRST FLOOR	STAIRS	160.51
	SECOND FLOOR	CIRCULATION	943.60
	SECOND FLOOR	ELEVATOR	92.53
	SECOND FLOOR	STAIRS	186.24
			<b>2,403.20 sq ft</b>
<b>Community Housing</b>			
	BASEMENT	COMMUNITY HOUSING	1,521.78
			<b>1,521.78 sq ft</b>
<b>Food Service</b>			
	FIRST FLOOR	FOOD SERVICE	2,783.72
			<b>2,783.72 sq ft</b>
<b>Office</b>			
	BASEMENT	OFFICE TENANT	226.69
	SECOND FLOOR	OFFICE TENANT	3,867.44
			<b>4,094.13 sq ft</b>
<b>Residential</b>			
	FIRST FLOOR	RESIDENTIAL	1,020.42
	SECOND FLOOR	RESIDENTIAL A	1,772.70
	SECOND FLOOR	RESIDENTIAL B	1,927.91
			<b>4,721.03 sq ft</b>
<b>Retail</b>			
	FIRST FLOOR	RETAIL	6,145.23
			<b>6,145.23 sq ft</b>
<b>Storage &amp; Mechanical</b>			
	BASEMENT	MECHANICAL	2,060.06
			<b>2,060.06 sq ft</b>
			<b>24,474.45 sq ft</b>



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## BASEMENT FLOOR PLAN

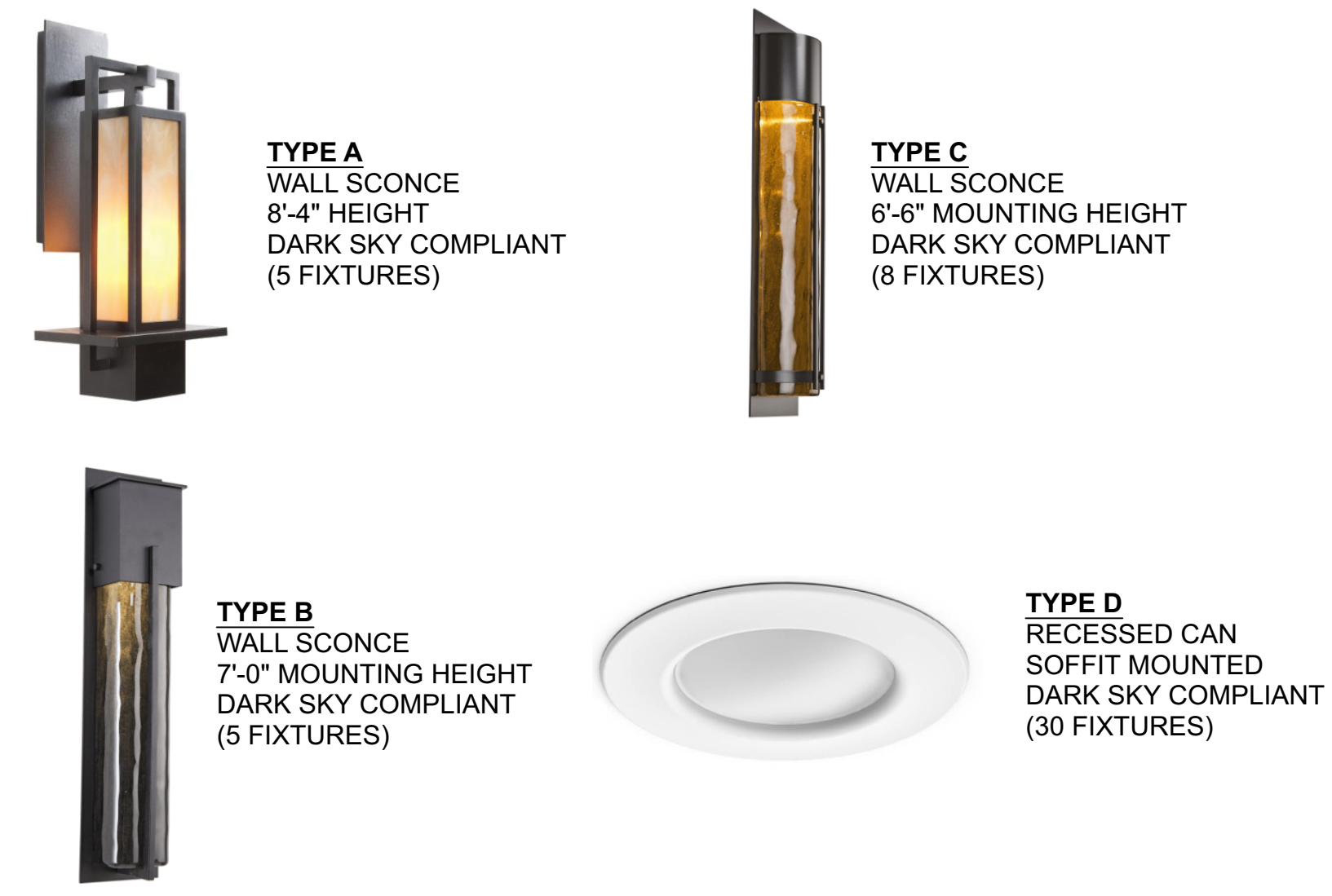
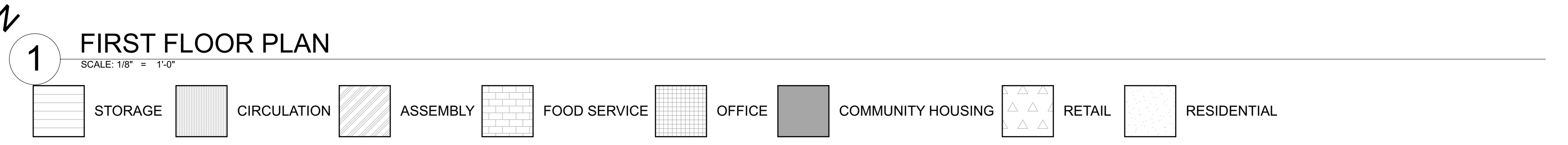
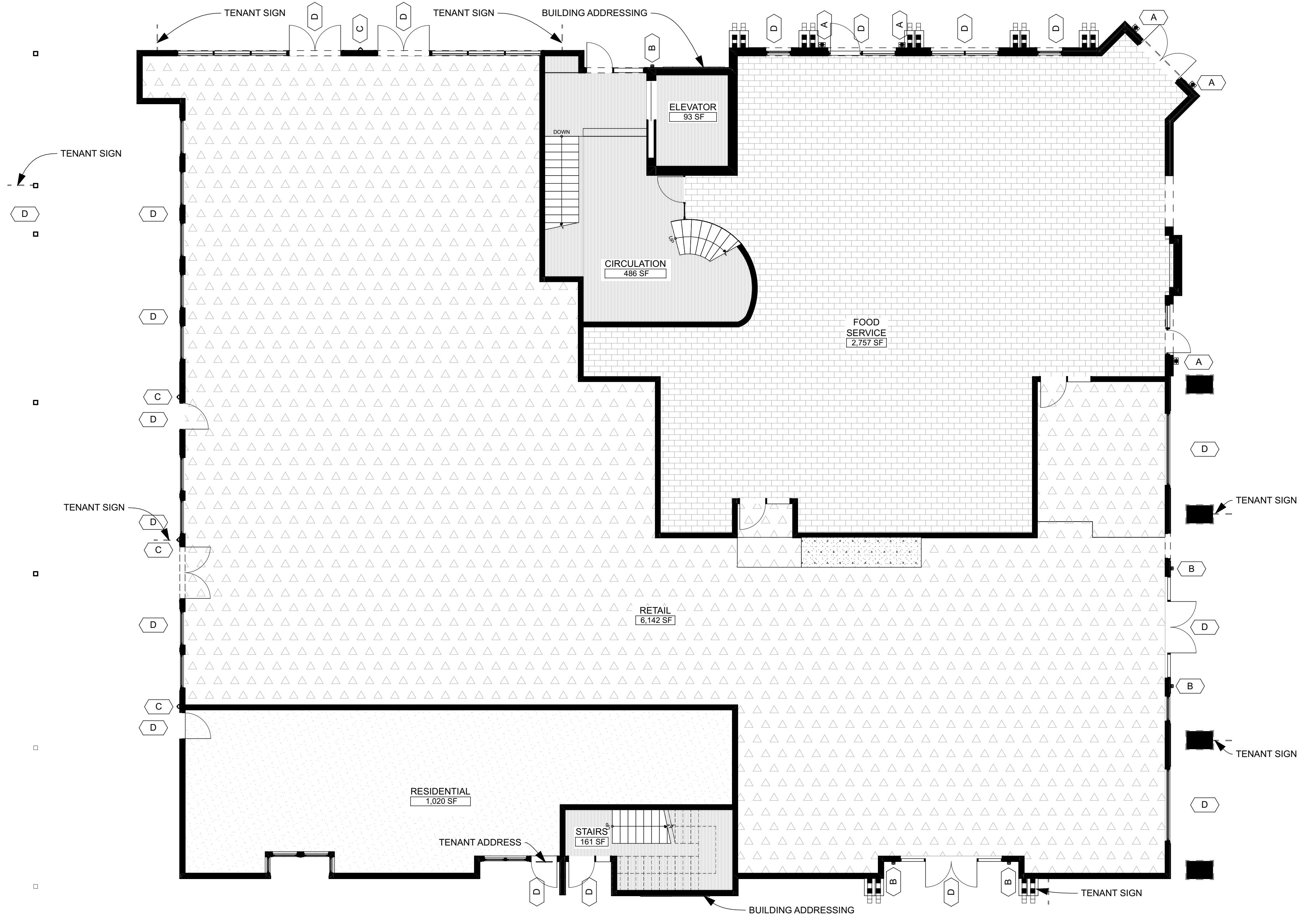
7/6/20

