



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 11, 2025**

PROJECT: Sawtooth Serenade

FILE NUMBER: P24-027

APPLICATION: Final Design Review

PROPERTY OWNER: McCaw Nell Elizabeth Trustee, Distrustful Ernest Revocable Trust U/A/D 02/03/16

REPRESENTATIVE: Dave Thielsen, Thielsen Architects (Architect)

LOCATION: 260 N 1st Ave (KETCHUM TOWNSITE LOT 5A BLK 38)

ZONING: Community Core – Subdistrict 2 Mixed Use (CC-2)

OVERLAY: None

REVIEWER: Morgan Landers, AICP – Director of Planning and Building

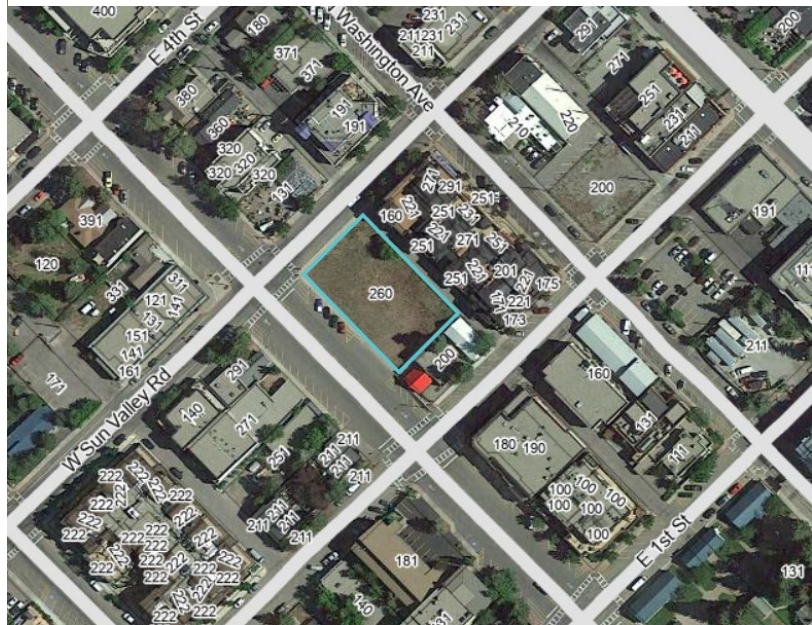
NOTICE: A public meeting notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 22, 2025. The notice was published in the Idaho Mountain Express on January 22, 2025. A notice was posted on the project site and the city’s website on January 22, 2025. Story poles were verified on the subject property on Tuesday, February 4, 2025 (See Attachment C).

INTRODUCTION

The applicant is proposing a 23,906 gross square foot multi-family development located at 260 N 1st Ave (the “subject property”) in the Community Core Subdistrict 2 – Mixed Use (CC-2) zone district. The project includes two residential dwelling units, ground floor private recreation space, garage parking for five vehicles, and storage for the two units. The subject property is three vacant Ketchum Townsite

lots totaling 16,507 SF on the east corner of N 1st Ave and Sun Valley Rd (Figure 1) south of the new 1st and Sun Valley office building, diagonal from the mixed-use building where Maude's is located. The three townsite lots were previously consolidated in conjunction with a previous development application that did not move forward. Please see Attachments A and B for the application materials and design review plan set for the development.

Figure 1: Subject Property 260 N 1st Ave



The project proposes to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing, mitigating the additional floor area by making a community housing in-lieu payment of \$691,900. The total FAR for the project is 1.45, where 1.0 is permitted by right.

The application is not subject to certain requirements of the city's current municipal code including minimum residential densities and ground floor commercial. Those requirements were adopted in October of 2022 through Interim Ordinance 1234. The pre-application design review was deemed complete prior to the effective date of that ordinance. Applicability of Ordinance 1234 to the development was further evaluated by City Council on March 4, 2024 as part of an appeal hearing of an administrative determination where council found the ordinance to not apply to the proposed development.

A pre-application design review with the Commission occurred on January 24, 2023. The packet and recording of that meeting can be found [HERE](#). The Commission provided feedback on the initial design including:

- Materials – monochromatic palette that may appear bland or muted without vegetation, too cool, recommended reduction in the use of metal paneling
- Bulk of the structure – there isn't enough breaking up the building along its length
- Fenestration/Glazing – The amount of fenestration and monotony of that fenestration makes the building appear long and flat
- North Façade (Sun Valley Rd) – architectural features felt ungrounded and bulky
- South Façade – reduce the amount of black metal
- Corner of 1st and Sun Valley – needed to be more open with windows and other public space
- Landscaping – requested an introduction of public space into the development to provide better interface between the public and private realms, spacing of street trees
- Roof – long and flat nature of the third-floor roof

Staff have conducted a review of the application for conformance with Design Review standards in KMC 17.96 and all other zoning requirements including height, setbacks, parking, lighting, etc. A full review of the zoning standards and design review criteria can be found in Attachments D and E

respectively. In general, the applicant has addressed a few of the comments from the Commission. However, staff believe there are still deficiencies in the design that have not been addressed adequately. Please see the analysis section below for additional discussion on those items.

ANALYSIS

Per KMC 17.96.050.A. *Criteria*. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 evaluates the project's impact on the community through its alignment with the goals and policies of the city's currently adopted plans as related to public health, safety, and welfare such as the adopted comprehensive plan. Criteria 2 above relates to the project's conformance with the city's zoning ordinance such as permitted uses, dimensional limitations, parking, dark skies, and the design review improvements and standards listed in 17.96.060 and 17.96.070. During department review, city staff reviewed the project against the city's adopted plans (criteria 1) and for all applicable zoning requirements including conformance with all applicable design review standards outlined in KMC §17.96.060 – *Improvements and Standards* and KMC §17.96.070 – *Community Core (CC) Projects*.

Below is a review of the two criteria and an overview of where staff believe the application meets or does not meet the criteria.

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan outlines 10 core values that drive our vision for the future including a strong and diverse economy, vibrant downtown, community character, and a variety of housing options. The built environment within the downtown plays a key role in materializing these values to achieve the city's vision. The 2014 Comprehensive Plan designates the future land use for the subject property as "mixed-use commercial" where, according to the plan, "New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street."

The comprehensive plan acknowledges that Ketchum has high-quality public spaces including streets and plazas that contribute to our current success and, as noted above, new mixed-use developments should contain public spaces that provide relief from the bulk and mass of structures that contain higher densities. Although this is a low-density development, with only two units, the bulk and mass of the project is that of a higher density development and should seek to achieve the same design objectives. As outlined below in this report, the design of the outdoor space seems to be closed off and privatized. Staff acknowledges the space provides value to the quality of the street due to the increased landscaping and setback of the building, however, the Commission encouraged the applicant to consider designing the space to be more open to the street or making the space available to the public as there is extensive private space on decks and patios throughout the project.

Policy CD-1.3 of Chapter 4 of the comprehensive plan states that "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur.

Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.” As noted below, staff’s concern about the project’s southeast facing façade remains as the adjacent property has only one-story structures with a single material blank wall. The transition between buildings is a key design element and has the potential to impact the perceived cohesiveness of the downtown and can impact the way residents and visitors experience a place.

Finally, the subject property is three Ketchum Townsite lots that are already consolidated. The siting of two residential dwelling units on the subject property is an underutilization of a key piece of property in Ketchum’s downtown and has the potential to impact downtown vibrancy in this area as the subject property is located on a block that is currently redeveloping with many active spaces and uses. As noted below, the building is somewhat closed off to the public at the ground floor on the corner which is out of context with the rest of the intersection. There are design opportunities that can be considered to encourage better interface between the building and the public realm and provide additional activation on a key corner.

Overall, staff believe that improvements can be made to the development to better align with the design objectives of the comprehensive plan and that the current proposal lacks key features to meet the stated criteria.

Criteria 2: Applicable Standards and Criteria

Zoning and Dimensional Standards

As outlined in Attachment D, the application is in conformance with the zoning and dimensional standards of the Ketchum Municipal Code.

Design Review Standards

In general, the proposed project meets many of the design review standards as outlined in the two subsections (Attachment E). However, staff has concerns related to a few of the standards, as outlined below.

Bulk and Flatness of the Building - As the subject property is three Ketchum Townsite lots, and the building is maximizing the allowable north/south footprint, the resulting building is 165 feet long on the N 1st Ave side. KMC Criteria 17.96.050.F.5 states “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness”. During the review of the preapplication design review, the Commission echoed staff’s concerns related to the flatness of the building due to the amount of glazing, the length of the building, and the repetitive nature of the architectural design on the 2nd and 3rd floor levels. The Commission also agreed with staff that the length of the building warranted a closer look at how the building could be broken up in a way that better mirrors the Ketchum townsite rhythm of the surrounding blocks. See Figure 2 below for an image of the initial proposal at PreApplication Design Review.



Figure 2: Initial Proposal at PreApplication Design Review

As outlined in the design review application, adjustments have been made to the third-floor roofline and 3rd floor windows to address comments. See sheet A0.18 of Attachment B for a comparison of the initial application and the current proposal.



Figure 3: Current Proposal

Although staff appreciate some of the changes made to the third-floor roof and glazing, staff believe the project does not adequately address the concern of bulk and flatness of the structure as a whole. More specifically, the changes to the roofline address the flatness of the project at the NE corner (1st and SV Rd) but it does not address the concerns of the front façade along N 1st Ave. The reduction of the building height at the corner also accentuates the size of the chimney on the northern end of the building. Staff still believe the project accentuates the length of the building through the mirrored horizontal features on each side of the central elevator corridor and believes the amount of fenestration overall contributes to the perceived size of the structure.

Finally, the Commission agreed with Commissioner Moczygamba's comments about the north façade and that its design seemed a bit unsettling and ungrounded. Staff agree that although the reduction in the building height at this corner is an improvement, the floating pop-out feature above the windows on the 2nd floor contributes to the building's bulk and the elevation still feels ungrounded. See figures 4 and 5 below.



Figure 4: Initial Proposal



Figure 5: Current Proposal

Staff raised these concerns to the applicant during department review and the applicant declined to make any further revisions to the development.

Materials Palette - KMC standard 17.96.060.E.1 states “The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures”. The Commission provided feedback during the preapplication design review meeting that the color palette appeared to be bland and they recommended reducing the use of the metal paneling on the building. The applicant has adjusted the color palette to be of a warmer tone rather than the previous cold palette, which staff believe to be a positive change. However, staff still believe there to be an abundant use of the zinc shingle. The applicant notes a reduction of use of the zinc shingle from 35% to 22%, primarily on the alley façade and south façade.

Staff does not believe that a reduction in the amount of zinc shingles on the south façade is effective. The reduction is primarily below the exposure line of the adjacent buildings and is not visible. See figures 6 and 7 below.

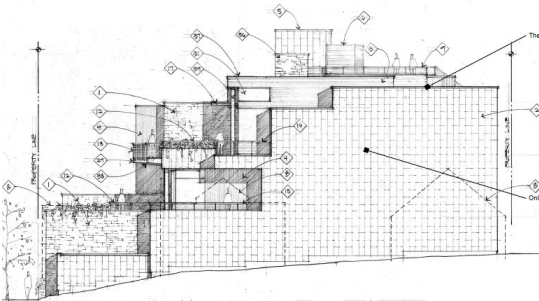


Figure 6: Initial Proposal, south facade



Figure 7: Current Proposal, south facade

Staff still believe there to be significant use of the zinc shingle on the front facing elements of the 2nd and third floor decks and elevator shaft. Commissioner Cordovano commented, during the pre-application review, with concern about how the building would look in the winter months when the 2nd and 3rd floor decks would not be covered in greenery. Staff do not believe these concerns have been addressed.

Activation of Ground Floor - Per KMC 17.96.060.B.2 and 3, “2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.” and “3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.” These two standards serve to demonstrate the importance of creating an active and interesting pedestrian environment. Staff and the Commission expressed concerns that the ground floor façade of the building along Sun Valley Rd and the portion of N 1st Ave closest to Sun Valley Rd do not meet the intent of this standard as the architectural design of the project does not engage with pedestrians and serves more to privatize the space for residents and guests than create an environment that is active and interesting for pedestrians. The applicant made minor revisions to the north façade by extending the fenestration further east on the façade, however, staff still believe this façade to be predominantly blank.

The proposed façade does not include any significant fenestration, only small windows at the top of the ground floor which do not resemble storefront like windows. Sun Valley Rd is one of our more heavily traveled corridors by pedestrians. This intersection is the location of three new projects that intensely serve to engage pedestrians with Maude’s retail and coffee shop on one corner, a new office building on another that has well-articulated store front facades on both street frontages.

The applicant revised the landscape plan following Commission feedback and lowered the wall height and changed out the tree and shrub species. While these are helpful revisions, staff still recommended the applicant evaluate the introduction of public space into the development. Vibrant downtowns, and Ketchum specifically, thrive on having a cohesive interface between the public and private realms. The applicant declined to make further revisions based on staff recommendations.

Staff Recommendation

Staff recommends the Commission review the application and provide feedback on the comments outlined by staff.

Attachments:

- A. Application and Supporting Documents
- B. Design Review Plan Set
- C. Story Pole and Staking Information
- D. Dimensional Standards Review
- E. Design Review Criteria Review
- F. Public Comment



City of Ketchum

ATTACHMENT A:

Application and Supporting Documents



City of Ketchum
Planning & Building

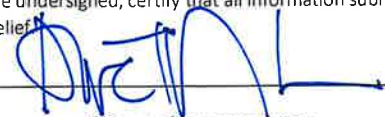
Design Review Application

OFFICIAL USE ONLY	
File Number:	
Date Received:	
By:	
Pre-Application Fee Paid:	
Design Review Fee Paid:	
By:	

Please submit your completed application electronically to: planningandzoning@ketchumidaho.org

APPLICANT INFORMATION			
Project Name: Sawtooth Serenade		Phone: 425-828-0333	
Owner: Scott and Julie Lynch & Yahn Bernier and Elizabeth McCaw		Mailing Address: Lynch - 409 5th Ave W, Kirkland, WA 98033	
Email: scott@lynchclan.com and yahnbernier@valvesoftware.com		Bernier - 321 82nd Ave NE, Medina, WA 98039	
Architect/Representative: Thielsen Architects - Dave Thielsen		Phone: 425-828-0333	
Email: davet@thielsen.com		Mailing Address:	
Architect License Number: AR-986776		720 Market Street, Suite C, Kirkland, WA 98033	
Engineer of Record: Galena-Benchmark Engineering - Jeff Loomis		Phone: 208-788-1705	
Email: jeff@galena-benchmark.com		Mailing Address:	
Engineer License Number: 7986		317 North River St, Hailey, ID 83333	
Primary Contact Name and Phone Number: Thielsen Architects - Robert Connor - 425-828-0333 robertc@thielsen.com			
PROJECT INFORMATION			
Legal Land Description: Ketchum Townsite Block 38, Lot 5A		Street Address: 260 1st Avenue	
Lot Area (Square Feet): 16,507	Zoning District: CC - Subdistrict 2	RPK #: RPK0000038005A	
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None
Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Residential	Number of Residential Units: 2		
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	7,516 Sq. Ft.	Sq. Ft.	
1 st Floor	5,709 Sq. Ft.	Sq. Ft.	
2 nd Floor	9,951 Sq. Ft.	Sq. Ft.	
3 rd Floor	8,246 Sq. Ft.	Sq. Ft.	
Mezzanine	Sq. Ft.	Sq. Ft.	
Total	23,906 -- 31,422 with basement Sq. Ft.	Sq. Ft.	
FLOOR AREA RATIO			
Community Core: 1.45	Tourist:	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 80.0%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 11.06' average	Side: 6.00' average	Side: 0'-6"	Rear: 3'-0"
Building Height: 41.95' on 1st Avenue side and 41.97' on alley side			
OFF STREET PARKING			
Parking Spaces Provided: 5	Curb Cut: Alley access Sq. Ft.	%	
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

08.02.2023
Date

August 7, 2023

Design Review Committee
City of Ketchum
480 East Avenue North
Ketchum, ID 83340.

RE: Sawtooth Serenade, 260 1st Avenue, Ketchum ID

Dear Design Review Committee Members,

On behalf of our clients, Scott and Julie Lynch, and Yahn Bernier and Beth McCaw, I am pleased to present their proposed new residences for Design Review. My clients have been active members of the Ketchum community since 1989. They are excited to move forward with their proposed new homes as they prepare for the next phase of their lives. The project as presented meets all Zoning requirements, including uses as allowed under the ordinance in effect at the time of application.

We have worked with Scott, Julie, Yahn and Beth to address the design comments and recommendations which you, the Planning and Zoning Commission members, made during our January 24, 2023 Pre-Application Design Review meeting. To assist in your review, I will briefly summarize those responses and modifications.

GROUND FLOOR ACTIVATION

- As we discussed at our January 24th meeting with you, we eliminated the stone masonry west wall of the Commons and replaced it with a floor to ceiling glass storefront assembly. That modification is reflected on the Lower Floor Plan - sheet A2, and the West Elevation - sheet A7.
- Also discussed at the January meeting, the planter/seat wall at the perimeter of the Commons Courtyard has been lowered. The top of the public stone bench at the Sun Valley Road bus stop was lowered to 15" and incorporated into the planter/seat wall form. The top of the approximately 15" wide stone planter cap is set flush with the top of public bench, resulting in a lowered planter/seat wall. The top of the planter/seat wall will be 22" above the sidewalk at the corner of Sun Valley Road and 1st Avenue and 27" above the sidewalk at the entry to Sawtooth Serenade. This wide, lower planter top is intended to provide public seating along its length. The revised and lowered planter/seat wall is indicated on the Lower Floor plan – sheet A2, South & West Elevations - sheet A7, and Building Sections A & B - sheet A9.
- The plantings in the planter at the perimeter of the Commons Courtyard have been changed to very low growing ground cover, Kinnickinnick and Creeping Oregon Grape. The bottom of the canopy of the Flowering Crab tree species selected will be higher than pedestrian eye level. These modifications, in conjunction with the lowered planter/seat wall, will result in an unobstructed view into the Commons Courtyard. The planting is noted on sheet L3.0.

BULK AND FLATNESS OF 1ST AVENUE ELEVATION

The Commission comments were limited to the 1st Avenue façade of the upper floor. Thus, the lower and middle floor facades were not modified. On the upper floor, the following modifications were made.

- The roof of the Main Bedroom wing on both the Lynches' and the Berniers' homes has been lowered 2'-0", providing a step and break in the roof lines from the Great Room living areas higher roof. That change is documented on the Roof Deck Plan - sheet A6, the exterior elevations - sheets A7 & A8, and Section A - sheet A9.
- The Berniers' Main Bedroom south wall has been moved 2'-0" to the south, creating a change in plane from the Great Room south wall. A 3'-6" louvered sunscreen, which wraps around the east façade, has been added to this building element to further differentiate and break the façade. This change is indicated on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Roof Deck Plan - sheet A6, South Elevation - sheet A7, and East Elevation - sheet A8.
- The Lynches' Main Bedroom south wall has been moved north 5'-0", creating a break/change in plane from the Great Room south wall. The louvered sunscreen initially proposed over the bedroom door assembly has been eliminated to set this building element apart from the Great Room façade. This modification is indicated on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Roof Deck Plan - sheet A6, and South Elevation & West Elevations - sheet A7.
- The south guardrail and deck of the roof top Fire Ring Deck located on either side of the stair has been moved north 2'-0" creating a change in plane from the Great Room roof overhang and the deck and guardrail over the stair. The louvered sunscreen on the east side of the stair at this modified deck area has been eliminated to accentuate differences in the façade. These modifications are indicated on the Roof Deck Plan - sheet A6, Section D - sheet A10, and the South Elevation - sheet A7.
- The south wall of the Bernier Great Room Sitting Area has been moved 4'-0" to the north, creating a deep alcove in and a change in plane from the Great Room south wall. This change is indicated on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Section D - sheet A10, and the South Elevation - sheet A7.
- The door at the south wall of the Berniers' Great Room Sitting Area was removed and the window pattern reconfigured to set it apart from the Lynches' Bar window and door configuration. This change can be viewed on the Upper Floor Plan - sheet A4 and the South Elevation - Sheet A7.
- At both the Lynch and Bernier Great Rooms, the glazing area of the upper floor has been reduced by approximately 8'-6" lineal feet on the south façade of each residence by eliminating a glass door panel and replacing it with solid wall and siding. These changes are shown on the Upper Floor Plan - sheet A4, and South & West Elevations - sheet A7.

BULK AND FLATNESS OF THE INTERIOR, ZERO SETBACK, LOT LINE ELEVATION

- As we discussed at our January 24th meeting with you, we moved the east wall of the Berniers' Main Bath clerestory 5'-0" off the zero-lot line property line, providing an additional step in that wall plane and reducing the wall mass on that façade. Within that revised wall plane, three (3) clerestory windows were added to increase the visual interest of that façade. Wood siding has been added to this volume, replacing the previously proposed metal siding. This change is documented on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Roof Deck Plan - Sheet A6, South Elevation - sheet A7, East & North Elevation - sheet A8, and Section F - sheet A11.
- The east wing wall and corresponding roof overhang was eliminated from the Berniers' Deck Storage Room and replaced with an open cable railing. This change reduces the amount of solid wall with metal siding on the zero-setback façade. That portion of the wall plane now steps back 5'-0" to the Berniers' Main Bedroom wall and is clad in wood siding, adding more material differentiation and interest in this

wall plane. This modification is indicated on the Upper Floor Plan – sheet A4, Roof Deck Plan – sheet A6, and East Elevation – sheet A8.

- The previously proposed metal siding on the lower portion of the zero-setback east wall has been eliminated and an architectural grade concrete wall with integral color is proposed. Because the Hardcore Training Center building at 200 1st Avenue is built 19” off the joint interior property line, limiting access, a slip-form with integral color concrete would be used to construct this wall. The north, alley end of this wall has been moved south 18” to allow for the colored concrete base and upper metal siding to terminate into the wood siding of the Berniers’ Main Bathroom form at an inside corner. On the south façade, the integral-colored architectural concrete would wrap around the south corner and die into the east stone veneer wall of the Commons Court at an inside corner. This would create a backdrop for the metal siding clad Commons Court exit stair element. The top of the integral-colored architectural concrete would align with the middle level stone veneered planter. This change can be seen on the South Elevation – sheet A7 and the North & East Elevations – sheet A8.
- The combined proposed changes and modifications to the east façade enumerated in this section will reduce the metal siding proposed for the Elevation by approximately 49% from the Pre-Application Design Review submittal. The result of these material and plane changes can best be viewed on the artist renderings: View From the Corner of 1st Avenue and 2nd Street – sheet A0.2, and Winter View From 2nd Street – sheet A0.3.

ALLEY ELEVATION

- The single recessed alcove housing the mechanical system condensers proposed for the Pre-Application Design Review has been split into two separate alcoves, one located to the east of the exit stair element and one to the west of the exit stair element. The cumulative size of these two alcoves is larger than the initially proposed single alcove, increasing the amount of recessed area on this façade, and more evenly distributing the modulation of the wall plane at ground level. This change is shown on the Lower Floor Plan – sheet A2, North Elevation – sheet A8, Section B – sheet A9 and Section E – sheet A11.
- As noted above in the 3rd bullet point of the “BULK AND FLATNESS OF THE INTERIOR, ZERO SETBACK, LOT LINE ELEVATION,” the east wall of the building was moved south 18”. In conjunction with that move, the north tub wall of the Berniers’ Main Bath was shifted 6” to the south. The metal siding that was on that element is now proposed as vertical wood siding, to match the wood siding on the Lynches’ Office and Main Bedroom Suite at west end of the alley, bookending this façade with wood siding. That change is documented on all of the plan view drawings – sheets A2, A3, A4, A5, & A6, and the North Elevation – sheet A8.

EXTERIOR MATERIALS

- The grey-tone stain initially proposed on the wood siding for the Pre-Application Design Review has been changed to a warm, brown-tone stain.
- The percentage of brown and buff colored stones has been increased and the percentage of grey toned stones decreased in the natural stone veneer walls to blend and complement the warm brown-tone wood siding stain.
- The integral-colored architectural grade concrete wall now proposed at the base of the zero-lot line east wall will be a light brown color to complement and integrate with the masonry stone veneer.
- The changes in the stone veneer and the wood siding stain create an overall warmer palette for Sawtooth Serenade. These changes can be seen on Exterior Materials – sheet A12, and the artist renderings – sheets A0.1, A0.2 and A0.3.

CONCLUSION

As designed, Sawtooth Serenade meets all Zoning requirements, including uses allowed under the ordinance in effect at the time this project was vested. Scott, Julie, Yahn and Beth are sensitive to the aesthetic considerations that you, as the Planning and Zoning Commission, are considering in the Design Review. Based on projects previously approved by the Commission in recent years, the materials selected, and forms developed will complement and integrate well within the fabric of development along 1st Avenue. Thus, on behalf of Beth, Yahn, Julie and Scott I want to thank you in advance for your thoughtful consideration of their new homes. They are excited to further strengthen their long-standing community ties and begin building their new homes in a town they love.

Respectfully,



David G. Thielsen, AIA

CC Scott and Julie Lynch
Yahn Bernier and Beth McCaw
Jim Laski
Morgan Landers

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

August 2, 2023

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: Sawtooth Serenade

To whom it may concern,

Please allow this letter to serve that Robert Connor, RA of Thielsen Architects Inc. P.S. has engaged in conversations with me regarding the above mentioned site. The conversations have been to the following:

This site will provide enough space for a dumpster for garbage & carts for recycling. There is enough space and access to service this dumpster adequately, utilizing a "Garbage Glider" as indicated on the enclosed plan. This scenario will only work with a mechanized mode of transporting the dumpsters to the street for servicing. (Snow, Ice, Weight) The Dumpster will be transported to the alley for servicing as per the enclosed plan.

This site when finished as per the plans will satisfy any and all concerns for the safe and efficient removal of garbage. I would like to mention that this is an example of high-quality planning that will benefit the owner(s) of this site and the city. If I may be of further assistance during this process or in the future, please call.

Sincerely,



Mike Goitiandia
Clear Creek Disposal

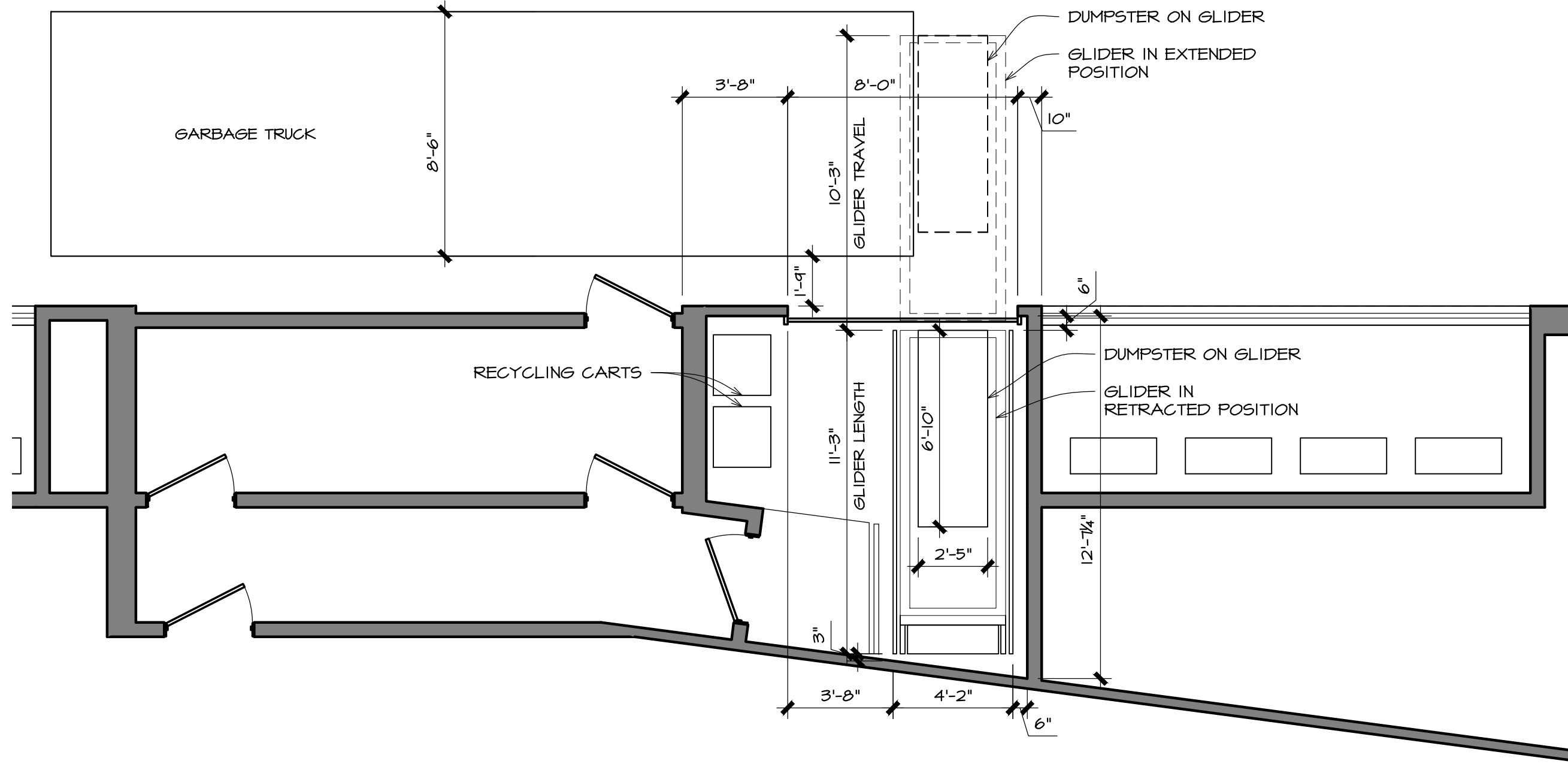
Enclosures

CC. Robert Connor, RA

.Sawtooth Serenade 1



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TRASH ROOM PLAN

1/4" = 1'-0"

Issue Date: 07/18/23
Drawn: RBC
Revised: 07/26/23

Thielisen

A R C H I T E C T S
Kirkland, WA 98033 Tel 425.828.0333 Fax 425.828.9376

Project:

SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:

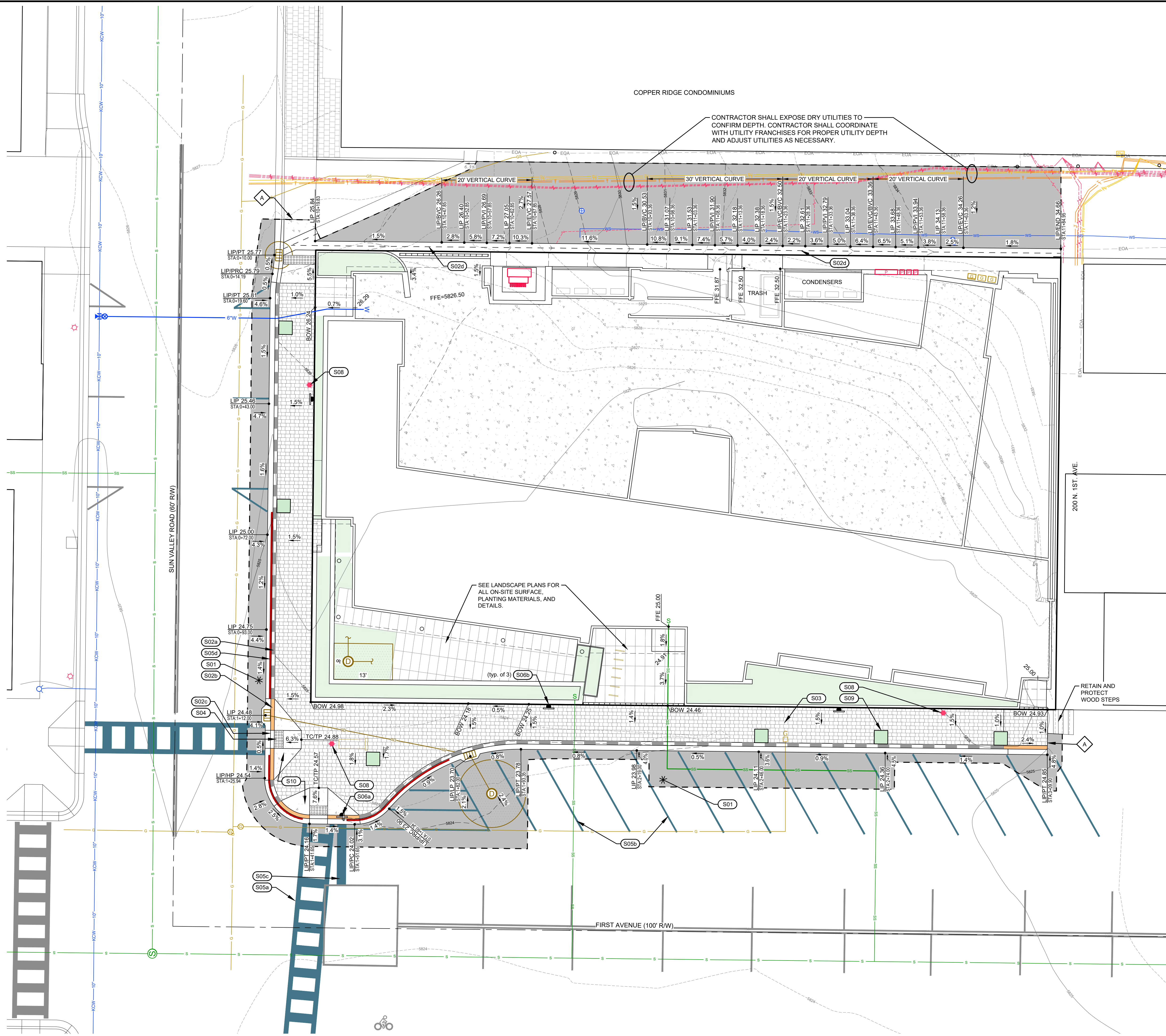
PARTIAL LOWER
LEVEL PLAN
PLAN

Sheet:

A3.1

Project No.
2002

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena-Benchmark Engineering.



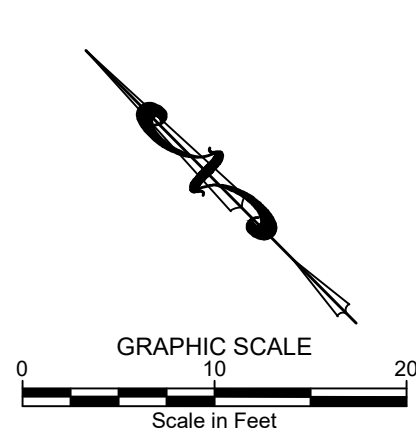
- ### SITE IMPROVEMENT KEY NOTES
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C2.00.
 - S02** CONSTRUCT CONCRETE CURB AND GUTTER.
 - a. 6" ROLLED C&G PER DETAIL 2a / C2.00.
 - b. CURB TRANSITION (6" ROLLED TO ZERO REVEAL) PER DETAIL 3 / C2.00.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C2.00.
 - d. 24" WIDE VALLEY GUTTER. PER DETAIL 4 / C2.00.
 - S03** CONSTRUCT PAVER SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C2.00.
 - S04** CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACHES WITH CITY APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLAT. REFER TO DETAIL 6 / C2.00 FOR CONCRETE AND DETAIL 7 / C2.00 FOR TRUNCATED DOMES.
 - S05** INSTALL ROAD STRIPING / PAINT.
 - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - S06** SIGNS:
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH THE CITY. REFER TO DETAIL 8 / C2.00 FOR SIGN BASE CONFIGURATION.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH THE CITY. REFER DETAIL 9 / C2.00 FOR SIGN BASE CONFIGURATION.
 - S07** RESET UTILITY BOX LID ELEVATION.
 - a. POWER HANDHOLE ORIGINAL RIM = 58 NEW RIM = 58
 - S08** INSTALL STREET LIGHT. LOCATIONS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION ONLY. ARCHITECT SHALL SUBMIT AN ILLUMINATION ANALYSIS FROM MH COMPANIES TO VERIFY STREET LIGHT PLACEMENTS. REFER TO THE CITY OF KETCHUM STANDARD STREET LIGHT DETAIL.
 - S09** INSTALL KETCHUM STANDARD TREE WELL. REFER TO DETAIL 9 / C2.00.
 - S10** CONSTRUCT CONCRETE SIDEWALK. REFER TO DETAIL 6 / C2.00.

MATCH EXISTING LINES AND GRADES

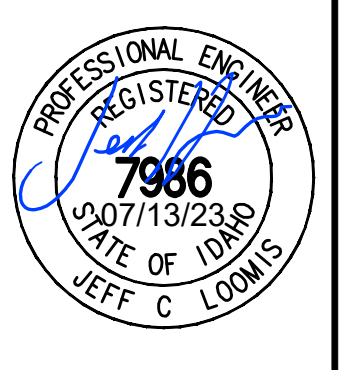
LEGEND

LIP 30.71	Spot Elevation
2.2%	Proposed Grade
3.3%	Existing Grade

- #### ABBREVIATIONS
- BOW = BACK OF WALK
 - EG = EXISTING GRADE
 - FF = FINISHED FLOOR
 - FFE = FINISHED FLOOR AT ENTRY
 - FG = FINISHED GRADE
 - LF = LINEAL FEET
 - LIP = LIP OF GUTTER
 - HP = HIGH POINT
 - PC = POINT OF CURVATURE
 - PCC = POINT OF COMPOUND CURVE
 - POC = POINT ON CURVE
 - PT = POINT OF TANGENT
 - TA = TOP OF ASPHALT
 - TBC = TOP BACK OF CURB
 - TC = TOP OF CONCRETE
 - TP = TOP OF PAVERS
 - TG = TOP OF GRATE



SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE GRADING PLAN
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR THEISEN ARCHITECTS



DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: JCL
 SURVEY DATE:

GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 133
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

NO.	DATE	BY	REVISIONS

PURPOSE: DESIGN REVIEW

C2.30

PROJECT INFORMATION
 (G:\BMR\Ketchum\Wages\book_381.cad: 5-763750-03 Serenade\dwg\Construction\83750-03-ENG 2025-07-10.dwg 07/10/25 12:23:21 PM)

September 28, 2022



ROBERT CONNOR
720 MARKET ST C
KIRKLAND, WA 98033

To whom it may concern,

Thank you for your inquiry about electrical service at 260 N 1ST AVE
KETCHUM, ID 83340

The property is located within Idaho Power's service area in the state of Idaho

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

The attached architectural plan dated 9/21/22 from Thielsen Architects has been reviewed by Idaho Power and does meet space and clearance requirements for this three phase padmount transformer to be installed on property if required. The hinged non-combustible screening panels are allowed providing the transformer front is not limited by and gate posts. Transformer doors must opening fully.

Sincerely,

Cyndi Bradshaw

Cyndi Bradshaw
PO Box 3909
Hailey ID 83333



City of Ketchum

ATTACHMENT B:

Design Review Plan Set

SAWTOOTH SERENADE

PROJECT DATA

<p>OWNERS: Scott and Julie Lynch 409 5th Avenue West Kirkland, WA 98033</p> <p>PROJECT ADDRESS: 260 N 1st Ave KETCHUM, ID 83340</p> <p>APPLICABLE CODES: 2020 Idaho Residential Code (2018 I.R.C. Amended) 2018 International Building Code (I.B.C.) 2018 International Mechanical Code (I.M.C.) 2018 International Fire Code (I.F.C.) 2018 Uniform Plumbing Code (U.P.C.) 2017 National Electrical Code (N.E.C.) 2020 Idaho Energy Conservation Code (2018 I.E.C.C. Amended)</p> <p>OCCUPANCY: R-3 (One and Two Family Residences)</p> <p>CONSTRUCTION TYPE: VB</p> <p>LEED RATING: Silver projected</p> <p>SPRINKLERED: YES per NFPA 13 and City of Ketchum Ordinance #1125</p>	<p>OWNERS: Yahn Bernier and Elizabeth McCaw 321 82nd Avenue Northeast Medina, WA 98039</p> <p>TAX NUMBER: RPK0000038005A</p> <p>LEGAL DESCRIPTION: Ketchum Townsite Block 38, Lot 5A</p> <p>ZONING: CC-SD2, Lot Area = 16507 sf</p> <p>REQUIRED PARKING: 4 spaces - 2 spaces required per residential unit of 2,001 sf or greater. Building contains 2 residential units of 2,001 sf or greater.</p> <p>PARKING PROVIDED: 5 full sized vehicle spaces per KZC 17125.030. Because the required parking spaces are located within the building the spaces are dimensioned on the lower level plan. Please see sheet A2.</p> <p>REQUIRED STANDARD SETBACKS: Front and Street Side Setback: 5' Average Alley Setback: 3' Interior Side Setback: 0' See sheets A12, A13, A14, and A15 for actual setbacks</p> <p>NET FLOOR AREA SUMMARY:</p> <table border="0"> <tr><td>Lower Level:</td><td>3,824 sf</td></tr> <tr><td>Middle Level:</td><td>9,466 sf</td></tr> <tr><td>Upper Level:</td><td>7,714 sf</td></tr> <tr><td>Total:</td><td>21,004 sf</td></tr> </table> <p>Lynch Residence Net Floor Area: 8,375 sf Bernier Residence Net Floor Area: 8,806 sf</p>	Lower Level:	3,824 sf	Middle Level:	9,466 sf	Upper Level:	7,714 sf	Total:	21,004 sf	<p>ALLOWABLE GROSS FLOOR AREA: Lower level G.F.A. above basement invisible plane including stair tower and elevator = 953 sf Parking area = 5,148 sf less underground parking area of 392 sf Parking area G.F.A. = 4,756 sf Middle level = 10,421 sf less stair tower and elevator of 470 sf Middle level G.F.A. = 9,951 sf Upper level = 8,716 sf less stair tower and elevator of 470 sf Upper level G.F.A. = 8,246 sf</p> <p>Lower Level G.F.A. 953 sf Parking Area G.F.A. 4,756 sf Middle Level G.F.A. 9,951 sf Upper Level G.F.A. 8,246 sf Total G.F.A. 23,906 sf</p> <p>Maximum Allowable Floor Area Ratio 2.25 with Inclusionary Housing Incentive Allowable G.F.A.: 16507 x 2.25 = 37140.75 sf Actual G.F.A.: 23,906 sf (23,906 sf < 37140.75 sf) Proposed G.F.A. = 1.45</p> <p>REQUIRED FLOOR AREA RATIO INCREASE: Lot Area: 16507 sf Standard Allowable Floor Area Ratio 1.0 Allowable G.F.A.: 16507 x 1.0 = 16507 sf Actual G.F.A. exceeds standard allowable G.F.A. by 7,399 sf Required Community Housing = 7,399 sf x .20 x .85 = 1,258 sf Current Fee in Lieu Required = 1,258 sf exceedance x \$450/sf = \$566,100.00</p>	<p>FINISH FLOOR ELEVATIONS:</p> <table border="0"> <tr><td>Lower Level</td><td>5825'-0"</td></tr> <tr><td>Middle Level</td><td>5842'-6"</td></tr> <tr><td>Upper Level</td><td>5855'-7½"</td></tr> </table> <p>AVERAGE EXISTING GRADE: Average Grade at Front (1st Ave) Elevation at West Corner: 5824.50' Elevation at East Corner: 5825.00' Average Grade at Front: 5824.75'</p> <p>Average Grade at Rear (Alley) Elevation at West Corner: 5825.90' Elevation at East Corner: 5834.80' Average Grade at Rear: 5830.35'</p> <p>BUILDING HEIGHT LIMIT: Average Grade 1st Avenue: 5824.75' Allowable Maximum Height 1st Ave.: 5866.75' Actual Maximum Height of Structure: 5866.70' < Allowable Height Actual Height 5866.70' < Allowable Height</p> <p>Average Grade Alley: 5830.35' Allowable Maximum Height Alley: 5872.35' Actual Maximum Height of Structure: 5872.33' < Allowable Height Actual Height 5872.33' < Allowable Height</p>	Lower Level	5825'-0"	Middle Level	5842'-6"	Upper Level	5855'-7½"
Lower Level:	3,824 sf																
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Upper Level:	7,714 sf																
Total:	21,004 sf																
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PROJECT TEAM

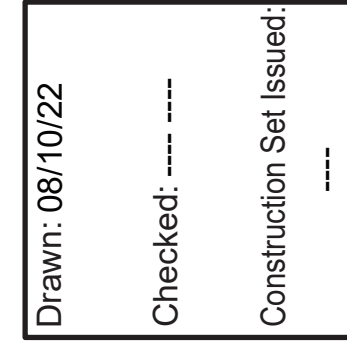
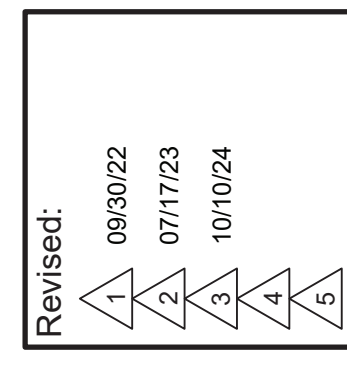
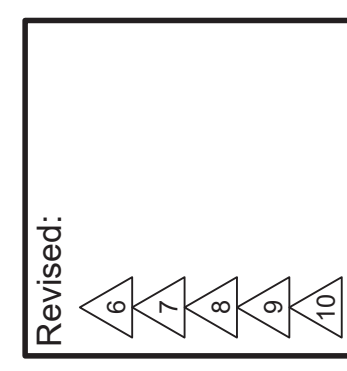
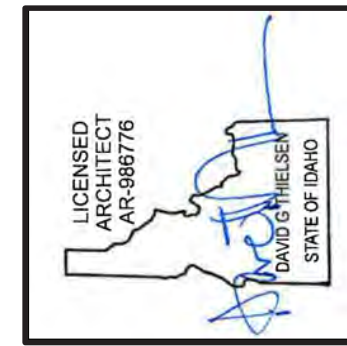
<p>OWNERS: Scott and Julie Lynch 409 5th Avenue West Kirkland, WA 98033</p> <p>OWNERS: Yahn Bernier and Elizabeth McCaw 321 82nd Avenue Northeast Medina, WA 98039</p>	<p>ARCHITECT: Thielsen Architects, Inc. P.S. 720 Market Street, Suite C Kirkland, WA 98033 (425) 828-0333 fax (425) 828-9376 Contact: Robert Connor</p> <p>STRUCTURAL ENGINEER: SSF Engineers 934 Broadway Ave Tacoma, WA 98402 (253) 284-9470 Contact: Ryan Reichman</p>	<p>LANDSCAPE ARCHITECT: Eggers Associates P.O. Box 953 Ketchum, ID 83340 (208) 725-0988 Contact: Kurt Eggers</p> <p>LIGHTING DESIGNER: Kevin Flower, LC 20650 N. 29th Placet, Suite 106 Phoenix, AZ 85050 (602) 341-3667 Contact: Kevin Flower</p>	<p>CIVIL ENGINEER: Galena-Benchmark Engineering 100 Bell Drive, Suite C Ketchum, ID 83340 (208) 726-9512 Contact: Jeff Loomis</p> <p>GEOTECHNICAL ENGINEER: Steve Butler & Associates 208 Spruce Avenue North Ketchum, ID 83340 (208) 720-6432 Contact: Steve Butler</p>	<p>LAND SURVEYOR: Galena-Benchmark Engineering 100 Bell Drive, Suite C Ketchum, ID 83340 (208) 726-9512 Contact: Mark Phillips</p> <p>STREET LIGHTING DESIGNER: The MH Companies 2995 North Cole Road, Suite 115 Boise, ID 83704 (608) 609-3722 Contact: Mike Decker</p>	<p>LANDUSE ATTORNEY: Lawson Laski Clark, PLLC 675 Sun Valley Road, Suite A Ketchum, ID 83340 (208) 725-0055 Contact: Jim Laski</p>
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FAR 1.45

DRAWING INDEX

A0.0	Cover Sheet
A0.1	Context Analysis
A0.2	Context Analysis
A0.3	Context Analysis
A0.4	Site Analysis
A0.5	Site Analysis
A0.6	Context Comparisons
A0.7	Context Comparisons
A0.8	Massing Scheme
A0.9	Massing Scheme
A0.10	Massing Scheme
A0.11	Exterior Renderings
A0.12	Exterior Renderings
A0.13	Exterior Renderings
A0.14	Exterior Renderings
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A0.16	Exterior Renderings
A0.17	Exterior Materials
A0.18	Comment Responses
A0.19	Comment Responses
A0.20	Comment Responses
A0.21	Comment Responses
A0.22	Comment Responses
A0.23	Glazing Comparisons
A1	Site Plan
A2	Lower Floor Plan
A3	Middle Floor Plan
A4	Upper Floor Plan
A5	Clerestory Plan
A6	Roof Deck Plan
A7.1	Exterior Elevations
A7.2	Exterior Elevations
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A13	Middle Level Setback Plan
A14	Upper Level Setback Plan
A15	Roof Level Setback Plan
A16	Lower Floor Dimension Plan
A17	Construction Plan
EL1	Lower Level Lighting Plan
EL2	Middle Level Lighting Plan
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EL9	Electrical Specifications
EL10	Electrical Specifications
EL11	Electrical Specifications
EL12	Electrical Specifications
ES1	Street Lighting Photometric Plan
C0.10	Cover Sheet
C0.20	Existing Site Conditions
C0.30	Neighboring Buildings Plan
C0.90	Site Demolition Plan
C1.00	Site Plan
C2.00	Site Improvement Details
C2.10	Alley Lip of Gutter Plan
C2.20	Street Side Lip of Gutter Plan
C2.30	Site Grading Plan
C3.00	Site Drainage and Utility Details
C3.10	Site Drainage and Utility Plan
L3.0	Lower Level Landscape Plan
L3.1	Middle Level Landscape Plan
L3.2	Upper Level Landscape Plan
L3.3	Roof Level Landscape Plan



Thielsen
A R C H I T E C T S
Kirkland, WA 98033 | Tel: 425.828.0333 | Fax: 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
COVER SHEET

Sheet:
A0.0
Project No.
2002

CONTEXT ANALYSIS

The project site is located in the Commercial Core District of Downtown Ketchum, ID. The immediate context is populated by Retail, Commercial, & mixed-use buildings.

Recently approved commercial & mixed-use projects within a 1/4 mile of the proposed project site.

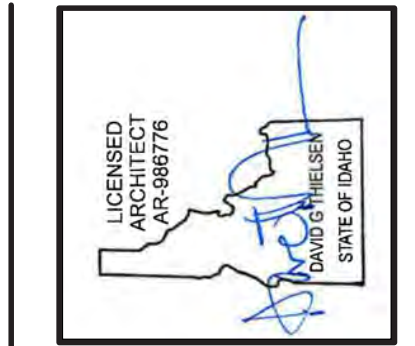


LEGEND

- RECENTLY APPROVED PROJECTS
- PROPOSED PROJECT

VICINITY MAP

N
↑
TRUE



Revised:

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Revised:

1	2	3	4	5
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Drawn: 10/10/24
Checked: _____
Construction Set Issued: _____

Thielsen
ARCHITECTS
Kirkland, WA 98033 | Tel: 425.828.0333 | Fax: 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
CONTEXT ANALYSIS

Sheet:
A0.1
Project No.
2002

CONTEXT ANALYSIS

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Recently approved commercial & mixed-use projects within a 1/4 mile of the proposed project site.

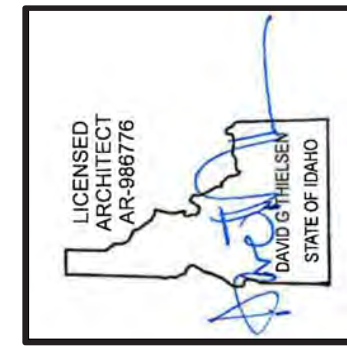


LEGEND

- RECENTLY APPROVED PROJECTS
- PROPOSED PROJECT

N
↑
TRUE

VICINITY MAP



Revised:

6	7	8	9	10
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Revised:

1	2	3	4	5
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Drawn: 10/10/24
Checked: _____
Construction Set Issued: _____

Thielson
ARCHITECTS
Kirkland, WA 98033 | Tel: 425.828.0333 | Fax: 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
CONTEXT ANALYSIS

Sheet:
A0.2
Project No.
2002

CONTEXT ANALYSIS

The project site is located in the Commercial Core District of Downtown Ketchum, ID. The immediate context is populated by Retail, Commercial, & mixed-use buildings.

Recently approved commercial & mixed-use projects within a 1/4 mile of the proposed project site.

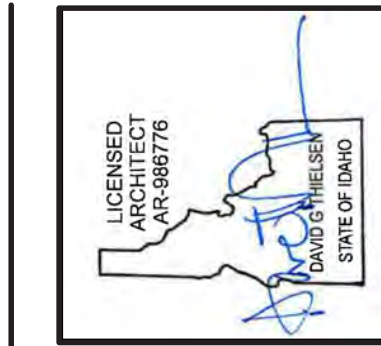


LEGEND

- RECENTLY APPROVED PROJECTS
- PROPOSED PROJECT

N
↑
TRUE

VICINITY MAP



Revised:

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Revised:

1	2	3	4	5
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Drawn: 10/10/24
Checked: _____
Construction Set Issued: _____

Thielsen
ARCHITECTS
Kirkland, WA 98033 | Tel: 425.828.0333 | Fax: 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

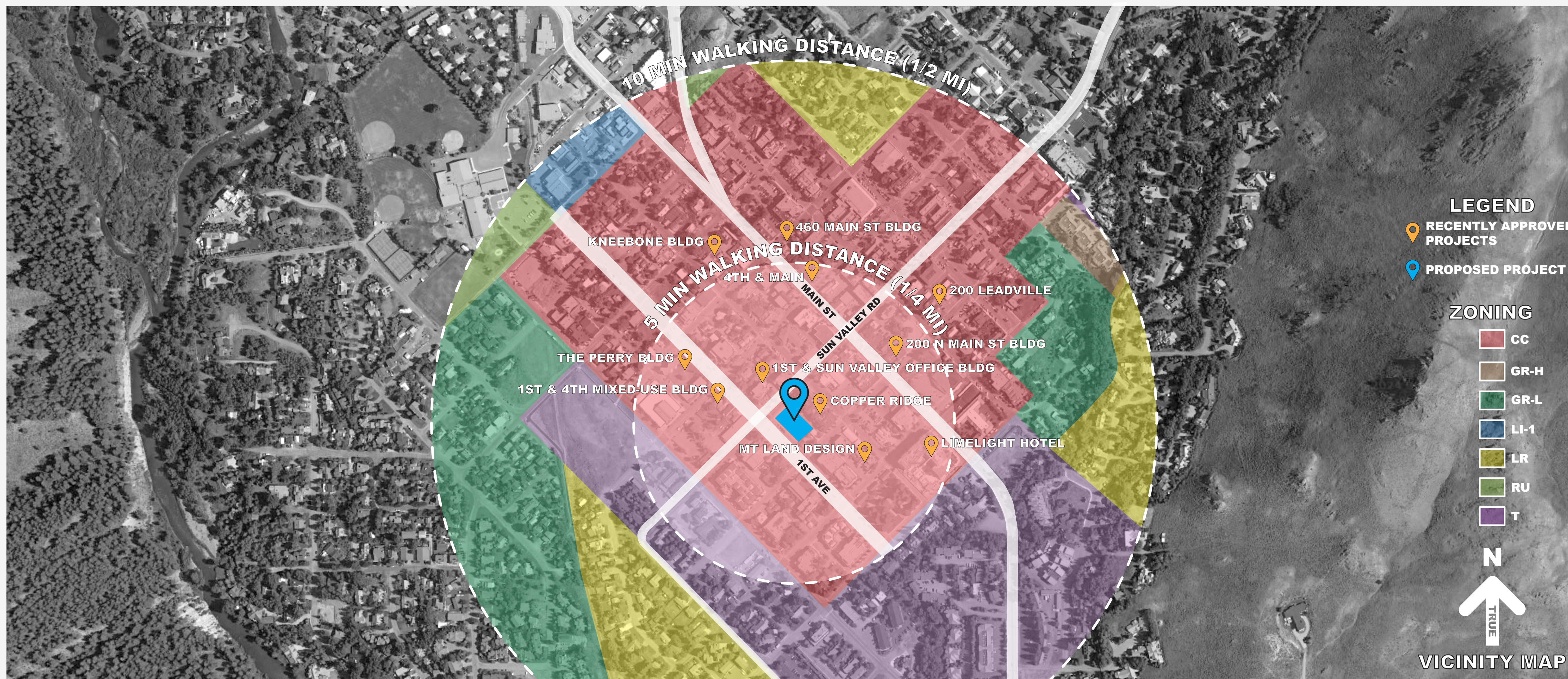
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Sheet:
A0.3
Project No.
2002

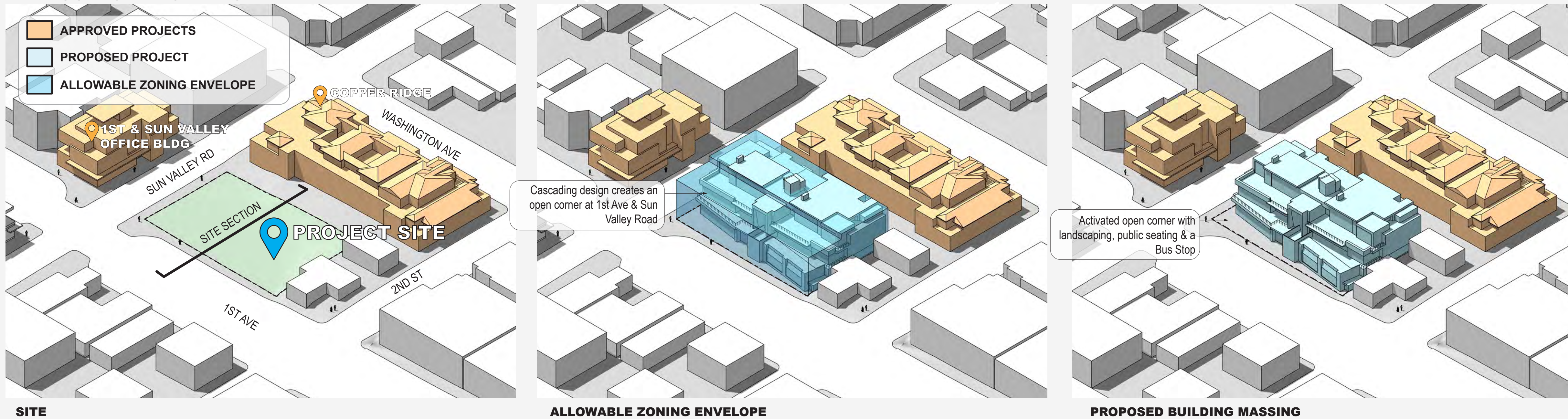
SITE ANALYSIS

The project site is located in the Community Core District of Downtown Ketchum, ID. The immediate context is populated by Retail, Commercial, & mixed-use buildings.

Copper Ridge, 1st & Sun Valley Office Bldg, 1st & 4th Mixed-Use Bldg & The Perry Bldg are all noteworthy projects that are within the immediate vicinity of the proposed project. Three of which are located on 1st Ave.



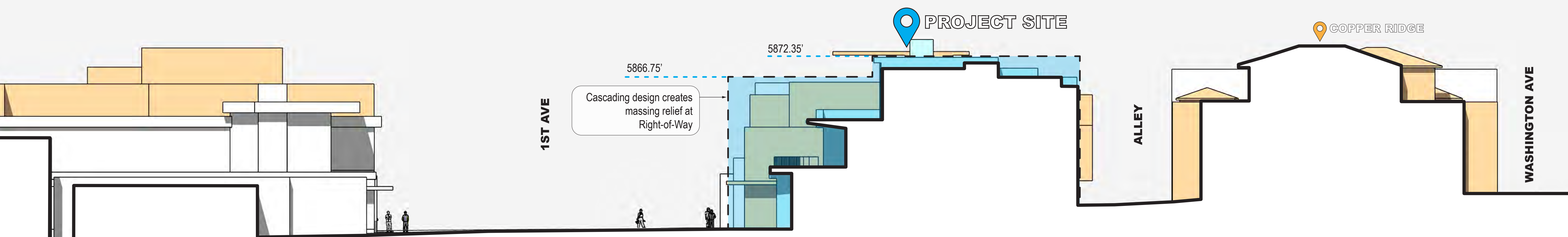
MASSING DIAGRAMS



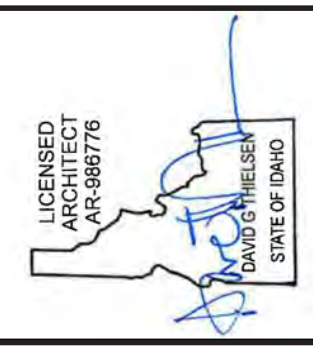
SITE

ALLOWABLE ZONING ENVELOPE

PROPOSED BUILDING MASSING



SITE SECTION



Revised: 1/10/24

Checked: 1/10/24

Construction Set Issued: 1/10/24

Thielson
 ARCHITECTS
 Kirkland, WA 98033 | Tel: 425.828.0333 | Fax: 425.828.9376

Project: **SAWTOOTH SERENADE**
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title: **SITE ANALYSIS**

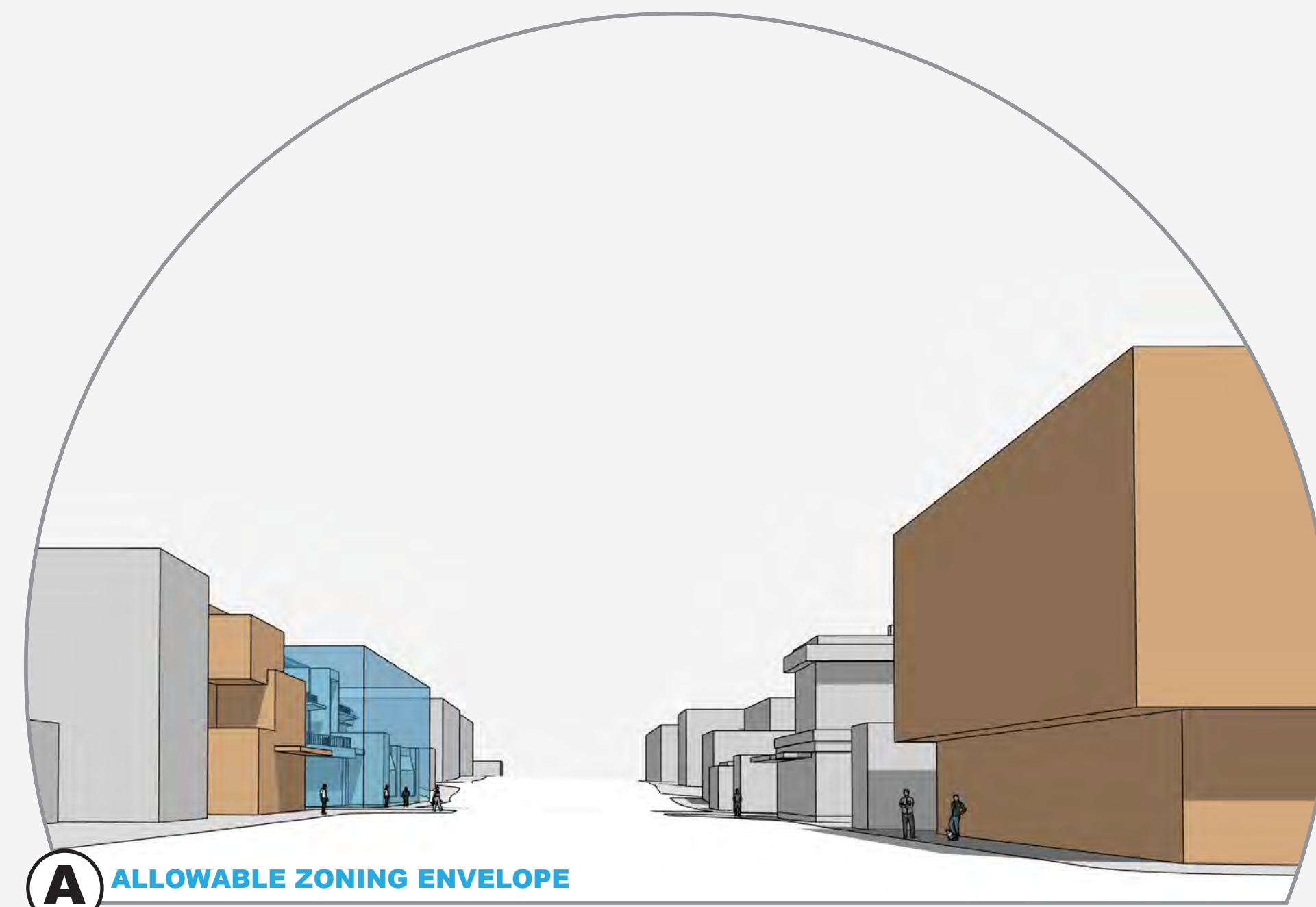
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 Project No. 2002

SITE ANALYSIS

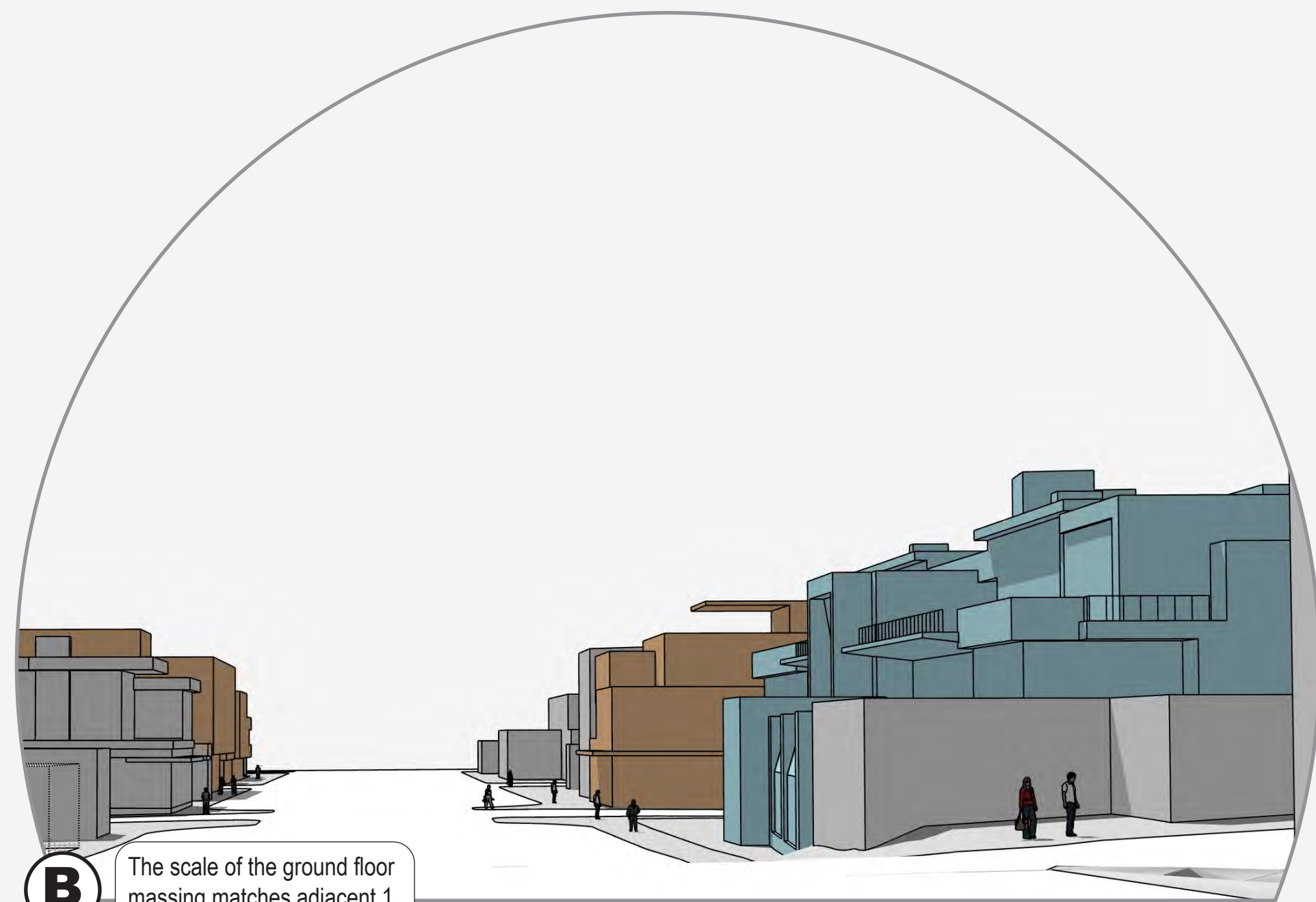
The project has been designed to fit within the scale and context of the existing street fabric. This has been accomplished by a single story structure at the ground level along 1st Ave. In addition, the project steps away from the primary 1st Ave property line to reduce the project's impact to the street fabric.



