



**City of Ketchum**  
Planning & Building

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING OF JANUARY 24, 2023**

**PROJECT:** Sawtooth Serenade

**FILE NUMBER:** P22-056

**APPLICATION:** Pre-Application Design Review

**PROPERTY OWNER:** McCaw Nell Elizabeth Trustee, Distrustful Ernest Revocable Trust U/A/D  
02/03/16

**REPRESENTATIVE:** Dave Thielsen, Thielsen Architects (Architect)

**LOCATION:** 260 N 1<sup>st</sup> Ave (KETCHUM TOWNSITE LOT 5A BLK 38)

**ZONING:** Community Core – Subdistrict 2 Mixed Use (CC-2)

**OVERLAY:** None

**REVIEWER:** Morgan Landers, AICP – Director of Planning and Building

**NOTICE:** As a courtesy, a public meeting notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 4, 2023. The notice was published in the Idaho Mountain Express on January 4, 2023. A notice was posted on the project site and the city's website on January 17, 2023. Story poles were verified on the subject property on January 17, 2023.

**INTRODUCTION AND BACKGROUND**

The applicant is proposing a 23,942 gross square foot multi-family development located at 260 N 1<sup>st</sup> Ave (the “subject property”) in the Community Core Subdistrict 2 – Mixed Use (CC-2) zone district. The project includes two residential dwelling units, ground floor private recreation space, garage parking for five vehicles, and storage for the two units. The subject property is three vacant Ketchum Townsite

lots totaling 16,507 SF on the east corner of N 1<sup>st</sup> Ave and Sun Valley Rd (Figure 1) south of the new 1<sup>st</sup> and Sun Valley office building, diagonal from the mixed-use building where Maude's is located.

The project proposes to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing, mitigating the additional floor area by making a community housing in-lieu payment of \$568,804. The total FAR for the project is 1.45, where 1.0 is permitted by right. The application is not subject to Interim Ordinance

1234 as the application was deemed complete prior to the effective date of the ordinance. Staff has provided an analysis (Attachment D) of how the project would conform to the interim ordinance for your reference and information only.

The subject property is 16,507 square feet, three Ketchum Townsite lots. Per Ketchum Municipal Code (KMC) 17.96.010.C.1, new developments on lots totaling 11,000 square feet require a pre-application design review with the Planning and Zoning Commission. The Preapplication review is an opportunity for the Commission to give the applicant feedback on the proposed project. This preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant.

## ANALYSIS

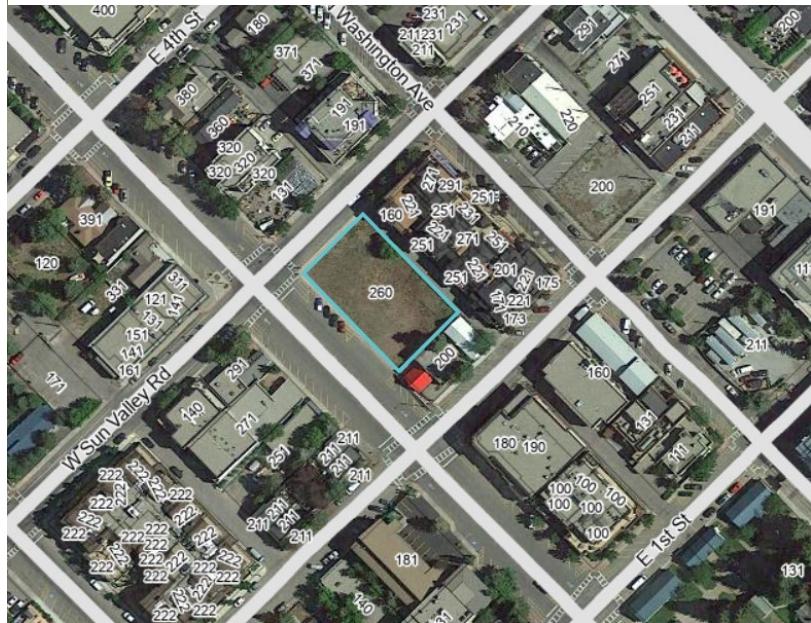
Per KMC 17.96.050.A. *Criteria.* The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 evaluates the project's impact on the community through its alignment with the goals and policies of the city's currently adopted plans as related to public health, safety, and welfare. Criteria 2 above relates to the project's conformance with the city's zoning ordinance such as permitted uses, dimensional limitations, parking, dark skies, and the design review improvements and standards listed in 17.96.060 and 17.96.070. During department review, city staff reviewed the project against the city's adopted plans (criteria 1) and for all applicable zoning requirements including conformance with all applicable design review standards outlined in KMC §17.96.060 – *Improvements and Standards* and KMC §17.96.070 – *Community Core (CC) Projects*.

In the staff report below, staff has provided an overview of items the Commission may want to provide feedback on regarding the project and its conformance with the criteria. Through the preapplication and final design review process, the Commission will need to answer the questions of 1) does the

*Figure 1: Subject Property 260 N 1st Ave*



project jeopardize the health, safety, or welfare of the public and does the project meet all of the applicable standards and criteria of the municipal code.

### ***Criteria 1: Health, Safety, and Welfare of the Public***

The 2014 Comprehensive Plan outlines 10 core values that drive our vision for the future including a strong and diverse economy, vibrant downtown, community character, and a variety of housing options. The built environment within the downtown plays a key role in materializing these values to achieve the city's vision. The 2014 Comprehensive Plan designates the future land use for the subject property as "mixed-use commercial" where, according to the plan, "New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street." Primary uses include offices, medical facilities, health/wellness-related services, recreation, government, residential, and services.

These desired qualities of mixed-use commercial stated in the plan directly relate to how new developments interface with the street and enhance the health, safety, and welfare of the public by supporting a vibrant downtown and a strong economy. The comprehensive plan acknowledges that Ketchum has high-quality public spaces including streets and plazas that contribute to our current success and, as noted above, new mixed-use developments should contain public spaces that provide relief from the bulk and mass of structures that contain higher densities. Although this is a low-density development, the bulk and mass of the project is that of a higher density development and should seek to achieve the same design objectives. As outlined further below in this report, the design of the outdoor space seems to be closed off and privatized. Staff acknowledges the space provides value to the quality of the street due to the increased landscaping and setback of the building, however, the applicant should consider designing the space to be more open to the street or making the space available to the public as there is extensive private space on decks and patios throughout the project.

Policy CD-1.3 of Chapter 4 of the comprehensive plan states that "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style." As noted below, staff has concerns about the project's southeast facing façade as the adjacent property has only one-story structures with a single material blank wall. The transition between buildings is a key design element and has the potential to impact the perceived cohesiveness of the downtown and can impact the way residents and visitors experience a place.

The 2022 Housing Action Plan (HAP) emphasizes the importance of increased housing supply for long-term residents in Ketchum. The comprehensive plan identifies the downtown as being an appropriate place for that density due to proximity of jobs and transportation options as a direct correlation to vibrancy of the downtown and support of a strong economy. Goal #1 of the HAP is to produce and preserve housing. Ketchum needs to build, preserve, or convert approximately 100 residential housing units a year to keep up with demand. That demand is for households in all income categories. The subject property is three Ketchum Townsite lots that are already consolidated. The siting of two residential dwelling units on the subject property is an underutilization of a key piece of property in Ketchum's downtown and has the potential to impact downtown vibrancy in this area as the subject property is located on a block that is currently redeveloping with many active spaces and uses. As noted below, the building is somewhat closed off to the public at the ground floor on the corner which

is out of context with the rest of the intersection. There are design opportunities that can be considered to encourage better interface between the building and the public realm and provide additional activation on a key corner.

Finally, if the community is not able to produce the amount of housing needed, the community's health, safety, and welfare is challenged. Not only is the vibrancy of our downtown and our economy in jeopardy, but we also face increased severity of substandard living conditions from overcrowding and we will continue to see the number of community members who are unhoused increase. Research shows the negative impacts of housing instability for families and individuals. Housing instability means that the family or individual is at risk of displacement or has experienced eviction, frequently moves in one year, and homelessness. One study by Boston Medical Center on 22,324 families confirms that housing instability has physical and mental health impacts on affected individuals.<sup>1</sup> It increases the likelihood of depression and suicide in adults and disrupts development and immune system responses in children, increasing their likelihood of hospitalization. Overcrowding increases the risk of spreading infectious diseases.<sup>2</sup> At a community level, those with long commutes are less able to actively participate in the community or be productive at work, and see physical health declines.<sup>3</sup>

### ***Criteria 2: Applicable Standards and Criteria***

#### ***Zoning and Dimensional Standards***

In general, the property appears to be in conformance with the zoning and dimensional standards. Final confirmation of all zoning and dimensional standards will be conducted at the time of final design review. Below are specific items of note that are uniquely applicable to this project.

***Front Lot Line*** - Per KMC 17.08.020, the front lot line of corner lots is the shorter street frontage unless otherwise determined by the administrator based on the orientation and layout of the lot and surrounding neighborhoods. Based on staff review of the orientation of the lot and the surrounding neighborhood, staff determined that it be more appropriate for the front lot line to be along N 1<sup>st</sup> Ave rather than Sun Valley Rd. This is because most of the developed lots in the immediate vicinity are single or double Ketchum Townsite lots that orient to the Avenues rather than the Streets in the downtown.

***Building Height*** - Building height in the Community Core is calculated differently than in the other zone districts within the city. Per KMC 17.08.020, building height in the CC is calculated based on the average grade of the front and rear lot lines. Side facades are permitted to step up or down to transition from the front to back provided that the transition happens more than 40 feet from the front and more than 35 feet from the back. As shown on the West Elevation on Sheet A7 of Attachment B, the average grade of the front lot line is approximately 5 feet lower than the average grade of the rear property line, therefore the side facades are required to step back as shown on the elevation.

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<sup>1</sup> Megan Sandel, Richard Sheward, Stephanie Ettinger de Cuba, Sharon M. Coleman, Deborah A. Frank, Mariana Chilton, Maureen Black, Timothy Heeren, Justin Pasquariello, Patrick Casey, Eduardo Ochoa, Diana Cutts; Unstable Housing and Caregiver and Child Health in Renter Families. *Pediatrics* February 2018; 141 (2): e20172199.

10.1542/peds.2017-2199

<sup>2</sup> Nkosi, V., Haman, T., Naicker, N. et al. Overcrowding and health in two impoverished suburbs of Johannesburg, South Africa. *BMC Public Health* 19, 1358 (2019). <https://doi.org/10.1186/s12889-019-7665-5>

<sup>3</sup> Philips, S. (2014, February 14). *Drive till you disqualify: Will businesses continue hiring super-commuters?* Planetizen Blogs. Retrieved January 18, 2023, from <https://www.planetizen.com/node/67379?fbclid=IwAR3tgggnmRVHfeaLWY7J4OgJqIWvgz010gN6wKTTCUofD52st99PfIaId14>; Robert Wood Johnson Foundation. County Health Rankings 2012. [www.countyhealthrankings.org](http://www.countyhealthrankings.org).

*Gross Floor Area Calculation* - As noted above, the subject property has a unique configuration as the lot slopes diagonally downward as you move north from the back corner of the property at the alley. Per KMC 17.08.020, the gross floor area of a project includes the horizontal area of a building “not including basements, underground parking areas or open unenclosed decks”. The proposed project is unique as the ground floor includes habitable space that falls under the definition of basement and underground parking that counts toward gross floor area because of the ceiling height. Per KMC 17.04.040 – *Interpretation* in the instance of overlapping regulations covering the same subject matter, “the more restrictive or higher standards or requirements shall govern”. As such, there is 954 SF of habitable square feet not exempt as a basement and 4,698 SF of underground parking that is not exempt. Sheet A1.2 of Attachment B shows the lower-level gross floor area calculation in plan view for explanation.

#### *Design Review Standards*

In general, the proposed project meets many of the design review standards as outlined in the two subsections. Staff has concerns related to a few of the standards, as outlined below.

*Activation of Ground Floor* - Per KMC 17.96.060.B.2 and 3, “2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.” and “3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.” These two standards serve to demonstrate the importance of creating an active and interesting pedestrian environment. Staff has concerns that the ground floor façade of the building along Sun Valley Rd and the portion of N 1st Ave closest to Sun Valley Rd do not meet the intent of this standard as the architectural design of the project does not engage with pedestrians and serves more to privatize the space for residents and guests than create an environment that is active and interesting for pedestrians.

Staff understands that the interior program of the building is driving the façade configurations, however, the proposed façade on the Sun Valley Rd side of the project does not meet the city’s design review objectives. The proposed façade does not include any significant fenestration, only small windows at the top of the ground floor which do not resemble storefront like windows. Sun Valley Rd is one of our more heavily traveled corridors by pedestrians. This intersection is the location of three new projects that intensely serve to engage pedestrians with the Maude’s retail and coffee shop on one corner, a new office building on another that has well-articulated store front facades on both street frontages, and the relocation of GLOW café to a new building on Sun Valley Rd across from Maude’s.

On the corner of the proposed development, the private patio has a solid stone veneer seat wall that is approximately 36 inches high at the tallest point and doubles as a planter. The proposed vegetation per Sheet L3.0 indicates flowering crab trees with a variety of shrub species in between. Staff has concerns related to the type of shrub species as some can grow to be very tall if unattended, specifically the Peking Cotoneaster and the Snowberry which can grow between 3-6 feet. The Flowering Crab trees, although very beautiful, are not very tall. These trees, combined with the height of the wall and recommended planting scheme could result in a tall hedge like row along the ground floor in this area which would obscure views in the windows of the ground floor. KMC 17.124.130 outlines that in the CC zone district “fences, hedges and walls shall not exceed four feet in height when located less than 30 feet from the front lot line and shall not exceed six feet in height when located more than 30 feet from the front lot line.”

Staff believes additional consideration should be given to how the building and exterior spaces interfaces with the street. Staff believes the outdoor space on the corner is a huge asset, but would encourage the applicant consider a public plaza rather than private outdoor space. This would engage pedestrians and provide patrons of the surrounding businesses additional seating opportunities on a key intersection of the downtown.

*Bulk and Flatness of the Building (N 1<sup>st</sup> Ave)* - As the subject property is three Ketchum Townsite lots, and the building is maximizing the allowable north/south footprint, the resulting building is 165 feet long on the N 1<sup>st</sup> Ave side. KMC Criteria 17.96.050.F.5 states “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness”. Staff acknowledges that the building steps back from N 1<sup>st</sup> Ave to the alley at each level in a wedding cake fashion, however, the N 1<sup>st</sup> Ave façade appears very large and flat due to the length of the building and the repetitive nature of the architectural design on the 2<sup>nd</sup> and 3<sup>rd</sup> levels. Additionally, the sides of the building do not step in which accentuates the bulk of the building. At the 3<sup>rd</sup> level specifically, the pattern of windows are identical and run from one end of the façade to the other with little separation or break except for the center staircase. Even with the center staircase and its architectural emphasis, the building still carries a significant amount of bulk because of the identical form of each side. Fenestration is generally encouraged in buildings, particularly on ground floors. However, the amount of fenestration in this building is significant which diminishes opportunities for undulation or relief.

The flat roof form is also identical on both sides with the only variation in the center where the roof drops slightly and there is a transparent railing along the rooftop deck. The roof design, coupled with the repetitive consistent windows, makes the building still feel large even with the step back of the façade. A standard Ketchum Townsite lot is about 55 feet wide, which when developed individually, creates a unique built environment as each building is a little different with changes in materials, architectural elements, style, and building height. The proposed building lacks some of this differentiation that is key to reducing the bulk and flatness of the upper floors. Staff believes further consideration of the undulation and relief of the building is important to reduce the bulk and flatness of the building.

*Bulk and Flatness of the Building (East Elevation - Interior Lot Line)* - The Commission has paid special attention to interior walls that are exposed due to adjacent buildings that are of smaller scale than the proposed project. This is especially important when adjacent buildings are one-story structures adjacent to a three-story structure. Although staff believes the step back nature of the project mitigates some of these concerns, staff does have concern about the lack of material variation on the east elevation shown on Sheet A8. The grey metal paneling proposed is an extension of the material on the front face of the 2<sup>nd</sup> floor deck and used as an accent on the some of the window projections on the Sun Valley Rd side of the building. Staff recommends more variation in materials or a step back of the third floor of the building on the east side to reduce the flatness of the façade at that location.

*Materials Palette* - KMC standard 17.96.060.E.1 states “The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures”. Staff acknowledges that many of the proposed materials such as stone veneer, wood siding, and metal paneling are represented in projects in adjoining structures that existing or are under construction. However, many of the surrounding buildings have a warmer color palette and/or accents of warm wood elements that soften the appearance of the building. As mentioned above, the N 1<sup>st</sup> Ave façade seems to have little variation due to the amount of fenestration and the building feels long and bulky. The project does propose a cedar wood siding on the underside of the 2<sup>nd</sup> floor balcony, however, this

element is understated and could be highlighted on other portions of the façades to lighten the size of the building. For instance, some of the more recent buildings have beam accents on balcony railings, under awnings, or vertical elements at corners. Staff recommends consideration of additional wood elements on the facades.

### **Staff Recommendation**

After considering the application materials provided as attachments, the applicant's presentation, and any public comment received, staff recommends the Commission provide feedback to the applicant on the proposed Sawtooth Serenade project.

### **Attachments:**

- A. Application Materials and Applicant Narrative
- B. Design Review Plan Set
- C. Story Pole and Staking Diagram
- D. Interim Ordinance 1234 Analysis
- E. Public Comment



City of Ketchum

# ATTACHMENT A:

## Application Materials and Applicant Narrative



**City of Ketchum**  
**Planning & Building**  
*pcl - APP*  
**Design Review Application**

Please submit your completed application electronically to: [planningandzoning@ketchumidaho.org](mailto:planningandzoning@ketchumidaho.org)

<b>OFFICIAL USE ONLY</b>	
PZ2-056	Date Filed: 8/17/22
By: <i>Sawtooth Serenade</i>	Design Review Fee Paid:
\$1100	By:

<b>APPLICANT INFORMATION</b>			
Project Name: <b>Sawtooth Serenade</b>		Phone: 425-828-0333	
Owner: Scott and Julie Lynch & Yahn Bernier and Elizabeth McCaw		Mailing Address: Lynch - 409 5th Ave W, Kirkland, WA 98033	
Email: scott@lynchclan.com and yahnbernier@valvesoftware.com		Bernier - 321 82nd Ave NE, Medina, WA 98039	
Architect/Representative: Thielsen Architects - Dave Thielsen		Phone: 425-828-0333	
Email: dave@thielsen.com		Mailing Address:	
Architect License Number: AR-986776		720 Market Street, Suite C, Kirkland, WA 98033	
Engineer of Record: Galena Engineering - Sean Flynn		Phone: 208-788-1705	
Email: sflynn@galena-engineering.com		Mailing Address:	
Engineer License Number: 12497		317 North River St, Hailey, ID 83333	
Primary Contact Name and Phone Number: Thielsen Architects - Robert Connor - 425-828-0333 robertc@thielsen.com			
<b>PROJECT INFORMATION</b>			
Legal Land Description: Ketchum Townsite Block 38, Lot 5A		Street Address: 260 1st Avenue	
Lot Area (Square Feet): 16,507		Zoning District: CC - Subdistrict 2	RPK #: RPK0000038005A
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Residential and A-2 Assembly Food Service		Number of Residential Units: 2	
<b>GROSS FLOOR AREA</b>			
	Proposed	Existing	
Basements	8,696.22	Sq. Ft.	Sq. Ft.
1 <sup>st</sup> Floor	4,587.21	Sq. Ft.	Sq. Ft.
2 <sup>nd</sup> Floor	9,961.21	Sq. Ft.	Sq. Ft.
3 <sup>rd</sup> Floor	8,334.21	Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	22,882.63 - 31,578.85 with basement	Sq. Ft.	Sq. Ft.
<b>FLOOR AREA RATIO</b>			
Community Core: 1.39	Tourist:	General Residential-High:	
<b>BUILDING COVERAGE/OPEN SPACE</b>			
Percent of Building Coverage: 80.6%			
<b>DIMENSIONAL STANDARDS/PROPOSED SETBACKS</b>			
Front: 11.79' average	Side: 14.95' average	Side: 0'-6"	Rear: 3'-0"
Building Height: 41.95' on 1st Avenue side and 41.97' on alley side			
<b>OFF STREET PARKING</b>			
Parking Spaces Provided: 5	Curb Cut: Alley access	Sq. Ft.	%
<b>WATER SYSTEM</b>			
<input checked="" type="checkbox"/> Municipal Service	<input type="checkbox"/> Ketchum Spring Water		

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

08/11/2022

Date

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August 11, 2022

Design Review Committee  
City of Ketchum  
480 East Avenue North  
Ketchum, ID 83340.

RE: Sawtooth Serenade, 260 1<sup>st</sup> Avenue, Ketchum ID

Dear Design Review Committee Members and Planning Staff,

On behalf of our clients, Scott and Julie Lynch, and Yahn Bernier and Beth McCaw, I am pleased to present their proposed new residences for Pre-Application Design Review. My clients have been active members of the Ketchum community since 1989. They are excited to move forward with their proposed new homes as they prepare for the next phase of their lives.

#### **BACKGROUND**

The Lynches and Berniers currently own the two center condominiums in Copper Ridge, directly across the alley from their 260 1<sup>st</sup> Avenue property. Both couples are semi-retired and currently spend a considerable amount of time in Ketchum year-round with their grown and teenage children, and extended family and friends. Due to the size of their extended families and their friend gatherings, the Lynches and Berniers now must often stagger their time in Ketchum, allowing one couple or the other to have full access to both of their Copper Ridge condominiums. As they prepare for full retirement, they would like to build homes that better support their families and the time they intend to spend in Ketchum together.

Both families are active sports and outdoor enthusiasts, who in addition to enjoying snow sports, also golf, bike, kayak, fly fish and hike. Those pursuits are reflected in the space planning, but do not fully capture the intended use of all the designed spaces within their Sawtooth Serenade building.

The Lynches and Berniers are active and generous philanthropists in their Northwest communities, and are building those relationships in Ketchum, where Beth is a member of the Wood River Women's Foundation and both couples are members of the Sun Valley Center for the Arts. During the design process, Beth, Yahn, Julie and Scott requested that a gathering place be incorporated into their project which would be used for fundraising and other philanthropic events. Thus, The Commons and The Commons Court and Events Center was conceived and incorporated into the proposed design.

#### **OWNER DESIGN CONSIDERATIONS**

During project programming and planning, Scott, Julie, Yahn and Beth stressed their desire to create a building that met their functional needs while keeping an open and human scale at street level. They specifically asked for the building forms to step back from 1<sup>st</sup> Avenue, and that there be ground level outdoor space and significant landscaping accenting the building.

