



**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF FEBRUARY 11, 2024**

**PROJECT:** Knob Hill Residence

**FILE NUMBER:** P24-087

**APPLICATION TYPE:** Pre-Application Mountain Overlay Design Review

**PROPERTY OWNER:** Knob Hill Properties LLC

**REPRESENTATIVES:** Peter Seidner & Hank Moore, Presidio Vista Properties

**ARCHITECT:** Zac Rockett, Architect, Ro Rockett Design

**REQUEST:** Pre-Application Mountain Overlay Design Review for the development of a new three-story, 8,319-square-foot single-family residence and associated site improvements

**LOCATION:** Ketchum Townsite—Block 91: Lots 3 & 4 (Parcel Numbers: RPK0000091004A & RPK00000910030)

**ZONING:** Limited Residential (LR)

**OVERLAY:** Mountain Overlay

**REVIEWER:** Abby Rivin - Senior Planner

**NOTICE:** A courtesy public meeting notice was mailed to all property owners within 300 feet of the project site on January 22, 2025. The notice was published in the Idaho Mountain Express on January 22, 2025. A notice was posted on the city's website on January 22, 2025 and on the project site on February 4, 2025.

**EXECUTIVE SUMMARY**

The applicant has submitted a Pre-Application Mountain Overlay Design Review for the development of a new three-story, 8,319-square-foot single-family residence (the "project", see Figure 1), located on two vacant lots on Walnut Avenue within the Knob Hill neighborhood (the "subject property"). The subject property is located within the city's Limited Residential (LR) Zone and the Mountain Overlay (MO) Zoning District. The project plans are included as Attachment A. Supplemental material submitted with the Pre-Application, including the applicant's Design Narrative and written response to MO Design Review standards, is included as Attachment B.



Figure 1: Knob Hill Residence (Sheet G-022)

The subject property (see Figure 2) is comprised of two separate lots in Block 91 of Ketchum Townsite. Topography was not considered when the original Ketchum Townsite was established in 1948. The Knob Hill neighborhood contains platted blocks with vacant lots and unimproved rights-of-way that extend high up the hillside.



Figure 2: Subject Property Aerial Map



The slope exhibit in Figure 3 shows the subject property with areas of 25% and greater slope in red, areas of 20% slope in green, and areas of 15% slope in yellow. Most of the subject property contains hillsides of 25% and greater slope.

The subject property is constrained by a view corridor and landscape easement (recorded as Instrument No. 663131) that benefits the adjacent property to the south along Walnut Avenue (see Figure 4). The view corridor easement highlighted in yellow in Figure 4 is intended to preserve the views from the adjacent property over the southwest side of the subject property. The landscape easement highlighted in green in Figure 4 is intended to provide screening for privacy.

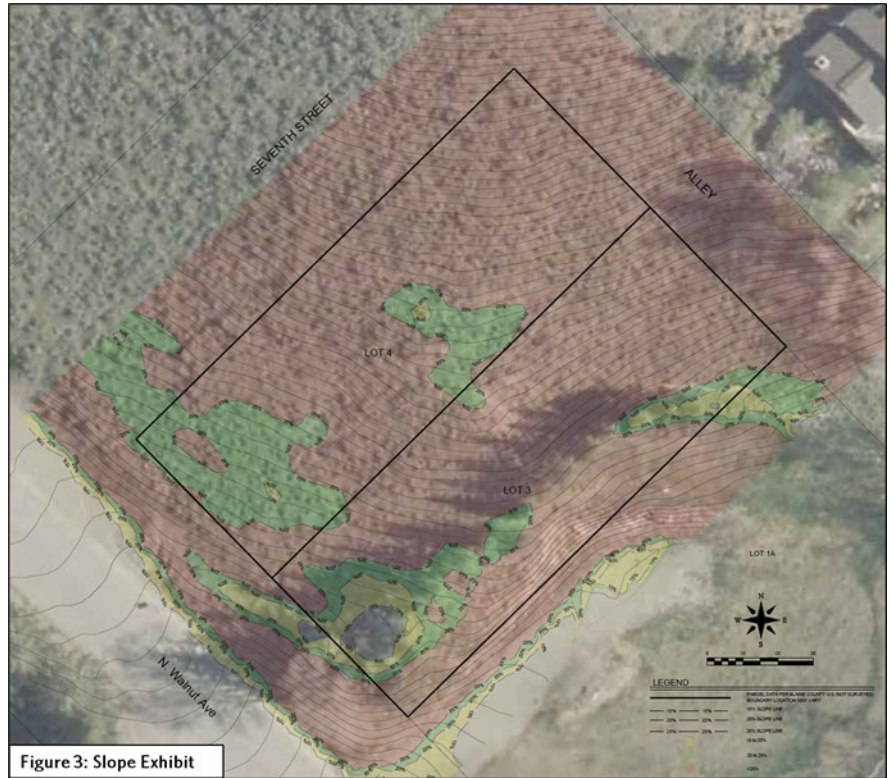
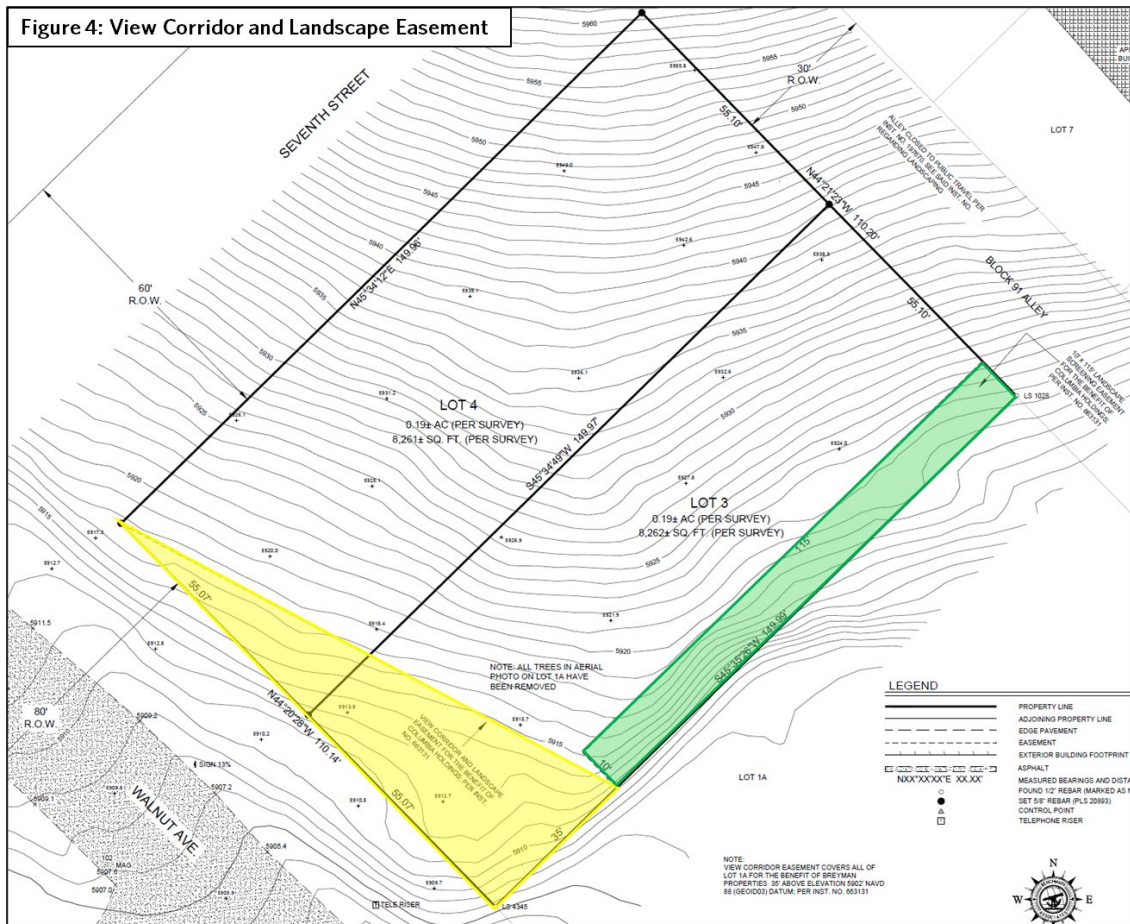


Figure 3: Slope Exhibit



The project proposes consolidating the two lots to accommodate the development of the new home. Lot consolidations are permitted in the LR Zone subject to a waiver pursuant to Ketchum Municipal Code (KMC) §16.04.030.C1a. KMC §16.04.030.C4 requires that, "All preliminary plat applications for consolidation of lots must also demonstrate conformance with all applicable building permit and land use development approvals, all applicable rules and regulations in title 17, zoning regulations, and general conformance with the adopted comprehensive plan." In addition, the project will require a waiver to establish a reasonable building envelope within slopes of 25% and greater per KMC §16.04.040.F2. The subdivision application for the lot consolidation preliminary plat and written waiver requests must be submitted concurrently with the final MO Design Review application.

The project is subject to Mountain Overlay Pre-Application Design Review pursuant to KMC §17.96.010.D.1 as the subject property is greater than 11,000 square feet. Pre-Application Design Review is an opportunity for the Planning and Zoning Commission (the "Commission") to give the applicant feedback on the proposed project. This preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant. There is no formal staff recommendation and no motion or action for the Commission to take at this time. Staff recommends the Commission provide feedback to the applicant after reviewing the Knob Hill Residence Pre-Application MO Design Review submittal (Attachments A & B), the applicant's presentation, staff analysis, and public comment.

## **BACKGROUND**

### **Process to Date**

The Planning and Building Department received the Knob Hill Residence Pre-Application MO Design Review application on October 15, 2024. The Pre-Application was reviewed by all city departments and comments were provided to the applicant for review. Although not required for Pre-Application Design Review, the applicant revised the submittal in response to staff comments. All city department comments and feedback provided by the Commission must be addressed by the applicant upon submittal of the final Design Review application. Pursuant to KMC §17.96.010.D5, the applicant must file a complete Design Review application and pay all required fees within 180 calendars of the last Pre-Application Design Review meeting with the Commission, otherwise the Pre-Application will become null and void.

## **ANALYSIS**

Pursuant to KMC §17.96.050.A, the Commission shall determine the following prior to granting Design Review approval:

1. The project doesn't jeopardize the health, safety, or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

### **Criteria 1 & 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance**

#### **Future Land Use**

The subject property is designated as Low Density Residential on the Future Land Use Map of Ketchum's 2014 Comprehensive Plan (the "comprehensive plan"). The Low Density Residential future land use category promotes new housing within existing neighborhoods that are connected



to local streets and have access to parks, open space, schools, and other civic activities. Primary uses in the Low Density Residential future land use category include single-family residences, duplexes, and accessory dwelling units. This project aligns with the Low Density Residential future land use category as the applicant proposes to develop a new single-family within the Knob Hill neighborhood.

### **Hillside Protection & Compatibility with Surrounding Neighborhood**

Ketchum's undeveloped hillsides define the character of our community. The comprehensive plan emphasizes the importance of protecting environmental quality and preserving natural resources to maintain Ketchum's economy, quality of life, and community identity. The comprehensive plan provides the following policies related to maintaining open space buffers, protecting hillsides, and preserving natural features:

- Policy OS-3.2—Open Space Community Separators: “Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space” (page 36).
- Policy CD-2.2—Mountain Overlay Zone: “Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides” (page 26).
- Policy CD-2.4—Development Designed for Natural Feature Preservation: “Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas” (page 27).

Infill development and redevelopment disturbs natural land features, topography, soils, and vegetation. Construction activities like excavation, grading, and vegetation removal can adversely impact natural hillside topography, soils, slope stability, drainage patterns, and wildlife habitat. Ketchum's Mountain Overlay standards referenced in Policy CD-2.2 of the comprehensive plan mitigate these adverse impacts by minimizing the disturbance associated with hillside development activity. These standards help preserve Ketchum's hillsides and wildlife habitat by prohibiting detrimental alterations to hilltops, rock outcroppings, knolls, and ridges. The Mountain Overlay protects scenic views and open space corridors by directing building sites to lower elevations and preserving our unobstructed hillsides.

In addition to our undeveloped hillsides, Ketchum's built environment, neighborhoods, and architectural design contribute to community character. The comprehensive plan encourages new development to be compatible with the character of the surrounding neighborhood. Policy CD-1.3 of the comprehensive plan states that, “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26). In addition, Policy CD-1.4 of the comprehensive plan states that, “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character”(page 26).

Staff believes the proposed development is compatible with the character of surrounding residential homes in the Knob Hill neighborhood but recommends the applicant modify the design to further minimize hillside disturbance on the subject property. Please see the Mountain Overlay Design

Review Standards section of the staff report below and Attachment D for staff's analysis and recommendations to minimize hillside disturbance.

### **Criteria 3: Applicable Standards and Criteria**

#### **LR Zoning and Dimensional Standards**

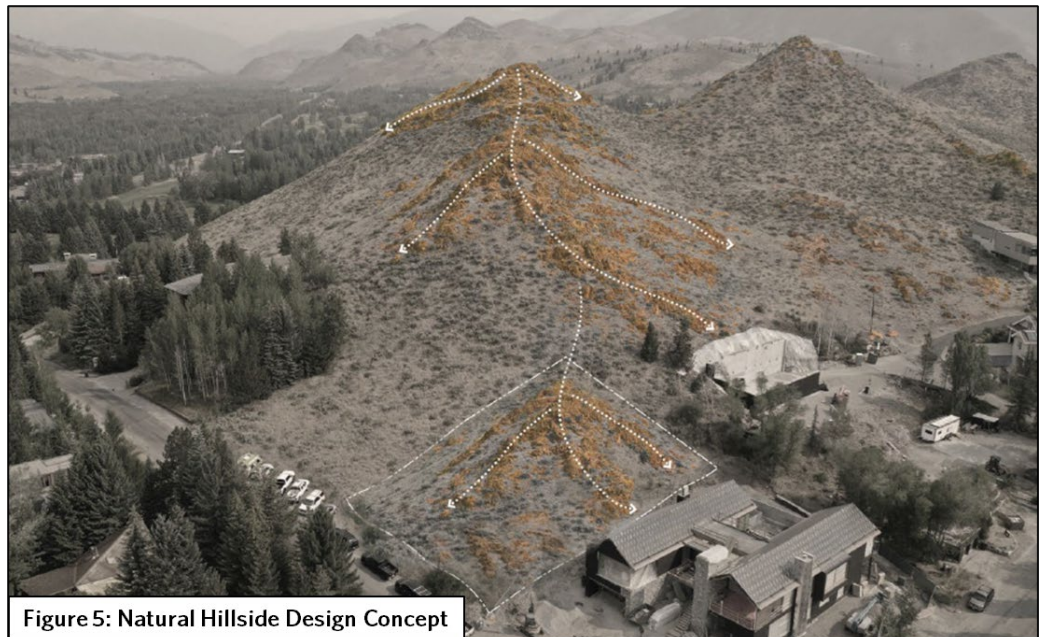
Staff reviewed the Pre-Application submittal for applicable zoning and dimensional standards, including setbacks, building height, building coverage, and parking. Planning staff's comprehensive analysis of all zoning and dimensional standards is provided in Attachment C. No code compliance issues were identified by staff based on the information provided in the Pre-Application submittal. Staff will review all zoning and dimensional standards again at final MO Design Review to ensure the project remains in compliance.

#### **Design Review Standards**

##### *Landscaping (KMC §17.96.060.1)*

The landscape plan on sheet L-5.00 proposes 5 Ponderosa Pine trees, 16 Quaking Aspen trees, 6 Common Chokecherry trees, and variety of shrubs as well as numerous landscape boulders. Some of these landscape boulders are retaining structures and others are solely ornamental. In the Design Narrative (see Attachment B), the applicant explains that the proposed retaining elements and landscape features are intended to echo the natural features of the surrounding hillsides and provides exhibits to

illustrate this approach (see Figure 5). Sheet L-1.00 of the project plans (see Attachment A) shows the proposed ornamental and retaining boulders with notes that state, "large native boulders to retain grade and match existing rock outcrops uphill" and "landscape boulders to match existing boulders on site and blend into native landscape character."



**Figure 5: Natural Hillside Design Concept**

Pursuant to KMC §17.96.060.12, "Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape." Existing native vegetation in the Knob Hill neighborhood is comprised predominately of native sagebrush plant species. Staff recommends the applicant modify the landscape plan by removing some of the trees and boulders to complement the surrounding sage-covered hillside.

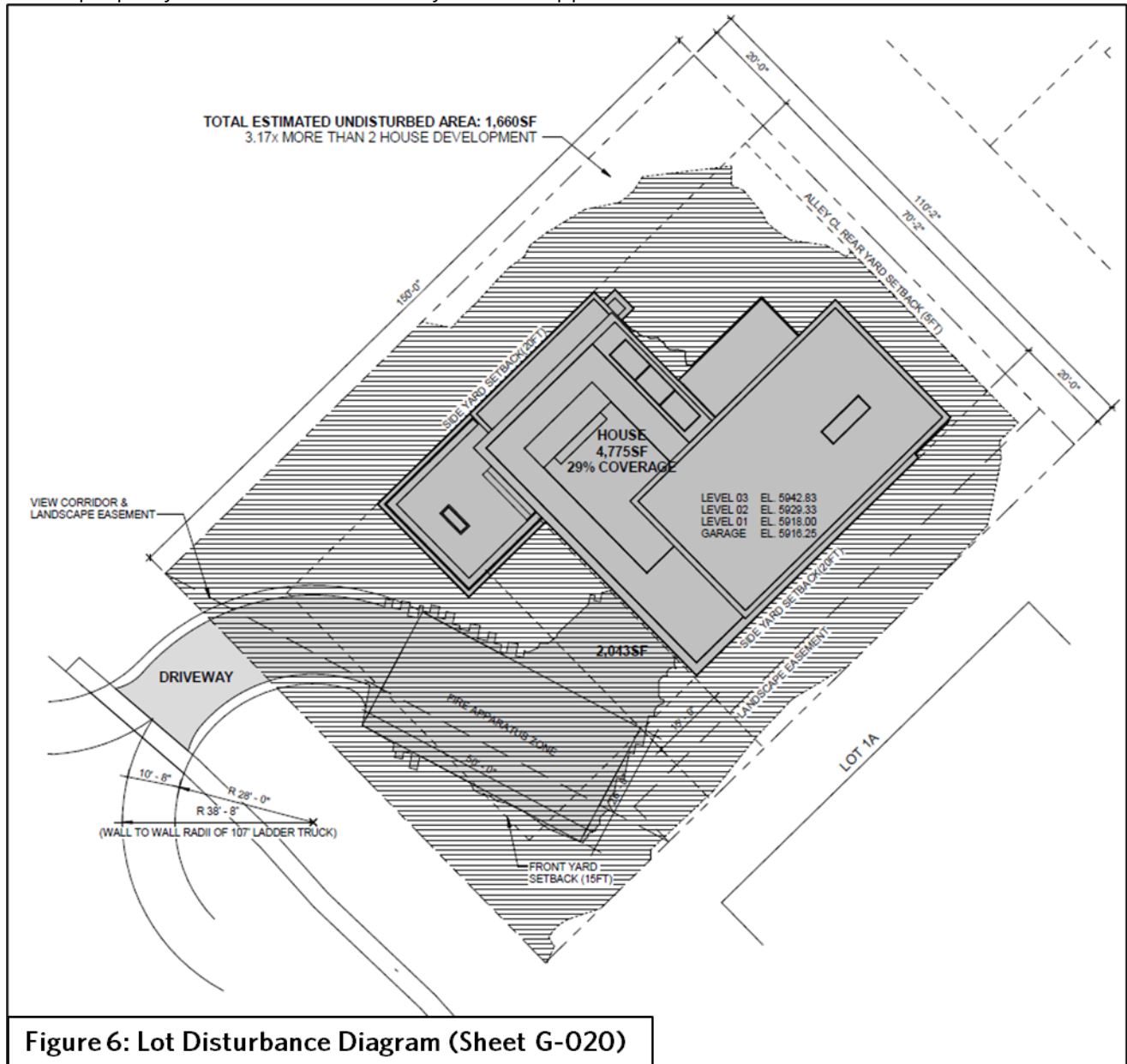
#### **Mountain Overlay Design Review Standards**

##### *Hillside Disturbance*

Pursuant to KMC §17.104.070.A14, "Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized." As shown on the lot disturbance



diagrams on sheet G-020 (see Figure 6), only a portion of the subject property along the rear property line is proposed to remain undisturbed. The total proposed undisturbed area is 1,660 square feet, which is only 10% of the subject property's total area. Hillside disturbance that is not associated with the building construction includes a small patio and hot tub at the northeast corner of the property as well as the driveway and fire apparatus access zone.



**Figure 6: Lot Disturbance Diagram (Sheet G-020)**

In the Design Narrative (see Attachment B), the applicant provides a summary of design changes made to the outdoor patio and hot tub area in response to Planning staff feedback to preserve more of the natural hillside. The applicant has significantly reduced the size outdoor patio area from the first iteration of the design drawings. Staff appreciates these changes and the applicant's thoughtful response to feedback, however, staff believes that removing the outdoor patio and hot tub would preserve even more of the natural hillside. Staff recommends the applicant remove the outdoor patio and hot tub to preserve more of the natural hillside area.

The proposed driveway improvements contribute to hillside disturbance not associated with building construction. The proposed driveway improvements are detailed on sheet C1.0 of the

project plans (see Attachment A). In the Design Narrative (see Attachment B), the applicant provides an analysis of the proposed driveway access. The applicant states:

*Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.*

In the written response to MO Design Review standards (see Attachment B), the applicant further explains:

*The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.*

The applicant has revised the proposed driveway access based on Planning staff feedback and Fire Department requirements. These changes included reducing the size of the garage, relocating the garage to facilitate a shorter driveway, and reducing the length and width of the driveway to limit disturbance.

Pursuant to KMC §17.104.070.A9, “lengths of driveways allowed shall be minimized.” The proposed driveway access along Walnut Avenue is 20 feet wide and surfaced with asphalt. The driveway then extends to the fire apparatus zone that is surfaced with pavers. As shown in Figure 8, the fire apparatus zone is 50 feet long and 26 feet wide. The length of the asphalt portion of the driveway is 57 feet. The length of the portion of the driveway surfaced with pavers is 71 feet long. The total length of the driveway is 128 feet (see Figure 7).

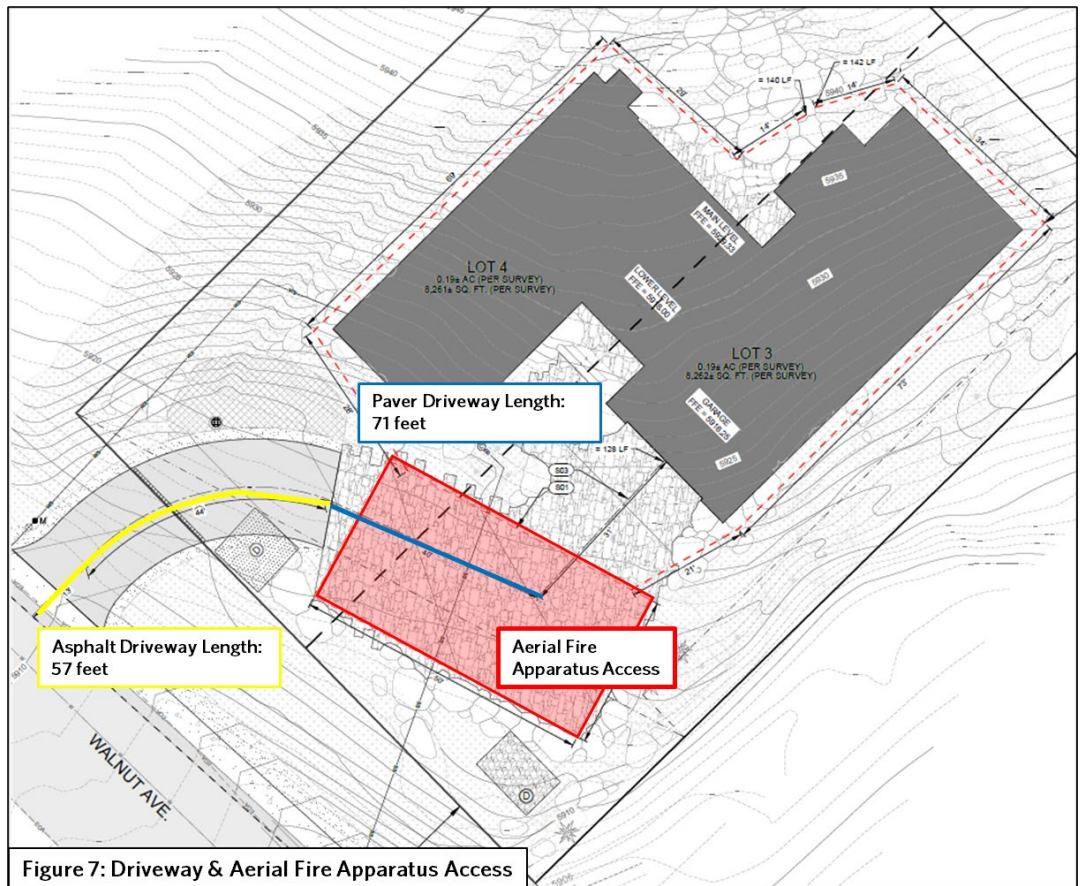


Figure 7: Driveway & Aerial Fire Apparatus Access



Pursuant to Fire Department requirements, aerial fire apparatus access is required where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet. Aerial fire apparatus access roads must have a minimum unobstructed width of 26 feet and must be sited no closer than 15 feet and no further than 30 feet from the structure. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. The proposed driveway and fire apparatus zone improvements push the home further up the hillside. The required setback from the front property line in the LR Zone is 15 feet. As a result of the driveway improvements, the home is setback 40'-7" from the front property line along Walnut Avenue, which is 25'-7" more than the minimum required.

If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.

### **STAFF RECOMMENDATION**

At the Pre-Application stage, staff does not provide a recommendation, and no action is taken by the Commission. Staff requests the Commission provide feedback to the applicant on the proposed design, issues identified in the staff report, and any other items deemed relevant to the project.

### **ATTACHMENTS:**

- A. Pre-Application MO Design Review Submittal: Project Plan Set
- B. Pre-Application MO Design Review Submittal: Application & Supplemental Materials
- C. LR Zoning and Dimensional Standards Evaluation
- D. Mountain Overlay Design Review Standards Analysis

Attachment A  
Pre-Application  
MO Design Review  
Submittal:  
Project Plan Set



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# NOB HILL RESIDENCE

### OWNER:

**NOB HILL PROPERTIES, LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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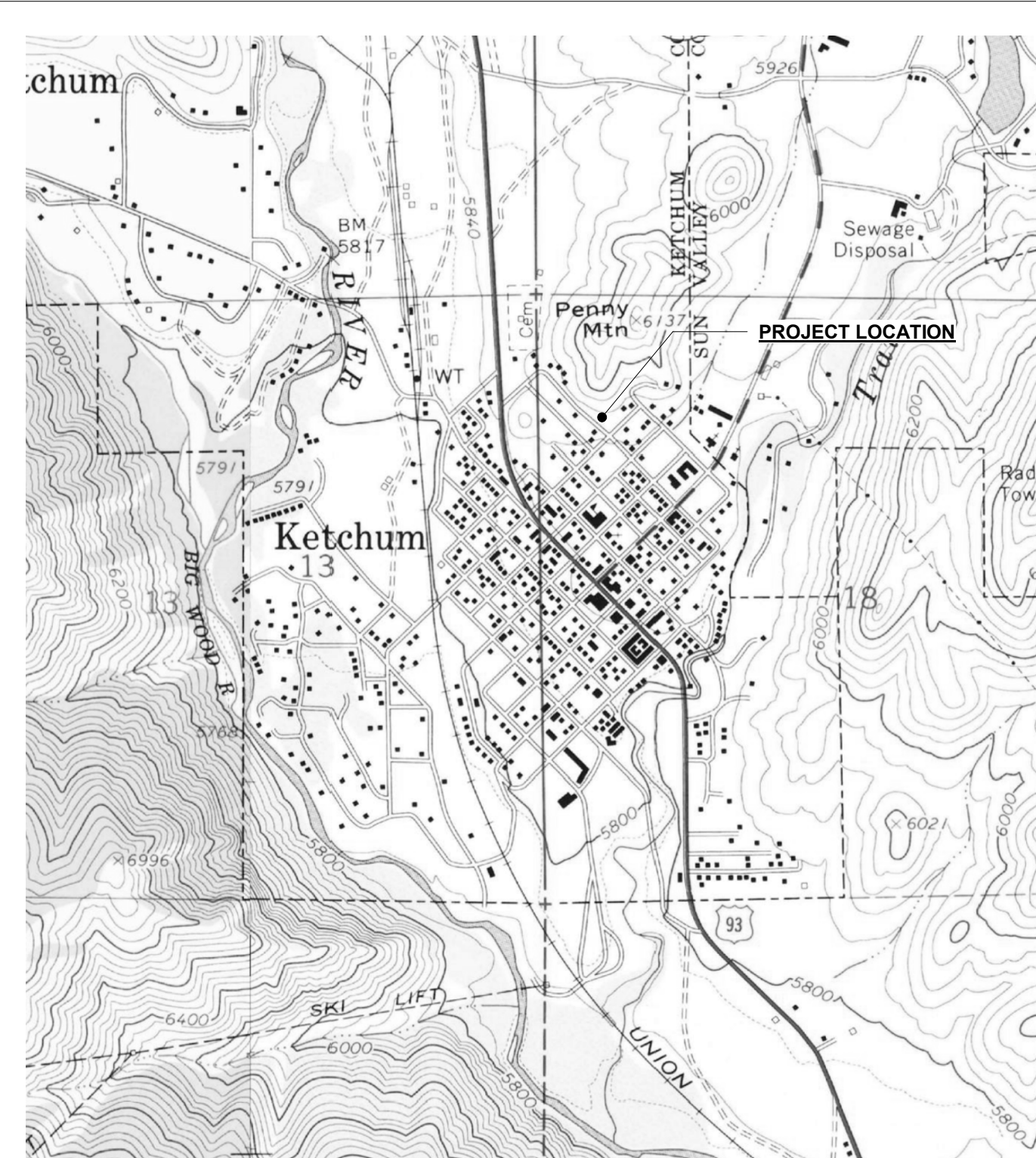
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SEAL:

# NOB HILL RESIDENCE

## MODR PRE-APPLICATION / 01.15.2025



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.
2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACE WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.
6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO CONFORM TO THESE STANDARDS.
9. USGS ELEVATION 5,918'-0" IS EQUIVALENT TO +100'-0" AS NOTED IN ALL ARCHITECTURAL & CONSULTANT DRAWINGS, U.N.O.

