



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JUNE 17, 2026**

PROJECT: Brown Residence Addition

FILE NUMBER: P26-018

APPLICATION TYPE: Mountain Overlay Design Review

REPRESENTATIVE: Mike Allaire – Michael Doty Associates Architects (architect)

PROPERTY OWNER: Ron Brown, Trustee; Mary Brown, Trustee

REQUEST: Mountain Overlay Design Review application for the construction of a 2,138 square foot addition to an existing single-family residence.

LOCATION: 200 Lava Street (Lot 2A, Block 1, Lava Street Subdivision)

ZONING: Limited Residential (LR), Mountain Overlay District (MO)

REVIEWER: Paige Nied – Associate Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 27, 2026. The public hearing notice was published in the Idaho Mountain Express on May 27, 2026. A notice was posted on the project site and the city's website on June 10, 2026. Story poles were documented on the project site as of June 10, 2026.

EXECUTIVE SUMMARY

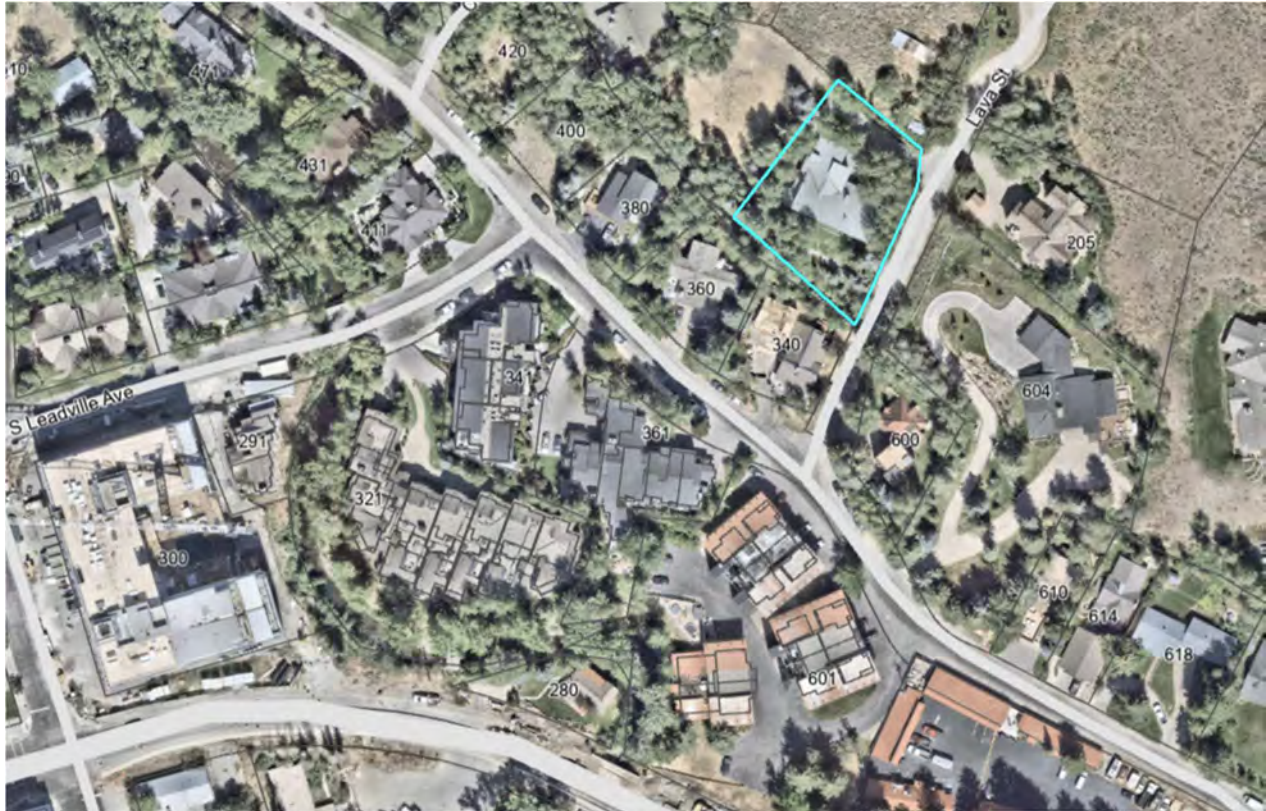
The applicant is proposing to construct a 2,138 square foot addition to an existing single-family residence (the “project”), which will add three bedrooms and additional garage space. The project is located at 200 Lava Street (the “subject property”) and is zoned Limited Residential (LR) and is within the Mountain Overlay District (MO). A rendering of the proposed addition on the front and rear of the structure can be seen in Figure 1 below. Project plans and supplemental material are provided in Attachment A.

Figure 1: Renderings of Proposed Project



The subject property is developed with an existing 2,827 square foot single-family residence that was constructed in 2006. See Figure 2 below for a vicinity map of the property. The subject property is located in the MO and is thus subject to MO Design Review. Because the lot is 19,512 square feet in size, the project would ordinarily be subject to Preapplication MO Design Review. The Administrator waived the requirement pursuant to Ketchum Municipal Code (KMC) §16.07.030.C.1.b.3, finding that the project would have no significant impact. While the addition nearly doubles the home's floor area, most of the additional floor area is located beneath the existing first floor and within the existing 4,748-square-foot building footprint. The project adds only 655 square feet of new building footprint/lot coverage, resulting in relatively limited additional site disturbance and visual impact.

Figure 2: 200 Lava Street (blue) Vicinity Map



Pursuant to KMC §16.02.070.4, design review is required for the “construction or placement of buildings or structures, including additions to any such structures or buildings existing at the effective date hereof, upon real property within the Mountain Overlay District.” The project is subject to all MO Design Review criteria and standards specified in KMC §16.02.070.5 as well as all applicable Design Review standards specified in KMC §16.07.030.C.

As conditioned, staff believes the project conforms to the zoning and dimensional standards requirements as well as the Design Review and MO Design Review criteria. Therefore, staff recommends approval of the MO Design Review application.

BACKGROUND

The Planning and Building Department received the MO Design Review application for the project on April 6, 2026. Following the receipt of the application, staff routed the application materials to all city

departments for review. The application underwent two rounds of review before it was scheduled for a public hearing.

ANALYSIS

Pursuant to KMC §16.07.030.C.2.d, the Commission shall determine the following prior to granting Design Review approval:

1. The project does not jeopardize the health, safety, or welfare of the public.
2. The project generally conforms with the design-related goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this section, and any other standards in this Code, including §16.04.080, Design Review, and where applicable, §16.02.060.D MO: Mountain Overlay District.”

Criteria 1 & Criteria 2

Comprehensive Plan & Mountain Overlay Vision

The subject property is designated Low-Density Residential (LDR) in the 2025 Comprehensive Plan and is located within the MO. Together, these frameworks emphasize preservation of neighborhood character while carefully limiting hillside impacts.

Low-Density Residential (LDR):

The LDR designation is intended to maintain predominantly single-family neighborhoods characterized by varied lot sizes, mature landscaping, and low-density development (generally one to five units per acre). While incremental change is anticipated, such as infill, lot subdivision, or accessory dwelling units, new development should reinforce existing neighborhood patterns, including building orientation, spacing between structures, and the presence of vegetation. The overall goal is to support efficient use of land while preserving the established residential character and scale.

Mountain Overlay District:

The MO places additional emphasis on protecting Ketchum’s hillsides as a defining community asset. Development should minimize disturbance to natural topography, avoid steep slopes where feasible, and be sited on the most suitable (typically lowest and least visible) portion of the property. Projects are expected to limit grading, preserve native vegetation, and integrate with the natural landscape to limit visual impacts when viewed from public vantage points.

Combined Intent for the Site:

For properties such as 200 Lava Street, the combined LDR and MO policies direct development to balance neighborhood compatibility with environmental sensitivity. This includes maintaining the low-density residential character while ensuring that site design, building footprint, and overall disturbance are carefully managed to preserve hillside conditions and scenic qualities.

While the MO emphasizes preservation of natural topography and minimization of disturbance, the subject property is located within an established neighborhood and is entirely previously disturbed. The site is currently improved with an existing single-family residence and associated grading, landscaping, and adjacent roadway improvements. The property does not contain slopes exceeding 25 percent, and no portion of the proposed development extends beyond the existing limit of the disturbance on the site.

The purpose of the MO is not solely about minimizing site disturbance; it is also intended to protect the scenic character of visible hillsides and minimize visual impacts from public viewpoints. From a visual standpoint, the existing residence is nestled within a mature tree canopy that continues north and south of the property. As shown on Sheet 1.04 in Attachment A, the residence does not have a visual impact from the various public vantage points provided.

Overall, staff believes that the goals and policies of the comprehensive plan related to hillside development are met with the project. By limiting the proposed development to an existing disturbed area, the project supports the plan's goals of preserving hillside character and minimizing site disturbance.

Criteria 3: Design Review Standards and Zoning Regulations

Conformance with Design Review Improvements and Standards

Planning staff reviewed the project for conformance with all design review standards and required improvements. Additionally, during department review, the City Engineer and Utilities, Fire, and Streets Departments reviewed the project for conformance with driveway standards, Fire Code, drainage standards, and utility requirements. Staff finds all the design review improvements and standards to be met with the application. Please see Attachment B for staff's comprehensive design review standards analysis. Below is an overview of some of the more noteworthy design review criteria for the proposed project.

Compatibility of Design (KMC §16.04.080.C.4.a) and Architectural Features (KMC §16.04.080.C.5.b)

Staff finds the proposed addition to be compatible with the character of the surrounding neighborhood. The design incorporates varied roof forms, articulation of wall planes, and a combination of materials that reduce perceived mass and provide visual interest. The proposed materials and architectural features are generally consistent with the existing residence and surrounding development.

Conformance with Mountain Overlay Standards

Staff finds that the proposed project is consistent with the intent of the MO Design Review standards, particularly as they relate to minimizing disturbance and reducing visual impacts from public vantage points. Please see Attachment C for staff's comprehensive MO Design Review standards analysis.

Minimizing Disturbance (§16.02.070.D.5.n)

The subject property is entirely previously disturbed with an existing structure and located within an established neighborhood. As shown on Sheet L2.0 of Attachment A, the project confines the proposed addition within the existing limit of disturbance on the site. By confining the addition to the existing disturbed footprint, the project supports the MO objectives of minimizing hillside disturbance and preserving hillside character.

Public Vantage Impact (§16.02.070.D.5.b)

The MO seeks to protect the scenic character of visible hillsides and minimize visual impacts from public viewpoints. The existing residence is nestled within a mature tree canopy that continues north and south of the property. As shown on Sheet 1.04 in Attachment A, the residence does not have a visual impact from the various public vantage points provided. The proposed increase in height is primarily achieved from digging down to create a new lower level and the increase in height upwards

is only 11 ¼” above the existing roof. The project does not appear to introduce new visual impacts to ridgelines or prominent public vantage points.

Conformance with Zoning Regulations

During city department review, planning staff reviewed the project for conformance with all applicable zoning and dimensional standards, including setbacks, building height, building coverage, parking, and dark skies. Staff found an error with the west side setback which is addressed through a condition of approval added to the application, further information regarding this is outlined below. As conditioned, staff finds the project complies with all zoning code regulations and dimensional standards required in the LR Zone. A comprehensive analysis of the project’s conformance with zoning code requirements and dimensional standards is provided in Attachment D. Below is further discussion on setbacks, building height, and driveway width.

Setbacks

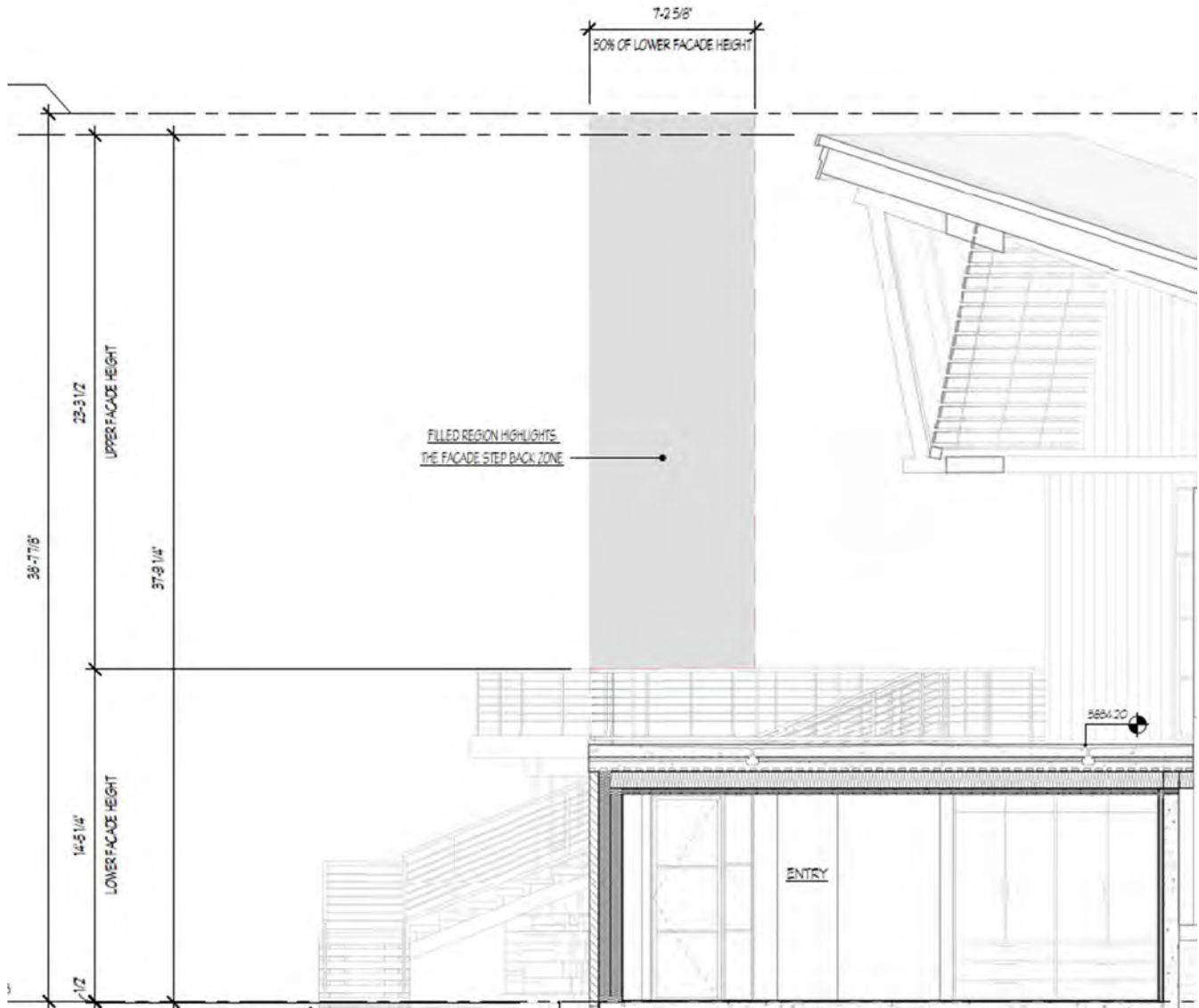
Following city department review, planning staff identified an error related to the west side setback that was discovered after the application had been noticed for a public hearing, at which point changes to the project plans could not be made. For the LR zone, the side setback requirement is 1’ for every 2’ of building height or 10’. The new building height of the structure is 38’-8”, resulting in a minimum required side setback of 19’-4”. The project proposes a new exterior stair on the west side of the structure. The stair is an appendage of the structure and is subject to setbacks due to being greater than 30” from grade. The stair is setback 19’-1 ¾” from the west side property line, which is less than the minimum required setback. Staff discussed the issue with the applicant, and they acknowledged that the stair will need to be relocated to comply with the side setback requirement. Condition of approval #2 has been added to require the applicant to revise the project plans to comply with the minimum west side setback requirement prior to building permit application submittal.

The residence also has an existing balcony on the west side of the structure that is setback 18’-3 ½” from the property line. This balcony is to be retained, and no modifications are proposed to it. The balcony’s setback becomes nonconforming with the new building height of the structure. Pursuant to KMC §16.01.050, a nonconforming building or structure may not be enlarged, expanded, or removed and reconstructed. Because the balcony is existing and is not increasing in size or being reconstructed, it can remain in its current location even though it’s not compliant with the new minimum required side setback of 19’-4”.

Building height

Pursuant to KMC §16.08.020, hillside properties may receive a 5’ building height bonus provided that any upper façade stepping up or down a hillside is setback a minimum of 50% of the height of the lower façade wall. The project qualifies for the 5’ hillside building height bonus because it exceeds the minimum façade setback requirement. The existing residence has a building height of 34’-8” and the proposed height is 38’-8”. On the west side of the structure, the lower façade wall has a height of 14’-5 ¼”, requiring a minimum upper façade setback of 7’-3”. Compliance with the façade setback is illustrated in Figure 3 below and on Sheet 4.00 of the project plans in Attachment A.

Figure 3: Building Height Bonus Façade Step Back



Driveway Width

Per KMC §16.04.020.C.12.i.(2), a private driveway shall not be greater than 35% of the linear footage of any street frontage (i.e. front property line), or 30', whichever is less, unless otherwise approved by the City Engineer. The subject property contains an existing driveway that is 32'-3 1/4" wide, which exceeds the maximum permitted width of 30'. The City Engineer reviewed the existing driveway configuration and approved it to remain in its current condition.

STAFF RECOMMENDATION

Staff recommends **approval** of the Mountain Overlay Design Review application (File No. P26-018), as conditioned.

The Commission may move to continue, approve, approve with conditions, or deny the application based on the information presented. If the Commission is inclined to approve the application, staff recommend the following conditions of approval:

1. This Design Review approval is based on the project plans presented at the June 17, 2026, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. Prior to issuance of a building permit, the applicant shall submit revised plans demonstrating compliance with the minimum required west side setback. The exterior stair on the west elevation shall be relocated or otherwise modified as necessary to achieve compliance with the minimum side setback requirement of 19'-4", subject to Planning staff review and approval.
3. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
4. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
5. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

RECOMMENDED MOTION

"I move to approve the 200 Lava Street Mountain Overlay Design Review application, as conditioned, and direct staff to return with Findings of Fact, Conclusions of Law, and Decision."

ATTACHMENTS:

- A. 200 Lava St Addition Mountain Overlay Design Review Submittal Package
- B. Design Review Standards Analysis
- C. Mountain Overlay Design Review Standards Analysis
- D. Zoning and Dimensional Standards Analysis



City of Ketchum

Attachment A:
200 Lava St Mountain Overlay
Design Review Submittal
Package



18 May 2026

200 Lava Street Design Review – Project Narrative
Mountain Overlay Design Review Application

City of Ketchum Planning & Building Department,

The existing Brown residence is a 2,827 sf single story two-bedroom home, with a single car garage located at 200 Lava Street Ketchum, Idaho. The site is a .45-acre property located at the edge of east Ketchum city limits north of the gem streets, within the Mountain overlay district. The proposed addition aims to expand the existing livable space by adding three bedrooms and additional garage space, increasing the square footage of the home by 2,138 sf. This expansion will increase the overall lot coverage from 29.09% to 33.16%.

The existing design vernacular is of a mountain modern style with exposed beams, stone, architectural concrete, and light brown / grey wood siding. While nestled in the old-growth surroundings of aspen trees and evergreens the home maintains plenty of privacy from adjacent streets while capitalizing on the expansive views with various shed roofs opening the living spaces outward to the natural landscape. The proposed addition consists of expanding the garage footprint adding two-bedrooms directly above, and an exterior stair down to a new lower-level guest suite. This addition seeks to maintain the existing vernacular while expanding its architectural features to appear as part of the original construction.

We appreciate the City's time and effort reviewing our Mountain Overlay Design Review Application and look forward to further discussion.



Affidavit of Neighborhood Meeting

Pursuant to Ketchum Municipal Code §16.07.020.B.2, a neighborhood meeting is required for Conditional Use Permits, Planned Unit Development Conditional Use Permits, Preapplication Design Review applications where the Preapplication Design Review is required, and Design Review applications that require a public hearing. The purpose of the neighborhood meeting is to provide an opportunity to inform the residents and landowners of the surrounding neighborhood(s) of the details of a proposed development and application, how the applicant intends to meet the standards of the Ketchum Municipal Code, and to receive public comment and encourage dialogue early in the review process. Pursuant to Ketchum Municipal Code §16.07.020.B.3.c, the applicant shall submit a written affidavit of the neighborhood meeting, on a form provided by the City, with the application submittal.

Instructions

1. Property owner shall complete the attached affidavit.
2. Property owner shall attach a copy of the neighborhood meeting sign-in sheet to the affidavit.
3. Property Owner shall sign before a notary public and have the affidavit notarized.
4. Property Owner shall return original notarized affidavit to the City of Ketchum Planning & Building Department.

Affidavit of Neighborhood Meeting

Property Information

Property Owner: Ron & Mary Brown
Property Address: 200 Lava Street, Ketchum Idaho 83340
Legal Description: Lava Street Sub Lot 2A BLK 1
Parcel Number: RPK0473000002A

Neighborhood Meeting Information

Location: 200 Lava Street, Ketchum Idaho 83340 - Driveway
Time: 1:00pm
Date: 03/26/2026
Project Name: Brown Residence Addition

Please initial and fill below:

RB I have thoroughly read and fully understand Ketchum Municipal Code Title 16, Section 16.07.020.B "Neighborhood Meeting".

RB I acknowledge that a neighborhood meeting was held in accordance with the requirements of Ketchum Municipal Code Title 16, Section 16.07.020.B.3.

RB I acknowledge that the attached neighborhood meeting sign-in sheet is a true and accurate list of the neighborhood meeting attendees.

RB I acknowledge that notice of the neighborhood meeting was provided to surrounding property owners within the required notification radius and timeframe as required for public hearings.

40 Number of Properties Notified

03/11/2026 Date of Notification

RB I acknowledge that the neighborhood meeting presented the proposed project and attendees were given an opportunity to ask questions and provide comments regarding the proposed project.

RB I acknowledge that holding a neighborhood meeting does not imply approval or support of the proposed project by attendees, staff, or the reviewing authority.

RB I acknowledge that the project may be revised following the neighborhood meeting and during the formal review process.

RB I acknowledge that the neighborhood meeting is a procedural requirement and does not replace the public hearing or formal public notice process associated with the application.



Property Owner Signature

26 MAR 2026

Date

STATE OF Idaho, County of Blaine

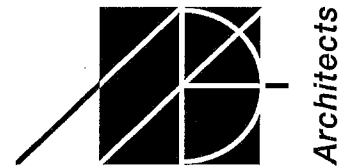
On this 26 day of March, 2026, before me, the undersigned, a Notary Public in and for said State, personally appeared Ron Brown known or identified to me to be the person whose name is subscribed to the within instrument.

WITNESS my hand and seal the day and year in this certificate first above written.

