



City of Ketchum

### CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: 10/16/23 Staff Member/Dept: Adam Crutcher, Associate Planner  
Planning and Building Department

Agenda Item: Recommendation to review and approve Right-of-Way Encroachment Agreement #24887 for the installation of a paver driveway in the public right-of-way at 402 Sage Road.

Recommended Motion:

I move to approve Right-of-Way Encroachment Agreement #24887 for the installation of a paver driveway in the public right-of-way at 402 Sage Road.

Reasons for Recommendation:

- The 402 Sage Road Mountain Overlay Design Review application (File No. P22-070) was approved by the Planning and Zoning Commission on July 11, 2023.
- The improvements will not impact drainage or snow removal within the public right-of-way.
- Snowmelt is not proposed within the right-of-way
- The project complies with all standards for Right-of-Way Encroachment Permit issuance specified in Ketchum Municipal Code §12.12.060

Policy Analysis and Background (non-consent items only):

Sustainability Impact:

None OR state impact here: None

Financial Impact:

None OR Adequate funds exist in account: None

Attachments:

1. Application and Supporting Materials
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2. Right-of-Way Encroachment Agreement
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City of Ketchum

E13-023

OFFICIAL USE ONLY	
Date Received:	9.8.23
By:	SMcCall
Permit Fee:	\$1521
Date Paid:	9.8.23

B23-143  
B23-144

### RIGHT-OF-WAY ENCROACHMENT PERMIT APPLICATION

Property Owner: SAGE MOUNTAIN INSIDE LLC.

Owner Mailing Address: PO BOX 3250, KETCHUM, ID 83340

Project Contact: ALEX NELSON, PE, ALPINE ENTERPRISES INC.

Contact Email: ALEXNELSON@ALPINEENTERPRISESINC.COM

Contact Phone Number: (208) 727-1988 (WORK), (208) 720-7982 (CELL)

Property Street Address: 402 SAGE ROAD, UNITS A + B

Encroachment(s) in Right-of-Way (be specific as possible): TWO 18' WIDE NON-HEATED CONCRETE PAVED DRIVEWAYS WITH 10' RADIUS APPROACH APRONS. 8' WIDE GRAVEL SHOULDER ALONG SAGE ROAD ROW.

Name or Description of Right-of-Way Affected: SAGE ROAD, 402 SAGE ROAD UNITS A + B, LIVING SPRINGS TOWNHOMES

Width of Right-of-Way: SAGE ROAD ROW = 50'

Dimensions of Right-of-Way Encroachment(s): SUBLOT 1: DRIVEWAY = 18' WIDE X 23' LONG / SUBLOT 2: DRIVEWAY = 18' <sup>WIDE</sup> LONG X 24.5' LONG

Attach diagram identifying streets and/or alleys, total width of right-of-way, dimensions of right-of-way encroachment, types(s) of encroachment and visual aids sufficient to show the impacts of the encroachment.

Owner's Signature [Signature] Date: 11/3/2022  
 REPRESENTATIVE'S ALEX NELSON, PE  
ALPINE ENTERPRISES INC.

Administrative Use Only

Date Received: \_\_\_\_\_ Date of Council Meeting: \_\_\_\_\_

Council Meeting Date: \_\_\_\_\_

Action Taken by Council: \_\_\_\_\_

Date approved: \_\_\_\_\_ Date Denied: \_\_\_\_\_



**CITY OF KETCHUM**  
 P.O. Box 2315  
 Ketchum ID 83340  
 Phone: (208) 726-3841  
 Fax: (208) 727-5070

**INVOICE**

Date	Number	Page
09/06/2023	7173	1

**Bill To:** Sage Mountainside LLC  
 400 & 402 Sage Rd  
 Ketchum ID 83340

**Customer No.** 1990  
**Project:** PO Box 3250  
**Terms:** Due Upon Receipt  
**Invoice Due Date:** 09/06/2023

Quantity	Description	Unit Price	Net Amount
1	RIGHT OF WAY ENCROACHMENT AGREEMENT	150.00	150.00

Please remit payment via:  
<https://www.ketchumidaho.org/administration/page/online-payments>  
 OR  
 City of Ketchum  
 PO Box 2315  
 Ketchum, ID 83340

<b>Amount</b>	150.00
<b>Balance Due</b>	<u>150.00</u>

Receipt No: 99.115369

Sep 07, 2023

1990 Sage Mountainside  
400 & 402 Sage Rd  
PO Box 3250  
Ketchum ID 83340

Previous Balance: 150.00

ACCOUNTS RECEIVABLE - Online Payment 150.00

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New Current Balance: .00

XBP - EFT'S Chk No: 204111111 150.00

Total Applied: 150.00

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Change Tendered: .00

09/18/23 09:18AM

**WHEN RECORDED, PLEASE RETURN TO:**

OFFICE OF THE CITY CLERK  
CITY OF KETCHUM  
POST OFFICE BOX 2315  
KETCHUM, IDAHO 83340

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**RIGHT-OF-WAY ENCROACHMENT AGREEMENT #24887**

THIS AGREEMENT, made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2023, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum"), whose address is Post Office Box 2315, Ketchum, Idaho and Sam & Jordan Jadallah, representing Sage Mountainside LLC, (collectively referred to as "Owner") whose mailing address is (PO Box 3250, Ketchum, ID 83340).

*RECITALS*

WHEREAS, Owner is the owner of real property located at (402 Sage Rd) and legally described as (Sublot 1 of Living Springs Townhome & Sublot 2 of Living Springs Townhome) ("Subject Property"), located within the City of Ketchum, State of Idaho; and

WHEREAS, Owner wishes to permit placement of (driveway pavers). These improvements are shown in Exhibit "A" attached hereto and incorporated herein (collectively referred to as the "Improvements"); and,

WHEREAS, Ketchum finds that said Improvements will not impede the use of said public right-of-way at this time subject to the terms and provisions of this Agreement;

WHEREAS, the Owner will restore the street and any landscaping back to the original condition acceptable to the Streets and Facilities Director;

NOW, THEREFORE, in contemplation of the above stated facts and objectives, it is hereby agreed as follows:

*TERMS AND CONDITIONS*

1. Ketchum shall permit Owner to install (driveway pavers) identified in Exhibit "A" within the public right-of-way on (402 Sage Road), until notified by Ketchum to remove the infrastructure at which time Owner shall remove infrastructure at Owner's expense.

2. Owner shall be responsible for the maintenance of said Improvements and shall repair said improvements within 48 hours upon notice from Ketchum that repairs are needed. Any modification to the improvements identified in Exhibit "A" shall be approved by the City prior to any modifications taking place.

3. Owner shall be responsible for restoring the street and landscaping that is altered due to the construction and installation of the improvements, to the satisfaction of the Director of Streets and Facilities.

4. In consideration of Ketchum allowing Owner to maintain the Improvements in the public right-of-way, Owner agrees to indemnify and hold harmless Ketchum from and against any and all claims of liability for any injury or damage to any person or property arising from the

Improvements constructed, installed and maintained in the public right-of-way. Owner shall further indemnify and hold Ketchum harmless from and against any and all claims arising from any breach or default in the performance of any obligation on Owner's part to be performed under this Agreement, or arising from any negligence of Owner or Owner's agents, contractors or employees and from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action or proceeding brought thereon. In the event any action or proceeding is brought against Ketchum by reason of such claim, Owner, upon notice from Ketchum, shall defend Ketchum at Owner's expense by counsel satisfactory to Ketchum. Owner, as a material part of the consideration to Ketchum, hereby assumes all risk of damages to property or injury to persons in, upon or about the Improvements constructed, installed and maintained in the public right-of-way arising from the construction, installation and maintenance of said Improvements and Owner hereby waives all claims in respect thereof against Ketchum.

5. Ketchum shall not be liable for injury to Owner's business or loss of income therefrom or for damage which may be sustained by the person, goods, wares, merchandise or property of Owner, its tenants, employees, invitees, customers, agents or contractors or any other person in or about the Subject Property caused by or resulting from the Improvements constructed, installed, removed or maintained in the public right-of-way.

6. Owner understands and agrees that by maintaining the Improvements in the public right-of-way pursuant to this Agreement, Owner obtains no claim or interest in said public right-of-way which is adverse to that of Ketchum and that Owner obtains no exclusive right to said public right-of-way nor any other right to use the public right-of-way not specifically described herein.

7. In the event either party hereto retains an attorney to enforce any of the rights, duties and obligations arising out of this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorney's fees at the trial and appellate levels and, whether or not litigation is actually instituted.

8. This Agreement shall be governed by, construed, and enforced in accordance with the laws and decisions of the State of Idaho. Venue shall be in the District Court of the fifth Judicial District of the State of Idaho.

9. This Agreement sets forth the entire understanding of the parties hereto and shall not be changed or terminated orally. It is understood and agreed by the parties hereto that there are no verbal promises or implied promises, agreements, stipulations or other representations of any kind or character pertaining to the Improvements maintained in the public right-of-way other than as set forth in this Agreement.

10. No presumption shall exist in favor of or against any party to this Agreement as the result of the drafting and preparation of this document.

11. Successors and Assigns - This Agreement shall be binding upon and inures to the benefit of each of the parties hereto and their respective successors and assigns.

12. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

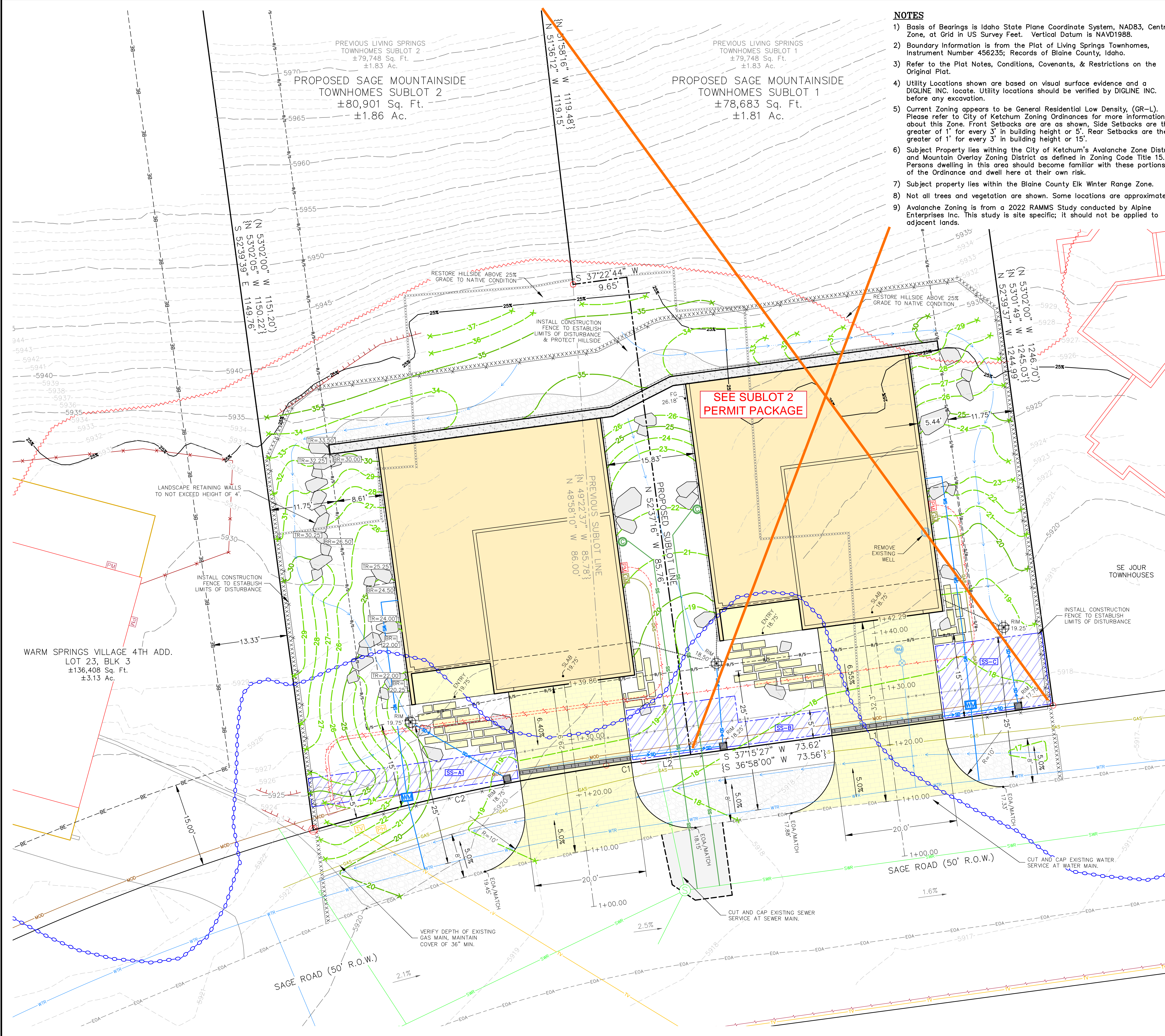
13. The parties fully understand all of the provisions of this Agreement, and believe them to be fair, just, adequate, and reasonable, and accordingly accept the provisions of this Agreement freely and voluntarily.





# Exhibit A





- NOTES**
- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
  - 2) Boundary Information is from the Plat of Living Springs Townhomes, Instrument Number 456235; Records of Blaine County, Idaho.
  - 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
  - 4) Utility Locations shown are based on visual surface evidence and a DIGLINE INC. locate. Utility locations should be verified by DIGLINE INC. before any excavation.
  - 5) Current Zoning appears to be General Residential Low Density, (GR-L). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front Setbacks are as shown, Side Setbacks are the greater of 1' for every 3' in building height or 5'. Rear Setbacks are the greater of 1' for every 3' in building height or 15'.
  - 6) Subject Property lies within the City of Ketchum's Avalanche Zone District and Mountain Overlay Zoning District as defined in Zoning Code Title 15. Persons dwelling in this area should become familiar with these portions of the Ordinance and dwell here at their own risk.
  - 7) Subject property lies within the Blaine County Elk Winter Range Zone.
  - 8) Not all trees and vegetation are shown. Some locations are approximate.
  - 9) Avalanche Zoning is from a 2022 RAMMS Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.