### DESCRIPTION

NEW SINGLE FAMILY RESIDENCE ON AN UNIMPROVED SITE

### PROJECT ADDRESS

LOT 3&4, BLOCK 91

### LEGAL DESCRIPTION

KETCHUM LOT 3 BLOCK 91, PARCEL NUMBER: RPK00000910030 & KETCHUM LOT 4 BLOCK 91, PARCEL NUMBER: RPK0000091004A CITY OF KETCHUM, BLAIN COUNTY, IDAHO, 83340

### CURRENT CODE

2018 INTERNATIONAL BUILDING CODE\*  
2018 INTERNATIONAL RESIDENTIAL CODE\*  
2018 INTERNATIONAL ENERGY CONSERVATION CODE\*  
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS\*  
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE  
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE

TITLE 15 KETCHUM MUNICIPAL CODE  
NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION]  
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM  
ALL APPLICABLE COUNTY ORDINANCES

\*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

### PROJECT INFORMATION

PARCEL IDENTIFICATION #: RPK00000910030 & RPK0000091004A  
LOT AREA: LOT 3=8,262SF(19AC), LOT 4=8,261SF(19AC), COMBINED=16,523SF(.38AC)  
ZONING DISTRICT: LR  
OVERLAY DISTRICT: MOUNTAIN  
TYPE OF CONSTRUCTION: NEW, TYPE V  
ANTICIPATED USE: SINGLE FAMILY RESIDENTIAL  
NO. RESIDENTIAL UNITS: 1

### REQUIRED SETBACKS

FRONT YARD: 15'-0", 40'-7" PROPOSED  
REAR YARD: 5'-0", 14'-1" PROPOSED  
SIDE YARD: 10'-0", 20'-0" PROPOSED

### MAXIMUM BUILDING HEIGHT

35'-0" (PROPERTIES WHICH STEP UP OR DOWN HILLSIDES MAY EXTEND 5FT ABOVE THE MAX HEIGHT.)  
33'-6" PROPOSED (38'-6" OVERALL STEPPING UP HILLSIDE)

### MAXIMUM BUILDING COVERAGE

35%, 29% PROPOSED (4,775SF / 16,523SF)

### OFF-STREET PARKING

PARKING SPACES PROVIDED: 2 (9' X 18' PER STALL)  
CURB CUT: 35% MAXIMUM, 18% PROPOSED (20'-0" DRIVEWAY / 110'-0" FRONTAGE)

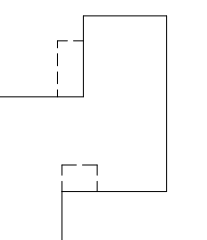
3 NTS PROJECT LOCATION

2 NTS PROJECT NOTES

1 NTS PROJECT DATA

NO	DATE	ISSUE
1	01.15.25	MODR PRE-APPLICATION

PROJECT:  
**NOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**COVER SHEET**

DRAWING NUMBER:  
**G-000**

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**KNOB HILL RESIDENCE**

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TEL: 406.551.2098

**LEGEND**

- ISSUED
- REVISED/ REISSUED
- OMITTED

MODR PRE-APPLICATION / 01.15.25

**1-GENERAL**

G-000	COVER SHEET	•
G-001	SHEET INDEX	•
G-010	FAR & LOT COVERAGE SUMMARY	•
G-011	BUILDING HEIGHT	•
G-020	LOT DISTURBANCE DIAGRAMS	•
G-021	MATERIAL PALETTE	•
G-022	RENDERED PERSPECTIVES	•
G-023	RENDERED ELEVATIONS	•
G-024	RENDERED ELEVATIONS	•
G-025	PHOTOGRAPHY EXHIBITS	•

**2-SURVEY**

1 OF 1	TOPOGRAPHIC SURVEY	•
1 OF 1.	SLOPE EXHIBIT WORKSHEET	•

**3-CIVIL**

C-1.0	GRADING, DRAINAGE & UTILITY PLAN	•
C-1.1	DETAIL SHEET	•
EXB	FIRE TRUCK EXHIBIT	•

**4-LANDSCAPE**

L-0.00	OVERALL SITE PLAN	•
L-1.00	LAYOUT AND MATERIALS PLAN	•
L-2.00	GRADING AND DRAINAGE PLAN	•
L-5.00	PLANTING PLAN	•

**5-ARCHITECTURAL**

A-100	SITE PLAN	•
A-102	REFERENCE PLAN / LEVEL 01	•
A-103	REFERENCE PLAN / LEVEL 02	•
A-104	REFERENCE PLAN / LEVEL 03	•
A-105	REFERENCE PLAN / ROOF	•

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SEAL:

1	01.15.25	MODR PRE-APPLICATION
NO	DATE	ISSUE

PROJECT:

**KNOB HILL RESIDENCE**

LOT 3&4, BLOCK 91

PROJECT NUMBER

**2204**

DRAWING TITLE:

**SHEET INDEX**

DRAWING NUMBER:

**G-001**

**NOT FOR CONSTRUCTION**

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**KNOB HILL RESIDENCE**

OWNER:  
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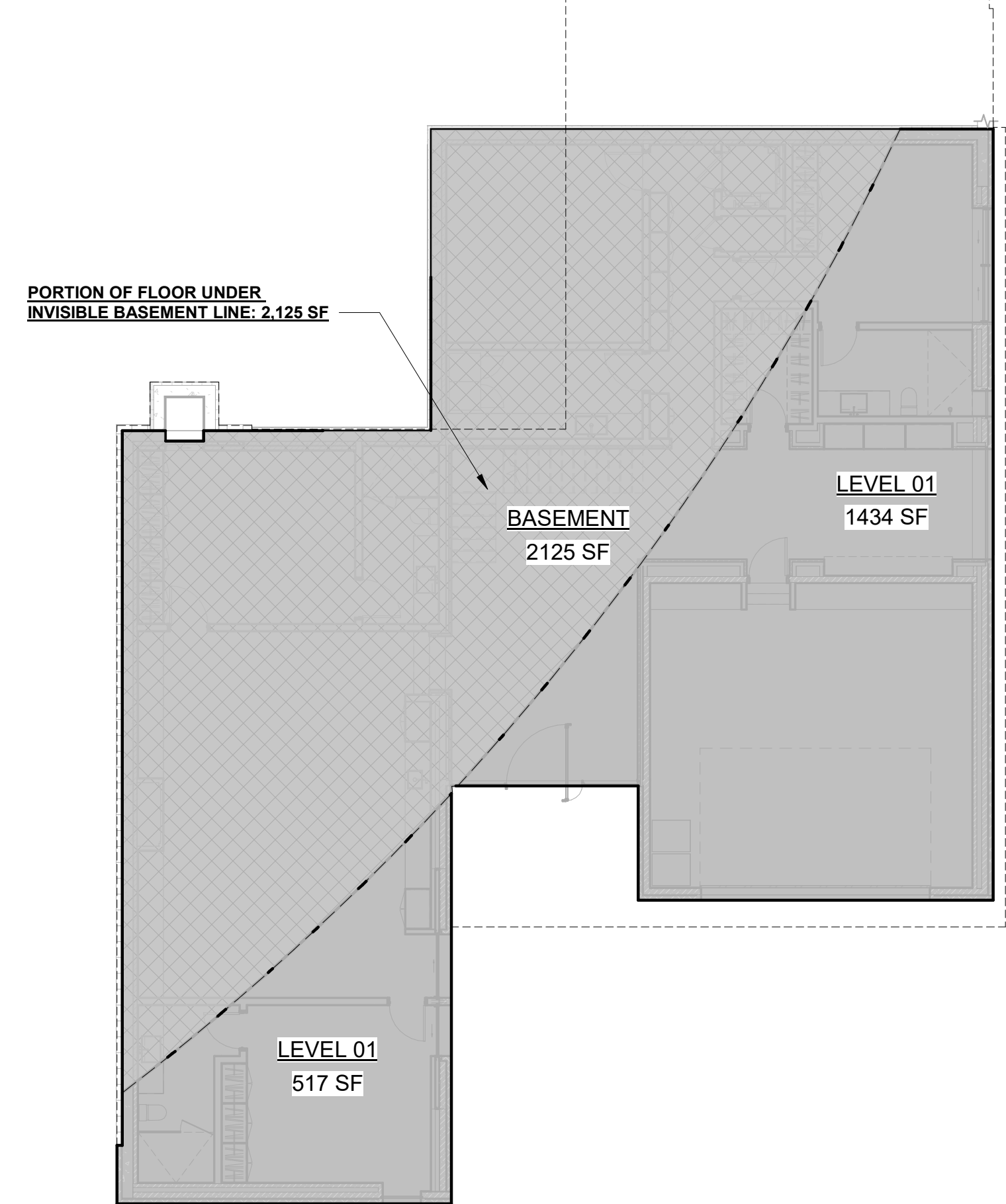
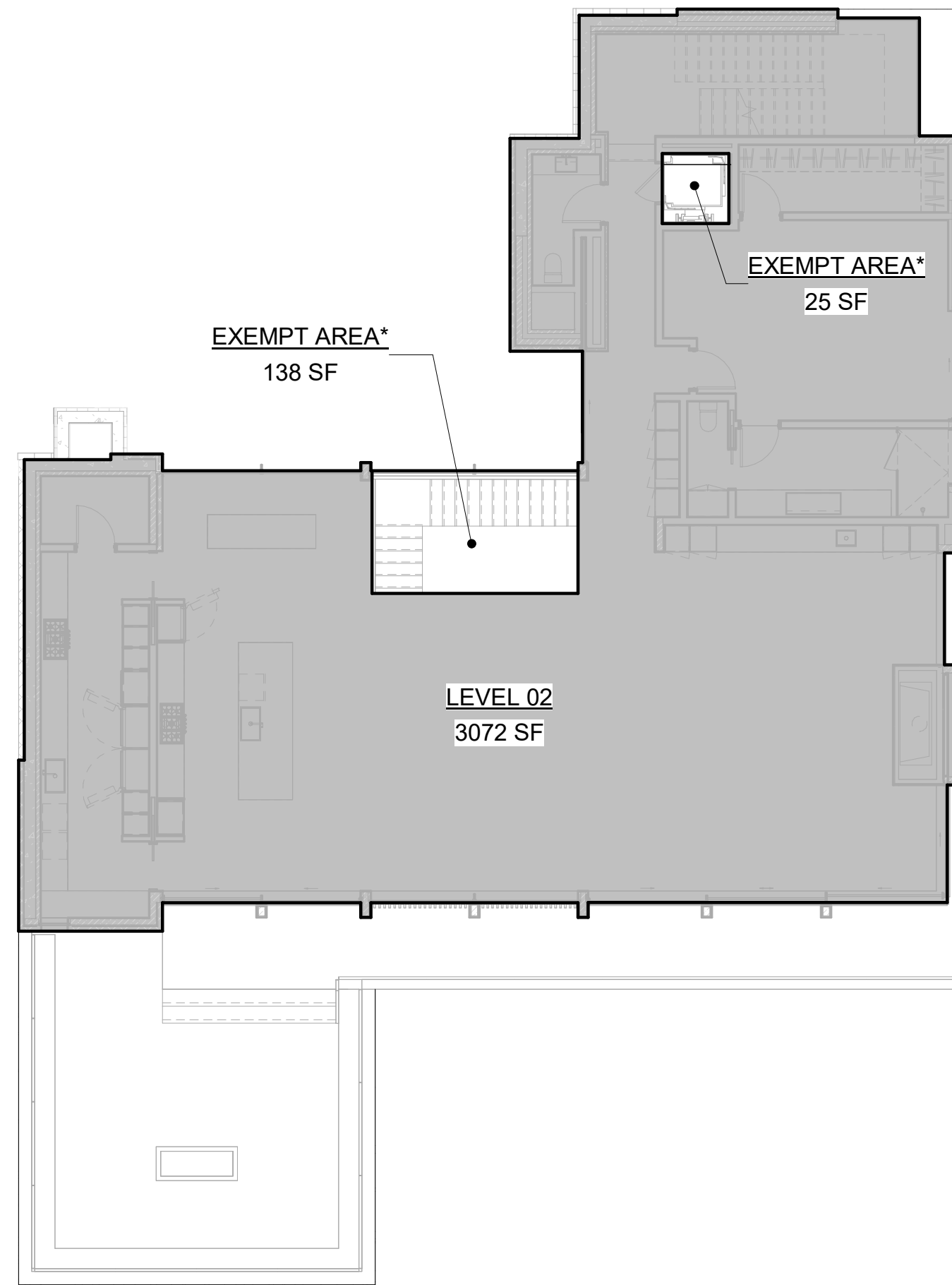
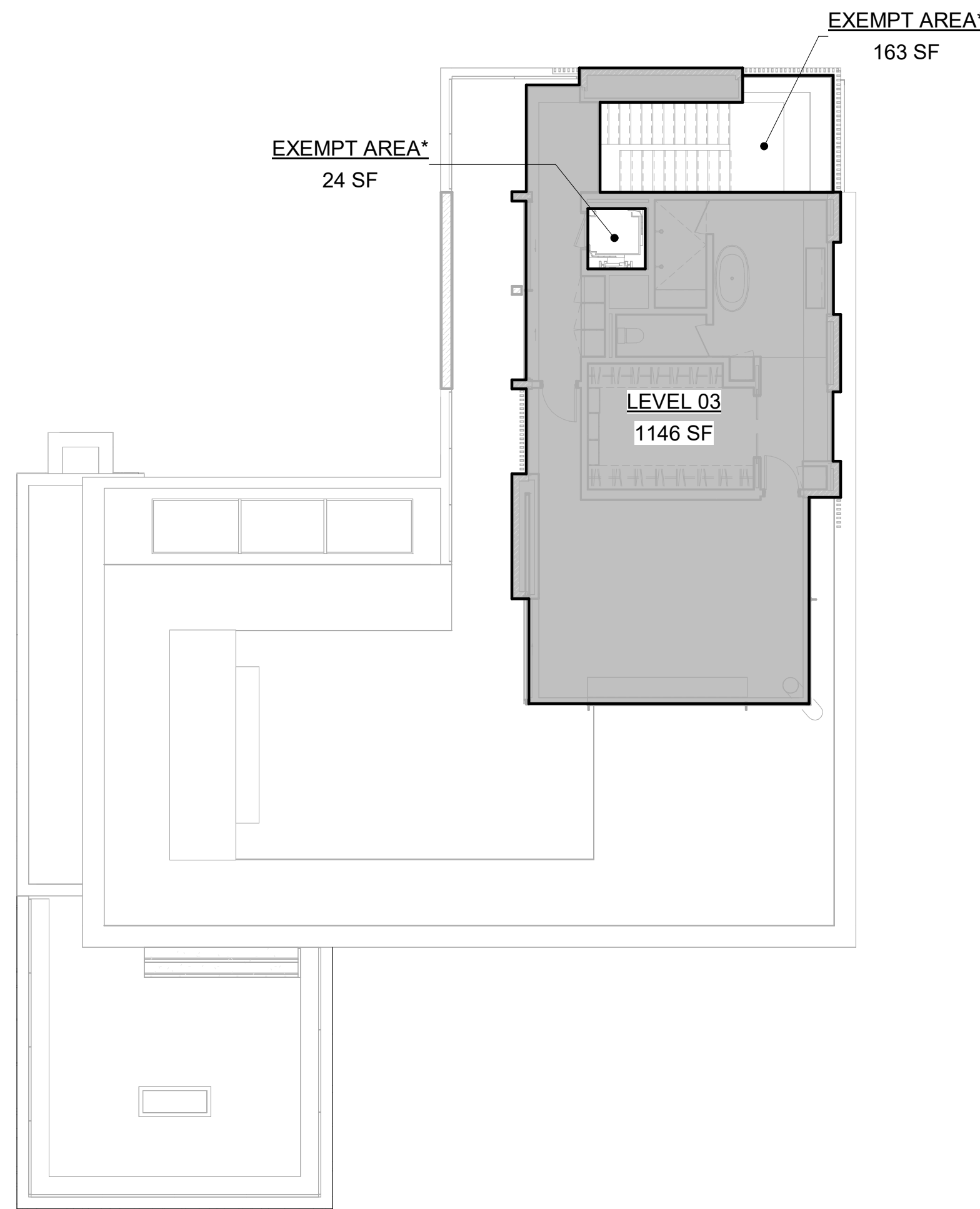
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 TEL: 208.726.9512

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
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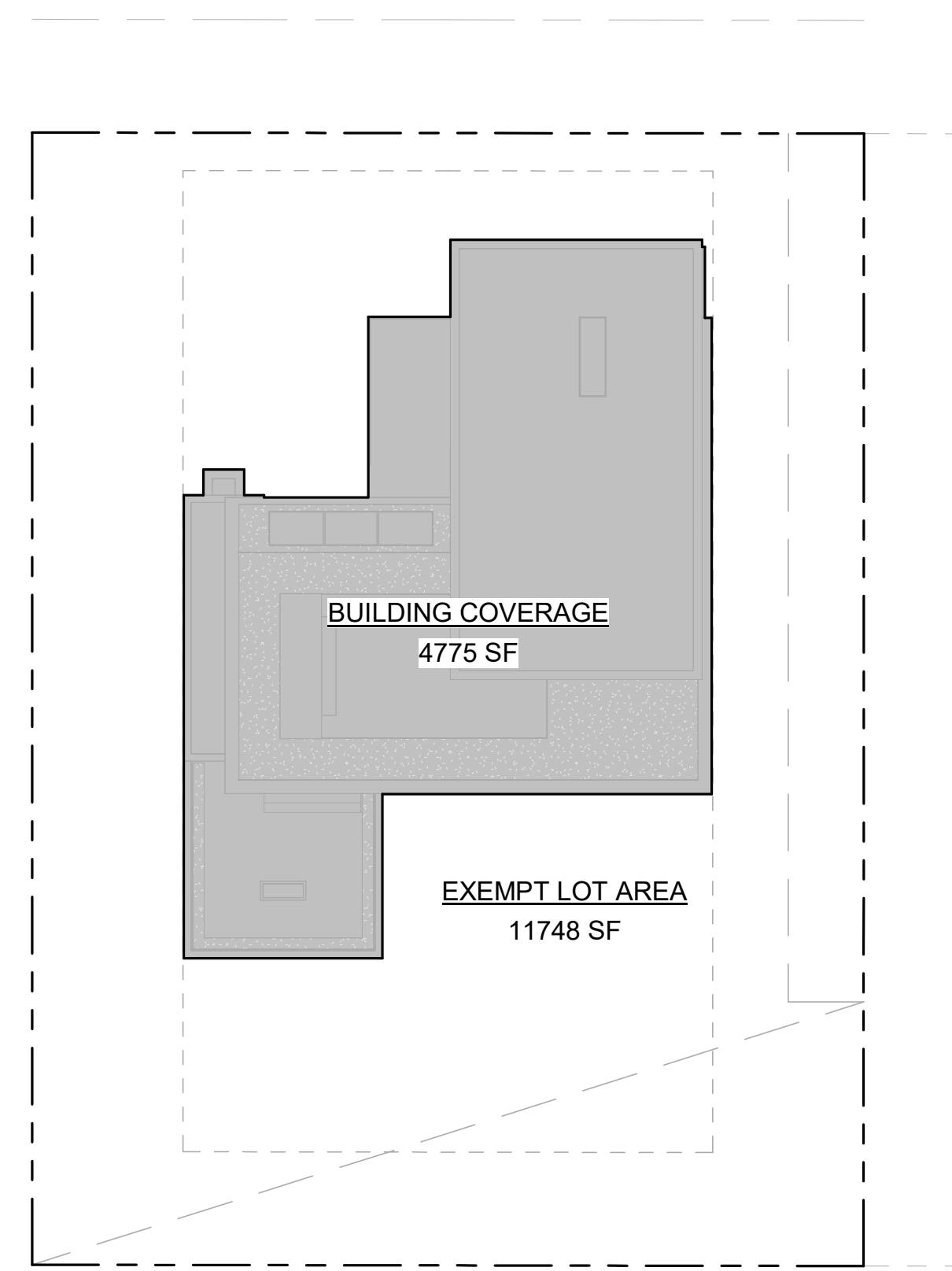
LANDSCAPE ARCHITECT:  
**FIELD STUDIO**  
 722 N ROUSE AVE  
 BOZEMAN, MT 59715  
 TEL: 406.551.2098



6 1" = 10'-0" FLOOR AREA / LEVEL 03

4 1" = 10'-0" FLOOR AREA / LEVEL 02

2 1" = 10'-0" FLOOR AREA / LEVEL 01



**PROPOSED FLOOR AREA CALCULATIONS**

ZONING: LR

**PROPOSED GROSS FLOOR AREA**

Name	Area
LEVEL 01	1951 SF
LEVEL 02	3072 SF
LEVEL 03	1146 SF
<b>GROSS FLOOR AREA TOTAL</b>	<b>6169 SF</b>

**EXEMPT FLOOR AREA**

Name	Area
BASEMENT	2125 SF
EXEMPT AREA*	350 SF

\*STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY

**PROPOSED LOT COVERAGE CALCULATIONS**

LOT AREA(PER SURVEY):	0.38 ACRES(16,523SF)
PERMISSIBLE BUILDING COVERAGE(35% OF LOT AREA):	0.13 ACRES(5,783SF)
<b>BUILDING COVERAGE</b>	<b>4775 SF COMPLIES</b>

KMC §17.08.020

**FLOOR AREA, GROSS:**

THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED.

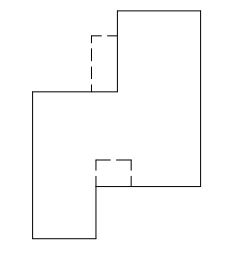
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NO	DATE	ISSUE
1	01.15.25	MODR PRE-APPLICATION

PROJECT:  
**KNOB HILL RESIDENCE**  
 LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**FAR & LOT COVERAGE SUMMARY**

DRAWING NUMBER:  
**G-010**

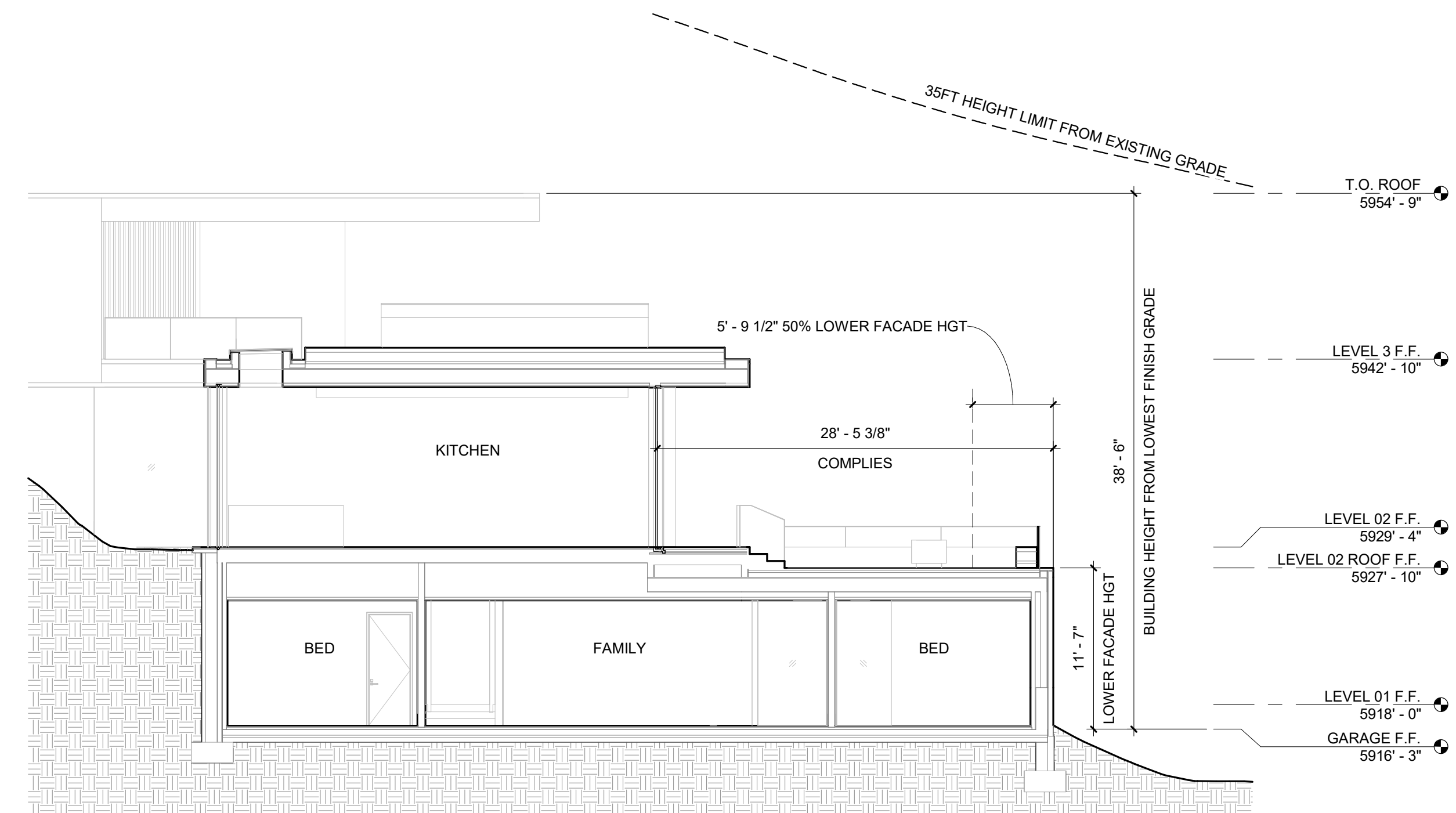
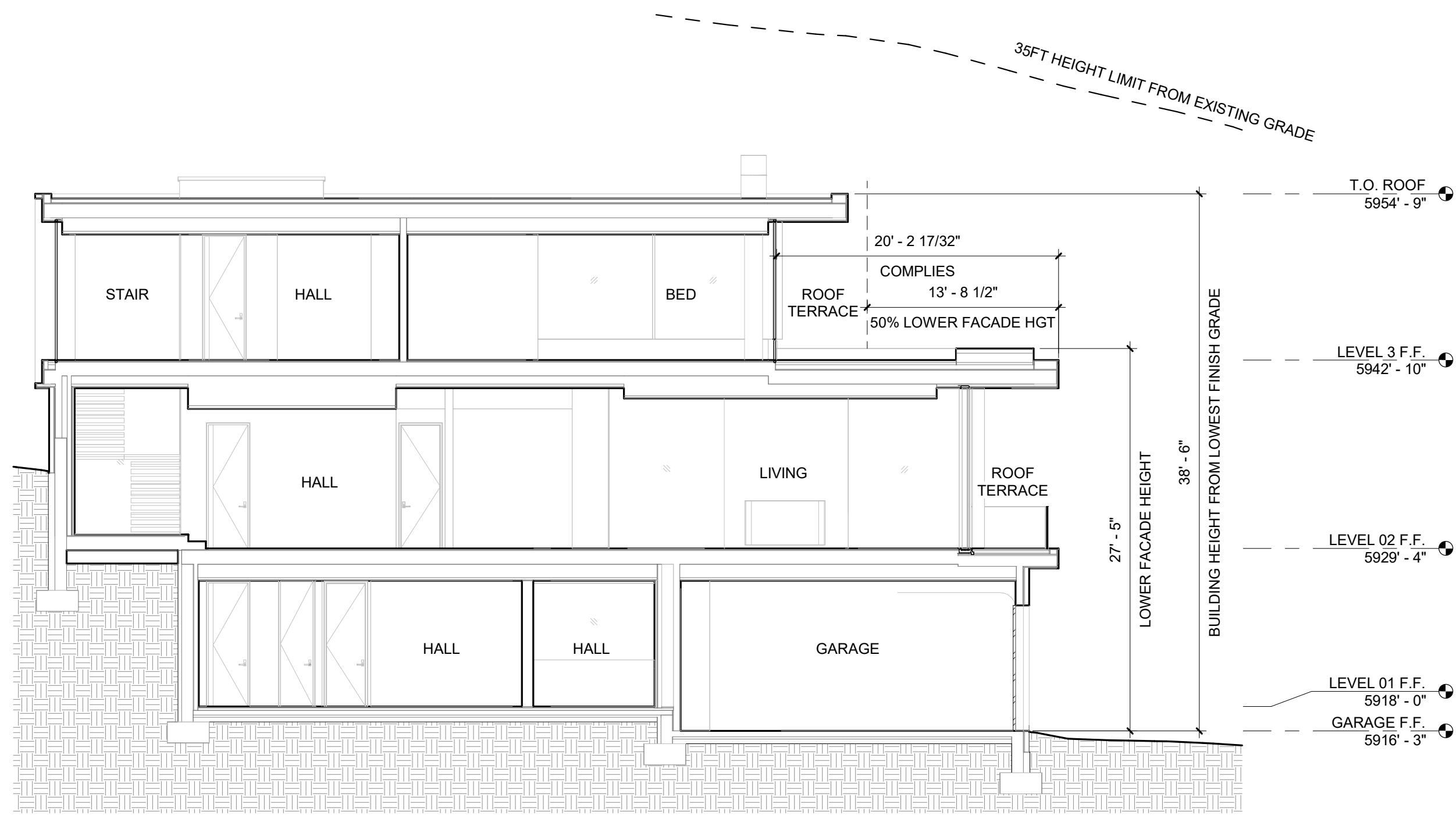
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3 1" = 20'-0" LOT COVERAGE

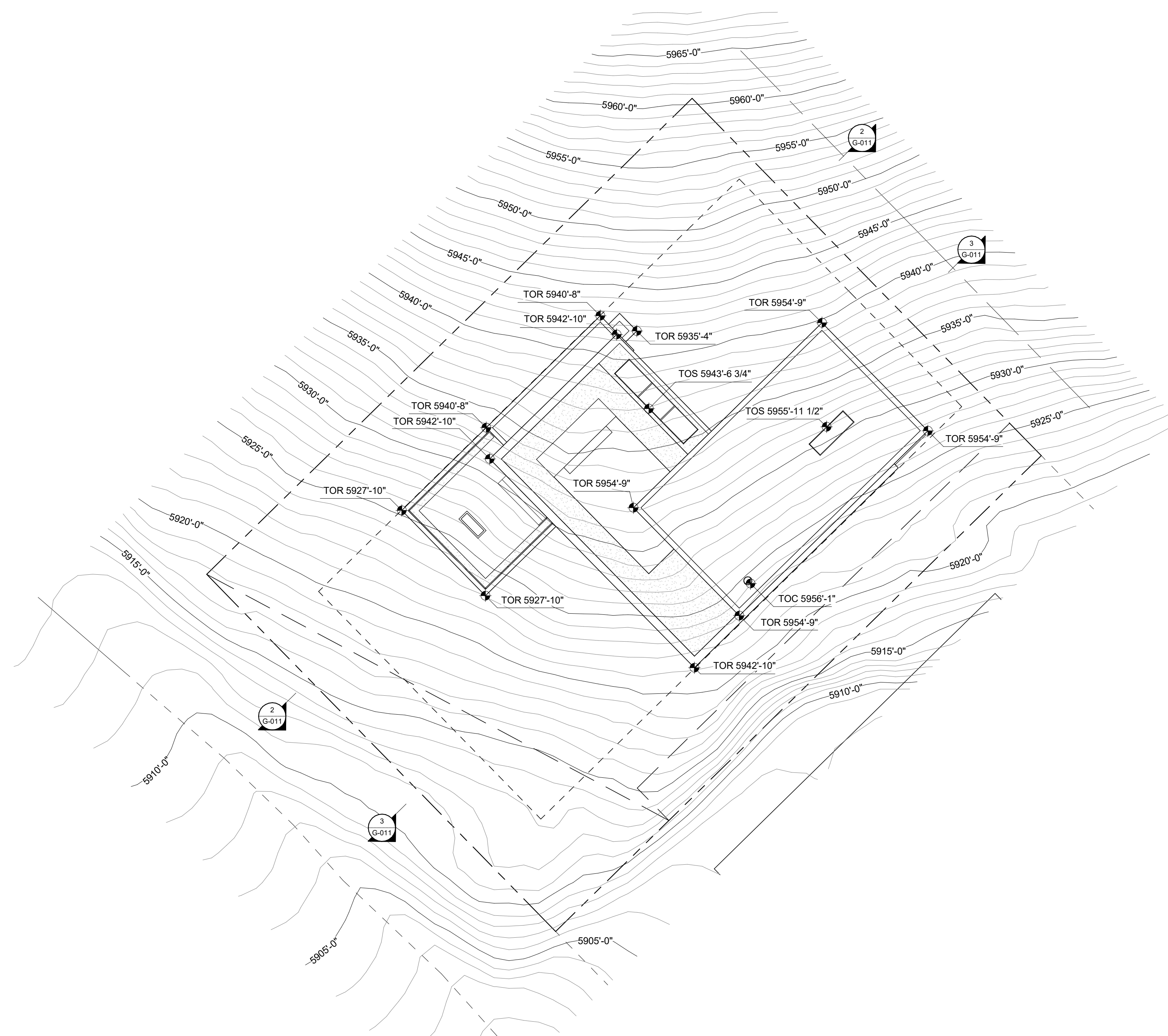
1 1/8" = 1'-0" PROPOSED FLOOR AREA CALCULATIONS





3 1/8" = 1'-0" BUILDING HEIGHT SECTION

2 1/8" = 1'-0" BUILDING HEIGHT SECTION



1 1/16" = 1'-0" ROOF PLAN / BUILDING HEIGHT

**KNOB HILL RESIDENCE**

OWNER:  
**KNOB HILL PROPERTIES, LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1306 BRIDGEWAY, FLOOR 2  
 SAUSALITO, CA 94965  
 TEL: 415.289.0830

SURVEYOR:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
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GEOTECHNICAL ENGINEER:  
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LANDSCAPE ARCHITECT:  
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SEAL:

	SURVEY HEIGHT
—XXXX'-X"	EXISTING GRADE
	TOR TOP OF ROOF
	TOC TOP OF CHIMNEY
	TOS TOP OF SKYLIGHT

**MAXIMUM BUILDING HEIGHT:**

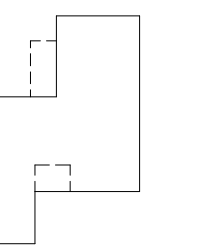
THE GREATEST VERTICAL DISTANCE MEASURED AT ANY POINT FROM THE ROOF TO NATURAL, EXISTING, OR FINISHED GRADE, WHICHEVER IS LOWEST. THE MAXIMUM VERTICAL DISTANCE FROM THE LOWEST EXPOSED FINISHED FLOOR TO THE HIGHEST POINT OF THE ROOF (REGARDLESS OF VERTICAL ALIGNMENT) SHALL BE NO MORE THAN FIVE FEET GREATER THAN THE MAXIMUM HEIGHT PERMITTED IN THE ZONING DISTRICT (SEE ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK.) NO FACADE SHALL BE GREATER THAN THE MAXIMUM HEIGHT PERMITTED IN THE ZONING DISTRICT. (SEE DEFINITION OF "FACADE" IN THIS SECTION AND ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK.) FACADES WHICH STEP UP OR DOWN HILLSIDES SHALL BE SET BACK FROM THE LOWER FACADE A MINIMUM OF 50 PERCENT OF THE HEIGHT OF THE LOWER FACADE; EXCEPT, THAT ROOF OVERHANGS MAY EXTEND UP TO THREE FEET INTO THIS AREA (SEE ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK). THIS BUILDING HEIGHT PROVISION SHALL APPLY TO PARAPETS, BOSTON ROOFS AND ANY OTHER PORTION OF A BUILDING ROOF, BUT SHALL NOT APPLY TO FLAGPOLES, LIGHTNING RODS, WEATHER VANES, ANTENNAS OR CHIMNEYS.