Christina M Stice Residing at: Bellevue, ID 83313
Notary Public for Idaho (State) Commission Expires: 07-09-2026



■ Brown Residence Addition - 200 Lava Street



Michael Doty Associates

■ Neighborhood Meeting Sign-in Sheet

#	Name	Local Property Address	Email
1	Ernest Matthes	210 LAVA	ernestmatthes658
2	Ruthie Matthes	210 LAVA	rudy@ruthieeid.com
3	ASHLEY BOANO	PROJECT LANDSCAPE DESIGNER	ash@formstudiosv.com
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INDEX TO DRAWINGS

SITE INFORMATION SHEETS

O.10 TITLE SHEET
 CO.20 SURVEY
 Grand total: 2

CIVIL SHEETS

C.1.0 SITE PLAN
 C.2.0 GRADING & DRAINAGE PLAN
 C.3.0 DETAILS
 Grand total: 3

LANDSCAPE SHEETS

L.1.0 EXISTING CONDITIONS / DEMOLITION
 L.2.0 SITE PLAN
 L.3.0 LANDSCAPE PLAN
 L.3.1 SPECIFICATIONS
 Grand total: 4

ARCHITECTURAL SHEETS

1.00 EXISTING ARCHITECTURAL SITE PLAN
 1.01 PROPOSED ARCHITECTURAL SITE PLAN
 1.02 SITE PHOTOMETRIC STUDY
 1.03 EXTERIOR LIGHTING
 1.04 VIEW CORRIDORS
 1.05 EXISTING / PROPOSED EXTERIOR FINISHES
 2.00 SQUARE FOOTAGE CALCULATIONS
 2.01 EXISTING / DEMO FOUNDATION PLAN
 2.02 PROPOSED FOUNDATION PLAN
 2.03 PROPOSED LOWER LEVEL FLOOR PLAN
 2.04 EXISTING / DEMO FIRST FLOOR PLAN
 2.05 PROPOSED FIRST FLOOR PLAN
 2.06 PROPOSED SECOND FLOOR AND LOWER ROOF PLAN
 2.07 EXISTING / DEMO ROOF PLAN
 2.08 PROPOSED ROOF PLAN
 3.01 EXISTING AND PROPOSED EAST ELEVATION
 3.02 EXISTING AND PROPOSED SOUTH ELEVATION
 3.03 EXISTING AND PROPOSED WEST ELEVATION
 3.04 EXISTING AND PROPOSED NORTH ELEVATIONS
 4.00 BUILDING SECTIONS - HEIGHT VERIFICATION
 4.01 BUILDING SECTIONS
 10.00 EXTERIOR RENDERING
 10.01 EXTERIOR RENDERING
 10.02 EXTERIOR RENDERING
 10.03 EXTERIOR RENDERING
 10.04 EXTERIOR RENDERING
 Grand total: 26

MATERIAL SYMBOLS

PLAN AND SECTION	ELEVATION
EARTH / TOP SOIL	PLYWOOD
WASHED ROCK	FINISH WOOD
ASPHALT PAVING / ROADBED MATL.	SAND, PLASTER GYPSUM BOARD
CONCRETE	BATT INSULATION
BRICK	BIBS INSULATION
CONCRETE MASONRY UNIT	RIGID INSULATION
CUT STONE	SPRAY FOAM INSULATION
STEEL	WALL - NEW CONSTRUCTION
ALUMINUM	WALL - EXISTING TO REMAIN
	WALL - TO BE DEMOLISHED
	SIDING - WOOD
	SIDING - FIBER CEMENT PANEL/PHENOLIC CORE PANEL
	BRICK
	CONCRETE
	STUCCO
	GLASS
	CONCRETE MASONRY UNIT

PROJECT DATA

PARCEL NUMBER: RR00473000002A
 ZONING: LIMITED RESIDENTIAL DISTRICT / MOUNTAIN OVERLAY DISTRICT
 CONSTRUCTION TYPE: WOOD FRAME
 OCCUPANCY: R-3 SINGLE FAMILY RESIDENTIAL
 BUILDING AREA (GROSS):
 EXISTING LOWER-LEVEL STORAGE 467 SF
 EXISTING LOWER-LEVEL MECHANICAL 206 SF
 PROPOSED LOWER LEVEL ADDITION 981 SF
 EXISTING 1ST FLOOR 2,480 SF
 PROPOSED 1ST FLOOR STAIR ADDITION 84 SF
 PROPOSED 1ST FLOOR BATH ADDITION 16 SF
 EXISTING GARAGE 367 SF
 PROPOSED 1ST FLOOR GARAGE ADDITION 251 SF
 PROPOSED 2ND FLOOR ADDITION 808 SF
 TOTAL 5,698 SF

FIRE SPRINKLER SYSTEM: EXISTING - NONE
 LOT AREA: 19,912 SQ. FT. (.45 ACRES)
 CODES: 2018 INTERNATIONAL RESIDENTIAL CODE (2018 IRC) AS AMENDED BY THE STATE OF IDAHO AND CITY OF KETCHUM BUILDING DEPT.
 JURISDICTIONS: CITY OF KETCHUM PLANNING & ZONING
 CITY OF KETCHUM BUILDING DEPARTMENT
 CITY OF KETCHUM FIRE DEPARTMENT

PROJECT TEAM

OWNER: Ron & Mary Brown
 8130 Slayback Ranch Lane
 Davis, CA 95618
 rrbrown@brown-construction.com
 rmbrown@abglobal.net

ARCHITECT: Michael Doty Associates, Architects, PC
 PO Box 2792
 371 Washington Avenue North
 Ketchum, Idaho 83340
 (208) 726-4228
 mike@mda-arc.com

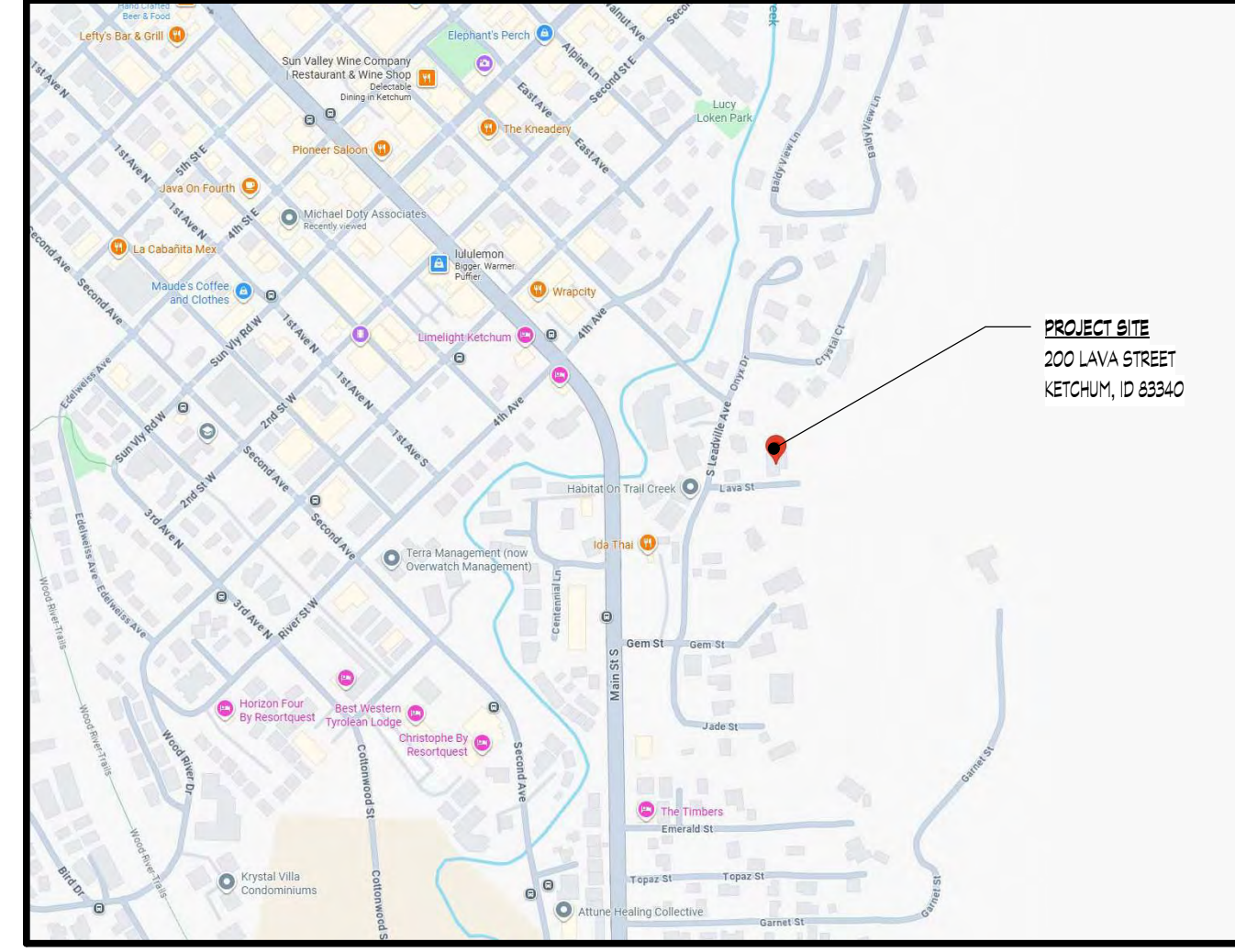
GENERAL CONTRACTOR: Lee Gilman Builders Inc.
 Matt Spence & Mike Pfau
 PO Box 5348
 Ketchum, Idaho 83340
 (208) 726-9300
 matt@leglman.com
 mikepfau@leglman.com

STRUCTURAL ENGINEER: Maxwell Structural Design Studio
 Craig Maxwell
 105 Lewis Street, Unit 205
 Ketchum, Idaho 83340
 (208) 721-2171
 craig@maxwellads.com

GEOTECHNICAL ENGINEER: Butler & Associates, Inc.
 Steve Butler
 P.O. Box 1034
 280 Spruce Avenue North
 Ketchum, Idaho 83340
 (208) 720-6432
 svgeotech@gmail.com

CIVIL ENGINEER: Starhope Engineering
 Matt Smithman, P.E.
 (208) 720-1302
 matt@starhopeengineering.com

LANDSCAPE DESIGNER: Form Studio
 Ashley Board
 151 Sun Valley Road, Unit 302
 Ketchum, Idaho 83340
 (208) 720-2089
 ash@formstudioev.com



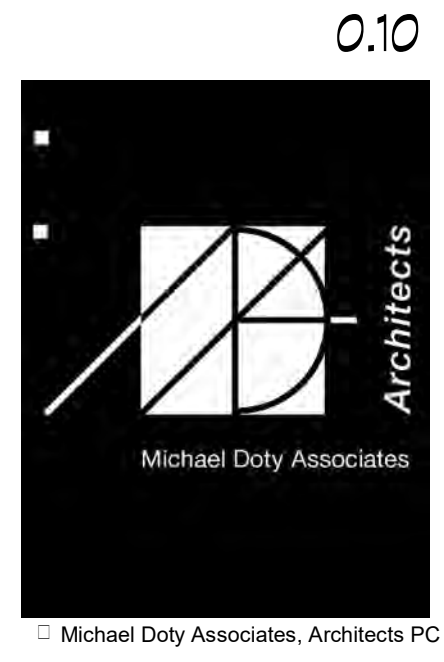
VICINITY MAP

TITLE SHEET

BROWN SFR - ADDITION

200 LAVA STREET
 KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
 05/18/2026



0.10

Michael Doty Associates, Architects PC

LEGEND

- PROPERTY LINE
- ADJOINER'S LOT LINE
- CENTERLINE
- EASEMENT (TYPE AND WIDTH AS NOTED)
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- TREE BOUNDARY
- FLOW LINE OF DITCH
- BUILDING
- DECK
- ASPHALT
- RETAINING WALLS / DIVIDING WALLS
- CONCRETE DECK/PATIO
- GRAVEL PATH
- PAVER DRIVE
- ROCK PAVER LANDING
- CULVERT
- MOUNTAIN OVERLAY DISTRICT LINE (DIGITIZED FROM CITY OF KETCHUM GIS MAP)
- WATER MAIN
- WATER SERVICE LINE
- SEWER MAIN
- SEWER SERVICE
- BURIED TELEPHONE LINE
- BURIED POWER LINE
- FOUND XXXXXXXX PIPE AS NOTED
- FOUND 1/2" REBAR (MARKED AS NOTED)
- WATER METER
- FIRE HYDRANT
- FROST FREE HYDRANT
- WATER VALVE
- GAS METER
- CABLE TV RISER
- TELEPHONE MANHOLE
- POWER BOX
- POWER METER
- VALVE BOX
- STORM DRAIN MANHOLE
- DRY WELL
- SEWER MANHOLE
- SEWER CLEANOUT
- STEEL FENCE POST (SFP) POST
- POWER MARKER
- GAS MARKER
- CABLE TV MARKER
- DECIDUOUS TREE
- CONIFEROUS TREE

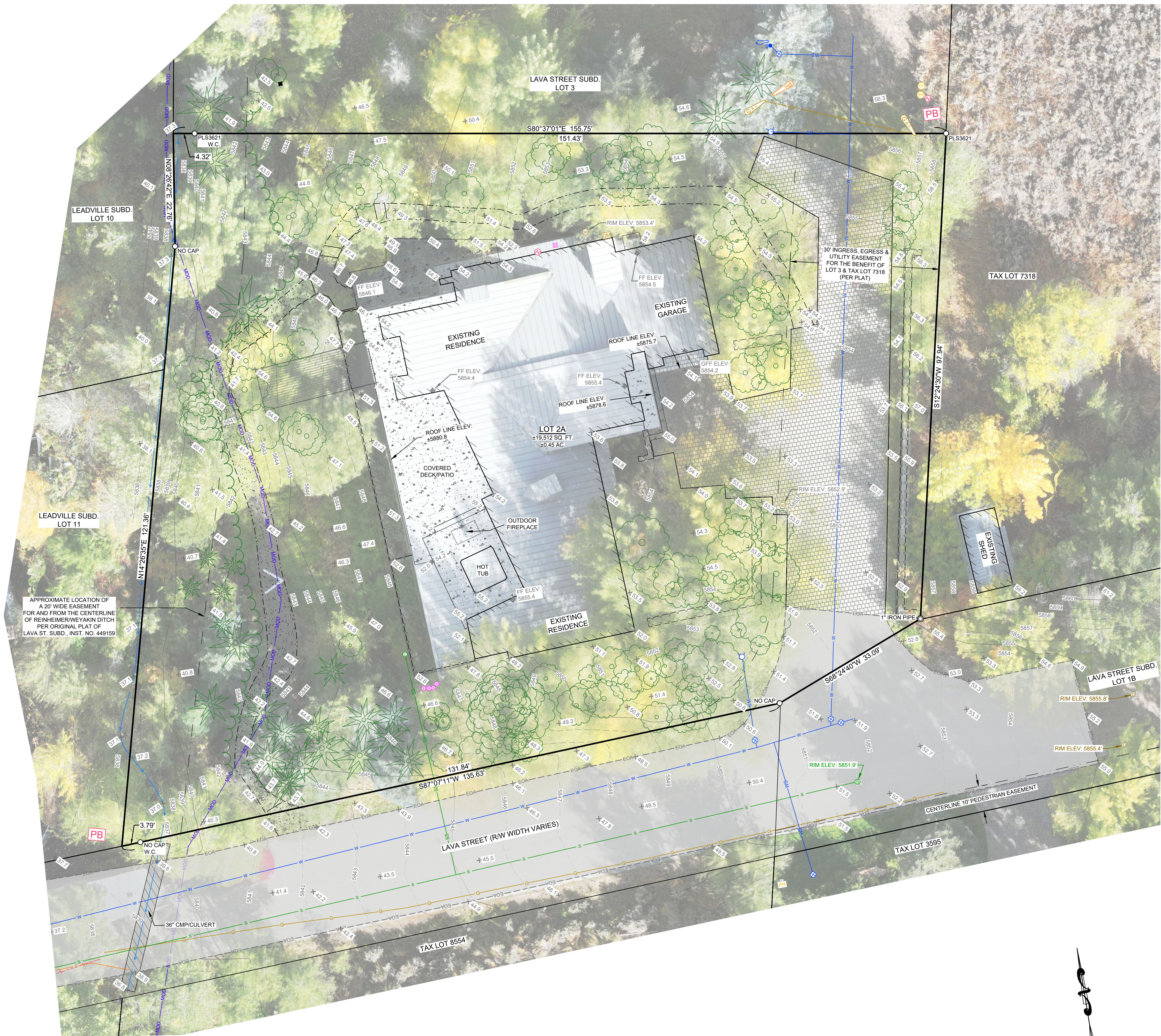
CMP = CORRUGATED METAL PIPE
 FF ELEV = FINISHED FLOOR ELEVATION
 GFF ELEV = GARAGE FINISHED FLOOR
 WC = WITNESS CORNER

NOTES

- SURVEY NARRATIVE:**
1. THE PURPOSE OF THIS MAP IS TO SHOW SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS REFERENCED SURVEYS:
 - 1.A. LEADVILLE SUBDIVISION, INST. NO. 191260;
 - 1.B. CRYSTAL ACRES SUBDIVISION, INST. NO. 226910;
 - 1.C. RECORD OF SURVEY, INST. NO. 245208;
 - 1.D. LOT 4, CRYSTAL ACRES SUBDIVISION;
 - 1.E. RECORD OF SURVEY, INST. NO. 315648;
 - 1.F. RECORD OF SURVEY, INST. NO. 386101;
 - 1.G. EMERALDA SUBDIVISION, INST. NO. 386969;
 - 1.H. LAVA STREET SUBDIVISION, INST. NO. 449159;
 - 1.I. LOT 3A, CRYSTAL ACRES SUBDIVISION, INST. NO. 514079;
 - 1.J. LOT 1A, BLOCK A, LAVA STREET SUBDIVISION;
 - 1.K. LOT 2A, BLOCK 1, LAVA STREET SUBDIVISION, INST. NO. 628110;
 - 1.L. RECORD OF SURVEY, INST. NO. 666404;
 - 1.M. LAVA STREET SUBDIVISION: BLOCK 1, LOT 1B, INST. NO. 706368.
 2. RECORDS OF BLAINE COUNTY, IDAHO.
 3. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED, FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
 4. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN FEET.
 5. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID18) DATUM UTILIZING SMARTNET CORS STATION IDKM.
 6. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT BY GALENA-BENCHMARK ENGINEERING AND IS NOT VALID OR TO BE USED BY OTHER PARTIES FOR ANY REASON INCLUDING BUT NOT LIMITED TO REAL ESTATE TRANSACTIONS, BUILDING APPLICATIONS, PERMITS, ETC.
 7. A TITLE POLICY HAS NOT BEEN SUBMITTED TO GALENA-BENCHMARK ENGINEERING. NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 8. ELECTRONIC DATA: GALENA-BENCHMARK ENGINEERING ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 9. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
 10. EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:
 9. BUILDING AREA: BUILDING SETBACK AND FOOTPRINT REQUIREMENTS ARE PER CURRENT CITY/COUNTY ORDINANCES AND MAY VARY FROM PLATS. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 10. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
 11. SURVEY AND SITE FEATURES:
 11. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CCA'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
 12. UNDERGROUND UTILITIES AND DRAIN PIPES WERE NOT LOCATED AND IF SHOWN HEREON ARE PER SURFACE EVIDENCE AND CITY OF KETCHUM UTILITY MAPS. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 13. DUE TO VARYING FINISH MATERIALS, BUILDING WALLS IF SHOWN HEREON ARE APPROXIMATE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF A SPECIALIST IN ORDER TO ASCERTAIN AN ARCHITECTURAL AS-BUILT. IF DETAILED ARCHITECTURAL FEATURES OR FLOOR PLANS OF EXISTING STRUCTURES ARE REQUIRED. BUILDING FOOTPRINTS ARE SHOWN TO RELATE THEIR LOCATION TO LOT LINES. THIS SURVEY DOES NOT PURPORT TO SUBSTITUTE AN ARCHITECTURAL AS-BUILT.
 14. SOME TREE LOCATIONS AND DRIP LINES SHOWN ARE APPROXIMATE AND NOT ALL TREE LOCATIONS MAY BE SHOWN.
 15. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: OCTOBER 1ST, 2025.
 16. CONTOUR INTERVAL: 1'
 17. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 18. FEATURES OBTAINED FROM VIEW BY DEBRIS, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

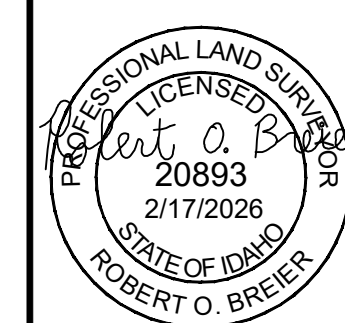
WETLANDS

WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.



**LAVA STREET SUBDIVISION
 BLOCK 1, LOT 2A**

LOCATED WITHIN T.4N., R.18E., SECTION 18, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PROJECT INFORMATION
 C:\BNA\Lava Street Subdivision\Lot 2A\2527.dwg\Topo.dwg 02/17/2026 2:43:15 PM



DESIGNED BY: BRS
 DRAWN BY: BRS
 CHECKED BY: ROB
 SURVEY DATE: 09/30/2025

GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 733
 Ketchum, ID 83743
 (208) 776-9570
 www.benchmark-associates.com

NO.	DATE	BY	REVISIONS
1	02/17/2026	BRS	ADDED MEASURED ROOF LINE ELEVATIONS AND MOD LINE

PURPOSE: ISSUE FOR REVIEW

C0.20



GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM WITH THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (SPWC) STANDARD DRAWINGS & SPECIFICATIONS AND THE CITY OF KETCHUM REVISIONS TO THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (CITY OF KETCHUM RIGHT-OF-WAY STANDARDS) DATED NOVEMBER 2022. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THESE STANDARDS & SPECIFICATIONS ON-SITE DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. IN THE EVENT OF ANY DISCREPANCY BETWEEN THE STANDARDS AND SPECIFICATIONS REFERENCED HEREIN, THE MOST STRINGENT SET OF REQUIREMENTS SHALL APPLY.
2. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CALL DIGLINE TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION ACTIVITIES.
3. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL OR BETTER CONDITION.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE.
5. SITE BOUNDARY, TOPOGRAPHY, UTILITY, AND EXISTING CONDITIONS INFORMATION ARE TAKEN FROM A SURVEY BY GALENA-BENCHMARK ENGINEERING DATED 10/24/2025. ALL SITE INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF ANY IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION FOR A RELATED CHANGE ORDER.
8. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE PLANS ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATIONS OF ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED TO INSTALL THE PROPOSED IMPROVEMENTS.
10. THE CONTRACTOR IS RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY TO VERIFY THAT ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN CITY RIGHTS-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.
11. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAWCUT TO PROVIDE A CLEAN PAVEMENT EDGE. SAWCUT LINE ALONG WOOD RIVER DRIVE SHALL MAINTAIN A 28" WIDTH (MINIMUM) PAVED ASPHALT SURFACE ALONG THE ENTIRE LENGTH OF THE PROJECT.
12. ALL TRENCHING IN CITY OF KETCHUM RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF KETCHUM STANDARD DRAWING NO. 12 "TYPICAL TRENCH."

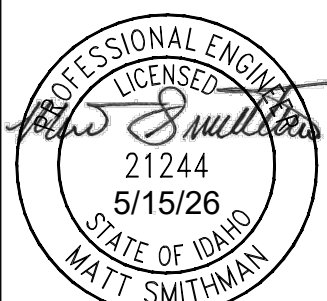
SITE LEGEND

	EXISTING ASPHALT PAVEMENT (TO REMAIN)
	EXISTING PAVER DRIVEWAY (REMOVE & REPLACE WITH SNOWMELT SYSTEM UNDERLAY PER DETAIL 1 / C3.0)
	PROPOSED HEATED PAVER DRIVEWAY PER DETAIL 1 / C3.0
	HEATED GRAVEL PATHWAY
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	SUBJECT PROPERTY LINE
	ADJOINER'S PROPERTY LINE
	BUILDING FOOTPRINT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR

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PHONE: (916) 375-9900

PROJECT
200 LAVA STREET CIVIL SET
200 LAVA ST., KETCHUM, ID 83340
LAVA STREET SUBDIVISION, BLOCK 1, LOT 2A



NO.	DESCRIPTION	DATE	BY
A	MODR SUBMITTAL SET	04/02/2026	MS
B	MODR SUBMITTAL SET - REVISED	05/15/2026	MS

DRAWN BY	MS
REVIEWED BY	MS
DATE	05/15/26
PROJECT NO.	26003
TITLE	SITE PLAN

SHEET NO.
C1.0

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GRADING & DRAINAGE NOTES

- ALL CLEARING AND GRUBBING SHALL CONFORM TO ISWPC SECTION 201.
- ALL EXCAVATION AND EMBANKMENT SHALL CONFORM TO ISWPC SECTION 202.
- THE SUBGRADE SHALL BE EXCAVATED AND SHARPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. DENSITY MEASUREMENTS SHALL BE PERFORMED BY A THIRD-PARTY TESTING COMPANY OR THE SUBGRADE MAY BE PROOF-ROLLED AT THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO THE PLACEMENT OF COURSE GRAVEL, THE CONTRACTOR SHALL PROOF-ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK AT THE ENGINEER'S DIRECTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS AND/OR ANY AREAS NOT MEETING COMPACTION REQUIREMENTS PER THE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS DEFINED AS WHEN SOIL MOVES, PUMPS, OR DISPLACES UNDER ANY TYPE OF PRESSURE OR ROLLING ACTIVITIES.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO THE SUBGRADE, THE CONTRACTOR SHALL AT HIS OWN EXPENSE REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATING UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH AN APPROVED GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISWPC SECTION 802, TYPE II (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISWPC SECTION 801, AND COMPACTED PER ISWPC SECTION 202. MINIMUM COMPACTION OF GRAVEL MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISWPC SECTION 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISWPC SECTION 802, AND COMPACTED PER ISWPC SECTION 202. MINIMUM COMPACTION OF CRUSHED GRAVEL MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT, EXISTING PAVEMENT, AND ANY STRUCTURES. ACCORDINGLY, THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- THE PROPOSED SPOT ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS INCLUDING ASPHALT, PAVERS, AND CONCRETE. REFER TO PAVEMENT SECTIONS AND CURB DETAILS TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS PER THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL REVIEW ALL RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER PRIOR TO PAVING (IF APPLICABLE).
- ALL DRAINAGE PIPING SHALL BE PROVIDED WITH A MINIMUM OF 3.0' COVER OVER THE TOP OF PIPE TO FINISHED GRADE IN ALL CASES.
- DRAINAGE PIPING SHALL BE SLOPED AT 2.0% MINIMUM, UNLESS SPECIFIED OTHERWISE.

GRADING LEGEND

- 5950 --- EXISTING MAJOR CONTOUR
 - 5949 --- EXISTING MINOR CONTOUR
 - 5950 --- PROPOSED MAJOR CONTOUR
 - 5949 --- PROPOSED MINOR CONTOUR
 - FLOWLINE OF DITCH
 - (EX-5947.20) EXISTING SPOT ELEVATION
 - (5947.20) PROPOSED SPOT ELEVATION
 - 1.00% PROPOSED SLOPE - GRADE %
 - 3:1 PROPOSED SLOPE - RUN/RISE
- ABBREVIATIONS:**
 BG = BOTTOM GRADE
 BS = BOTTOM OF STEP(S)
 CB = CATCH BASIN
 DW = DRYWELL
 ELDW = EXISTING LANDSCAPE DRYWELL
 GFE = GARAGE FINISHED FLOOR ELEVATION
 HP = HIGH POINT
 LCB = LANDSCAPE CATCH BASIN
 LDW = LANDSCAPE DRYWELL
 LP = LOW POINT
 FFE = FINISHED FLOOR ELEVATION
 TG = TOP GRADE
 TP = TOP OF PAVEMENT
 TS = TOP OF STEP(S)

STORMWATER LEGEND

- STORMWATER PIPING - 4" DIA. ADS N-12, UNLESS OTHERWISE SPECIFIED
- ROOF DRAIN PIPING - 4" DIA. ADS N-12, UNLESS OTHERWISE SPECIFIED. COORDINATE CONNECTIONS AND ELEVATIONS WITH ARCHITECT, CONNECT TO CATCH BASINS & DRYWELLS AS SHOWN.
- TRENCH DRAIN: ACO K100 4" GALVANIZED STEEL EDGE RAIL, CLASS B LOAD RATING, OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ROOF DRAIN/DOWNSPOUT TIE-IN LOCATION (APPROXIMATE); COORDINATE FINAL LOCATIONS WITH ARCHITECTURAL PLANS.
- EXISTING LANDSCAPE DRYWELL
- LANDSCAPE CATCH BASIN PER DETAIL 2 / C3.0
- NDS 12" ROUND GRATE OR APPROVED EQUAL.
- LANDSCAPE DRYWELL PER DETAIL 3 / C3.0
- DIAMETER: 3.5, TYP.
- HOPE-LINED LANDSCAPE DRYWELL PER DETAIL 4 / C3.0
- DIAMETER: 3.5, TYP.