4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020 A-101

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
<b>Assembly</b>			
	SECOND FLOOR	BALCONY	807.02
			<b>807.02 sq ft</b>
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BASEMENT	STAIRS		150.45
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SECOND FLOOR	ELEVATOR		124.57
SECOND FLOOR	STAIRS		214.79
			<b>2,804.56 sq ft</b>
<b>Community Housing</b>			
BASEMENT	COMMUNITY HOUSING		1,625.14
			<b>1,625.14 sq ft</b>
<b>Food Service</b>			
FIRST FLOOR	FOOD SERVICE		2,914.49
			<b>2,914.49 sq ft</b>
<b>Office</b>			
BASEMENT	OFFICE TENANT		243.61
SECOND FLOOR	OFFICE TENANT		3,974.19
			<b>4,217.80 sq ft</b>
<b>Residential</b>			
FIRST FLOOR	RESIDENTIAL		1,085.12
SECOND FLOOR	RESIDENTIAL A		1,845.38
SECOND FLOOR	RESIDENTIAL B		1,994.78
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<b>Retail</b>			
FIRST FLOOR	RETAIL		6,338.40
			<b>6,338.40 sq ft</b>
<b>Storage &amp; Mechanical</b>			
BASEMENT	MECHANICAL		2,157.06
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Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
<b>Assembly</b>			
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			<b>6,145.23 sq ft</b>
<b>Storage &amp; Mechanical</b>			
BASEMENT	MECHANICAL		2,060.06
			<b>2,060.06 sq ft</b>
			<b>24,474.45 sq ft</b>



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**FIRST FLOOR PLAN**  
7/6/20  
**4th & Walnut Ave.**  
Commercial Development  
Design Review July 13th 2020  
A-102

