



City of Ketchum
Planning & Building

IN RE:)
)
200 North Main) KETCHUM PLANNING AND ZONING COMMISSION
Design Review) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Application File Number: P23-049) DECISION
)
)
Date: March 12, 2024)

PROJECT: 200 North Main
APPLICATION TYPE: Design Review
FILE NUMBER: P23-049
ASSOCIATED APPLICATIONS: Conditional Use Permit (Application File No. P23-049A)
PROPERTY OWNER: 200 North Main LLC, Kenneth & Ann Dudunakis, Managing Members
REPRESENTATIVE: Michael Doty Associates, Architects
LOCATION: 200 North Main Street
(Ketchum Townsite: Block 3: Lots 1))
ZONING: Community Core – Subdistrict 1 – Retail Core (CC-1)
OVERLAY: None

RECORD OF PROCEEDINGS

The Planning and Zoning Commission (the “Commission”) considered the 200 North Main Design Review Application File No. P23-049 during their meetings on December 12, 2023 and February 13, 2024. The application was considered concurrently with Conditional Use Permit Application File No. P23-049, and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice & Public Comment

The public hearing for this project was continued to a date uncertain from the Planning and Zoning Commission Meeting on December 12, 2023. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on January 24, 2024. The public hearing notice was published in the Idaho Mountain Express on January 24, 2024. A notice was posted on the project site and the city’s website on January 29, 2024. The building corners were staked and the story pole was installed on the project site on February 6, 2024. After considering Staff’s analysis, the applicant’s

presentation, and public comment, the Commission approved Design Review Application File No. P23-049 subject to conditions.

FINDINGS OF FACT

The Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing to develop a new 12,405-gross-square-foot mixed-use building, called 200 North Main (the “project”), at the northeast corner of Main and 2nd Streets (the “subject property”) located within the Retail Core of the Community Core (“CC-1 Zone”). As proposed, the project includes 2,979 square feet of restaurant space on the ground-level with frontage along both Main and 2nd Streets, six one-bedroom apartments ranging in size from 505 to 642 square feet on the second floor, and a penthouse on the third floor. Two of the apartments on the second floor will be deed-restricted community housing units for rent. The project plans are attached as Exhibit A.

The project site is adjacent to: (a) the Casino to the north along Main Street, (b) the Rocky Mountain Hardware building to the south along Main Street, (c) the Leadville Trading building currently under construction to the east across the alley, and (d) the Sun Valley Culinary Institute and Sawtooth Club buildings to the west across Main Street. The subject property is comprised of one lot within the original Ketchum townsite that was created in 1948. The corner lot is developed with an existing building that was originally constructed in 1959 and is proposed to be demolished.

The project is subject to the standards of Interim Ordinance 1234 (“interim ordinance”) as the applications were deemed complete after the effective date of the interim ordinance and prior to the adoption of permanent Ordinance 1249. The development of the proposed mixed-use building is subject to Design Review pursuant to Ketchum Municipal Code (“KMC”) §17.96.010.A4. The Conditional Use Permit application requests an adjustment to the interim ordinance standard requiring that individual residential units not exceed a total floor area of 3,000 square feet. The proposed third-floor penthouse has a total floor area of 3,400 square feet. The Planning and Zoning Commission (the “Commission”) has the authority to review and approve the applicant’s Design Review and Conditional Use Permit requests pursuant to KMC §17.96.030.B and §17.116.040.

The six one-bedroom apartments on the second floor are less than 750 square feet in size and do not require parking pursuant to KMC §17.125.040.C1b. In addition, two of these apartments are proposed to be deed-restricted community housing units, which are exempt from providing parking pursuant to KMC §17.125.040.C.1a. All six apartments have 50-square-foot storage areas on the second floor designated to each unit. The restaurant is exempt from providing parking pursuant to KMC §17.125.040.C.1b. The third-floor penthouse requires two parking spaces. Parking and storage for the penthouse is provided within a private garage on the ground floor accessed from the alley.

The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change

depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.

The project is proposing to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing. The applicant has proposed mitigating the additional floor area by dedicating two on-site community housing units as deed-restricted rentals targeted for Blaine County Housing Authority Income Category 4. The mixed-use building is 12,405 gross square feet and the proposed FAR is 2.25.

Findings Regarding Conformance with Zoning and Design Review Standards

Pursuant to KMC §17.96.050.A, the Commission must determine that a project meets the following criteria before granting Design Review approval:

1. The project doesn't jeopardize the health, safety, or welfare of the public.
2. The project conforms to all Design Review standards and zoning regulations.

Section 13 of the interim ordinance requires that all development subject to Design Review must meet an additional criterion that, "The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan."

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan ("comprehensive plan") is the foundational guiding document for land use decisions within the city. The comprehensive plan provides the strategy to achieve the community's vision for the future of Ketchum. This strategy establishes goals and policies for long-term growth and future development within the city.

The comprehensive plan describes ten core values that shape the community's vision for the desired future of Ketchum. The ten core values include a vibrant downtown, community character, a variety of housing options, and a strong and diverse economy. Downtown's built environment plays a key role in realizing the community's vision for the future of Ketchum.

The comprehensive plan designates the future land use of the subject property as Retail Core—the city's key gathering place for residents and visitors for shopping, dining, and entertainment. The future land use plan states:

The community's primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices (page 69).

200 North Main aligns with the future land use plan for the Retail Core. The project provides a restaurant on the ground-floor that fronts Main and 2nd Streets. The design includes an outdoor dining area at the street corner with custom-built tables, bar top, and seating. The outdoor dining area facilitates an activated, pedestrian-friendly environment by bringing people to the street corner. The

six apartment units on the second floor will give life to this building 24 hours a day. The project will enliven downtown by encouraging the social connections that build community.

The comprehensive plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that “housing should be integrated into the downtown core” (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). Pursuant to the interim ordinance’s minimum residential density requirements, the project is required to include at least three dwelling units. 200 North Main exceeds the minimum density requirements by providing a total of seven multi-family dwelling units. These housing units are within walking distance to jobs, retail stores, coffee shops, and restaurants in downtown Ketchum. Additionally, the project is located within walking distance to Mountain Rides bus stops at Main & 1st Streets and Main & 4th Streets, providing access to all the major transit routes that can connect future residents to the ski bases and other areas of Ketchum. Goal H-1 of the comprehensive plan states that, “Ketchum will increase its supply of homes including rental and special-needs housing for low-, moderate-, and median-income households.” The project provides six apartments on the second floor, two of which will be deed-restricted community housing units.

Compatibility with Surrounding Neighborhood

Policy CD-1.3 of the comprehensive plan states that, “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style”(page 26). The subject property is located within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments like Argyros Performing Arts Center and the Leadville Trading project, which is currently under construction across the alley to the east of the subject property. The project site neighbors multiple buildings that are designated as historic within the city, including the Casino building (Historic Name: Ketchum Kamp Hotel) to the north on Main Street, the Rocky Mountain Hardware building (Historic Name: Lewis Bank) to the south across 2nd Street, the Culinary Institute (Historic Name: Greenhow & Rumsey Store) to the west across Main Street, and Vintage Restaurant (Historic Name: Bert Cross Cabin) to the east across the alley.

200 North Main celebrates Ketchum’s historic architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum’s early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are the only three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts.

The projecting awning supported by columns at the street corner is also a nod to downtown’s historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building’s colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street.

The design celebrates character-defining features of Ketchum’s historic architecture without mimicry or replication. The project blends character-defining features that honor Ketchum’s historic architecture with more contemporary design elements like black metal accents to create a high-quality design that appears as a product of its own time. The project respects local context successfully integrating within the surrounding neighborhood and enhances downtown’s textured urban fabric with its unique and authentic design.

Criteria 2: Applicable Standards and Criteria

The 200 North Main project complies with all zoning code requirements, Interim Ordinance 1234, Design Review standards, and Conditional Use Permit criteria.

Findings Regarding Compliance with Zoning Regulations

1.

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Community Core Subdistrict 1 – Retail Core (CC-1)</i>	YES
<p>Finding: Only pedestrian activated commercial uses like retail shops and restaurants are permitted on the ground-floor along the street frontage within developments in the Retail Core (CC-1) Zone (KMC §17.12.020). The proposed development includes a ground-level restaurant fronting Main and 2nd Streets. The second floor contains six one-bedroom apartments ranging in size from 505 to 642 square feet. Two of the apartments on the second floor will be deed-restricted community housing units for rent. The third-floor contains a residential penthouse. Food service establishments like restaurants and multi-family dwelling units are permitted in the CC-1 Zone pursuant to Ketchum Municipal Code §17.12.020.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	YES
<p>Finding: <u>Required:</u> 5,500 square feet <u>Proposed:</u> Existing. 5,503 square feet</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	YES
<p>Finding: <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-2 zone district. <u>Proposed:</u> Existing. Lot 1 is 55 feet wide.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
<p>Finding: <u>Required:</u> Front (Main Street/west): 0 feet</p>	

Side (2nd Street/south): 0 feet
 Side (interior/north): 0 feet
 Rear (alley/east): 3 feet

Setback for 4th Floor: 10 feet

Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof must be setback 10 feet from all building facades.

Proposed:

Setbacks are indicated on sheet A-103 of the project plans.

Setbacks for Mixed-Use Building

Front (Main Street/west): 0'
 Side (2nd Street/south): 0'
 Side (interior/north): 0'
 Rear (alley/east): 3'

Fourth-Floor Setbacks: N/A. The project does not include a fourth floor.

Rooftop Structures

The roof plan on sheet A-241 of the project plans shows the 10-foot setback line from the lower façade in a blue dashed line. All roof-mounted electrical and mechanical equipment is setback 10 feet from the fourth-floor building façade.

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p>Permitted: <u>Maximum Building Height:</u> 42 feet <u>Non-habitable Structures Located on Building Roof Tops:</u> 10 feet above roof ridge or parapet <u>Roof Top Solar and Mechanical Equipment above Roof Surface:</u> 5 feet</p> <p>Proposed: <u>Maximum Building Height</u> Average Grade Elevation at Front Property Line: 5842.79' Top of Front Façade Elevation: 5882.63' Height of Front Façade: 39'-10''</p> <p>Average Grade Elevation at Rear Property Line: 5843.65' Top of Rear Façade Elevation: 5880.65 Height of Rear Façade: 37'</p> <p><u>Non-habitable Structures Located on Building Roof Tops</u> Height of Elevator Overrun above Roof Surface: 3'-9''</p> <p><u>Roof Top Solar and Mechanical Equipment above Roof Surface</u></p>	

Height of Rooftop Mechanical Equipment: 5 feet
 The solar panels are flush-mounted and do not extend above the roof surface.

17.124.040 – Floor Area Ratios and Community Housing	Conformance
<i>An increased FAR may be permitted subject to design review approval, and provided, that all conditions in KMC 17.124.040.B.2 are met.</i>	YES Condition #3
<p>Finding: <u>Permitted:</u> Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25</p> <p><u>Proposed:</u> The FAR calculation is provided on Sheet A-201 of the project plans. Total Gross Floor Area: 12,405 square feet Lot Area: 5,503 square feet FAR: 2.25</p> <p>Community Housing Mitigation Calculation: Permitted Gross Floor Area (1.0 FAR): 5,503 square feet Proposed Gross Floor Area: 12,405 square feet Increase Above Permitted FAR: 6,902 square feet 20% of Increase: 1,380 square feet Net Livable (15% Reduction): 1,173 square feet Community Housing Unit 205 Net Livable Floor Area: 539 square feet Community Housing Unit 205 Storage: 61 square feet Community Housing Unit 206 Net Livable Floor Area: 642 square feet Community Housing Unit 206 Storage: 50 square feet Total Community Housing Contribution: 1,292 square feet</p> <p>The applicant has proposed providing two deed-restricted community housing rentals targeted for Blaine County Housing Authority Income Category 4 on the second floor of the mixed-use building. Pursuant to condition of approval #3, as a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,173 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.</p>	

17.125.030 - Off Street Parking and Loading 17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
<p>Permitted: <u>Required (KMC §17.125.040)</u></p>	

Multi-Family Dwelling Units in CC Zone
 Units 750 square feet or less: 0 parking spaces
 Units 751 square feet to 2,000 square feet: 1 parking space
 Units 2,001 square feet and above: 2 parking spaces

Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)

Exemptions in CC Zone
 Community housing
 Food service
 The first 5,500 gross square feet of retail trade
 The first 5,500 gross square feet of assembly uses

Project Parking Demand

Ground Floor
 Restaurant: Exempt

Second Floor:
 6 one-bedroom apartments (size range from 505-642 sq ft) on the second floor: 0 spaces required
 2 of the apartments are proposed to be deed-restricted community housing units: exempt

Third Floor Residential
 Residential Penthouse Size: 3,400 square feet
 2 parking spaces required

Total Parking Demand:
 2 Parking Spaces

Proposed
 The applicant has provided 2 parking spaces and storage for the penthouse is provided within a garage on the ground floor accessed from the alley.

17.125.060 – Bicycle Parking	Conformance
<i>Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use.</i>	YES
<p>Finding: <u>Required:</u> 1 bicycle rack, accommodating at least two bicycles, for every four parking spaces required. 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand.</p>	

Proposed: 1 bike rack accommodating two bicycles is provided by the outdoor dining area next to the sidewalk along 2nd Street.

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES Condition #9
<p>Finding: The signage plan is provided on sheet A-315 of the project plans. The signage plan proposes two signs for the restaurant along the Main Street frontage and one sign along the 2nd Street frontage. The Main Street frontage includes a wall sign and projecting sign. The 2nd Street frontage includes a wall sign for the restaurant. The wall signs along Main and 2nd Streets are integrated into the design of the bars for the outdoor dining area. The projecting sign along Main Street is comprised of black steel and painted wood. The black steel and wood of the projecting sign matches the design of the building awning that wraps around the street corner. The signage is pedestrian-oriented and integrated into the design of the mixed-use building. Pursuant to condition #9, separate sign permits shall be required for all new signs prior to installation.</p>	

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES
<p>Finding: The proposed exterior lighting fixtures are full cutoff fixtures and comply with Ketchum Municipal Code §17.132.030.H1. The light sources are fully shielded with a maximum color temperature of 2700K and comply with Ketchum Municipal Code §17.132.030.A. The proposed exterior lighting fixtures comply with the city’s Dark Skies Ordinance.</p> <p>The December 12, 2023 staff report flagged a concern regarding light trespass from the outdoor dining area. Staff recommended a condition of approval requiring that the applicant revise the outdoor dining area lighting plan and submit an updated photometric study that shows an average of 0.2 footcandles outside of the awning onto the uncovered areas of the sidewalk along Main and 2nd Streets. On the revised project plans submitted for the second public hearing, the applicant reduced light trespass by dimming the light emanating from the fixtures in the outdoor dining area and removing the recessed canopy fixtures along 2nd Street. As shown on sheet LSK-01 of the updated project plans (See Exhibit A), these changes have reduced light trespass to achieve an average of 0.2 footcandles outside of the awning.</p>	

Findings Regarding Compliance with Interim Ordinance 1234

INTERIM ORDINANCE 1234 STANDARDS ANALYSIS
Interim Ordinance 1234 (“interim ordinance”) was approved by the Ketchum City Council on October 17, 2022 and published in the paper on October 19, 2022 (the effective date). The 200 North Main redevelopment project is subject to the standards of the interim ordinance as the Design Review and Conditional Use Permit applications were deemed complete on June 1, 2023 after the effective date of the interim ordinance and prior to the adoption of Permanent Ordinance 1249.
Interim Ordinance Standards and Commission Finding

Yes	No	N/A	Interim Ordinance Section	City Standards and <i>Commission Finding</i>																																																							
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 4: Minimum Residential Densities	<p>There shall now be minimum residential densities for new development projects or expansions of existing buildings that exceed a total floor area ratio (FAR) of 1.0 within Subdistrict 1 and Subdistrict 2 of the CC zone district and 0.5 FAR in the T, T-3000, T-4000, and GR-H zone districts as follows:</p> <table border="1" data-bbox="704 453 1398 1052"> <thead> <tr> <th data-bbox="704 453 867 485">Zone District</th> <th colspan="4" data-bbox="867 453 1398 485">Minimum Residential Density Required (units/SF)</th> </tr> </thead> <tbody> <tr> <td data-bbox="704 485 867 537">CC Subdistricts 1 and 2</td> <td colspan="4" data-bbox="867 485 1398 537">100% Residential Development 7 / 5,500</td> </tr> <tr> <td data-bbox="704 537 867 569"></td> <td colspan="4" data-bbox="867 537 1398 569">Mixed Use Development</td> </tr> <tr> <td data-bbox="704 569 867 600"></td> <td data-bbox="867 569 992 600">≤ 30% Commercial</td> <td data-bbox="992 569 1122 600">31-60% Commercial</td> <td data-bbox="1122 569 1252 600">61-80% Commercial</td> <td data-bbox="1252 569 1398 600">≥ 80% Commercial</td> </tr> <tr> <td data-bbox="704 600 867 632"></td> <td data-bbox="867 600 992 632">4 / 5,500</td> <td data-bbox="992 600 1122 632">3 / 5,500</td> <td data-bbox="1122 600 1252 632">2 / 5,500</td> <td data-bbox="1252 600 1398 632">No Minimum except when residential units are provided, there shall be a minimum of 2 units</td> </tr> <tr> <td data-bbox="704 632 867 747">T</td> <td colspan="4" data-bbox="867 632 1398 747">100% Residential Development 7 / 10,000</td> </tr> <tr> <td data-bbox="704 747 867 779"></td> <td data-bbox="867 747 992 779">≤ 30% Commercial</td> <td data-bbox="992 747 1122 779">31-60% Commercial</td> <td data-bbox="1122 747 1252 779">61-80% Commercial</td> <td data-bbox="1252 747 1398 779">≥ 80% Commercial</td> </tr> <tr> <td data-bbox="704 779 867 810"></td> <td data-bbox="867 779 992 810">4 / 10,000</td> <td data-bbox="992 779 1122 810">3 / 10,000</td> <td data-bbox="1122 779 1252 810">2 / 10,000</td> <td data-bbox="1252 779 1398 810">No Minimum except when residential units are provided, there shall be a minimum of 2 units</td> </tr> <tr> <td data-bbox="704 810 867 842">T-3000</td> <td colspan="4" data-bbox="867 810 1398 842">4 / 10,000</td> </tr> <tr> <td data-bbox="704 842 867 873">T-4000</td> <td colspan="4" data-bbox="867 842 1398 873">8 / 10,000</td> </tr> <tr> <td data-bbox="704 873 867 905">GR-H</td> <td colspan="4" data-bbox="867 873 1398 905">8 / 10,000</td> </tr> </tbody> </table> <p data-bbox="737 1052 1398 1304"> A. For purposes of calculating commercial area for minimum residential densities, commercial square footage shall include all permitted and conditionally permitted uses identified in KMC Section 17.12.020 – <i>District Use Matrix</i> under the categories of “Commercial” or “Public and Institutional”. B. Percent commercial shall be calculated by dividing the total commercial square footage by the Gross Floor Area for the project. C. Total commercial square footage shall be calculated using the total area of commercial uses on all floors in a building or portion of a building measured from the interior walls, excluding: a. Common areas b. Mechanical and maintenance equipment rooms. c. Parking areas and/or garages d. Public areas </p>	Zone District	Minimum Residential Density Required (units/SF)				CC Subdistricts 1 and 2	100% Residential Development 7 / 5,500					Mixed Use Development					≤ 30% Commercial	31-60% Commercial	61-80% Commercial	≥ 80% Commercial		4 / 5,500	3 / 5,500	2 / 5,500	No Minimum except when residential units are provided, there shall be a minimum of 2 units	T	100% Residential Development 7 / 10,000					≤ 30% Commercial	31-60% Commercial	61-80% Commercial	≥ 80% Commercial		4 / 10,000	3 / 10,000	2 / 10,000	No Minimum except when residential units are provided, there shall be a minimum of 2 units	T-3000	4 / 10,000				T-4000	8 / 10,000				GR-H	8 / 10,000			
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Commission Finding</i>	<p>The project has a gross floor area of 12,405 square feet with 4,148 square feet of commercial space for the restaurant. 33% of the mixed-use development is dedicated to commercial space for the restaurant. Based on the commercial area, the project is required to provide three residential units. The mixed-use development provides seven multi-family dwelling units. The 200 North Main project exceeds the minimum residential density requirement providing four more dwelling units than required by section 3 of the interim ordinance.</p>																																																							
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section 5: Lot Consolidations	<p>There shall now be standards for the consolidation of lots. Additionally, there shall be a specific application type, process, and additional standards for the review and approval of the consolidation of lots.</p>																																																							

			<i>Commission Finding</i>	<i>This standard is not applicable as this project is proposed on one single lot that was created by Ketchum's original townsite plat map in 1948.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 6: No Net Loss of Dwelling Units	No demolition permit shall be issued pursuant to Chapter 15.16 of the KMC that results in the net loss in the total number of residential units currently existing on a property as of the effective date of this ordinance.
			<i>Commission Finding</i>	<i>The corner lot is developed with an existing building that was originally constructed as a gas station in 1959 and is currently occupied by Café Serva restaurant. No residential units historically or currently occupied the existing building. The proposed demolition of the existing building will not result in a loss of residential units. The project will provide seven new multi-family dwelling units.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section 7: Retail Parking Exemption	There shall be no parking required for individual retail spaces of 5,500 square feet or less within the Community Core (CC) and Tourist (T) zoning districts.
			<i>Commission Finding</i>	<i>This standard is not applicable as the project does not include any retail uses.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section 8: Office Parking Exemption	There shall be no parking required for the first 5,500 square feet of office space of a project within the Community Core and Tourist zone districts.
			<i>Commission Finding</i>	<i>This standard is not applicable as the project does not include any office uses.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section 9: Commercial in the Downtown Area—River Street	New developments on properties within the Tourist zone district that include frontage along River Street from S Leadville Ave to S 2nd Ave, as shown in Exhibit A, shall be subject to the uses permitted and conditionally permitted and associated footnotes for the Community Core – Mixed Use subdistrict (CC-2) as outlined in KMC 17.12.020 – District Use Matrix.
			<i>Commission Finding</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section 10: Commercial in the Downtown—CC-2 Zone	Properties within the Community Core – Mixed Use subdistrict (CC-2), as shown on Exhibit B, shall be subject to the following: A. Ground floor residential with street frontage is not permitted.
			<i>Commission Finding</i>	<i>N/A</i>
Section 11: Developments within the CC Subdistrict 1 and 2, T (Leadville to 2nd Ave fronting River Street) not exempt from Design Review are subject to the following standards:				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 11A:	For mixed-use developments, a minimum of 55% of the gross floor area, as defined in KMC 17.08.020, of the ground floor must be commercial use(s).

			<i>Commission Finding</i>	The gross floor area of the ground is 4,403 square feet. The total floor area for the restaurant on the ground floor is 2,979 square feet. 68% of the gross floor area of the ground floor is dedicated to the commercial restaurant use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 11B:	Community housing units are not permitted within basements.
			<i>Commission Finding</i>	<i>The two community housing units are located on the second floor the building.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Section 11C:	Individual residential dwelling units cannot exceed a total square footage of 3,000 square feet. Total square footage shall be calculated as the total area of residential space within a single residential unit measured from the interior walls. For residential units with multiple floors, staircases and elevators shall be included in the calculation on the first level of the residential unit only.
			<i>Commission Finding</i>	<i>Section 12 of the interim ordinance allows applicants to request relief from this requirement by applying for a conditional use permit. The applicant has requested a conditional use permit to allow for the third-floor penthouse with a total floor area of 3,400 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 11D:	Developments shall not provide a total number of parking spaces above the minimum parking requirements per KMC 17.125.040 – Off Street Parking and Loading Calculations, unless the additional parking spaces are designated for public parking use only or for deed restricted community housing units.
			<i>Commission Finding</i>	<i>The project parking demand is two spaces for the residential penthouse. Two off-street parking spaces for the penthouse are provided within the private garage accessed from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 13:	All development subject to Design Review pursuant to KMC Section 17.96.010, shall meet the following additional criteria: A. The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan.
			<i>Commission Finding</i>	<i>The comprehensive plan designates the future land use of the subject property as Retail Core—the city’s key gathering place for residents and visitors for shopping, dining, and entertainment. The future land use plan states: The community’s primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices (page 69).</i>

			<p><i>200 North Main aligns with the future land use plan for the Retail Core. The project provides a restaurant on the ground-floor that fronts Main and 2nd Streets. The design includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2nd Streets with an outdoor dining area with custom-built tables, bar top, and seating. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum’s dynamic downtown by facilities the social connections that build community.</i></p> <p><i>The comprehensive plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that “housing should be integrated into the downtown core” (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). Pursuant to the interim ordinance’s minimum residential density requirements, the project is required to include at least three dwelling units. 200 North Main exceeds the minimum density requirements providing a total of seven multi-family dwelling units. These housing units are within walking distance to jobs, retail stores, coffee shops, and restaurants in downtown Ketchum. Additionally, the project is located within walking distance to Mountain Rides bus stops at Main & 1st Streets and Main & 4th Streets, providing access to all the major transit routes that can connect future residents to the ski bases and other areas of Ketchum. Goal H-1 of the comprehensive plan states that, “Ketchum will increase its supply of homes including rental and special-needs housing for low-, moderate-, and median-income households. The project provides six one-bedroom apartments on the second floor, two of which will be deed-restricted community housing units.</i></p> <p><u><i>Compatibility with Surrounding Neighborhood</i></u></p> <p><i>Policy CD-1.3 of the comprehensive plan states that, “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style”(page 26). The subject property is within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments like the Leadville Trading project currently under construction across the alley to the east of the subject property.</i></p>
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			<p><i>The project site neighbors multiple buildings that are designated as historic within the city, including the Casino building (Historic Name: Ketchum Kamp Hotel) to the north on Main Street, the Rocky Mountain Hardware building (Historic Name: Lewis Bank) to the south across 2nd Street, the Culinary Institute (Historic Name: Greenhow & Rumsey Store) to the west across Main Street, and Vintage Restaurant (Historic Name: Bert Cross Cabin) to the east across the alley.</i></p> <p><i>200 North Main celebrates Ketchum’s historic and vernacular architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum’s early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts. The projecting awning supported by columns at the street corner is another character-defining feature that nods to downtown’s historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building’s colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street. The design celebrates character-defining features of Ketchum’s historic architecture without mimicry or replication. The project includes more contemporary design elements like black metal accents that make the building appear as a product of its own time.</i></p>
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Findings Regarding Compliance with Design Review Standards

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #7
<p>Finding: All improvements to the right-of-way are at the expense of the applicant.</p> <p>The project is located at the northeast corner of Main and 2nd Streets. As shown on sheet C1.20 of the project plans, the alley is proposed to be graded and resurfaced with asphalt. New portions of asphalt and asphalt repair are proposed along Main and 2nd Streets directly adjacent to the sidewalk. No changes are proposed to the street design or travel-land widths along Main and 2nd Streets.</p>	

The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project.

The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #7.

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #7
<p>Finding: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #7.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-1 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new heated, paver sidewalks along Main and 2nd Streets.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Conditions #7 & #8
<p>Finding: The applicant has proposed installing new 8-foot-wide heated paver sidewalks along Main and 2nd Streets. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project.</p> <p>The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer,</p>	

Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #7.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application pursuant to condition of approval #8.

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A

Finding: Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	YES

Finding: The proposed sidewalk improvements are equal to the length of the property’s street frontages along Main and 2nd Streets.

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	YES

Finding: The new heated, paver sidewalks are planned to connect to the existing sidewalks along Main and 2nd Streets. The proposed sidewalks connect to heated pathways on the project site providing safe pedestrian access to and around the building.

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer.</i></p>	N/A

<i>Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	
Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #7
<p>Finding: On-site stormwater drainage will be directed through internal roof drains and roof drain leaders to on-site drywells. The drainage improvements on sheet C1.0 of the project plans shows drywells adjacent to the front property line along Main Street and the rear property line along the alley. Note S13 specifies that roof drains and/or slot drains will be connected to these drywells.</p> <p>All storm water shall be retained on site, including water from roof drains. All roof drain locations must be shown on the project plans submitted with the building permit application for final review and approval by the City Engineer.</p> <p>Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #7
<p>Finding: The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Main Street, 2nd Street, and the alley. The drainage improvements are shown on Sheet C1.20 of the project plans. The drainage system is comprised of catch basins, drywells, and storm drain pipes. New valley gutters are proposed to be installed with alley right-of-way. All drainage improvements are required to be constructed City standards. Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #7
<p>Finding: The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide</p>	

specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #7
<p>Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.</p> <p>Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: The site plan on sheet A-103 of the project plans shows that the new transformer is proposed to be installed at the rear of the building in the southeast corner of the project site along 2nd Street and the alley. The site plan on sheet A-103 also shows the location of the electrical and gas meters located within alcoves along the rear façade along the alley. The rear (east) elevation on sheet A-313 of the project plans shows the electric and gas meters within the alcoves. The transformer screening is shown on the rear (east) building elevation on sheet A-313 and the 2nd Street (south) elevation on sheet A-312. The transformer will be screened with perforated steel panels in a custom finish to match the window and door system (Exterior Finish 5, Sheet A-301).</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and</i>	N/A

<i>construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	
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Finding: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES

Finding:
 The exterior materials and color sample board is provided on sheet A-301 of the project plans. The proposed building elevations on sheets A-311, A-312, A-313, and A-314 specify the following exterior materials:

- Exterior Finish 1 (EF-1): Full Size Brick, Sanmold Texture, Red Color, Sand Coating, Belden Brick Company
- Exterior Finish 2 (EF-2): Precast Stone, Warm Grey
- Exterior Finish 3 (EF-3): Exterior Steel Accents, Custom Finish to Match Window & Door System
- Exterior Finish 4 (EF-4): Delta Millworks, Hemlock Soffit Wood
- Exterior Finish 5 (EF-5): Exterior Perforated Steel Accents, Custom Finish to Match Window & Door System
- Exterior Finish 6 (EF-6): Neolith Sintered Stone Siding Panels, Iron Corten Color
- Window and Door Systems, Black Metal Finish

The first two floors of the mixed-use building are comprised of brick. Brick coursing provides detail at the top of the first and second floors. Warm gray precast stone caps the top of the windows and connects the windows at the second floor providing more detail to further animate the façade. Black metal accents, including the window and door system finishes, the awning and tie rods, and the columns supporting the awning at the street corner, the awnings framing the third-floor windows, and the third-floor terraces railing, are incorporated through all three floors of the building. The exposed underside of the awning is comprised of Delta Millworks Hemlock Soffit Wood. The light, natural wood color contrasts with the black metal accents providing visual interest at the street corner. The natural materials, including the brick, stone, and wood, and muted colors with more matte finishes will complement the surrounding built environment, including the neighboring historic buildings.

During their deliberations at the December 12 meeting, the Commission commented that the light color of the Oko Skin exterior finish proposed for the third-floor penthouse with the initial submittal appeared eye-catchingly bright due to its juxtaposition with the darker brick below. The applicant changed the exterior finish of the third-floor penthouse to Neolith Sintered Stone Siding Panels. These stone siding panels have an Iron Corten color with red and brown tones that complement the brick veneer of the first two floors.

The signage plan is provided on sheet A-315 of the project plans. The signage plan proposes two signs for the restaurant along the Main Street frontage and one sign along the 2nd Street frontage. The Main Street frontage includes a wall sign and projecting sign. The 2nd Street frontage includes a wall sign for the restaurant. The wall signs along Main and 2nd Streets are integrated into the design of the bars for the outdoor dining area. The projecting sign along Main Street is comprised of black steel and painted wood. The black steel and wood of the projecting sign matches the design of the building awning that

wraps around the street corner. The signage is pedestrian-oriented and integrated into the design of the mixed-use building.

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: The subject property is not listed as a historical or cultural landmark on the city of Ketchum’s Historical Building/Site List, therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: The corner lot is developed with an existing building that was originally constructed in 1959 and is proposed to be demolished. The public entrance to the restaurant is located along Main Street. This entrance is clearly defined through the awning that projects from the building and extends 5 feet over the sidewalk. The residential entrance is located along Main Street at the northwest corner of the building. The residential entrance is clearly defined by an awning the extends 3 feet over the Main Street sidewalk.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: The primary building entrances are well defined and provide unobstructed access to the sidewalk.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: 200 North Main celebrates Ketchum’s historic and vernacular architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum’s early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts. The projecting awning supported by columns at the street corner is another character-defining feature that nods to downtown’s historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building’s colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street. The design celebrates character-defining features of Ketchum’s historic architecture without mimicry or replication. The project includes more contemporary design elements like black metal accents that make the building appear as a product of its own time.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses an integrated palette of high-quality exterior materials, including brick, stone, and slat wall panels. The black steel and wood of the projecting sign matches the design of the building awning that wraps around the street corner. The signage is pedestrian-oriented and integrated into the design of the mixed-use building.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: No accessory structures are proposed; however, the project includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2nd Streets with an outdoor dining area with custom-built tables, bar top, and seating. Raised steel planters painted black to match the columns supporting the awning are incorporated between the outdoor dining areas tables and bars. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum’s dynamic downtown by facilities the social connections that build community.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: Pursuant to KMC §17.96.060.F5, “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.” The third-floor setback diagram on sheet A-251 of the project plans (Attachment B) provides average setbacks from the front, side, and rear property lines. The third floor is setback an average of:</p> <ul style="list-style-type: none"> • 17’-9” from the front property line along Main Street, • 5’-11” from the side property line along 2nd Street, • 9’-9” from the rear property line along the alley, and • 6’-10” from the interior south side property line. <p>The third floor is setback 20’-3” at southwest corner, 16’-10” at the northwest corner, and 28’-7” at the northeast corner. These third-floor setbacks provide relief from the visual appearance building bulk and mass.</p> <p>200 North Main neighbors the Casino—a designated historic building listed on the city’s historic building/site list. The elevation on sheet A-311 shows the project and the Casino along Main Street. The north elevation on sheet A-314 shows the project’s interior side wall with an outline of the Casino building. The ground level and second floor of the building are built to the interior side property forming an uninterrupted brick mass. A majority of this blank, brick wall is covered by the Casino. A mural is proposed on the exposed portion this side wall to add visual interest.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES

Finding: Unlike many recent redevelopment projects that consolidate multiple lots downtown, the project is proposed on one single lot that was created by Ketchum’s original townsite plat map in 1948. The building orients to the street corner.

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES Condition #6
<p>Finding: The site plan on sheet A-103 shows that two different garbage disposal areas are provided on the ground floor of the mixed-use development—one for the residences and another for the restaurant. Providing a separate commercial trash room is necessary for the restaurant operations within the mixed-use building. The restaurant garbage disposal area is accessed off the alleyway and is comprised of two dumpsters and recycling bins. The residential trash and recycling area is located within the rear, northeast corner of the building and is comprised of individual bins.</p> <p>Garbage disposal in new construction projects within the Community Core are encouraged to utilize a consolidated dumpster so that individual waste bins are not left lingering within the alley right-of-way after service by Clear Creek Disposal. The applicant has submitted a letter from Clear Creek Disposal dated May 11, 2023, which states that, “Special services are available to transport the carts to and from the residential garbage room.”</p> <p>Pursuant to condition of approval #6, the property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must be stored within the residential garbage room at all times except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal’s special services are discontinued in the future, the HOA must provide evidence of similar transport services.</p> <p>No satellite receivers are proposed to be installed for the project.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p>Finding: The second-floor cantilevers above the outdoor dining space at the street corner covering this area and providing weather protection for people dining at the outdoor tables and bars. The awning at the street corner extends 5 feet over the public sidewalk along Main and 2nd Streets. The residential entrance is covered by an awning that extends 3 feet over the Main Street sidewalk. These awnings provide weather protection to prevent water from dripping and snow from sliding on areas where pedestrians gather and circulate.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES

Finding: The new heated, paver sidewalks will connect to the existing concrete sidewalks along Main and 2nd streets. The proposed sidewalks connect to heated pathways on the project site providing safe pedestrian access to and around the building.

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	YES Conditions #7 & #8

Finding: Dimensions for the awnings are provided on sheet A-321 of the project plans. The awning at the street corner extends 5 feet over the sidewalk along Main and 2nd Streets. The awning covering the residential entrance extend 3 feet over the Main Street sidewalk. The awnings do not extend within two feet of parking or travel lanes within the right-of-way.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES Condition #7

Finding: Vehicle access to the project is provided along Main Street, 2nd Street, and the alley. The parking garage for the penthouse is accessed from the alley. The proposed alley access will allow traffic to flow safely within the project and onto 2nd Street. The new sidewalks will connect to walkways on the subject property providing safe pedestrian access to and around the building. As shown on sheet L1.0 of the project plans, a bike rack is provided adjacent to the outdoor dining area along 2nd Street.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A

Finding: The subject property is a corner lot with street frontage along Main and 2nd Streets. No curb cuts or driveway entrances are proposed along 1st Avenue or 4th Street. The penthouse’s parking garage is accessed from the alley.

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES

Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Main Street, 2nd Street, and the alley.

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A

Finding: All improved parking and pedestrian circulation areas are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4.

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A

Finding: The applicant has proposed to snowmelt all parking and pedestrian circulation areas, which is permitted as an alternative to providing on-site snow storage area by Ketchum Municipal Code §17.96.060.H4.

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A

Finding: N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt in lieu of providing any snow storage areas on site.

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #8

Finding: Most of the improved pedestrian circulation areas are covered by the second-floor cantilever and the awnings. The new sidewalks along Main and 2nd Street are proposed to include a snowmelt. In addition, the paver pathway along the alley is proposed to be heated. Pursuant to condition of approval #8, the project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES

Finding: As shown on sheet L1.1, the applicant has provided landscaping on the ground level and on the third-floor terraces. The ground-level landscaping includes street trees and landscaped steel planters. The proposed landscaping for the third-floor terraces is shown on sheet L5.0 of the project plans.

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<p>Finding: The landscaping will complement the surrounding neighborhood and beautify the streetscape. Raised steel Landscaped planters comprised of steel painted black to match the columns supporting the awning are incorporated between the outdoor dining areas tables and bars. The street trees and integration of landscape planters within the outdoor dining area enhance the quality of the pedestrian experience. The landscape plan shall be readily adaptable to the site’s microclimate, soil conditions, orientation, and aspect.</p>	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
<p>Finding: All trees, shrubs, grasses, and perennials shall be drought tolerant. Native species are recommended. The vegetation proposed for the landscaped planters within the outdoor dining area is specified on sheet L1.1 of the project plans. The proposed vegetation includes Terracotta Yarrow, Blanca Peak White Penstemon, and Little Bluestem.</p>	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<p>Finding: The subject property is surrounded by compatible uses within the Community Core Zone. The vegetation will enhance the pedestrian-friendly streetscape.</p>	

17.96.060.J.1 – Public Amenities	Conformance
<p><i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i></p>	<p>YES Conditions #7 & #8</p>
<p>Finding: The design includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2nd Streets with an outdoor dining area with custom-built tables, bar top, and seating. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum’s dynamic downtown by facilities the social connections that build community.</p> <p>The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe</p>	

the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Conditions #7 & #8
Finding: The placement of all street trees and streetlights requires final review and approval by the City Engineer, the Streets Department, and the City Arborist. The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	YES Condition #7

Finding: The project proposes to provide three street trees along 2nd Street and one street tree along Main Street. The site plan on sheet L1.0 notes that the street trees will be installed in tree wells and grates per the city’s standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements, including the street trees, prior to issuance of a building permit for the project.

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	YES
<p>Finding: The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.</p>	

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
<p>Finding: The front and side facades facing Main and 2nd Streets and the rear façade are designed with both solid surfaces and window and door openings. The brick, stone panels, and black steel accents are used across all facades of the building. A</p>	

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
<p>Finding: The ground-level design at the street corner includes walls of windows that provide views into the restaurant from the sidewalk to create an engaging pedestrian environment. Sheet A-211 of the project plans specifies that 67% of the ground-level wall along Main Street is a window wall and 50% of the ground-level along 2nd Street is a window wall. Landscaped planters are incorporated in the design of the outdoor dining area.</p>	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	N/A

Finding: See above analysis for Ketchum Municipal Code §17.96.070.B2. The project provides large windows at the street corner providing view into the restaurant that maximize pedestrian interaction with the building.

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES

Finding: In their narrative response to the Design Review criteria, the applicant states, “All proposed roofs, including the awning along Main and Second and the overhang at the Main Street residential entry, are flat. The membrane is non-reflective and, on the roof, will be covered by stone ballast. Blackened steel c-channels or wide-flange fasciae of the awning and overhang contribute substantially to the overall style and character of the building.”

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A

Finding: The project does not include pitched roofs.

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	YES Conditions #7 & #8

Finding: Dimensions for the awnings are provided on sheet A-321 of the project plans. The awning at the street corner extends 5 feet over the sidewalk along Main and 2nd Streets. The awning covering the residential entrance extend 3 feet over the Main Street sidewalk. The awnings do not extend within two feet of parking or travel lanes within the right-of-way.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A

Finding: The project does not include front porches or stoops on the front façade of the building.

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES Condition #6
<p>Finding: The site plan on sheet A-103 shows that two different garbage disposal areas are provided on the ground floor of the mixed-use development—one for the residences and another for the restaurant. Providing a separate commercial trash room is necessary for the restaurant operations within the mixed-use building. The restaurant garbage disposal area is accessed off the alleyway and is comprised of two dumpsters and recycling bins. The residential trash and recycling area is located within the rear, northeast corner of the building and is comprised of individual bins.</p> <p>Garbage disposal in new construction projects within the Community Core are encouraged to utilize a consolidated dumpster so that individual waste bins are not left lingering within the alley right-of-way after service by Clear Creek Disposal. The applicant has submitted a letter from Clear Creek Disposal dated May 11, 2023, which states that, “Special services are available to transport the carts to and from the residential garbage room.”</p> <p>Pursuant to condition of approval #6, the property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must be stored within the residential garbage room at all times except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal’s special services are discontinued in the future, the HOA must provide evidence of similar transport services.</p>	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
<p>Finding: The site plan on sheet A-103 of the project plans shows that the new transformer is proposed to be installed at the rear of the building in the southeast corner of the project site along 2nd Street and the alley. The site plan on sheet A-103 also shows the location of the electrical and gas meters located within alcoves along the rear façade along the alley. The rear (east) elevation on sheet A-313 of the project plans shows the electric and gas meters within the alcoves. The transformer screening is shown on the rear (east) building elevation on sheet A-313 and the 2nd Street (south) elevation on sheet A-312. The transformer will be screened with perforated steel panels in a custom finish to match the window and door system (Exterior Finish 5, Sheet A-301).</p> <p>The roof mounted mechanical equipment consists of ventilation systems for the restaurant and air-conditioning systems for the third floor. The roof-mounted mechanical equipment will be fully screened by black perforated steel. The black steel matches the black accents and window/door systems of the mixed-use building.</p>	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES
Finding: The existing site survey on sheet C1.10 shows four existing trees bordering the north interior side property line that are proposed to be removed. These trees will be replaced with three street trees along 2 nd Street and one street tree along Main Street.	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES Condition #7
Finding: The project proposes to provide three street trees along 2 nd Street and one street tree along Main Street. The site plan on sheet L1.0 notes that the street trees will be installed in tree wells and grates per the city’s standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements, including the street trees, prior to issuance of a building permit for the project.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	YES Condition #7
Finding: The project proposes to provide three street trees along 2 nd Street and one street tree along Main Street. The site plan on sheet L1.0 notes that the street trees will be installed in tree wells and grates per the city’s standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements, including the street trees, prior to issuance of a building permit for the project.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	N/A
Finding: N/A. No surface parking lot is proposed.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows.</i>	N/A

<i>Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	
Finding: N/A. The project does not include a surface parking lot. On-site parking is provided within the enclosed garage accessed from alley.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: N/A as no surface parking lots are proposed for the project.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: One bike rack is required for the proposed development. The project’s parking demand is two off-street parking spaces for the penthouse. One bike rack is required for the development. The project proposes to install one bike rack, accommodating two bicycles, adjacent to the outdoor dining area next to the sidewalk along 2 nd Street.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: One bike rack is required for the proposed development.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
Finding: The project proposes to install one bike rack, accommodating two bicycles, adjacent to the outdoor dining area next to the sidewalk along 2 nd Street.	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and

regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.

2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 200 North Main Design Review Application File No. P22-049 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P23-049 this Tuesday, February 13, 2024 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. The Design Review approval is subject to Conditional Use Permit Application File No. P23-049A. All associated conditions of approval shall apply to the project.
2. This Design Review approval is based on the plans dated January 17, 2024 and information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting, included as Exhibit A to these findings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,173 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.
4. The applicant shall submit a proposal for the mural proposed on the exposed portion of the north side wall for review and approval by the Planning & Building Department prior to building permit issuance. The design of the mural shall add visual interest to the north side wall and enhance the public outdoor gathering space adjacent to the Casino building.
5. Each individual apartment shall have a dedicated detached storage unit as shown on sheet A-221 of Exhibit A.
6. The property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal’s special services are discontinued in the future, the HOA must provide evidence of similar transport services.

7. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project.
8. The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.
9. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
10. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
11. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 12 day of March 2024.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission

Exhibit A:
200 North Main
Project Plans



INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME
DR-1	DESIGN REVIEW COVER
DR-2	KETCHUM HISTORICAL PHOTOS
DR-3	VICINITY MAP
C0.10	CIVIL ENGINEERING COVER
C0.20	EXISTING SITE CONDITIONS
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.02	DETAIL SHEET
C1.10	DEMOLITION AND SITE GEOMETRY PLAN
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN
L1.0	SITE PLAN
L1.1	OUTDOOR DINING
L2.0	OUTDOOR DINING DESIGN FEATURE HEIGHTS
L3.0	OUTDOOR DINING MATERIALS + ELEVATIONS
L4.0	SPECIFICATIONS AND CUT SHEETS
L5.0	THIRD FLOOR TERRACES
L5.1	WEST TERRACE
L6.0	THIRD FLOOR TERRACES - MATERIALS + ELEVATIONS
L7.0	SPECIFICATIONS AND CUT SHEETS
LSK-01	FIRST FLOOR LIGHTING PHOTOMETRIC PLAN
LSK-02	THIRD FLOOR LIGHTING PHOTOMETRIC PLAN
LSK-03	PROPOSED LIGHTING PLANS AND SPECIFICATIONS
LSK-04	STREETLIGHT PHOTOMETRIC
A-102	PROPOSED ARCHITECTURAL SITE PLAN
A-103	PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED
A-201	PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS
A-202	PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS
A-203	PROPOSED THIRD FLOOR PLAN - NET UNIT AREA
A-205	PROPOSED BASEMENT PLAN
A-211	PROPOSED GROUND FLOOR PLAN
A-221	PROPOSED SECOND FLOOR PLAN
A-231	PROPOSED THIRD FLOOR PLAN
A-241	PROPOSED ROOF PLAN
A-251	THIRD FLOOR SETBACK DIAGRAM
A-301	PROPOSED EXTERIOR FINISHES
A-311	PROPOSED BUILDING ELEVATIONS - WEST
A-312	PROPOSED BUILDING ELEVATIONS - SOUTH
A-313	PROPOSED BUILDING ELEVATIONS - EAST
A-314	PROPOSED BUILDING ELEVATIONS - NORTH
A-315	PROPOSED BUILDING SIGNAGE
A-321	PROPOSED RIGHT-OF-WAY ENCROACHMENT
A-331	PROPOSED BUILDING SECTION
A-351	EXISTING WEST PERSPECTIVE
A-352	ORIGINAL DESIGN WEST PERSPECTIVE
A-353	PROPOSED REVISION WEST PERSPECTIVE
A-354	EXISTING WEST PERSPECTIVE
A-355	PROPOSED REVISION WEST PERSPECTIVE
A-356	EXISTING SOUTH PERSPECTIVE
A-357	ORIGINAL DESIGN SOUTH PERSPECTIVE
A-358	PROPOSED REVISION SOUTH PERSPECTIVE
A-359	EXISTING SOUTH PERSPECTIVE
A-360	PROPOSED REVISION SOUTH PERSPECTIVE
A-361	EXISTING NORTH PERSPECTIVE
A-362	PROPOSED REVISION NORTH PERSPECTIVE
A-363	PROPOSED REVISION NORTH PERSPECTIVE
A-364	EXISTING EAST PERSPECTIVE
A-365	PROPOSED REVISION EAST PERSPECTIVE
A-366	EXISTING MAIN STREET PERSPECTIVE
A-367	ORIGINAL DESIGN MAIN STREET PERSPECTIVE
A-368	PROPOSED REVISION MAIN STREET PERSPECTIVE
DESIGN REVIEW SHEET TOTAL: 60	

MATERIAL SYMBOLS

PLAN AND SECTION		ELEVATION	
	EARTH / TOP SOIL		PLYWOOD
	WASHED ROCK		FINISH WOOD
	ASPHALT PAVING / ROADBED MATL.		SAND, PLASTER, GYPSUM BOARD
	CONCRETE		BATT INSULATION
	BRICK		BIBS INSULATION
	CONCRETE MASONRY UNIT		RIGID INSULATION
	CUT STONE		SPRAY FOAM INSULATION
	STEEL		WALL - NEW CONSTRUCTION
	ALUMINUM		WALL - EXISTING TO REMAIN
			WALL - TO BE DEMOLISHED

PROJECT TEAM

OWNER:	200 N. Main, LLC Kenny and Kristina Dudunakis 2637 134th Avenue NE, Seattle, Washington 98005 (206) 521-7216 Kenny.Dudunakis@berkadia.com	LANDSCAPE DESIGNER:	Ash Boand Consulting+Design Ashley Boand PO Box 5136 Ketchum, Idaho 83340 (208) 720-2089 ash@ashboand.com
ARCHITECT:	Michael Doty Associates, Architects, PC Mike Doty PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena-Benchmark Engineering Matt Smiltman P.O. Box 733 Ketchum, Idaho 83340 (208) 726-9512 matt@galena-engineering.com
GENERAL CONTRACTOR:		LIGHTING DESIGNER:	LightPlan Lindsey Arvan 159 Western Avenue W, Suite 480 Seattle, Washington 98119 (208) 709-8123 lindsey@lightplannw.com.com
STRUCTURAL ENGINEER:	KPFF Structural Engineers Judson Williams 412 E Parkcenter Blvd 83706 Boise, Idaho 83706 (208) 336-6985 Judson.williams@kpf.com		

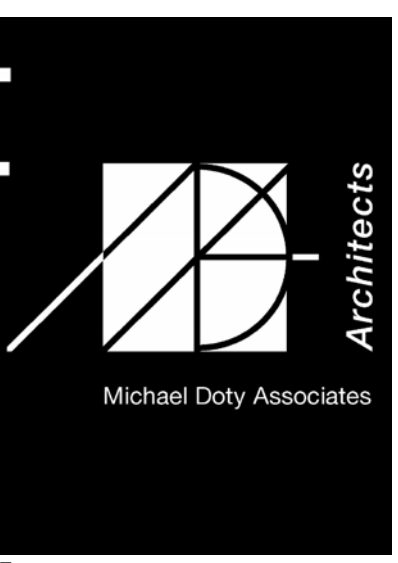
PROJECT DATA

PARCEL NUMBER:	RPK0000003001A
STREET ADDRESS:	200 NORTH MAIN STREET KETCHUM, IDAHO 83340
LEGAL DESCRIPTION:	LOT 1, BLK 3 KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	TOTAL: 12,405 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	±5503 SF (0.126) ACRES
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

200 NORTH MAIN

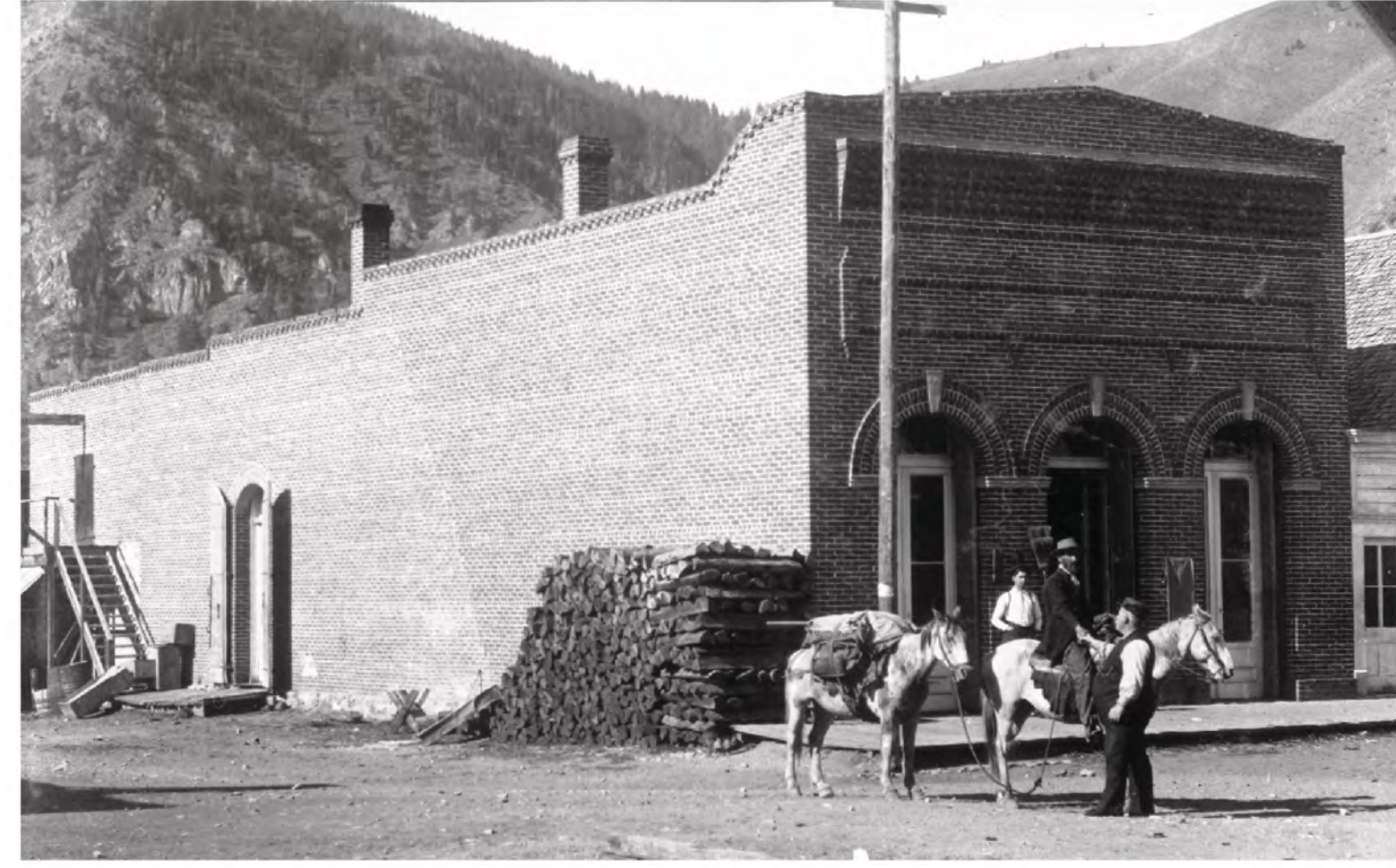
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC

PROJECT INSPIRATION AND CONTEXT: HISTORIC KETCHUM



LEWIS LEMON/POST OFFICE/GOLDEN RULE/GRIFFITH BUILDING—CURRENTLY SUN VALLEY CULINARY INSTITUTE—AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



SALOON AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



VIEW OF MAIN STREET, LOOKING SOUTH, LATE 19TH CENTURY. IT LOOKS LIKE THE GRIFFITH BUILDING IS AT THE CENTER LEFT OF THE PHOTO, WHICH WOULD PLACE THE PHOTOGRAPHER OUTSIDE OF THE LANE MERCANTILE BUILDING.



MAIN STREET, BLOCK BETWEEN SUN VALLEY ROAD AND SECOND STREET, CIRCA LATE 1950S.



SALOON, KETCHUM, LATE 19TH CENTURY.



FIRST NATIONAL BANK BUILDING—CURRENTLY ROCKY MOUNTAIN HARDWARE—ALONG MAIN STREET, BETWEEN FIRST AND SECOND STREETS, KETCHUM, LATE 19TH CENTURY.



MAIN STREET, LOOKING NORTH, MID-1930S.



MAIN STREET, LOOKING NORTH, CIRCA 1970S.



LANE MERCANTILE BUILDING AT MAIN STREET AND SUN VALLEY ROAD CIRCA MID-20TH CENTURY.

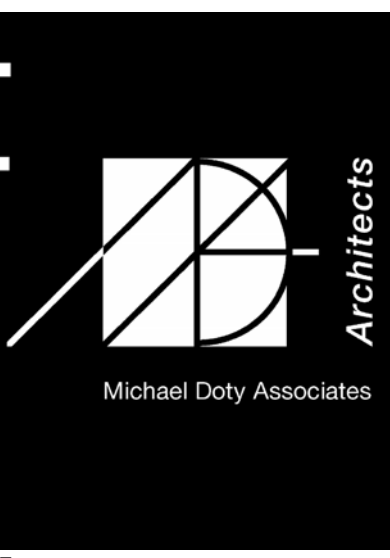


VIEW FROM MAIN AND SECOND STREET INTERSECTION TOWARD WARM SPRINGS, CIRCA 1930S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC



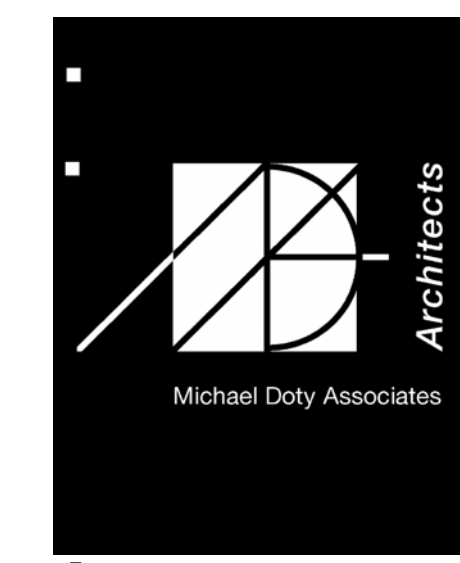
VICINITY MAP

SCALE: 1" = 100'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



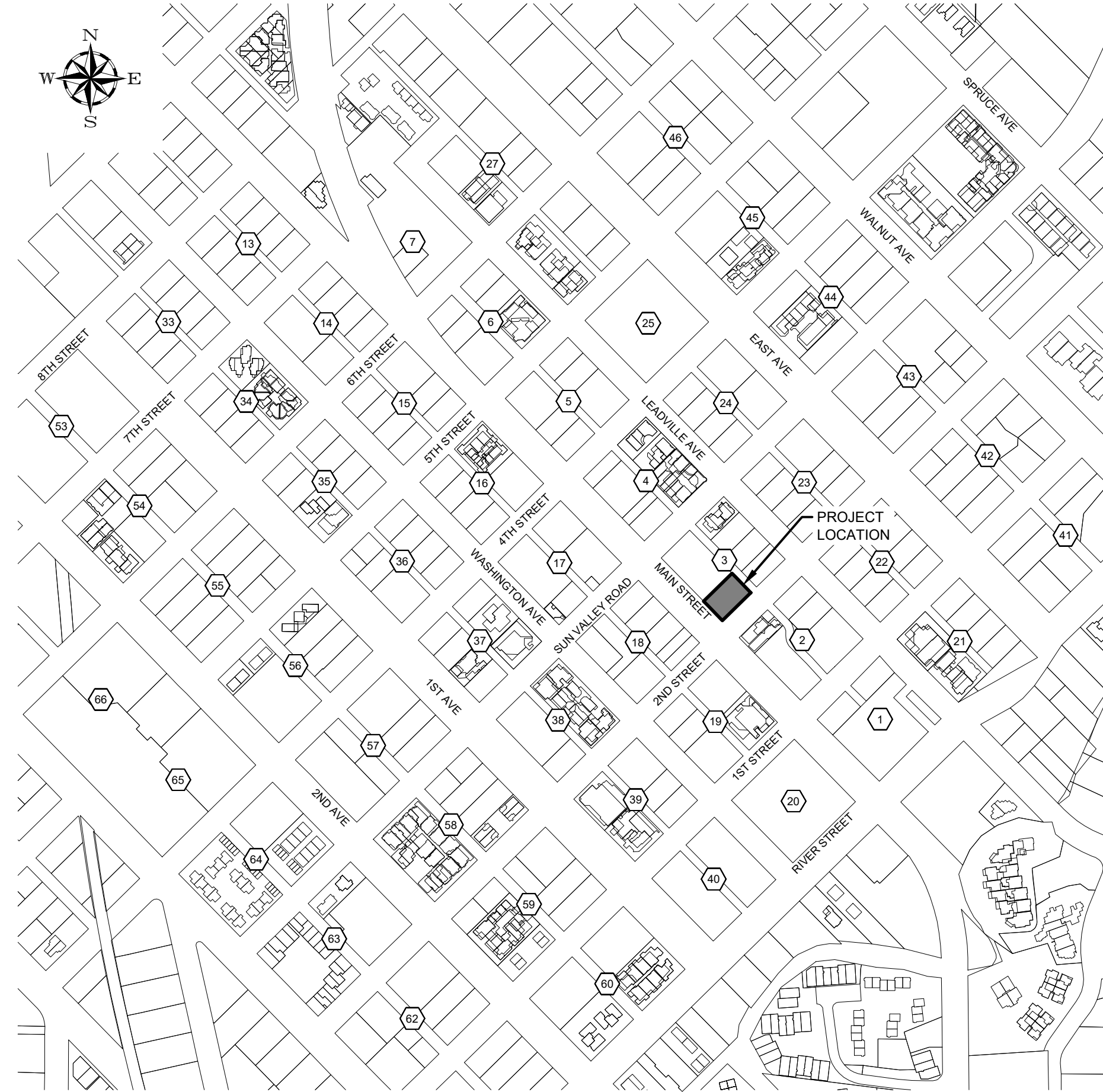
200 N. MAIN STREET

KETCHUM, IDAHO

MAY 2023

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

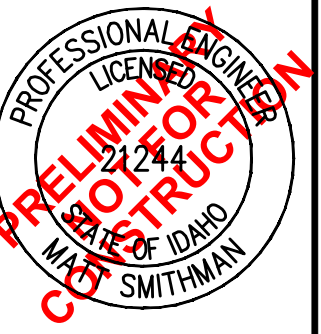
SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C1.00-C1.02	DETAIL SHEETS
C1.10	DEMOLITION AND SITE GEOMETRY
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN

SITE IMPROVEMENT PLAN 200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N. MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BANK\Ketchum\wlg\projbook\23\18276 - 200 N Main\dwg\Construction\0276 Civil\2023-04-17.dwg 09/05/23 11:55:59 AM



DESIGNED BY: CT
DRAWN BY: MS
CHECKED BY: MS

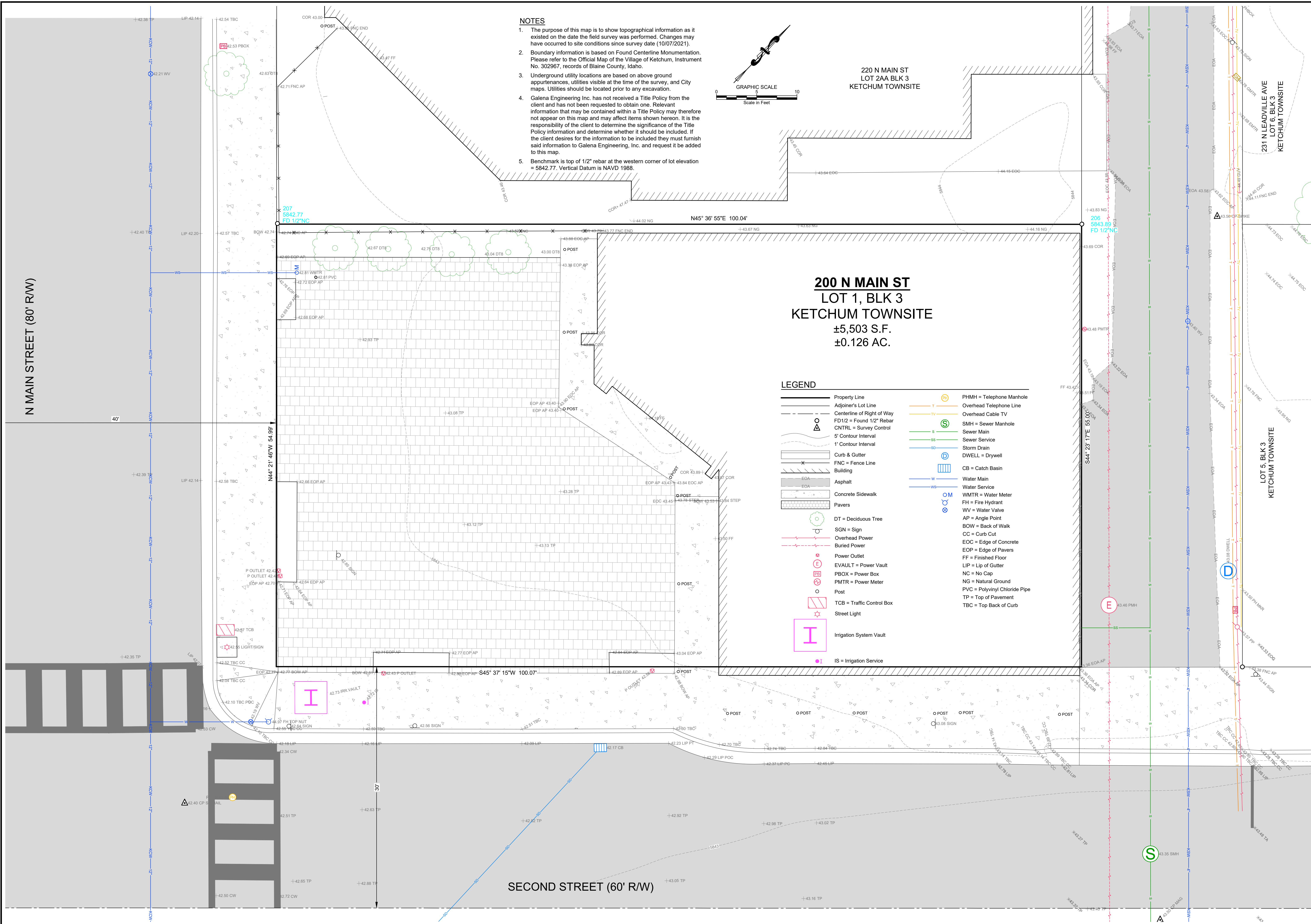
GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

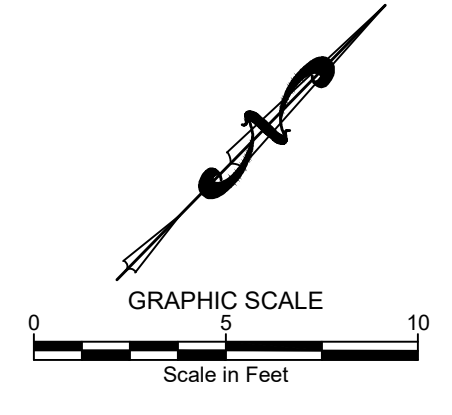
NO. DATE BY REVISIONS

C0.10

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/07/2021).
 - Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
 - Underground utility locations are based on above ground appearances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of 1/2" rebar at the western corner of lot elevation = 5842.77. Vertical Datum is NAVD 1988.



200 N MAIN ST
LOT 1, BLK 3
KETCHUM TOWNSITE
±5,503 S.F.
±0.126 AC.

LEGEND

	Property Line		PHMH = Telephone Manhole
	Adjoiner's Lot Line		Overhead Telephone Line
	Centerline of Right of Way		Overhead Cable TV
	FD1/2 = Found 1/2" Rebar		SMH = Sewer Manhole
	CNTRL = Survey Control		Sewer Service
	5' Contour Interval		Storm Drain
	1' Contour Interval		DWELL = Drywell
	Curb & Gutter		CB = Catch Basin
	FNC = Fence Line		Water Main
	Building		Water Service
	Asphalt		WMTR = Water Meter
	Concrete Sidewalk		FH = Fire Hydrant
	Pavers		WV = Water Valve
	DT = Deciduous Tree		AP = Angle Point
	SGN = Sign		BOW = Back of Walk
	Overhead Power		CC = Curb Cut
	Buried Power		EOC = Edge of Concrete
	Power Outlet		EOP = Edge of Pavers
	EVAULT = Power Vault		FF = Finished Floor
	PBOX = Power Box		LIP = Lip of Gutter
	PMTR = Power Meter		NC = No Cap
	Post		NG = Natural Ground
	TCB = Traffic Control Box		PVC = Polyvinyl Chloride Pipe
	Street Light		TP = Top of Pavement
	Irrigation System Vault		TBC = Top Back of Curb
	IS = Irrigation Service		

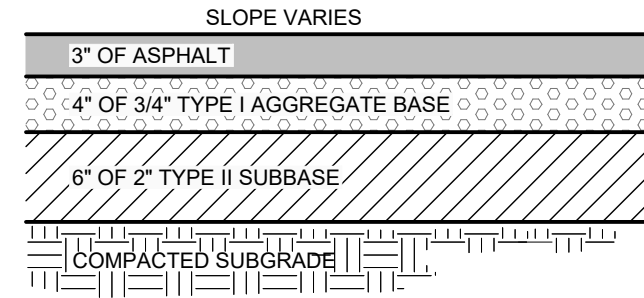
PROJECT INFORMATION
 Prepared for: 200 N MAIN, LLC
 City of Ketchum, Blaine County, Idaho
 T. N. R. 18 E. B. M.
 Located within Section 18, T. 4 N., R. 18 E., B. M.
 City of Ketchum, Blaine County, Idaho
 Prepared for: 200 N MAIN, LLC
 Date: 10/21/21
 Project: 200 N MAIN ST, LOT 1, BLOCK 3, KETCHUM TOWNSITE

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

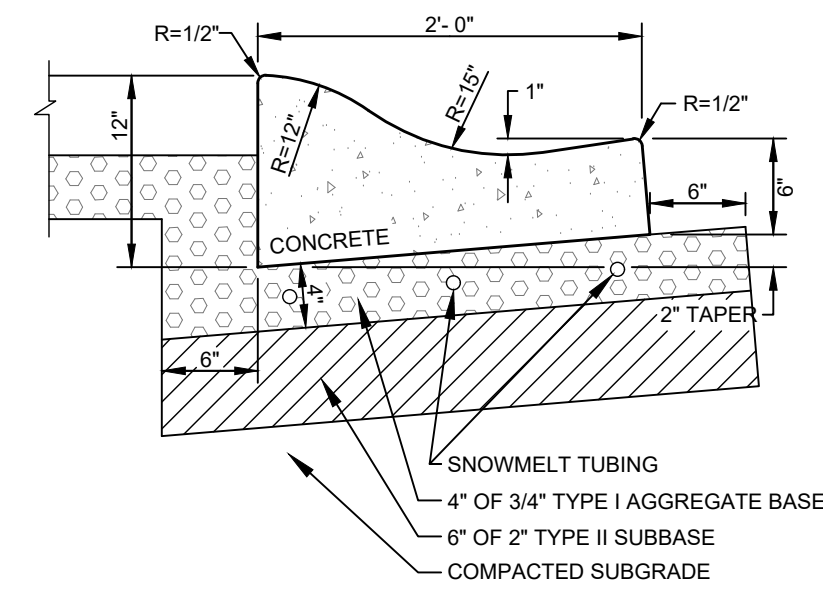
NO.	DATE	BY	REVISIONS

C0.20



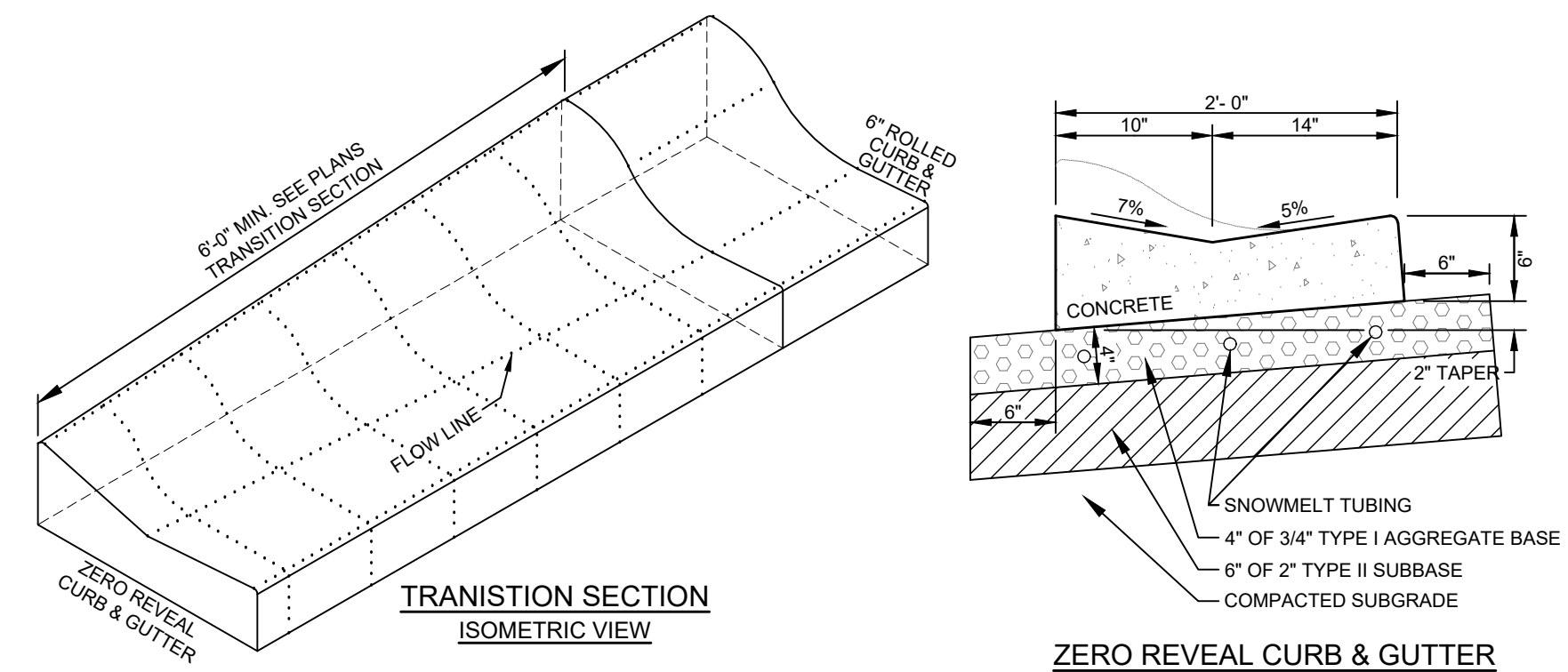
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C1.00 **TYPICAL ASPHALT SECTION**
N.T.S.



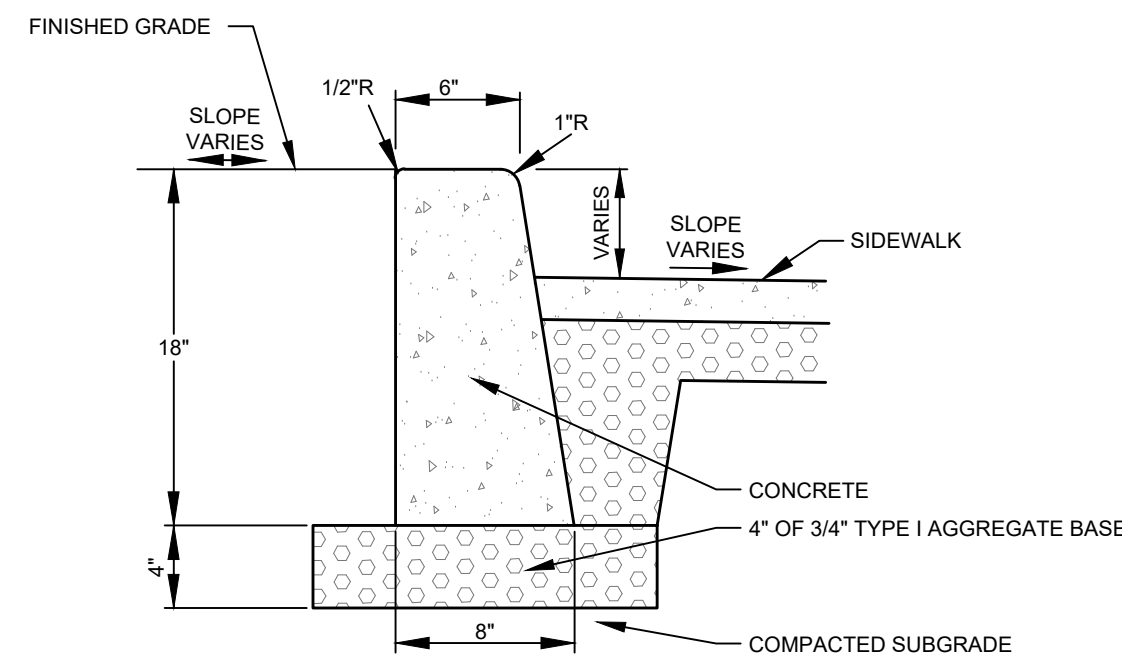
- NOTES:**
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 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2
C1.00 **HEATED 6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.



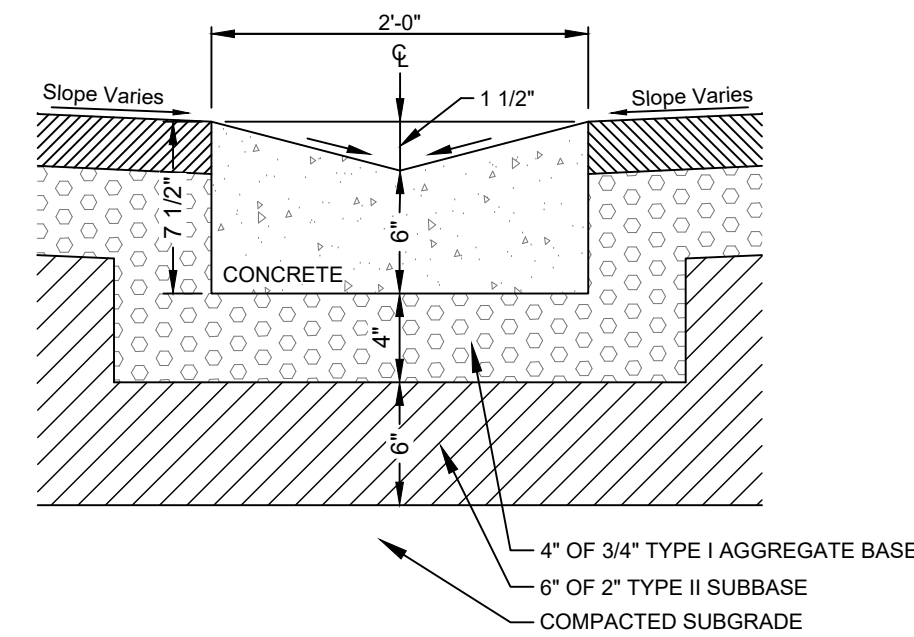
- NOTES:**
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 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
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 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

3
C1.00 **TYPICAL HEATED ROLLED CURB TRANSITION DETAIL**
N.T.S.



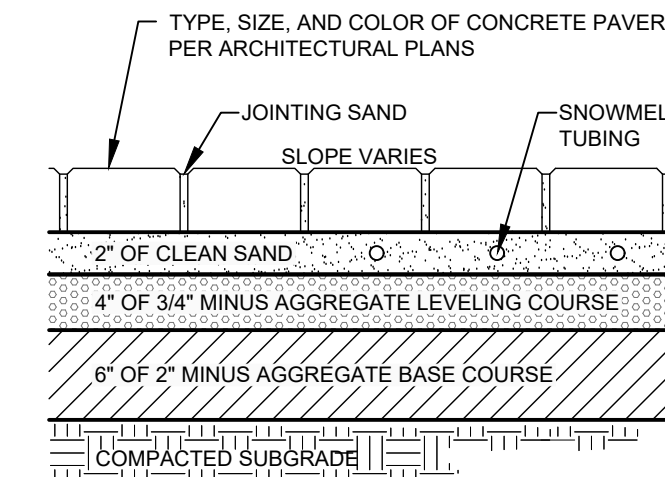
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

4
C1.00 **CONCRETE VERTICAL CURB**
N.T.S.

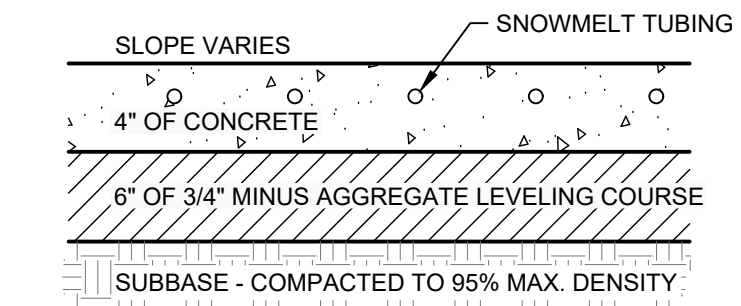


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

5
C1.00 **24" WIDE CONCRETE VALLEY GUTTER**
N.T.S.

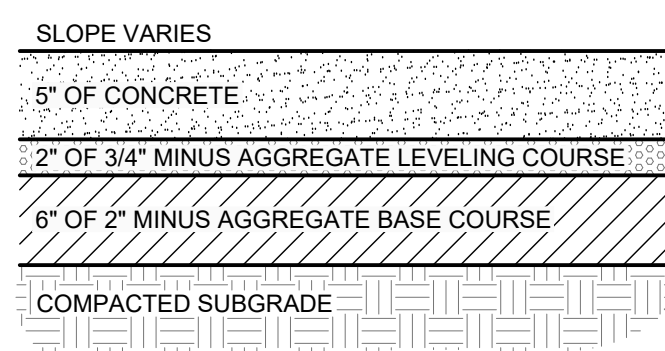


6
C1.00 **HEATED PAVER DETAIL**
N.T.S.



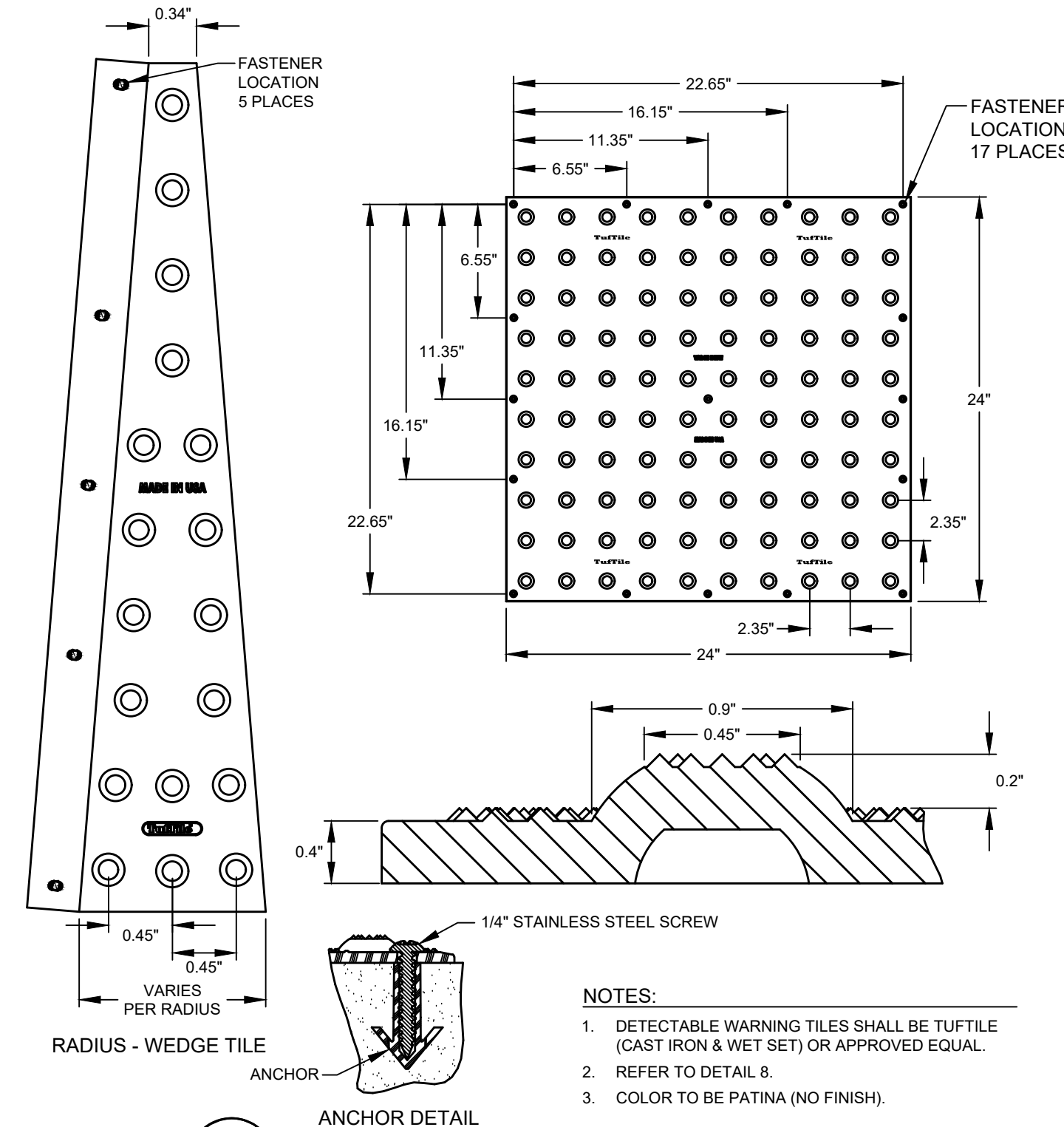
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPC SPECIFICATIONS.
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

7
C1.00 **TYPICAL CONCRETE SECTION #1 (HEATED)**
N.T.S.



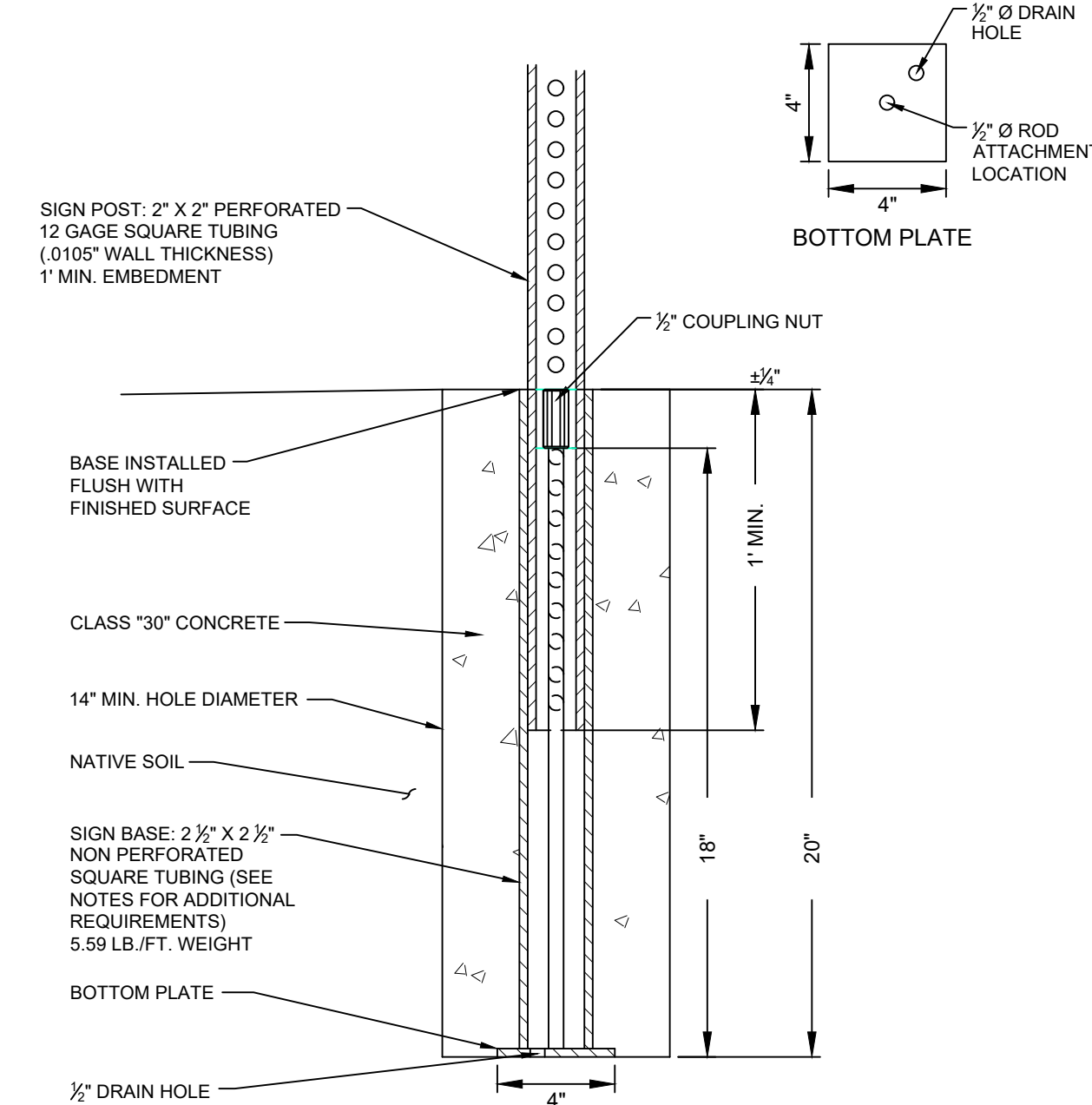
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 1/2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 3/8" WIDE, 3/8" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8
C1.00 **TYPICAL CONCRETE SECTION #2**
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTLE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

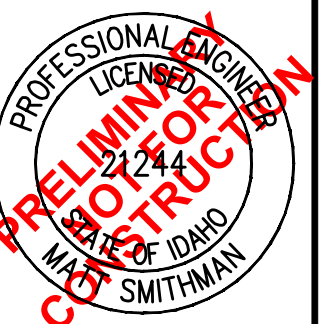
9
C1.00 **DETECTABLE WARNING TILE**
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS	
2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)	
2 1/2" INSIDE TUBE STEEL	
3/8" THICK	
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS	
1/2" COLD ROLLED ROD (18" LENGTH)	
1/2" COUPLING NUTS	
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS	
4" X 4" X 1/2" STEEL STRAP	

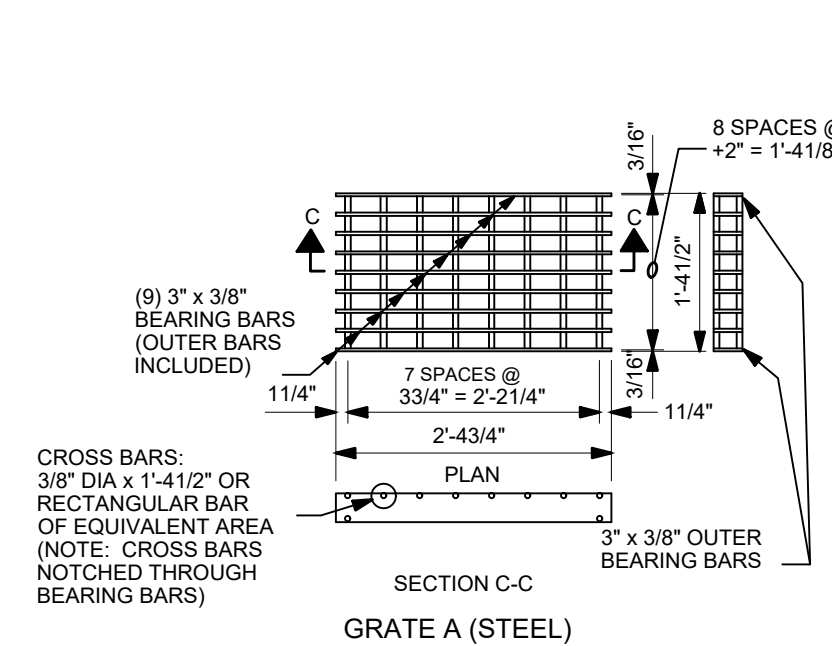
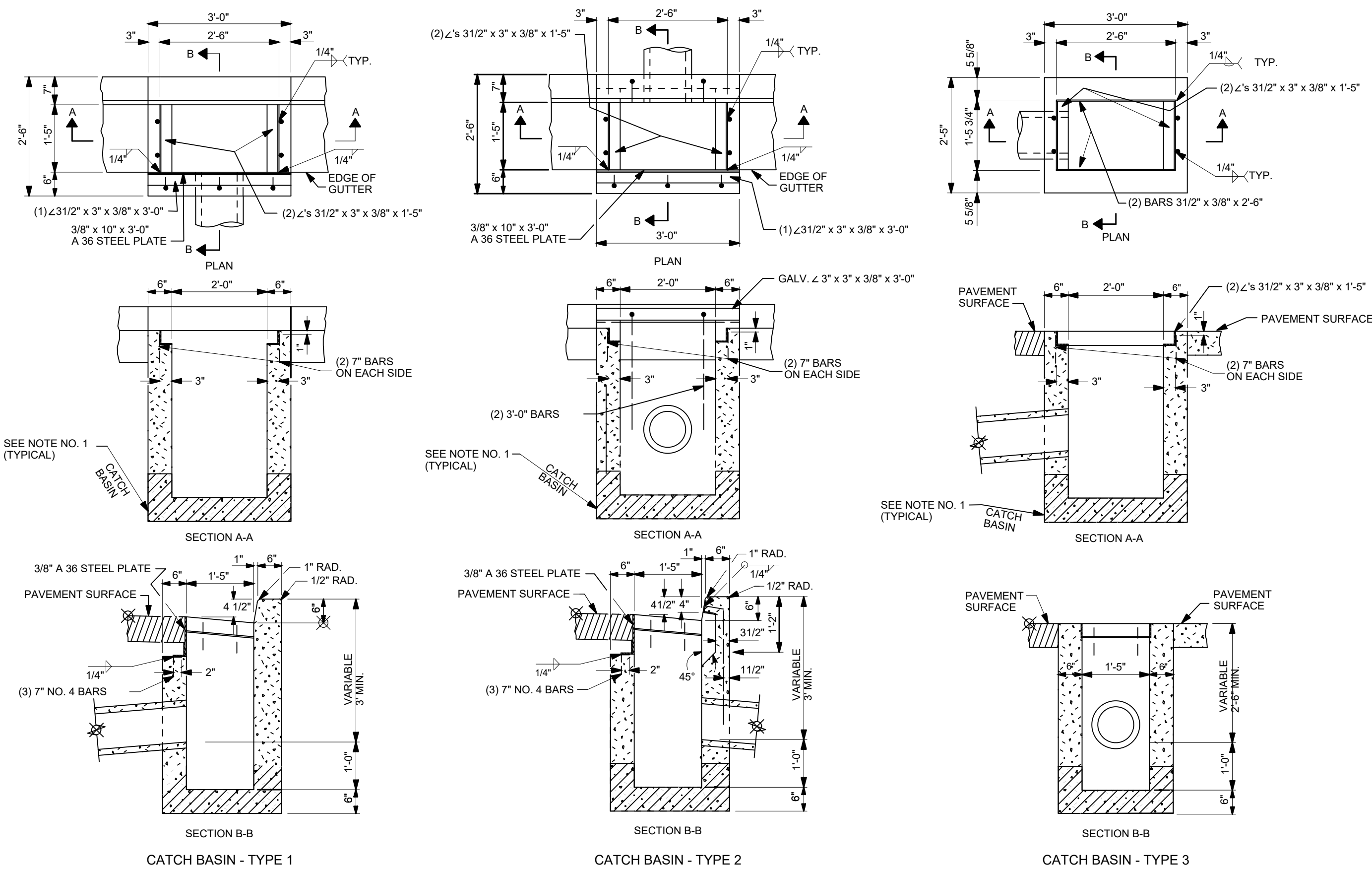
10
C1.00 **TYPICAL SIGN BASE**
N.T.S.



DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

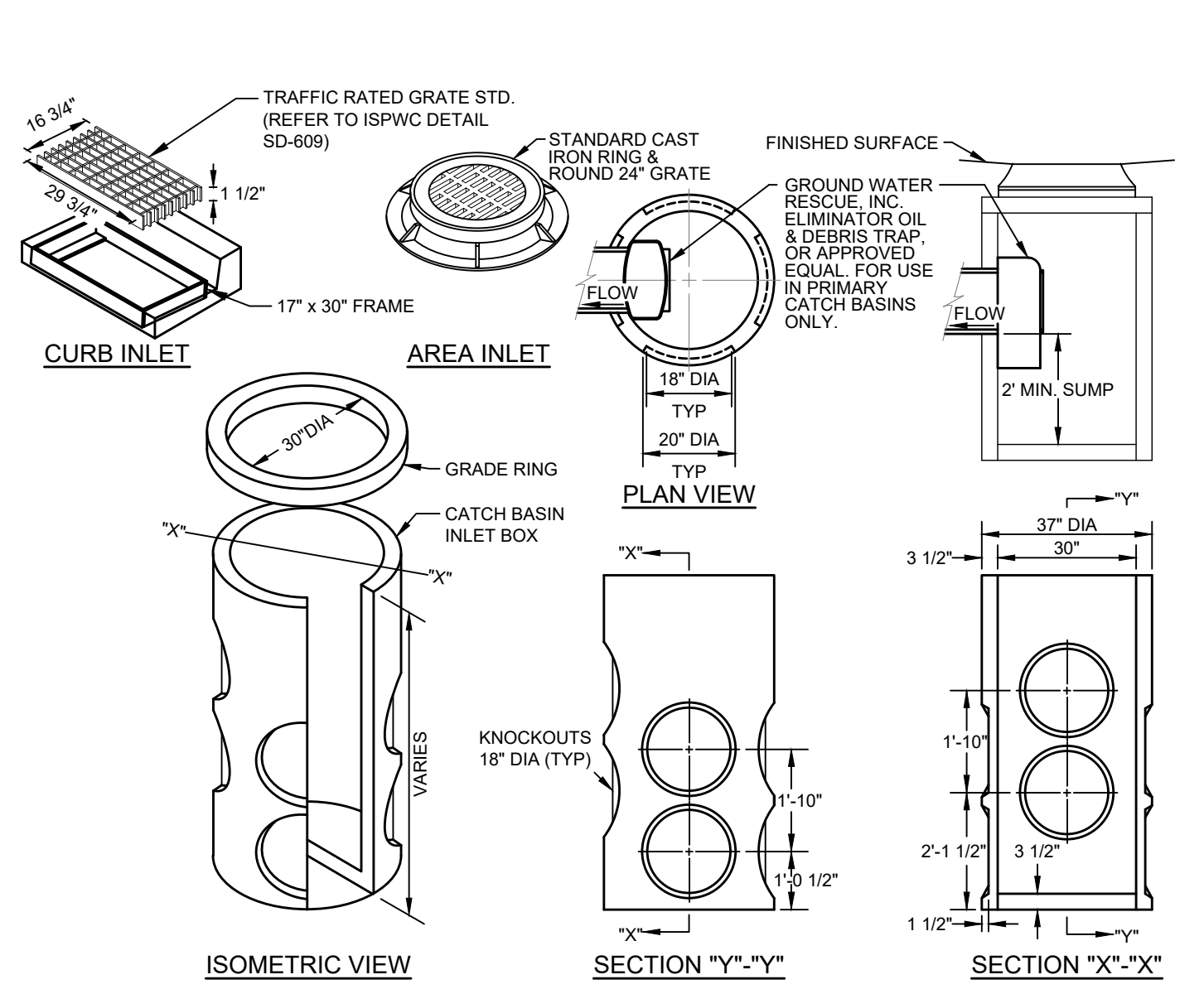
GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 133
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

NO.	DATE	BY	REVISIONS



NOTES

- PATTERNS USED IN DRAWING:
INLET SECTIONS:
CATCH BASIN BOTTOMS:
PAVEMENT:
- INLETS AND CATCH BASINS MAY BE EITHER PRECAST OR CAST-IN-PLACE. PRECAST UNITS SHALL MEET THE REQUIREMENTS OF ASTM C 913. (PRIOR APPROVAL OF SHOP DRAWINGS WILL BE REQUIRED ON MODIFIED UNITS.)
- A 1" SIDE DRAFT IS ALLOWED FOR FORM REMOVAL.
- CAST-IN-PLACE INLETS AND CATCH BASINS SHALL CONFORM TO SECTION 609 - MINOR STRUCTURES OF THE CURRENT ITD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- THE GRADE LINE OF THE TOP INSIDE OF ANY PIPE SHALL ENTER AT A POINT NO LOWER THAN THE TOP INSIDE OF THE OUTLET PIPE.
- PIPES CAN ENTER OR LEAVE THE BOX IN ANY DIRECTION. ALL CONNECTIONS AND BROKEN AREAS SHALL BE GROUDED SMOOTH.
- STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BAR OF PREFABRICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLEGRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A 36.
- ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES.
- GRAY IRON CAST TO THE DIMENSIONS GIVEN FOR THE STEEL GRATES MAY BE USED. THE CASTINGS SHALL CONFORM TO AASHTO M306 CLASS 35B GRAY IRON CASTINGS.
- INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE THE GRATE SHALL BE TRUE AND FLUSH.
- GRATE B WILL BE USED ONLY WHEN SPECIFIED.
- NOT TO SCALE.

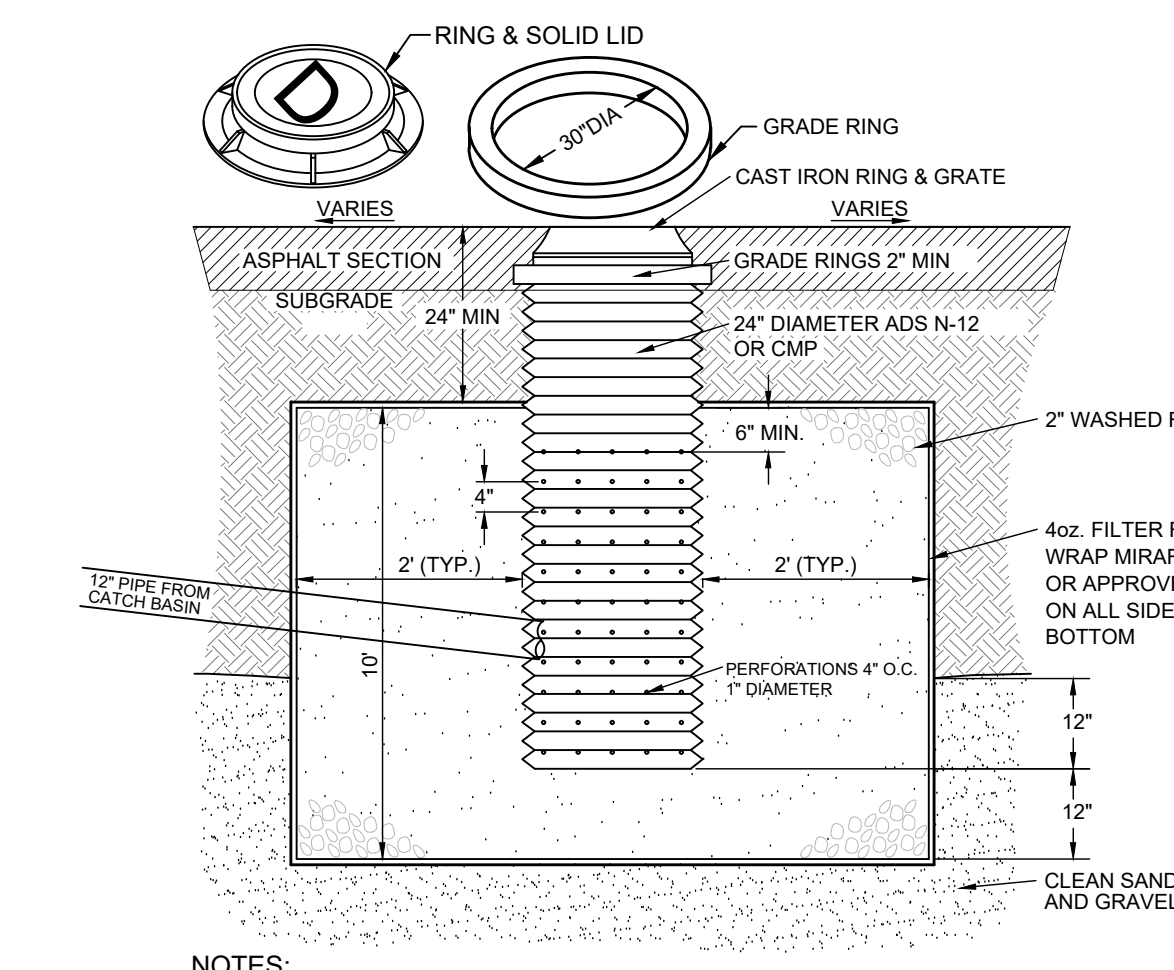


CATCH BASIN INSTALLATION NOTES:

- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
- THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.

2 30" DIAMETER CATCH BASIN
N.T.S.

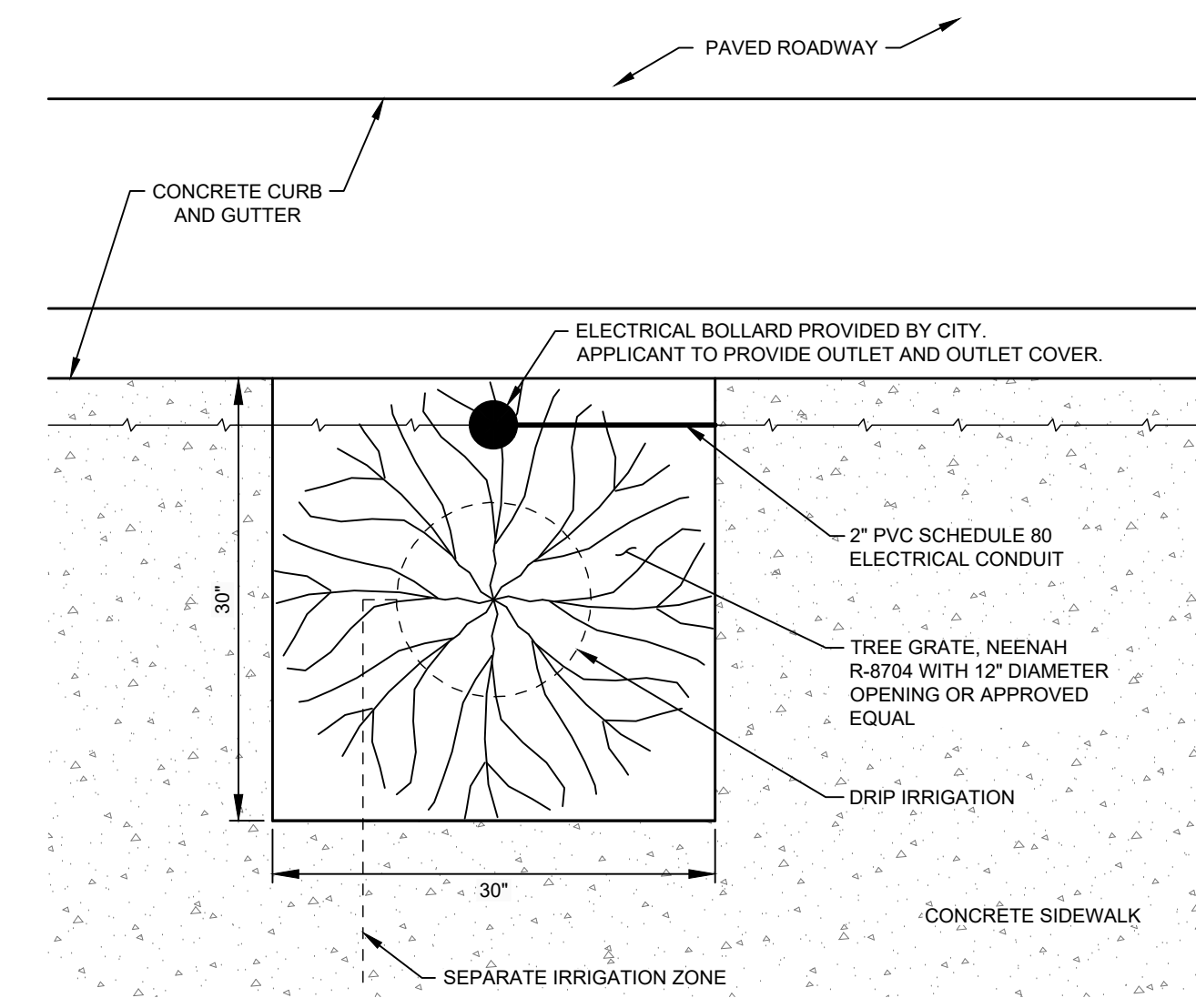
1 IDAHO DEPARTMENT OF TRANSPORTATION
CATCH BASINS TYPES 1, 2, & 3
STANDARD DRAWING NO. 605-20
N.T.S.



NOTES:

- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
- MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
- IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
- GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

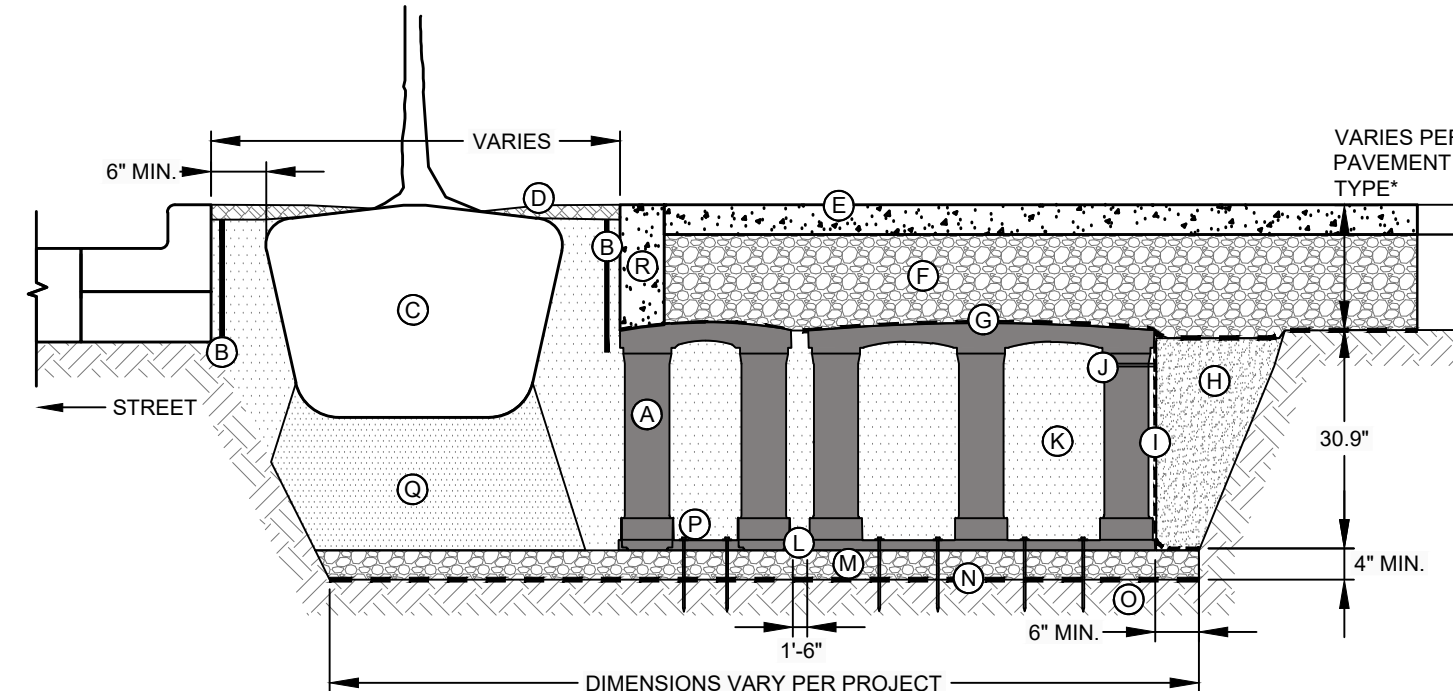
3 DRYWELL DETAIL (6" dia)
N.T.S.



NOTES:

- TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
- CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY.
- APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
- NO DIRECT BURIAL WIRE PERMITTED.
- TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM.

4 TREE WELL DETAILS
N.T.S.



KEY PLAN:

- SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
- DEEPTROOT ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION. INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
- TREE ROOT PACKAGE, SIZE VARIES.
- TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
- SURFACE TREATMENT, PER PROJECT SPECIFICATIONS.
- AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
- GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
- BACKFILL, PER PROJECT SPECIFICATIONS.
- GEGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
- CABLE TIE, ATTACHING GEGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR.
- SILVA CELL BASE SLOPE, 10% MAX.
- 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
- GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
- SUBGRADE, COMPACTED TO 95% PROCTOR.
- PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
- CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

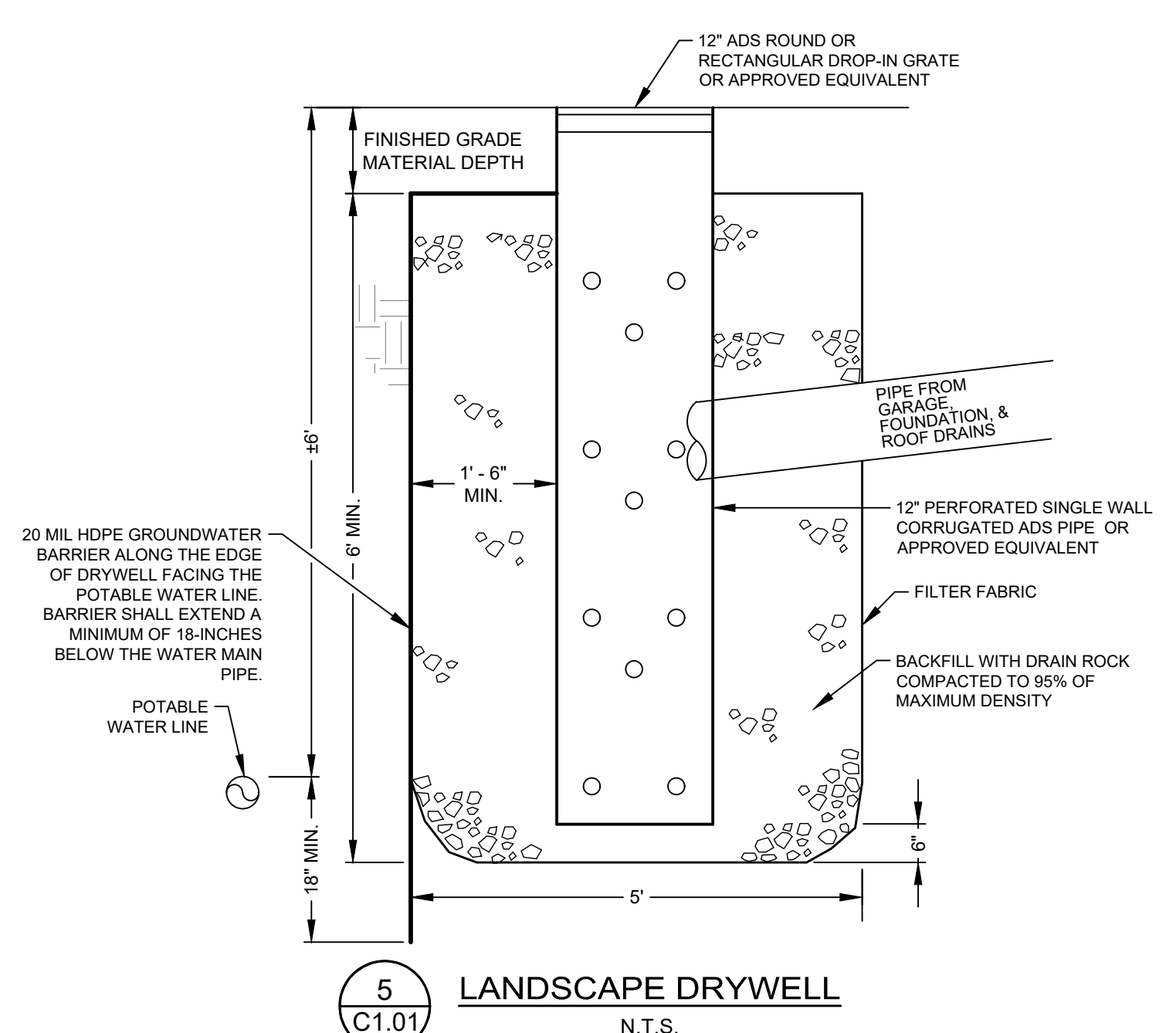
MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING

PAVEMENT	BASE COURSE
4" CONCRETE	+ 4" AGGREGATE
3" PAVER	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2" PAVER	+ 5" CONCRETE

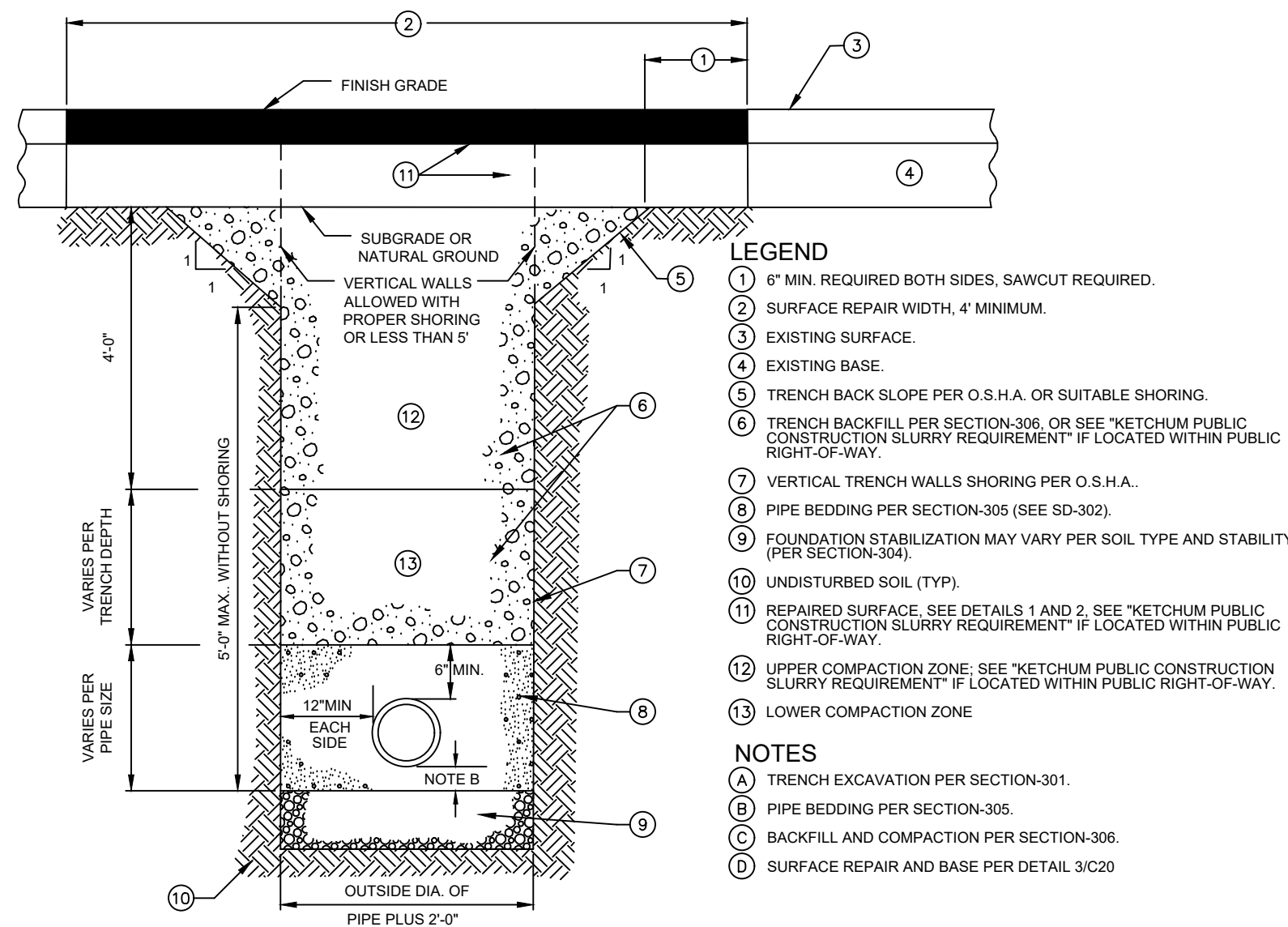
SECTION VIEW

NOTES:

- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



5 LANDSCAPE DRYWELL
N.T.S.



KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

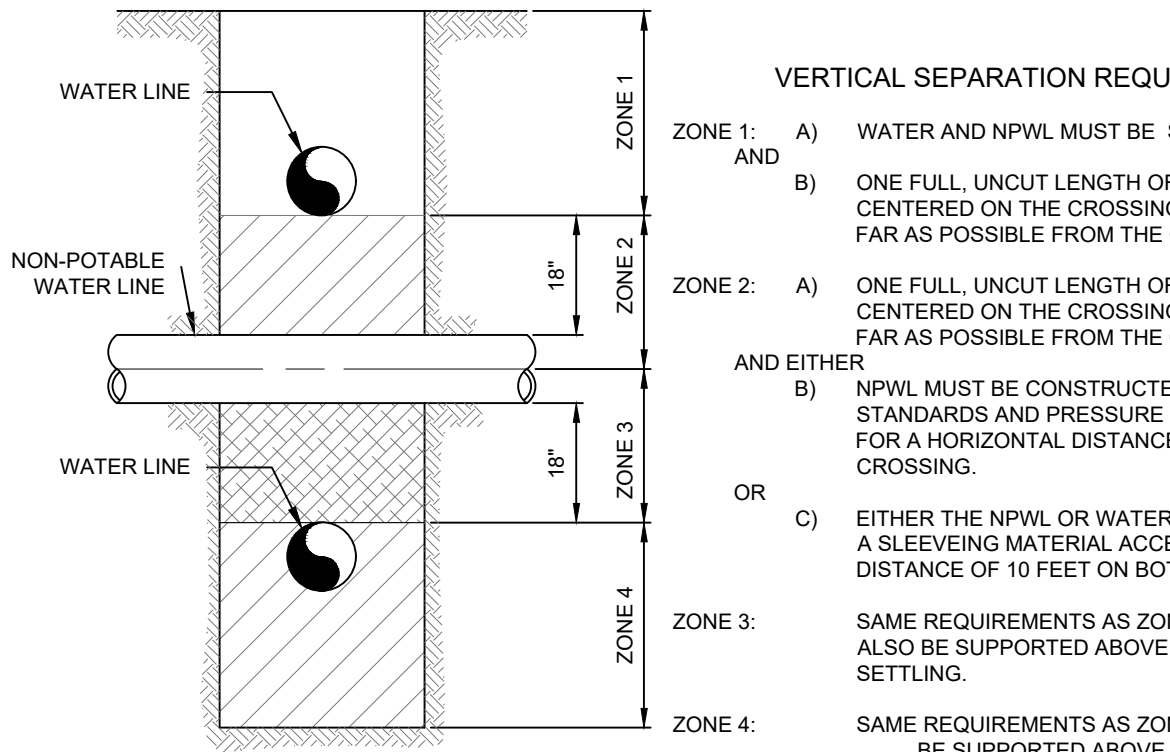
COARSE AGGREGATE (1/2" MINUS)	2,600 LBS.
SAND	800 LBS.
PORTLAND CEMENT	94 LBS.
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
 C1.02 **TYPICAL TRENCH SECTION**
 N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

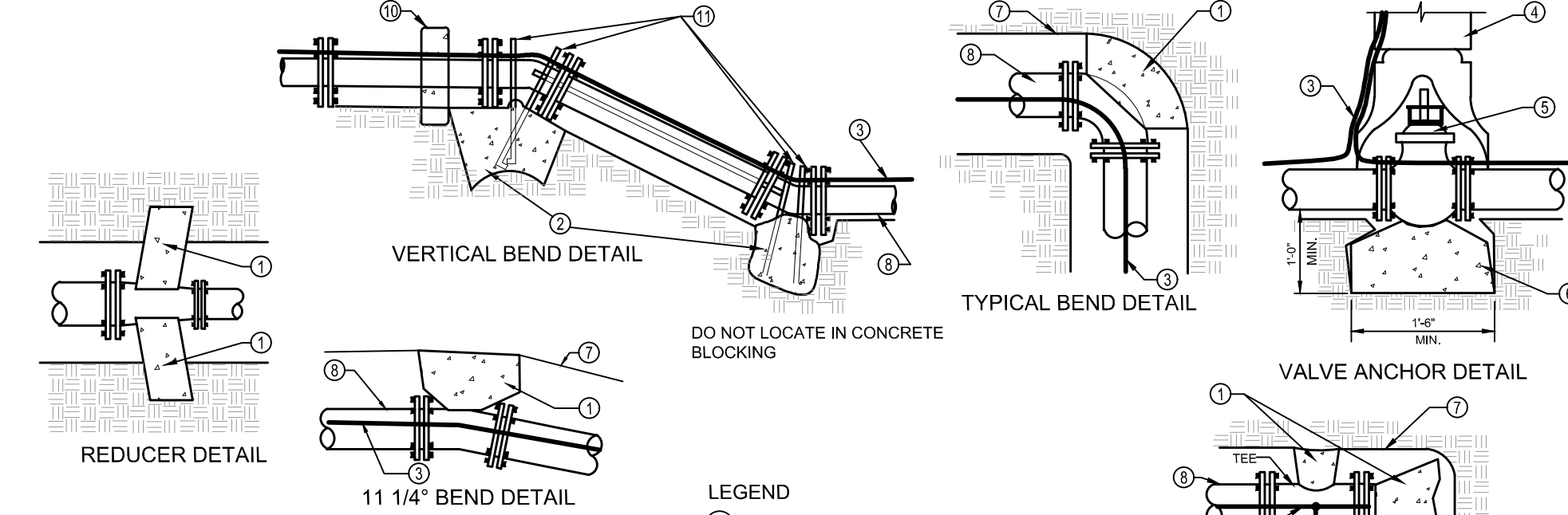
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR
- C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

2
 C1.02 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
 N.T.S.

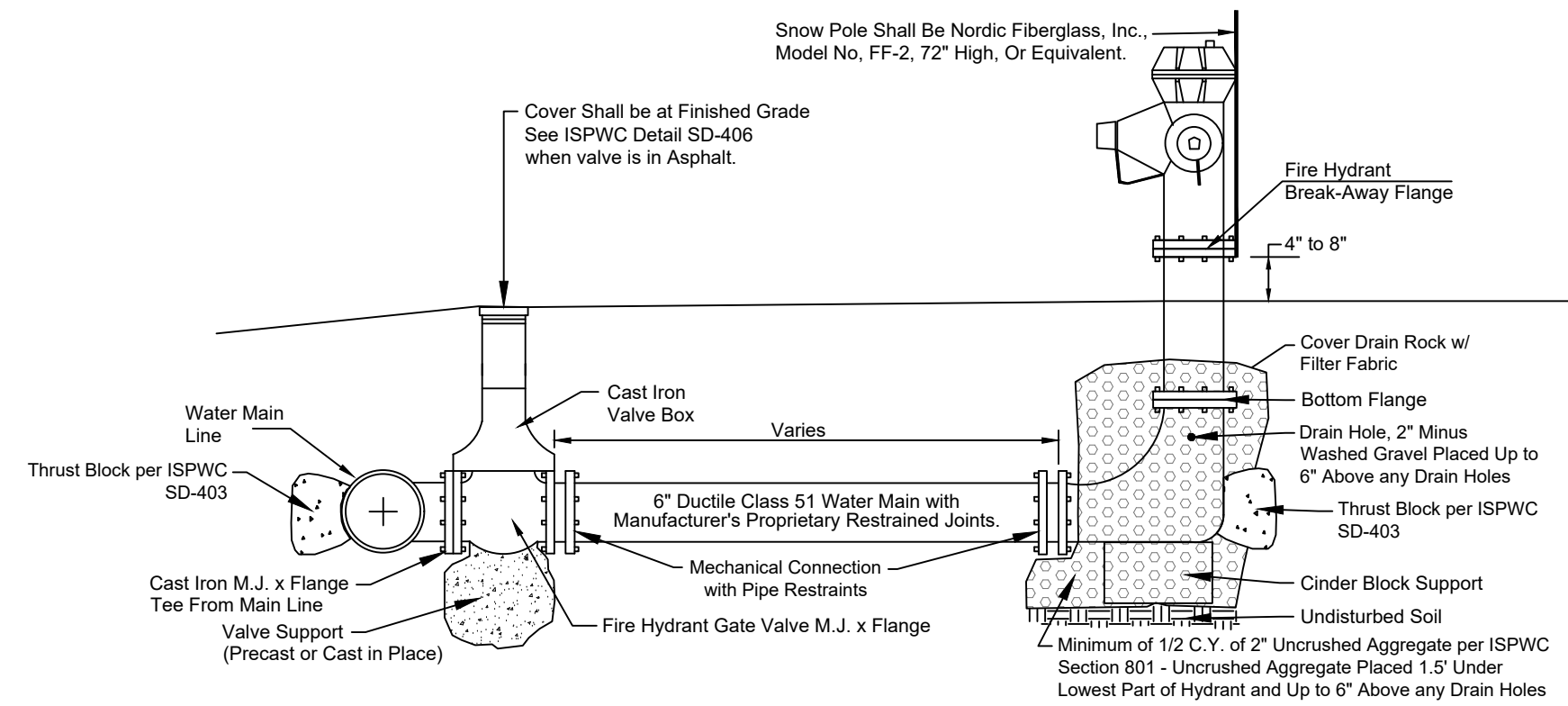


3
 C1.02 **THRUST BLOCK AND ANCHOR DETAILS**
 N.T.S.

**TABLE 1
 THRUST AREA FOR HORIZONTAL BENDS*****

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH**			
	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH)
 ** OR TEE ACTING AS A 90° BEND
 *** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.



TYPICAL SECTION, FIRE HYDRANT ASSEMBLY
 N.T.S.

NOTES

- Hydrants shall have a 6' foot bury.
- Hydrants shall be Waterloo Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following:
 - Traffic "breakaway" design
 - 2 ea. 2-1/2" NST threaded nozzles
 - 1 ea. 4-1/2" NST threaded nozzles
 - Dry Barrel type 6" barrel
 - Red in color
- Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe.
- City shall approve location and elevation of all Fire Hydrants. Fire Hydrants shall be located at street intersections and at a minimum spacing of 500 feet in residential zones and 450 feet in business and industrial zones. No obstructions shall be placed within 3 feet of the back and 15 feet of the sides and front of Fire Hydrants.
- Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, waterous series or approved equal).
- Valve Box shall be Tyler 664A or approved equal.
- Hydrant break away flange elevation equal to street centerline or 4" to 6" above finished grade as approved.
- Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant.
- The final number and placement of fire hydrants shall be reviewed and approved by the Sun Valley Fire Department.
- Mechanical restraints on PVC pipe are not acceptable in lieu of concrete thrust blocks.

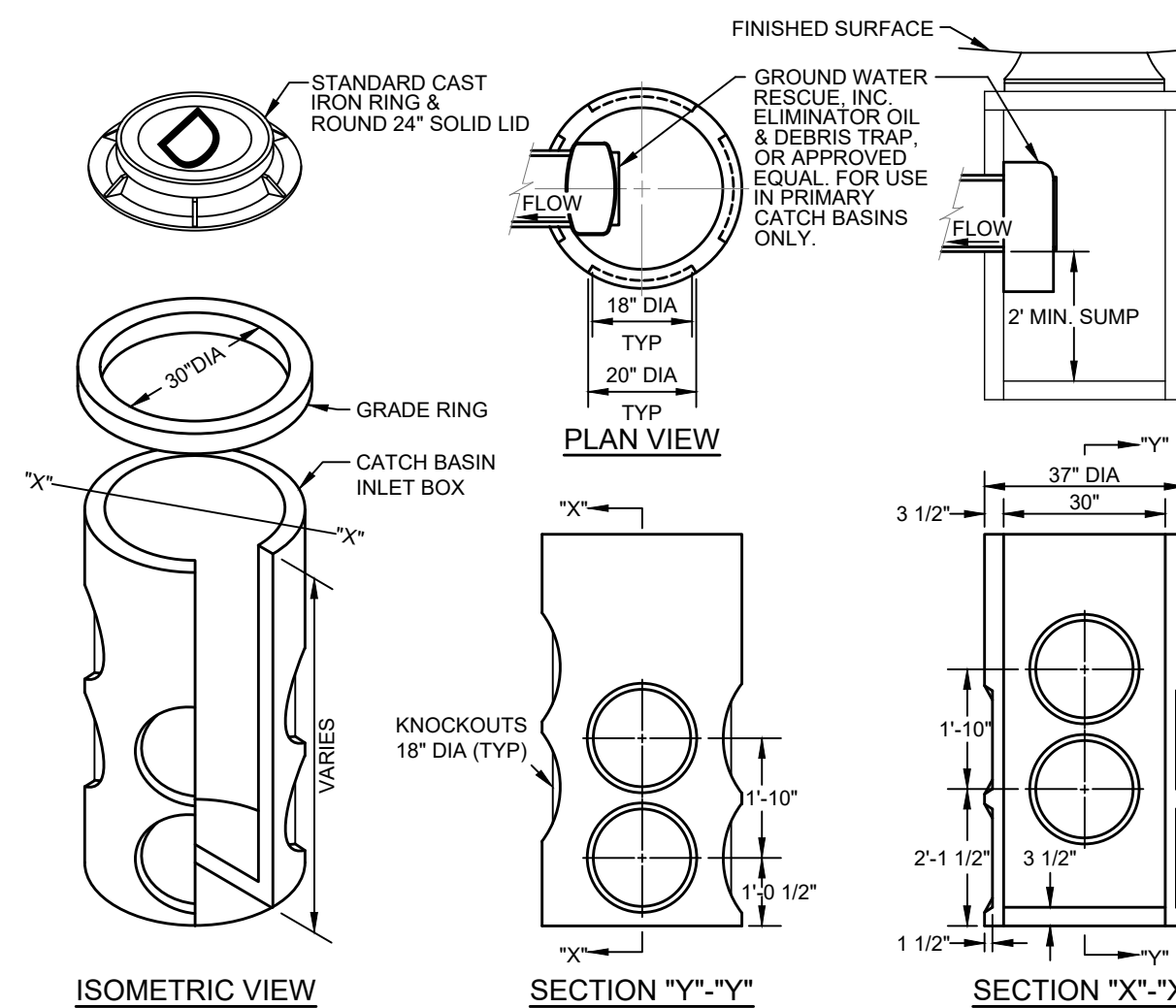
HYDRANT VEHICULAR PROTECTION

Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum diameter required for proper operation.

When they are installed, they shall be:

- Constructed of steel not less than (4) inches in diameter and concrete filled.
- Spaced not more than four (4) feet between posts on center.
- Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter.
- Set with the top of the posts not less than (3) feet above the ground.
- The post shall be painted bright red, reflective markings are recommended.
- Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.

4
 C1.02 **FIRE HYDRANT DETAIL**
 N.T.S.



CATCH BASIN INSTALLATION NOTES:

- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL, A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
- THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
 C1.02 **30" DIAMETER STORM DRAIN MANHOLE**
 N.T.S.