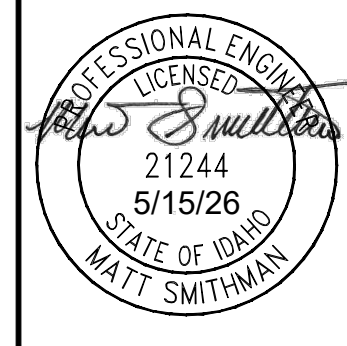
STORMWATER STRUCTURE ELEVATION TABLE

STRUCTURE	RIM	INVERT IN	INVERT OUT
ELDW-1	5852.90	-	-
ELDW-2	5853.40	-	-
LCB-1	5842.50	-	(LDW-1) 5839.17
LDW-1	5842.15	(LCB-1) 5838.83	-
LDW-2	5840.50	-	-
LDW-3	5854.10	(TRENCH DRAIN) 5850.77	-

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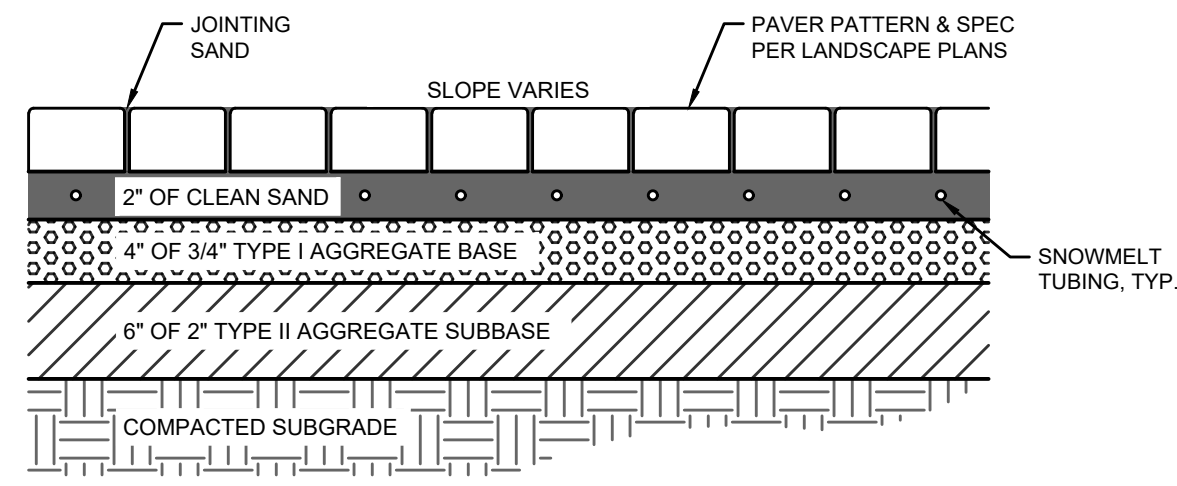
PREPARED FOR
RON & MARY BROWN
 200 LAVA ST., KETCHUM, ID 83340
 PHONE: (916) 375-9500

PROJECT
200 LAVA STREET CIVIL SET
 200 LAVA ST., KETCHUM, ID 83340
 LAVA STREET SUBDIVISION, BLOCK 1, LOT 2A



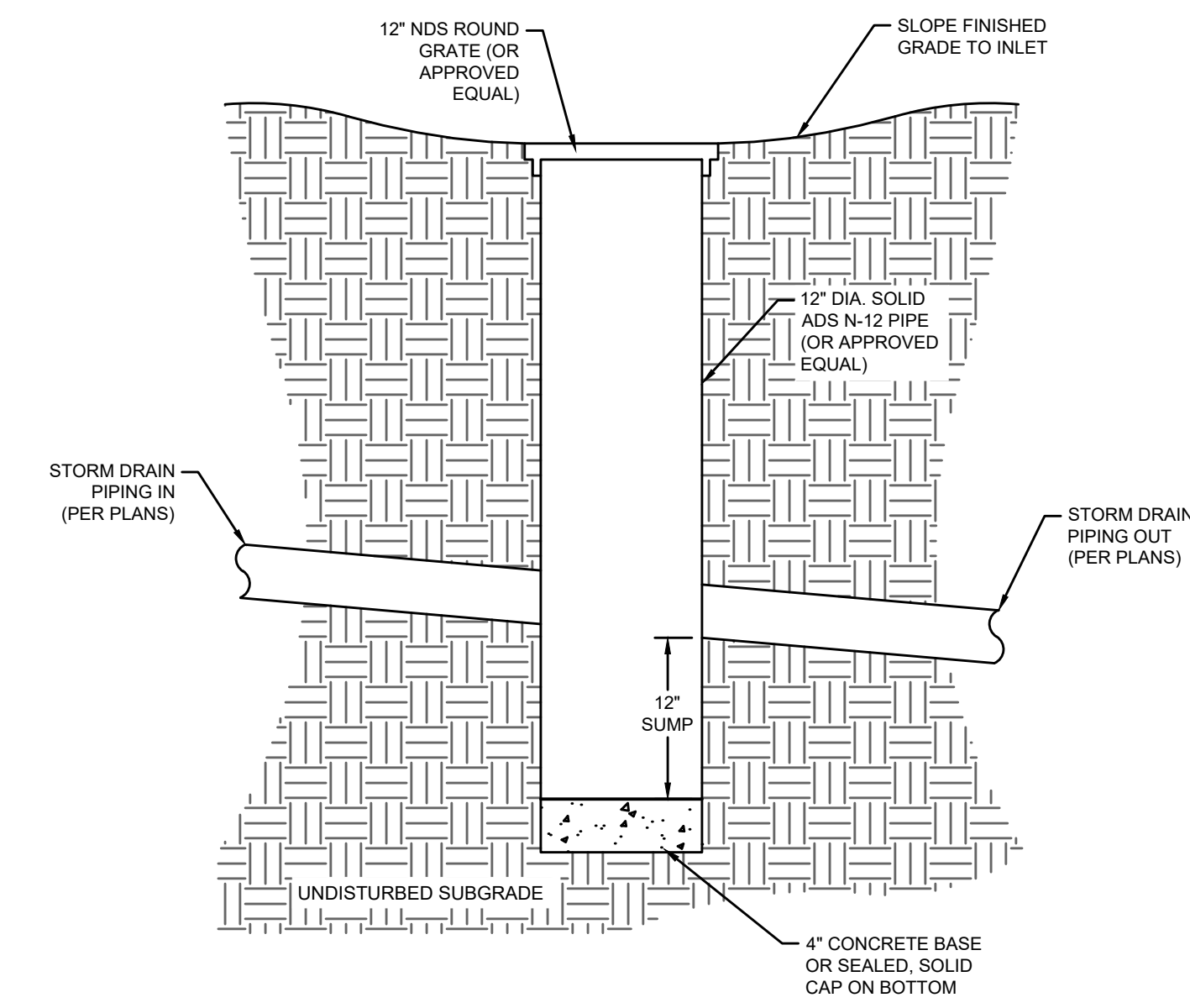
NO.	DESCRIPTION	DATE	BY
A	MODR SUBMITTAL SET	04/02/2026	MS
B	MODR SUBMITTAL SET - REVISED	05/15/2026	MS

DRAWN BY: MS
 REVIEWED BY: MS
 DATE: 05/15/26
 PROJECT NO.: 26003
 TITLE:
GRADING & DRAINAGE PLAN
 SHEET NO.:
C2.0



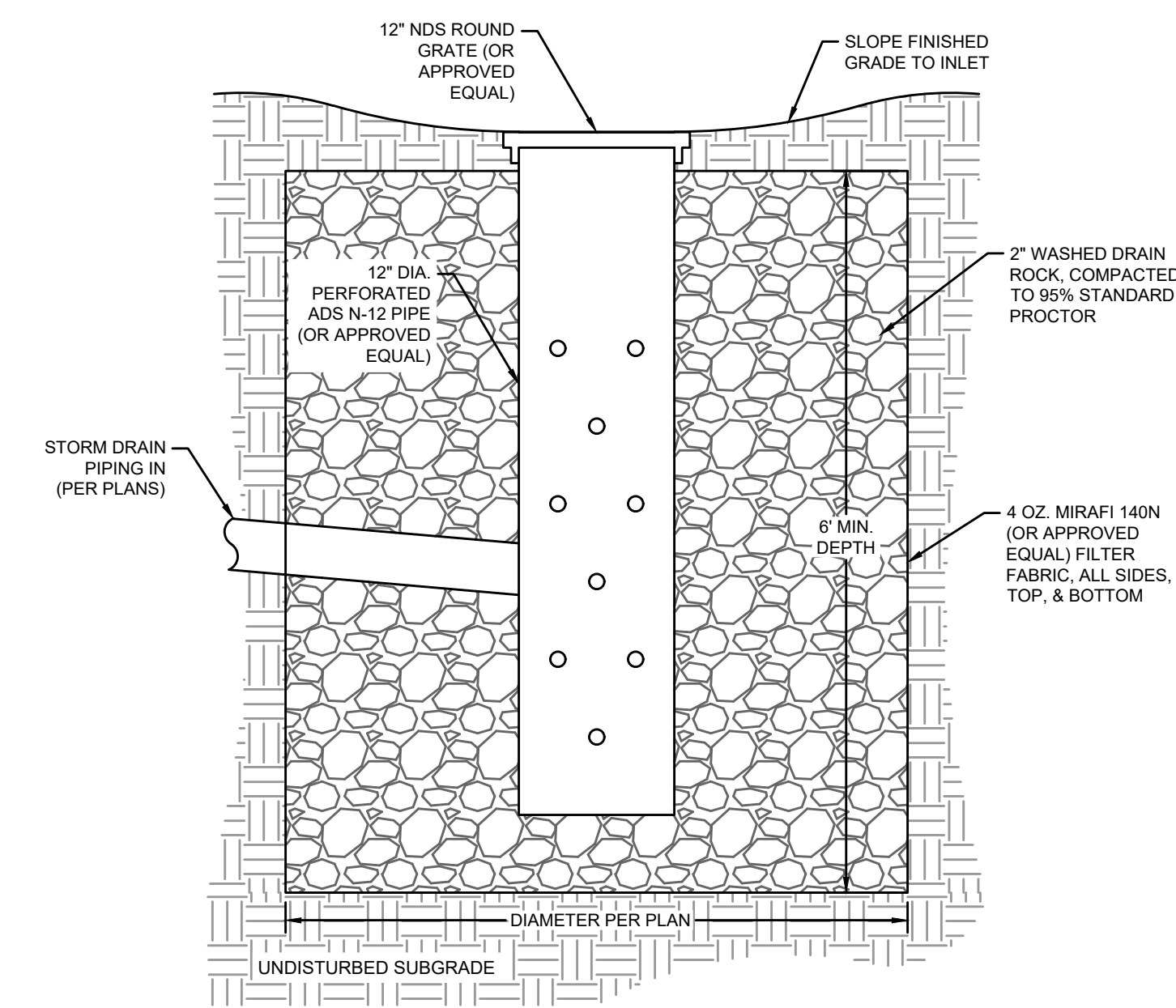
1 HEATED PAVER DRIVEWAY SECTION

- NOTES:
1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH THE CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT, AND CITY OF KETCHUM STANDARDS.
 3. SNOWMELT TUBING, CONNECTIONS, AND SYSTEM DETAILS BY OTHERS.



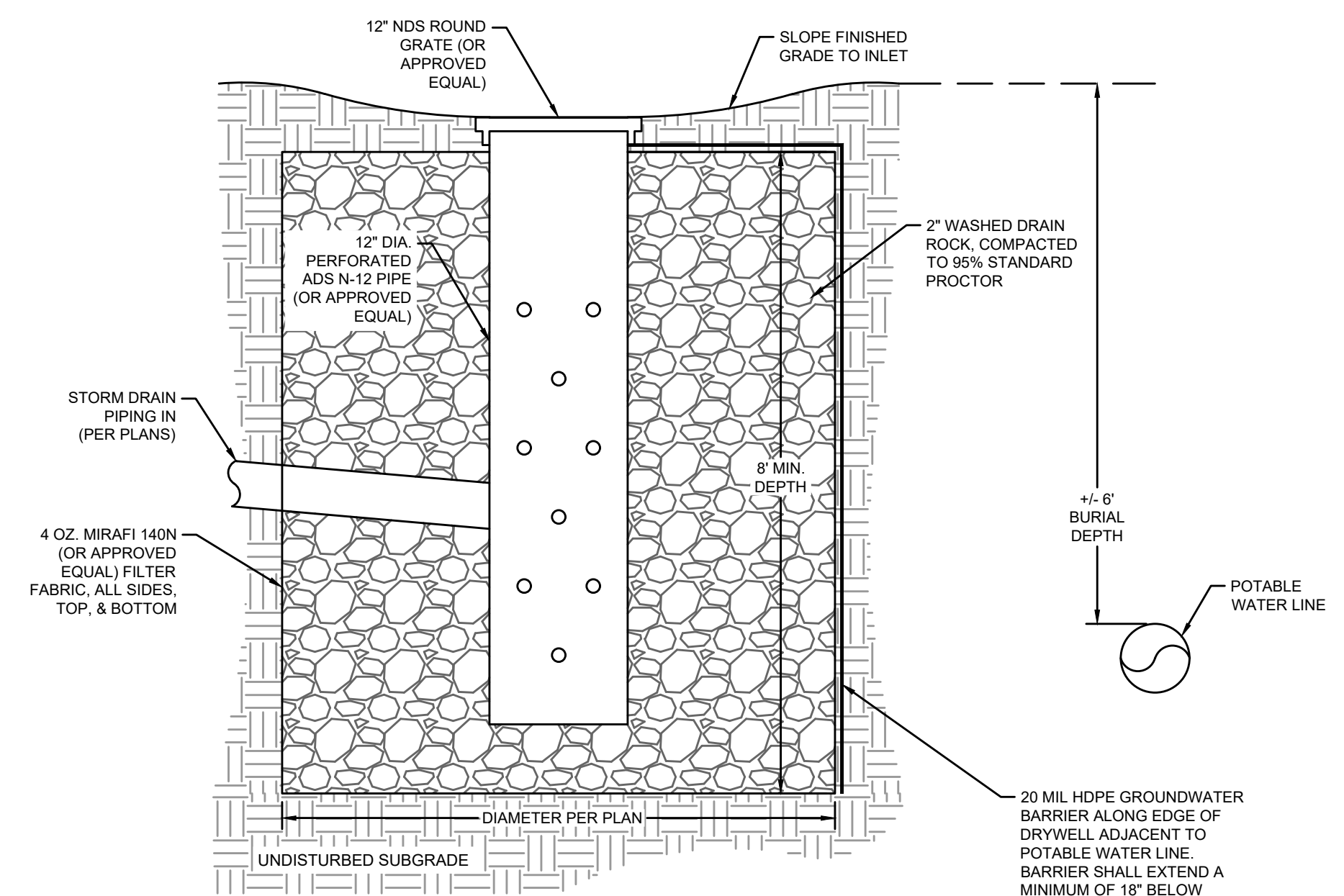
2 LANDSCAPE CATCH BASIN DETAIL

- NOTES:
1. CONTRACTOR TO COORDINATE ALL ELEVATIONS WITH PROVIDED PLANS AND NOTIFY ENGINEER OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO INSTALLATION.



3 LANDSCAPE DRYWELL DETAIL

- NOTES:
1. CONTRACTOR TO COORDINATE ALL ELEVATIONS WITH PROVIDED PLANS AND NOTIFY ENGINEER OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO INSTALLATION.
 2. MATERIALS SHALL CONFORM WITH THE CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT, AND CITY OF KETCHUM STANDARDS.
 3. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 4. PROVIDE 25' MINIMUM SEPARATION DISTANCE BETWEEN EDGE OF DRYWELL AND ANY POTABLE WATER LINES.



4 HDPE-LINED LANDSCAPE DRYWELL DETAIL

- NOTES:
1. CONTRACTOR TO COORDINATE ALL ELEVATIONS WITH PROVIDED PLANS AND NOTIFY ENGINEER OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO INSTALLATION.
 2. MATERIALS SHALL CONFORM WITH THE CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT, AND CITY OF KETCHUM STANDARDS.
 3. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 4. PROVIDE 10' MINIMUM SEPARATION DISTANCE BETWEEN EDGE OF DRYWELL AND ANY POTABLE WATER LINES.

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PROJECT
200 LAVA STREET CIVIL SET
200 LAVA ST., KETCHUM, ID 83340
LAVA STREET SUBDIVISION, BLOCK 1, LOT 2A

PROFESSIONAL ENGINEER
MATT SMITHMAN
21244
5/15/26
STATE OF IDAHO

NO.	DESCRIPTION	DATE	BY
A	MODR SUBMITTAL SET	04/02/2026	MS
B	MODR SUBMITTAL SET - REVISED	05/15/2026	MS

DRAWN BY: MS
REVIEWED BY: MS
DATE: 05/15/26
PROJECT NO.: 26003
TITLE: DETAILS
SHEET NO.: C3.0

PROJECT

LAVA STREET RESIDENCE

PROPERTY ADDRESS

200 LAVA STREET
KETCHUM, ID 83340

LEGAL DESCRIPTION

LAVA STREET SUB LOT 2A
BLK 1

DRAWING SET TYPE

CITY OF KETCHUM
DESIGN REVIEW

NOTE FOR CONSTRUCTION

**DESIGN
REVIEW**

NOT FOR CONSTRUCTION

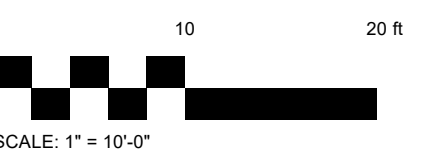
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ISSUE NO. 1

ISSUE DATE

5/21/26

SHEET SCALE



NORTH



SHEET TITLE

**EXISTING
CONDITIONS +
DEMOLITION**

SHEET NO.

L1.0

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Mountain Overlay District (MOD)
	Limit of Disturbance
	Construction Fencing / Erosion Controls (Duration of Construction)
	Existing Drainage and Infrastructure to Remain
	Remove and Dispose of Existing Retaining Wall
	Remove and Dispose Existing Hardscape
	Existing Site Wall
	Remove and Dispose Retaining Wall
	Existing Trees to Remain
	Remove and Dispose Trees

DEMOLITION NOTES:

1. SITE ACCESS OFF OF LAVA STREET ONLY
2. CONSTRUCTION FENCING AND EROSION CONTROLS ALONG THE EAST PROPERTY LINES AND SOUTHERN LIMIT OF DISTURBANCE (LOD), BLACK SILT FENCING, EQUALLY STAKED STRAW FIBER ROLL CONTROLS AS NEEDED.
3. REMAINING TREES: INSTALL 4' ORANGE POLYPROPYLENE FENCING ALONG THE TREE DRIP LINES TO PROTECT ROOT AND BRANCHING SYSTEMS.
4. TREE AND STUMP REMOVAL: ALL TREES FOR REMOVAL WILL REQUIRE STUMP EXCAVATION AND BACK FILLED WITH LOAM OR WOODCHIPS. TREES LABELED FOR REMOVAL WHERE STUMP REMOVAL WILL IMPACT ROOT ZONES OF ADJACENT TREES TO BE REVIEWED WITH LANDSCAPE ARCHITECT ON-SITE.

NOTE: ALL UTILITIES WITHIN THE MOUNTAIN OVERLAY DISTRICT (MOD) TO BE UNDERGROUND, PER CITY OF KETCHUM, IF APPLICABLE.



L1.0

PROJECT

LAVA STREET RESIDENCE

PROPERTY ADDRESS

200 LAVA STREET
KETCHUM, ID 83340

LEGAL DESCRIPTION

LAVA STREET SUB LOT 2A
BLK 1

DRAWING SET TYPE

**CITY OF KETCHUM
DESIGN REVIEW**

NOTE FOR CONSTRUCTION

**DESIGN
REVIEW**

NOT FOR CONSTRUCTION

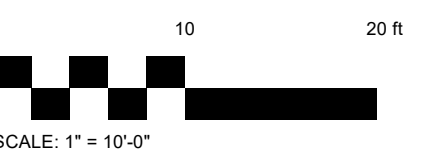
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ISSUE NO. 1

ISSUE DATE

5/21/26

SHEET SCALE



NORTH



SHEET TITLE

SITE PLAN

SHEET NO.

SITE PLAN LEGEND

SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Mountain Overlay District (MOD)
	Limit of Disturbance
	Construction Fencing / Erosion Controls (Duration of Construction)
	Existing Contours
	Proposed Contours
	Fence w/ Gate
	Existing CMP and Flow Line
	Existing Utility (See Survey)
	Existing Tree Line
	Existing Trees to Remain
	Existing Asphalt Drive
	Paver Driveway
	Existing Retaining Wall
	Stone Masonry Wall
	Concrete Paving
	Gravel Paths
	Snow Storage
	Hose Lengths (150')

SNOW STORAGE CALCULATION

DESCRIPTION	TOTAL AREA (SF)
Entry Driveway	+/- 2475 SF
Snow Storage Area	+/- 833 SF
Snow Storage @ Entry	= 33.66% of Driveway SF

17.124.170 - MINIMUM STANDARDS FOR ONE-FAMILY DWELLINGS.

C. SNOW STORAGE:

1. SNOW STORAGE AREAS SHALL NOT BE LESS THAN 30 PERCENT OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.
2. SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.
3. A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANYH DIMENSION LESS THAN FIVE FEET AND SHALL BE A MINIMUM OF 25 SQUARE FEET.



SNOW STORAGE CALCULATION

DESCRIPTION	TOTAL AREA (SF)
Entry Driveway	+/- 2475 SF
Snow Storage Area	+/- 833 SF
Snow Storage @ Entry	= 33.66% of Driveway SF

17.124.170 - MINIMUM STANDARDS FOR ONE-FAMILY DWELLINGS.

C. SNOW STORAGE:

1. SNOW STORAGE AREAS SHALL NOT BE LESS THAN 30 PERCENT OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.
2. SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.
3. A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANYH DIMENSION LESS THAN FIVE FEET AND SHALL BE A MINIMUM OF 25 SQUARE FEET.

PROJECT

LAVA STREET RESIDENCE

PROPERTY ADDRESS

200 LAVA STREET
KETCHUM, ID 83340

LEGAL DESCRIPTION

LAVA STREET SUB LOT 2A
BLK 1

DRAWING SET TYPE

CITY OF KETCHUM
DESIGN REVIEW

NOTE FOR CONSTRUCTION

**DESIGN
REVIEW**

NOT FOR CONSTRUCTION

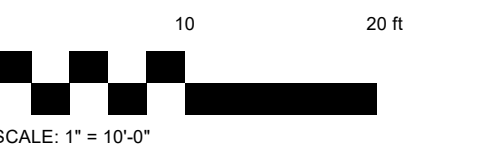
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PLOT DATE 5/21/26 4:39:48 PM

ISSUE NO. 1

ISSUE DATE

5/21/26

SHEET SCALE



NORTH

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NO.

L3.0



LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Mountain Overlay District (MOD)
---	Limit of Disturbance
---	Construction Fencing / Erosion Controls (Duration of Construction)
---	Fence w/ Gate
---	Existing Contours
---	Proposed Contours
---	Existing Utility (See Survey)
---	Existing Trees To Remain
---	Lawn
---	Native Re-Vegetation
---	Existing Asphalt Drive
---	Paver Driveway
---	Existing Retaining Wall
---	Stone Masonry Walls
---	Concrete Paving
---	Gravel Paths
---	Boulders
---	Light Fixtures
---	Ganging
---	Top of Wall

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
●	FRONT GATE	2	POST LIGHT	A
ZONE 2				
■	STAIRS	6	STEP LIGHT	B
ZONE 3				
●	LANDSCAPE LIGHTING	8	PATH LIGHT	C
■	LANDSCAPE LIGHTING	1	WALL LIGHT-RECES SED	D

NOTE: ALL LAMP HARDWARE TO USE LED TECHNOLOGY. ALL LAMP TEMPERATURES SHALL MATCH.

LANDSCAPE LUMEN CALCS.

FIXTURE TYPE	QTY	LUMEN/EA
A/ Post Light	1	597 lm
B/ Step Light	6	100 lm
C/ Path Light	8	100 lm
D/ Wall Light - Recessed	1	17 lm
TOTAL POST LIGHT (A) LUMEN		597 lm
TOTAL WALL LIGHT (B) LUMEN		600 lm
TOTAL WALL LIGHT (C) LUMEN		800 lm
TOTAL WALL LIGHT (D) LUMEN		17 lm
TOTAL LANDSCAPE LUMEN		2014 lm

IRRIGATION CALCULATIONS

AREA DESCRIPTION	SF OF IRRIGATION
Lawn (Overhead)	+/- 1050 SF
Native Areas (Overhead)	+/- 3,558 SF
TOTAL	+/- 4608 SF (+/- 0.11 AC)

PLANT SCHEDULE

LAWN	Total +/-
Scottish Links Sod	+/- 1050 SF
NATIVE SEED FOR REVEGETATION	
Mountain Brome Hydro-seed	Total +/- 3,558 SF

TYPE A - POST LIGHT

WAC LIGHTING

Ventt
Outdoor Post Light 3000K

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
PMW116618 12V	3000K DIMMABLE TO 2700K	BK Black	15.7W	257	42

Example: PMW116618-BK
For custom requests please contact customs@wacighting.com

DESCRIPTION
Form + Function. Ventt refines the modern cylinder into a sleek post mount light ideal for contemporary architecture. Its clean lines and subtle detailing minimize glare while delivering powerful illumination.