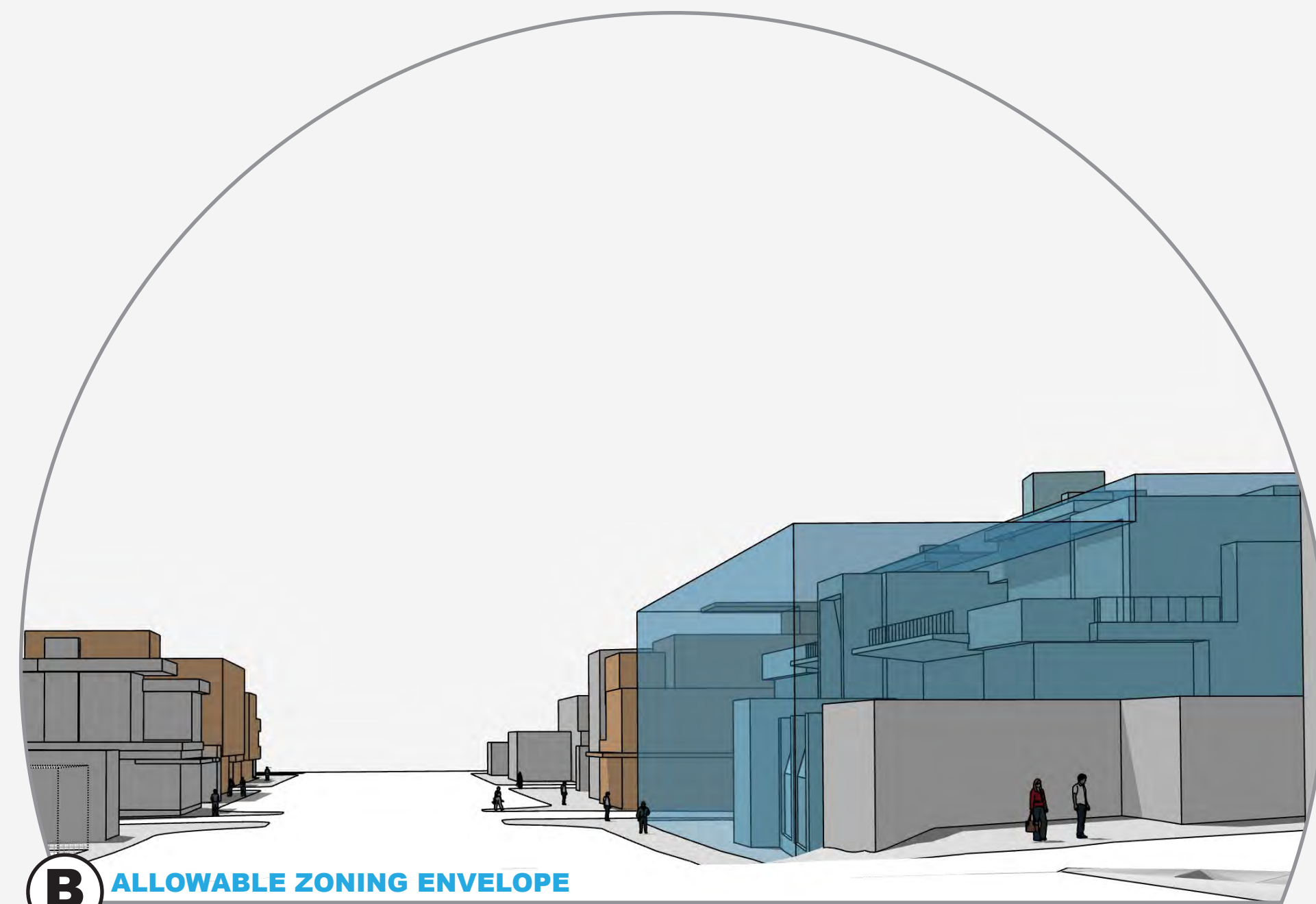
A The building massing aligns with the cadence & rhythm of the street and integrates with the pattern of development along 1st Ave



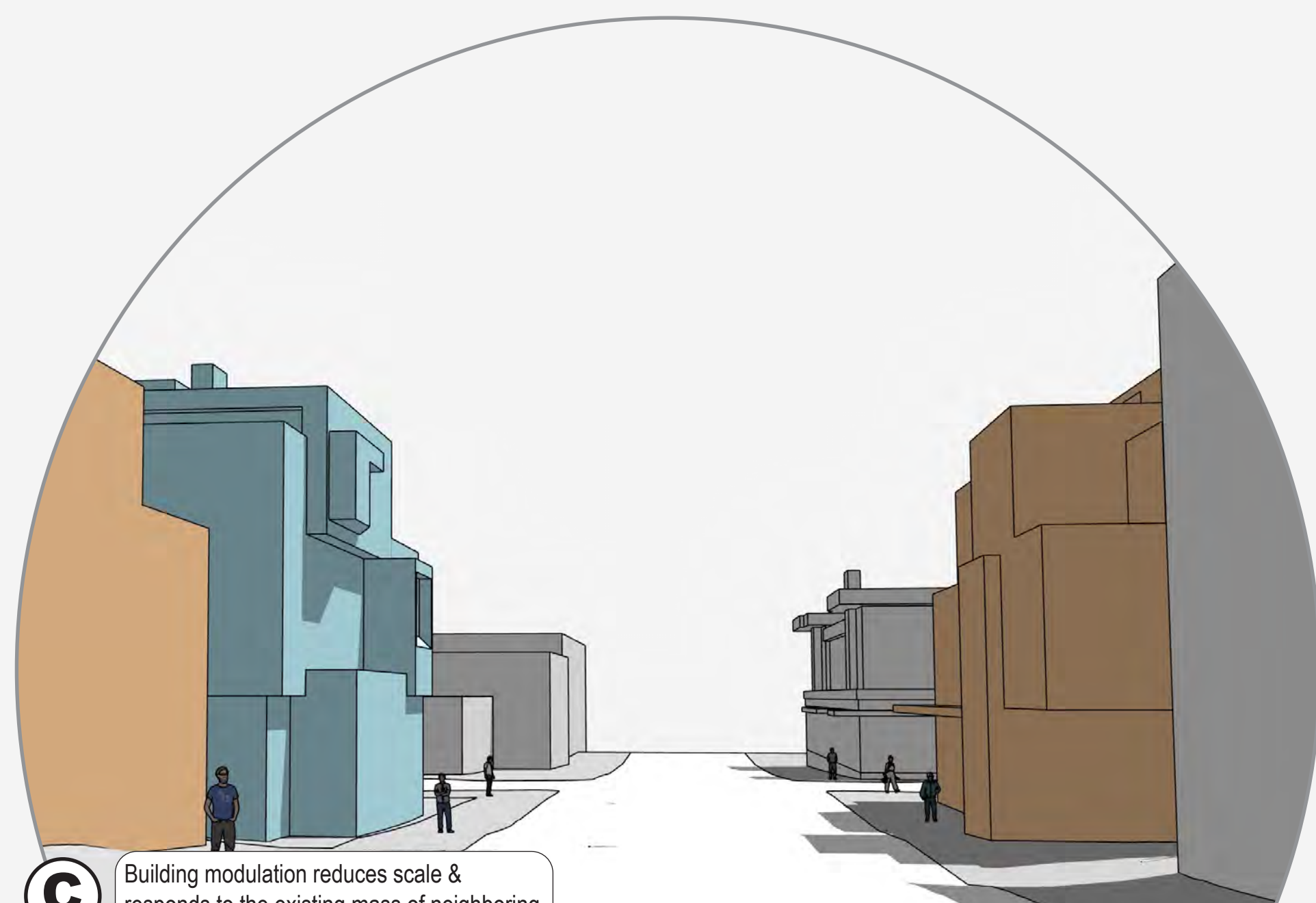
A ALLOWABLE ZONING ENVELOPE



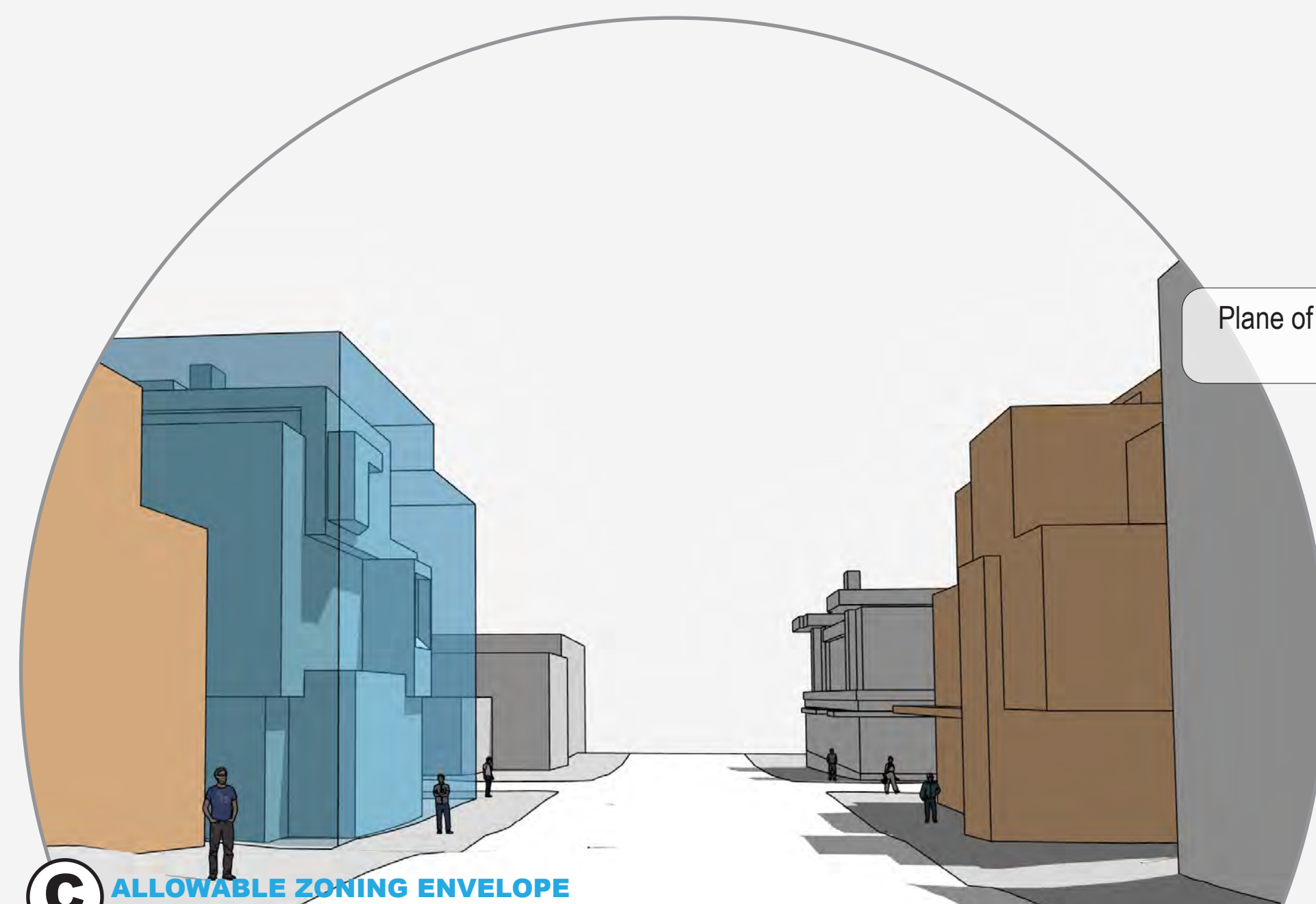
B The scale of the ground floor massing matches adjacent 1 story building to the East



B ALLOWABLE ZONING ENVELOPE



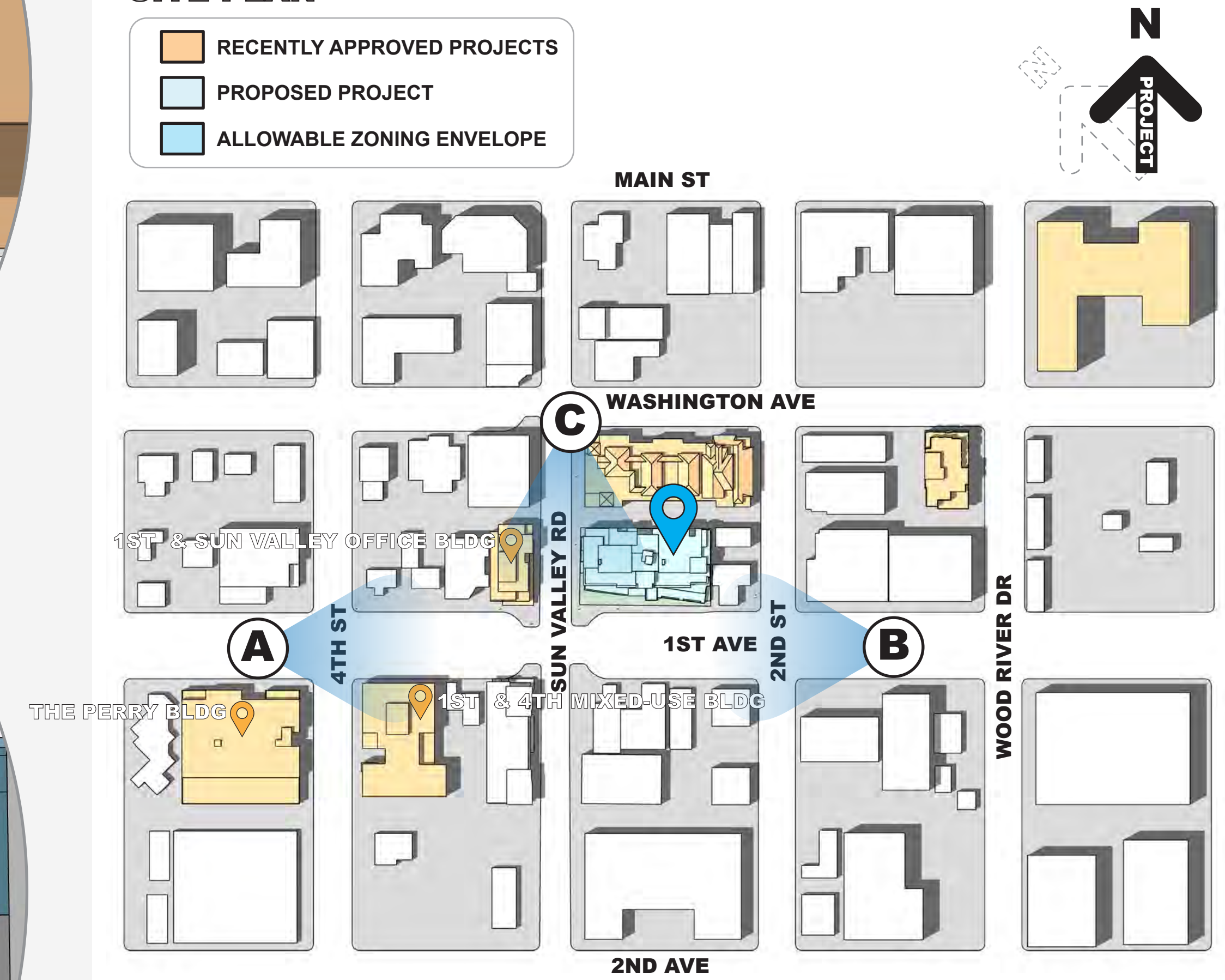
C Building modulation reduces scale & responds to the existing mass of neighboring buildings along Sun Valley Road



C ALLOWABLE ZONING ENVELOPE

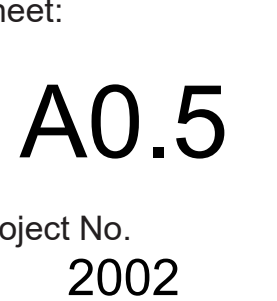
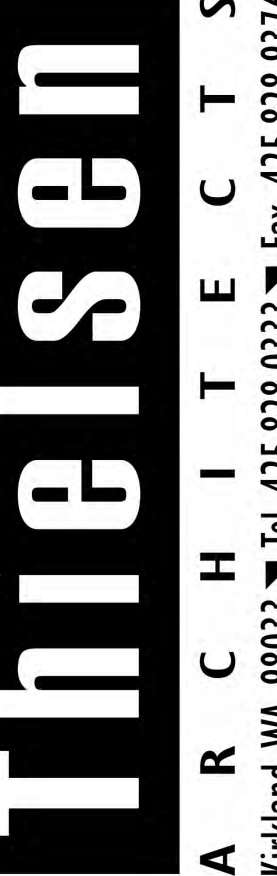
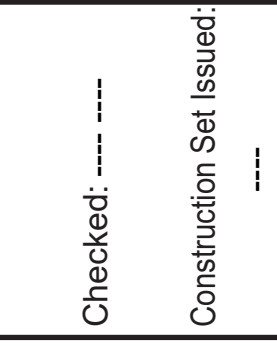
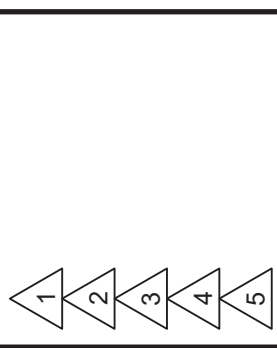
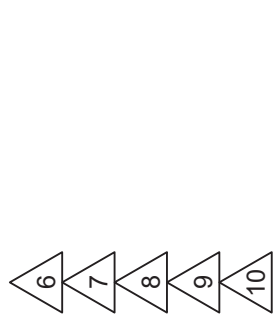
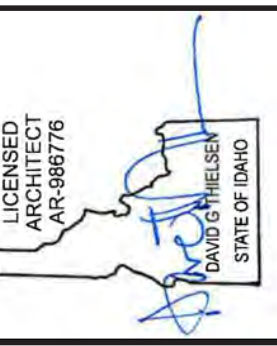
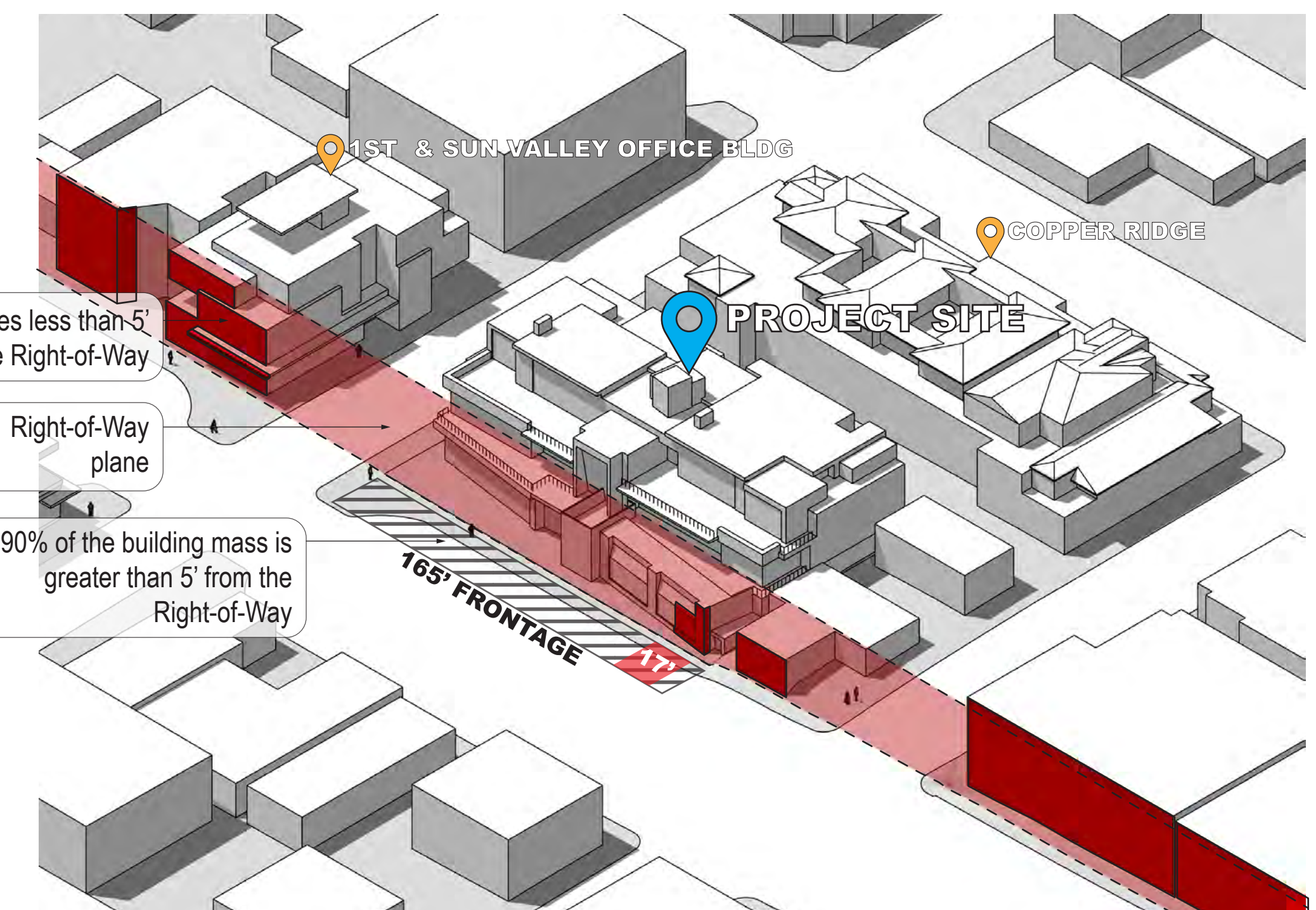
SITE PLAN

- RECENTLY APPROVED PROJECTS
- PROPOSED PROJECT
- ALLOWABLE ZONING ENVELOPE



SETBACK DIAGRAM

- PLANE OF RIGHT-OF-WAY
- PLANE OF STRUCTURES WITHIN 5' OF RIGHT-OF-WAY



1ST AVE & 4TH ST MIXED-USE BLDG



2 TOWNSITE LOTS: **18,163 SQ FT**
 GROSS SQ FT: **37,211 SQ FT**
 FAR: **2.05**



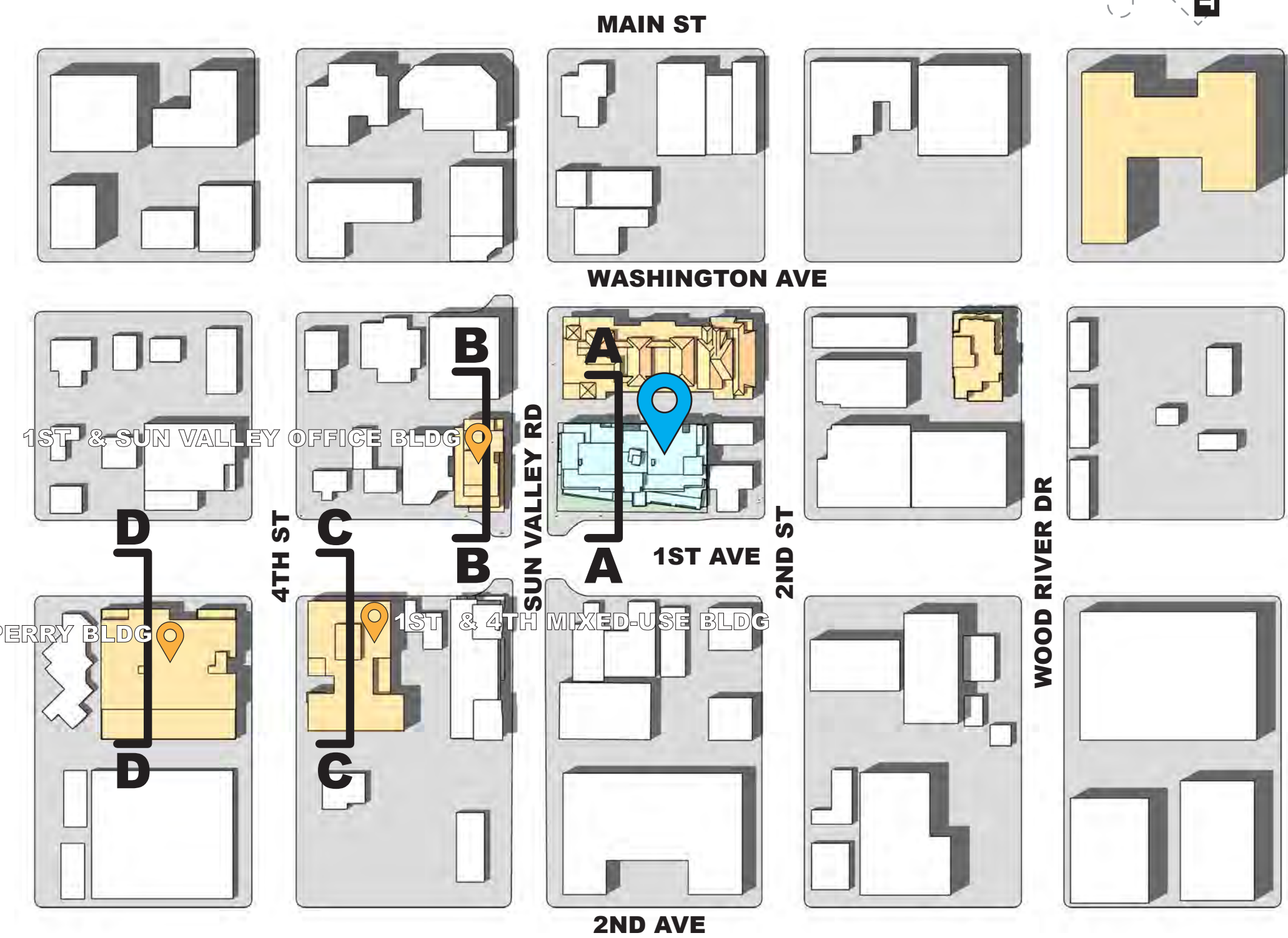
CC

CONTEXT COMPARISON

The proposed project design utilizes negative space in the massing along 1st Avenue to enhance the pedestrian experience and reduce the visual impact of the building from the sidewalk. That is achieved by stepping the structure back from the property line as each floor rises, reducing the overall mass of the building. Additionally, the lower floor of the proposed project pulls away from the property line. This creates a pedestrian experience that is open to the sky, rather than an imposing building mass at the street face.

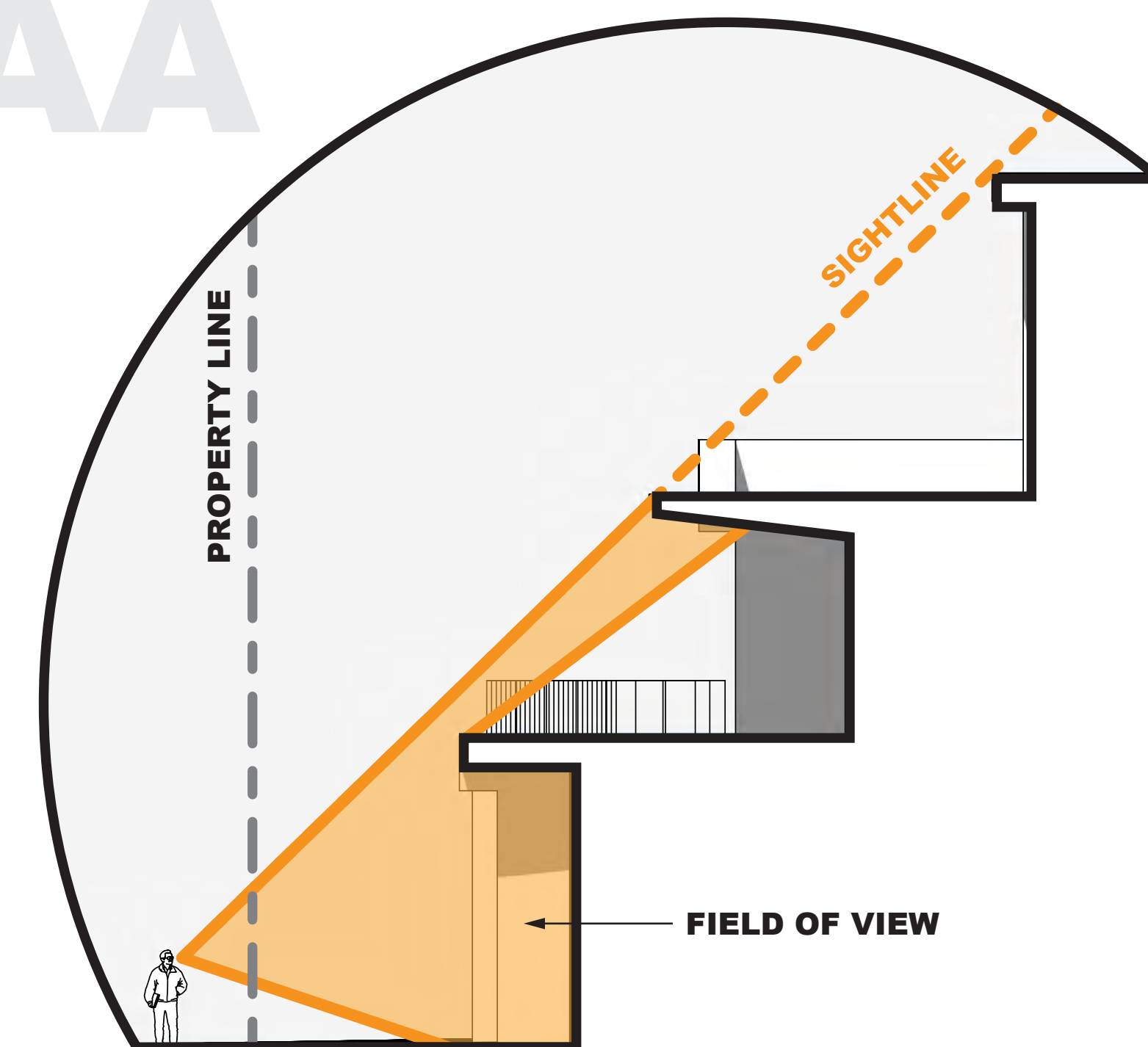
STREET LEVEL SIGHTLINE

- 📍 RECENTLY APPROVED PROJECTS ALONG 1ST AVE
- 📍 PROPOSED PROJECT



SAWTOOTH SERENADE

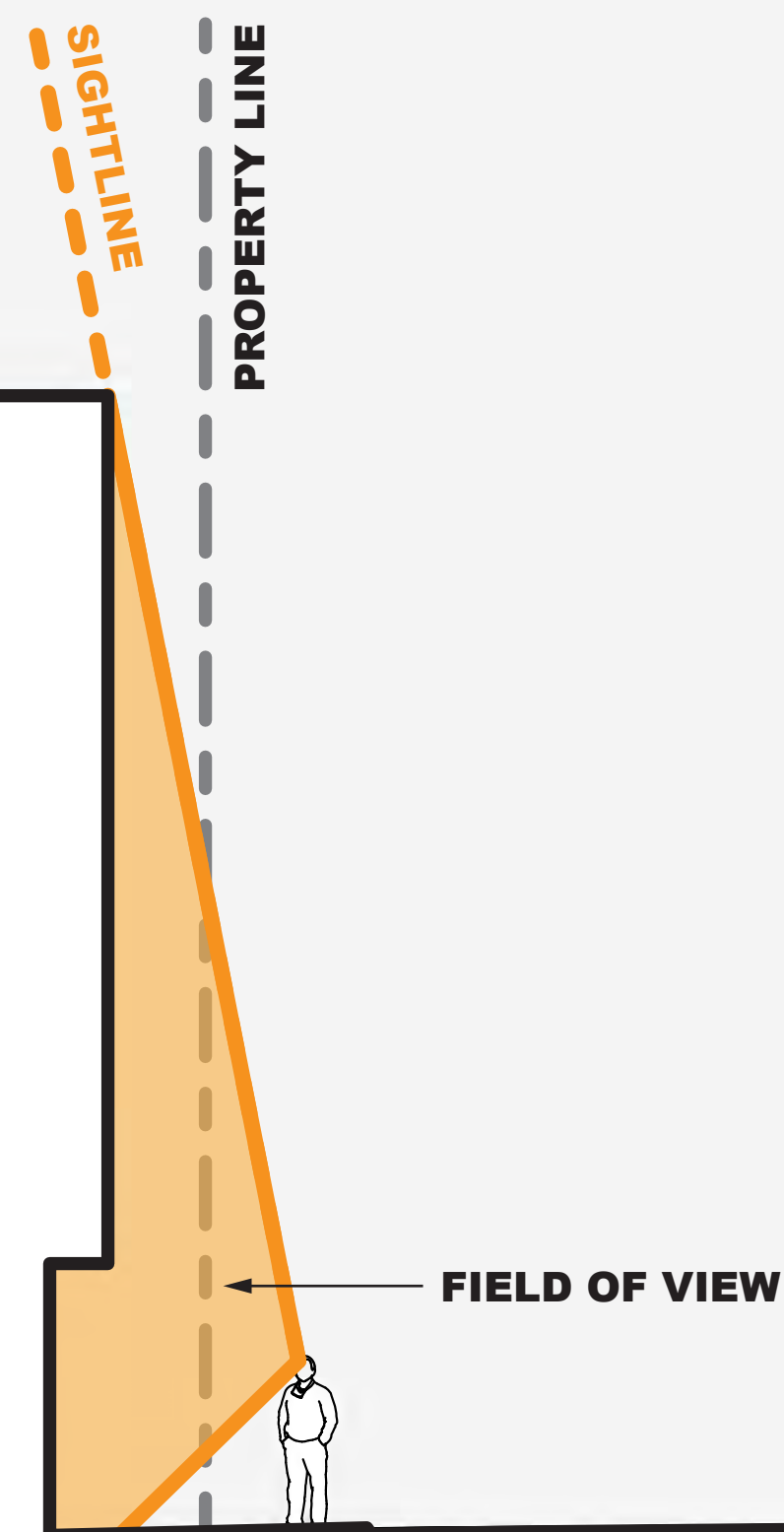
AA



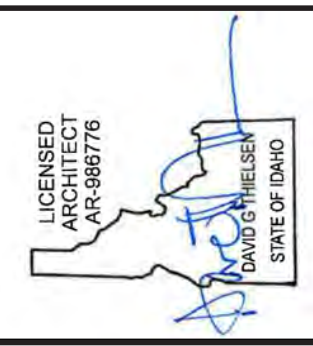
THE PERRY BLDG



3 TOWNSITE LOTS: **24,703 SQ FT**
 GROSS SQ FT: **53,756 SQ FT**
 FAR: **2.18**



DD



Revised: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z

Revised: 1, 2, 3, 4, 5

Drawn: 10/10/24
 Checked: _____
 Construction Set Issued: _____

Thielson
 ARCHITECTS
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Project: **SAWTOOTH SERENADE**
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 CONTEXT COMPARISON

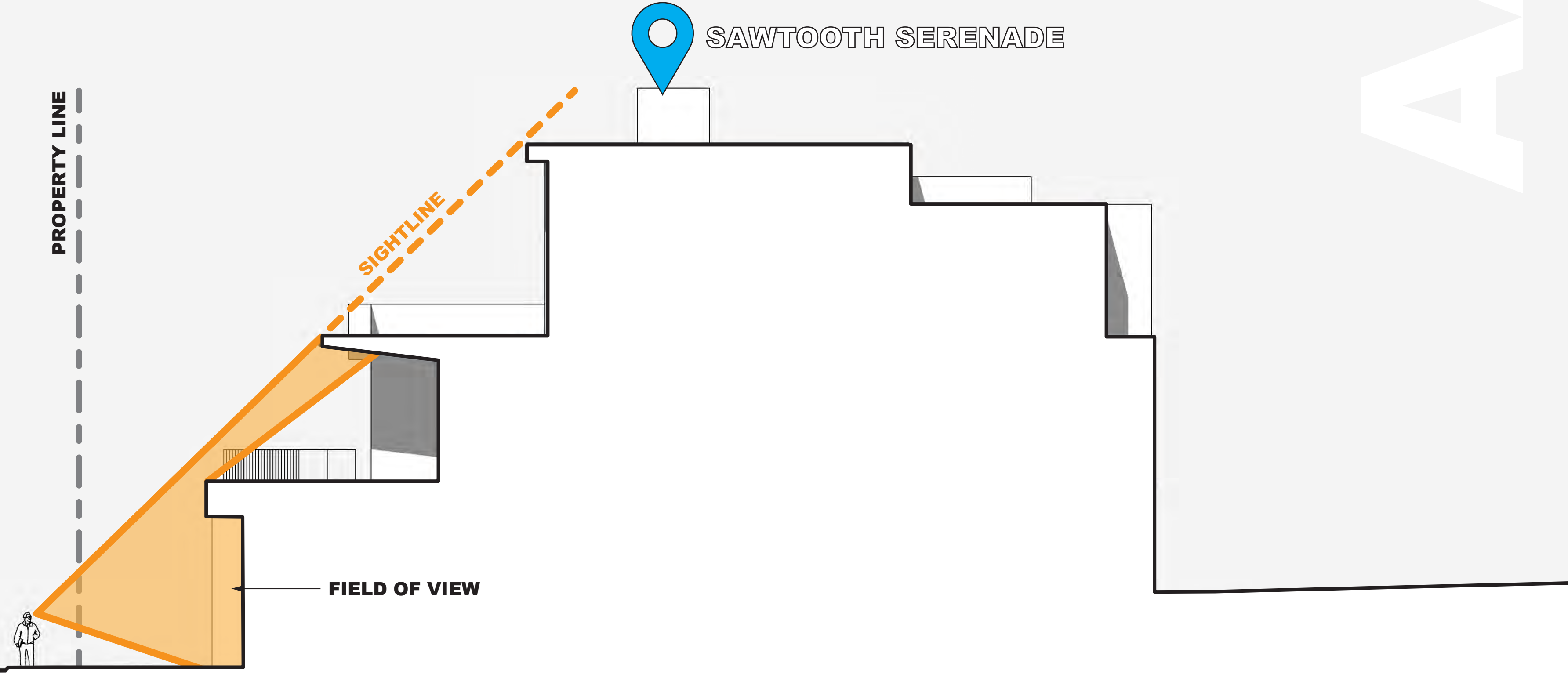
Sheet:
A0.6
 Project No.
 2002

PROPOSED PROJECT



3 TOWNSITE LOTS: **16,507 SQ FT**
 GROSS SQ FT: **21,004 SQ FT**
 FAR: **1.45**

1ST AVE



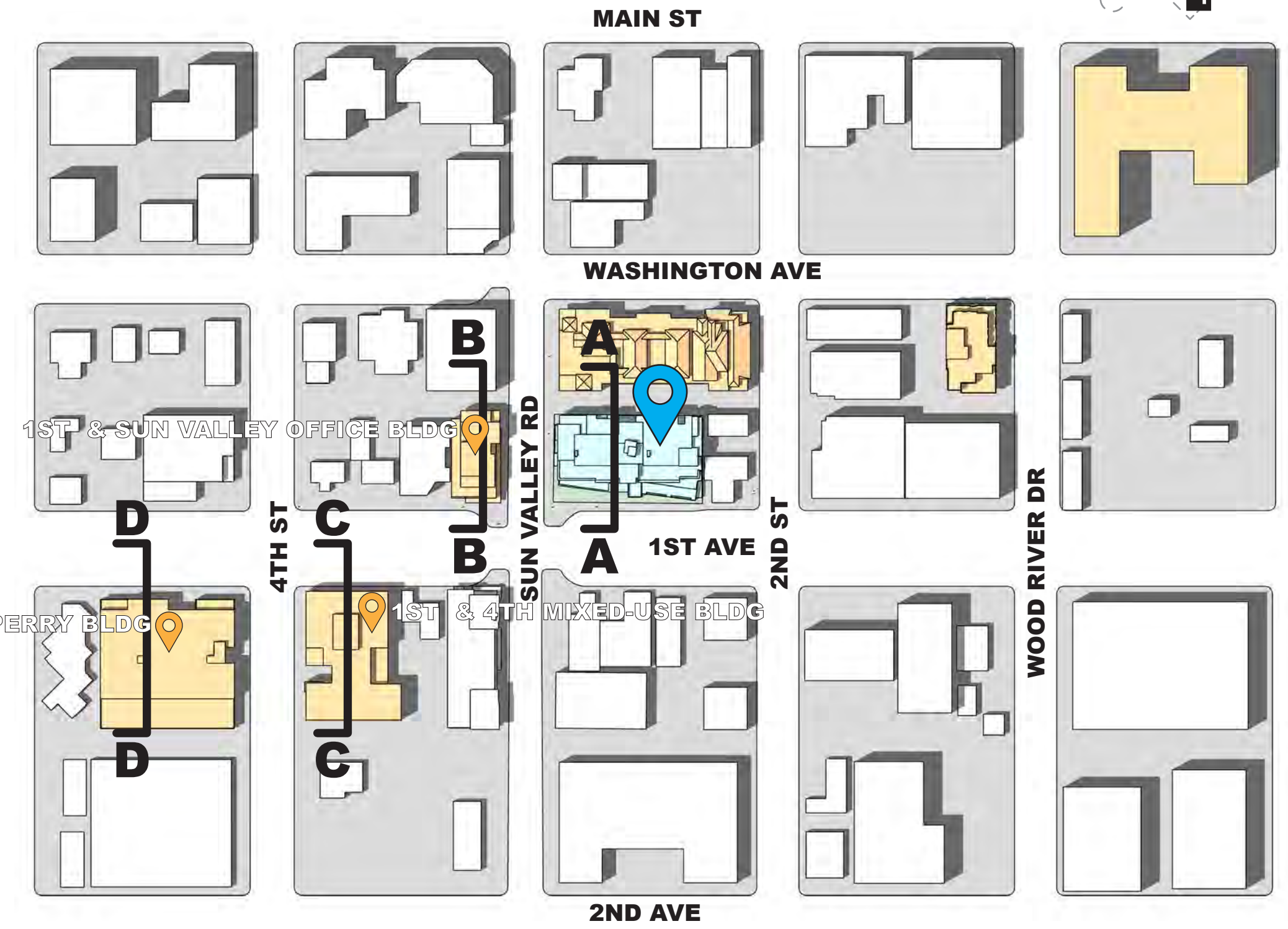
AAA

CONTEXT COMPARISON

The proposed project design utilizes negative space in the massing along 1st Avenue to enhance the pedestrian experience and reduce the visual impact of the building from the sidewalk. That is achieved by stepping the structure back from the property line as each floor rises, reducing the overall mass of the building. Additionally, the lower floor of the proposed project pulls away from the property line. This creates a pedestrian experience that is open to the sky, rather than an imposing building mass at the street face.

STREET LEVEL SIGHTLINE

- RECENTLY APPROVED PROJECTS ALONG 1ST AVE
- PROPOSED PROJECT

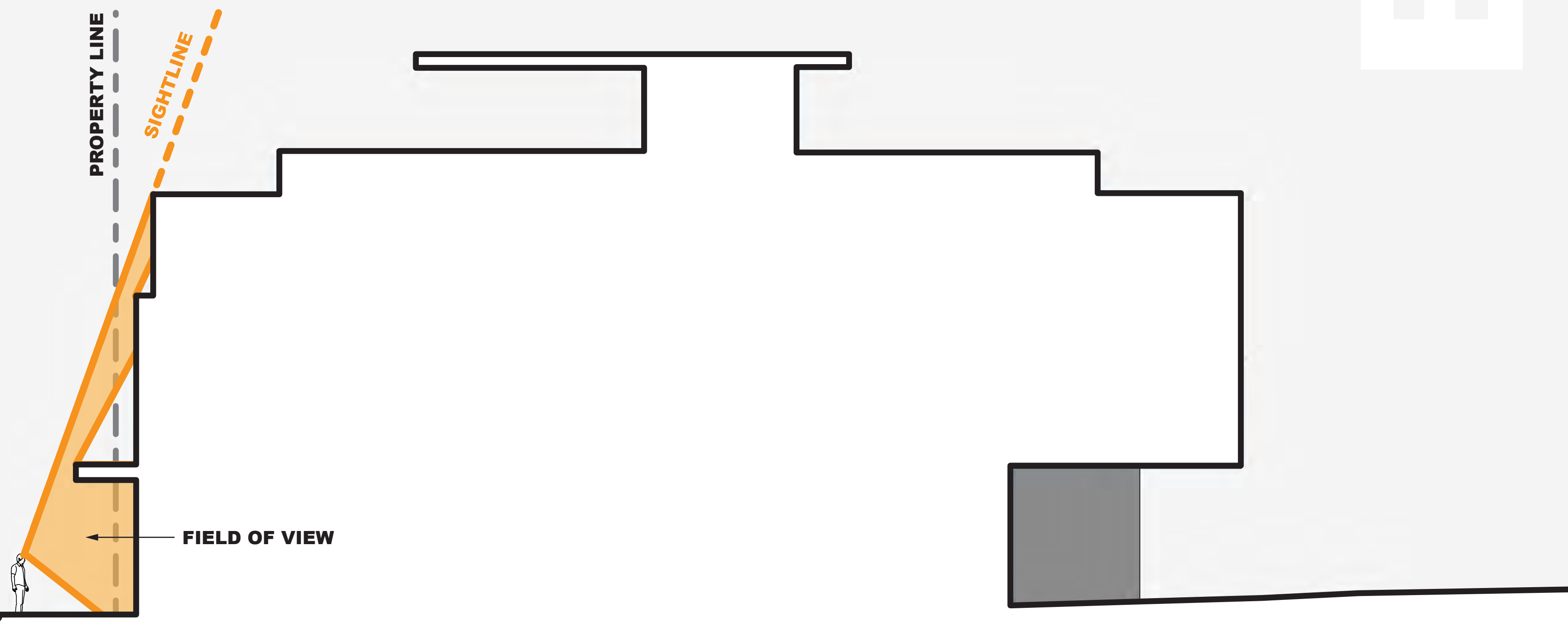


1ST AVE & SUN VALLEY OFFICE BLDG

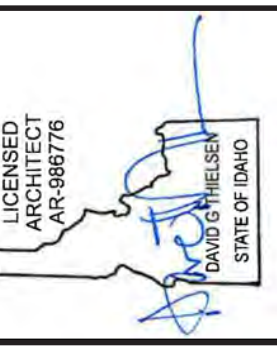


1 TOWNSITE LOTS: **5,500 SQ FT**
 GROSS SQ FT: **10,932 SQ FT**
 FAR: **1.99**

1ST AVE



BBB



Revised:

Revised:

Drawn: 10/10/24
 Checked: _____
 Construction Set Issued: _____

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Project: **SAWTOOTH SERENADE**
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 CONTEXT COMPARISON

Sheet:
A0.7
 Project No.
 2002

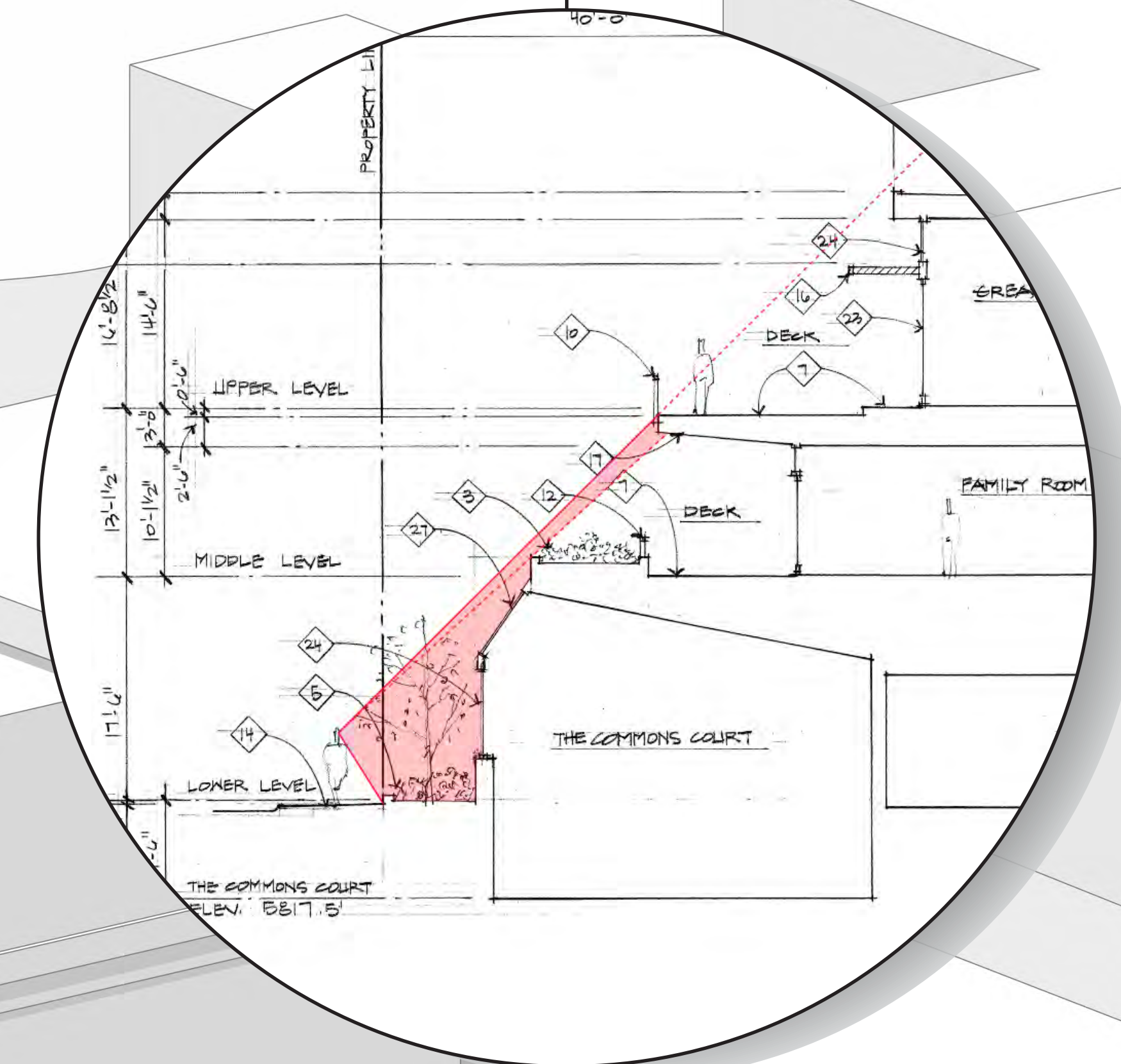
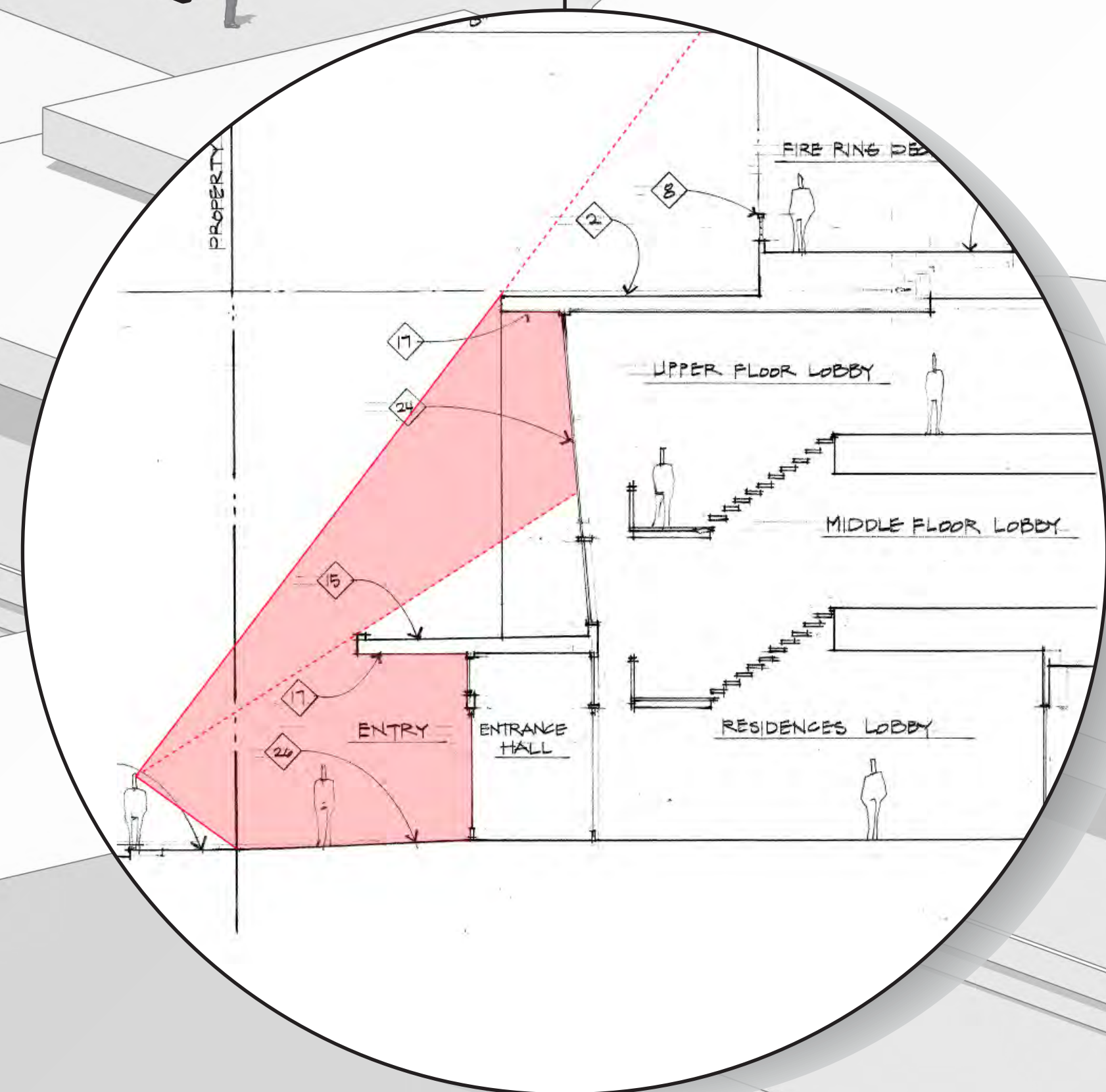
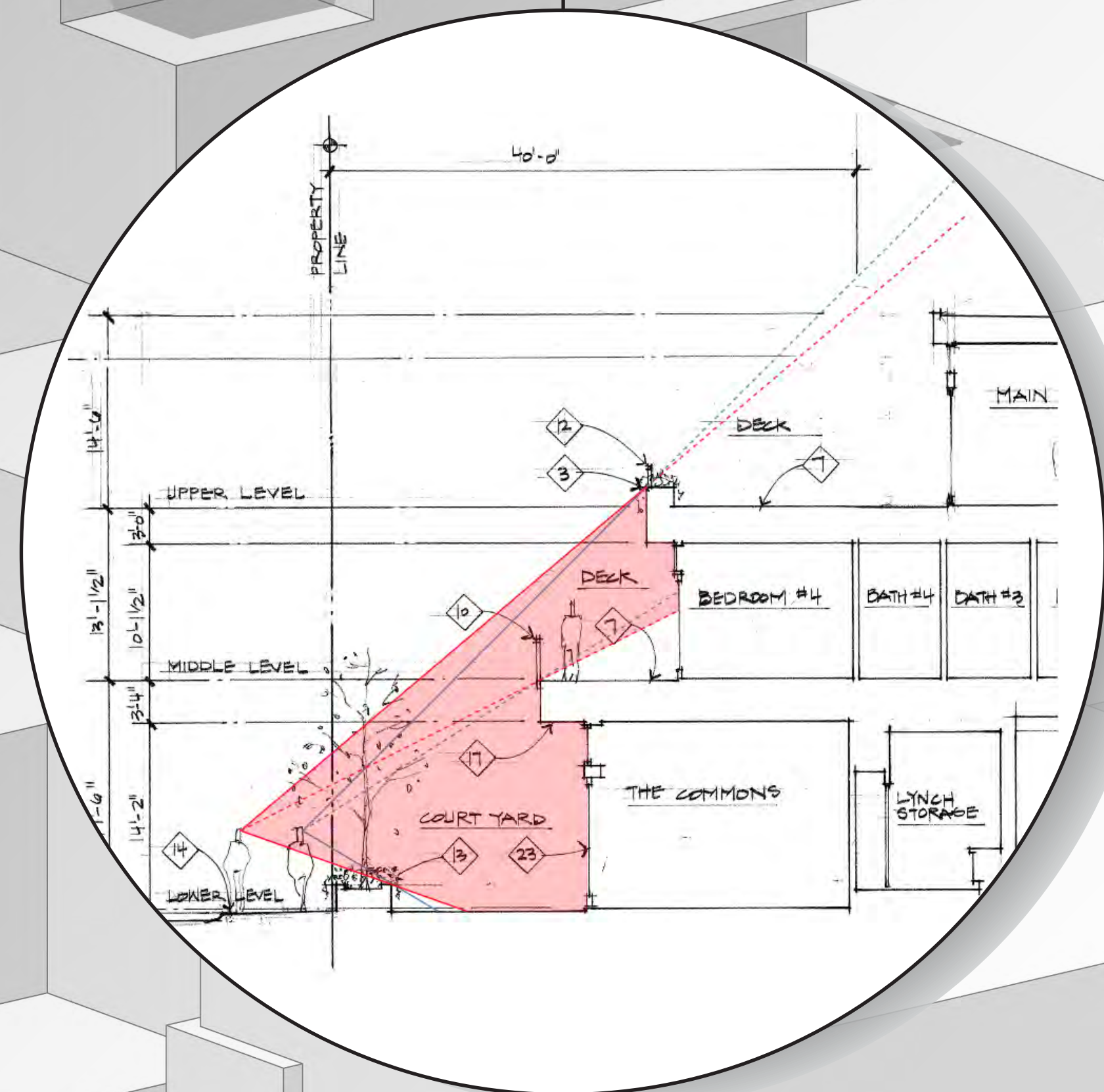
MASSING SCHEME

The primary facade along 1st Ave has three distinct sections at the ground floor. This introduces different design languages at the street level to reduce the overall massing of the project.

A

B

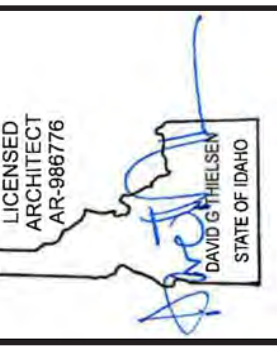
C



Section 'A' is setback furthest from the property line and is adorned with more landscaping than sections 'B' & 'C'. Storefronts provide transparency between the Commons & Right-of-Way

Section 'B' contains the main building entry. Its differentiated with a strong sense of verticality & transparency, anchored by a stone wall. The stone wall will be the backdrop for a public art installation

Section 'C' has more stone cladding creating a strong masonry base for the project at the street level



Revised:

6	7	8	9	10
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Revised:

1	2	3	4	5
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Drawn: 10/10/24
 Checked: ----
 Construction Set issued: ----

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Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 MASSING SCHEME

Sheet:
A0.8
 Project No.
 2002

MASSING SCHEME

The primary facade along 1st Ave consists of a cascading design that is separated into 3 tiers. Each tier steps further from the Right-of-Way as the building increases in height.

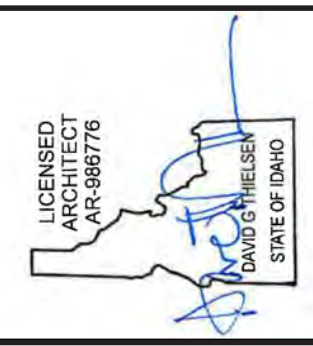
Cascading promotes human scale by reducing the project into separate tiers. The top tier is not visible from the perspective of a pedestrian walking along the project side of 1st Ave. See sections on sheet A0.8

The open corner is enhanced with landscaping in a low planter which provides continuous public seating along 1st Ave & Sun Valley Road. This openness activates the corner and enriches the pedestrian experience at the Right-of-Way.

The cascading creates a transitional design that is at the scale of adjacent single story buildings on 1st Ave and begins increasing in scale as it moves north towards the taller neighboring property, Copper Ridge

LEGEND

- TOP TIER**
The top tier contains the Main Bedroom, Kitchen, Living & Dining
- MID TIER**
The mid tier contains Guest Rooms & Recreation space
- LOWER TIER**
The lower tier contains Common space



Revised:

6	7	8	9	10
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Revised:

1	2	3	4	5
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Drawn: 10/10/24
Checked:
Construction Set Issued:

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Project: **SAWTOOTH SERENADE**
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
MASSING SCHEME

Sheet:
A0.9
Project No.
2002

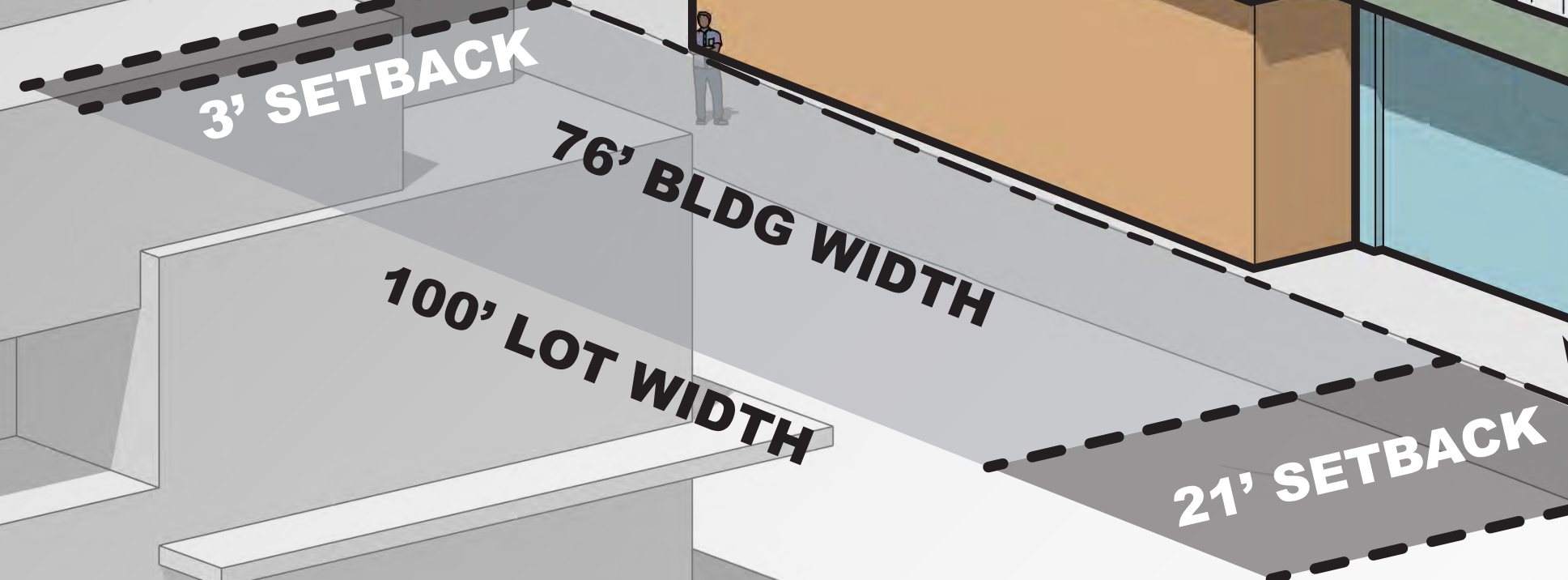
MASSING SCHEME

The secondary facade along Sun Valley Road has been modulated and carved to reduce massing, bulk & flatness.

Cascading design reduces massing along Sun Valley Road, especially at the top tier.