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

C1.02

GALENA - BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
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 Idaho Falls, ID 83404
 (208) 726-9512
 www.benchmark-associates.com

PROFESSIONAL ENGINEER
 LICENSE NO. 12474
 DATE OF BIRTH 07/24/1965
 NAME OF FIRM BENCHMARK ASSOCIATES
 NAME OF ENGINEER C. SMITHMAN

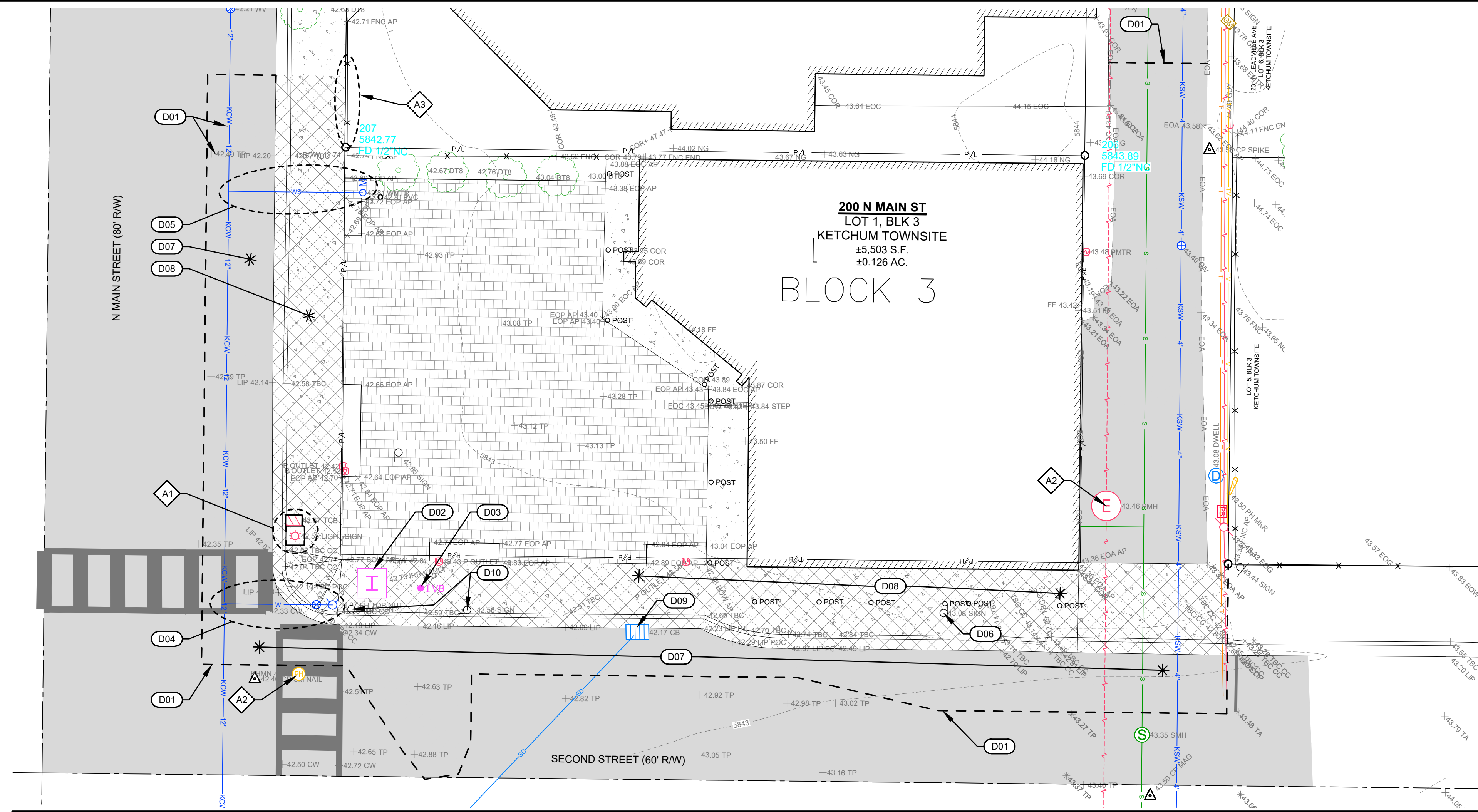
DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: MS

DETAIL SHEET
200 N. MAIN STREET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

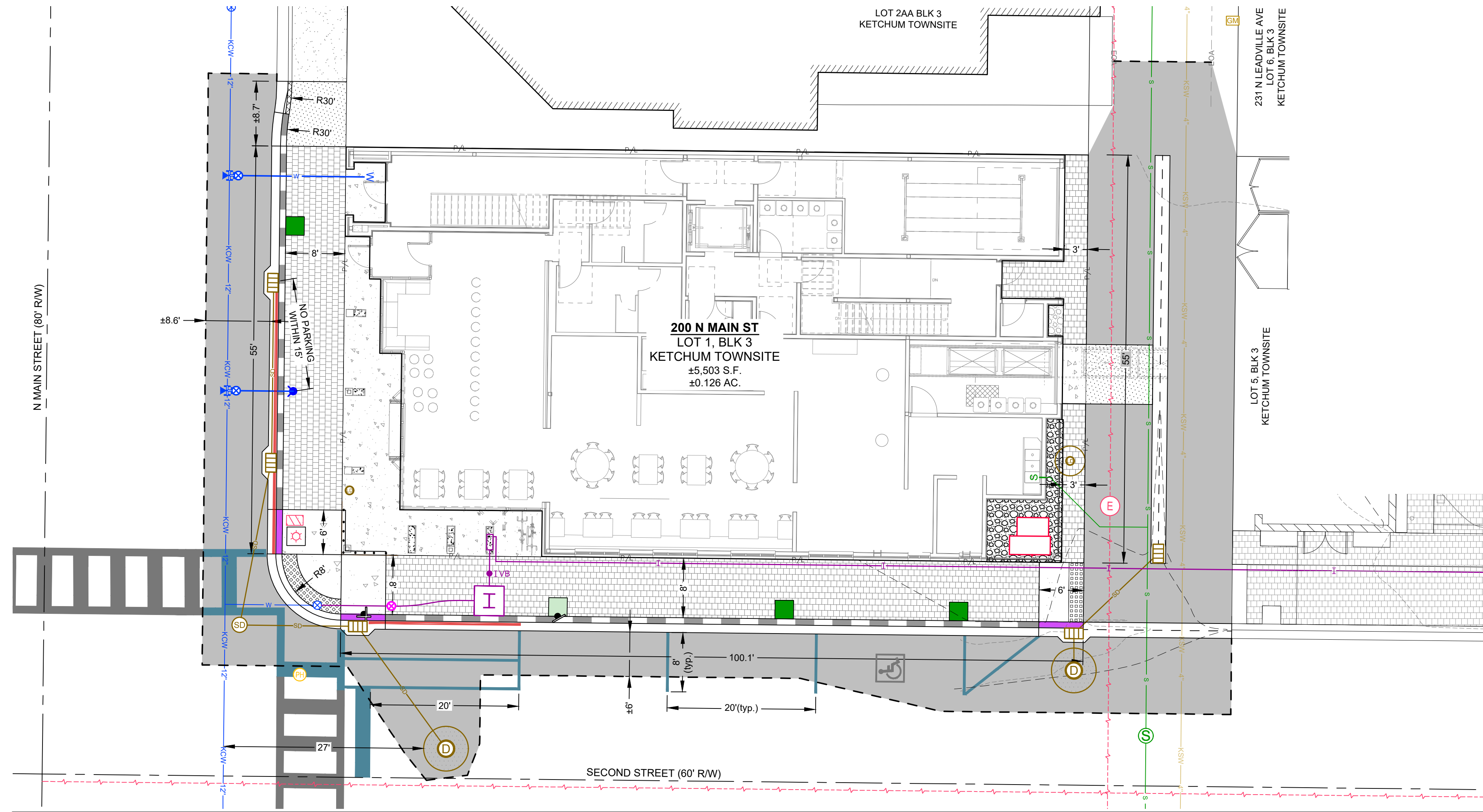
PROJECT INFORMATION
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REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

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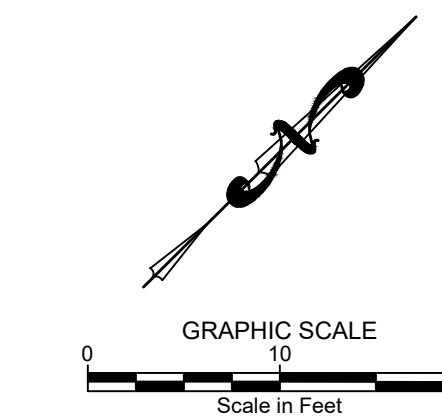
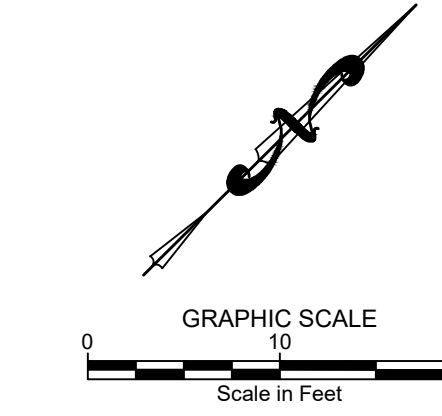


OFF-SITE DEMOLITION PLAN



SITE GEOMETRY PLAN

- OFF-SITE DEMOLITION KEY NOTES****
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 RELOCATE IRRIGATION VAULT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D03 RELOCATE IRRIGATION SERVICE VALVE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D04 RELOCATE FIRE HYDRANT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D05 CLOSE CORPORATION STOP AT WATER MAIN AND DISCONNECT EXISTING WATER SERVICE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D06 REMOVE SIGN AND RETURN TO CITY.
 - D07 REMOVE AND DISPOSE OF ASPHALT.
 - D08 REMOVE AND DISPOSE OF CONCRETE.
 - D09 REMOVE AND DISPOSE OF CATCH BASIN. CUT AND CAP STORM DRAIN PIPE.
 - D10 REMOVE AND RETAIN SIGN.
- **EVERYTHING ON-SITE WILL BE REMOVED.**
- RETAIN AND PROTECT
 1. STREET LIGHT AND POWER HANDHOLE
 2. UTILITY VAULT
 3. FENCE

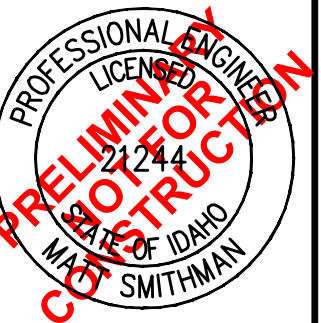


DEMOLITION AND SITE GEOMETRY PLAN

200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
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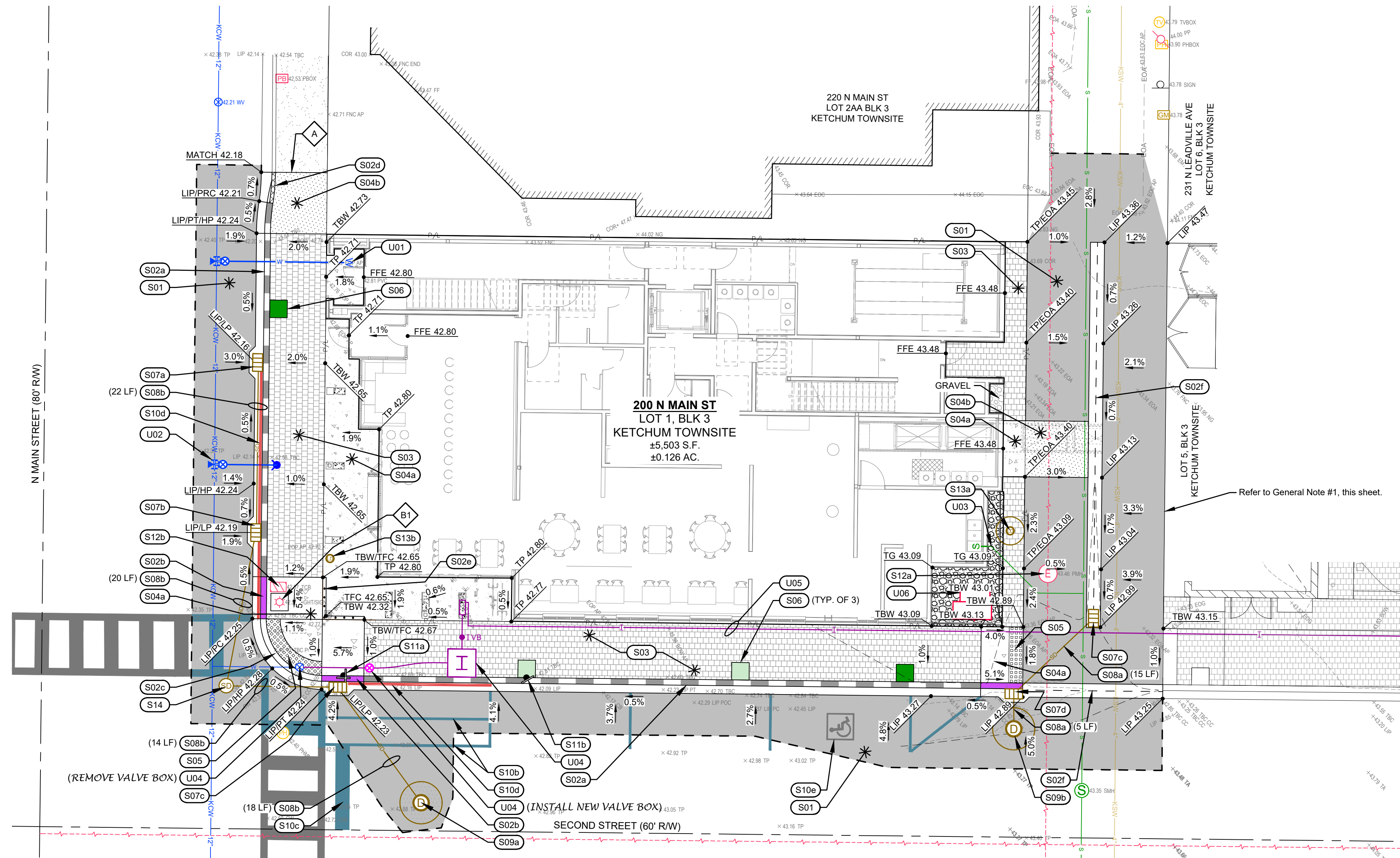


DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: MS

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NO.	DATE	BY	REVISIONS

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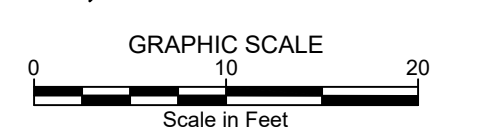


- ### UTILITY IMPROVEMENT KEY NOTES
- U01** INSTALL 6" WATER SERVICE LINE STAINLESS STEEL TAPPING SADDLE GATE VALVE W/ THRUST BLOCKS SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U02** INSTALL FIRE HYDRANT WITH MOUNTAIN EXTENSION. 12"x6" STAINLESS STEEL TAPPING SADDLE 8" GATE VALVE W/ THRUST BLOCKS ±9 LF OF 6" PVC C-900 WATER MAIN PIPE SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING, & 4 / C1.02 FOR FIRE HYDRANT DETAIL. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U03** UTILIZE EXISTING 4" SEWER SERVICE.
 - U04** INSTALL IRRIGATION VAULT (MATCH EXISTING RECTANGULAR VAULT REMOVED AT DEMOLITION). - CONNECT TO EXISTING 6" WATER LINE THAT SUPPLIED THE REMOVED FIRE HYDRANT (SEE DEMOLITION PLAN). ENSURE VALVE IS TURNED ON AND REMOVE ORIGINAL VALVE BOX. INSTALL NEW 6" GATE IN FLAT AREA OF PAVEMENT SIDEWALK. - IRRIGATION VALVE BOX - BACKFLOW PREVENTION DEVICE. REFER TO LANDSCAPE PLANS FOR PLACEMENT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. RIM = 5842.68
 - U05** INSTALL IRRIGATION LINE (SIZE AND FINAL LOCATION BY THE CITY OF KETCHUM). COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U06** INSTALL POWER TRANSFORMER. SEE ELECTRICAL AND ARCHITECT PLAN FOR DETAILS.

- ### ABBREVIATIONS:
- EOA = EDGE OF ASPHALT
 - FF = FINISHED FLOOR
 - FFE = FINISHED FLOOR AT ENTRY
 - FG = FINISHED GRADE
 - GFEE = GARAGE FINISHED FLOOR AT ENTRY
 - HP = HIGH POINT
 - IE = INVERT ELEVATION
 - LF = LINEAL FEET
 - LIP = LIP OF GUTTER
 - LP = LOW POINT
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - PC = POINT OF CURVATURE
 - PRC = POINT OF REVERSE CURB
 - PT = POINT OF TANGENT
 - TBW = TOP BACK OF WALK
 - TFC = TOP FACE OF CURB
 - TG = TOP OF GRAVEL
 - TYP = TYPICAL

- ### GENERAL NOTES:
1. CONSTRUCTION OF ALLEY RIGHT-OF-WAY IMPROVEMENTS SHALL BE COORDINATED WITH THE LEADVILLE TRADING PROJECT EAST OF THE ALLEY, LOCATED AT 211 N LEADVILLE AVENUE.
 2. CONTRACTOR SHALL COORDINATE WITH THE CITY OF KETCHUM PRIOR TO CONSTRUCTION ACTIVITY FOR ALL RIGHT-OF-WAY IMPROVEMENTS ALONG MAIN STREET.

- ### SITE IMPROVEMENT KEY NOTES
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.00.
 - S02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. HEATED 6" ROLLED C&G. REFER TO DETAIL 2 / C1.00.
 - b. HEATED CURB TRANSITION. REFER TO DETAIL 3 / C1.00.
 - c. HEATED ZERO REVEAL CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.
 - d. CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - e. VERTICAL CURB. REFER TO DETAIL 4 / C1.00.
 - f. 24" WIDE VALLEY GUTTER. REFER TO DETAIL 5 / C1.00.
 - S03** CONSTRUCT HEATED PAVER SIDEWALK/PATIO. WIDTH AS SHOWN HEREON. REFER TO DETAIL 6 / C1.00.
 - S04** CONSTRUCT CONCRETE SIDEWALK/SECTION. WIDTH AS SHOWN HEREON.
 - a. CONCRETE SIDEWALK/SECTION #1 (HEATED). REFER TO DETAIL 7 / C1.00.
 - b. CONCRETE SIDEWALK/SECTION #2. REFER TO DETAIL 8 / C1.00.
 - S05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. REFER TO DETAIL 9 / C1.00.
 - S06** INSTALL TREE AND TREE WELL AS SHOWN HEREON. REFER TO DETAIL 4 / C1.01.
 - S07** INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12".
- ### 10' STANDARD CATCH BASIN.
- REFER TO DETAIL 1 / C1.01.
- a. RIM = 5841.96
I.E.(OUT) = 5838.69
 - b. RIM = 5841.91
I.E.(IN) = 5838.30
I.E.(OUT) = 5838.20
- ### 30" DIAMETER CATCH BASIN.
- REFER TO DETAIL 2 / C1.01.
- c. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.79
I.E.(OUT) = 5839.79
 - d. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.69
I.E.(IN) = 5839.49
I.E.(OUT) = 5839.39
- ### INSTALL STORM DRAIN:
- a. 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING AND DETAIL 2 / C1.02 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION.
 - b. 12" PVC WATER QUALITY PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING
- ### DRYWELL:
- a. INSTALL NEW DRYWELL REFER TO DETAIL 3 / C1.01. RIM = 5842.69
I.E.(IN) = 5837.50
 - b. ASSUMED "EXISTING" DRYWELL PER PROJECT EAST OF ALLEY, OR ELSE NEW DRYWELL PER THIS PROJECT. RIM = 5842.87
I.E.(IN) = 5839.39
- ### INSTALL ROAD STRIPING / PAINT
- a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. ADA PARKING SYMBOL. MATCH CITY PATTERNS.
- ### RELOCATE SIGNS. REFER TO DETAIL 10 / C1.00 FOR SIGN BASE DETAIL.
- a. STOP & STREET SIGN
 - b. REGULATORY PARKING
- ### RESET UTILITY BOX LID ELEVATION.
- a. POWER VAULT LID ORIGINAL RIM = 5843.46
NEW RIM = 5843.07
 - b. POWER HANDHOLE ORIGINAL RIM = 5842.57
NEW RIM = 5842.44
- ### INSTALL LANDSCAPE DRYWELL. CONNECT ROOF DRAINS AND/OR SLOT DRAINS TO DRYWELL. SEE DETAIL 5 / C1.01.
- a. RIM = 5843.16
 - b. RIM = 5842.66
- ### INSTALL 30" CONCRETE STORM DRAIN MANHOLE. REFER TO DETAIL 5 / C1.02.
- RIM = 5842.38
- A** MATCH EXISTING LINES AND GRADES
 - B** RETAIN AND PROTECT
 - 1. SIGNAL POLE



SITE GRADING, DRAINAGE, AND UTILITY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BNA\Ketchum Village\book 3\Lot 1\2023-09-17.dwg 09/05/23 11:55:59 AM

DESIGNED BY: [Signature]

DRAWN BY: CT

CHECKED BY: MS

GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

C1.20

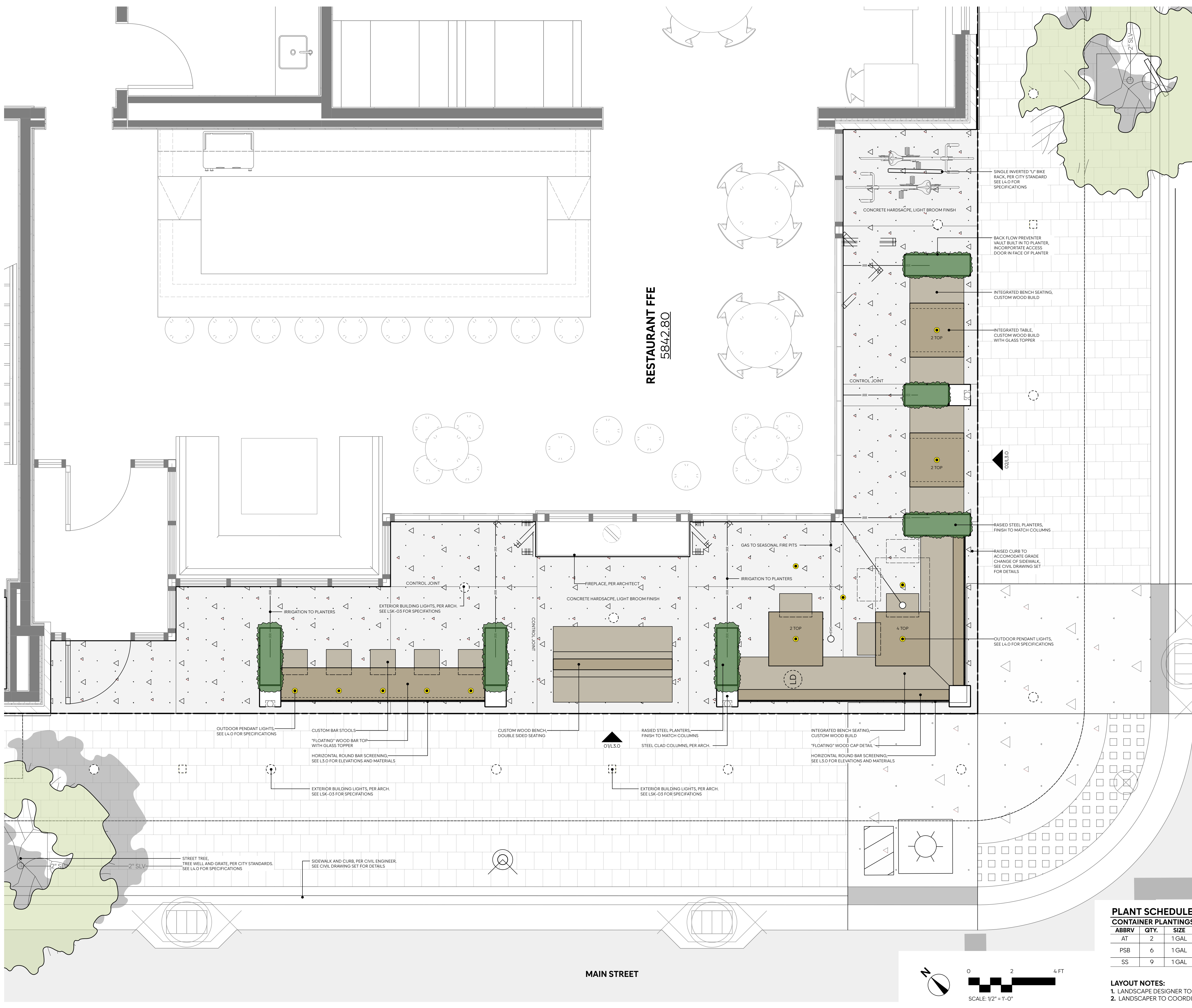
LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---IRR---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" SLV
---	2" Conduit, per City Standard
---	Gas Line to Seasonal Fire Pits
○	Hanging Light Fixtures
○	Architectural Lighting, Per Arch.
---	Sidewalk, per Civil
---	Concrete Paving
○	Fire Hydrant, by Other
---	Tree Grate, per City Standard
---	Raised Steel Planters
---	Container Plantings
---	Outdoor Dining Furniture
○	Proposed Street Trees

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
●	Outdoor Dining	12	Pendant	A

- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON DIMMER AND ONLY ON DURING OPERATING BUSINESS HOURS.
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03



RESTAURANT FFE
5842.80

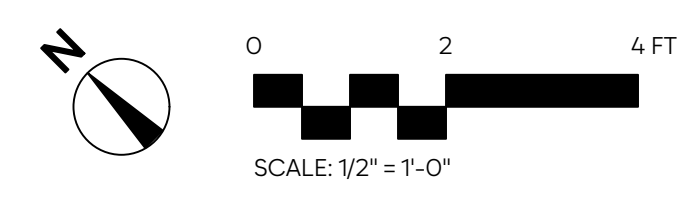
SECOND STREET EAST

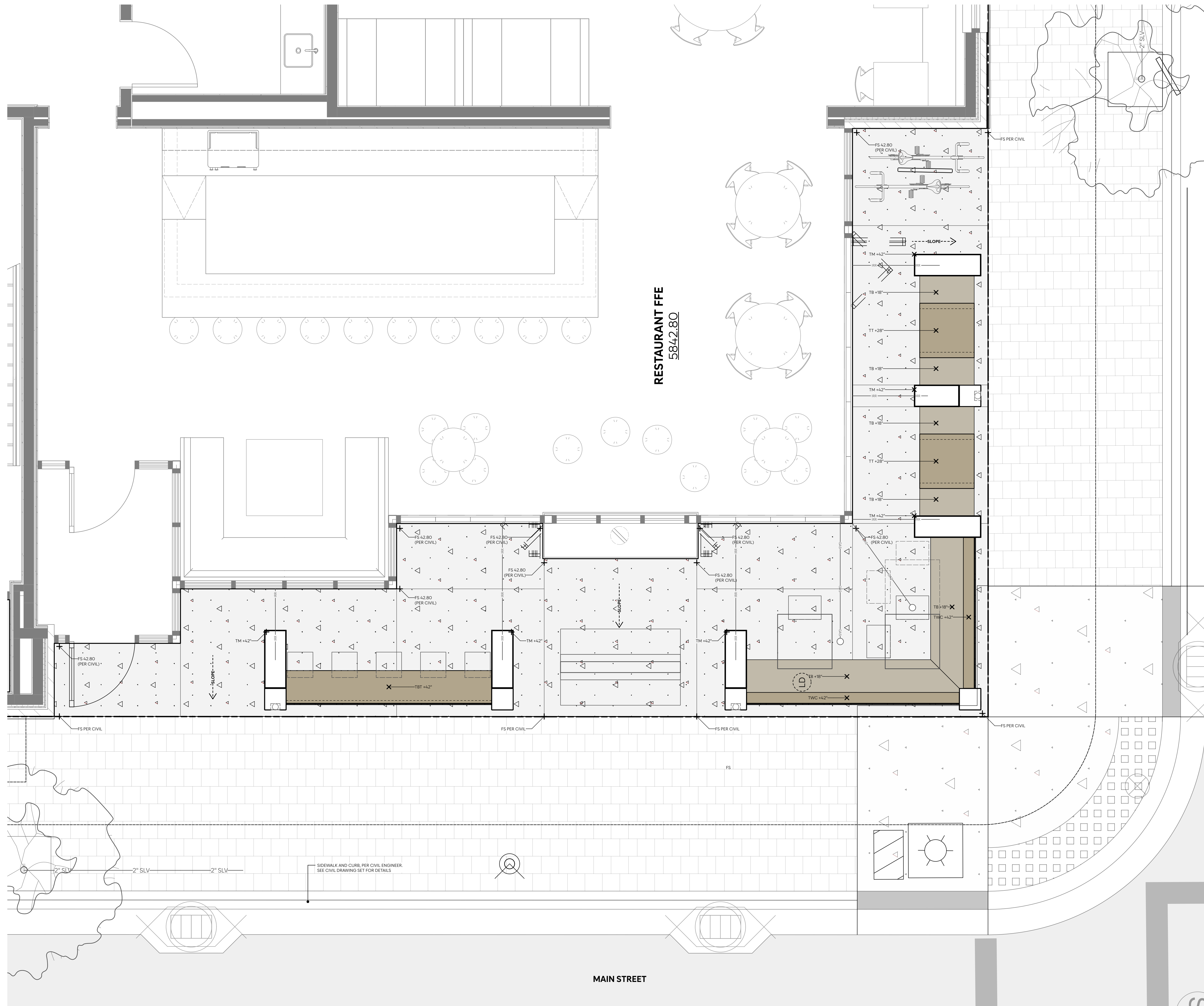
MAIN STREET

PLANT SCHEDULE (RESTAURANT ONLY)

ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AT	2	1 GAL	Achillea Terracotta	Terracotta Yarrow
PSB	6	1 GAL	Penstemon strictus 'Blanca Peak'	Blanca Peak™ White Penstemon
SS	9	1 GAL	Schizachyrium scoparium	Little Bluestem

- LAYOUT NOTES:**
- LANDSCAPE DESIGNER TO LAYOUT CONTAINER PLANTS PRIOR TO INSTALL.
 - LANDSCAPER TO COORDINATE AND SCHEDULE ACCORDINGLY





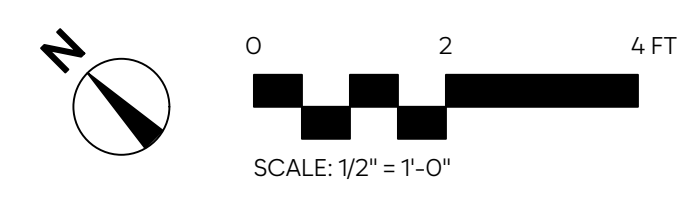
RESTAURANT FFE
5842.80

LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
IRR	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
2" SLV	2" Conduit, per City Standard
[Pattern]	Sidewalk, per Civil
[Pattern]	Concrete Paving
[Symbol]	Fire Hydrant, by Other
[Symbol]	Tree Grate, per City Standard
[Symbol]	Raised Steel Planters
[Symbol]	Outdoor Dining Furniture
---SLOPE---	Slope Surface
FS	Finished Surface
TM	Top of Metal
TB	Top of Bench
TBT	Top of Bar Top
TWC	Top of Wood Cap

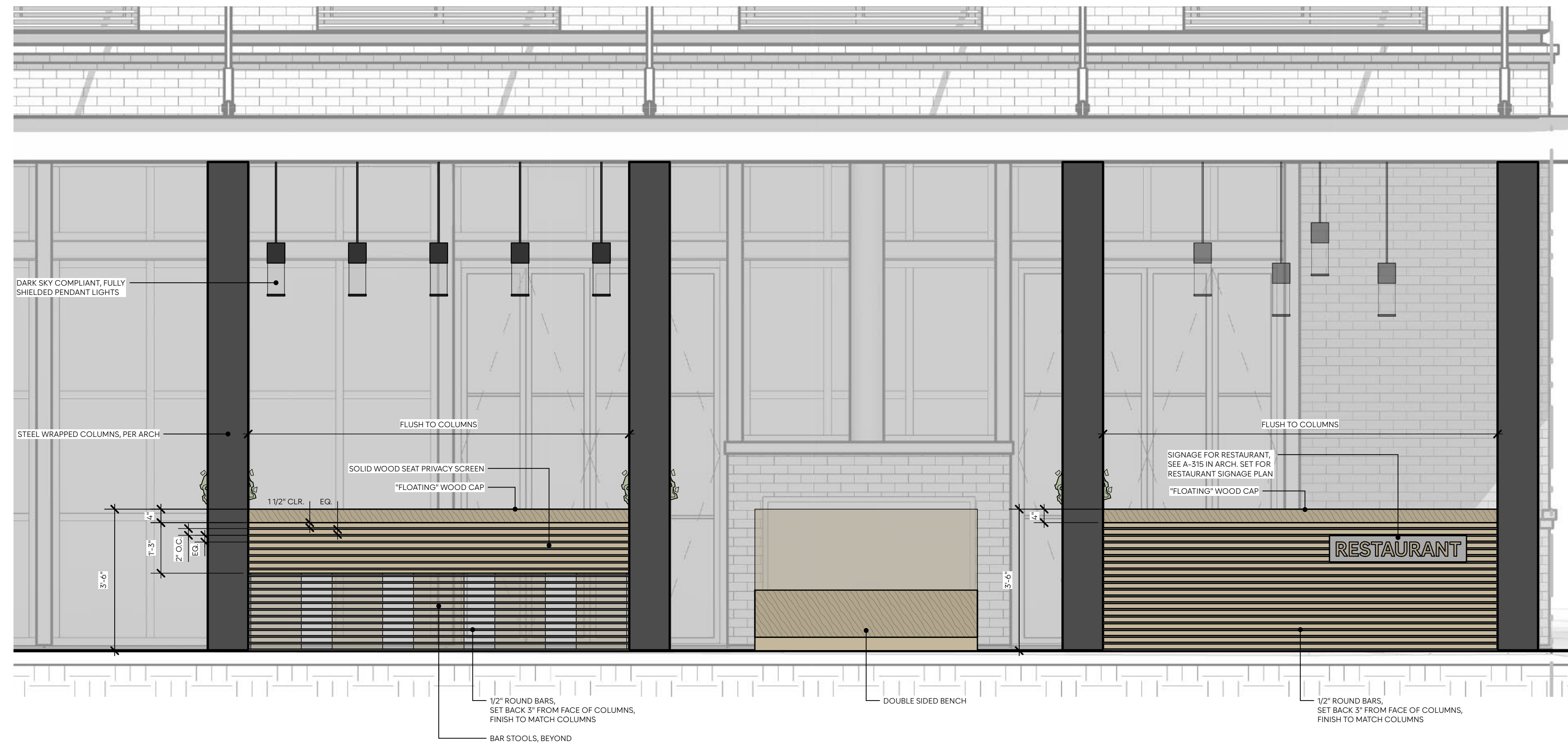
GRADING NOTES:
 1. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL SIDEWALK AND CURB FINISHED GRADES AND DETAILS.
 2. THIS SHEET DEPICTS GRADING INTENT FOR PROJECT PAVING AND BUILT ELEMENTS. ANY DISCREPANCIES TO BE REVIEWED WITH LANDSCAPE DESIGNER.

SECOND STREET EAST

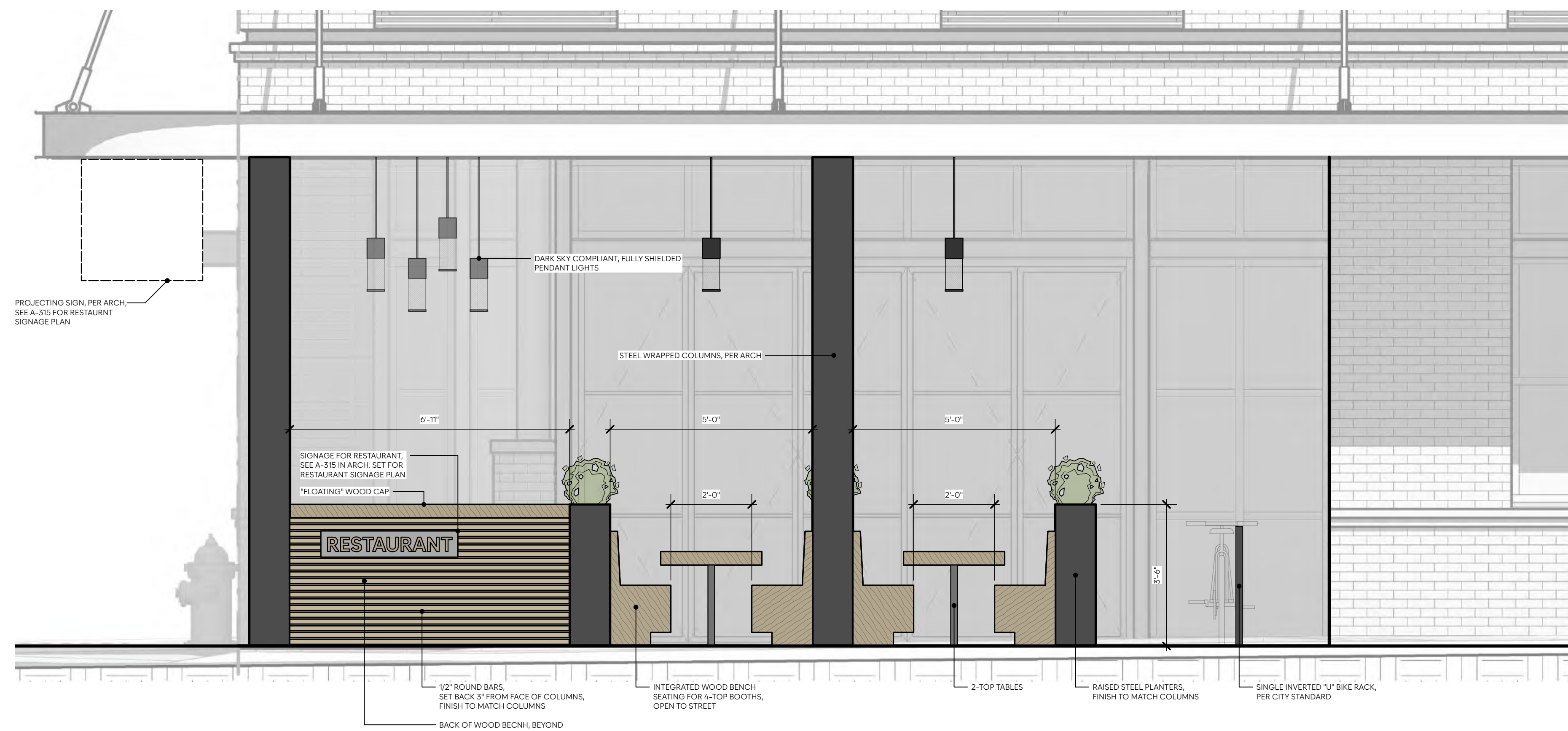
MAIN STREET



OUTDOOR DINING ELEVATIONS

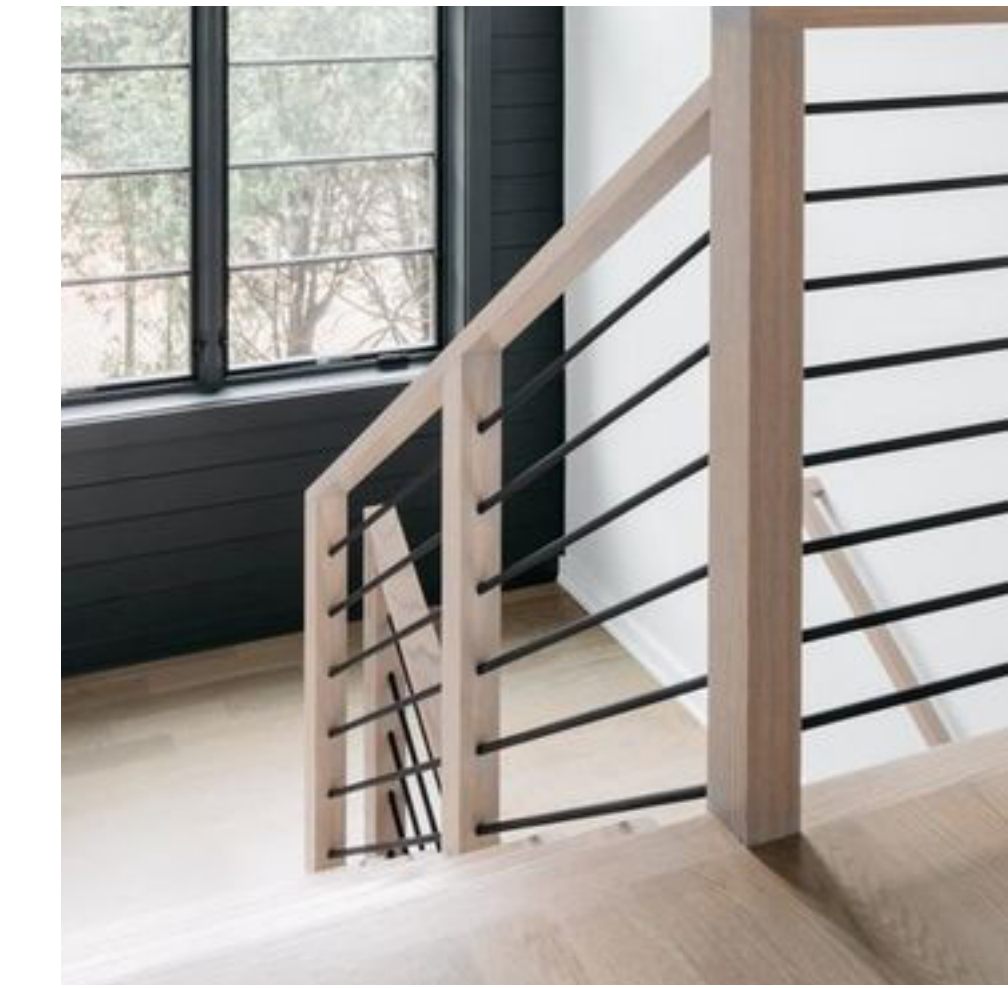


01 MAIN STREET ELEVATION
Scale: 1/2" = 1'-0"



02 SECOND STREET ELEVATION
Scale: 1/2" = 1'-0"

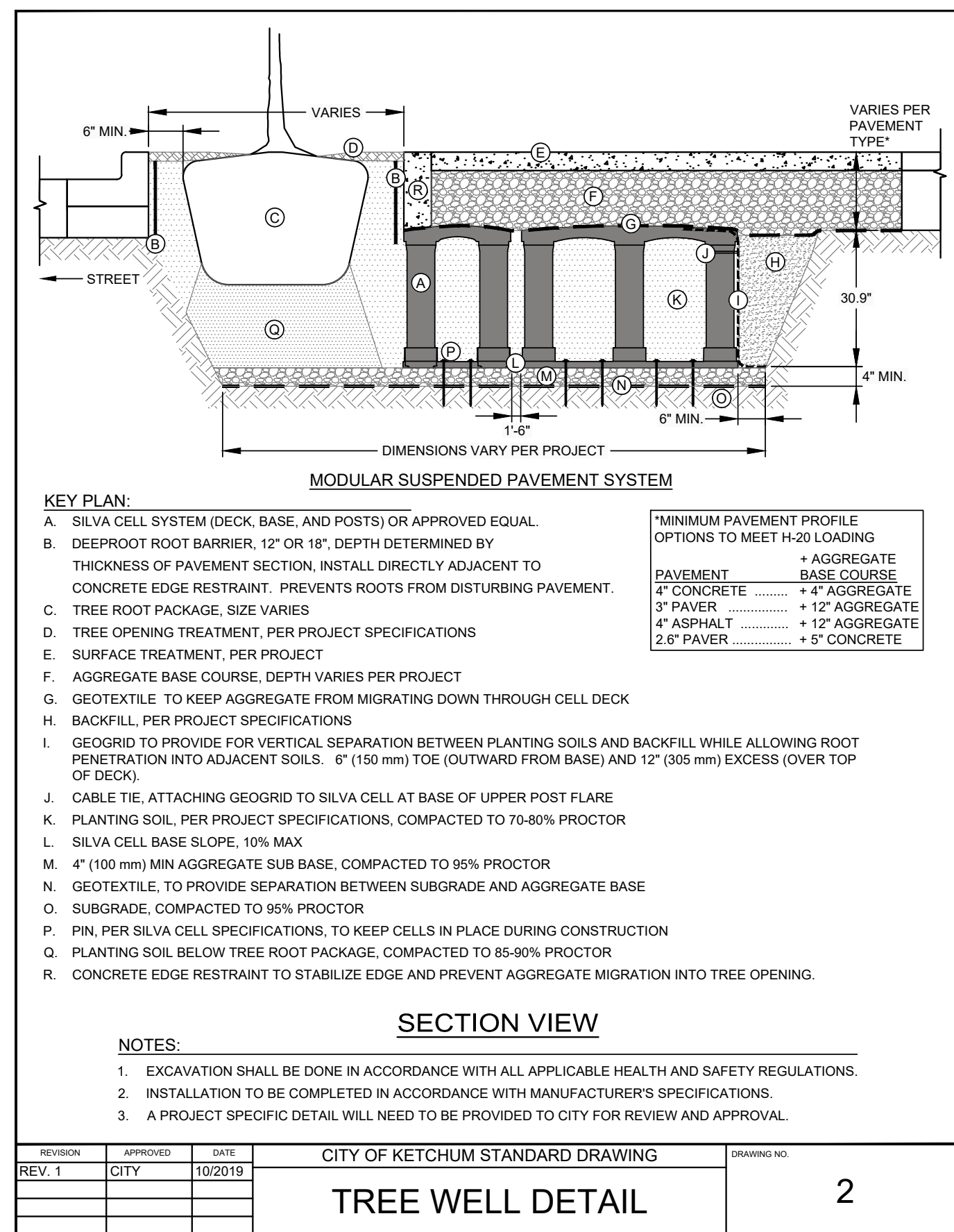
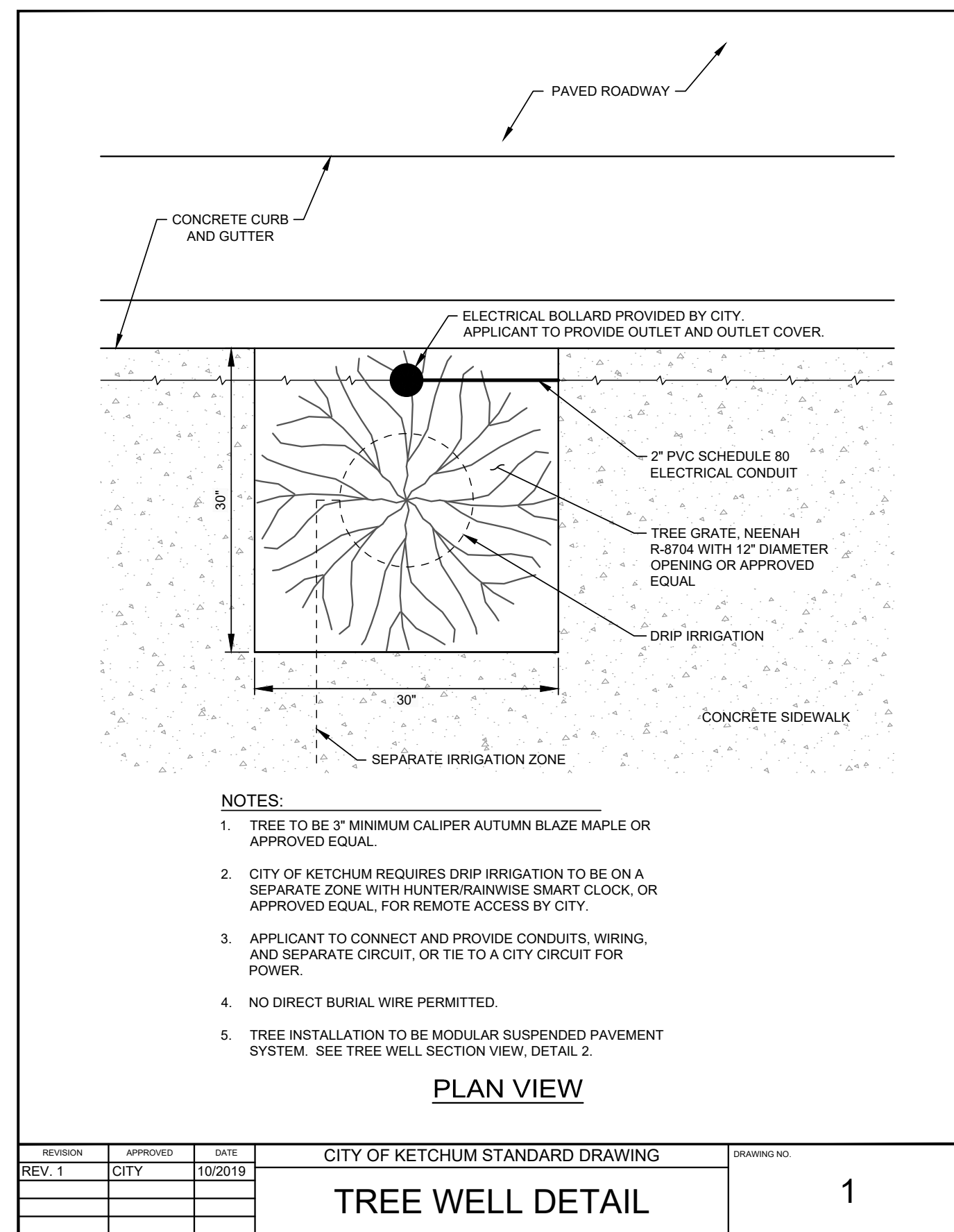
MATERIALS BOARD



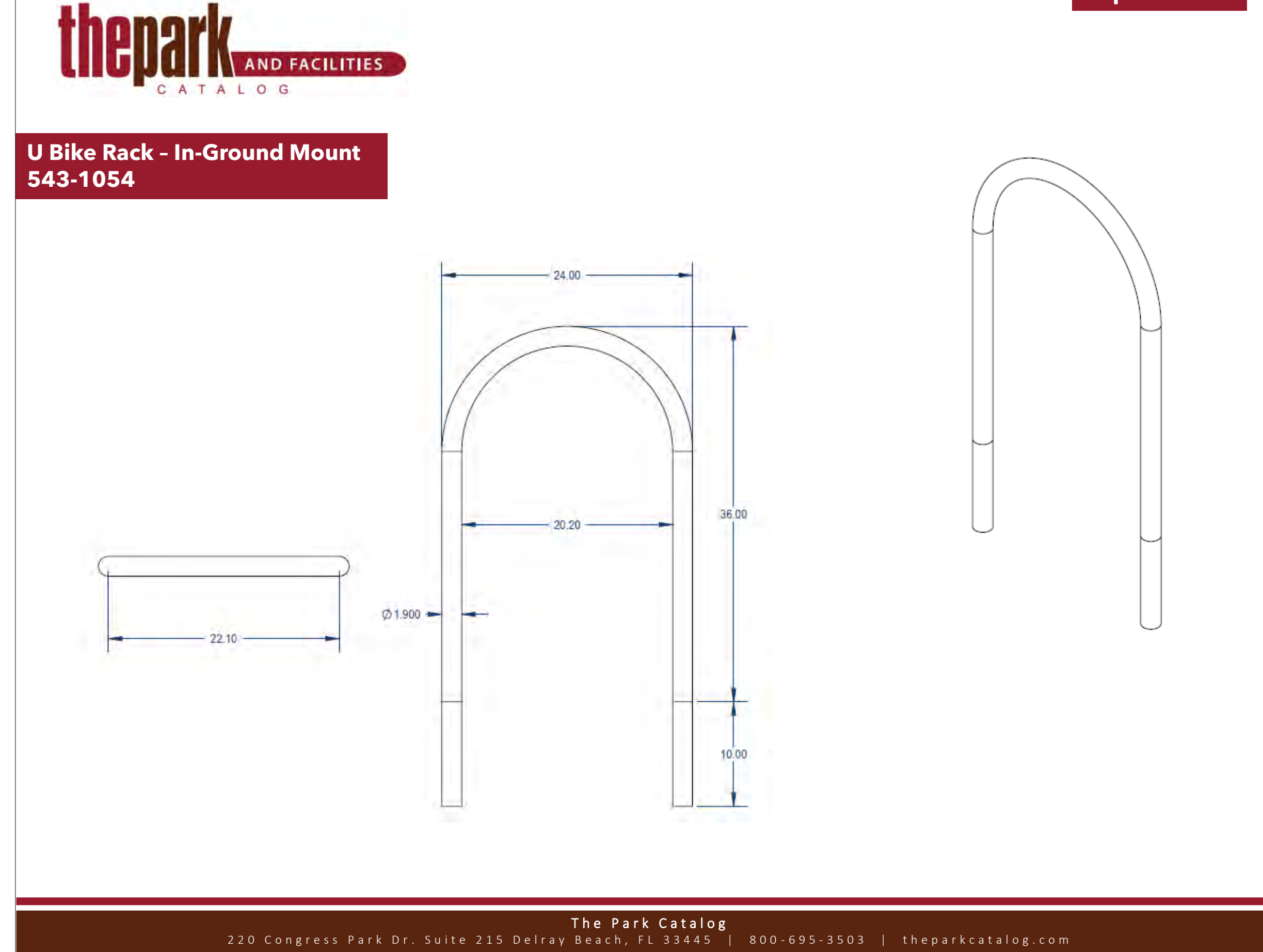
MATERIALS KEY

- ① ROUND IRON BAR
FINISH: BLACK
- ② WOOD SLAB BAR TOP
MATERIAL: WALNUT
FINISH: CLEAR COAT
- ③ HANGING LIGHT FIXTURE
FINISH: BLACK
- ④ RAISED STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

STREETSCAPE AND AMENITIES SPECIFICATIONS



01 TREE WELL
Scale: NTS



02 BIKE RACK
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS

ARIA 2302BK MEDIUM HANGING LANTERN

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant.