As a result of that design criteria, the lower level does not maximize the buildable footprint of the lot, and each level above it steps back from 1<sup>st</sup> Avenue. This design approach opens the street and sidewalk to the sky, reducing the visual scale of the building. That open feeling is heightened by the courtyard on the corner of 1<sup>st</sup> Avenue and

**Ketchum Design Review Committee**

**Sawtooth Serenade**

**August 11, 2016**

**Page 2 of 2**

Sun Valley Road, which visually opens that intersection. Cable railings at the decks further reduce the visual impact of the upper levels as they step back from the street.

As the building steps back from 1<sup>st</sup> Avenue, it also steps up in height. The upper-level roof is at the maximum building height at the rear, but that height is similar to the height of Copper Ridge's roof, directly across the alley. As previously noted, the two center condominiums in Copper Ridge, which would be most affected by the construction of the Sawtooth Serenade, are owned by the Lynches and Berniers. The Berniers and Lynches have no intention of selling those units before Sawtooth Serenade is complete.

Extensive planters and landscaping at the ground level soften the building and give a varied and pleasant pedestrian experience at the sidewalks. The large planter on the middle level over The Commons Court will bring a subtle organic balance to the masonry forms anchoring that corner of the building. The landscaped planters on the easterly and westerly corners of the upper-level decks again soften the building corners while providing some privacy for the primary bedrooms. While not visible from street level, most roof areas of the Sawtooth Serenade will be a "green roof", planted with sedums. This type of roof requires little maintenance or irrigation while reducing storm water runoff and summer heat reflectance.

To further enhance the pedestrian experience, the Lynches and Berniers anticipate installing a piece of freestanding public art on their property along 1<sup>st</sup> Avenue. They intend to select a piece that reflects the community's connection to the ski heritage which has marked Ketchum and the Valley as one of the most inviting and beautiful ski communities in the world.

**EXTERIOR MATERIALS**

The Berniers and Lynches wanted building materials that had both human scale and rich textural elements. The full bed stone masonry base of the building addresses those wishes, while the transparent storefront glazing of The Commons reveals the vibrancy of that space. Natural wood siding on the middle and upper floors lightens the building while complementing the natural stone. The self-healing, pre-aged zinc metal siding accents the natural materials on the two street facades while providing a durable and low maintenance finish elsewhere.

While not coordinated, the Lynches and Berniers were pleased to learn that their building will have similar forms and materiality as the recently approved 1<sup>st</sup> & Sun Valley Office Building, which will be built across the street from them. Each building stands on its own merits but will complement the other and contribute to an overall continuity and fabric of development along 1<sup>st</sup> Avenue.

**CONCLUSION**

On behalf of Beth, Yahn, Julie and Scott I want to thank you in advance for your thoughtful consideration of their new homes. They are excited to further strengthen their long-standing community ties and begin building their new homes in a town they love.

Respectfully,



David G. Thielsen, AIA

September 28, 2022



ROBERT CONNOR  
720 MARKET ST C  
KIRKLAND, WA 98033

To whom it may concern,

Thank you for your inquiry about electrical service at 260 N 1ST AVE  
KETCHUM, ID 83340

The property is located within Idaho Power's service area in the state of Idaho

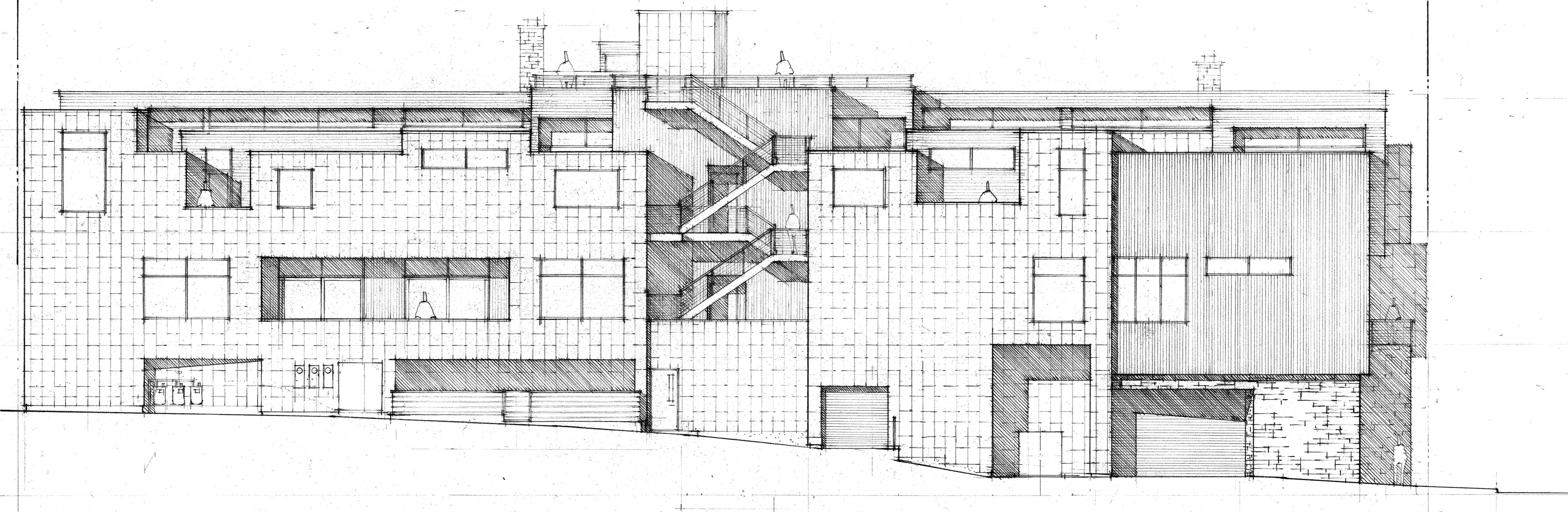
Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

The attached architectural plan dated 9/21/22 from Thielsen Architects has been reviewed by Idaho Power and does meet space and clearance requirements for this three phase padmount transformer to be installed on property if required. The hinged non-combustible screening panels are allowed providing the transformer front is not limited by and gate posts. Transformer doors must open fully.

Sincerely,

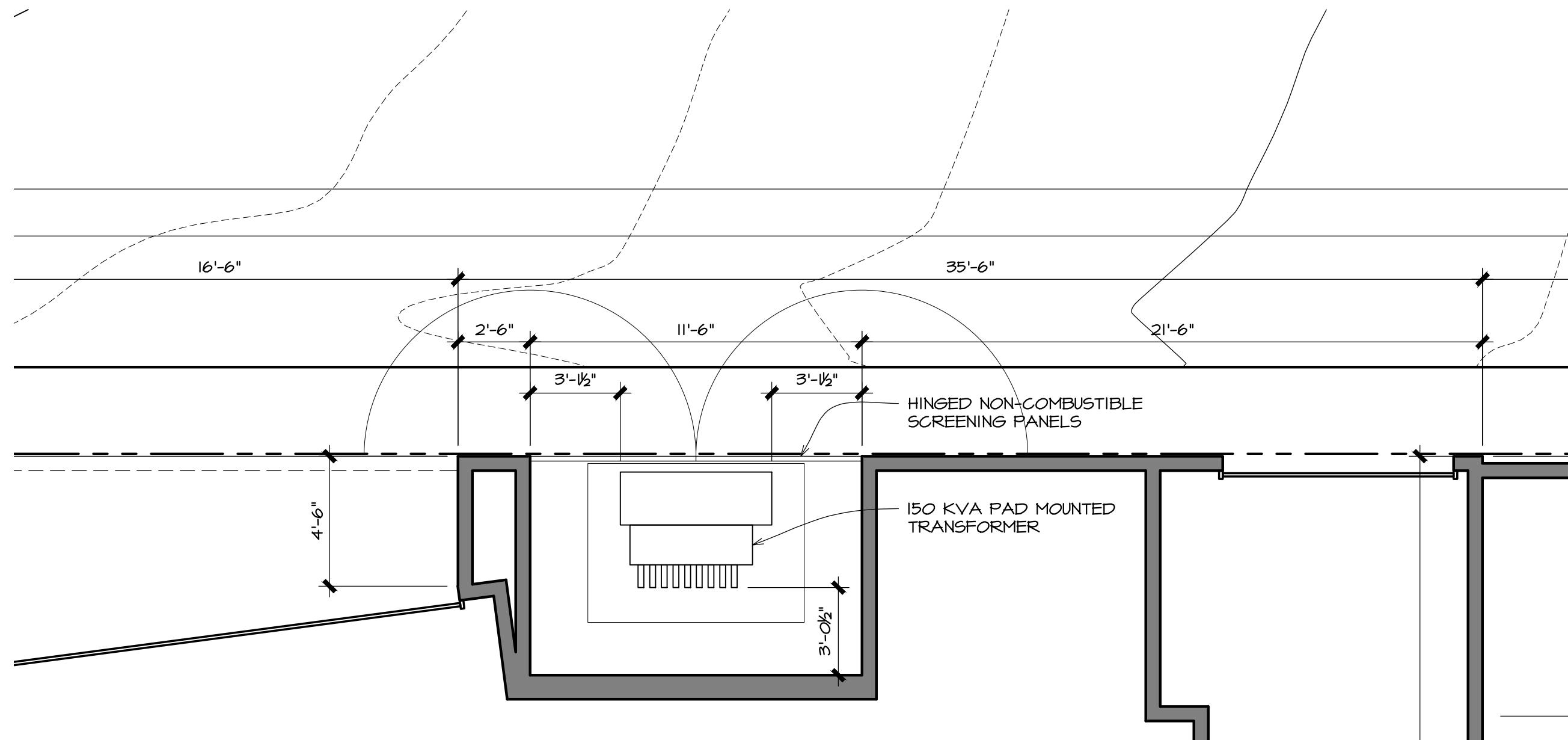
Cyndi Bradshaw

Cyndi Bradshaw  
PO Box 3909  
Hailey ID 83333



H O R I Z O N T A L E L E V A T I O N

$\frac{1}{8}'' = 1'-0''$



## LOWER LEVEL PLAN AT TRANSFORMER

1/4" = 1'-0"

Sheet Title:  
PARTIAL LOWER  
LEVEL PLAN  
PLAN

Sheet:  
**A3.1**  
Project No.  
2002

**Thigerson**  
A R C H I T E C T S  
Kirkland, WA 98033 ▶ Tel 425.828.0333 ▶ Fax 425.828.9376

Project:  
SAWTOOTH SERENADE  
260 N 1ST AVE  
KETCHUM, ID

Issue Date:  
09-21-22  
Drawn:  
RBC  
Revised:

## **Robert Connor**

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**From:** Mike Goitiandia <mike@ccdisposal.com>  
**Sent:** Tuesday, July 5, 2022 10:41 AM  
**To:** Robert Connor  
**Subject:** RE: 260 1st Ave Project

Robert,

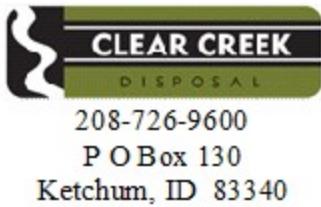
Good Morning.

Any dumpster that is to be moved out of the building to the alley will require a glider. The measurements from front to back of the dumpster will about the same as the glider, it will be just enough bigger to set the dumpster on it. Dumpster size can be found on our website at: [Containers - Clear Creek Disposal \(ccdisposal.com\)](http://Containers - Clear Creek Disposal (ccdisposal.com)). The requirements for length of the glider to get out to the alley would be the same for any dumpster utilized. The glider will extend to 1' less than its length and will be built custom for this building. Please keep in mind that a truck 8' wide will center itself to the dumpster in the extended position. There should be an 18" clearance between the building and/or any obstruction on the building and the side of the truck. This space is a requirement so as to "not" damage any real property on site. Once we start looking at the more complete design we can determine if 18" inches is sufficient.

I believe that this should give you enough to get a good start on the room drawings. As far as the size of dumpster the only requirement is that it have enough capacity to handle the buildings requirements. **This is a measure of the building mix, for example a residential unit should expect to utilize a minimum of .375 cubic yards per week.** Once you provide me with the mix, I will be happy to give you an estimate of volume needed. Dumpster service is available Monday through Friday on a schedule that works for the building.

Mike

*Miguel Goitiandia*



---

**From:** Robert Connor <robertc@thielsen.com>  
**Sent:** Friday, July 1, 2022 5:04 PM  
**To:** Mike Goitiandia <mike@ccdisposal.com>  
**Cc:** Dave Thielsen <davet@thielsen.com>  
**Subject:** RE: 260 1st Ave Project

Mike,

Thank you for the .pdf. It is helpful to understand the type of device you would like to use. All of the dumpsters in the attachment were 4 cu. yd. There was a table to get down to the size required for a 3 cu. yd., but nothing about 1.5 cu. yd. requirements. We have two questions. Is a garbage glider required for a 1.5 cu yd. dumpster and if so, what are the space requirements for that?



City of Ketchum

# ATTACHMENT B:

## Design Review Plan Set

# SAWTOOTH SERENADE



VIEW FROM THE CORNER OF 1ST AVENUE AND SUN VALLEY ROAD

## PROJECT TEAM

### OWNERS:

Scott and Julie Lynch  
409 5th Avenue West  
Kirkland, WA 98033

### Yahn Bernier and Elizabeth McCaw

321 82nd Avenue Northeast  
Medina, WA 98039

### PROJECT ADDRESS:

260 N 1st Ave  
Ketchum, ID 83340

### ARCHITECT:

Thielsen Architects, Inc. P.S.  
720 Market Street, Suite C  
Kirkland, WA 98033  
(425) 828-0333 fax (425) 828-9376  
Contact: Robert Connor

### GEOTECHNICAL ENGINEER:

Steve Butler & Associates  
208 Spruce Avenue North  
Ketchum, ID 83340  
(208) 720-6432  
Contact: Steve Butler

### STREET LIGHTING DESIGNER:

The MH Companies  
2995 North Cole Road, Suite 115  
Boise, ID 83704  
(208) 609-3722  
Contact: Carson Fillin

### LANDSCAPE ARCHITECT:

Eggers Associates  
P.O. Box 953  
Ketchum, ID 83340  
(208) 725-0988  
Contact: Kurt Eggers

### LIGHTING DESIGNER:

AD Group  
16074 N. 78th Street, Suite B104  
Scottsdale, AZ 85260  
(888) 296-0950  
Contact: Kevin Flower

### SITE LIGHTING DESIGNER:

The MH Companies  
2995 North Cole Road, Suite 115  
Boise, ID 83704  
(208) 609-3722  
Contact: Carson Fillin

### CIVIL ENGINEER:

Galena Engineering  
317 N River Street  
Hailey, ID 83333  
(208) 788-1705  
Contact: Sean Flynn

### STRUCTURAL ENGINEER:

SSF Engineers  
934 Broadway Ave  
Tacoma, WA 98402  
(253) 284-9470  
Contact: Ryan Reichman

### LAND SURVEYOR:

Galena Engineering  
317 N River Street  
Hailey, ID 83333  
(208) 788-1705  
Contact: Mark Phillips

### LAND USE ATTORNEY:

Lawson Laski Clark, PLLC  
675 Sun Valley Road, Suite A  
Ketchum, ID 83340  
(208) 725-0055  
Contact: Jim Laski

## DRAWING INDEX

- A0.1 Cover Sheet
- A0.2 Exterior Rendering
- A0.3 Exterior Rendering
- A0.4 Exterior Rendering
- A0.5 Exterior Rendering
- A1.1 Site Plan
- A1.2 Lower Level Setback Plan
- A1.3 Middle Level Setback Plan
- A1.4 Upper Level Setback Plan
- A1.5 Roof Level Setback Plan
- A1.6 Lower Floor Dimension Plan
- A2 Lower Floor Plan
- A3 Middle Floor Plan
- A4 Upper Floor Plan
- A5 Clerestory Plan
- A6 Roof Deck Plan
- A7 Exterior Elevations
- A8 Exterior Elevations
- A9 Building Sections
- A10 Building Sections
- A11 Building Sections
- A12 Exterior Materials
- A13 Construction Plan
- EL1 Lower Level Lighting Plan
- EL2 Middle Level Lighting Plan
- EL3 Upper Level Lighting Plan
- EL4 Roof Deck Lighting Plan
- EL5 Lower Level Photometric Plan
- EL6 Middle Level Photometric Plan
- EL7 Upper Level Photometric Plan
- EL8 Roof Deck Photometric Plan
- EL9 Electrical Specifications
- EL10 Electrical Specifications
- EL11 Electrical Specifications
- EL12 Electrical Specifications
- ES1 Street Lighting Photometric Plan
- C0.10 Cover Sheet
- C0.20 Topographic Survey
- C0.30 Neighboring Buildings Plan
- C0.90 Site Demolition Plan
- C1.00 Site Plan
- C1.10 Grading Plan
- C1.20 Civil Details
- C2.00 Drainage and Utilities Plan
- C2.10 Civil Details
- L3.0 Lower Level Landscape Plan
- L3.1 Middle Level Landscape Plan
- L3.2 Upper Level Landscape Plan
- L3.3 Roof Level Landscape Plan

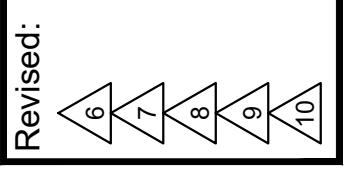
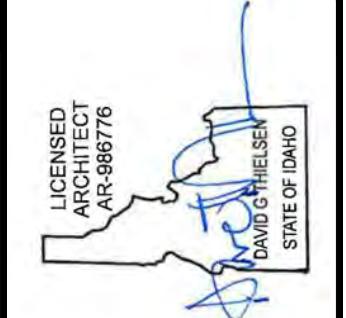
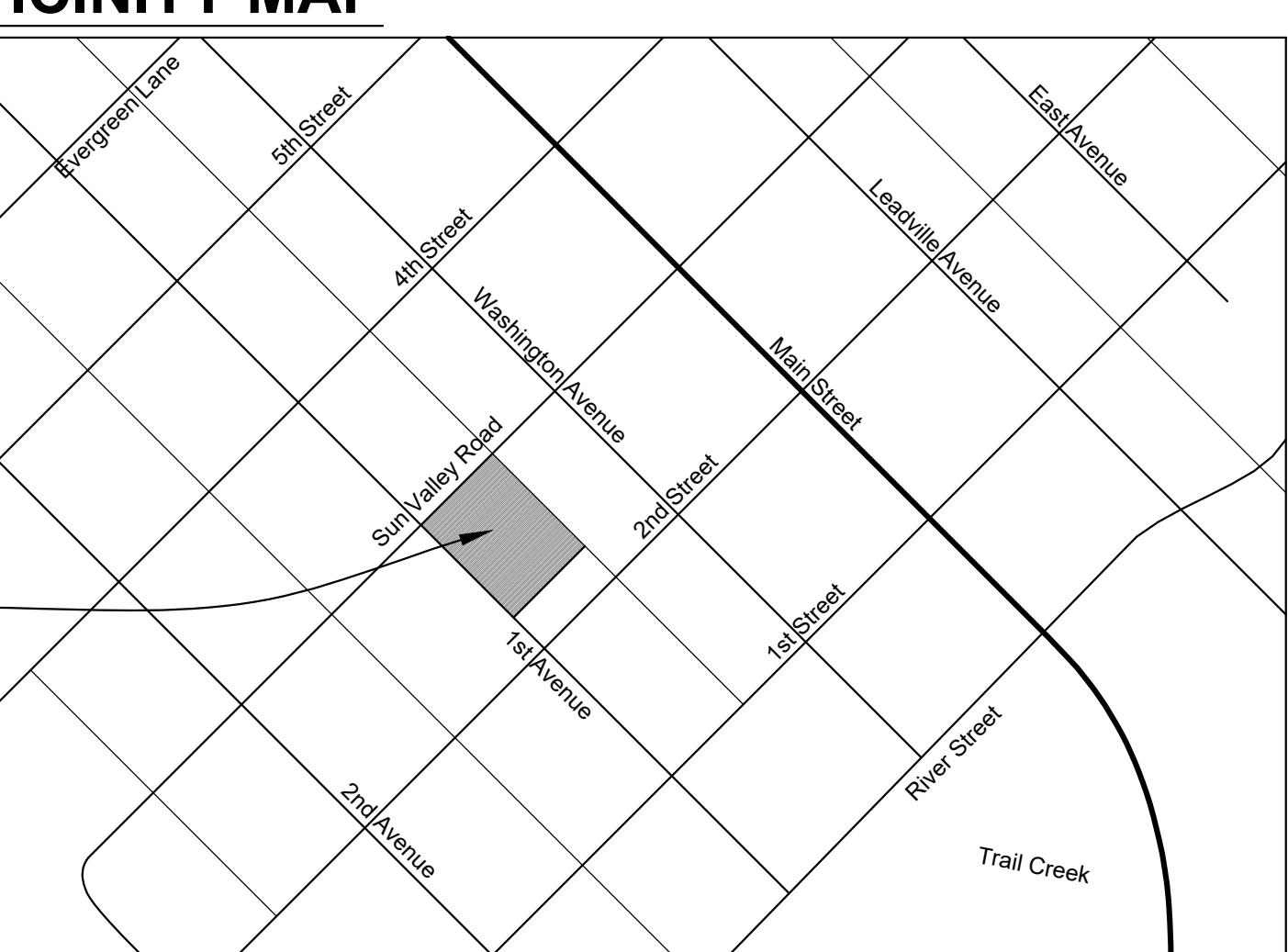
**Thielsen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376

Project:  
**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
**COVER SHEET**  
.....  
.....

Sheet:  
**A0.1**  
Project No.  
2002

## VICINITY MAP



Drawn: 08/10/22  
Checked: -----  
Construction Set Issued: -----

# SAWTOOTH SERENADE



EVENING VIEW FROM THE CORNER OF 1ST AVENUE AND SUN VALLEY ROAD

**Thieissen**

A R C H I T E C T S

Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376

Project:  
SAWTOOTH SERENADE  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
EXTERIOR RENDERING  
.....  
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Sheet:

A0.2

Project No.  
2002

Revised:  
09/30/22  
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Construction Set Issued:  
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LICENSED  
CO.  
AV. #88776  
STATE OF IDAHO  
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.....