Bay windows of different sizes are employed to create visual intrigue

Push and pull techniques are employed along the facade creating various building planes to reduce bulk & flatness

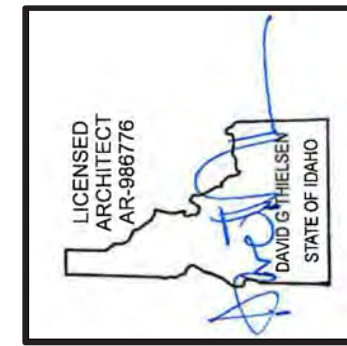


Majority of the building mass along Sun Valley Road is setback at least 5' allowing for landscaping across the facade

LEGEND

APPROX. DISTANCE FROM PROPERTY LINE

- 2'
- 5'
- 6'
- 9'
- BAY WINDOW



Revised: 6, 7, 8, 9, 10

Revised: 1, 2, 3, 4, 5

Drawn: 10/10/24
Checked:
Construction Set Issued:

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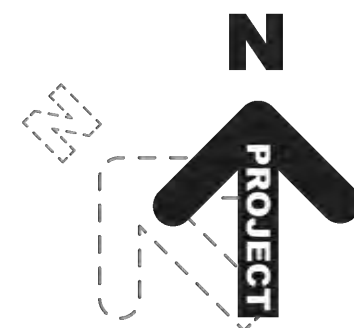
Project: **SAWTOOTH SERENADE**
260 N 1ST AVE
KETCHUM, ID

Sheet Title: MASSING SCHEME

Sheet: **A0.10**
Project No. 2002



VIEW ACROSS NORTH 1ST AVENUE



LICENSED ARCHITECT
 No. 468776
 David Pfeiffer
 State of Idaho

Revised: 6 8 9 10

Revised: 08/30/22 10/1/24
 1 2 3 4 5

Drawn: 08/10/22
 Checked: _____
 Construction Set Issued: _____

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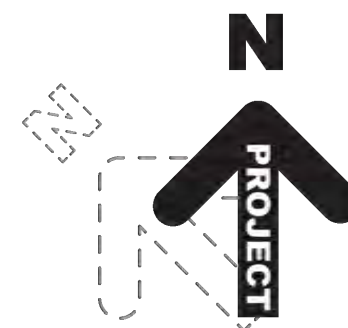
Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 EXTERIOR RENDERINGS

Sheet:
A0.11
 Project No.
 2002



VIEW FROM THE CORNER OF 1ST AVENUE AND SUN VALLEY ROAD



LICENSED ARCHITECT
 No. 98876
 PAUL H. THIESEN
 STATE OF IDAHO

Revised: 6 8 10

Revised: 08/30/22 07/17/23 10/10/24
 2 3 4 5

Drawn: 10/01/24
 Checked: _____
 Construction Set Issue: _____

Thielsen
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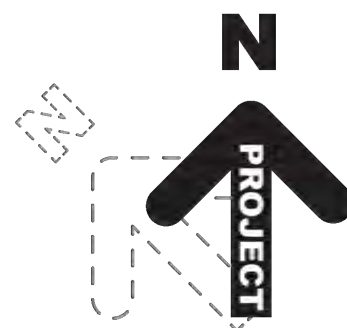
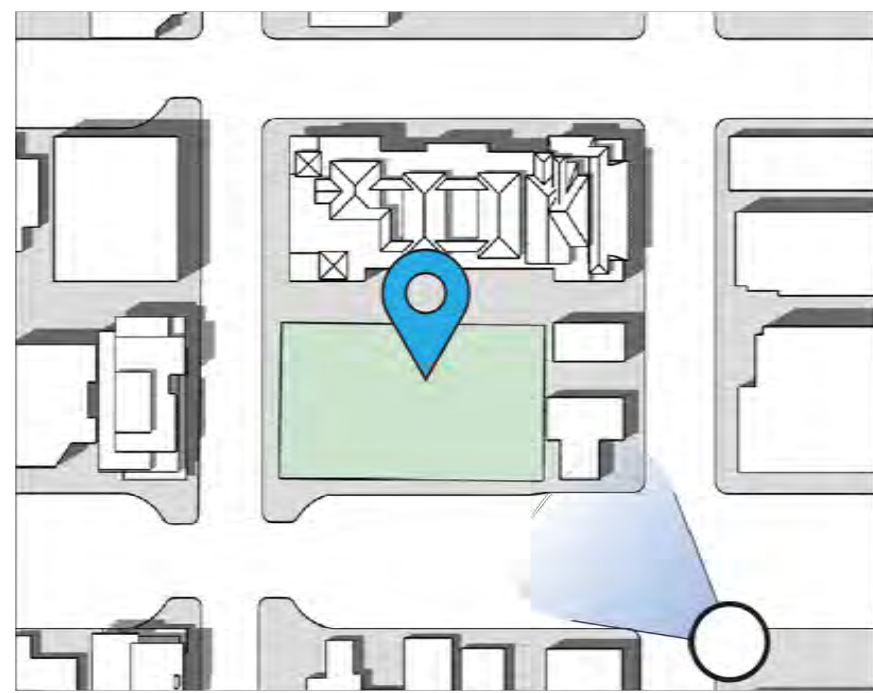
Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 EXTERIOR RENDERINGS

Sheet:
A0.12
 Project No.
 2002



VIEW FROM THE CORNER OF 1ST AVENUE AND 2ND STREET



LICENSED ARCHITECT
 No. 98876
 PAUL H. THIELSEN
 STATE OF IDAHO

Revised:
 6
 7
 8
 9
 10

Revised:
 08/30/22
 07/17/23
 10/10/24
 1
 2
 3
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 5

Drawn: 08/10/22
 Checked: _____
 Construction Set Issued: _____

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 Kirkland, WA 98033 | Tel. 425.828.0333 | Fax. 425.828.9376

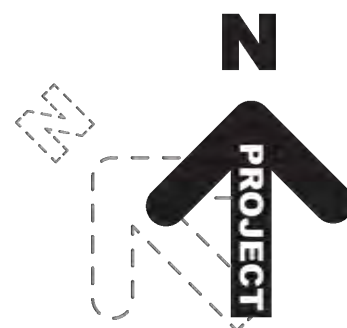
Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 EXTERIOR RENDERINGS

Sheet:
A0.13
 Project No.
 2002



VIEW FROM THE CORNER OF 1ST AVENUE AND SUN VALLEY ROAD



LICENSED ARCHITECT
 No. 98876
 DAWN HICKLER
 STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 08/30/22 10/1/24
 1 2 3 4 5

Drawn: 08/10/22
 Checked: _____
 Construction Set Issue: _____

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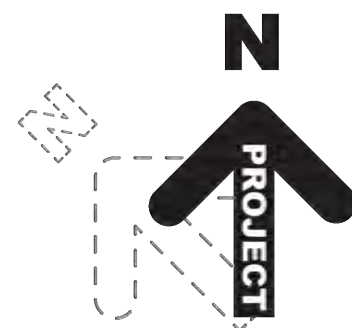
Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 EXTERIOR RENDERINGS

Sheet:
A0.14
 Project No.
 2002



VIEW WEST ALONG 1ST AVENUE FROM THE SIDEWALK IN FRONT OF THE ENTRY TO SAWTOOTH SERENADE



LICENSED ARCHITECT
 No. 48876
 DAWID FREJER
 STATE OF IDAHO

Revised: 6/10/24

Revised: 1/10/24

Drawn: 10/10/24
 Checked: _____
 Construction Set Issued: _____

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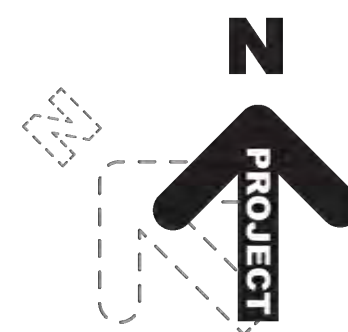
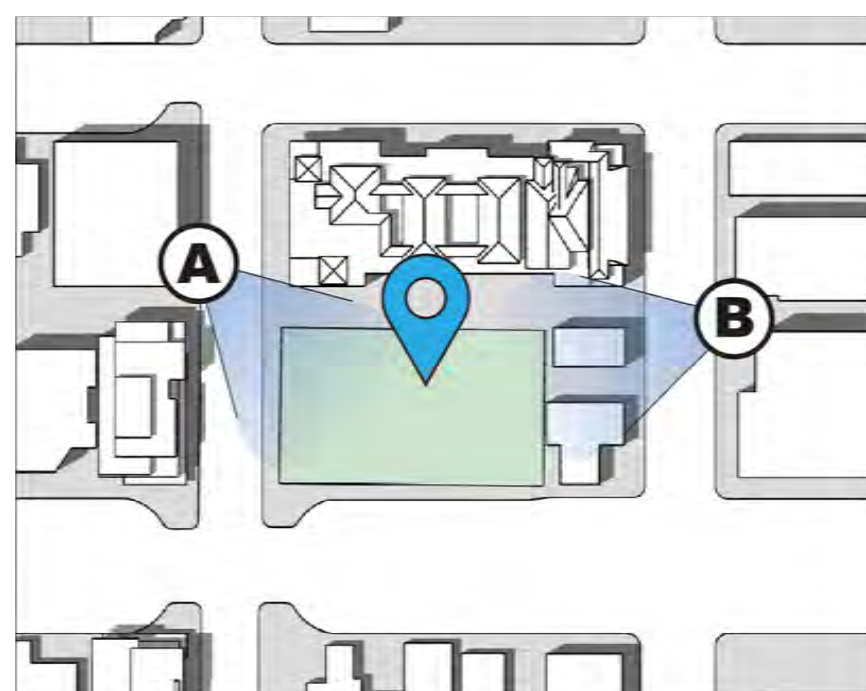
Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 EXTERIOR RENDERINGS

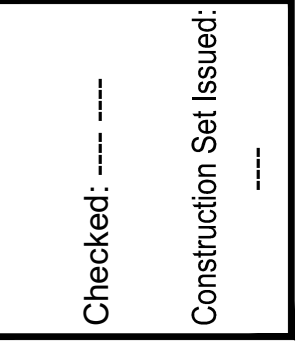
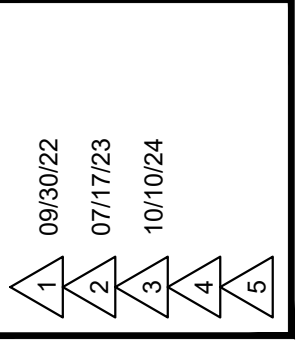
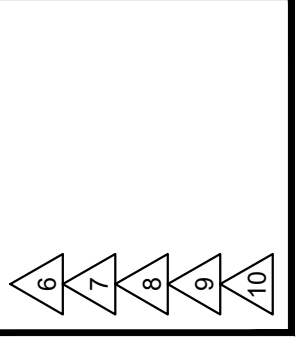
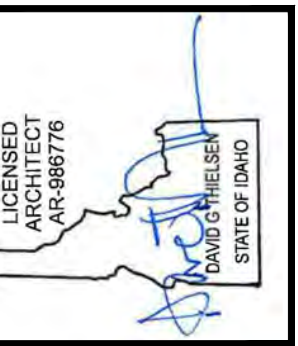
Sheet:
A0.15
 Project No.
 2002



VIEW "A" LOOKING SOUTH DOWN SUN VALLEY ROAD



VIEW "B" FROM 2ND STREET IN THE WINTER



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Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

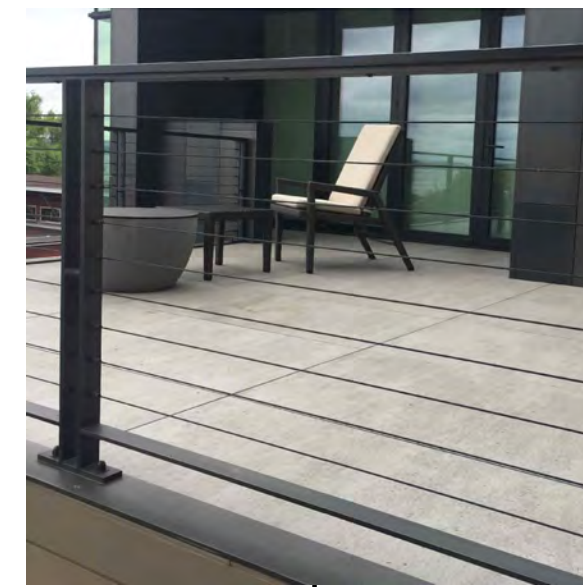
Sheet Title:
 EXTERIOR RENDERINGS

Sheet:
A0.16
 Project No.
 2002

DARK BRONZE WINDOWS AND SLIDING DOOR FRAMES



BLACKENED STAINLESS STEEL CABLE RAILS



VERTICAL BROWN STAINED CEDAR SIDING



PRE-WEATHERED ZINC INTERLOCKING SHINGLES



SANDSET CONCRETE SIDEWALK PAVERS



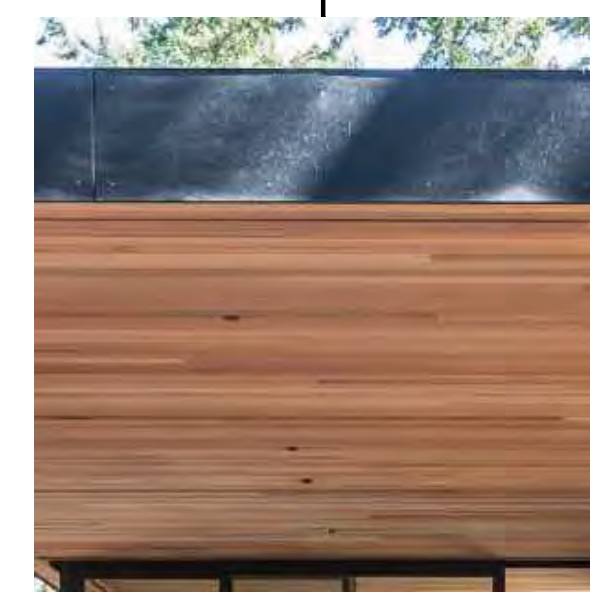
COURSED ASHLAR STONE VENEER



INTEGRAL COLOR CONCRETE



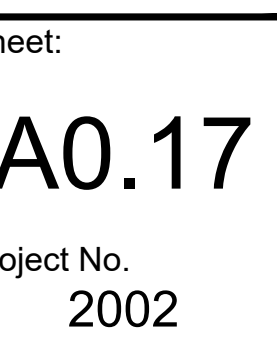
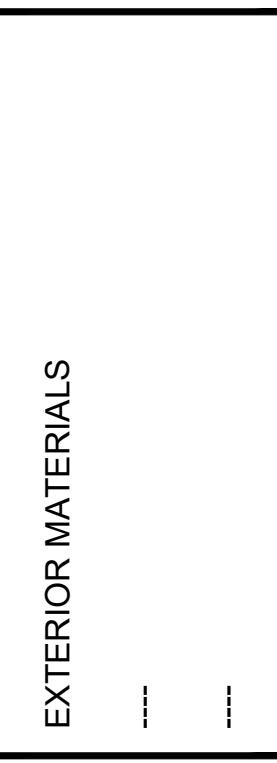
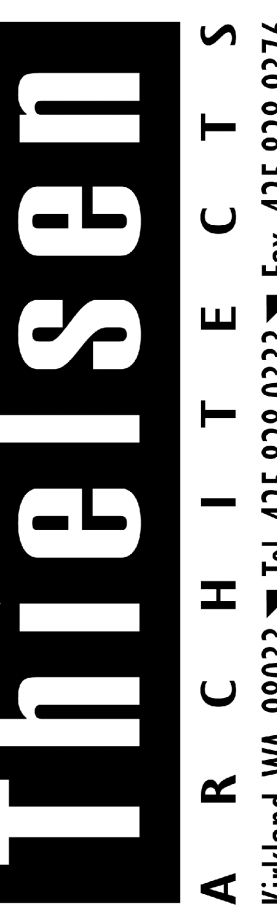
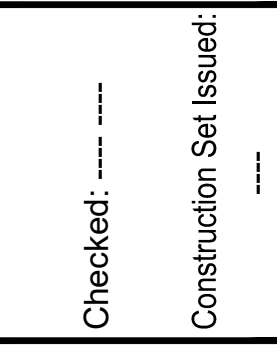
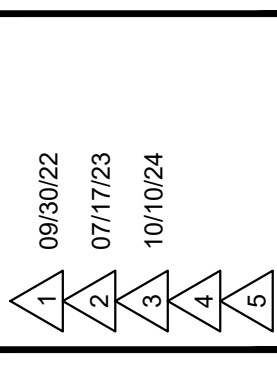
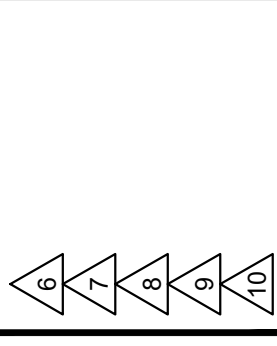
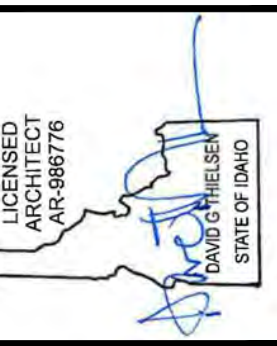
HORIZONTAL BROWN STAINED CEDAR SIDING



CEDAR TONGUE AND GROOVE SOFFITS



LARGE FORMAT SINTERED STONE PATIO AND DECK PAVERS



This is just a large plane of glass. - Commission Vice Chair Brenda Moczygemba speaking about the upper level glazing.

I think the roof is kind of flat and straight. - Commission Chair Neil Morrow

At the 3rd level specifically, the pattern of windows are identical and run from one end of the facade to the other with little separation or break except for the center staircase. - Staff report

The majority of the upper level roof was at the same elevation which created a sense of flatness. The new design of the upper level creates modulation in plan and profile which increases undulation and provides relief from the previous sense of bulk and flatness.
All of the glazing on the upper level was in one plane and was symmetrical about the central circulation core.



PRE-APPLICATION DESIGN REVIEW SUBMITTAL

The varying roof planes, highlighted in red, are articulated to create a roof line that breaks the facade down into small components with massing that respects the rhythm and pattern of downtown Ketchum.

The Lynches' bedroom volume was pulled back from 1st Avenue by 5'-0", the height was reduced, and the sun shade canopy was removed.

The central portions of the facade were pulled back with the Berniers' side getting a recessed window and the Lynches' side getting a sun shade canopy. The portions of the facade to the east and west of the central stair volume have similarities due to the program of the spaces within, but are no longer mirror images of each other. Rather, they are treated distinctly with differing glazing, wall plane, and canopy configurations.

The Bernier bedroom volume was brought toward N 1st Ave, the height was reduced, and the sun shade was wrapped around the corner.

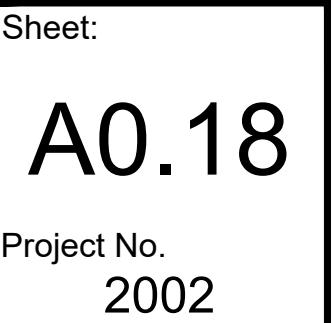
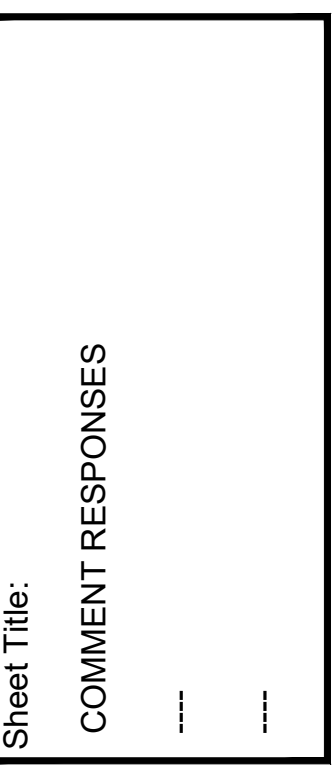
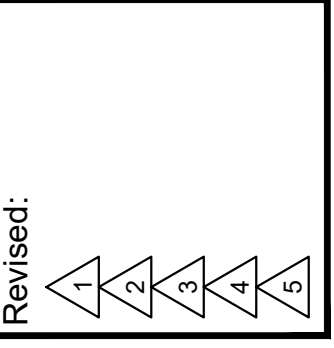
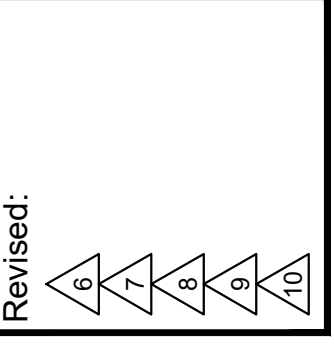
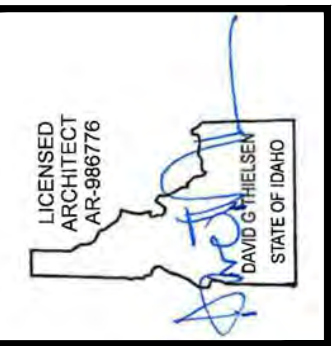
The amount of glazing on the upper level has been reduced by 16% with significant areas replaced by solid wall clad in wood siding to further break up the facade.



The project's materials and colors are warm and pedestrian in scale. They complement the general palette of the surrounding neighborhood and adjoining structures.

DESIGN REVIEW SUBMITTAL

The modulation of the ground floor, breaking down the facade into smaller human scale elements, and the palette of durable masonry and glazing, creates a lively and engaging pedestrian experience along 1st Avenue.



Add the glazing on the Sun Valley Road side. - Commission Chair Neil Morrow

That's a closed-off area on a really activated corner - Commission Chair Neil Morrow

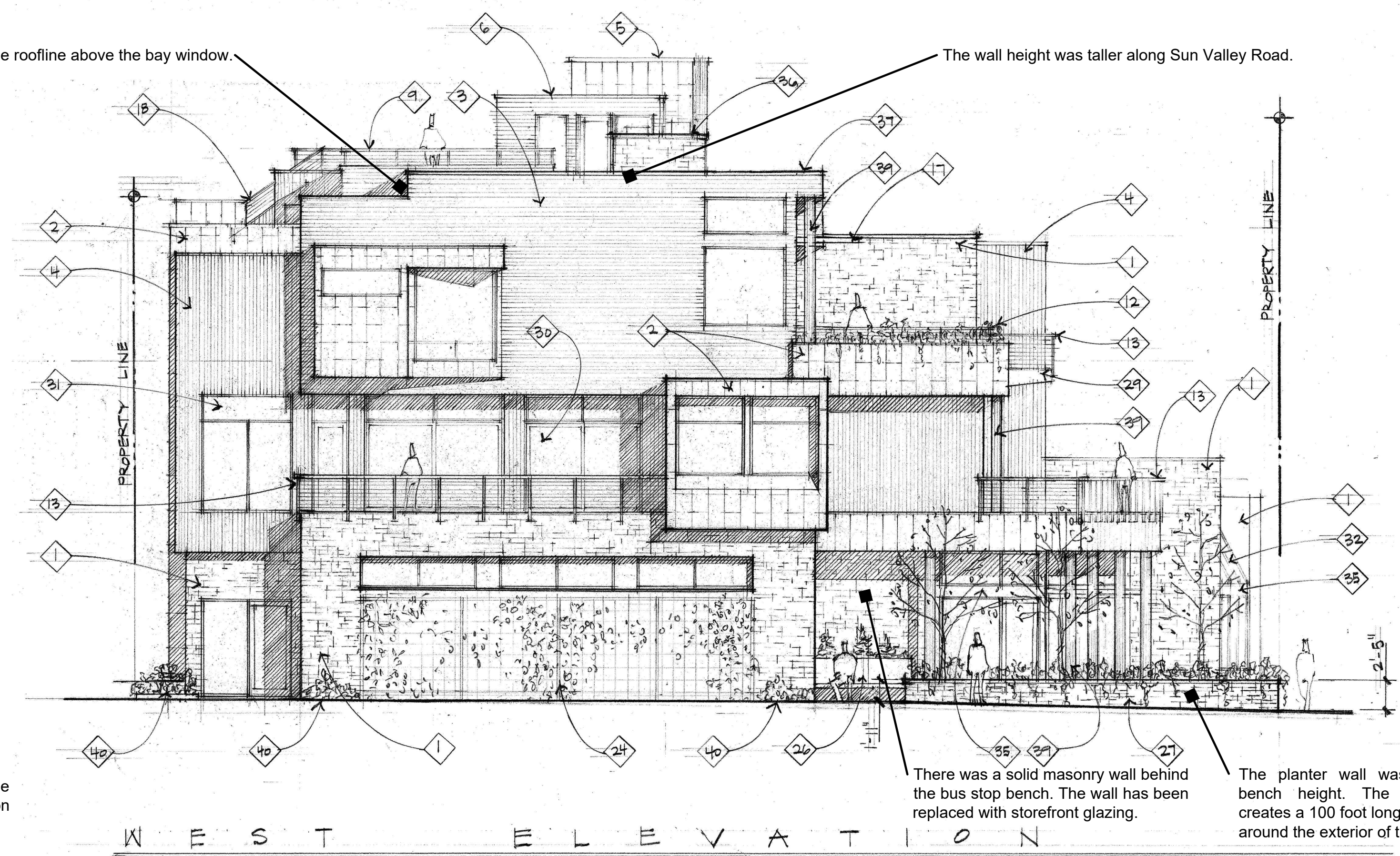


DESIGN REVIEW SUBMITTAL

The storefront windows and doors on the lower floor were expanded to provide a stronger visual relationship between the Commons and the pedestrians on the street. The glazed area on the west elevation was increased by 117 sf.

A step occurred in the roofline above the bay window.

The wall height was taller along Sun Valley Road.



There was a solid masonry wall behind the bus stop bench. The wall has been replaced with storefront glazing.

The planter wall was taller than bench height. The new height creates a 100 foot long public bench around the exterior of the courtyard.

WEST ELEVATION
1/8" = 1'-0"
PRE-APPLICATION DESIGN REVIEW SUBMITTAL

The 1st Avenue facade is designed to facilitate views from the street and sidewalk through the storefront windows. The steel columns are the smallest structural option to support the middle and upper levels and allow the largest amount of glazing along the facade.

The landscape planters around the court yard function as benches and as such are low enough to allow pedestrians walking along 1st Avenue or Sun Valley Road to view over them, and the plants they contain, into the court yard and the Commons. The trees are widely space and have canopies that will be above head height to preserve views into the court yard and windows.

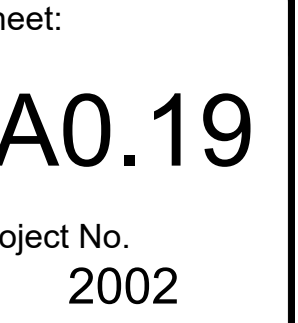
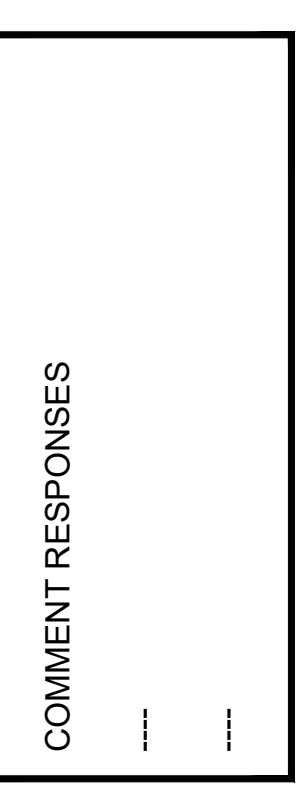
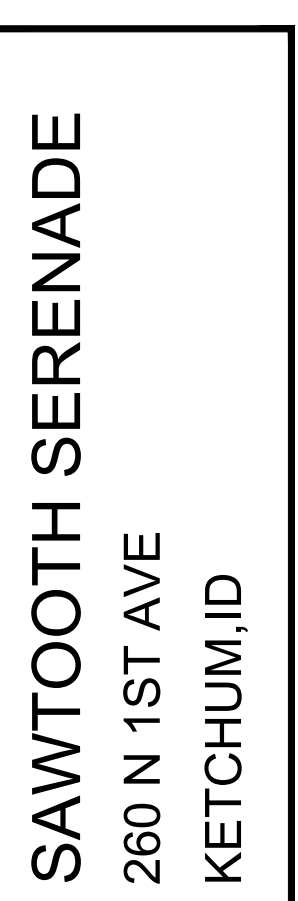
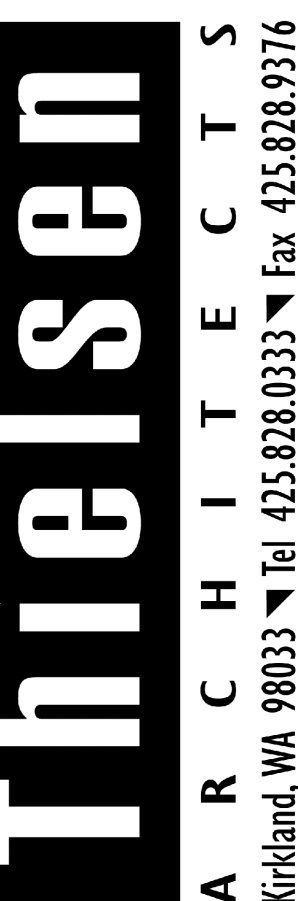
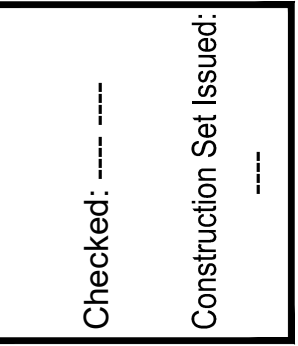
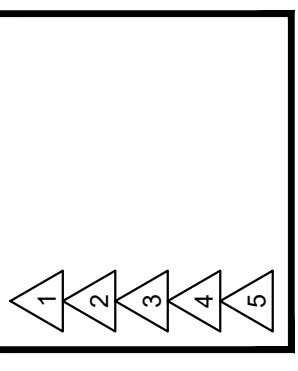
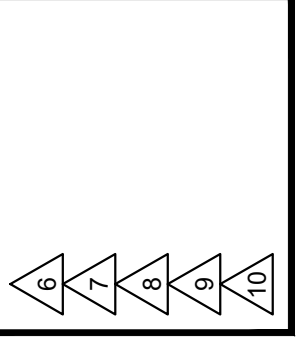
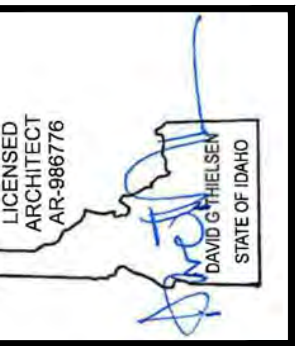


To increase the activation of the ground level the planter wall was lowered from an average of 29" to an average of 21", which is a comfortable bench height. The shrubs in the planter were replaced with the ground cover Kinnickinick to increase the visual transparency between the street, the courtyard, and the Commons. The masonry and plantings provide an active and interesting pedestrian environment through scale, color, texture, and pattern along both 1st Avenue and Sun Valley Road.

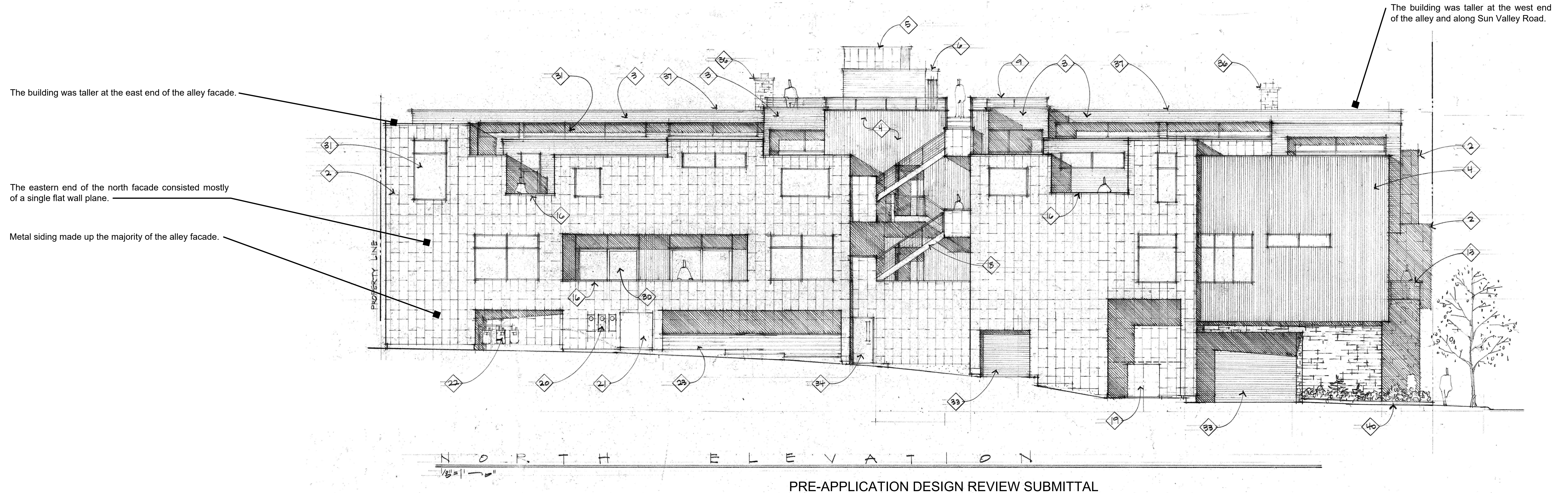
A public gathering space has been introduced in the bulb-out at the corner of 1st Avenue and Sun Valley Road with the addition of two benches set at a 90 degree angle and flanking a street tree. This creates a shaded conversation space for the public to meet, socialize, enjoy the view, and perhaps sip a coffee. The new gathering space will greatly enhance the activation of the intersection.



By pulling back from the corner of 1st Avenue and Sun Valley Road, Sawtooth Serenade is responding to the nearby two and three story buildings that are built with minimum setbacks and imposingly tall walls. Stepping back from the corner creates not just an open courtyard, but visual relief from the mass of other recently constructed buildings along 1st Avenue. Pulling the building away from the 1st Avenue right-of-way, and stepping back further at the middle and upper levels, allows pedestrians to enjoy views of the surrounding mountains and the sky which are blocked by much of the other new development in Ketchum.



The metal paneling is continuing for the majority of the alley elevation...
It's a lot of black. - Commission Vice Chair Brenda Moczygemba



The percentage of metal siding on the north elevation has been reduced from 52% to 25% while the percentage of wood siding has been increased from 26% to 51% of the total area.

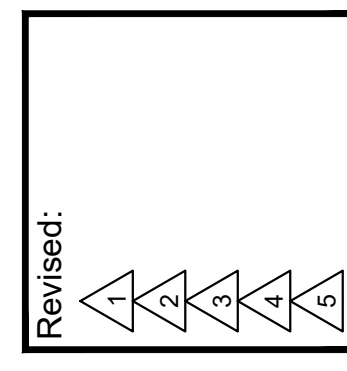
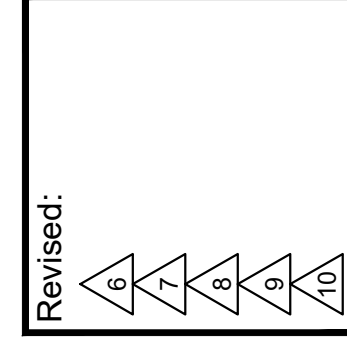
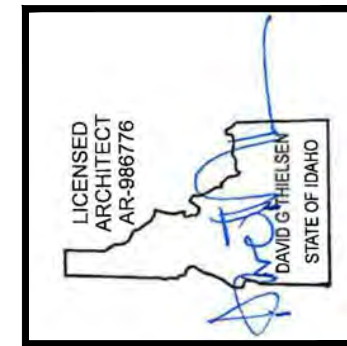
Additional building articulation in both plan and profile was developed at the eastern end of the north facade adding visual interest and breaking up the mass of the building.

The eastern end of the alley facade was reconfigured to reduce the scale and create a termination for the metal siding wrapping around from the east facade. This allows wood siding to replace the metal on the eastern end of the north elevation and lighten the composition.

The integral color concrete wraps around from the east facade creating a strong base to anchor the east end of the facade.



DESIGN REVIEW SUBMITTAL



Drawn: 10/10/24
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Construction Set Issued: _____

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

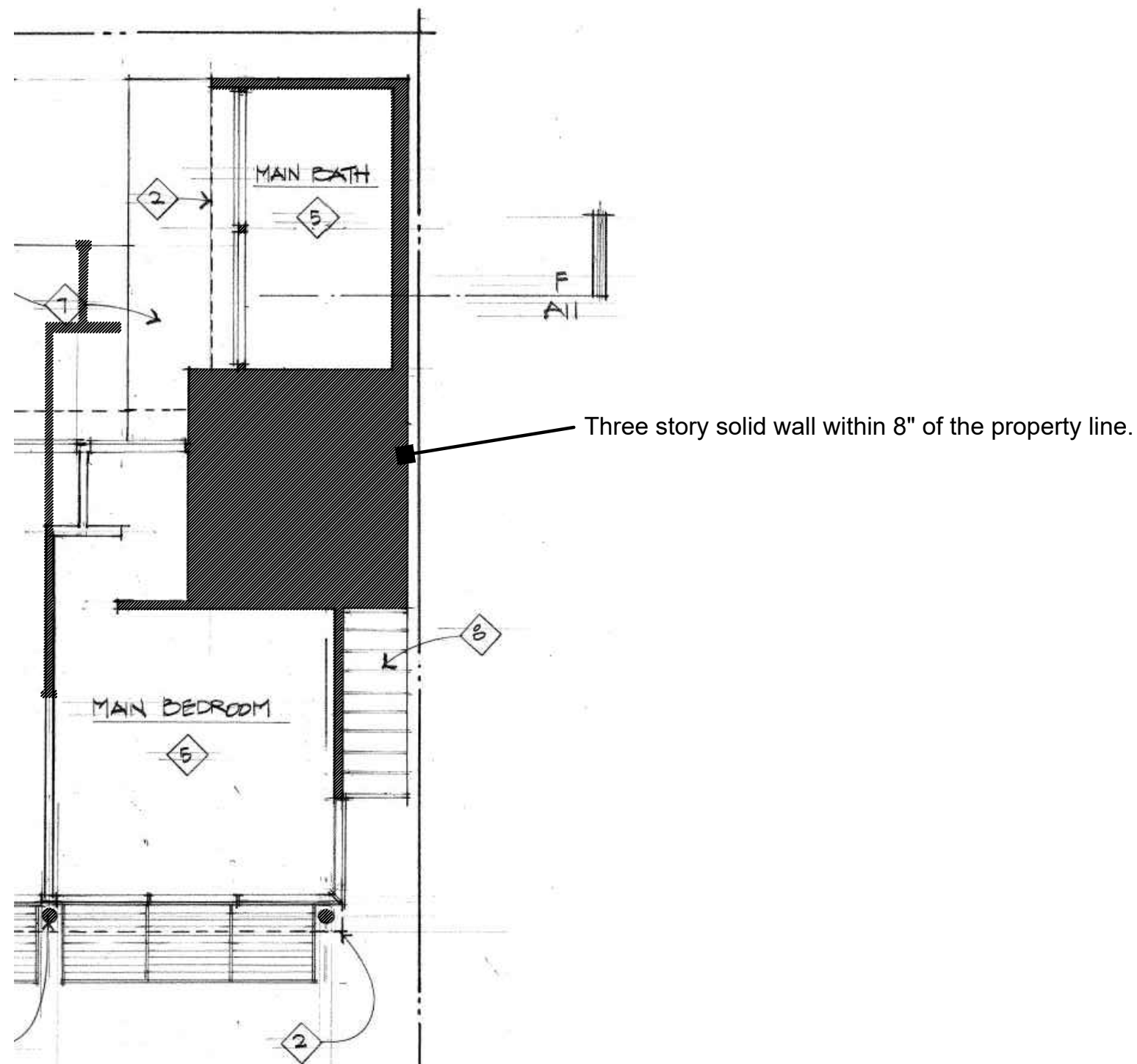
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COMMENT RESPONSES

Sheet:
A0.20
Project No.
2002

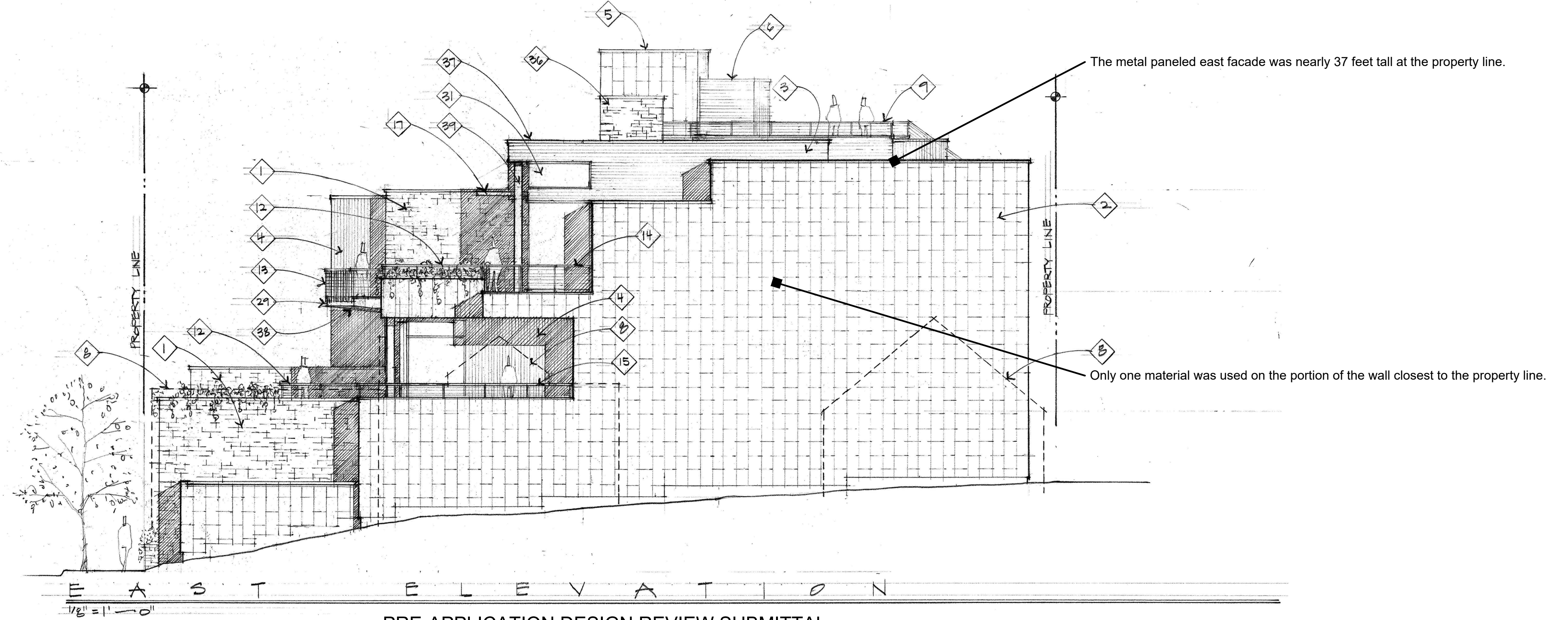
Staff recommends more variation in materials or a step back of the third floor of the building on the east side to reduce the flatness of the facade at that location. - Staff report

Two colors of metal panel, that's all it takes, is to go from black to something, so you don't have to change the material.
- Commission Chair Neil Morrow

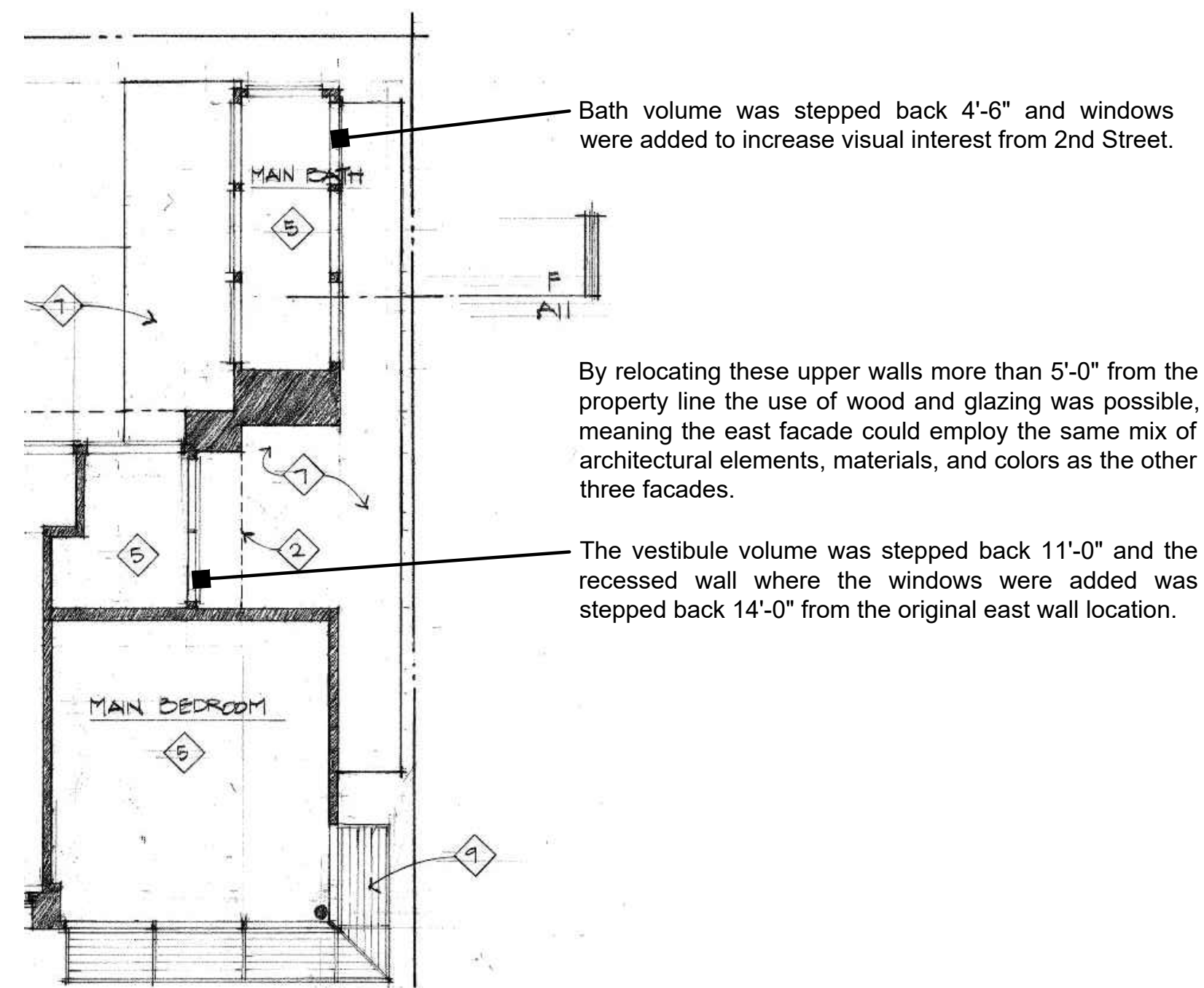
Overall, I don't think the mass of the wall on the interior property line is overbearing. - Commission Vice Chair Brenda Moczygemba



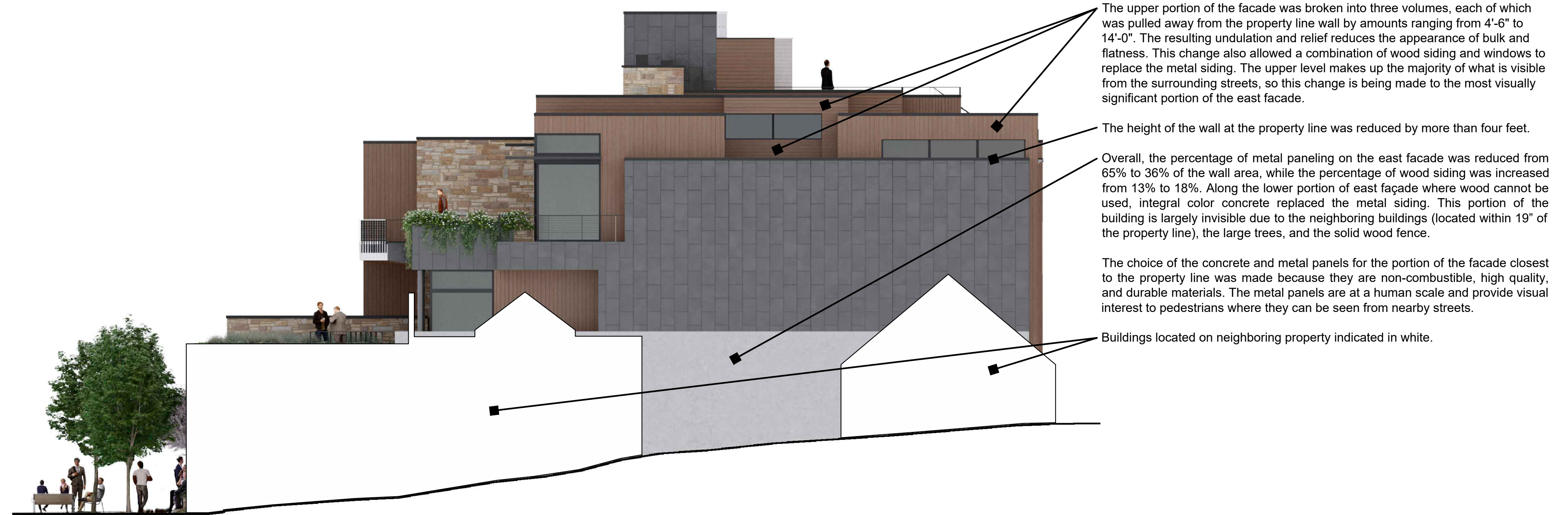
CLERESTORY PLAN
PRE-APPLICATION DESIGN REVIEW



PRE-APPLICATION DESIGN REVIEW SUBMITTAL

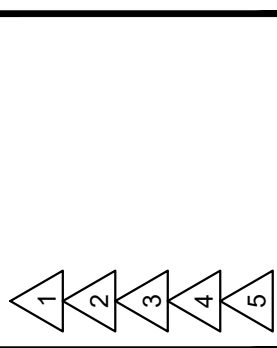
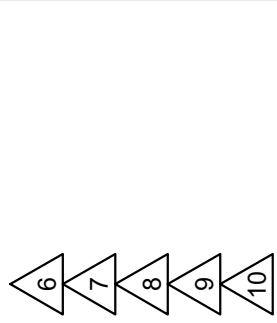
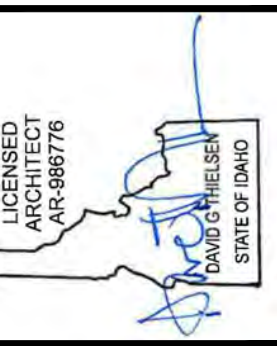


CLERESTORY PLAN
FINAL DESIGN REVIEW



EAST ELEVATION - DESIGN REVIEW SUBMITTAL

1/8" = 1'-0"



Drawn: 10/10/24
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
COMMENT RESPONSES

Sheet:
A0.21
Project No.
2002

All of the wood siding on the northeast corner of the building. There is something about that corner that is a little unsettling. I don't know if it is the jogs in the roof plane. Somehow it's just not very grounded.
 - Commission Vice Chair Brenda Moczygemba

This is just a large plane of glass. - Commission Vice Chair Brenda Moczygemba speaking about the upper level glazing.

I think the roof is kind of flat and straight. - Commission Chair Neil Morrow



PRE-APPLICATION DESIGN REVIEW SUBMITTAL



PRE-APPLICATION DESIGN REVIEW SUBMITTAL



PRE-APPLICATION DESIGN REVIEW SUBMITTAL

The height of the building above Sun Valley Road was taller.

The roofline above the bay window was broken by a vertical step.

The majority of the upper level roof was at the same elevation which created a sense of flatness. The new design of the upper level creates modulation in plan and profile which increases undulation and provides relief from the previous sense of bulk and flatness.

All of the glazing on the upper level was in one plane and was symmetrical about the central circulation core.

Red shaded areas indicate the portions of the upper level that were reduced or redesigned based on Planning and Zoning Commission feedback from the Pre-Application Design Review meeting.

The south wall of the Lynches' bedroom was pulled back from N 1st Avenue to break up the wall plane of the upper level and introduce more modulation to that face. The roof line at the northwest corner was lowered and simplified to bring more solidity to the composition. This also significantly reduced the building's bulk when viewed from Sun Valley Road as the facade is now 2'-0" shorter that it was previously. The simplification of the roof line now emphasizes the modulation, in plan and profile, of the west facade which features bays, recessed areas, balconies, and significant glazing. These elements create a building which yields a human scale pedestrian experience.

The amount of glazing on the upper level has been reduced by 16% with significant areas being replaced by solid wall clad in wood siding to further break up the facade.

The central portions of the facade, adjacent to the stair, were pulled back from the Great Room walls to add modulation. On the Berniers' side, the wall and window in this area were deeply recessed below an overhang. The Lynches' side features a sunshade canopy over the windows.

The height of the Bernier bedroom volume was reduced. The south wall was brought towards N 1st Ave. and a wrap-around sunshade was added to further break up the plane and introduce more articulation to the upper level.



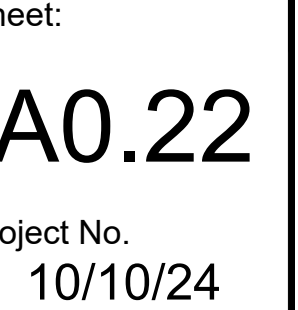
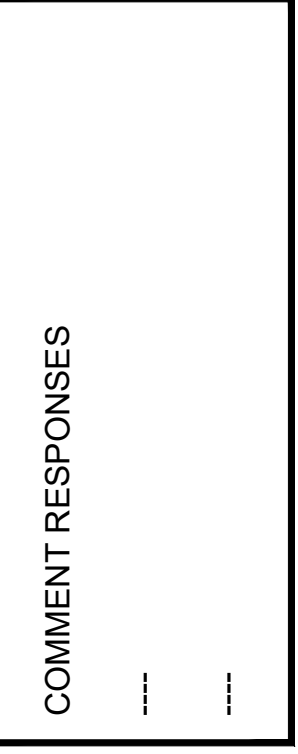
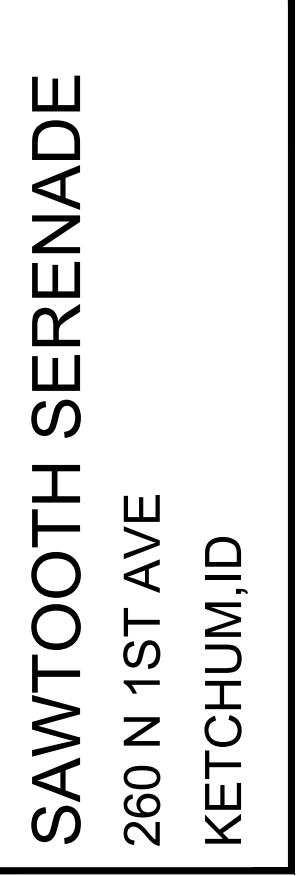
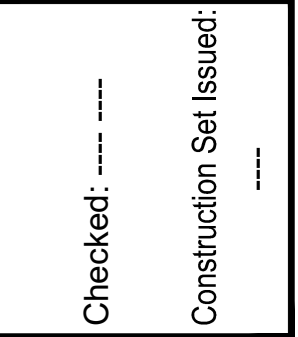
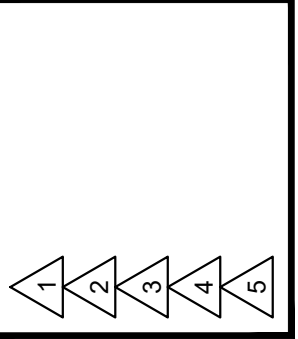
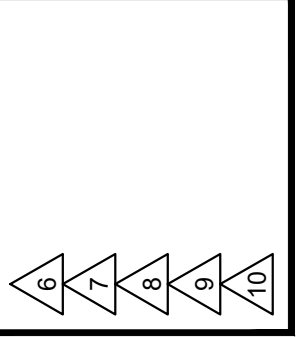
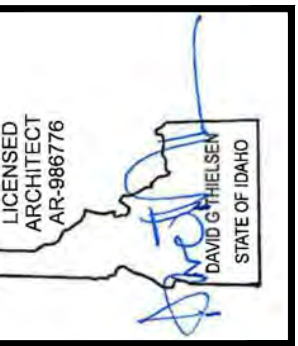
DESIGN REVIEW SUBMITTAL



DESIGN REVIEW SUBMITTAL

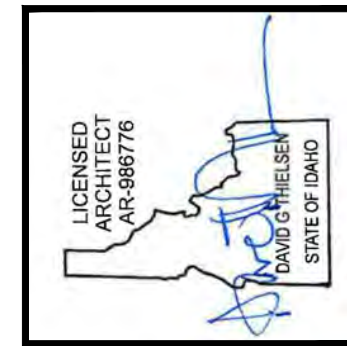
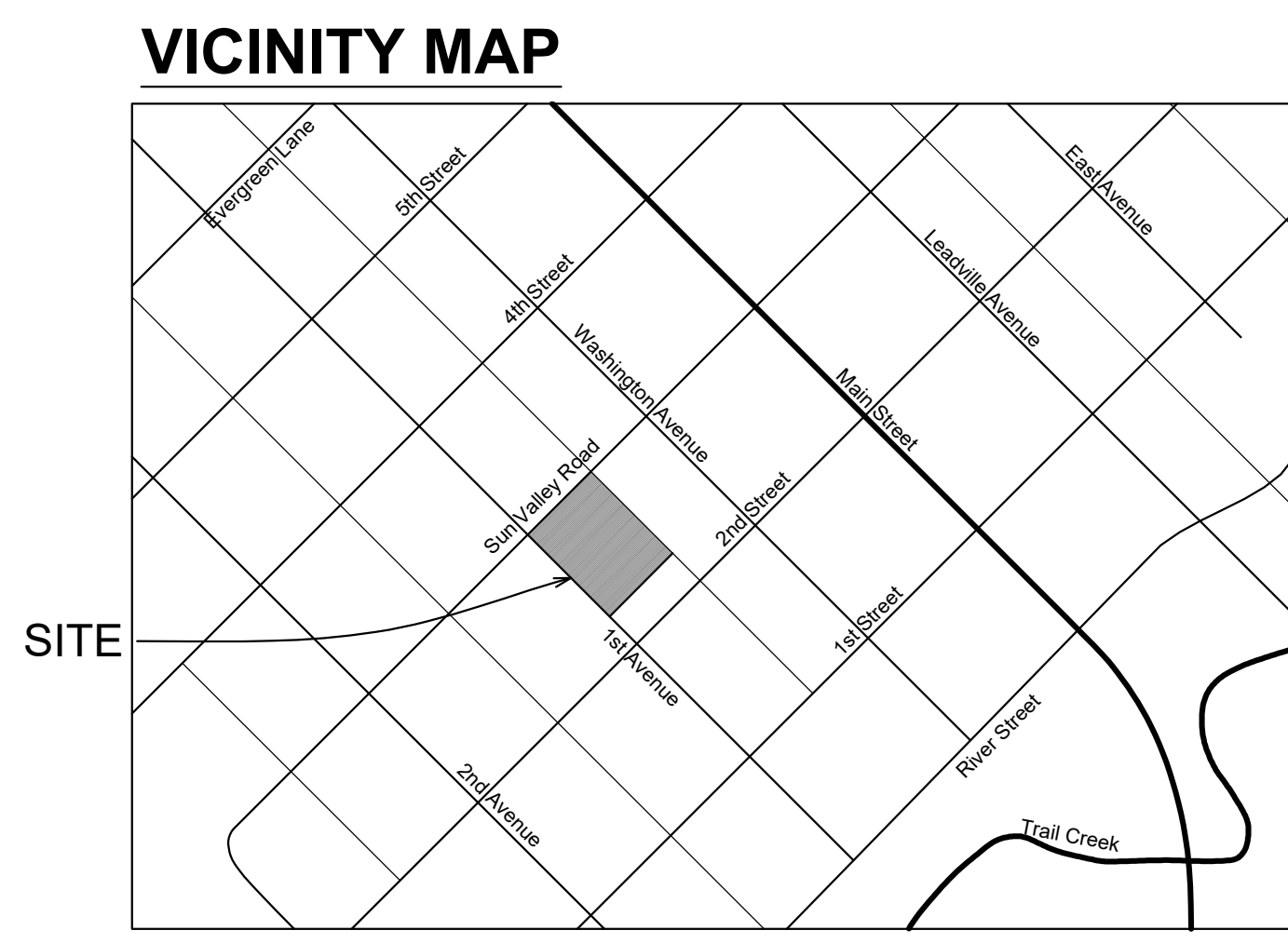
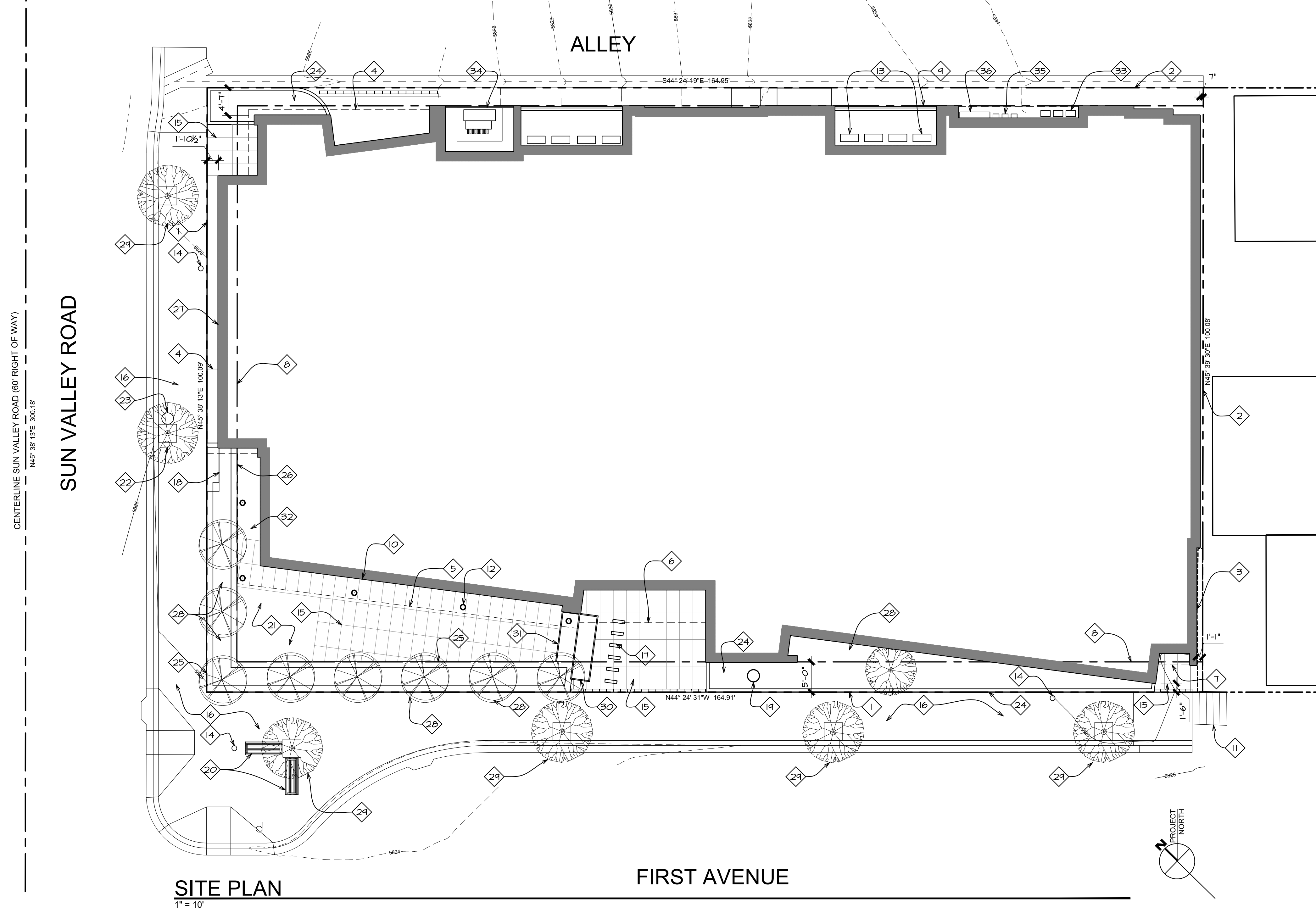


DESIGN REVIEW SUBMITTAL



KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 Line of cantilevered floor above
- 5 Line of cantilevered deck above
- 6 Line of entry canopy above
- 7 Line of roof above
- 8 5' required average street setback
- 9 3' required alley setback
- 10 Line of building footprint
- 11 Existing stairs to remain unaltered.
- 12 Structural steel column with blackened finish, typical.
- 13 Mechanical system condensers screened from public view with horizontal wood screen
- 14 New public street lighting per City of Ketchum regulations and MH Lighting design drawings.
- 15 Large format sintered stone pavers with hydronic snow melt system.
- 16 New public sidewalk and curb/gutter per civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
- 17 Bicycle racks. 2 bicycle racks required per KZC 17.125.060, racks for 6 bicycles meeting KZC 17.96.070.F.1 provided.
- 18 Built-in public bench
- 19 Public art. Free standing sculpture to be selected and purchased by the project owners.
- 20 Fixed, freestanding public bench per City of Ketchum standards
- 21 Artificial turf per Landscape drawings and details.
- 22 Bus stop sign
- 23 Trash can per City of Ketchum standards
- 24 Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
- 25 Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter will start 6" above the public bench on Sun Valley Road. Thus, the top of planter will be 23" above the sidewalk at the public bench on Sun Valley Road, 29" above the sidewalk at the corner of Sun Valley Road and 1st, and 36" above public sidewalk at the entry to Sawtooth Serenade.
- 26 48" tall raised planter containing planting per Landscape drawings. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 48" above public sidewalk.
- 27 "Green wall" frame consisting of freestanding greenscreen panels supported by square steel posts, supporting climbing plants per landscape plans.
- 28 Trees per landscape drawings, typ.
- 29 Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details - typical. Root well and grate per civil drawings, typ.
- 30 48" tall raised plate steel planter with blackened finish
- 31 18" tall raised plate steel planter with blackened finish
- 32 Landscaping per landscape plans
- 33 Natural gas meters per Intermountain Gas Company requirements.
- 34 3-phase 150 KVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
- 35 Electrical meters per Idaho Power requirements.
- 36 Electrical service C.T. can/distribution panel per Idaho Power requirements.