DETAILS	
FINISH:	Black
MATERIAL:	Aluminum
SLOPE DEGREE:	90

DIMENSIONS	
WIDTH:	5.3"
HEIGHT:	15.8"
WEIGHT:	2.5lb

LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp
LED NAME:	6.SWR20-30K
VOLTAGE:	120v
COLOR TEMP:	3000
LUMENS:	525
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 50w
DIMMABLE:	Yes - CL Type Dimmer (SSL7A)

MOUNTING	
CANOPY:	6" Dia.
LEAD WIRE:	1 X 120"
MAX HEIGHT:	48

SHIPPING	
CARTON LENGTH:	22.5
CARTON WIDTH:	8.5
CARTON HEIGHT:	9
CARTON WEIGHT:	4

PRODUCT DETAILS:

- This stem hung fixture may be hung on a sloped ceiling
- This fixture includes multiple down stems in various lengths to customize the installation height of the fixture, including one 6" stem and two 12" stems.
- Suitable for use in damp locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
- 2 year finish warranty
- LED Bulbs carry a 3-year limited warranty
- All-in-one fixture design comes with an LED bulb
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade

ELECTRICIAN TO USE 2700K BULB AT INSTALL

HINKLEY
HINKLEY 33000 Pin Oak Parkway Avon Lake, OH 44012 PHONE: (440) 853-5500 TOLL FREE: 1 (800) 446-5539 hinkley.com

03 PENDANT LIGHT (TYPE A)
Scale: NTS

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE
DESIGN REVIEW - LANDSCAPE

DRAWING SET TYPE

DRAWN BY
1/16/24 10:00:30 AM

PLOT DATE

ISSUE

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
LED	Dining + Fire Pit	2	LED Strip Light	C
LED	Dining + Fire Pit	6	Wall Light (Recessed)	B
ZONE 2				
LED	North Bedroom	1	LED Strip Light	C

LIGHTING NOTES:

- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
- EXTERIOR LIGHTS TO BE ON TIMER AND OFF WHEN NOT IN USE
- FOR ARCHITECTURAL LIGHTING, SEE LSK-03

PLANT SCHEDULE

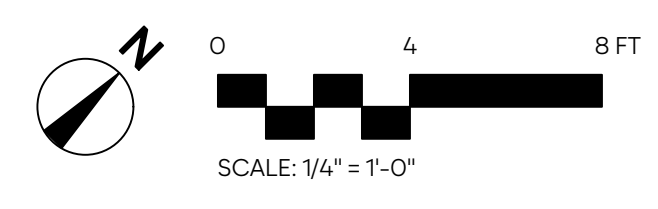
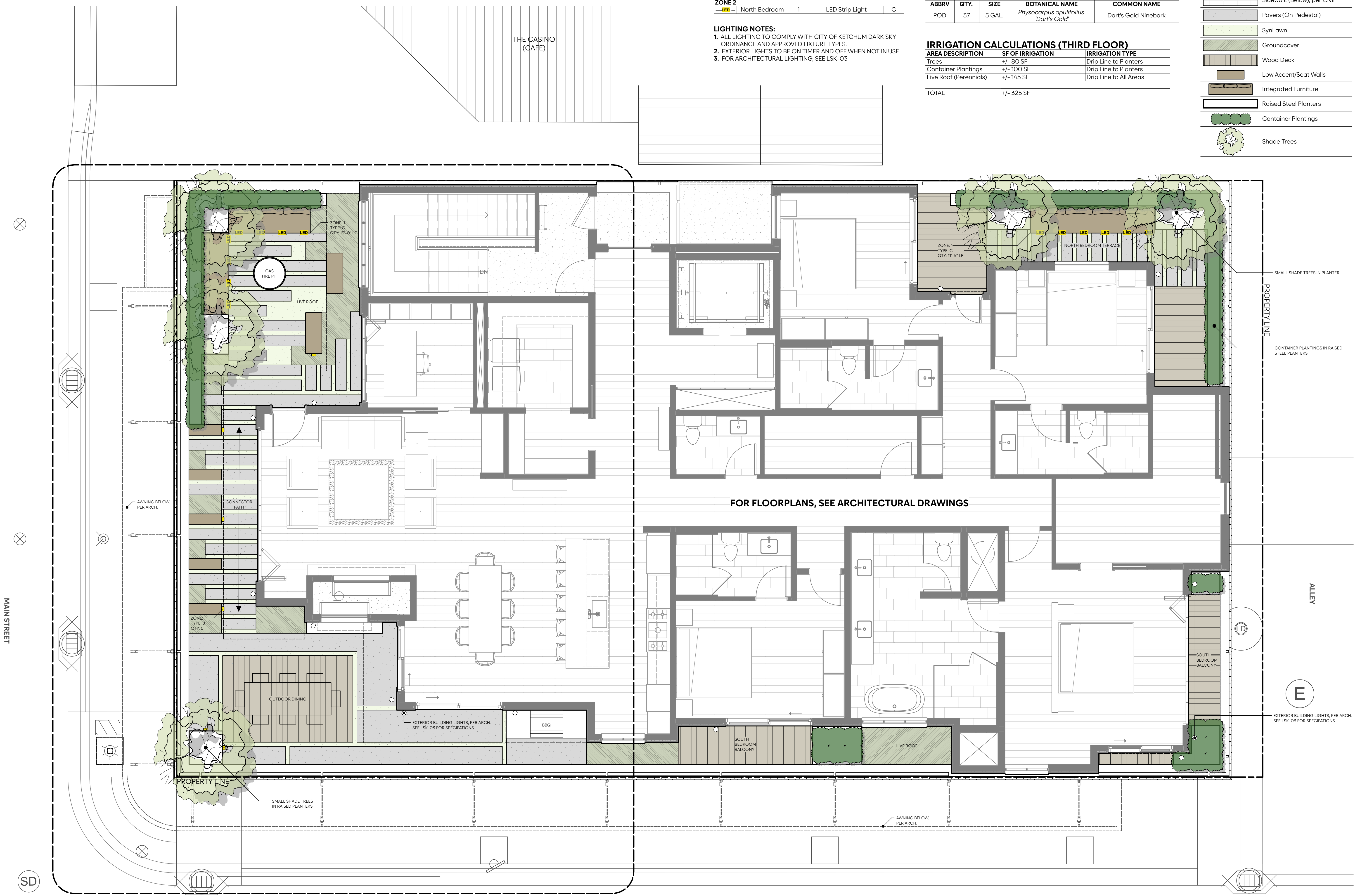
THIRD FLOOR TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	5	8" B&B	<i>Acer circinatum</i>	Vine Maple
THIRD FLOOR CONTAINER PLANTINGS (SHRUBS)				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
POD	37	5 GAL.	<i>Physocarpus opulifolius 'Dart's Gold'</i>	Dart's Gold Ninebark

IRRIGATION CALCULATIONS (THIRD FLOOR)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Trees	+/- 80 SF	Drip Line to Planters
Container Plantings	+/- 100 SF	Drip Line to Planters
Live Roof (Perennials)	+/- 145 SF	Drip Line to All Areas
TOTAL	+/- 325 SF	

LEGEND

SYMBOL	DESCRIPTION
---	Property Line
⊙	Architectural Lighting, Per Arch.
▭	Sidewalk (Below), per Civil
▭	Pavers (On Pedestal)
▭	SynLawn
▭	Groundcover
▭	Wood Deck
▭	Low Accent/Seat Walls
▭	Integrated Furniture
▭	Raised Steel Planters
▭	Container Plantings
⊙	Shade Trees



THE **200 N MAIN**
AT 200 N MAIN ST / KETCHUM, ID 83340

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE
DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

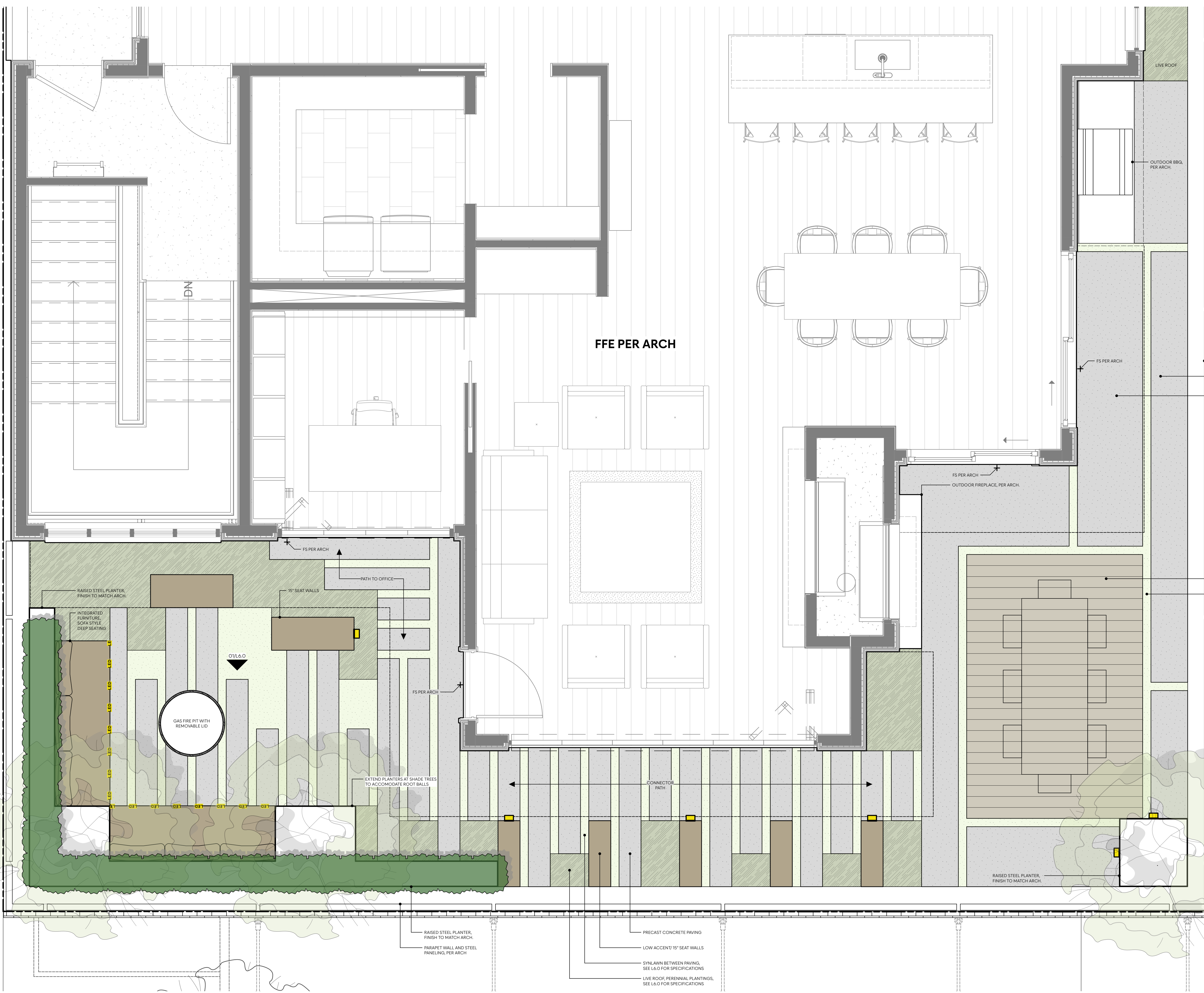
DRAWN BY **AB**
1/16/24 10:00:31 AM
PLOT DATE

ISSUE

L5.1
WEST TERRACE

SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

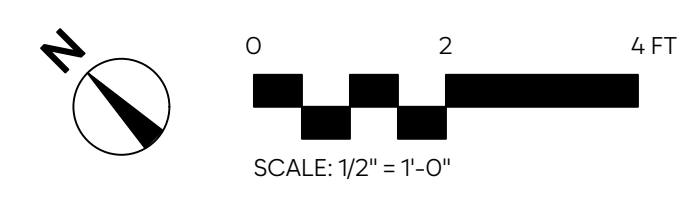
- THIRD FLOOR TERRACE NOTES:**
1. DRAINAGE TIES IN TO ROOF DRAIN SYSTEM. SEE ARCHITECTURAL DRAWING SET.
 2. ALL LOAD CALCULATIONS AND ENGINEERING, PER STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWING SET.
 3. DRIP IRRIGATION TO ALL PLANTERS AND LIVE ROOF AREAS

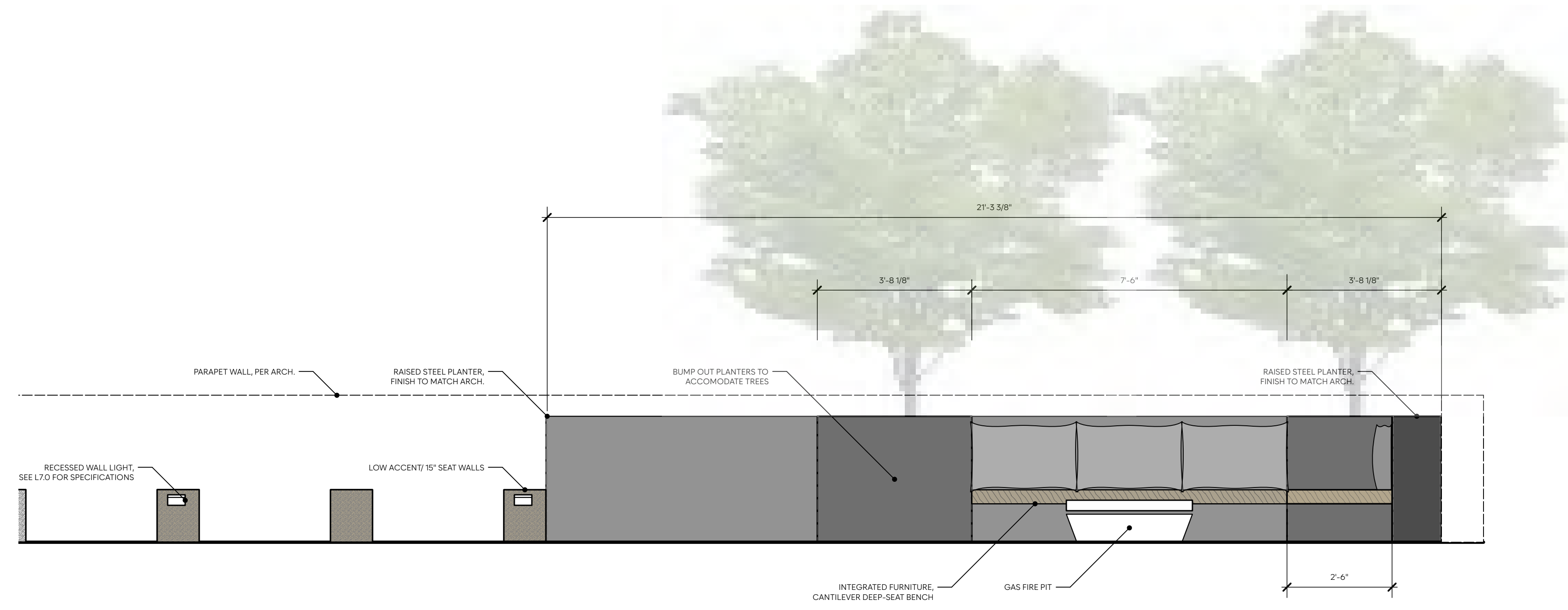


PARAPET WALL AND STEEL PANELING, PER ARCH
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
PRECAST CONCRETE PAVING, FINAL LAYOUT AND PATTERN, TBD

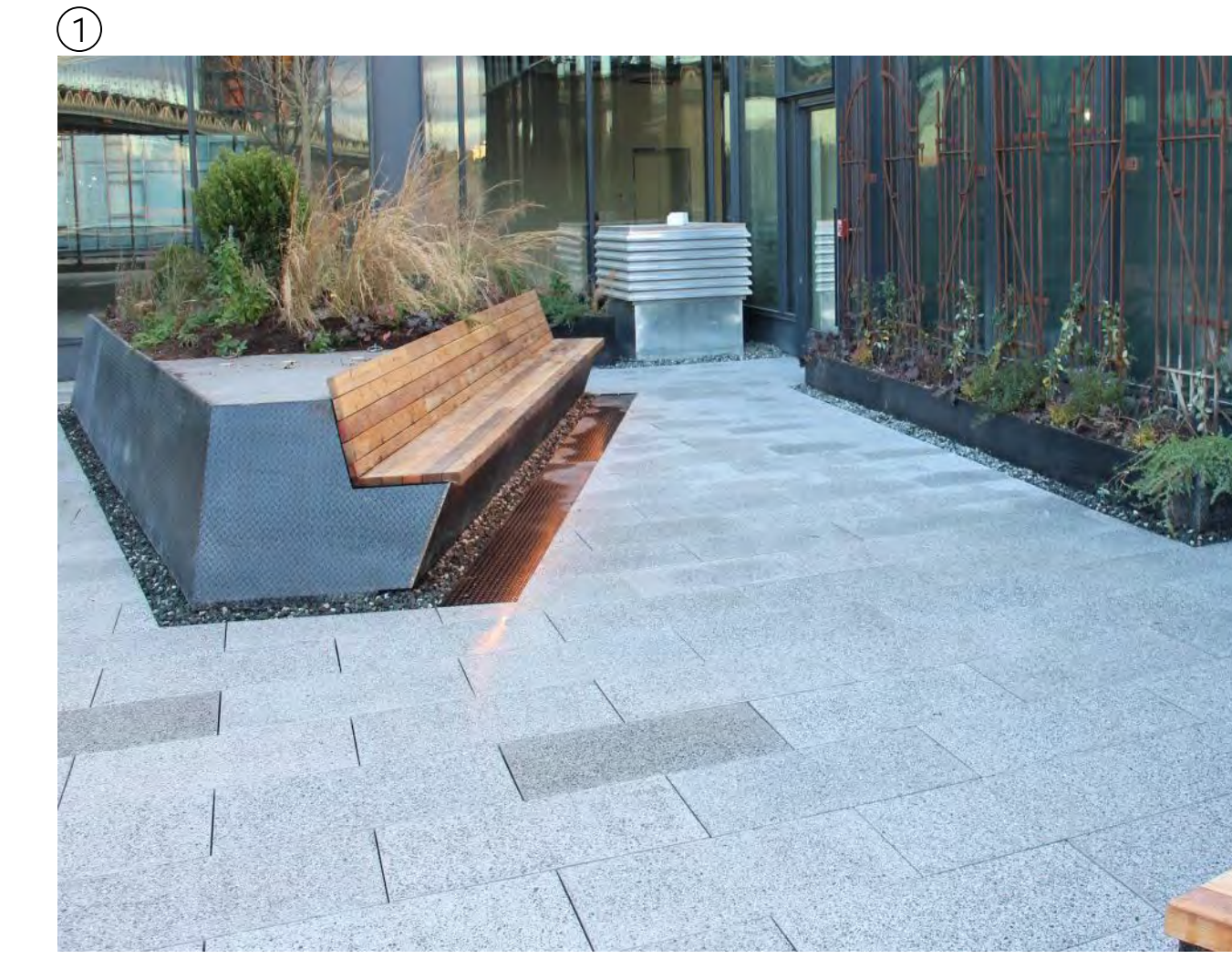
WOOD DECK AT OUTDOOR DINING
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS

RAISED STEEL PLANTER, FINISH TO MATCH ARCH.
PARAPET WALL AND STEEL PANELING, PER ARCH
PRECAST CONCRETE PAVING
LOW ACCENT/15" SEAT WALLS
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
LIVE ROOF, PERENNIAL PLANTINGS, SEE L6.0 FOR SPECIFICATIONS





01 INTEGRATED SEATING AND RAISED PLANTER AT FIRE PIT ELEVATION
Scale: 1/2" = 1'-0"



MATERIALS KEY

- ① PAVER
FINISH: GREY (NATURAL)
- ② WOOD DECKING
MATERIAL: THERMORY
FINISH: NONE
- ③ WALL LIGHT
FINISH: BLACK
- ④ STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY AB

1/16/24 10:00:31 AM

PLOT DATE

ISSUE

STREETSCAPE AND AMENITIES SPECIFICATIONS

LiveRoof DEEP SYSTEM
Over Conventional Roofing Assembly

SIDE VIEW

LiveRoof Module
LiveRoof Engineered Soil
LiveRoof Green Roof Plants (Minimum 95% Soil Coverage at Installation)
Approved Slip Sheet (Root Barrier / Protection Layer) ***
EPDM, TPO or PVC Waterproofing Membrane Fully Adhered or Mechanically Fastened Coverboard
Fully Adhered or Mechanically Fastened Insulation

Provided by others

6.00
2.98
0.38

TOP VIEW (Empty Module)

Drainage Holes
Ergonomic Handles

18.00
24.00

*** Examples of commonly used slip sheet include minimum 40mil EPDM, TPO, PVC polypropylene, Polyolefin or other product depending type of roof and warranty. Installer to confirm compatibility of slip sheet and waterproofing membrane with waterproofing membrane manufacturer.

LiveRoof System Saturated Weight: 40-50 lbs / sf + Retention Layer (if/ies)

NOT TO SCALE

DEEP Conventional 2022-11-8

LiveRoof LLC
P.O. Box 533
Spring Lake, MI 49456

(800) 875-1392
www.liveroof.com

LiveRoof

01 LIVE ROOF SYSTEM / DEEP
Scale: NTS

SYNLAWN
Plant-Based Artificial Grass

PRODUCT SPECIFICATIONS

ROOFDECK PLATINUM

Nylon fibers give this grass guaranteed resistance against melting from reflective light, along with an ASTM CERTIFIED E108 CLASS A FIRE-RATING for the highest level of safety and security. Ideal for rooftops, decks, and patios, indoors or out.

SUPER YARN™ TECHNOLOGY

SANITIZED™ ANTIMICROBIAL
DUALCHILL™ IR REFLECTIVE
STATBLOCK™ ANTI-STATIC

- UNMATCHED LIFETIME WARRANTY
- UV PROTECTED FROM REFLECTING LIGHT
- IDEAL FOR HIGH-TRAFFIC ROOFTOPS AND DECKS
- ASTM E108 CLASS A FIRE RATING

ASK ABOUT OUR...
USDA CERTIFIED ORGANIC INFILL SYSTEM

SYNLawn® 547 is a USDA Certified Bio-Based artificial grass system in combination with organic infill, able to display a unique USDA label highlighting its percentage of bio-based content.

USDA CERTIFIED BIOBASED PRODUCT

MADE IN U.S.A.

SYNLAWN.COM • SYNLAWN@GOLF.COM • (866) 798-5298

SPECIFICATIONS SUBJECT TO CHANGE 02/07/2023

02 SYNLAWN
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" j-box
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP66, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Temperature	4000K	3000K	2700K
Input Watts	3	3	3
Output Lumens*	94	88	82
Color Accuracy (CRI)*	82	82	79

Housing: Precision die-cast aluminum
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)
Mounting: Recessed junction box. Trim and trimless models available.
Lens: Tempered glass
Gaskets: High-temperature silicone
Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC, or toxic heavy metals.
Green Technology: Mercury and UV free, and RoHS compliant.
*Performance for white models. For performance of bronze, black and silver, visit ashboard.com

Dimensions and weight

Surface Plate Models
Weight: 0.55 lb

Trimless Models
Weight: 0.55 lb

Photometrics

FSLED Horizontal 1" 6" Mounting Height
Photometric Report #1217-16

FSLED Vertical 1" 6" Mounting Height
Photometric Report #1217-16

Grid scales: Multiples of mounting height - Values shown in foot-candles

Ordering information

Product Family: FSLED
Orientation: H (Horizontal), V (Vertical)
Wattage: 3 (3W)
Color Temperature: YY (4000K, 3000K, 2700K)
Finish: B (Blank), W (White), Black, Matte Silver
Voltage: /120 (120V, 277V)
Trim Options: Blank, Surface Plate, Trimless Mount

03 RECESSED STEP LIGHT (TYPE B)
Scale: NTS

aspectLED
A WILSON TOOL COMPANY

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
Standard Bright (18 LEDs/foot)

MODEL: AL-SL-N-S

Description

aspectLED's Flexible LED strip lights are a perfect solution for a wide variety of architectural and accent lighting applications including: cove lighting, under-cabinet lighting, back-lighting, pathway lighting and decorative lighting. Our Standard Bright N-Series (narrow) flexible LED strip lights are made with wire leads on both ends of each 16.4' reel and can be cut every 2" (12VDC), allowing you to cut pieces to the exact length that you need.

Learn more

UL LISTED, RoHS Compliant, 1YR WARRANTY, DIMMABLE

www.aspectLED.com | 888.503.1317 | sales@aspectled.com
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aspectLED
4900 Constellation Drive | Saint Paul, MN 55127

04 STRIP LIGHT (TYPE C)
Scale: NTS

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
MODEL: AL-SL-N-S

Specifications

	NON-WATERPROOF	WATER RESISTANT	WATERPROOF
Dimensions	5/16" (8mm) wide 1/16" (2mm) thick 16.4' (5M) long	5/16" (8mm) wide 1/8" (2.6mm) thick 16.4' (5M) long	7/16" (11mm) wide 3/16" (4mm) thick 16.4' (5M) long
Distance Between LEDs	9/16" (14mm)	9/16" (14mm)	9/16" (14mm)
Cut Length	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)
IP Rating	IP20 Indoor Use, Dry Location	IP65 Splash Resistant	IP68 Submersible
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive	No
Mounting Method	Adhesive Backing	Adhesive Backing	Mounting Straps or Adhesive Caulk
Input Voltage	12VDC or 24VDC	12VDC or 24VDC	12VDC or 24VDC
Beam Angle	120 Degrees	120 Degrees	120 Degrees
Dimmable	Yes	Yes	Yes
Max Power Consumption	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)
Max Luminous Flux	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)
LED Color	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow
Color Temperature	Soft White = 2700K Warm White = 3000K Neutral White = 4000K DayWhite = 6000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K
LED Type	SMD 3528 LED Chips	SMD 3528 LED Chips	SMD 3528 LED Chips
LED Quantity	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)
Max Run	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC
Weight	0.4 lbs per reel	0.6 lbs per reel	1.0 lbs per reel
Estimated Lifespan	50,000 hours	50,000 hours	50,000 hours
Warranty	1 Year	1 Year	1 Year
Suitable Uses	Dry Location Only	Dry or Damp Locations	Dry, Damp or Wet Locations
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS	UL Listed, RoHS

www.aspectLED.com | 888.503.1317 | sales@aspectled.com
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aspectLED
4900 Constellation Drive | Saint Paul, MN 55127

LIGHT TRESSPASS

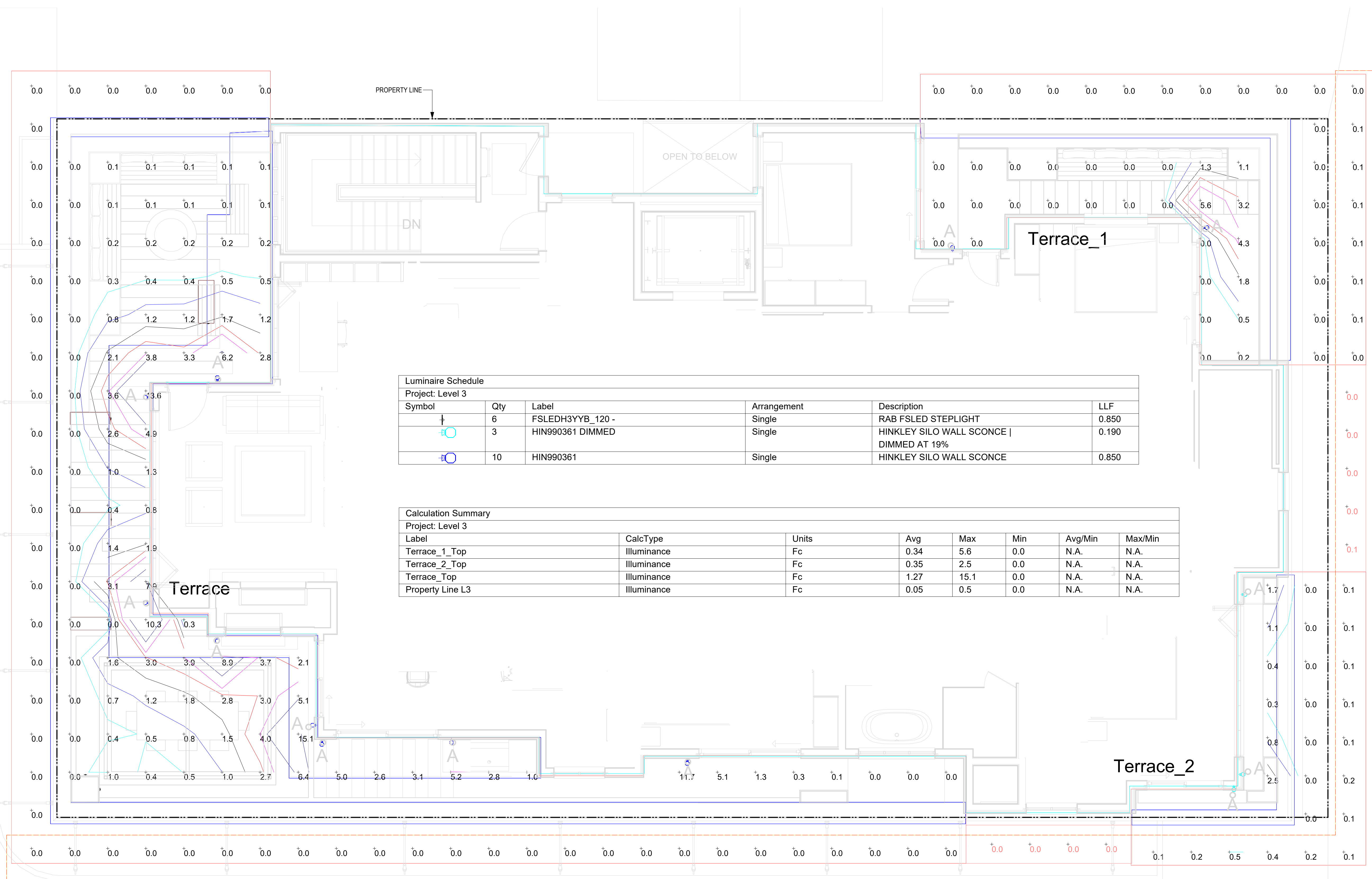
Illuminance (Fc)
Average = 0.20
Maximum = 0.8
Minimum = 0.0

Property Line L1

Illuminance (Fc)
Average = 0.19

Luminaire Schedule					
Project: Level 1					
Symbol	Qty	Label	Arrangement	Description	LLF
☒	5	2302BK_1	Single	HINKLEY ARIA PENDANT DIMMED AT 15%	0.150
☒	5	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED_1	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 25%	0.250
☒	7	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 8%	0.080
☒	2	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
☒	6	2302BK	Single	HINKLEY ARIA PENDANT DIMMED AT 40%	0.400

Calculation Summary							
Project: Level 1							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bar_Planar	Illuminance	Fc	5.34	6.4	3.6	1.48	1.78
GROUNDPLANE 1_Planar	Illuminance	Fc	0.93	5.6	0.0	N.A.	N.A.
Tabletop_1_Tabletop_1	Illuminance	Fc	5.48	8.0	3.4	1.61	2.35
Tabletop_2_Planar	Illuminance	Fc	4.50	6.7	1.9	2.37	3.53
Tabletop_3_Planar	Illuminance	Fc	3.53	3.8	3.2	1.10	1.19
Tabletop_4_Planar	Illuminance	Fc	4.53	5.0	4.0	1.13	1.25
LIGHT TRESSPASS	Illuminance	Fc	0.20	0.8	0.0	N.A.	N.A.
Property Line L1	Illuminance	Fc	0.19	0.7	0.0	N.A.	N.A.




Luminaire Schedule					
Project: Level 3					
Symbol	Qty	Label	Arrangement	Description	LLF
⬇	6	FSLEDH3YYB_120 -	Single	RAB FSLED STEPLIGHT	0.850
⊖	3	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
⊖	10	HIN990361	Single	HINKLEY SILO WALL SCONCE	0.850

Calculation Summary							
Project: Level 3							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Terrace_1_Top	Illuminance	Fc	0.34	5.6	0.0	N.A.	N.A.
Terrace_2_Top	Illuminance	Fc	0.35	2.5	0.0	N.A.	N.A.
Terrace_Top	Illuminance	Fc	1.27	15.1	0.0	N.A.	N.A.
Property Line L3	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.

Lightology Silo Dark Sky Outdoor Wall Sconce
ITEM NUMBER: HIN950361

BRAND: Hinkley Lighting

DESCRIPTION: The Silo Dark Sky Outdoor Wall Sconce is the perfect addition to exteriors from coastal to modern. The compact design blends seamlessly into your space. Dark Sky Ordinance was developed as outdoor lighting standards that reduce glare, light trespass, and sky glow. Coated with anti-fading finishes, for maximum durability in harsh climates. Note: Title 24 Compliant with included bulb.



Shown in: Black / Etched Glass

SHADE COLOR	Etched Glass
BODY FINISH	Black
WATTAGE	6.5W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5W x 8.1H x 5.5D (in)
BULB INCLUDED	1 x HINKLEY LOW VOLTAGE LED

Technical Information:
LUMINOUS FLUX: 500 Lumens
LUMENS/WATT: 76.92
LAMP COLOR: 2700 K
COLOR RENDERING: 80 CRI

ITEM NUMBER: HIN950361

COMPANY: PROJECT: SYSTEM TYPE: APPROVED BY: DATE:

Lightology | Hinkley Lighting

WALL SCONCE ('A')
- MOUNTING HEIGHT 7'6 UON ON LIGHTING PLANS

LUTRON Finire 3" Specifications

High-Performance LED

Finire Model	Standard	Warm Dimming
CRI (Typical)	95, R9-85	95, R9-85
Lumens (Delivered)	650-1750	800
Wattage	15	15
Efficacy (lumens/watt)	30-65	50

Independent measurement of typical 3000K downlight fixture models by Lutron Electronics Co., Inc. for reference only. See the Finire 3" specification sheets for LM79 photometric data by fixture type and trim options.

Lens & Finish Options for Every Ceiling Type

Micro Prism Solite™	Frosted Glass	Wall Wash	No Lens
---------------------	---------------	-----------	---------

Note: All lens and finish options (except no lens) are wet (damp) location rated for covered, ceiling mount interior or exterior applications.

Matte White*	Matte Black*	Silver*	Bronze*	Silver/White**	Clear Anodized/White**	Clear Chrome/White**	Black Chrome/White**
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*Matte White, Matte Black, Silver and Bronze are coordinated color finishes to match Finire Prime and Ketra D3 downlights.
**White finish standard with frosted lens.

Housings

IC housing: 18.9 in. | Non-IC housing: 13.6 in.

Note: Specification and install made easy with the adjustable housing options allowing field changeable beam spreads and the ability to convert from adjustable wall wash and fixed downlight or standard trims to flangeless (mud-in) or pin hole options after wiring & ceiling install.

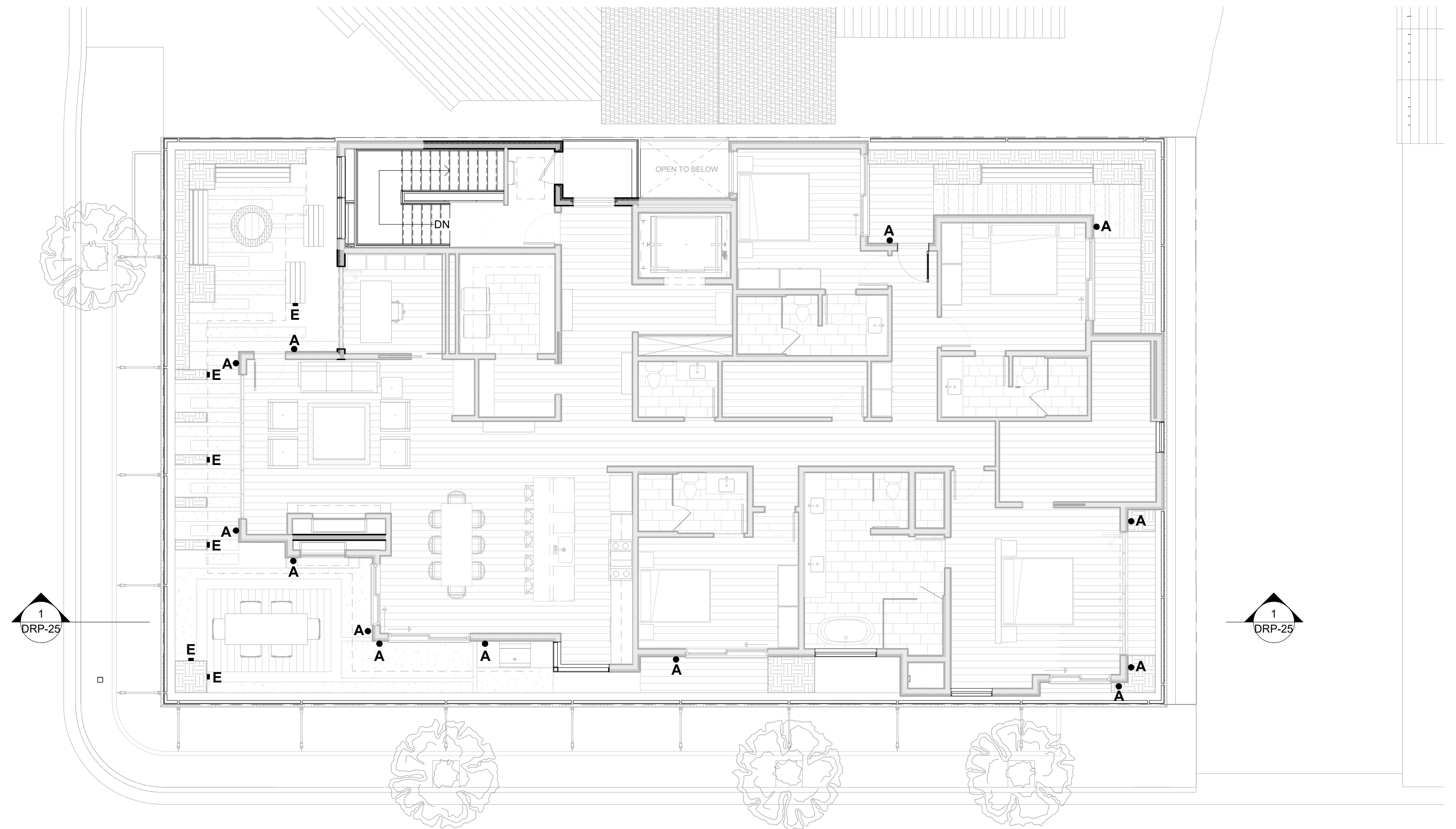
Field Changeable Beam Angles

15° | 30° | 40° | 55° | Wall Wash (trim lens option)

*15° not field changeable or available in warm dimming options.

RECESSED CAN LIGHTS ('B')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS

RECESSED CAN STREETLIGHTS ('D')
- MOUNTING HEIGHT 12"
- TO BE METERED SEPARATELY AND DIMMED PER CITY STANDARDS (TO BE DEVELOPED)



THIRD FLOOR EXTERIOR LIGHTING 2
1/8" = 1'-0"

ARIA 2302BK MEDIUM HANGING LANTERN

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant!

DETAILS:
FINISH: Black
MATERIAL: Aluminum
SLOPE DECREE: 90

DIMENSIONS:
WIDTH: 5.3"
HEIGHT: 15.8"
WEIGHT: 2.8lb

LIGHT SOURCE:
LIGHT SOURCE: LED Lamp
LED NAME: 6.5W/60-30K
VOLTAGE: 120V
COLOR TEMP: 3000K
LUMENS: 525
CRI: 90
INCANDESCENT EQUIVALENCY: 1 x 50w
DIMMABLE: Yes - CL Type Dimmer (SBLTA)

MOUNTING:
CANOPY: 6" Dia.
LEAD WIRE: 1 x 120"
MAX HEIGHT: 48"

SHIPPING:
CARTON LENGTH: 22.5"
CARTON WIDTH: 8.5"
CARTON HEIGHT: 9"
CARTON WEIGHT: 14"
*RELAMP WITH 7 WATT, 2700K BULB

PRODUCT DETAILS:

- This stem hung fixture may be hung on a sloped ceiling.
- This fixture includes multiple down stems in various lengths to customize the installation height of the fixture, including one 6" stem and two 12" stems.
- Suitable for use in damp locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- 2 year finish warranty.
- LED Bulbs carry a 3-year limited warranty.
- All-in-one fixture design comes with an LED bulb.
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade.

HINKLEY
HINKLEY 3300 Pin Oak Parkway, Aston Lake, OH 44012
PHONE: (440) 653-5200 | hinkley.com
Toll Free: 1 (800) 444-5339

HANGING LANTERN ('C')
- MOUNTING HEIGHT 8'6 UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" jbox
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP65, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% | 277V: 0.201A, 550mA, PF 95%
Lifetime: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Temperature: 4000K | 3000K | 2700K
Input Watts: 3 | 3 | 3
Output Lumens*: 84 | 88 | 82
Color Accuracy (CRI)*: 82 | 82 | 79

Housing: Precision die-cast aluminum
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Startings: The minimum starting temperature is -40°C (-40°F)
Mounting: Recessed junction box. Trim and trimless models available.
Lens: Tempered glass.
Gaskets: High-temperature silicone.
Finish: Cure environmentally friendly polyester powder coatings are formulated for high durability and long-lasting color, and contain no VOC or toxic heavy metals.
Green Technology: Mercury and UV free, and RoHS compliant.