# SAWTOOTH SERENADE



VIEW FROM THE CORNER OF 1ST AVENUE AND 2ND STREET

LICENSED  
CT  
AV-#88776  
STATE OF IDAHO  
SARAH JANE

Revised:  
6  
5  
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Revised:  
1  
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Drawn: 08/10/22  
Checked: ----  
Construction Set Issued: ----

**Thieissen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376

Project:  
SAWTOOTH SERENADE  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
EXTERIOR RENDERING  
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Sheet:  
A0.3  
Project No.  
2002

# SAWTOOTH SERENADE



VIEW ACROSS 1ST AVENUE

Project:  
**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
EXTERIOR RENDERING  
.....  
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Sheet:

**A0.4**

Project No.  
2002

Revised:  
6  
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1  
09/30/22  
Checked: -----  
Construction Set Issued: -----

**Thieissen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9316

LICENSED  
CO.  
AV-#88776  
STATE OF IDAHO  
S. David Thieissen

# SAWTOOTH SERENADE



VIEW LOOKING SOUTH DOWN SUN VALLEY ROAD

A0.5

Project No.  
2002

Project:  
SAWTOOTH SERENADE  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
EXTERIOR RENDERING  
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**Thieissen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376

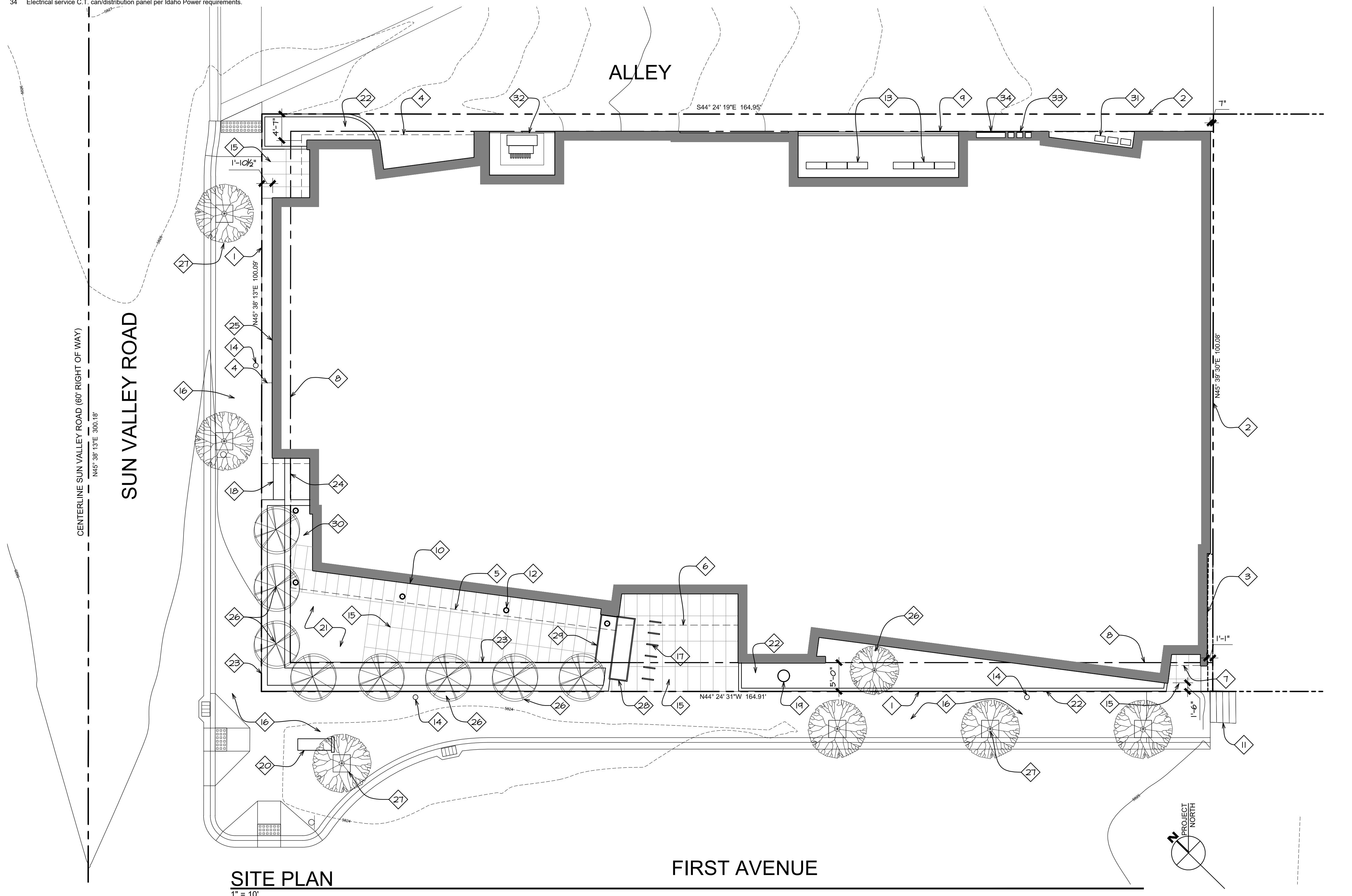
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Revised:  
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LICENSED  
CO.  
ID #488776  
STATE OF IDAHO  
DAVID G. THIEISEN

## KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 Line of cantilevered floor above
- 5 Line of cantilevered deck above
- 6 Line of entry canopy above
- 7 Line of roof above
- 8 5' required average street setback
- 9 3' required alley setback
- 10 Line of building footprint
- 11 Existing stairs to remain unaltered,
- 12 Structural steel column with blackened finish, typical.
- 13 Mechanical system condensers screened from public view with horizontal wood screen
- 14 New public street lighting per City of Ketchum regulations and MH Lighting design drawings.
- 15 Large format sintered stone pavers with hydronic snow melt system.
- 16 New public sidewalk and curb/gutter per civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
- 17 Bicycle racks. 2 bicycle racks required per KZC 17.125.060, racks for 6 bicycles meeting KZC 17.96.070.F.1 provided.
- 18 Built-in public bench
- 19 Public art. Free standing sculpture to be selected and purchased by the project owners.
- 20 Fixed, freestanding public bench
- 21 Artificial turf per Landscape drawings and details.
- 22 Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
- 23 Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter will start 6" above the public bench on Sun Valley Road. Thus, the top of planter will be 23" above the sidewalk at the public bench on Sun Valley Road, 29" above the sidewalk at the corner of Sun Valley Road and 1st, and 36" above public sidewalk at the entry to Sawtooth Serenade.
- 24 48" tall raised planter containing planting per Landscape drawings. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 48" above public sidewalk.
- 25 "Green wall" frame consisting of freestanding greenscreen panels supported by square steel posts, supporting climbing plants per landscape plans.
- 26 Trees per landscape drawings, typ.
- 27 Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details – typical. Root well and grate per civil drawings, typ.
- 28 48" tall raised plate steel planter with blackened finish
- 29 18" tall raised plate steel planter with blackened finish
- 30 Landscaping per landscape plans
- 31 Natural gas meters per Intermountain Gas Company requirements.
- 32 3-phase 150 KVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
- 33 Electrical meters per Idaho Power requirements.
- 34 Electrical service C.T. can/distribution panel per Idaho Power requirements.



## PROJECT DATA

**OWNERS:**  
Scott and Julie Lynch  
409 5th Avenue West  
Kirkland, WA 98033

**Yahn Bernier and Elizabeth McCaw**  
321 82nd Avenue Northeast  
Medina, WA 98039

**PROJECT ADDRESS:**  
260 N 1st Ave  
Ketchum, ID 83340

**APPLICABLE CODES:**  
2018 International Residential Code (I.R.C.)  
2018 International Building Code (I.B.C.)  
2018 International Mechanical Code (I.M.C.)  
2018 International Fire Code (I.F.C.)  
2018 Uniform Plumbing Code (U.P.C.)  
2017 National Electrical Code (N.E.C.)  
2018 International Energy Conservation Code (I.E.C.C.)

**OCCUPANCY:** R-3 (One and Two Family Residences) and A-2 Food and Drink Consumption

**CONSTRUCTION TYPE:** VB

**LEED RATING:** Silver projected

**SPRINKLERED:** YES per NFPA 13 and City of Ketchum Ordinance #1125

**TAX NUMBER:** RPK0000038005A

**LEGAL DESCRIPTION:** Ketchum Townsite Block 38, Lot 5A

**ZONING:** CC-SD2, Lot Area = 16507 sf

**REQUIRED PARKING:** 4 spaces - 2 spaces required per residential unit of 2,001 sf or greater. Building contains 2 residential units of 2,001 sf or greater.

**PARKING PROVIDED:** 5 full sized vehicle spaces per KZC 17.125.030. Because the required parking spaces are located within the building the spaces are dimensioned on the lower level plan. Please see sheet A2.

**REQUIRED STANDARD SETBACKS:**

Front and Street Side Setback: 5' Average  
Alley Setback: 3'  
Interior Side Setback: 0'  
See sheets A1.2, A1.3, A1.4, and A1.5 for actual setbacks

**NET FLOOR AREA SUMMARY:**

Lower Level: 3,828 sf  
Middle Level: 9,476 sf  
Upper Level: 7,797 sf  
Total: 21,101 sf

Lynch Residence Net Floor Area: 8,454 sf  
Bernier Residence Net Floor Area: 8,819 sf

**ALLOWABLE GROSS FLOOR AREA:**

Lower level G.F.A. above basement invisible plane including stair tower and elevator = 954.16 sf  
Parking area = 5,090.32 sf less underground parking area of 392.05 sf  
Parking area G.F.A. = 4,698.27 sf  
Middle level = 10,431.21 sf less stair tower of 375.50 sf and elevator of 94.50 sf  
Middle level G.F.A. = 9,962.11 sf  
Upper level = 8,798.71 sf less stair tower of 375.50 sf and elevator of 94.50 sf  
Upper level G.F.A. = 8,328.71 sf

Lower Level G.F.A. 954.16 sf  
Parking Area G.F.A. 4,698.27 sf  
Middle Level G.F.A. 9,962.11 sf  
Upper Level G.F.A. 8,328.71 sf  
Total G.F.A. 23,942.35 sf

Maximum Allowable Floor Area Ratio 2.25 with Inclusionary Housing Incentive  
Allowable G.F.A.: 16507 x 2.25 = 37140.75 sf  
Actual G.F.A.: 23,942.35 sf (23,942.35 sf < 37140.75 sf)

**REQUIRED FLOOR AREA RATIO INCREASE:**

Lot Area: 16507 sf  
Standard Allowable Floor Area Ratio 1.0  
Allowable G.F.A.: 16507 x 1.0 = 16507 sf  
Actual G.F.A. exceeds standard allowable G.F.A. by 7,435.35 sf  
Required Community Housing = 7,435.35 sf x .20 x .85 = 1,264.01 sf  
Current Fee in Lieu Required = 1,264.01 sf exceedance x \$450/sf = \$568,804.28

**FINISH FLOOR ELEVATIONS:**

Lower Level 5825'-0"  
Middle Level 5842'-6"  
Upper Level 5855'-7½"

**AVERAGE EXISTING GRADE:**

Average Grade at Front (1st Ave)  
Elevation at West Corner: 5824.50'  
Elevation at East Corner: 5825.00'  
Average Grade at Front: 5824.75'

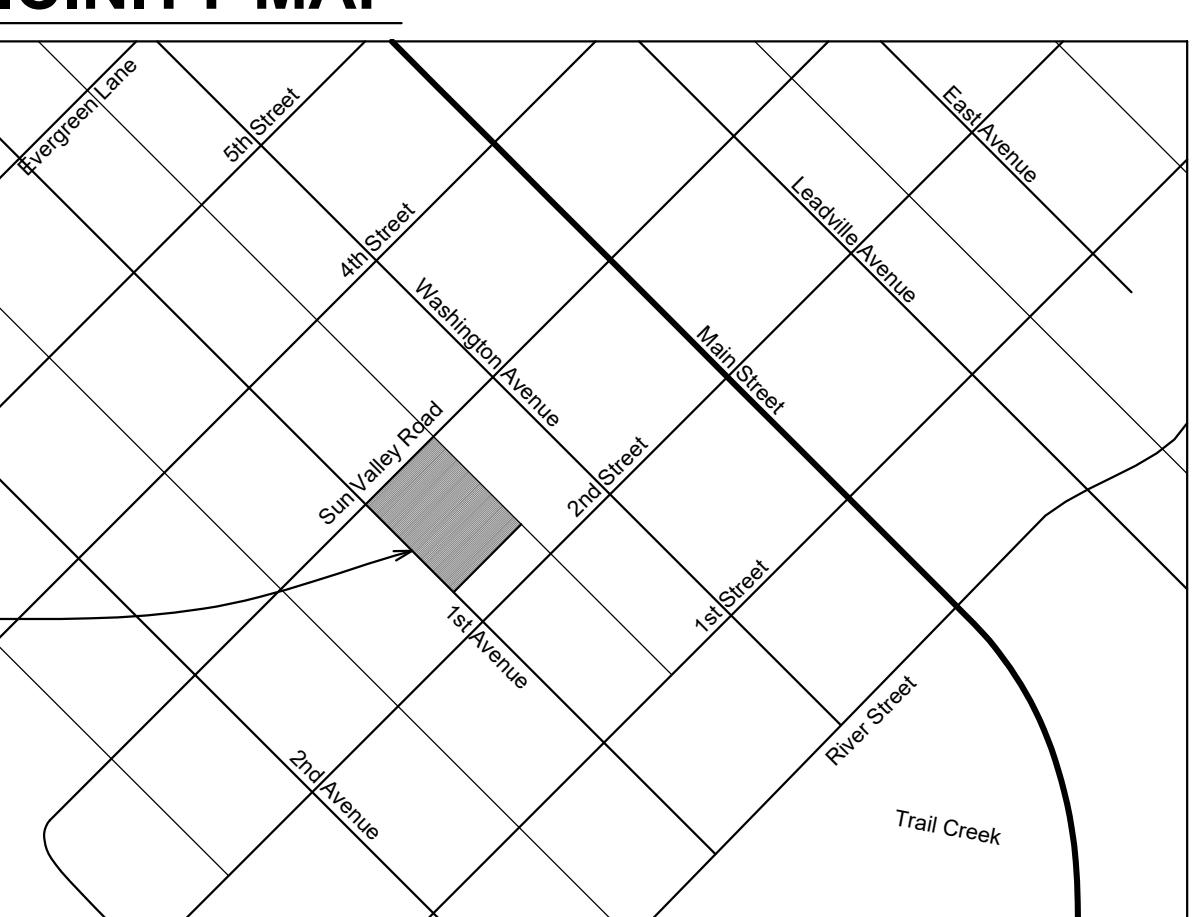
Average Grade at Rear (Alley)  
Elevation at West Corner: 5824.75'  
Elevation at East Corner: 5834.80'  
Average Grade at Rear: 5830.35'

**BUILDING HEIGHT LIMIT:**

Average Grade 1st Avenue: 5824.75'  
Allowable Maximum Height 1st Ave.: 5866.75'  
Actual Maximum Height of Structure: 5866.70'  
Actual Height 5866.70' < Allowable Height 5866.75' so project conforms.

Average Grade Alley: 5830.35'  
Allowable Maximum Height Alley: 5872.35'  
Actual Maximum Height of Structure: 5872.33'  
Actual Height 5872.33' < Allowable Height 5872.35' so project conforms.

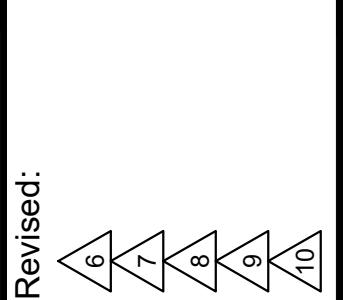
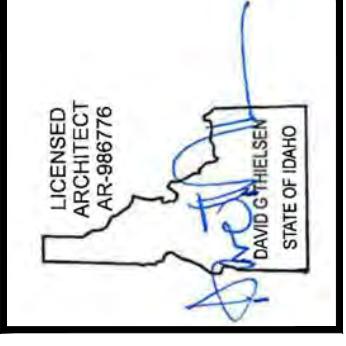
## VICINITY MAP



**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Project:  
**SITE PLAN**

Sheet:  
**A1.1**  
Project No.  
2002

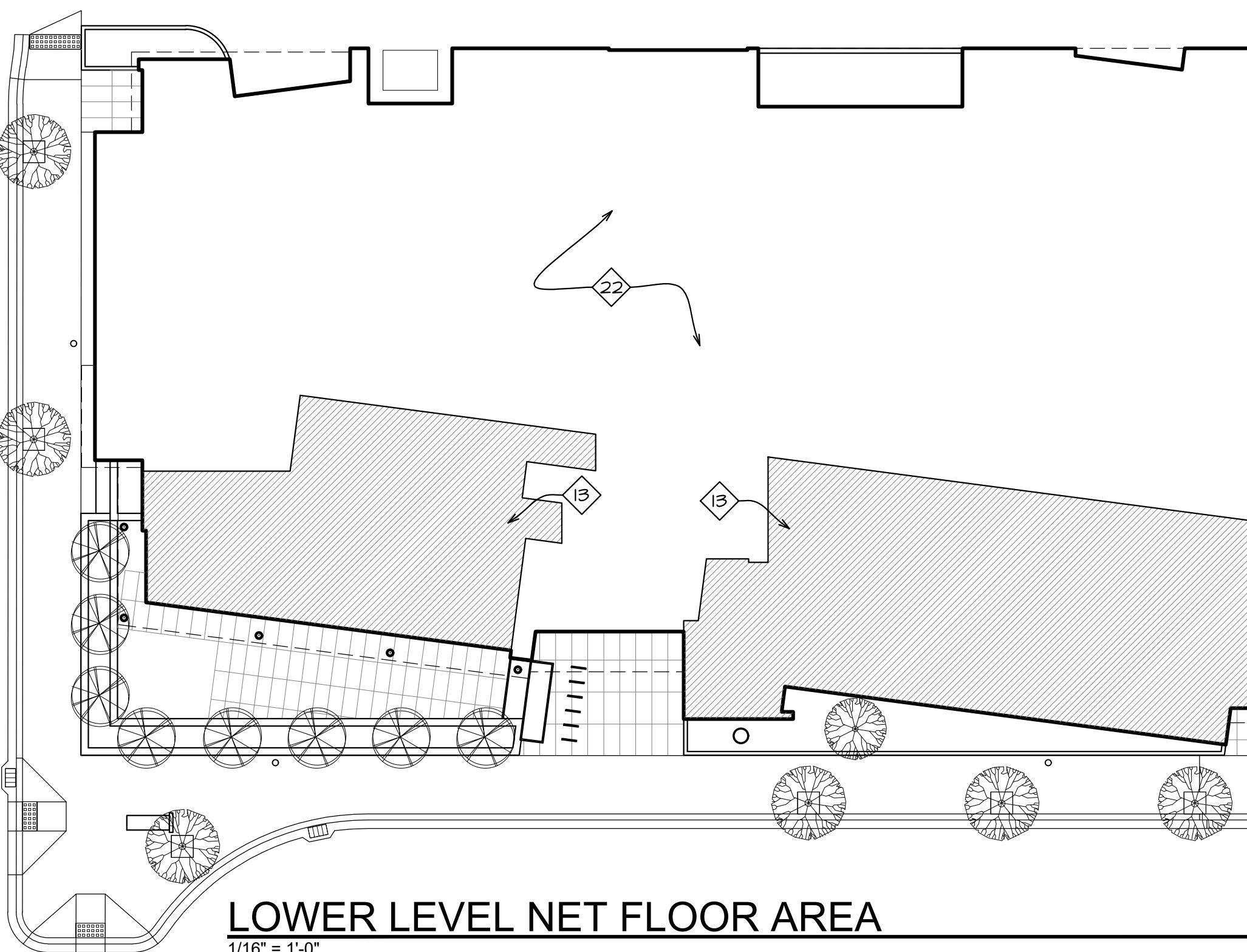
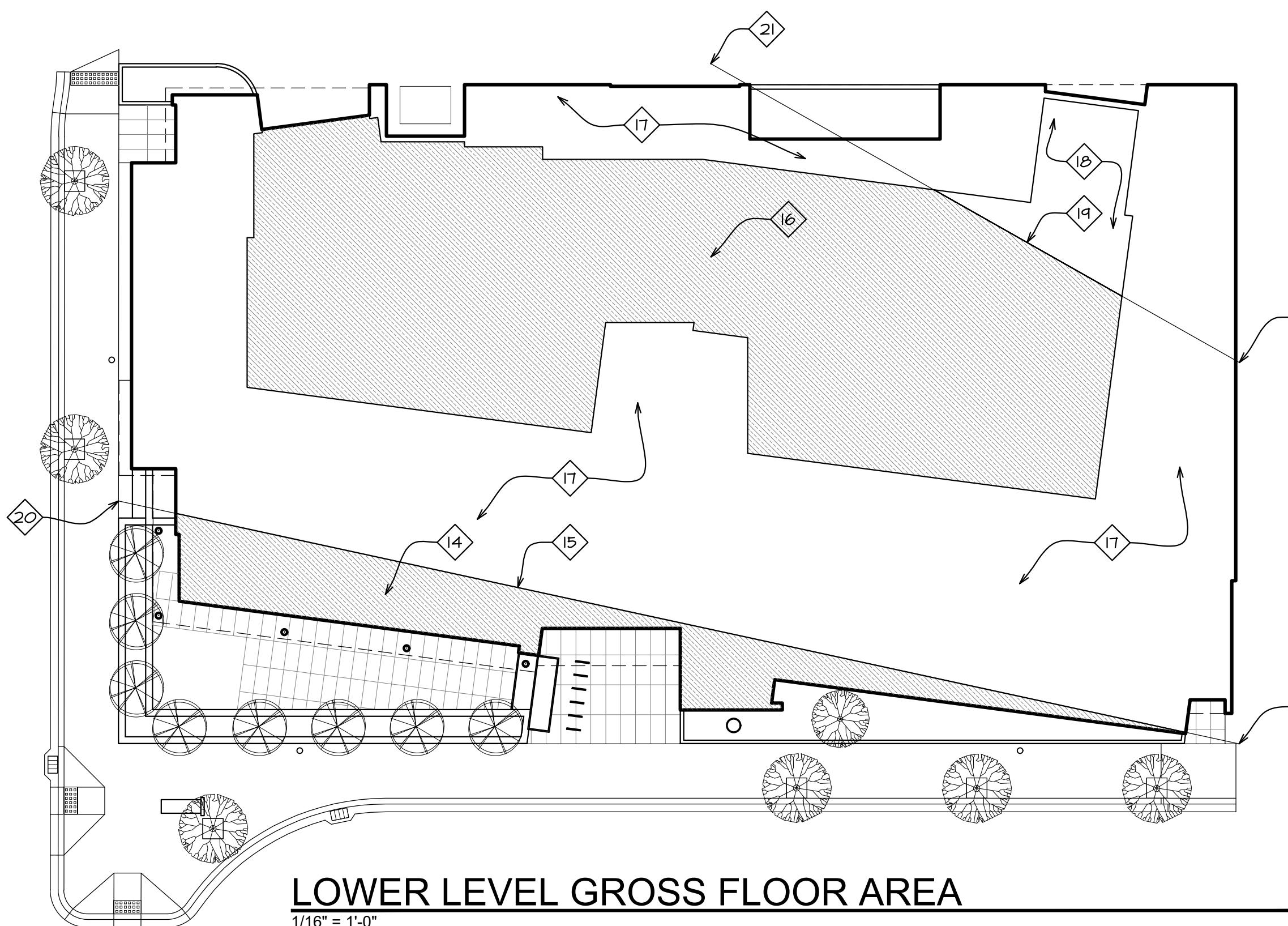