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
<b>Assembly</b>			
	SECOND FLOOR	BALCONY	807.02
			<b>807.02 sq ft</b>
<b>Circulation</b>			
BASEMENT	CIRCULATION		276.06
BASEMENT	ELEVATOR		120.00
BASEMENT	STAIRS		150.45
FIRST FLOOR	CIRCULATION		542.31
FIRST FLOOR	ELEVATOR		120.12
FIRST FLOOR	STAIRS		195.82
SECOND FLOOR	CIRCULATION		1,060.44
SECOND FLOOR	ELEVATOR		124.57
SECOND FLOOR	STAIRS		214.79
			<b>2,804.56 sq ft</b>
<b>Community Housing</b>			
BASEMENT	COMMUNITY HOUSING		1,625.14
			<b>1,625.14 sq ft</b>
<b>Food Service</b>			
FIRST FLOOR	FOOD SERVICE		2,914.49
			<b>2,914.49 sq ft</b>
<b>Office</b>			
BASEMENT	OFFICE TENANT		243.61
SECOND FLOOR	OFFICE TENANT		3,974.19
			<b>4,217.80 sq ft</b>
<b>Residential</b>			
FIRST FLOOR	RESIDENTIAL		1,085.12
SECOND FLOOR	RESIDENTIAL A		1,845.38
SECOND FLOOR	RESIDENTIAL B		1,994.78
			<b>4,925.28 sq ft</b>
<b>Retail</b>			
FIRST FLOOR	RETAIL		6,338.40
			<b>6,338.40 sq ft</b>
<b>Storage &amp; Mechanical</b>			
BASEMENT	MECHANICAL		2,157.06
			<b>2,157.06 sq ft</b>
			<b>25,789.75 sq ft</b>

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
<b>Assembly</b>			
	SECOND FLOOR	BALCONY	745.30
			<b>745.30 sq ft</b>
<b>Circulation</b>			
BASEMENT	CIRCULATION		236.79
BASEMENT	ELEVATOR		86.33
BASEMENT	STAIRS		119.13
FIRST FLOOR	CIRCULATION		485.54
FIRST FLOOR	ELEVATOR		92.53
FIRST FLOOR	STAIRS		160.51
SECOND FLOOR	CIRCULATION		943.60
SECOND FLOOR	ELEVATOR		92.53
SECOND FLOOR	STAIRS		186.24
			<b>2,403.20 sq ft</b>
<b>Community Housing</b>			
BASEMENT	COMMUNITY HOUSING		1,521.78
			<b>1,521.78 sq ft</b>
<b>Food Service</b>			
FIRST FLOOR	FOOD SERVICE		2,783.72
			<b>2,783.72 sq ft</b>
<b>Office</b>			
BASEMENT	OFFICE TENANT		226.69
SECOND FLOOR	OFFICE TENANT		3,867.44
			<b>4,094.13 sq ft</b>
<b>Residential</b>			
FIRST FLOOR	RESIDENTIAL		1,020.42
SECOND FLOOR	RESIDENTIAL A		1,772.70
SECOND FLOOR	RESIDENTIAL B		1,927.91
			<b>4,721.03 sq ft</b>
<b>Retail</b>			
FIRST FLOOR	RETAIL		6,145.23
			<b>6,145.23 sq ft</b>
<b>Storage &amp; Mechanical</b>			
BASEMENT	MECHANICAL		2,060.06
			<b>2,060.06 sq ft</b>
			<b>24,474.45 sq ft</b>



**TYPE A**  
WALL SCONCE  
8'-4" HEIGHT  
DARK SKY COMPLIANT  
(5 FIXTURES)



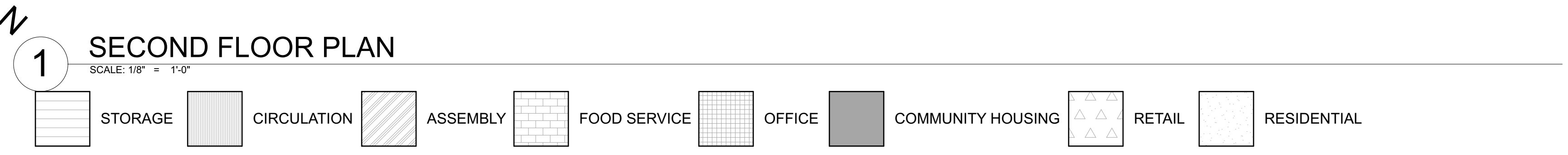
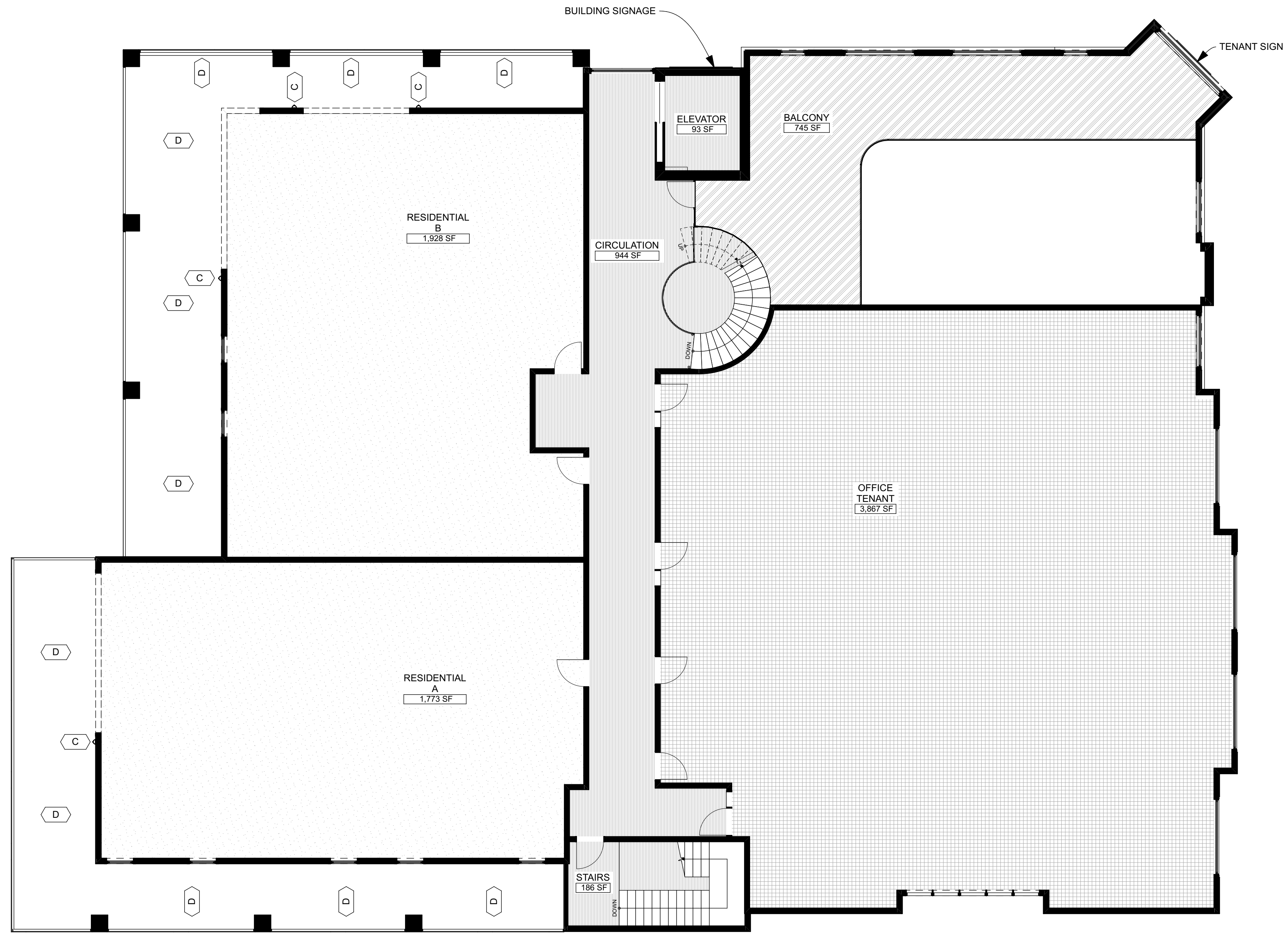
**TYPE C**  
WALL SCONCE  
6'-6" MOUNTING HEIGHT  
DARK SKY COMPLIANT  
(8 FIXTURES)