Revised:

6	8	9	10
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Revised:

08/30/22	07/17/23	10/10/24
1	2	3

Drawn: 08/10/22

Checked: _____

Construction Set Issued: _____

Thielsen
A R C H I T E C T S
Kirkland, WA 98033 | Tel 425.828.0333 | Fax 425.828.9376

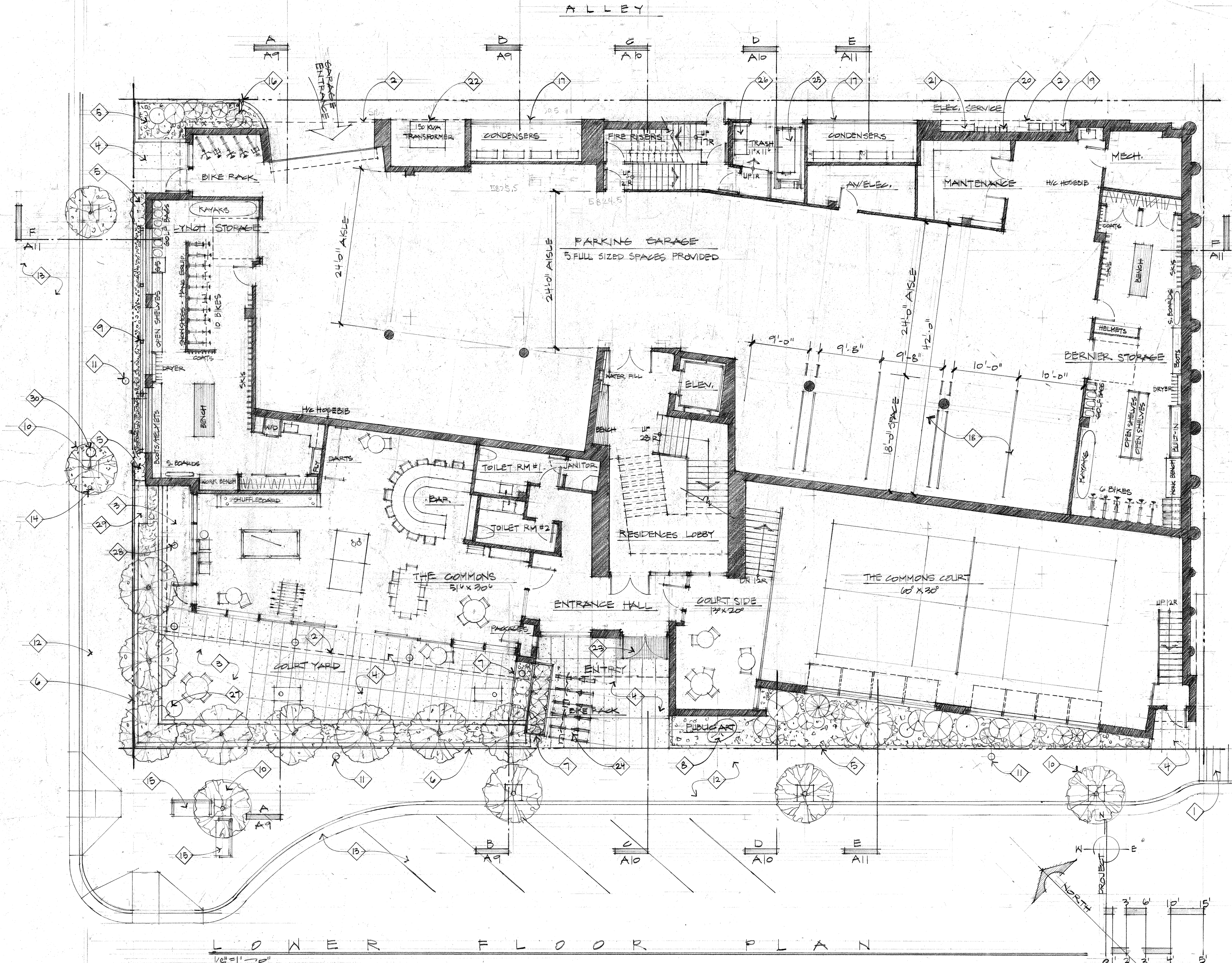
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
SITE PLAN

Sheet:
A1
Project No.
2002

SUN VALLEY ROAD

ALLEY

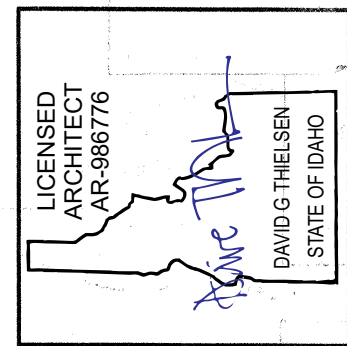


LOWER FLOOR PLAN

FIRST AVENUE NORTH

LOWER FLOOR PLAN KEY NOTES:

- Existing stairs to remain.
- Dashed line indicates line of structure above - typical.
- Artificial turf per Landscape drawings and details.
- Large format Sintered Stone pavers with hydronic snow melt system.
- Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
- Raised stone veneer planter finished with full bed stone veneer face and stone cap containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1", and 27" above public sidewalk at the entry to Sawtooth Serenade.
- Raised plate steel planter with blackened finish.
- Public Art - free standing sculpture to be selected and purchased by the project Owners.
- 'Green wall' frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans. Panels and posts to have a blackened finish.
- Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details - typical.
- New public street lighting per City of Ketchum regulations/details and MH Lighting design drawings.
- New 8'-0" wide public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
- Storm drainage, striped street parking, public signage, and street improvements per Civil Engineering drawings.
- Bus stop - public signage per City of Ketchum and Mountain Rides requirements.
- Public bench - Landscape Forms Generation 50 Traditional Backed Bench with ipe wood and powder-coated "Onyx" finish per City of Ketchum standards and requirements.
- Convex traffic mirror.
- Mechanical system condensers screened from public view with horizontal wood screen.
- Off Street Parking: 4 spaces required per KZC 17.125.040. Total of 5 spaces provided which conform to KZC 17.125.030 for full sized vehicle spaces.
- Natural gas meters per Intermountain Gas Company requirements.
- Electrical meters per Idaho Power requirements.
- Electrical service C.T can/distribution panel per Idaho Power requirements.
- 3-phase 150 kVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
- Stainless steel open grate "grid" recessed mat.
- Landscape Forms MultiCity Bike Racks with ipe wood tops and powder-coated Onyx metal finish. Racks for 2 bicycles are required per KZC 17.125.060. Racks for 6 bicycles meeting KZC 17.96.070.F.1 are provided.
- Garbage Dumpster on glider.
- Recycle bin.
- Manhole for site stormwater drywell access per Civil engineering drawings.
- Structural steel column with blackened finish - typical.
- The top of planter at the north end of Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.
- Public trash receptacle - Landscape Forms Generation 50 Litter with ipe wood and powder-coated "Onyx" finish per City of Ketchum standards and requirements.



Revised: 07/19/2022
07/11/2022
10/10/2021

Drawn: 08/10/2022
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Construction Set Issued:

Thielson
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Project:
SANTOOTH SERENADE
200 FT AVE. NORTH
KETCHUM, IDAHO

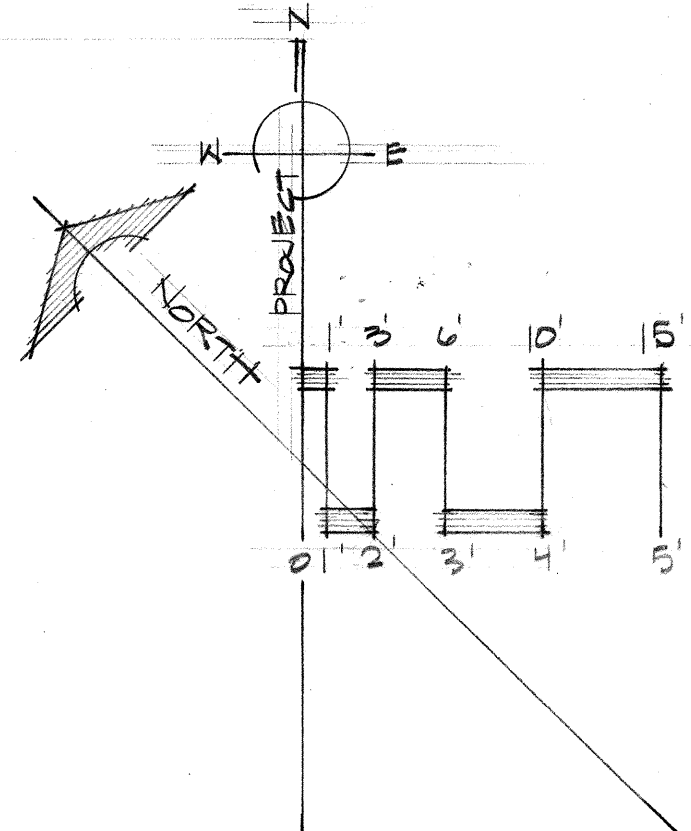
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LOWER FLOOR PLAN

Sheet:
A2
Project No.
2002



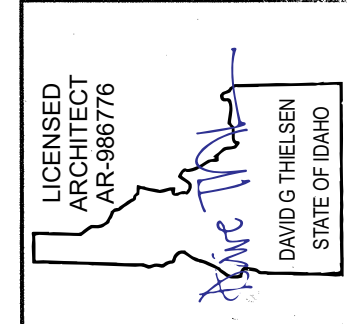
MIDDLE FLOOR PLAN

1/8" = 1'-0"



MIDDLE FLOOR PLAN KEY NOTES:

- Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
- Dashed line indicates the line of structure above - typical.
- Structural steel column with blackened finish - typical.
- Large format Sintered Stone pavers on pedestals with hydronic snow melt system - typical.
- Guard Rail: Open horizontal steel cable guard rail with fascia-mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to decking surface. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
- Guard Rail: Solid guard rail - see Elevations for cladding material. The finished guard rail height shall be a minimum of 36" above the finished decking surface (42" high @ BBQ Decks).
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to top of the parapet wall. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
- "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards. Roof pitch to be 3/12.
- Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain stormwater, planted with Sedum mix per Landscape plans and details.
- Raised planter with plantings per the Landscape plans.
- Sloped glazing below.



Revised:
08/17/2022
07/17/2023
10/10/2024

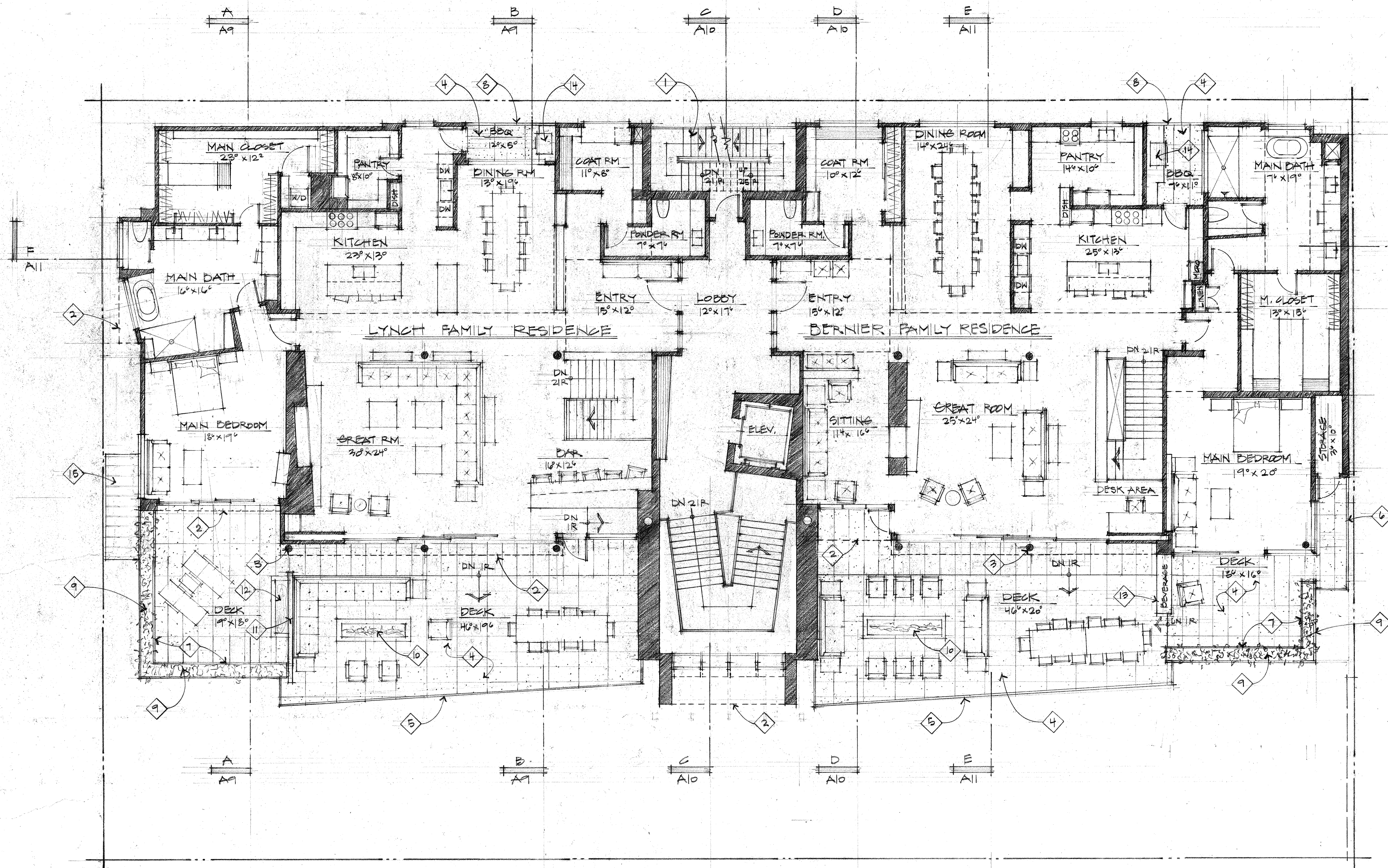
Drawn: D.G. Thielson
08/10/2022
Checked: [Signature]
Construction Set Issued: [Signature]

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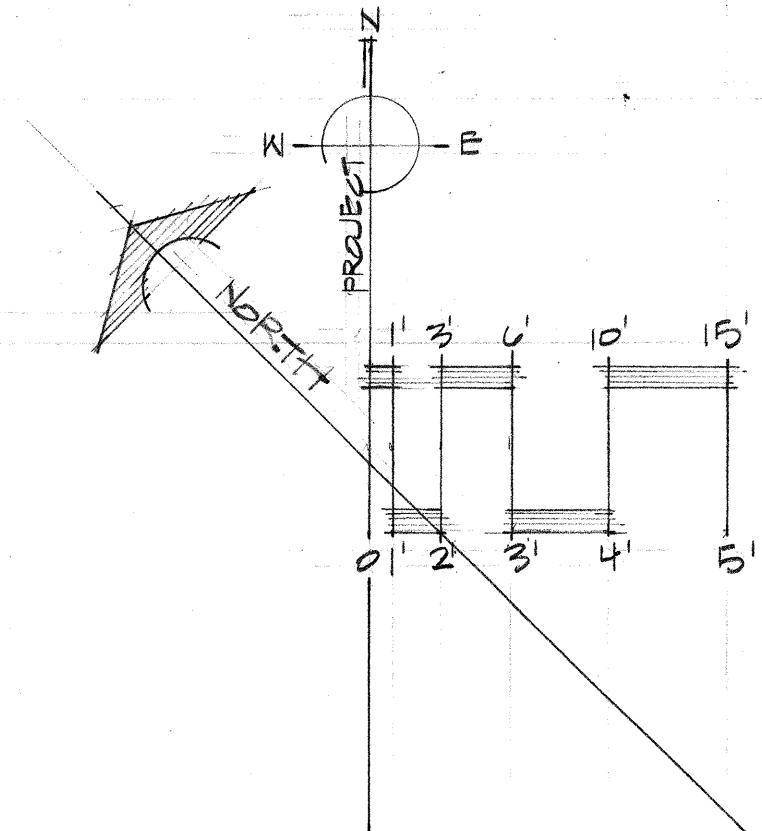
Project:
SAWTOOTH SERENADE
260 1ST AVE NORTH
KETCHUM, IDAHO

Sheet Title:
MIDDLE FLOOR PLAN

Sheet:
A3
Project No.
2002



UPPER FLOOR PLAN
 1/8" = 1'-0"



UPPER FLOOR PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Dashed line indicates the line of roof overhang above - typical.
3. Structural steel column with blackened finish - typical.
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system - typical.
5. Guard Rail: Open horizontal steel cable guard rail with fascia-mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
6. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
7. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
8. Guard Rail: Solid guard rail - see Elevations for cladding material. The finished guard rail height shall be a minimum of 36" above the finished decking surface (42" high @ BBO Decks).
9. Raised planter with planting per the Landscape plans.
10. Natural gas firepit.
11. Divider wall clad with 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global. The top of the wall to be 54" above the Upper Floor finished floor.
12. Reflecting pool water feature.
13. Exterior cabinet with stone countertop 36" above upper finished floor elevation. 12" high backsplash on the north, east, and south face with integral LED strip down-light cap per Lighting Design Drawings.
14. Natural gas BBQ built into exterior cabinetry with stone countertop.
15. "Magna-Loc 180" mechanically seamed structural standing seam metal roofing with 18" wide "Striations" profile panels and 2" high double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails) on roof below. Roof pitch to be 1/2:12.

LICENSED ARCHITECT
 AR-988776
 DAVID G. THIELSEN
 STATE OF IDAHO

Project:
 10/29/2022
 10/11/2023
 10/10/2024

Drawn:
 08/10/2022

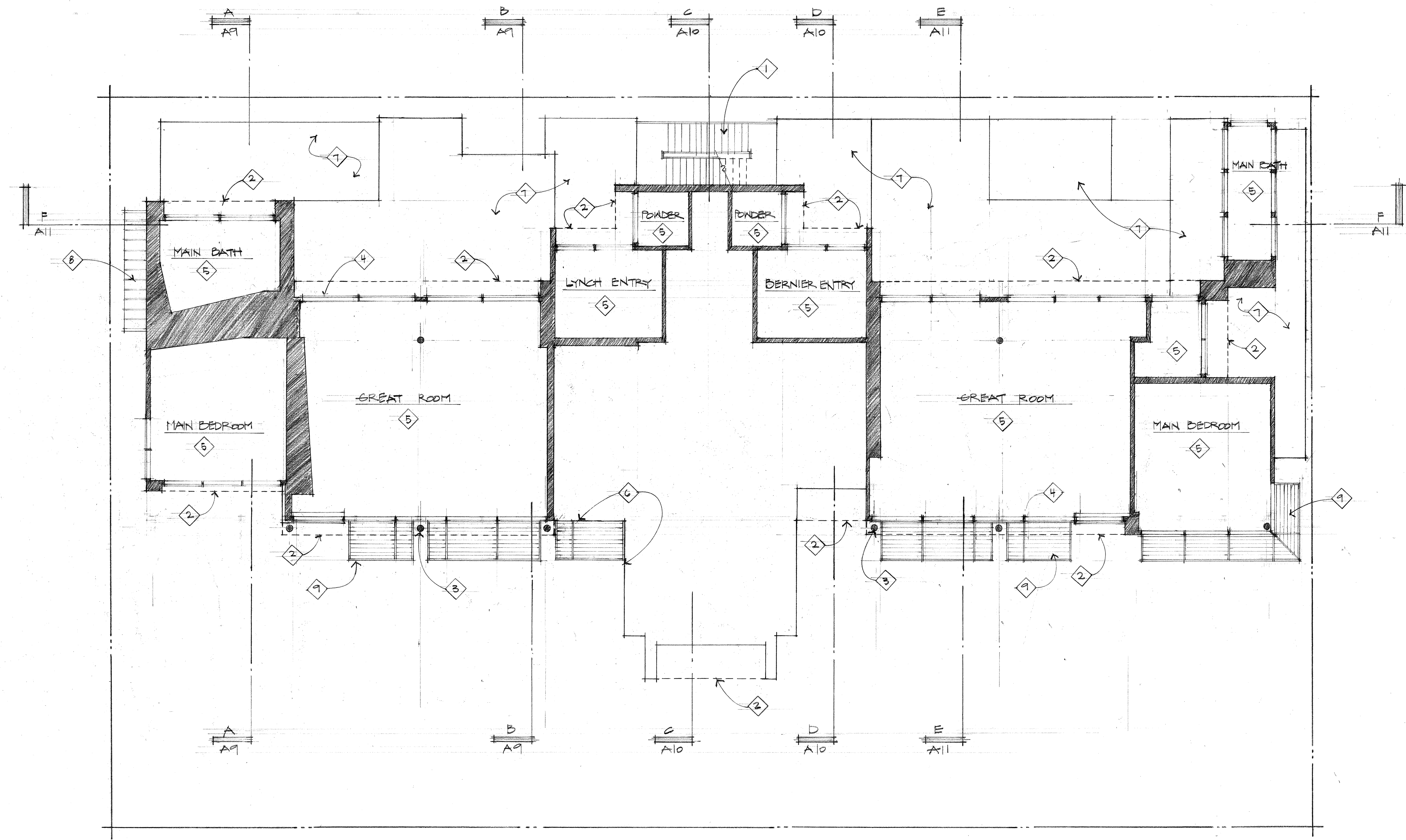
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 Construction Set Used:

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Project:
 SAWTOOTH SERENADE
 260 91 AVE. NORTH
 KETCHUM, IDAHO

Sheet Title:
 UPPER FLOOR PLAN

Sheet:
A4
 Project No.
 2002

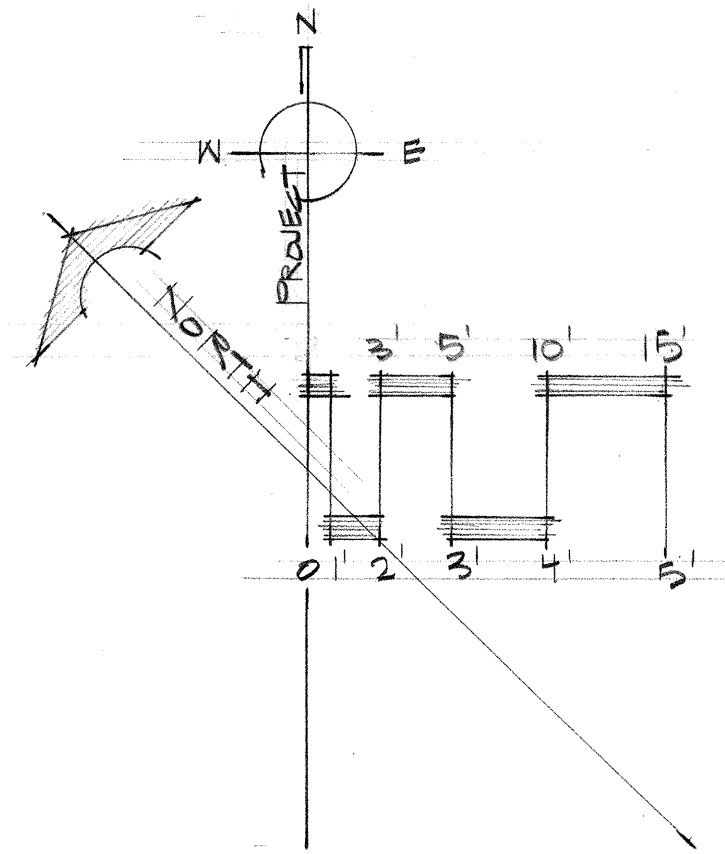


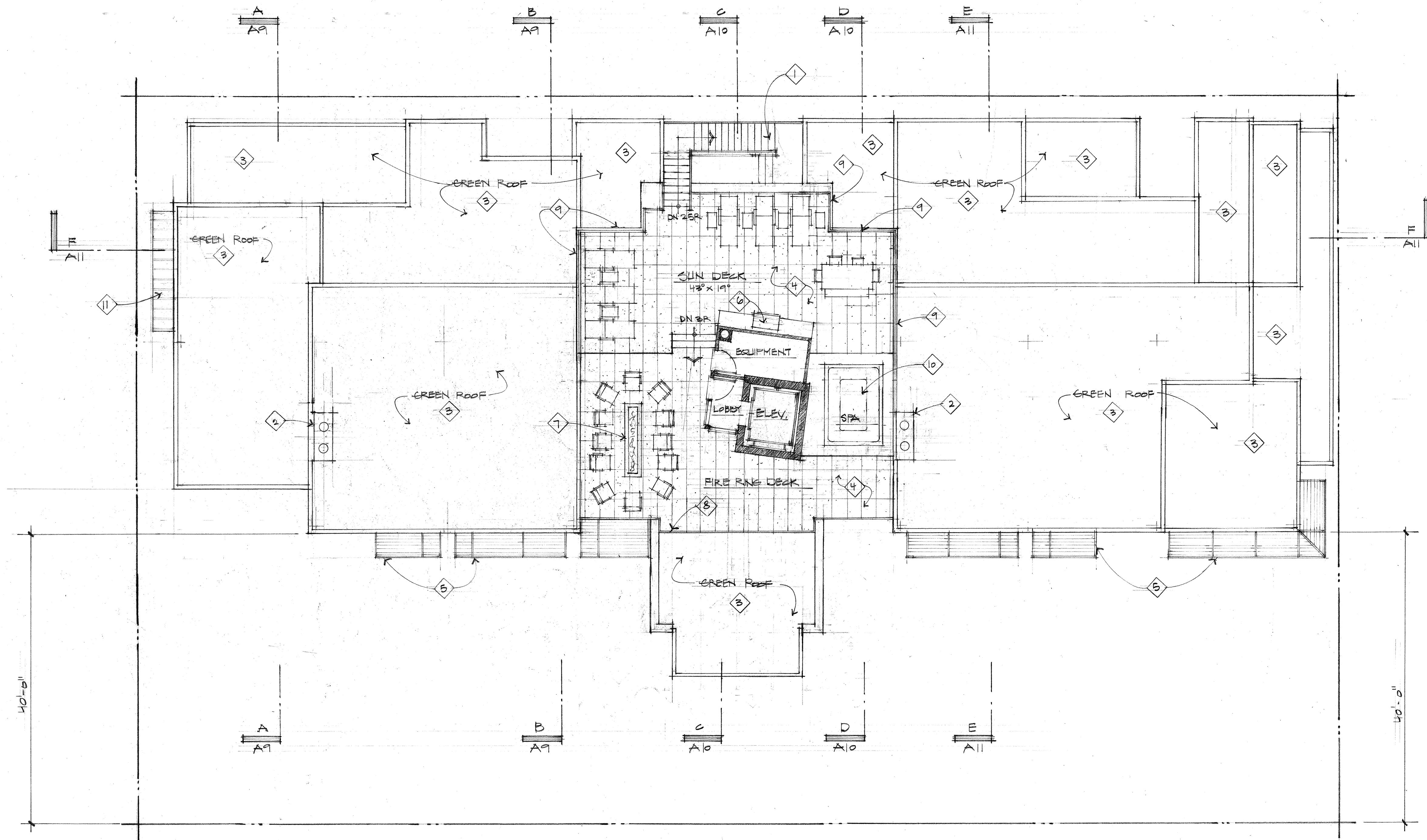
C L E R E S T O R Y P L A N

1/8" = 1'-0"

CLERESTORY PLAN KEY NOTES:

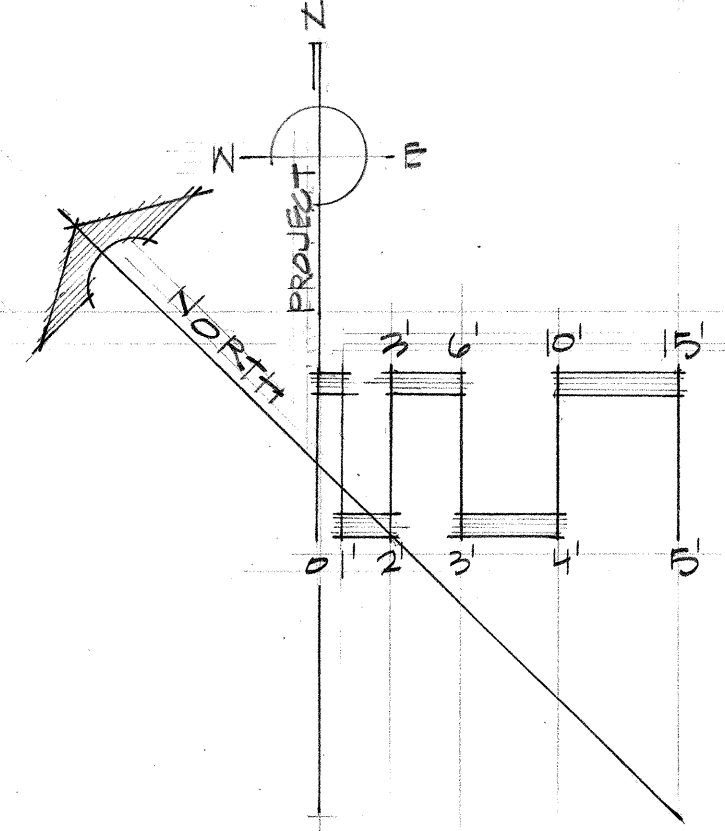
1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Dashed line indicates line of roof overhang above - typical.
3. Structural steel column with blackened finish - typical.
4. Thermally broken aluminum framed windows with blackened finish - typical.
5. Interior living space with clerestory windows.
6. Line indicates outer perimeter of wall of upper floor living space without clerestory windows.
7. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details. See the Roof Deck Plan for the full extent of the green roof at the upper roof locations.
8. "Magna-Loc 180" mechanically seamed structural standing seam metal roofing with 18" wide "Striations" profile panels and 2" high double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails) on roof below. Roof pitch to be 1/2:12.
9. Louvered steel sun screen with blackened finish below - typical.





R O O F D E C K P L A N

1/8" = 1'-0"



ROOF DECK PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Full-bed stone veneered masonry chimney.
3. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details. Typical at all areas noted as "Green Roof".
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
5. Louvered steel sun screen below with blackened finish - typical.
6. Natural gas BBQ built into exterior cabinetry with stone countertop.
7. Natural gas fire ring.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck. Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
11. "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be 3/12.

LICENSED ARCHITECT
 44-068776
 DANIEL THIELSEN
 STATE OF IDAHO

Revised:
 09/20/2022
 07/17/2023
 10/10/2024

Drawn:
 08/10/2022
 Checked:
 Construction Set Issued:

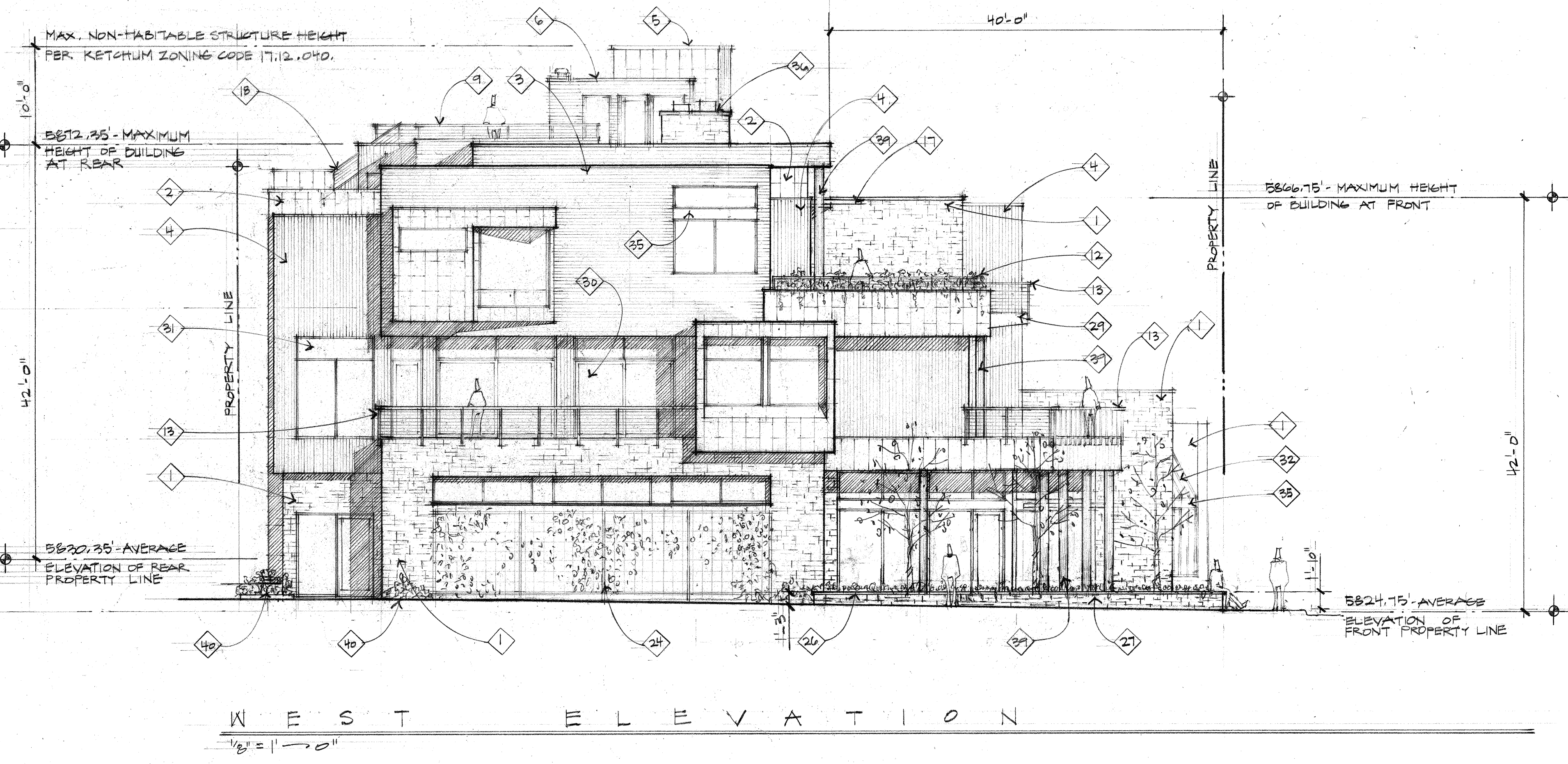
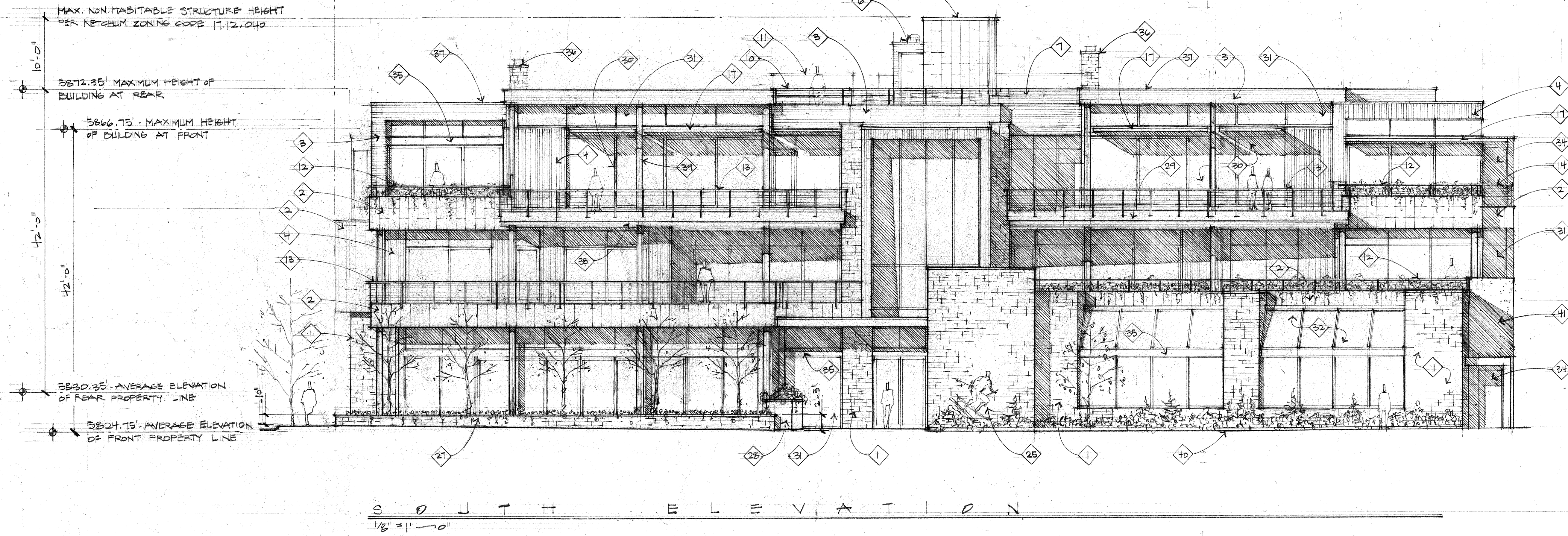
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 A R C H I T E C T S
 Kirkland, WA 98033 | Tel: 425.828.0333 | www.thielsen.com

Project:
 SAWTOOTH SERENADE
 200 1ST AVE, NORTH
 KETCHUM, IDAHO

Sheet Title:
 ROOF DECK PLAN

Sheet:

 Project No.
 2002



EXTERIOR ELEVATION KEY NOTES:

1. Stone Veneer: Full-bed stone veneer placed in a coursed Ashlar pattern (cut all 4 sides, random Squares & Recs) consisting of 2 1/4", 4", 5", 7 1/4", and 10 1/2" stone heights set in a random mix of field and accent stones, colors, sizes, and lengths. Stone wall caps shall be 2" thick slabs with "Rock Face" on all exposed vertical edges and "Thermal" finish on top face. Typical.
2. Metal Siding: 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global - typical.
3. Horizontal Wood Siding: Custom milled stained cedar tongue and groove siding with a square 1/4" x 1/4" reveal line between board faces.
4. Vertical Wood Siding: Custom milled stained cedar tongue and groove siding with a square 1/4" x 1/4" reveal line between board faces.
5. Non-habitable elevator enclosure with metal siding per Key Note #2. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of elevator enclosure non-habitable roof to be 10'-0" above maximum building height.
6. Non-habitable structure with horizontal wood siding per Key Note #3. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of non-habitable roof to be 6'-6" above maximum building height.
7. Finished surface of Sun Deck beyond.
8. Dashed line indicates the approximate outline of adjacent buildings on 2nd Street.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard rail beyond, see Key Note #9.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
14. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
15. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on parapet wall. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
16. Guard Rail: Minimum of 36" high solid guard rail and sheet metal cap (42" high @ BBQ Decks).
17. Louvered steel sun screen with blackened finish - typical.
18. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
19. 3-phase transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen. Screen outline indicated as dashed for clarity.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T can/distribution panel per Idaho Power requirements.
22. Natural gas meters per Intermountain Gas Company requirements.
23. Mechanical system condensers screened from public view with horizontal wood fence.
24. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
25. Location of freestanding public art sculpture to be selected and purchased by the project Owners.
26. The top of planter at the north end on Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.
27. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
28. Raised plate steel planter with blackened finish.
29. Self-healing zinc sheet metal fascia flat panels manufactured by Metaltech Global Steel.
30. Thermally broken aluminum framed sliding doors with blackened finish - typical.
31. Thermally broken aluminum framed windows with blackened finish - typical.
32. Sloped glazing in thermally broken aluminum frames with blackened finish.
33. Insulated and weather-stripped rolling steel overhead door with blackened finish.
34. Solid insulated metal door, finish to match window/door frames.
35. Metal trim to match windows/doors - typical.
36. Masonry chimney with termination per IBC 2113.9. Chimney finish to be full bed stone veneer face per Key Note #1.
37. Sheet metal flashing caps with finish to match metal siding per Key Note #2 - typical.
38. Stained Cedar 1x4 tongue and groove wood soffit.
39. Structural steel column with blackened finish - typical.
40. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
41. Cast-in-place concrete wall with integral color.

LICENSED ARCHITECT AR-86676
 DAVID C. THIELSEN
 STATE OF IDAHO

Revised: 01.20.2022
 01.17.2023
 10.10.2024

Drawn: DB 10/2022
 Checked:

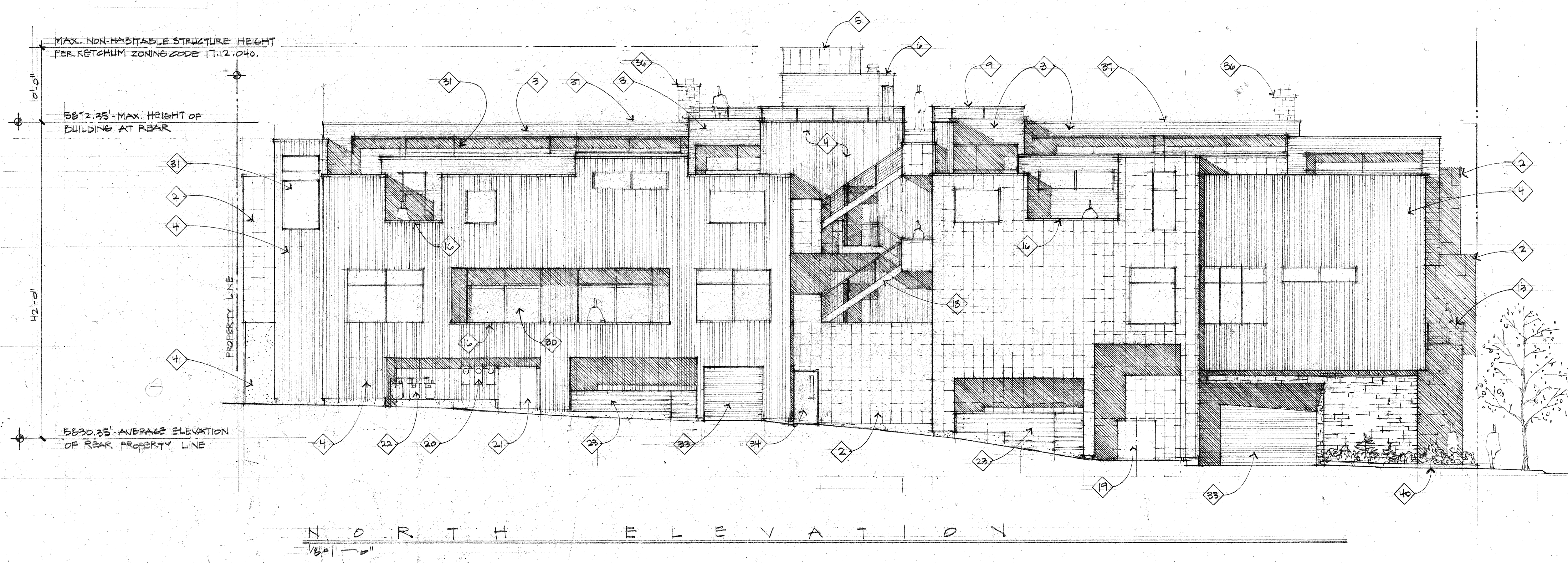
Construction Set Issued:
 Kirkland, WA 98033 Tel: 425-828-0333 www.thielson.com

Thielson
 ARCHITECTS

Project: SANTOOTH SERENADE
 200 1ST AVE. NORTH
 KETCHUM, IDAHO

Sheet Title: BUILDING ELEVATIONS

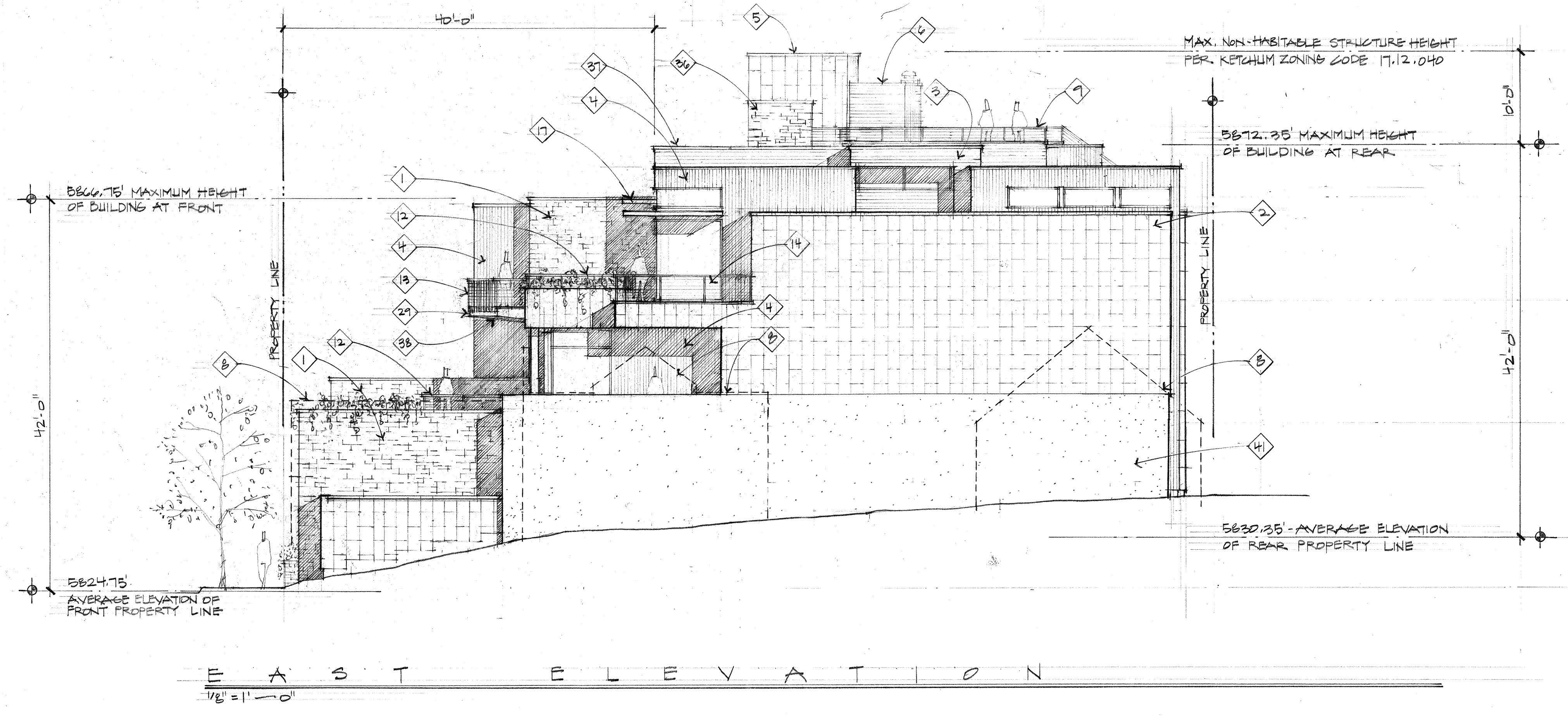
Sheet: **A7.1**
 Project No. 2002



N O R T H E L E V A T I O N
1/8" = 1' - 0"

EXTERIOR ELEVATION KEY NOTES:

1. Stone Veneer: Full-bed stone veneer placed in a coursed Ashlar pattern (cut all 4 sides, random Squares & Recs) consisting of 2 1/4", 4", 5", 7 1/4", and 10 1/2" stone heights set in a random mix of field and accent stones, colors, sizes, and lengths. Stone wall caps shall be 2" thick slabs with "Rock Face" on all exposed vertical edges and "Thermal" finish on top face. Typical.
2. Metal Siding: 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global - typical.
3. Horizontal Wood Siding: Custom milled stained cedar tongue and groove siding with a square 1/4" x 1/4" reveal line between board faces.
4. Vertical Wood Siding: Custom milled stained cedar tongue and groove siding with a square 1/4" x 1/4" reveal line between board faces.
5. Non-habitable elevator enclosure with metal siding per Key Note #2. Non-habitable structures located on building roof tops. Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of elevator enclosure non-habitable roof to be 10'-0" above maximum building height.
6. Non-habitable structure with horizontal wood siding per Key Note #3. Non-habitable structures located on building roof tops. Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of non-habitable roof to be 6'-6" above maximum building height.
7. Finished surface of Sun Deck beyond.
8. Dashed line indicates the approximate outline of adjacent buildings on 2nd Street.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck; Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5' above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard rail beyond, see Key Note #9.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
14. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
15. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on parapet. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
16. Guard Rail: Minimum of 36" high solid guard rail and sheet metal cap (42" high @ BBQ Decks).
17. Louvered steel sun screen with blackened finish - typical.
18. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
19. 3-phase transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen. Screen outline indicated as dashed for clarity.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T. can/distribution panel per Idaho Power requirements.
22. Natural gas meters per Intermountain Gas Company requirements.
23. Mechanical system condensers screened from public view with horizontal wood fence.
24. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
25. Location of freestanding public art sculpture to be selected and purchased by the project owners.
26. The top of planter at the north end on Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.
27. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
28. Raised plate steel planter with blackened finish.
29. Self-healing zinc sheet metal fascia flat panels manufactured by Metaltech Global Steel.
30. Thermally broken aluminum framed sliding doors with blackened finish - typical.
31. Thermally broken aluminum framed windows with blackened finish - typical.
32. Sloped glazing in thermally broken aluminum frames with blackened finish.
33. Insulated and weather-stripped rolling steel overhead door with blackened finish.
34. Solid insulated metal door, finish to match window/door frames.
35. Metal trim to match windows/doors - typical.
36. Masonry chimney with termination per IBC 2113.9. Chimney finish to be full bed stone veneer face per Key Note #1.
37. Sheet metal flashing caps with finish to match metal siding per Key Note #2 - typical.
38. Stained Cedar 1x4 tongue and groove wood soffit.
39. Structural steel column with blackened finish - typical.
40. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
41. Cast-in-place concrete wall with integral color.



E A S T E L E V A T I O N
1/8" = 1' - 0"

LICENSED ARCHITECT
ARCHITECT NO. 148876
DAVID O. THIELSEN
STATE OF IDAHO

Drawn: 08/10/2022
Checked: 07/11/2023
10/10/2024

Drawn: 08/10/2022
Checked: 07/11/2023
10/10/2024

ThielSEN
ARCHITECTS
Kirkland, WA 98033 | Tel: 425.828.0333 | www.thielSEN.com

Project: SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM IDAHO

Sheet Title: BUILDING ELEVATIONS

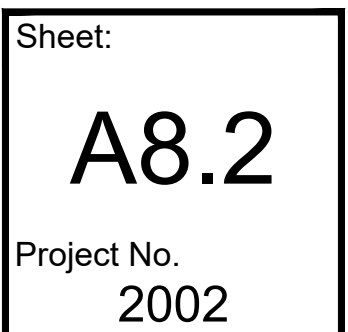
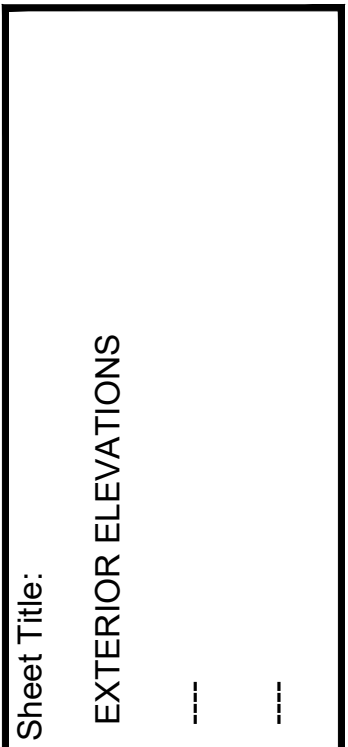
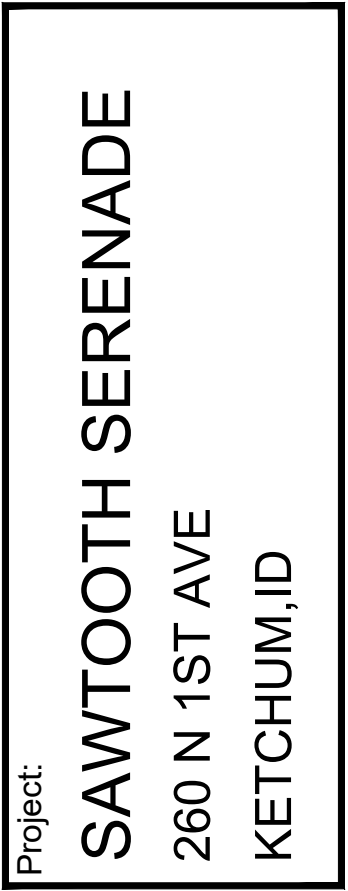
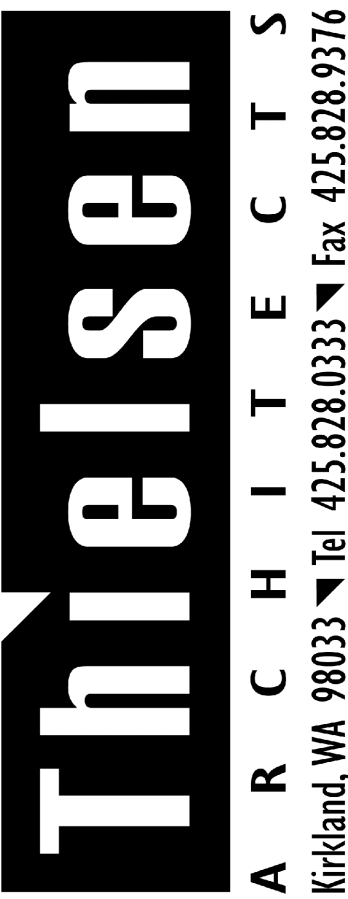
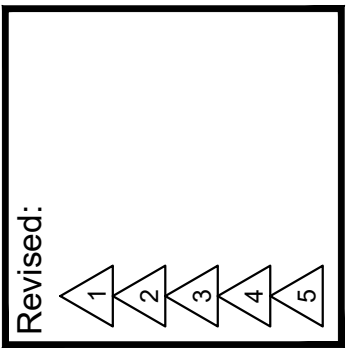
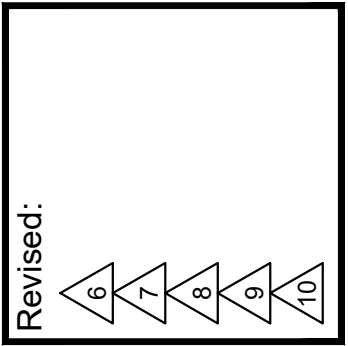
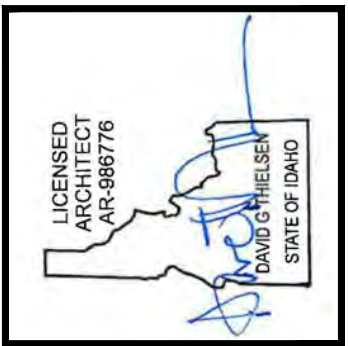
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Project No. 2002

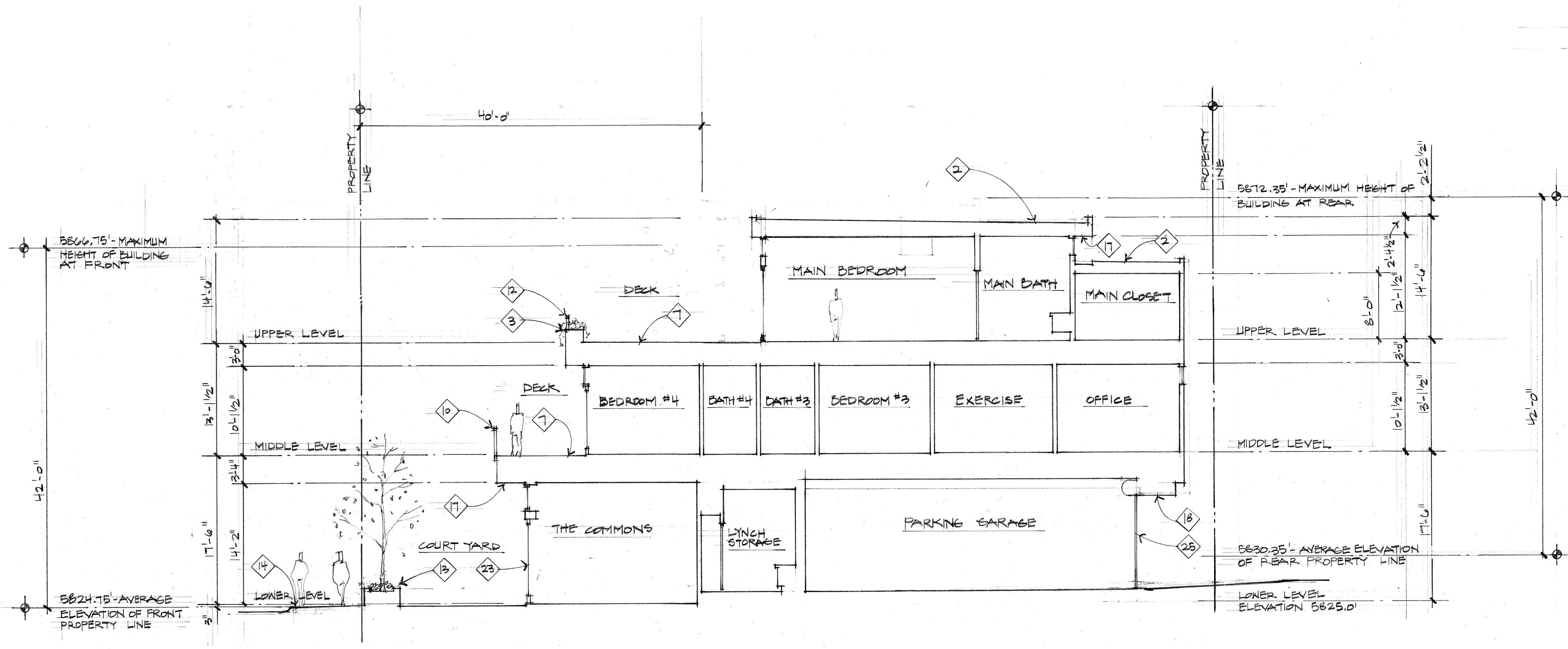


NORTH ELEVATION
1/8" = 1'-0"

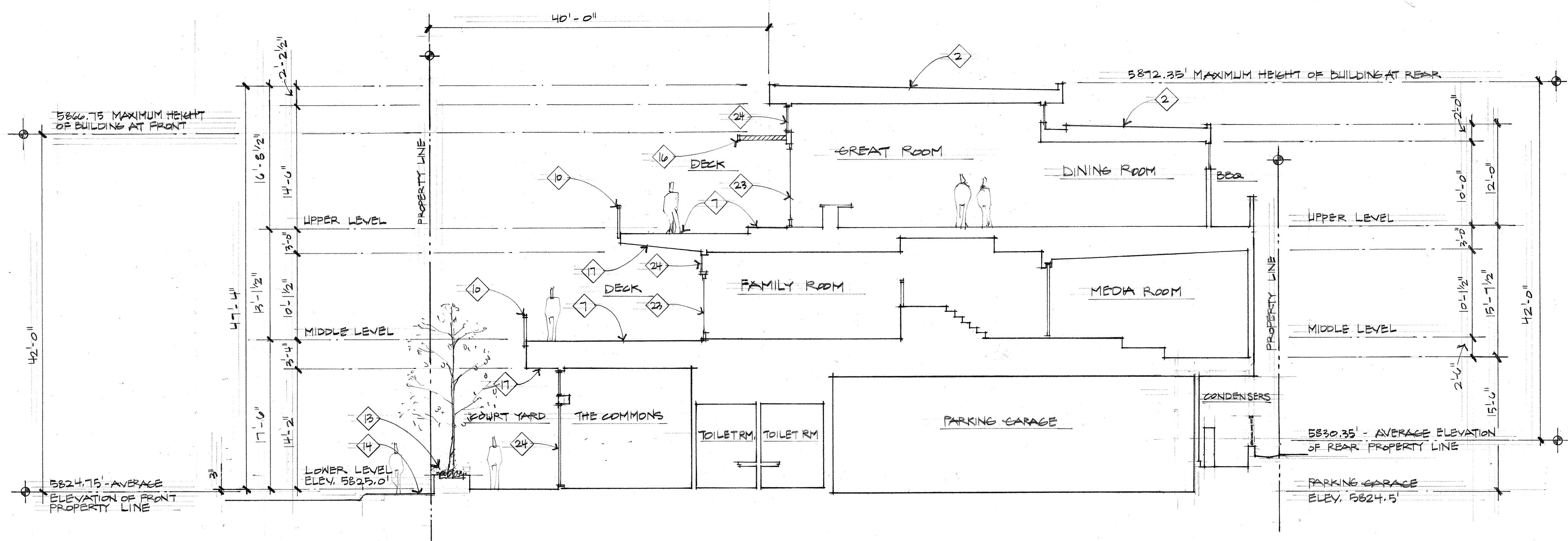


EAST ELEVATION
1/8" = 1'-0"





SECTION A
1/8" = 1'-0"



SECTION B
1/8" = 1'-0"

BUILDING SECTION KEY NOTES:

- Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
- Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
- Raised planter with plantings per the Landscape plans.
- "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
- Landscape planting per the Landscape plans within +/- 6" high raised 6" concrete curb to contain soil and mulch.
- Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
- Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wallcap above maximum height of building at the rear = 25%, transparent open rail = 75%.
- Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Raised stone veneer planter finished with full bed stone veneer face and stone cap containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15' above the sidewalk. Thus, the top of planter will be 22' above the sidewalk at the corner of Sun Valley Road and 1st, and 27' above public sidewalk at the entry to Sawtooth Serenade.
- New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
- "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant, manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be 1/2:12.
- Louvered steel sun screen with blackened finish - typical.
- Stained Cedar 1x4 tongue and Groove wood soffit - typical at all roof and deck soffits.
- Stone slab soffit at full bed stone veneer.
- Horizontal wood fence to screen the mechanical system condensers from public view.
- Guard Rail: Minimum of 36" high solid guard rail clad with metal siding.
- Key Note not used.
- Stainless steel open grate "grid" recessed mat.
- Thermally broken aluminum framed sliding doors with blackened finish - typical.
- Thermally broken aluminum framed windows with blackened finish - typical.
- Insulated and weather-stripped rolling steel overhead door with blackened finish.
- Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
- Sloped glazing in thermally broken aluminum frames with blackened finish.
- Metal soffit to match metal siding.
- Mechanical system condensers.



Project:
01/30/2022
01/17/2023
10/10/2024

Drawn:
PG - 10-2022
Checked:
Construction Set Issued:

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Kirkland, WA 98033 | Tel: 425.828.0333 | www.thielson.com

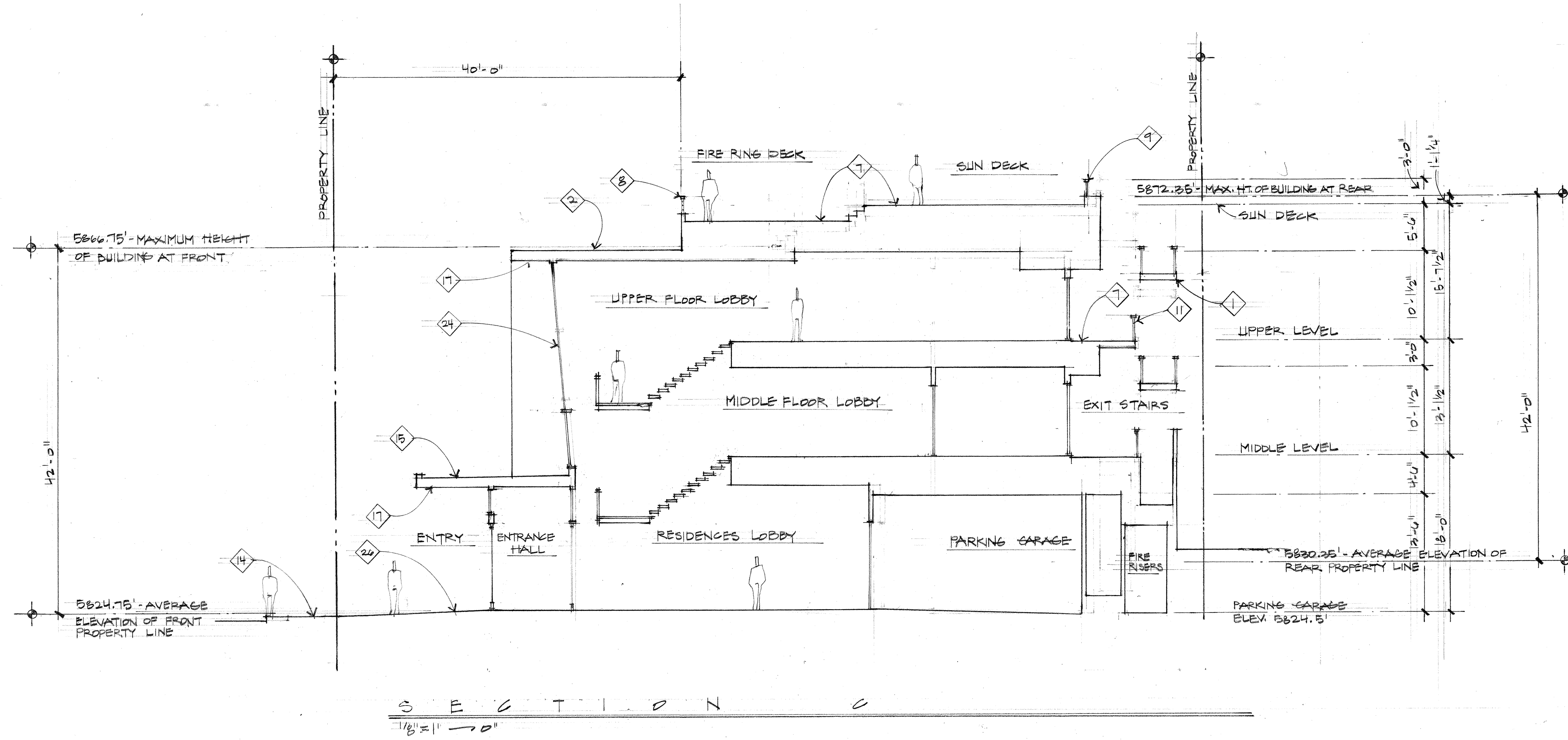
Project:
SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title:
BUILDING SECTIONS

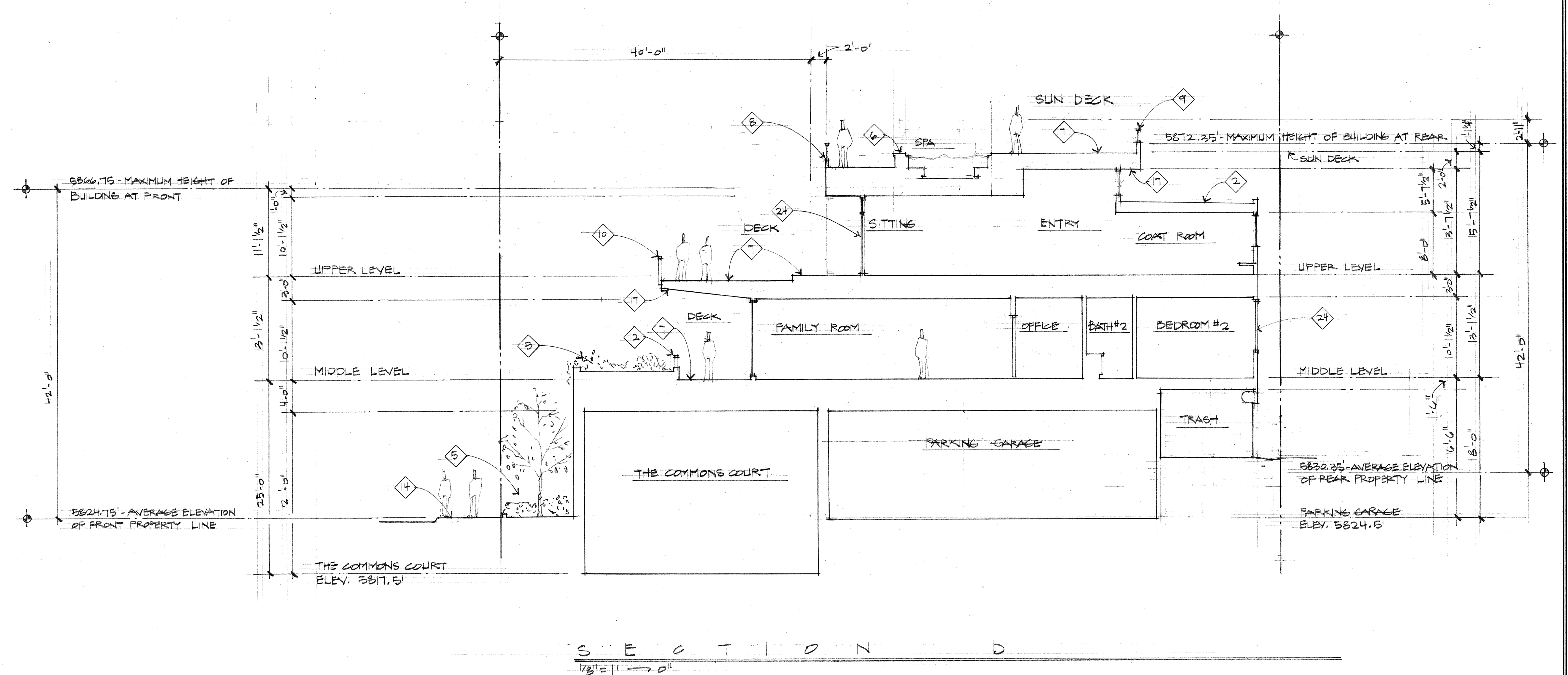
Sheet:
A9
Project No.
2002

BUILDING SECTION KEY NOTES:

- Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
- Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
- Raised planter with plantings per the Landscape plans.
- "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
- Landscape planting per the Landscape plans within +/- 6" high raised 6" concrete curb to contain soil and mulch.
- Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
- Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 26%, transparent open rail = 75%.
- Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Raised stone veneer planter finished with full bed stone veneer face and stone cap containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15' above the sidewalk. Thus, the top of planter will be 22' above the sidewalk at the corner of Sun Valley Road and 1st, and 27' above public sidewalk at the entry to Sawtooth Serenade.
- New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
- "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant, manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be 1/2:12.
- Louvered steel sun screen with blackened finish - typical.
- Stained Cedar 1x4 tongue and groove wood soffit - typical at all roof and deck soffits.
- Stone slab soffit at full bed stone veneer.
- Horizontal wood fence to screen the mechanical system condensers from public view.
- Guard Rail: Minimum of 36" high solid guard rail clad with metal siding.
- Key Note not used.
- Stainless steel open grate "grid" recessed mat.
- Thermally broken aluminum framed sliding doors with blackened finish - typical.
- Thermally broken aluminum framed windows with blackened finish - typical.
- Insulated and weather-stripped rolling steel overhead door with blackened finish.
- Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
- Sloped glazing in thermally broken aluminum frames with blackened finish.
- Metal soffit to match metal siding.
- Mechanical system condensers.