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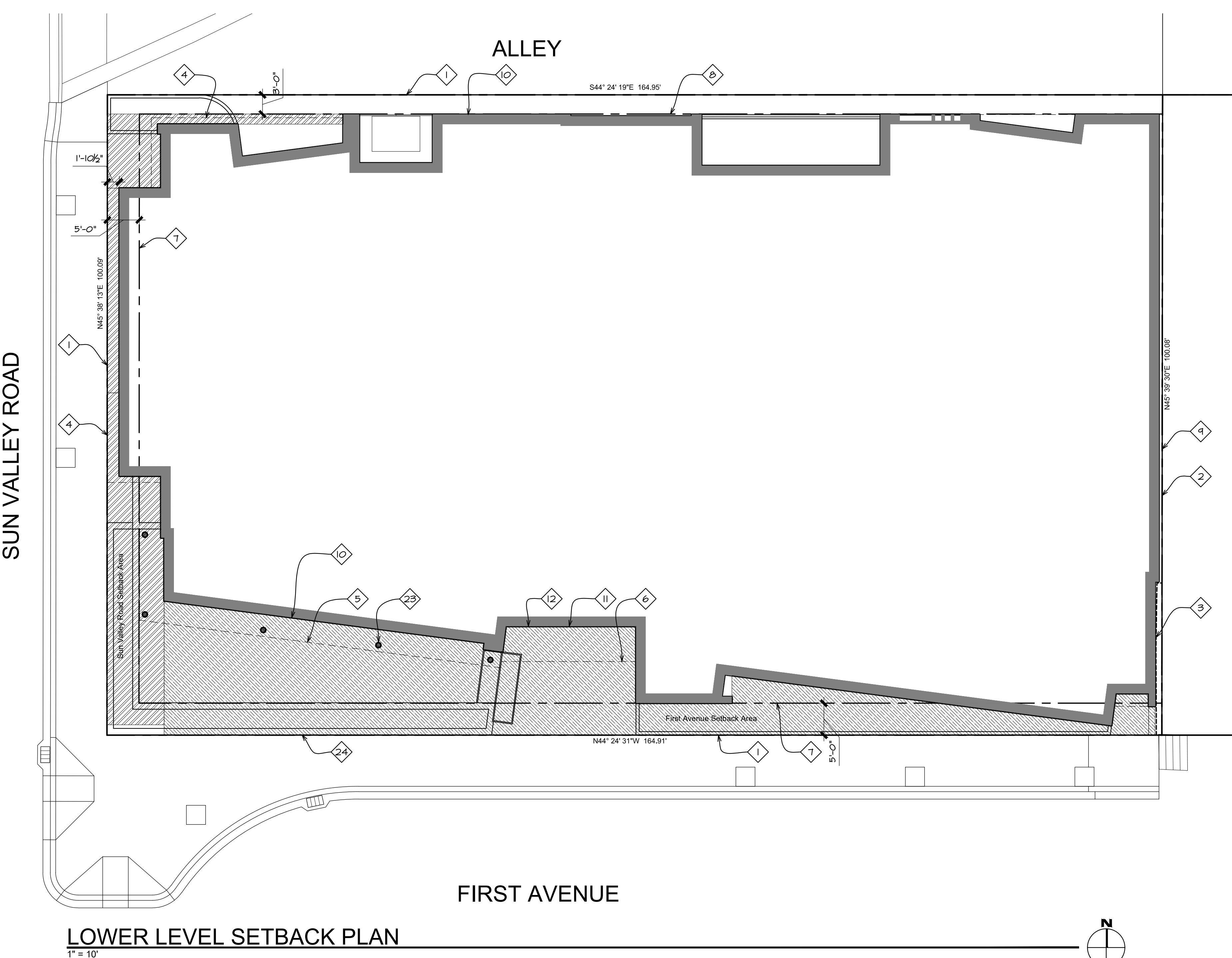
**Thiesen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.838.0333 ▶ fax 425.828.9316

## KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 Line of cantilevered floor above
- 5 Line of cantilevered deck above
- 6 Line of entry canopy above
- 7 5' required average street setback
- 8 3' required alley setback
- 9 0' interior side setback
- 10 Line of building footprint
- 11 Location of building address numbers.
- 12 Location of "The Commons" signage
- 13 Area included as net floor area
- 14 Floor area above basement invisible plane and included in gross floor area calculations per KMC 17.08.020 definition of floor area, gross
- 15 Line where basement invisible plane crosses lower floor finished floor at elevation 5825.0'
- 16 Area of garage counted as gross floor area, not underground parking, per KMC 17.08.020 definition of floor area, gross and underground parking
- 17 Floor area below basement grade plan and excluded from gross floor area calculations per KMC 17.08.020 definition of floor area, gross
- 18 Underground parking floor area with ceiling height less than 4' above basement invisible plane and excluded from gross floor area calculations per KMC 17.08.020 definition of floor area, gross and underg
- 19 Line where basement invisible plane is 4' below garage ceiling.
- 20 Point where basement invisible plane intersects elevation 5825.0' at the property line
- 21 Point where basement invisible plane intersects elevation 5834.0' which is 4' below the ceiling height of the parking area.
- 22 Interior circulation, mechanical, parking, and storage in basement areas excluded from net floor area calculation
- 23 Structural steel column with blackened finish, typical.
- 24 Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to v: and 1st, and 3rd above public sidewalk at the entry to Sawtooth Serenade.



SUN VALLEY ROAD



**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Project:  
**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
**LOWER LEVEL SETBACK PLAN**  
**MASTER SIGNAGE PLAN**  
.....

Sheet:  
**A1.2**  
Project No.  
2002

**SUN VALLEY ROAD SETBACK:**   
Setback Area: 569 sf  
Frontage Length: 95'-5½"  
Average Setback Depth: 5.96'

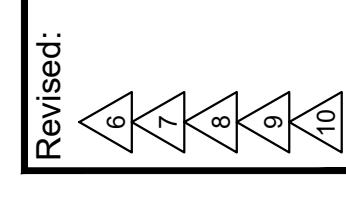
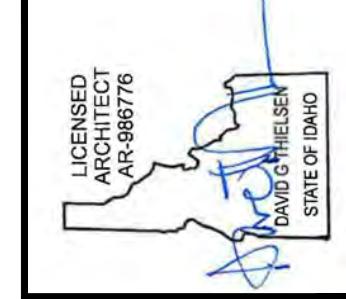
**1ST AVENUE SETBACK:**   
Setback Area: 1714 sf  
Frontage Length: 154'-11"  
Average Setback Depth: 11.06'

**GROSS FLOOR AREA:** 954.16 sf  
**GROSS FLOOR AREA PARKING:** 4,698.27 sf  
**NET FLOOR AREA:** 3,828 sf

**SIGNAGE:**  
**SIGNAGE AREA:**

Maximum area : 1 sq. ft. per 3 linear ft. street frontage or 60 sq. ft. (KZC 17.127.050)  
(Wall) = 219'-11 1/4" (street frontage) / 3 linear ft.  
= 73 sq ft > 60 sq ft.

Proposed Address Signage : 9" x 44" = 396 sq. in. = 2.75 sq. ft.  
(Wall) 2.75 sq. ft. < 60 sq. ft.

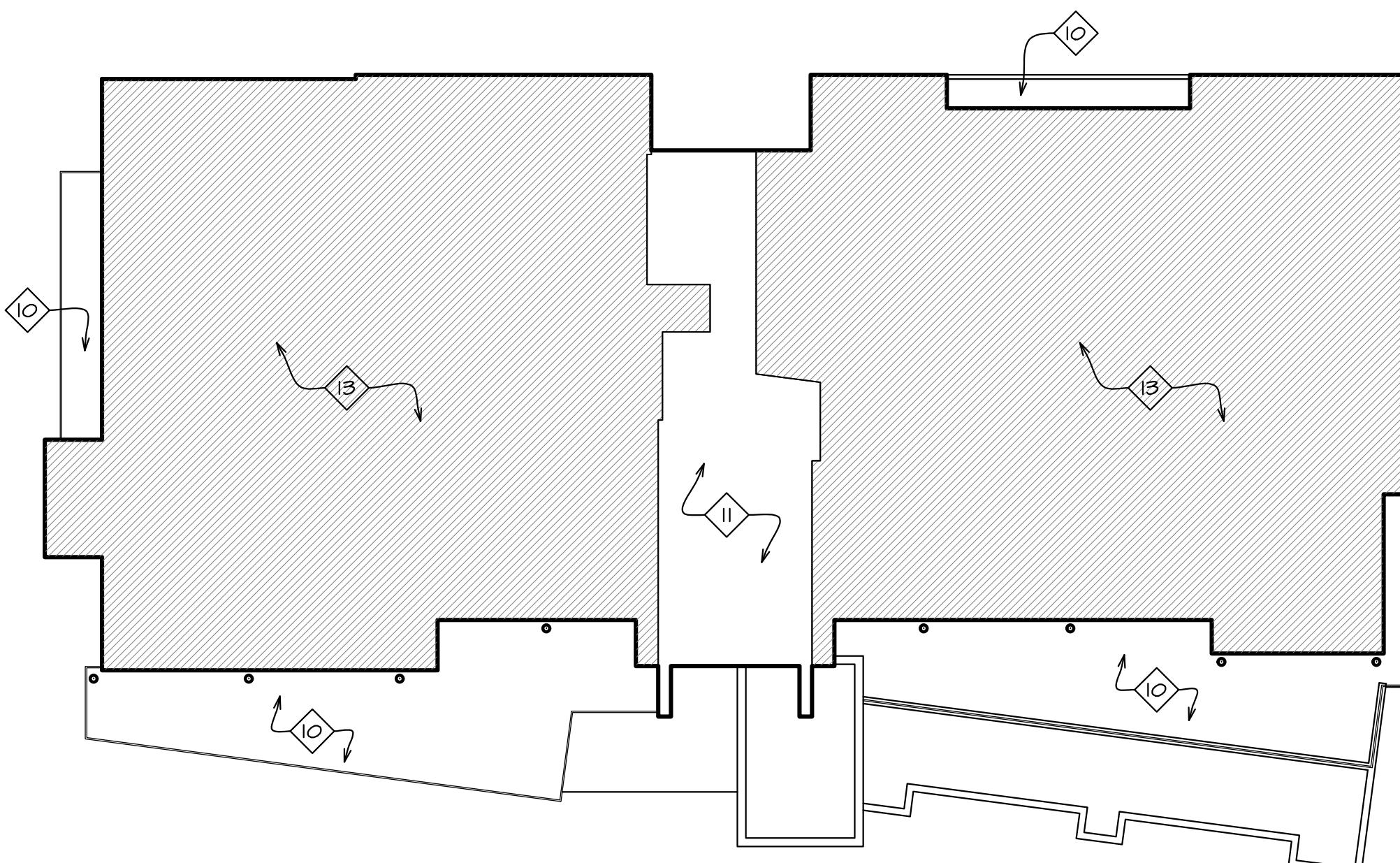
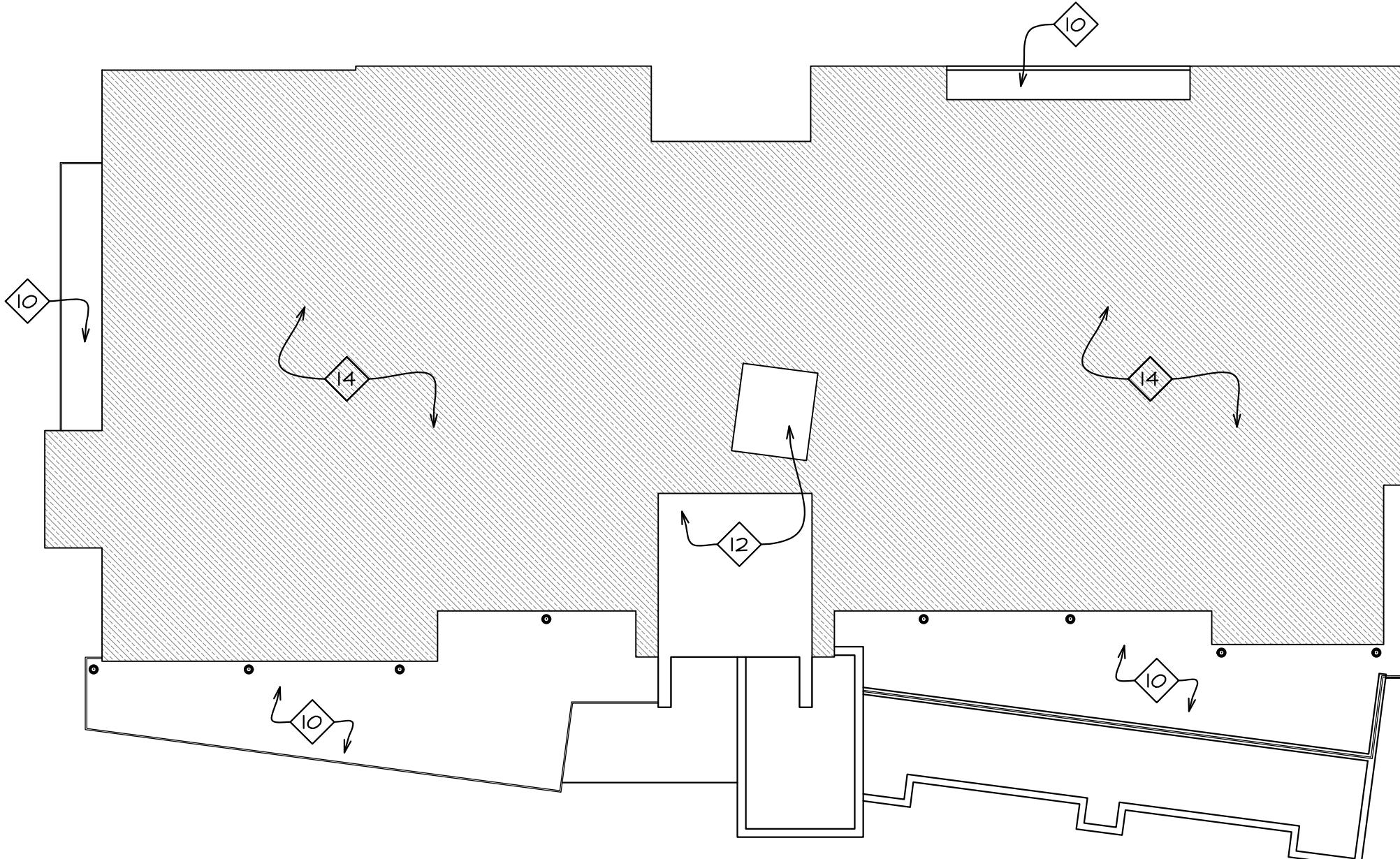


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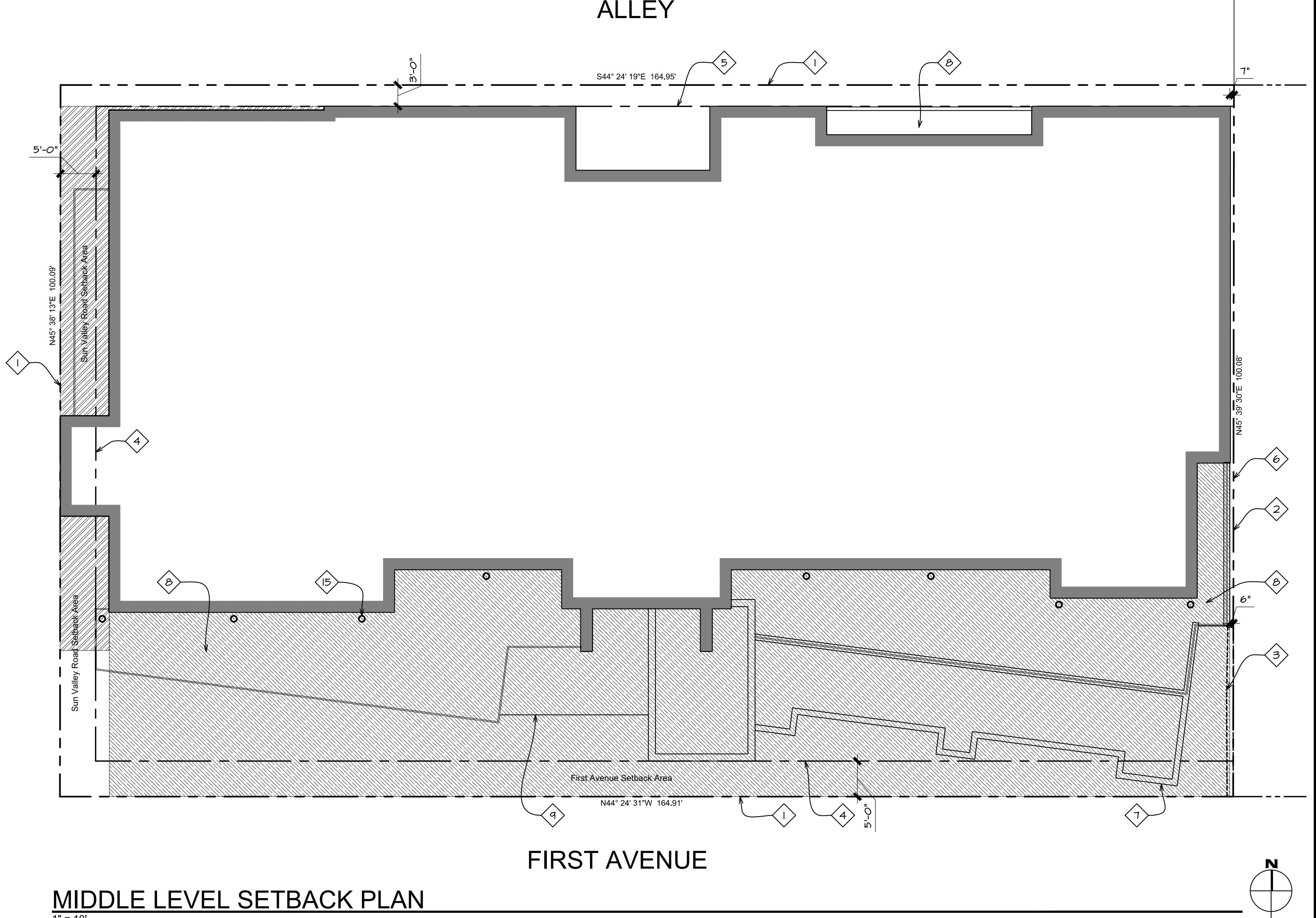
**Thielisen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9336

## KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 5' required average street setback
- 5 3' required alley setback
- 6 0' interior side setback
- 7 Line of wall below
- 8 Waterproof deck below
- 9 Line of entry canopy roof below
- 10 Waterproof deck
- 11 Interior circulation area excluded from net floor area calculations per KMC 17.08.020 definition of floor area, net.
- 12 Stair and elevator area excluded from gross floor area calculations per kmc 17.08.020 definition of floor area, gross.
- 13 Area included as net floor area
- 14 Area included as gross floor area
- 15 Structural steel column with blackened finish, typical.