- LEGEND**
- Subject Boundary
  - Existing/Proposed Sublot Line
  - Previous Sublot Line
  - Adjainers Boundary
  - Existing Edge of Asphalt Roadway
  - Existing Building Setback (See Note 5)
  - Existing 5' Public Utility Easement
  - Mountain Overlay District (City of Ketchum)
  - 25% Slope Line (Alpine 2022)
  - Existing 5' Major Contour Line (Alpine 2022)
  - Existing 1' Minor Contour Line (Alpine 2022)
  - Proposed 5' Major Contour
  - Proposed 1' Minor Contour
  - Proposed Drainage Flowline
  - Proposed 6" Dia. PVC Storm Drain Pipe
  - Proposed L.O.D. with Silt Fence (Construction)
  - Proposed L.O.D. (Demolition)
  - Proposed 4" Dia. Footing Drain Pipe
  - Proposed 4" Dia. Roof Drain Pipe
  - Existing Wooden Fence
  - Existing Retaining Wall
  - Existing Overhead Power
  - Proposed Underground Power
  - Existing Water Main
  - Existing Water Service
  - Proposed Water Service (C2.0, Detail 4)
  - Existing Sewer Main
  - Existing Sewer Service
  - Proposed Sewer Service (C2.0, Detail 4)
  - Existing CA/TV
  - Existing Gas Main
  - Proposed Gas Service
  - Red Avalanche Hazard Zone (Alpine 2022)
  - Blue Avalanche Hazard Zone (Alpine 2022)
  - Found 1/2" Rebar
  - Found Aluminum Cap
  - Set 1/2" Rebar, PLS 7048
  - Existing Power Pole
  - Existing Sewer Manhole
  - Proposed Sewer Cleanout
  - Existing Water Meter
  - Existing Water Valve
  - Existing Well
  - Proposed Water Meter (C2.0, Detail 1)
  - Proposed Sewer Cleanout
  - Existing Phone Box
  - Existing CA/TV Box
  - Existing Power Box
  - Proposed Power Meter
  - Proposed Gas Meter
  - Existing Road Grade
  - Proposed Grade
  - Proposed Structure
  - Proposed Concrete Avalanche Protection Wall
  - Proposed Deck Line (See Arch. Plan)
  - Proposed Paver Driveway (C3.0, Detail 8)
  - Proposed Asphalt Patch & Saw-Cut Line (C2.0, Detail 3)
  - Proposed Stone Entry
  - Proposed Boulders (C3.0, Detail 10)
  - Proposed Gravel (C3.0, Detail 7)
  - Proposed Snow Storage (C2.0, Note 22)
  - Proposed Landscape Dry Well (C3.0, Detail 8)
  - Proposed Landscape Catch Basin Connected To Building Drainage
  - Proposed 6" Driveway Trench Drain
  - SLAB Garage Slab Elevation
  - FG Finish Grade
  - ENTRY Stone Entry Elevation
  - RIM Dry Well/Catch Basin Rim Elevation
  - TR Top of Retainage Elevation
  - BR Bottom of Retainage Elevation

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	404.52'	6.60'	6.60'	S 36°58'27" W
(C1)	404.52'	(6.63')	(6.63')	(S 36°29'50" W)
C2	404.52'	53.44'	53.40'	S 32°43'21" W
(C2)	404.52'	(53.37')	(53.33')	(N 32°14'53" E)

LINE	LENGTH	BEARING
L1	65.09'	S 37°15'27" W
L2	8.53'	S 37°15'27" W

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 8 ft.

**PROFESSIONAL ENGINEER**  
ALEX NELSON  
14 AUG 23  
STATE OF IDAHO

**REVISIONS**

NO	DATE	BY
1	14AUG23	AHN

**BUILDING PERMIT SUBMITTAL**

**C1.0**

PROJECT PATH AND PRINT DATE U:\LD3\214\_L22B3WSV4\_CS\_214\_SageMountainsideTHMS\_CivilROW2023\_Revise.dwg 08/14/2023 9:35:29 PM MST

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING  
SAGE MOUNTAINSSIDE TOWNHOMES  
WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR SAGE MOUNTAINSSIDE LLC.

Alpine Enterprises Inc.  
Surveying, Mapping, Civil Engineering,  
and Natural Hazards Consulting  
660 Bell Dr., Unit 1  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 722-1988  
email: admin@alpineenterprisesinc.com

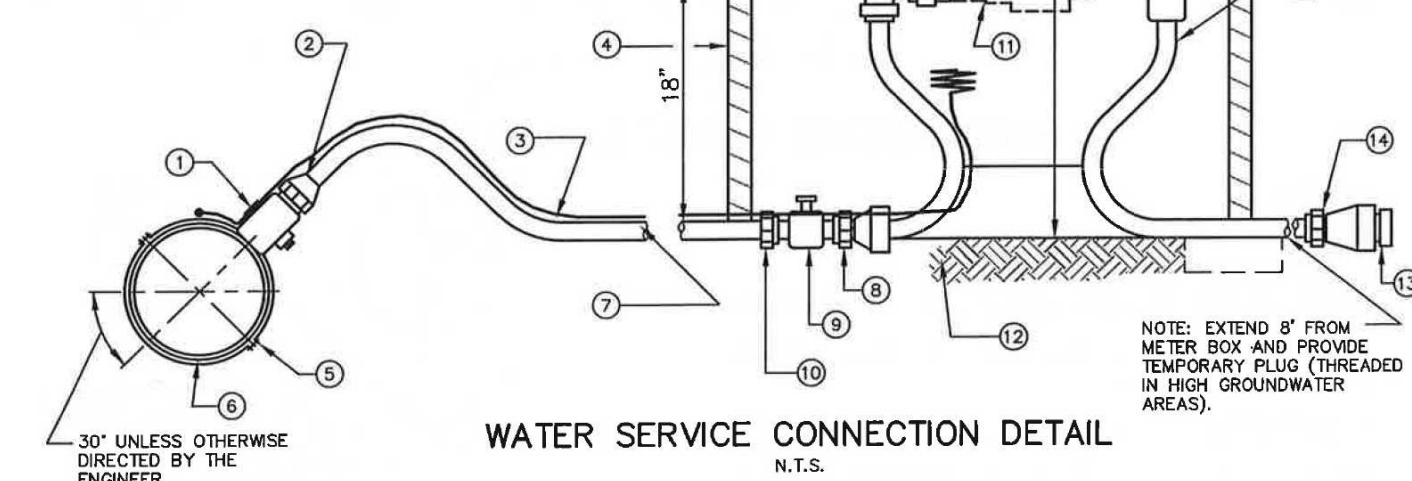


**GENERAL CONSTRUCTION NOTES**

- Utility Locations shown are based on Digline locates and visual surface evidence. They are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- See the Building Plan from Connect Homes and the Landscape Plan from NS Consulting for the remainder of the design.
- Contractor shall assure positive drainage away from the building and driveway.
- Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Program at all times until permanent erosion control is established.
- The Trench Drain shall be a 6" wide HDPE channel with a 0.75 built in channel slope (Zurn Flo-Thru Model Z886 or equivalent). Grate shall be ductile iron with a slotted pattern. All components shall be rated for H-20 loading.
- All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPMC, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPMC and the City of Ketchum Codes and Standards on site during construction.
- Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- Potable/non-potable crossings shall comply with ISPMC Standard Drawing SD-407 and IDAPA section 58.01.08.542.07.
- Sewer service lines shall be placed at a slope of 2%, with markers per ISPMC. Cleanouts are required at changes in alignment, grade, and minimum 150' length.
- All pipe shall be bedded with (ISPMC) Type I bedding material.
- Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- The contractor shall pressure test all sewer service connections in accordance with Idaho Standards for Public Works Construction, ISPMC.
- All clearing and grubbing shall conform to ISPMC Section 201 and City of Ketchum standards of excavation and backfill.
- All excavation and embankment shall conform to ISPMC Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPMC Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 2" minus aggregate shall be placed in conformance with ISPMC Section 802. It shall be compacted per ISPMC Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPMC Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 3/4" minus aggregate shall be placed in conformance with ISPMC Section 802. It shall be compacted per ISPMC Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPMC Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All asphaltic concrete pavement work shall conform to ISPMC Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPMC Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPMC Section 805.
- All concrete work shall conform to ISPMC Sections 701 and 703. All concrete shall be 3,000 psi minimum. 28 day, as defined in ISPMC Section 703, Table 1.C.
- All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- Snow Storage based on 30% of the Improved Parking and Pedestrian Circulation Areas.  
 Driveways = 698 Sq. Ft.  
 Walkways = 292 Sq. Ft.  
 Total = 990 Sq. Ft.  
 30% of Total = 297 Sq. Ft.  
 Areas Designated:  
 SS-A: 5'x38' = 190 Sq. Ft.  
 SS-B: 19.5'x9' + 16'x4' = 240 Sq. Ft.  
 SS-C: 13'x19' = 247 Sq. Ft.  
 Area Designated Total = 677 Sq. Ft. of Snow Storage
- The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.
- All right-of-way improvements per sheet C1.0 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.

**NOTES:**

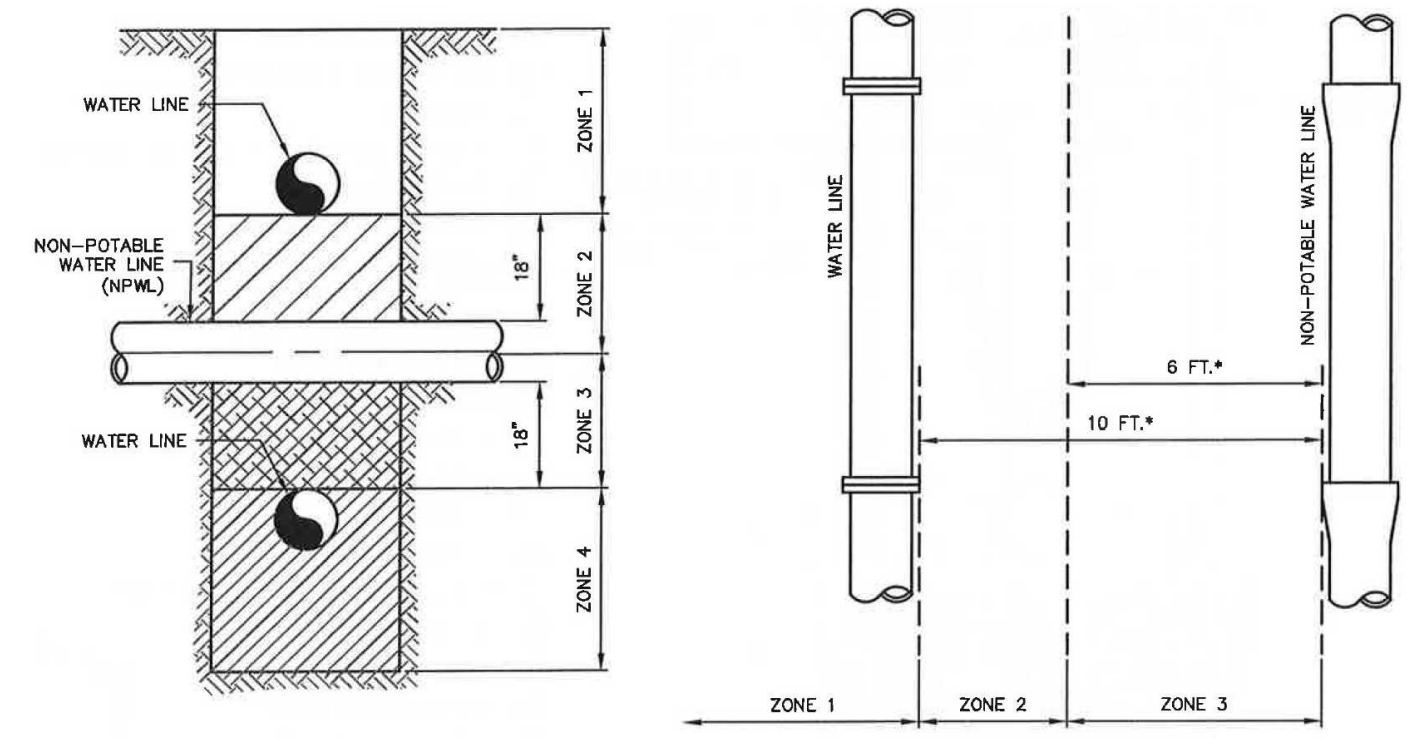
- ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SIZE 7" CLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 3/4" OR 1".
- SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN. SERVICE SADDLES: EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE CC.
- NO SERVICE CONNECTIONS WITHIN ONE FOOT OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE THE ALONG CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF ONE FOOT.
- CENTER METER BOXES LOCATED IN CONCRETE DRIVEWAYS IN A 4' X 4' SQUARE OF CONCRETE, SEPARATED FROM THE REST OF THE DRIVEWAY CONCRETE BY EXPANSION JOINT MATERIAL. USE 30" TILE WITH CONCRETE GRADE RING, STANDARD MANHOLE RING AND LID MARKED "WATER".
- ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.