SECTION
1/8" = 1'-0"



SECTION
1/8" = 1'-0"

LICENSED ARCHITECT
DAVID G. THIELSEN
STATE OF WASH.

Revised:
01/30/2022
07/17/2023
10/10/2024

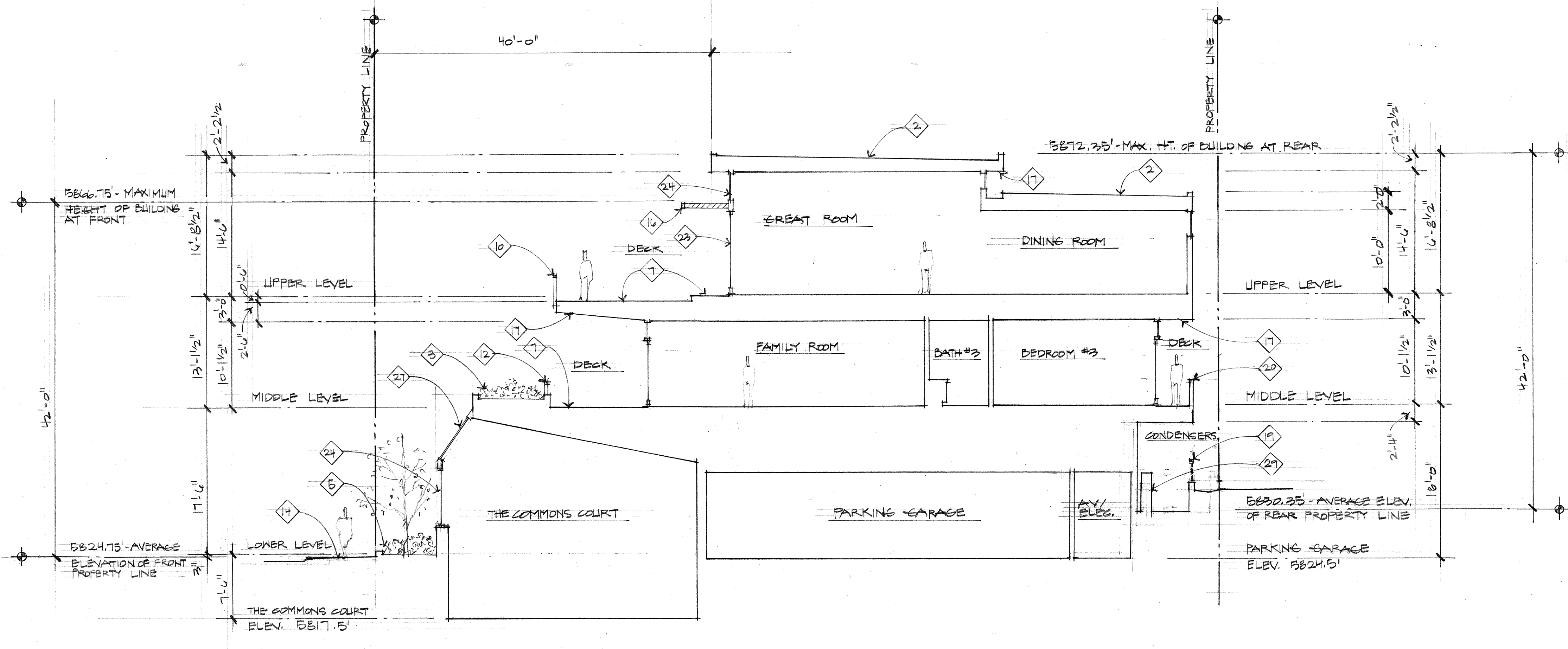
Drawn: DS 10/2022
Checked:
Construction Set Issued:

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Kirkland, WA 98033 | Tel: 425.828.0333 | www.thielsen.com

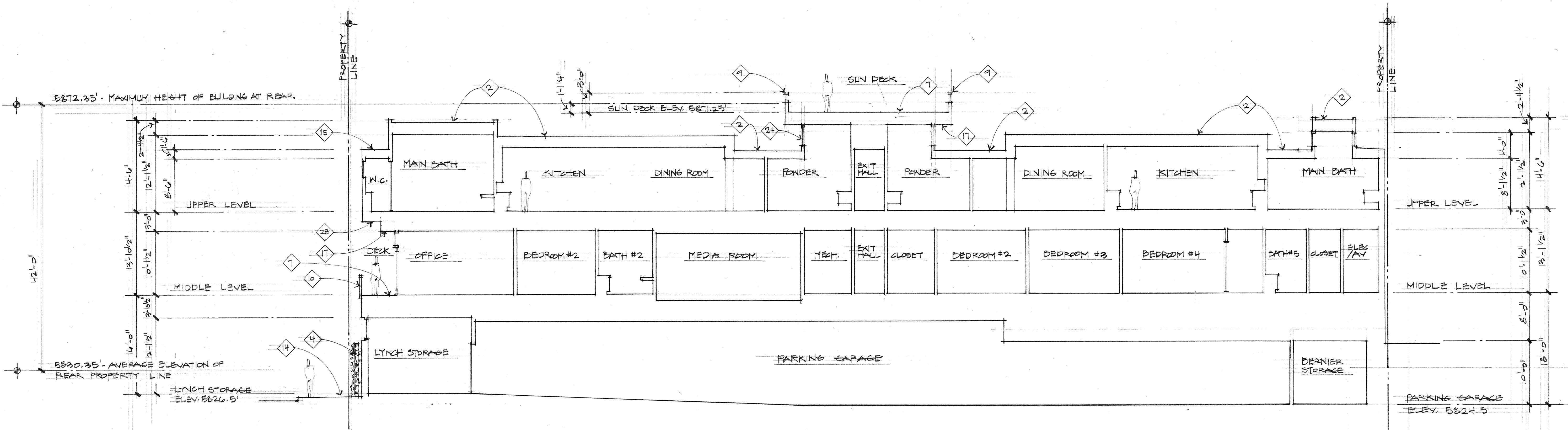
Project:
SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHikan IDAHO

Sheet Title:
BUILDING SECTIONS

Sheet:
A10
Project No.
2022



SECTION E
1/8" = 1'-0"



SECTION F
1/8" = 1'-0"

BUILDING SECTION KEY NOTES:

- Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
- Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
- Raised planter with plantings per the Landscape plans.
- "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
- Landscape planting per the Landscape plans within 4'-6" high raised 6" concrete curb to contain soil and mulch.
- Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
- Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck. Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5' above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
- Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15' above the sidewalk. Thus, the top of planter will be 22' above the sidewalk at the corner of Sun Valley Road and 1st, and 27' above public sidewalk at the entry to Sawtooth Serenade.
- New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
- "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant, manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be 1/2:12.
- Louvered steel sun screen with blackened finish - typical.
- Stained Cedar 1x4 tongue and Groove wood soffit - typical at all roof and deck soffits.
- Stone slab soffit at full bed stone veneer.
- Horizontal wood fence to screen the mechanical system condensers from public view.
- Guard Rail: Minimum of 36" high solid guard rail.
- Key Note not used.
- Stainless steel open grate "grid" recessed mat.
- Thermally broken aluminum framed sliding doors with blackened finish - typical.
- Thermally broken aluminum framed windows with blackened finish - typical.
- Insulated and weather-stripped rolling steel overhead door with blackened finish.
- Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
- Sloped glazing in thermally broken aluminum frames with blackened finish.
- Metal soffit to match metal siding.
- Mechanical system condensers.



Revised: 04.30.2022
07.17.2023
10.10.2024

Drawn: DB, 10.10.2022
Checked: Construction Set Issued:

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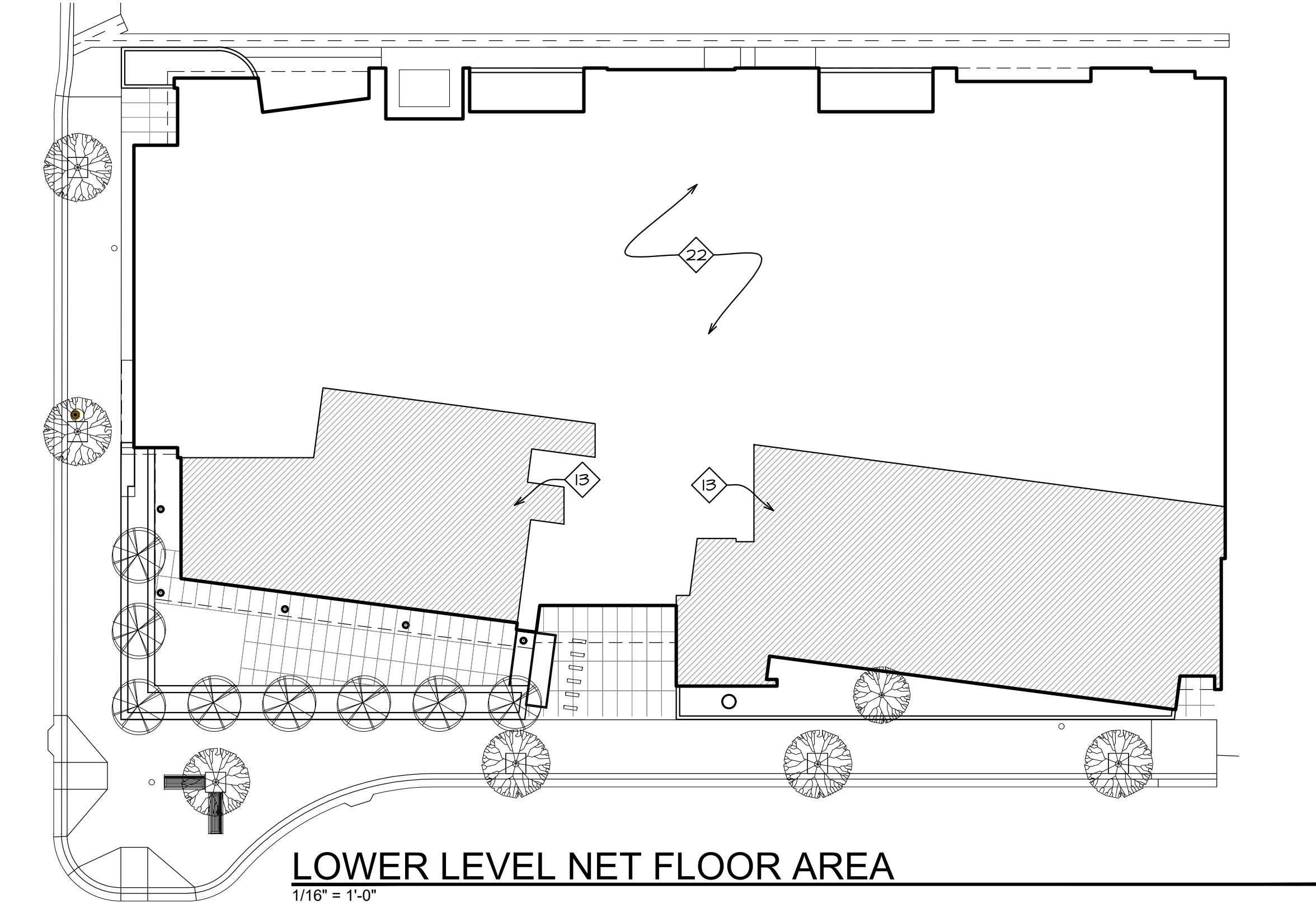
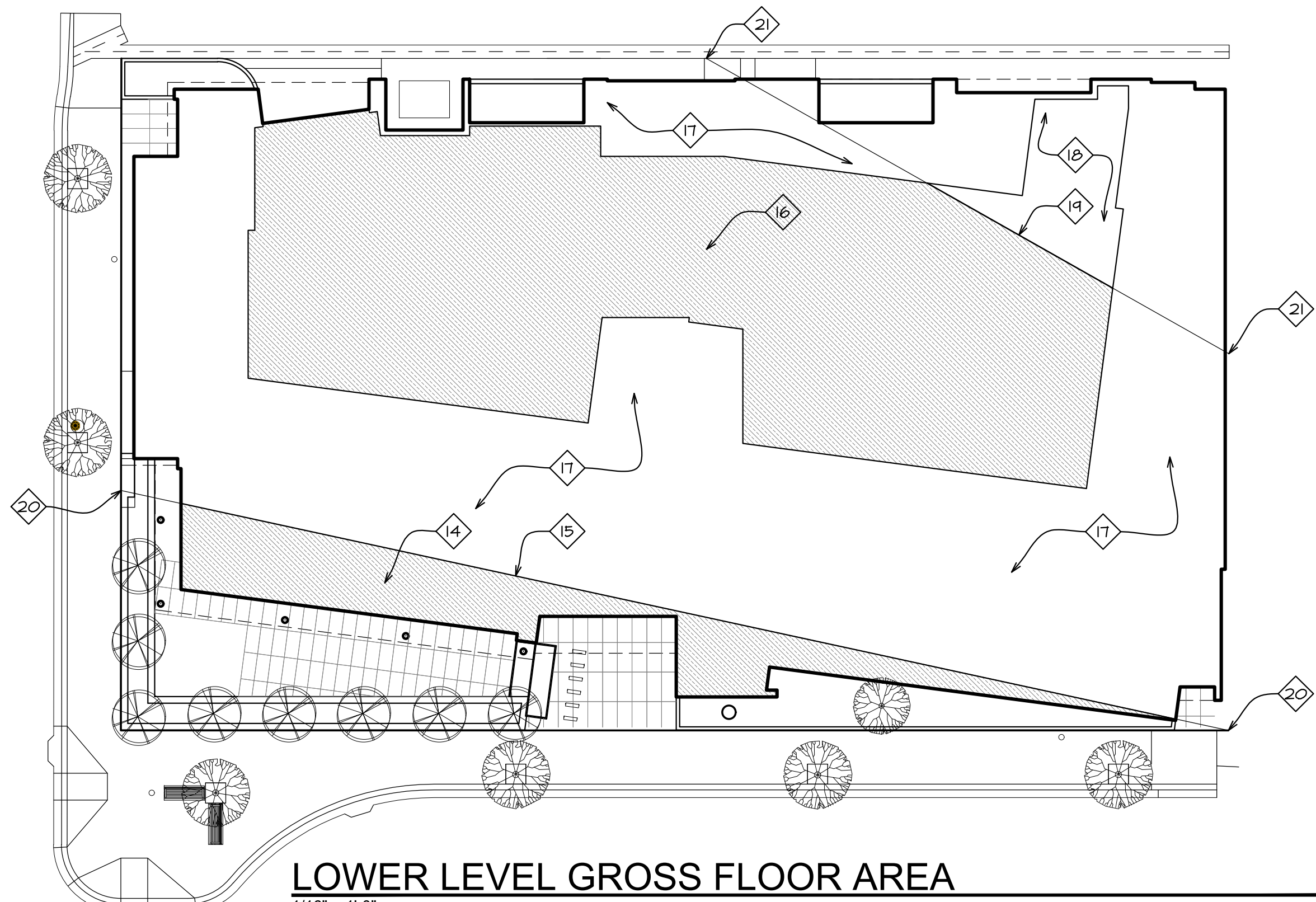
Project: SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title: BUILDING SECTIONS

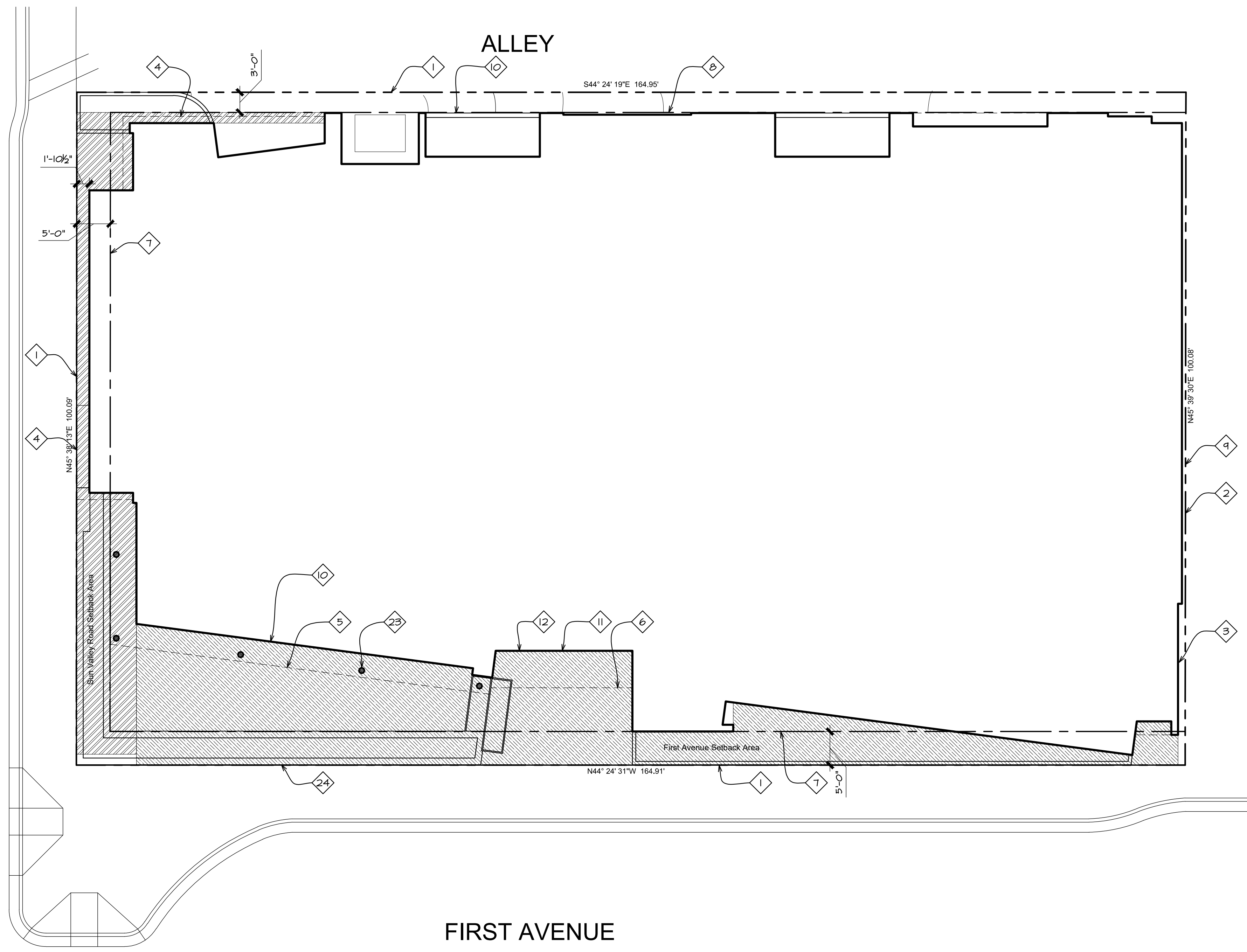
Sheet: **All**
Project No. 2002

KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 Line of cantilevered floor above
- 5 Line of cantilevered deck above
- 6 Line of entry canopy above
- 7 5' required average street setback
- 8 3' required alley setback
- 9 0' interior side setback
- 10 Line of building footprint
- 11 Location of building address numbers.
- 12 Location of "The Commons" signage
- 13 Area included as net floor area
- 14 Floor area above basement invisible plane and included in gross floor area calculations per KMC 17.08.020 definition of floor area, gross
- 15 Line where basement invisible plane crosses lower floor finished floor at elevation 5825.0'
- 16 Area of garage counted as gross floor area, not underground parking, per KMC 17.08.020 definition of floor area, gross and underground parking
- 17 Floor area below basement grade plan and excluded from gross floor area calculations per KMC 17.08.020 definition of floor area, gross
- 18 Underground parking floor area with ceiling height less than 4' above basement invisible plane and excluded from gross floor area calculations per KMC 17.08.020 definition of floor area, gross and underground parking
- 19 Line where basement invisible plane is 4' below garage ceiling.
- 20 Point where basement invisible plane intersects elevation 5825.0' at the property line
- 21 Point where basement invisible plane intersects elevation 5834.0' which is 4' below the ceiling height of the parking area.
- 22 Interior circulation, mechanical, parking, and storage in basement areas excluded from net floor area calculation
- 23 Structural steel column with blackened finish, typical.
- 24 Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road starts at 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.

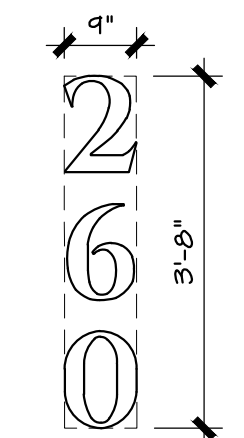


SUN VALLEY ROAD

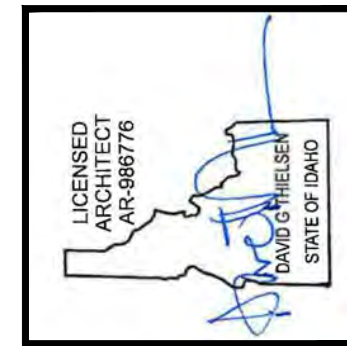


LOWER LEVEL SETBACK PLAN
1" = 10'

SUN VALLEY ROAD SETBACK:	
Setback Area:	573 sf
Frontage Length:	95'-5 1/2"
Average Setback Depth:	6.00'
1ST AVENUE SETBACK:	
Setback Area:	1714 sf
Frontage Length:	154'-11"
Average Setback Depth:	11.06'
GROSS FLOOR AREA:	953 sf
GROSS FLOOR AREA PARKING:	4,756 sf
NET FLOOR AREA:	3,824 sf



SIGNAGE:
SIGNAGE AREA:
Maximum area : 1 sq. ft. per 3 linear ft. street frontage or 60 sq.ft. (KZC 17.127.050)
(Wall) = 219'-11 1/2" (street frontage) / 3 linear ft. = 73 sq ft > 60 sq ft.
Proposed Address Signage : 9" x 44" = 396 sq. in. = 2.75 sq. ft.
(Wall) 2.75 sq. ft. < 60 sq. ft.



Revised: 6/10, 6/16, 6/24, 7/10

Revised: 08/20/22, 07/17/23, 10/10/24

Drawn: 08/10/22
Checked: Construction Set Issued:

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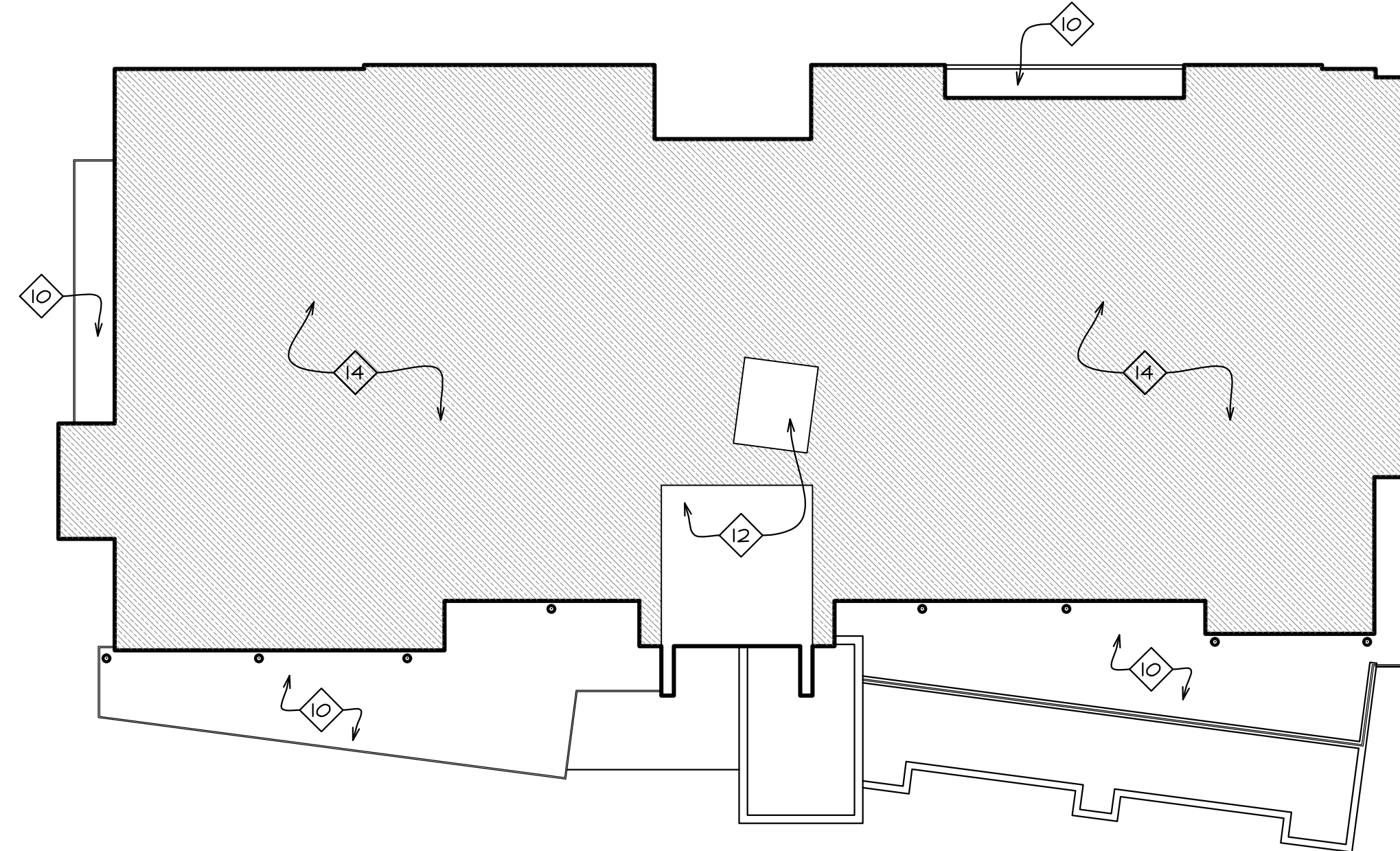
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
LOWER LEVEL SETBACK PLAN
MASTER SIGNAGE PLAN
LOWER LEVEL GFA & NFA PLANS

Sheet:
A12
Project No.
2002

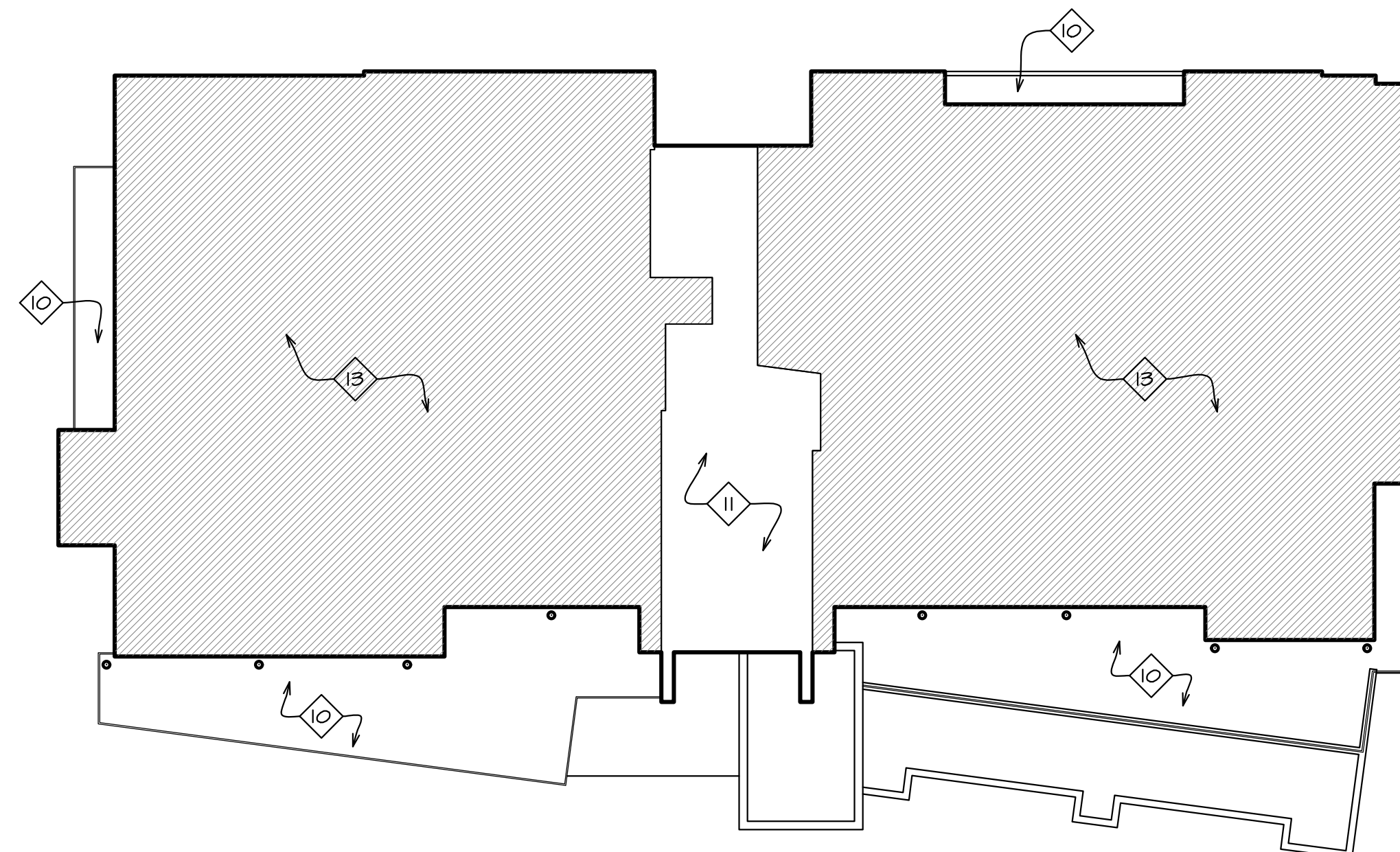
KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 5' required average street setback
- 5 3' required alley setback
- 6 0' interior side setback
- 7 Line of wall below
- 8 Waterproof deck below
- 9 Line of entry canopy roof below
- 10 Waterproof deck
- 11 Interior circulation area excluded from net floor area calculations per KMC 17.08.020 definition of floor area, net.
- 12 Stair and elevator area excluded from gross floor area calculations per kmc 17.08.020 definition of floor area, gross.
- 13 Area included as net floor area
- 14 Area included as gross floor area
- 15 Structural steel column with blackened finish, typical.



MIDDLE LEVEL GROSS FLOOR AREA

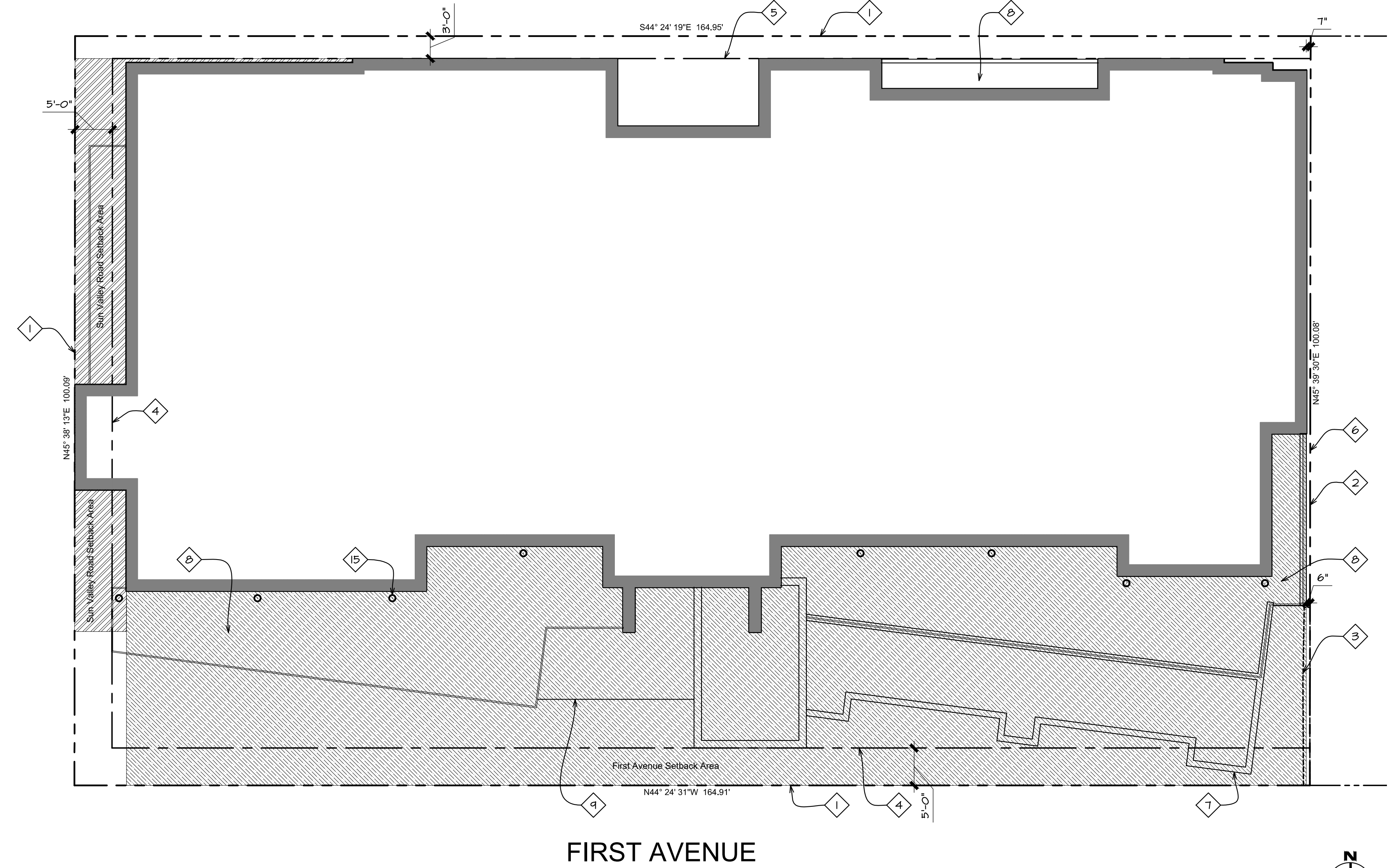
1/16" = 1'-0"



MIDDLE LEVEL NET FLOOR AREA

1/16" = 1'-0"

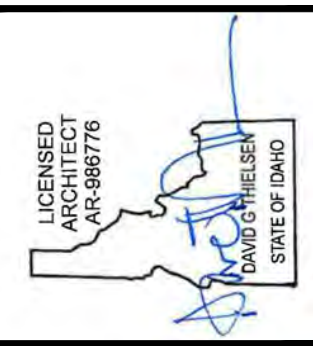
SUN VALLEY ROAD



MIDDLE LEVEL SETBACK PLAN

1" = 10'

SUN VALLEY ROAD SETBACK:	
Setback Area:	450 sf
Frontage Length:	76'-6"
Average Setback Depth:	5.88'
FIRST AVENUE SETBACK:	
Setback Area:	4640 sf
Frontage Length:	159'-0"
Average Setback Depth:	29.18'
GROSS FLOOR AREA:	9,951 sf
NET FLOOR AREA:	9,466 sf
LYNCH RESIDENCE FLOOR AREA:	4,658 sf
BERNIER RESIDENCE FLOOR AREA:	4,808 sf



Revised:

Revised:
08/30/22
07/17/23
10/10/24

Drawn: 08/10/22
Checked:
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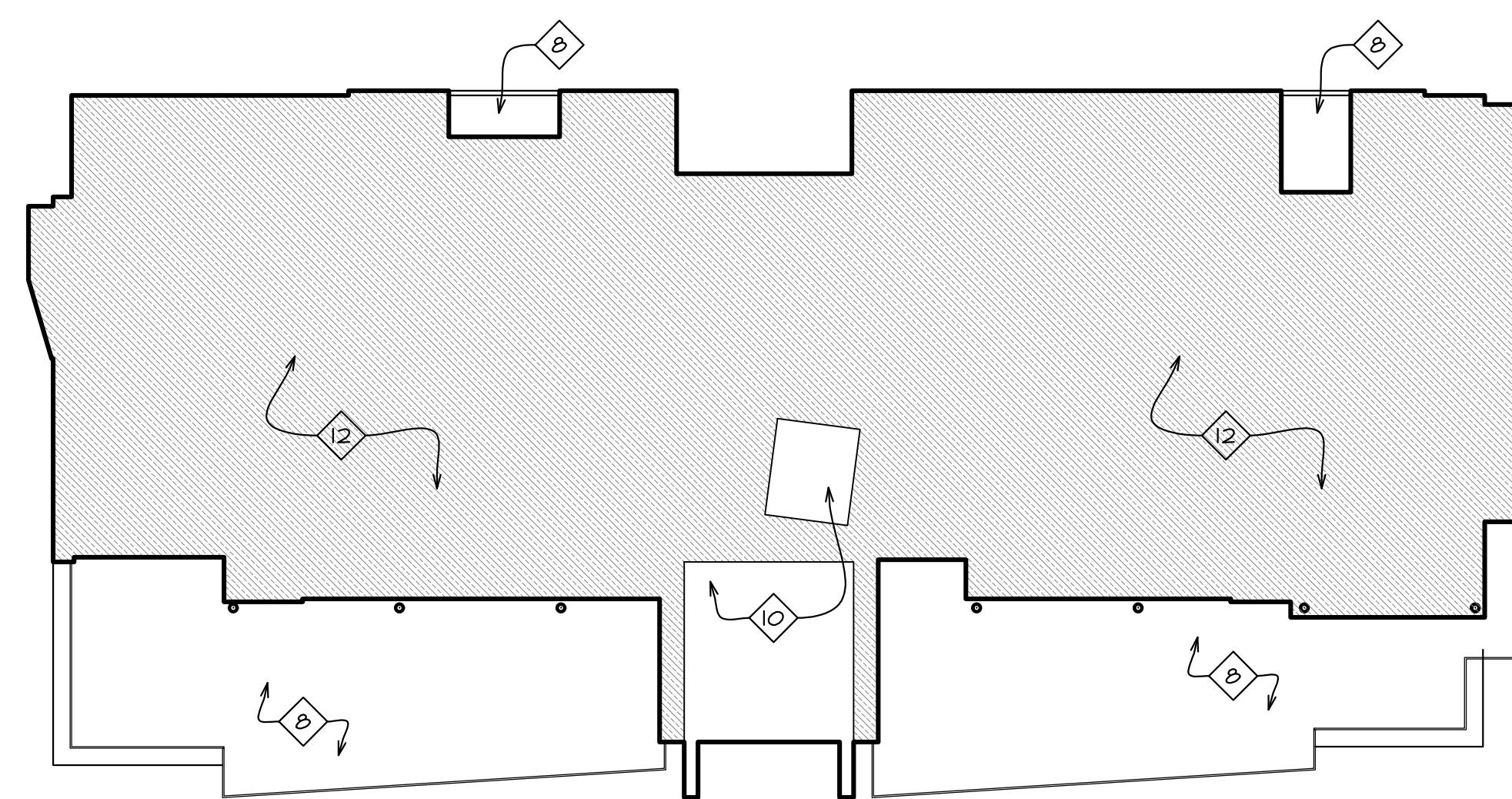
Project: **SAWTOOTH SERENADE**
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
MIDDLE LEVEL SETBACK PLAN
MIDDLE LEVEL GROSS FLOOR AREA PLAN
MIDDLE LEVEL NET FLOOR AREA PLAN

Sheet:
A13
Project No.
2002

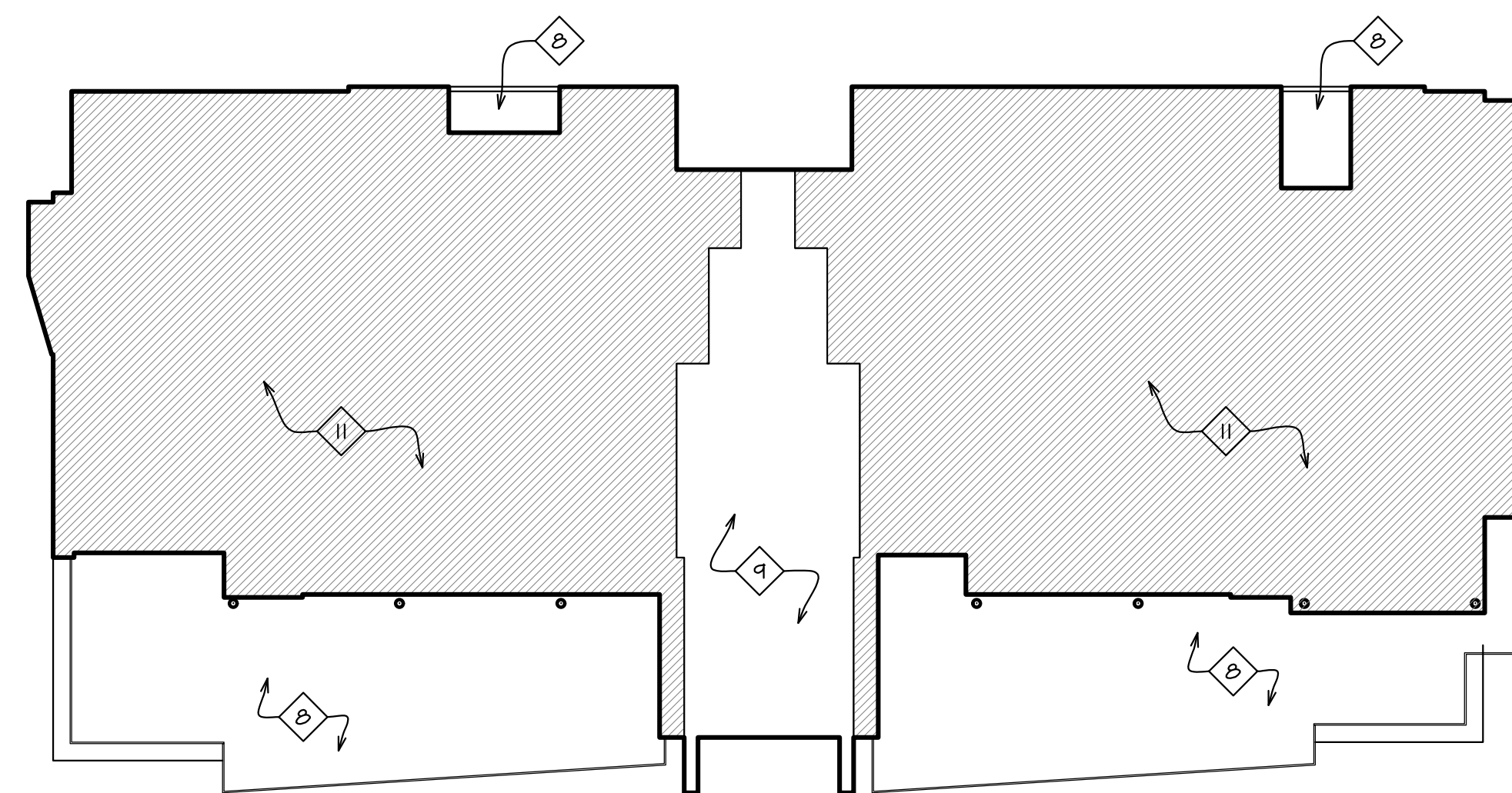
KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 5' required average street setback
- 5 3' required alley setback
- 6 0' interior side setback
- 7 Waterproof deck below
- 8 Waterproof deck
- 9 Interior circulation area excluded from net floor area calculations per KMC 17.08.020 definition of floor area, net.
- 10 Stair and elevator area excluded from gross floor area calculations per kmc 17.08.020 definition of floor area, gross.
- 11 Area included as net floor area
- 12 Area included as gross floor area
- 13 Structural steel column with blackened finish, typical.



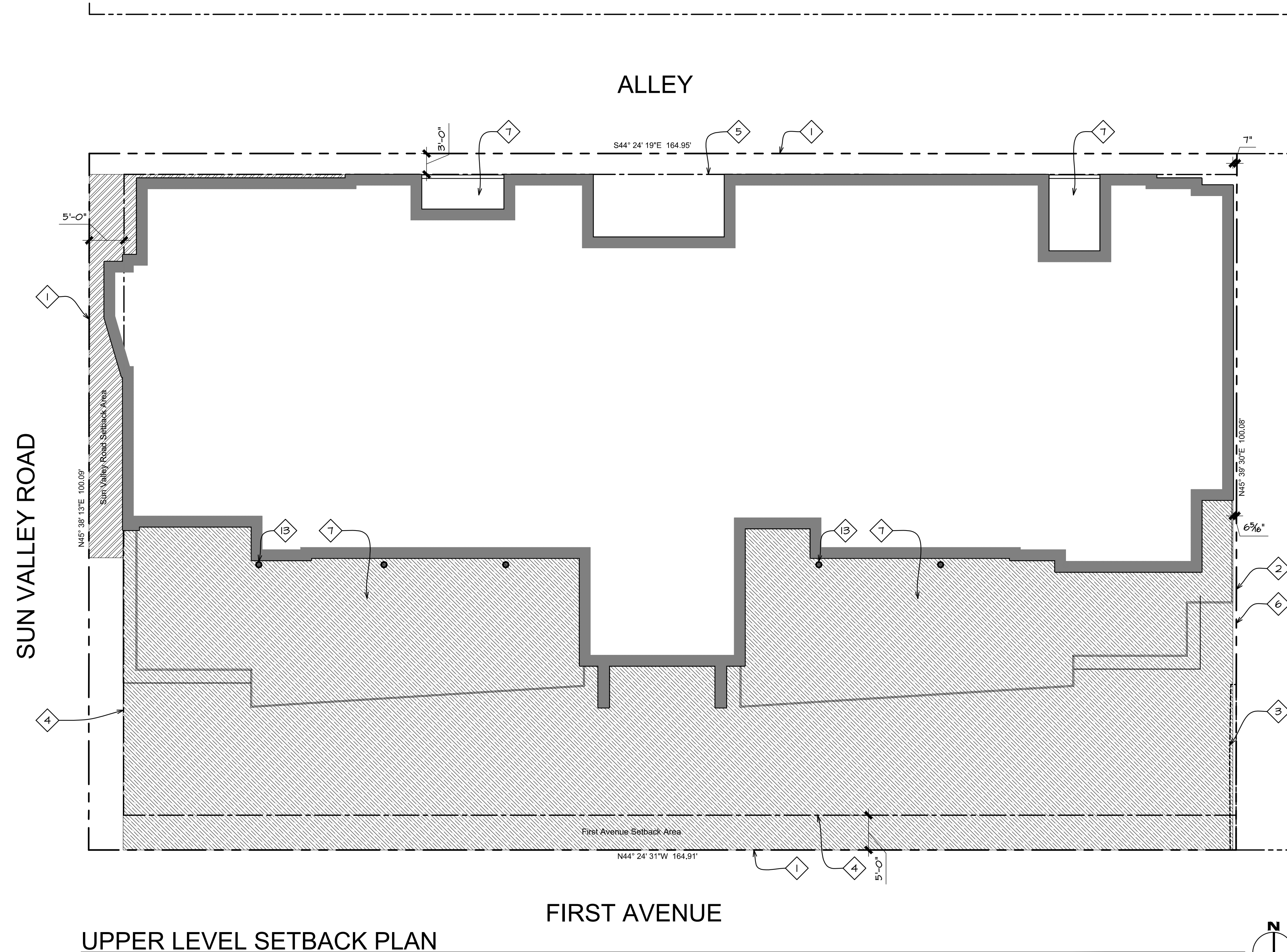
UPPER LEVEL GROSS FLOOR AREA

1/16" = 1'-0"



UPPER LEVEL NET FLOOR AREA

1/16" = 1'-0"



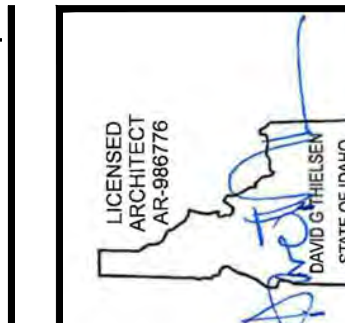
UPPER LEVEL SETBACK PLAN

1" = 10'

SUN VALLEY ROAD SETBACK:	
Setback Area:	277 sf
Frontage Length:	55'-0"
Average Setback Depth:	5.04'

FIRST AVENUE SETBACK:	
Setback Area:	6427 sf
Frontage Length:	159'-0"
Average Setback Depth:	40.42'

GROSS FLOOR AREA:	8,246 sf
NET FLOOR AREA:	7,714 sf
LYNCH RESIDENCE UPPER FLOOR AREA:	3,717 sf
BERNIER RESIDENCE UPPER FLOOR AREA:	3,998 sf



Revised: 6, 8, 9, 10

Revised: 08/30/22, 07/17/23, 10/10/24
1, 2, 3, 4, 5

Drawn: 08/10/22
Checked: Construction Set Issued:

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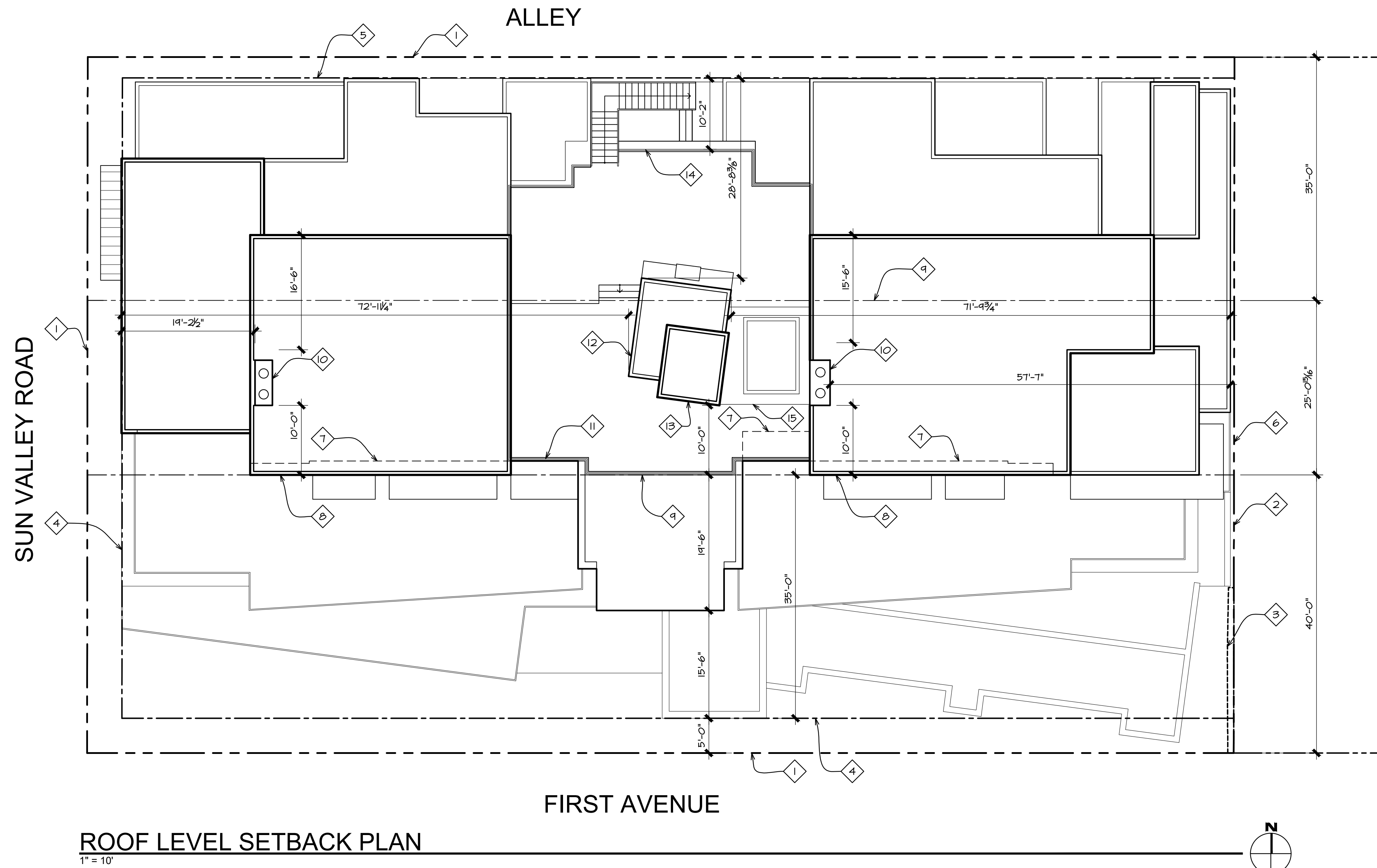
Project: **SAWTOOTH SERENADE**
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
UPPER LEVEL SETBACK PLAN
UPPER LEVEL GROSS FLOOR AREA PLAN
UPPER LEVEL NET FLOOR AREA PLAN

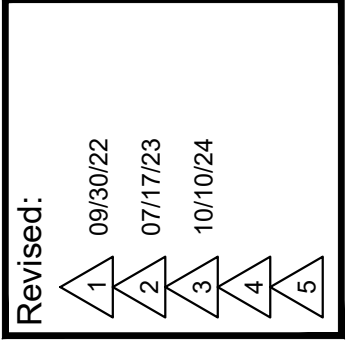
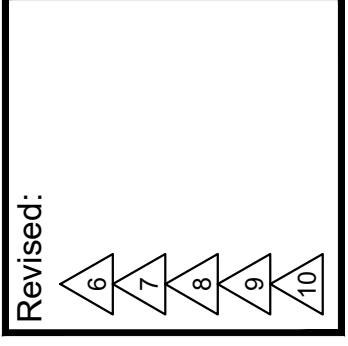
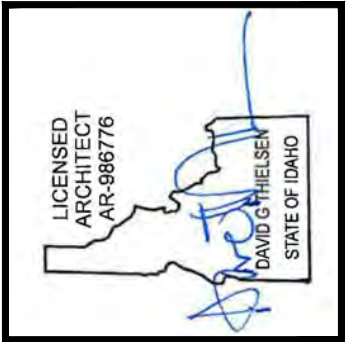
Sheet:
A14
Project No. 2002

KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 5' required average street setback
- 5 3' required alley setback
- 6 0' interior side setback
- 7 Line of wall below
- 8 Building facade step occurs at this location.
- 9 Line of required building height step, minimum 40'-0" from front property line and minimum 35'-0" from rear property line, per KZC 17.12.040.
- 10 Masonry chimney with termination per IBC 2113.9.
- 11 Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- 12 Non-habitable structures located on building roof tops are allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of elevator lobby roof to be 6'-0" above maximum building height.
- 13 Non-habitable structures located on building roof tops are allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of elevator enclosure roof to be 9'-6" above maximum building height.
- 14 Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5' above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
- 15 Site built hot tub/spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.



ROOF LEVEL SETBACK PLAN
1" = 10'



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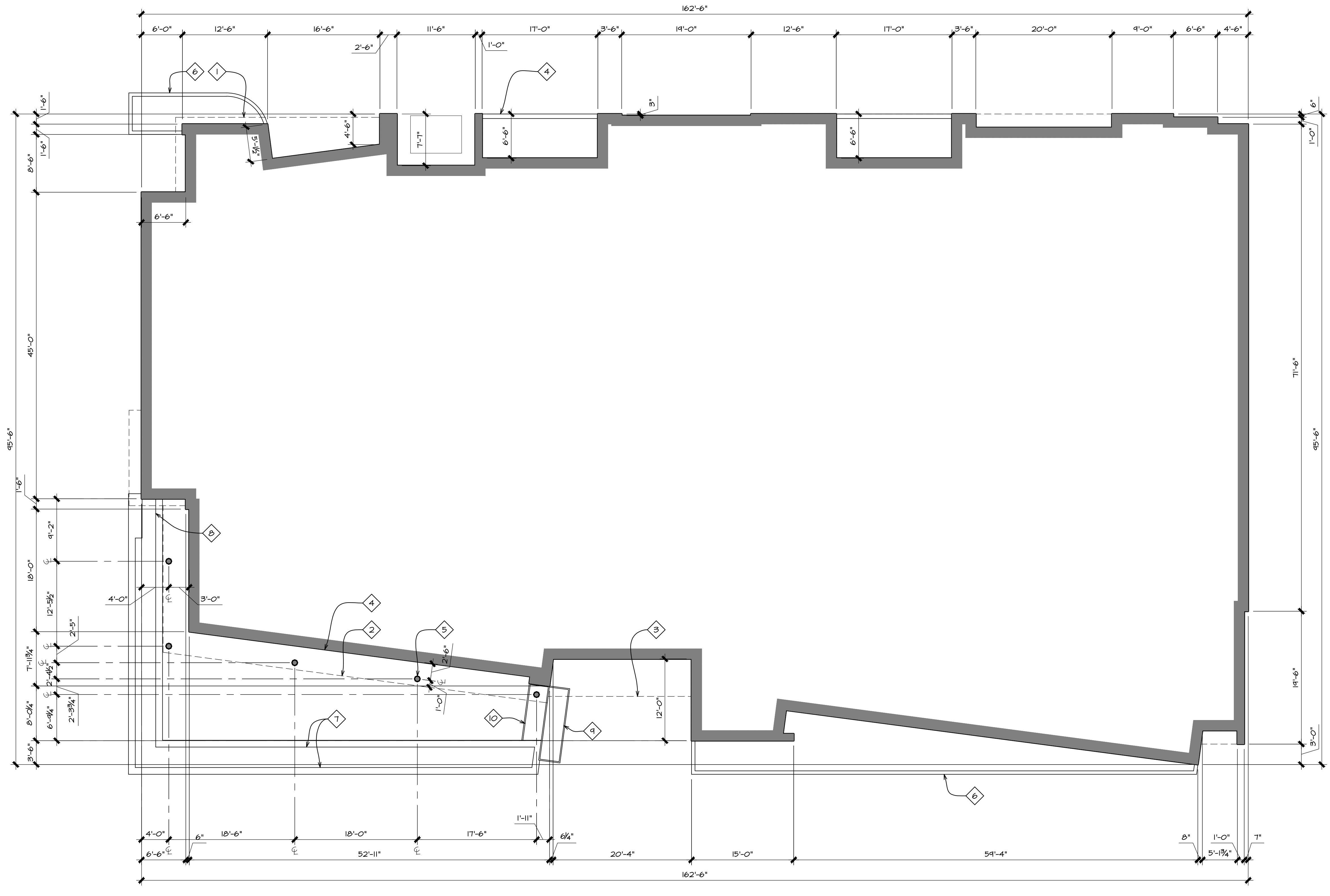
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
ROOF LEVEL SETBACK PLAN

Sheet:
A15
Project No.
2002

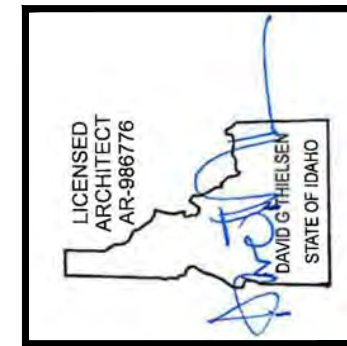
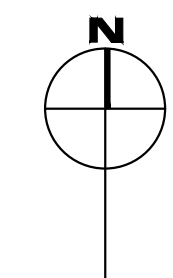
KEYNOTES

- 1 Line of cantilevered floor above
- 2 Line of cantilevered deck above
- 3 Line of entry canopy above
- 4 Line of building footprint
- 5 Structural steel column with blackened finish, typical.
- 6 6" tall concrete curb
- 7 Raised stone veneer planter finished with full bed stone veneer face and stone cap containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 36" above public sidewalk.
- 8 48" tall raised planter containing planting per Landscape drawings. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 48" above public sidewalk.
- 9 48" tall raised plate steel planter with blackened finish
- 10 18" tall raised plate steel planter with blackened finish



LOWER LEVEL DIMENSION PLAN

1/8" = 1'-0"



Revised:

6	7	8	9	10
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Revised:

1	2	3	4	5
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Drawn: 08/10/22

Checked: -----

Construction Set Issued: -----

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Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 LOWER FLOOR DIMENSION PLAN

Sheet:
A16
 Project No.
 2002

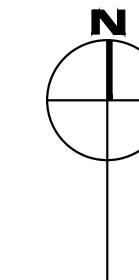
KEYNOTES

- 1 Property line
- 2 Line of building footprint
- 3 Temporary 6' tall chainlink construction fence.
- 4 Temporary "Sidewalk closed ahead" sign
- 5 Temporary "Sidewalk closed" sign
- 6 Materials storage area
- 7 Job trailer
- 8 Portable toilets
- 9 Material delivery and unloading area
- 10 Temporary mobile construction crane location
- 11 Truck wash area



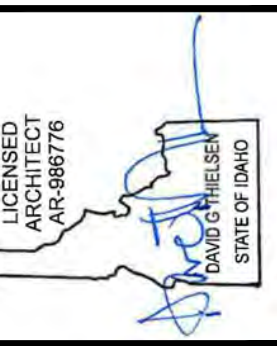
CONSTRUCTION MANAGEMENT PLAN

1" = 20'



CONSTRUCTION MANAGEMENT NOTES

- 1. General contractor to ensure that all construction activity meets the requirements of the City of Ketchum and all OSHA safety standards.
- 2. Construction hours to be 7:30 am until 7:00 pm. No construction activity on Sundays or holidays.
- 3. For construction during the winter, all snow is to be removed from the job site. No snow is to be stored on site.



Revised:

6	6	6	6	10
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Revised:

08/30/22	07/17/23	10/10/24
1	3	4
2	3	5

Drawn: 08/10/22

Checked: -----

Construction Set Issued: -----

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Project:
SAWTOOTH SERENADE
 260 N 1ST AVE
 KETCHUM, ID

Sheet Title:
 CONSTRUCTION PLAN

Sheet:
A17
 Project No.
 2002

1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
- THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC), IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
- ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
- ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
- ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.
- FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
- ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.
- ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
- ALL WIRE USED SHALL BE COPPER
- IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.
- THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

- LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1104.4)
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURES/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.
- EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3)
- ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2)
- ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

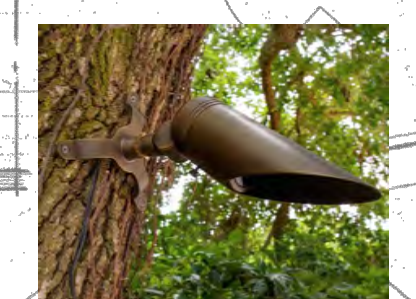
LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S ^S	SINGLE POLE JAMB SWITCH
S ^{SD}	SINGLE POLE MOTION SWITCH
S ^T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
⊕	1/2 SWITCHED DUPLEX RECEPTACLE
⊕ ^{CP}	SWITCHED RECESSED CLOCK RECEPTACLE
⊕ ^{FP}	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

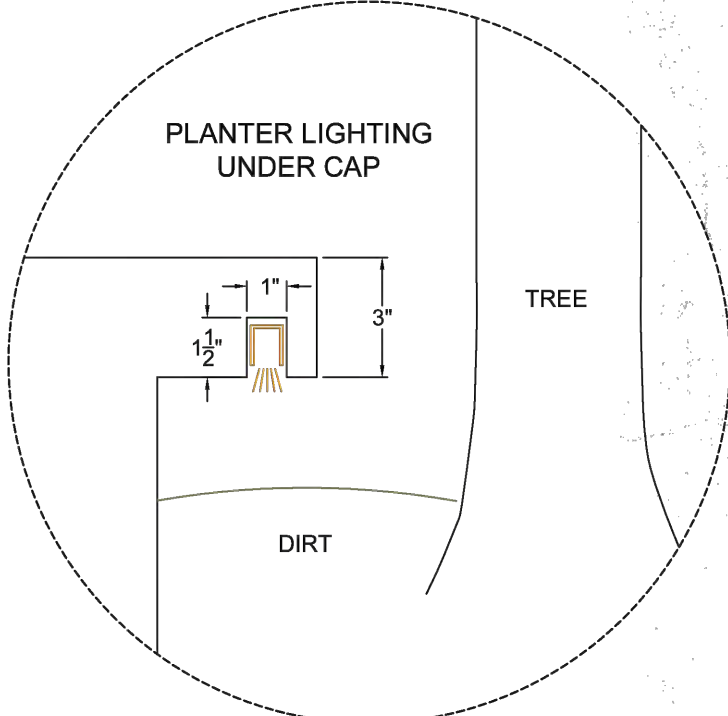


SHIELDED WALL SCONCE (TYP.)



TREE DOWNLIGHTING (TYP.)