**BUILDING HEIGHT NOTES:**

- SEE LANDSCAPE DRAWINGS FOR EXISTING & NEW TREE LOCATIONS.
- SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.
- SEE A-100 FOR ARCHITECTURAL SITE PLAN.
- ALL ROOFINGS TO BE A CLASS 'A' NON-COMBUSTIBLE FLAT ROOF ASSEMBLY.
- BUILDING ELEVATION 100'-0" = +5,918'-0" USGS.
- ALL TOP OF ROOF ELEVATIONS LOCATE THE HIGHEST POINT OF THE ROOF STRUCTURE, WITH ROOF ASSEMBLY SLOPING INWARDS TOWARDS INTERNAL ROOF DRAINS, WITH THE EXCEPTION OF THE T.O. SKYLIGHTS AS NOTED.

1	01.15.25	MODR PRE-APPLICATION
NO	DATE	ISSUE

PROJECT:  
**KNOB HILL RESIDENCE**  
 LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**BUILDING HEIGHT**

DRAWING NUMBER:  
**G-011**

NOT FOR CONSTRUCTION

**KNOB HILL RESIDENCE**

OWNER:

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 KETCHUM, ID 83340

PROJECT ARCHITECT:

**RO | ROCKETT DESIGN**  
 1306 BRIDGEWAY, FLOOR 2  
 SAUSALITO, CA 94965  
 TEL: 415.289.0830

SURVEYOR:

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 TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

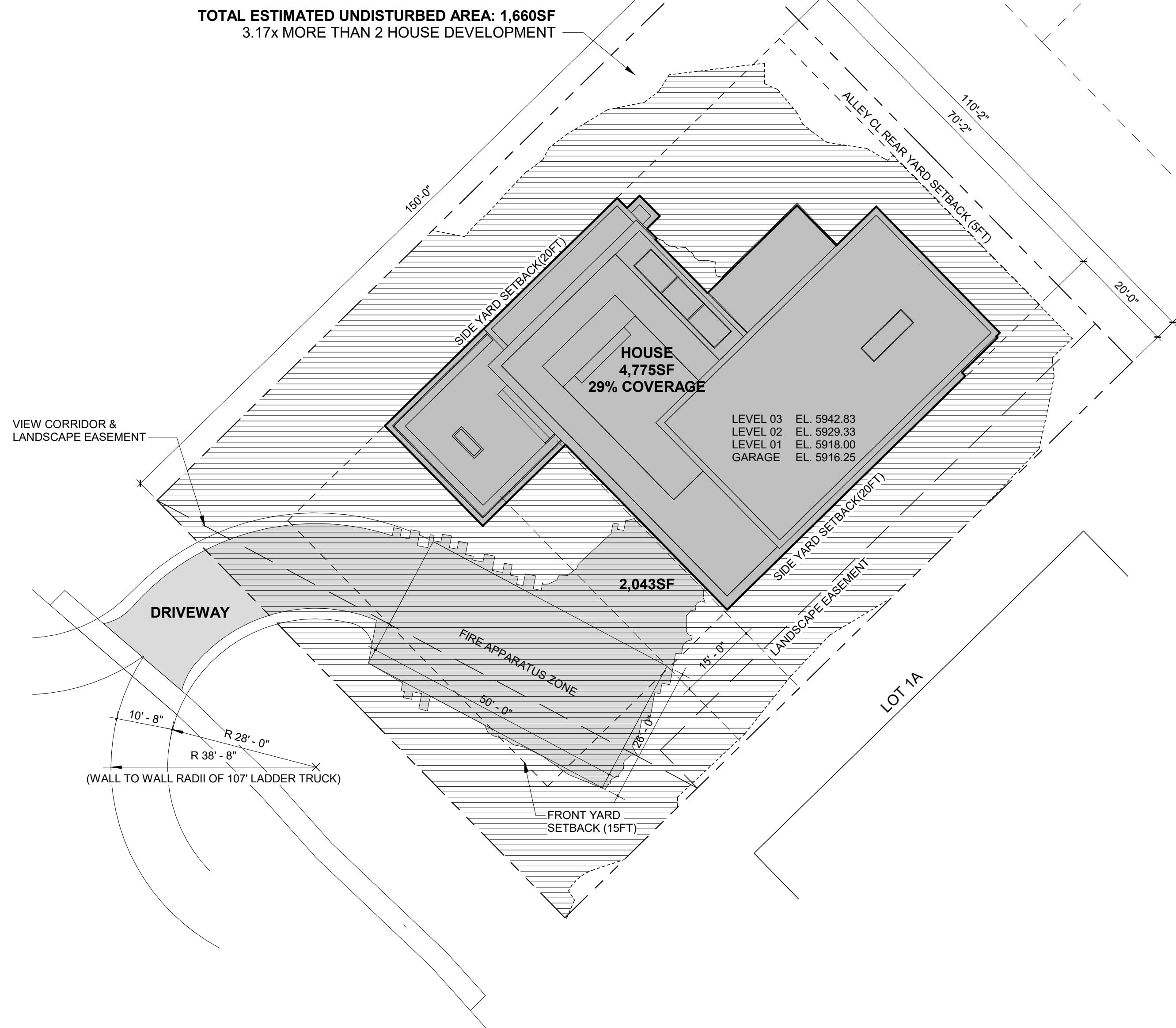
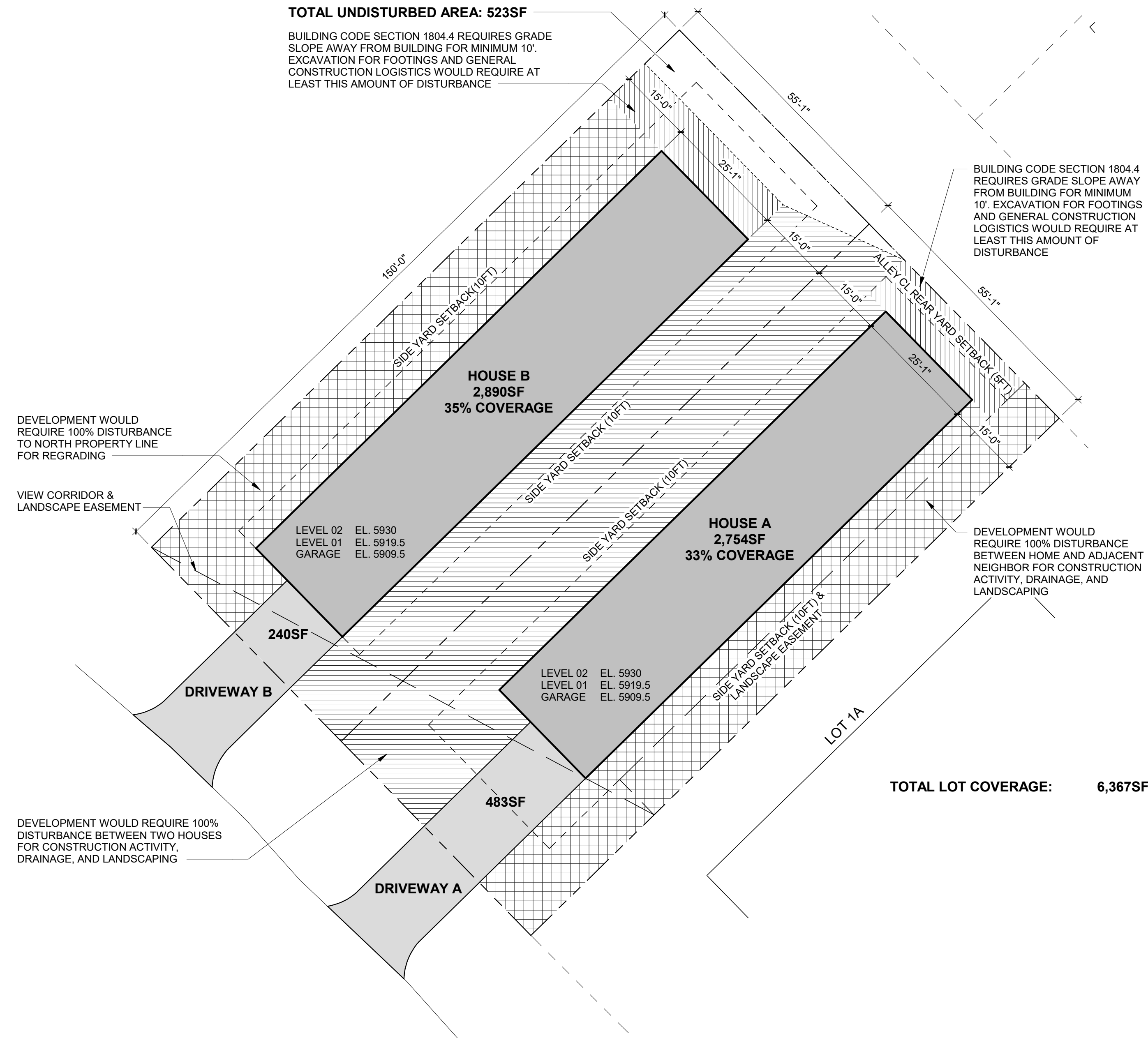
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

CIVIL ENGINEER:

**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, ID 83340  
 TEL: 208.726.9512

LANDSCAPE ARCHITECT:

**FIELD STUDIO**  
 722 N ROUSE AVE  
 BOZEMAN, MT 59715  
 TEL: 406.551.2098



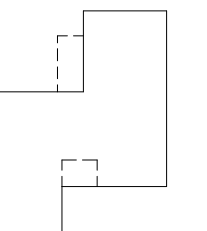
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NO	DATE	ISSUE

PROJECT:  
**KNOB HILL RESIDENCE**  
 LOT 3&4, BLOCK 91



PROJECT NUMBER:  
**2204**

DRAWING TITLE:  
**LOT DISTURBANCE DIAGRAMS**

DRAWING NUMBER:  
**G-020**

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

**FIELD STUDIO**  
722 N ROUSE AVE  
BOZEMAN, MT 59715  
TEL: 406.551.2098



6 NTS [MTL-2] METAL ELEMENTS, FASCIA, & NATIVE GREEN ROOF

4 NTS [WD-2] CUSTOM STAINED CEDAR / WOOD SOFFITS

2 NTS [STN-2] DARK NATURAL STONE PAVING / SELECT STONE

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NO	DATE	ISSUE

PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91

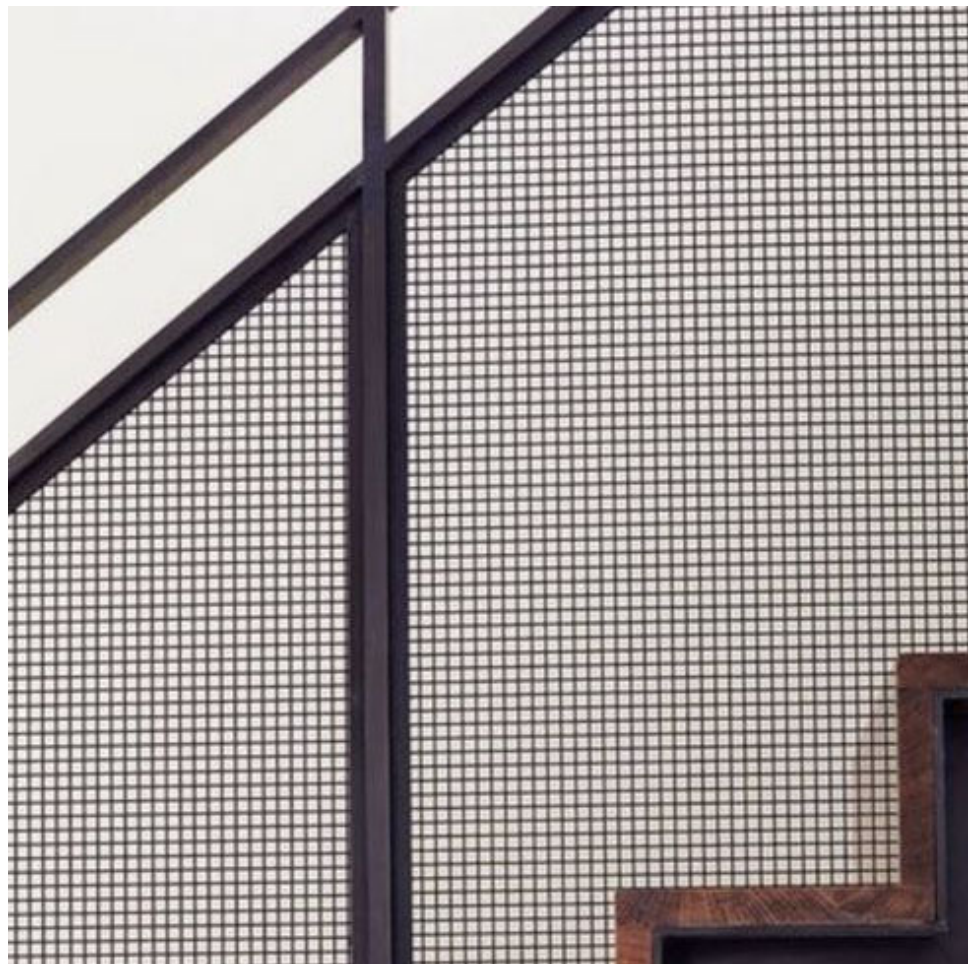
PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**MATERIAL PALETTE**

DRAWING NUMBER:  
**G-021**

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7 NTS [MTL-3] METAL GUARDRAILS

5 NTS [MTL-1] ALUMINUM WINDOWS & DOORS / PANORAMAH

3 NTS [WD-1] CUSTOM STAINED CEDAR / MID TONE / TIMBER ELEMENTS & WOOD CLADDING

1 NTS [STN-1] DARK NATURAL STONE CLADDING / SELECT STONE





**NOTE:**  
REFER TO G-110 MATERIAL PALETTE  
FOR MATERIAL SPECIFICATIONS

2 NTS PERSPECTIVE / BIRD'S EYE



**NOTE:**  
REFER TO G-110 MATERIAL PALETTE  
FOR MATERIAL SPECIFICATIONS

1 NTS PERSPECTIVE / STREET VIEW

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PROJECT ARCHITECT:  
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LANDSCAPE ARCHITECT:  
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PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91

PROJECT NUMBER:  
**2204**

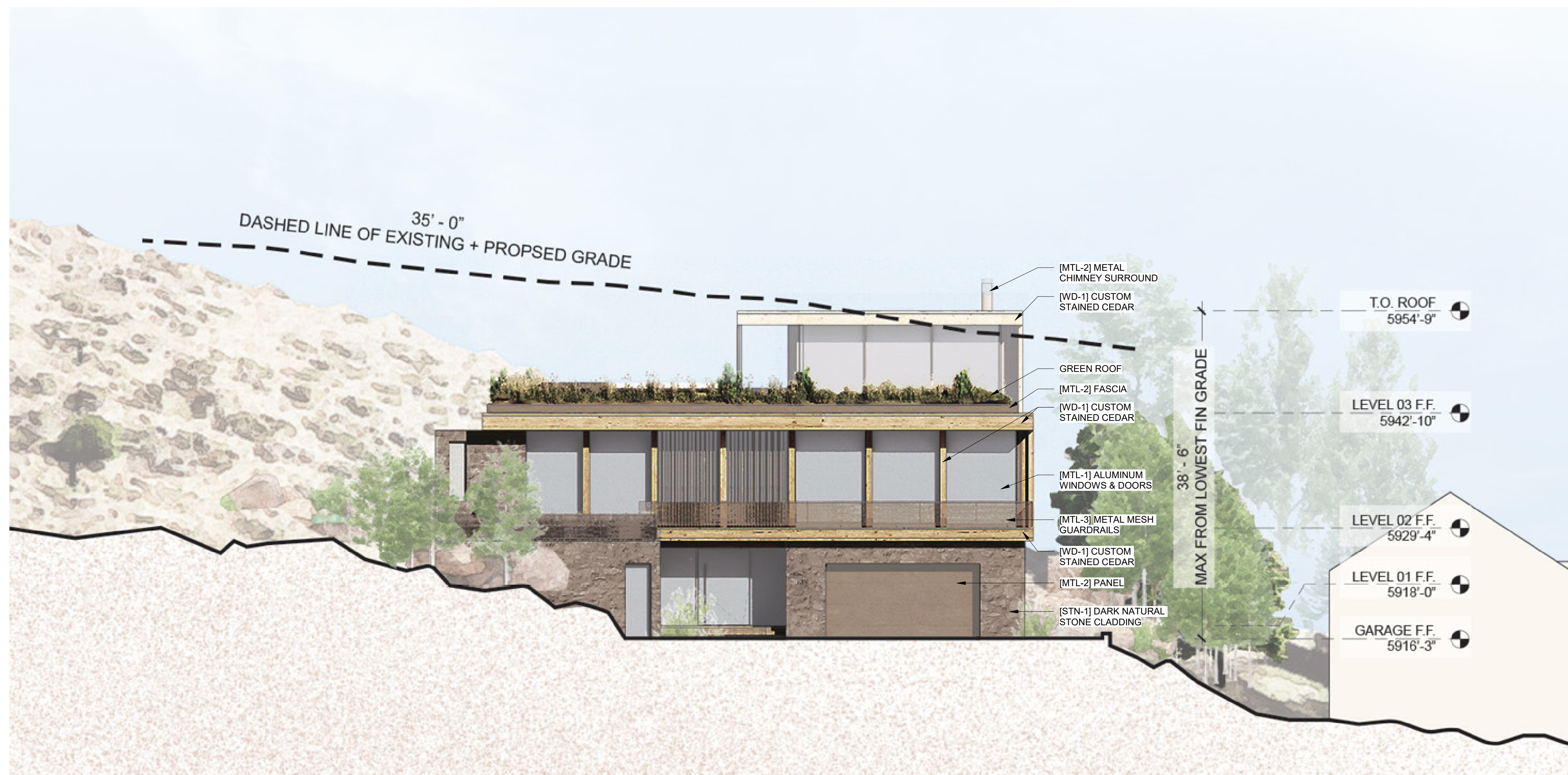
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**RENDERED PERSPECTIVES**

DRAWING NUMBER:  
**G-022**

**NOT FOR CONSTRUCTION**



1/14/2025 1:48:50 PM



**NOTE:**  
REFER TO G-110 MATERIAL PALETTE FOR MATERIAL SPECIFICATIONS

2 1/8" = 1'-0" ELEVATION / SOUTH



**NOTE:**  
REFER TO G-110 MATERIAL PALETTE FOR MATERIAL SPECIFICATIONS

1 1/8" = 1'-0" ELEVATION / EAST

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1	01.15.25			

PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91

PROJECT NUMBER:  
**2204**

DRAWING TITLE:  
**RENDERED ELEVATIONS**

DRAWING NUMBER:  
**G-023**

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GEOTECHNICAL ENGINEER:

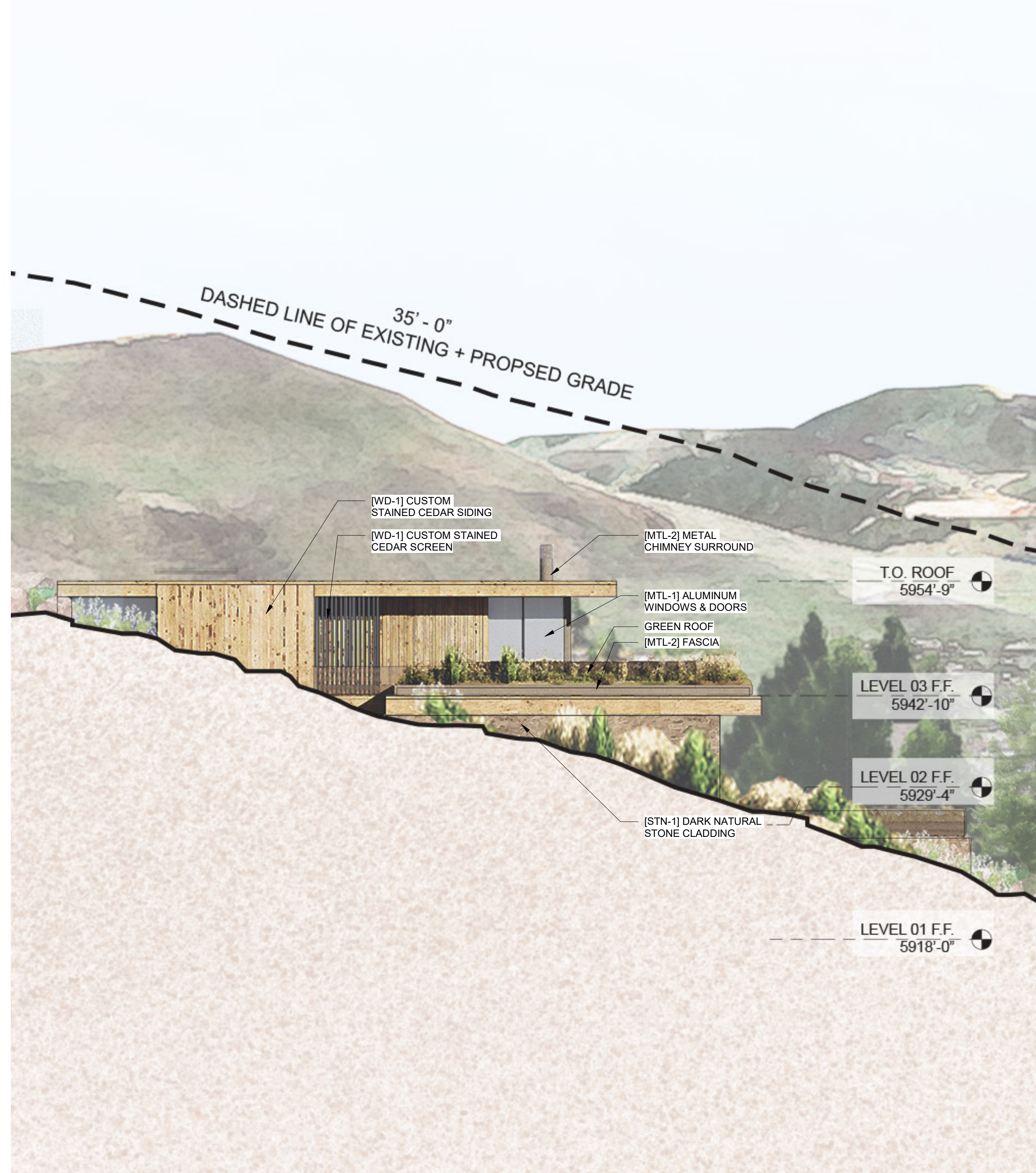
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 TEL: 208.720.6432

CIVIL ENGINEER:

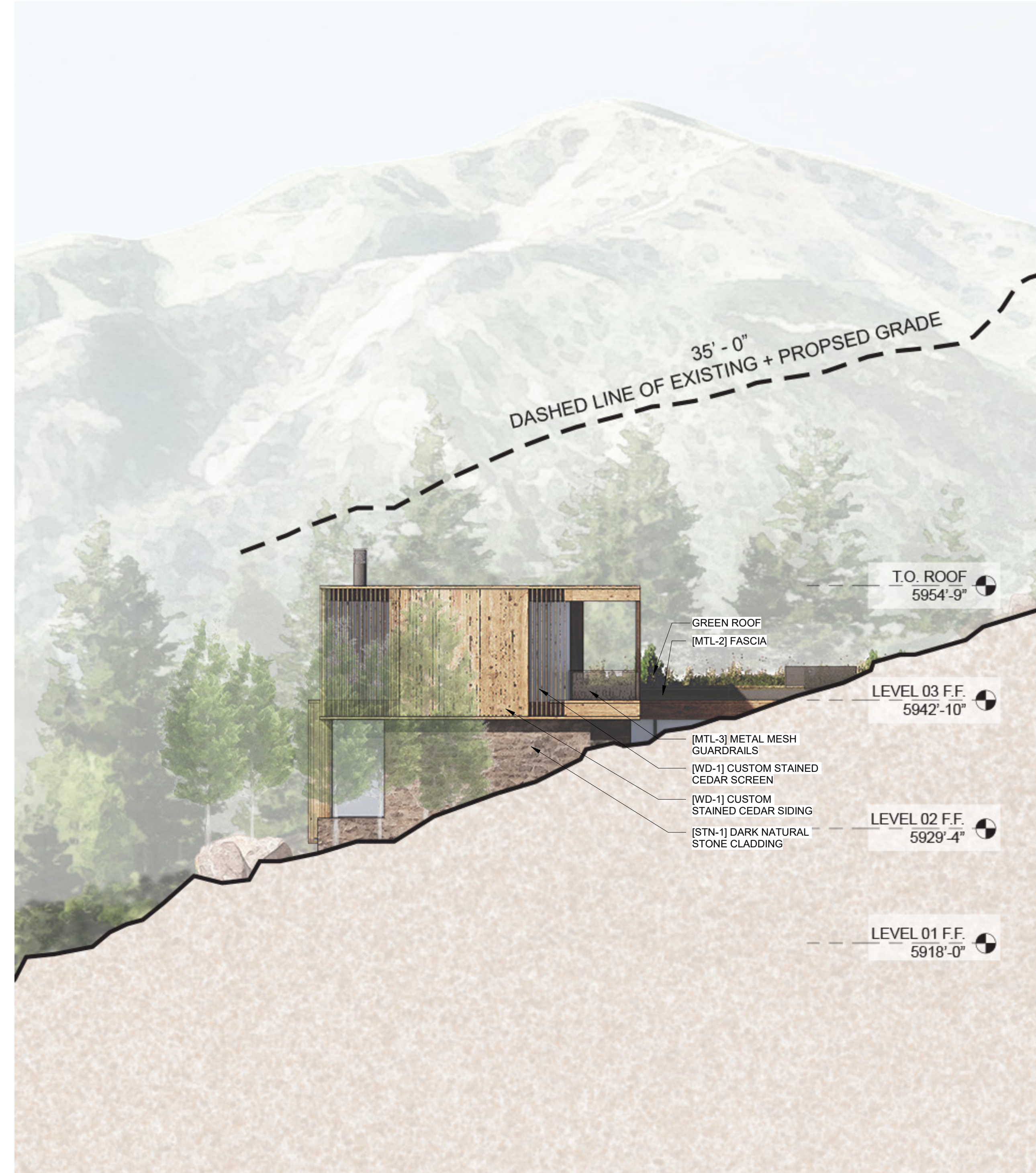
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LANDSCAPE ARCHITECT:

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**NOTE:**  
 REFER TO G-110 MATERIAL PALETTE  
 FOR MATERIAL SPECIFICATIONS



**NOTE:**  
 REFER TO G-110 MATERIAL PALETTE  
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1	01.15.25			

PROJECT:  
**KNOB HILL RESIDENCE**  
 LOT 3&4, BLOCK 91

PROJECT NUMBER:  
**2204**

DRAWING TITLE:  
**RENDERED ELEVATIONS**

DRAWING NUMBER:  
**G-024**

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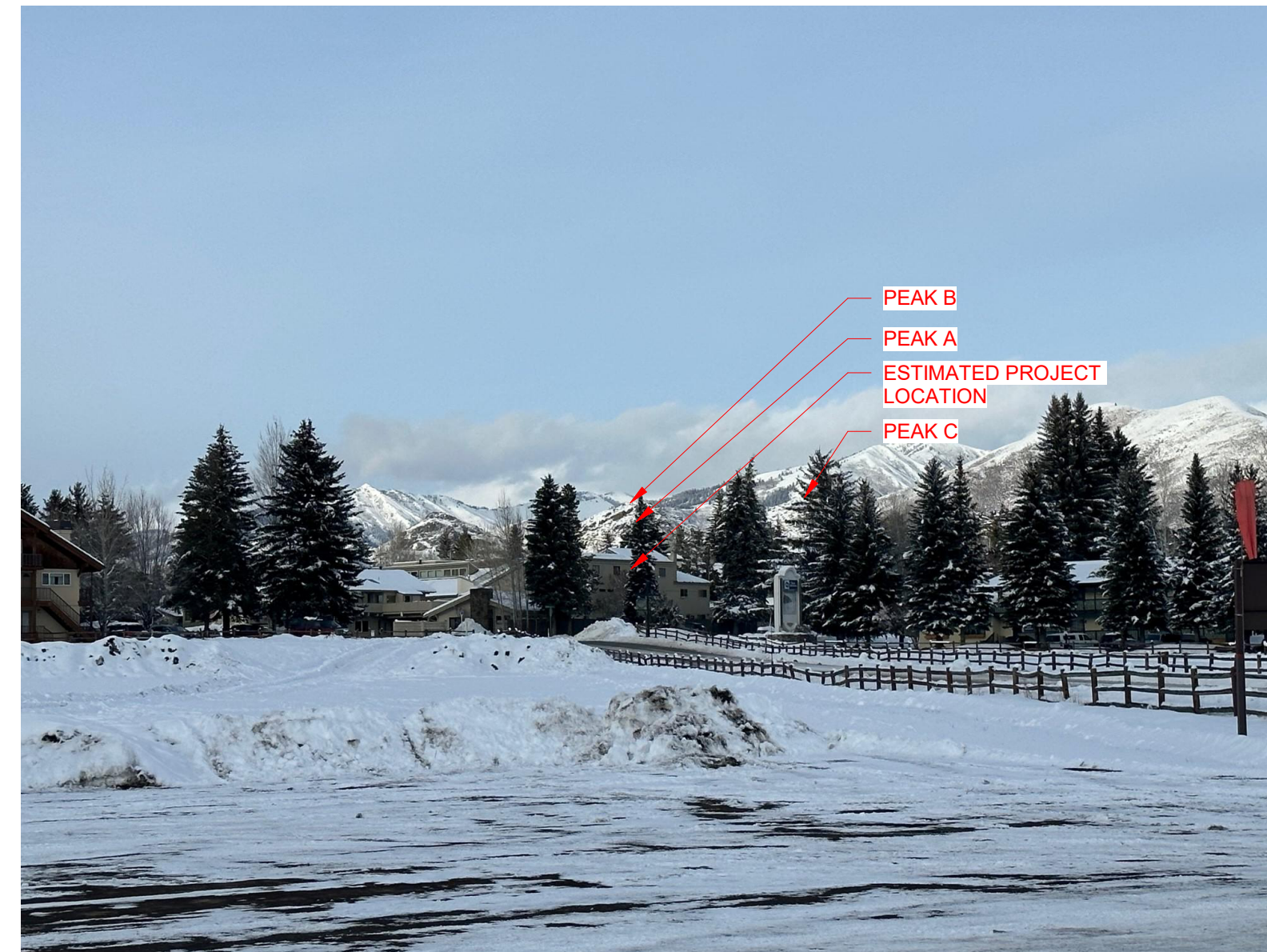
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**RO | ROCKETT DESIGN**  
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LANDSCAPE ARCHITECT:  
**FIELD STUDIO**  
722 N ROUSE AVE  
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TEL: 406.551.2098