SUN VALLEY ROAD



SUN VALLEY ROAD SETBACK:  
Setback Area: 449 sf  
Frontage Length: 76'-6"  
Average Setback Depth: 5.87'

FIRST AVENUE SETBACK:  
Setback Area: 4640 sf  
Frontage Length: 159'-0"  
Average Setback Depth: 29.18'

GROSS FLOOR AREA: 9,961.21 sf  
NET FLOOR AREA: 9,476 sf  
LYNCH RESIDENCE FLOOR AREA: 4,658 sf  
BERNIER RESIDENCE FLOOR AREA: 4,818 sf

Project: SAWTOOTH SERENADE  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title: MIDDLE LEVEL SETBACK PLAN  
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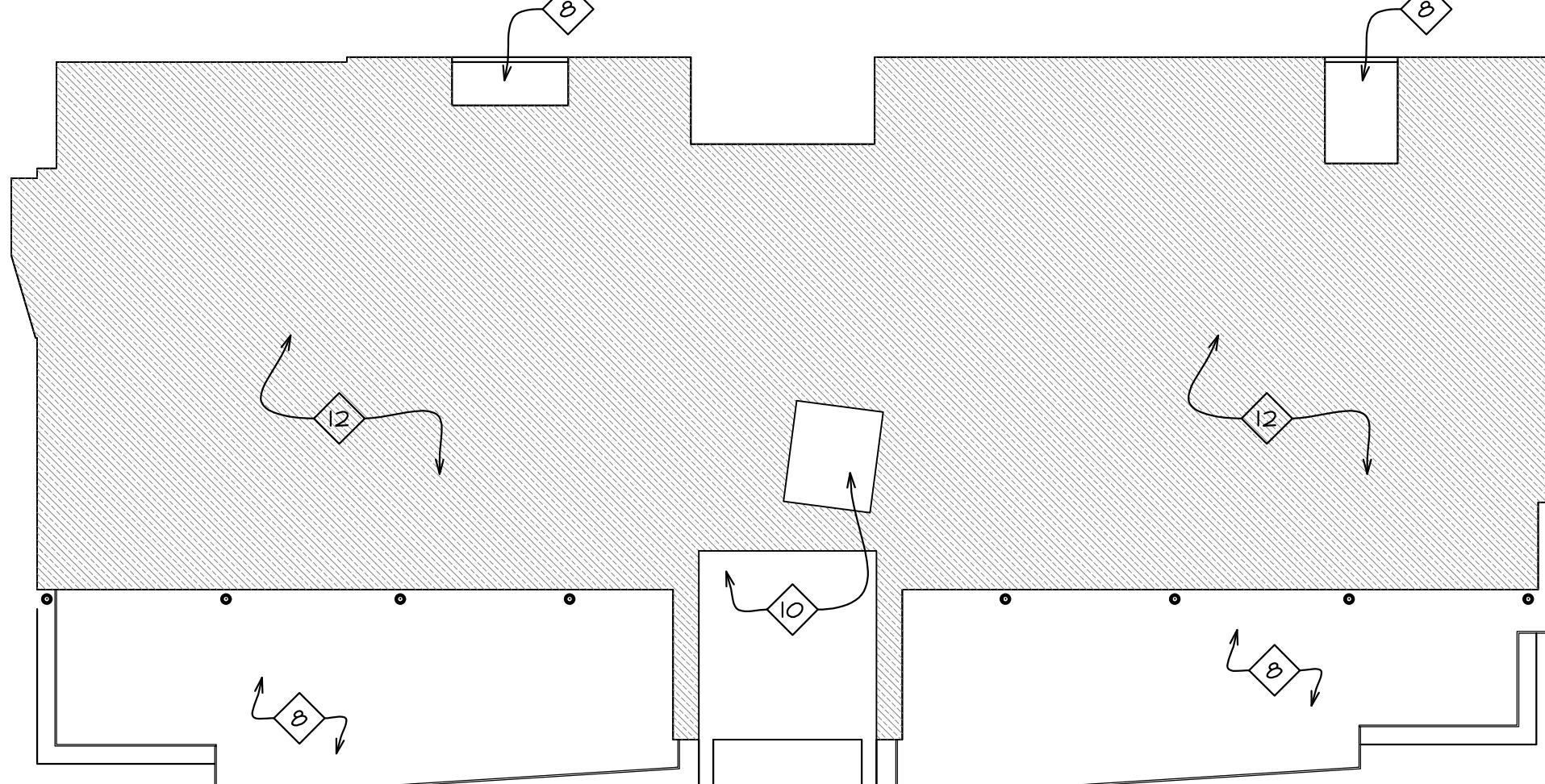
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Project No. 2002

LICENSED  
ARCHITECT  
STATE OF IDAHO  
Drawing: 08/10/22  
Revised: 09/30/22  
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Construction Set Issued: -----

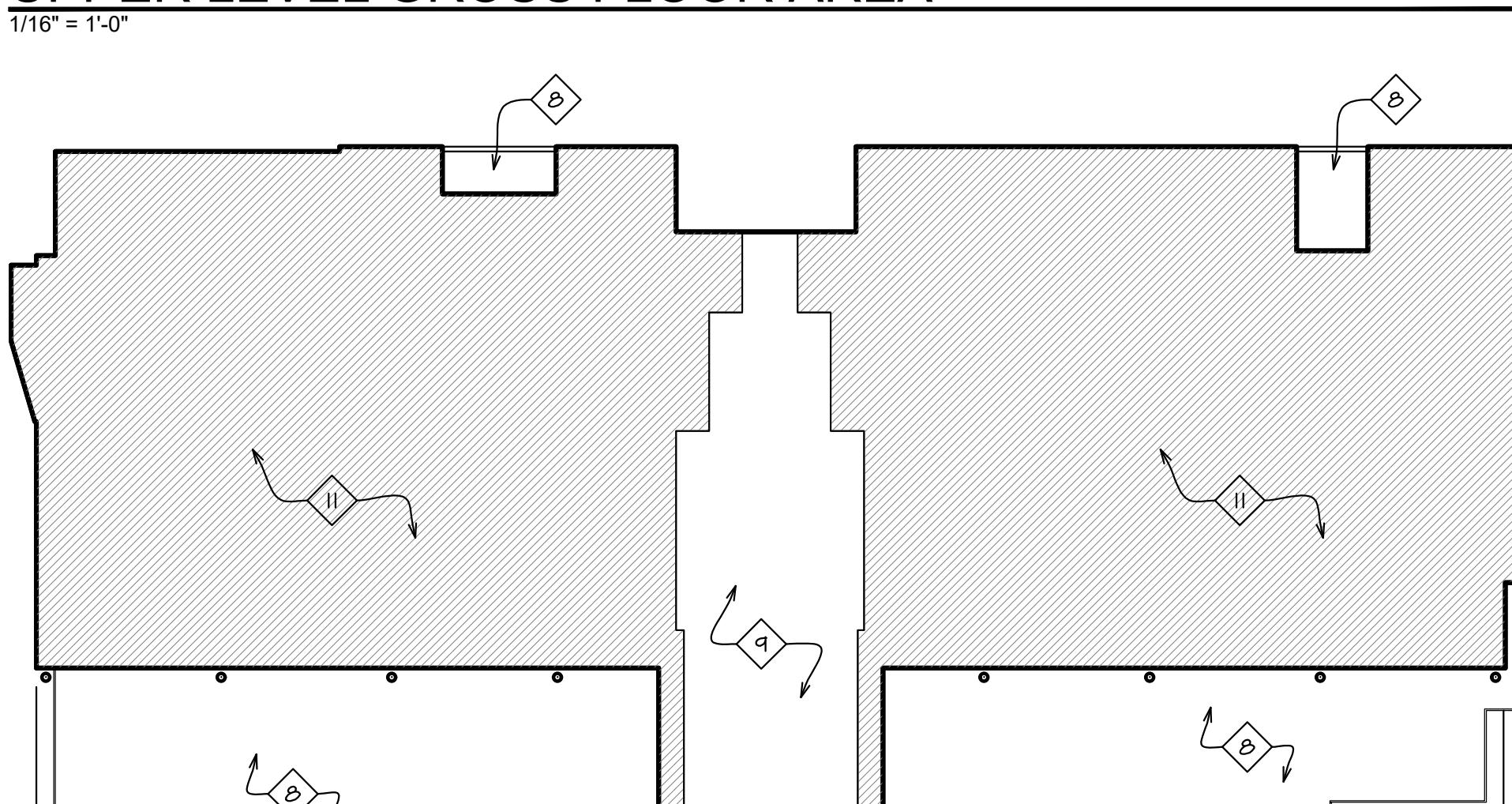
**Thielisen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376

## KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 5' required average street setback
- 5 3' required alley setback
- 6 0' interior side setback
- 7 Waterproof deck below
- 8 Waterproof deck
- 9 Interior circulation area excluded from net floor area calculations per KMC 17.08.020 definition of floor area, net.
- 10 Stair and elevator area excluded from gross floor area calculations per kmc 17.08.020 definition of floor area, gross.
- 11 Area included as net floor area
- 12 Area included as gross floor area
- 13 Structural steel column with blackened finish, typical.

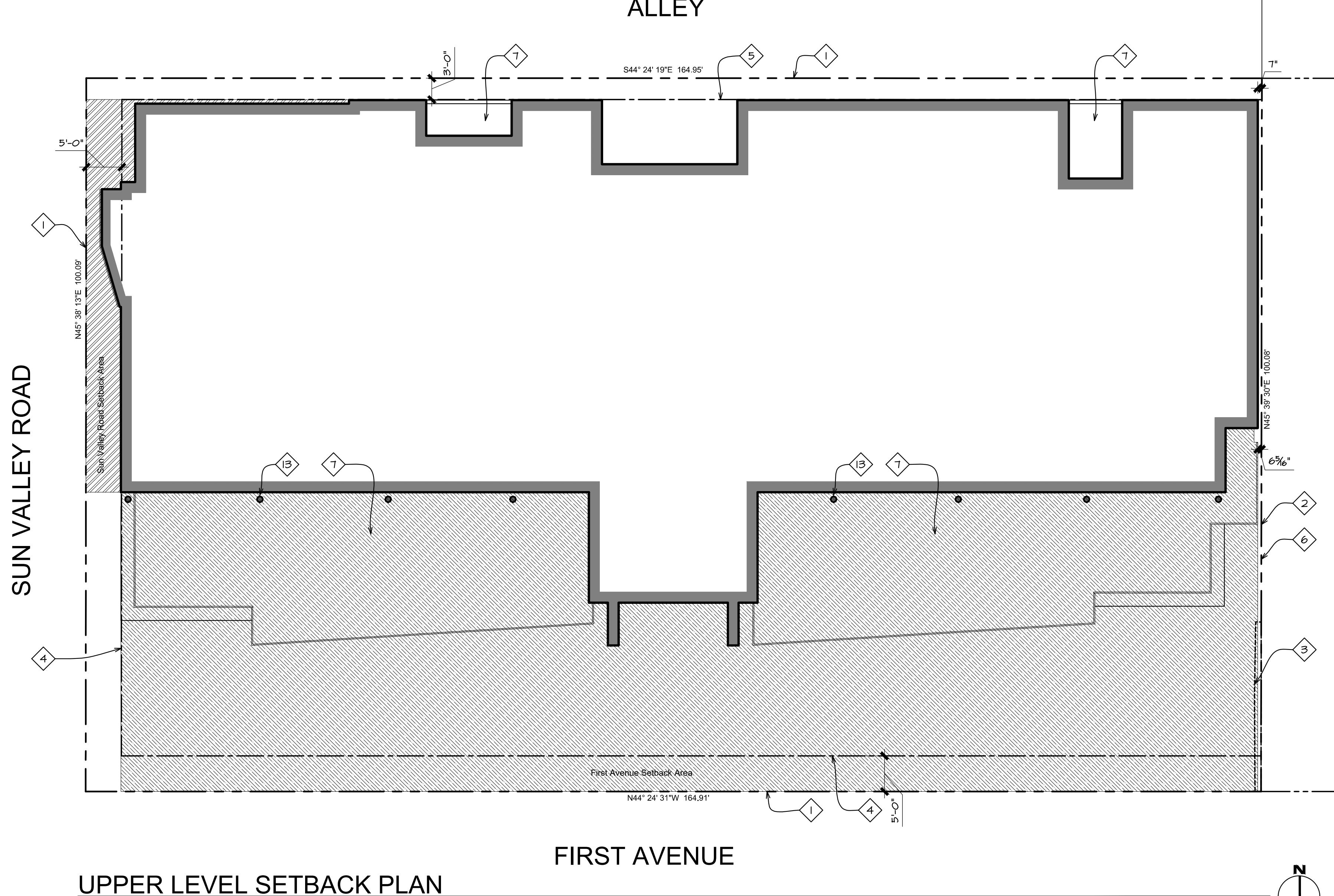


**UPPER LEVEL GROSS FLOOR AREA**



**UPPER LEVEL NET FLOOR AREA**

SUN VALLEY ROAD



**UPPER LEVEL SETBACK PLAN**

ALLEY

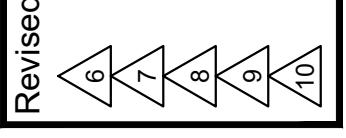
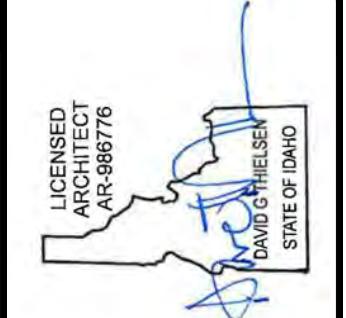
FIRST AVENUE

<b>SUN VALLEY ROAD SETBACK:</b>	
Setback Area:	277 sf
Frontage Length:	55'-0"
Average Setback Depth:	5.04'
<b>FIRST AVENUE SETBACK:</b>	
Setback Area:	6354 sf
Frontage Length:	159'-0"
Average Setback Depth:	39.96'
<b>GROSS FLOOR AREA:</b>	8,328.71 sf
<b>NET FLOOR AREA:</b>	7,797 sf
<b>LYNCH RESIDENCE UPPER FLOOR AREA:</b>	3,796 sf
<b>BERNIER RESIDENCE UPPER FLOOR AREA:</b>	4,001 sf

**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Project:  
**UPPER LEVEL SETBACK PLAN**  
.....  
.....

Sheet:  
**A1.4**  
Project No.  
2002

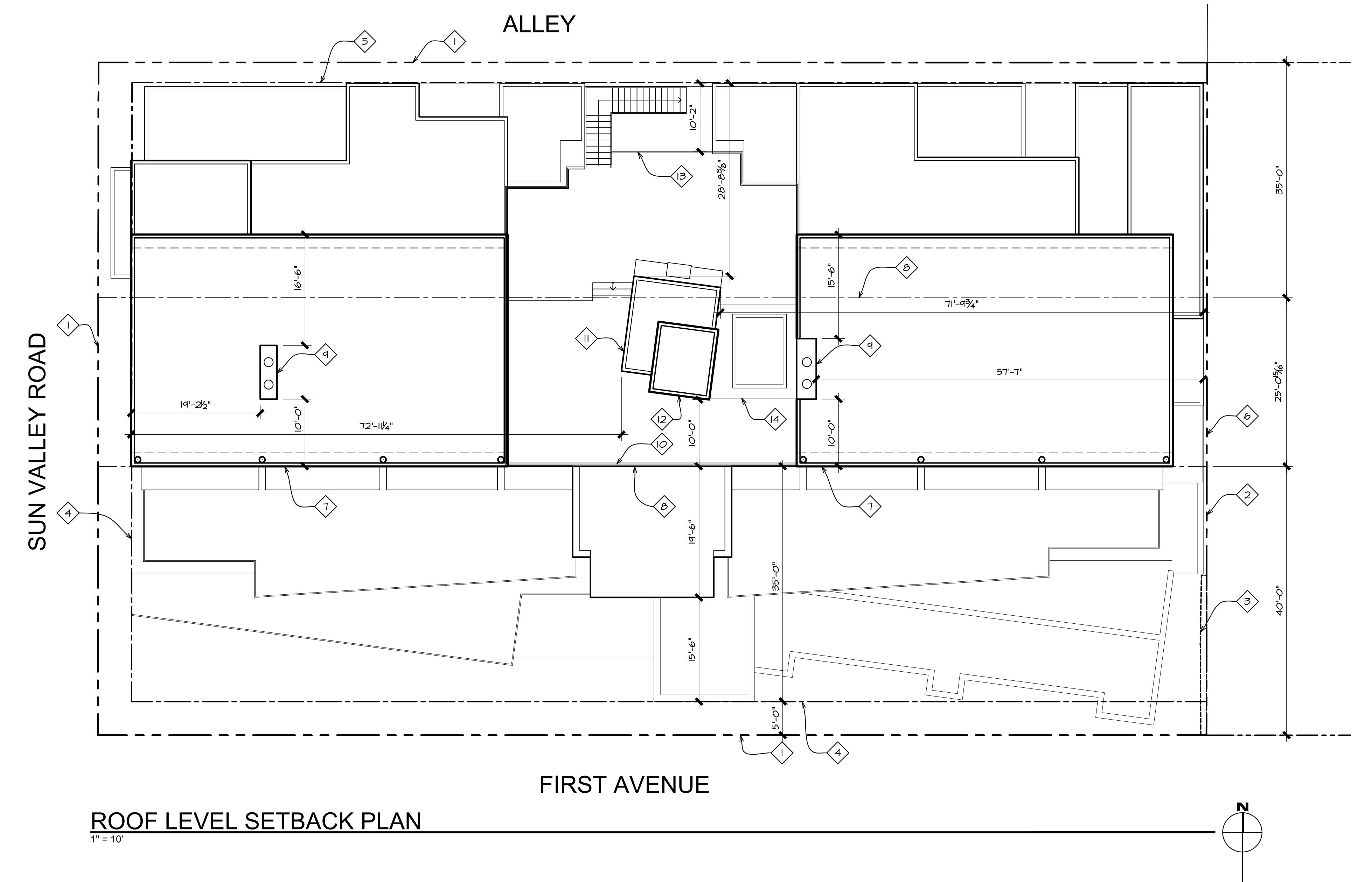


Drawn: 08/10/22  
Checked: -----  
Construction Set Issued: -----

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ARCHITECTS  
Kirkland, WA 98033 ▶ Tel 425.828.0333 ▶ Fax 425.828.9376

## KEYNOTES

- 1 Property line/edge of right of way
- 2 Property line
- 3 Deck encroachment easement per survey
- 4 5' required average street setback
- 5 3' required alley setback
- 6 0' interior side setback
- 7 Building facade step occurs at this location.
- 8 Line of required building height step, minimum 40'-0" from front property line and minimum 35'-0" from rear property line, per KZC 17.12.040.
- 9 Masonry chimney with termination per IBC 2113.9.
- 10 Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
- 11 Non-habitable structures located on building roof tops are allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator enclosure roof to be 6'-0" above maximum building height.
- 12 Non-habitable structures located on building roof tops are allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator enclosure roof to be 6'-0" above maximum building height.
- 13 Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
- 14 Site built hot tub/spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.

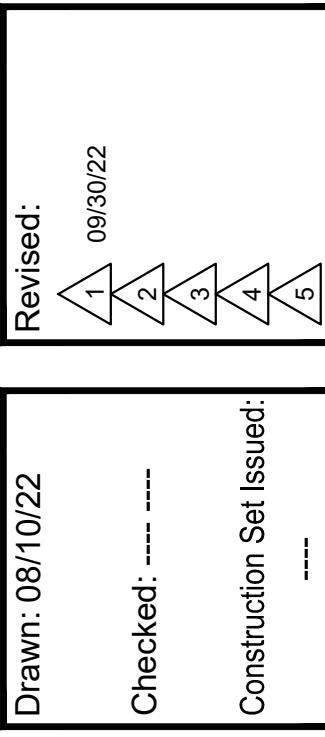
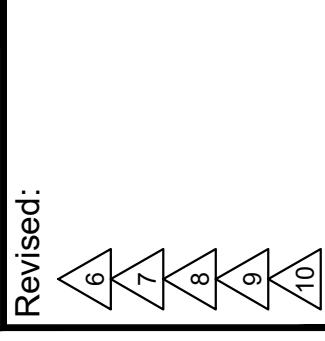
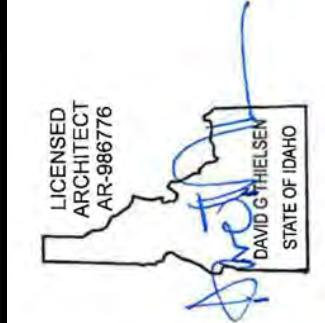


Project:  
SAWTOOTH SERENADE  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
ROOF LEVEL SETBACK PLAN  
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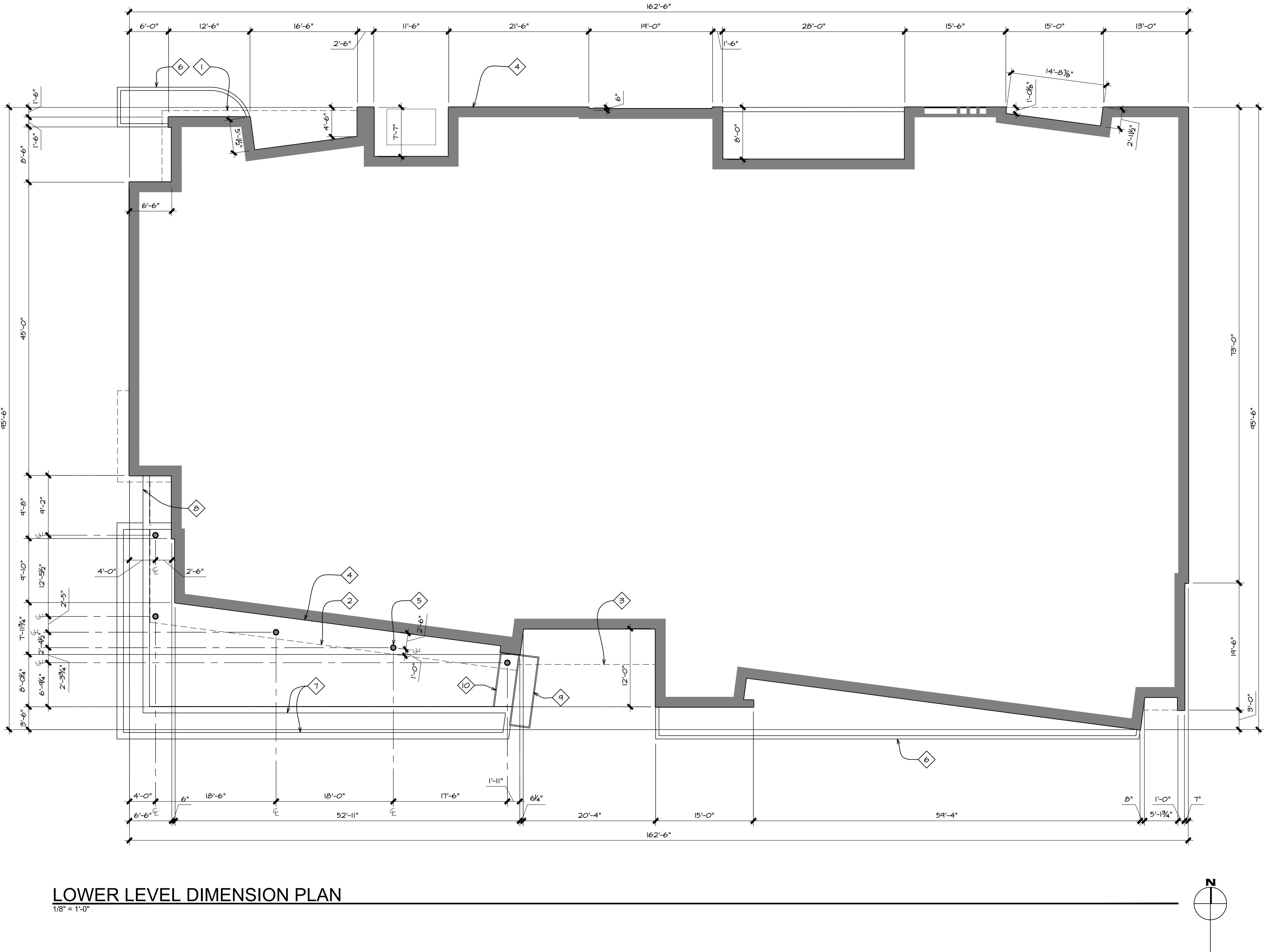
Sheet:  
A1.5  
Project No.  
2002

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# KEYNOTES

- 1 Line of cantilevered floor above
  - 2 Line of cantilevered deck above
  - 3 Line of entry canopy above
  - 4 Line of building footprint
  - 5 Structural steel column with blackened finish, typical.
  - 6 6" tall concrete curb
  - 7 Raised stone veneer planter finished with full bed stone veneer face and stone cap containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 36" above public sidewalk.
  - 8 48" tall raised planter containing planting per Landscape drawings. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 48" above public sidewalk.
  - 9 48" tall raised plate steel planter with blackened finish
  - 10 18" tall raised plate steel planter with blackened finish



# LOWER LEVEL DIMENSION PLAN

1/8" = 1'-0"