**TYPE B**  
WALL SCONCE  
7'-0" MOUNTING HEIGHT  
DARK SKY COMPLIANT  
(5 FIXTURES)



**TYPE D**  
RECESSED CAN  
SOFFIT MOUNTED  
DARK SKY COMPLIANT  
(30 FIXTURES)



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**SECOND FLOOR PLAN**

7/6/20

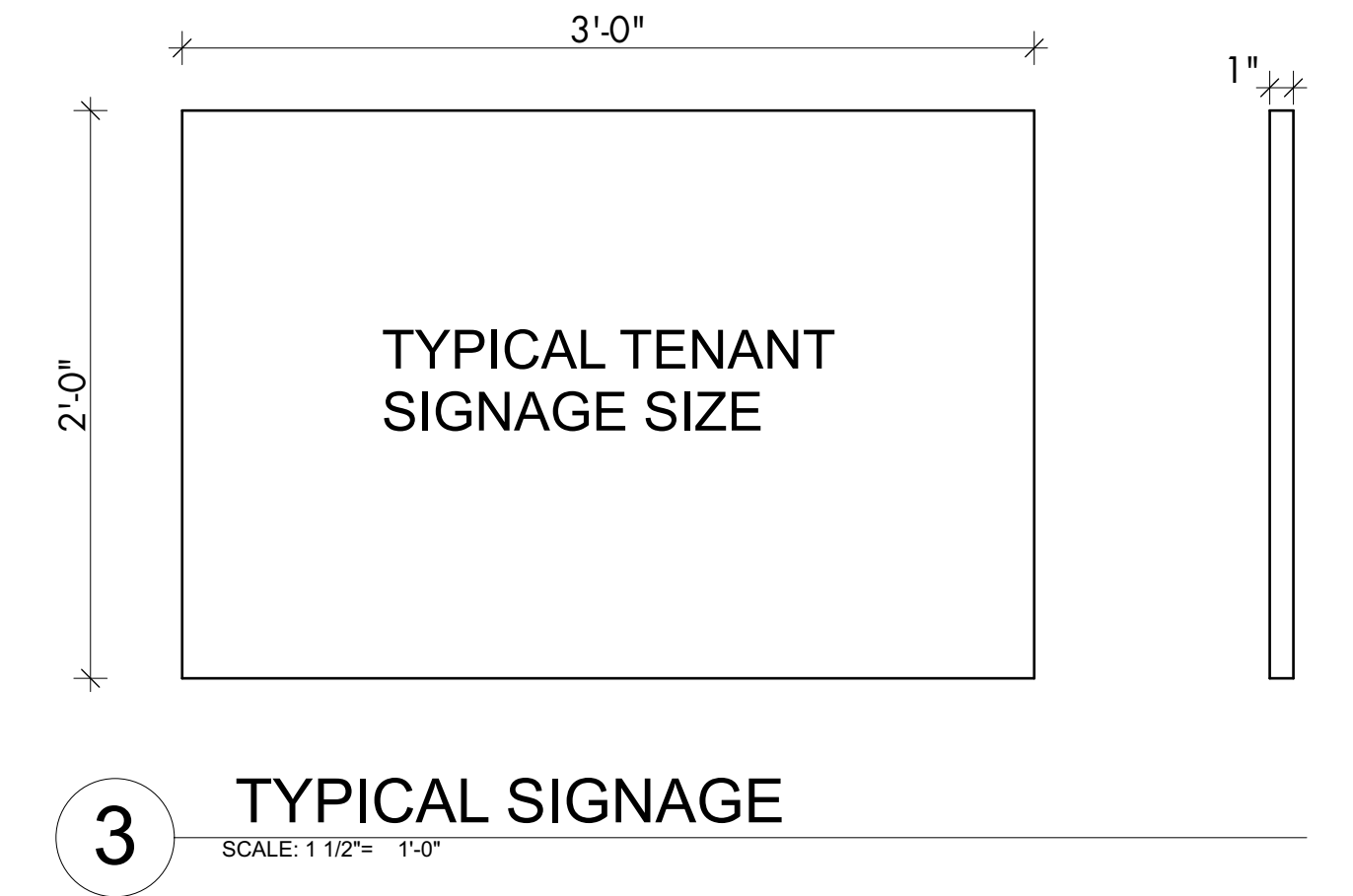
**4th & Walnut Ave.**  
Commercial Development