6 NTS EXHIBIT F - VIEW FROM RIVER RUN PARKING LOT

3 NTS EXHIBIT C - VIEW FROM 6TH STREET GRAVEL BIKE PATH CONNECTOR



5 NTS EXHIBIT E - VIEW FROM BIKE PATH NEAR 6TH STREET FURTHER VANTAGE

2 NTS EXHIBIT B - VIEW FROM TOWN SQUARE ICE CREAM SHED



4 NTS EXHIBIT D - VIEW FROM BIKE PATH NEAR 6TH STREET

1 NTS EXHIBIT A - VIEW FROM TOWN SQUARE STARBUCKS

7 NTS EXHIBIT KEY MAP

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NO	DATE	ISSUE
1	01.15.25	MODR PRE-APPLICATION

PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91

PROJECT NUMBER:  
**2204**

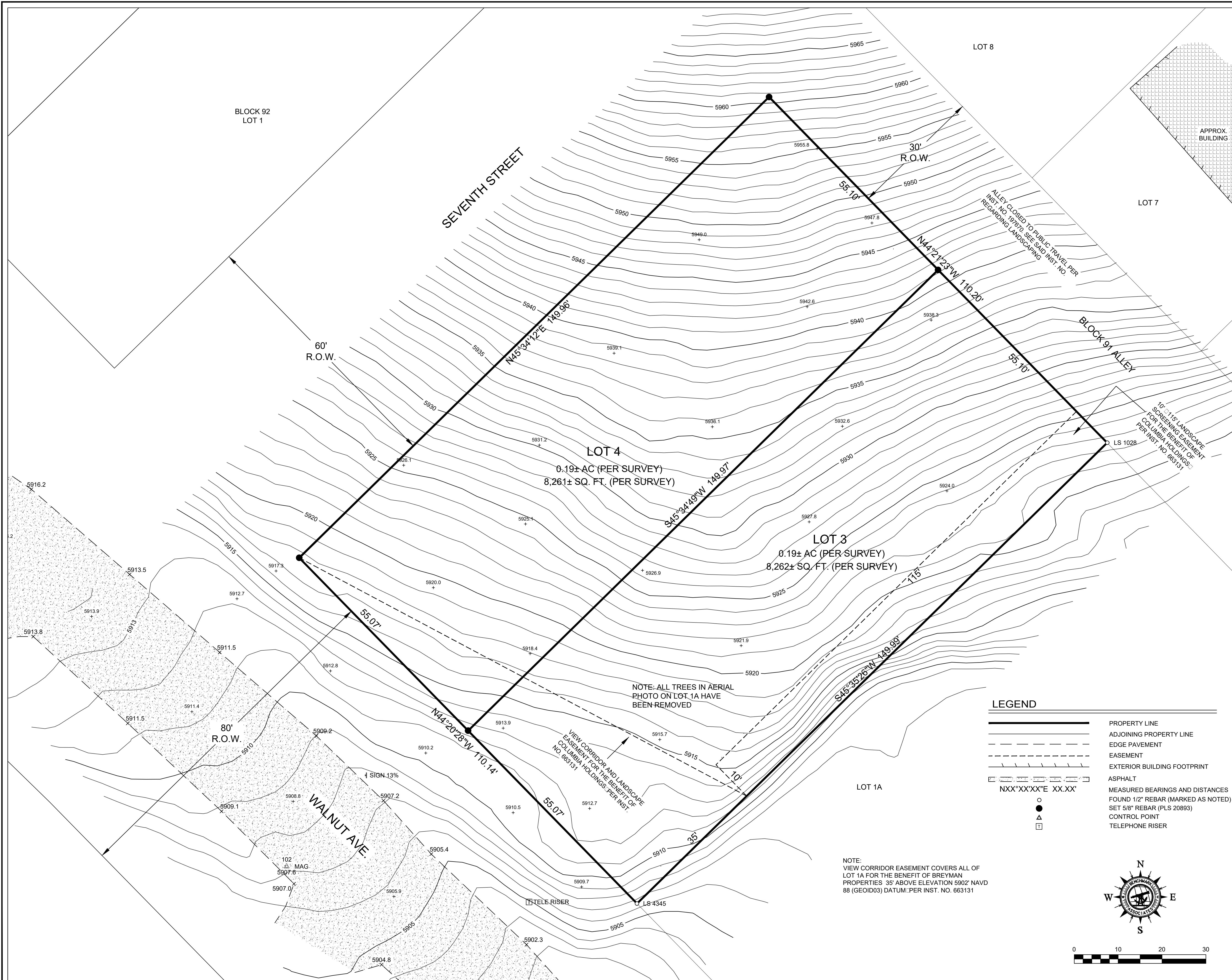
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**PHOTOGRAPHY EXHIBITS**

DRAWING NUMBER:  
**G-025**

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**NOTES**

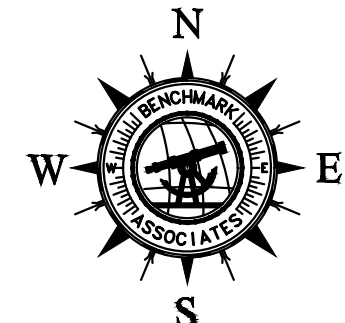
- SURVEY NARRATIVE:**
- THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
  - REFERENCED SURVEYS: PLAT OF VILLAGE OF KETCHUM; INST. NO. 302967; RECORD OF SURVEY OF KETCHUM TOWNSITE, BLOCK 91, LOTS 1 & 2; INST. NO. 626556; PLAT OF KETCHUM TOWNSITE, BLOCK 91, LOT 1A; INST. NO. 652564; RECORD OF SURVEY OF KETCHUM TOWNSITE, BLOCK 91, LOTS 7 & 8; INST. NO. 665488; CITY OF KETCHUM ORDINANCE NO. 173, INST. NO. 197670; RECIPROCAL VIEW CORRIDOR AND LANDSCAPE EASEMENT AGREEMENT, INST. NO. 663131.
  - BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION IDKM.
  - UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
  - THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
  - TITLE POLICY BY STEWART TITLE GUARANTY COMPANY, FILE NO. 22455162, GUARANTEE NO. G-0000367463638, DATED JUNE 2, 2022. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
  - ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
  - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
- BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
  - GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
- SURVEY AND SITE FEATURES:**
- BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
  - BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
  - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
  - BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
  - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
  - ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
  - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
  - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
  - FEATURES OBTAINED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

**LEGEND**

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EDGE PAVEMENT
- EASEMENT
- EXTERIOR BUILDING FOOTPRINT
- ASPHALT
- MEASURED BEARINGS AND DISTANCES
- FOUND 1/2" REBAR (MARKED AS NOTED)
- SET 6/8" REBAR (PLS 20893)
- CONTROL POINT
- TELEPHONE RISER



PREPARED BY:  
BENCHMARK ASSOCIATES  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514  
WEB: <http://benchmark-associates.com/>  
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NOTE:  
VIEW CORRIDOR EASEMENT COVERS ALL OF LOT 1A FOR THE BENEFIT OF BREYMAN PROPERTIES 35' ABOVE ELEVATION 5902' NAVD 88 (GEOID03) DATUM. PER INST. NO. 663131

NOTE: ALL TREES IN AERIAL PHOTO ON LOT 1A HAVE BEEN REMOVED

VIEW CORRIDOR AND LANDSCAPE EASEMENT FOR THE BENEFIT OF COLUMBIA HOLDINGS PER INST. NO. 663131

**KETCHUM VILLAGE**  
**BLOCK 91, LOTS 3 & 4**  
LOCATED WITHIN  
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JARVIS GROUP

PROJECT NO. 22061	DWG BY: HDB	CRD: 22061	22061-TOPO.DWG
TOPOGRAPHIC SURVEY	DATE OF SURVEY: 6/6/2022	SHEET: 1 OF 1	





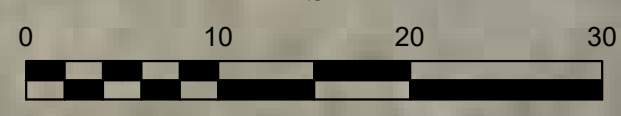
**NOTES**

- SURVEY NARRATIVE:**
1. THE PURPOSE OF THIS EXHIBIT MAP IS TO SHOW SLOPE 15%, 20%, AND 25% SLOPE ZONES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE DATE OF LIDAR FLIGHT.
  2. A BOUNDARY SURVEY WAS NOT PERFORMED. SHOWN LOT LINES ARE PER BLAINE COUNTY GIS AND MAY VARY FROM PLAT DIMENSIONS.
  3. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
  4. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
  5. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
  6. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
8. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
  9. GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
- SITE FEATURES:**
10. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
  11. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
  12. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  13. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
  14. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
  15. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
  16. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
  17. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
  18. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

**SLOPE EXHIBIT  
WORKSHEET**

**LEGEND**

—	15%	15% SLOPE LINE
—	20%	20% SLOPE LINE
—	25%	25% SLOPE LINE
—	15 to 20%	
—	20 to 25%	
—	>25%	



PREPARED BY :  
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**KETCHUM VILLAGLE  
BLOCK 91, LOTS 3 & 4**

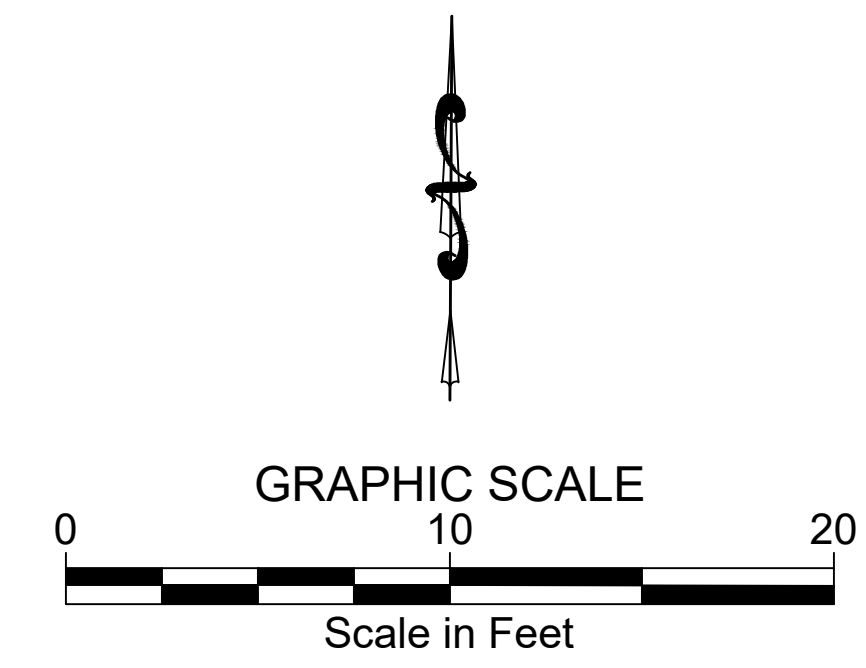
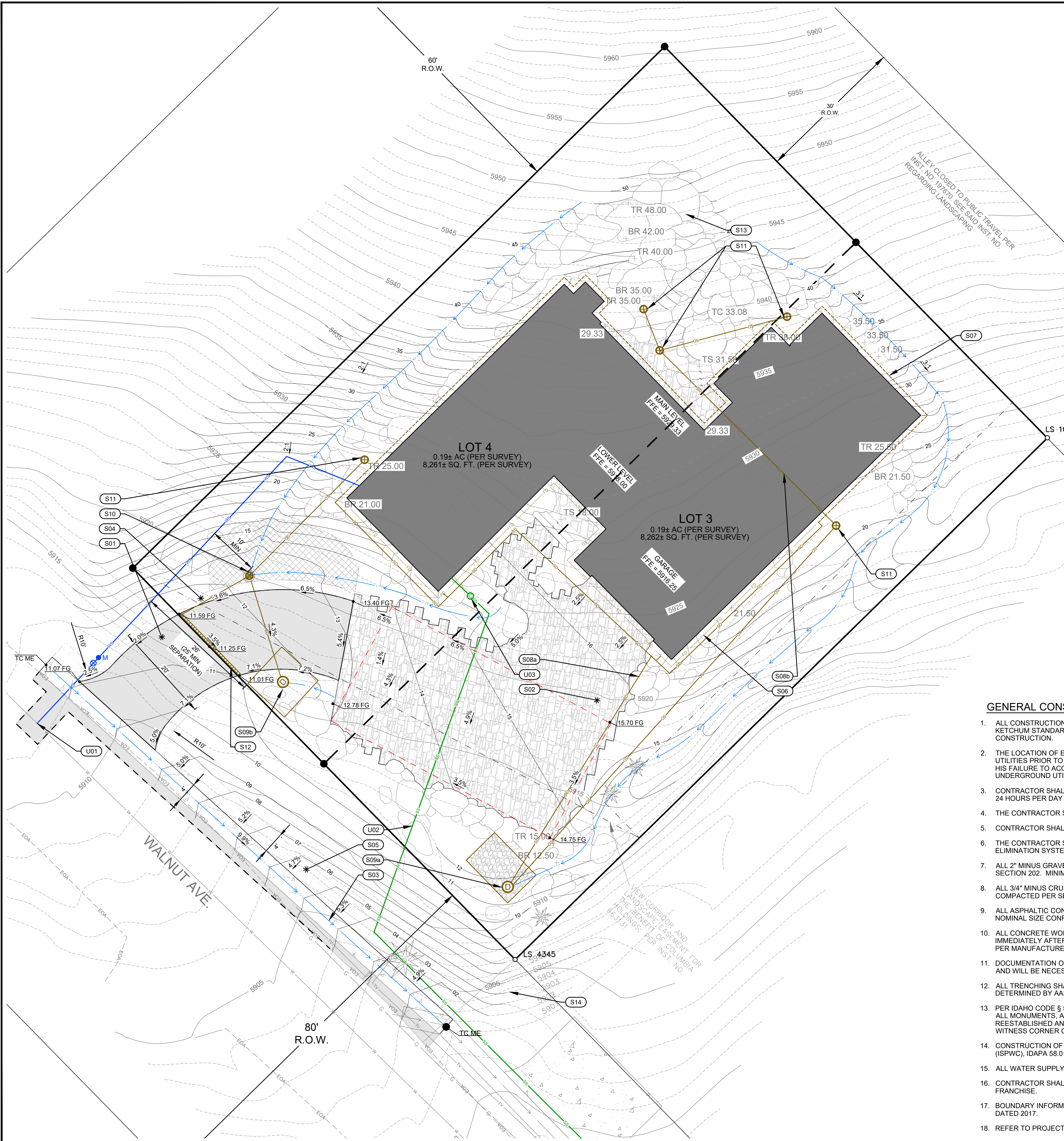
LOCATED WITHIN  
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JARVIS GROUP

PROJECT NO. 22018	DWG BY: ROB	CRD: N/A	SLOPE ANALYSIS.DWG
A EXHIBIT MAP	DATE OF SURVEY: 2/3/2022		SHEET: 1 OF 1



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena-Benchmark Engineering.



- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE TO BE REMOVED
  - ADJOINER'S LOT LINE
  - EASEMENT
  - 1' CONTOUR INTERVAL - 2017 LIDAR
  - 5' CONTOUR INTERVAL - 2017 LIDAR
  - EDGE OF ASPHALT
  - EXISTING TREE
  - FLOWLINE PROPOSED
  - 5' CONTOUR PROPOSED
  - 1' CONTOUR PROPOSED
  - SAWCUT LINE
  - FIRE TRUCK APPARATUS AREA
  - Found 5/8" Rebar (6/6/2022)
  - Set 5/8" Rebar (6/6/2022 PLS 20893)

**SITE IMPROVEMENT KEY NOTES**

- S01** CONSTRUCT ASPHALT DRIVEWAY / ASPHALT ROW REPAIR. SEE DETAIL 2 / C1.1.
- S02** CONSTRUCT PAVER DRIVEWAY. SEE LANDSCAPE PLANS FOR MATERIALS.
- S03** CONSTRUCT 4" WIDE CONCRETE VALLEY GUTTER TIE END INTO EXISTING VALLEY GUTTER. SEE DETAIL 3 / C1.1.
- S04** CONSTRUCT 2" WIDE GRAVEL SHOULDER ADJACENT TO DRIVEWAY PAVEMENT. SEE DETAIL 1 / C1.1.
- S05** CONSTRUCT 4" WIDE 3/4" CRUSHED AGGREGATE GRAVEL SHOULDER. SLOPE 5% TOWARDS VALLEY GUTTER ASSURE CONTINUATION OF DRAINAGE FROM UPSTREAM LOTS. SEE DETAIL 1 / C1.1.
- S06** INSTALL 4" PERFORATED FOOTING DRAIN WITH A MINIMUM SLOPE OF 1.0%. SEE GEOTECHNICAL REPORT FOR DETAIL AND CONSULT WITH GEOTECH ENGINEER FOR PLACEMENT.
- S07** INSTALL 4" PERFORATED CUTOFF TRENCH WITH A MINIMUM SLOPE OF 1.0%. SEE GEOTECHNICAL REPORT FOR DETAIL AND CONSULT WITH GEOTECH ENGINEER FOR PLACEMENT.
- S08** INSTALL 6" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%.
  - a. 6" ADS N-12 STORM PIPE.
  - b. 6" ADS N-12 STORM PIPE WITH 8" DR-18 SLEEVE UNDER BUILDING. MUST MEET WATER MAIN STANDARDS.
- S09** INSTALL DRYWELLS. SEE DETAIL 4 / C1.1.
  - a. 8" L x 12" W x 8" D SQUARE DW RIM = 5911.2'
  - b. 10" L x 10" W x 8" D SQUARE DW RIM = 5911.4'
- S10** INSTALL 30" CATCH BASIN SEE DETAIL 6 / C1.1.
  - a. RIM = 5911.9'
  - INV. OUT = 5909'
- S11** INSTALL 12" LANDSCAPE CATCH BASIN. 1 FT SUMP MIN. SEE DETAIL 5 / C1.1.
- S12** INSTALL 6" WIDE TRENCH DRAIN WITH HDPE CHANNEL WITH A 0.75% BUILT IN CHANNEL SLOPE. SEE DETAIL 7 / C1.1.
- S13** SEE LANDSCAPE PLAN FOR BOULDER RETAINING INFORMATION.
- S14** MATCH LOT 1A FUTURE GRADING.
- U01** HOT TAP EXISTING WATER MAIN AND INSTALL NEW 2" WATER SERVICE LINE. CURB STOP AND WATER METER VAULT. COORDINATE ALL WATER ACTIVITY WITH THE KETCHUM WATER DEPT. SEE DETAILS 8 / C1.1 FOR TRENCHING, & 10 / C1.1 FOR SERVICE CONNECTION.
- U02** INSTALL 4" PVC SEWER SERVICE TO EXISTING SERVICE STUB. MAINTAIN MIN OF 2% SLOPE.
- U03** INSTALL 4" SEWER SERVICE CLEANOUT.

**CUT-FILL INFORMATION**

CUT = 3,810 CU. YD. = 102,870 CU. FT.  
FILL = 20 CU. YD. = 540 CU. FT.  
NET = 3,790 CU. YD. = 102,330 CU. FT.

**GENERAL CONSTRUCTION NOTES**

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS A WEEK.
- CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- DOCUMENTATION OF TESTING FOR WORK IN THE RIGHT-OF-WAY IN COMPLIANCE WITH SECTION 12.04.040 D WILL BE REQUIRED FOR ASPHALT, CONCRETE AND BASE MATERIALS AND WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY FROM THE CITY OF KETCHUM.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER AND/OR UTILITY FRANCHISE.
- BOUNDARY INFORMATION SHOWN HEREON IS PER A RECORD OF SURVEY CONDUCTED BY BENCHMARK ASSOCIATES 06/21/2022. CONTOUR DATA IS PER BLAINE COUNTY LIDAR DATED 2017.
- REFER TO PROJECT GEOTECHNICAL REPORT FOR FOUNDATION CUT-OFF TRENCH AND FOOTING DRAIN DETAILS.

**NOB HILL RESIDENCE  
GRADING, DRAINAGE & UTILITY PLAN**  
LOCATED WITHIN SECTION 10, T. 2 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR: NOB HILL PROPERTIES LLC

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

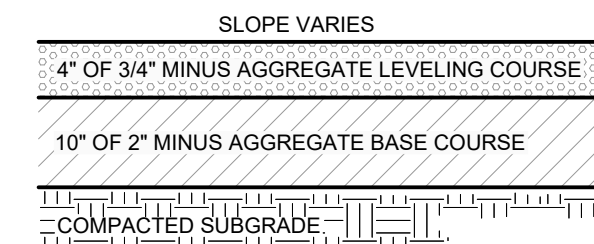
DESIGNED BY: SLS  
DRAWN BY: SLS  
CHECKED BY: JL  
DATE: 1/15/24

**GALENA-BENCHMARK  
ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
P.O. Box 133  
Ketchum, Idaho 83340  
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www.benchmark-associates.com

NO.	DATE	BY	REVISIONS

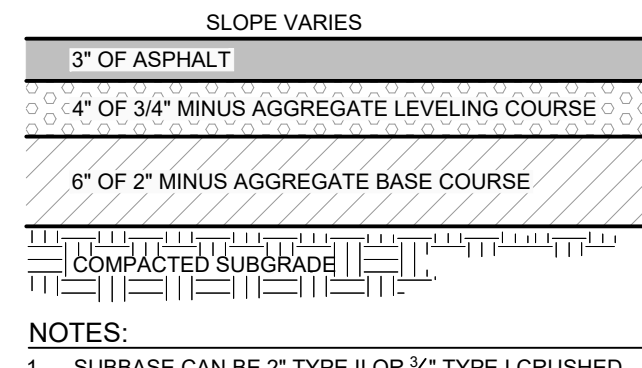
PURPOSE: ISSUE FOR MOD DESIGN REVIEW  
**C1.0**





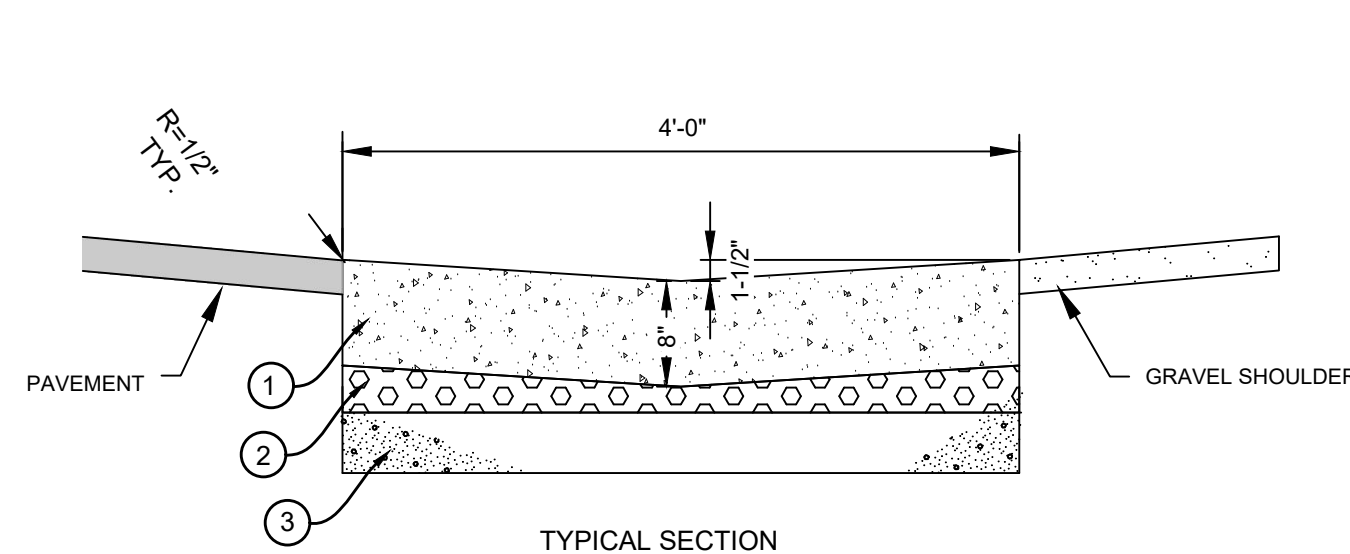
**NOTES:**  
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.  
 2. MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.  
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**1**  
**C1.0** TYPICAL GRAVEL SECTION  
 N.T.S.



**NOTES:**  
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.  
 2. MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.  
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

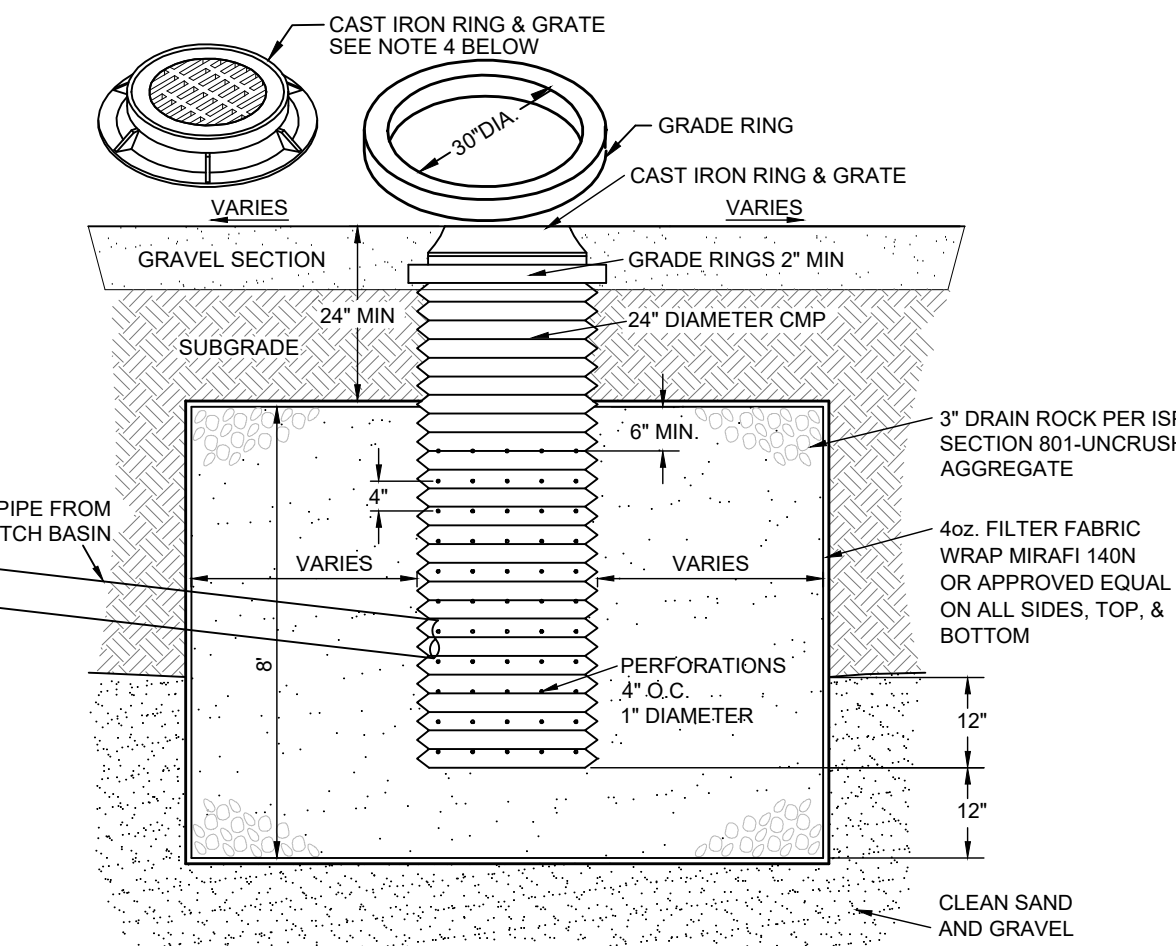
**2**  
**C1.0** TYPICAL STREET ASPHALT SECTION  
 N.T.S.



- LEGEND**
- ① 8-INCH THICK CONCRETE
  - ② 2" MIN. OF 3/4" TYPE 1 AGGREGATE BASE
  - ③ 6" OF 2" TYPE II SUBBASE

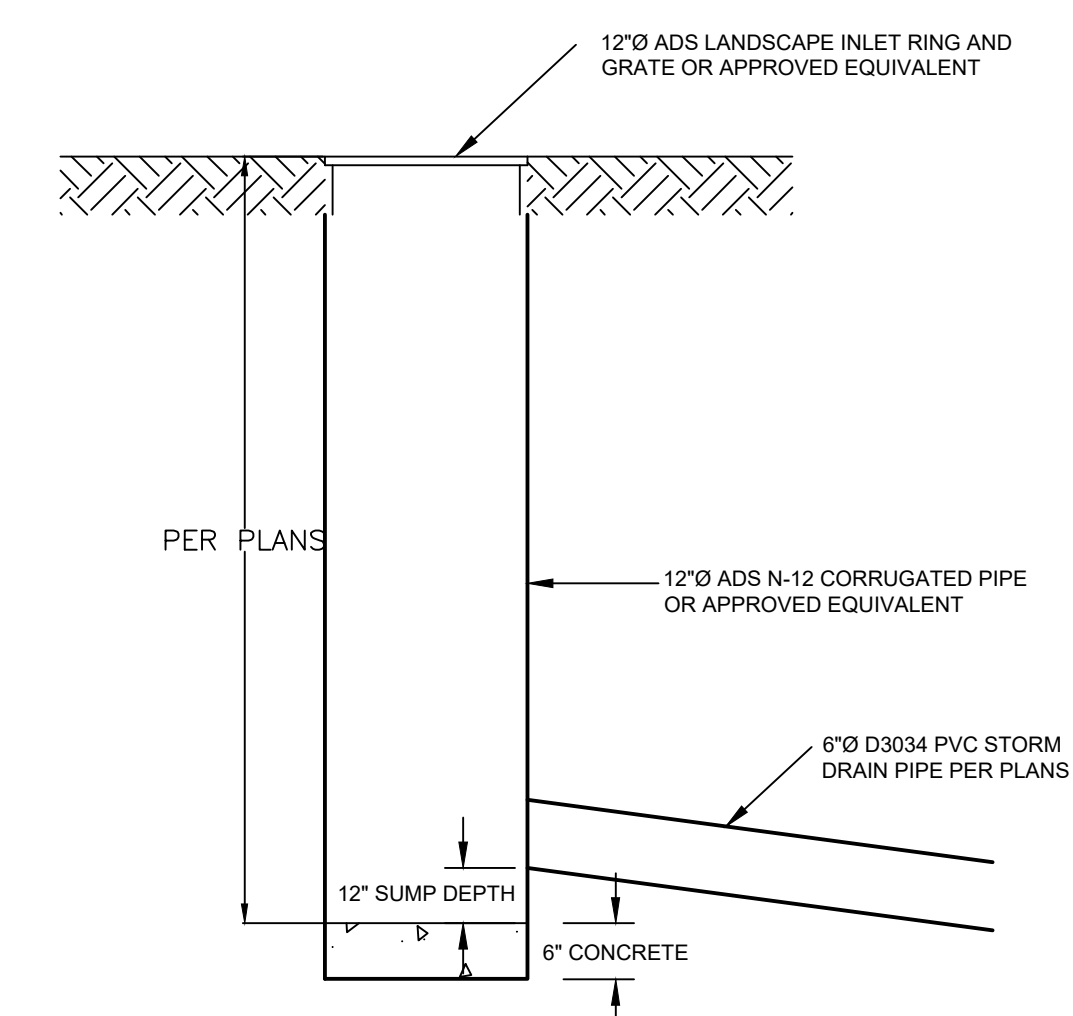
- NOTES**
1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  2. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
  3. MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**3**  
**C1.0** 4 FT CONCRETE VALLEY GUTTER  
 N.T.S.