**Project:** SAWTOOTH SERENADE  
260 N 1ST AVE  
**KETCHUM ID**

**A R C H I T E C T S**  
Kirkland, WA 98033 ▶ Tel 425.828.0333 ▶ Fax 425.828.9376

<p>LICENSED ARCHITECT AR-986776</p>  <p>DAVID G. THIELSEN STATE OF IDAHO</p>	
Revised:	
Revised:	
Drawn: 08/10/22	
Checked: -----	
Construction Set Issued:	-----
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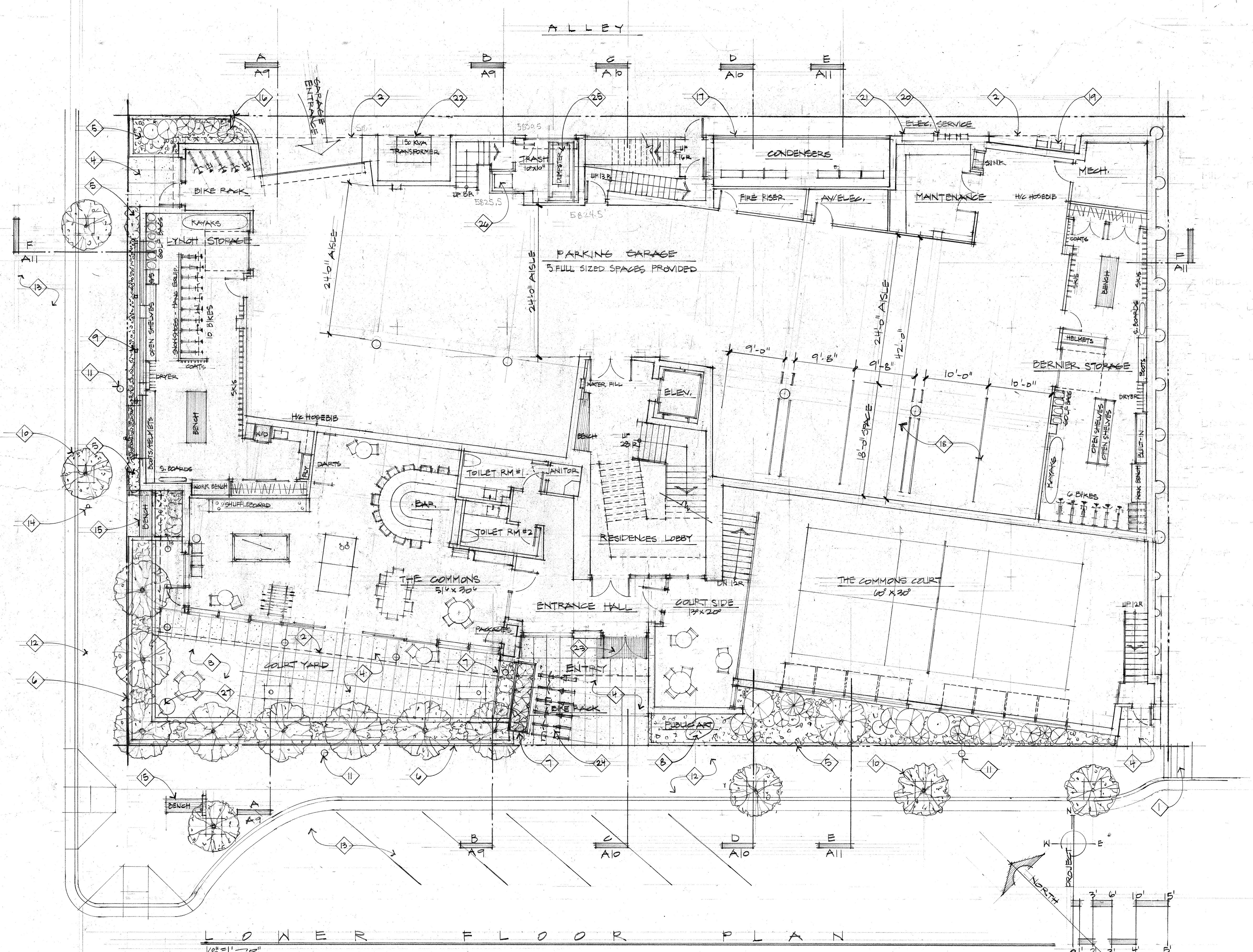
**Sheet Title:** LOWER FLOOR DIMENSION PLAN

# Sheet: A1.6

Project No.  
2002

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## SUN VALLEY ROAD



## LOWER FLOOR PLAN KEY NOTES:

- Existing stairs to remain.
- Dashed line indicates line of structure above - typical.
- Artificial turf per Landscape drawings and details.
- Large format Sintered Stone pavers with hydronic snow melt system.
- Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
- Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter will start 6" above the public bench on Sun Valley Road. Thus, the top of planter will be 23" above the sidewalk at the public bench on Sun Valley Road, 29" above the sidewalk at the corner of Sun Valley Road and 1st, and 36" above public sidewalk at the entry to Sawtooth Serenade.
- Raised plate steel planter with blackened finish.
- Public Art - free standing sculpture to be selected and purchased by the project Owners.
- 'Green wall' frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans. Panels and posts to have a blackened finish.
- Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details - typical.
- New public street lighting per City of Ketchum regulations and MH Lighting design drawings.
- New 8'-0" wide public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of 'sand-set' unit pavers with hydronic snow melt system.
- Storm drainage, striped street parking, public signage, and street improvements per Civil engineering drawings.
- Bus stop - public signage.
- Public bench.
- Convex traffic mirror.
- Mechanical system condensers screened from public view with horizontal wood screen.
- Off Street Parking: 4 spaces required per KZC 17.125.040. Total of 5 spaces provided which conform to KZC 17.125.030 for full sized vehicle spaces.
- Natural gas meters per Intermountain Gas Company requirements.
- Electrical meters per Idaho Power requirements.
- Electrical service C.1 can/distribution panel per Idaho Power requirements.
- 3-phase 150 KVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
- Stainless steel open grate "grid" recessed mat.
- Bicycle racks. 2 bicycle racks required per KZC 17.125.060, racks for 6 bicycles meeting KZC 17.96.070.F.1 provided.
- Garbage Dumpster on glider.
- Recycle bin.
- Manhole for site storm water drywell access per Civil engineering drawings.

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Project: SAWTOOTH SERENADE  
200 ST. AXE. NORTH  
KETCHUM, IDAHOSheet Title: LOWER FLOOR PLAN  
Sheet No.: 102

Project No.: 2002

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ARCHITECT  
ANS-88678  
STATE OF IDAHO

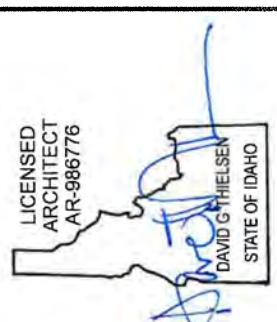
Revised: 04-20-2022  
04-20-2022Drawn:  
03-10-2022  
Checked:  
03-10-2022

Construction Set Issued:

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#### MIDDLE FLOOR PLAN KEY NOTES:

- Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
  - Dashed line indicates line of structure above – typical.
  - Structural steel column with blackened finish - typical.
  - Large format Sintered Stone pavers on pedestals with hydronic snow melt system - typical.
  - Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
  - Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
  - Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
  - Guard Rail: Solid guard rail clad with 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global. The installed guard rail height shall be a minimum of 36" above finished decking surface.
  - Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to top of parapet wall. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
  - "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Métal Sales Manufacturing Corporation with rib mounted snow guards. Roof pitch to be 1:12.
  - Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
  - Raised planter with plantings per the Landscape plans.
  - Sloped glazing below.



Revised:  
09/20/2022

# THREE SONGS

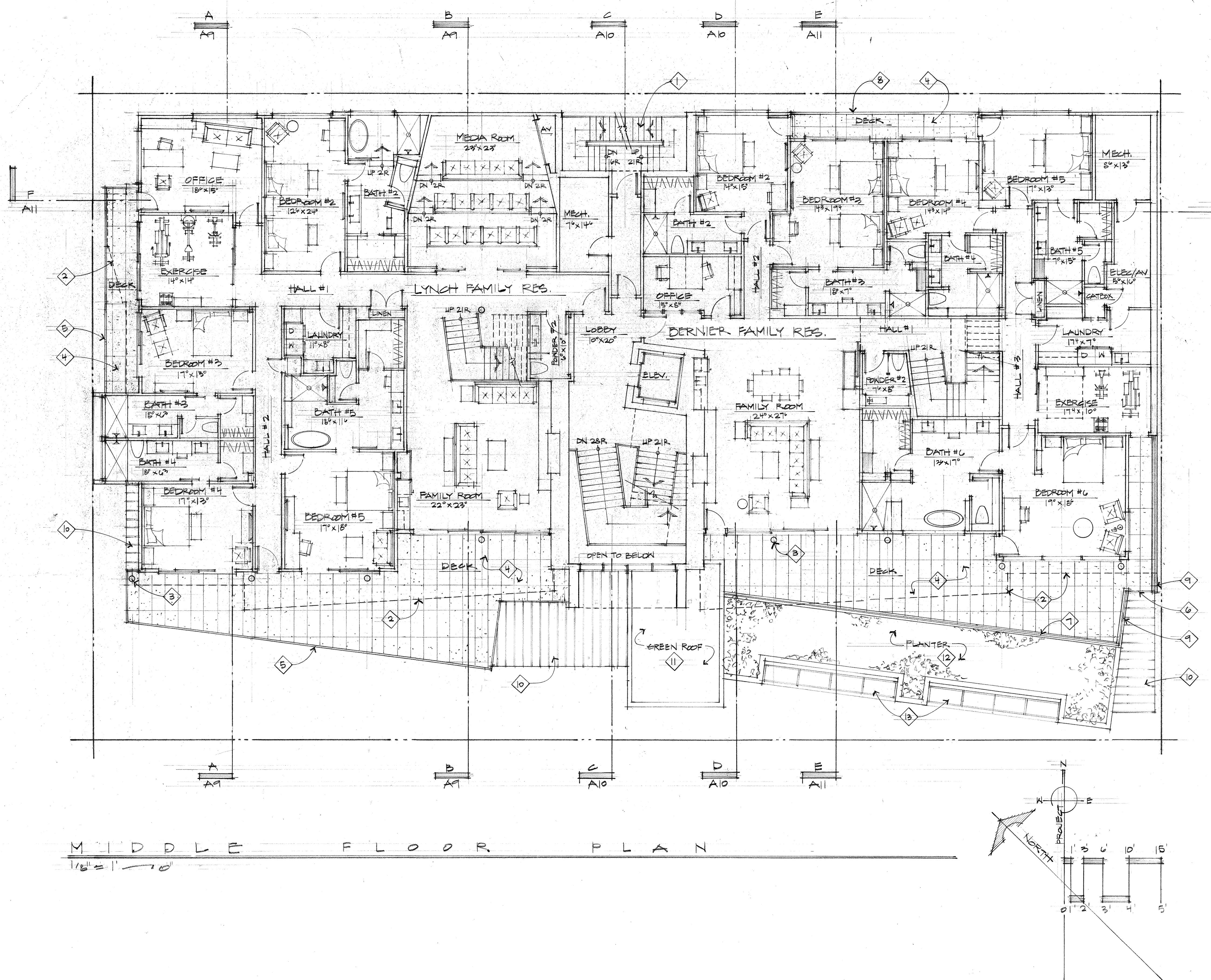
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Project:  
Santa Barbara Serenade  
260 5th Street  
Ketchum, Idaho

**MIDDLE FLOOR PLAN**

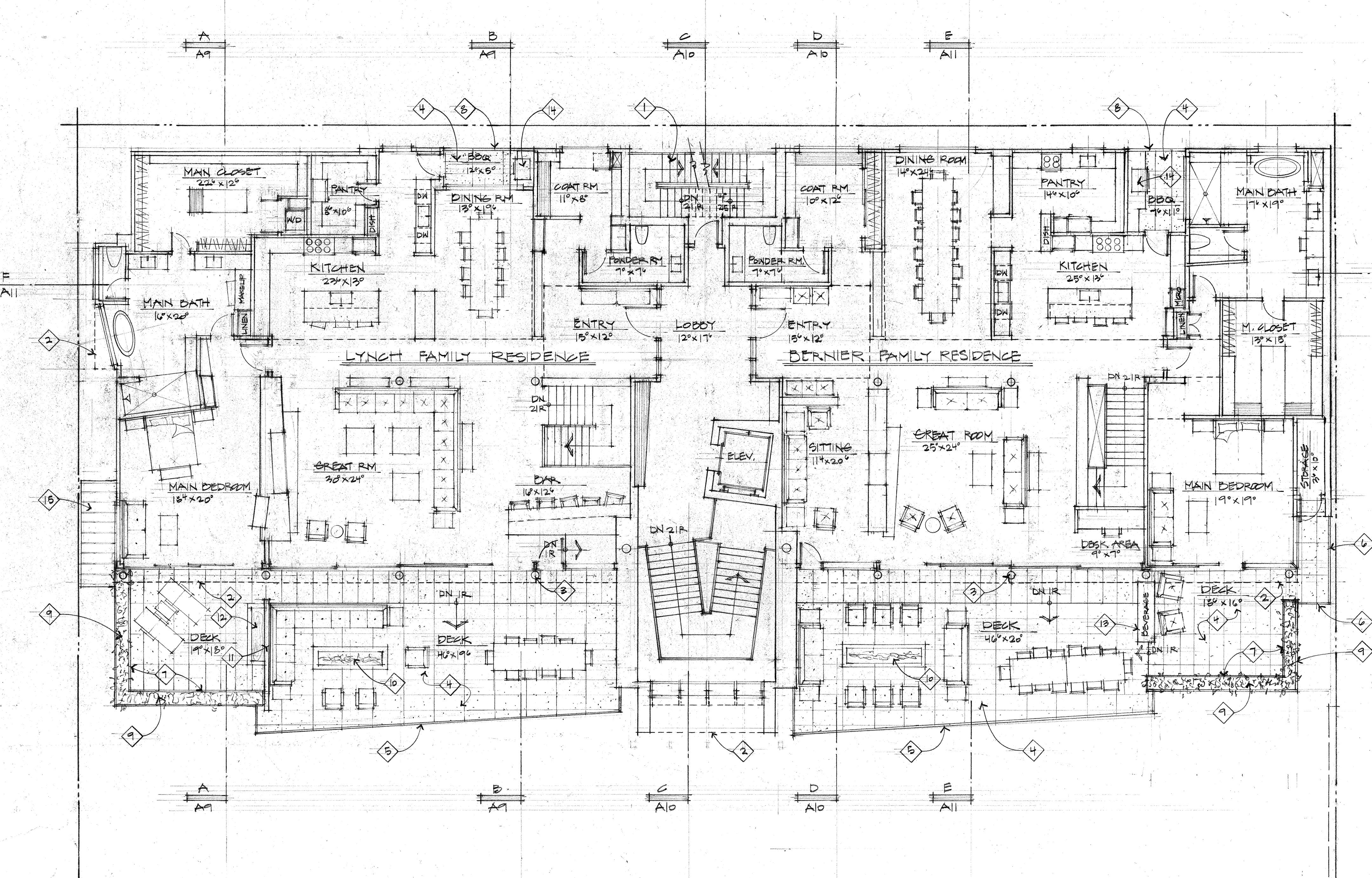
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Project No. 2002



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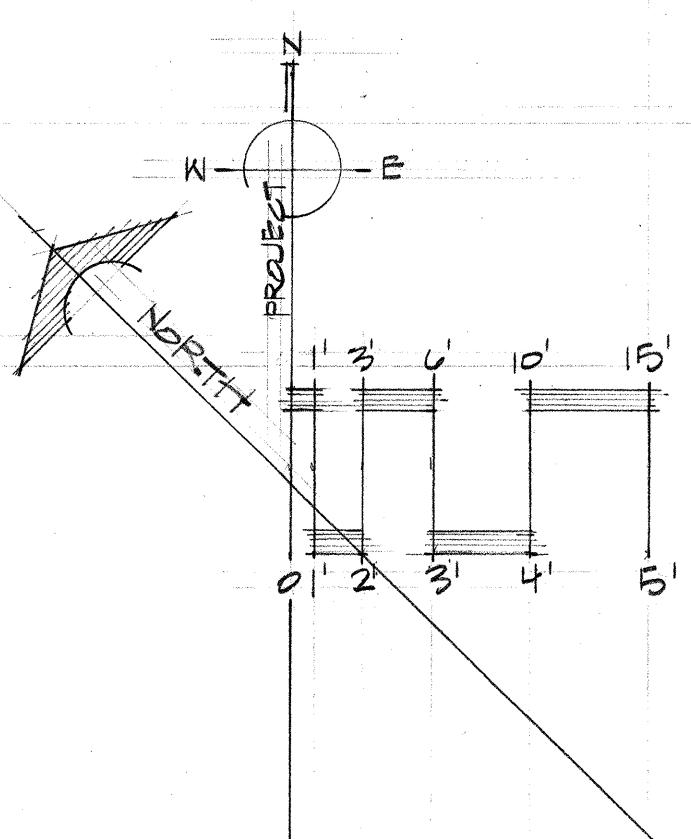
### UPPER FLOOR PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Dashed line indicates line of structure above - typical.
3. Structural steel column with blackened finish - typical.
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system - typical.
5. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
6. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
7. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
8. Guard Rail: Solid guard rail clad with 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metatech Global. The installed guard rail height shall be a minimum of 42" above finished decking surface.
9. Raised planter with planting per the Landscape plans.
10. Natural gas firepit.
11. Divider wall clad with 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metatech Global. Top of wall to be 54" above Upper Floor finished floor.
12. Reflecting pool water feature.
13. Exterior cabinet with stone countertop 36" above upper finished floor elevation. 12" high backsplash on the north, east and south face with integral LED strip down-light cap per Lighting Design Drawings.
14. Natural gas BBQ built into exterior cabinetry with stone countertop.
15. "Magna-Loc 180°" mechanically seamed structural standing seam metal roofing with 18" wide "Striations" profile panels and 2" high double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails) on roof below. Roof pitch to be 1/2:12.



UPPER FLOOR PLAN

1/8" = 1'-0"



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Project: SANTOOTH SERENADE  
260 ST. AVE. NORTH  
KETCHUM, IDAHO

Sheet Title: UPPER FLOOR PLAN

Sheet: A4  
Project No. 2002

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ARCHITECT  
AS-68676  
STATE OF IDAHO

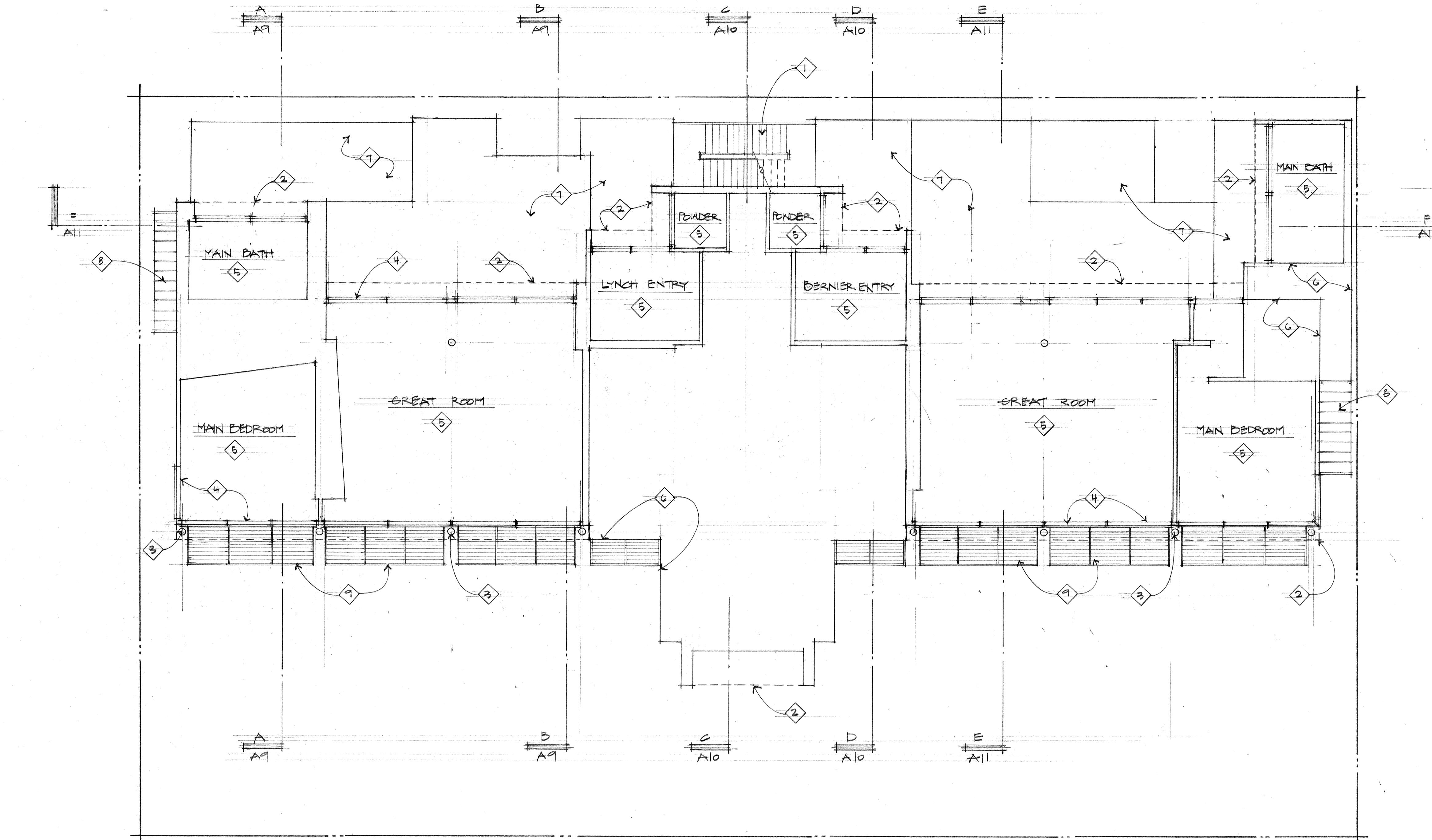
Revised: 09/20/2022

Drawn: 08/10/2022

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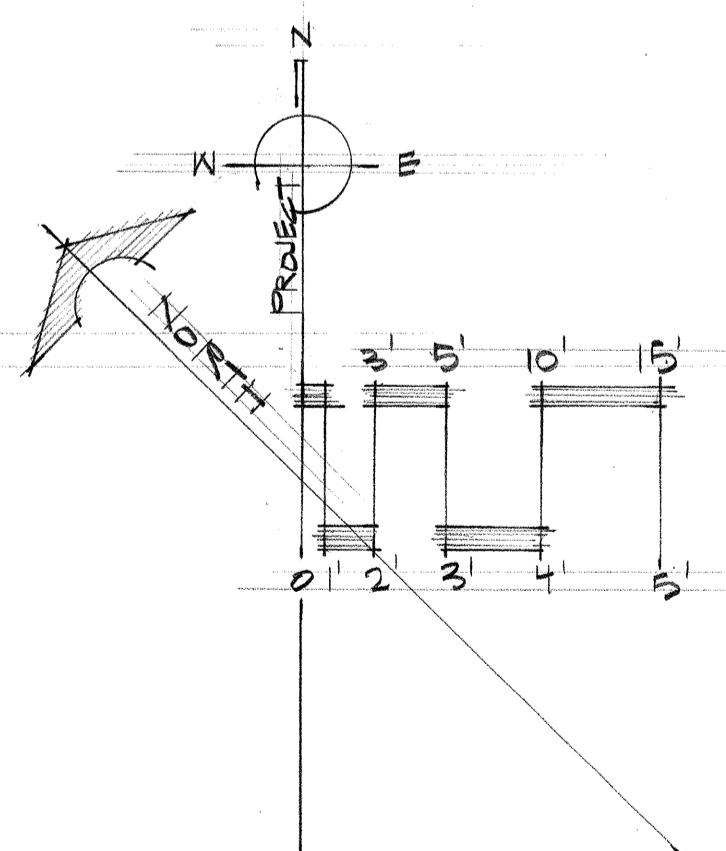


C L E R E S T O R Y P L A N

$\frac{1}{8}'' = 1'-0''$

#### CLERESTORY PLAN KEY NOTES:

- Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
- Dashed line indicates line of roof overhang above - typical.
- Structural steel column with blackened finish - typical.
- Thermally broken aluminum framed windows with blackened finish - typical.
- Interior living space with clerestory windows.
- Line indicates outer perimeter of wall of upper floor living space without clerestory windows.
- Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details. See the Roof Deck Plan for the full extent of the green roof at the upper roof locations.
- "Magna-Loc 180" mechanically seamed structural standing seam metal roofing with 18" wide "Striations" profile panels and 2" high double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails) on roof below. Roof pitch to be 1:12.
- Louvered steel sun screen with blackened finish below - typical.