Design Review July 13th 2020 A-103

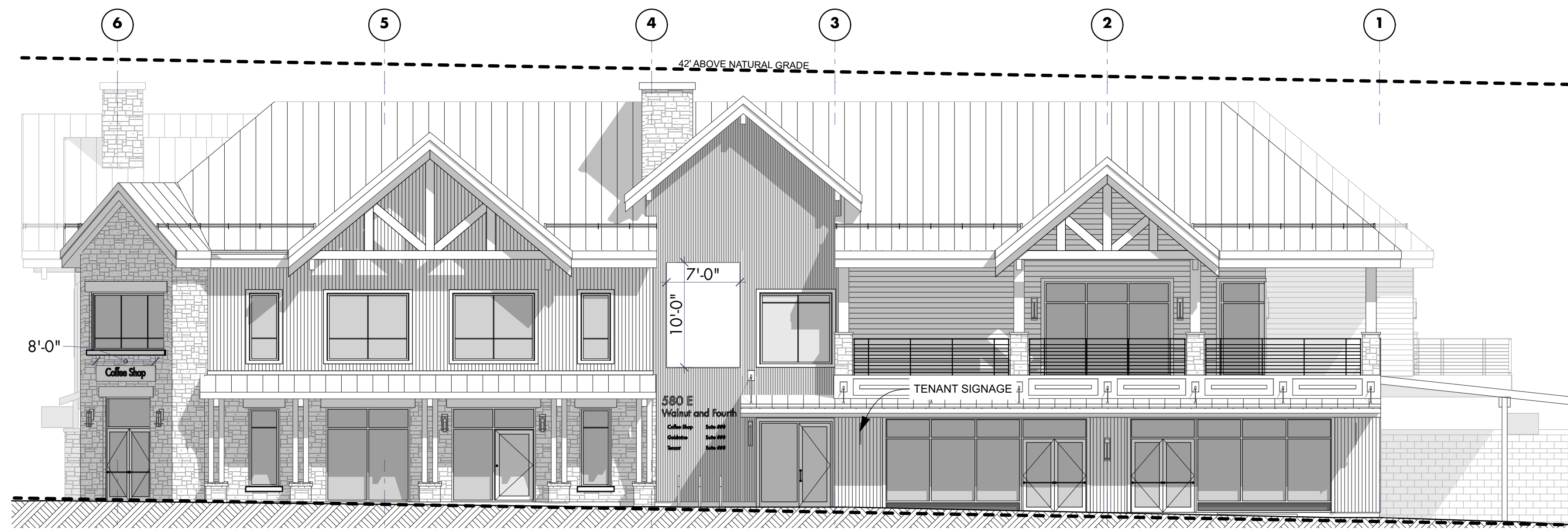
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**2** NE Elevation (Walnut)  
SCALE: 1/8" = 1'-0"