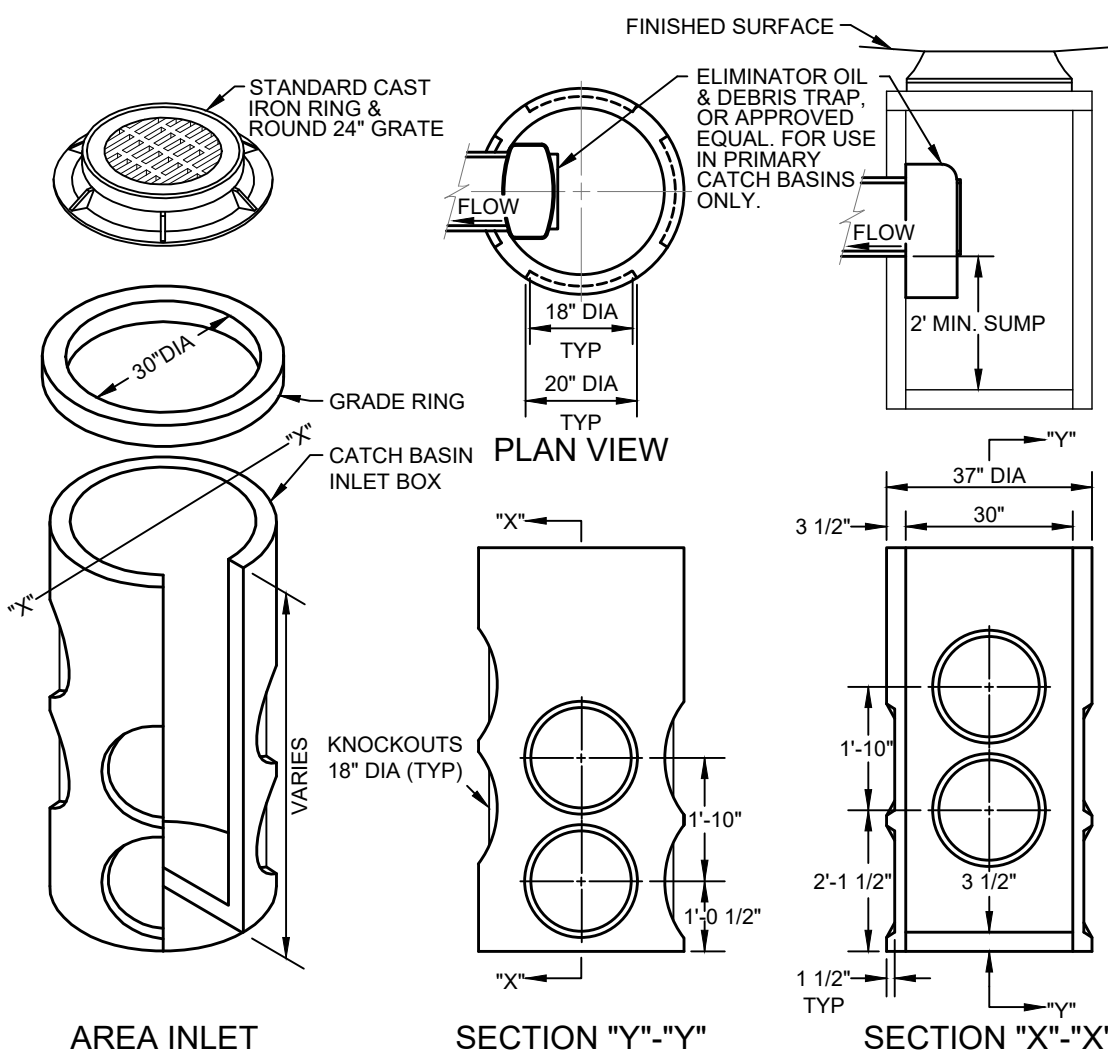


- NOTE:**
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

**4**  
**C1.0** DRYWELL DETAIL  
 N.T.S.

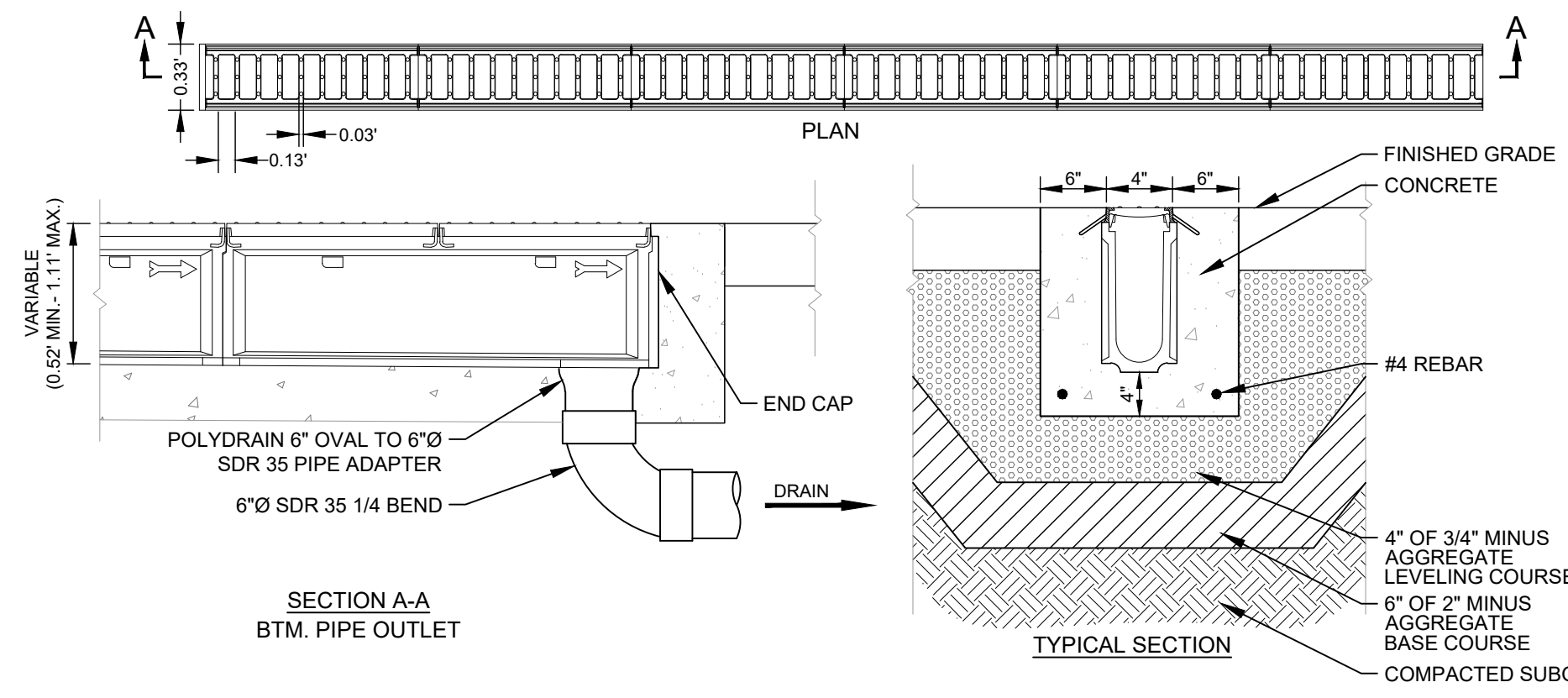


**5**  
**C1.0** 12" Ø LANDSCAPE CATCH BASIN  
 N.T.S.



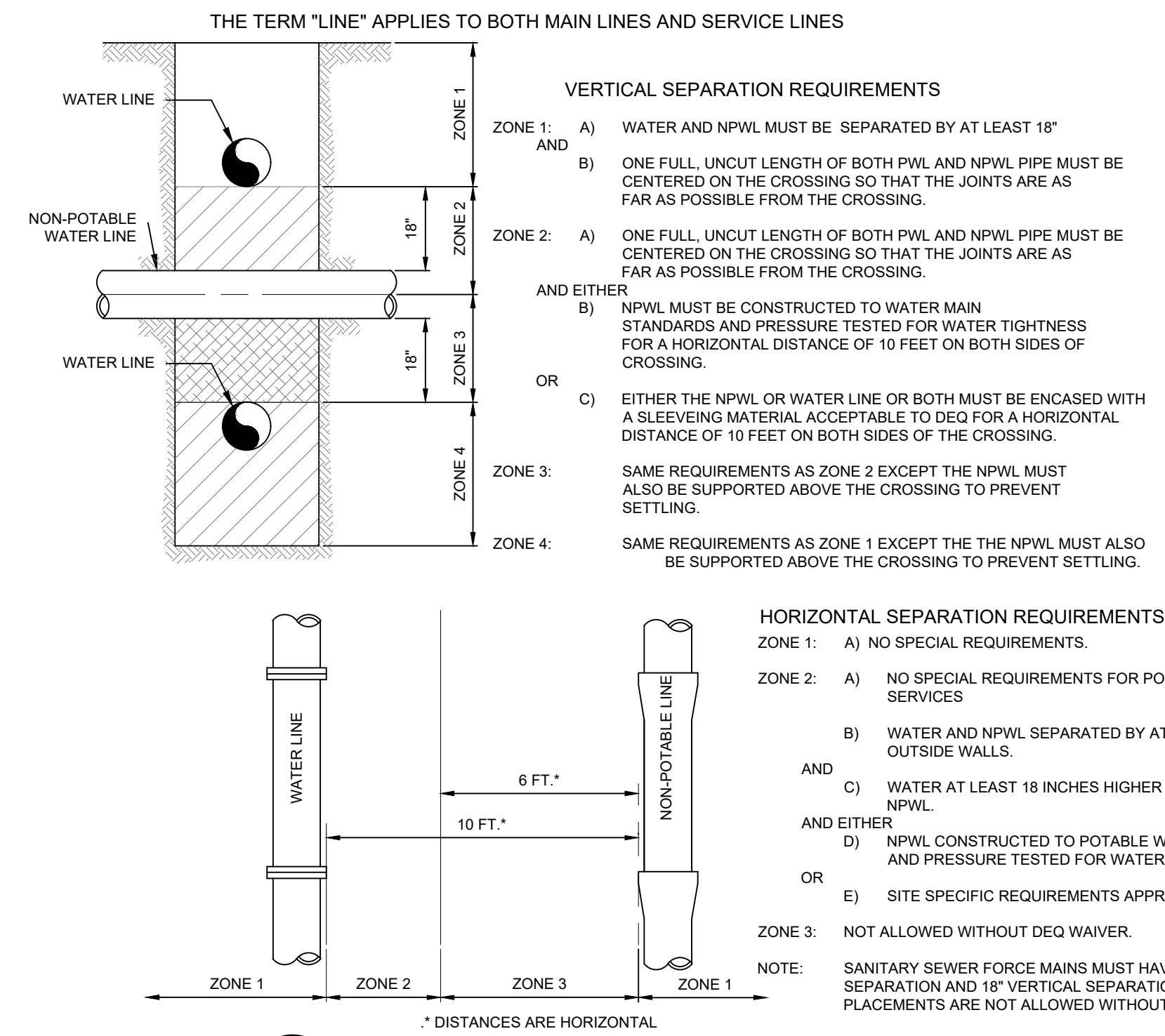
- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
  2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
  3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISWPC SECTION 305. PIPE BEDDING EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
  4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
  5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

**6**  
**C1.1** 30" DIAMETER PRIMARY CATCH BASIN  
 N.T.S.



- NOTES**
1. LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
  2. THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
  3. CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
  4. TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8" BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

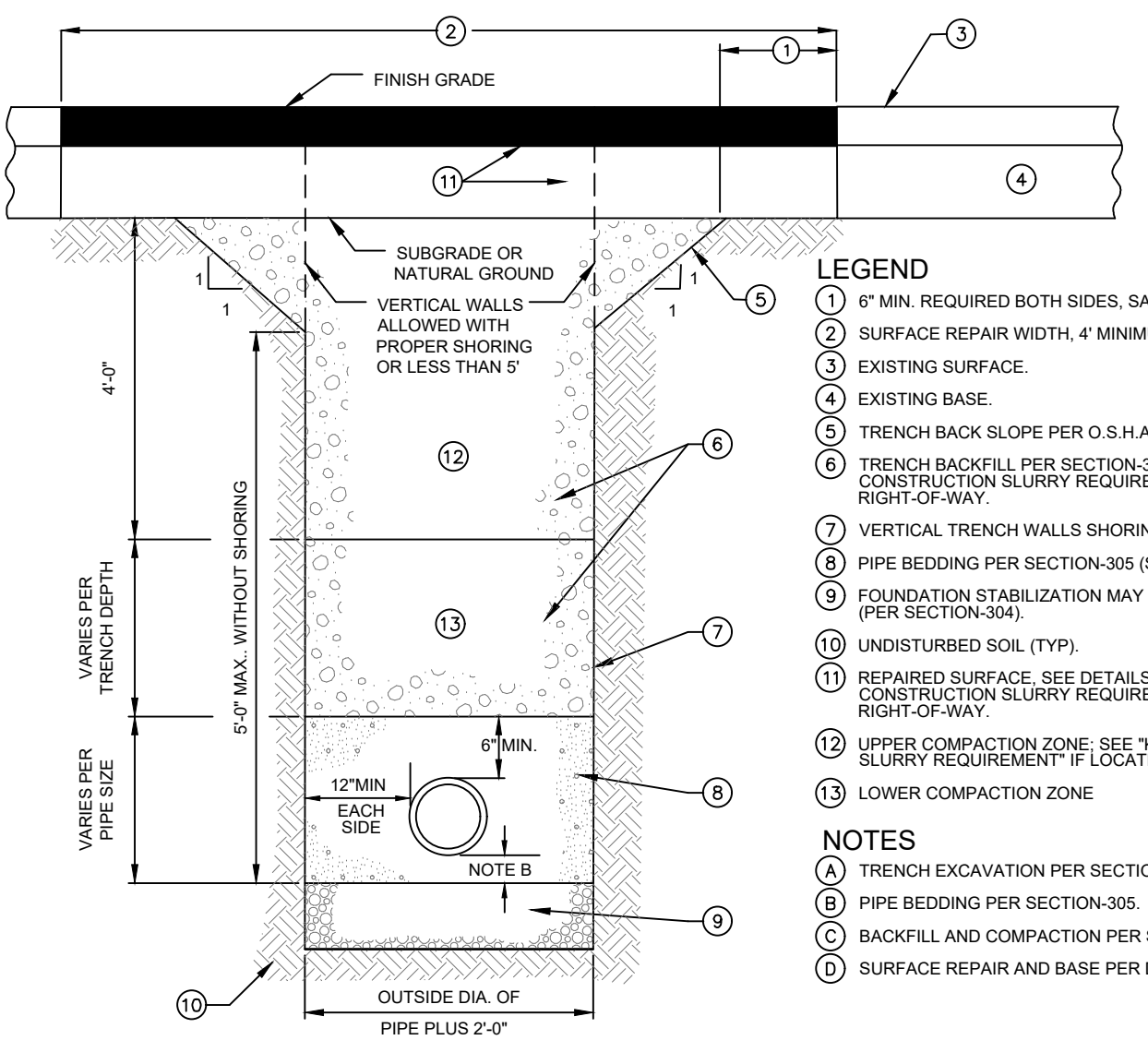
**7**  
**C1.0** TRENCH DRAIN DETAIL  
 (ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)  
 N.T.S.



- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. AND B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE:** SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

**8**  
**C1.0** POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
 N.T.S.



- LEGEND**
- ① 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
  - ② SURFACE REPAIR WIDTH, 4" MINIMUM.
  - ③ EXISTING SURFACE.
  - ④ EXISTING BASE.
  - ⑤ TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
  - ⑥ TRENCH BACKFILL PER SECTION 305, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - ⑦ VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - ⑧ PIPE BEDDING PER SECTION 305 (SEE SD-302).
  - ⑨ FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 304).
  - ⑩ UNDISTURBED SOIL (TYP).
  - ⑪ REPAIRED SURFACE, SEE DETAILS 1 AND 2, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - ⑫ UPPER COMPACTION ZONE: SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - ⑬ LOWER COMPACTION ZONE.
- NOTES**
- (A) TRENCH EXCAVATION PER SECTION 301.
  - (B) PIPE BEDDING PER SECTION 305.
  - (C) BACKFILL AND COMPACTION PER SECTION 306.
  - (D) SURFACE REPAIR AND BASE PER DETAIL 3/C20

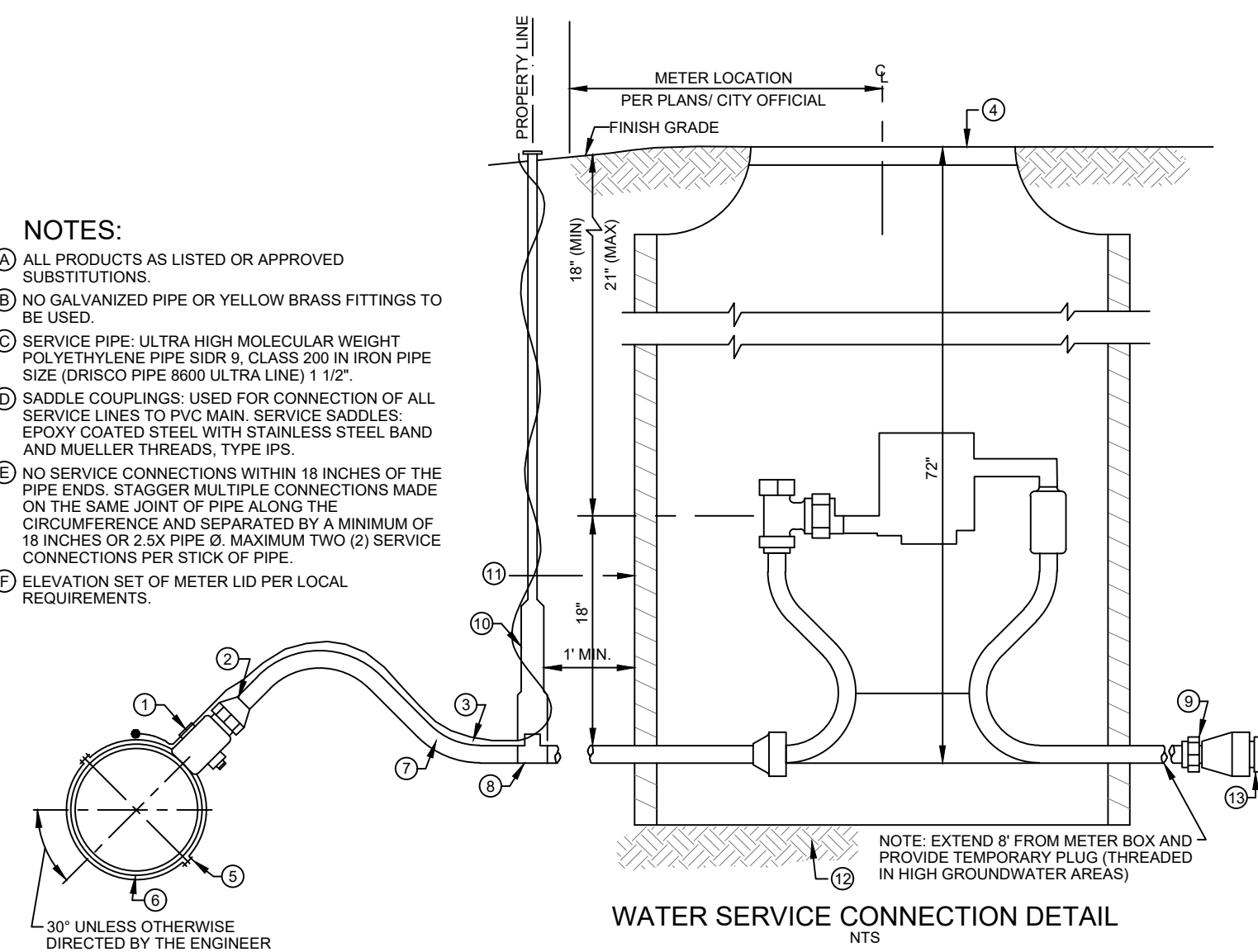
**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**  
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT, CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MAX.)	2,600 LBS.
SAND	800 LBS.
PORTLAND CEMENT	94 LBS.
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

**9**  
**C1.0** TYPICAL TRENCH SECTION  
 N.T.S.



- NOTES:**
- ① ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
  - ② NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
  - ③ SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SDR 5, CLASS 200 IN IRON PIPE SIZE (DRS) PIPE 8000 ULTRA LINE 1 1/2".
  - ④ SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN. SERVICE SADDLES: EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE IPS.
  - ⑤ NO SERVICE CONNECTIONS WITHIN 18 INCHES OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE ALONG THE CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF 18 INCHES OR 2 SX PIPE Ø MAXIMUM TWO (2) SERVICE CONNECTIONS PER STICK OF PIPE.
  - ⑥ ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.
- LEGEND**
- ① CORP STOP WITH COMPRESSION COUPLING FORD MODEL F-1100 OR APPROVED EQUAL.
  - ② MUELLER H-15072.
  - ③ NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING LID AND ATTACHED ROD.
  - ④ MUELLER 18" DIA OPENING LID OR APPROVED EQUAL. 2" DIA HOLE IN LID FOR RADIO READ UNIT. LIDS AND FRAMES LOCATED IN PAVED OR GRAVEL AREAS WHICH WILL RECEIVE VEHICULAR TRAFFIC SHALL BE H-20 RATED. DAL SUPPLY D5016 RING WITH SOLID LID OR APPROVED EQUAL.
  - ⑤ STAINLESS STEEL SADDLE.
  - ⑥ WATER MAIN.
  - ⑦ 2" SERVICE LINE, 200 PSI POLY PIPE WITH INSERTS (TYP.) NO SPLICING ALLOWED.
  - ⑧ FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE OR APPROVED EQUAL.
  - ⑨ DOUBLE PURPOSE COUPLING.
  - ⑩ STANDARD KETCHUM STYLE VALVE BOX WITH ERIE STYLE LID AND ATTACHED ROD.
  - ⑪ 18" DIA. X 72" DEEP MUELLER THERMA COIL METER VAULT OR APPROVED EQUAL NOTCH FOR SERVICE LATERALS.
  - ⑫ FIRM UNDISTURBED EARTH. (SET TILE ON 2" X 2" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
  - ⑬ PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).

**10**  
**C1.0** 2" WATER SERVICE CONNECTION  
 N.T.S.

**KNOB HILL RESIDENCE**  
**DETAIL SHEET**

LOCATED WITHIN SECTION 10, T. 2 N., R. 18 E., B. M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR: KNOB HILL PROPERTIES LLC

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

DESIGNED BY: SLS  
 DRAWN BY: SLS  
 CHECKED BY: JL  
 DATE: 1/15/24

**GALENA-BENCHMARK ENGINEERING**  
 Civil Engineers & Land Surveyors  
 100 Bell Drive  
 P.O. Box 733  
 Ketchum, ID 83340  
 (208) 726-9512  
 www.benchmark-associates.com

NO.	DATE	ISSUE FOR MOD DESIGN REVIEW	REVISIONS

**C1.1**



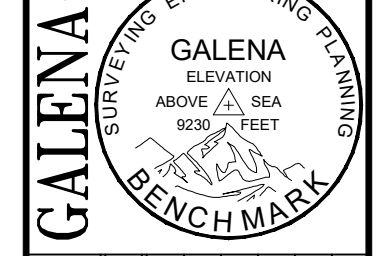
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- FIRE ACCESS KEY NOTES**
- (S01) FIRE APPARATUS LAY DOWN AREA
  - (S02) FIRE HOSE LAY DOWN PATH
  - (S03) DRIVEWAY CENTERLINE

PURPOSE: ISSUE FOR MOD DESIGN REVIEW

NO.	DATE	BY	REVISIONS



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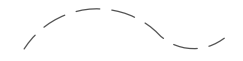


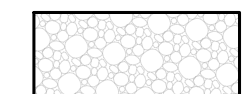

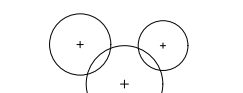
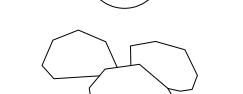
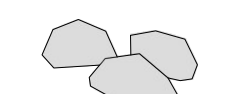


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**KNOB HILL RESIDENCE  
 FIRE TRUCK EXHIBIT**  
 LOCATED WITHIN SECTION 10, T.2 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR: KNOB HILL PROPERTIES LLC

PROJECT INFORMATION  
 (G:\BMARK\Ketchum\Wagnerbook 911\Lot 3 & 4\2023\PresSub\wg\Construction\2023\08 Cnt.dwg 01/15/24 10:47:11 AM)



**LEGEND**

-  PROPERTY BOUNDARY
-  EXISTING CONTOUR
-  ASPHALT DRIVEWAY
-  STONE PLANK PAVERS
-  GRAVEL SHOULDER
-  CONCRETE PAVING
-  EXISTING VEGETATION TO REMAIN
-  ORNAMENTAL LANDSCAPE BOULDERS
-  LANDSCAPE BOULDERS NECESSARY FOR RETAINING
-  SNOW STORAGE
-  FIRE APPARATUS ZONE

**LOT CALCULATIONS**

LOT COVERAGE

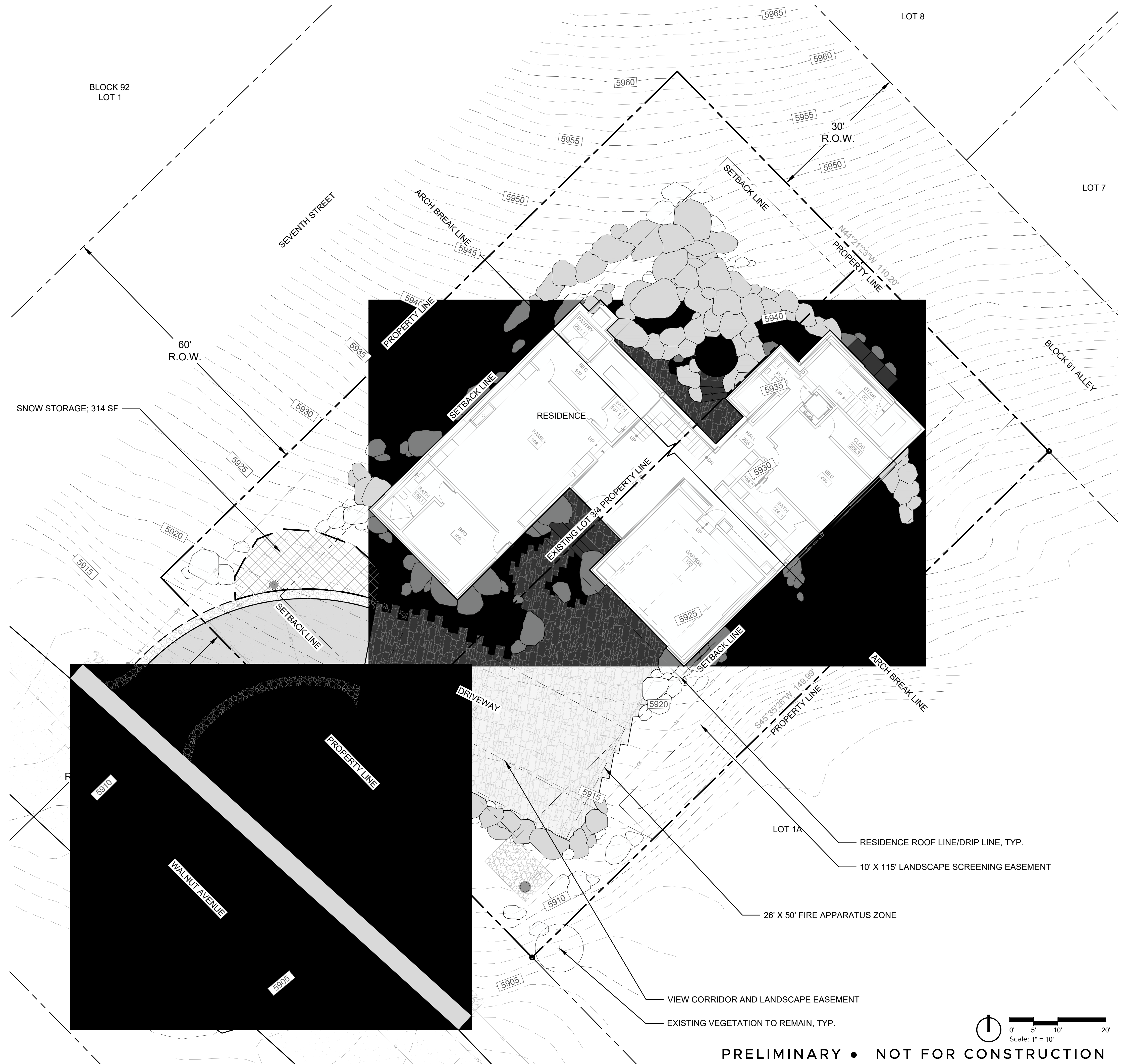
LOT SIZE = ± 16,523 SF (0.38 ACRES)  
 BUILDING COVERAGE = 4,775 SF  
 COVERAGE BY DRIVEWAY/PARKING = 2,043 SF

TOTAL = 6,818 SF

SNOW STORAGE

DRIVEWAY (NOT COUNTING SNOWMELTED AREA)  
 1,047 SF X .3 = 314 SF (REQUIRED PER CODE)

SNOW STORAGE PER PLAN  
 = 314 SF



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PROJECT NUMBER: 2409.00

**Knob Hill Residence**  
 KETCHUM, ID

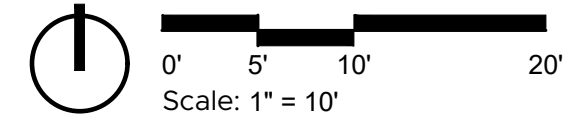
DATE	ISSUE
2025.01.15	MODR PRE-APP

SHEET TITLE

OVERALL SITE PLAN


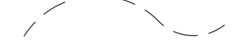


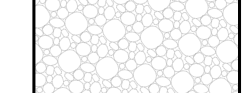

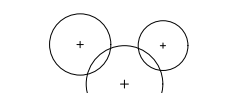
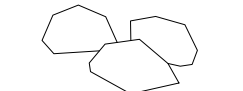
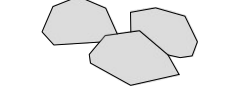