FEATURES

- Built in color temperature adjustability. Switch from 2700K/3000K/3500K/4000K
- Light engine is factory sealed for maximum protection from the elements
- Mounts on a 3" maximum diameter post (not included)
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

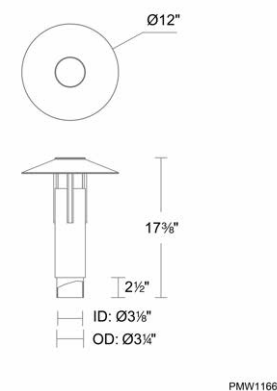
Color Temp: 3000K
Input: 120V/50/60Hz
CRI: 90
Dimming: ELV: 100-10%
Rated Life: 50,000 Hours
Standards: ETL, cETL, Wet Location Listed, Dark Sky
Construction: Aluminum body with glass diffuser



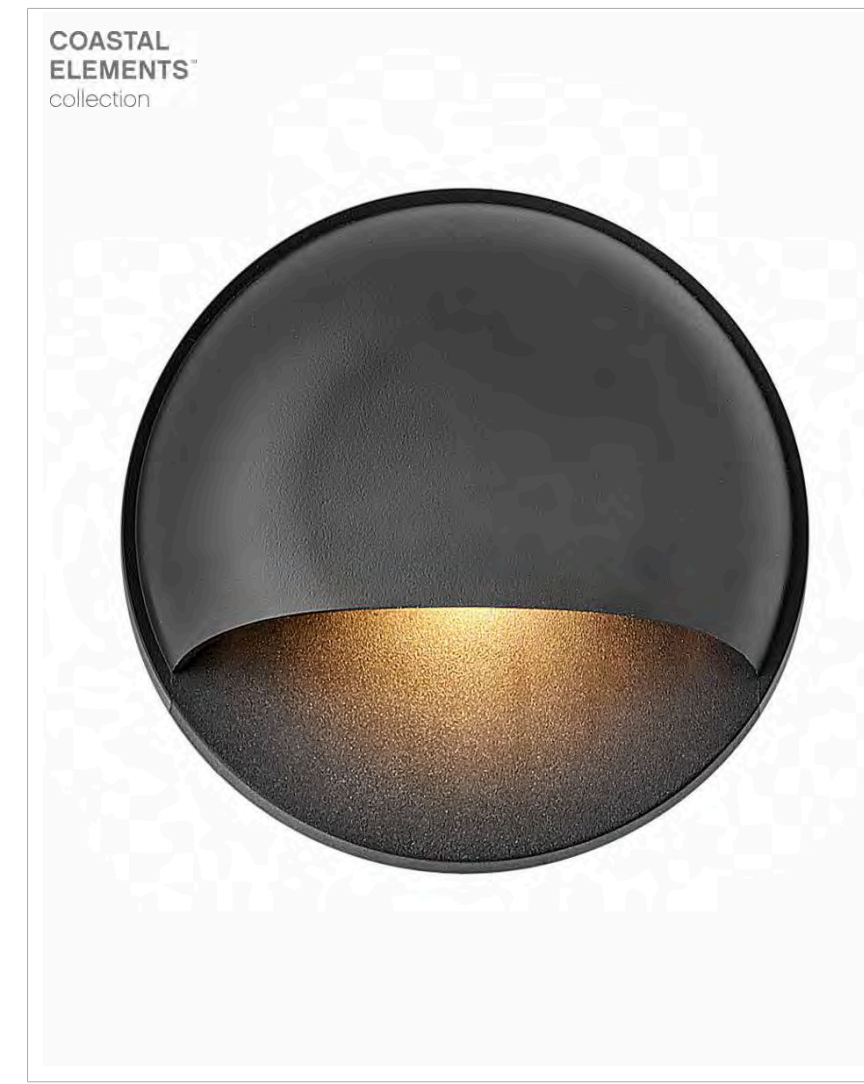
FINISHES:



LINE DRAWING



TYPE B - STEP LIGHT



NUVI
15232BK
12V ROUND DECK SCONCE
NUVI offers exceptional 12v LED horizontal illumination due to its innovative composite optic technology. Constructed of durable, solid vinyl alloy, NUVI offers resiliency and is built for a long-life. A diverse range of mounting opportunities and easy installation ensure maximum flexibility. ETL rated for indoor/outdoor use.

DETAILS

FINISH:	Black
MATERIAL:	Vinyl Alloy
DIMMABLE:	YES - WITH MLV ON TRANSFORMER PRIMARY

DIMENSIONS

WIDTH:	3"
HEIGHT:	3"
BACK PLATE:	3" Dia.
EXTENSION:	1"

LIGHT SOURCE

LIGHT SOURCE:	Integrated LED
LED NAME:	ENX1
WATTAGE:	1.40w LED *included
VOLTAGE:	12v
VOLT AMPS:	1.68
LUMENS:	100
CRI:	80
INCANDESCENT EQUIVALENCY:	1 x 20w
DIMMABLE:	YES - WITH MLV ON TRANSFORMER PRIMARY
TRANSFORMER REQUIRED:	Yes

MOUNTING

LEAD WIRE:	1 X 60"
------------	---------

SHIPPING

CARTON LENGTH:	3.1
CARTON WIDTH:	2.5
CARTON HEIGHT:	3.5
CARTON WEIGHT:	1



PRODUCT DETAILS:

- Mounts flush on a surface
- Wet Rated
- ADA compliant design provides added accessibility and maximum clearance
- A wiring kit is supplied
- Easy and efficient installation: fewer fixtures illuminate a more extensive area, offering a diverse range of mounting opportunities
- The Hinkley Home Automation App allows you to control your landscape lights anytime, anywhere. You can turn dimmers on/off and adjust sliding brightness settings remotely.
- LED integrated components carry a 10-year limited warranty
- Coastal Elements finishes carry a 5-year finish warranty

2700K COLOR TEMP

HINKLEY

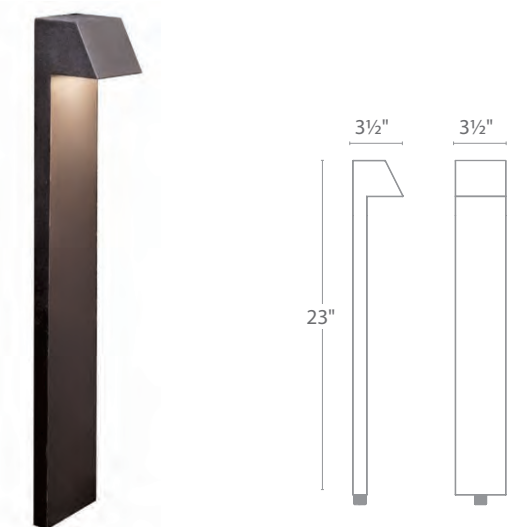
HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012
PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539
hinkley.com

TYPE C - PATH LIGHT

QUAD LED PATH LIGHT
6091

WAC
LANDSCAPE LIGHTING

Fixture Type: BRONZE FINISH PATH LIGHT
Catalog Number: 6091-27-BZ
Project: _____
Location: _____



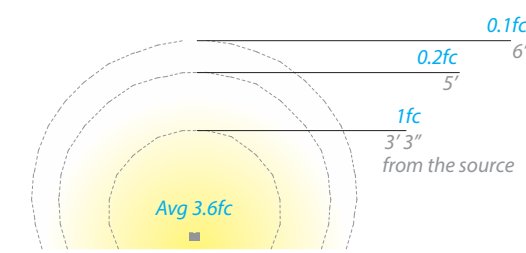
PRODUCT DESCRIPTION
Sleek linear design blends seamlessly into pathways while providing soft, even illumination

SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
Power: 3.0W / 4.5VA (Use VA value for sizing the transformer and calculate voltage drop.)
Brightness: Up to 100 lm
CRI: 90
Rated Life: 60,000 hours

FEATURES

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Solid diecast corrosion resistant aluminum alloy
- Recommended spacing for installation: Residential 8 to 10ft; Commercial: 5 to 7ft
- Mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts are included
- Maintains constant lumen output against voltage drop
- UL and cUL 1838 Listed



ORDERING NUMBER

Color Temp	Finish
27 2700K Warm White	BZ Bronze on Aluminum
30 3000K Pure White	

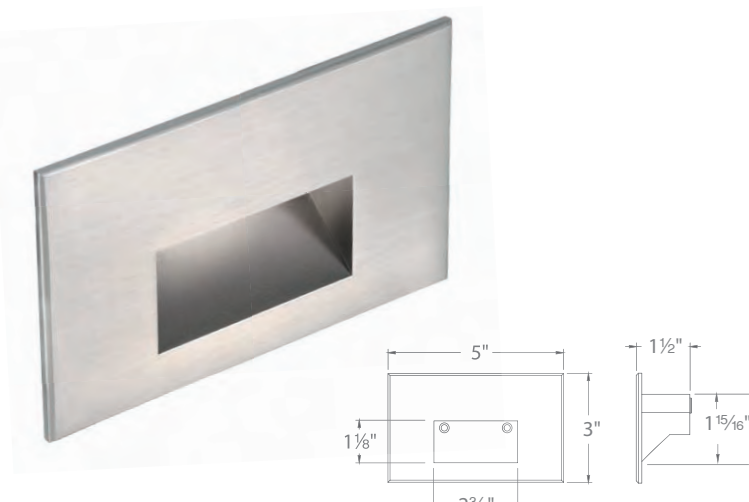
6091-____BZ
Example: 6091-30BZ

TYPE D- WALL LIGHT

RECTANGLE STEP LIGHTS 12V
4011

WAC
LANDSCAPE LIGHTING

Fixture Type: BLACK FINISH WALL RECESSED LIGHT
Catalog Number: 4011-27-BK
Project: _____
Location: _____



PRODUCT DESCRIPTION
Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
Power: 2W / 3.1VA (Use VA value for sizing the transformer and calculate voltage drop.)
CRI: 90
Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H Includes bracket for J-Box mount.
Rated Life: 60,000 hours

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated, Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

ORDERING NUMBER

Color Temp	CRI	Finish	Lumens
27 2700K	90	BBR Bronze on Brass	17
		BK Black on Aluminum	17
		BZ Bronze on Aluminum	17
		WT White on Aluminum	38
		SS Cast Stainless Steel	23
30 3000K	90	BBR Bronze on Brass	17
		BK Black on Aluminum	17
		BZ Bronze on Aluminum	17
		WT White on Aluminum	38
		SS Cast Stainless Steel	23
AM Amber		BBR Bronze on Brass	11
		BK Black on Aluminum	11
		BZ Bronze on Aluminum	11
		WT White on Aluminum	23
		SS Cast Stainless Steel	14

4011-____
Example: 4011-30BK

wacighting.com Phone (800) 526-2588 44 Harbor Park Drive Port Washington, NY 11050
Headquarters, East Manufacturing Facility
South East Manufacturing Facility
Central Manufacturing Facility
West Manufacturing Facility
Phone (800) 526-2585 1700 South J Elmer Freeway, Ste 100 Cedar Hill, TX 75104
Fax (800) 526-2585 1700 South J Elmer Freeway, Ste 100 Cedar Hill, TX 75104
1750 S Archibald Ave Ontario, CA 91761

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2024



PROJECT

LAVA STREET RESIDENCE

PROPERTY ADDRESS

200 LAVA STREET
KETCHUM, ID 83340

LEGAL DESCRIPTION

LAVA STREET SUB LOT 2A
BLK 1

DRAWING SET TYPE

CITY OF KETCHUM
DESIGN REVIEW

NOTE FOR CONSTRUCTION

DESIGN
REVIEW

NOT FOR CONSTRUCTION

DRAWN BY XX
PLOT DATE 5/21/26 4:39:48 PM

ISSUE NO. 1

ISSUE DATE

5/21/26

SHEET SCALE

NORTH

SHEET TITLE

SPECIFICATIONS

SHEET NO.

L3.1



EXISTING ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026





LOT COVERAGE CALCULATION	
EXISTING FOOTPRINT	4,748 SF
PROPOSED ADDITION	655 SF
TOTAL LOT COVERAGE	5,403 SF
LOT AREA (MINUS UTILITY EASEMENT)	16,295 SF
35% OF LOT AREA	5,703 SF
PROPOSED LOT COVERAGE	33.16% 5,403 SF



PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"
12.4 8

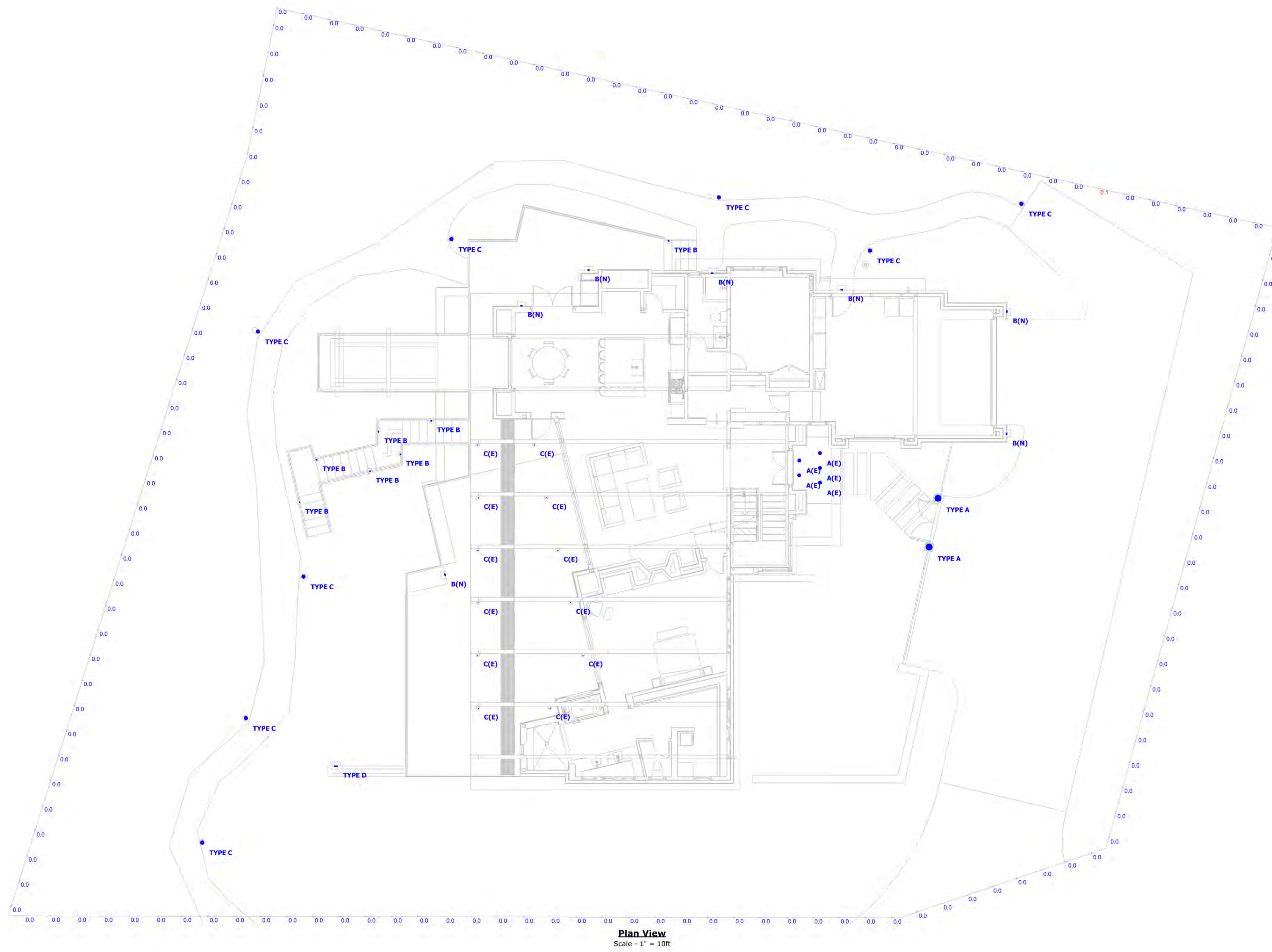
BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/19/2026

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

Schedule							
Symbol	Label	Quantity	Manufacturer	Description	Catalog Number	Lumens	Wattage
	TYPE A	2	WAC LTG	POST TOP LIGHT	PMW116618	597	16
	TYPE B	7	HINKLEY	RECESSED STEP LIGHT	15232BK	100	2.98
	TYPE C	8	WAC LTG	BRONZE PATH LIGHT	6091-27-BZ	100	3
	TYPE D	1	WAC LTG	RECESSED WALL LIGHT	4011-27-BK	17	2
	A(E)	5	Existing	RECESSED DOWNLIGHT	N/A	1000	10.6094
	B(N)	7	-	WALL MOUNT DOWNLIGHT	-	823	10.21
	C(E)	12	-	MONOPOINT DOWNLIGHT	-	300	4.46



PROPERTY LINE PHOTOMETRIC CALCULATIONS FOR:
200 LAVA ST. RESIDENCE
KETCHUM, IDAHO

Designer
SAM
Date
05/14/2026
Scale
Not to Scale
Drawing No.
ES101
Revision
0

1 of 1

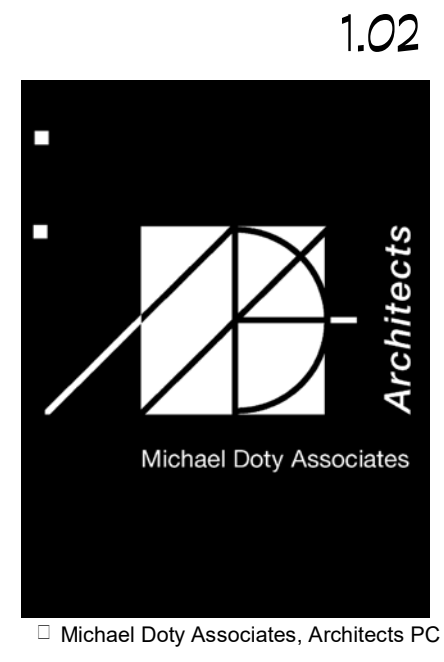
SITE PHOTOMETRIC STUDY

SCALE: 12.4 8

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026





EXISTING & PROPOSED EXTERIOR LIGHTING PLAN 1
1/8" = 1'-0"

EXTERIOR LIGHTS - EXISTING LIGHTS INDICATED BY (E)



EXTERIOR LIGHT B
LIGHT TYPE - PROPOSED EXTERIOR GARAGE DOOR DOWN LIGHT
FIXTURE TO MATCH EXISTING
DARK SKY COMPLIANT



EXTERIOR LIGHT A
LIGHT TYPE - EXISTING RECESSED CAN LIGHTS UNDER ENTRY CANOPY
DARK SKY COMPLIANT



EXTERIOR LIGHT B
LIGHT TYPE - EXISTING EXTERIOR DOOR DOWN LIGHT
DARK SKY COMPLIANT



EXTERIOR LIGHT B
LIGHT TYPE - PROPOSED EXTERIOR GARAGE DOOR DOWN LIGHT
FIXTURE TO MATCH EXISTING
DARK SKY COMPLIANT



EXTERIOR LIGHT B
LIGHT TYPE - EXISTING EXTERIOR MECHANICAL DOWN LIGHT
DARK SKY COMPLIANT



EXTERIOR LIGHT B
LIGHT TYPE - EXISTING EXTERIOR BBQ DOWN LIGHT
DARK SKY COMPLIANT



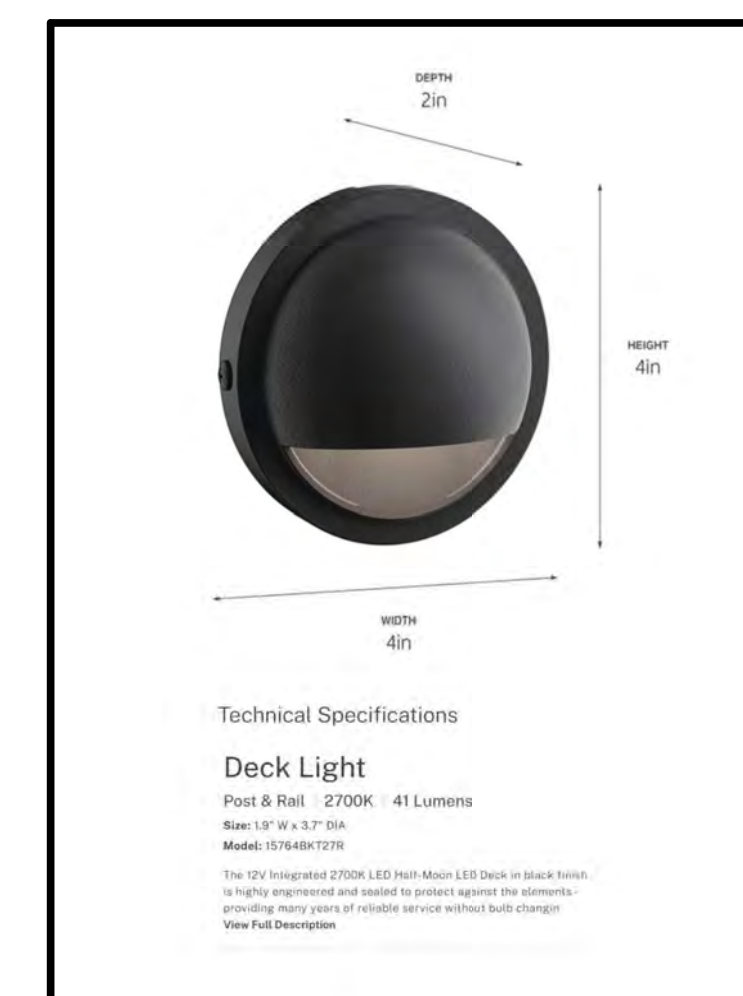
EXTERIOR LIGHT B
LIGHT TYPE - PROPOSED EXTERIOR ENTRY DOOR DOWN LIGHT
FIXTURE TO MATCH EXISTING
DARK SKY COMPLIANT



EXTERIOR LIGHT B
LIGHT TYPE - EXISTING EXTERIOR DOOR DOWN LIGHT
DARK SKY COMPLIANT



EXTERIOR LIGHT C
LIGHT TYPE - EXISTING EXTERIOR PATIO DOWN LIGHTS
DARK SKY COMPLIANT



EXTERIOR LIGHT D
DECK / EXTERIOR STAR WALKING LIGHT SPECIFICATION
DARK SKY COMPLIANT



EXTERIOR LIGHT B
WALL LIGHT SPECIFICATION
DARK SKY COMPLIANT



EXTERIOR LIGHTING

SCALE: 1/8" = 1'-0"
1 2 4 8

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026



VIEW CORRIDORS TO SITE
NTS 1



VIEW A
HWY 75 AND SECOND STREET
-RIVER RUN LODGE HWY 75 EXIT



VIEW B
HWY 75 AND 4TH AVE
-MAIN STREET VIEW WHEN LEAVING KETCHUM



VIEW C
HWY 75 AT TRAIL CREEK BRIDGE
-ROOF LINE OF EXISTING HOUSE



VIEW D
HWY 75 AND GEM STREET
-FIRST TURN OFF HWY 75 TOWARD SITE



VIEW E
GEM STREET AND LEADVILLE AVE
-SECOND TURN OFF HWY 75 TOWARD SITE



VIEW F
LEADVILLE AND LAVA STREET
-THIRD TURN OFF HWY 75 TOWARD SITE



VIEW G
LAVA STREET AT THE SOUTHWEST
CORNER OF THE SITE

VIEW CORRIDORS

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

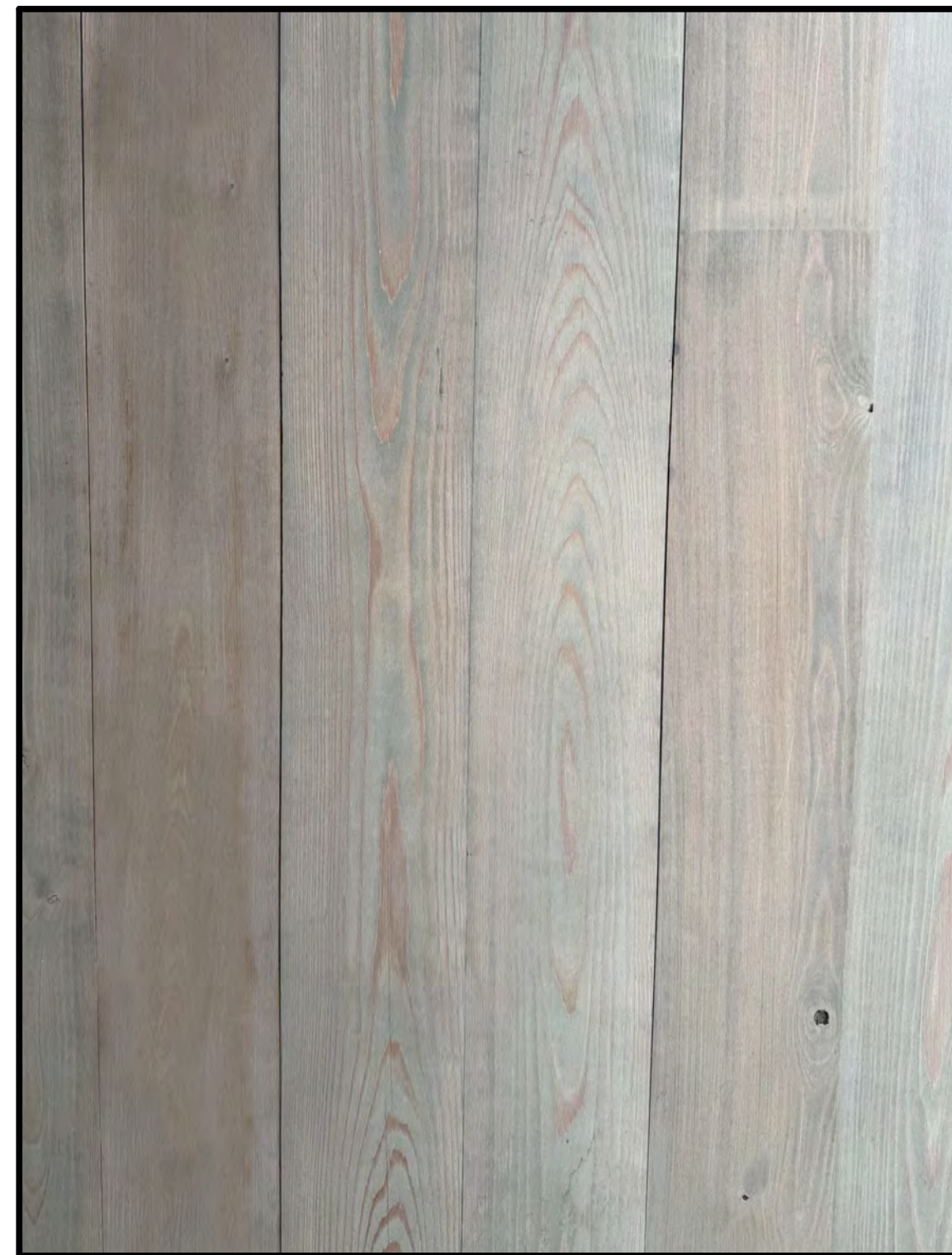
MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026