WALL MOUNTED ART LIGHT (SHOWN WITHOUT SPECIFIED GLARE SHIELD)



1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
- THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
- ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
- ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
- ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.
- FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
- ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.
- ALL STEP LIGHTS SHALL BE MOUNTED AT 4'-10" AFF TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
- ALL WIRE USED SHALL BE COPPER
- IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.
- THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

- LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4)
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURES/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.
- EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3)
- ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2)
- ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S ^J	SINGLE POLE JAMB SWITCH
S ^M	SINGLE POLE MOTION SWITCH
S ^T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
⊕	1/2 SWITCHED DUPLEX RECEPTACLE
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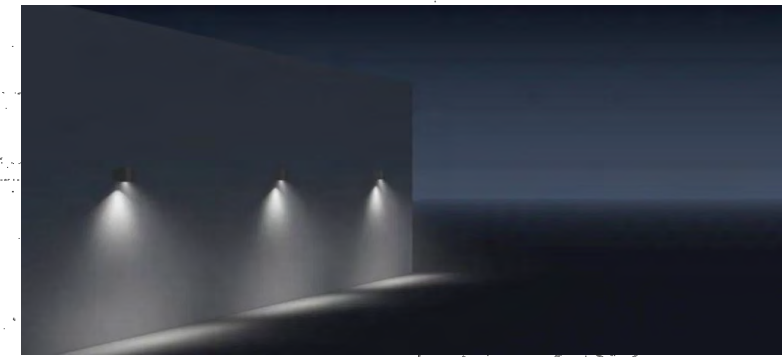
SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET
NUMBER:

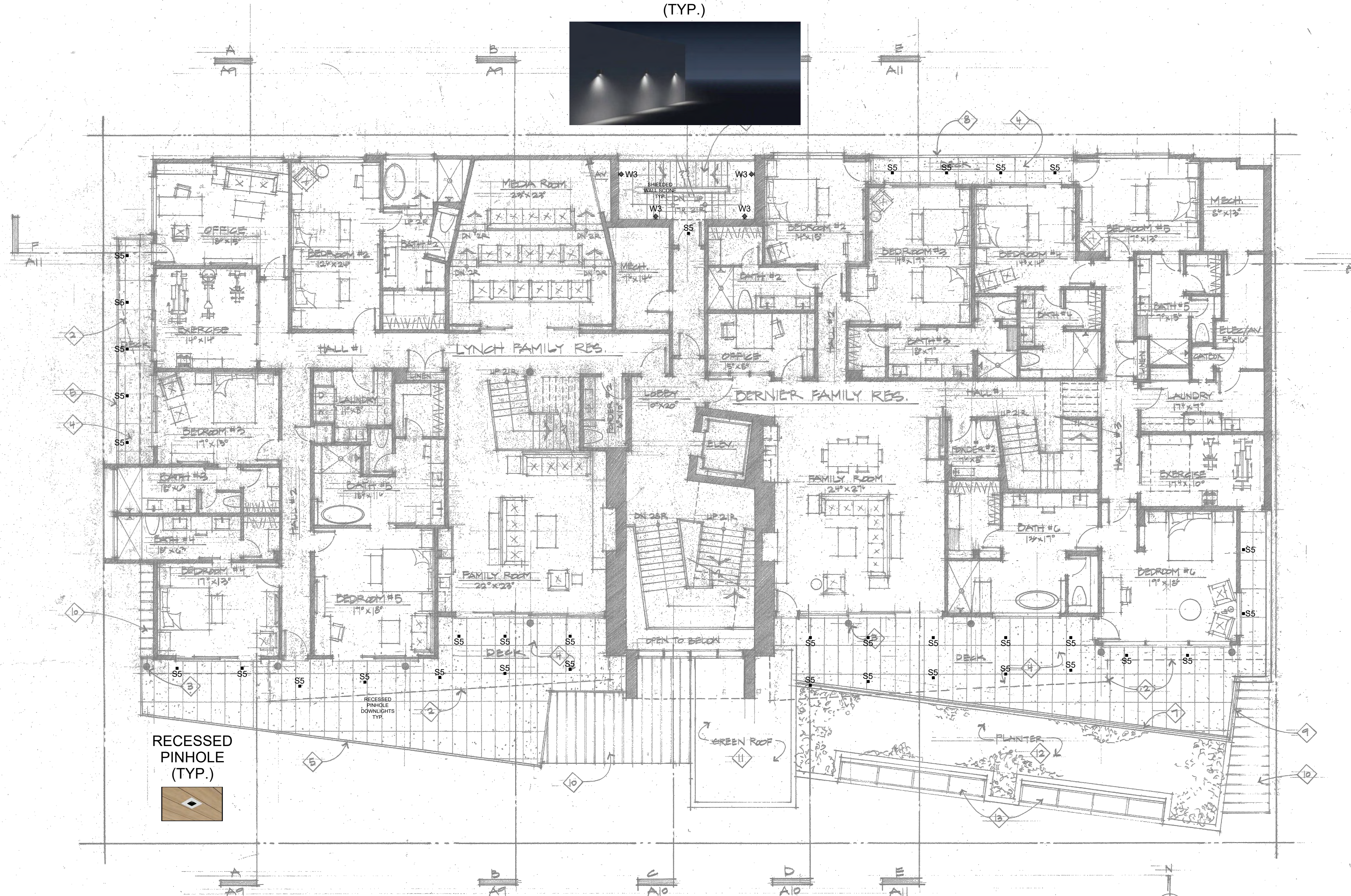
LIGHTING PLAN

EL 2

SHIELDED WALL SCONCE (TYP.)



RECESSED PINHOLE (TYP.)



1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

GENERAL NOTES

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- ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
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- FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
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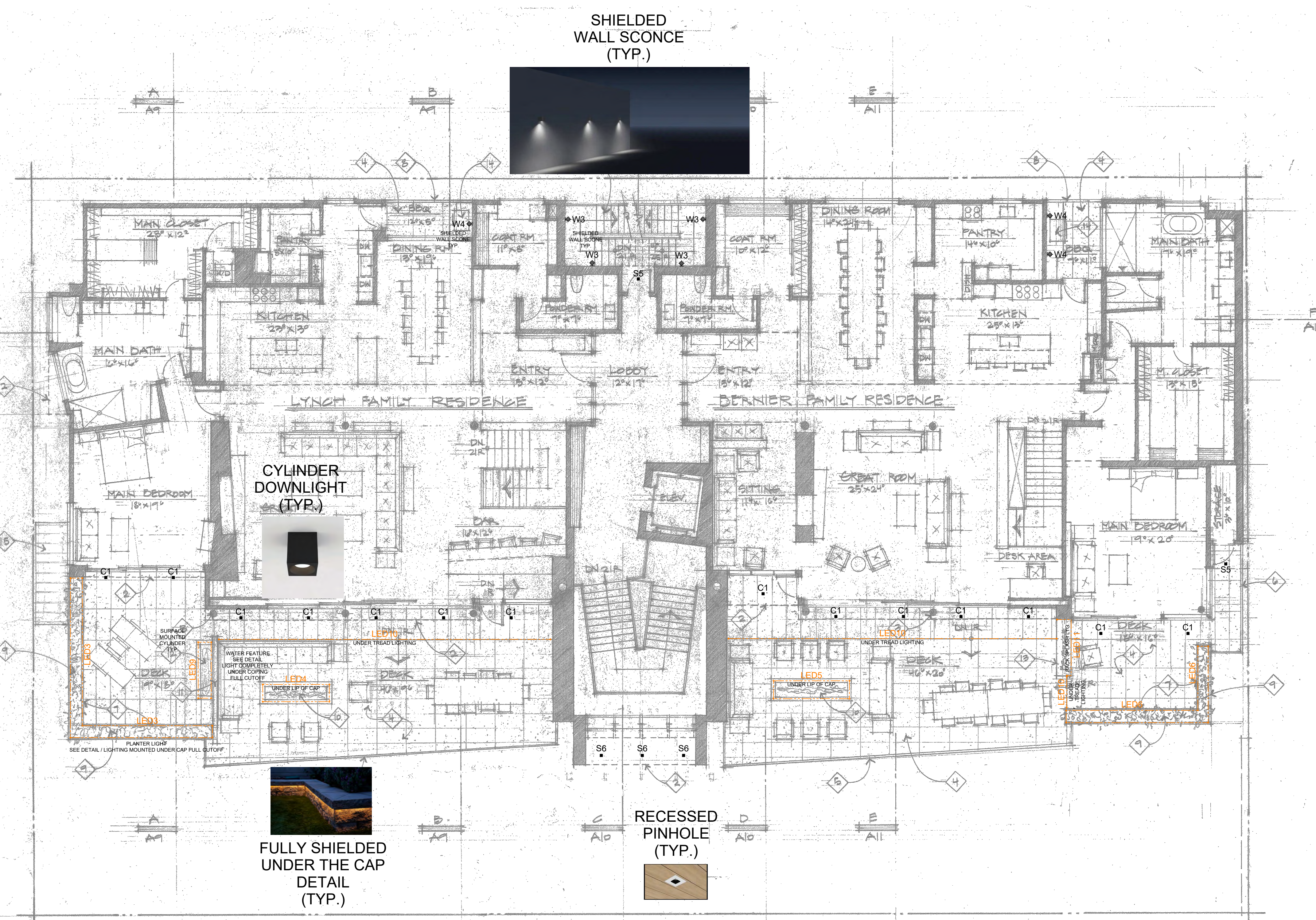
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SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO



SHIELDED WALL SCOPE (TYP.)

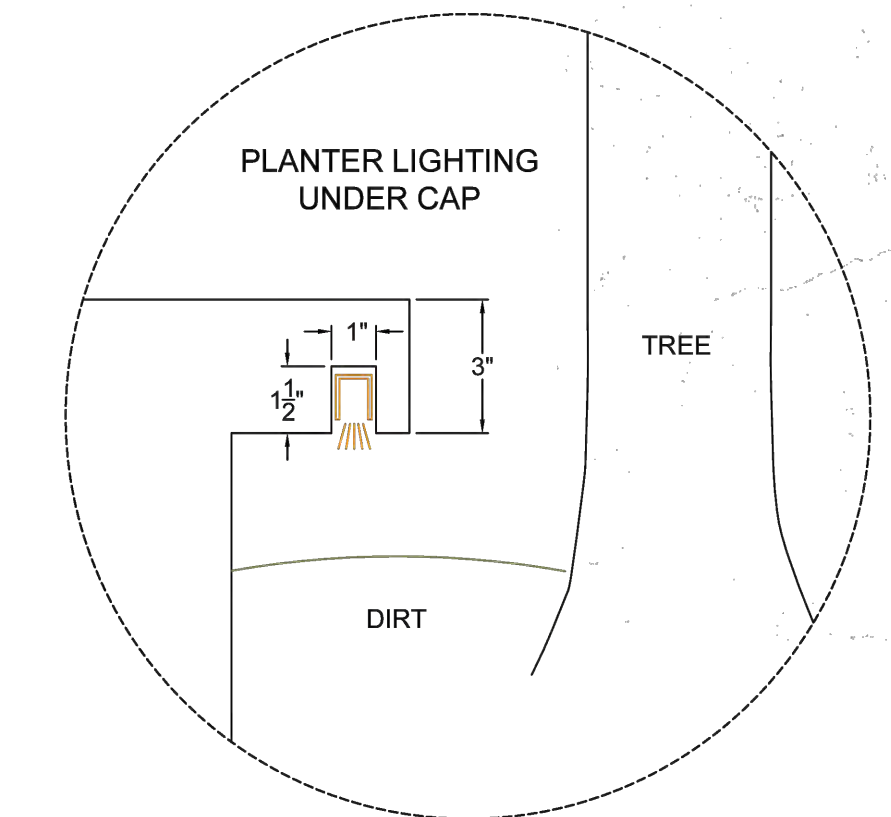
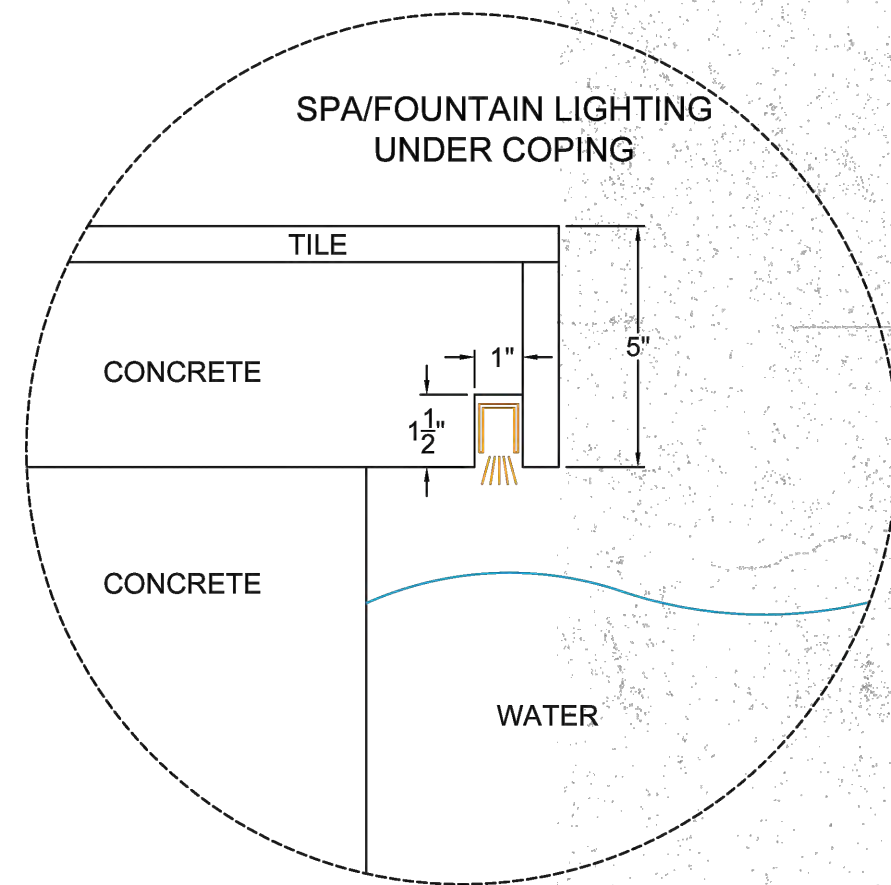


CYLINDER DOWNLIGHT (TYP.)



FULLY SHIELDED UNDER THE CAP DETAIL (TYP.)

RECESSED PINHOLE (TYP.)



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2	5.24.23
3	8.26.24

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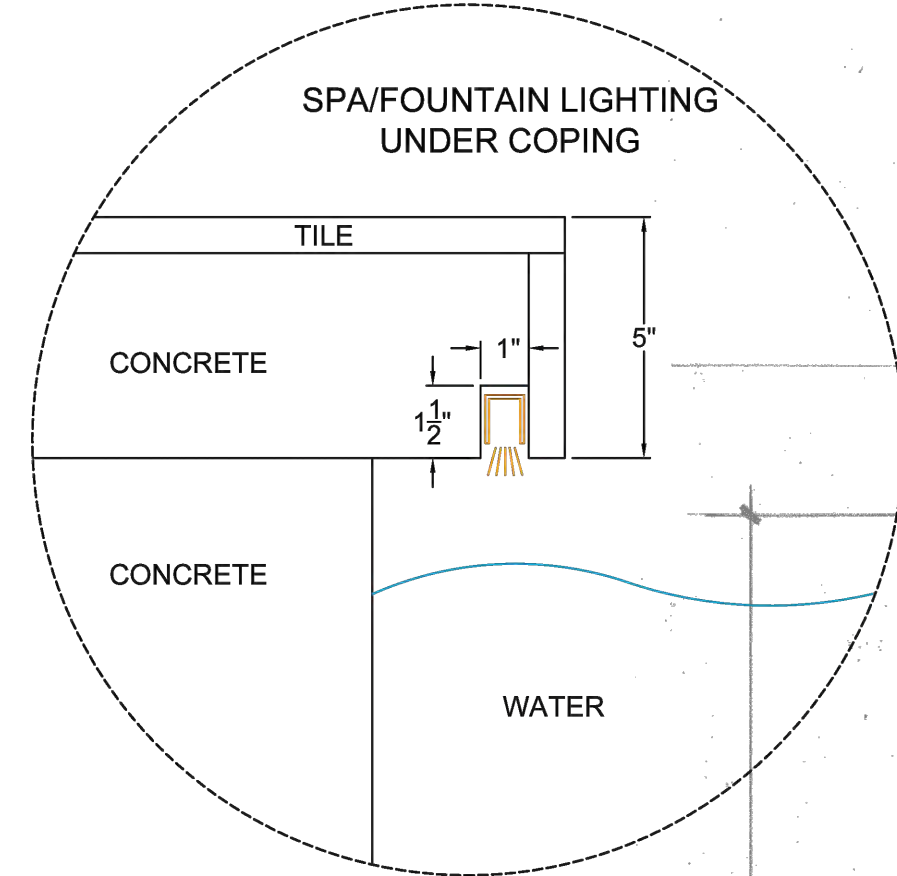
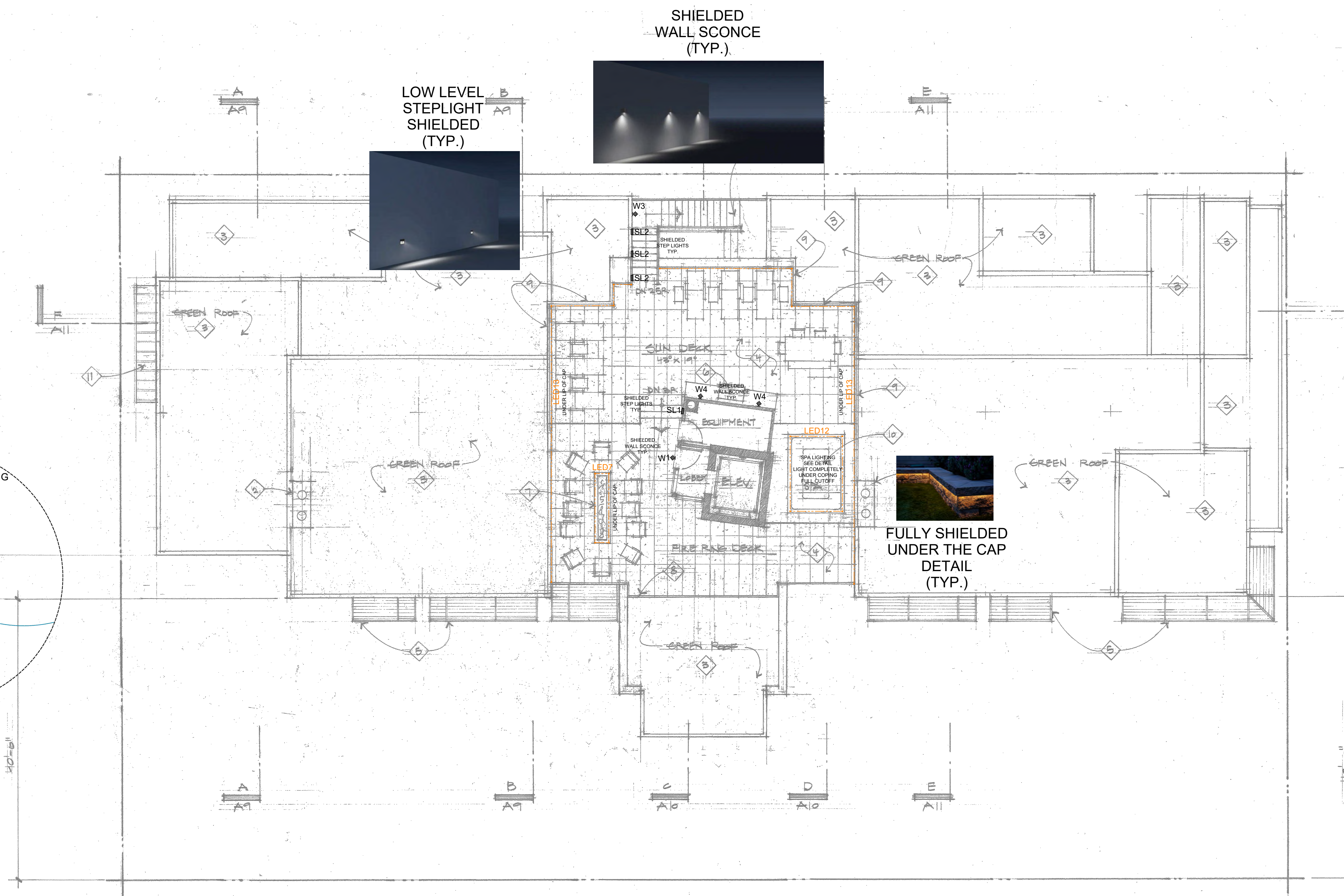
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	SINGLE POLE JAMB SWITCH
	SINGLE POLE MOTION SWITCH
	SINGLE POLE TIMER SWITCH
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	1/2 SWITCHED DUPLEX RECEPTACLE
	SWITCHED RECESSED CLOCK RECEPTACLE
	1/2 SWITCHED FLOOR PLUG RECEPTACLE
	REMOTE LOW VOLTAGE TRANSFORMER

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO



1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

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LIGHT CONTROL SYMBOL LEGEND

- S SINGLE POLE SWITCH
- S SINGLE POLE JAMB SWITCH
- S^{MD} SINGLE POLE MOTION SWITCH
- S^T SINGLE POLE TIMER SWITCH
- D SINGLE POLE DIMMER
- 1/2 SWITCHED DUPLEX RECEPTACLE
- 1/2 SWITCHED RECESSED CLOCK RECEPTACLE
- 1/2 SWITCHED FLOOR PLUG RECEPTACLE
- TR REMOTE LOW VOLTAGE TRANSFORMER



1 LOWER FLOOR PLAN LIGHTING PLAN SCALE: 1/8" = 1'-0"

Luminaire Schedule	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
8	1	CT	SINGLE	N.A.	1.000	SP0309SP03C-PAR30-MB-SM-MB w/ GU24 Base
9	1	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
302	1	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
16	1	S5	SINGLE	N.A.	1.000	HW-03AD50-09-0T-40L-11-NCOC-H-SP / UR-03TFSPA-CWH-N
0	1	S6	SINGLE	N.A.	1.000	HW-03AD50-09-0T-29L-11-NCOC-H-SP / UR-03TFSPA-CWH-N
2	1	SL1	SINGLE	N.A.	1.000	34705.023-27K
1	1	SL2	SINGLE	N.A.	1.000	34703.023
1	1	HI	SINGLE	N.A.	1.000	85105.023-27K
3	1	W2	SINGLE	N.A.	1.000	77756-27K
2	1	W3	SINGLE	N.A.	1.000	85105.023-27K
0	1	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Lower Level Overview	Illuminance	Fc	0.69	16.6	0.0	N.A.	N.A.
Lower Level Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Lower Level Plan Trespass North	Obtrusive - III	Fc	0.01	0.1	0.0	N.A.	N.A.
Lower Level Plan Trespass South	Obtrusive - III	Fc	0.01	0.1	0.0	N.A.	N.A.
Lower Level Plan Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

1	City Comments - 9.30.22	
2		5.24.23
3		8.26.24



MIDDLE FLOOR PLAN

2 MIDDLE FLOOR PLAN
LIGHTING PLAN

SCALE: 1/8" = 1'-0"

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	0	L1	SINGLE	N.A.	1.000	SPC060950NC-PAR30-MB-SM-MB w/ GU24 Base
○	0	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
○	0	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
□	34	S5	SINGLE	N.A.	1.000	HW-034050-09-0T-40L-11-NCOC-H-SP / UN-03TFSPA-CWH-N
□	0	S6	SINGLE	N.A.	1.000	HW-034050-09-0T-29L-11-NCOC-H-SP / UN-03TFSPA-CWH-N
□	0	SL1	SINGLE	N.A.	1.000	34705.023-27K
□	0	SL2	SINGLE	N.A.	1.000	34703.023
□	0	W1	SINGLE	N.A.	1.000	85105.023-27K
□	0	W2	SINGLE	N.A.	1.000	77756-27K
□	4	W3	SINGLE	N.A.	1.000	85105.023-27K
□	0	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Middle Level Overview	Illuminance		1.03	15.2	0.0	N.A.	N.A.
Middle Level Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Middle Level Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Middle Level Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Middle Level Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

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- ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.
- FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
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- ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
- ALL WIRE USED SHALL BE COPPER.
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PROJECT NOTES

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- ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS.

LIGHT CONTROL SYMBOL LEGEND

- SINGLE POLE SWITCH
- SINGLE POLE JAMB SWITCH
- SINGLE POLE MOTION SWITCH
- SINGLE POLE TIMER SWITCH
- SINGLE POLE DIMMER
- 1/2 SWITCHED DUPLEX RECEPTACLE
- SWITCHED RECESSED CLOCK RECEPTACLE
- 1/2 SWITCHED FLOOR PLUG RECEPTACLE
- REMOTE LOW VOLTAGE TRANSFORMER

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

- 1 City Comments - 9.30.22
- 2 5.24.23
- 3 8.26.24

GENERAL NOTES

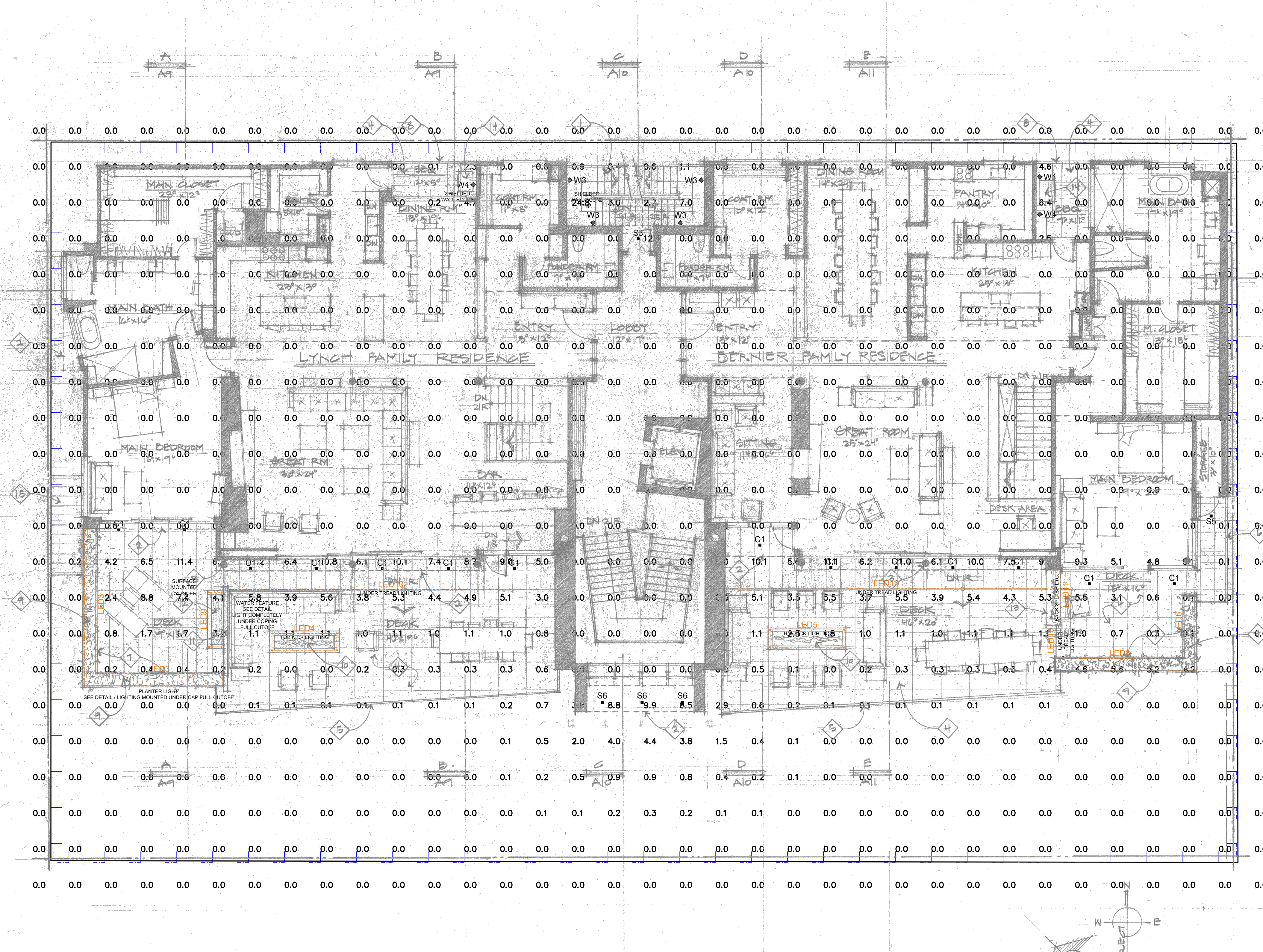
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3 UPPER FLOOR PLAN LIGHTING PLAN SCALE: 1/8" = 1'-0"

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	14	C1	SINGLE	N.A.	1.000	SPC060950NC-PAR30-MB-SM-MB w/ GU24 Base
○	0	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
○	306	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
○	2	S5	SINGLE	N.A.	1.000	HW-0340S0-09-0T-40L-11-NCOC-H-SP / UR-D3TFSPA-CWH-N
○	3	S6	SINGLE	N.A.	1.000	HW-0340S0-09-0T-29L-11-NCOC-H-SP / UR-D3TFSPA-CWH-N
○	0	SL1	SINGLE	N.A.	1.000	34705.023-27K
○	0	SL2	SINGLE	N.A.	1.000	34703.023
○	0	W1	SINGLE	N.A.	1.000	85105.023-27K
○	0	W2	SINGLE	N.A.	1.000	77756-27K
○	4	W3	SINGLE	N.A.	1.000	85105.023-27K
○	3	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Upper Level Overview	Illuminance	Fc	0.78	24.8	0.0	N.A.	N.A.
Upper Level Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Upper Level Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Upper Level Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Upper Level Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

1	City Comments - 9.30.22	
2		5.24.23
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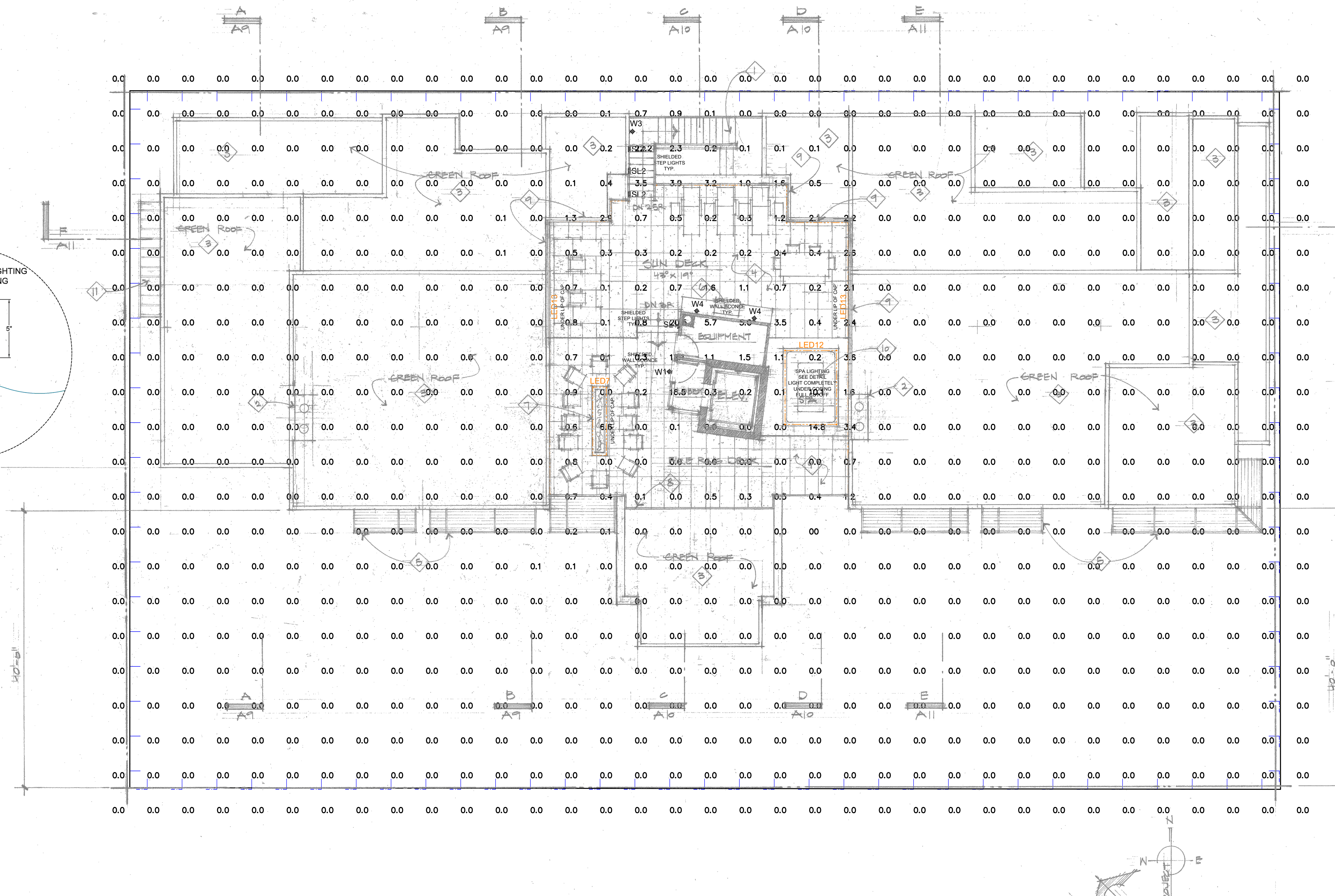
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⊞	SINGLE POLE SWITCH
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⊞ ^T	SINGLE POLE TIMER SWITCH
⊞ ^D	SINGLE POLE DIMMER
⊞ ^{1/2}	1/2 SWITCHED DUPLEX RECEPTACLE
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ROOF DECK PLAN LIGHTING PLAN
SCALE: 1/8" = 1'-0"

5 ROOF DECK PLAN LIGHTING PLAN

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊞	0	L1	SINGLE	N.A.	1.000	SPC060950ANC-PAR30-MB-SM-MB w/ GU24 Base
⊞	0	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
⊞	237	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
⊞	0	S5	SINGLE	N.A.	1.000	HW-034050-09-0T-40L-11-NCOC-H-SP / UN-03TFSPA-CWH-N
⊞	0	S6	SINGLE	N.A.	1.000	HW-034050-09-0T-29L-11-NCOC-H-SP / UN-03TFSPA-CWH-N
⊞	1	SL1	SINGLE	N.A.	1.000	34705.023-27K
⊞	3	SL2	SINGLE	N.A.	1.000	34703.023
⊞	11	W1	SINGLE	N.A.	1.000	85105.023-27K
⊞	0	W2	SINGLE	N.A.	1.000	77756-27K
⊞	1	W3	SINGLE	N.A.	1.000	85105.023-27K
⊞	2	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Roof Deck Overview	Illuminance	Fc	0.26	22.2	0.0	N.A.	N.A.
Roof Deck Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Roof Deck Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Roof Deck Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Roof Deck Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

KEVIN J. FLOWER LIGHTING DESIGN

20650 N 29th Place Suite 106
Phoenix AZ 85050
6023413667

Lighting Fixture Schedule

Project: Sawtooth Serenade

Quantity	Type	Manufacturer	Model Number / Description	Volts	Dimming	Lamp Type	Watts
14	C1	SPECTRUM	SPC06095QINC-PAR30-MB-SM-MB w/ GU24 Base 6" Square Cylinder Surface Mounted with GU24 Base and Ketra Lamp	120V AC	KETRA (COLOR SET TO 27K)	HW-S30-08H-O-GTWFL-1IC25-BK LOUVER-S30ALLUV45 BK	10
8	L2	FX LUMINAIRE	J8 - ZDC - FB - Warm 27K Lens 4" Surface Mounted Tree Downlight with 4.5" Cutoff Shroud	12V AC	ELV	Integral LED lamp	4
16	LED1 - LED16	ELEMENTAL LED	LINEAR LED LIGHTING MOUNTED IN CHANNEL DIFFUSED AND MOUNTED FACING DOWNWARD CONTRACTOR TO DETERMINE BILL OF MATERIALS USING DI-24V-SE-NBL2-27-32-SPN-ELV-FACTORY - 32.8 Foot Spool / 27K / 244W/FT DI-ODX-24VXXW-J - ELV DIMMING DRIVERS	24V DC	ELV	Integral LED lamp	244W/FT
52	S5	KETRA	HW-D3ADSQ-09-GT-40L-1I-NCOC-H-SP / UN-D3TFSPA-CWH-N 3" Adjustable LED with 40 Degree Beam and Interchangeable Optics	120V AC	KETRA (COLOR SET TO 27K)	Integral LED lamp	9
3	S6	KETRA	HW-D3ADSQ-09-GT-25L-1I-NCOC-H-SP / UN-D3TFSPA-CWH-N 3" Adjustable LED with 25 Degree Beam and Interchangeable Optics	120V AC	KETRA (COLOR SET TO 27K)	Integral LED lamp	9
3	SL1	ERCO	34705.023-27K w/appropriate Housing 7-5/8" x 6-7/8" Recessed Linear Light with Deep Beam	120V AC	ELV	Integral LED lamp	8
3	SL2	ERCO	34703.023-27K w/appropriate Housing 7-5/8" x 6-7/8" Recessed Linear Light with Wide Beam	120V AC	ELV	Integral LED lamp	8
3	W1	ERCO	85105.023-27K w/33137.023 Mounting Plate 7-7-16" Wall Mounted Floor Wash Light	120V AC	ELV	Integral LED lamp	8
3	W2	BECA LIGHTING	77756-27K w/70755 Glare Shield 4-3/8 Cylindrical Wall Mounted Downlight with 180 degree Glare Shield	120V AC	0-10V	Integral LED lamp	10.5
11	W3	ERCO	85105.023-27K w/33137.023 Mounting Plate 7-7-16" Wall Mounted Floor Wash Light	120V AC	ELV	Integral LED lamp	8
5	W4	FX LUMINAIRE	NL-ZD-3LED-DN-CR-FB w/ Wide Spread Lens - Warm 27K Lens 3" Surface Mounted Downlight with	12V AC	PHASE	Integral LED lamp	4

*** ALL FIXTURES INSTALLED IN EXTERIOR CONDITIONS MUST BE DAMP OR WET RATED AND BE DARK SKY COMPLIANT
 *** EQUIVALENT FIXTURES MAY BE SUBSTITUTED WITH OWNER'S APPROVAL
 *** ALL FIXTURES ARE TO BE APPROVED BY OWNER BEFORE ORDERING.
 *** ALL LINEAR PRODUCT MUST BE FIELD MEASURED BEFORE ORDERING.
 *** ALL LED PRODUCT IS TO BE FIELD VERIFIED FOR PROPER COLOR RENDERING BEFORE ORDERING
 *** ALL TRIM COLORS TO BE VERIFIED WITH OWNER BEFORE ORDERING.

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20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

- City Comments - 9.30.22
- 5.24.23
- 8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:

PHOTOMETRIC
PLAN
EL 9

ERCO Lightmark Floor washlight

34705.023
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 3
Flush mounting detail
Spherulite lens, oval flood

Product description
Housing: polymer, black
Housing for recessed mounting in brickwork and dry wall partitions: stainless steel. Mounting bracket: metal, hot-dip galvanized. Clamp extension: 1.30mm
Control gear: 60Hz, 120V dimmable, 277V switchable. 1 cable entry, 3-pole terminal block
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Cover with non-reflective safety glass: corrosion-resistant cast aluminum, No-Rise surface treatment. Graphite m, double powder-coated.
Suitable for wet location (IP65): dust-proof and water proof.
120V Dimming with external dimmers possible (trailing edge)
Weight: 3.3 lbs / 1.5 kg
Version with 3000K CRI 97 or 9000K, 4000K CRI 92 available on request.

Technical data
Luminous flux of the luminaire: 261lm
Connected load: 8.0W
Luminance efficiency: 15.5LM/W
Color rendition: 90 Ra
Color rendition index: 100 Ra
Lumen maintenance LED manufacturer specifications: L70 > 50000h
LED failure rate: 0.1% $\leq 50000h$
LMF: 1

For your regional contact in the ERCO Sales network click here: www.erco.com/contact

Technical region: 120V/60Hz, 277V/60Hz
We reserve the right to make technical and design changes.
Edition: 28.04.2022
Current version under www.erco.com/34705.023

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ERCO Lightmark Floor washlight

34703.023
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 3
Flush mounting detail
Spherulite lens, wide beam

Product description
Housing: polymer, black
Housing for recessed mounting in brickwork and dry wall partitions: stainless steel. Mounting bracket: metal, hot-dip galvanized. Clamp extension: 1.30mm
Control gear: 60Hz, 120V dimmable, 277V switchable. 1 cable entry, 3-pole terminal block
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Cover with non-reflective safety glass: corrosion-resistant cast aluminum, No-Rise surface treatment. Graphite m, double powder-coated.
Suitable for wet location (IP65): dust-proof and water proof.
120V Dimming with external dimmers possible (trailing edge)
Weight: 3.3 lbs / 1.5 kg
Version with 3000K CRI 97 or 9000K, 4000K CRI 92 available on request.

Technical data
Luminous flux of the luminaire: 312lm
Connected load: 8.0W
Luminance efficiency: 15.5LM/W
Color rendition: 90 Ra
Color rendition index: 100 Ra
Lumen maintenance LED manufacturer specifications: L70 > 50000h
LED failure rate: 0.1% $\leq 50000h$
LMF: 1

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ERCO Cylinder Floor washlight

85105.023 Graphite m
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 5
Sae 2
Spherulite lens, oval flood

Product description
Housing: corrosion-resistant aluminum profile, No-Rise surface treatment. Double powder-coated. Optimized surface for reduced accumulation of dirt. Tamper-proof screw.
Cover and wall plate: corrosion-resistant cast aluminum.
Control gear: 60Hz, 120V dimmable, 277V switchable. 2 cable entries. Through-wiring possible. 3-pole terminal block.
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Front lens bottom: Reflector: aluminum, glass, light modified, inclined oval flood. Spherulite lens for pathway lighting.

Technical data
Luminous flux of the luminaire: 482lm
Connected load: 8.0W
Luminance efficiency: 15.5LM/W
Color rendition: 90 Ra
Color rendition index: 100 Ra
Lumen maintenance LED manufacturer specifications: L70 > 50000h
LED failure rate: 0.1% $\leq 50000h$
LMF: 1

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LED floodlight with mounting canopy and outrigger arm

Housing: One piece die cast aluminum housing supplied with universal mounting brackets for direct attachment to vertically oriented single gang wiring box. Stainless steel outrigger swivel arm. Die castings are marine grade, copper free (0.02% copper content) A303 aluminum alloy.

Enclosure: Clear tempered glass, mounted by one piece aluminum frame, secured by three (3) captive socket head stainless steel fasteners threaded into stainless steel inserts. Anodized aluminum reflector for precise optics. Fully gasketed for weather tight operation in any mounting orientation using one piece silicone gasket.

Electrical: 10.6W LED luminaire, 12.8 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver. 120V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature: 3000K (warm white) or 5000K (cool white). Available in 3000K (4-80 CRI); add suffix 'K2' to order: **27K**.

Note: LEDs in applications with dynamic loads. Due to the dynamic nature of LED technology, LED luminaires data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WHY), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA: certified to U.S. and Canadian standards for wet locations. Protection class IP65.

Weight: 4.8 lbs.

EPA (Effective projection area): 0.39 sq. ft.

Luminaire Lumens: 856
Tested in accordance with LM-79-08

Type: BEGA
Product: Project: Voltage: Color: Options: Modified:



Compact floodlights with mounting box and outrigger arm - wide beam

Lamp: 10.6 W LED
77756
Color effect: White
Exchangingable lenses: 167° glass beam
Accessories: 3" Beam pipe

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
Copyright BEGA-US 2016 Updated 01/19

ERCO Cylinder Floor washlight

85105.023 Graphite m
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 5
Sae 2
Spherulite lens, oval flood

Product description
Housing: corrosion-resistant aluminum profile, No-Rise surface treatment. Double powder-coated. Optimized surface for reduced accumulation of dirt. Tamper-proof screw.
Cover and wall plate: corrosion-resistant cast aluminum.
Control gear: 60Hz, 120V dimmable, 277V switchable. 2 cable entries. Through-wiring possible. 3-pole terminal block.
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Color rendition index: 100 Ra
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LED failure rate: 0.1% $\leq 50000h$
LMF: 1

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FXLuminaire

Down & Up/Down Lights

NL Down & Up/Down Light DESIGNER PREMIUM

Wall-mounted, geometric square down light or up/down sconce in 3, 6, or 9 LED. Available in aluminum or brass construction. RGBW option available for use with Luxor® lighting control systems.

Quick Facts

- Down or up/down configurations
- Natural, powder coat, or antique brass/copper finishes
- Tamper-resistant features
- Phase and PWM dimmable
- Die-cast aluminum or brass
- Luminaire® integrated LEDs
- Compatible with Luxor technology
- Input voltage: 10-15V

LANDSCAPE AND ARCHITECTURAL LIGHTING

Learn more: Votf.tel.com | 1-760-744-5240

1 of 9 Generated 18 Jul 2022 17:22:22

GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
- THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
- ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
- ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
- ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.
- FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
- ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.
- ALL STEP LIGHTS SHALL BE MOUNTED AT "1'-10" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
- ALL WIRE USED SHALL BE COPPER
- IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WE REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.
- THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

- LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.
- EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).
- ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2).
- ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

- S SINGLE POLE SWITCH
- S J SINGLE POLE JAMB SWITCH
- S M SINGLE POLE MOTION SWITCH
- S T SINGLE POLE TIMER SWITCH
- D SINGLE POLE DIMMER
- 1/2 SWITCHED DUPLEX RECEPTACLE
- 1/2 SWITCHED RECESSED CLOCK RECEPTACLE
- 1/2 SWITCHED FLOOR PLUG RECEPTACLE
- T# REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER LIGHTING DESIGN

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

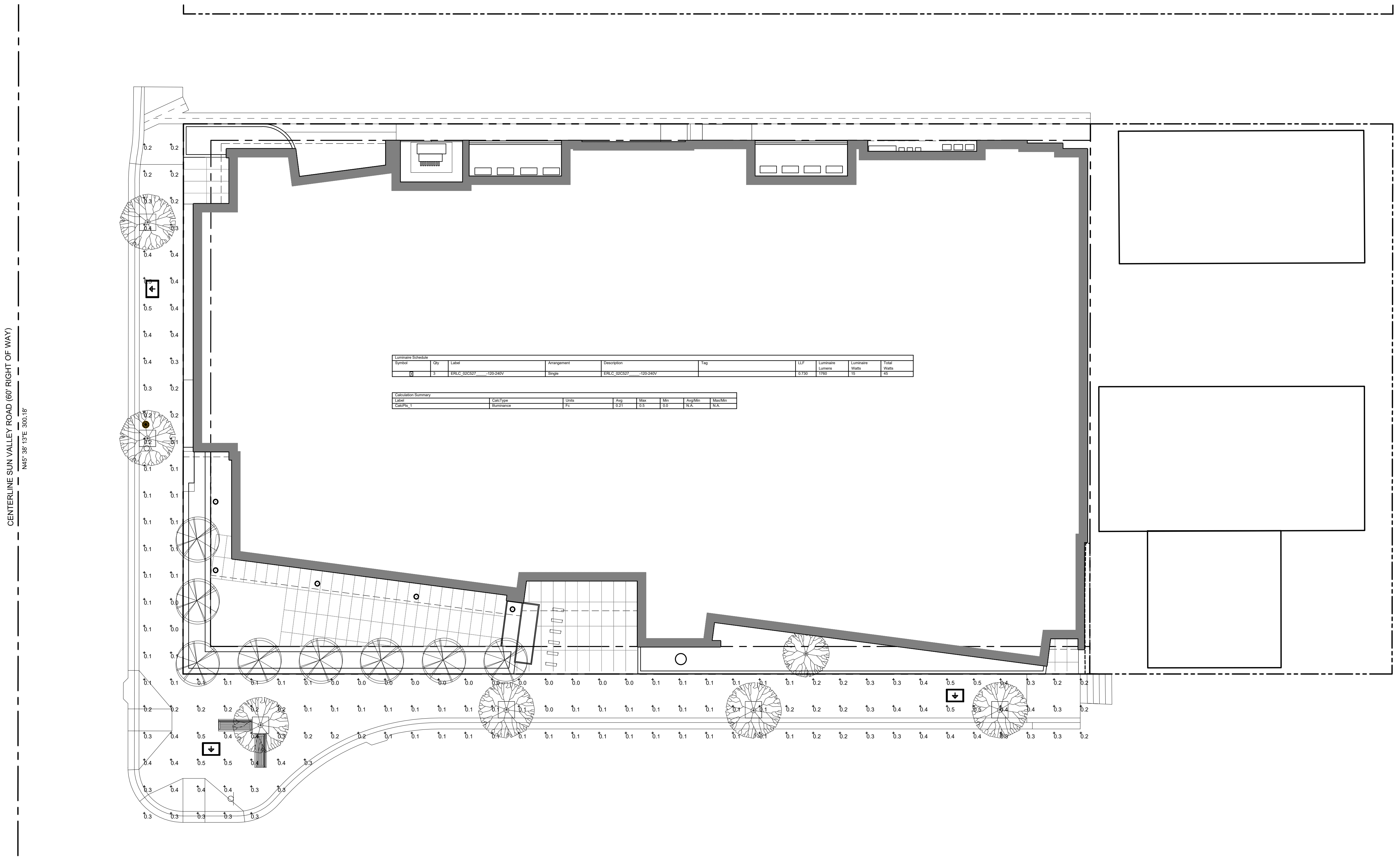
REVISIONS:

- 1 City Comments - 9.30.22
- 2 5.24.23
- 3 8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:

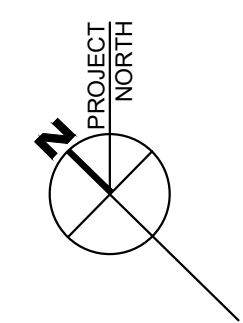
PHOTOMETRIC PLAN
EL12



Calculations prepared by Mike Decker of The MH Companies

STREET LIGHTING PLAN

1" = 10'-0"



Revised:

Revised: 08/30/22
07/17/23 MD
07/22/24 MD

Drawn: 08/10/22 CF
Checked:
Construction Set Issued:

THE MH COMPANIES
PREPARED BY CARSON FILLIN
(208) 609-3722
carson@mhighlighting.com



Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM, ID

Sheet Title:
STREET LIGHTING PHOTOMETRIC PLAN

Sheet:
ES1
Project No.
2002

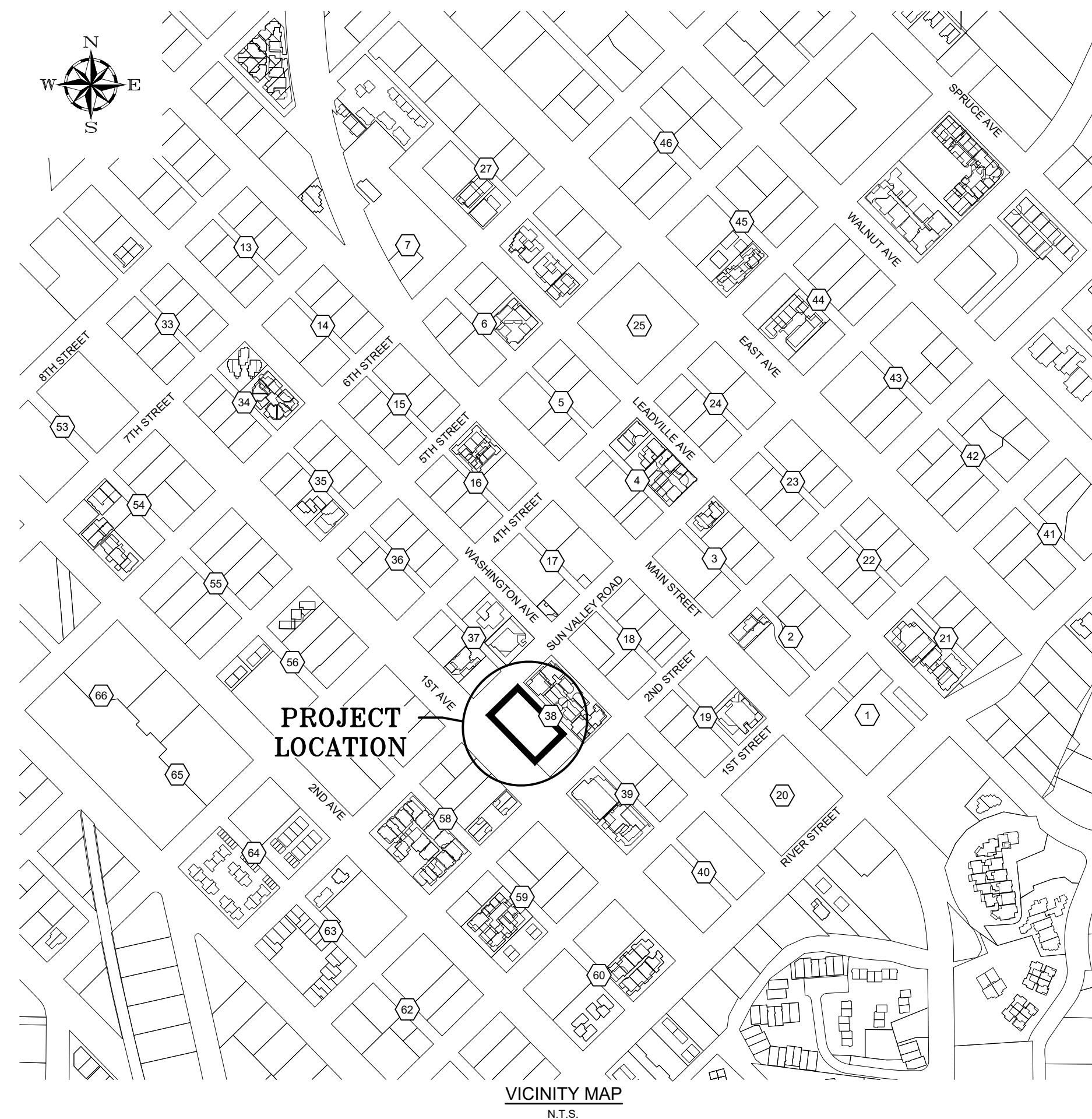
SAWTOOTH SERENADE

CITY OF KETCHUM, BLAINE COUNTY, IDAHO

SEPTEMBER 2024

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - **PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
12. CONTRACTOR IS RESPONSIBLE FOR A TRAFFIC CONTROL PLAN FOR WORK WITHIN THE CITY RIGHTS-OF-WAY. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
13. ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
14. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
15. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
16. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
17. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
18. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
19. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
20. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
21. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19).
22. DOCUMENTATION OF TESTING FOR WORK WITHIN THE CITY RIGHT-OF-WAY MEETING SECTION 12.04.040 D WILL BE REQUIRED FOR ASPHALT, CONCRETE, AND BASE MATERIALS AND WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.



SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C0.30	NEIGHBORING BUILDINGS PLAN
C0.90	SITE DEMOLITION PLAN
C1.00	SITE PLAN / SITE GEOMETRY PLAN
C2.00	SITE IMPROVEMENT DETAIL SHEET
C2.10	ALLEY LIP OF GUTTER PLAN AND PROFILE
C2.20	STREET SIDE LIP OF GUTTER PLAN AND PROFILE
C2.30	SITE GRADING PLAN
C3.00	SITE DRAINAGE AND UTILITY DETAILS
C3.10	SITE DRAINAGE AND UTILITY PLAN

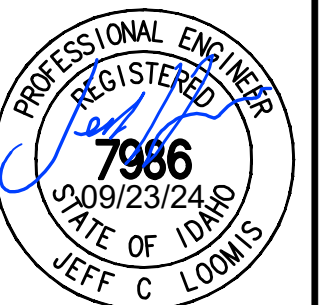
SAWTOOTH SERENADE (131 E SUN VALLEY RD)

COVER SHEET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: THEISEN ARCHITECTS

PROJECT INFORMATION
G:\BENCHMARK\Ketchum\Wagner\book_361\c0.10 - 131 E Sun Valley Rd - Sawtooth Serenade\DWG\Construction\092324\C0.10.dwg 09/23/24 10:21:09 AM



DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

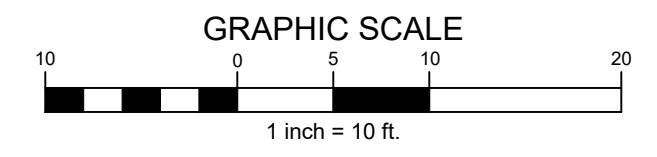
GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: DESIGN REVIEW - REVISION 2 (09/23/2024)

NO.	DATE	BY	REVISIONS
A	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
A	07/19/23	JCL	ISSUE FOR DESIGN REVIEW
A	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C0.10

COPPER RIDGE CONDOMINIUMS



LEGEND

- Property Line
 - Adjoiner's Lot Line
 - Centerline Right of Way
 - Building Setback Line
 - Concrete Line
 - Easement Line
 - Edge of Asphalt
 - Paint Striping
 - Retaining Wall
 - Fence Line
 - 8" Sewer main Line
 - Water main Line
 - Buried Telephone Line
 - Buried Cable Television Line
 - Buried Power Line
 - Gas main Line
 - 1' Contour Interval
 - 5' Contour Interval
 - Survey Control
 - Found 1/2" Rebar
 - Found 5/8" Rebar
 - Found 5/8" Rebar with Aluminum Cap
 - Water Valve
 - Drywell
 - Sign
 - Light
 - Telephone Riser
 - Power Box
 - Sewer Manhole
 - Gas Valve
- () Record Bearing & Distance, Ketchum Township, Block 38, Lot 1A, Instrument Number 467733
- [] Record Bearing & Distance, Lot 5A, Block 38, Ketchum Township, Instrument Number 548431

- BOW = Back of Walk
- CB = Catch Basin
- CC = Curb Cut
- COR = Corner
- CNTRL = Survey Control
- DWELL = Drywell
- DY = Double Yellow
- EOA = Edge of Asphalt
- FNC = Fence
- FND = Found
- GV = Gas Valve
- IC = Illegible Cap
- IP = Iron Pipe
- LIP = Lip of Gutter
- LP = Low Point
- NG = Natural Ground
- PBOX = Power Box
- PHBOX = Telephone Riser
- PT = Point of Tangent
- RTW = Retaining Wall
- SGN = Sign
- SMH = Sewer Manhole
- STRP = Stripe
- TA = Top of Asphalt
- TBC = Top Back of Curb
- TBM = Temporary Benchmark
- TOE = Toe of Slope
- TOP = Top of Slope
- VG = Valley Gutter
- WW = Water Valve

NOTES

1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/02/18).
2. Boundary information is based on Bound Monumentation and the recorded plat of Lot 5A, Block 38, Ketchum Township, Instrument Number 548431, records of Blaine County. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
3. Sub-surface utility locations are approximate and locations should be verified before any excavation.
4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
5. Benchmark is top of the 1/2" rebar with No Cap, at the Northwest Corner of Lot 5A. Elevation = 5824.53'

A TOPOGRAPHIC MAP SHOWING
LOT 5A, BLOCK 38, KETCHUM TOWNSITE
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR HOLLIS REMPELTES ARCHITECTS

FB: 18-07-01
 REUSE OF DRAWINGS
 This drawing and any Project or shall not be used for any other extension of this Project except by agreement in writing with Galena Engineering, Inc.

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 788-1705
 (208) 788-4612 fax
 email: galena@galena-engineering.com

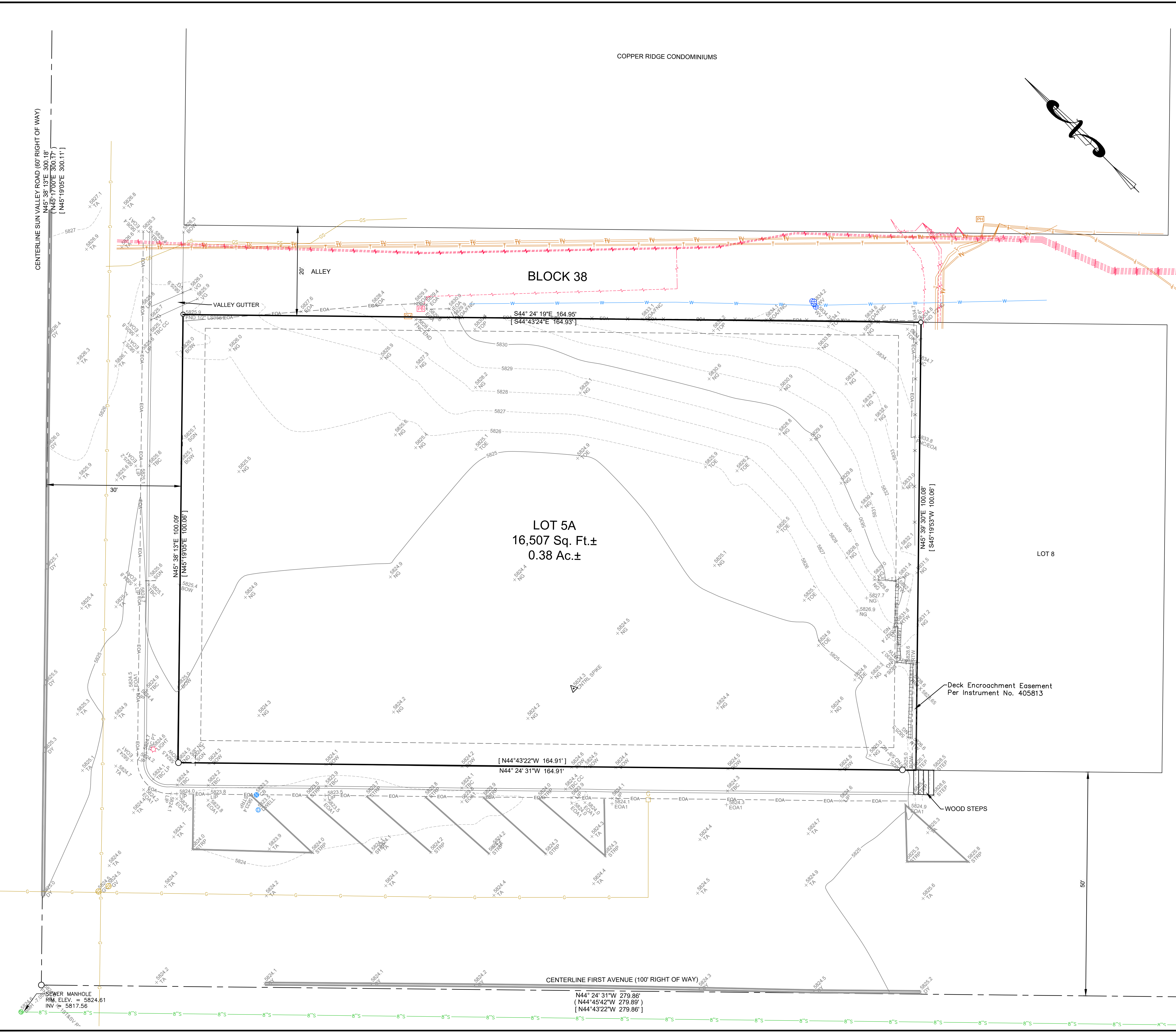
NO.	DATE	BY	REVISIONS

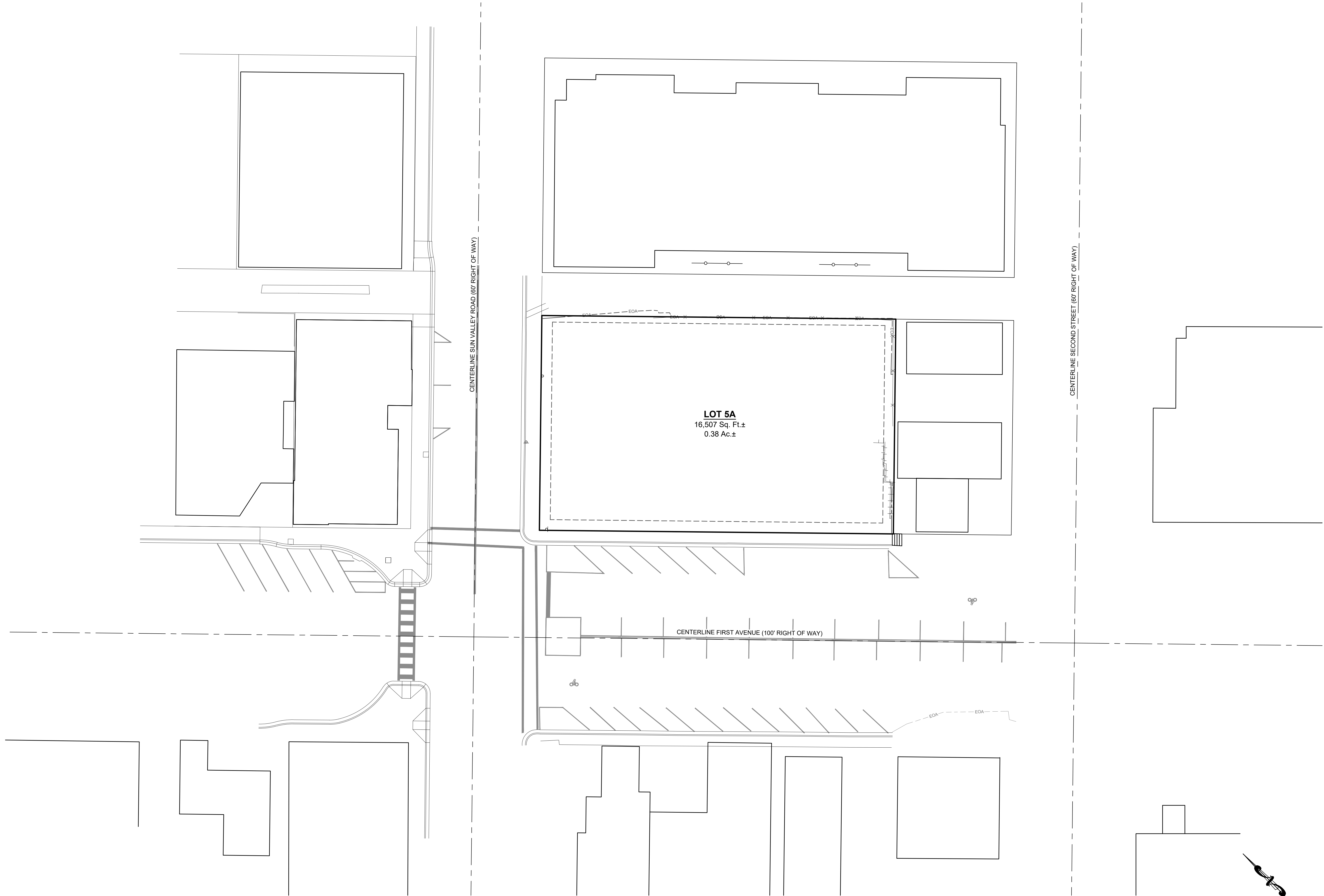
C0.20



SEWER MANHOLE
RIM ELEV. = 5830.01
INV. = 5818.51

N44° 24' 31"W 279.86'
(N44°45'42"W 279.89')
[N44°43'22"W 279.86']



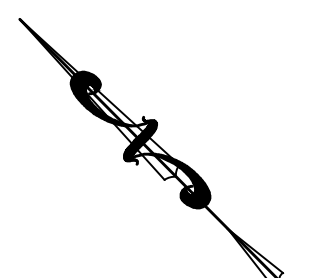
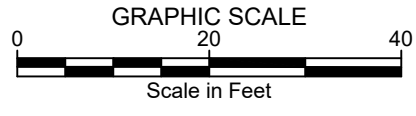


LOT 5A
 16,507 Sq. Ft±
 0.38 Ac.±

CENTERLINE SUN VALLEY ROAD (60' RIGHT OF WAY)

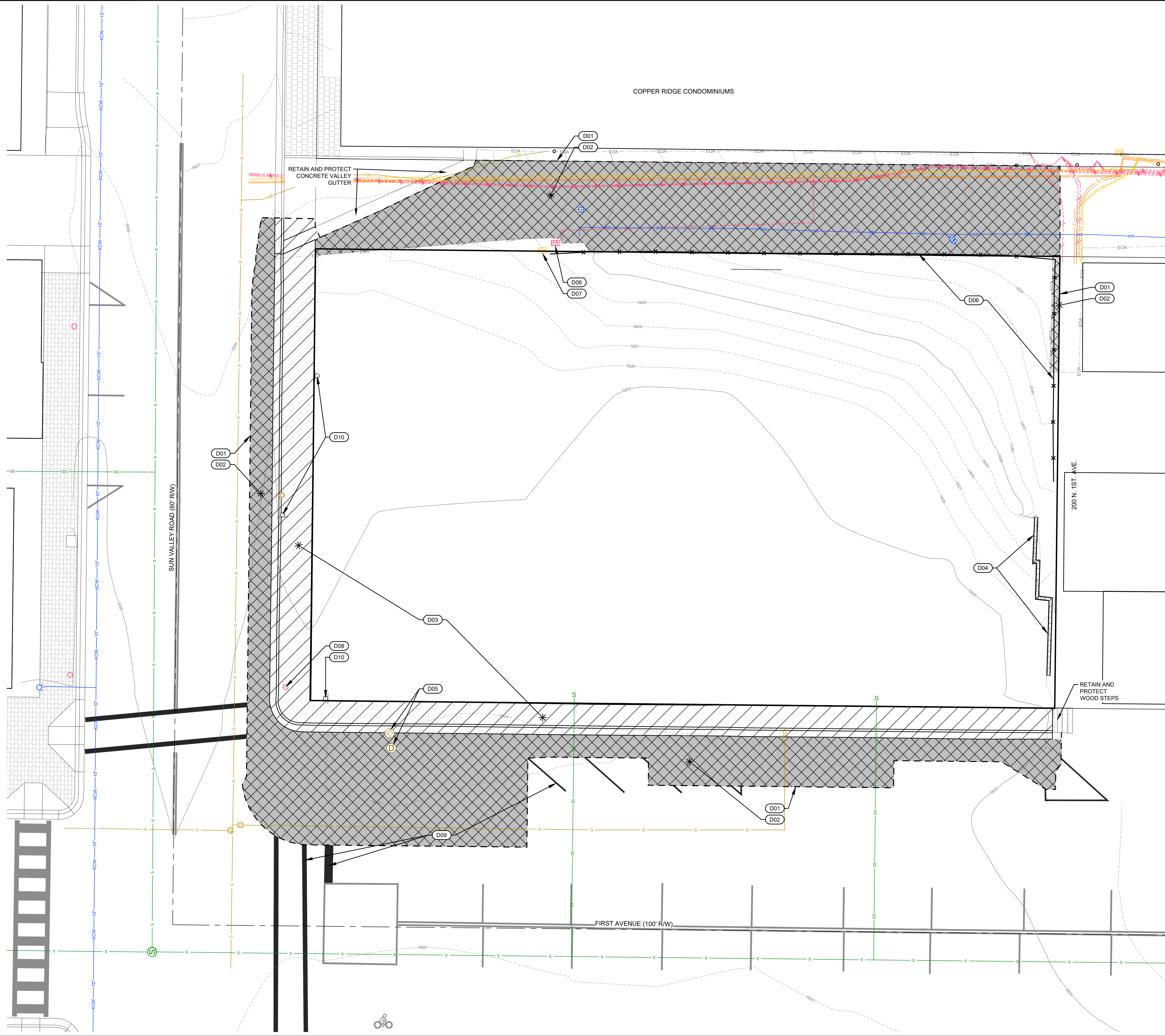
CENTERLINE FIRST AVENUE (100' RIGHT OF WAY)

CENTERLINE SECOND STREET (60' RIGHT OF WAY)



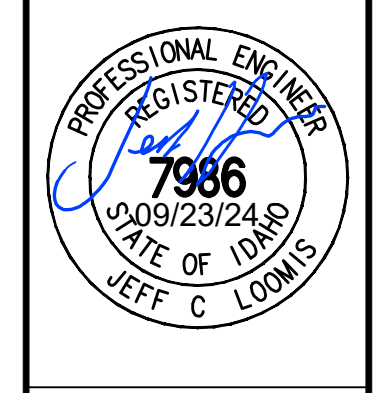
NO.	DATE	BY	REVISIONS	<p style="text-align: center; margin: 0;">GALENA ENGINEERING, INC. Civil Engineers & Land Surveyors 317 N. River Street Hailey, Idaho 83333 (208) 788-1705 (208) 788-4612 fax email galena@galena-engineering.com</p>	<p style="font-size: small; margin: 0;">REUSE OF DRAWINGS The reuse of drawings or portions thereof shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..</p>	<p style="font-size: x-small; margin: 0;">FB: 18-07-01 MEP DESIGN BY SNE CHECKED BY</p>
C0.30				NEIGHBORING BUILDINGS PLAN LOT 5A, BLOCK 38, KETCHUM TOWNSITE LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO PREPARED FOR HOLLIS REMPETES ARCHITECTS PROJECT INFORMATION P:\snp\p06181030.dwg Topo\NEIGHBORING.dwg 08/12/21 11:16:29 AM		

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena-Benchmark Engineering.