SHEET 1 OF 4  
**L-0.00**

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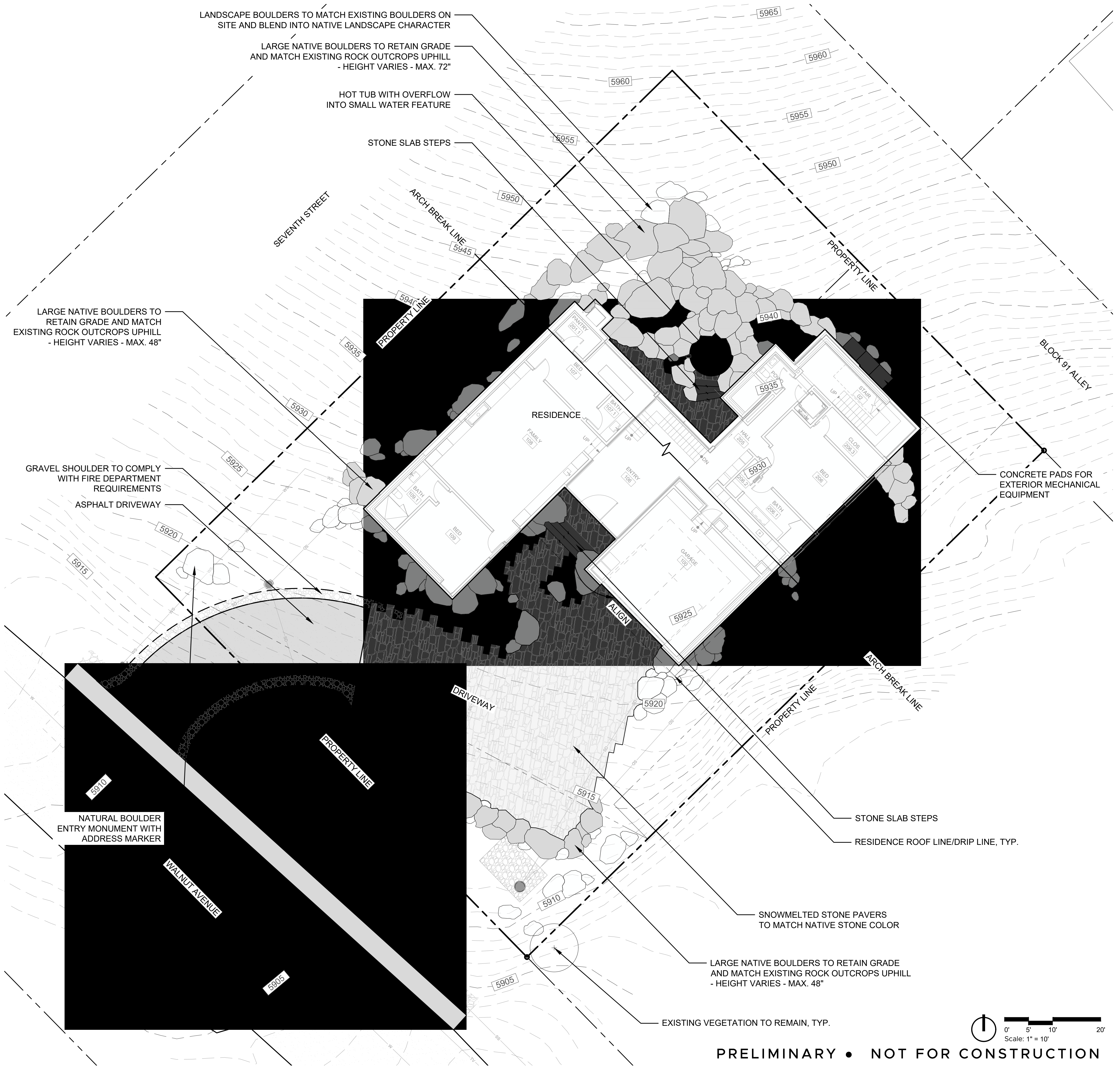


**LEGEND**

-  PROPERTY BOUNDARY
-  EXISTING CONTOUR
-  ASPHALT DRIVEWAY
-  STONE PLANK PAVERS
-  GRAVEL SHOULDER
-  CONCRETE PAVING
-  EXISTING VEGETATION TO REMAIN
-  ORNAMENTAL LANDSCAPE BOULDERS
-  LANDSCAPE BOULDERS NECESSARY FOR RETAINING
-  ALIGN



REPRESENTATIVE IMAGES OF EXISTING NATIVE BOULDERS TO MATCH ON SITE



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PROJECT NUMBER: 2409.00

**KNOB HILL RESIDENCE**  
KETCHUM, ID

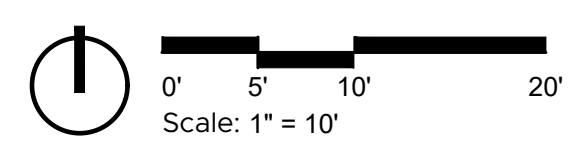
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SHEET TITLE

LAYOUT AND MATERIALS PLAN


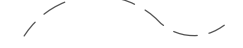
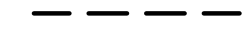




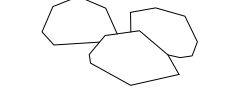

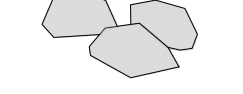
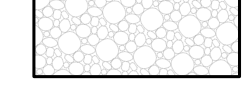



SHEET 2 OF 4  
**L-1.00**

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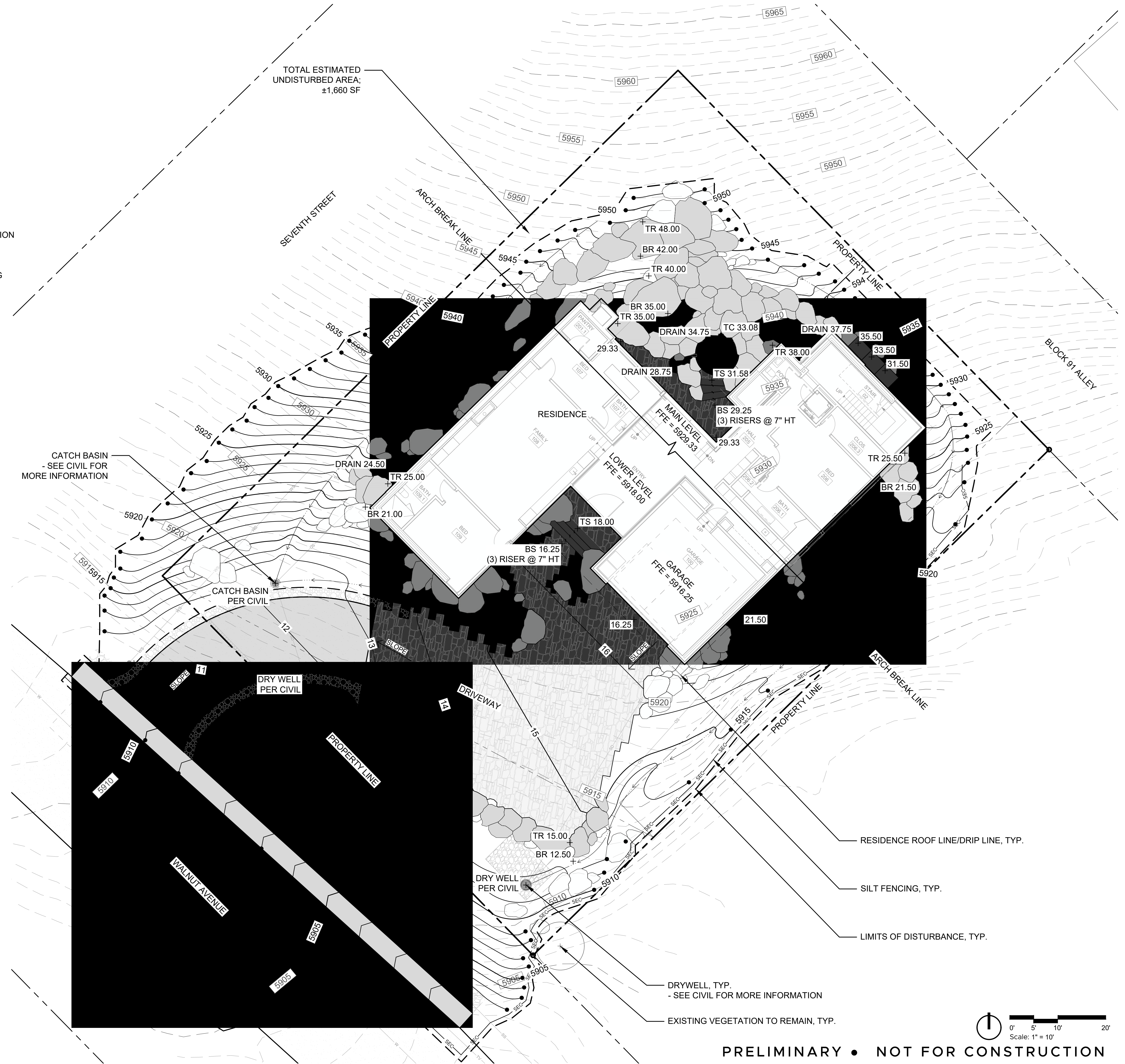


**LEGEND**

-  PROPERTY BOUNDARY
-  EXISTING CONTOUR
-  LIMITS OF DISTURBANCE
-  PROPOSED CONTOUR
-  EROSION CONTROL & TREE PROTECTION FENCING
-  EXISTING VEGETATION TO REMAIN
-  ASPHALT DRIVEWAY
-  ORNAMENTAL LANDSCAPE BOULDERS
-  STONE PLANK PAVERS
-  LANDSCAPE BOULDERS NECESSARY FOR RETAINING
-  GRAVEL SHOULDER
-  DRAINAGE SWALE
-  CONCRETE PAVING
-  SPOT ELEVATION
  - FFE= FINISH FLOOR ELEVATION
  - TS = TOP OF STEP
  - BS = BOTTOM OF STEP
  - TR = TOP OF RETAINING
  - BR = BOTTOM OF RETAINING
  - TC = TOP OF COPING

**GRADING NOTES**

1. STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
2. PLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
3. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. FINISH SUBGRADES TO ELEVATIONS REQUIRED TO ACHIEVE INDICATED FINISH ELEVATIONS.
4. UNACCEPTABLE MATERIALS: CLEAN SOIL OF CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, AND OTHER EXTRANEIOUS MATERIALS THAT ARE HARMFUL TO PLANT GROWTH.
5. DO NOT APPLY MATERIALS OR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
6. IF PLANTING SOIL OR SUBGRADE IS OVERCOMPACTED, DISTURBED, OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE PLANTING SOIL AND CONTAMINATION; RESTORE THE SUBGRADE AS DIRECTED BY LANDSCAPE ARCHITECT AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.
7. CONTRACTOR TO STAKE LIMITS OF ROADS AND PLANTING BEDS IN FIELD FOR LANDSCAPE ARCHITECT TO REVIEW AND APPROVE PRIOR TO CONSTRUCTION.
8. ALL SPOT ELEVATIONS ARE FINISH GRADE UNLESS OTHERWISE NOTED.
9. SEE PLANTING DETAILS FOR TOP SOIL REQUIREMENTS IN PLANTING PITS FOR TREES, SHRUBS, AND PERENNIALS.
10. ROUGH GRADE 6" LESS THAN FINISH GRADE TO ALLOW FOR TOPSOIL IN LAWN AREA. REFER TO SPECIFICATIONS FOR TOP SOIL DEPTH.
11. ALL SWALES TO SLOPE AT A MINIMUM OF 2% LONGITUDINAL SLOPE.
12. FINAL GRADE TO BE MIN ± 4-6" BELOW TOP OF CONCRETE FOUNDATION WALL.
13. EXISTING STONE WALLS AND BOULDER OUTCROPS WILL BE RECONSTRUCTED BY LANDSCAPE CONTRACTOR. IF PORTIONS OF THE WALL NEED TO BE REMOVED FOR ROUGH GRADING, EXISTING STONE TO BE PALLETIZED FOR RE-USE. EXTENTS IF WALL REMOVAL TO BE COORDINATED WITH LANDSCAPE ARCHITECT.
14. FINAL WALL LAYOUT TO BE CONFIRMED IN FIELD BASED ON EXISTING TREE LOCATIONS
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING BOTH LINE AND GRADE. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
16. THE CONTRACTOR SHALL STAKE ALL KEY AREAS AND SHALL RECEIVE APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH CONSTRUCTION.
17. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS. CONTRACTOR SHALL PROVIDE A SMOOTH FINISH GRADE THROUGHOUT THE ENTIRE PROJECT FREE OF RUTS, DEPRESSIONS AND IRREGULARITIES. POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES. ALL SWALES, DEPRESSIONS, ETC. NOT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING.



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PROJECT NUMBER: 2409.00

**Knob Hill Residence**  
KETCHUM, ID

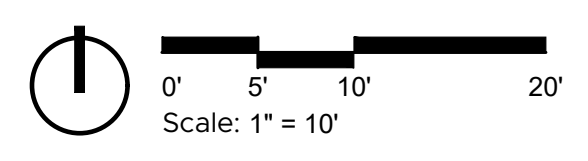
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SHEET TITLE

GRADING AND DRAINAGE PLAN


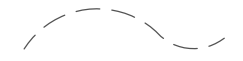

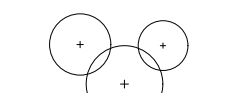

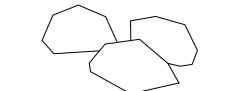
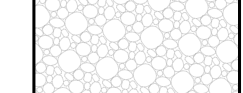
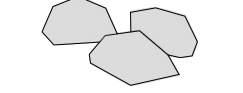
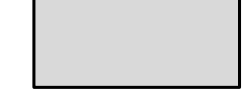
SHEET 3 OF 4  
**L-2.00**

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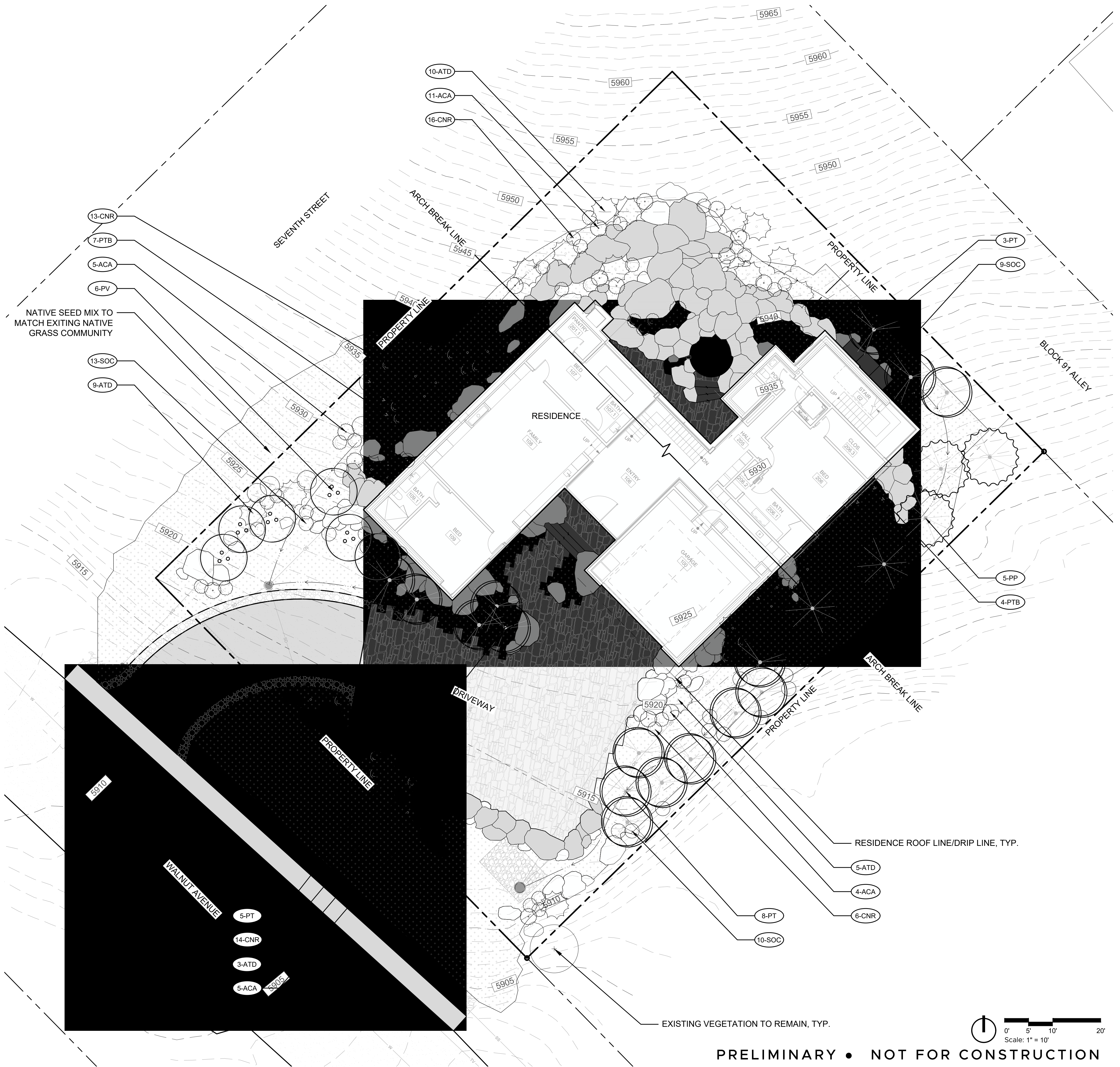
**LEGEND**

	PROPERTY BOUNDARY		EXISTING CONTOUR
	ASPHALT DRIVEWAY		EXISTING VEGETATION TO REMAIN
	STONE PLANK PAVERS		ORNAMENTAL LANDSCAPE BOULDERS
	GRAVEL SHOULDER		LANDSCAPE BOULDERS NECESSARY FOR RETAINING
	CONCRETE PAVING		

**PLANTING SCHEDULE**

TREES							
SYM.	KEY	QTY	BOTANIC NAME	COMMON NAME	ROOT	SIZE	SPACING
PP	PP	5	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B	14' HT	PER PLAN
PT	PT	16	<i>Populus tremulodes</i>	Quaking Aspen	B&B	2" CAL.	PER PLAN
PV	PV	6	<i>Prunus virginiana</i>	Common Chokecherry	CONT.	#25	PER PLAN
SHRUBS							
SYM.	KEY	QTY	BOTANIC NAME	COMMON NAME	ROOT	SIZE	SPACING
ACA	ACA	25	<i>Artemisia cana</i>	Silver Sagebrush	CONT.	#2	PER PLAN
ATD	ATD	27	<i>Artemisia tridentata</i>	Big Sagebrush	CONT.	#7	PER PLAN
CNR	CNR	42	<i>Chrysothamnus nauseosus</i>	Rabbitbrush	CONT.	#5	PER PLAN
PTB	PTB	11	<i>Purshia tridentata</i>	Antelope Bitterbrush	CONT.	#5	PER PLAN
SOC	SOC	32	<i>Symphoricarpos occidentalis</i>	Western Snowberry	CONT.	#5	PER PLAN
SEED MIX							
SYM.	ZONE	SEED MIX				AREA	
	NATIVE GRASS AND FORB MIX	SPECIES CANADIAN BLUEGRASS, <i>Poa compressa</i> SHEEP FESCUE, <i>Festuca oviana</i> IDAHO FESCUE, <i>Festuca idahoensis</i> BLUEBUNCH WHEATGRASS, <i>Agropyron inerme</i> ARROWLEAF BALSAMROOT, <i>Balsamoriza sagittata</i> SULFUR-FLOWER BUCKWHEAT, <i>Eriogonum umbellatum</i>				±7,250 SF	

**NOTE:**  
1. VERIFY EXACT GRASS MIXTURE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING CONDITIONS ON SITE PRIOR TO INSTALL.



**FIELD STUDIO**  
LANDSCAPE ARCHITECTS

722 N. ROUSE AVE.  
BOZEMAN, MT 59715  
(406) 551-2098  
www.fieldstudiola.com

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PROJECT NUMBER: 2409.00

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KETCHUM, ID

DATE • ISSUE  
2025.01.15 MODR PRE-APP

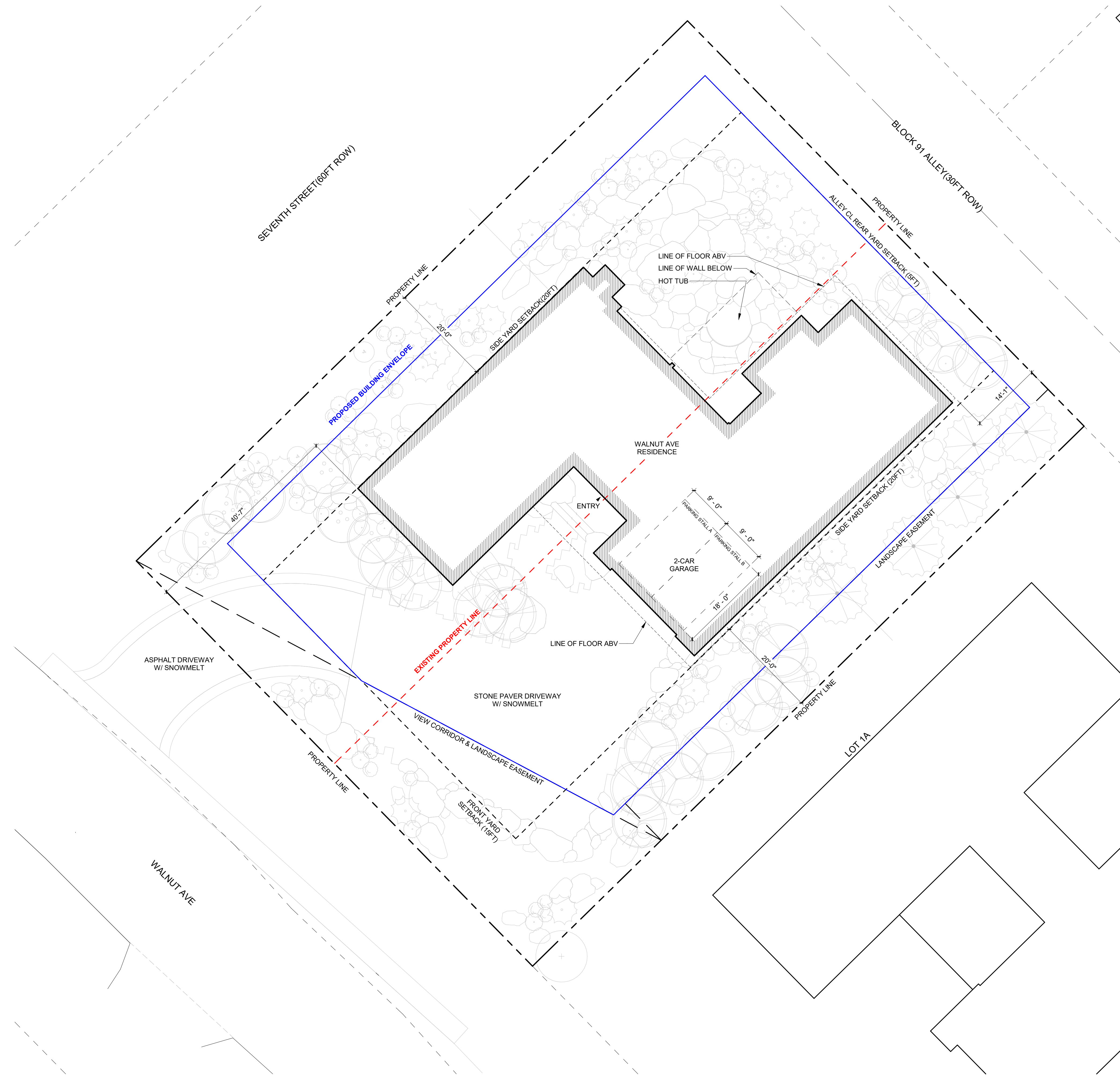
SHEET TITLE

PLANTING PLAN

SHEET 4 OF 4  
**L-5.00**

PRELIMINARY • NOT FOR CONSTRUCTION





- SITE PLAN NOTES:**
- SEE LANDSCAPE PLAN FOR (E) & (N) TREE LOCATIONS
  - SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.

**KNOB HILL RESIDENCE**

OWNER:  
**KNOB HILL PROPERTIES, LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1306 BRIDGEWAY, FLOOR 2  
 SAUSALITO, CA 94965  
 TEL: 415.289.0830

SURVEYOR:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, ID 83340  
 TEL: 208.726.9512

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

CIVIL ENGINEER:  
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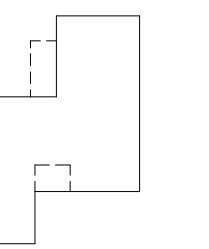
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		ISSUE

PROJECT:  
**KNOB HILL RESIDENCE**  
 LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**SITE PLAN**

DRAWING NUMBER:  
**A-100**

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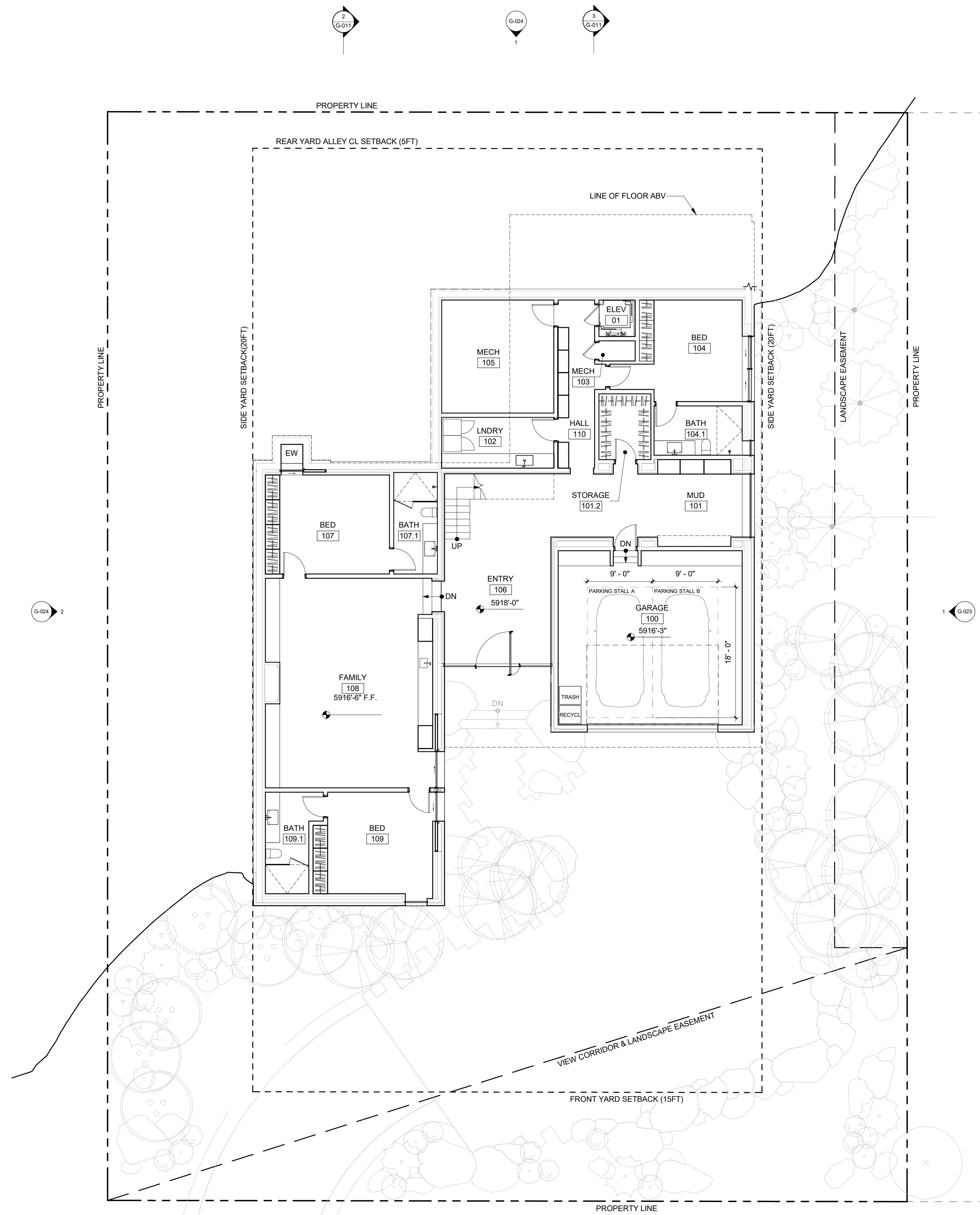
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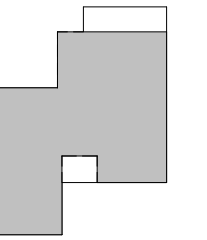
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NO	DATE	ISSUE

PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**REFERENCE PLAN / LEVEL 01**

DRAWING NUMBER:

**A-102**

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1. SEE LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE INFORMATION
2. SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
3. USGS ELEVATION +5.918'-0" IS NOTED AS +100'-0" IN SUBSEQUENT ARCHITECTURAL DRAWINGS
4. COORDINATE STARTPOINT WITH CIVIL
5. SEE G-200 FOR MORE INFORMATION REGARDING ROOF ASSEMBLIES



