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101 Saddle Road	) KETCHUM PLANNING AND ZONING COMMISSION
Wood River YMCA (Addition)	) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Design Review	) DECISION
Application File Number: P25-068A	)
Date: June 17,2026	)

**PROJECT:** Wood River YMCA (Addition)

**FILE NUMBER:** P25-068A

**APPLICATION:** Design Review

**PROPERTY OWNER:** City of Ketchum Land and YMCA Lease  
Matt Neilson, deChase Miksis Development (Owners representative)

**ARCHITECT:** Michael Bulls, RLB Architecture

**REQUEST:** Design Review for proposed addition of a new main entrance lobby, teen center, fieldhouse with upper-level running track and exterior improvements including: heated sidewalks, landscaped areas, removal of stairs leading up to the existing main entrance. In addition, the reconfigured parking and fire/emergency access located on the north side of the proposed addition. (Internal remodel not subject to design review)

**LOCATION:** 101 Saddle Road

**ZONING:** Tourist Zoning District (T)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The City of Ketchum Planning and Zoning Commission (the "Commission") considered the Design Review application P25-068A Wood River YMCA (Addition) during their regular meeting on May 20, 2026. A public hearing notice for the project was mailed to all property owners within 300 feet of the project site on April 29, 2026. The notice was published in the Idaho Mountain Express on April 29, 2026 and materials were posted on the City website on April 29, 2026. A notice was posted on premises May 13, 2026 and story flagging affixed for height, building corners staked, and trees to be removed were flagged on project site May 13, 2026.

## EXECUTIVE SUMMARY

A pre-application design review application was submitted December 31, 2025. A meeting was held with the Commission on March 5, 2026. The Final Design Review application was submitted March 27, 2026 sent out for review to various city departments on April 15, 2026 and responses were received and the application was deemed complete on April 23, 2026. The Wood River YMCA proposed an interior remodel, addition, and exterior improvements within their leased boundary located at 101 Saddle Road within the Tourist District. (See Fig.1). A Design Review was required for the 26,464sf addition which includes a new main entrance lobby, teen center, and a field house with an upper-level running track proposed to be added to the north end of the facility. Exterior improvements are also proposed requiring design review; including a heated sidewalk, landscaped areas adjacent to addition, removal of existing main entrance stairs, and parking and fire/emergency access reconfiguration. See Attachments A &B: Project Narrative & Project Plans.

The application was submitted after the adoption of the new Comprehensive Plan, but prior to adoption of the updated code. Therefore, the application was reviewed under the previous Ketchum Municipal Code (KMC) Title 17 and 2025 Comprehensive Plan.

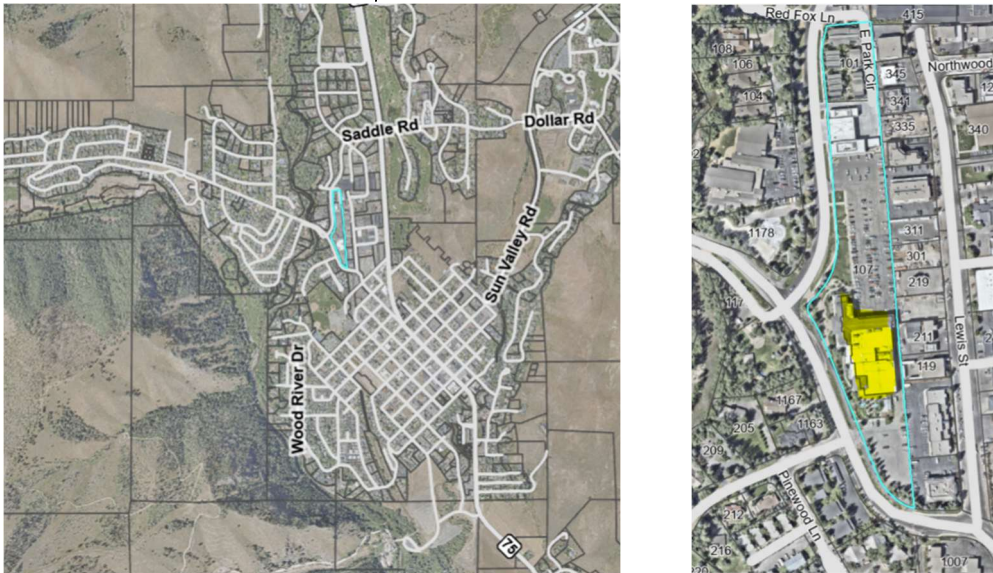


Figure 1 Vicinity Map

## Background

A Planned Unit Development Conditional Use Permit (PUD-CUP 04-008) was approved by the city of Ketchum in October 2005 for a 84,155 square foot recreation complex to include: an ice rink approximately 32,500sf, a pool area approximately 12,000sf, a gymnasium approximately 6,000sf, locker rooms approximately 3,800 sf, climbing wall area approximately 2,000sf, aerobics room approximately 1,200 sf, community conference rooms approximately 3,000sf, staff offices approximately 2,000sf, and a daycare area approximately 1,400 sf.