**3** TYPICAL SIGNAGE  
SCALE: 1 1/2" = 1'-0"

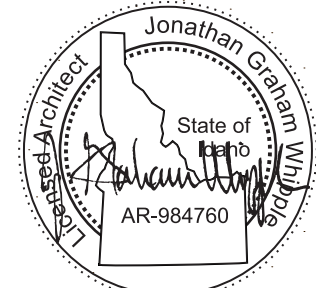


**1** NW Elevation (4th)  
SCALE: 1/8" = 1'-0"



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ELEVATIONS

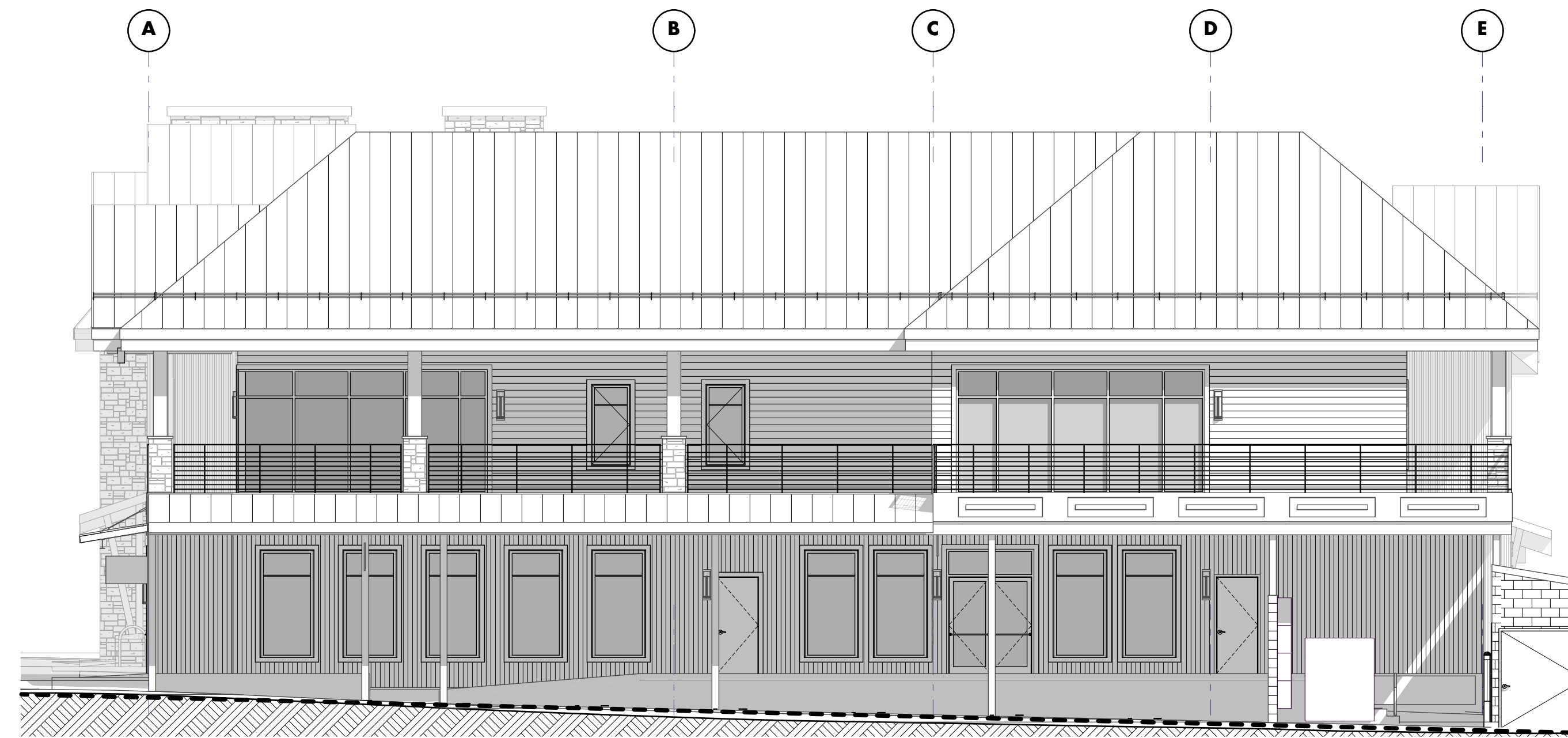
7/6/20

4th & Walnut Ave.  
Commercial Development

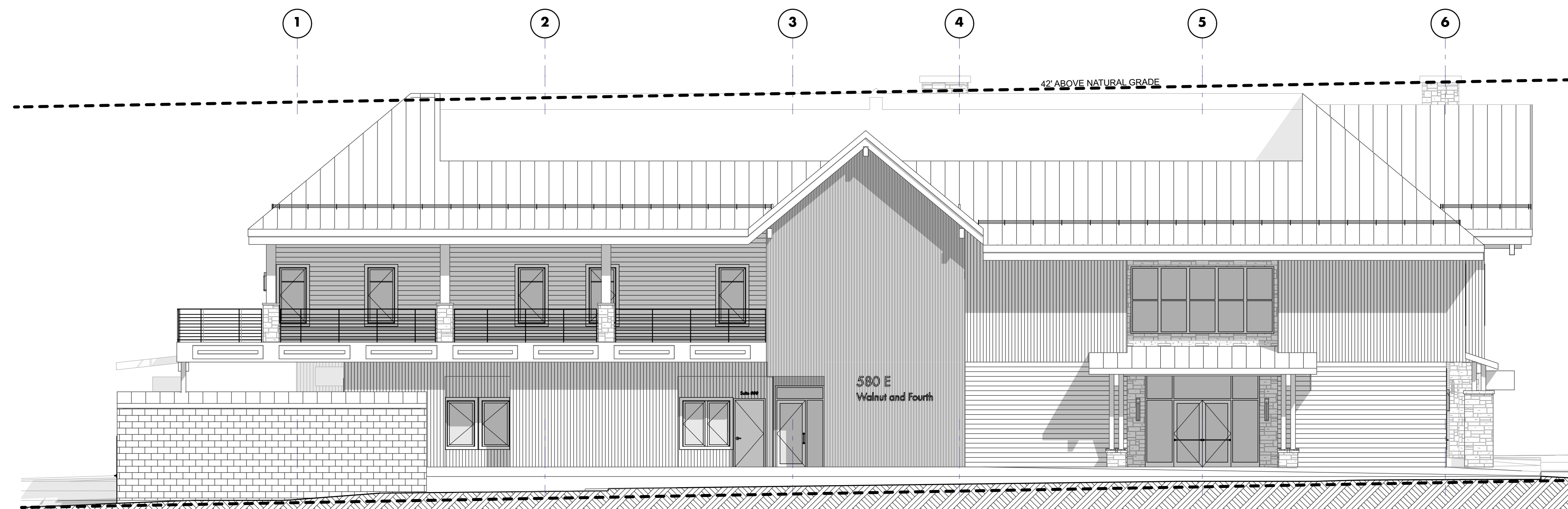
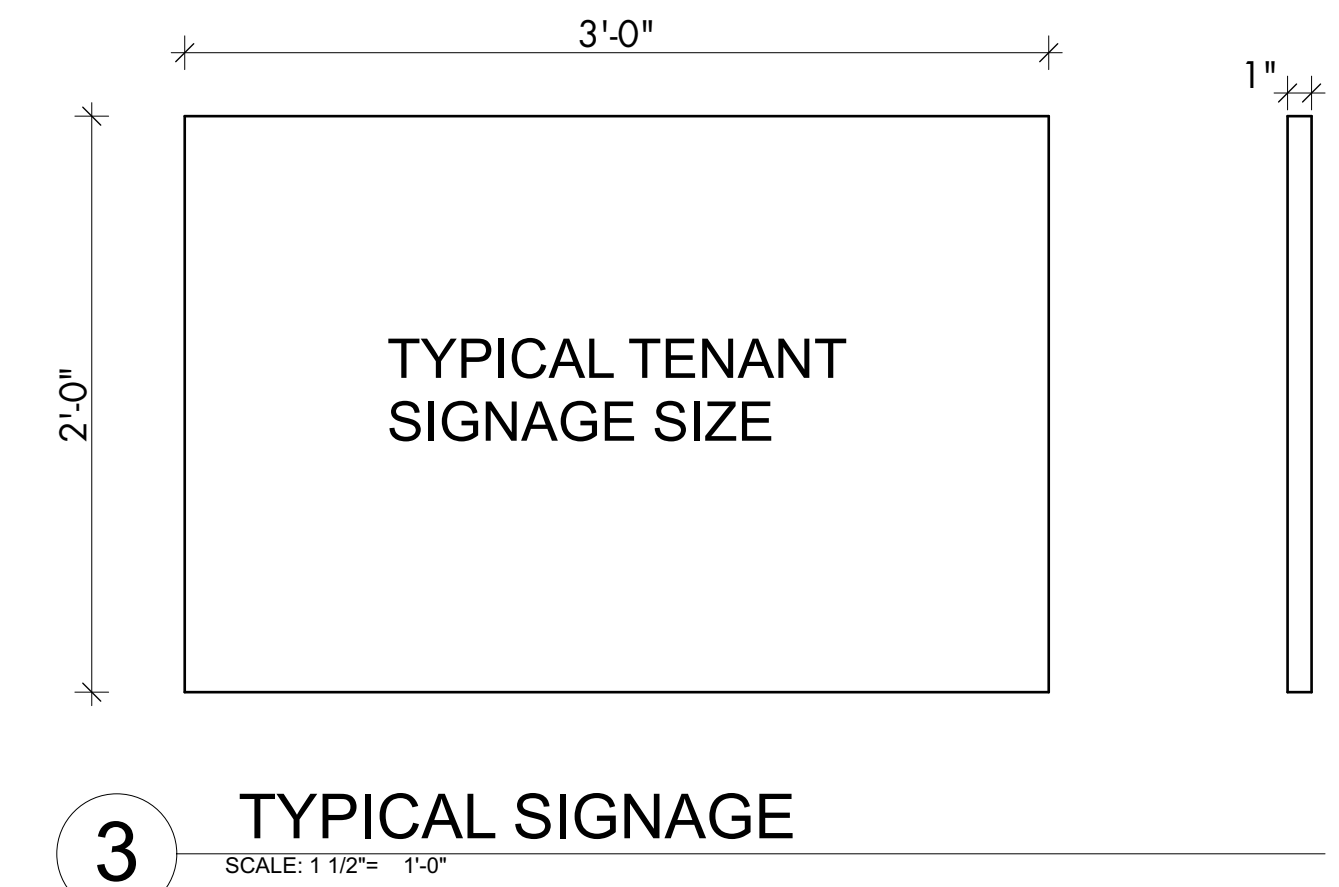
Design Review July 13th 2020