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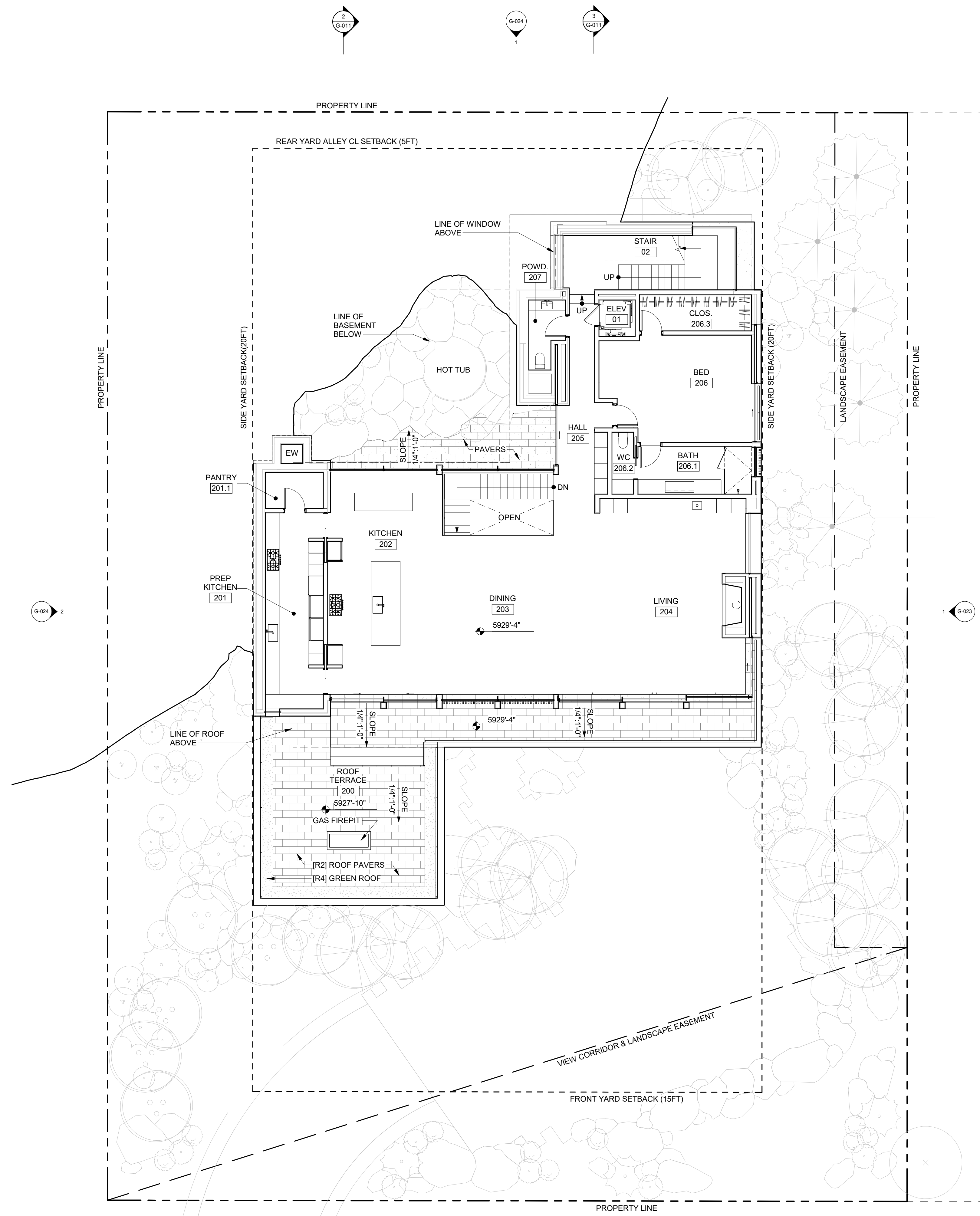
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**RO | ROCKETT DESIGN**  
 1306 BRIDGEWAY, FLOOR 2  
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LANDSCAPE ARCHITECT:  
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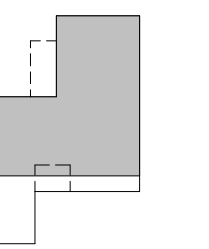
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**KNOB HILL RESIDENCE**  
 LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**REFERENCE PLAN / LEVEL 02**

DRAWING NUMBER:

**A-103**

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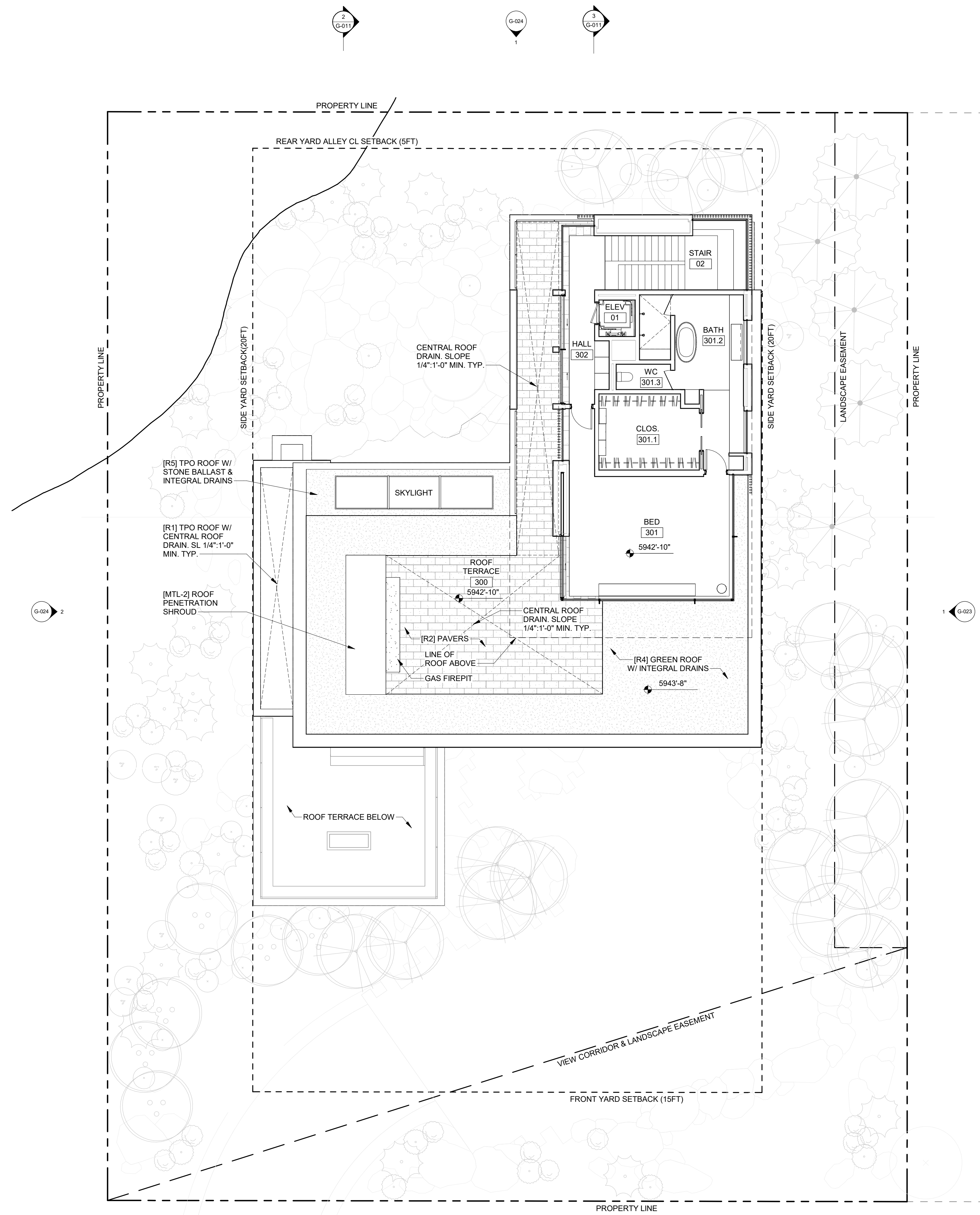
PROJECT ARCHITECT:  
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SAUSALITO, CA 94965  
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LANDSCAPE ARCHITECT:  
**FIELD STUDIO**  
722 N ROUSE AVE  
BOZEMAN, MT 59715  
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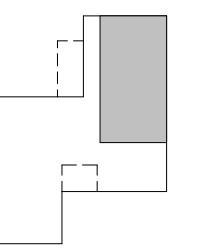
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PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91



PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**REFERENCE PLAN / LEVEL 03**

DRAWING NUMBER:

**A-104**

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1/14/2025 1:48:58 PM

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TEL: 406.551.2098

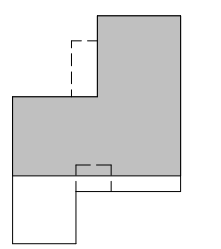
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PROJECT:  
**KNOB HILL RESIDENCE**  
LOT 3&4, BLOCK 91



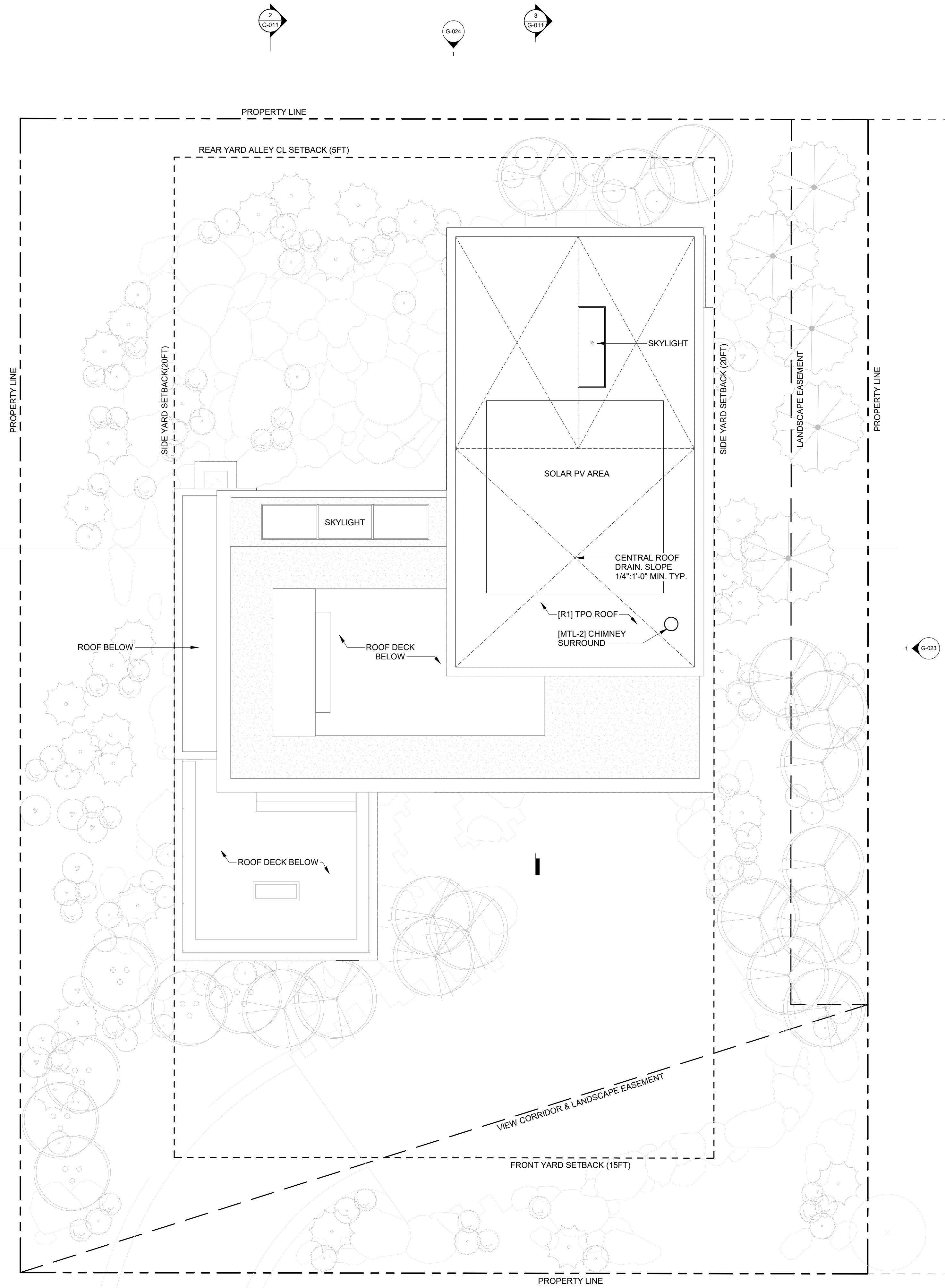
PROJECT NUMBER  
**2204**

DRAWING TITLE:  
**REFERENCE PLAN / ROOF**

DRAWING NUMBER:  
**A-105**

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5. SEE G-200 FOR MORE INFORMATION REGARDING ROOF ASSEMBLIES



Attachment B  
Pre-Application  
MO Design Review  
Submittal:  
Application  
&  
Supplemental Materials





City of Ketchum  
Planning & Building

Pre-Application Mountain Overlay Design Review

OFFICIAL USE ONLY
File Number: P24-087
Date Received: 10/15/24
By: GB
Pre-Application Fee Paid: \$4300
Design Review Fee Paid:
By:

Submit completed application and documentation to [planningandbuilding@ketchumidaho.org](mailto:planningandbuilding@ketchumidaho.org). If you have questions, please contact the Planning and Building Department at (208) 726-7801. Design Review criteria, zoning regulations, and development standards are specified in Title 17 of Ketchum Municipal Code, which may be viewed by clicking the link [here](#). You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: <b>Knob Hill Residence</b>	Phone: <b>949-554-5137</b>		
Owner: <b>Knob Hill Properties, LLC</b>	Mailing Address: <b>P.O. Box 14001-174</b>		
Email: <b>peter@presidiovistaproperties.com</b>	<b>Ketchum, ID 83340</b>		
Architect/Representative: <b>Ro Rockett Design</b>	Phone: <b>415-289-0830</b>		
Email: <b>zrockett@rorockettdesign.com</b>	Mailing Address: <b>1306 Bridgeway, Floor 2</b>		
Architect License Number: <b>AR-987275</b>	<b>Sausalito, CA 94965</b>		
Engineer of Record: <b>Galena Benchmark Associates</b>	Phone: <b>208-726-9512</b>		
Email: <b>phoebe@galena-benchmark.com</b>	Mailing Address: <b>100 Bell Drive, Suite C</b>		
Engineer License Number: <b>17661</b>	<b>Ketchum, ID 83340</b>		
Primary Contact Name and Phone Number: <b>Nick Kunkle 415-289-0830 x206</b>			
PROJECT INFORMATION			
Legal Land Description: <b>Ketchum Lot 3&amp;4, Block 91</b>		Street Address: <b>Lot 3&amp;4, Block 91</b>	
Lot Area (Square Feet): <b>16,523sf Combined</b>		Zoning District: <b>LR</b>	RPK #: <b>00000910030 &amp; 0000091004A</b>
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input checked="" type="checkbox"/> Mountain <input type="checkbox"/> None
Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: <b>Single Family Residential</b>		Number of Residential Units: <b>1</b>	
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	<b>2,145</b> Sq. Ft.	<b>N/A</b>	Sq. Ft.
1 <sup>st</sup> Floor	<b>1,951</b> Sq. Ft.	<b>N/A</b>	Sq. Ft.
2 <sup>nd</sup> Floor	<b>3,091</b> Sq. Ft.	<b>N/A</b>	Sq. Ft.
3 <sup>rd</sup> Floor	<b>1,173</b> Sq. Ft.	<b>N/A</b>	Sq. Ft.
Mezzanine	<b>N/A</b> Sq. Ft.	<b>N/A</b>	Sq. Ft.
Total	<b>6,215</b> Sq. Ft.	<b>N/A</b>	Sq. Ft.
FLOOR AREA RATIO			
Community Core: <b>N/A</b>	Tourist: <b>N/A</b>	General Residential-High: <b>N/A</b>	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: <b>29%(4,775sf/16,523sf)</b>			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: <b>15'/40'-7" PROPOSED</b>	Side: <b>10'/20' PROPOSED</b>	Side: <b>10'/20' PROPOSED</b>	Rear: <b>5'/14'-1" PROPOSED</b>
Building Height: <b>35'/33'-6" PROPOSED(38'-6" OVERALL STEPPING UP HILLSIDE; SEE ATTACHED ELEVATIONS)</b>			
OFF STREET PARKING			
Parking Spaces Provided: <b>2</b>	Curb Cut: <b>20'-0"</b>	Sq. Ft. <b>467SF</b>	% <b>18</b>

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

**10.11.2024**

Date



## PRE-APPLICATION MOUNTAIN OVERLAY DESIGN REVIEW SUBMITTAL CHECKLIST

A Pre-Application Design Review submittal shall include, but are not limited to, the materials listed in the following table in digital format. Please fill out the checklist in the table below and include the sheet number(s) where the required submittal material may be found in the project plan set. The applicant may elect to provide more details, additional plan sheets, and other supplemental materials not listed in the checklist at their discretion.

<b>PRE-APPLICATION DESIGN REVIEW SUBMITTAL CHECKLIST</b>		
<b>Submitted by Applicant</b>	<b>Plan Sheet Number(s)</b>	<b>Pre-Application Required Materials</b>
<input checked="" type="checkbox"/>	Page 8, and 9 of PDF	Project Narrative: A project narrative describing the approach and concept of the project and how the project meets the applicable design review criteria. <i>(narrative shall include a response to each applicable criteria)</i>
<input checked="" type="checkbox"/>	A-100, L-0.00, L-1.00	Conceptual Site Plan: A conceptual site plan showing proposed on and off-site improvements. Site plan shall include conceptual landscaping and public amenities. Detailed plant list not required.
<input checked="" type="checkbox"/>	G-111, G-112 A-102, A-103, A-104, A-105,	Conceptual Elevations and Floor Plans: Elevations and floor plans for all facades and all levels shall be provided. Elevations shall depict materiality, however, colored renderings not required.
<input checked="" type="checkbox"/>	G-110	Conceptual Materials and Color Palette: Materials and colors sample board shall be provided for all facades. Photos of materials, representative imagery, and other digital representation of concept is acceptable. Specifications of materials and colors are not required.
<input checked="" type="checkbox"/>	G-110	3D Perspectives: A minimum of two perspectives, one from a street view and one from bird's eye view, showing the massing of the proposed project within the context of the surrounding neighborhood. Adjacent properties and structures must be included. Full color renderings or photo-realistic perspectives are not required.
<input checked="" type="checkbox"/>	L-2.00, C-1.0	Topography of sufficient detail to represent slope of land
<input checked="" type="checkbox"/>	L-2.00, C-1.0	Significant rock outcrops, cuts and fills required and similar features
<input checked="" type="checkbox"/>	L-2.00, C-1.0	Elevations of proposed building pads and public streets providing access, private access drives
<input checked="" type="checkbox"/>	C-2.0	Preliminary utility extension plans
<input checked="" type="checkbox"/>	L-2.00, C-1.0	Drainage plans and driveway plans
<input checked="" type="checkbox"/>	N/A	Description of proposed blasting, if any



## MODR Pre-Application

### Design Narrative

Site Design Approach & Methodology

Knob Hill Residence (Application File No. P24-087)

—

1/15/25

City of Ketchum

Planning & Building

P.O. Box 2315, 191 5<sup>th</sup> Street West

Ketchum, ID 83340

CC: Abby Rivin

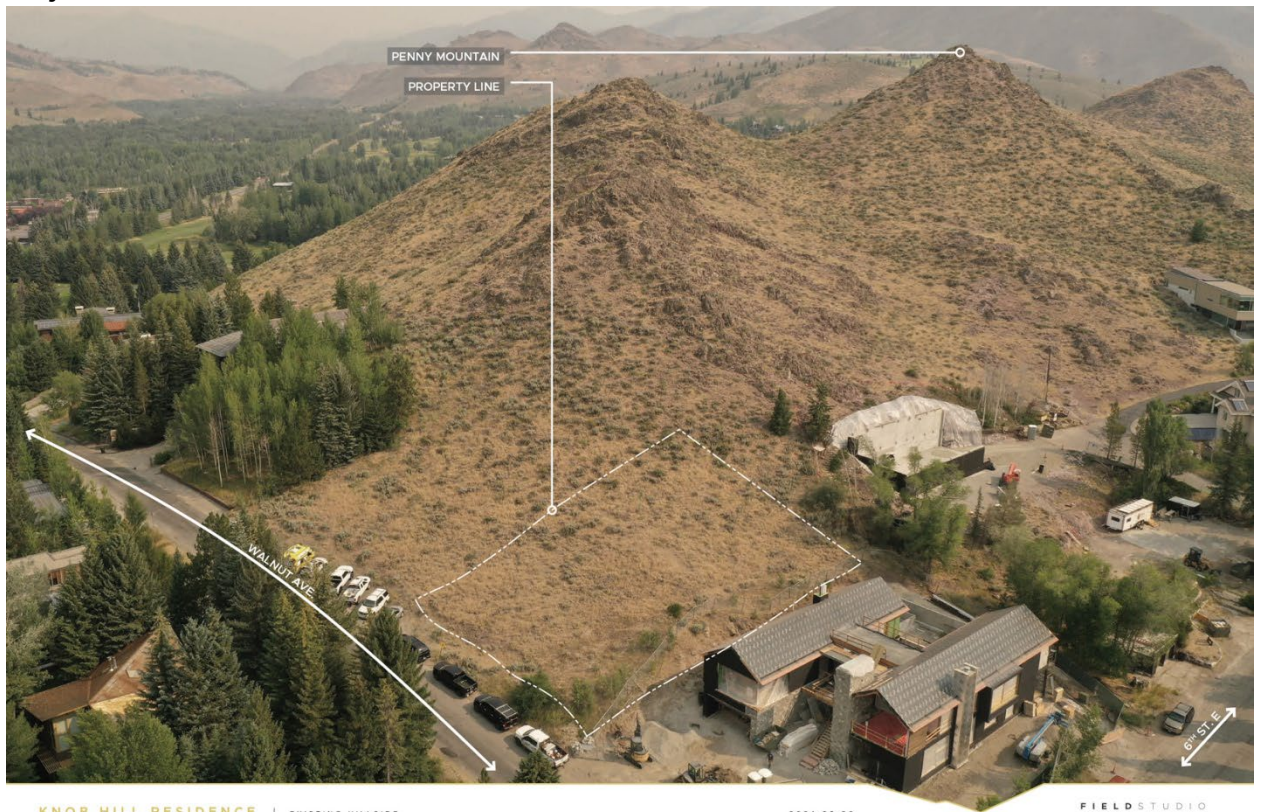
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### Natural Hillside Concept

With the proposed project's location at the base of Penny Mountain, landscape design and preservation of the natural hillside are key components of the project's success. As you will see in the following exhibits, any required retaining or landscape elements are intended to mimic the natural features of Penny Mountain. The goal of this approach is to seamlessly blend the project into the hillside and minimize the disturbance required to build the project.

*Exhibit 1*

#### **Project Location:**



Knob Hill Residence | Existing Hillside

2024.08.06

FieldStudio  
Landscape Architecture



Exhibit 2

Natural Hillside Features:



NOB HILL RESIDENCE | EXISTING HILLSIDE - ROCK OUTCROPPINGS

2024.08.06

FIELDSTUDIO  
Landscape Architecture

Exhibit 3

Design Concept:



NOB HILL RESIDENCE | EXISTING HILLSIDE - ROCK OUTCROPPINGS

2024.08.06

FIELDSTUDIO  
Landscape Architecture



## Building Siting & Vehicular Access

Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.

The proposed driveway and garage location is the result of multiple internal studies, planning department feedback, and specific requirements outlined by the fire department. The exhibits below show notable revisions made by the design team based on planning department feedback, including but not limited to a reduction in the size of the garage from 3-cars to 2-cars, the relocation of the garage to opposite side of the property to accommodate a shorter driveway, the length and width of the driveway were reduced to limit site coverage, and the inclusion of a 26ft x 50ft area for required fire apparatus access.

*Exhibit 4*

### **5/29 - Initial Driveway & Garage Configuration:**

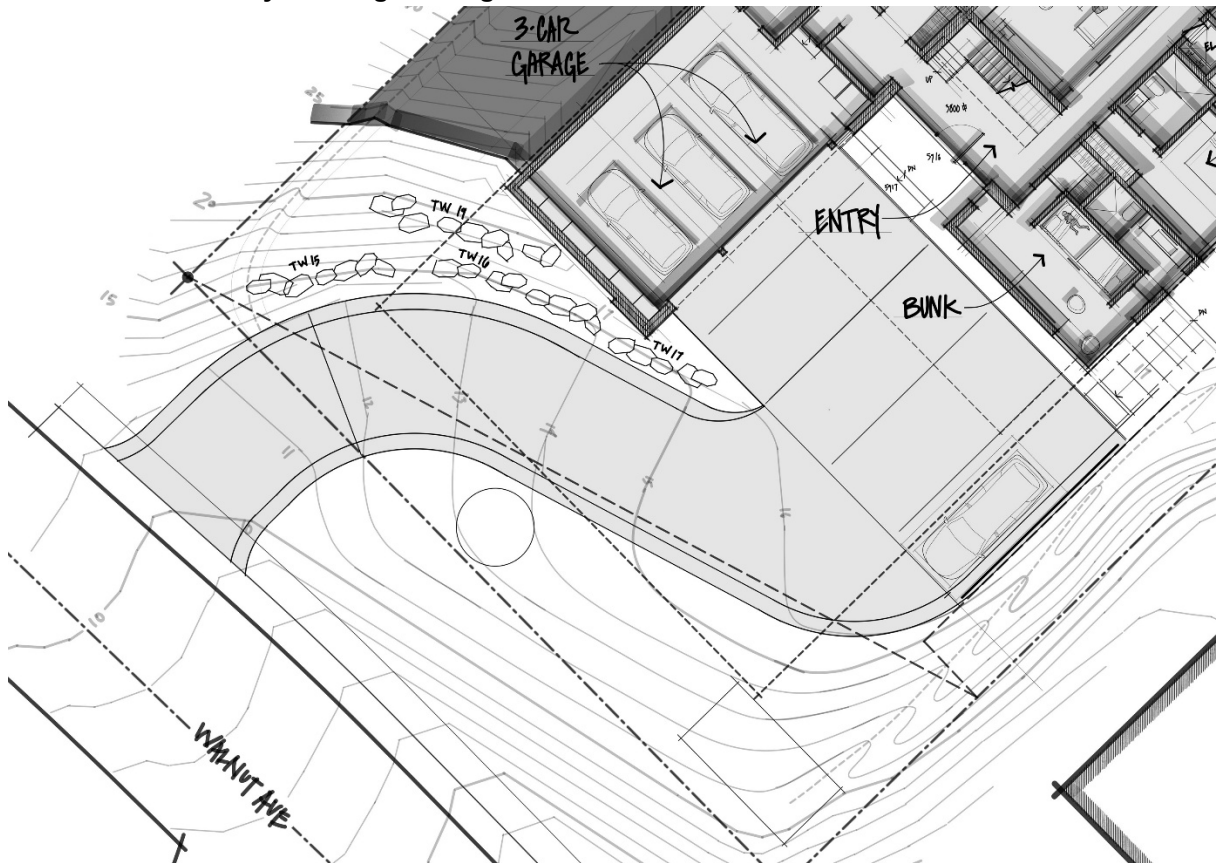




Exhibit 5  
6/13 - Fire Apparatus Requirements:

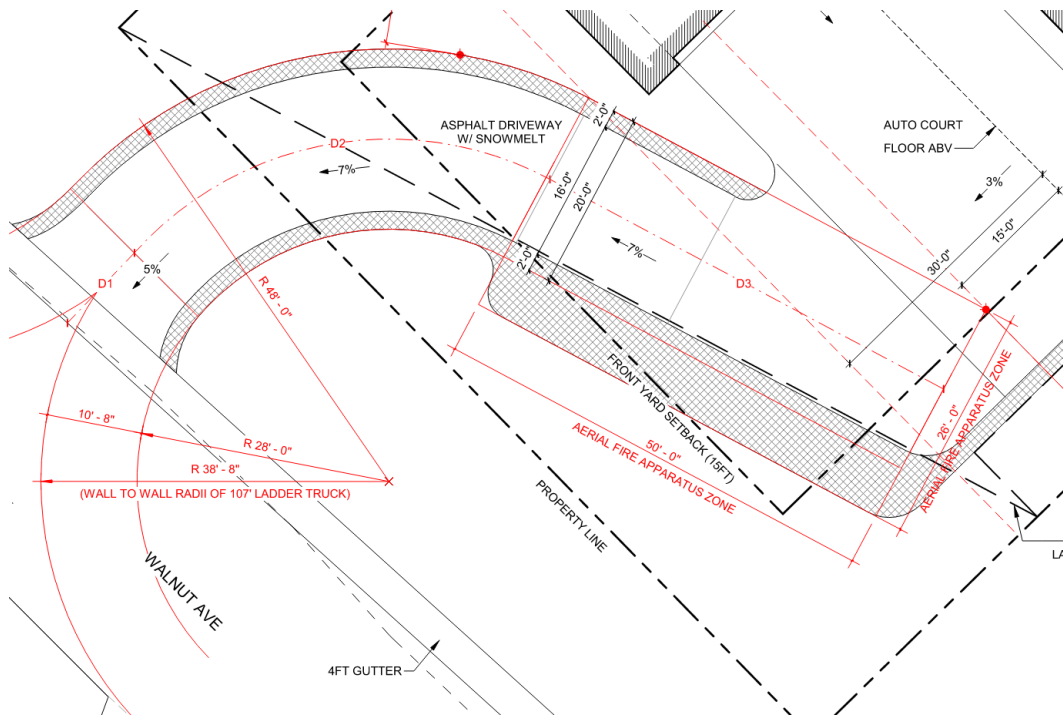
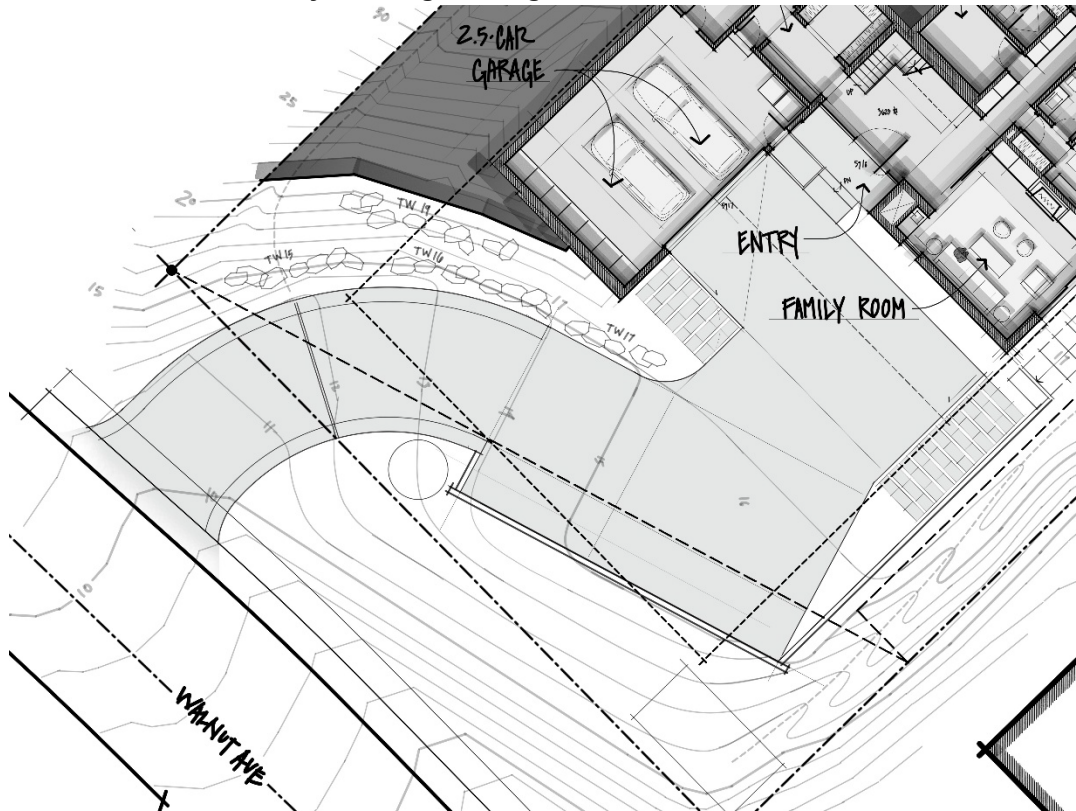
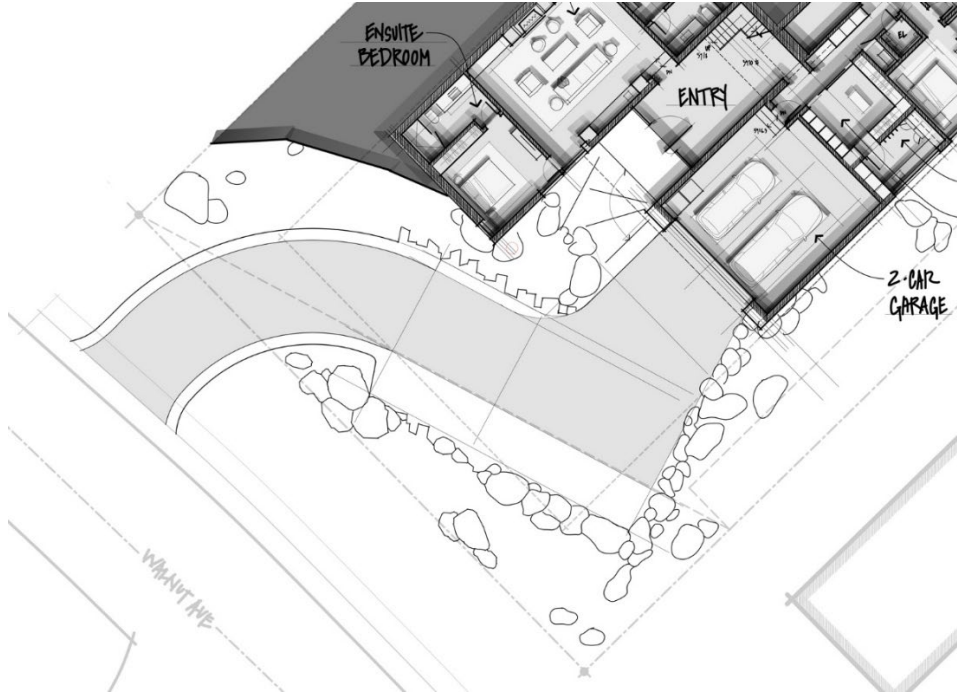


Exhibit 6  
8/16 - Alternate Driveway & Garage Configuration:





**Proposed Driveway & Garage Configuration:**



**Minimizing Hillside Disturbance**

The design team has shown in our drawing package (Sheet G-020) that combining lots 3 & 4 for the development of a single home, rather than two homes, will increase the overall undisturbed hillside area by over 3x. The total amount of undisturbed hillside has also increased dramatically over the course of several months while working with the planning department. Compared to the initial plans for the residence, which included a larger outdoor program at the rear of the house, the proposed design limits rear yard access to a small patio and outdoor spa while bringing natural light and ventilation into an otherwise opaque side of the house. In the following exhibits you will see a progression that followed guidance provided by the planning department and preserves more of the natural hillside.