**LEGEND**

- FORD FIB-1101 OR MUELLER BALL CORPORATION STOP 3/4" OR 1".
- MUELLER H-15072.
- NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
- 20" DIA. X 42" DEEP METER BOX (NOTCH FOR SERVICE LINES).
- STAINLESS STEEL SADDLE.
- WATER MAIN.
- 3/4" OR 1" SERVICE LINE (TYP.) NO SPLICING IS ALLOWED.
- MALE SWIVEL END.
- FULL OPENING 3/4" OR 1" MUELLER 300 BALL OR FORD B-11333 BALL VALVE.
- CURB STOP ADAPTER (FORD C-86 OR MUELLER H-15496 "STOP JOINT").
- FUTURE METER INSTALLED BY WATER PURVEYOR.
- FIN UNDISTURBED EARTH. (SET TILE ON 2" X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
- PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).
- DOUBLE PURPOSE COUPLING.
- FORD VHM-92-18" YOKE WITH MALE CONNECTION AND EXTENDED END OR APPROVED EQUAL.
- FORD CARTRIDGE DUAL CHECK VALVE (VERTICAL).
- FORD BALL VALVE 18" (92,93,94 SERIES OR MUELLER B24101-142) 3/4"-1" COPPERSETTER WITH PADLOCK WINGS AND EXTENDED END ON EACH.
- FORD TYPE X SINGLE LID COVERS NO. X43. 13 1/2" OPENING- 1/32" PENTAGONAL NUT.

1 WATER SERVICE CONNECTION (3/4" - 1")  
 ISPMC - SD-401  
 NOT TO SCALE



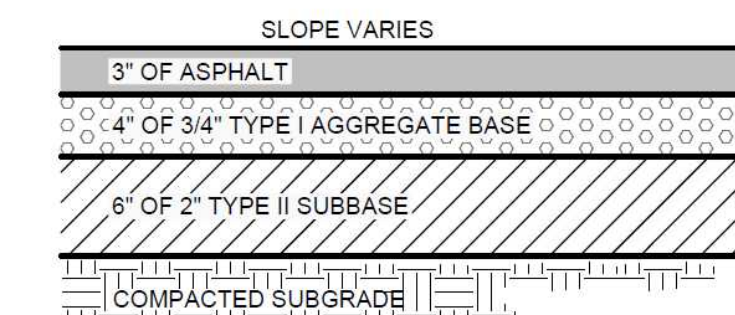
**VERTICAL SEPERATION REQUIREMENTS**

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO SDG FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

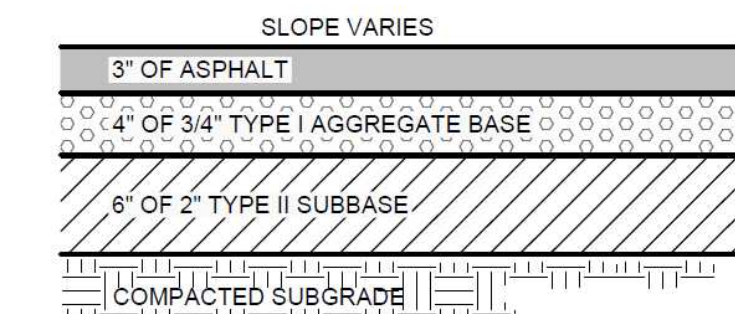
**HORIZONTAL SEPERATION REQUIREMENTS**

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEG.
- ZONE 3: NOT ALLOWED WITHOUT DEG WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEG.

3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPERATION  
 ISPMC - SD-407  
 NOT TO SCALE



TYPICAL STREET ASPHALT SECTION

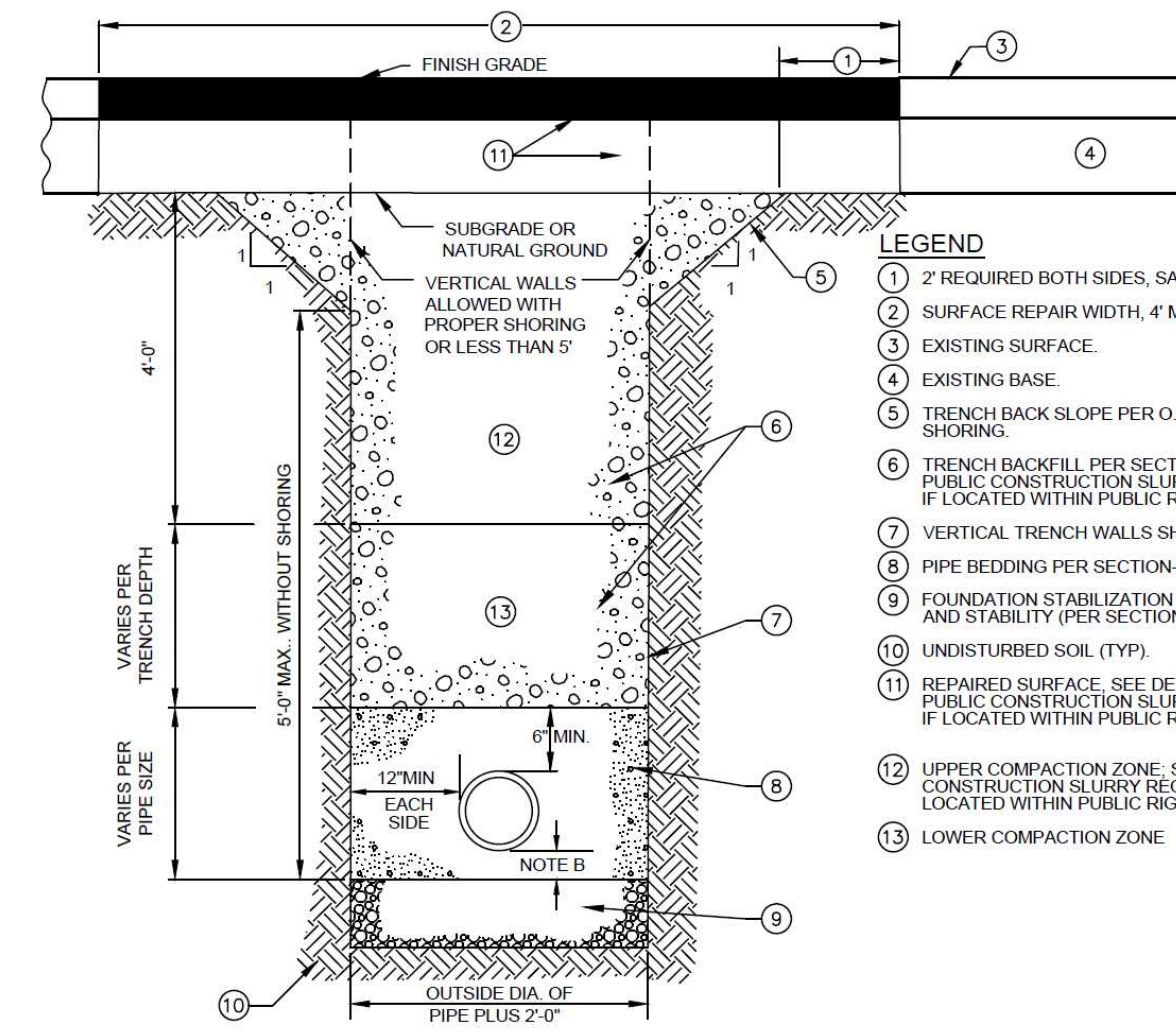


TYPICAL ALLEY ASPHALT SECTION

**NOTES:**

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 TYPICAL ROAD SECTIONS  
 CITY OF KETCHUM - SD-3  
 NOT TO SCALE



**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

- COARSE AGGREGATE (6" MINUS) 2,600 LBS  
 SAND 800 LBS  
 PORTLAND CEMENT 94 LBS  
 WATER 11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

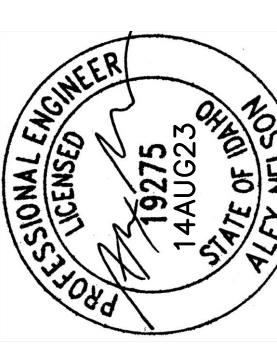
**NOTES:**

- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 306.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPMC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

4 TYPICAL TRENCH  
 CITY OF KETCHUM - SD-12  
 NOT TO SCALE

PROJECT PATH AND PRINT DATE U:\LD3\214\_L22B3WSV4\CS\_214\_SageMountainsideTHMS\_CivilROW2023\_Revise.dwg\_08/14/2023 9:35:29 PM MST

Alpine Enterprises Inc.  
 Surveying, Mapping, Civil Engineering,  
 and Natural Hazards Consulting  
 660 Bell Dr., Unit 1  
 P.O. Box 2037, Ketchum, ID 83340 USA  
 (208) 722-1985  
 email: alpine@alpineenterprisesinc.com

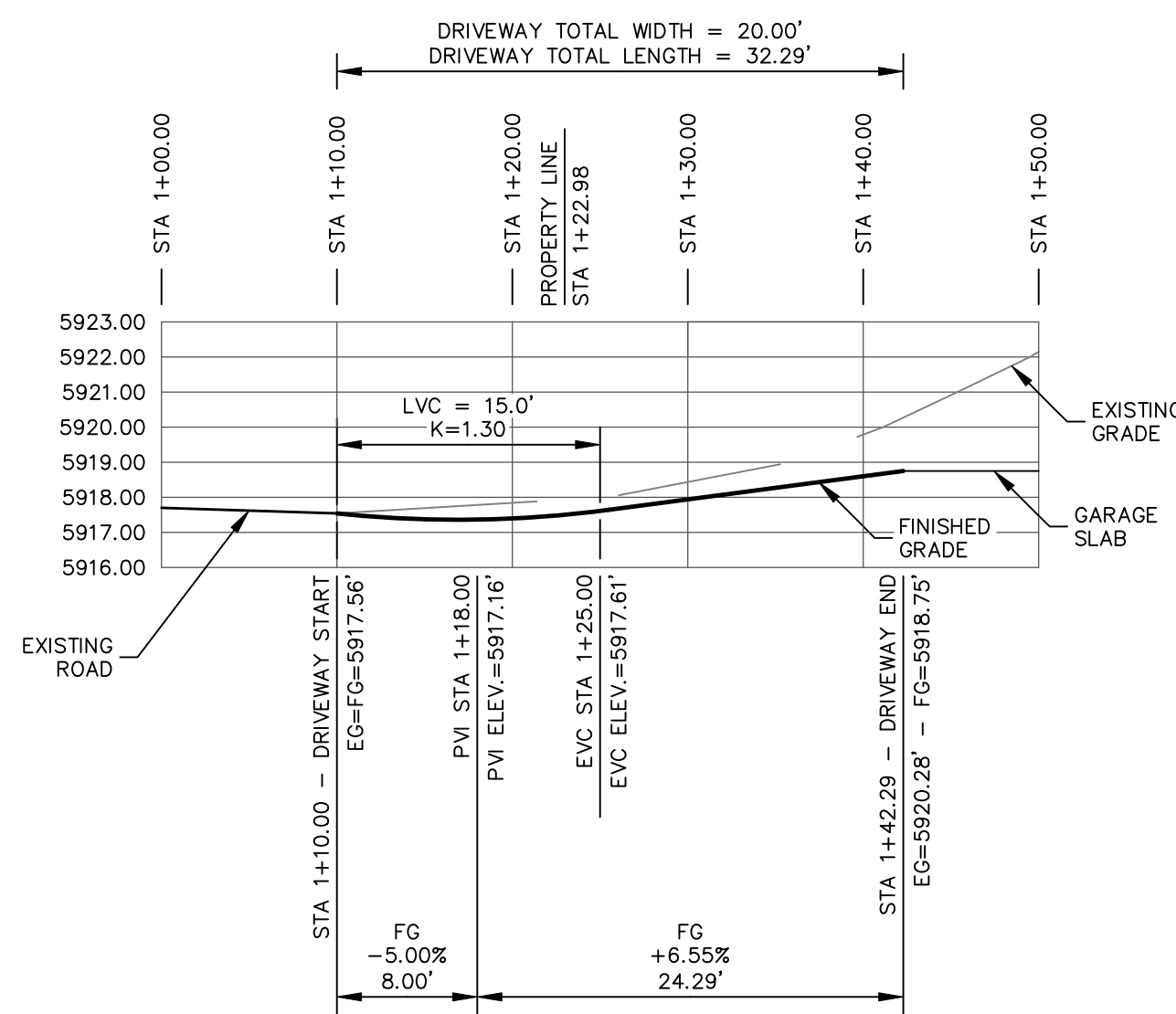


NO	DATE	BY	REVISIONS
1	14AUG23	AHN	BUILDING PERMIT SUBMITTAL

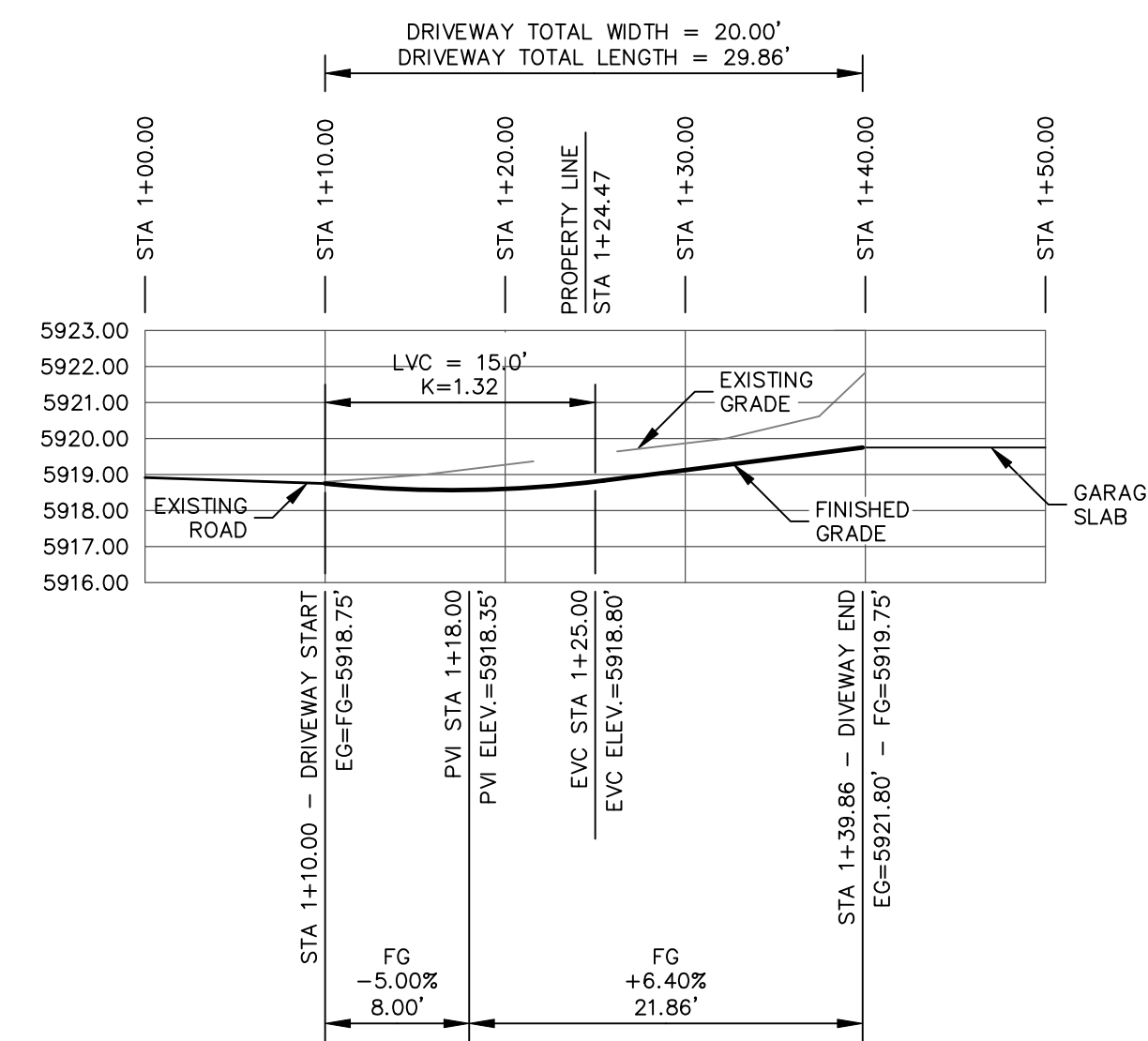
C2.0

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING  
 SAGE MOUNTAINSIDE TOWNHOMES  
 WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR SAGE MOUNTAINSIDE LLC.