The Wood River YMCA built 56,438sf of the recreation complex but have yet to build the 32,500sf addition on the northern portion of the complex which was originally contemplated and approved as part of the PUD-CUP. Since the original 2005 approval, an indoor ice rink arena was built in Hailey. With this community recreation need met and after operating within the Valley for 20 years, the Wood River YMCA is proposing to fully realize its approved square footage by instead creating a 26,464 sf addition on the north side of the existing structure to include the above referenced additions.

## FINDING OF FACT

The Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

Per KMC 17.96.050.A Criteria.

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

### Findings Criteria 1 & 2

The application was found to conform with the goals, policies, and objectives of the Comprehensive Plan. Specifically, the Distinct Built and Natural Environment Chapter which focuses on Land Use and Community Character. Policy BNE-1.5: Context Sensitive Development highlights the objective that the built environment should blend with the adjacent materials, mix of uses, massing, scale, building heights, and densities permitted within the underlying zoning districts. The application is extending the existing recreational facility with similar materials, uses, and heights that blend within the context of that particular built environment and therefore is congruent with the character of the existing area. In addition, the footprint of the development is less than what was originally approved and therefore fits within the density planned for the site.

The application also was found to meet Policy BNE-1.2: Neighborhood Characteristics which states the desire to reinforce the distinct characteristics of Ketchum's neighborhoods, encouraging creativity and innovation over uniformity. This innovation and flexibility of design over uniformity is highlighted with the proposed alteration of the underutilized main stairs and entrance way and the multitude of details such as the varied roof lines and a mix of building materials which is unusual for a large recreational facility. This YMCA design is unique to Ketchum and is not typical for this organization's usual utilitarian recreational facilities.

### Finding Criteria 3: Zoning and Design Review Standards

#### *Zoning and Dimensional Standards*

#### I. ZONING STANDARDS

The application conforms with the zoning and dimensional standards of the underlying Tourist District (T) and the pre-existing site approvals. Finding the pertinent standards to be compliance.

**Height-**The required building height per 2005 CUP-PUD is 45'6". Both proposed elevations were found to be below the maximum height requirement.

Elevations (Refer to Attachment B: Project Plans, Sheets A.4, A4.1):

- Northern addition of 34'7"
- West elevation lobby roof top 39'7"

**Setbacks-** The required setbacks for the Tourist Zone:

**Front:** 30' however a waiver to 25' was approved in 2005 CUP-PUD for Warm Springs Rd. & 15' for Saddle Rd.

**Side:** 1' for every 3' of building height or 16.5'

(A waiver to a side setback to Saddle Road to 0' for one portion of the building was approved in 2005 CUP-PUD for the anticipated ice rink. The new structure is setback ~50' from that line.)

**Rear:** 15'

The addition was found to maintain the required setbacks.

### 2005 CUP Ice Rink Square Footage Footprint Approval

The ice rink was approved at "approximately 32,500 square feet " in the 2005 CUP. The addition proposed is 26,464sf. The application proposes approximately 6,036sf less square footage than what was approved and therefore meets the standard in regard to size of footprint.

**Floor Area Ratio Tourist Zone:** The FAR associated with this 5.72 acre parcel located within the Tourist Zoning District is .5 up to 1.6.( 82,902 sf total) =.33 FAR. The city of Ketchum had this lot surveyed and it is 5.72 acres. This standard is met and no action is required.

- The Commission finds Criteria 1, 2, & 3 to comply.

## II. FINDINGS: DESIGN REVIEW STANDARDS

The application was reviewed pursuant to Design Standards KMC 17.96.060 Improvements and Standards. Reviewed below are standards A-K. See Attachment D for KMC Section 17.96.060

**Commission Findings: KMC 17.96.060 A. Streets:** N/A No new streets are proposed. Warm Springs has a 100' ROW and Saddle Road 80' ROW. .

- The Commission finds the standard to comply.

**KMC 17.96.060 B. Sidewalks:** Standards 1-4 & 6. Are not applicable as the applicant did not propose changes to existing sidewalks in the ROW.

Standard 5. Is applicable and was found to be met:

*New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.*

The applicant proposes a 7' wide concrete sidewalk with a 6" vertical curb cut along the western edge of the parking lot. In addition, a 7' wide heated sidewalk is proposed along the northern and western portions of the building leading to the main entrance sidewalk. The heated sidewalks have included a R-5 foil faced insulation which is recommended by the city. Sidewalks are ADA compliant. (See Attachment B: Sheets C.1 & C.1.1, C1.2)

- The Commission finds the standard to comply.