VERTICAL WOOD SIDING
EXISTING EXTERIOR MATERIAL
STAINED CEDAR
PROPOSED MATERIALS TO MATCH



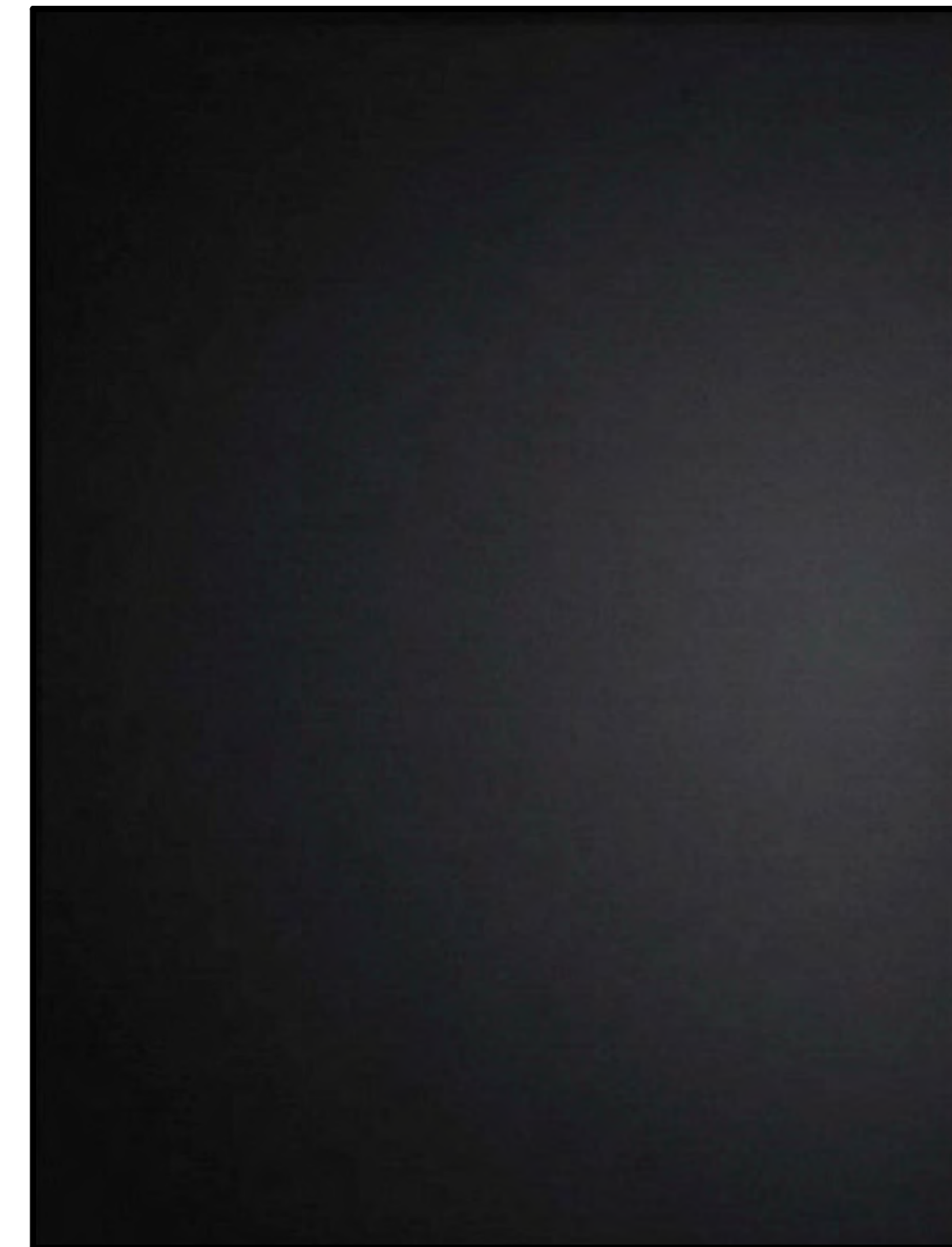
HORIZONTAL WOOD SIDING
EXISTING EXTERIOR MATERIAL
GRAY / BLUE STAINED CEDAR
OPEN JOINT RAINSCREEN
PROPOSED MATERIALS TO MATCH



WOOD SOFFIT
EXISTING EXTERIOR MATERIAL
STAINED CEDAR
PROPOSED MATERIALS TO MATCH



LIGHT VENETIAN PLASTER
EXISTING EXTERIOR MATERIAL
SMOOTH TEXTURE
PROPOSED MATERIALS TO MATCH



BLACK METAL
PROPOSED EXTERIOR MATERIAL
MATTE BLACK METAL ACCENTS



STACK STONE VENEER
EXISTING EXTERIOR MATERIAL
PROPOSED MATERIALS TO MATCH



DRIVEWAY CONCRETE PAVERS
EXISTING EXTERIOR MATERIAL
ROMAN STYLE PAVERS
PROPOSED MATERIALS TO MATCH



CONCRETE PATIO FLOOR SLAB
EXISTING EXTERIOR MATERIAL
SMOOTH TOP POLISHED TEXTURE
PROPOSED MATERIALS TO MATCH



METAL STANDING SEAM ROOF
EXISTING EXTERIOR MATERIAL
METAL STANDING SEAM - GRAY
PROPOSED MATERIALS TO MATCH

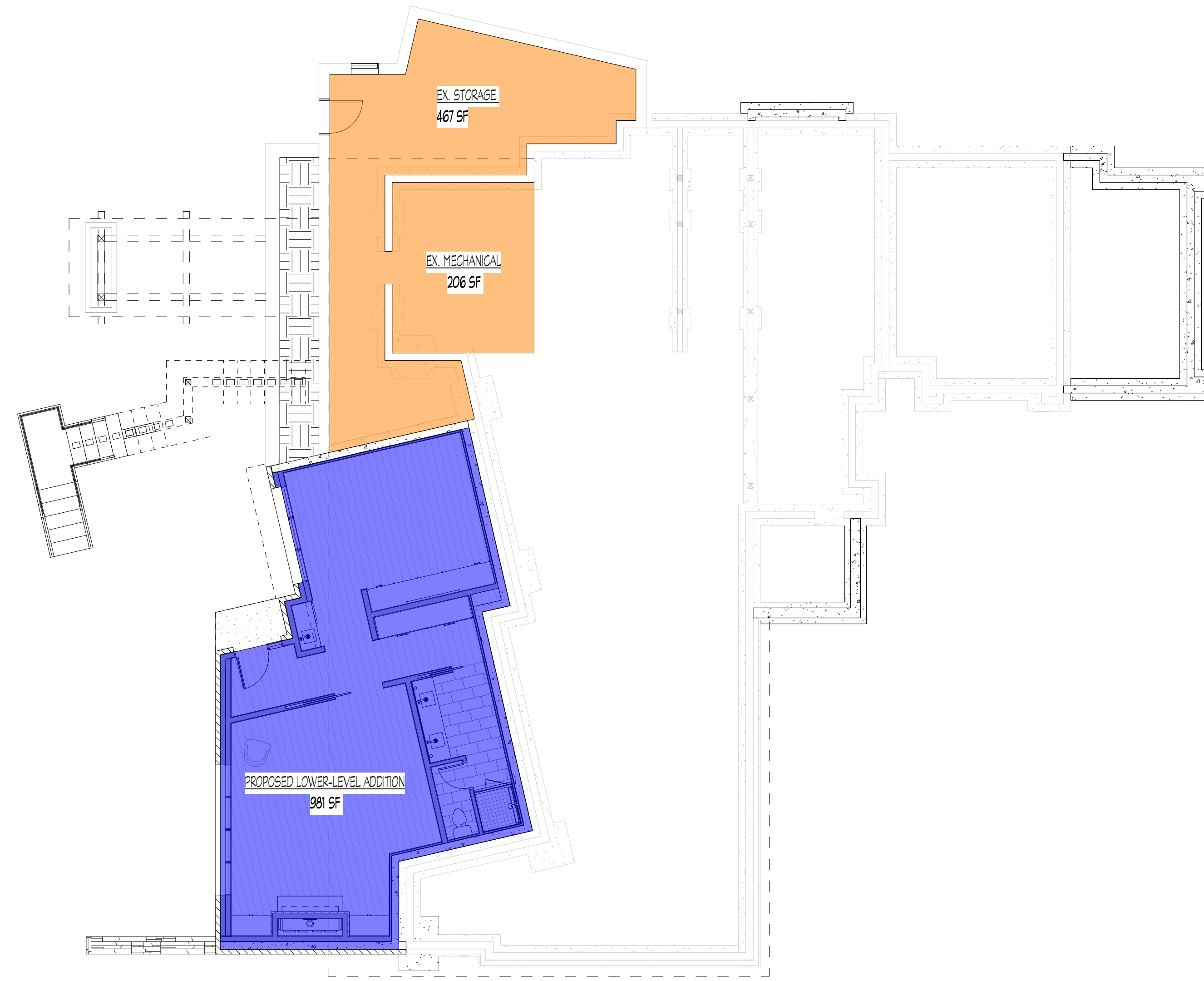


WINDOWS
EXISTING EXTERIOR MATERIAL
PROPOSED WINDOWS TO MATCH EXISTING
ALUMINUM CLAD WOOD WINDOWS

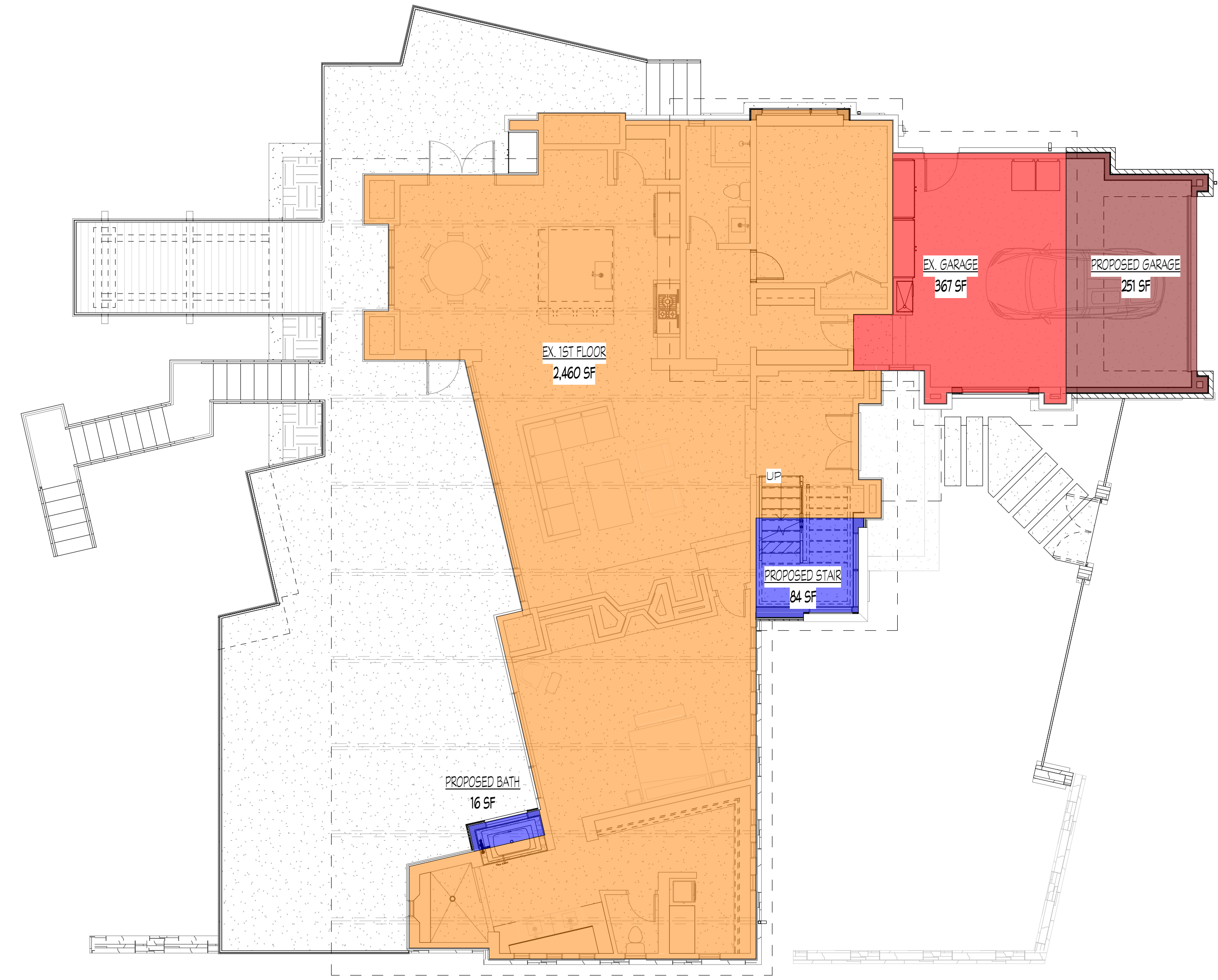
EXISTING / PROPOSED EXTERIOR FINISHES

BROWN SFR - ADDITION

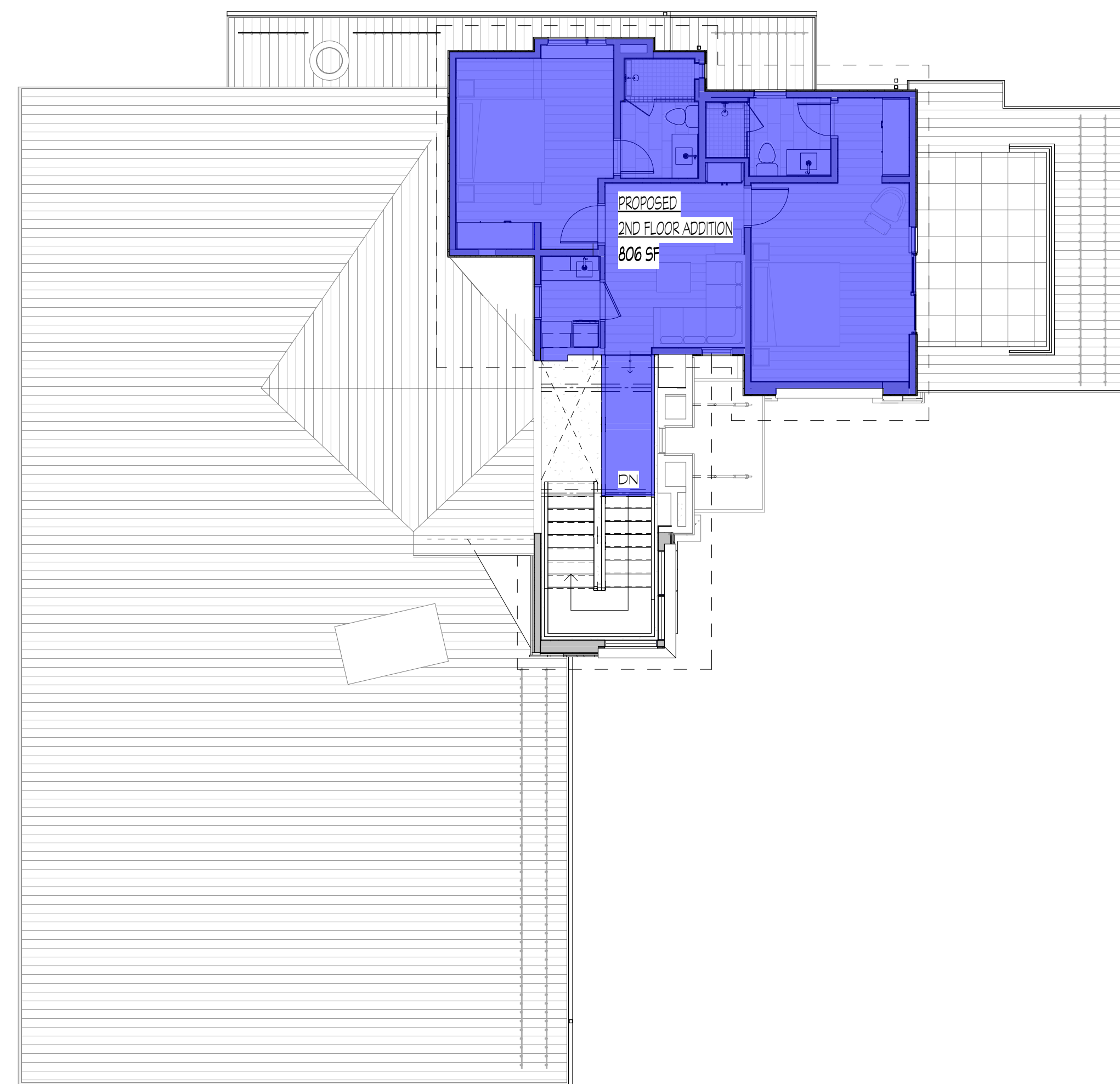
200 LAVA STREET
KETCHUM, IDAHO 83340
MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026



SQ FT CALC - LOWER-LEVEL 1
1/8" = 1'-0"



SQ FT CALC - FIRST FLOOR PLAN 2
1/8" = 1'-0"



SQ FT CALC - SECOND FLOOR 3
1/8" = 1'-0"

- EXISTING LIVING SPACE
- EXISTING GARAGE SPACE
- PROPOSED LIVING SPACE
- PROPOSED GARAGE SPACE

legend 0
6" = 1'-0"

BUILDING AREA (GROSS):

EXISTING LOWER-LEVEL STORAGE	467	SF
EXISTING LOWER-LEVEL MECHANICAL	206	SF
PROPOSED LOWER LEVEL ADDITION	981	SF
EXISTING 1ST FLOOR	2,460	SF
PROPOSED 1ST FLOOR STAIR ADDITION	84	SF
PROPOSED 1ST FLOOR BATH ADDITION	16	SF
EXISTING GARAGE	367	SF
PROPOSED 1ST FLOOR GARAGE ADDITION	251	SF
PROPOSED 2ND FLOOR ADDITION	806	SF
TOTAL	5,638	SF

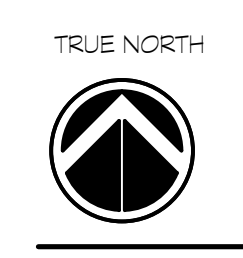
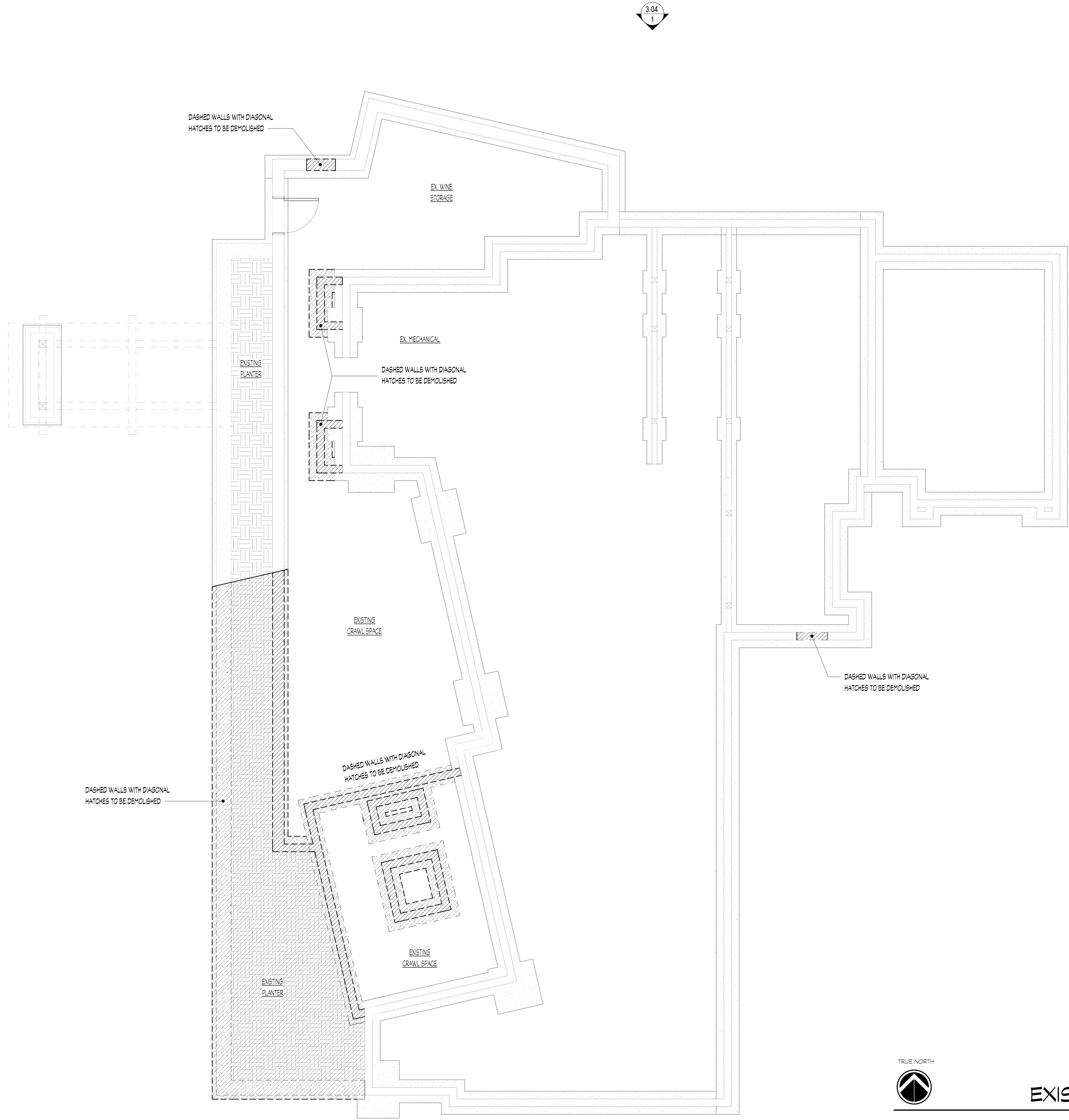


TRUE NORTH

SQUARE FOOTAGE CALCULATIONS

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340
MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026



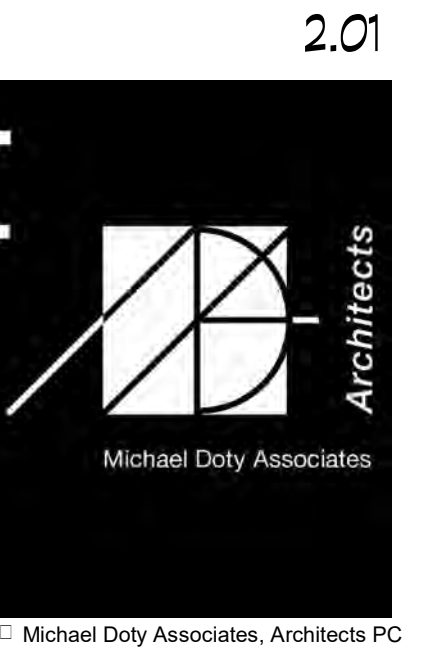
EXISTING / DEMO FOUNDATION PLAN

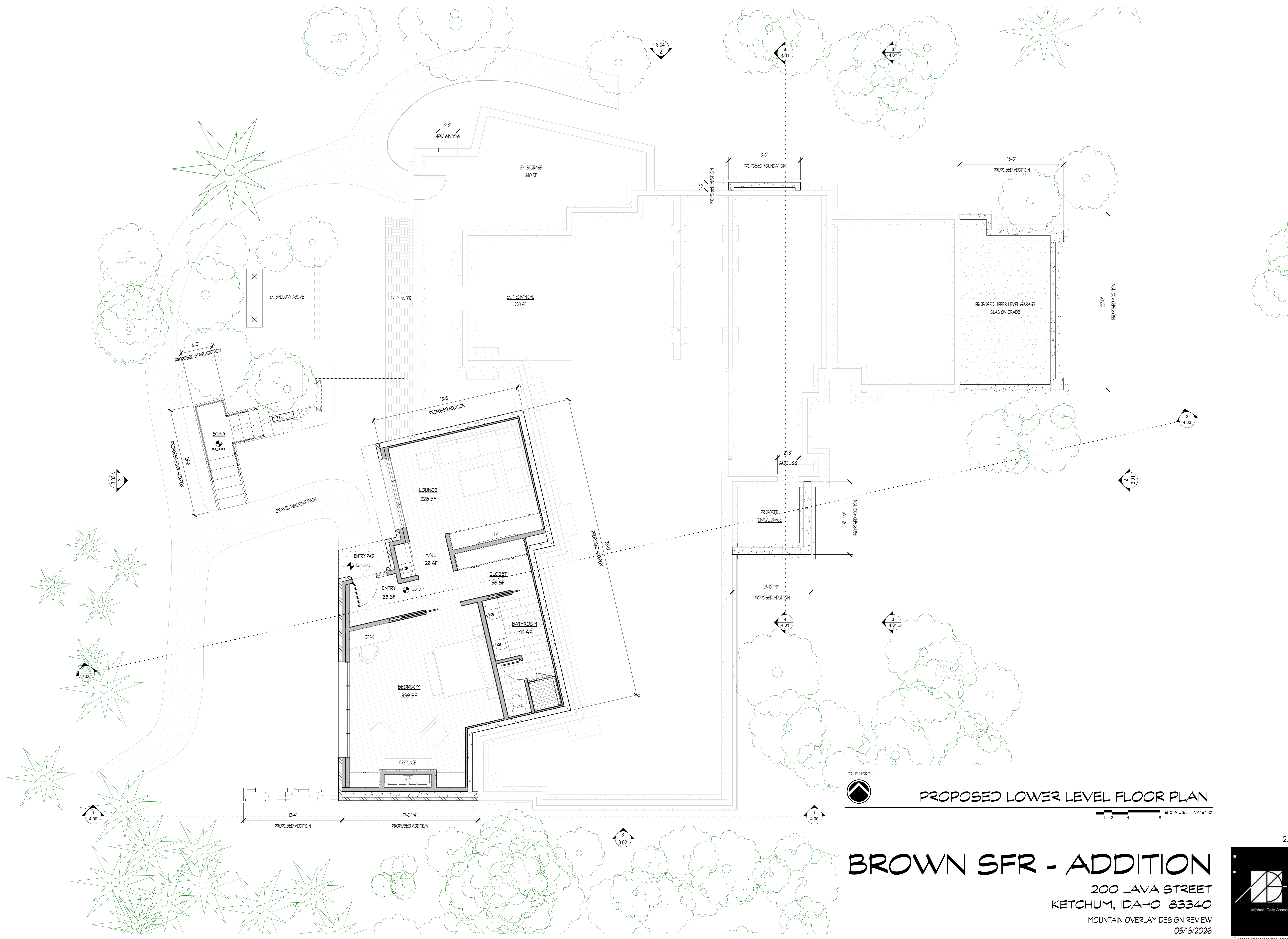
SCALE: 1/4"=1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026