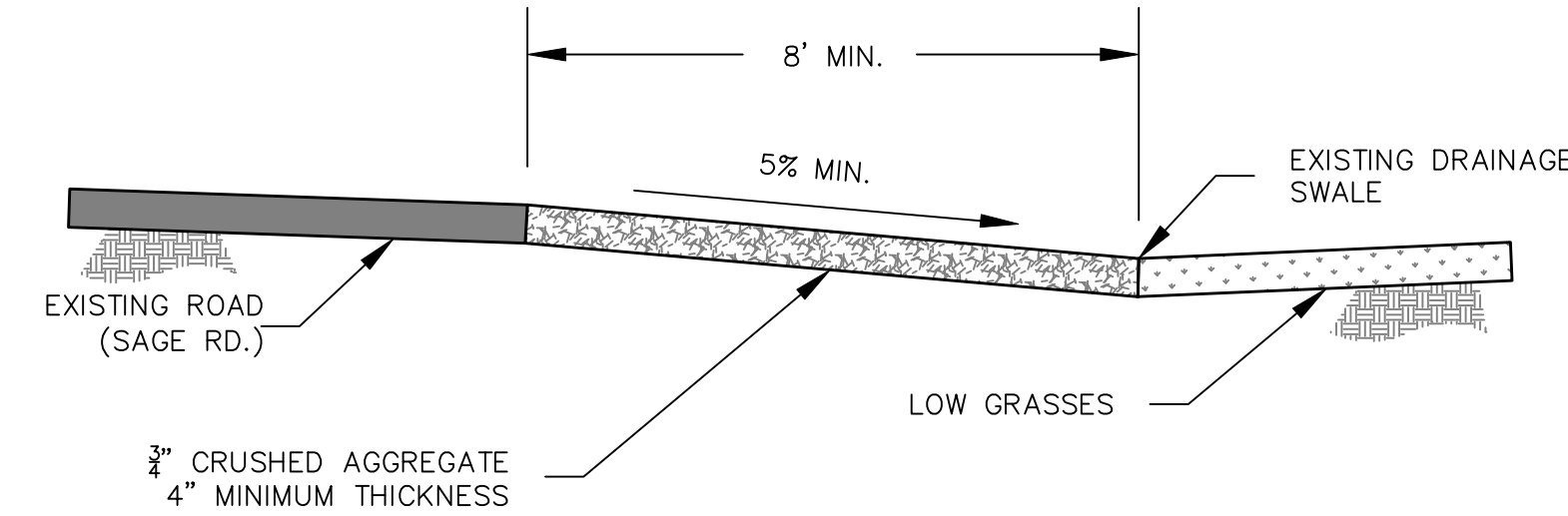




5 DRIVEWAY PROFILE VIEW  
SUBLOT 1  
VERT: 1"=5'  
HORIZ: 1"=10'

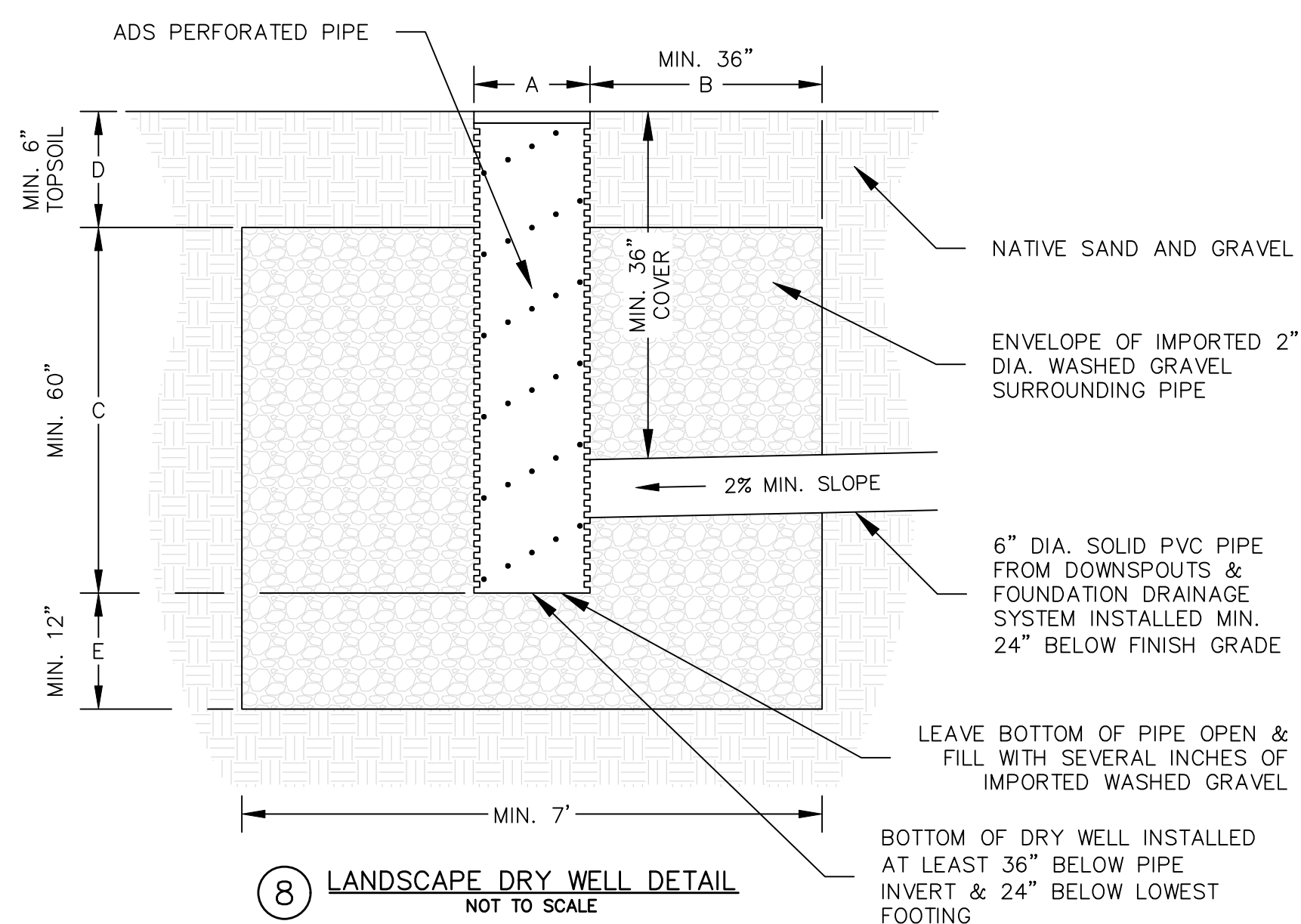


6 DRIVEWAY PROFILE VIEW  
SUBLOT 2  
VERT: 1"=5'  
HORIZ: 1"=10'

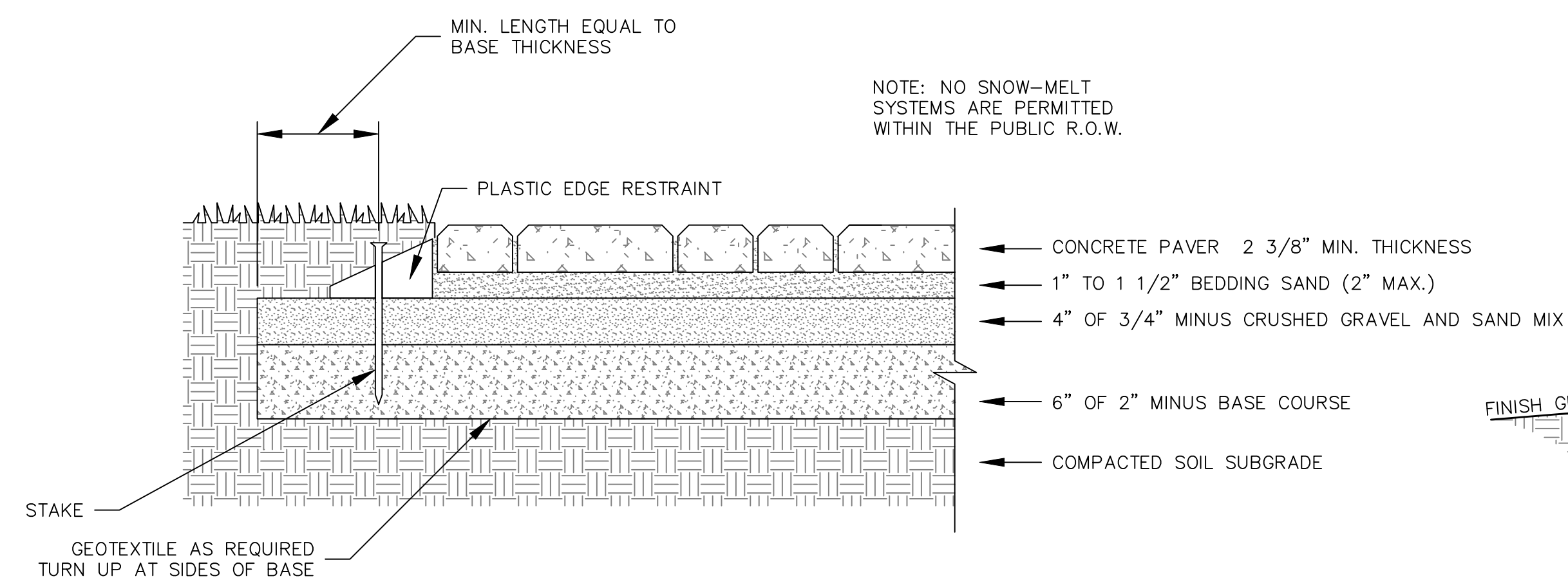


7 CROSS-SECTION: ROADSIDE SWALE  
R.O.W. SAGE ROAD  
NOT TO SCALE

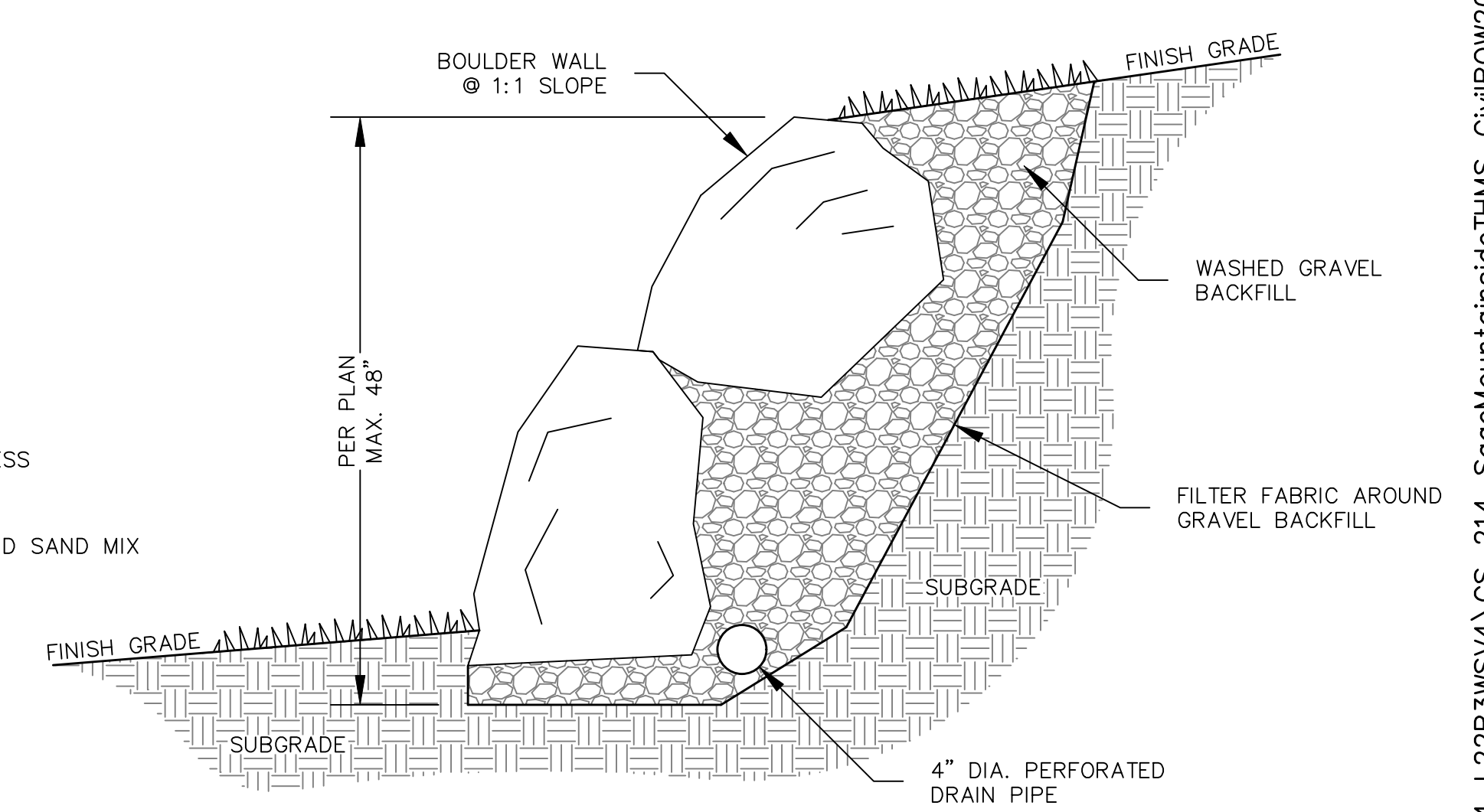
- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
  - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
  - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
  - D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
  - E) No obstructions, such as boulders or berms.
  - F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
  - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species are preferred.
  - H) No snow-melt systems within Public R.O.W.