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**2** SW Elevation (Alley)  
SCALE: 1/8" = 1'-0"

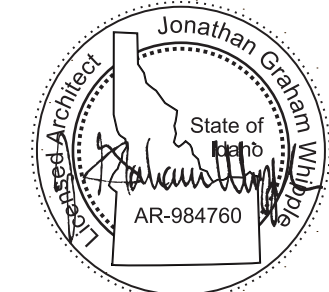


**1** SE Elevation  
SCALE: 1/8" = 1'-0"



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ELEVATIONS

7/6/20

4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020

A-202



1 WALNUT & 4TH  
NOT TO SCALE

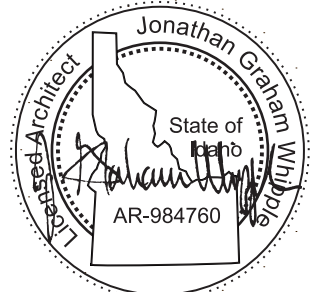


2 WALNUT & 4TH  
NOT TO SCALE



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RENDERINGS

7/6/20

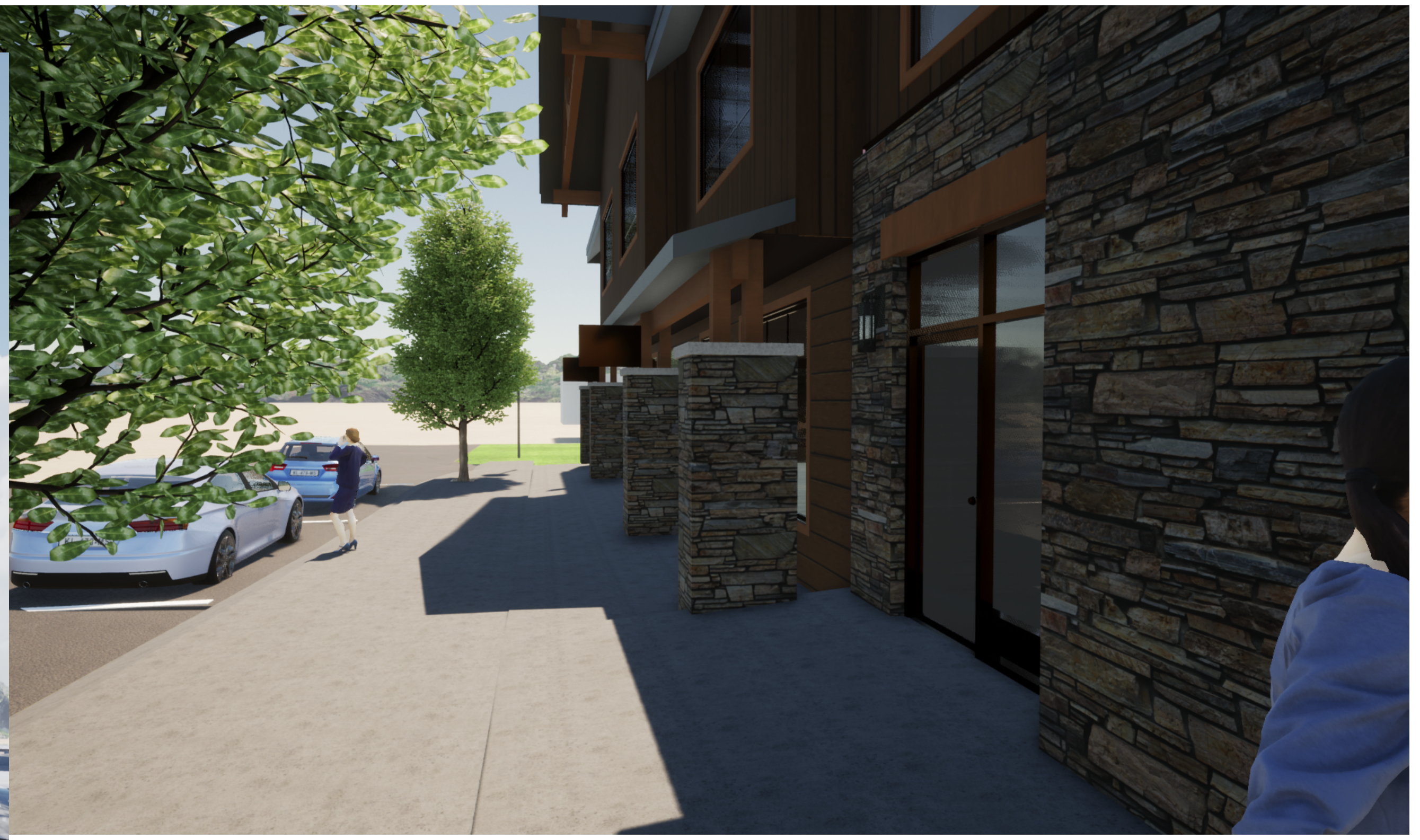
4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020