- SITE DEMOLITION KEY NOTES**
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 REMOVE AND DISPOSE OF ASPHALT.
 - D03 REMOVE AND DISPOSE OF CONCRETE SIDEWALK, CURB AND GUTTER.
 - D04 REMOVE AND DISPOSE OF RETAINING WALL.
 - D05 REMOVE AND DISPOSE OF CATCH BASIN AND DRYWELL.
 - D06 RELOCATE POWER BOX. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISE.
 - D07 RELOCATE TELEPHONE RISER. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISE.
 - D08 REMOVE STREET LIGHT. RETURN TO CITY OF KETCHUM. CONTRACTOR TO COORDINATE ACTIVITY WITH CITY OF KETCHUM.
 - D09 OBLITERATE EXISTING ROAD MARKINGS.
 - D10 REMOVE AND RETAIN SIGN FOR FUTURE USE.
 - D11 REMOVE AND DISPOSE OF FENCE.

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE DEMOLITION PLAN
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THELISEN ARCHITECTS
 PROJECT INFORMATION
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DESIGNED BY: JCL
 DRAWN BY: MS
 CHECKED BY: JCL
 SURVEY DATE:

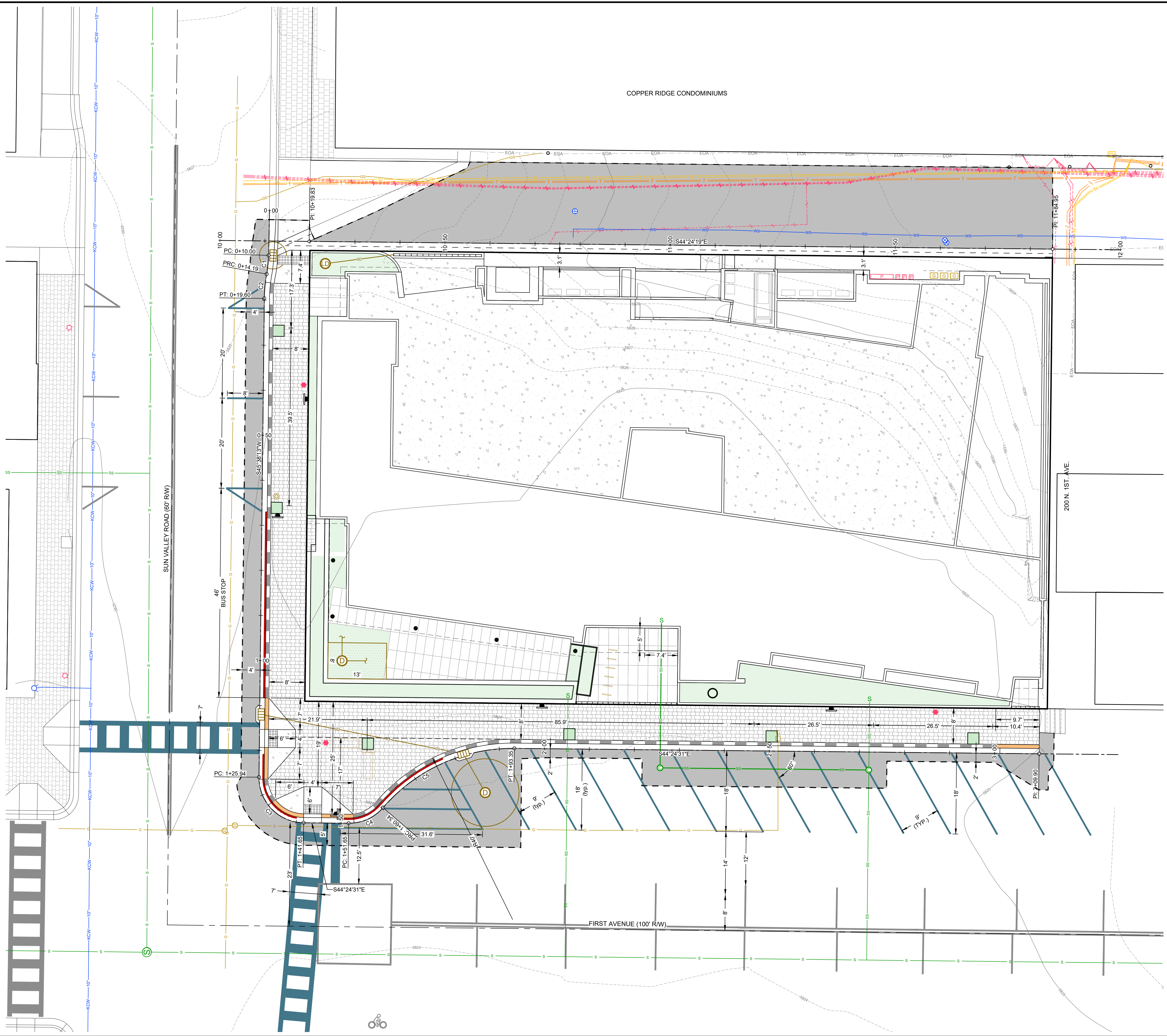
GALENA - BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 733
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

PURPOSE: DESIGN REVIEW - REVISION 2 (09/23/2024)

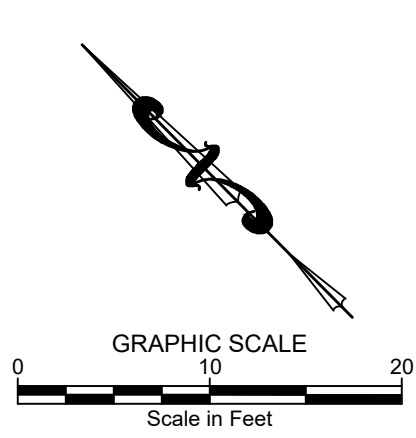
NO.	DATE	BY	REVISIONS
A	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
A	07/19/23	JCL	ISSUE FOR DESIGN REVIEW
A	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C0.90

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena-Benchmark Engineering.



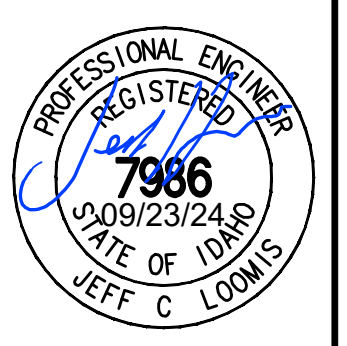
Curve Table					
Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.00'	4.19'	8°34'20"	S51°02'48"W	4.19'
C2	32.00'	5.42'	9°41'45"	S50°29'05"W	5.41'
C3	10.00'	15.72'	90°02'44"	S00°36'51"W	14.15'
C4	10.00'	8.69'	49°46'19"	S69°17'40"E	8.42'
C5	38.00'	33.01'	49°46'19"	S69°17'40"E	31.98'



PURPOSE: DESIGN REVIEW - REVISION 2 (09/23/2024)

NO.	DATE	BY	REVISIONS
A	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
A	07/13/23	JCL	ISSUE FOR DESIGN REVIEW
A	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 K.C. Box 733
 (208) 726-9512
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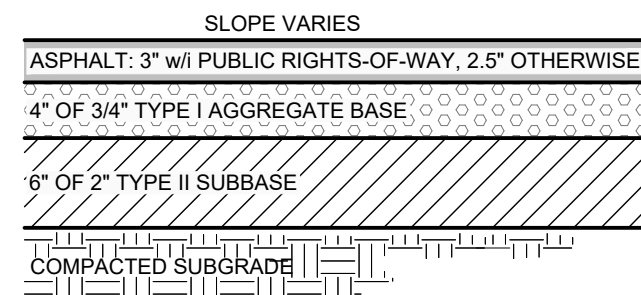


DESIGNED BY: JCL
 DRAWN BY: MS
 CHECKED BY: JCL
 SURVEY DATE:

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE PLAN / SITE GEOMETRY PLAN
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THEISEN ARCHITECTS

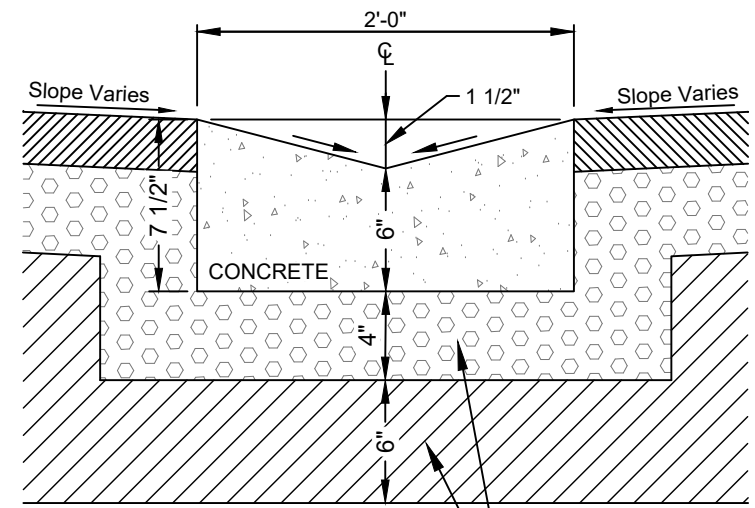
PROJECT INFORMATION
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C1.00



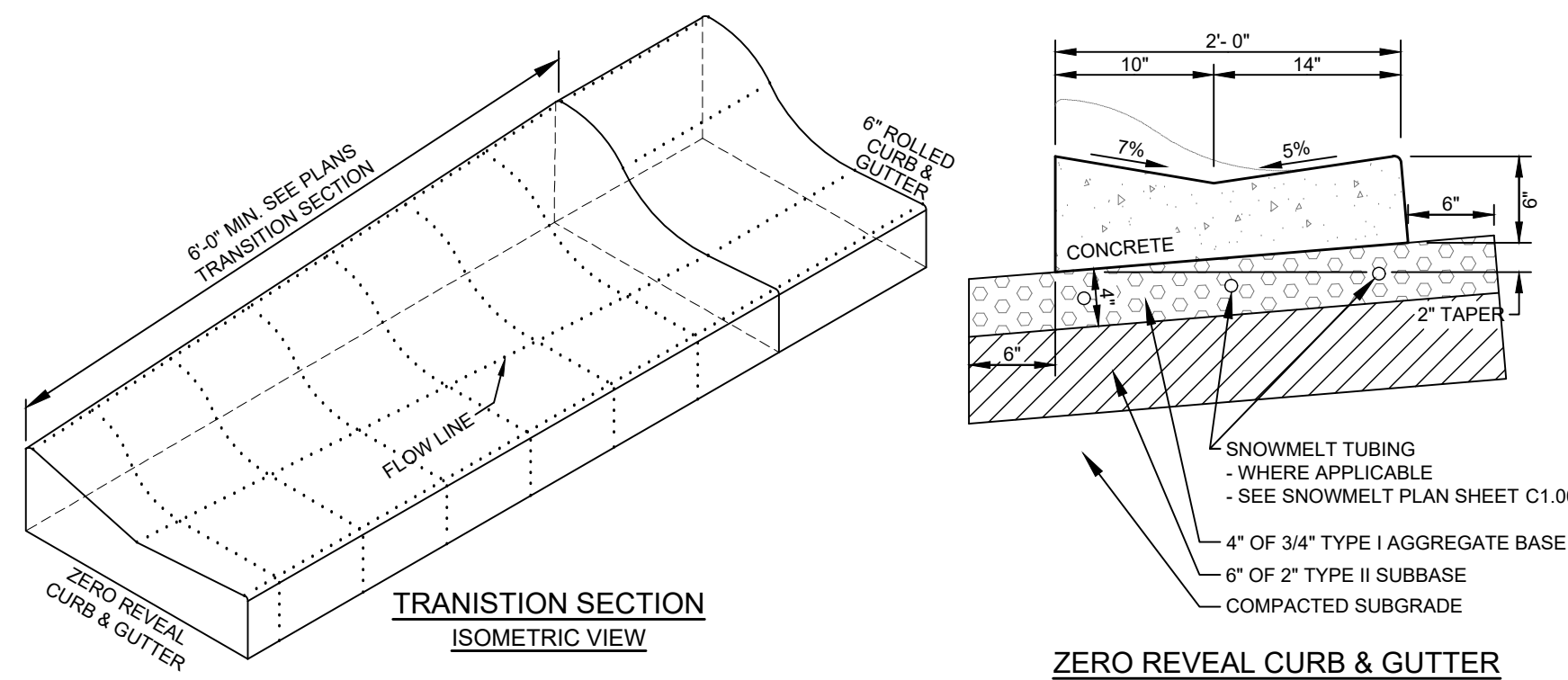
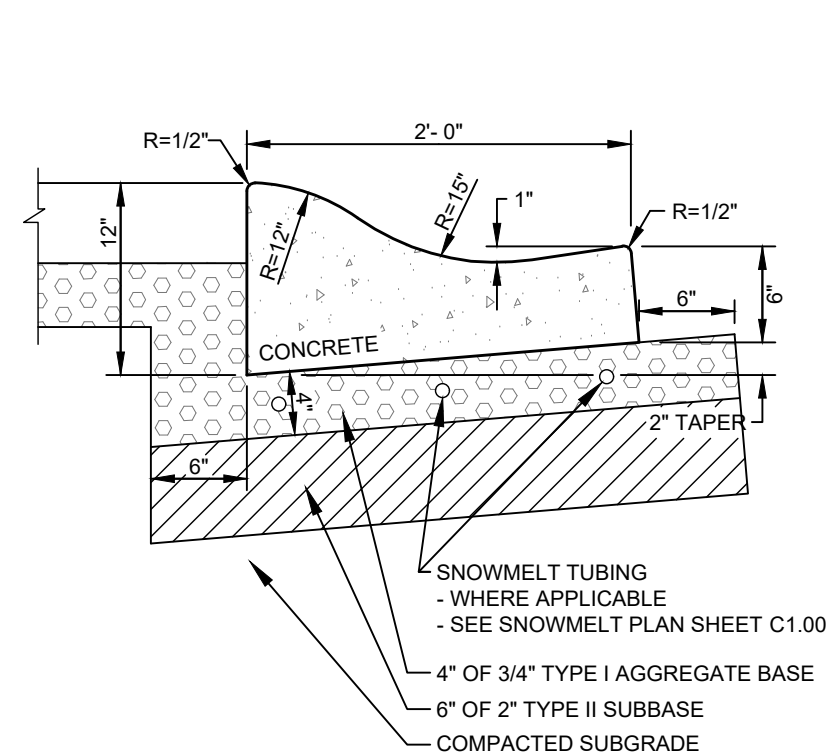
NOTES:
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
 C2.00 **TYPICAL STREET ASPHALT SECTION**
 N.T.S.



NOTES:
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

4
 C2.00 **24" WIDE CONCRETE VALLEY GUTTER**
 N.T.S.

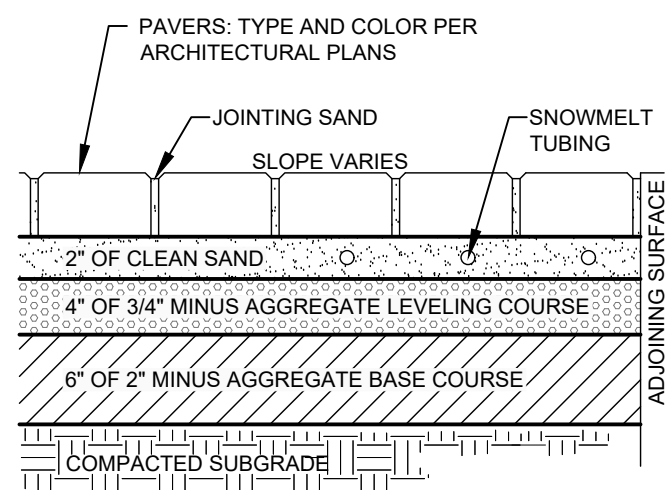


NOTES:
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
 6. SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

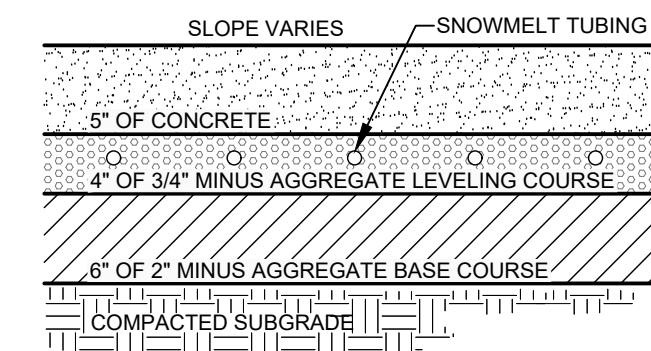
3
 C2.00 **TYPICAL HEATED ROLLED CURB TRANSITION DETAIL**
 N.T.S.

NOTES:
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
 6. SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2
 C2.00 **HEATED 6" CONCRETE ROLLED CURB & GUTTER**
 N.T.S.

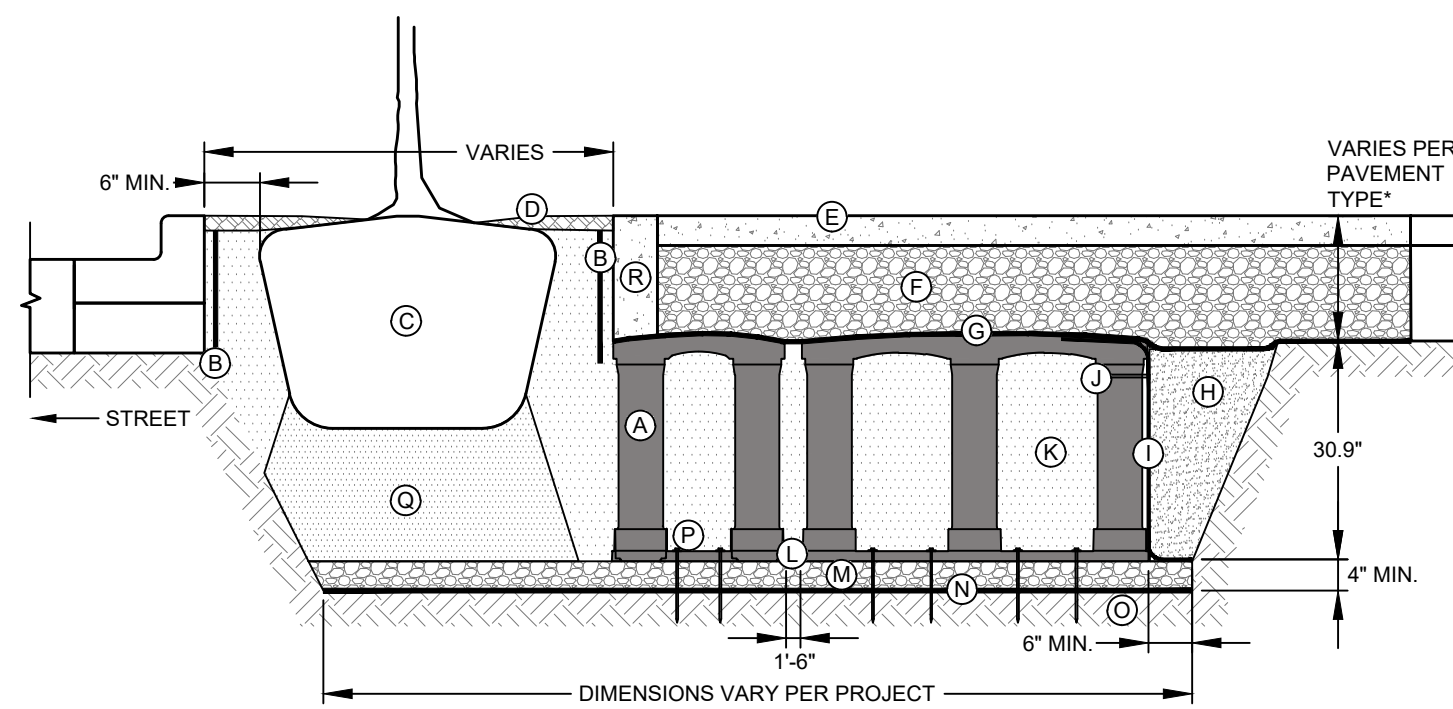


5
 C2.00 **HEATED PAVER DETAIL**
 N.T.S.



NOTES:
 1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 2. CONTINUOUS PLACEMENT PREFERRED. SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 3. 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 4. MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPC SPECIFICATIONS.

6
 C2.00 **TYPICAL CONCRETE SIDEWALK SECTION**
 N.T.S.

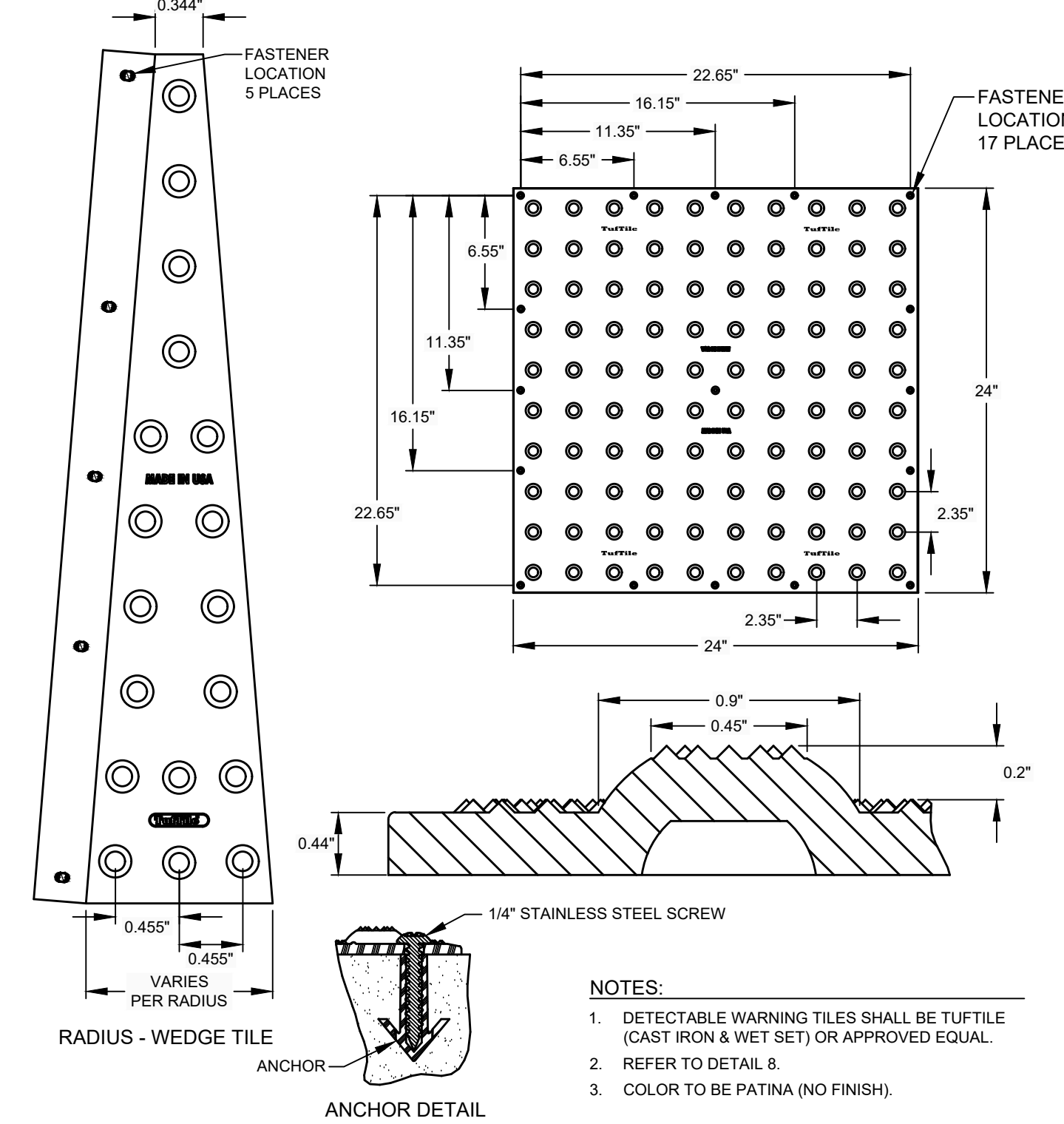


KEY PLAN:
 A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 B. DEEPROOF ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 C. TREE ROOT PACKAGE, SIZE VARIES
 D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
 E. SURFACE TREATMENT, PER PROJECT
 F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT
 G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK
 H. BACKFILL PER PROJECT SPECIFICATIONS
 I. GEGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 J. CABLE TIE, ATTACHING GEGRID TO SILVA CELL AT BASE OF UPPER POST FLARE
 K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR
 L. SILVA CELL BASE SLOPE, 10% MAX
 M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
 N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE
 O. SUBGRADE, COMPACTED TO 95% PROCTOR
 P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION
 Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR
 R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

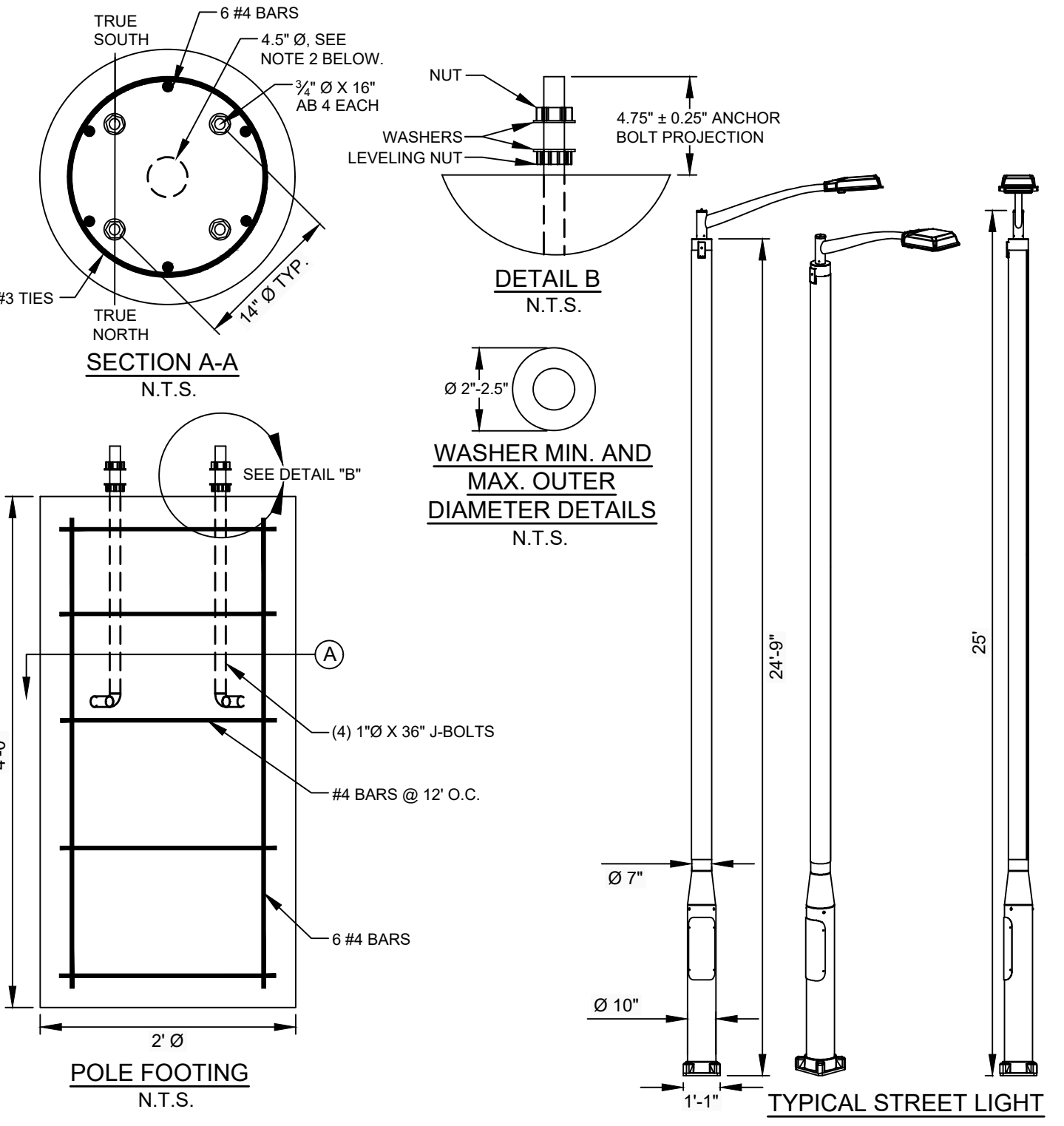
SECTION VIEW

NOTES:
 1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.

9
 C2.00 **TREE WELL DETAILS**
 N.T.S.

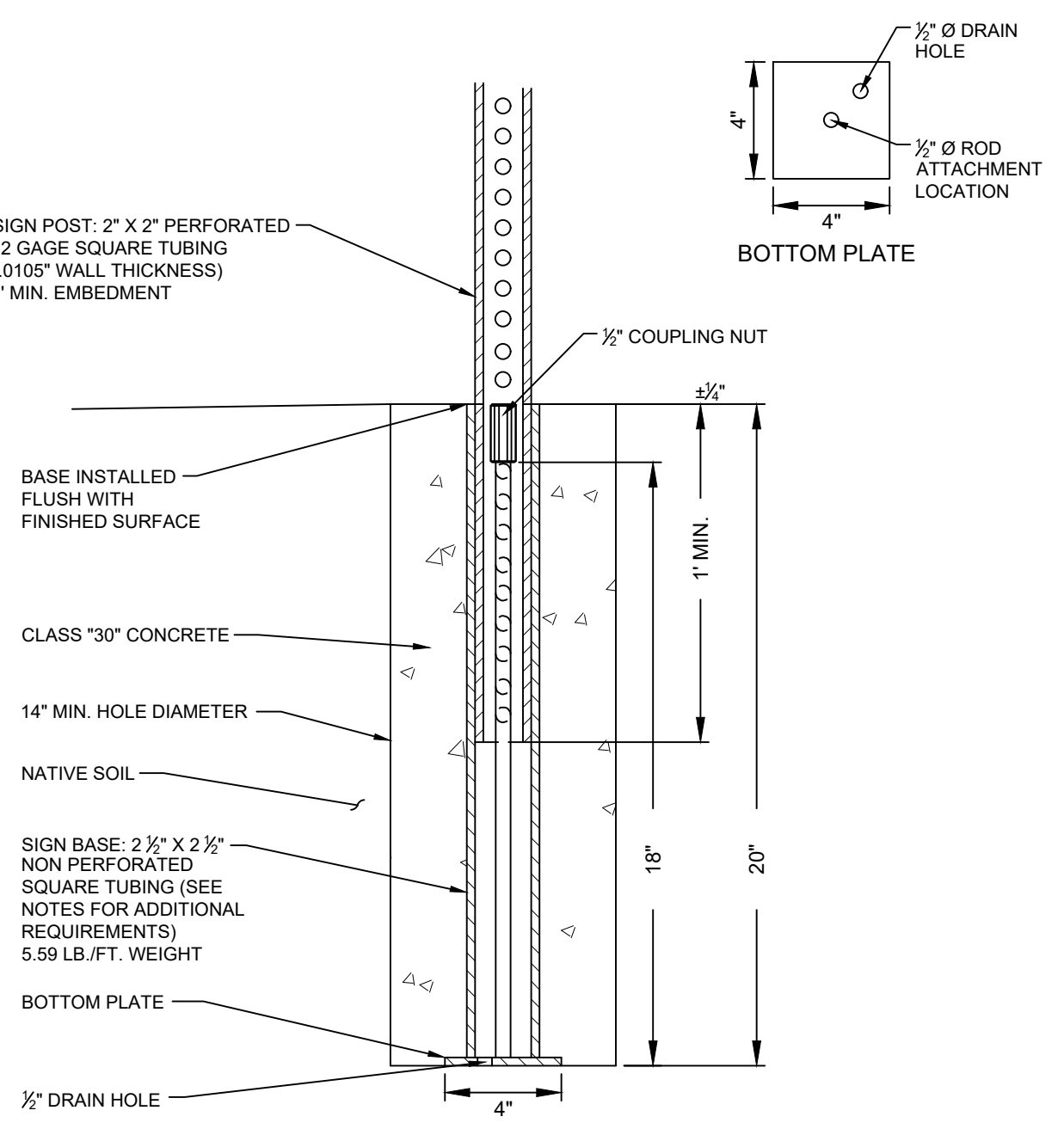


7
 C2.00 **DETECTABLE WARNING PLATE**
 N.T.S.



NOTES:
 1. STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 2. ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE AND AC SUPPLY WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
 3. ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
 4. GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
 5. STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

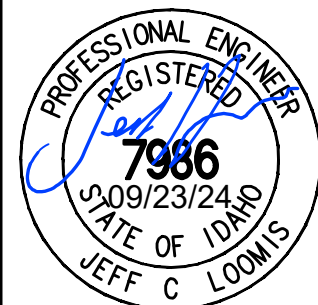
10
 C2.00 **TYPICAL STREET LIGHT**
 N.T.S.



NOTES:
 1. BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 2. ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 3. ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 4. SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 5. CITY TO PROVIDE BASES.

8
 C2.00 **TYPICAL SIGN BASE**
 N.T.S.

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE IMPROVEMENT DETAIL SHEET
 LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THEISEN ARCHITECTS



DESIGNED BY: JCL
 DRAWN BY: MS
 CHECKED BY: JCL
 SURVEY DATE:

GALENA - BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 133
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

NO.	DATE	BY	REVISIONS
A	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
B	07/19/23	JCL	ISSUE FOR DESIGN REVIEW
C	09/25/24	JCL	ISSUE FOR DESIGN REVIEW

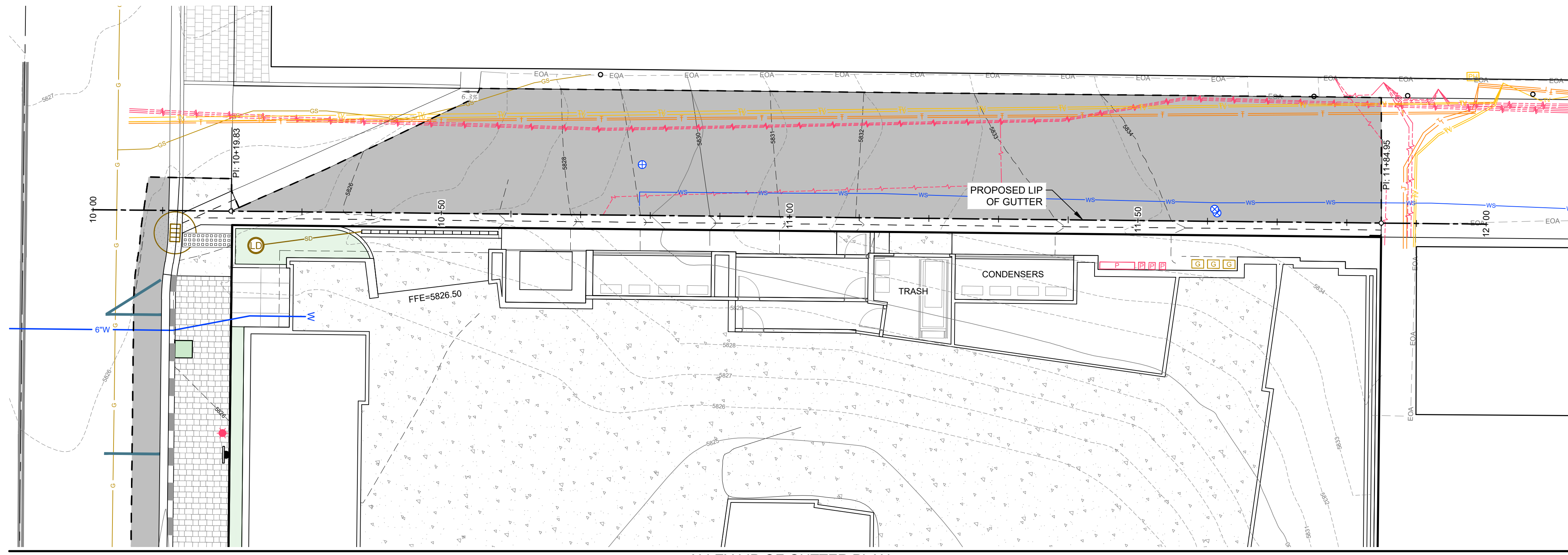
10
 C2.00 **TYPICAL STREET LIGHT**
 N.T.S.

C2.00

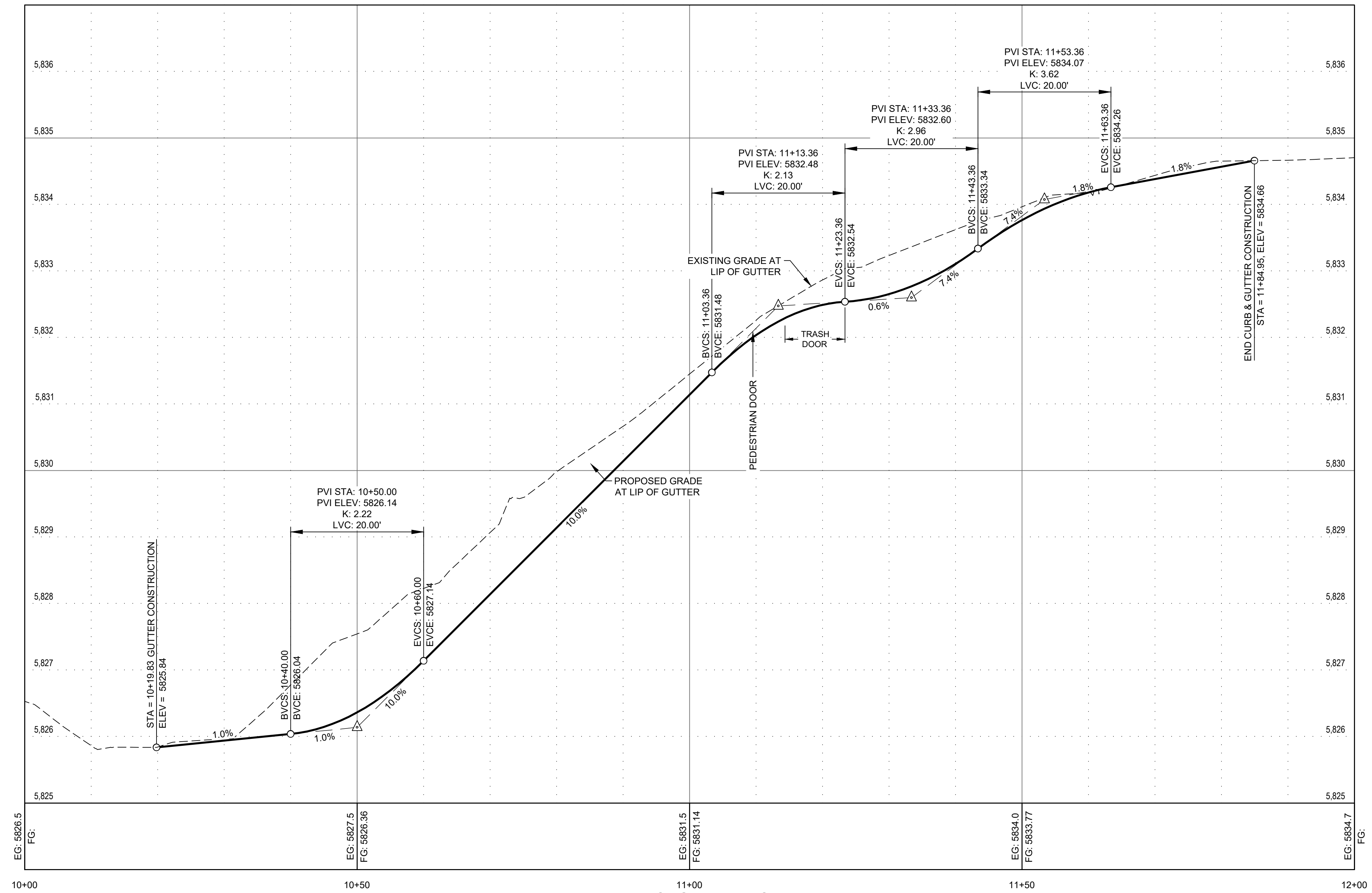
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena-Benchmark Engineering.

PROJECT INFORMATION
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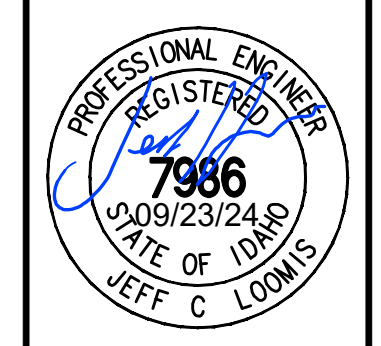
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ALLEY LIP OF GUTTER PLAN



ALLEY LIP OF GUTTER PROFILE
SCALE: 1"=10' H; 1"=1' V

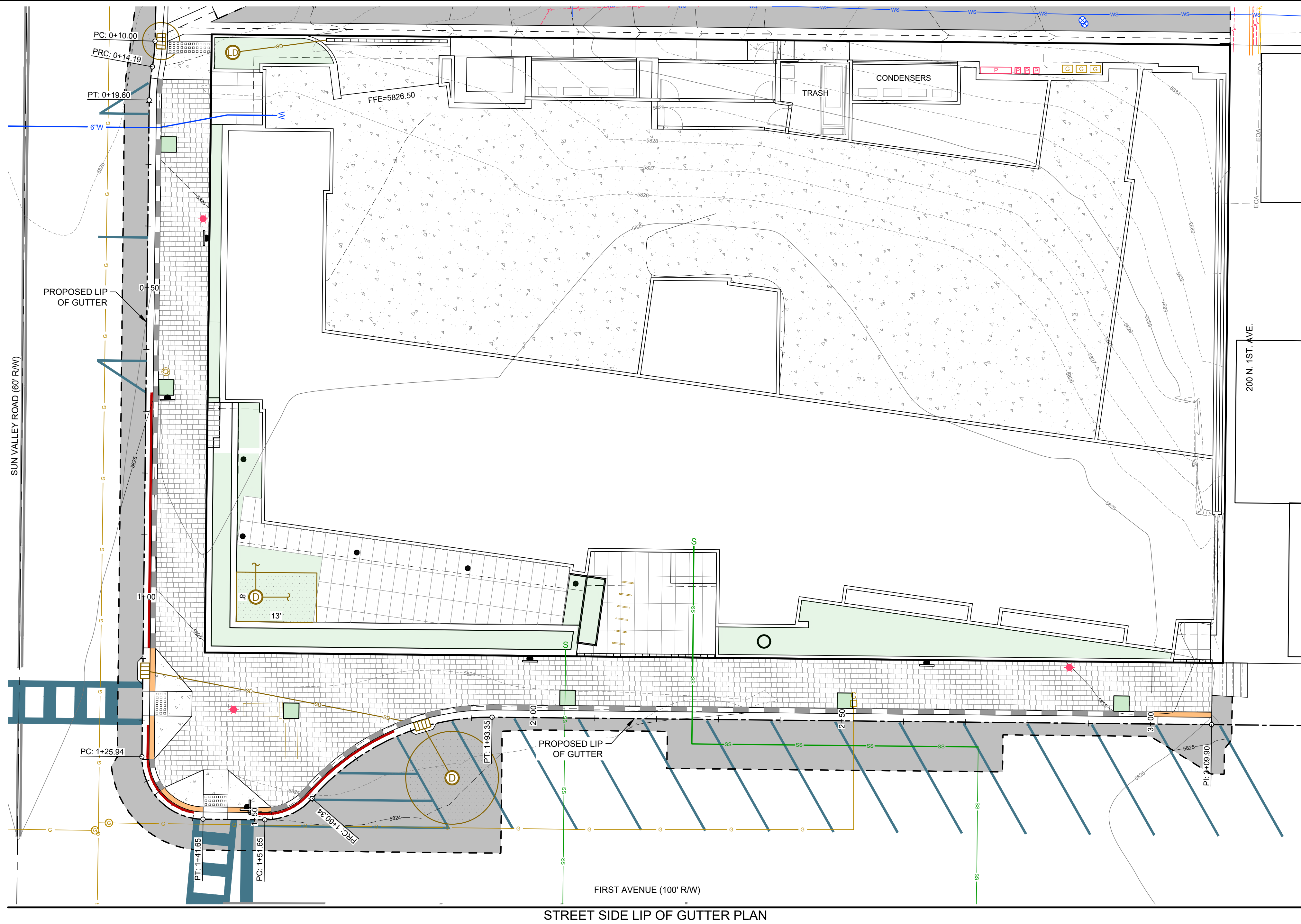


DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

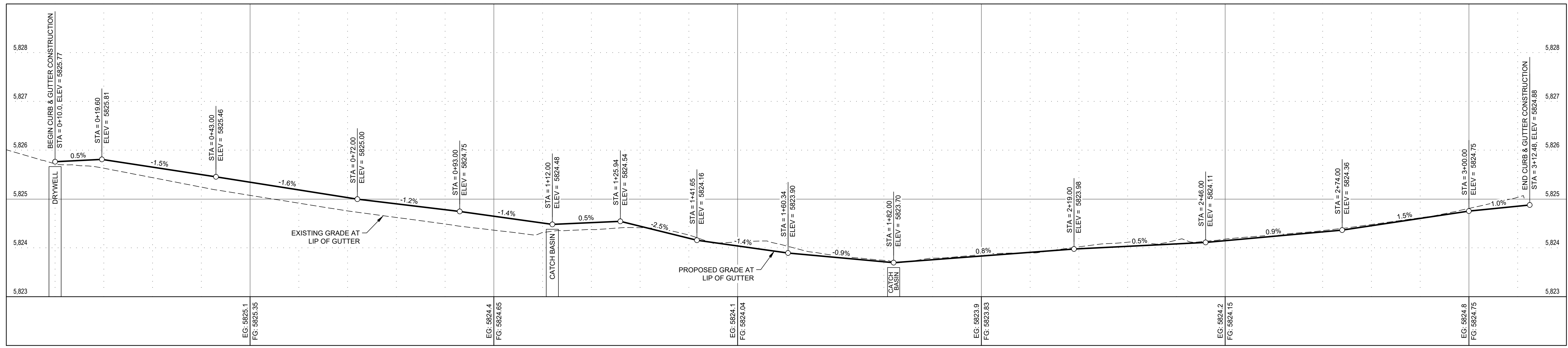
GALENA-BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
K.O. Box 733
Pocatello, ID 83240
(208) 726-9512
www.benchmark-associates.com

NO.	DATE	BY	REVISIONS
▲	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
▲	07/19/23	JCL	ISSUE FOR DESIGN REVIEW
▲	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

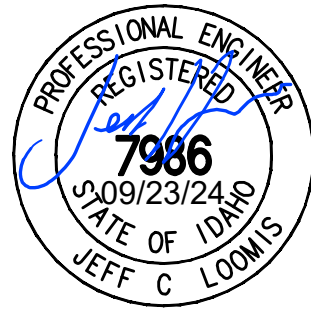
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena-Benchmark Engineering.



STREET SIDE LIP OF GUTTER PLAN



STREET SIDE LIP OF GUTTER PROFILE
SCALE: 1"=10' H; 1"=1' V



DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

GALENA-BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

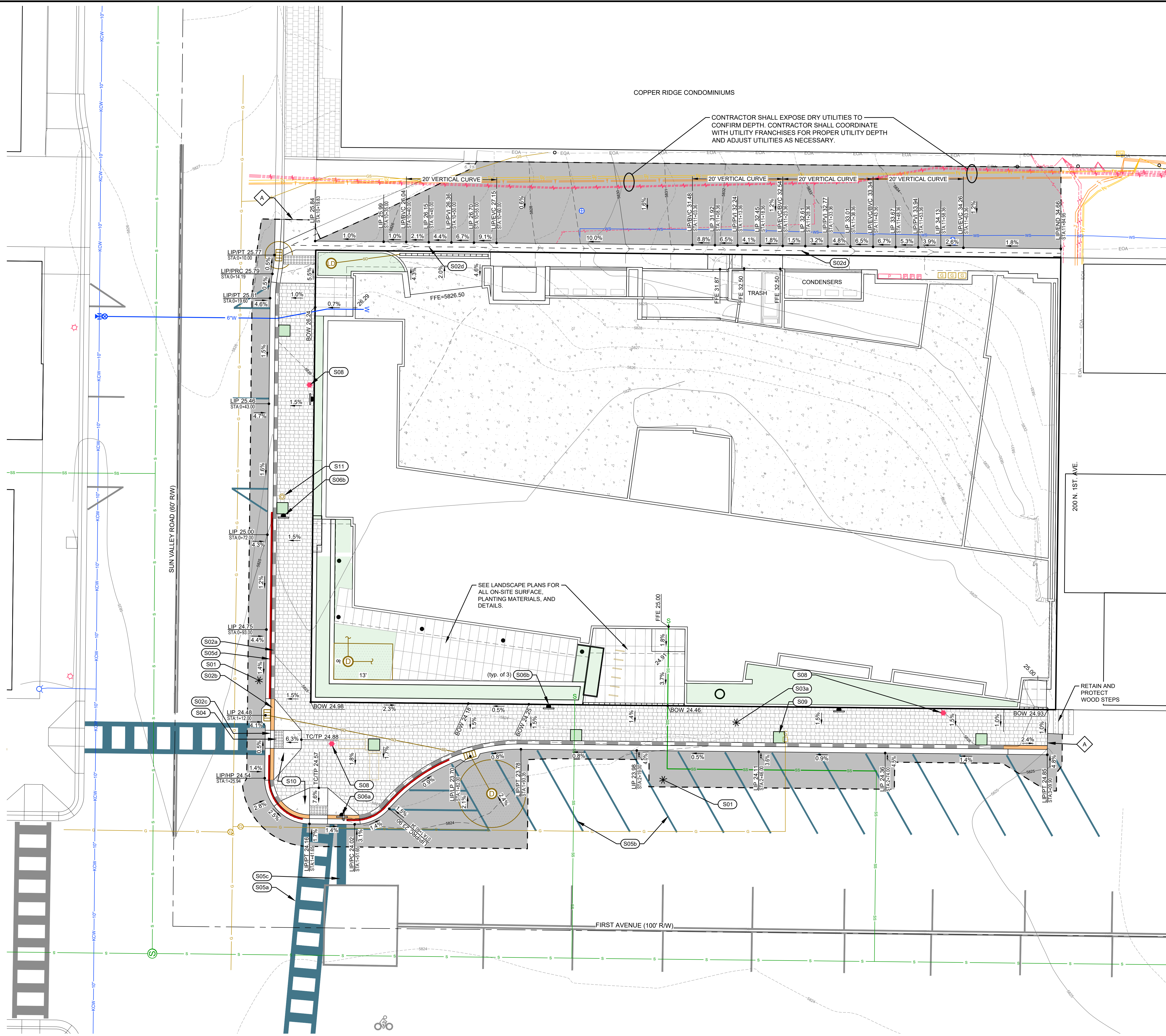
PURPOSE: DESIGN REVIEW - REVISION 2 (09/23/2024)

NO.	DATE	BY	REVISIONS
1	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/19/23	JCL	ISSUE FOR DESIGN REVIEW
3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
STREET SIDE LIP OF GUTTER PLAN AND PROFILE
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THEISEN ARCHITECTS

PROJECT INFORMATION
131 E. Sun Valley Rd. Ketchum, ID 83340
5-765796-03 Serenade.dwg Construction 09/23/24 15.dwg 09/23/24 10:21:09 AM

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena-Benchmark Engineering.



CONTRACTOR SHALL EXPOSE DRY UTILITIES TO CONFIRM DEPTH. CONTRACTOR SHALL COORDINATE WITH UTILITY FRANCHISES FOR PROPER UTILITY DEPTH AND ADJUST UTILITIES AS NECESSARY.

SITE IMPROVEMENT KEY NOTES

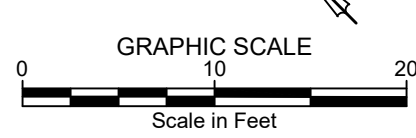
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C2.00.
- S02** CONSTRUCT CONCRETE CURB AND GUTTER.
 - a. 6" ROLLED C&G PER DETAIL 2a / C2.00.
 - b. CURB TRANSITION (6" ROLLED TO ZERO REVEAL) PER DETAIL 3 / C2.00.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C2.00.
 - d. 24" WIDE VALLEY GUTTER. PER DETAIL 4 / C2.00.
- S03** CONSTRUCT PAVEMENT SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C2.00.
- S04** CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACHES WITH CITY APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLAT. REFER TO DETAIL 6 / C2.00 FOR CONCRETE AND DETAIL 7 / C2.00 FOR TRUNCATED DOMES.
- S05** INSTALL ROAD STRIPING / PAINT.
 - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- S06** SIGNS:
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH THE CITY. REFER TO DETAIL 8 / C2.00 FOR SIGN BASE CONFIGURATION.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH THE CITY. REFER TO DETAIL 9 / C2.00 FOR SIGN BASE CONFIGURATION.
- S07** RESET UTILITY BOX LID ELEVATION.
 - a. POWER HANDHOLE ORIGINAL RIM = 58 NEW RIM = 58
- S08** INSTALL STREET LIGHT. LOCATIONS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION ONLY. ARCHITECT SHALL SUBMIT AN ILLUMINATION ANALYSIS FROM MH COMPANIES TO VERIFY STREET LIGHT PLACEMENTS. REFER TO THE CITY OF KETCHUM STANDARD STREET LIGHT DETAIL. DETAIL 10 / C2.00.
- S09** INSTALL KETCHUM STANDARD TREE WELL. REFER TO DETAIL 9 / C2.00.
- S10** CONSTRUCT CONCRETE SIDEWALK. REFER TO DETAIL 6 / C2.00.
- S11** INSTALL CITY OF KETCHUM STANDARD TRASH CAN.

LEGEND

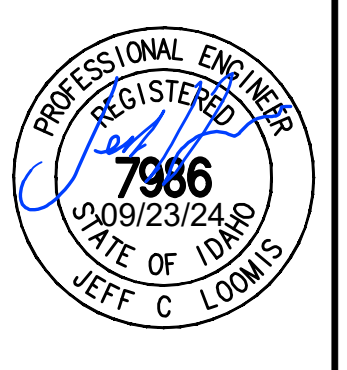
- LIP 30.71 Spot Elevation
- 2.2% Proposed Grade
- 3.3% Existing Grade

ABBREVIATIONS

- BOW = BACK OF WALK
- EG = EXISTING GRADE
- FF = FINISHED FLOOR
- FFE = FINISHED FLOOR AT ENTRY
- FG = FINISHED GRADE
- LF = LINEAL FEET
- LIP = LIP OF GUTTER
- HP = HIGH POINT
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVE
- POC = POINT ON CURVE
- PT = POINT OF TANGENT
- TA = TOP OF ASPHALT
- TBC = TOP BACK OF CURB
- TC = TOP OF CONCRETE
- TP = TOP OF PAVERS
- TG = TOP OF GRATE



SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE GRADING PLAN
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THEISEN ARCHITECTS



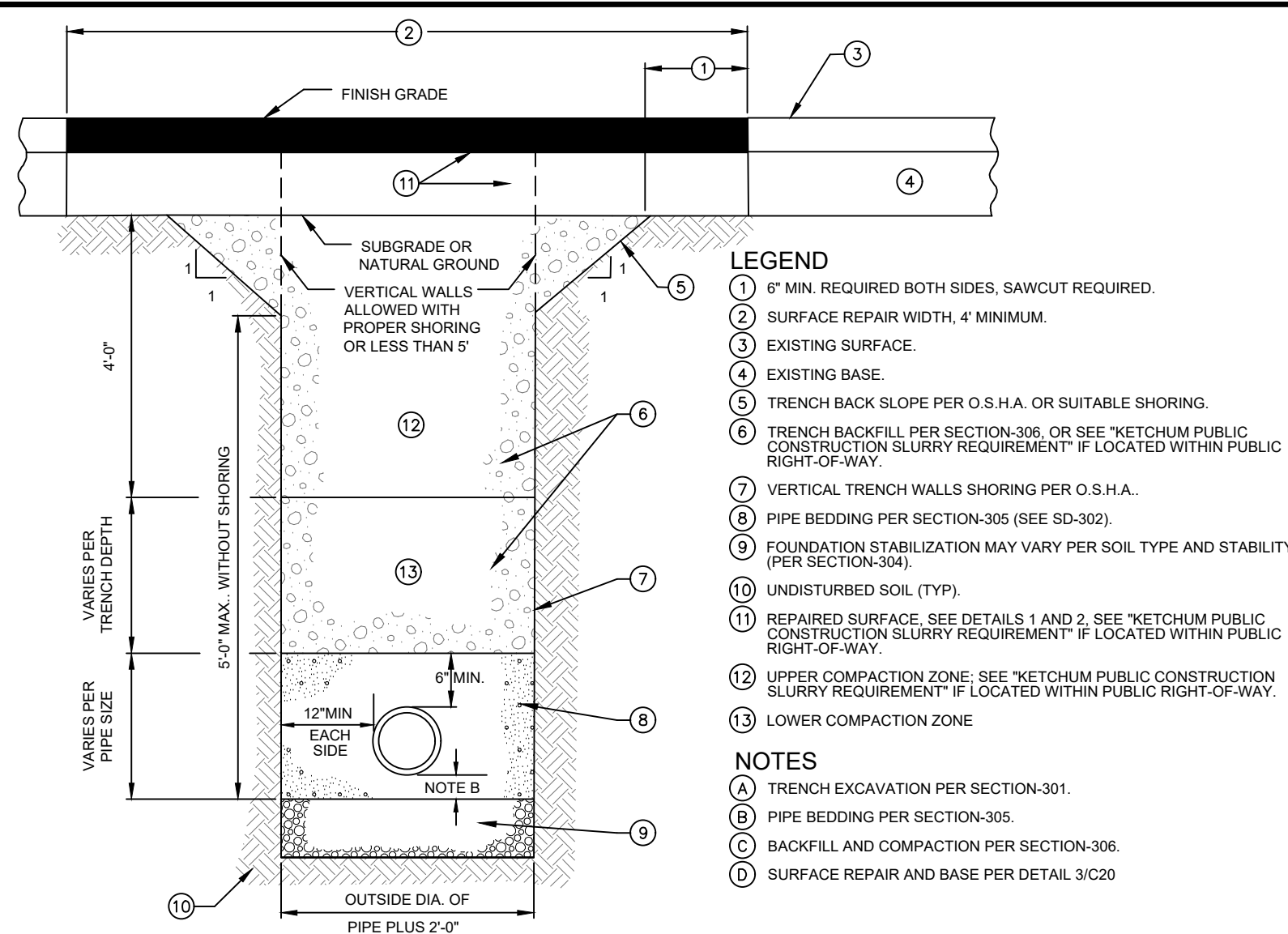
DESIGNED BY: JCL
 DRAWN BY: MS
 CHECKED BY: JCL
 SURVEY DATE:

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NO.	DATE	BY	REVISIONS
A	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
A	07/19/23	JCL	ISSUE FOR DESIGN REVIEW
A	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C2.30

PROJECT INFORMATION
 (G:\BMR\Ketchum\Wages\book\361.cad: 5:763750:03 Serenade\dwg\Construction\037650:ENG 2024-07-15.dwg 09/23/24 10:21:09 AM)



- LEGEND**
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH 4' MINIMUM.
 - EXISTING SURFACE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION 306 OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP).
 - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3/C20

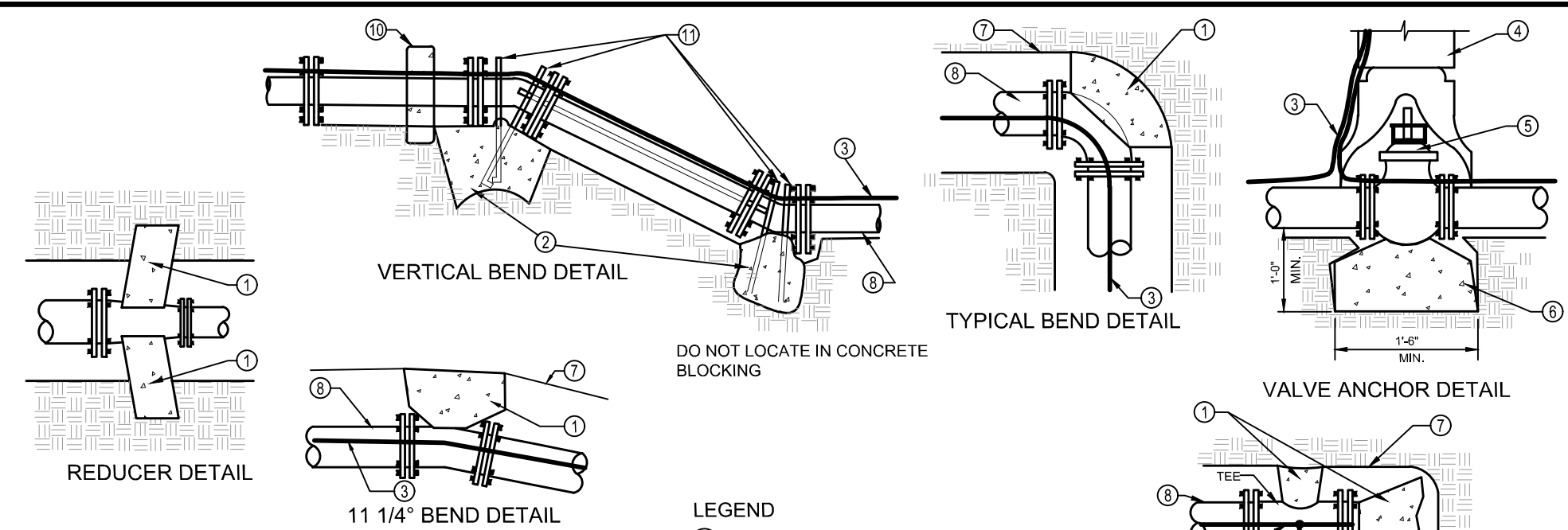
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS)	2,600 LBS
SAND	600 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
C3.00 **TYPICAL TRENCH SECTION**
N.T.S.