8 LANDSCAPE DRY WELL DETAIL  
NOT TO SCALE

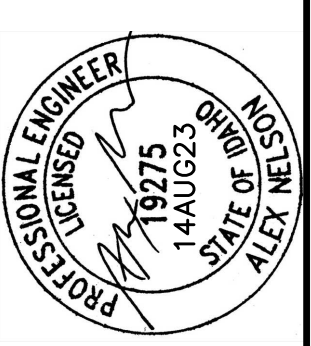


9 PAVER DRIVEWAY DETAIL  
NOT TO SCALE



10 BOULDER WALL  
NOT TO SCALE

PROJECT PATH AND PRINT DATE: U:\LD3\214\_L22B3WSV4\CS\_214\_SageMountainsideTHMS\_CivilROW2023\_Revise.dwg 08/14/2023 9:35:29 PM MST



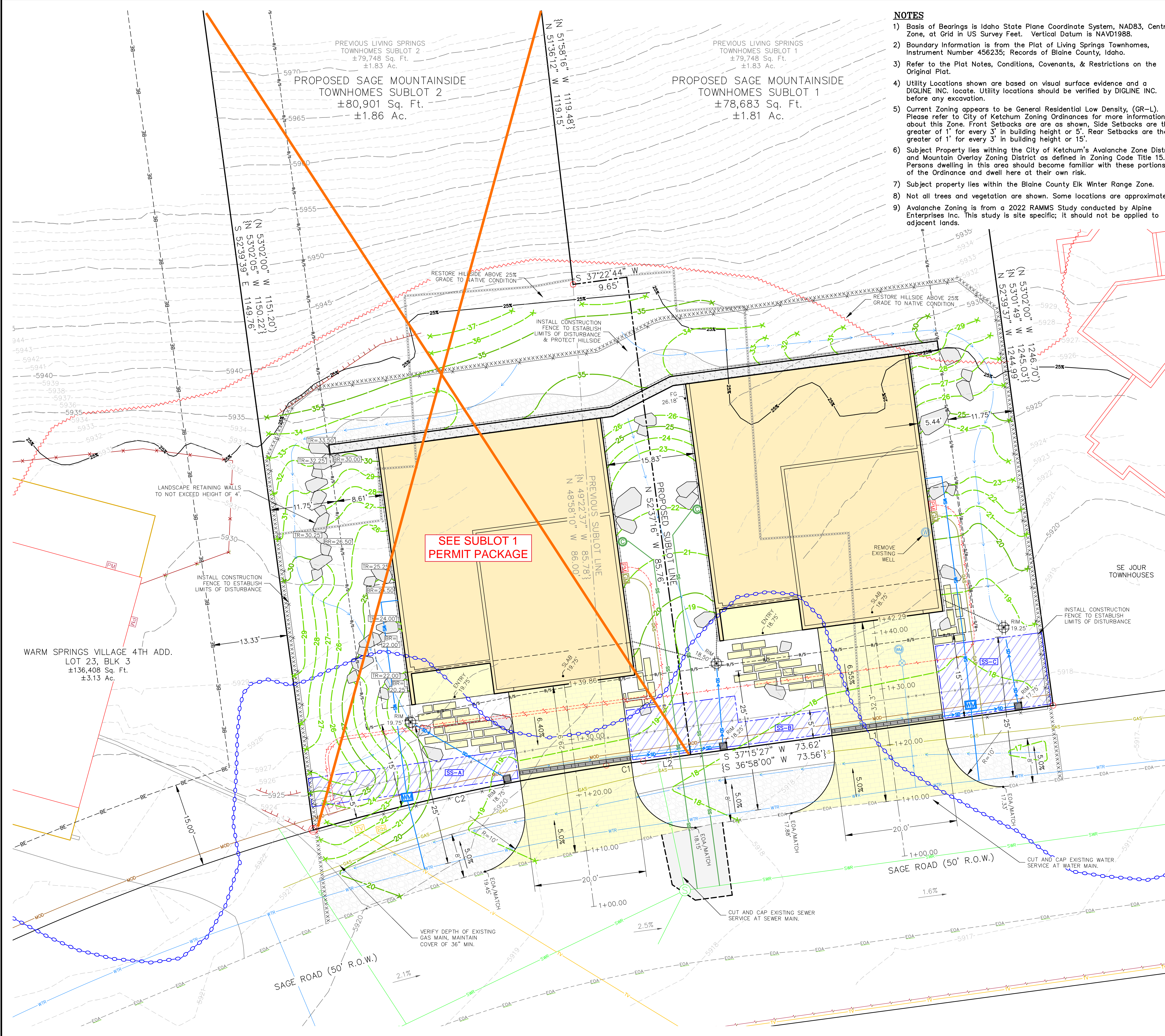
REVISIONS	NO	DATE	BY
BUILDING PERMIT SUBMITTAL	1	14AUG23	AHN
PHASE 1			

C3.0

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING  
SAGE MOUNTAINSIDE TOWNHOMES  
WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
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Alpine Enterprises Inc.  
Surveying, Mapping, Civil Engineering,  
and Natural Hazards Consulting  
660 Bell Dr., Unit 1  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1988  
email: bsmith@alpineenterprisesinc.com





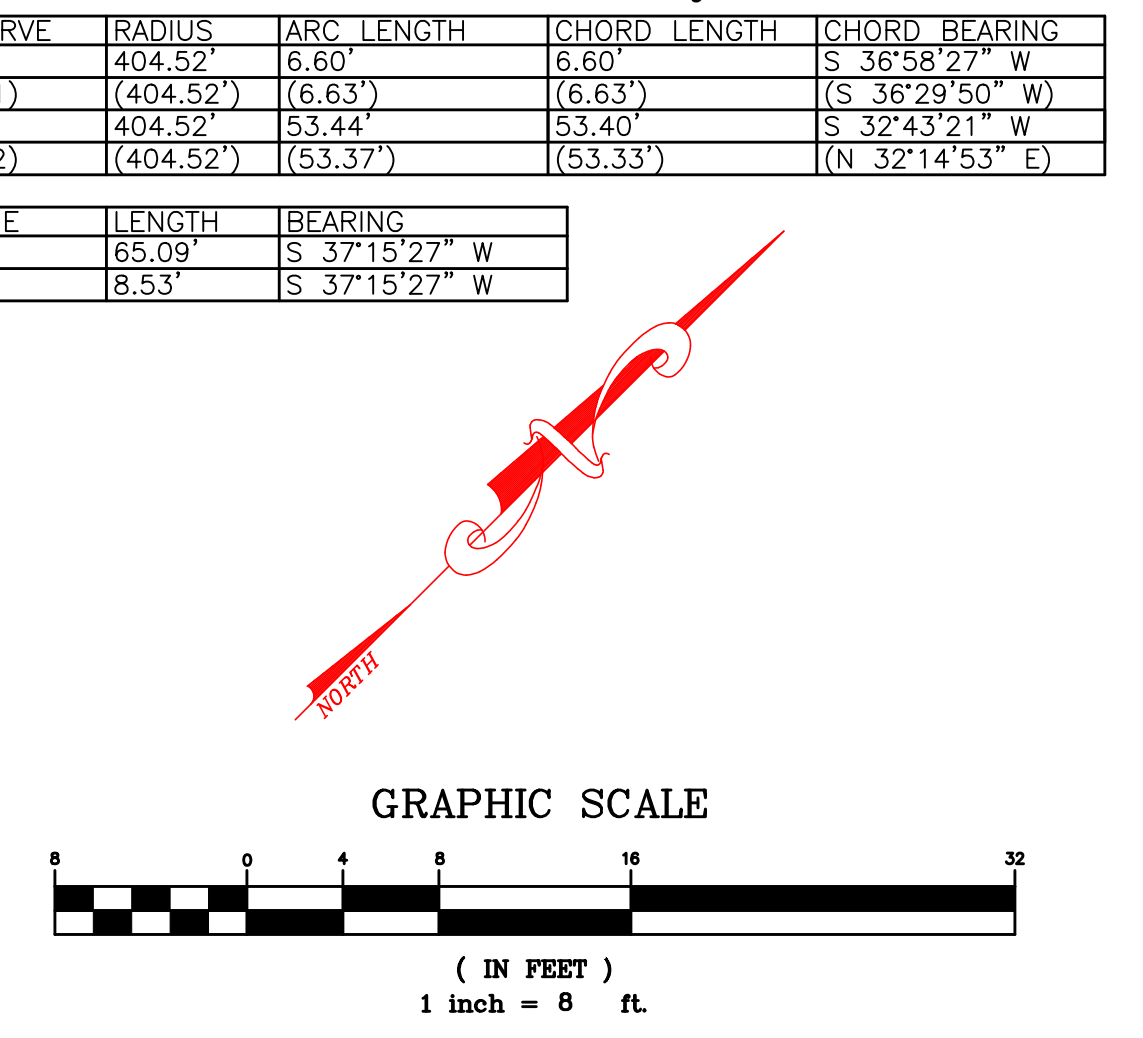
- NOTES**
- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
  - 2) Boundary Information is from the Plat of Living Springs Townhomes, Instrument Number 456235; Records of Blaine County, Idaho.
  - 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
  - 4) Utility Locations shown are based on visual surface evidence and a DIGLINE INC. locate. Utility locations should be verified by DIGLINE INC. before any excavation.
  - 5) Current Zoning appears to be General Residential Low Density, (GR-L). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front Setbacks are as shown, Side Setbacks are the greater of 1' for every 3' in building height or 5'. Rear Setbacks are the greater of 1' for every 3' in building height or 15'.
  - 6) Subject Property lies within the City of Ketchum's Avalanche Zone District and Mountain Overlay Zoning District as defined in Zoning Code Title 15. Persons dwelling in this area should become familiar with these portions of the Ordinance and dwell here at their own risk.
  - 7) Subject property lies within the Blaine County Elk Winter Range Zone.
  - 8) Not all trees and vegetation are shown. Some locations are approximate.
  - 9) Avalanche Zoning is from a 2022 RAMMS Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.

- LEGEND**
- Subject Boundary
  - Existing/Proposed Sublot Line
  - Previous Sublot Line
  - Adjainers Boundary
  - Existing Edge of Asphalt Roadway
  - Existing Building Setback (See Note 5)
  - Existing 5' Public Utility Easement
  - Mountain Overlay District (City of Ketchum)
  - 25% Slope Line (Alpine 2022)
  - Existing 5' Major Contour Line (Alpine 2022)
  - Existing 1' Minor Contour Line (Alpine 2022)
  - Proposed 5' Major Contour
  - Proposed 1' Minor Contour
  - Proposed Drainage Flowline
  - Proposed 6" Dia. PVC Storm Drain Pipe
  - Proposed L.O.D. with Silt Fence (Construction)
  - Proposed L.O.D. (Demolition)
  - Proposed 4" Dia. Footing Drain Pipe
  - Proposed 4" Dia. Roof Drain Pipe
  - Existing Wooden Fence
  - Existing Retaining Wall
  - Existing Overhead Power
  - Proposed Underground Power
  - Existing Water Main
  - Existing Water Service
  - Proposed Water Service (C2.0, Detail 4)
  - Existing Sewer Main
  - Existing Sewer Service
  - Proposed Sewer Service (C2.0, Detail 4)
  - Existing CA/TV
  - Existing Gas Main
  - Proposed Gas Service
  - Red Avalanche Hazard Zone (Alpine 2022)
  - Blue Avalanche Hazard Zone (Alpine 2022)
  - Found 1/2" Rebar
  - Found Aluminum Cap
  - Set 1/2" Rebar, PLS 7048
  - Existing Power Pole
  - Existing Sewer Manhole
  - Proposed Sewer Cleanout
  - Existing Water Meter
  - Existing Water Valve
  - Existing Well
  - Proposed Water Meter (C2.0, Detail 1)
  - Proposed Sewer Cleanout
  - Existing Phone Box
  - Existing CA/TV Box
  - Existing Power Box
  - Proposed Power Meter
  - Proposed Gas Meter
  - Existing Road Grade
  - Proposed Grade
  - Proposed Structure
  - Proposed Concrete Avalanche Protection Wall
  - Proposed Deck Line (See Arch. Plan)
  - Proposed Paver Driveway (C3.0, Detail 8)
  - Proposed Asphalt Patch & Saw-Cut Line (C2.0, Detail 3)
  - Proposed Stone Entry
  - Proposed Boulders (C3.0, Detail 10)
  - Proposed Gravel (C3.0, Detail 7)
  - Proposed Snow Storage (C2.0, Note 22)
  - Proposed Landscape Dry Well (C3.0, Detail 8)
  - Proposed Landscape Catch Basin Connected To Building Drainage
  - Proposed 6" Driveway Trench Drain
  - SLAB Garage Slab Elevation
  - FG Finish Grade
  - ENTRY Stone Entry Elevation
  - RIM Dry Well/Catch Basin Rim Elevation
  - TR Top of Retainage Elevation
  - BR Bottom of Retainage Elevation

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	404.52	6.60	6.60	S 36°58'27" W
(C1)	404.52	(6.63)	(6.63)	(S 36°29'50" W)
C2	404.52	53.44	53.40	S 32°43'21" W
(C2)	404.52	(53.37)	(53.33)	(N 32°14'53" E)

LINE	LENGTH	BEARING
L1	65.09	S 37°15'27" W
L2	8.53	S 37°15'27" W



PROJECT PATH AND PRINT DATE U:\LD3\214\_L22B3WSV4\_CS\_214\_SageMountainsideTHMS\_CivilROW2023\_Revise.dwg 08/14/2023 9:35:29 PM MST

**ALPINE ENTERPRISES INC.**  
 Surveying, Mapping, Civil Engineering,  
 and Natural Hazards Consulting  
 660 Bell Dr., Unit 1  
 P.O. Box 2037, Ketchum, ID 83340 USA  
 (208) 722-1988  
 email: alpine@alpineenterprisesinc.com

**PROFESSIONAL ENGINEER**  
 14075  
 14AUG23  
 STATE OF IDAHO  
 ALEX NEVILL

NO	DATE	BY
1	14AUG23	AHN

REVISIONS  
 BUILDING PERMIT SUBMITTAL

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING  
 SAGE MOUNTAINSIDESIDE TOWNHOMES  
 WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR SAGE MOUNTAINSIDESIDE LLC.