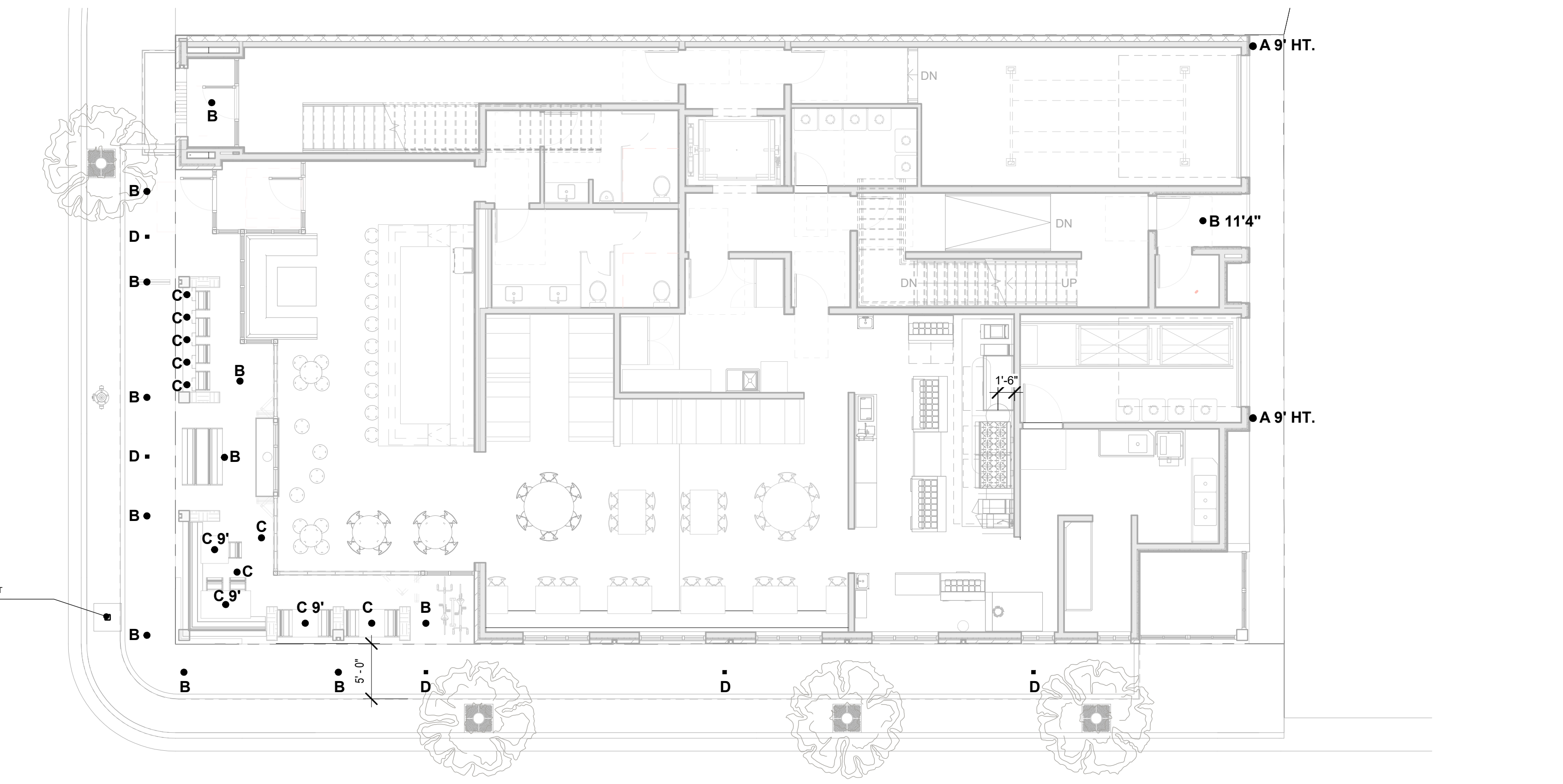
Photometrics

FSLED Horizontal 1' 6" Mounting Height
FSLED Vertical 1' 6" Mounting Height

Ordering information

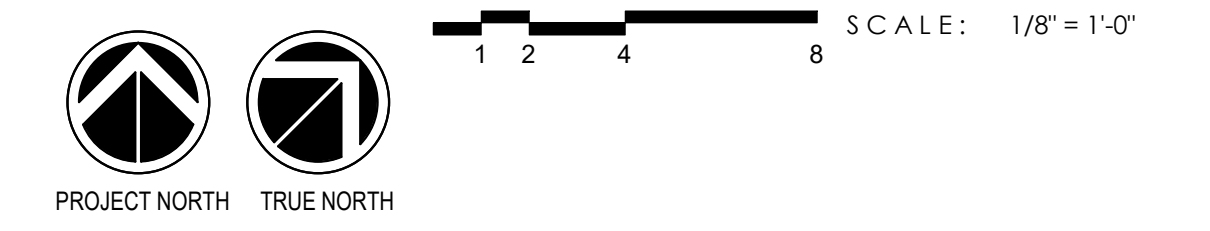
FSLED	1' 6" Horizontal	3" RW	N	4000K	Blank	Bronze	1/20	1/20	1/20	Blank	Surface Plate
	V	Vertical	Y	3000K	W	White	/277	/277	/277	Black	Trimless Mount
			Y	2700K	S	Black				S	Matte Silver

STEP LIGHTS ('E')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.



FIRST FLOOR EXTERIOR LIGHTING 1
1/8" = 1'-0"

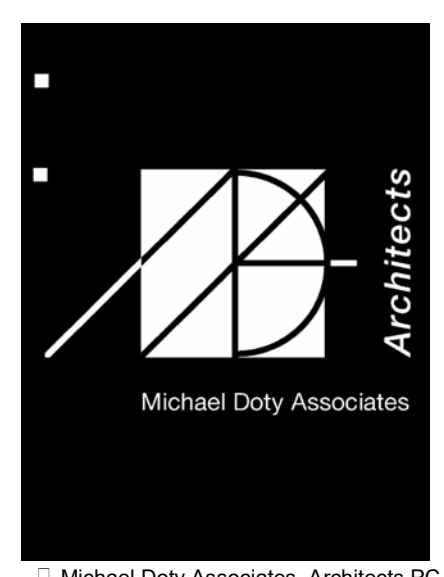
PROPOSED LIGHTING PLANS AND SPECIFICATIONS



200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

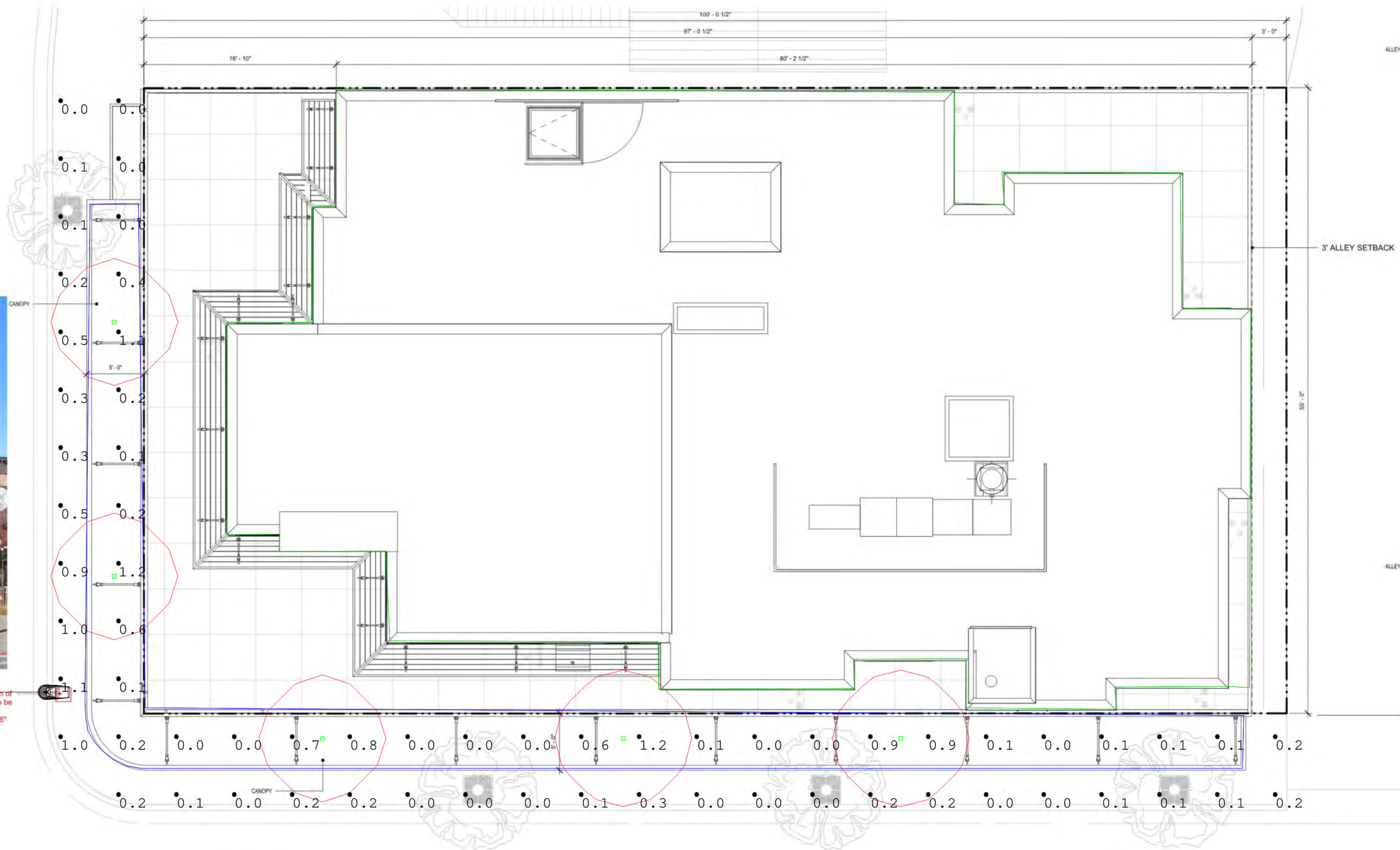
DESIGN REVIEW 2
11/17/2024



LIGHTING NOTES:
- ALL PROPOSED EXTERIOR LIGHTS COMPLY WITH KETCHUM MUNICIPAL CODE DARK SKIES CHAPTER 17.132.



Approximate location of existing streetlight to be re-lamped
Fixture height: ±16'-6"



Approximate location of power pole-mounted light
Fixture height: ±23'-6"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	1	ERLC_03C527-120-277V	SINGLE	N.A.	0.900	ERLC_03C527-120-277V
☐	1	800 Lumens ERLC	SINGLE	N.A.	0.300	ERLC_03C527-120-277V
☐	3	LFR 4%	SINGLE	N.A.	0.040	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S
☐	2	LFR 5%	SINGLE	N.A.	0.050	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points	Illuminance	Fc	0.28	1.2	0.0	N.A.	N.A.

PHOTOMETRIC PLAN PREPARED BY THE MH COMPANIES

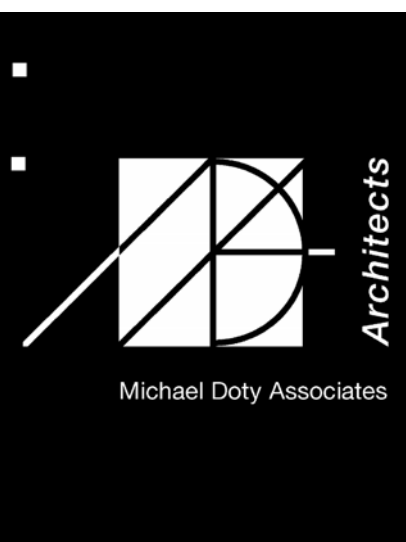
STREETLIGHT PHOTOMETRIC

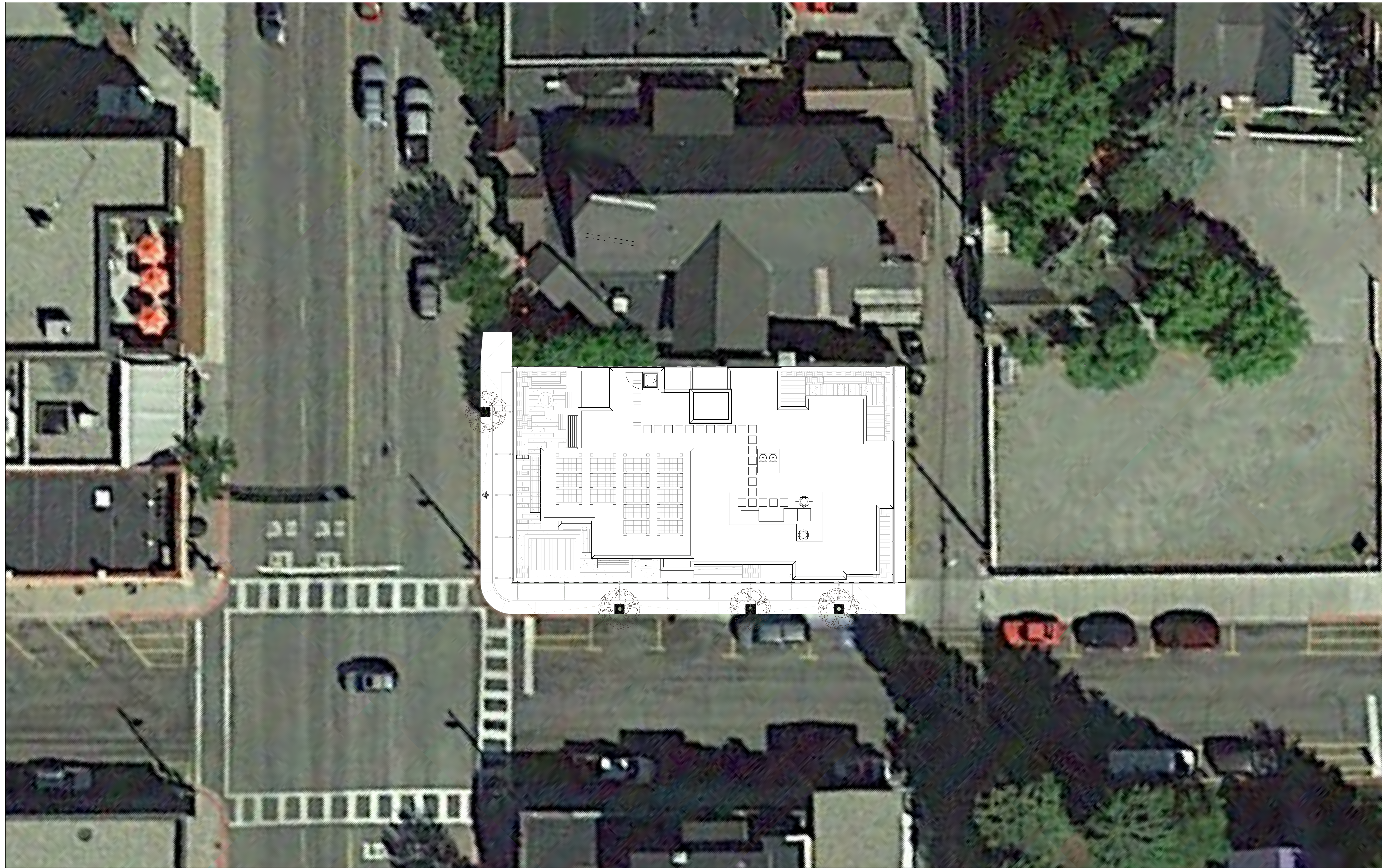
SCALE: N.T.S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN

ZONING

ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2

STORAGE GROUP S-2

ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION

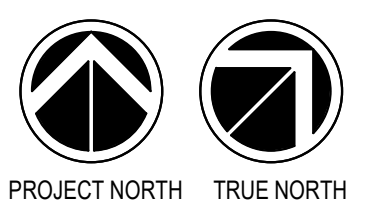
NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA

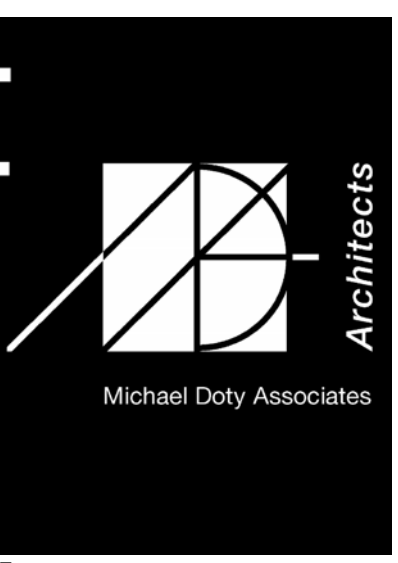
BUILDING AREA (GROSS): 12,398 SF

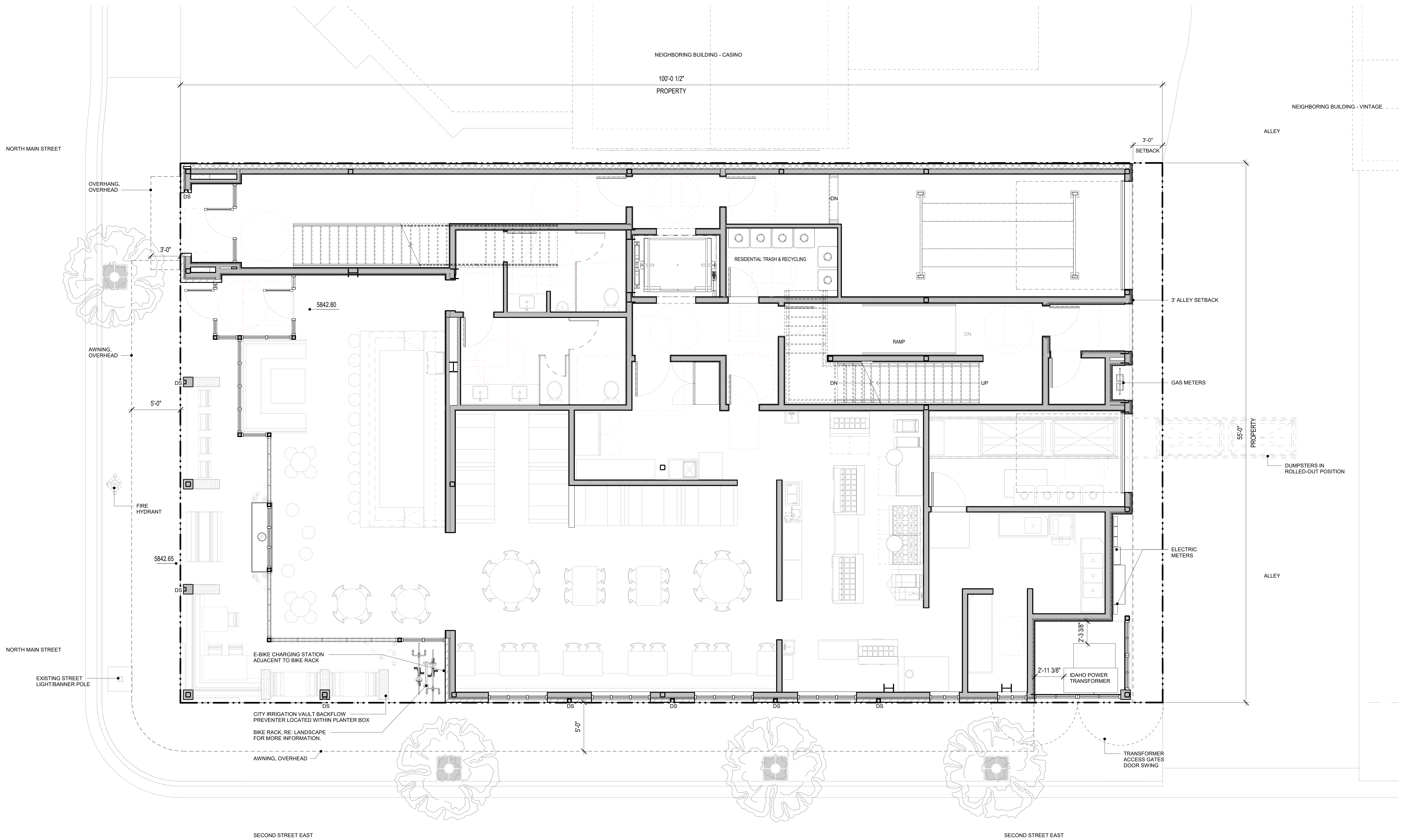


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED

ZONING
 ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION
 RESIDENTIAL GROUP R-2
 STORAGE GROUP S-2
 ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION
 NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

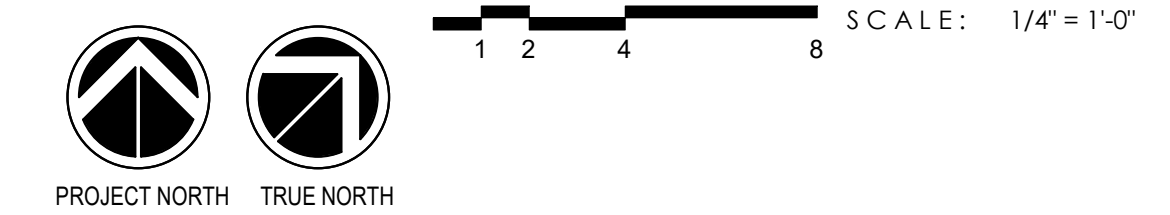
CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA
 BUILDING AREA (GROSS): 12,398 SF

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

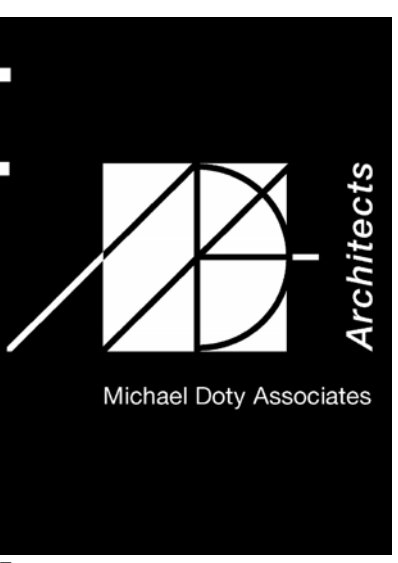
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

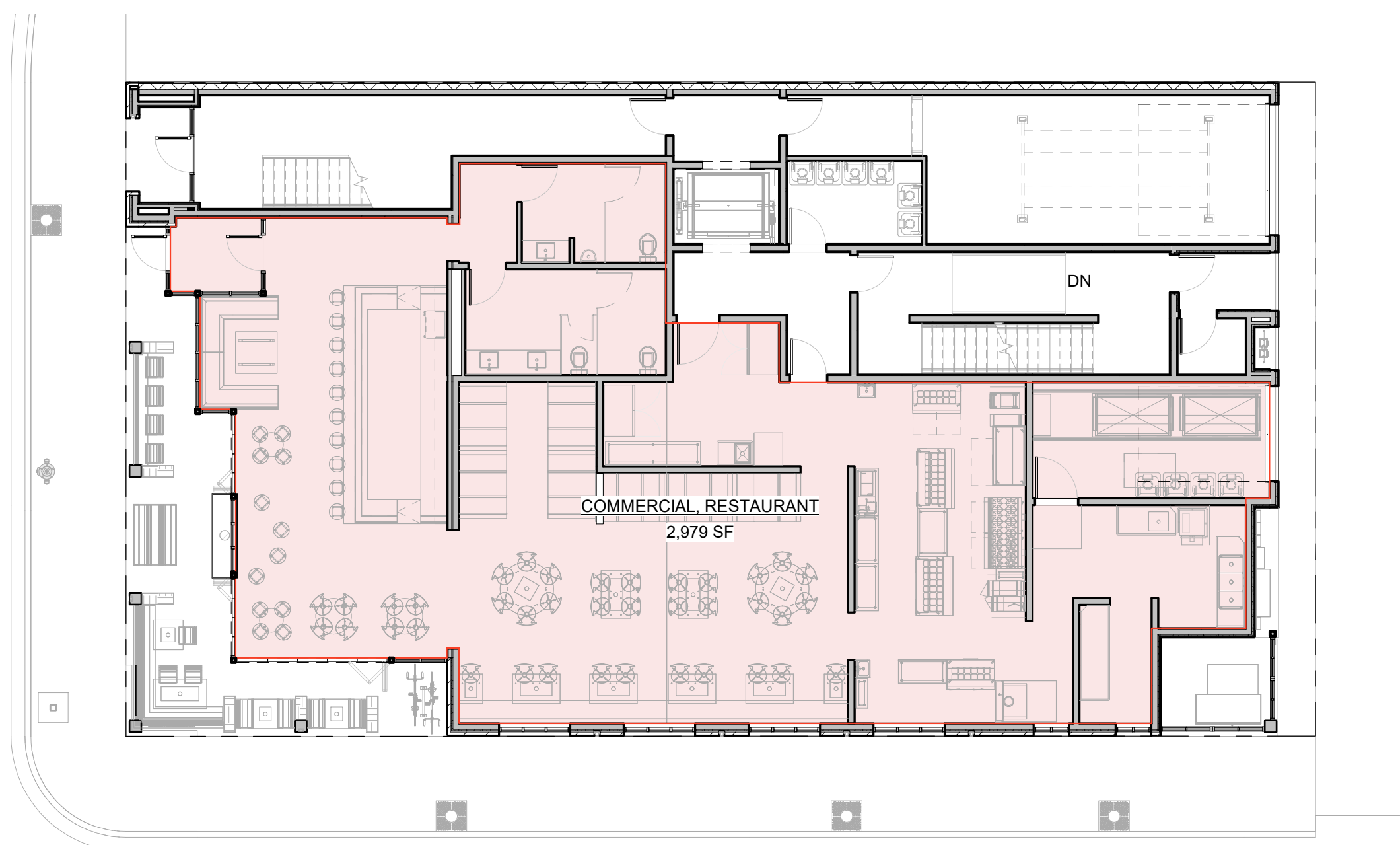


200 NORTH MAIN

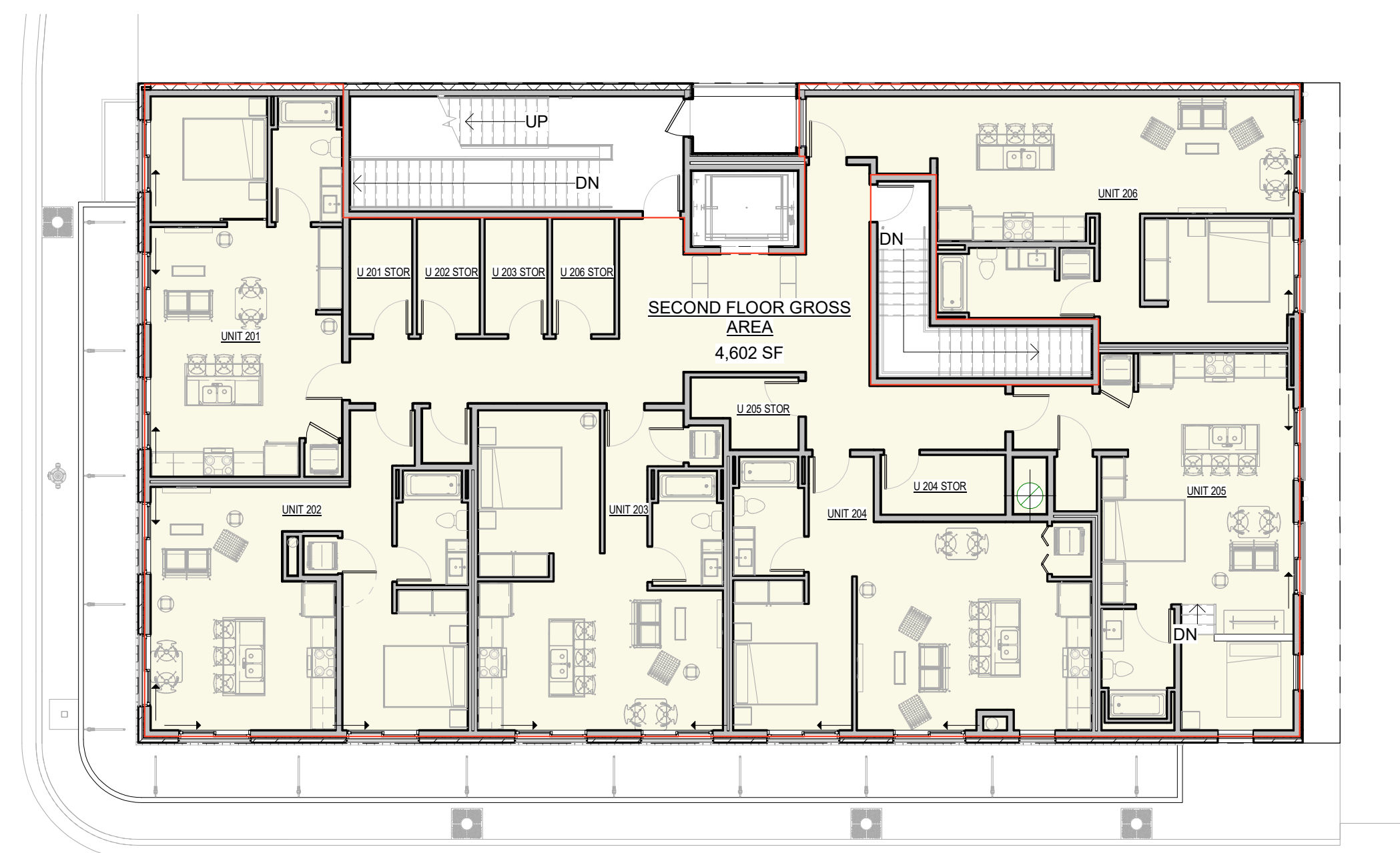
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024

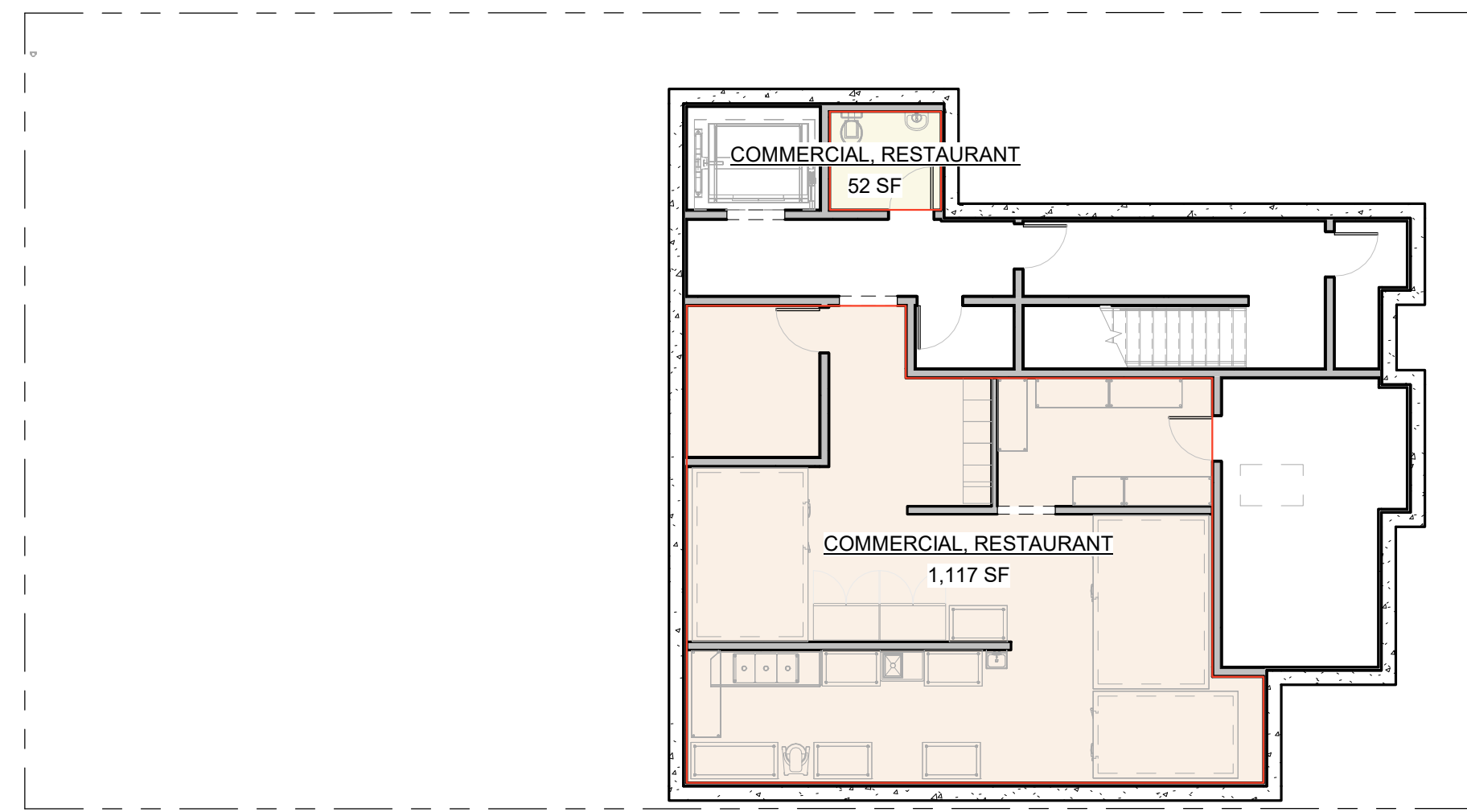




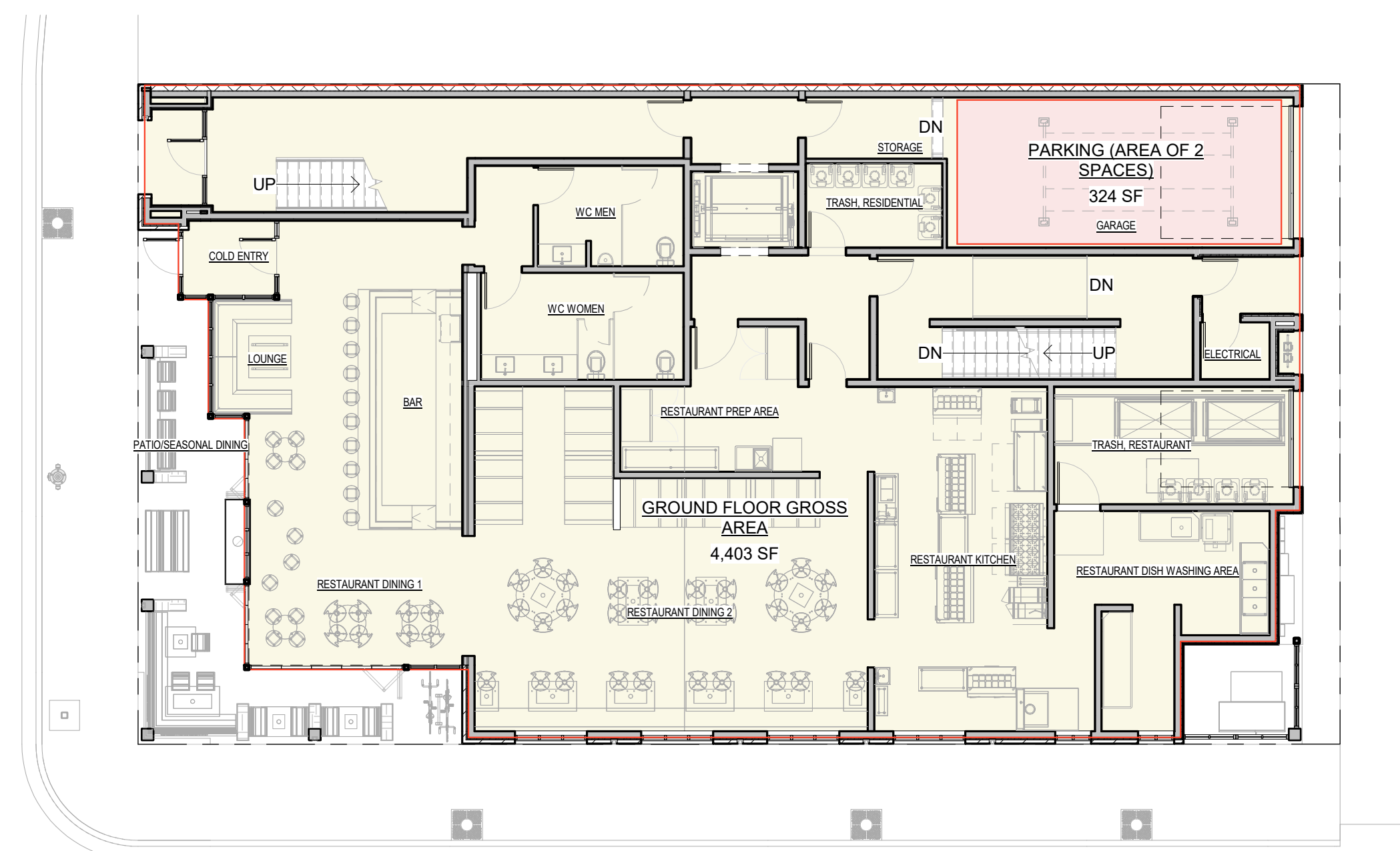
GROUND FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



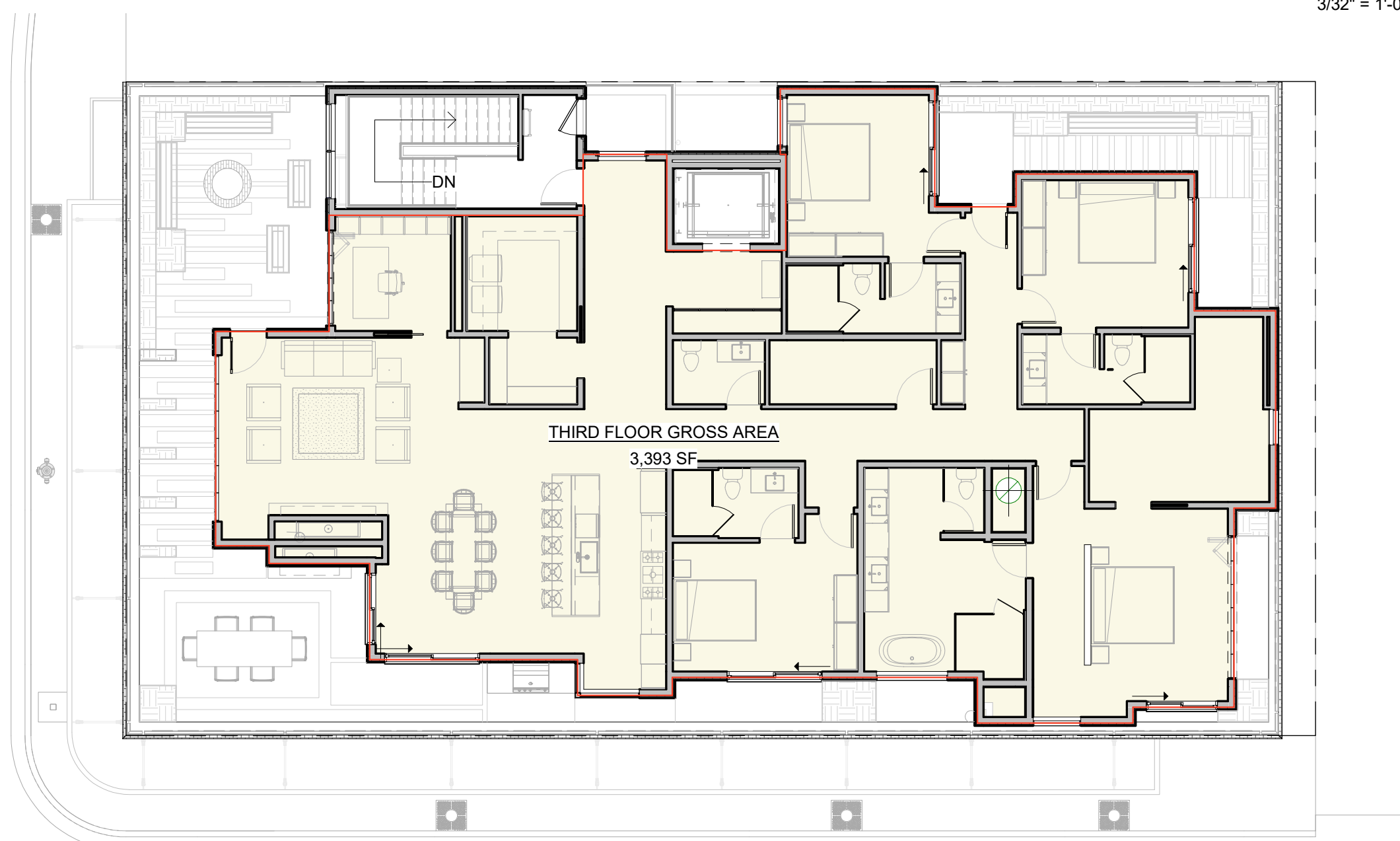
SECOND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



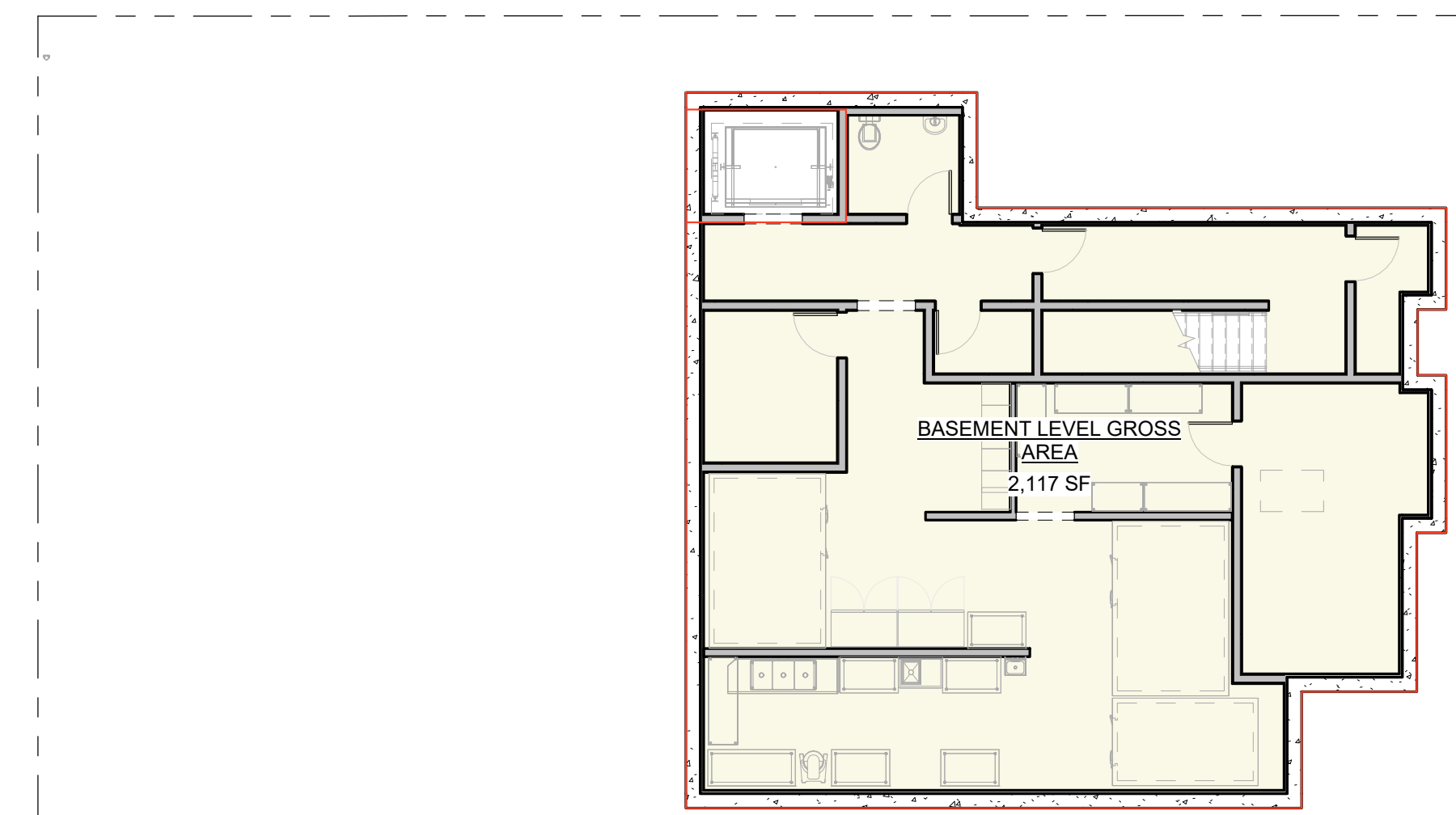
BASEMENT FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



GROUND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



THIRD FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



BASEMENT FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

AREA SCHEDULE		
AREA NAME	AREA	NOTES
BASEMENT LEVEL GROSS AREA	2,117 SF	NOT INCLUDED IN TOTAL GROSS FLOOR AREA
	2,117 SF	
GROUND FLOOR GROSS AREA	4,403 SF	
PARKING (AREA OF 2 SPACES)	324 SF	SUBTRACTED FROM TOTAL GROSS FLOOR AREA
	4,727 SF	
SECOND FLOOR GROSS AREA	4,602 SF	
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	
	3,393 SF	
TOTAL FLOOR AREA	14,839 SF	

AREA SCHEDULE - GROSS - FAR		
AREA NAME	AREA	LEVEL
GROUND FLOOR GROSS AREA	4,403 SF	GROUND LEVEL
	4,403 SF	
SECOND FLOOR GROSS AREA	4,602 SF	SECOND FLOOR
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	THIRD FLOOR
	3,393 SF	
TOTAL GROSS FLOOR AREA*	12,398 SF	

*PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS

AREA SCHEDULE - NET - COMMERCIAL		
AREA NAME	AREA	LEVEL
COMMERCIAL, RESTAURANT	1,117 SF	BASEMENT LEVEL
COMMERCIAL, RESTAURANT	52 SF	BASEMENT LEVEL
	1,169 SF	
COMMERCIAL, RESTAURANT	2,979 SF	GROUND LEVEL
	2,979 SF	
TOTAL NET/COMMERCIAL FLOOR AREA	4,148 SF	

FLOOR AREA RATIO

BUILDING GROSS AREA
TOTAL FLOOR AREA LESS BASEMENT, LESS AREA OF 2 PARKING SPACES
12,398 SF

FAR
DIVIDE BUILDING GROSS AREA BY LOT AREA
 $12,398 \div 5,503 =$
2.25 FAR

ORDINANCE 1234, MINIMUM RESIDENTIAL DENSITY

MINIMUM HOUSING DENSITY
DIVIDE NET COMMERCIAL AREA BY BUILDING GROSS AREA =
 $4,148 \div 12,398 =$
33%
3 RESIDENTIAL UNITS REQUIRED
7 RESIDENTIAL UNITS PROVIDED
4 RESIDENTIAL UNITS OVER MINIMUM

ORDINANCE 1234, GROUND FLOOR COMMERCIAL AREA RATIO

GROUND FLOOR NET COMMERCIAL AREA
2,979 SF

GROUND FLOOR GROSS AREA
4,403 SF

GROUND FLOOR COMMERCIAL AREA RATIO
DIVIDE GROUND FLOOR NET COMMERCIAL AREA BY GROUND FLOOR GROSS AREA
 $2,979 \div 4,403 =$
68% OF GROUND FLOOR AREA IS COMMERCIAL
13% OVER MINIMUM 55%

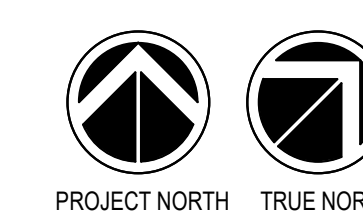
INCLUSIONARY HOUSING INCENTIVE CALCULATION

BUILDING GROSS AREA OVER 1.0 FAR
 $12,398 \text{ SF} - 5,503 \text{ SF} (1.0 \text{ FAR}) = 6,895 \text{ SF}$

REQUIRED AREA OF DEED RESTRICTED HOUSING
 $6,895 \text{ SF} \times 20\% = 1,379 \text{ SF}$
 $1,379 \text{ SF} - 15\% (\text{NET LIVABLE}) = 1,172 \text{ SF}$ REQUIRED AS DEED RESTRICTED

COMMUNITY HOUSING DESIGNATION FOR INCOME CATEGORY 4
UNIT 205 (600 SF) + UNIT 206 (692) = 1,292 SF DEED RESTRICTED PROVIDED

PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS

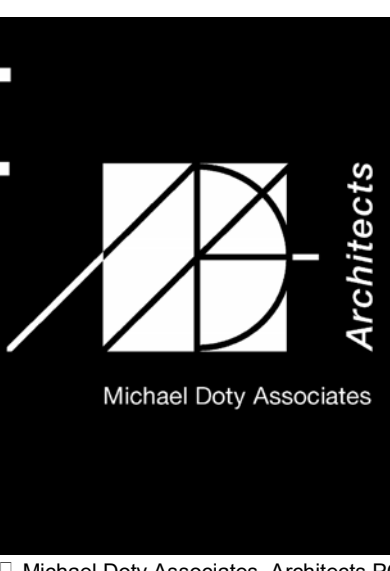


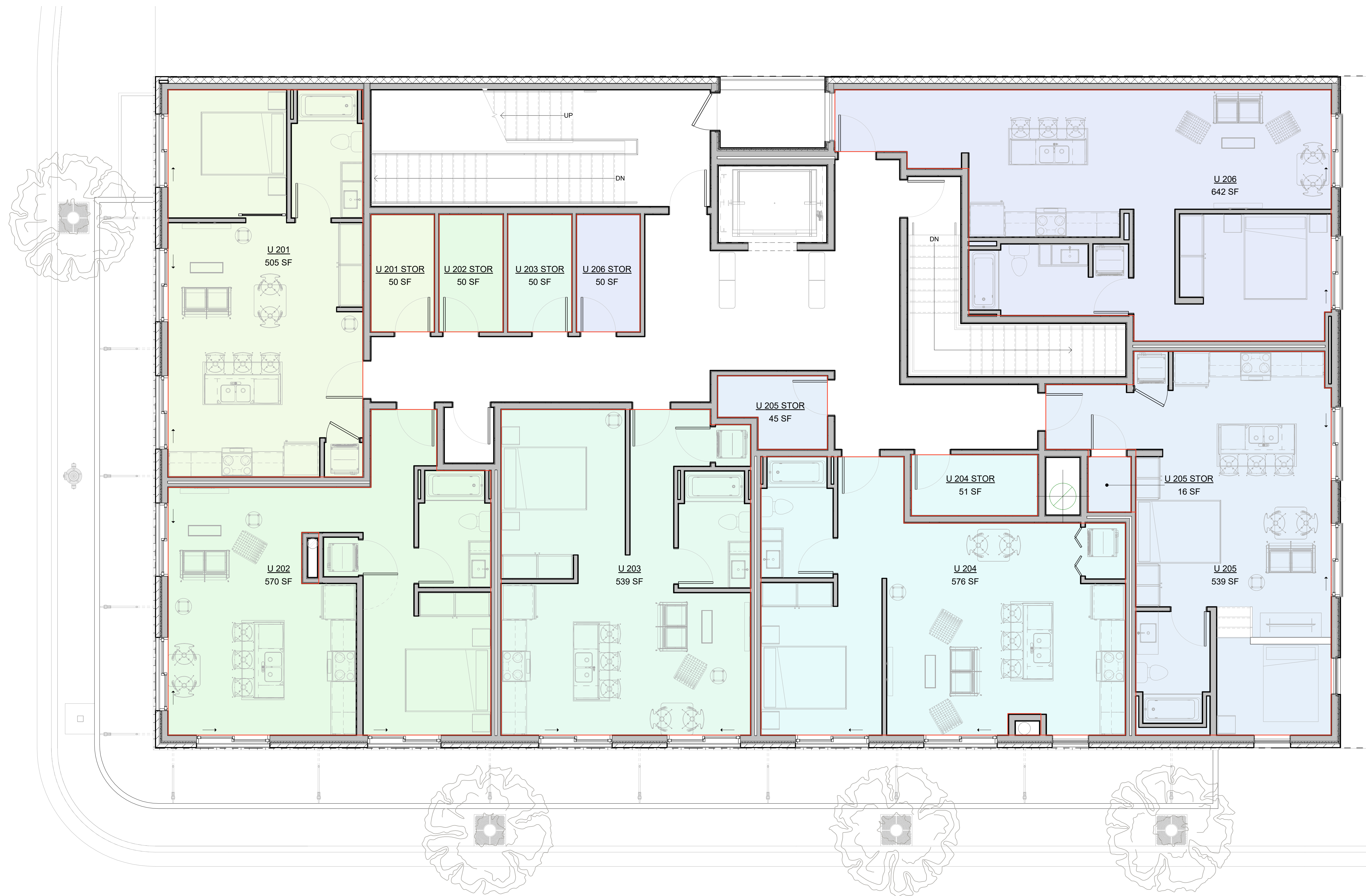
SCALE: 3/32" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

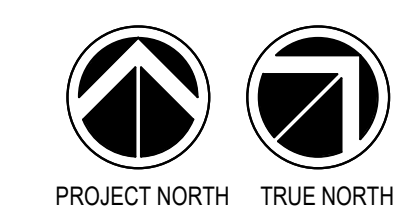




AREA SCHEDULE 2ND FLOOR RESIDENTIAL UNITS	
NAME	NET AREA
U 201	505 SF
U 201 STOR	50 SF
	555 SF
U 202	570 SF
U 202 STOR	50 SF
	620 SF
U 203	539 SF
U 203 STOR	50 SF
	589 SF
U 204	576 SF
U 204 STOR	51 SF
	627 SF
U 205	539 SF
U 205 STOR	45 SF
U 205 STOR	16 SF
	600 SF
U 206	642 SF
U 206 STOR	50 SF
	692 SF
2ND FLOOR TOTAL	3,683 SF

PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS

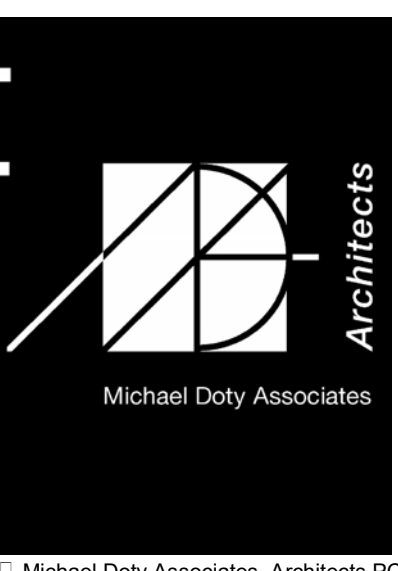
SCALE: 1/4" = 1'-0"



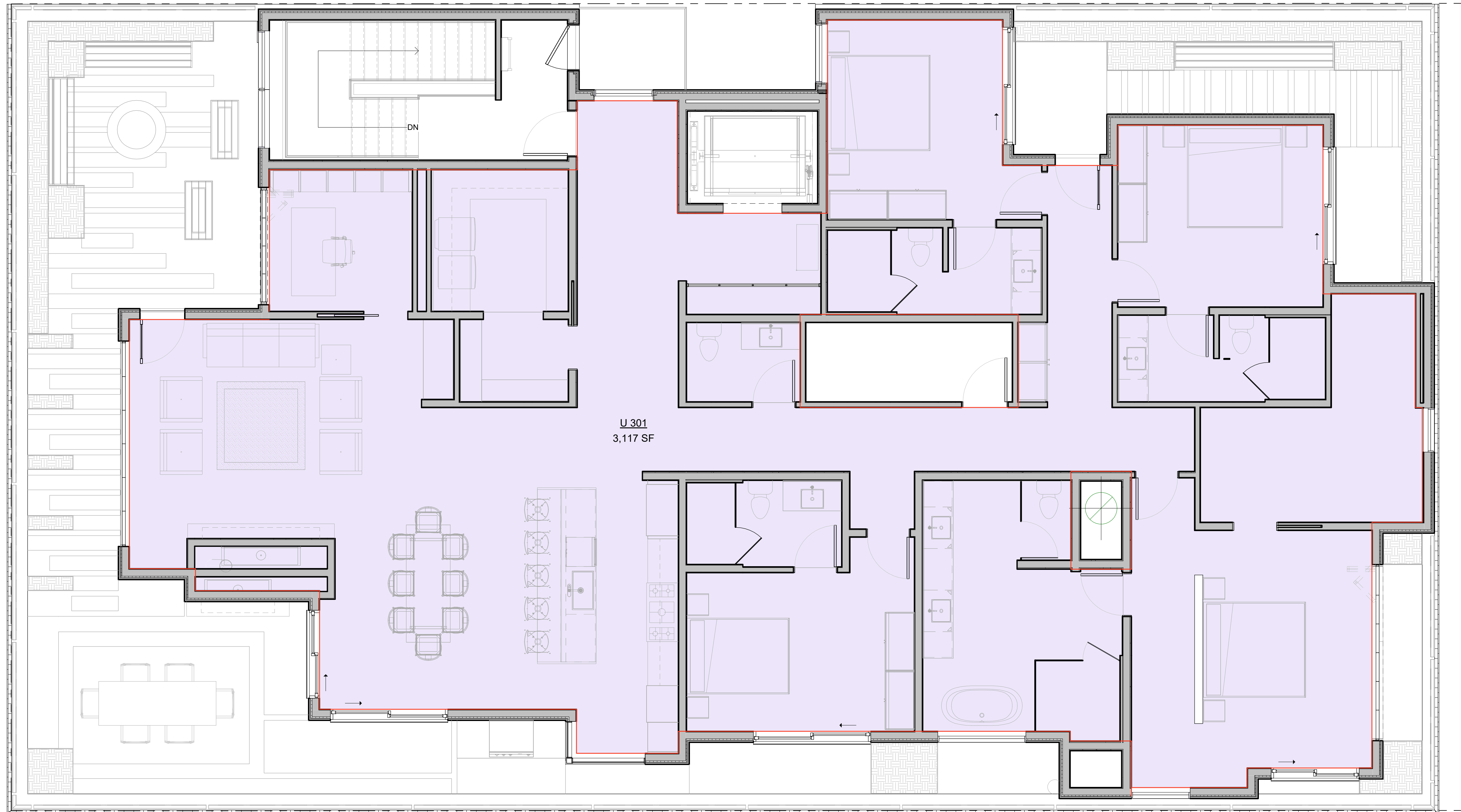
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC



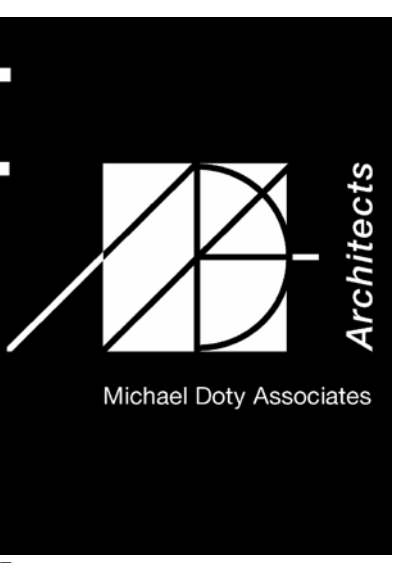
PROPOSED THIRD FLOOR PLAN - NET UNIT AREA

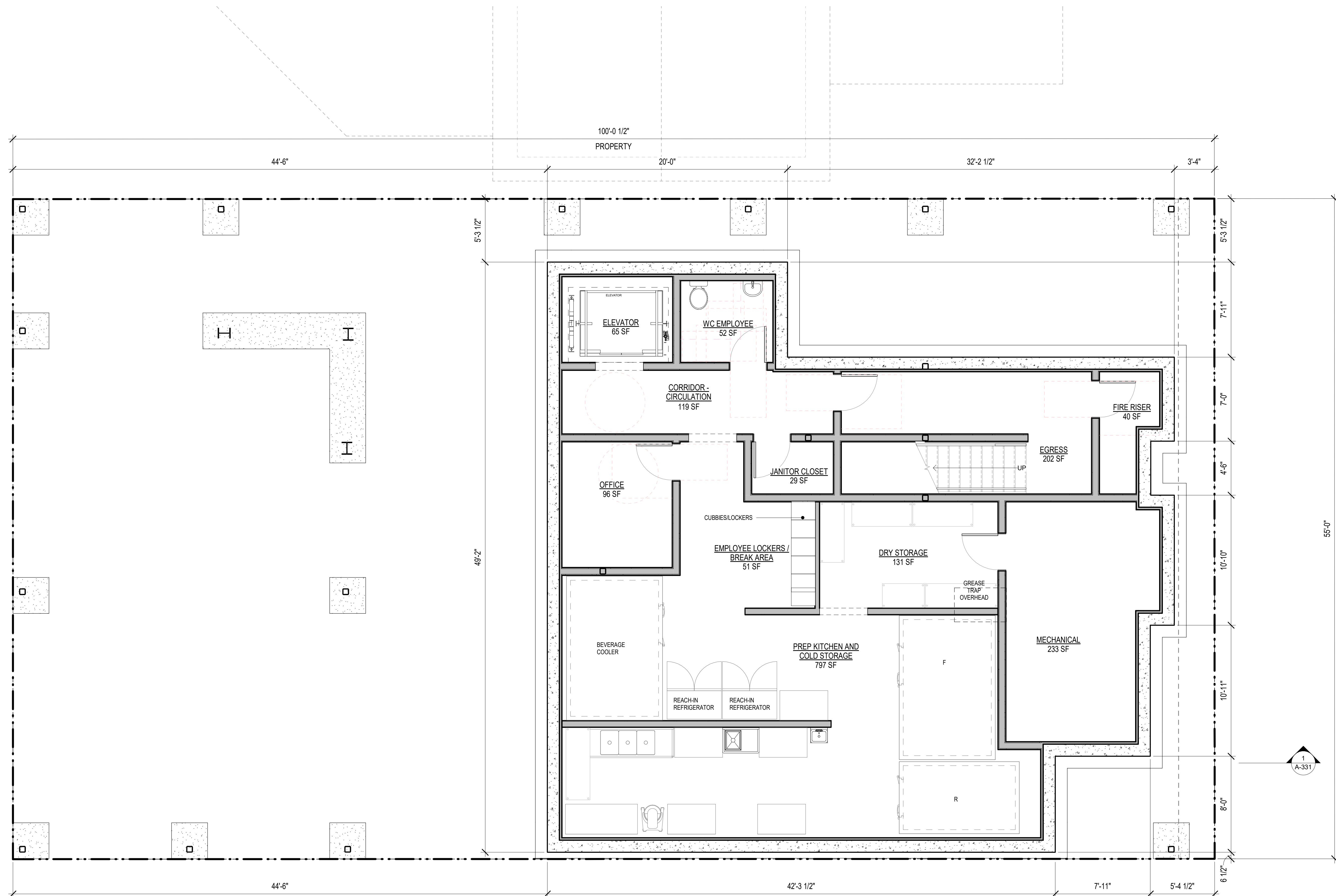
SCALE: 1/4"=1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





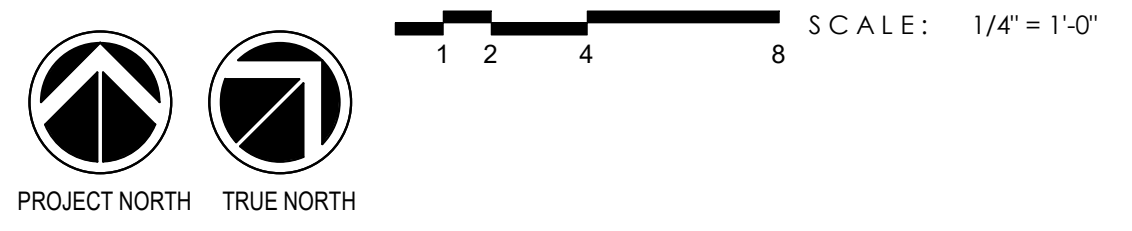
SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

PROPOSED BASEMENT PLAN

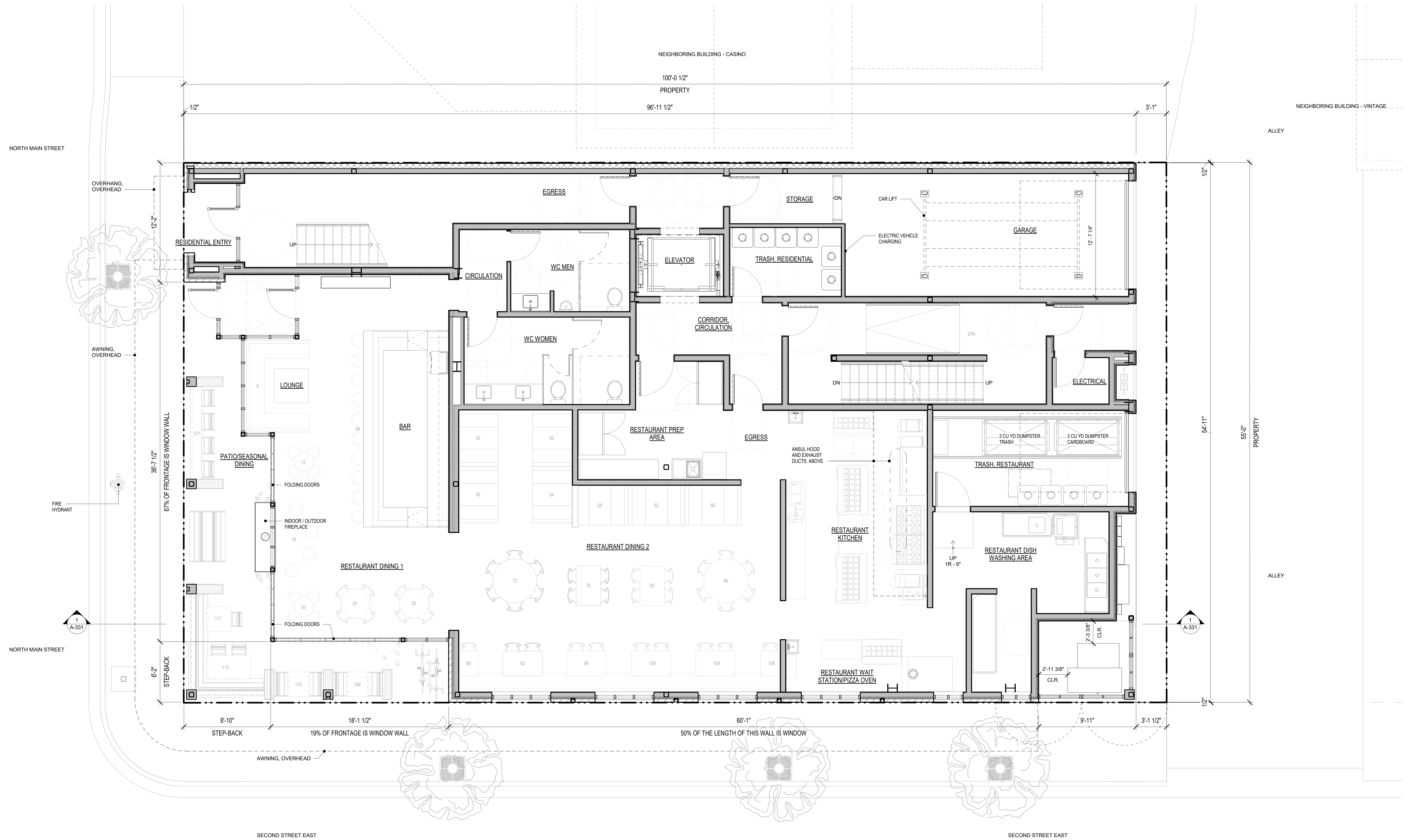


200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





PROPOSED GROUND FLOOR PLAN

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

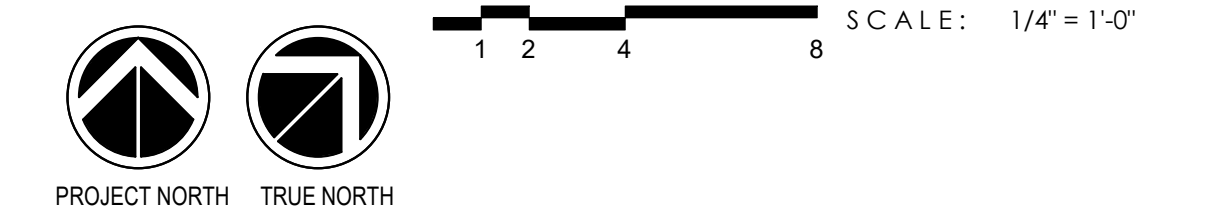
SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

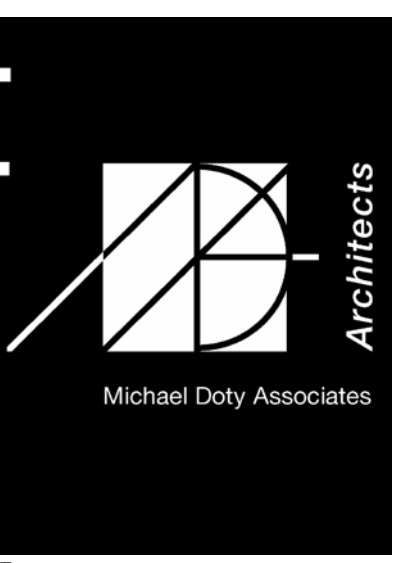
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

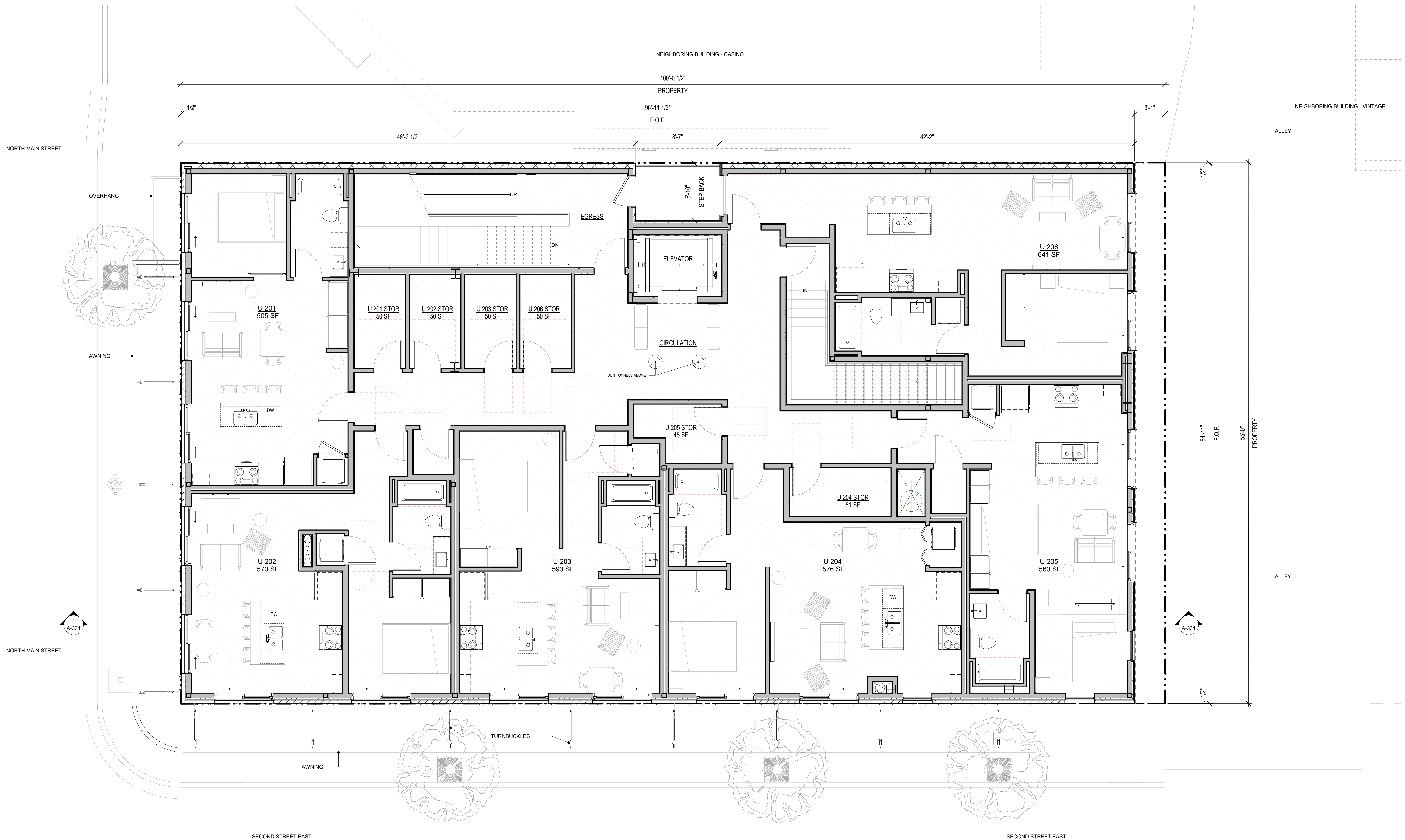


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED SECOND FLOOR PLAN

SITE DIMENSIONS & AREAS

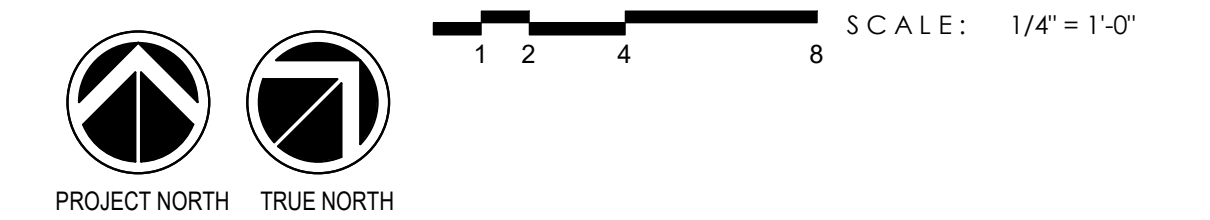
LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

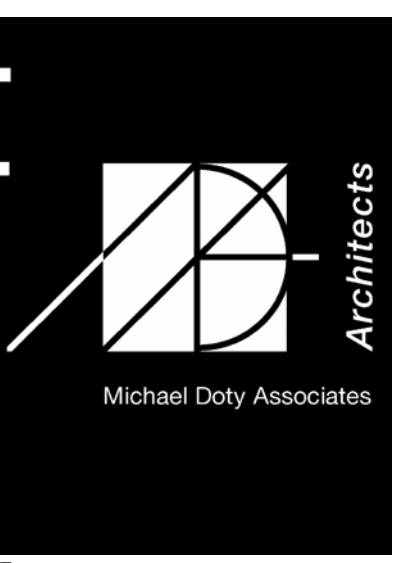
ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

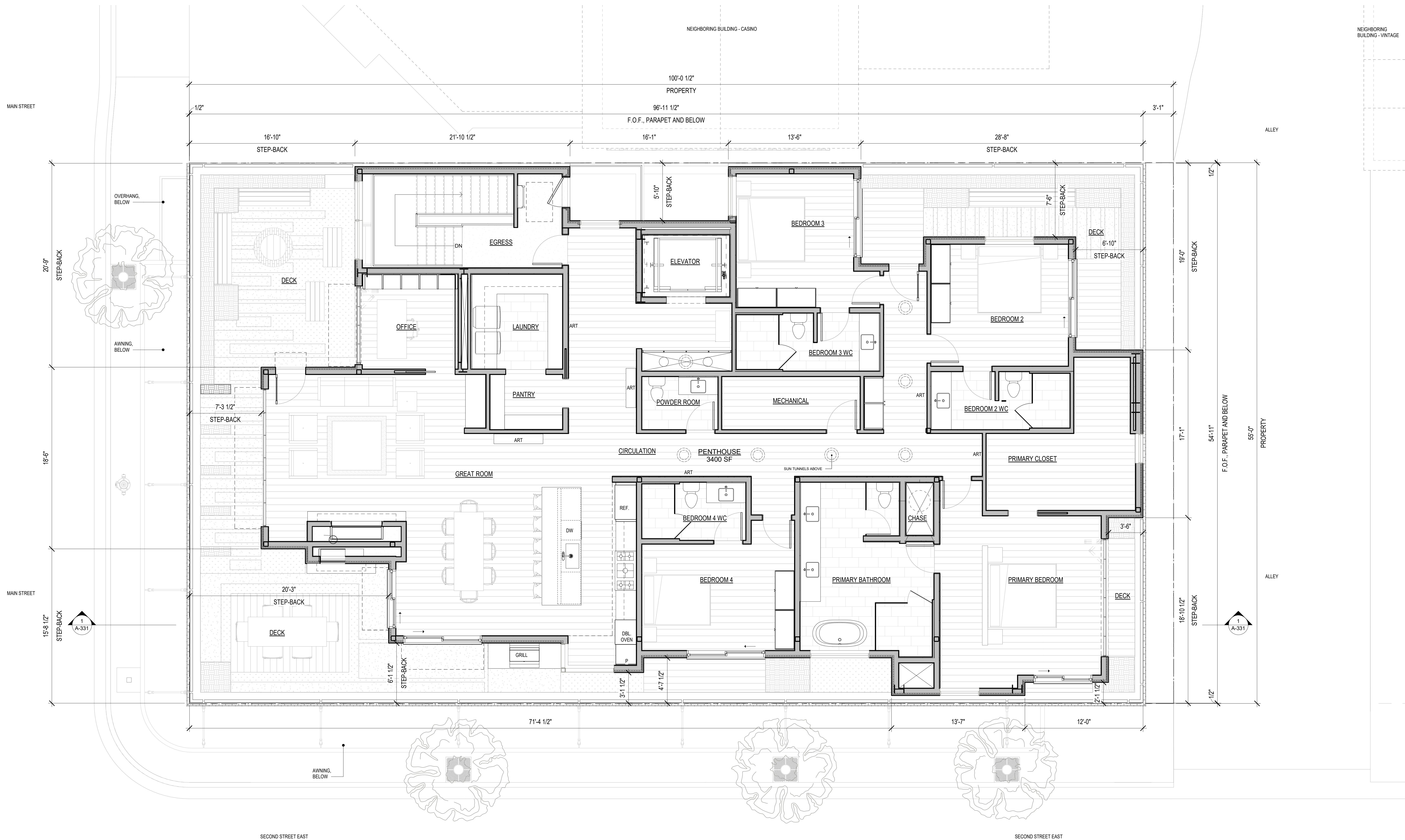


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





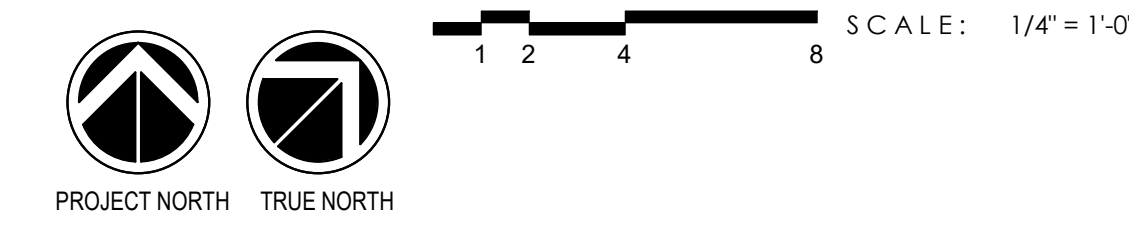
PROPOSED THIRD FLOOR PLAN

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

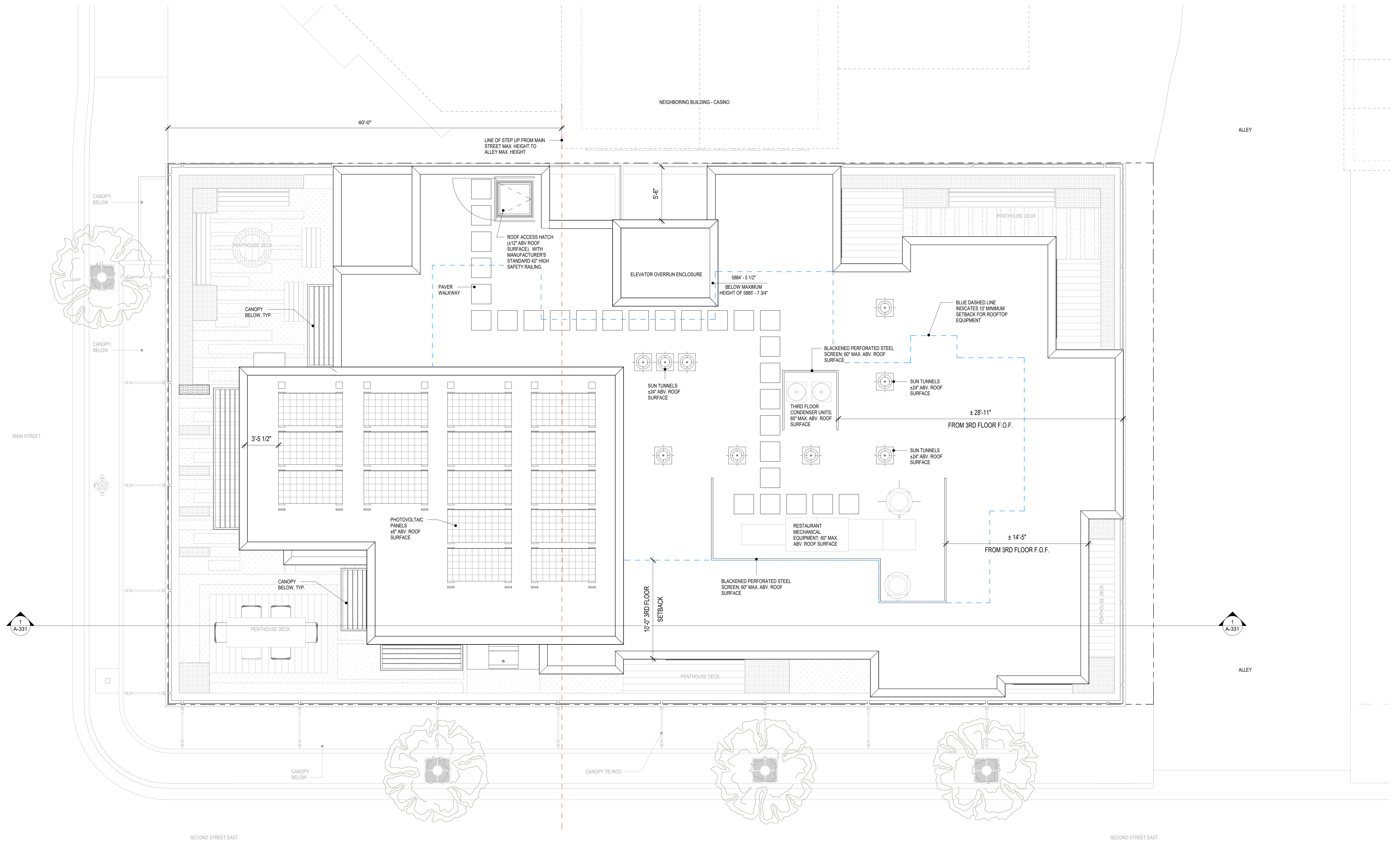


200 NORTH MAIN

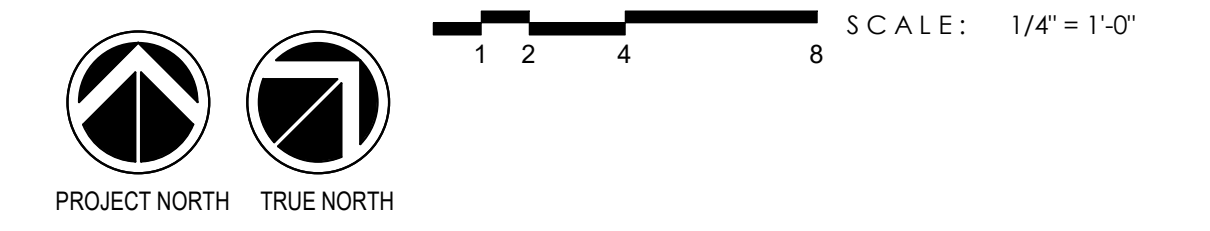
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





PROPOSED ROOF PLAN



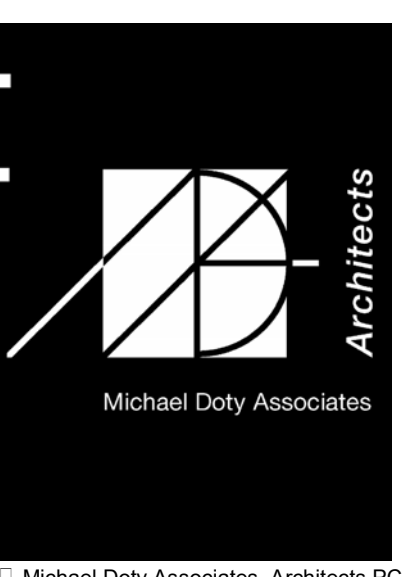
DRAWING NOTES

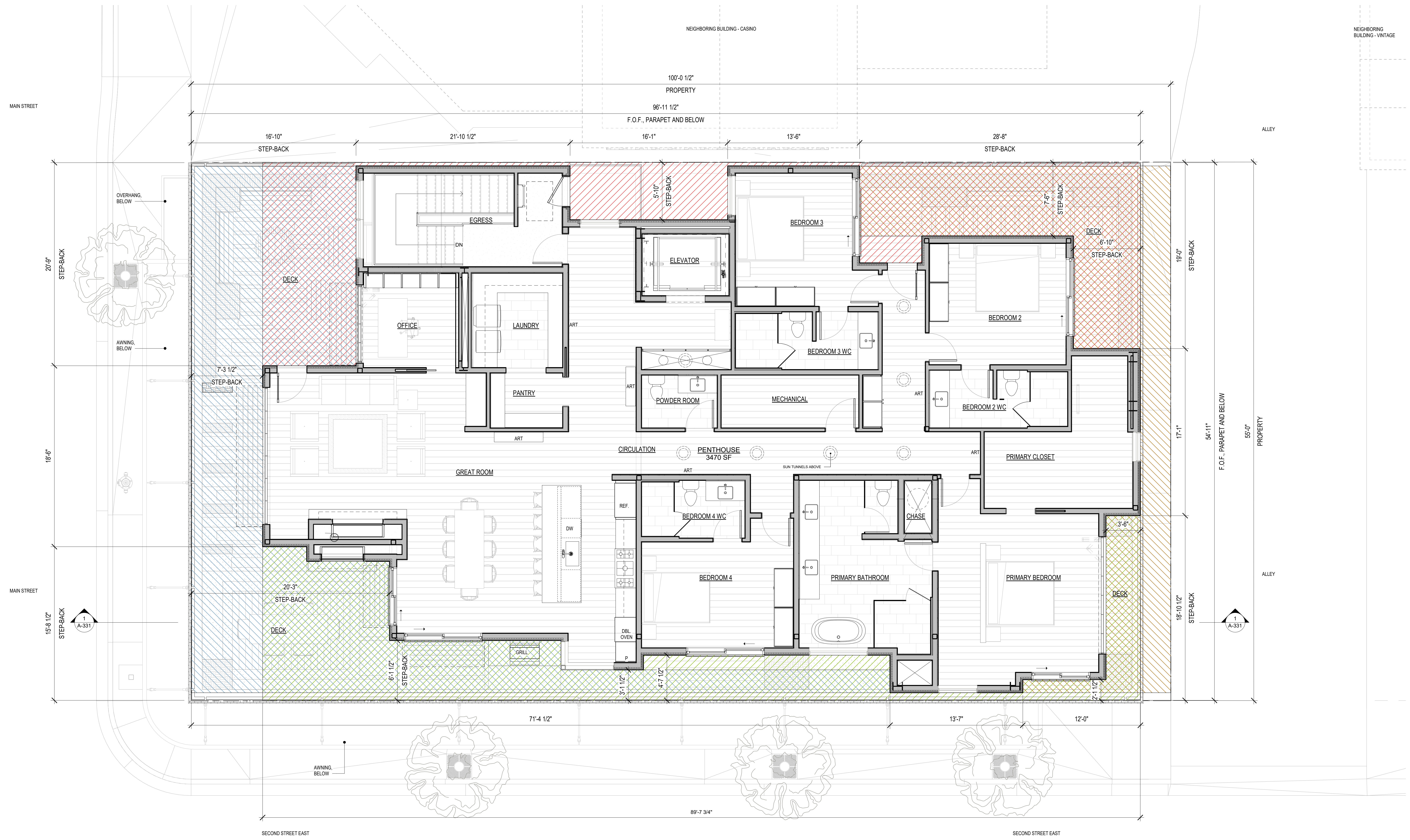
ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

200 NORTH MAIN

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 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





THIRD FLOOR SETBACK DIAGRAM

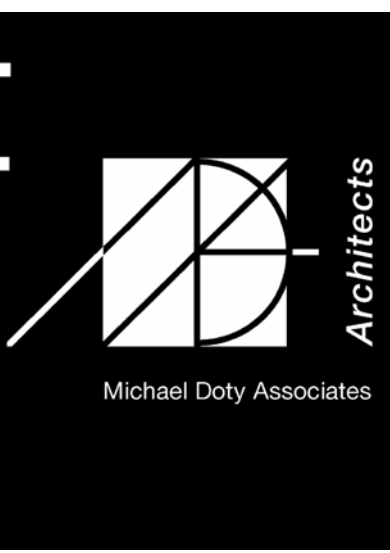
- NORTH WALL: 6'-10" AVERAGE SETBACK
 37% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- SOUTH WALL: 6'-0" AVERAGE SETBACK
 15% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- EAST WALL: 9'-7" AVERAGE SETBACK
 31% OF WALL LENGTH WITHIN 6' OF 3-FOOT ALLEY SETBACK
- WEST WALL: 17'-1" AVERAGE SETBACK
 0% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE

SCALE: 1/4" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

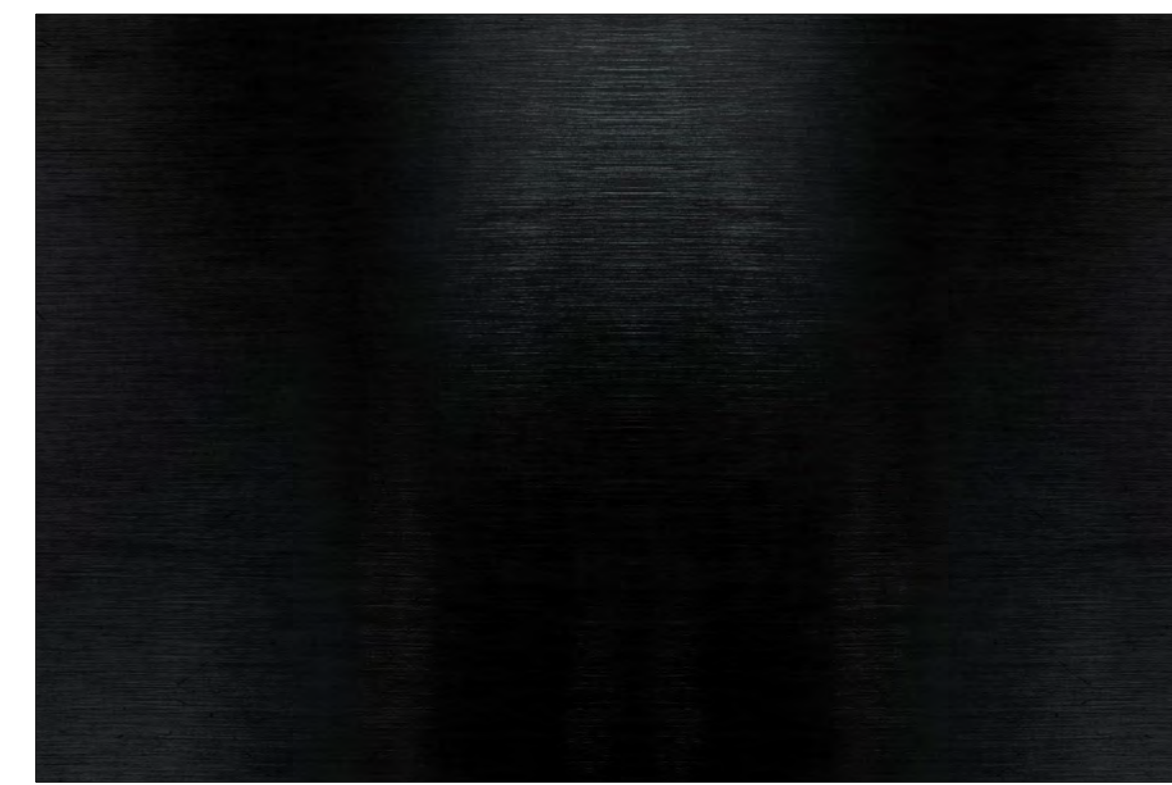




EXTERIOR FINISH 1 (EF-1):
FULL SIZE BRICK, SANDMOLD TEXTURE
RED COLOR, SAND COATING
BELDEN BRICK COMPANY



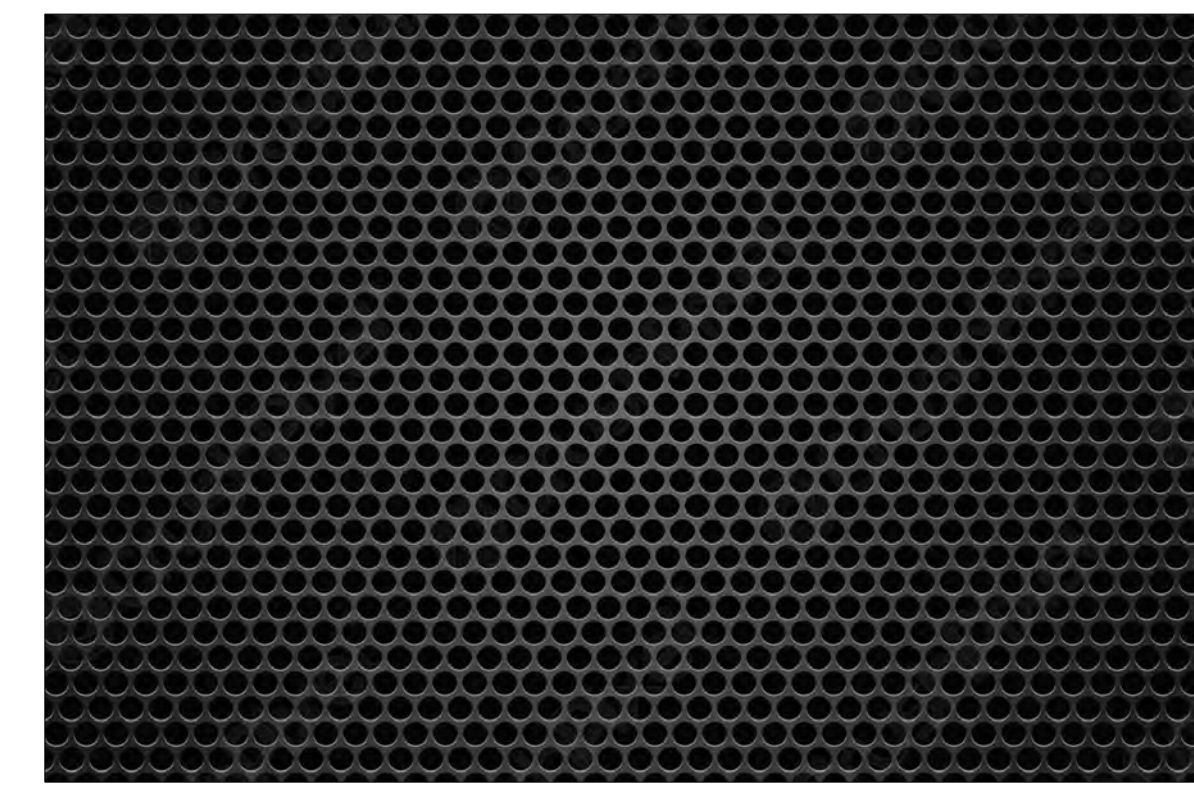
EXTERIOR FINISH 2 (EF-2):
INDIANA LIMESTONE
COLOR: FULL COLOR BLEND



EXTERIOR FINISH 3 (EF-3):
EXTERIOR STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 4 (EF-4):
MATAVERDE PREMIUM DECKING AND SIDING
SOLUTIONS: THERMALLY MODIFIED HEM-FIR