**5/29 - Initial Rear Yard Landscape Design:**

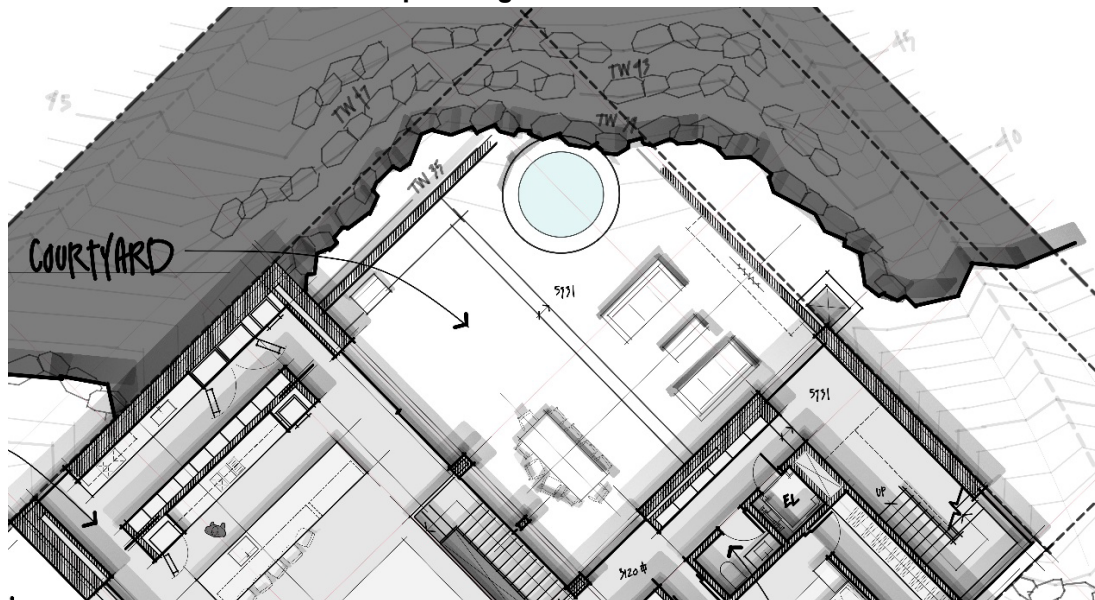




Exhibit 9

8/16 - Revised Rear Yard Landscape Design:

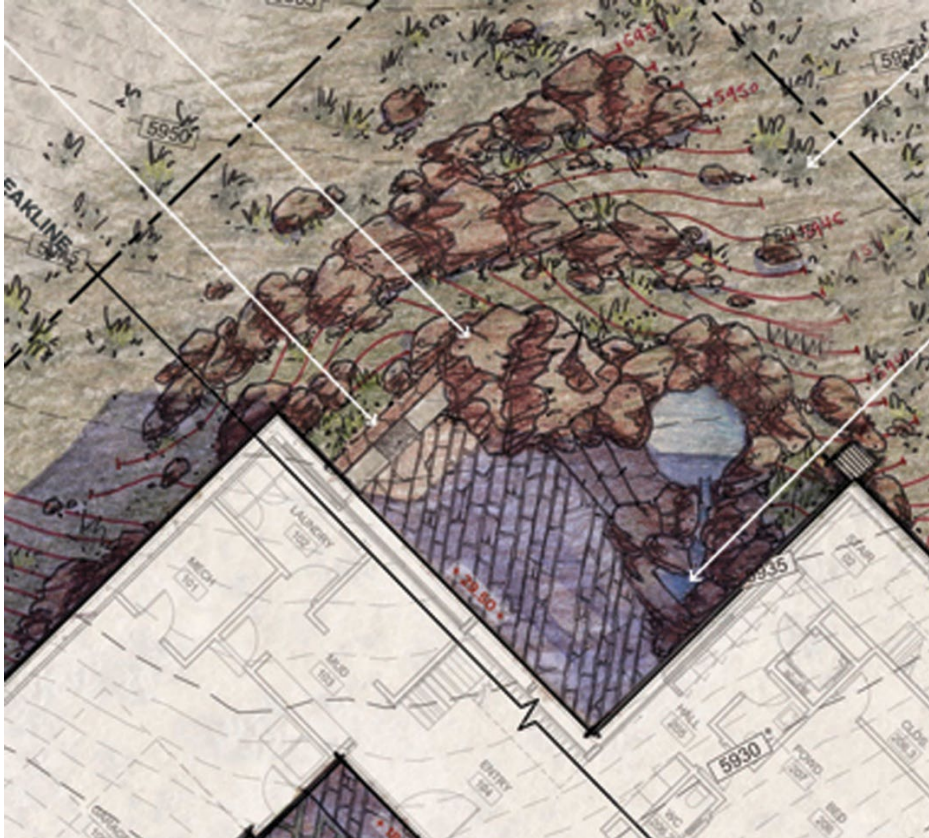
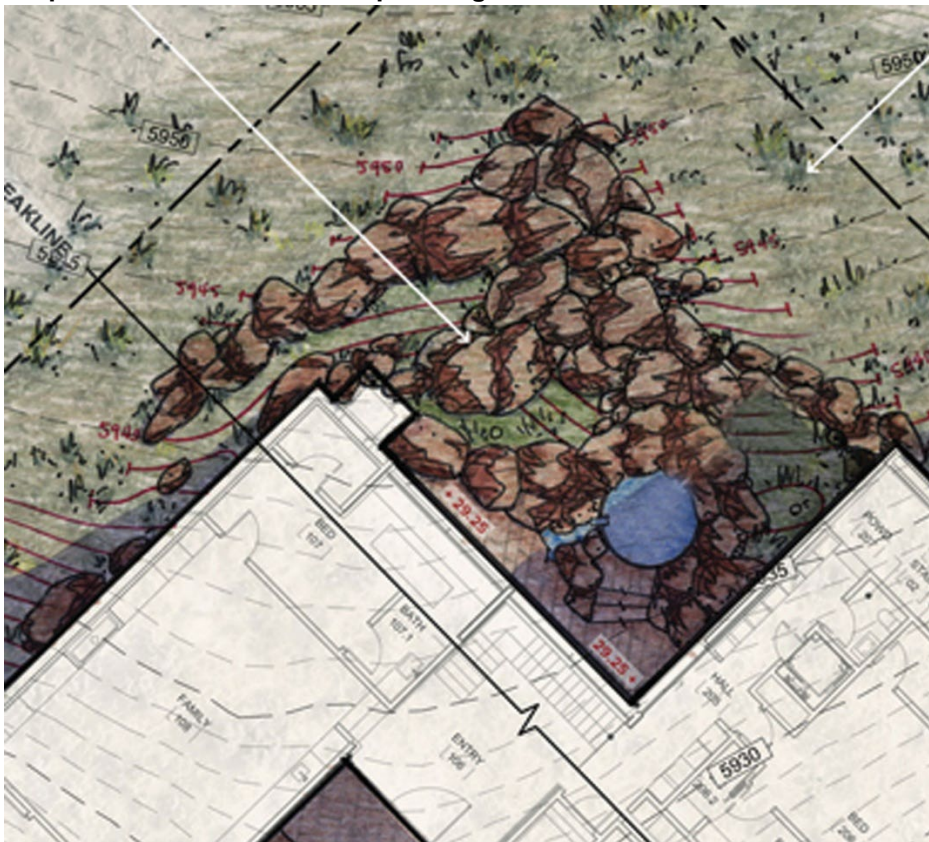


Exhibit 10

Proposed Rear Yard Landscape Design:





## Compatibility of Design

The design team has also carefully considered the surrounding neighborhood context while developing the proposed project. The design incorporates a similar mix of materials (natural wood and stone), massing (two-story volumes stepping back and up the hillside), and architectural features (timber columns and overhangs). With the feedback of the planning department, the design team has introduced undulation and relief along the façade, maintained continuity of materials, and created a building character that aligns with both the requirements and the spirit of the Mountain Overlay Design Review District. We believe the proposed project will blend seamlessly into the area and will not have an adverse impact.

*Exhibit 11*

### **600 Walnut Avenue:**





Exhibit 12  
760 Walnut Avenue:



Exhibit 13  
711 Walnut Avenue:





Exhibit 14  
**691 Spruce Avenue:**



Exhibit 15:  
**880 Walnut Avenue:**





Exhibit 16:  
900 Walnut Avenue:



Exhibit 17:  
Proposed Design Bird's Eye View:





Exhibit 18:

**Proposed Design Street View:**

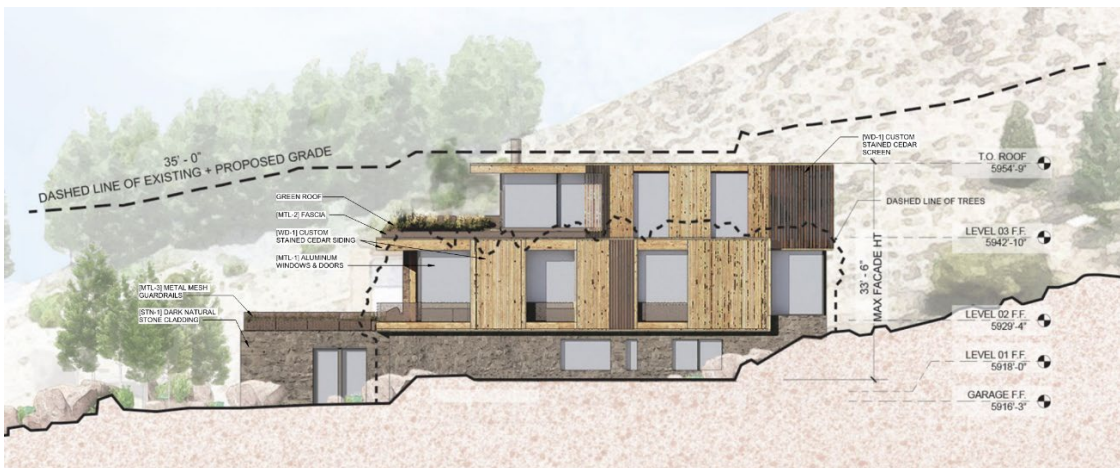


**Building Height**

The design team has also carefully considered the surrounding neighborhood context while defining the height of the building. We have made a proactive decision to keep the height 1'-6" lower than the maximum façade and overall building height allowed; 33'-6" rather than 35'-0" and 38'-6" rather than 40'-0" respectively.

Exhibit 19:

**Proposed Building Elevation:**



**Conclusion**

Thank you for reviewing our design narrative. We hope the design team's efforts to increase the undisturbed hillside area, provide direct and safe vehicular access, and complement the surrounding context were clearly communicated. The planning department has positively influenced the proposed design with respect to the Mountain Overlay District's guidelines, especially in comparison to our initial intentions for the project.

We look forward to discussing our project further at our upcoming P&Z hearing on February 11<sup>th</sup>.



## **MODR Pre-Application**

### **Mountain Overlay Design Review Standards Narrative**

Knob Hill Residence (Application File No. P24-087)

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1/15/25

City of Ketchum  
Planning & Building  
P.O. Box 2315, 191 5<sup>th</sup> Street West  
Ketchum, ID 83340

CC: Abby Rivin

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### **Mountain Overlay Design Review Criteria & Standards**

**17.104.070.A.1:** There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;

***Response:** As shown on sheet G-025, the project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city.*

**17.104.070.A.2:** Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.

***Response:** As shown on sheet G-025, the project size or disturbance is not located in a way that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city.*

**17.104.070.A.3:** Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.

***Response:** As shown on sheet C-1.0, the proposed driveway improvements comply with all applicable standards for a private driveway specified in Ketchum Municipal Code §12.03.030.L.*

**17.104.070.A.4:** All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.

***Response:** As shown on sheet EXB, sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building.*

**17.104.070.A.5:** Significant rock outcroppings are not disturbed.

***Response:** There are no significant rock outcroppings within the property boundary of the subject property. Rock outcroppings further up the hillside are not blocked from view by the proposed residence.*



**17.104.070.A.6:** International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.

***Response:** The project will comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements.*

**17.104.070.A.7:** Public water and sewer service comply with the requirements of the City.

***Response:** As shown on C1.0 of the project plans, the project proposes connecting to the municipal water and sewer systems from existing lines within Walnut Ave. All requirements and specifications for the water and sewer connections set by the Utilities Department will be met.*

**17.104.070.A.8:** Drainage is controlled and maintained to not adversely affect other properties.

***Response:** Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain at the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property.*

**17.104.070.A.9:** Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.

Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.

***Response:** The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.*

*The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.*

**17.104.070.A.10:** There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.

***Response:** The location of the proposed residence allows for the building to be tucked into the hillside and step up with the cross slope, resulting in the project not having a material visual impact.*

**17.104.070.A.11:** Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.

***Response:** A majority of the driveway traverse sections of the property over 25% slope. The proposed driveway access does not have significant impact on drainage, snow and earth slide potential and erosion on the subject property and adjacent properties.*

**17.104.070.A.12:** Utilities shall be underground.

***Response:** The utility improvements are indicated on Sheet C1.0 of the project plans. All utility improvements will be underground.*



**17.104.070.A.13:** Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.

**Response:** *Sheet L-2.00 shows the proposed limits of disturbance on the subject property for the proposed residence. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be submitted with the building permit application.*

**17.104.070.A.14:** Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.

**Response:** *The project minimizes excavation and disturbance on the site not associated with building construction as seen on Sheet L-2.00. The proposed cut and fill quantities are specified on Sheet C1.0. The total estimated volume of the proposed cut is 3,810 cubic yards. The estimated proposed fill comes out to 20 cubic yards. Areas disturbed will be revegetated with native plantings upon completion of construction.*

**17.104.070.A.15:** Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

**Response:** *No significant landmarks have been identified on-site. The significant landmark uphill of the property will not be negatively impacted by the proposed development.*

**17.104.070.A.16:** Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.

**Response:** *This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.*



Attachment C  
LR Zoning and Dimensional  
Standards Evaluation





**KNOB HILL RESIDENCE  
PRE-APPLICATION MOUNTAIN OVERLAY DESIGN REVIEW  
ZONING & DIMENSIONAL STANDARDS EVALUATION**

LR Zoning and Dimensional Standards Evaluation				
Compliant			Standards and Staff Analysis	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Staff Analysis
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Lot Area</b>
			Staff Analysis	<p><b>Required:</b> 9,000 square feet minimum</p> <p><b>Existing (Ketchum Townsite—Block 91: Lots 3 &amp; 4):</b> 16,523 square feet (0.38 acres)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Coverage</b>
			Staff Analysis	<p><b>Permitted:</b> 35%</p> <p><b>Proposed:</b> Sheets G-010 and L-0.00 of the project plans provides building coverage information. 29% (4,775 square feet / 16,523 square feet lot area)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Building Setbacks</b>
			Staff Analysis	<p><b>Minimum Required Setbacks:</b> Front: 15' Side: &gt; of 1' for every 2' in building height, or 10' (19'-3" required) Rear: 20'</p> <p>KMC §17.128.020.D: In measuring the rear yard of a principal building where the rear lot line abuts an alley, measurement may be made to the centerline of the alley, provided no building is located within the right-of-way of the alley.</p> <p><b>Proposed:</b> Setback dimensions are specified on Sheet A-100 of the project plans. Front (Walnut Avenue Avenue): 40'-7" Side (north): 20' Side (south): 20' Rear (east property line): 14'-1" Rear (centerline of Block 91 alleyway): 29'-1"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Height</b>
			Staff Analysis	<p><b>Height of Building (KMC §17.08.020)</b> Height of Building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No</p>



facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.

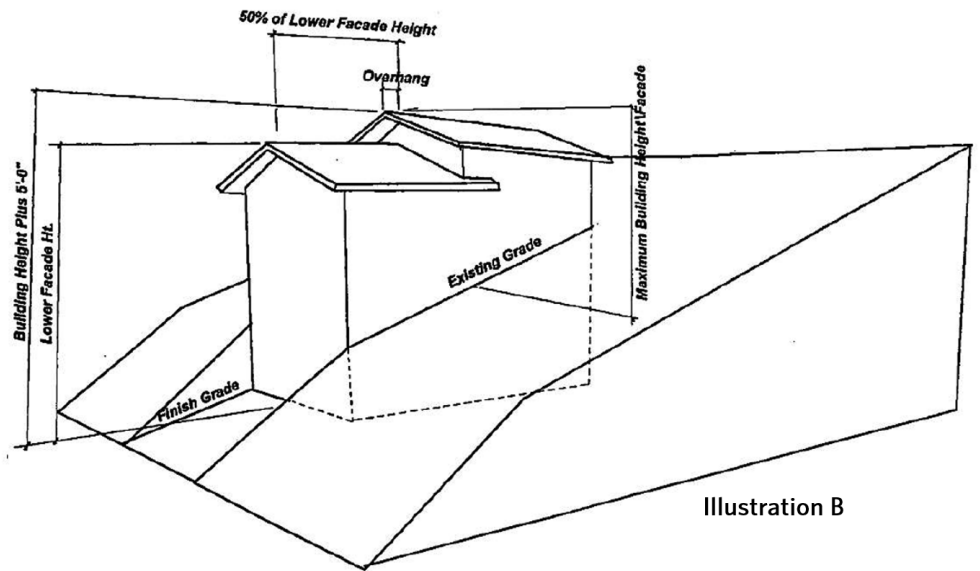


Illustration B

**Maximum Building Height Permitted: 35'**

**Proposed:**

Elevations for finished floor and roof are specified in the building height section on sheet G-011 of the project plans.

- Lowest Exposed Finished Floor Elevation: 5916'-3"
- Highest Point of the Roof Elevation: 5954'-9"
- Maximum Vertical Distance (Regardless of Vertical Alignment): 38'-6"
- Lower Façade Height (35' max): 27'-5"
- Façade Setback (minimum of 50% lower façade height = 13'-9"): 13'-9"
- Maximum Façade Height: 33'-6"

17.125.030.I  
Staff Analysis

**Driveway Width**

**Required:**

Minimum: The unobstructed, all weather surface of a private driveway shall not be less than 12 feet.

Maximum: The unobstructed, all weather surface of a private driveway shall not be greater than 35 percent of the linear footage of any street



				<p>frontage or 30 feet, whichever is less, unless otherwise approved by the City Engineer.</p> <p><b>Proposed:</b>  20-foot-wide driveway  19% of Walnut Ave Street Frontage  (20-foot-wide driveway/110 feet of Walnut Ave frontage)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.040.B <b>Staff Analysis</b>	<b>Parking Spaces</b>  Off-street parking standards of this chapter apply to any new development and to any new established uses. <b>Required:</b> One-Family Dwelling Units in all Zoning Districts: 2 parking spaces per dwelling unit. <b>Proposed:</b> As shown on sheet A-102 of the project plans, two parking spaces are provided within the attached garage.



Attachment D  
Mountain Overlay  
Design Review  
Standards Analysis





**KNOB HILL RESIDENCE  
PRE-APPLICATION MOUNTAIN OVERLAY DESIGN REVIEW  
MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS EVALUATION**

Mountain Overlay Design Review Standards (KMC §17.107.070.A)	
Ketchum Municipal Code	Mountain Overlay Standards & Staff Analysis
17.104.070.A1	There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.
Staff Analysis	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The applicant has provided photography exhibits on Sheet G-025 of the project plans shows the estimated project location from different locations in the city. Based on the information provided in the Pre-Application submittal, staff does not believe the proposed home will have a material visual impact from any public vantage point within the city. When story poles are installed at final MO Design Review, staff will check public vantage points to further assess whether the project has a material impact.
17.104.070.A2	<b>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b>
Staff Analysis	As noted in the analysis for KMC §17.104.070A2 above, staff does not believe the project will have a material visual impact visible from a public vantage point in the city. The subject property is located at the lower elevation of the Penny Mountain hillside.
17.104.070.A3	<b>Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.</b>
Staff Analysis	Please see staff analysis for KMC §17.104.070.A9 for an analysis of the proposed driveway length. The civil drawings on sheet C1.0 and C1.1 specify the proposed driveway improvements. The proposed driveway is 20 feet wide and has a slope of about 7%. The site plan on sheet A-100 shows that the full extent of the asphalt driveway and the stone paver driveway are proposed to include snowmelt. The Fire Department requires snowmelt for driveways or portions of driveways with 7-10% slope. The portion of the driveway within the Walnut Avenue public right-of-way is 7.1% slope. As of April 3, 2023, the City Council no longer approves Right-of-Way (ROW) Encroachment Permits for residential snowmelt systems, unless the



	<p>snowmelt system is required by the Fire or Streets departments. The Fire Department requires snowmelt for the portion of the driveway in the Walnut Avenue public ROW as the slope slightly exceeds 7%. The portion of the heated driveway that encroaches into the public ROW along Walnut Avenue will require a ROW Encroachment Permit and final review and approval by the City Council.</p> <p>The proposed driveway improvements shown in the Pre-Application submittal have been reviewed by the City Engineer, Streets Department, and Fire Department and city department comments were transmitted to the applicant. At final MO Design Review, city departments will conduct another code compliance review to ensure that all comments have been addressed and that the project complies with all requirements.</p>
17.104.070.A4	<b>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</b>
Staff Analysis	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. As shown on sheet EXH, access for fire and other emergency vehicles is provided from the fire apparatus zone at the southwest corner of the subject property to within 150 feet of the furthest exterior wall of the proposed home.
17.104.070.A5	<b>Significant rock outcroppings are not disturbed.</b>
Staff Analysis	As shown on the topographic survey included in the project plans, the subject property does not contain any significant rock outcroppings.
17.104.070.A6	<b>International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.</b>
Staff Analysis	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.
17.104.070.A7	<b>Public water and sewer service comply with the requirements of the City.</b>
Staff Analysis	As shown on C1.0 of the project plans and detailed in notes U01 and U02, the project will tap into the existing water main and utilize the existing sewer line tap along Walnut Avenue. The Water and Wastewater departments will conduct an additional review of the project plans submitted with the final MO Design Review to confirm compliance with all complaints.
17.104.070.A8	<b>Drainage is controlled and maintained to not adversely affect other properties.</b>
Staff Analysis	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on sheets C1.0 and C1.1 of the project plans. The drainage improvements in the public right-of-way include constructing a new valley gutter that will connect to the existing valley gutter.



	<p>Drainage improvements on the subject property include a system of catch basins and drywells as well as trench drain across the width of the driveway along the front property line. The City Engineer reviewed the drainage improvements shown in the Pre-Application submittal and comments were transmitted to the applicant. The City Engineer requested the applicant submit a geotechnical report and drainage calculations for the zing of drywells with the final MO Design Review submittal.</p>
<p>17.104.070.A9</p>	<p><b>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.</b></p> <p><b>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</b></p>
<p>Staff Analysis</p>	<p>In the Design Narrative, the applicant provides a summary of design changes made to the outdoor patio and hot tub area in response to Planning staff feedback to preserve more of the natural hillside. The applicant has significantly reduced the size outdoor patio area from the first iteration of the design drawings. Staff appreciates these changes and the applicant’s thoughtful response to feedback, however, staff believes that removing the outdoor patio and hot tub would preserve even more of the natural hillside. Staff recommends the applicant remove the outdoor patio and hot tub to preserve more of the natural hillside area.</p> <p>In the Design Narrative, the applicant provides an analysis of the proposed driveway access. The applicant states:</p> <p style="padding-left: 40px;"><i>Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.</i></p> <p>In the written response to MO Design Review standards, the applicant further explains:</p> <p style="padding-left: 40px;"><i>The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further</i></p>



	<p><i>south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.</i></p> <p><i>The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.</i></p> <p>The applicant has revised the proposed driveway access based on Planning staff feedback and Fire Department requirements. These changes included reducing the size of the garage, relocating the garage to facilitate a shorter driveway, and reducing the length and width of the driveway to limit disturbance. The proposed driveway access along Walnut Avenue is 20 feet wide and surfaced with asphalt. The driveway then extends to the fire apparatus zone that is surfaced with pavers. The fire apparatus zone is 50 feet long and 26 feet wide. The length of the asphalt portion of the driveway is 57 feet. The length of the portion of the driveway surfaced with pavers is 71 feet long. The total length of the driveway is 128 feet.</p> <p>Pursuant to Fire Department requirements, aerial fire apparatus access is required where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet. Aerial fire apparatus access roads must have a minimum unobstructed width of 26 feet and must be sited no closer than 15 feet and no further than 30 feet from the structure. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. The proposed driveway and fire apparatus zone improvements push the home further up the hillside. The required setback from the front property line in the LR Zone is 15 feet. As a result of the driveway improvements, the home is setback 40'-7" from the front property line along Walnut Avenue, which is 25'-7" more than the minimum required.</p> <p>If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.</p>
17.104.070.A10	<p><b>There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section.</b></p>



Staff Analysis	Please see analysis for KMC §17.104.070.A9 and KMC §17.104.070.A14. Staff believes that the area where the proposed aerial fire apparatus access is located in the front yard may be a more suitable site from the proposed development. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.
17.104.070.A11	<b>Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.</b>
Staff Analysis	The majority of the proposed driveway traverses slopes of 25% and greater. The City Engineer reviewed the proposed driveway improvements shown in the Pre-Application submittal and provided comments to the applicant related to the drainage improvements. The City Engineer will review the civil drawings submitted with the final MO Design Review submittal to assess whether the proposed driveway will have any significant impacts on drainage, snow, earth-slide potential, or erosion on the subject property or adjacent properties.
17.104.070.A12	<b>Utilities shall be underground.</b>
Staff Analysis	The utilities information provided on Sheet C1.0 of the project plans are limited to water and sewer improvements. The utilities plan submitted with the final MO Design Review submittal must show the location and size of all utilities, including gas, electric, TV, and phone. All utilities shall be underground pursuant to KMC §17.104.070.A12. Pursuant to KMC §17.96.060.D2, "Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view." In addition, the applicant must provide will-serve letters from Idaho Power Company and Clear Creek Disposal.
17.104.070.A13	<b>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.</b>
Staff Analysis	The proposed limits of disturbance is shown on sheet L-2.00 of the project plans. A construction management plan that addresses all construction activity standards specified in KMC §15.06.030 will be required to be submitted with the building permit application. KMC §15.06.030.J4 requires that, "Projects in the Mountain Overlay Zoning District or containing slopes greater than 25 percent shall be fenced pursuant to the design review



	conditions of approval.” City departments will conduct a comprehensive review of the proposed construction management plan during plan review at time of building permit.
17.104.070.A14	<b>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.</b>
Staff Analysis	<p>Cut and fill information is provided on sheet C1.0 of the project plans. Excavation for the entirety of project will remove 3,810 cubic yards of soil. The total proposed amount of fill is 20 cubic yards. As shown on the lot disturbance diagrams on sheet G-020, only a portion of the subject property along the rear property line is proposed to remain undisturbed. The total proposed undisturbed area is 1,660 square feet, which is only 10% of the subject property’s total area. Hillside disturbance that is not associated with the building construction includes a small patio and hot tub at the northeast corner of the property as well as the driveway and fire apparatus access zone.</p> <p>In the Design Narrative, the applicant provides a summary of design changes made to the outdoor patio and hot tub area in response to Planning staff feedback to preserve more of the natural hillside. The applicant has significantly reduced the size outdoor patio area from the first iteration of the design drawings. Staff appreciates these changes and the applicant’s thoughtful response to feedback, however, staff believes that removing the outdoor patio and hot tub would preserve even more of the natural hillside. Staff recommends the applicant remove the outdoor patio and hot tub to preserve more of the natural hillside area.</p> <p>Pursuant to KMC §17.104.070.A9, “lengths of driveways allowed shall be minimized.” In the Design Narrative, the applicant provides an analysis of the proposed driveway access. The applicant states:</p> <p style="padding-left: 40px;"><i>Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.</i></p> <p>In the written response to MO Design Review standards, the applicant further explains:</p> <p style="padding-left: 40px;"><i>The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further</i></p>



	<p><i>south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.</i></p> <p><i>The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.</i></p> <p>The applicant has revised the proposed driveway access based on Planning staff feedback and Fire Department requirements. These changes included reducing the size of the garage, relocating the garage to facilitate a shorter driveway, and reducing the length and width of the driveway to limit disturbance. The proposed driveway access along Walnut Avenue is 20 feet wide and surfaced with asphalt. The driveway then extends to the fire apparatus zone that is surfaced with pavers. The fire apparatus zone is 50 feet long and 26 feet wide. The length of the asphalt portion of the driveway is 57 feet. The length of the portion of the driveway surfaced with pavers is 71 feet long. The total length of the driveway is 128 feet.</p> <p>Pursuant to Fire Department requirements, aerial fire apparatus access is required where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet. Aerial fire apparatus access roads must have a minimum unobstructed width of 26 feet and must be sited no closer than 15 feet and no further than 30 feet from the structure. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. The proposed driveway and fire apparatus zone improvements push the home further up the hillside. The required setback from the front property line in the LR Zone is 15 feet. As a result of the driveway improvements, the home is setback 40'-7" from the front property line along Walnut Avenue, which is 25'-7" more than the minimum required.</p> <p>If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.</p>
17.104.070.A.15	<p><b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b></p>



<p><b>Staff Analysis</b></p>	<p>Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries and designated properties in the Knob Hill neighborhood as a significant landmark. Pursuant to KMC §17.104.030.B, "The area within these boundaries, northeast of the alley bisecting Walnut Avenue and Spruce Avenue consisting of lots 5, 6, 7 and 8, block 94, lots 5, 6, 7 and 8, block 93, lots 5, 6, 7 and 8, block 92, lots 5A, 6A, 7 and 8, block 91, lots 3 and 4, block 97, Ketchum Town Site, and all properties within the Kinderhorn Subdivision, along with the rock outcropping within block 29, Ketchum Town Site, is hereby designated as a significant landmark within the City of Ketchum as denoted in the map, a true and correct copy of which is attached to ordinance 996 as exhibit B and which is incorporated herein by this reference." The subject property is located west of and downhill from the four lots in Block 91 designated as a significant landmark per KMC §17.104.030.B. Staff does not believe the significant landmark uphill of the subject property will be negatively impacted by the proposed development.</p>
<p><b>17.104.070.A.16</b></p>	<p><b>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</b></p>
<p><b>Staff Analysis</b></p>	<p>This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.</p>