**C1.0**

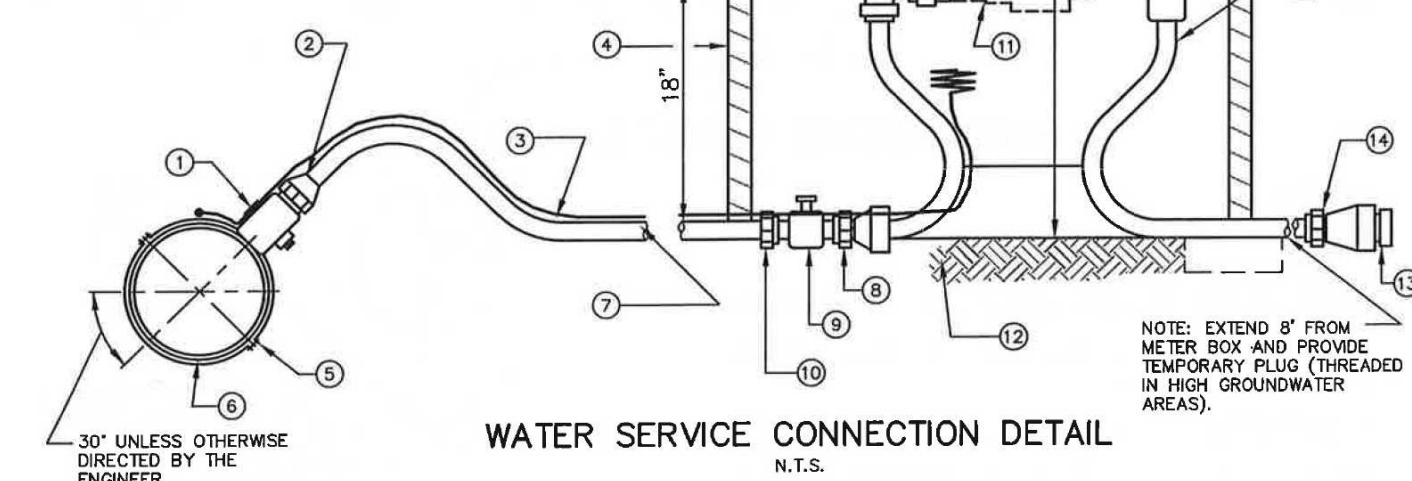


**GENERAL CONSTRUCTION NOTES**

- Utility Locations shown are based on Digline locates and visual surface evidence. They are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- See the Building Plan from Connect Homes and the Landscape Plan from NS Consulting for the remainder of the design.
- Contractor shall assure positive drainage away from the building and driveway.
- Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Program at all times until permanent erosion control is established.
- The Trench Drain shall be a 6" wide HDPE channel with a 0.75 built in channel slope (Zurn Flo-Thru Model Z886 or equivalent). Grate shall be ductile iron with a slotted pattern. All components shall be rated for H-20 loading.
- All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPMC, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPMC and the City of Ketchum Codes and Standards on site during construction.
- Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- Potable/non-potable crossings shall comply with ISPMC Standard Drawing SD-407 and IDAPA section 58.01.08.542.07.
- Sewer service lines shall be placed at a slope of 2%, with markers per ISPMC. Cleanouts are required at changes in alignment, grade, and minimum 150' length.
- All pipe shall be bedded with (ISPMC) Type I bedding material.
- Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- The contractor shall pressure test all sewer service connections in accordance with Idaho Standards for Public Works Construction, ISPMC.
- All clearing and grubbing shall conform to ISPMC Section 201 and City of Ketchum standards of excavation and backfill.
- All excavation and embankment shall conform to ISPMC Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPMC Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 2" minus aggregate shall be placed in conformance with ISPMC Section 802. It shall be compacted per ISPMC Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPMC Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 3/4" minus aggregate shall be placed in conformance with ISPMC Section 802. It shall be compacted per ISPMC Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPMC Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All asphaltic concrete pavement work shall conform to ISPMC Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPMC Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPMC Section 805.
- All concrete work shall conform to ISPMC Sections 701 and 703. All concrete shall be 3,000 psi minimum. 28 day, as defined in ISPMC Section 703, Table 1.C.
- All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- Snow Storage based on 30% of the Improved Parking and Pedestrian Circulation Areas.  
 Driveways = 698 Sq. Ft.  
 Walkways = 292 Sq. Ft.  
 Total = 990 Sq. Ft.  
 30% of Total = 297 Sq. Ft.  
 Areas Designated:  
 SS-A: 5'x38' = 190 Sq. Ft.  
 SS-B: 19.5'x9' + 16'x4' = 240 Sq. Ft.  
 SS-C: 13'x19' = 247 Sq. Ft.  
 Area Designated Total = 677 Sq. Ft. of Snow Storage
- The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.
- All right-of-way improvements per sheet C1.0 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.

**NOTES:**

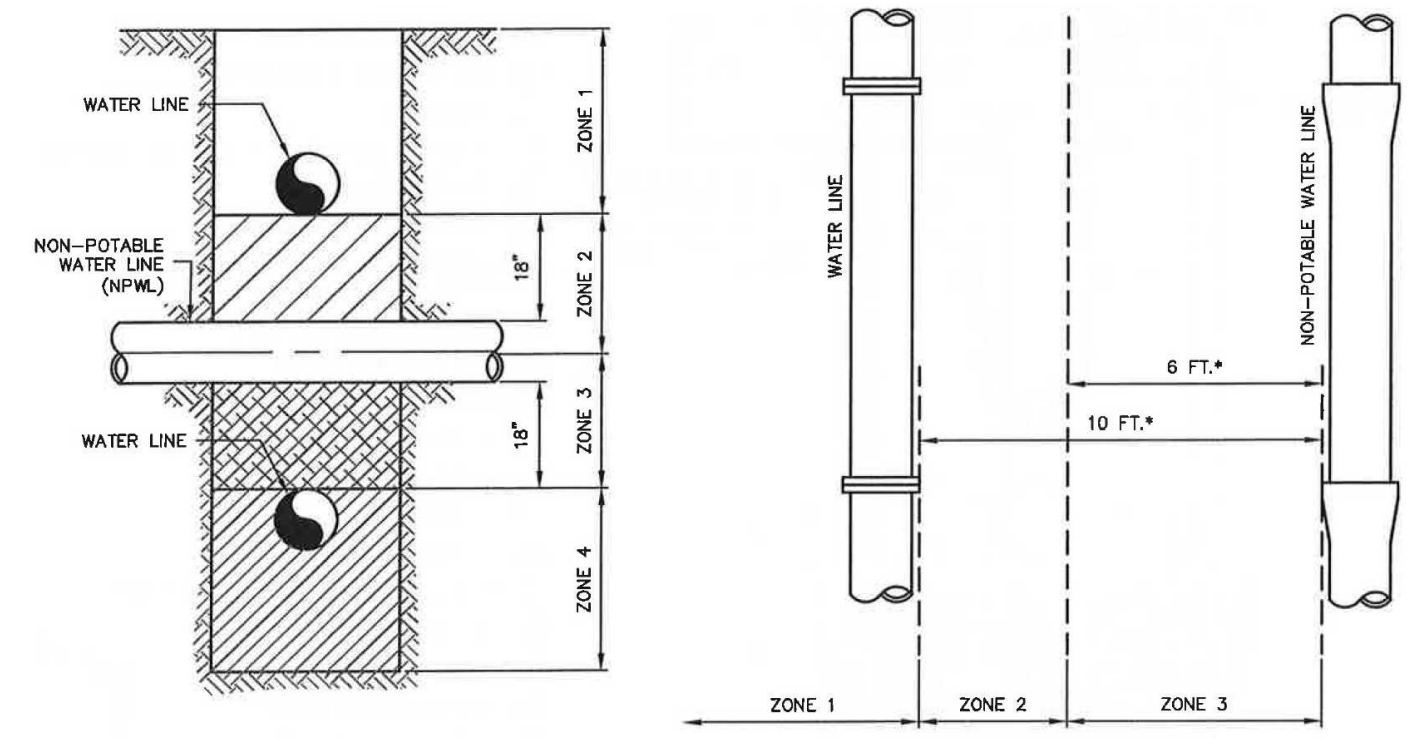
- ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SIZE 7" CLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 3/4" OR 1".
- SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN. SERVICE SADDLES: EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE CC.
- NO SERVICE CONNECTIONS WITHIN ONE FOOT OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE THE ALONG CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF ONE FOOT.
- CENTER METER BOXES LOCATED IN CONCRETE DRIVEWAYS IN A 4' X 4' SQUARE OF CONCRETE, SEPARATED FROM THE REST OF THE DRIVEWAY CONCRETE BY EXPANSION JOINT MATERIAL. USE 30" TILE WITH CONCRETE GRADE RING, STANDARD MANHOLE RING AND LID MARKED "WATER".
- ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.



**LEGEND**

- FORD FIB-1101 OR MUELLER BALL CORPORATION STOP 3/4" OR 1".
- MUELLER H-15072.
- NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
- 20" DIA. X 42" DEEP METER BOX (NOTCH FOR SERVICE LINES).
- STAINLESS STEEL SADDLE.
- WATER MAIN.
- 3/4" OR 1" SERVICE LINE (TYP.) NO SPLICING IS ALLOWED.
- MALE SWIVEL END.
- FULL OPENING 3/4" OR 1" MUELLER 300 BALL OR FORD B-11333 BALL VALVE.
- CURB STOP ADAPTER (FORD C-86 OR MUELLER H-15426 "STOP JOINT").
- FUTURE METER INSTALLED BY WATER PURVEYOR.
- FIN UNDISTURBED EARTH. (SET TILE ON 2" X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
- PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).
- DOUBLE PURPOSE COUPLING.
- FORD VHM-92-18" YOKE WITH MALE CONNECTION AND EXTENDED END OR APPROVED EQUAL.
- FORD CARTRIDGE DUAL CHECK VALVE (VERTICAL).
- FORD BALL VALVE 18" (92,93,94 SERIES OR MUELLER B24101-142) 3/4"-1" COPPERSETTER WITH PADLOCK WINGS AND EXTENDED END ON EACH.
- FORD TYPE X SINGLE LID COVERS NO. X43. 13 1/2" OPENING- 1/32" PENTAGONAL NUT.

1 WATER SERVICE CONNECTION (3/4" - 1")  
 ISPMC - SD-401  
 NOT TO SCALE



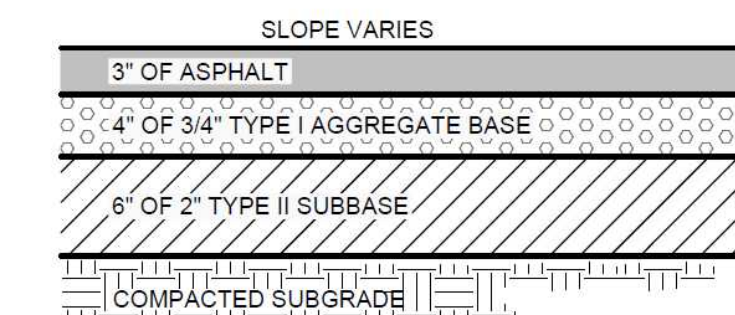
**VERTICAL SEPARATION REQUIREMENTS**

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO SDG FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

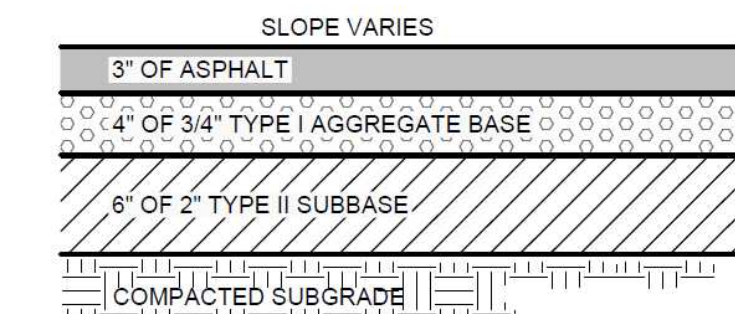
**HORIZONTAL SEPARATION REQUIREMENTS**

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEG.
- ZONE 3: NOT ALLOWED WITHOUT DEG WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEG.