EXTERIOR FINISH 5 (EF-5):
EXTERIOR PERFORATED STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 6 (EF-6):
NEOLITH SINTERED STONE SIDING PANELS;
IRON CORTEN



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



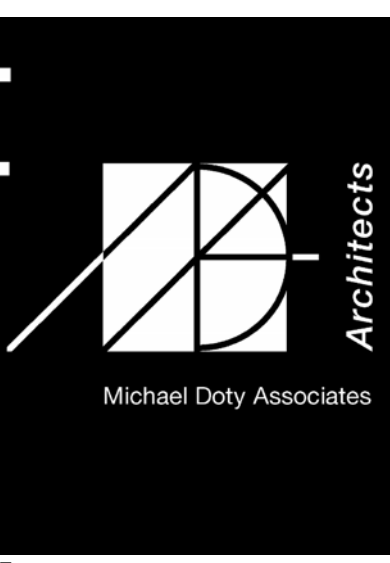
WINDOW AND DOOR SYSTEM
BLACK METAL FINISH

PROPOSED EXTERIOR FINISHES

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - WEST

JUNE 21 - 4:30PM SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

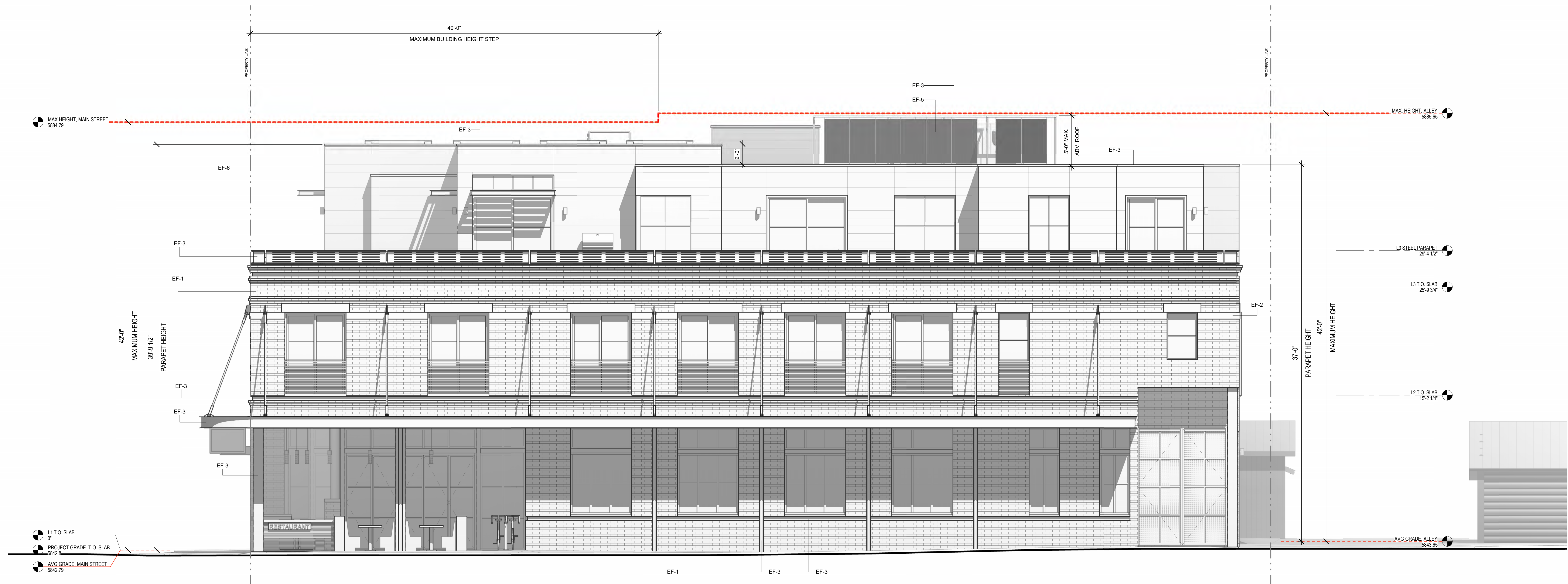
<p>MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE</p> <p>= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"</p> <p>= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS</p> <p>SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77'</p> <p>= 5842.80' + 5842.77' / 2 = 5842.79'</p> <p>WEST PROPERTY LINE MAXIMUM HEIGHT</p> <p>= 5842.79' + 42' = 5884.79' or 5884' 9 1/2"</p>	<p>MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE</p> <p>= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"</p> <p>= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS</p> <p>SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89'</p> <p>= 5843.40' + 5843.89' / 2 = 5843.65'</p> <p>EAST PROPERTY LINE MAXIMUM HEIGHT</p> <p>= 5843.65' + 42' = 5885.65' or 5885' 7 3/4"</p>
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200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





PROPOSED BUILDING ELEVATIONS - SOUTH

SHADOWS: 06/21, 11:00 AM SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

<u>MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE</u>	<u>MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE</u>
= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"	= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"
= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS	= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS
SW CORNER GROUND ELEVATION = 5842.80'	SE CORNER GROUND ELEVATION = 5843.40'
NW CORNER GROUND ELEVATION = 5842.77'	NE CORNER GROUND ELEVATION = 5843.89'
= $5842.80' + 5842.77' / 2 = 5842.79'$	= $5843.40' + 5843.89' / 2 = 5843.65'$
<u>WEST PROPERTY LINE MAXIMUM HEIGHT</u>	<u>EAST PROPERTY LINE MAXIMUM HEIGHT</u>
= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2"$	= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4"$

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - EAST

SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= $5842.80' + 5842.77' / 2 = 5842.79'$

WEST PROPERTY LINE MAXIMUM HEIGHT

= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2''$

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= $5843.40' + 5843.89' / 2 = 5843.65'$

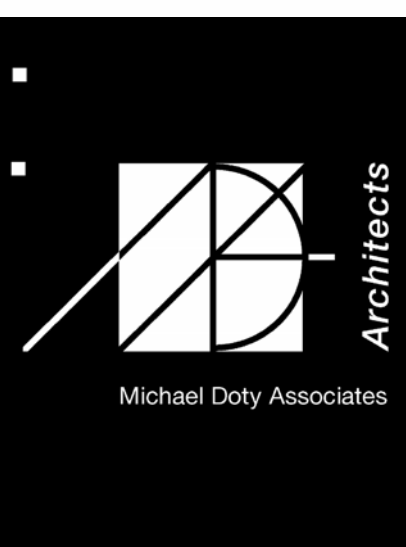
EAST PROPERTY LINE MAXIMUM HEIGHT

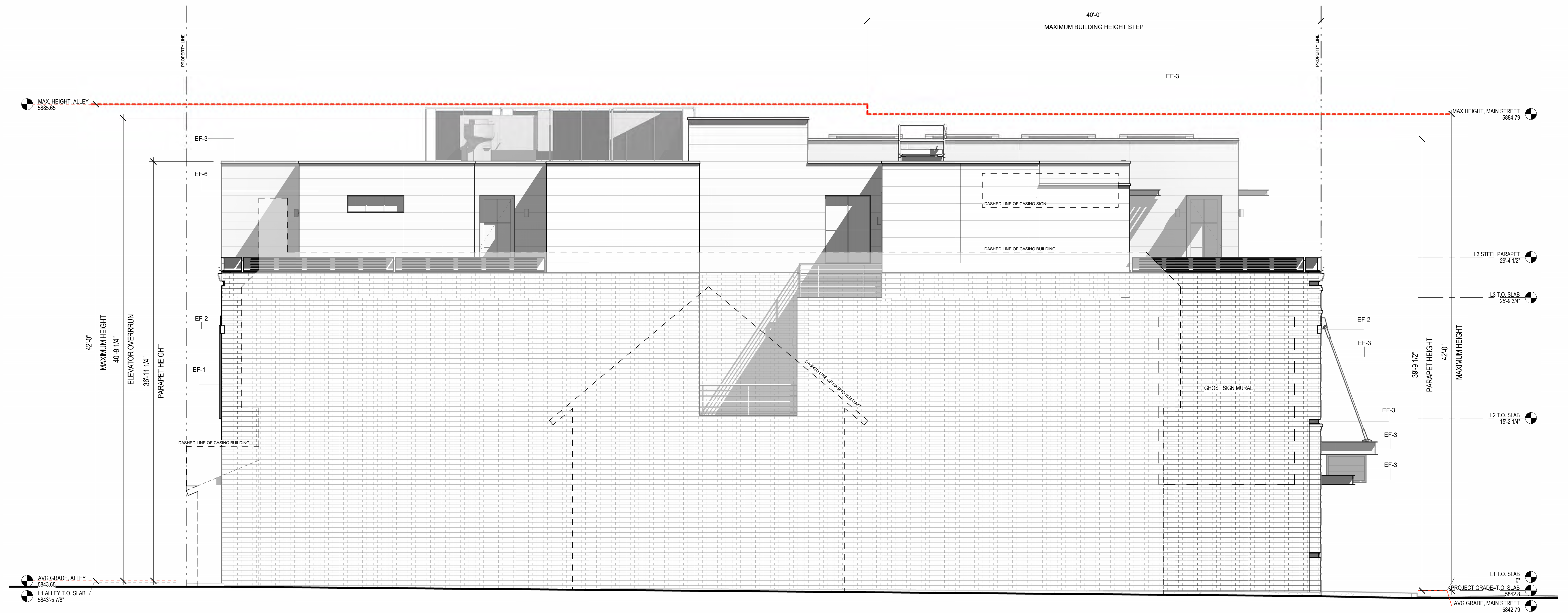
= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4''$

200 NORTH MAIN

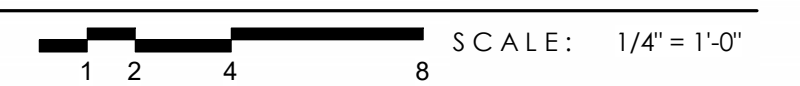
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - NORTH



BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= 5843.40' + 5843.89' / 2 = 5843.65'

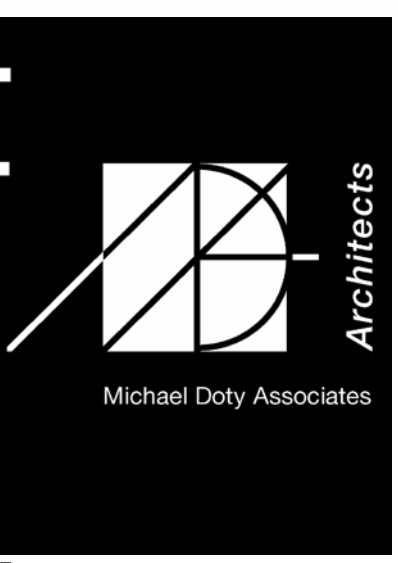
EAST PROPERTY LINE MAXIMUM HEIGHT

= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

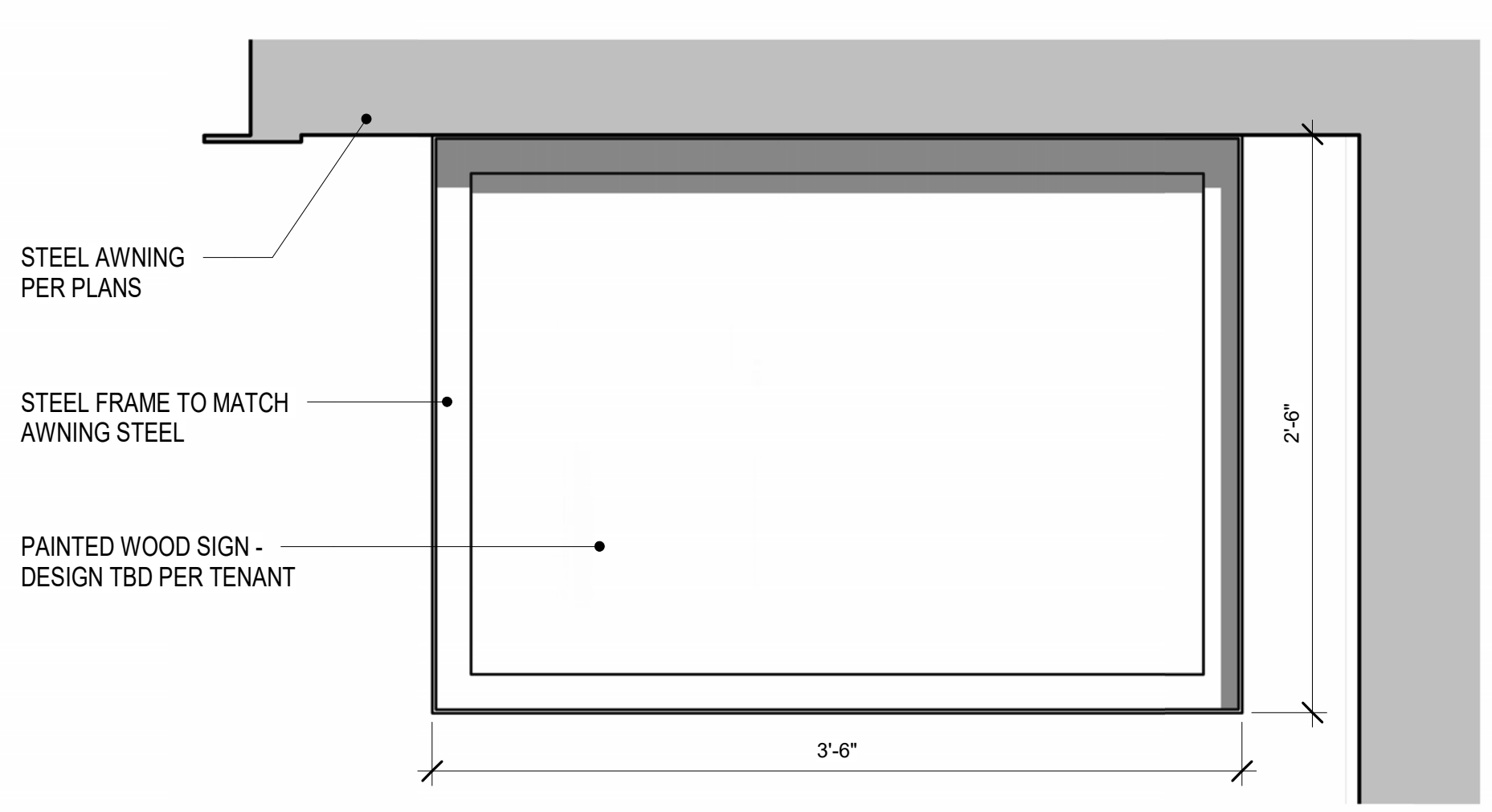
DESIGN REVIEW 2
1/17/2024





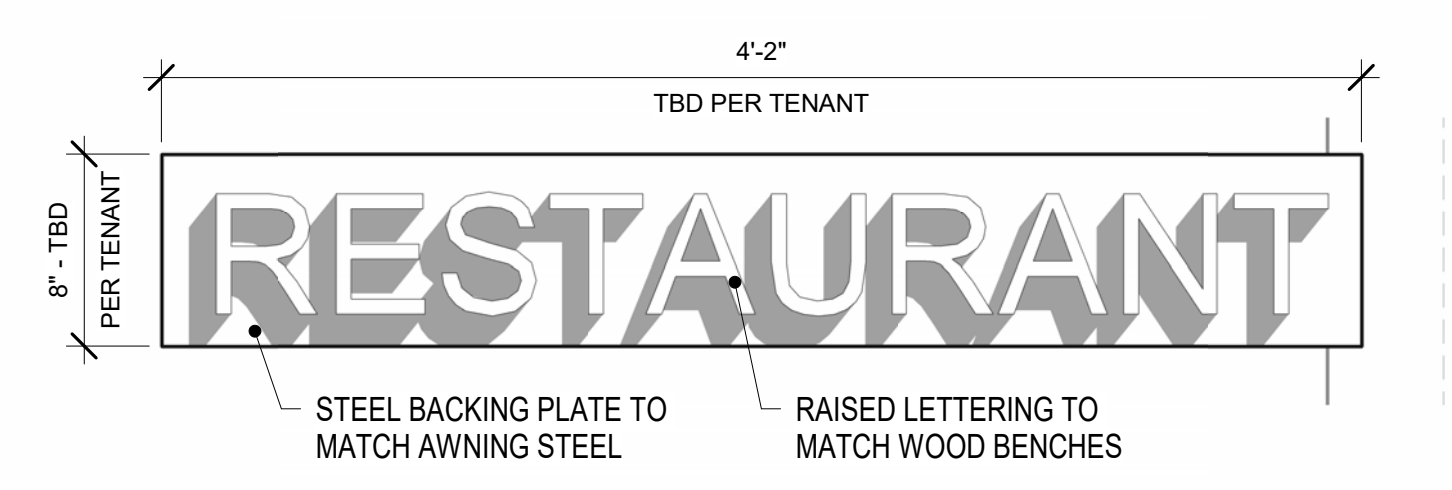
2ND STREET FRONTAGE SIGNAGE ②

1 2 4 8 1/4" = 1'-0"



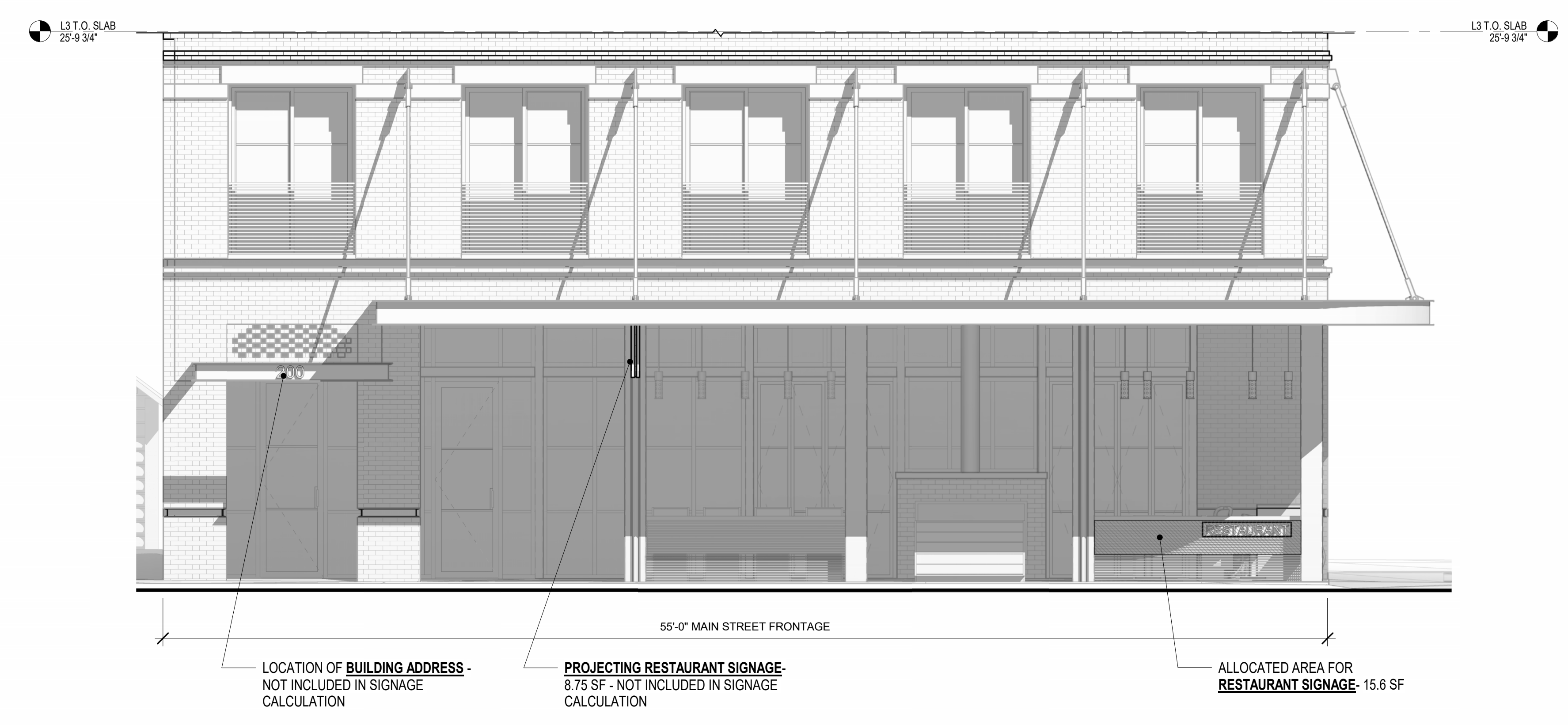
PROJECTING RESTAURANT SIGNAGE ④

1 1/2" = 1'-0"



RESTAURANT SIGNAGE ③

1 1/2" = 1'-0"



MAIN STREET FRONTAGE SIGNAGE ①

1 2 4 8 1/4" = 1'-0"

PROPOSED BUILDING SIGNAGE

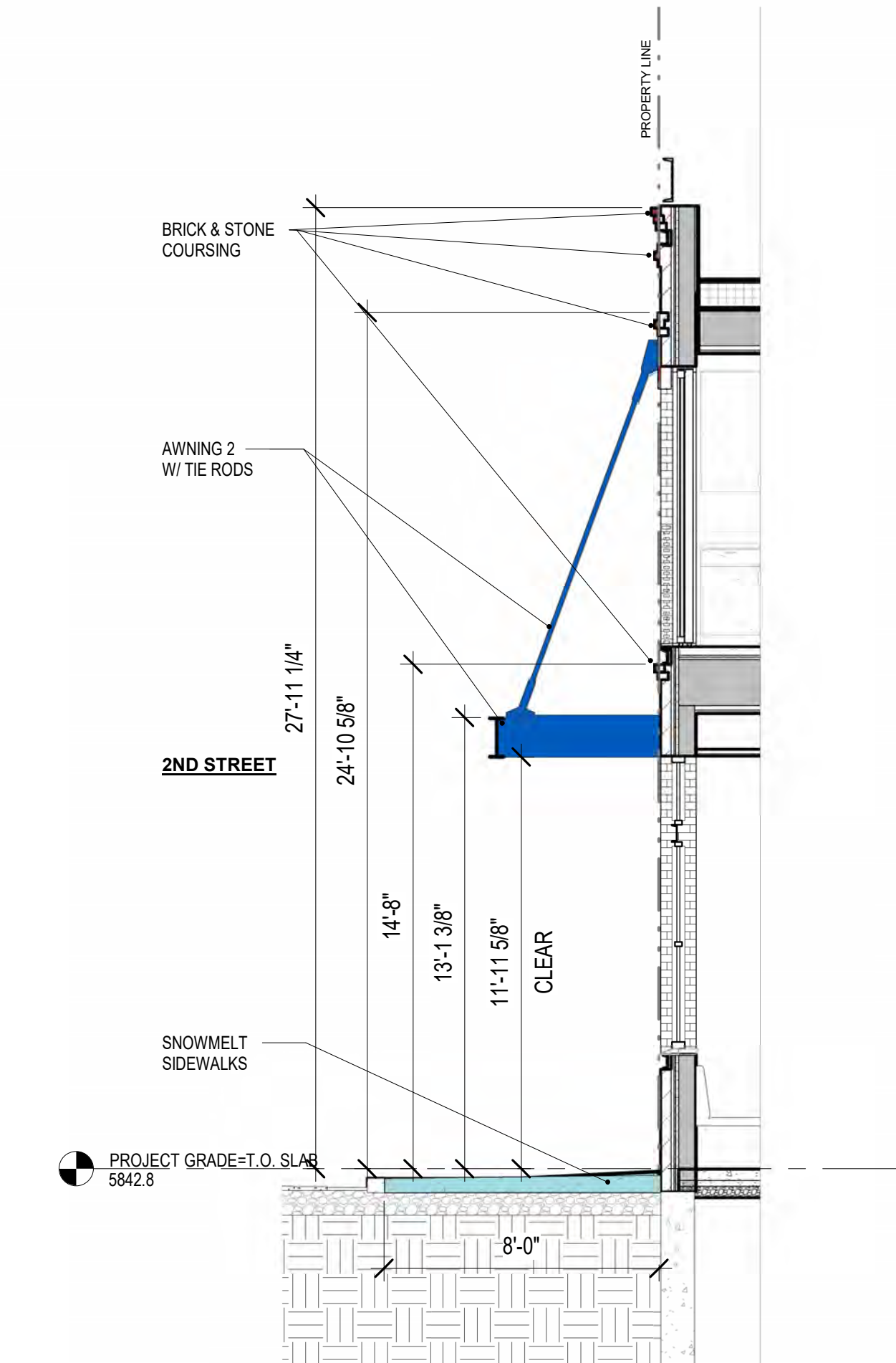
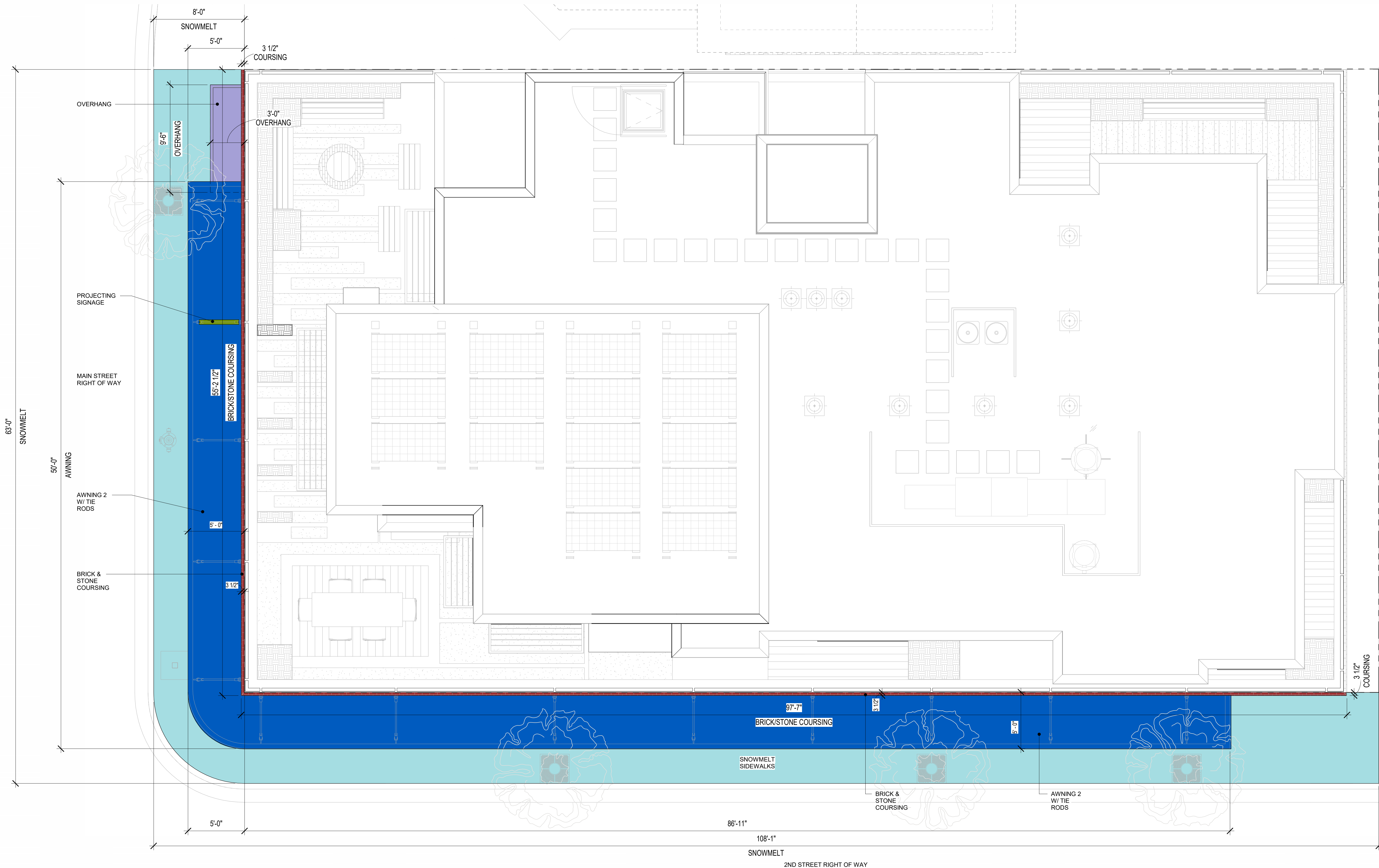
SCALE: As indicated

200 NORTH MAIN

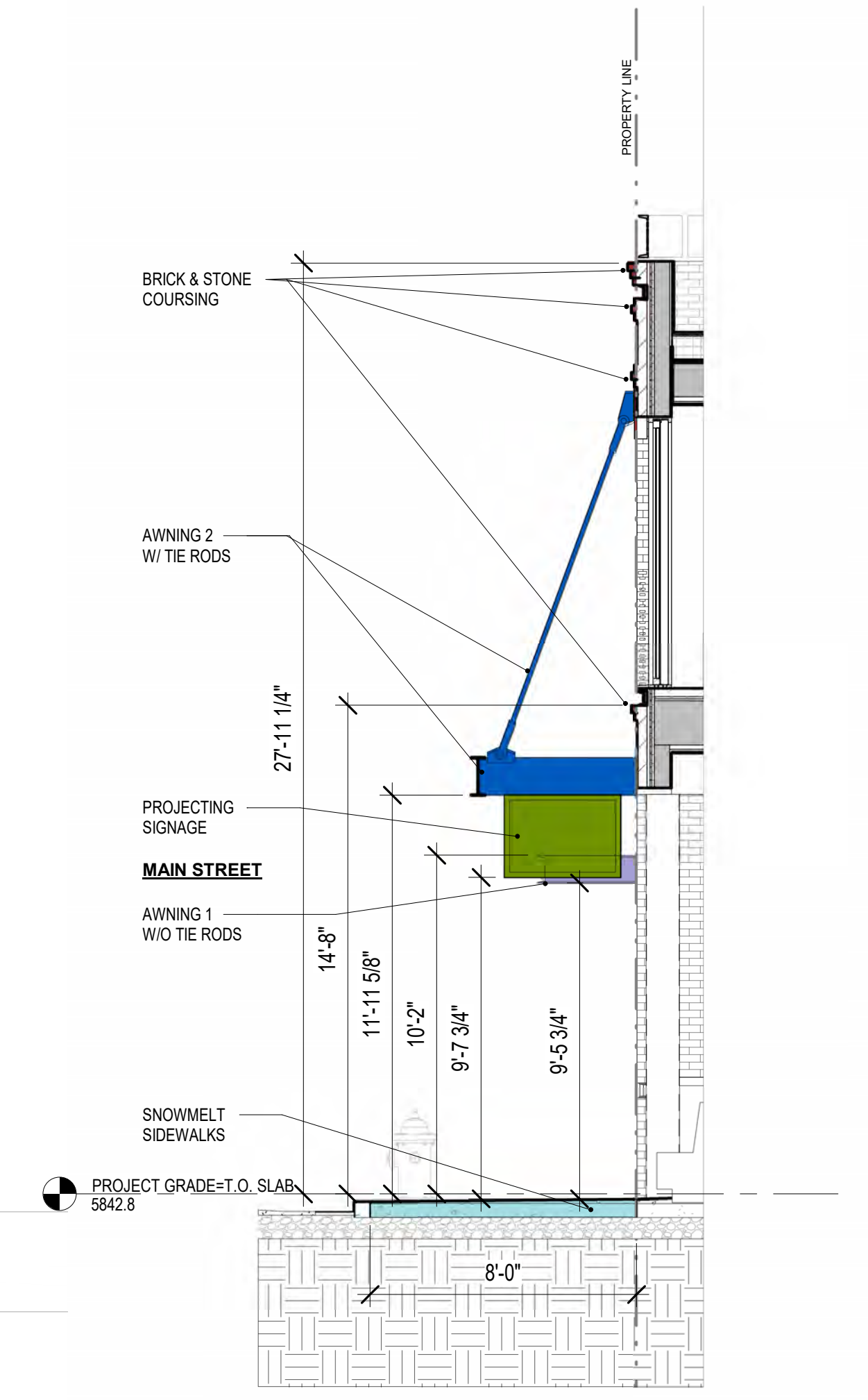
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024










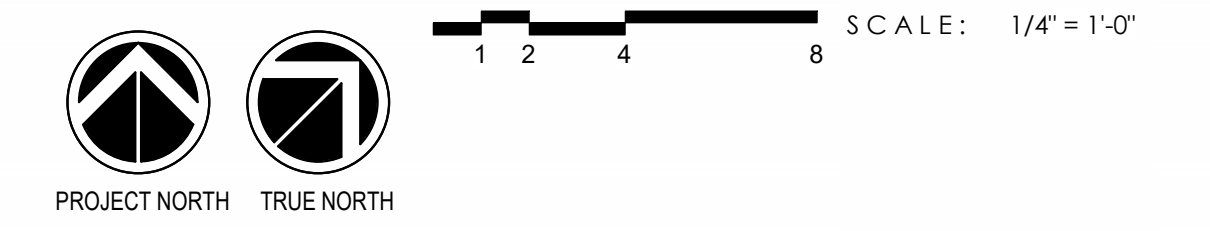
2ND STREET FACADE



MAIN STREET FACADE

PROPOSED RIGHT-OF-WAY ENCROACHMENT

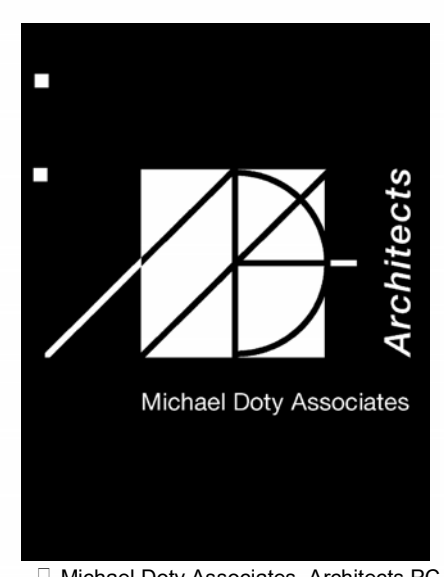
ENCROACHMENT AND CONDITIONAL USE LEGEND	
	AWNING 1 WITHOUT TIE RODS 2'-11 1/2" ENCROACHMENT ON MAIN STREET RIGHT OF WAY
	AWNING 2 WITH TIE RODS 5'-0" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY; INCLUDES COMMERCIAL AND STREET LIGHTING
	BRICK & STONE COURSING 3 1/2" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY
	SIDEWALK SNOW MELT 8' ENCROACHMENT (FULL SIDEWALK WIDTH) ON MAIN STREET & 2ND STREET RIGHT OF WAY
	PROJECTING SIGNAGE 4' ENCROACHMENT ON MAIN STREET RIGHT OF WAY



200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





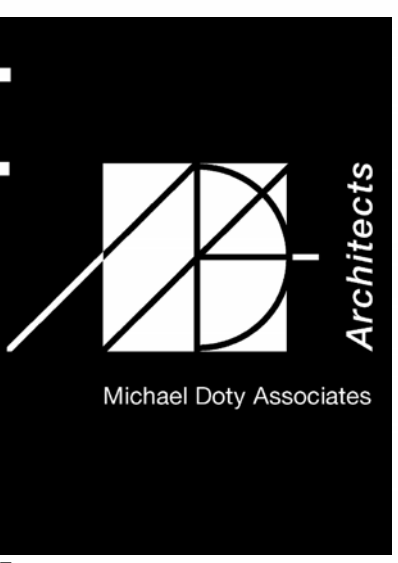
PROPOSED BUILDING SECTION

SCALE: 1/4" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



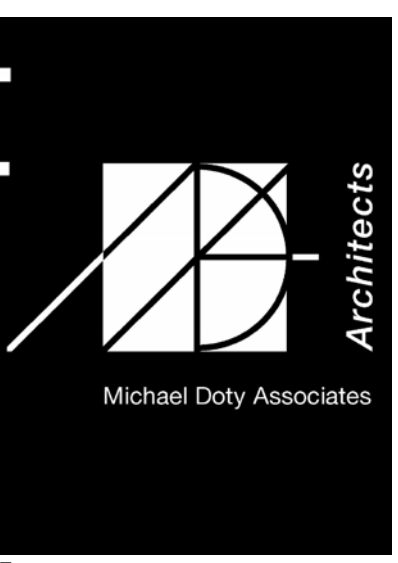


ORIGINAL DESIGN WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



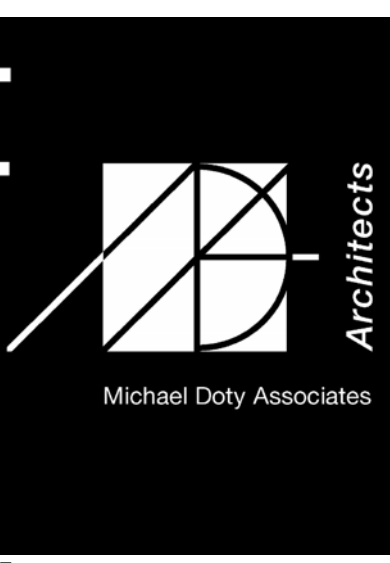


PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



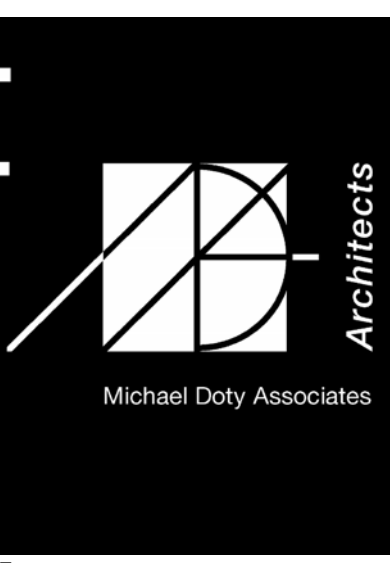


EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



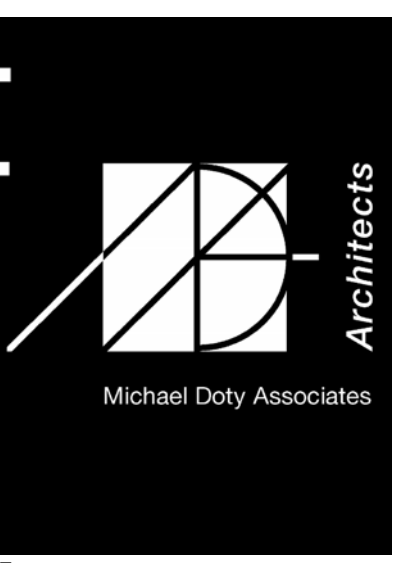


PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



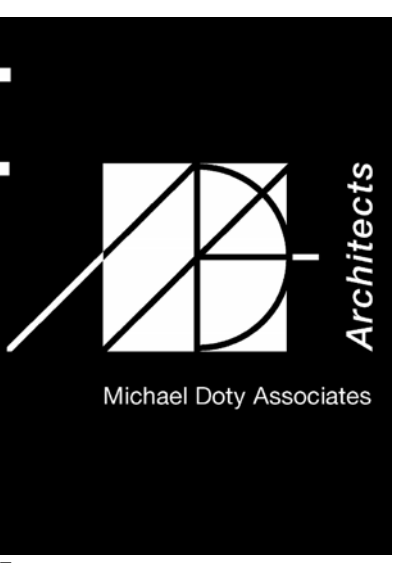


ORIGINAL DESIGN SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



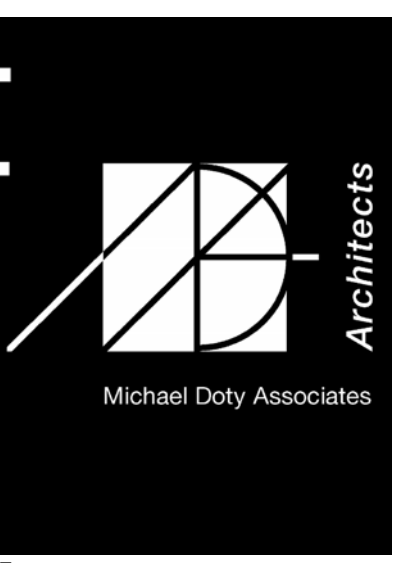


PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



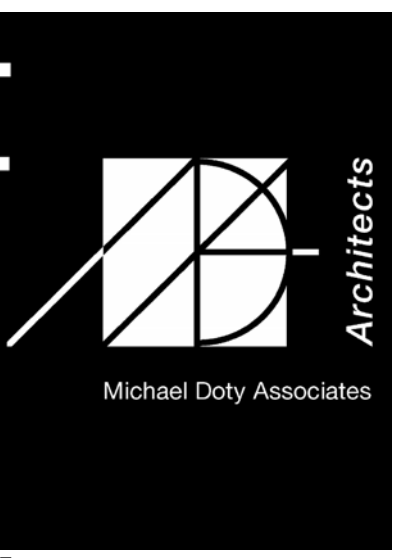


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



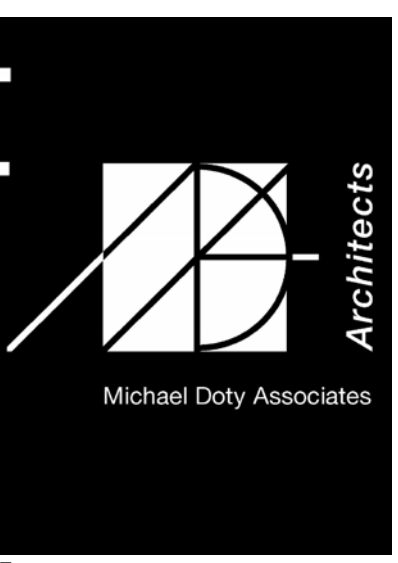


PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



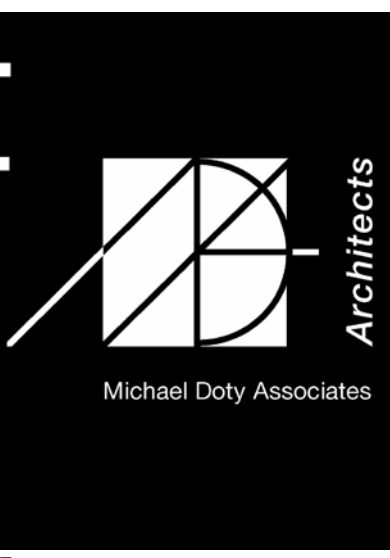


EXISTING NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



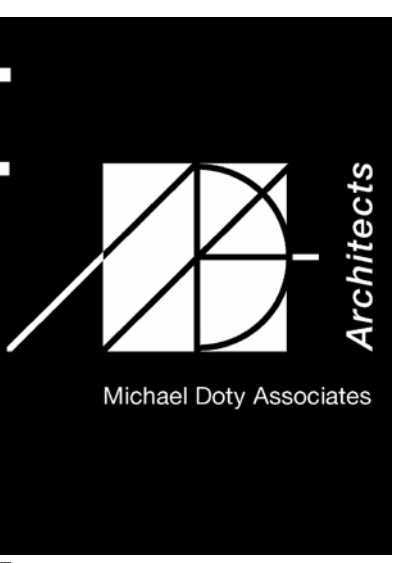


PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



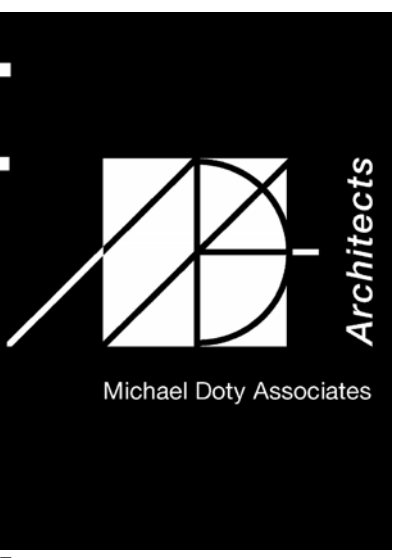


PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



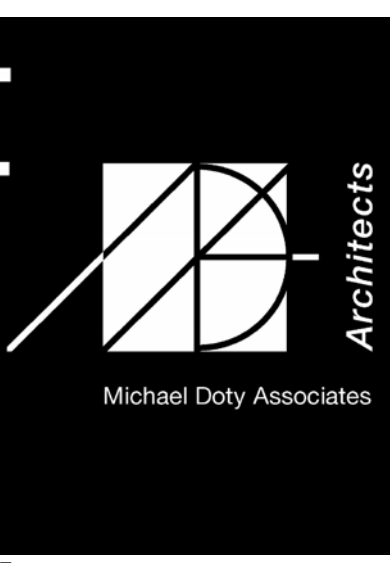


EXISTING EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



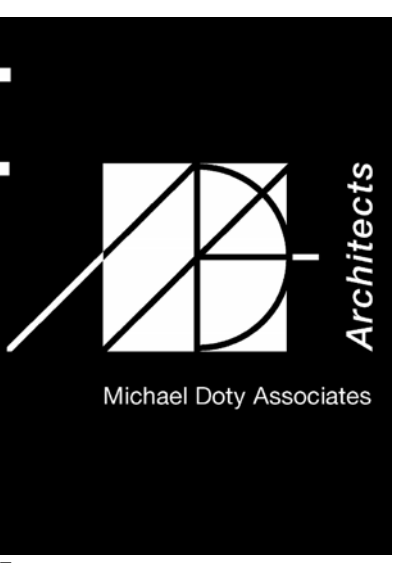


PROPOSED REVISION EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



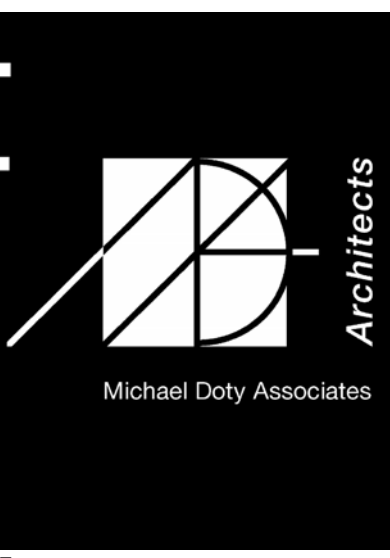


EXISTING MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



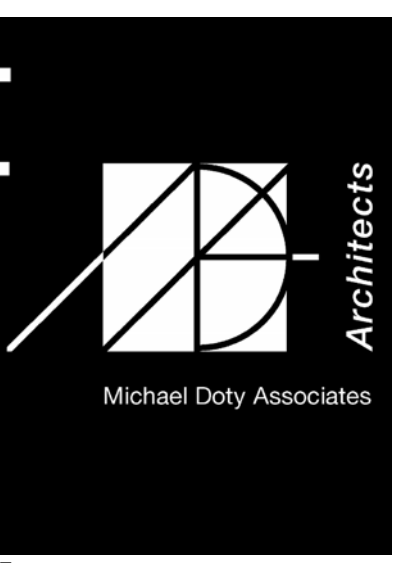


ORIGINAL DESIGN MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