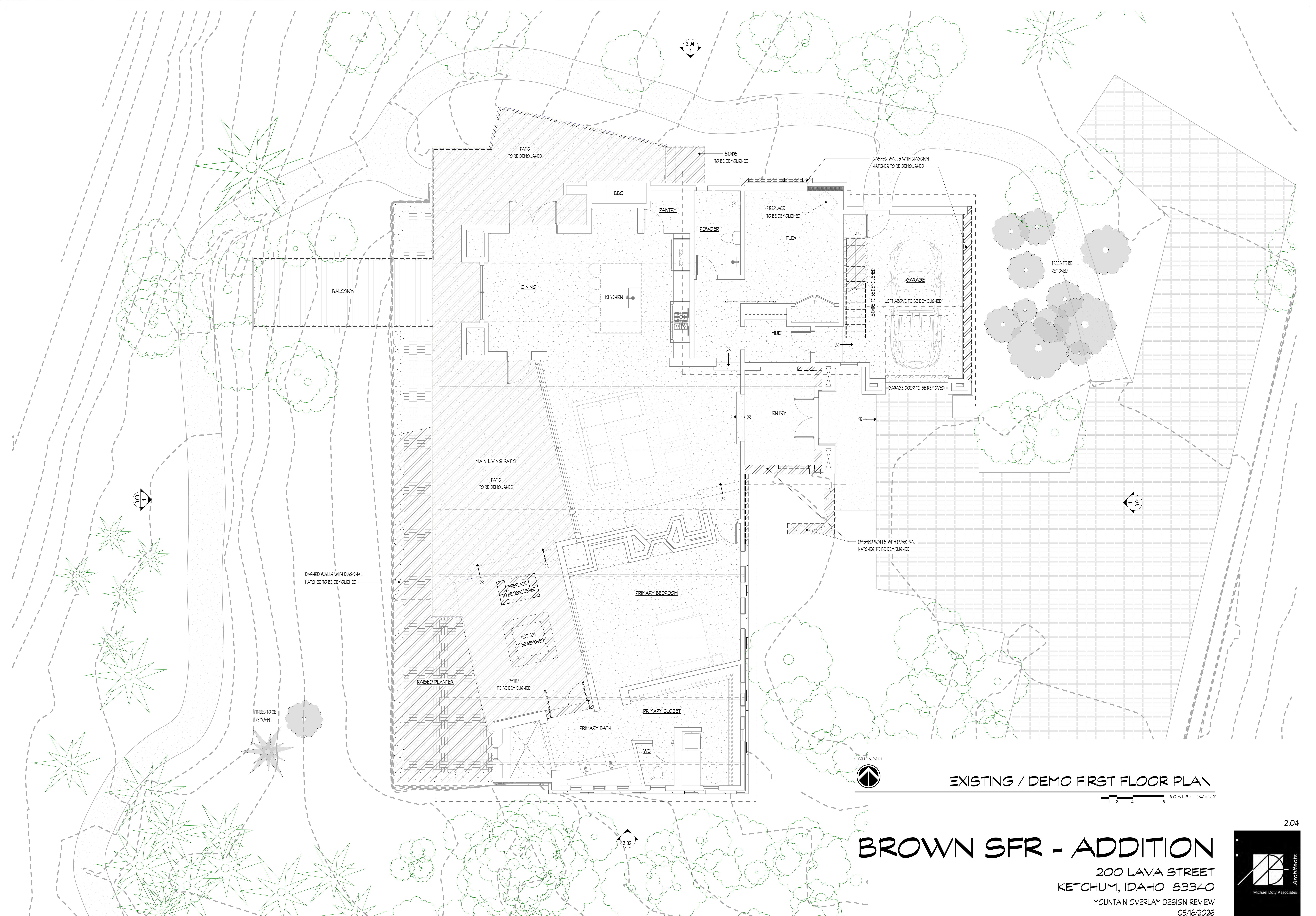
PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026

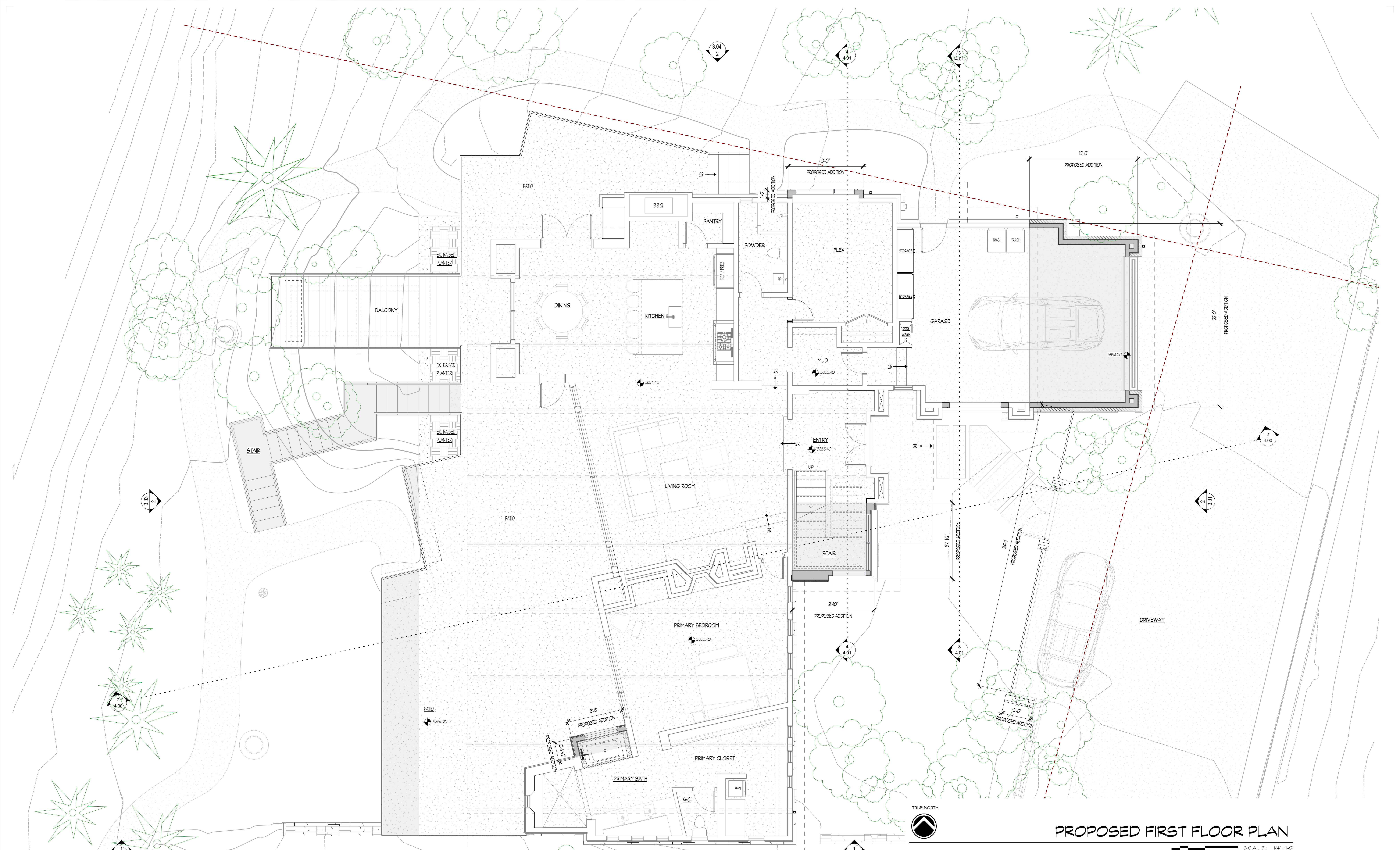


EXISTING / DEMO FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
 KETCHUM, IDAHO 83340
 MOUNTAIN OVERLAY DESIGN REVIEW
 05/18/2026



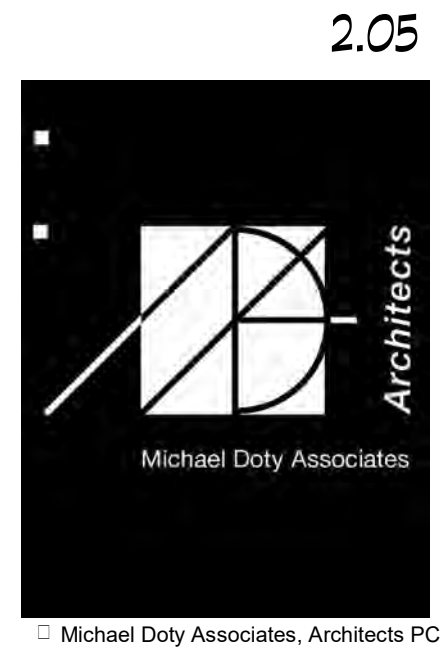
PROPOSED FIRST FLOOR PLAN

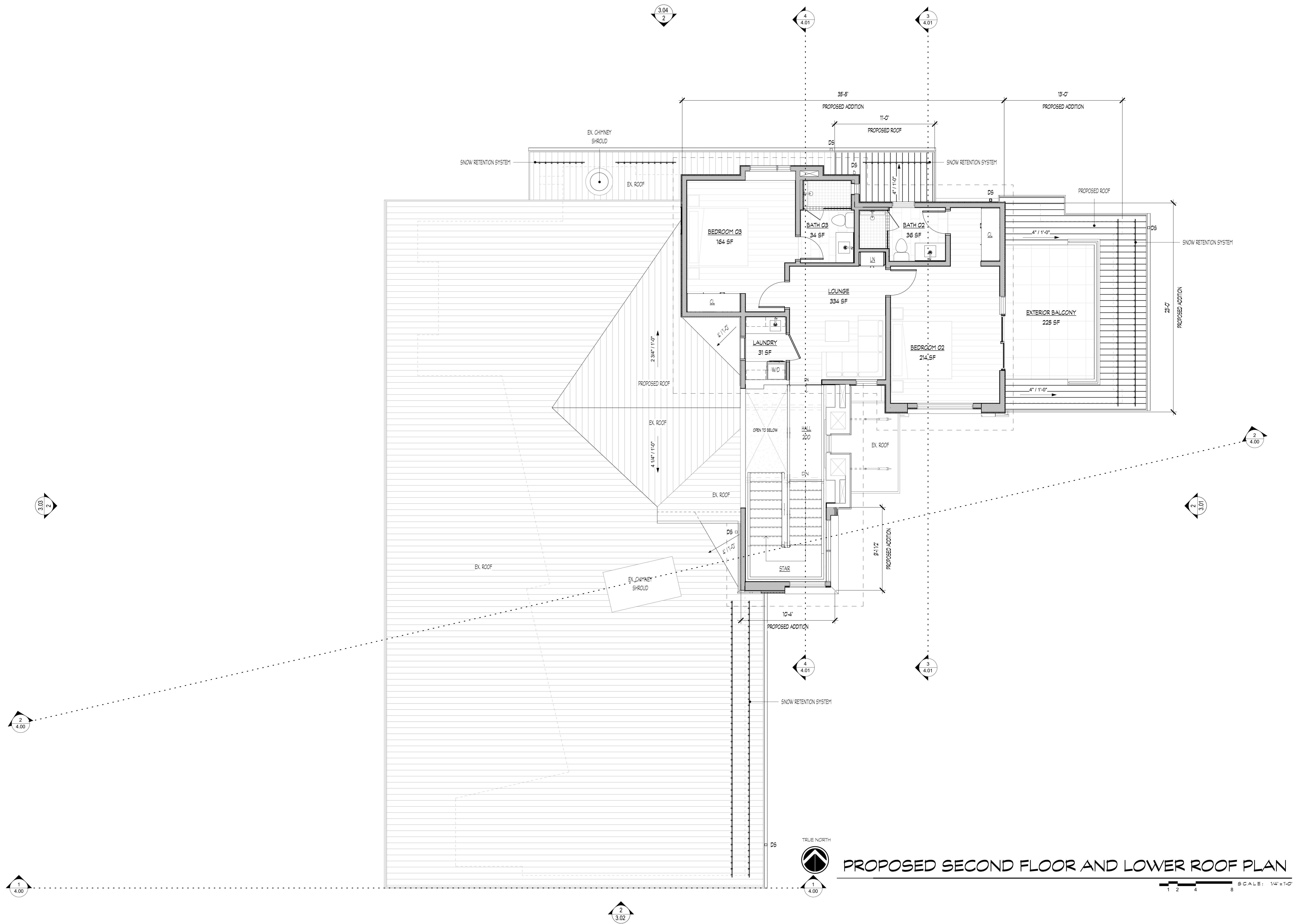
SCALE: 1/4" = 1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026





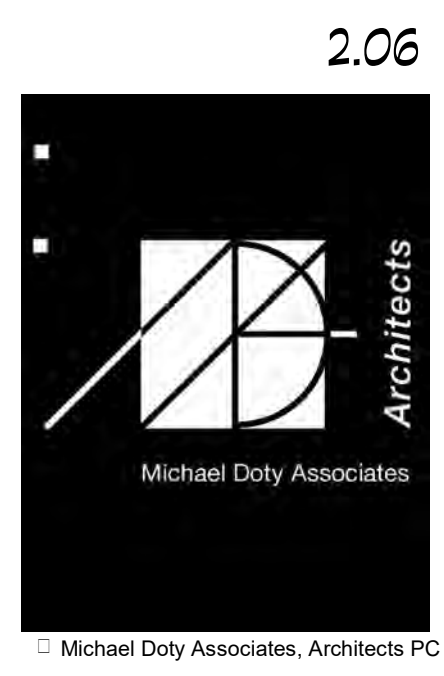
PROPOSED SECOND FLOOR AND LOWER ROOF PLAN

SCALE: 1/4"=1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
05/18/2026



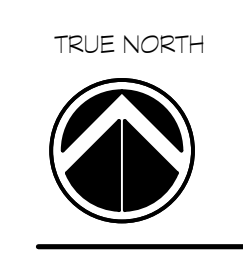
3.04
1



3.03
1

3.01
1

3.02
1



EXISTING / DEMO ROOF PLAN

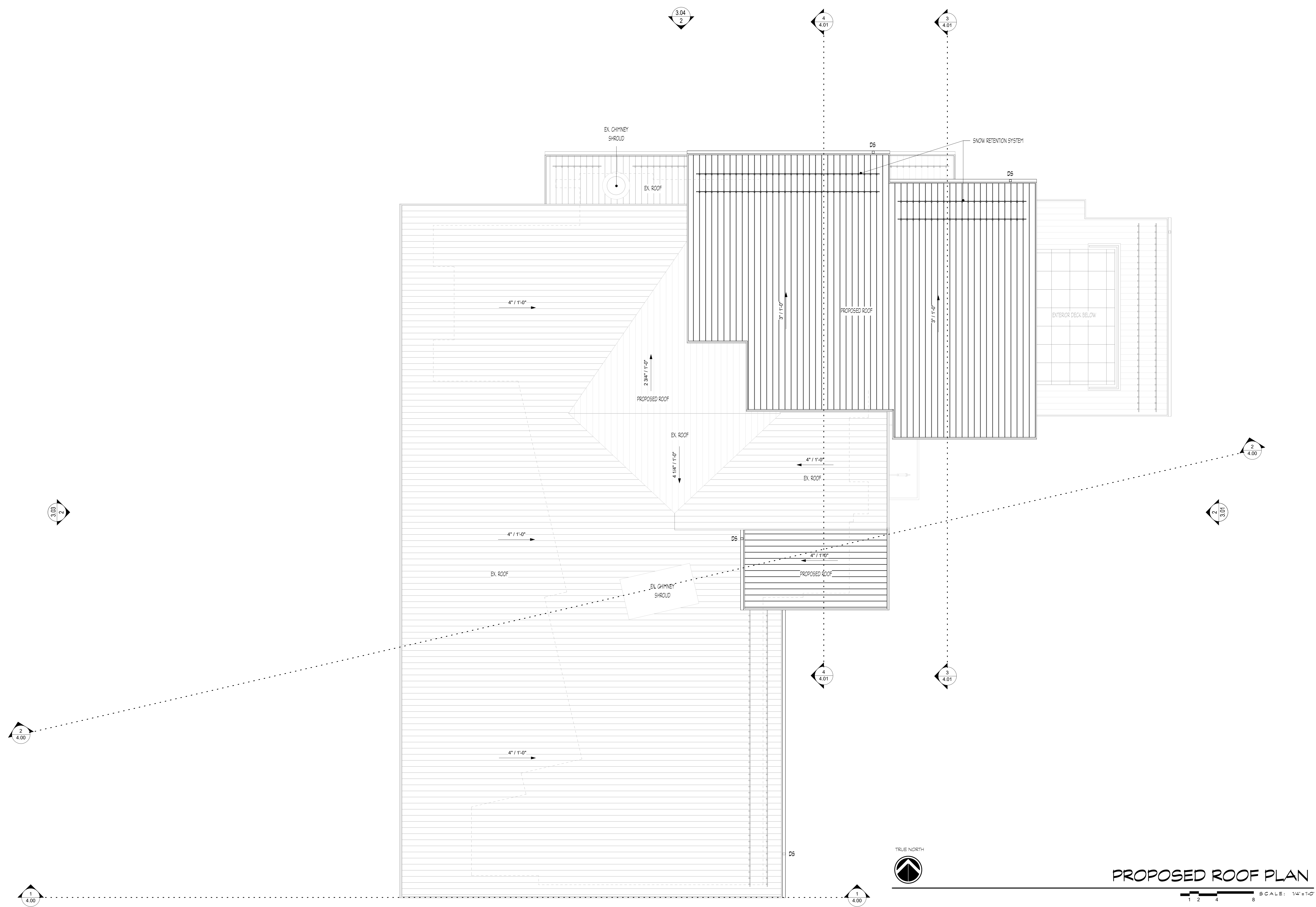
SCALE: 1/4"=1'-0"

BROWN SFR - ADDITION

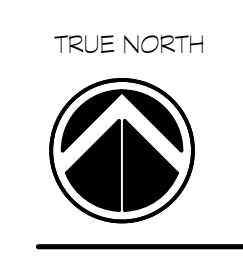
200 LAVA STREET
KETCHUM, IDAHO 83340

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PROPOSED ROOF PLAN

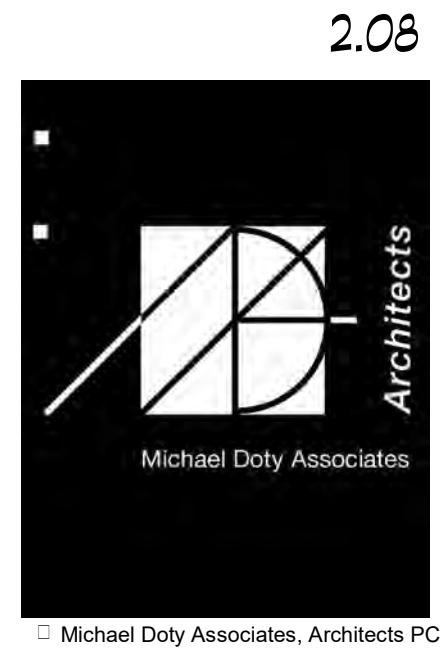


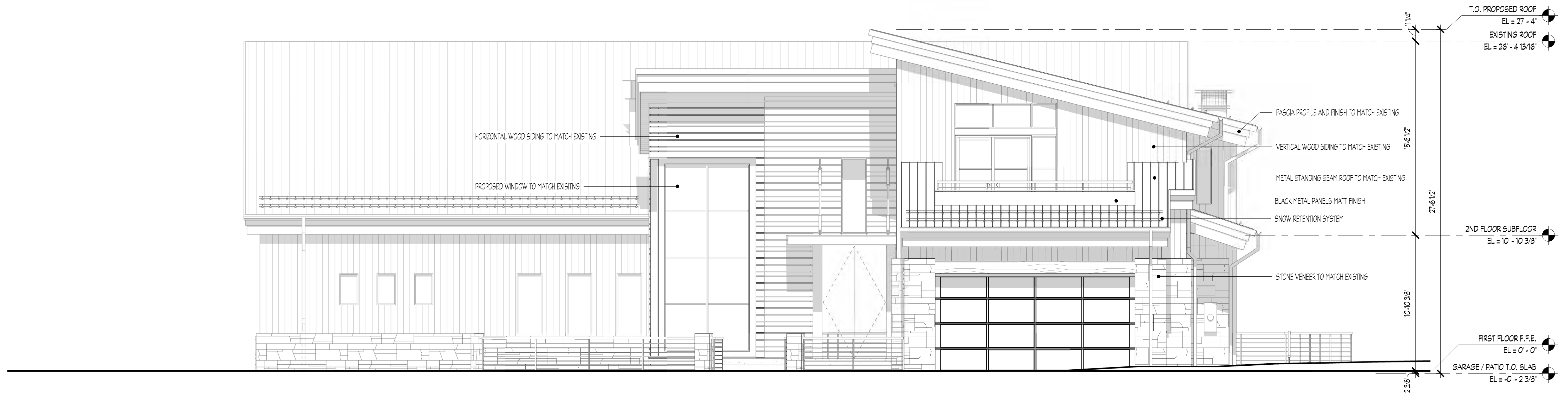
SCALE: 1/4"=1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

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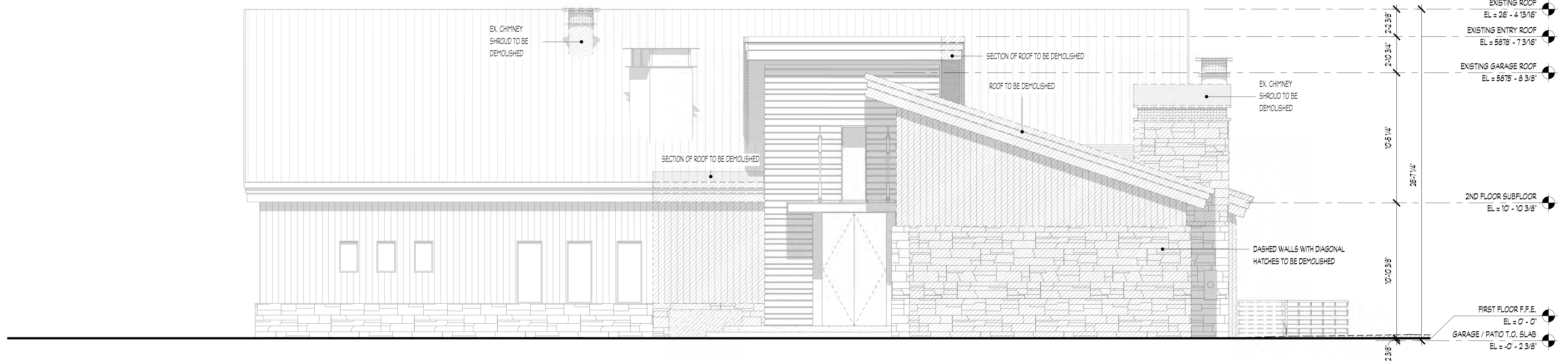




PROPOSED EAST BUILDING ELEVATION

2

NOTE: ELEVATION 0'0" = ELEVATION 5,854.40' REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT 1/4" = 1'-0"

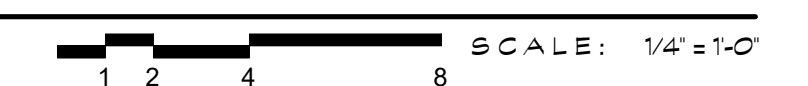


EXISTING / DEMO EAST BUILDING ELEVATION

1

NOTE: ELEVATION 0'0" = ELEVATION 5,854.40' REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT 1/4" = 1'-0"