3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPERATION  
 ISPMC - SD-407  
 NOT TO SCALE



TYPICAL STREET ASPHALT SECTION

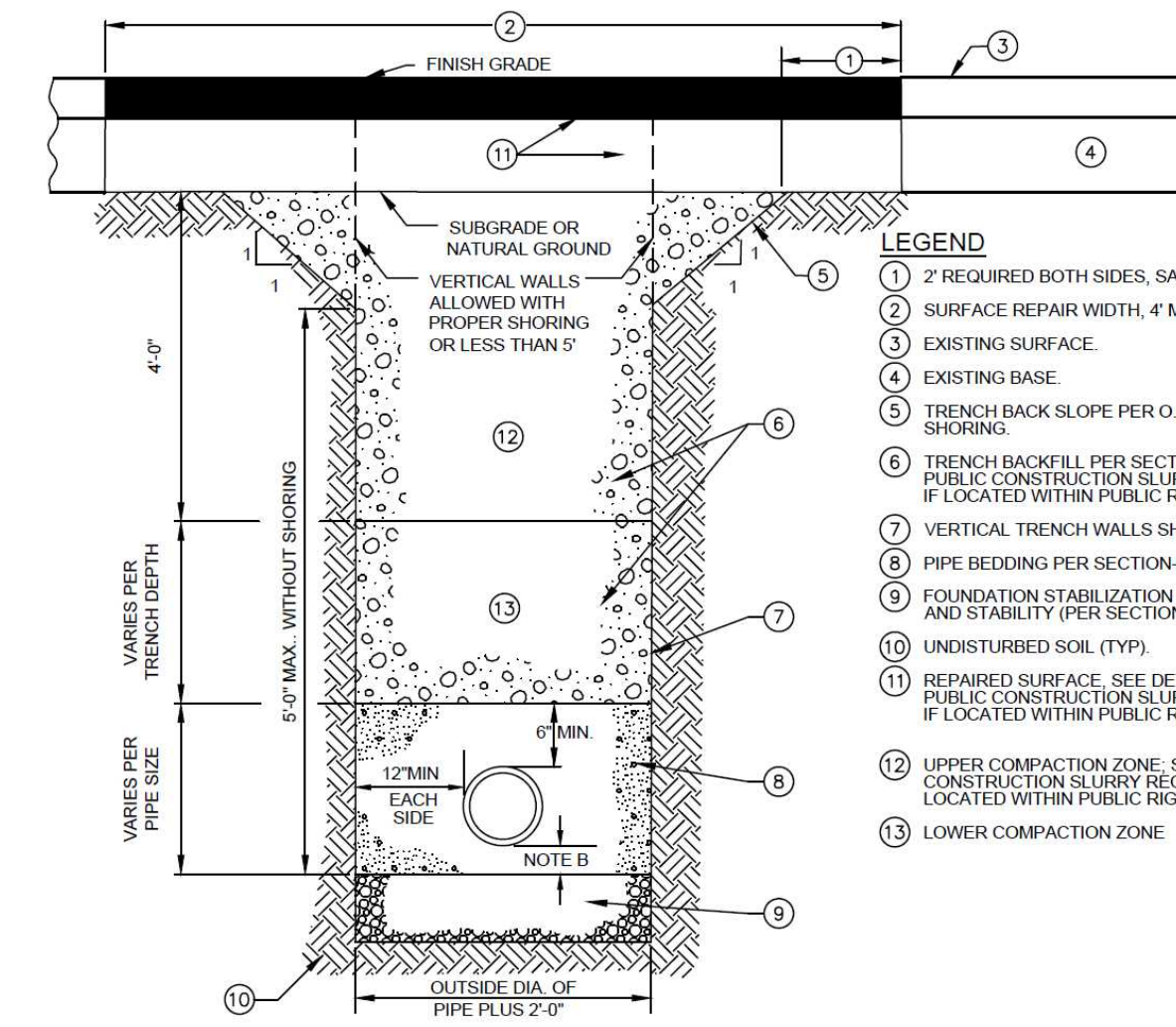


TYPICAL ALLEY ASPHALT SECTION

**NOTES:**

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 TYPICAL ROAD SECTIONS  
 CITY OF KETCHUM - SD-3  
 NOT TO SCALE



**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

- COARSE AGGREGATE (6" MINUS): 2,600 LBS
- SAND: 800 LBS
- PORTLAND CEMENT: 94 LBS
- WATER: 11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

**NOTES:**

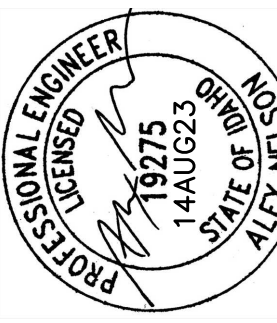
- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 306.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPMC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

4 TYPICAL TRENCH  
 CITY OF KETCHUM - SD-12  
 NOT TO SCALE

PROJECT PATH AND PRINT DATE U:\LD3\214\_L22B3WSV4\CS\_214\_SageMountainsideTHMS\_CivilROW2023\_Revise.dwg\_08/14/2023 9:35:29 PM MST

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING  
 SAGE MOUNTAINSIDE TOWNHOMES  
 WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR SAGE MOUNTAINSIDE LLC.

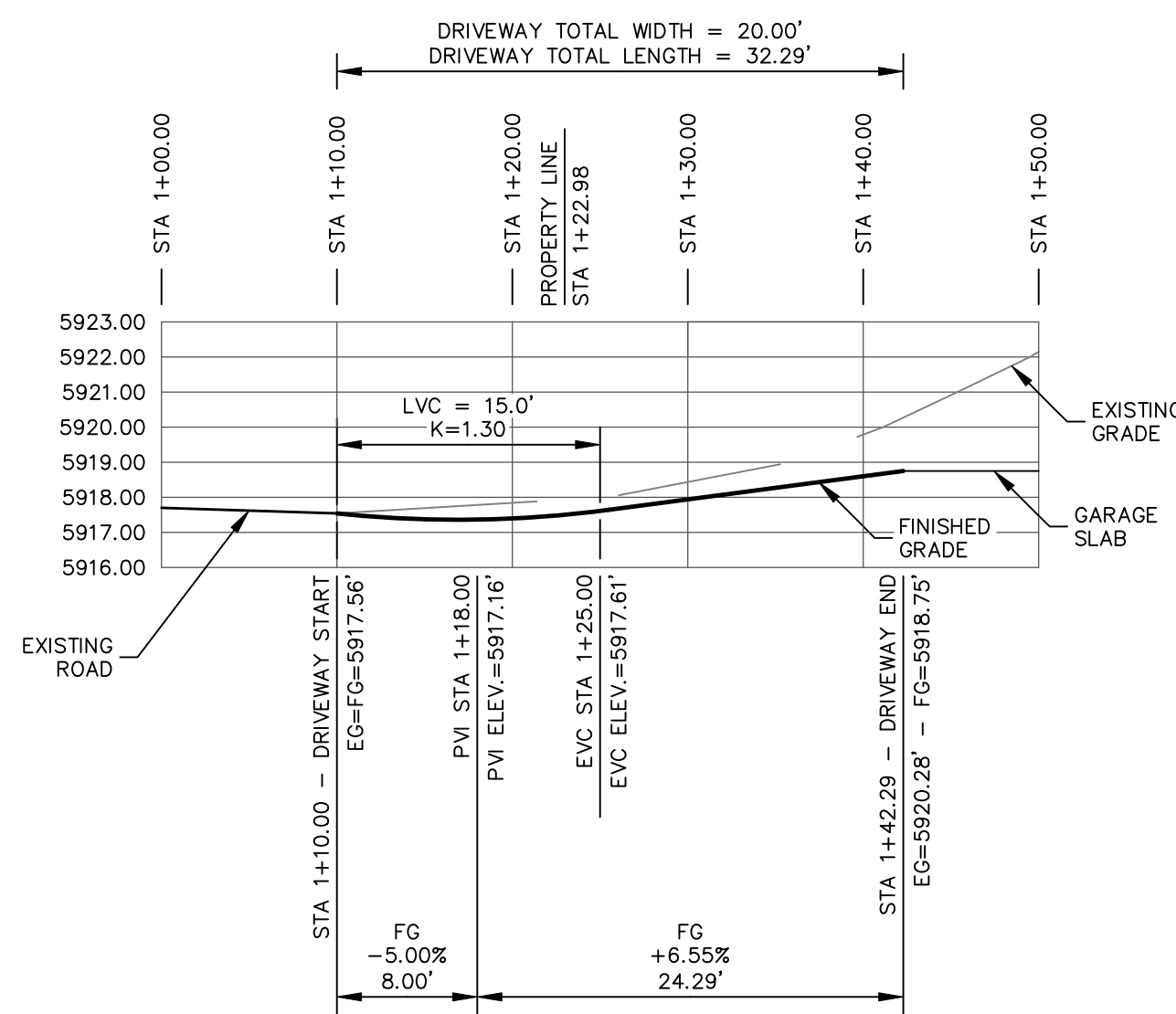
Alpine Enterprises Inc.  
 Surveying, Mapping, Civil Engineering,  
 and Natural Hazards Consulting  
 660 Bell Dr., Unit 1  
 Ketchum, ID 83340 USA  
 (208) 722-1985  
 email: alpine@alpineenterprisesinc.com



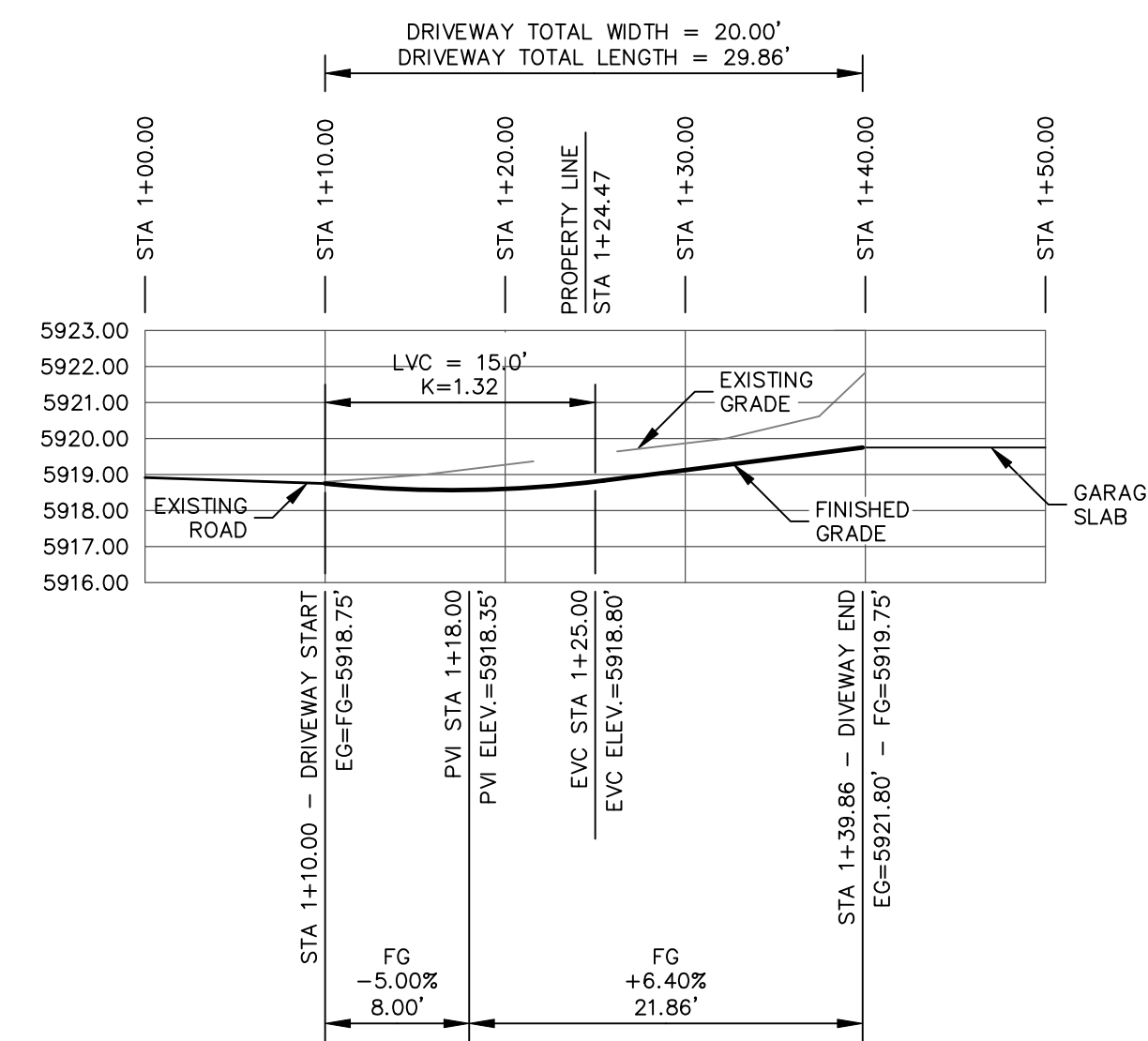
NO	DATE	BY	REVISIONS
1	14AUG23	AHN	BUILDING PERMIT SUBMITTAL