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2 4TH  
NOT TO SCALE



3 WALNUT  
NOT TO SCALE

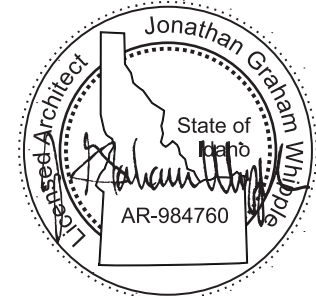


1 4TH  
NOT TO SCALE



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RENDERINGS

7/6/20

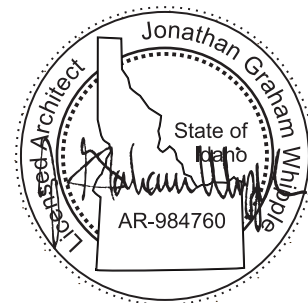
4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020 A-302



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## EXTERIOR MATERIALS

7/8/20

4th & Walnut Ave.  
Commercial Development

Design Review July 13th 2020 AF-101

FAR				Parking					
Building Level	Space Name	Calculation Area	Non-Contrib. Area	Category	Measured Area	Exemption	Area for Parking Calculation	Requirement	Actual Required
<b>Basement</b>									
	Community Housing		1,625 SF	Residential					0
	Elevator		120 SF	Non-Residential	1,625 SF	Comm. Housing			0
	Stairs		150 SF	Non-Residential	120 SF	Below Grade			0
	Circulation		276 SF	Non-Residential	150 SF	Below Grade			0
	Office Tenant		227 SF	Non-Residential	276 SF	Below Grade			0
	Storage & Mechanical		2,157 SF	Non-Residential	276 SF	Below Grade			0
	<b>Basement Total</b>	<b>0 SF</b>	<b>4,555 SF</b>					<b>Basement Total</b>	<b>0</b>
<b>1st Floor</b>									
	Circulation	542 SF		Non-Residential	542 SF	No Occupant Load			0
	Elevator	120 SF		Non-Residential	120 SF	No Occupant Load			0
	Stairs	196 SF		Non-Residential	196 SF	No Occupant Load			0
	Coffee Shop	2,914 SF		Non-Residential	2,914 SF	Food Service	0 SF	1/1000	0
	Retail	6,338 SF		Non-Residential	6,338 SF	First 5500 Tenant	838 SF	*1/1000	1
	Residential	1,085 SF		Residential	1,085 SF		1,085 SF	1 : 751<2000	1
	<b>1st Floor Total</b>	<b>11,195 SF</b>	<b>0 SF</b>					<b>1st Floor Total</b>	<b>2</b>
<b>2nd Floor</b>									
	Circulation	1,060 SF		Non-Residential	1,060 SF	No Occupant Load			
	Elevator		120 SF	Non-Residential	120 SF	No Occupant Load			
	Stairs		215 SF	Non-Residential	215 SF	No Occupant Load			
	Balcony	807 SF		Non-Residential	807 SF	First 5500 Assembly	0 SF		0
	Office Tenant	3,974 SF		Non-Residential	3,974 SF		3,974 SF	1/1000	4
	Residential A	1,845 SF		Residential	1,845 SF		1,845 SF	1 : 751<2000	1
	Residential B	1,995 SF		Residential	1,995 SF		1,995 SF	1 : 751<2000	1
	<b>2nd Floor Total</b>	<b>9,681 SF</b>	<b>335 SF</b>					<b>2nd Floor Total</b>	<b>6</b>
	<b>Grand Total</b>	<b>20,876 SF</b>	<b>4,890 SF</b>					<b>Grand Total</b>	<b>8</b>

FAR

Total Site	16,378 SF
Grand Total Sqft	20,876 SF
<b>Ratio</b>	<b>1.28</b>

<b>Parking Required</b>	<b>8</b>
<b>Parking Provided</b>	
Provided on-site	7
Allowed on-street	6+5
	<b>13 (+5)*</b>

Community Housing

	SF Overage	
Site Area	16,378 SF	4,498 SF
Base (min)	20%	900 SF
Reduction	-15%	-135 SF
Required Housing SF		765 SF
Housing Provided		1,625 SF
<b>Exceptional Benefit Provided</b>		<b>860 SF</b>

\* 5 additional parking at center island of Walnut based on current parking layout