EXISTING AND PROPOSED EAST ELEVATION

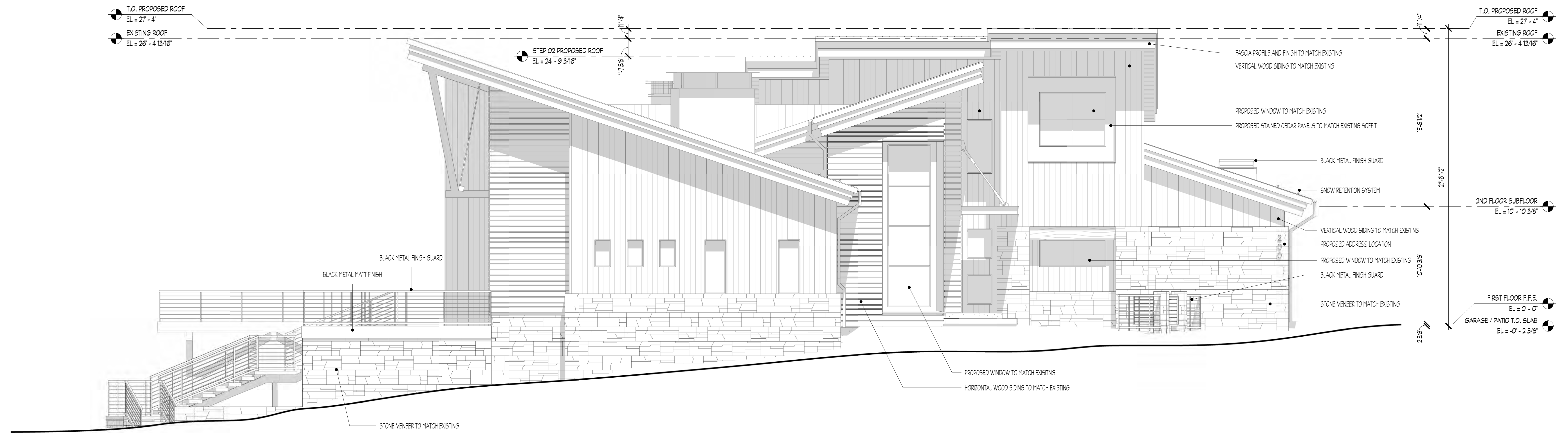


BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

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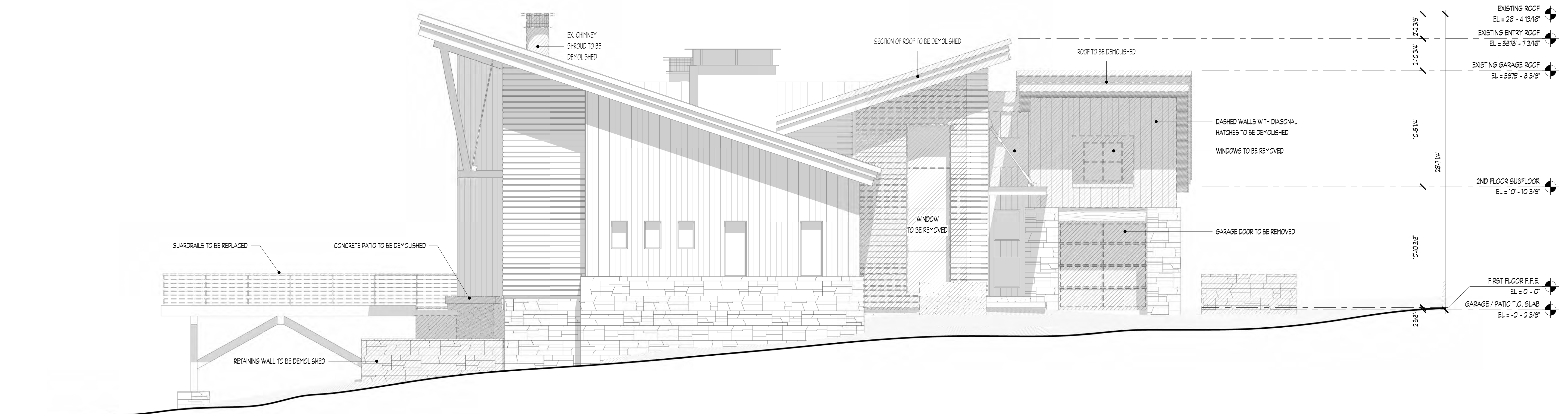




PROPOSED SOUTH BUILDING ELEVATION 2

NOTE: ELEVATION 00' = ELEVATION 5,654.40' REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT

1/4" = 1'-0"

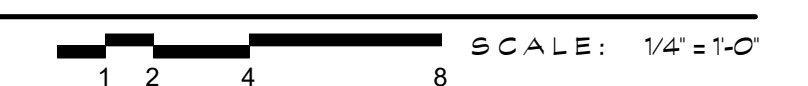


EXISTING / DEMO SOUTH BUILDING ELEVATION 1

NOTE: ELEVATION 00' = ELEVATION 5,654.40' REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT

1/4" = 1'-0"

EXISTING AND PROPOSED SOUTH ELEVATION

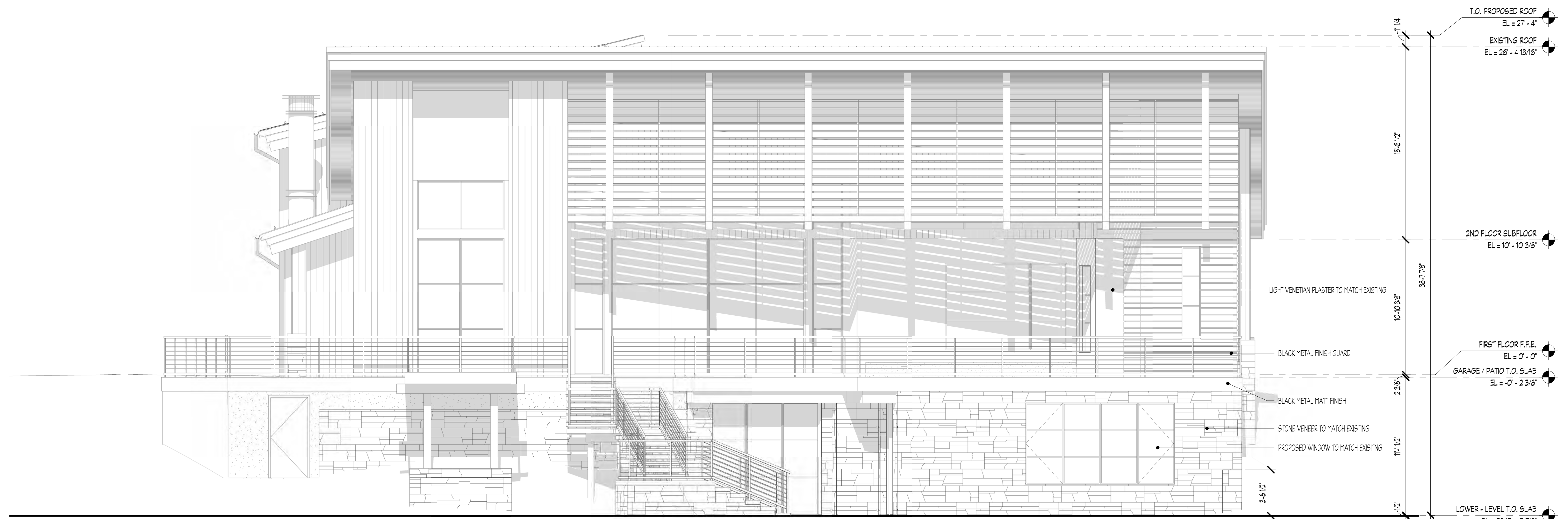


BROWN SFR - ADDITION

200 LAVA STREET
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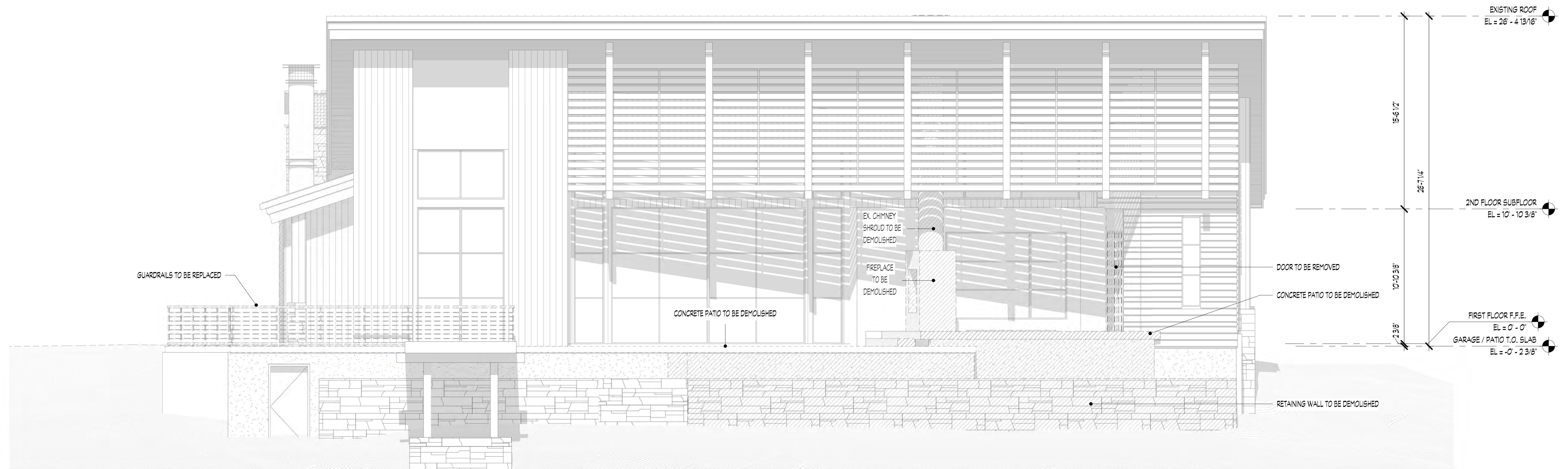
MOUNTAIN OVERLAY DESIGN REVIEW
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PROPOSED WEST BUILDING ELEVATION 2

NOTE: ELEVATION 0'0" = ELEVATION 5,854.40' REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT 1/4" = 1'-0"



EXISTING / DEMO WEST BUILDING ELEVATION 1

NOTE: ELEVATION 0'0" = ELEVATION 5,854.40' REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT 1/4" = 1'-0"

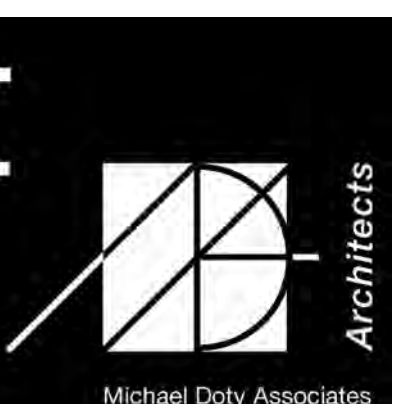
EXISTING AND PROPOSED WEST ELEVATION

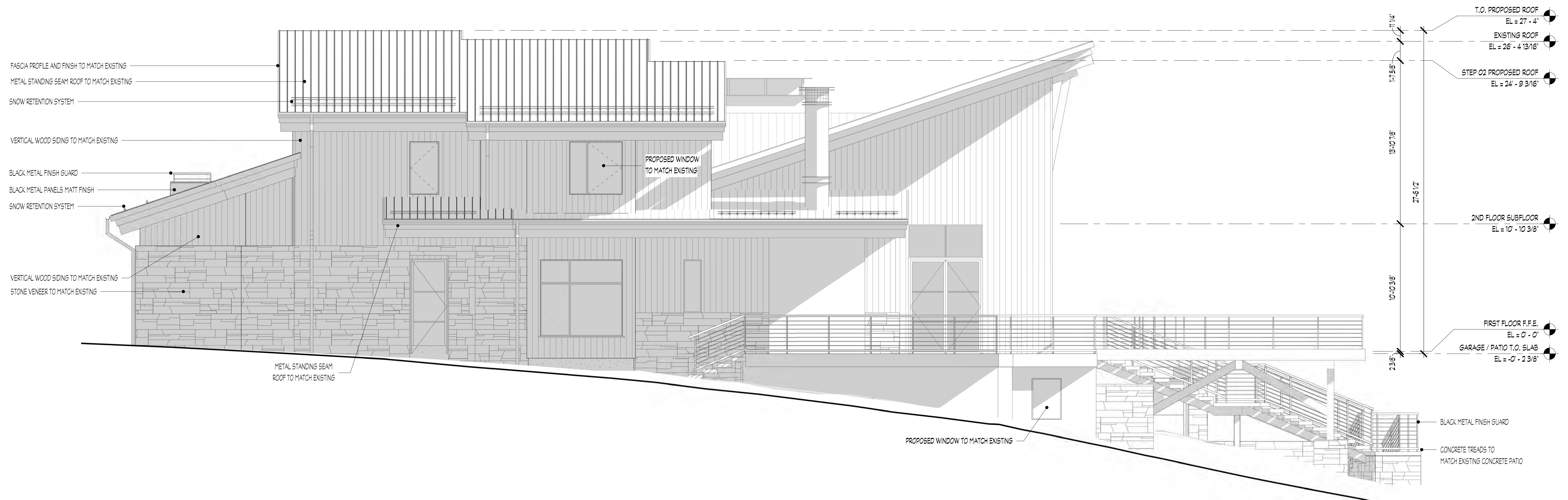
SCALE: 1/4" = 1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

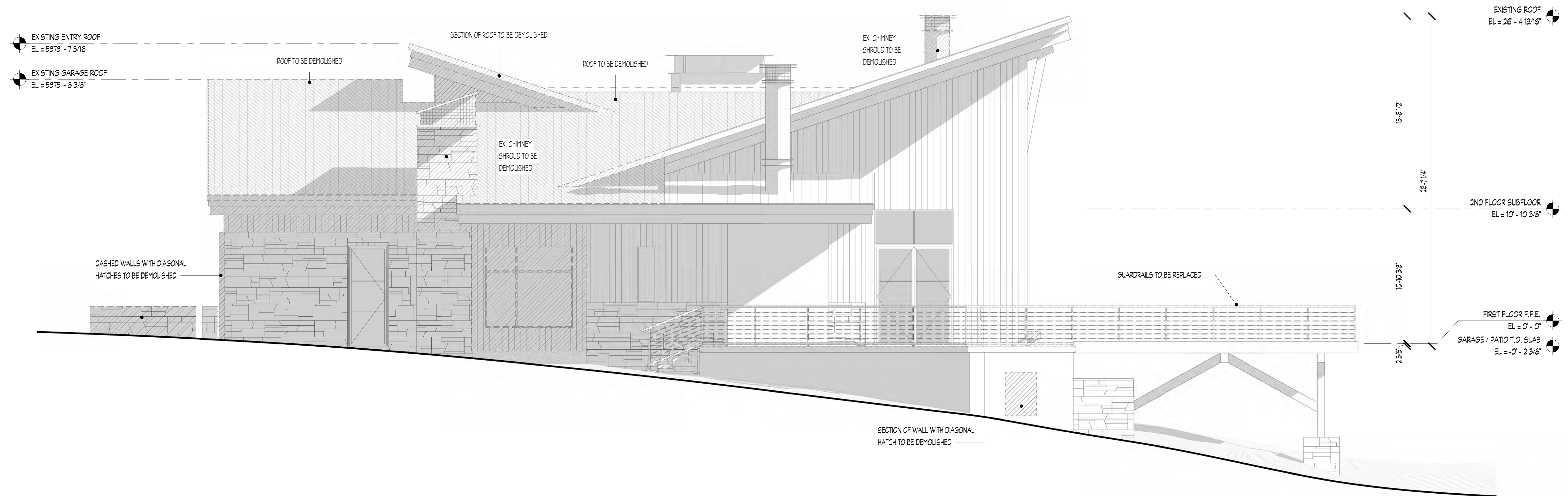
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PROPOSED NORTH BUILDING ELEVATION 2

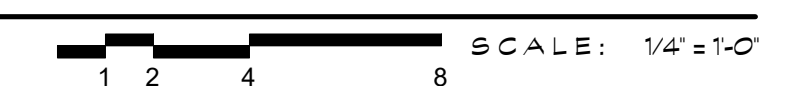
NOTE: ELEVATION 0'0" = ELEVATION 5,854.40 REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT 1/4" = 1'-0"



EXISTING / DEMO NORTH BUILDING ELEVATION 1

NOTE: ELEVATION 0'0" = ELEVATION 5,854.40 REFER TO SHEET DR 4.00 FOR MAX BUILDING HEIGHT 1/4" = 1'-0"

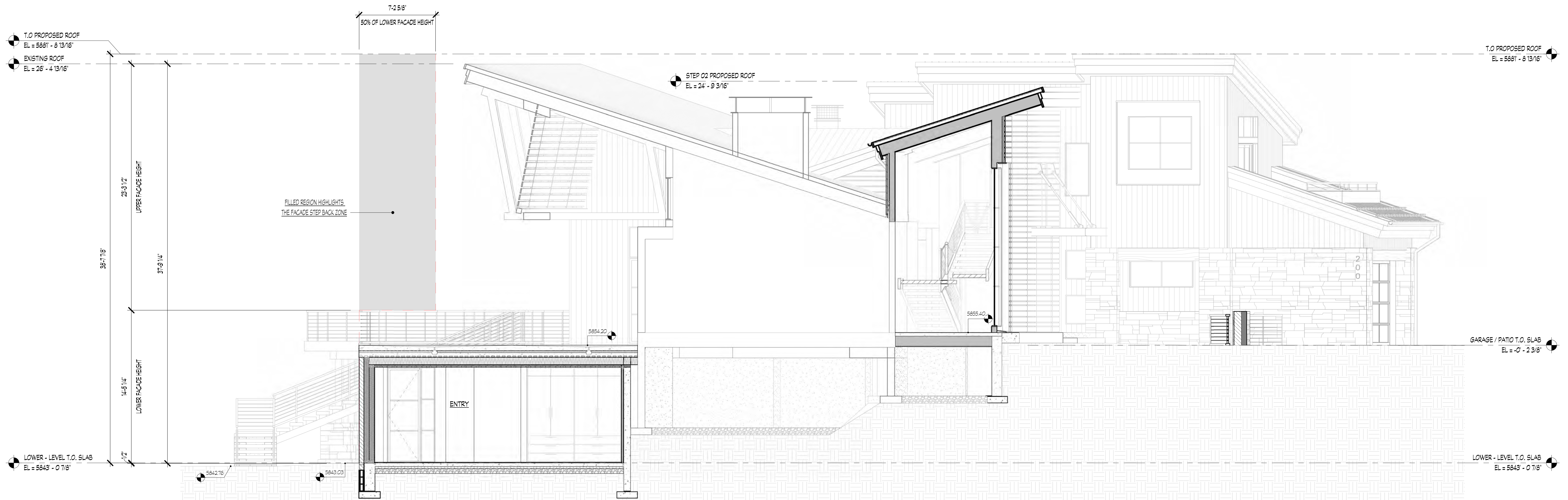
EXISTING AND PROPOSED NORTH ELEVATIONS



BROWN SFR - ADDITION

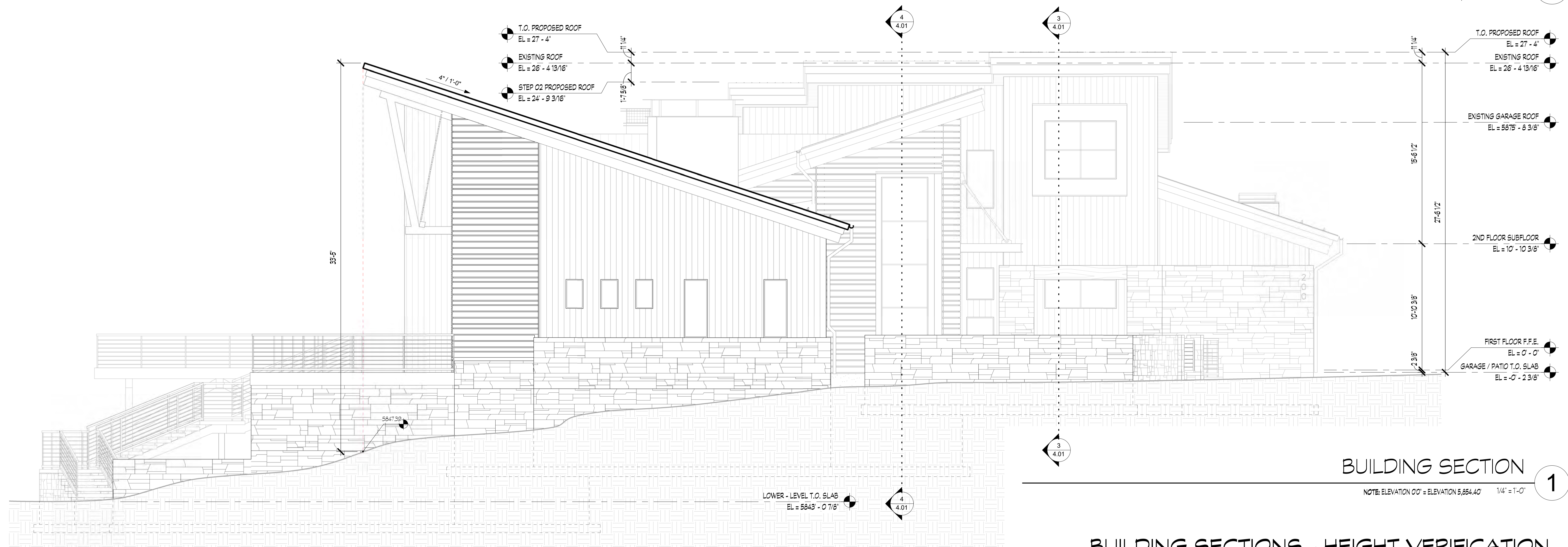
200 LAVA STREET
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BUILDING SECTION 2

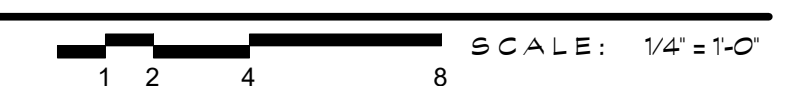
NOTE: ELEVATION 00' = ELEVATION 5,884.40 1/4" = 1'-0"



BUILDING SECTION 1

NOTE: ELEVATION 00' = ELEVATION 5,884.40 1/4" = 1'-0"

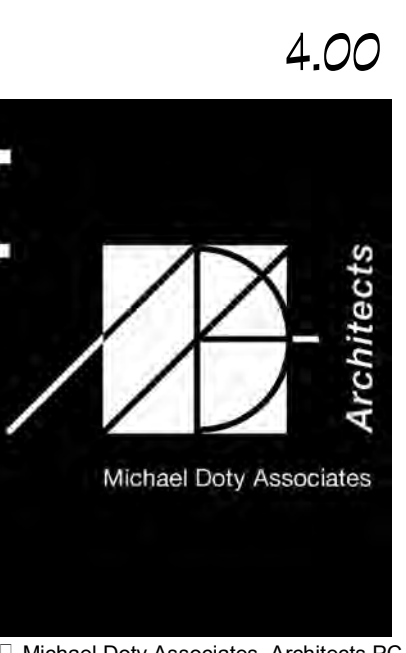
BUILDING SECTIONS - HEIGHT VERIFICATION

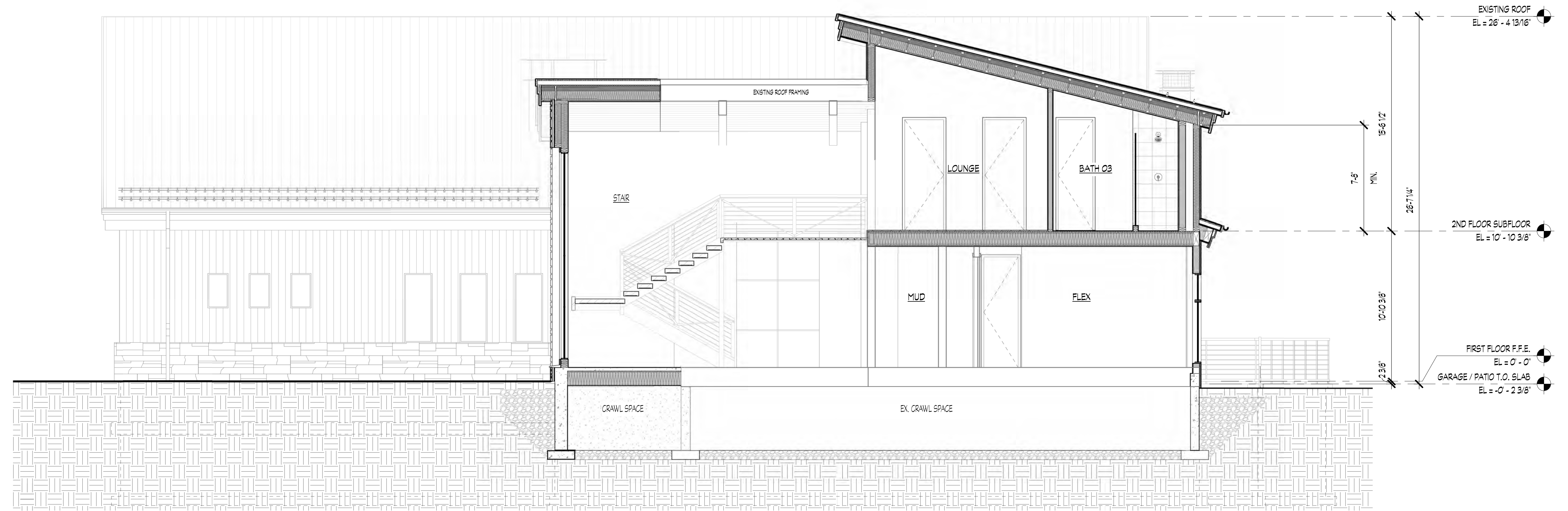


BROWN SFR - ADDITION

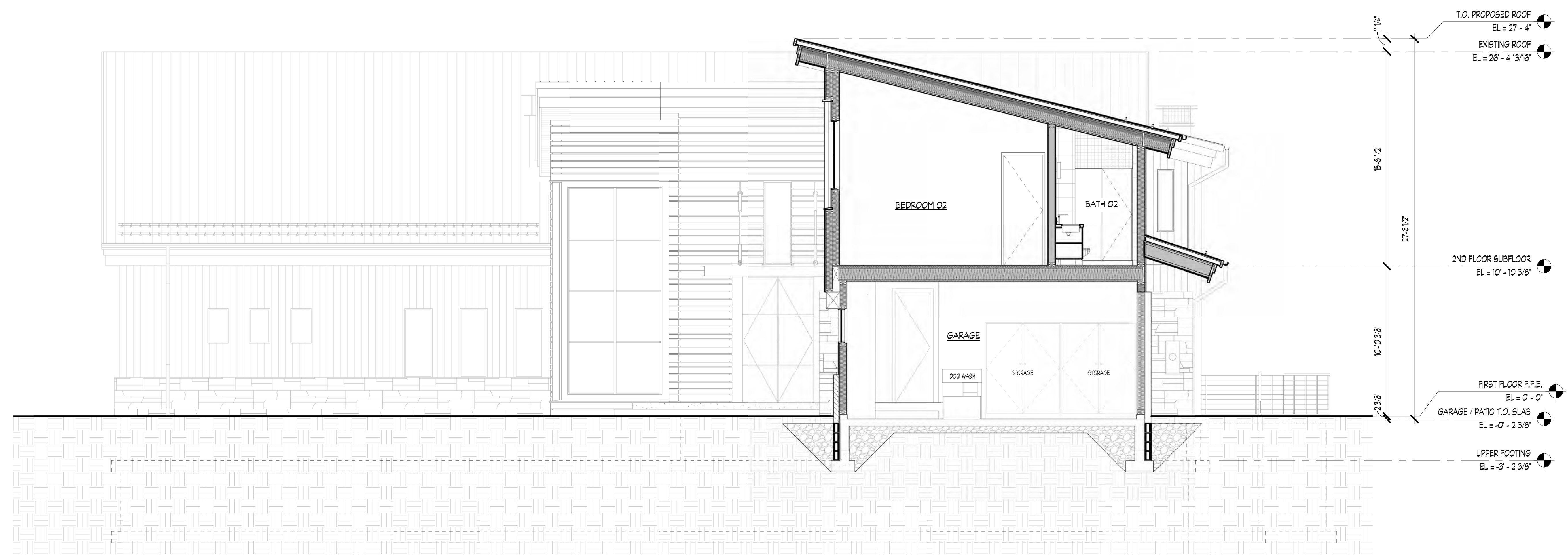
200 LAVA STREET
KETCHUM, IDAHO 83340

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BUILDING SECTION 4
 NOTE: ELEVATION 00' = ELEVATION 5,854.40' 1/4" = 1'-0"