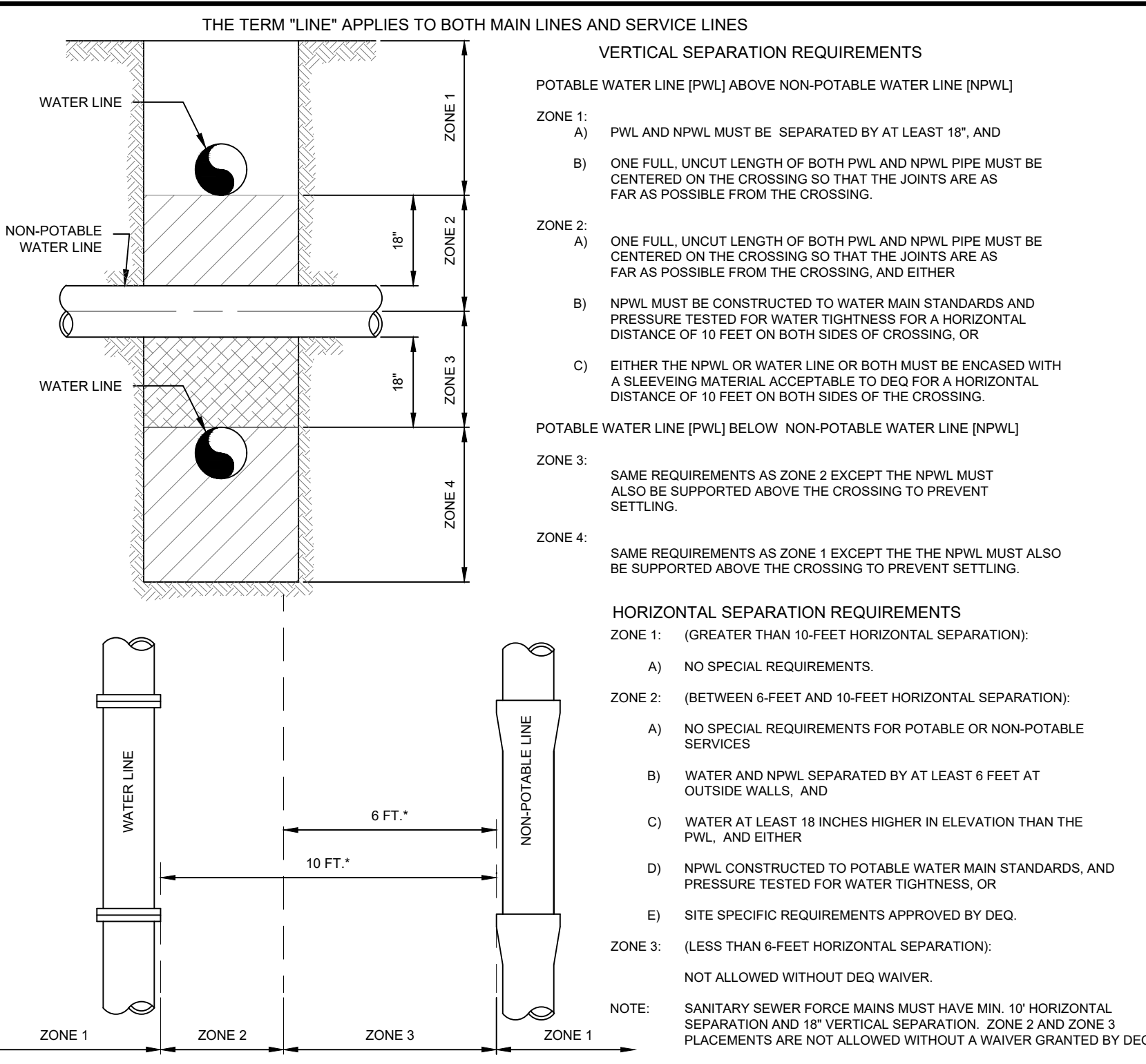
**TABLE 1
THRUST AREA FOR HORIZONTAL BENDS****

PIPE SIZE	TEE, PLUG OF VALVE	90° BEND*	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

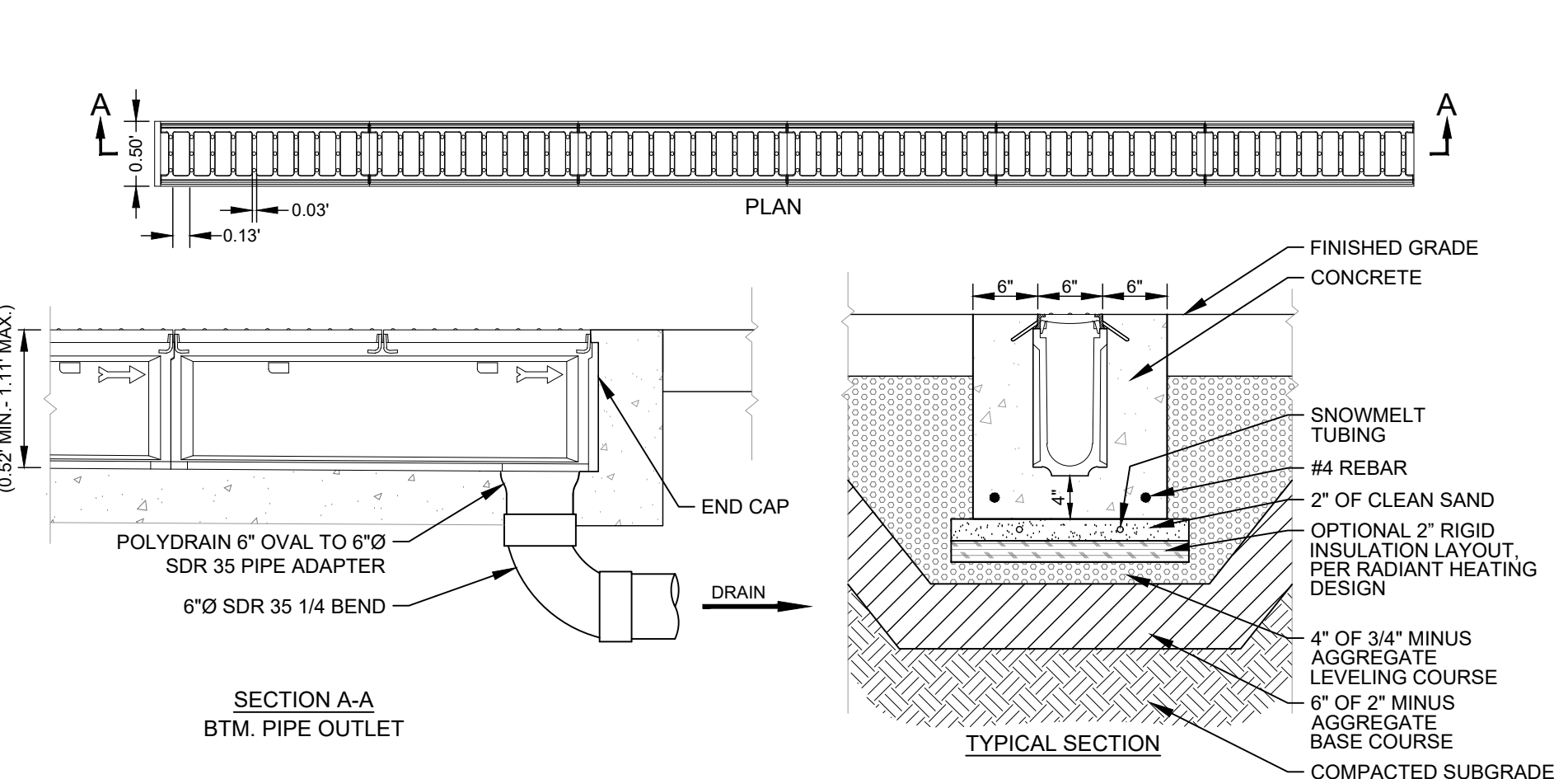
LEGEND

- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
- NO. 12 COPPER FINER WIRE. SEE SD-514 FOR SPLICING.
- C.I. VALVE BOX WITH COVER.
- C.I. GATE VALVE (M.J.).
- PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.
- TRENCH SIDE.
- PIPE.
- PLUG.
- HAMMERHEAD THRUST BLOCKING.
- ANCHOR BARS (1/2"Ø MIN)

2
C3.00 **THRUST BLOCK AND ANCHOR DETAILS**
N.T.S.

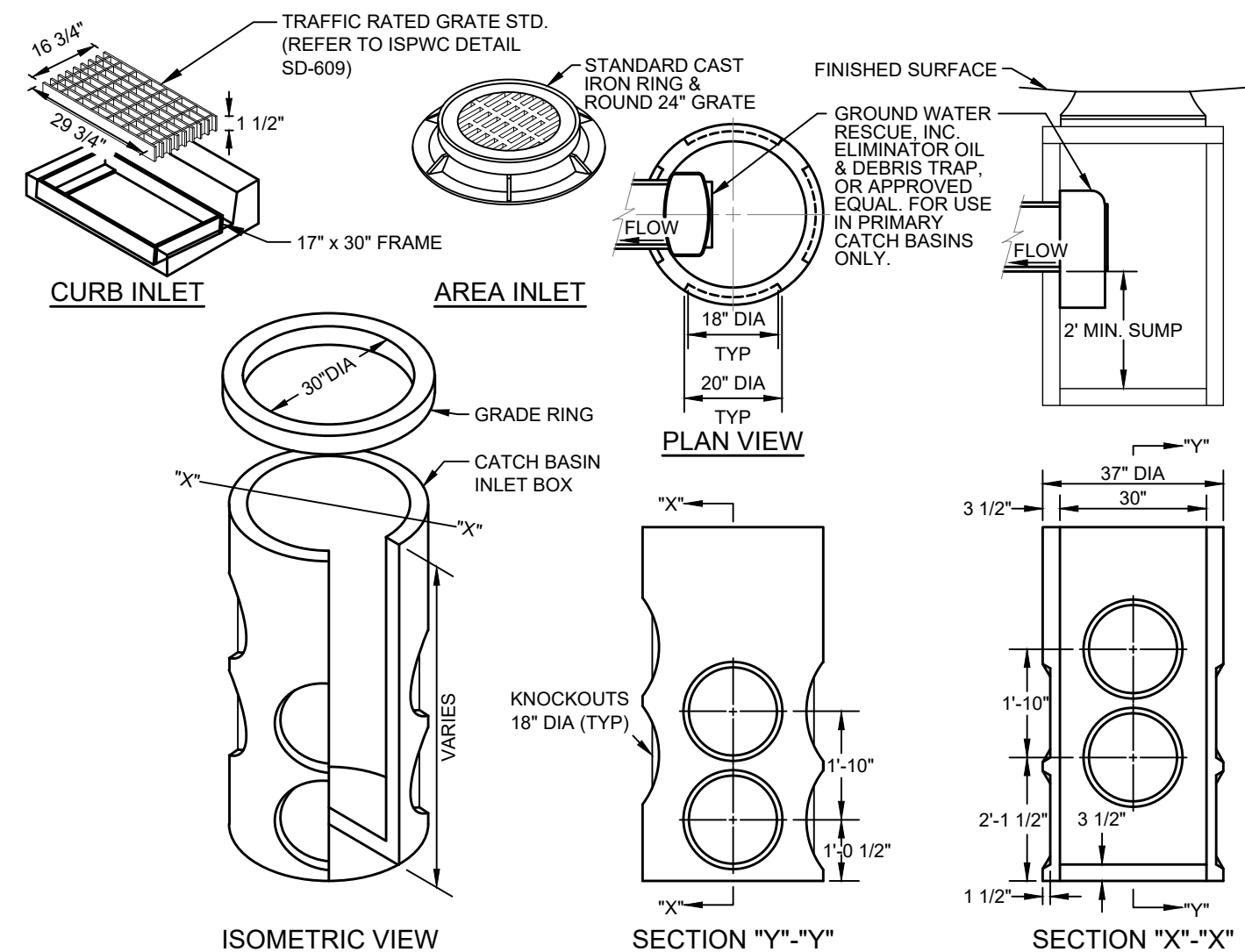


3
C3.00 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.



- NOTES**
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8" IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

4
C3.00 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.

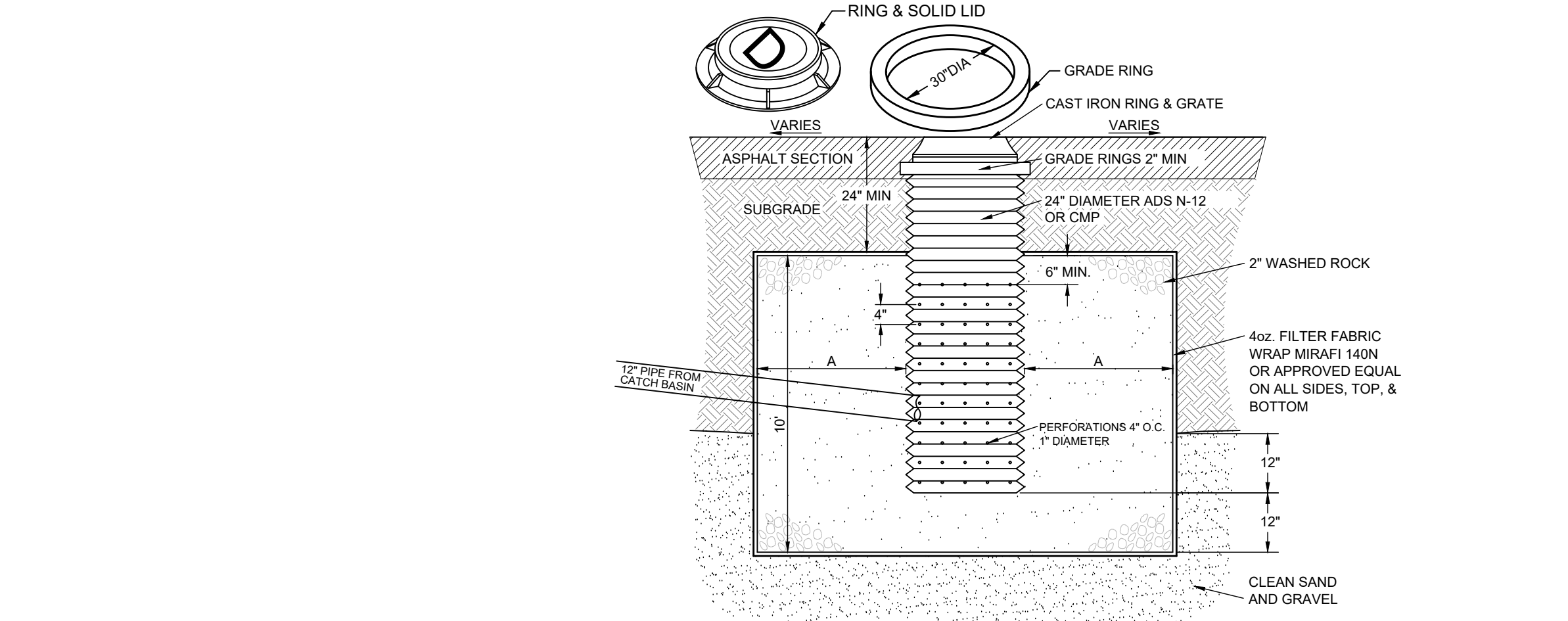


- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C3.00 **30" DIAMETER CATCH BASIN**
N.T.S.

DRYWELL #	DIMENSIONS	
U06a	A _L	A _W
	13'	8'

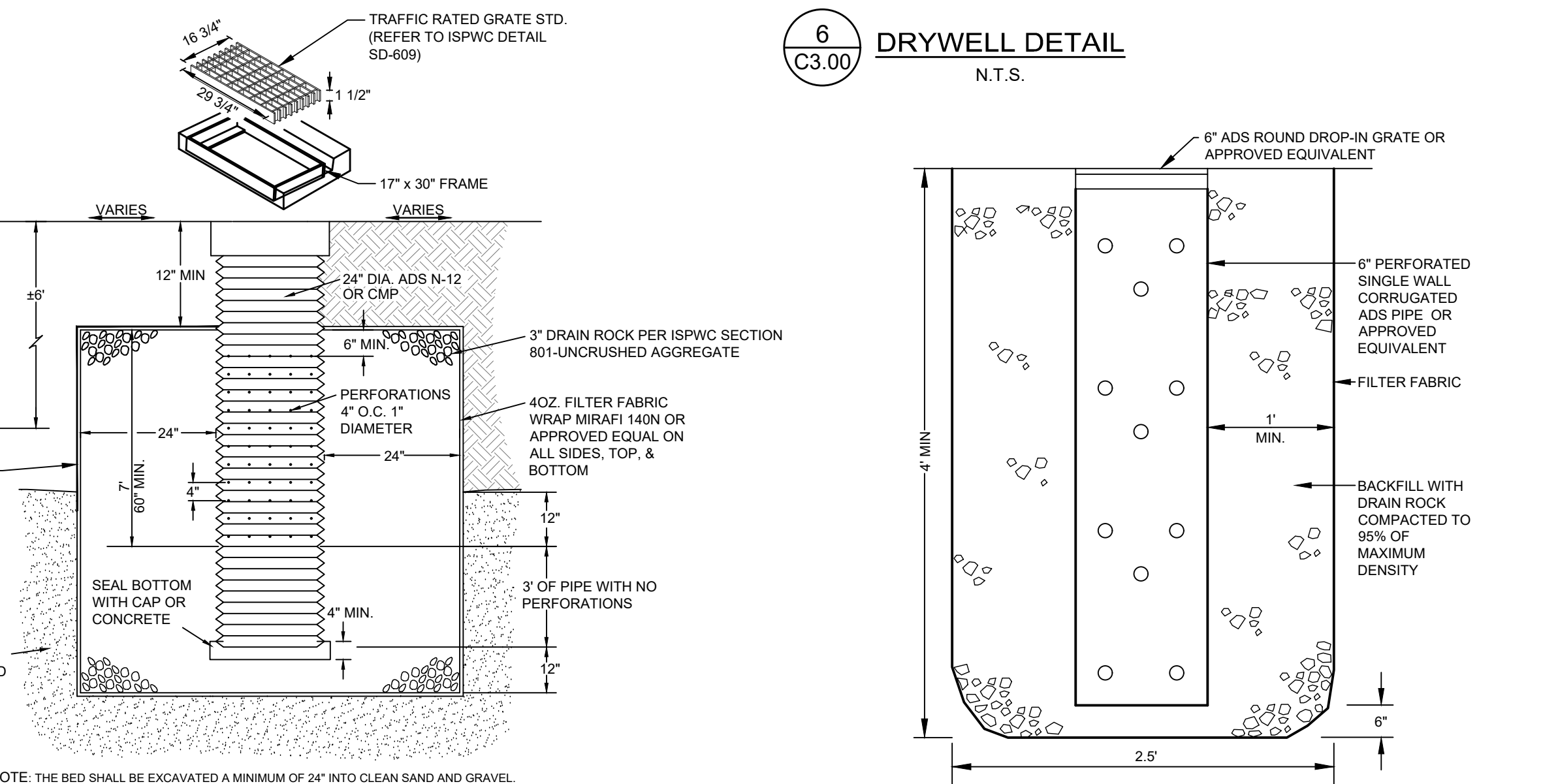
7
C3.00 **MANHOLE STYLE DRYWELL DETAIL**
N.T.S.



- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

DRYWELL #	DIMENSION "A"
U06a	15'

6
C3.00 **DRYWELL DETAIL**
N.T.S.



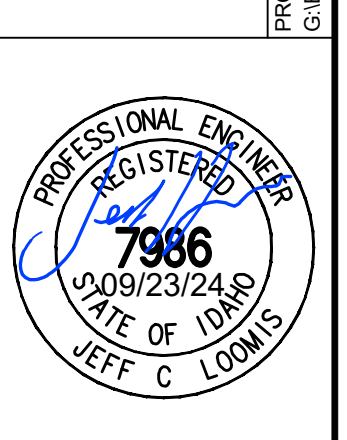
- NOTE:** THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE ENGINEER.

8
C3.00 **DRYWELL DETAIL WITH LINER**
N.T.S.

9
C3.00 **LANDSCAPE / PLANTER DRAIN**
N.T.S.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena-Benchmark Engineering.

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
DETAIL SHEET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: THEISEN ARCHITECTS



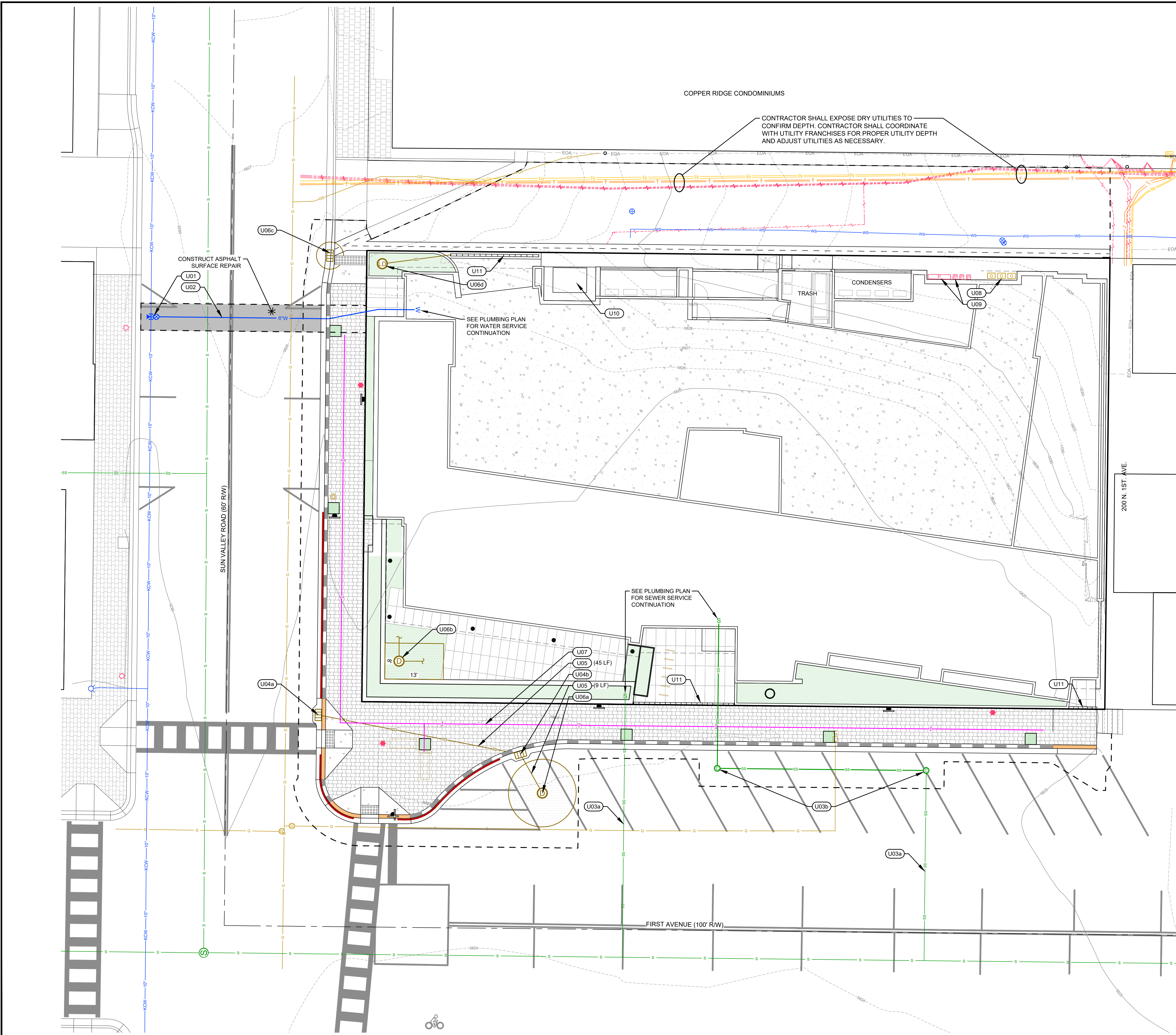
DESIGNED BY: JCL
 DRAWN BY: MS
 CHECKED BY: JCL
 SURVEY DATE:
GALENA-BENCHMARK
 ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 133
 Ketchum, Idaho 83340
 (208) 726-9512
 www.benchmark-associates.com

PURPOSE: DESIGN REVIEW - REVISION 2 (09/23/2024)

NO.	DATE	BY	REVISIONS
1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/11/23	JCL	ISSUE FOR DESIGN REVIEW
3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C3.00

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COPPER RIDGE CONDOMINIUMS

CONTRACTOR SHALL EXPOSE DRY UTILITIES TO CONFIRM DEPTH. CONTRACTOR SHALL COORDINATE WITH UTILITY FRANCHISES FOR PROPER UTILITY DEPTH AND ADJUST UTILITIES AS NECESSARY.

CONSTRUCT ASPHALT SURFACE REPAIR

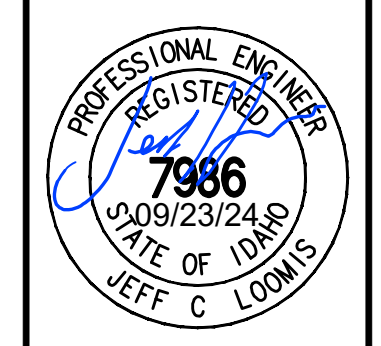
SEE PLUMBING PLAN FOR WATER SERVICE CONTINUATION

SEE PLUMBING PLAN FOR SEWER SERVICE CONTINUATION

UTILITY & STORM IMPROVEMENT KEY NOTES

- U01 INSTALL 10"x6" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE WITH THRUST BLOCKS REFER TO DETAIL 2 / C3.00
- U02 INSTALL 6" C-900 PVC WATER SERVICE. REFER TO TRENCHING DETAIL 1 / C3.00 AND POTABLE/NON-POTABLE SEPARATION DETAIL 3 / C3.00
- U03 SEWER SERVICE:
 - a. UTILIZE EXISTING SEWER SERVICE.
 - b. REALIGN SEWER SERVICE. INSTALL TRAFFIC RATED CLEANOUTS AT EACH BEND. REFER TO ISPWC STANDARD DRAWING SD-506A.
- U04 INSTALL CATCH BASIN. SEE DETAIL 4 / C3.00.
 - a. RIM = 5824.13 I.E.(OUT) = 5821.13
 - b. RIM = 5823.57 I.E.(IN) = 5820.30 I.E.(OUT) = 5820.20
- U05 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO TRENCHING DETAIL 1 / C3.00
- U06 DRYWELL:
 - a. INSTALL 15" DIAMETER DRYWELL. SEE DETAIL 5 / C3.00. RIM = 5823.92 I.E.(IN) = 5819.90
 - b. INSTALL 8"x14" RECTANGULAR DRYWELL. CONNECT ALL FLOOR, FOUNDATION, ROOF, AND TRENCH DRAINS TO THIS DRYWELL. SEE DETAIL 5 / C3.00. RIM = 5824.9 I.E.(IN) = 5820.9
 - c. INSTALL 6" DIAMETER DRYWELL WITH HDPE LINER. SEE DETAIL 8 / C3.00. RIM = 5825.57
 - d. INSTALL LANDSCAPE PLANTER DRYWELL. SEE DETAIL 9 / C3.00. RIM = MATCH PLANTER FINISHED GRADES
- U07 INSTALL 1" PVC IRRIGATION LINE. SEE IRRIGATION PLAN FOR CONNECTION DETAILS.
- U08 INSTALL GAS SERVICE. BY OTHERS.
- U09 INSTALL POWER SERVICE. BY OTHERS.
- U10 INSTALL POWER TRANSFORMER. BY OTHERS.
- U11 INSTALL TRENCH DRAIN. CONNECT TO DRYWELL U06b. REFER TO DETAIL 4 / C3.00.

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
DRAINAGE AND UTILITY PLAN
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THEISEN ARCHITECTS



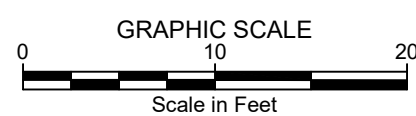
DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

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GALENA BENCHMARK
SURVEYING ENGINEERING PLANNING
ELEVATION ABOVE SEA LEVEL IN FEET

NO.	DATE	BY	REVISIONS
A	09/11/22	SMF	ISSUE FOR DESIGN REVIEW
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A	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

PURPOSE: DESIGN REVIEW - REVISION 2 (09/23/2024)
C3.10





Autumn Blaze Maple



Flowering Crab



Tor Birchleaf Spirea



Snowberry



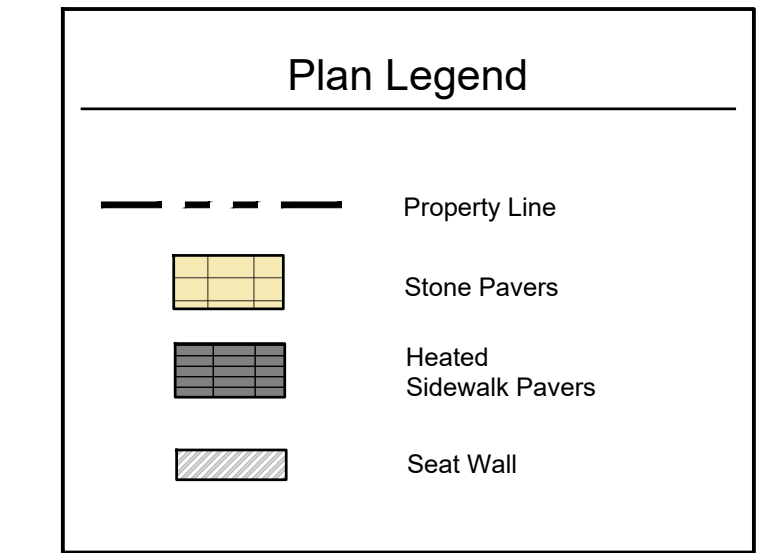
Fritschiana Spirea



Kinnickinnick

General Notes

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2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.



Plant Legend

Symbol	Quantity	Species	Size
Street Trees			
	6	Autumn Blaze Maple	2" - 3" Cal.
Deciduous Trees			
	9	Flowering Crab	2" - 3" Cal.
Deciduous Shrubs			
	26	Peking Cotoneaster	5 Gal.
		Snowberry	
		Fritschiana Spirea	
		Tor Birchleaf Spirea	
Groundcover & Vines			
	600 Sq. FT	Kinnickinnick	1 Gal.
		Creeping Oregon Grape	
		Virginia Creeper	
Ornamental Grasses			
	11	Blue Oat Grass	1 Gal.
	8	Karl Foerster Grass	



Creeping Oregon Grape



Virginia Creeper



Blue Oat Grass



Karl Foerster Grass

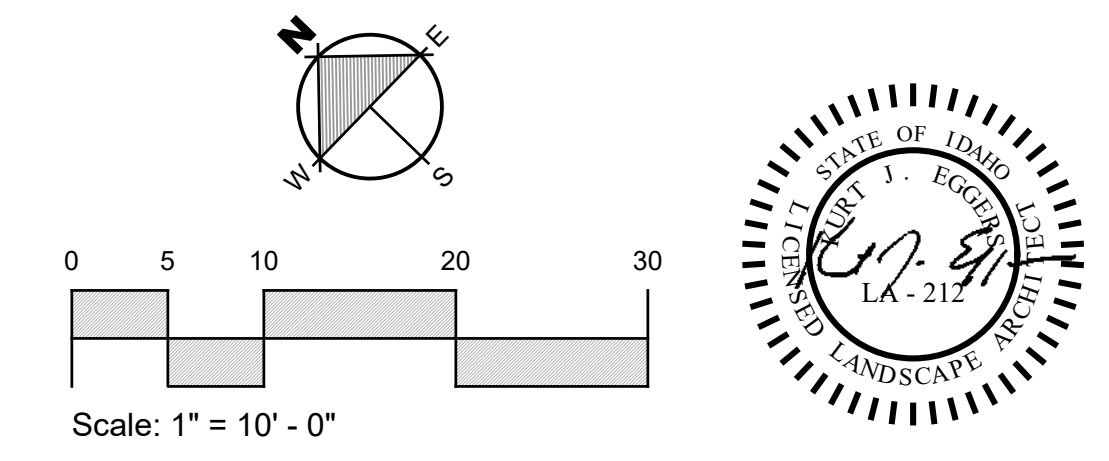
Sawtooth Serenade
EGGERS ASSOCIATES, P.A.
landscape architecture
P.O. Box 955
Ketchum, ID 83710
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F: (208) 725-0972

Sawtooth Serenade
260 N 1st Ave
Ketchum, Idaho

Job No: 22.33
Scale: 1" = 10' - 0"
Issue/Revisions: Date:
Design Review 09/30/22
RVSD 04/19/23
RVSD 07/24/23
RVSD 07/19/24

Sheet Title:
Landscape Plan Lvl 1

Sheet No:
L3.0



Aerial Image: Blaine County GIS 2017



Peking Cotoneaster



Snowberry



Fritschianna Spirea



Tor Birchleaf Spirea



Blue Oat Grass



Karl Foerster Grass



Virginia Creeper

General Notes

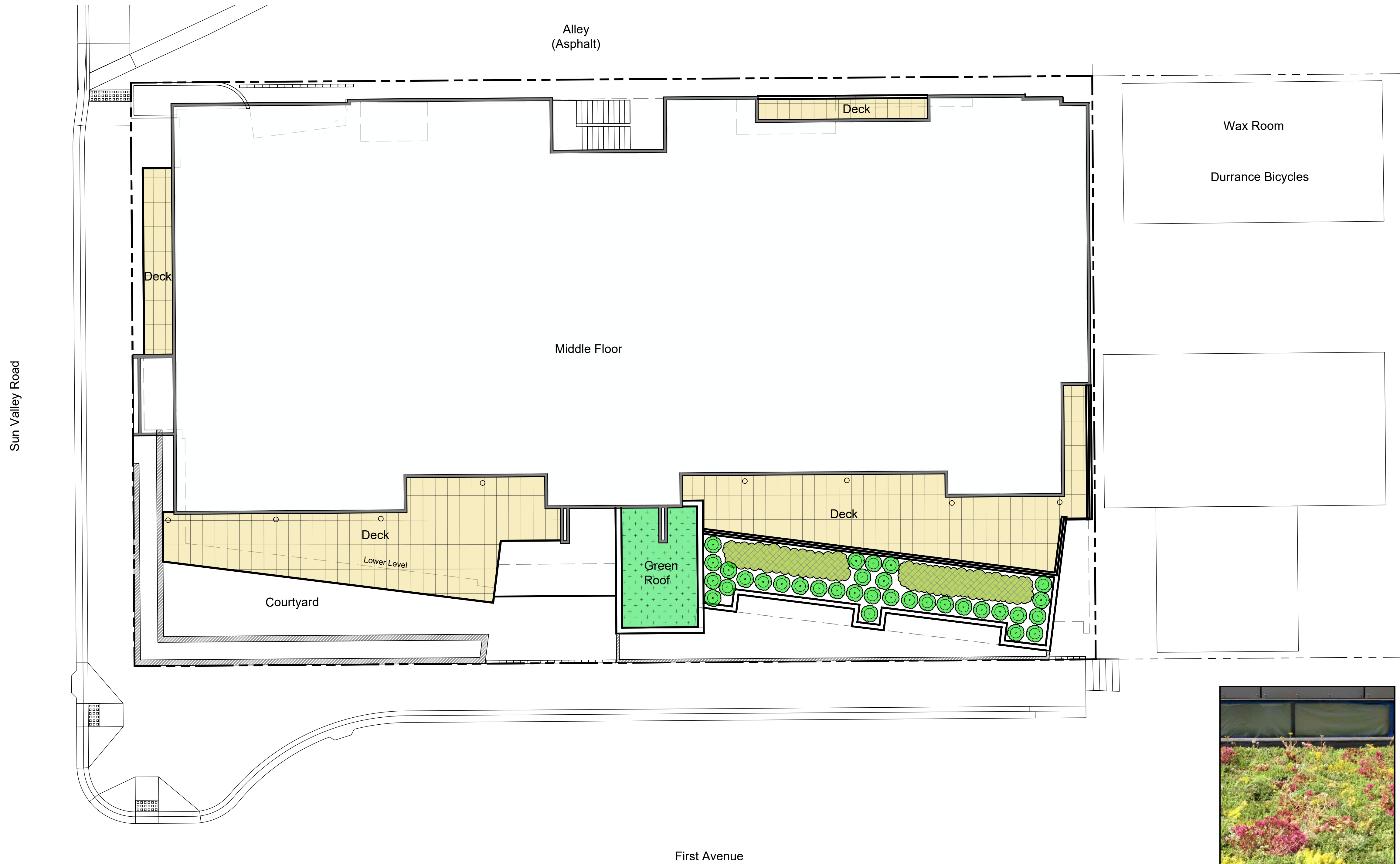
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Plan Legend

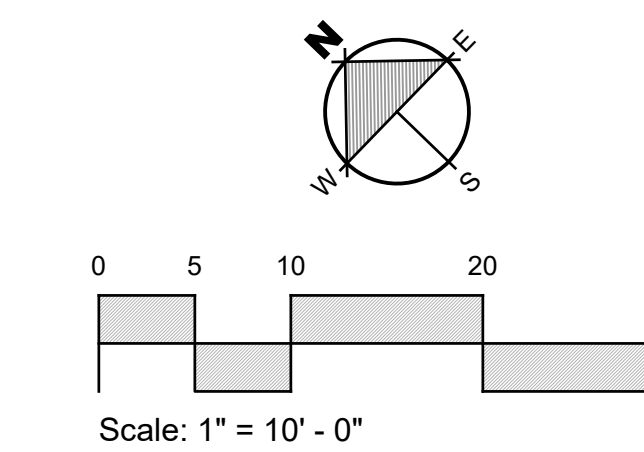
- Property Line
- Stone Pavers

Plant Legend

Symbol	Quantity	Species	Size
Deciduous Shrubs			
	32	Peking Cotoneaster Snowberry Fritschianna Spirea American Compact Cranberry	5 Gal.
Plants & Groundcover			
	200 Sq. FT	Blue Oat Grass Karl Foerster Grass Virginia Creeper	5 Gal.
Green Roof			
	260 Sq. FT	Sedums	Trays



Sedums



Sawtooth Serenade

EGGERS ASSOCIATES, P.A.
landscape architecture

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Sawtooth Serenade
260 N 1st Ave
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions: Date:

Design Review 09/30/22

RVSD 04/19/23

RVSD 07/24/23

RVSD 07/19/24

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Sheet Title:

Landscape Plan Lvl 2

Sheet No:

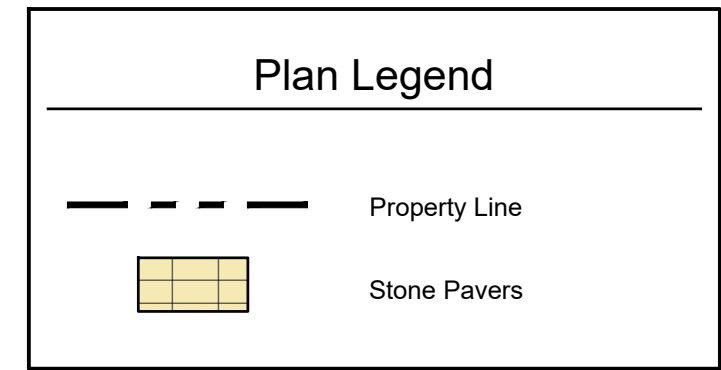
L3.1



Tor Birchleaf Spirea

General Notes

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4. Site serviced by City of Ketchum.



Plant Legend

Symbol	Quantity	Species	Size
Deciduous Shrubs			
	20	Tor Birchleaf Spirea	5 Gal.

Sawtooth Serenade

EGGERS ASSOCIATES, P.A.
landscape architecture

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Sawtooth Serenade
260 N 1st Ave
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions: Date:

Design Review 09/30/22

RVSD 04/19/23

RVSD 07/24/23

RVSD 07/19/24

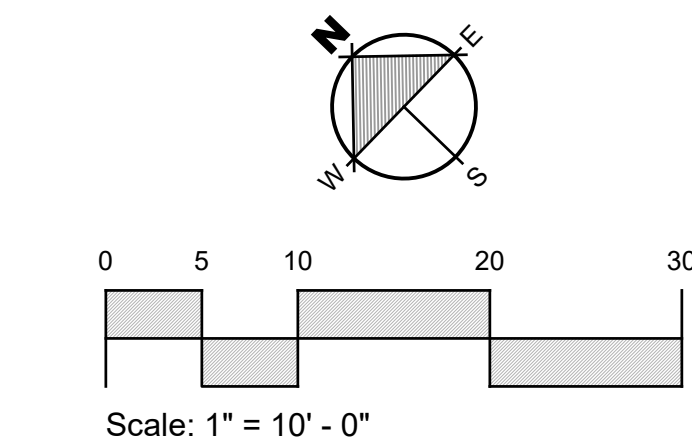
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Sheet Title:

Landscape Plan Lvl 3

Sheet No:

L3.2





Sedums

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4. Site serviced by City of Ketchum.

Plan Legend

	Property Line
	Stone Pavers

Plant Legend

Symbol	Quantity	Species	Size
Green Roof			
	6,755 Sq. FT	Sedums	Trays

Sawtooth Serenade

EGGERS ASSOCIATES, P.A.
landscape architecture

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Sawtooth Serenade
260 N 1st Ave
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions: Date:

Design Review 09/30/22

RVSD 04/19/23

RVSD 07/24/23

RVSD 07/19/24

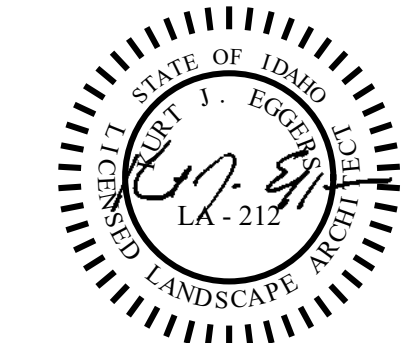
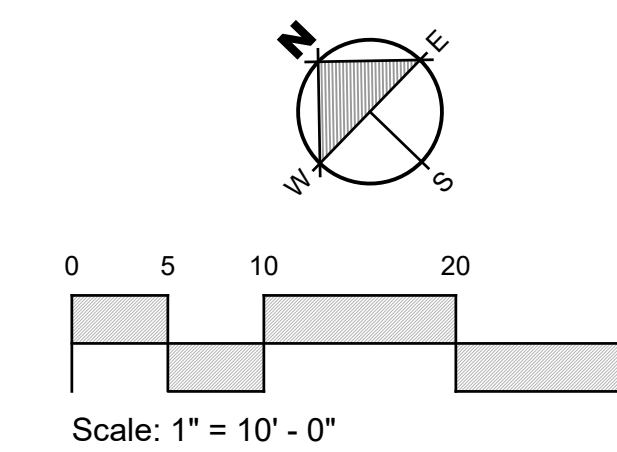
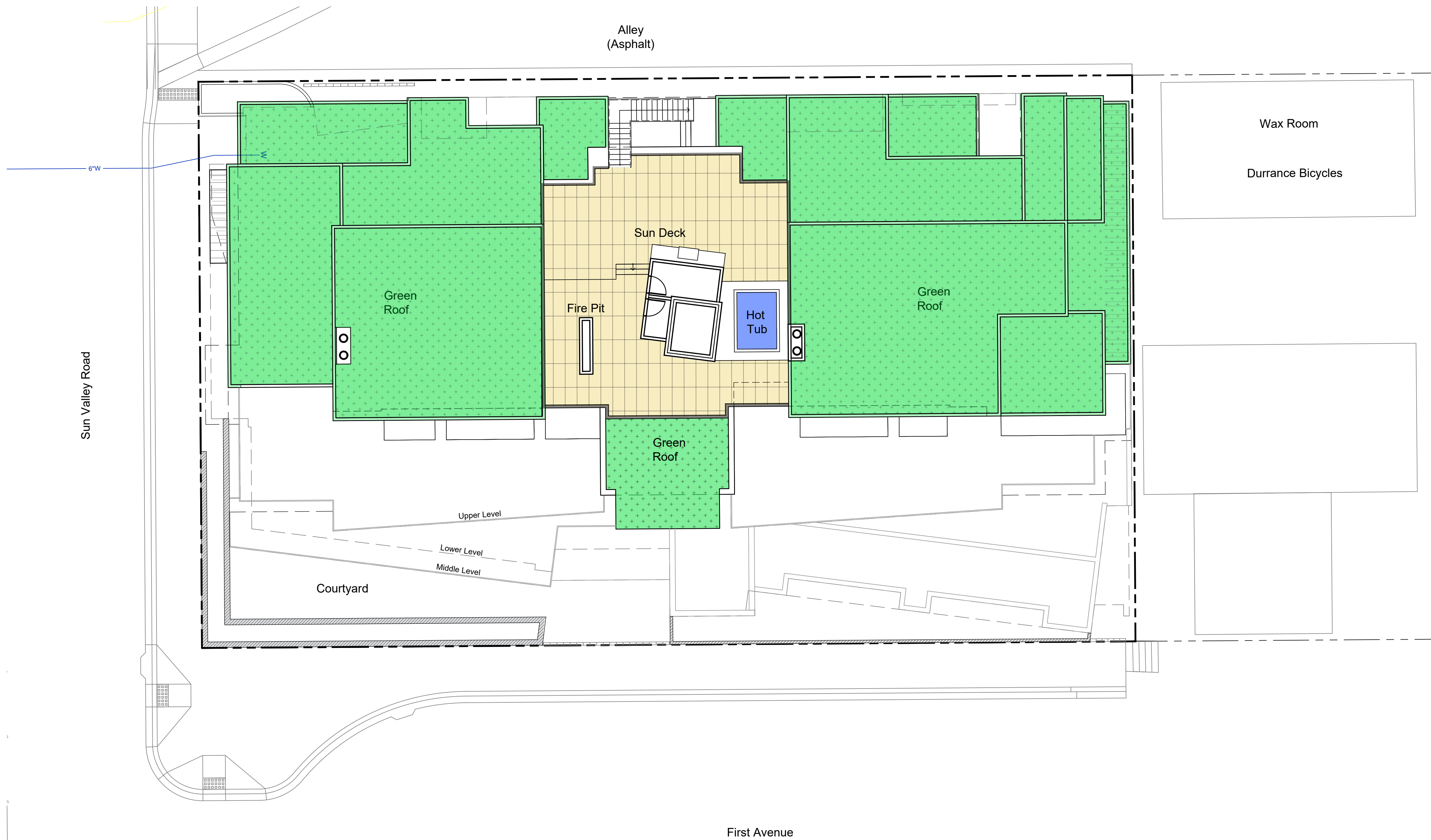
All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:

Landscape Plan Roof

Sheet No:

L3.3

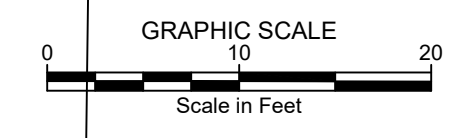
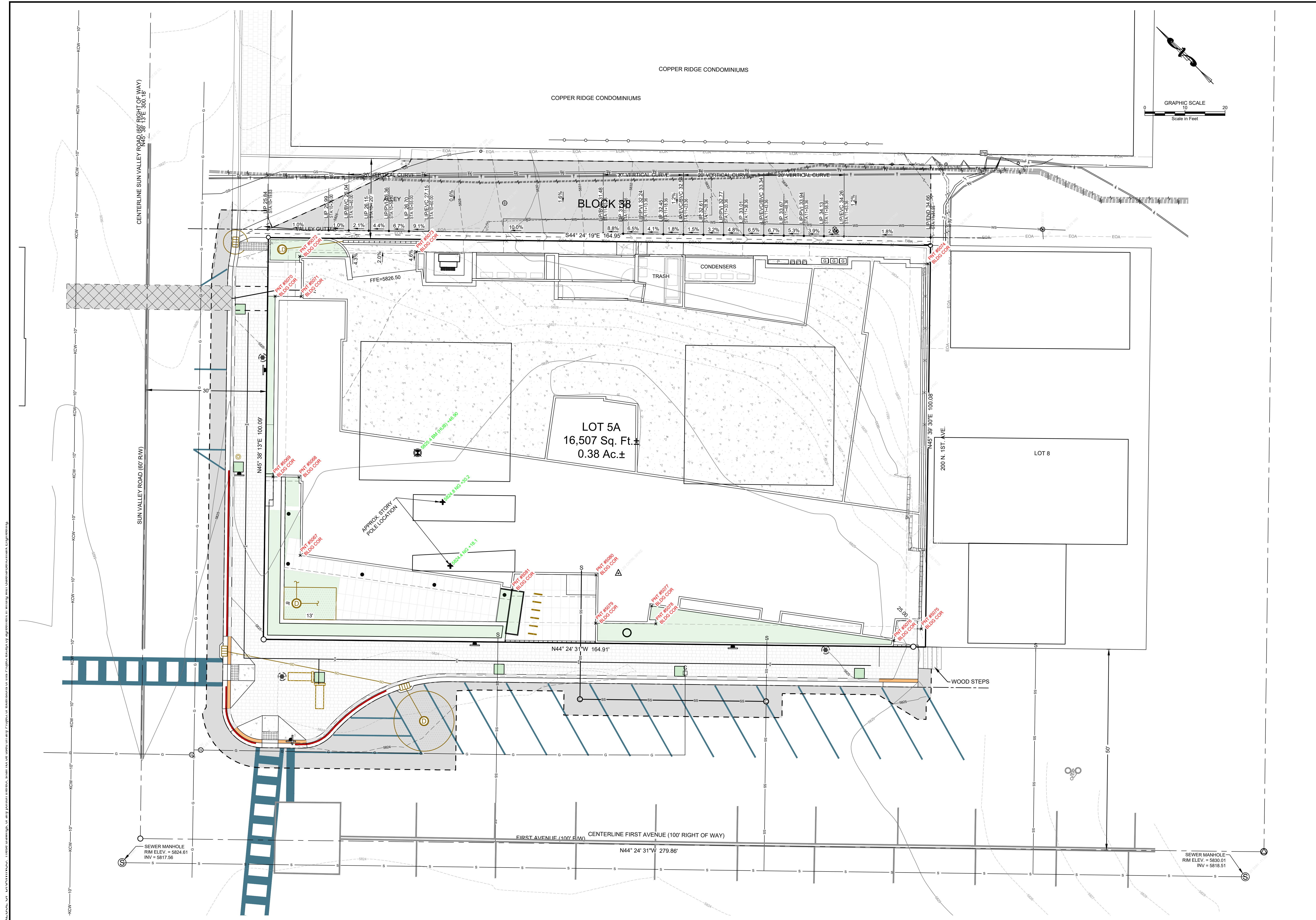




City of Ketchum

ATTACHMENT C:

Story Pole and Staking Information



SAWTOOTH SERENADE STORY POLE & STAKING PLAN

LOCATED WITHIN T. 4 N., R. 18 E., SECTION 18, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THELSEN ARCHITECTS

**PRELIMINARY
NOT FOR
CONSTRUCTION**

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SURVEY DATE: 01/30/25

**GALENA-BENCHMARK
ENGINEERING**
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83340
(208) 726-6570
www.benchmark-associates.com

PURPOSE: ISSUE FOR REVIEW

NO.	DATE	BY	REVISIONS

ALL DATA UNLESS OTHERWISE SPECIFIED IS BASED ON THE SURVEY OF THE PROPERTY AND THE ADJACENT AREAS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND THE ADJACENT AREAS. THE SURVEYOR HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND THE ADJACENT AREAS. THE SURVEYOR HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND THE ADJACENT AREAS. THE SURVEYOR HAS NOT CONDUCTED A FIELD SURVEY OF THE PROPERTY AND THE ADJACENT AREAS.

PROJECT INFORMATION
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City of Ketchum

ATTACHMENT D:

Dimensional Standards Review

PROJECT NAME: Sawtooth Serenade
DESIGN REVIEW FILE NUMBER: P24-027
ADDRESS: 260 N 1st Ave
ZONE DISTRICT: CC-2

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area Staff Comments Permitted: 5,500 square feet Existing: 16,507 SF (Per Sheet C0.20)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR Staff Comments Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25 Proposed: Gross Square Footage – 23,906 SF (Per Sheet A1.1-A1.4) Total Lot Area – 16,507 SF (per sheet C0.20) FAR – 1.45 Community Housing Mitigation Calculation: Permitted Gross Square Feet (1.0 FAR): 16,507 SF Proposed Gross Square Feet: 23,906 SF Increase Above Permitted FAR: 7,399 SF 20% of Increase: 1,480 SF Net Livable (15% Reduction): 1,258 SF Applicant proposes to meet the community housing contribution with a payment in-lieu of housing for the 1,258 SF. 1,258 SF x \$550 = \$691,900
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks

			<p>Staff Comments</p> <p>Permitted: Front (N 1st Ave): 5 feet average Street Side (north): 5 feet average Side (Interior Lot Line/south): 0 feet Rear (Alley/east): 3 feet</p> <p>Proposed ground floor: Per Sheet A12 (middle floor on Sheet A13, upper floor on Sheet A14) Front (N 1st Ave): 11.06 feet Street Side (north): 6 feet Side (Interior Lot Line/south): 0 feet Rear (Alley/east): 3 feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030</p> <p>Staff Comments</p> <p>Building Height Permitted: 42 feet Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Proposed: Per Sheet A8.1 Height on 1st Street Side: 42 feet Height on Alley Side: 42 feet</p> <p>Non-habitable structures (elevator/stairwell): 10 feet above the façade wall</p>

☒	☐	☐	17.125.030H	<p>Curb Cut</p> <p>Staff Comments</p> <p>Permitted: A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p>Proposed: The subject property has two street frontages along N 1st Ave and Sun Valley Rd. All access to proposed off street parking is being accessed from the alley between N 1st Ave and N Washington Ave. Therefore, no street frontage is devoted to access off street parking.</p>
☒	☐	☐	17.125.040	<p>Parking Spaces</p> <p>Staff Comments</p> <p>Permitted: For residential multi-family dwelling units in the Community Core Units 750 square feet or less – 0 spaces Units 751 SF to 2,000 SF – minimum of 1 space Units 2,001 SF and above – minimum of 2 spaces</p> <p>Bicycle Rack Requirements: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use. At a minimum, one bicycle parking rack shall be required per development.</p> <p>The project proposes a total of 2 dwelling units: Res Unit 1 – 8,375 SF – 2 spaces required Res Unit 2 – 8,806 SF – 2 space required Total: 4 spaces required</p> <p>Proposed: 5 parking spaces within the garage on the ground floor of the development (Per Sheet A2)</p> <p>Six bicycle racks are proposed at the entrance on N 1st Ave. Each bicycle rack can hold two bicycles.</p>
☒	☐	☐	17.132	<p>Lighting</p>
			Staff	Permitted:

			<p>Comments</p> <p>Color Temperature - All light fixtures must be 2,700 kelvins or less Light Trespass – No light trespass permitted Sidewalk light levels – per the Ketchum Street Standards. Lighting shall not exceed 0.2 foot candle average and at no point shall it exceed 5 foot candles Full cutoff fixtures required</p> <p>Proposed:</p> <p>All proposed fixtures are full cutoff, with color temperature of less than 2700 (per sheets EL9-EL12) Per sheets EL5-EL8, there is no light trespass from the subject property except in one area near the front entrance on N 1st Ave. Final review of all lighting will occur at the time of building permit application. As shown on ES1, light levels along the sidewalks is an average of 0.21 foot candles with a max of 5 foot candles.</p>
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City of Ketchum

ATTACHMENT E:

Design Review Criteria Review



City of Ketchum
Planning & Building

COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
<p>Finding: The development is at the corner of N 1st Ave and Sun Valley Rd, two existing public rights-of-way. The development proposes to bring both rights-of-way up to city standards by replacing the existing nonconforming sidewalks, provide curb and gutter, and improve the alley to meet standards and provide for adequate drainage. All improvements to the right-of-way improvements are at the expense of the applicant.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
<p>Finding: No new streets are proposed for the project, however, all improvements to the right-of-way as shown on the project plans has been reviewed by the City Engineer. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and proposed.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
<p>Finding: The project plans provided the details of the sidewalks for review by the City Engineer. Preliminary review of the project plans indicates that all city right-of-way standards for width and construction are met. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: The applicant has not requested, nor has the City Engineer granted a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	YES
<p>Finding: As shown on the project plans, the project proposes new sidewalks to be placed the full length of the subject property along N 1st Ave and Sun Valley Rd.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	YES
<p>Finding: There are existing sidewalks along the subject property connecting to existing sidewalks in all directions. The development proposes to replace the existing nonconforming sidewalks. The new 8-foot sidewalks will taper and connect to the existing staircase to the south. There will be direct pedestrian access from the entrances and exits to the building to the new sidewalks as shown in the project plans.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	N/A
<p>Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.</p>	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES
Finding: The project proposes a series of roof drains, drywells, and catch basins to manage onsite stormwater. Per the project plans, all stormwater is being retained on site.	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES
Finding: As shown on the project plans, all stormwater is retained on-site. The project proposes to construct right-of-way improvements the length of the subject property, including curb and gutter and other drainage infrastructure, along N 1 st Ave and Sun Valley Rd. The project also proposes drainage infrastructure in the alley behind the subject property for the full length of the subject property. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance.	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	N/A
Finding: The City Engineer did not identify any additional drainage improvements during department review. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. Final design of drainage facilities will be reviewed and approved by the city engineer prior to issuance of a building permit.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: Per the project plans, all necessary utilities are underground. As shown on Sheet A1, a transformer is located in the rear of the property in the alley. The Idaho Power will serve letter is dated September 28, 2022. Additionally, as shown on Sheet A1, all gas and electrical meters are located in the alley as well (callouts #13, #36, #33, and #35). Any changes in transformer size and location, or gas/electrical locations require an amendment to the design review or building permit approval.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: The location of the subject property is already served by fiber optical and therefore no conduit is required in this location.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	NO
<p>Finding: See comments in the staff report.</p>	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<p>Finding: The subject property is vacant therefore this standard does not apply.</p>	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<p>Finding: The subject property is vacant therefore this standard does not apply.</p>	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
<p>Finding: The project includes a primary entrance to the building along N 1st Ave as I identified by a prominent vertical architectural feature. There is a secondary entrance to the ground flood storage areas from Sun Valley Rd. All entrances have direct access to the sidewalk.</p>	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p>Finding: The building character is modern as defined by a series of horizontal and vertical architectural features that accent the height and length of the building. The modern design features hard lines and strong corners rather than rounded articulated features.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses a consistent set of materials including wood siding, stone veneer, and metal shingles. There is no signage proposed for the building other than addressing.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: The development includes an outdoor patio area delineated by a stone veneer wall that matches the stone veneer on the ground floor and stair corridor of the building. Additionally, the upper floor deck areas are enclosed with a transparent railing that matches the metal shingles proposed for the development.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	NO
<p>Finding: See comments in the staff report.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The subject properties' primary street frontage is N 1st Ave. The development orients to N 1st Ave with cantilevered balconies and main entrance to the building.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES

Finding: As shown on the project plans, the garbage area is in the rear of the building, in an enclosed storage room with a roll up door for access and service.

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES

Finding: As shown on the project plans, the roof plan for the project includes flat roofs at an angle that causes water to drain toward a series of roof drains along the interior of the roof. Cantilevered decks integrate with roof drain systems for any water or snow accumulation. Based on the design of drainage facilities and roof design, no water or snow will enter onto adjacent properties.

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES

Finding: The project is fully connected by crosswalks with the existing sidewalk system. There are no regional trails, other anticipated easements, or pathways other than the sidewalk system.

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A

Finding: The development does not propose any awnings over public sidewalks.

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES

Finding: Vehicle traffic accesses the site from the alley into a below grade parking area. The access is adequate to enter or exit the project safely. Pedestrian circulation will primarily be internal through garage access and through the secondary entrance on Sun Valley Rd. Bicycle racks are located near the front entrance of the building on N 1st Ave, which is also a primary access point for pedestrians visiting the building.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
Finding: The subject property is a corner lot, however, alley access points for garages in the Community Core are not considered curb cuts or driveways, therefore this standard does not apply.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: With the right-of-way improvements proposed, access for emergency vehicles, snowplows, and garbage trucks will be enhanced as access to the property will be achievable from all sides. The enclosed garages and garbage handling area is such that vehicles will not obstruct the alley to allow service vehicles to navigate the alley. There is direct access to the building from the alley, N 1st Ave, and Sun Valley Rd in case of emergencies.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
Finding: The project proposes heated pavers for the pedestrian areas between the building and pedestrian sidewalks per the project plans, therefore, no on-site snow storage is required.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
<p>Finding: The development proposes landscaping for the project as shown on the project plans including landscape planter beds and street trees. The development also proposes a green roof on the roof of the ground floor entrance to the pickleball court and on the third floor of the building.</p>	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<p>Finding: The landscape plan (Sheets L3.1-L3.3) includes street trees and planter boxes with low lying shrubs and tall grasses. The vegetation types proposed are found in many areas of the community core and are appropriate for the microclimate.</p>	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
<p>Finding: All proposed plantings are drought-tolerant and common for the area.</p>	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	NO
<p>Finding: See comments in staff report regarding public courtyard</p>	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
<p>Finding: The development proposes street trees which have been approved by the Public Works Director. Trash receptacles, benches, and bike racks are proposed on the subject property and within the public right-of-way.</p>	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: No underground encroachments are proposed with the development	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: The subject property is not adjacent to any bodies of water; therefore, no riparian setback exists for the property.	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES
Finding: The development includes benches, bike racks, and trash receptacles on the subject property. Within the right-of-way, the development proposes street trees along N 1 st Ave and Sun Valley Rd, snowmelt sidewalks, streetlights, benches, and trash cans. Final review and approval of all right-of-way improvements will be conducted at the time of building permit.	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	YES
Finding: As shown in the project plans, street trees proposed are 2" to 3" caliper and include tree grates.	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	N/A
Finding: No modifications to these requirements have been made. The Public Works Department has provided directions as to the location of improvements in the right-of-way.	

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
<p>Finding: The alley façade features three different material types (wood siding, metal shingles, and stone veneer) in addition to various window openings and recessions in the façade. Staff has concerns related to the black wall on the south façade of the building as noted in the staff report, however, the wall is not set back five feet from the interior property line.</p>	

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	NO
<p>Finding: See comments in the staff report.</p>	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	NO
<p>Finding: See comments in the staff report.</p>	

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
<p>Finding: The roof form and material is like that of the rest of the building. The roof form is flat, compatible with the horizontal cantilevered decks. The roof soffit is proposed to be a lighter color wood siding. No reflective materials are proposed.</p>	

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A
<p>Finding: The project does not include pitched roofs.</p>	

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A
Finding: Roof overhangs are not proposed to encroach into the public right-of-way or over the sidewalk.	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
Finding: The building does not have any front porches or stoops.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
Finding: As noted above, all trash disposal areas are located off the alley on the subject property. All loading/unloading service to the building will occur in the alley.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
Finding: As shown on the project plans, there is no roof mounted mechanical equipment proposed. As shown on Sheet A2, there are mechanical rooms on the ground level and areas designated for the transformer, gas and electrical service, and condensers. Much of the mechanical equipment is contained within the building.	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES
Finding: There is one tree along the alley, however, the tree is not in good health. The landscape plan includes the addition of nine on-site trees to be planted, which is more than what exists on the property today.	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES
Finding: All street trees proposed have tree grates. The trees proposed on-site are within a raised planter bed and therefore do not require tree grates as they are not impeding maintenance or accessibility needs.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	N/A
Finding: No replacement trees or parking lot trees are proposed for the development therefore this standard does not apply.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	YES
Finding: The development does not propose surface parking lots. The enclosed parking area is accessed from the alley.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on-site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: As shown on the landscape plans, six bicycle racks are proposed at the main entrance to the building on N 1 st Ave. Each bicycle rack can accommodate two bicycles.	

17.96.070.F.2 – Bicycle Parking	Conformance
<p><i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i></p>	<p>YES</p>
<p>Finding: The development requires four parking spaces, therefore only one bicycle rack is required. As shown on the landscape plans, six bicycle racks are proposed at the main entrance to the building on N 1st Ave. Each bicycle rack can accommodate two bicycles.</p>	

17.96.070.F.3 – Bicycle Parking	Conformance
<p><i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i></p>	<p>YES</p>
<p>Finding: The bicycle racks are located immediately adjacent to the front entry on N 1st Ave. This location is clearly visible for most visitors to the building and within 50 feet of the entrance on the N 1st Ave side of the building.</p>	



City of Ketchum

ATTACHMENT F:

Public Comment

Andy Akers
1523 Warm Springs Road
Ketchum, ID 83340

2/5/2025

Ketchum Planning and Zoning Commission
City Hall
P.O. Box 2315
191 5th Street West
Ketchum, ID 83340

RE – Sawtooth Serenade / 260 1st Ave Ketchum Idaho Approval Without Modifications

Dear Ketchum Planning & Building Department,

I am writing to express my support for the Sawtooth Serenade project currently under final design review. I have reviewed the design and believe it is a well-thought-out addition to our community. I appreciate the effort that has gone into making it a quality project that aligns with Ketchum's character and values.

I respectfully ask the Planning & Zoning Commission to approve the project without further changes or modifications. Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink that reads "Andy Akers". The signature is written in a cursive, flowing style.

Andy Akers

Cyndy King

From: Stuart Campbell <1stuartcampbell@gmail.com>
Sent: Wednesday, February 5, 2025 4:25 PM
To: Participate
Subject: 260 N. 1st Avenue - Sawtooth Serenade

After reviewing the proposed Sawtooth Serenade project at 260 N. 1st Avenue, I ask that the P&Z Commission approve the design as presented. I drive by and park on 1st Ave. adjacent to this lot several times a week and this project looks like a great improvement to this long-vacant lot and part of town.

Stuart Campbell

Daniel Hansen

From: Grant Ries <grantries@gmail.com>
Sent: Wednesday, February 5, 2025 8:40 PM
To: Participate
Subject: Re: Letter of Support - Lynch and Bernier Project: Sawtooth Serande 260 1st Ave N

Sorry I forgot to add the address:

Sawtooth Serande 260 1st Ave N

Regards,
Grant

On Wed, Feb 5, 2025 at 7:12 PM Grant Ries <grantries@gmail.com> wrote:

Grant Ries

102 Spring Lane

Ketchum, ID 83340

Feb 5, 2025

City of Ketchum

Planning and Zoning Department

Ketchum, Idaho 83340

RE: Letter of Support for Lynch & Bernier Proposed Home

Dear Members of the Planning and Zoning Department,

I hope this letter finds you well. My name is Grant Ries and I am a fellow homeowner in Ketchum. I am writing to express my enthusiastic support for the proposed in-city residence that my friends, the Bernier's and Lynch's, plan to build. I have know both families for years and I am honored to write this letter in support of their proposed home in downtown Ketchum

Having reviewed the proposed design, I am confident that their new home will positively contribute to the character of our community in several ways:

1. Architectural Harmony: The design beautifully integrates with Ketchum's aesthetic, reflecting the mountain-town charm that many of us value. The thoughtfully planned home and set backs will increase the overall visual appeal of downtown Ketchum

2. Community Investment: Both families have long been active, dedicated members of Ketchum. Their desire to build and live here reflects a broader investment in our area's culture and economy. By constructing a home that aligns with local regulations and design standards, they further exemplify the spirit of responsible homeownership.

As a homeowner who values thoughtful growth in our city, I am confident that approving this project will be beneficial to the Ketchum community. I respectfully ask that you give full consideration to the proposed home, as it promises to be a beautiful and responsible addition to our cityscape.

Thank you for your time and dedication to maintaining Ketchum's charm and well-being. Should you have any questions or need further information, please feel free to contact me at [206-549-2117] or [grantries@gmail.com].

Sincerely,

Grant Ries

grantries@gmail.com | 206-549-2117