**KMC 17.96.060 C. Drainage:** Standards 1-5 listed below were found to be met and reviewed by City Engineer. (See Attachment B: Sheet C1.0)

1. All stormwater shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
4. Drainage facilities shall be constructed per City standards.

- The Commission finds the standard to comply.

### KMC 17.96.060 D. Utilities

Will serve letters were received and the applicant proposes to install at their sole expense and install all connections underground per Ketchum Code standards:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and utility, power, and communication lines

*within the development site shall be concealed from public view.*

*3. When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.*

- The Commission finds the standard to comply.

#### **KMC 17.96.060 E. Compatibility of Design**

Standards 2 & 3 are not applicable since the structure is neither a significant landmark or built prior to 1940. Standard 1. however is applicable: *The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.*

The materials proposed on the submitted project plans *Exterior Renderings* (A5.0, A5.1) and the *Building Elevations and Materials* sheets (A4.0& A4.1) match the existing structural materials including the shingled roof, brick, horizontal board siding, metal finishes, wood columns and beams, masonry, board and batten, and the existing metal and glass doors. The colors of the proposed materials are designed to match the existing building therefore the addition would appear to be fully integrated into the existing architectural palate and materials. Signage on the building is not proposed to change however the commission has added a condition of approval in case the signage plan changes. A Sign Permit is required for any new signage or banners displaying or advertising the facility. (KMC 16.05)

During the Pre-Application Design Review the Planning and Zoning Commission requested the applicant revise their garage door design. Originally a more utilitarian garage door painted a bronze color, the applicant has revised the design and now faced the door with wood and trim and kept the glazing windows on top so it appears more residential. In addition, the Commission asked for more lighting for safety be added on the back side of the building. The applicant added four full cut off wall mounted sconces on the proposed rear of the structure. ( See Attachment B: Sheet A.7)

- The Commission finds the standard to comply.

#### **KMC 17.96.060 F. Architectural**

The standards listed 1-8 were found to comply.

*1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.*

The proposed addition will modify the main entrance to be relocated at the north-west side of the building rather than the current western main entrance. Pedestrian access to the new entryway is shown to be clearly delineated by sidewalks, landscaping, and a large roof overhang above the main entrance doors. In addition, the existing entryway is proposed to be decommissioned by removing stairs and new landscaping.

*2. The building character shall be clearly defined by use of architectural features.*

*3. There shall be continuity of materials, colors and signing within the project.*

The proposed addition continues the existing character as seen in the use of the same materials and color palettes. The continuation of the flat roof and three sloped roofed areas add interest within the addition and mirror the roof design existing throughout the structure.

The western elevation of the addition which faces Warm Spring Road has continued the design element of predominate brick veneer with the board and batten siding on the second level. The bulk and mass is broken up by: mirroring pedestrian scale awnings seen on the southern end of the building, inclusion of a variety of

roof lines, and the large windows with panes to break up the flatness of the large walls. (See Attachment B: Sheet A.4 Building Elevations & Materials)

The eastern façade is facing the service alley and matches the existing rear façade with composite board horizontal siding on the majority, split masonry on the bottom, and a brick veneer building pop out. The two sloped roof lines and windows add interest and break up the large nature of the fieldhouse building.

*4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.*

Attachment B: Sheet L.1 shows that the applicant is proposing to match existing fencing, utilize pavers to match existing, and add uniformity with plant groupings.

*5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. The proposed utilization of three sloped roof features, three awnings to match the southern end of the structure, the use of brick, board and batten siding and large windows will help reduce the scale and flatness of the structure. In addition, the roof line will be lower than the existing roof line which will also help with bulk.*

*6. Building(s) shall orient toward their primary street frontage.*

The main building entrance will be oriented on Saddle Road however the building is located on a corner and also spans along Warm Springs Road.

*7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys. The garbage and recycling are located behind Bonnies Garden facing toward the rear alley and are screened from view. (See Attachment B: Sheet A1.1)*

*8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.*

The front lobby has a large flat roof over the entrance. The three sloped roofs have snow retention clips to help mitigate snow slide. (See Attachment B: Sheets A2.1 & A2.2)

➤ **The Commission finds the Architectural Standards 1-8 to comply.**

#### **KMC 17.96.060.G: Circulation of Design**

*1. Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.*

*2. Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.*

*3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.*

*4. Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.*

Standards 1-4 are met as the work proposed will not impede the existing connections with the preexisting sidewalks and ROW. A new 8' sidewalk is proposed on city property (lot 6) located in the rear of the structure within the new proposed parking area with striping for a crosswalk to aide circulation.