C2.0

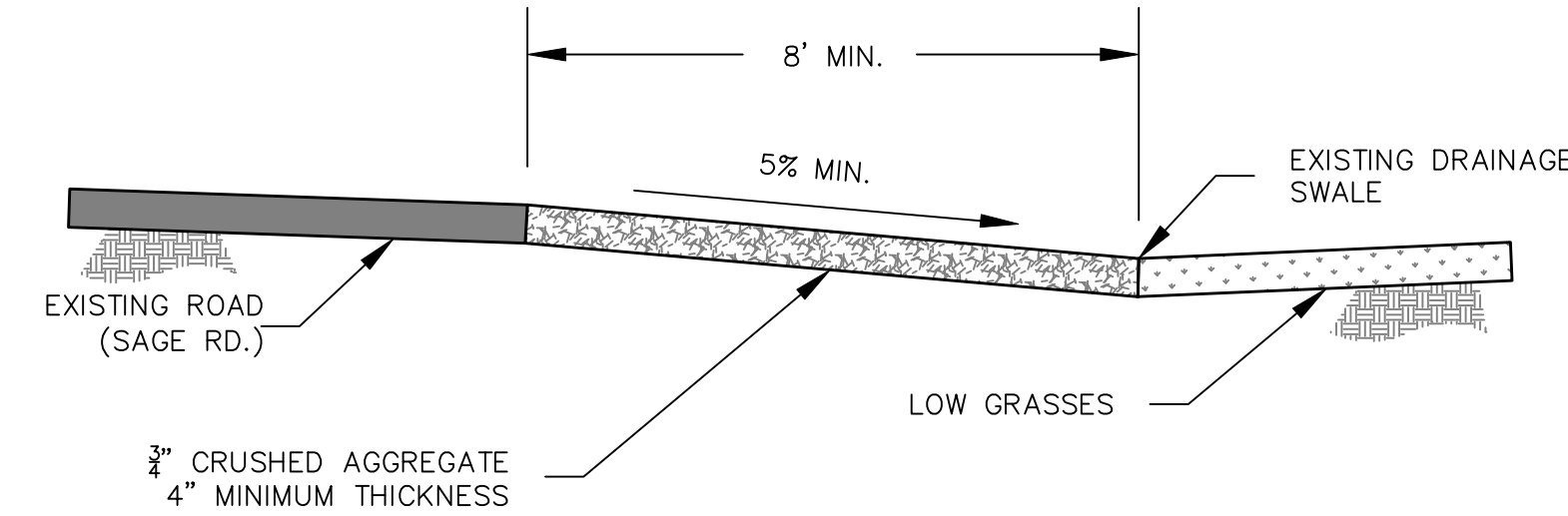




5 DRIVEWAY PROFILE VIEW  
SUBLOT 1  
VERT: 1"=5'  
HORIZ: 1"=10'



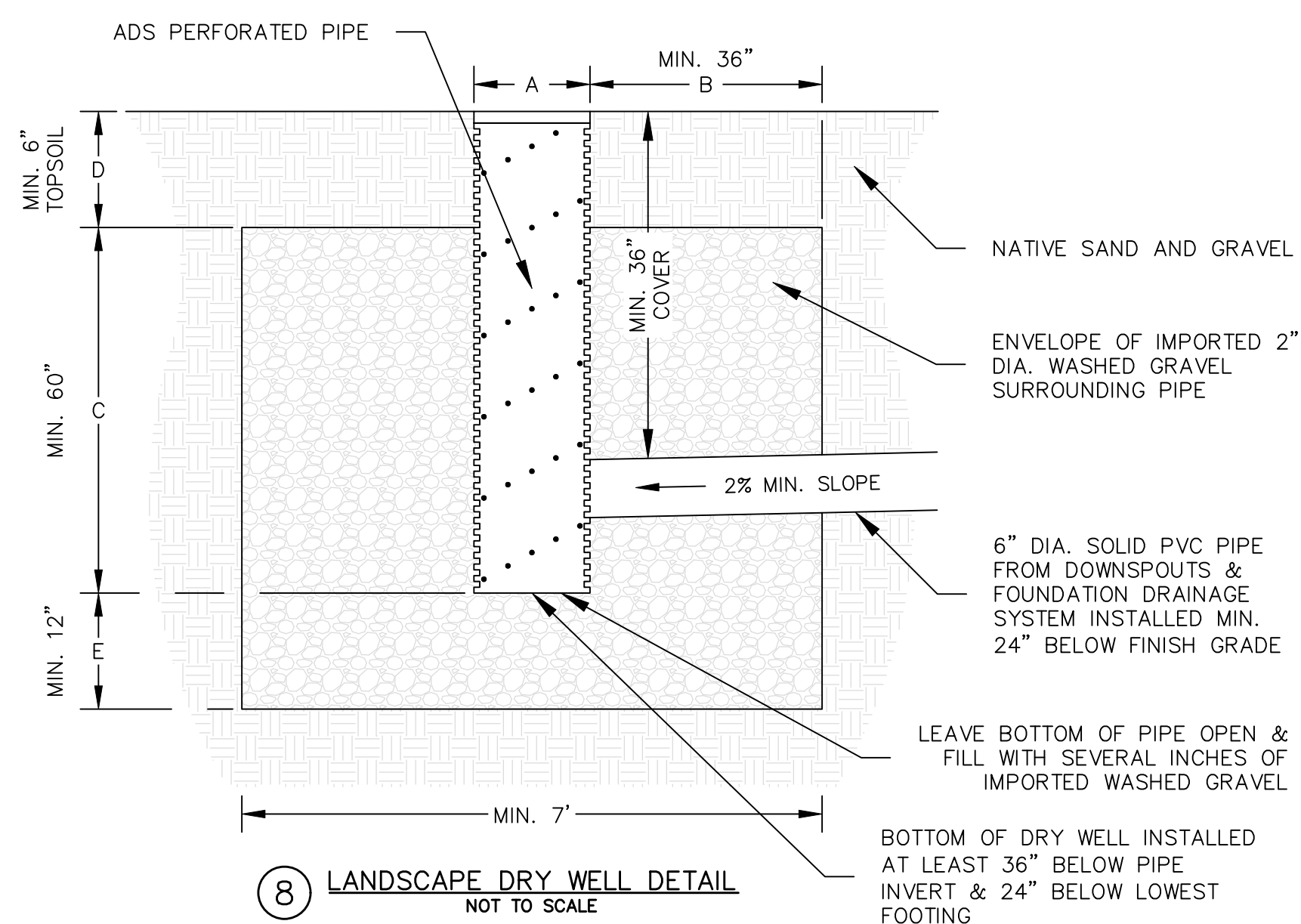
6 DRIVEWAY PROFILE VIEW  
SUBLOT 2  
VERT: 1"=5'  
HORIZ: 1"=10'



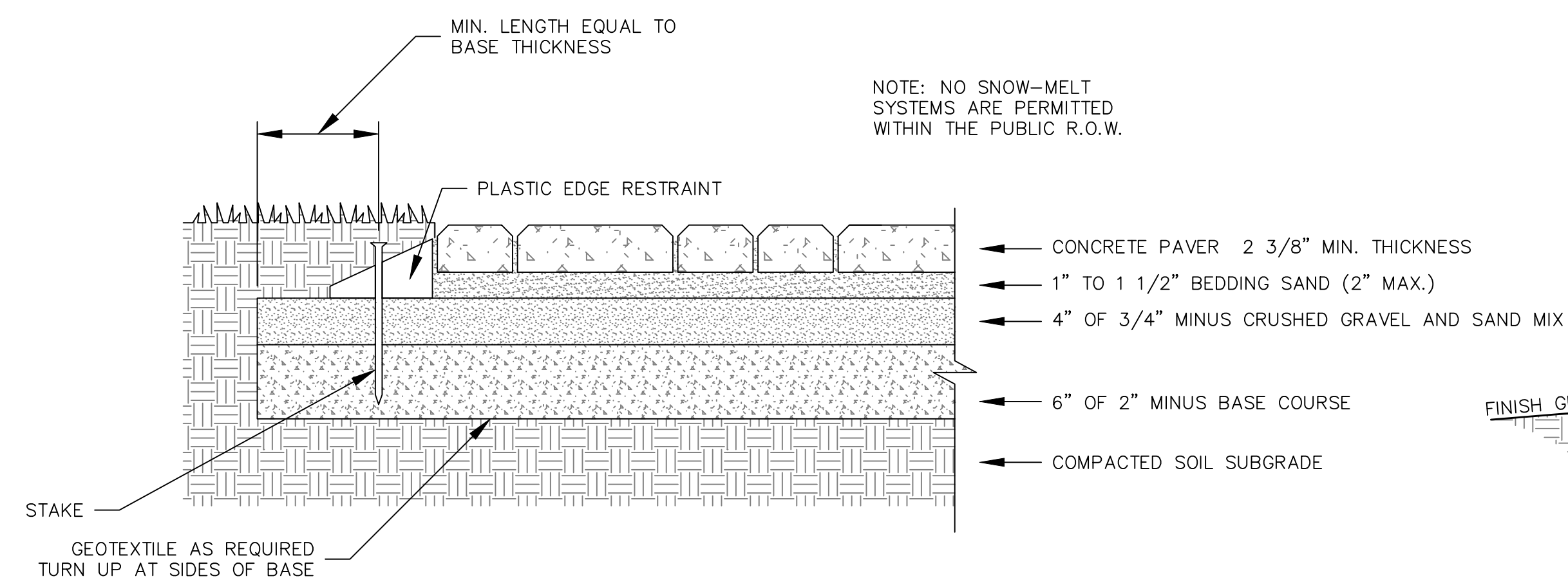
7 CROSS-SECTION: ROADSIDE SWALE  
R.O.W. SAGE ROAD  
NOT TO SCALE

**NOTES**

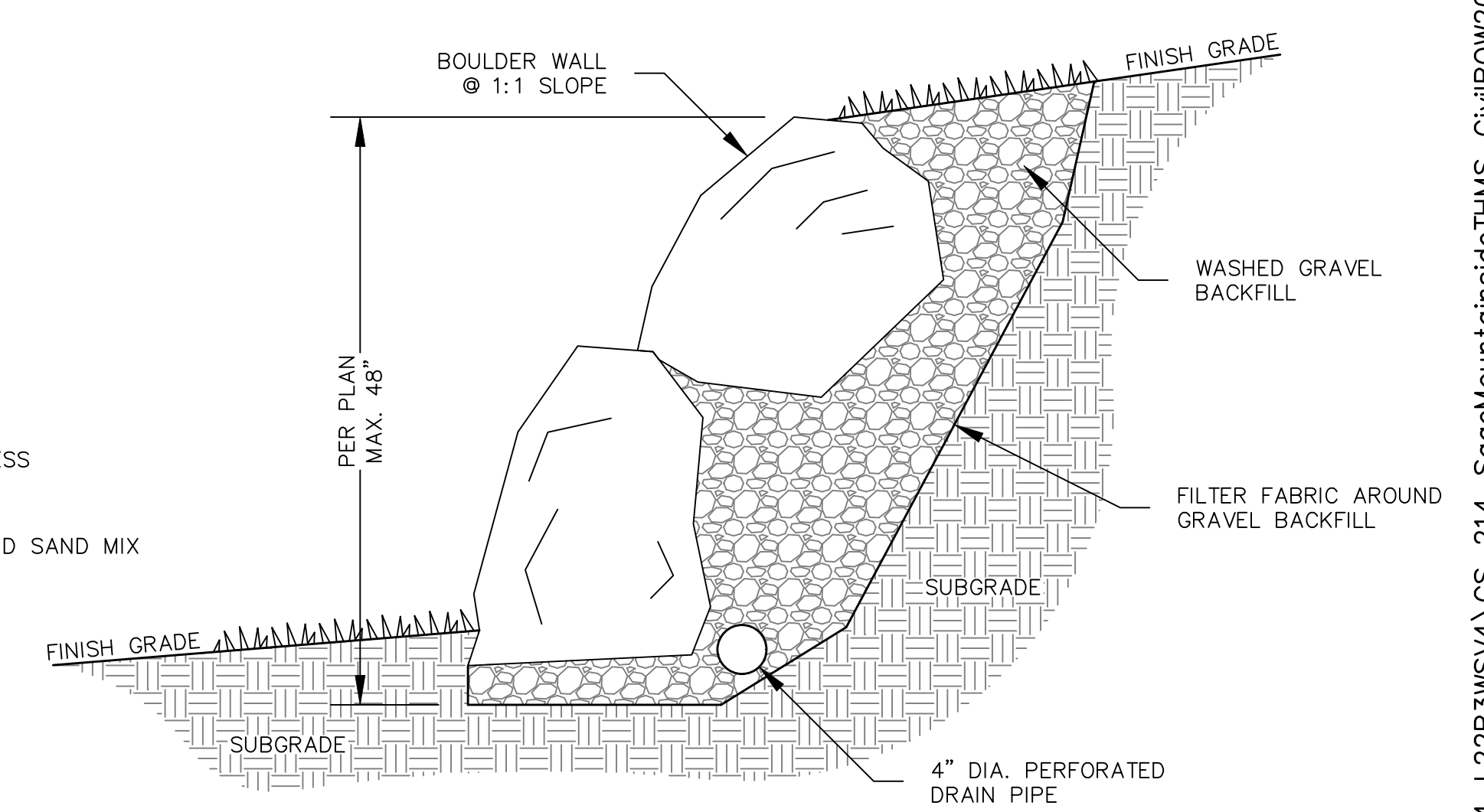
- A) Material shall be pervious/permeable to allow drainage.
- B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
- C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
- D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
- E) No obstructions, such as boulders or berms.
- F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
- G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species are preferred.
- H) No snow-melt systems within Public R.O.W.



8 LANDSCAPE DRY WELL DETAIL  
NOT TO SCALE



9 PAVER DRIVEWAY DETAIL  
NOT TO SCALE

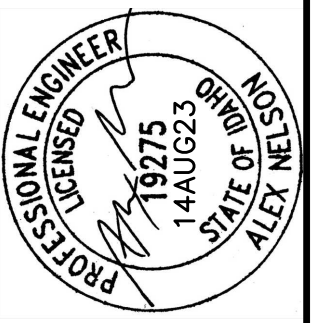


10 BOULDER WALL  
NOT TO SCALE

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P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1988  
email: balmitt@alpineenterprisesinc.com



REVISIONS	NO	DATE	BY
BUILDING PERMIT SUBMITTAL	1	14AUG23	AHN
PHASE 1			

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