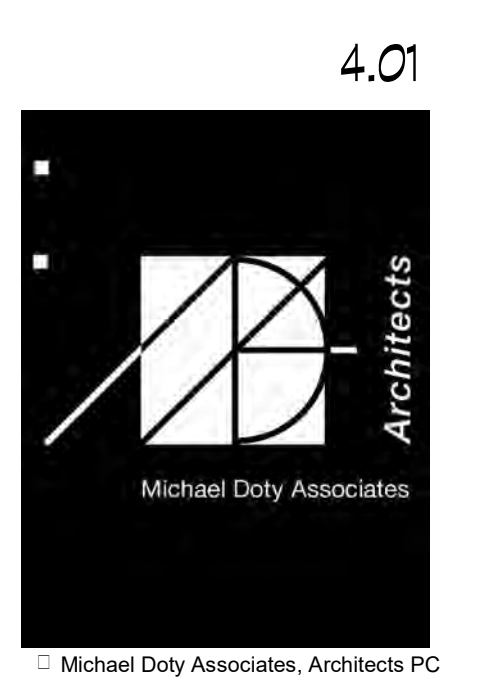
BUILDING SECTION 3
 NOTE: ELEVATION 00' = ELEVATION 5,854.40' 1/4" = 1'-0"

BUILDING SECTIONS
 SCALE: 1/4" = 1'-0"

BROWN SFR - ADDITION

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 KETCHUM, IDAHO 83340

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SOUTHEAST RENDERING ①
6"=1'-0"

EXTERIOR RENDERING

1 2 4 8 SCALE: 6"=1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
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10.00



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SOUTH RENDERING

6"=1'-0"

1

EXTERIOR RENDERING

SCALE: 6"=1'-0"

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
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NORTHEAST RENDERING

1

6"=1'-0"

EXTERIOR RENDERING

SCALE: 6"=1'-0"

BROWN SFR - ADDITION

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SOUTHWEST RENDERING 1
6"=1'-0"

EXTERIOR RENDERING

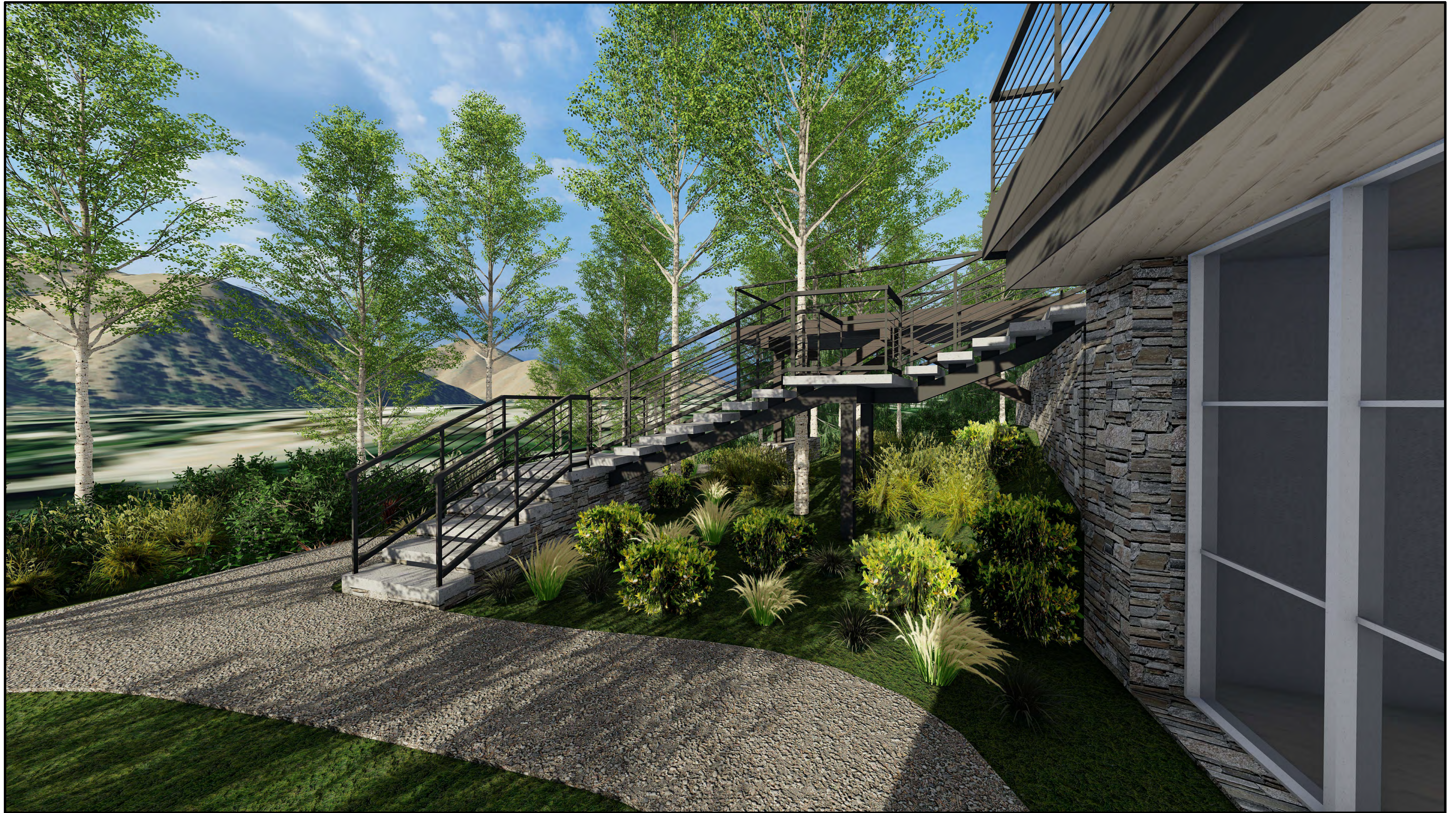
SCALE: 6"=1'-0"
1 2 4 8

BROWN SFR - ADDITION

200 LAVA STREET
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WEST EXTERIOR STAIR RENDERING

6"=1'-0" 1

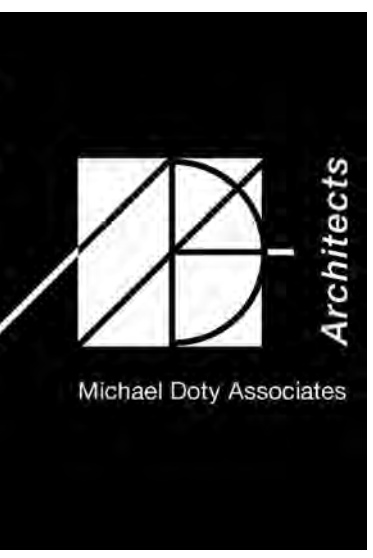
EXTERIOR RENDERING

SCALE: 6"=1'-0"
1 2 4 8

BROWN SFR - ADDITION

200 LAVA STREET
KETCHUM, IDAHO 83340

MOUNTAIN OVERLAY DESIGN REVIEW
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City of Ketchum

Attachment B: Design Review Standards Analysis



**200 LAVA STREET
DESIGN REVIEW STANDARDS EVALUATION**

Design Review Standards (KMC §16.04.080.C)		
Ketchum Municipal Code	Design Review Standards & Staff Analysis	
16.04.080.C.1.a Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.	Conformance YES
Staff Analysis	A connection to the existing residence from Lava Street currently exists and was constructed with the original development.	
16.04.080.C.1.b Streets	All street designs shall be approved by the City Engineer.	Conformance N/A
Staff Analysis	No new streets or changes to the design of Lava Street are proposed with this project.	
16.04.080.C.2.a Sidewalks	All projects under 16.04.080.B that qualify as a "substantial improvement" shall install sidewalks as required by the Streets and Facilities Department.	Conformance N/A
Staff Analysis	KMC 16.04.020.C.13 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.	
16.04.080.C.2.b Sidewalks	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.2.c Sidewalks	Sidewalks may be waived if one of the following criteria is met: a) The project comprises an addition of less than 250 square feet of conditioned space. b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.2.d Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.	Conformance N/A

Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.2.e Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.2.f Sidewalks	The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a Certificate of Occupancy.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.3 Drainage & Landscaping	All applications shall meet the standards set forth in 16.04.060.A, Standards for All Development.	Conformance YES
Staff Analysis	<p>1. Drainage</p> <ul style="list-style-type: none"> - The drainage improvements include the installation of a trench drain and drywells in combination with existing drywells onsite. Drainage improvements are specified on Sheet C2.0 of the project plans. A combination of drywells and catch basins will be installed to collect stormwater from the property. The City Engineer reviewed the proposed drainage plan and finds it sufficient to maintain all storm water drainage onsite. Upon Design Review approval, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. <p>2. Utilities</p> <ul style="list-style-type: none"> - All utilities are existing and located underground. <p>3. Snow Storage</p> <ul style="list-style-type: none"> - The applicant is providing snowmelt in the driveway, which is permitted in lieu of providing snow storage onsite. The snowmelt system is entirely located on private property and does not require a ROW Encroachment Permit nor is it subject to ROW snowmelt standards in KMC 16.04.020.C.15. In addition to snowmelt, the project 	

	<p>plans include snow storage areas located at the end of the driveway and along the front of the property.</p> <p>4. Landscaping</p> <ul style="list-style-type: none"> - No new landscaping is proposed outside of revegetating disturbed existing landscaping on the site. The site will be revegetated with Mountain Brome hydro-seed and Scottish Links sod for the lawn. All of the new plant materials are drought tolerant. <p>5. Fences/Hedges/Walls</p> <ul style="list-style-type: none"> - The proposed retaining walls onsite comply with the fences/hedges/walls standards in KMC 16.04.060.D. There are existing retaining walls onsite that are to remain and no changes are proposed. 	
16.04.080.C.4.a Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.	Conformance YES
Staff Analysis	The Lava Street neighborhood features six residences built at varying timeframes resulting in a diverse range of materials and architectural styles. While the homes vary in appearance, they share common design elements, including pitched roofs and exterior materials primarily composed of wood, stone, and plaster with metal accents. The proposed materials of stone, stained cedar, light venetian plaster, and metal elements are consistent and complement the neighborhood character and with those of the existing residence.	
16.04.080.C.4.b Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property does not contain any historical or cultural landmarks.	
16.04.080.C.4.c Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.	Conformance N/A
Staff Analysis	This standard does not apply because the subject property is developed with an existing single-family residence that was constructed in 2006. However, the proposed addition to the residence proposes the same materials and colors of the existing residence to create a compatible, cohesive design.	
16.04.080.C.5.a Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.	Conformance YES
Staff Analysis	The subject property is located within the LR zone and sidewalks are not required to be installed for this project. The entryway for the residence is existing and will remain in its current location which is clearly defined at the front of the structure.	
16.04.080.C.5.b Architectural	The building character shall be clearly defined by use of architectural features.	Conformance YES

Staff Analysis	The proposal features various architectural features including material changes and orientation of materials (horizontal and vertical wood siding), change in roof forms (shed and flat) with various heights, metal detailing, and diverse window forms.	
16.04.080.C.5.c Architectural	There shall be continuity of materials, colors and signing within the project.	Conformance YES
Staff Analysis	The proposed addition incorporates vertical and horizontal stained cedar siding, stack stone veneer, and light venetian plaster finishes. Additional exterior materials include stained cedar soffits, a gray metal roof, aluminum clad windows, and matte black metal accents on the railings, panels, garage door, and chimney. All proposed exterior colors and materials will match those of the existing residence, ensuring continuity of colors and materials and a cohesive overall appearance.	
16.04.080.C.5.d Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.	Conformance YES
Staff Analysis	The proposed stone masonry walls on the west side of the structure match the stack stone veneer on the residence. The proposed metal fence adjacent to the front entry complements the metal railing on the rear and the fence gate features stone pillars and doors that match the stone and wood on the residence.	
16.04.080.C.5.e Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.	Conformance YES
Staff Analysis	The proposed design incorporates variation in building form and rooflines to reduce the visual perception of bulk and mass and cohesion with the existing structure. The structure is articulated through undulation in the wall planes, diverse window forms, and shed roofs and flat roof sections with varying heights. The largest façade wall is located on the rear of the structure and incorporates a step back from the ground level, material changes, and large steel beam design elements that create visual interest and reduces the perceived massing.	
16.04.080.C.5.f Architectural	Building(s) shall orient toward their primary street frontage.	Conformance YES
Staff Analysis	The existing structure and proposed design are oriented toward the primary street frontage of Lava Street.	
16.04.080.C.5.g Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.	Conformance YES
Staff Analysis	Garbage is currently being stored within the existing garage and will continue to be stored in this location after construction is complete.	

16.04.080.C.5.h Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.	Conformance YES
Staff Analysis	The existing structure and the proposed addition feature weather protection devices including gutters and downspouts as well as a snow retention system (Sheet 2.08) to prevent dripping water and sliding snow on pedestrian gathering and circulation areas. A flat metal awning exists over the front entry to provide weather protection for the occupants.	
16.04.080.C.6.a Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.	Conformance N/A
Staff Analysis	This standard is not applicable because the proposed addition is located in the Lava Street area, an existing low-density residential neighborhood. The subject property is not contiguous of existing pedestrian, equestrian, or bicycle easements or pathways.	
16.04.080.C.6.b Circulation Design	Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.6.c Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.	Conformance YES
Staff Analysis	Pedestrian, vehicular, and bicycle access exist to the subject property off Lava Street. The driveway for the residence is compliant with city standards.	
16.04.080.C.6.d Circulation Design	Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.	Conformance YES
Staff Analysis	The existing driveway for the residence is greater than 20 feet from the nearest intersection.	
16.04.080.C.6.e Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.	Conformance YES
Staff Analysis	Access for emergency vehicles, snowplows, and garbage trucks is provided along Lava Street.	
16.04.080.C.7 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities	Conformance N/A

	shall receive approval from the Streets and Facilities Department prior to Design Review approval from the Planning and Zoning Commission.	
Staff Analysis	This standard is not applicable because the subject property is located within the LR zone and sidewalks are not required to be installed for this project.	
16.04.080.C.8.a Underground Encroachments	Encroachments of underground building(s) or portions of building(s) into required setbacks are subject to 16.02.070.A.10 and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.	Conformance YES
Staff Analysis	Once the exterior stair on the west side of the structure is relocated to comply with the side setback requirements, the footing for it will likely continue to encroach within the setback underground. The underground encroachment of the footing does not conflict with any easements, existing underground structures, sensitive ecological areas, soil stability, or drainage. The footing's below-grade encroachment complies with the standards for encroachments of below-grade structures into required setbacks in KMC 16.02.070.A.10.	
16.04.080.C.8.b Underground Encroachments	No below grade structure shall be permitted to encroach into the riparian setback.	Conformance N/A
Staff Analysis	This standard is not applicable because the subject property is not located within the floodplain.	



City of Ketchum

Attachment C: Mountain Overlay Design Review Standards Analysis



**200 LAVA STREET
MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS EVALUATION**

Mountain Overlay Design Review Standards (KMC §16.02.070.D.5)		
Ketchum Municipal Code	Mountain Overlay Standards & Staff Analysis	
16.02.070.D.5.a	There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. “Material”, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.	Conformance YES
Staff Analysis	From a visual standpoint, the existing building is nestled within a mature tree canopy that continues north and south of the property. As shown on Sheet 1.04 in Attachment A, the residence does not have a visual impact from the various public vantage points provided. The proposed increase in height is primarily achieved from digging down to create a new lower level and the increase in height upwards is only 11 ¼” above the existing roof. The project does not appear to introduce new visual impacts to ridgelines or prominent public vantage points.	
16.02.070.D.5.b	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.	Conformance YES
Staff Analysis	As noted in the analysis for KMC §16.02.070.D.5.a above, staff does not believe the project will have a material visual impact visible from a public vantage point in the city.	
16.02.070.D.5.c	Driveway standards as well as other applicable standards contained in §16.04.020.A shall be met.	Conformance YES
Staff Analysis	Per KMC 16.04.020.C.12.i.(2), a private driveway shall not be greater than 35% of the linear footage of any street frontage (i.e. front property line), or 30’, whichever is less, unless otherwise approved by the City Engineer. The subject property contains an existing driveway that is 32’-3 ¼” wide, which exceeds the maximum permitted width of 30’. The City Engineer reviewed the existing driveway configuration and approved it to remain in its current condition.	
16.02.070.D.5.d	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150’) of the furthest exterior wall of any building.	Conformance YES
Staff Analysis	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building.	

16.02.070.D.5.e	Significant rock outcroppings shall not be disturbed.	Conformance YES
Staff Analysis	As shown on the topographic survey included in the project plans, the subject property does not contain any significant rock outcroppings.	
16.02.070.D.5.f	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.	Conformance YES
Staff Analysis	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire District requirements. All building code and fire code requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.	
16.02.070.D.5.g	Public water and sewer service shall comply with the requirements of the City.	Conformance YES
Staff Analysis	The Water and Wastewater departments conducted a code compliance review of the project plans submitted with the MO Design Review application and found the project complies with all requirements.	
16.02.070.D.5.h	Drainage shall be controlled and maintained to not adversely affect other properties.	Conformance YES
Staff Analysis	The drainage improvements include the installation of a trench drain and drywells in combination with existing drywells onsite. Drainage improvements are specified on Sheet C2.0 of the project plans. A combination of drywells and catch basins will be installed to collect stormwater from the property. The City Engineer reviewed the proposed drainage plan and finds it sufficient to maintain all storm water drainage onsite. Upon Design Review approval, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.	
16.02.070.D.5.i	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of 30 feet around all structures is recommended. The clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Planning and Building Department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.	Conformance YES
Staff Analysis	The driveway for the existing residence is existing, and it's decreasing in size by removing the current connection to the garage and marginally increasing in size to create a connection to the new location of the garage door and a wider apron by the structure entryway. The site will be revegetated with native seed (Mountain Brome hydro-seed) and Scottish Links sod on the lawn.	

16.02.070.D.5.j	There shall not be other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section.	Conformance YES
Staff Analysis	The subject property is entirely previously disturbed and the proposed addition to the residence is contained within the existing limits of the disturbance on the site.	
16.02.070.D.5.k	Access traversing 25 percent or greater slopes shall not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.	Conformance N/A
Staff Analysis	This standard does not apply because access to the site is existing and does not traverse 25% or greater slopes.	
16.02.070.D.5.l	Utilities shall be underground.	Conformance YES
Staff Analysis	All utilities are existing and located underground.	
16.02.070.D.5.m	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.	Conformance YES
Staff Analysis	Sheet L2.0 of the project plans identifies the existing limit of disturbance line and indicates construction fencing along that line with a notation stating the limit of disturbance line is to be protected with fencing and erosion controls on site for the duration of construction.	
16.02.070.D.5.n	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.	Conformance YES
Staff Analysis	The subject property is entirely previously disturbed with an existing structure and located within an established neighborhood. As shown on Sheet L2.0 of Attachment A, the proposal confines the new addition within the existing limit of disturbance on the site and does not extend into undisturbed hillside areas.	
16.02.070.D.5.o	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	Conformance N/A
Staff Analysis	This standard is not applicable because there are no existing or proposed significant landmarks on the subject property.	
16.02.070.D.5.p	Encroachments of below grade structures into required setbacks are subject to §16.02.070.A.10 and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.	Conformance YES

Staff Analysis	Once the exterior stair on the west side of the structure is relocated to comply with the side setback requirements, the footing for it will likely continue to encroach within the setback underground. The underground encroachment of the footing does not conflict with any easements, existing underground structures, sensitive ecological areas, soil stability, or drainage. The footing's below-grade encroachment complies with the standards for encroachments of below-grade structures into required setbacks in KMC 16.02.070.A.10.
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City of Ketchum

Attachment D: Zoning and Dimensional Standards Analysis



**200 LAVA STREET
MOUNTAIN OVERLAY DESIGN REVIEW
LR ZONING & DIMENSIONAL STANDARDS EVALUATION**

LR Zoning and Dimensional Standards Evaluation				
Compliant			Standards and Staff Analysis	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Staff Analysis
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.02.020.A.2	Minimum Lot Area
			Staff Analysis	<p>Required: 9,000 square feet minimum</p> <p>Existing: 19,512 square feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.02.020.A.2	Building Coverage
			Staff Analysis	<p>Permitted: 35%</p> <p>Lot Area Definition (KMC §16.08.020) The area within the boundaries of a lot, exclusive of any area contained within a public or private street, alley, fire lane or private driveway easement; also, exclusive of any narrow strip of land connecting a lot set back from any public street for the purpose of providing driveway access with that street and exclusive of any portion of the property that lies between the mean high water marks of the Big Wood River, Trail Creek, and Warm Springs Creek. All exclusions shall not be used for the purpose of calculating density and building coverage. Lot area shall include the area of any dedicated public bike path, equestrian path, or other public pathway within the boundaries of a lot.</p> <p>Existing: 29% (4,748 square foot building footprint / 16,295 square foot lot area [minus utility easement])</p> <p>Proposed: 33% (5,403 square foot building footprint / 16,295 square foot lot area [minus utility easement])</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.02.020.A.2	Minimum Building Setbacks
			Staff Analysis	<p>Minimum Required Setbacks: Front: 15' Side: > of 1' for every 2' in building height, or 10' (19'-3 15/16" required based on building height) Rear: 20'</p> <p>Proposed: Front (south/Lava St): 20'-4" Side (east): 31'-0 3/4" Side (west): 19'-1 3/4"* Rear (north): 20'</p> <p>*The west side setback is less than the 19'-4" minimum required. A condition of approval has been added to the application requiring the</p>

				applicant to revise the project plans to comply with the west side setback requirement prior to building permit application submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.02.020.A.2	Building Height
			Staff Analysis	<p>Maximum Permitted Building Height: 35'</p> <p>Height of Building Definition (KMC §16.08.020) The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>Existing: 34'-9" Proposed: 38'-8"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020.C.12.i.2	Driveway Width
			Staff Analysis	<p>Required: <u>Minimum:</u> The unobstructed, all weather surface of a private driveway shall not be less than 12 feet. <u>Maximum:</u> The unobstructed, all weather surface of a private driveway shall not be greater than 35 percent of the linear footage of any street frontage or 30 feet, whichever is less, unless otherwise approved by the City Engineer.</p> <p>Proposed: The existing driveway is 32'-3 ¼" wide, which is greater than the maximum of 30' permitted. The City Engineer reviewed the existing driveway configuration and approved it to remain in its current condition.</p>
			16.04.050.E	Parking Spaces

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Analysis	<p>Required: One-Family Dwelling Unit in Residential Districts: 2 parking spaces per one-family dwelling unit</p> <p>Proposed: 1-2 parking spaces within the enclosed garage and additional parking area available in the driveway.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.090	Dark Skies
			Staff Analysis	All existing and proposed exterior lighting is compliant with the dark sky standards.