5. *Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.*

The Site Plan on Attachment B: Sheet C1.0 shows unobstructed access for fire and emergency vehicles. A fire lane of 26' hugs the northern portion of the structure and tapers to ~20' when servicing the rear of the structure. A siren activated gate is shown on Attachment B: Sheet A1.1. which could be accessed by emergency vehicles however a snowplow or other service vehicles would not be able to utilize this portion of the alley and would have to back up quite ways in lieu of a turnaround. A condition was added to change the siren activated gate to a manual obstruction to meet the need for both detracting passenger vehicles to and from the Lot 6 parking area but still allowing for the circulation of service vehicles when necessary. For example, a chain/roped off gate or something similar.

➤ **The Commission finds the standards 1-5 to comply with condition.**

#### **KMC 17.96.060.H: Snow Storage**

1. *Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.*
2. *Snow storage areas shall be provided on site.*
3. *A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.*
4. *In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.*

Snow storage is provided on site. The existing facility has both stored snow within the northern lawn area and the southern parking lot. In addition, the north-eastern portion of the existing parking area has been used as temporary storage and has been hauled off site. This is the similar proposal for the addition to store both onsite and haul away snow. Specifically, the Site Plan shows: 1,500 sf of snow storage on the north lawn, 1,500sf of temporary snow storage within the north-east portion of the parking lot, & 1,900sf of snow storage located along the south parking lot. In high snow years excess snow has been hauled off site as needed. The City Street Department & Engineer had no comments in regards to snow storage proposed.

Snow melt is proposed along the sidewalks from the lease boundary to the lobby entrance.

➤ **The Commission finds the standard to comply.**

#### **KMC 17.96.060.I: Landscaping**

1. *Landscaping is required for all projects.*
2. *Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.*
3. *All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.*
4. *Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.*

The landscaping standards appear to be met. The applicant has sited the landscaping adjacent to the structure and hardscapes to create a buffer. In addition, a new landscaped portion is proposed to buffer the front area where the removal of the stairs is proposed. Sixteen existing bike racks will remain at this western portion of the building and 14 more proposed at the new main lobby paver area. (See Attachment B: Sheet

L.1) The new proposed entranceway is flagged on either side of the walkway with deciduous ornamental maples trees which will both provide shade in the summer and color in the fall. In addition, the vegetative height will help break up the mass of the facade facing Saddle Road and Warm Springs views of the building. The shrubs, perennials, and grasses chosen while not all native varieties are generally more drought tolerant and will thrive in the high-altitude dessert environment.

➤ The Commission finds the standard to comply.

KMC 17.96.060.J *Public Amenities-N/A*- No public amenities required in 2005 PUD. The proposal is not encroaching within the ROW.

➤ The Commission finds the standard to comply.

KMC 17.96.060.K *Underground encroachments*- N/A No underground encroachments are within the required setbacks

➤ The Commission finds the standard to comply.

### Parking

While Parking is not part of the Design Review Application it was brought up at the pre-design review hearing as a topic of interest and that it be addressed in the Final Design Review hearing. The original 2005 CUP (Policy 8.9, p. 12) was approved on condition that a shared parking agreement was approved by the city with 150 parking spaces. Most of the parking for the facility is located outside of the YMCA leased boundary and therefore depends on a shared parking agreement with the city of Ketchum. This agreement is currently being finalized and has been reviewed by the URA, City Council, and the YMCA. The draft plan accommodates additional parking on city owned Lot 6 located in the rear of the proposed YMCA structure and provides spaces within the City Right-of-Way along Saddle Road. See Attachment C for a draft diagram of the temporary parking and ROW improvement proposal. If implemented it would accommodate approximately 171 vehicles: 22 vehicles along the eastern portion of Saddle Road, 7 vehicles on the western portion of Saddle Rd., approximately 28 vehicles in a satellite parking area with Lot 6 behind the YMCA addition, approximately 67 spaces in the existing parking area, and 47 spaces within the southern park and ride lot. This does not include the parking area in front of the fire station which includes an additional 43 spaces.

➤ The Commission finds the standard to comply.

## V. DECISION

Therefore, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P25-068A this Wednesday, June 17, 2026 subject to the following conditions of approval.

(Motion: Commissioner Harris moved to approve P25-068 Design Review Application with conditions, Commissioner Moczygamba seconded and it passed with a 4-0 vote.)

### CONDITIONS OF APPROVAL

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated 4/22/2026 and the information presented and approved at the Planning and Zoning Commission included as Exhibit B. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all improvements, including sidewalks,

alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.

4. A Sign Permit is required for any new signage or banners displaying or advertising the facility.
5. The siren activated gate shown within the plan set shall be replaced with a manually removable obstruction for access by service and snow removal vehicles.
6. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

**Attachments:**

- A. Application and Project Narrative
- B. Project Plans
- C. City of Ketchum/YMCA Parking Draft
- D. KMC Title 17.96.060

Findings of Fact **adopted** this 17th day of June 2026.

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Tim Carter, Chair  
City of Ketchum  
Planning and Zoning Commission