**Thielsen**

A R C H I T E C T S

SANTOOTH SERENADE  
260 1ST AVE. NORTH  
KETCHUM, IDAHO

Sheet title:

CLERESTORY PLAN

Sheet:

A5

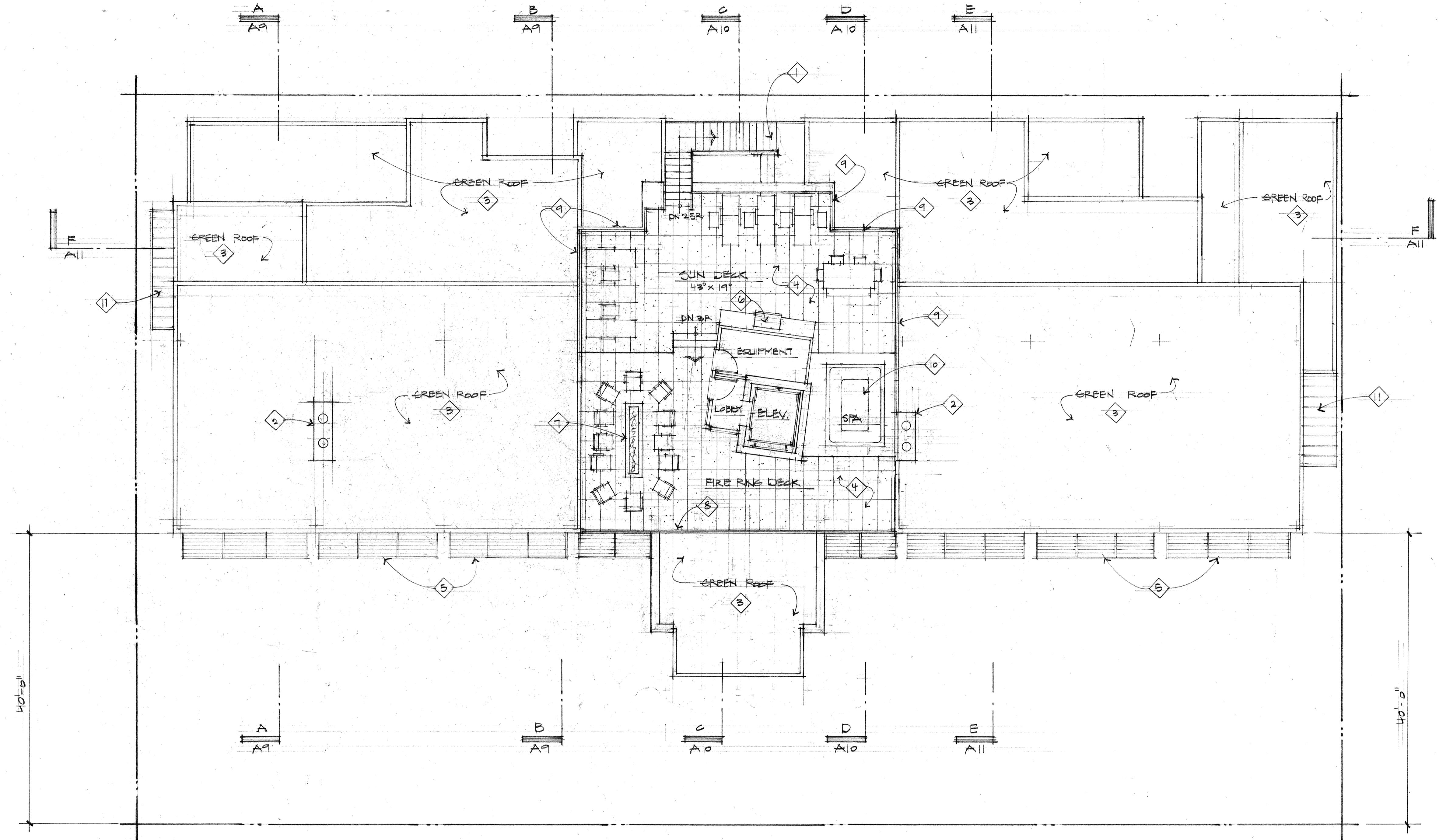
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2002

Revised:  
01-30-2022

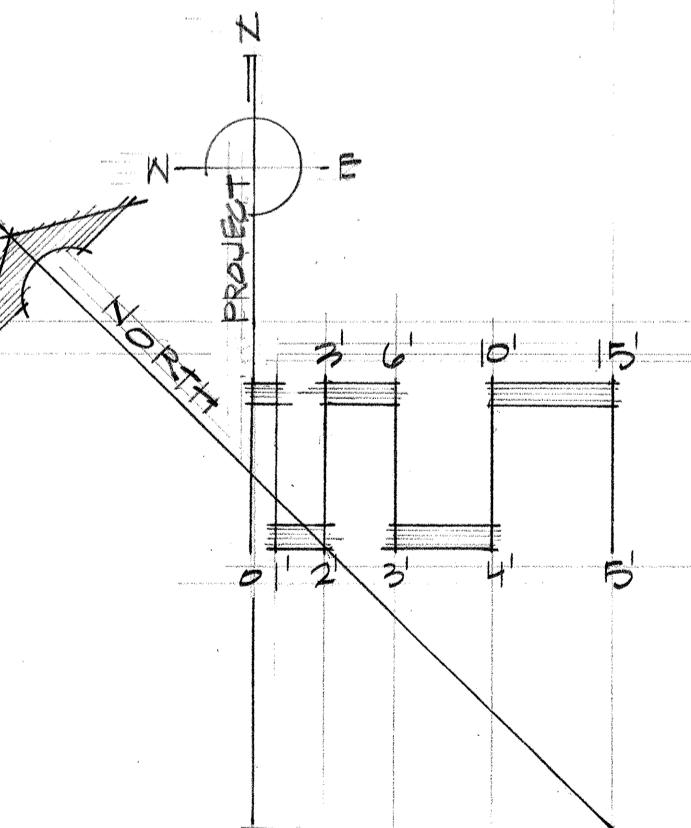
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ARCHITECT  
STATE OF IDAHO  
DAVID THIELSEN

Drawn:  
08.10.2022  
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ROOF DECK PLAN

$\frac{1}{8}'' = 1'-0''$



### ROOF DECK PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Full-bed stone veneered masonry chimney.
3. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details. Typical at all areas noted as "Green Roof".
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
5. Louvered steel sun screen below with blackened finish - typical.
6. Natural gas BBQ built into exterior cabinetry with stone countertop.
7. Natural gas fire ring.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood sided parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck. Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. Guard rail height of all railing components to be black. Perimeter wall enclosing a roof top deck. Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
11. "Magna-Loc 180° 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be 1/12.

**Thielisen**  
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Project: SANTO DOMINGO AVE., NORTH  
200 KETCHUM AVE., NORTH

Sheet: ROOF DECK PLAN  
A6

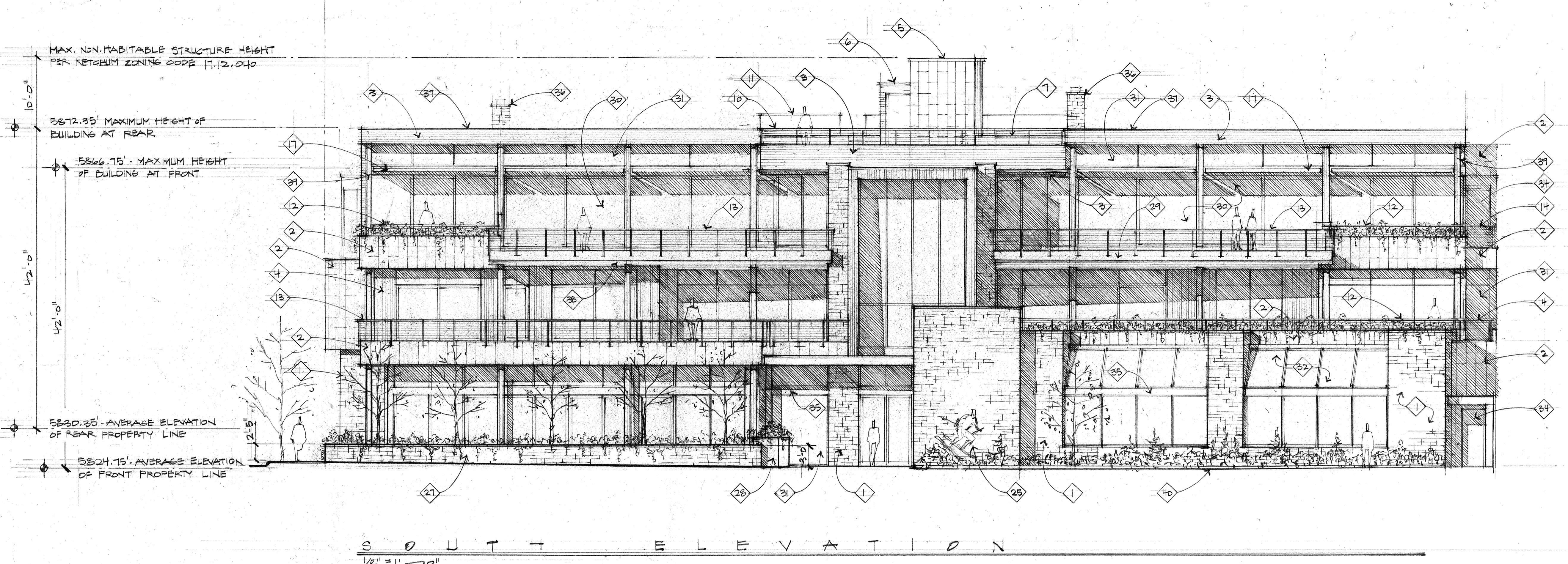
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ARCHITECT  
LAR86776  
David L. Thielisen  
State of Idaho

Revised:  
07-30-2022

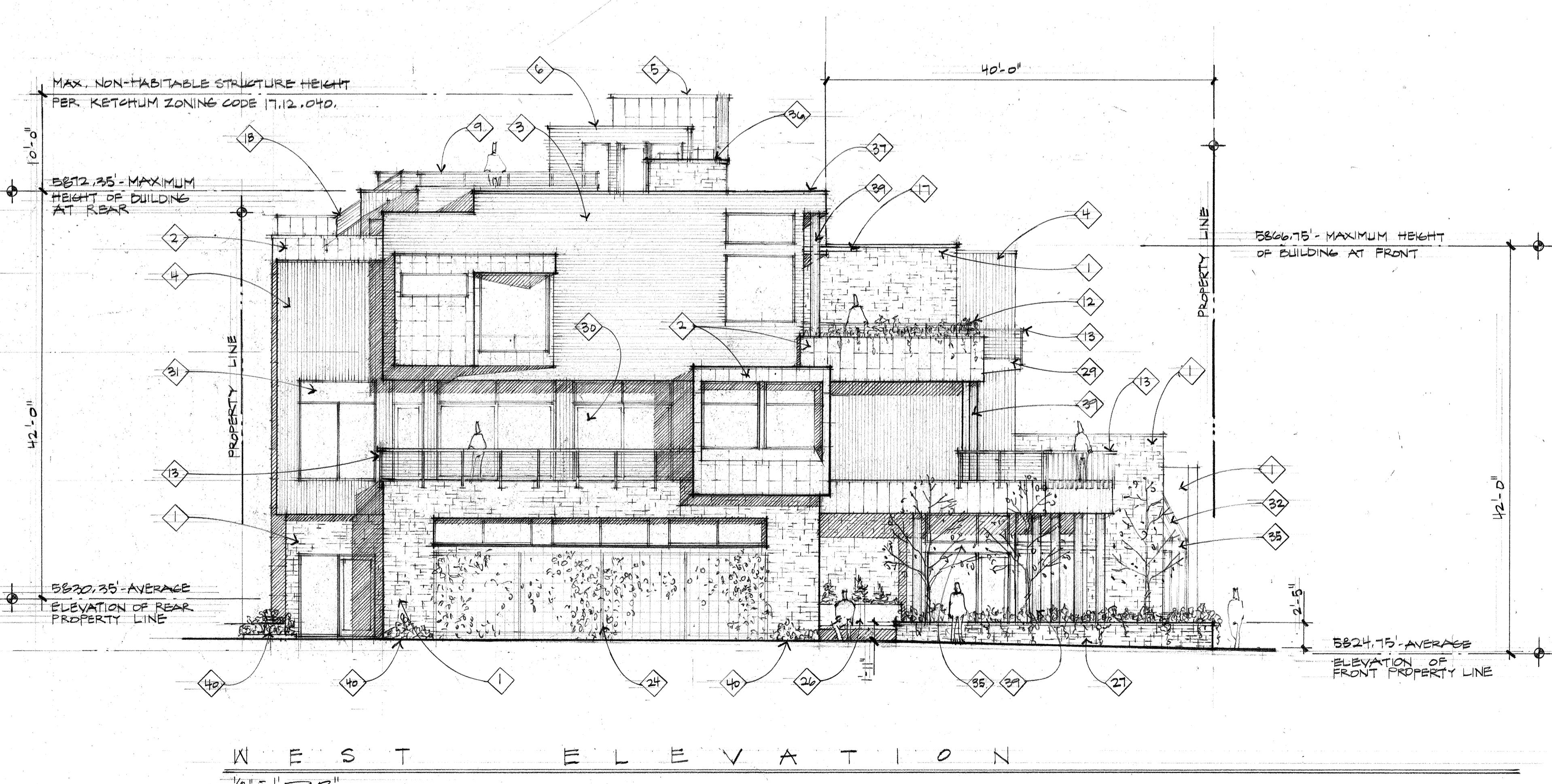
Drawn:  
08-10-2022  
Checked:  
Construction Set Issued:

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#### EXTERIOR ELEVATION KEY NOTES:

1. Stone Veneer: Full-bed stone veneer placed in a coursed Ashlar pattern (cut all 4 sides, random Squares & Recs) consisting of  $\frac{3}{4}$ , 4", 5",  $\frac{7}{8}$ , and  $1\frac{1}{2}$ " stone heights set in a random mix of field and accent stones, colors, sizes, and lengths. Stone wall caps shall be 2" thick slabs with "Rock Face" on all exposed vertical edges and "Thermal" finish on top face. Typical.
2. Metal Siding: 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metatech Global - typical.
3. Horizontal Wood Siding: Custom milled stained cedar tongue and groove siding with a square  $\frac{1}{4}$  x  $\frac{1}{4}$  reveal line between board faces.
4. Vertical Wood Siding: Custom milled stained cedar tongue and groove siding with a square  $\frac{1}{4}$  x  $\frac{1}{4}$  reveal line between board faces.
5. Non-habitable elevator enclosure with metal siding per Key Note #2. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of elevator enclosure non-habitable roof to be 10'-0" above maximum building height.
6. Non-habitable structure with horizontal wood siding per Key Note #3. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 - Community Core Dimensional Standards. Top of non-habitable roof to be 6'-6" above maximum building height.
7. Finished surface of Sun Deck beyond.
8. Dashed line indicates the approximate outline of adjacent buildings on 2nd Street.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard rail beyond, see Key Note #9.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
14. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
15. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on parapet wall with metal siding and sheet metal cap. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
16. Guard Rail: Minimum of 36" high solid guard rail clad with metal siding and sheet metal cap (42" high @ BBQ Decks).
17. Louvered steel sun screen with blackened finish - typical.
18. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
19. 3-phase transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen. Screen outline indicated as dashed for clarity.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T./distribution panel per Idaho Power requirements.
22. Natural gas meters per Intermountain Gas Company requirements.
23. Mechanical system condensers screened from public view with horizontal wood fence.
24. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
25. Location of freestanding public art sculpture to be selected and purchased by the project Owners.
26. Public bench.
27. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter will start 6" above the public bench on Sun Valley Road, 29" above the sidewalk at the corner of Sun Valley Road and 1st, and 36" above public sidewalk at the entry to Sawtooth Serenade.
28. Raised plate steel planter with blackened finish.
29. Self-healing zinc sheet metal facia flat panels manufactured by Metatech Global Steel.
30. Thermally broken aluminum framed sliding doors with blackened finish - typical.
31. Thermally broken aluminum framed windows with blackened finish - typical.
32. Sloped glazing in thermally broken aluminum frames with blackened finish.
33. Insulated and weather-stripped rolling steel overhead door with blackened finish.
34. Solid insulated metal door, finish to match window/door frames.
35. Metal trim to match windows/doors - typical.
36. Masonry chimney with termination per IBC 2113.9. Chimney finish to be full bed stone veneer face per Key Note #1.
37. Sheet metal flashing caps with to finish to match metal siding per Key Note #2 - typical.
38. Stained Cedar 1x tongue and groove wood soffit.
39. Structural steel column with blackened finish - typical.
40. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.



**Thielsen**  
ARCHITECTS

Kirkland, WA 98033 ▶ Tel: 425.828.0333

SANTOOTH AV. NORTH  
SERENADE  
KETCHUM, IDAHO  
200

BUILDING ELEVATIONS

Sheet Title:

A7  
Project No.  
2002

LICENSED  
ARCHITECT  
AND REGISTERED  
IN THE STATE OF IDAHO  
T. THIELSEN

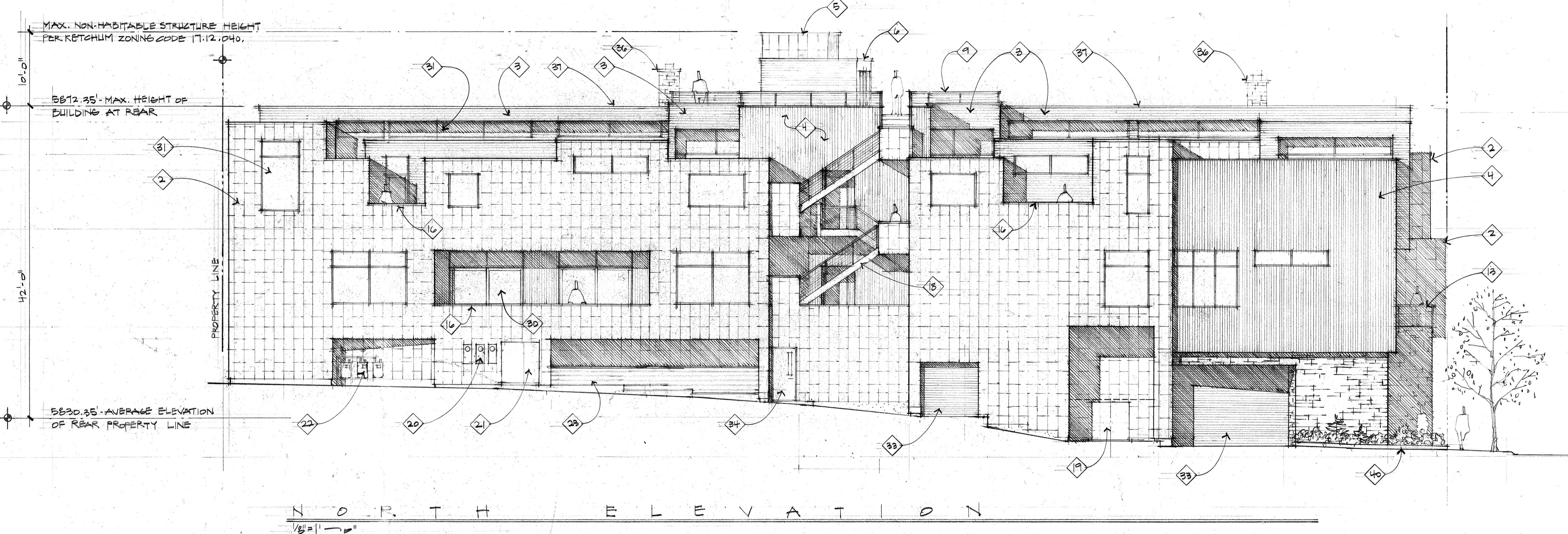
Revised:  
01-20-2022

Drawn:  
08/05/2022

Checked:

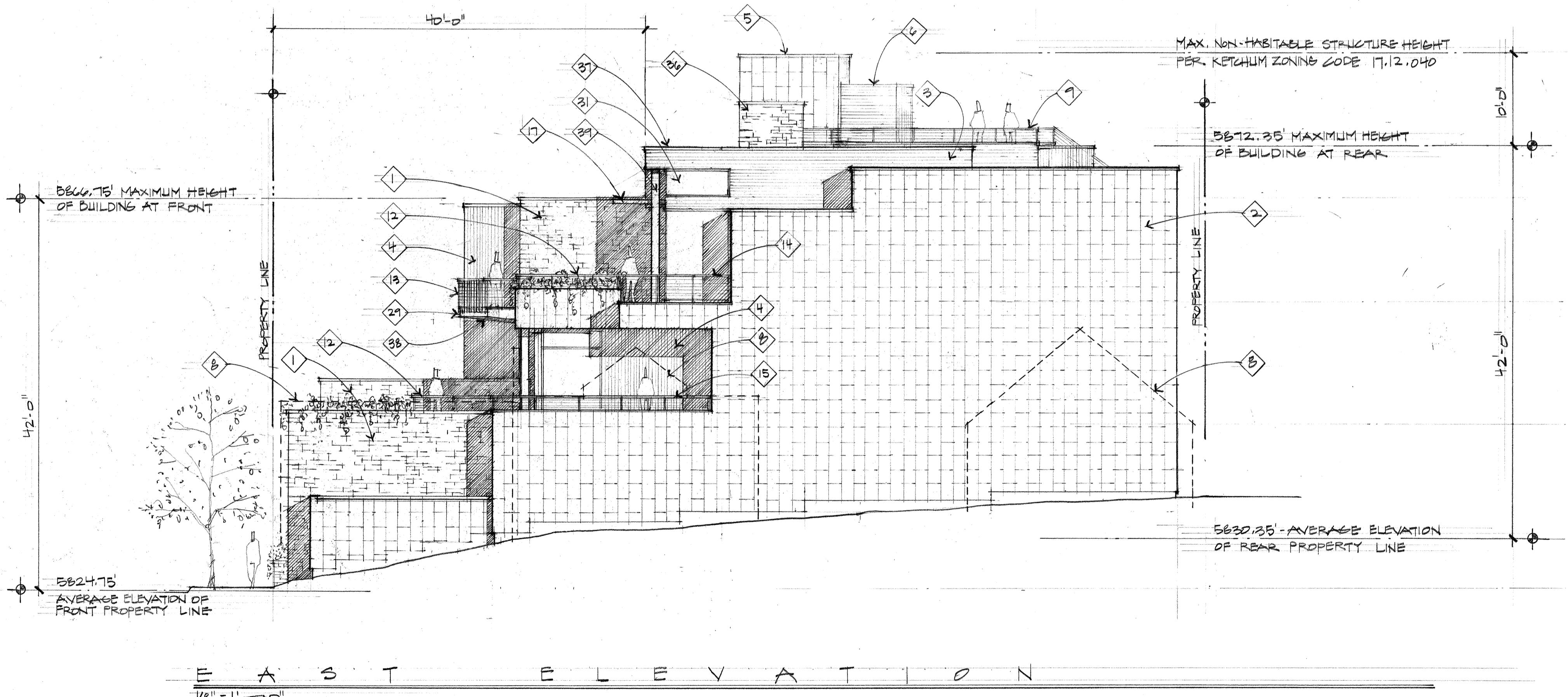
Construction Set Issued:

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#### EXTERIOR ELEVATION KEY NOTES:

1. Stone Veneer: Full-bed stone veneer placed in a coursed Ashlar pattern (cut all 4 sides, random Squares & Recs) consisting of 2 1/4", 4", 5", 7 1/4", and 10 1/2" stone heights set in a random mix of field and accent stones, colors, sizes, and lengths. Stone wall caps shall be 2" thick slabs with "Rock Face" on all exposed vertical edges and "Thermal" finish on top face. Typical.
2. Metal Siding: 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metatech Global - typical.
3. Horizontal Wood Siding: Custom milled stained cedar tongue and groove siding with a square 1/4" x 1/4" reveal line between board faces.
4. Vertical Wood Siding: Custom milled stained cedar tongue and groove siding with a square 1/4" x 1/4" reveal line between board faces.
5. Non-habitable elevator enclosure with metal siding per Key Note #2. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator enclosure non-habitable roof to be 10'-0" above maximum building height.
6. Non-habitable structure with horizontal wood siding per Key Note #3. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of non-habitable roof to be 6'-6" above maximum building height.
7. Finished surface of Sun Deck beyond.
8. Dashed line indicates the approximate outline of adjacent buildings on 2nd Street.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard rail beyond, see Key Note #9.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
14. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
15. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on steel base plate on parapet wall with metal siding and sheet metal cap. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
16. Guard Rail: Minimum of 36" high solid guard rail clad with metal siding and sheet metal cap (42" high @ BBQ Decks).
17. Louvered steel sun screen with blackened finish - typical.
18. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
19. 3-phase transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen. Screen outline indicated as dashed for clarity.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T can/distribution panel per Idaho Power requirements.
22. Natural gas meters per Intermountain Gas Company requirements.
23. Mechanical system condensers screened from public view with horizontal wood fence.
24. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
25. Location of freestanding public art sculpture to be selected and purchased by the project Owners.
26. Public bench
27. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be same level. Height of planter to vary with slope of public sidewalk. The top of planter will start 6" above the public bench on Sun Valley Road. Thus, the top of planter will be 23" above the sidewalk at the public bench on Sun Valley Road, 29" above the sidewalk at the corner of Sun Valley Road and 1st, and 36" above public sidewalk at the entry to Sawtooth Serenade.
28. Raised planter with blackened finish.
29. Self-healing zinc sheet metal fascia flat panels manufactured by Metatech Global Steel.
30. Thermally broken aluminum framed sliding doors with blackened finish - typical.
31. Thermally broken aluminum framed windows with blackened finish - typical.
32. Sloped glazing in thermally broken aluminum frames with blackened finish.
33. Insulated and weather-stripped rolling steel overhead door with blackened finish.
34. Solid insulated metal door, finish to match window/door frames.
35. Metal trim to match windows/doors - typical.
36. Masonry chimney with termination per IBC 2113.9. Chimney finish to be full bed stone veneer face per Key Note #1.
37. Sheet metal flashing caps with finish to match metal siding per Key Note #2 - typical.
38. Stained Cedar 1x4 tongue and groove wood soffit.
39. Structural steel column with blackened finish - typical.
40. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.



**Thieszen**

ARCHITECTS

Kirkland, WA 98033 ▶ Tel: 425.828.0333 ▶ www.thieszen.com

SANTOOTH SERENADE  
15TH AVE. NORTH  
KETCHUM IDAHO

Project:

BUILDING ELEVATIONS

Sheet:

**A8**

Project No.

2002

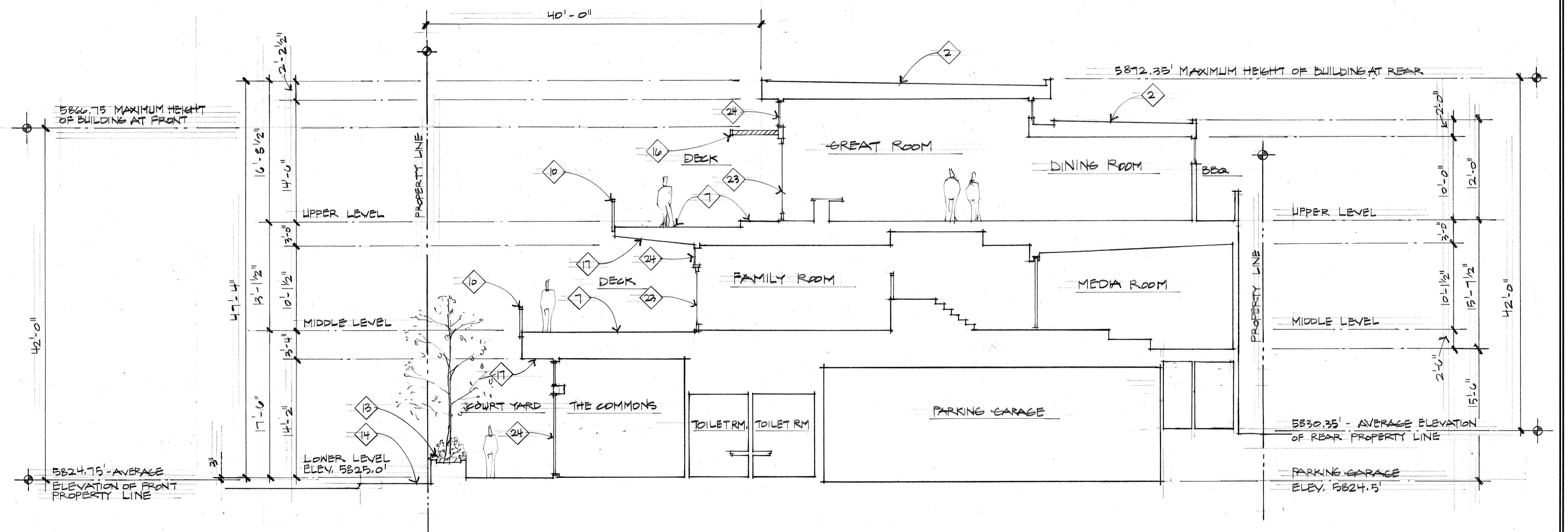
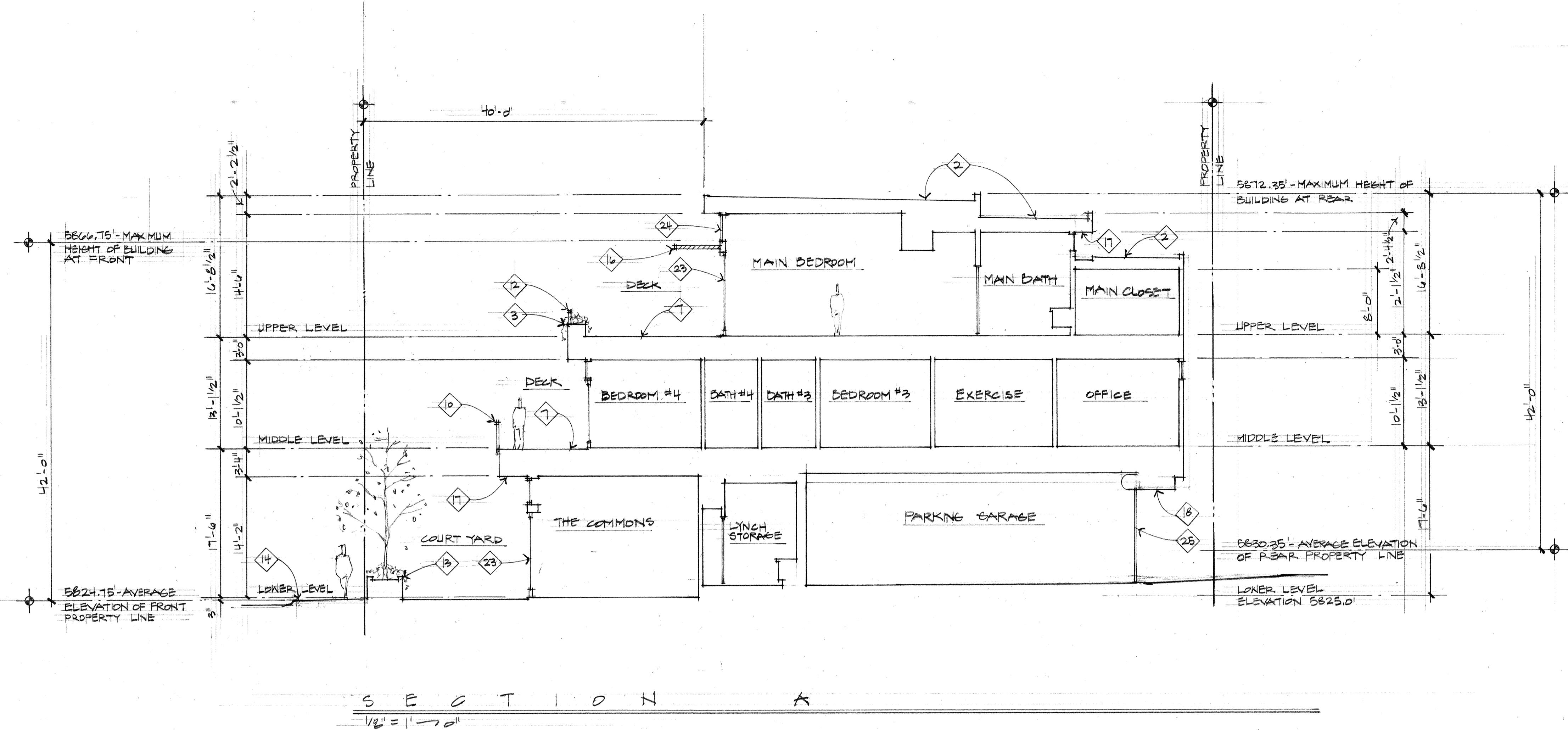
LICENSED  
ARCHITECT  
AK-88676  
THIESZEN  
STATE OF IDAHO

Revised:  
01-30-2022

Drawn:  
08/10/2022  
Checked:  
Construction Set Issued:

### BUILDING SECTION KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
2. Green Roof. Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
3. Raised planter with plantings per the Landscape plans.
4. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
5. Landscape planting per the Landscape plans within +/- 6' high raised 6" concrete curb to contain soil and mulch.
6. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
7. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
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14. New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
15. "Magna-Loc 180° 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seam and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rills). Roof pitch to be 1/12.
16. Louvered steel sun screen with blackened finish - typical.
17. Stained Cedar 1x4 tongue and Groove wood soffit - typical at all roof and deck soffits.
18. Stone slab soffit at full bed stone veneer.
19. Horizontal wood fence to screen the mechanical system condensers from public view.
20. Guard Rail: Minimum of 36" high solid guard rail clad with metal siding.
21. Key Note not used.
22. Stainless steel open grate "grid" recessed mat.
23. Thermally broken aluminum framed sliding doors with blackened finish - typical.
24. Thermally broken aluminum framed windows with blackened finish - typical.
25. Insulated and weather-stripped rolling steel overhead door with blackened finish.
26. Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
27. Sloped glazing in thermally broken aluminum frames with blackened finish.
28. Metal soffit to match metal siding.
29. Mechanical system condensers.



**Thielisen**

ARCHITECTURE

Kirkland, WA 98033 ▶ Tel: 425.828.0333 ▶ www.thielisen.com

Project:

SANTOOTH SERENADE  
260 ST. AVE. NORTH  
KETCHUM, IDAHO

Sheet Title:

BUILDING SECTIONS

Sheet:

A9

Project No.

2002

LICENSED  
ARCHITECT  
AP-980776  
STATE OF IDAHO

Revised:  
09/30/2022

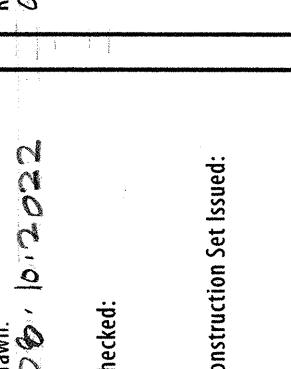
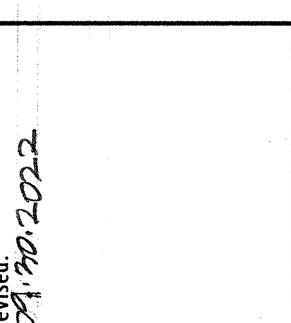
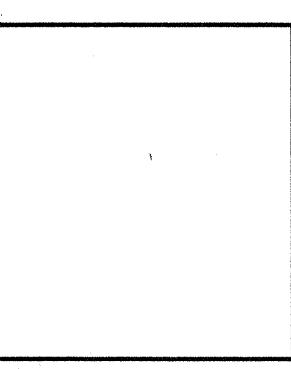
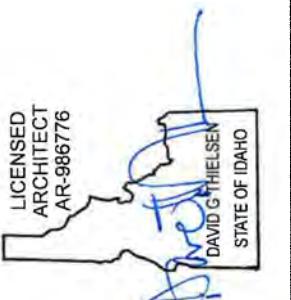
Drawn:  
08/10/2022

Checked:

Construction Set Issued:

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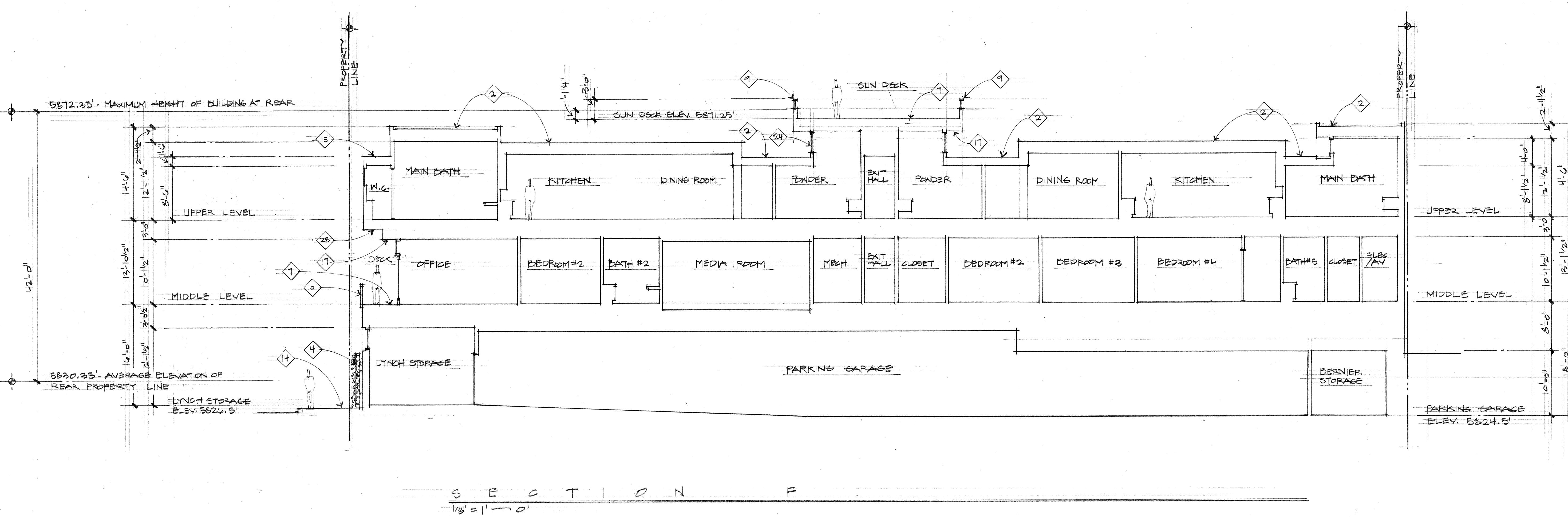
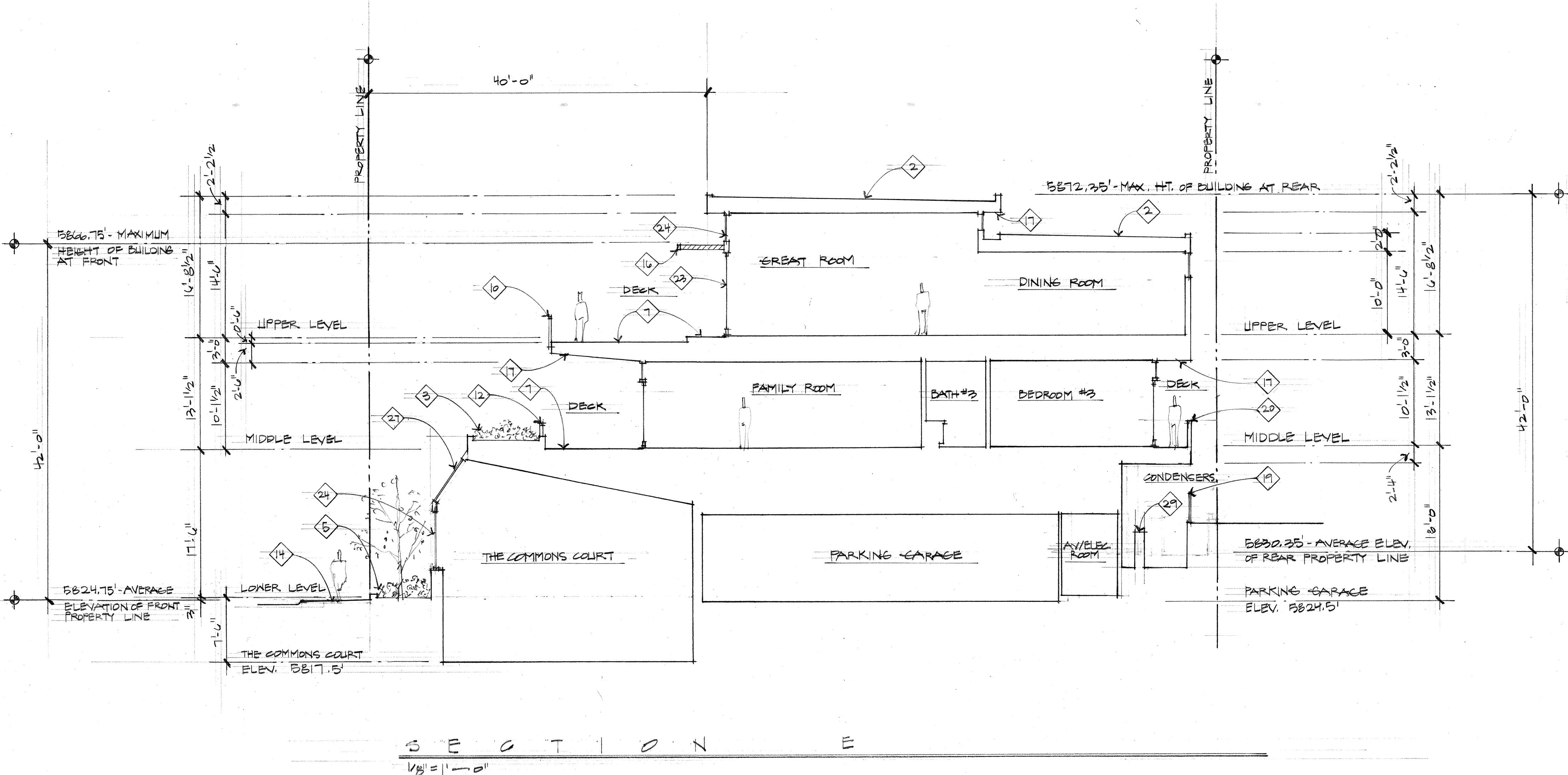
**Thiesen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ Tel: 425.328.0333 ▶ www.thiesen.com

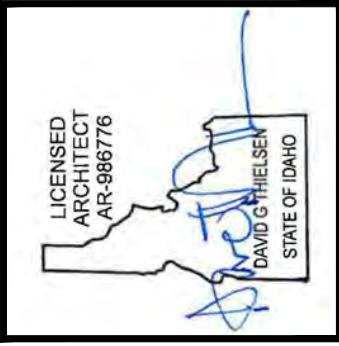
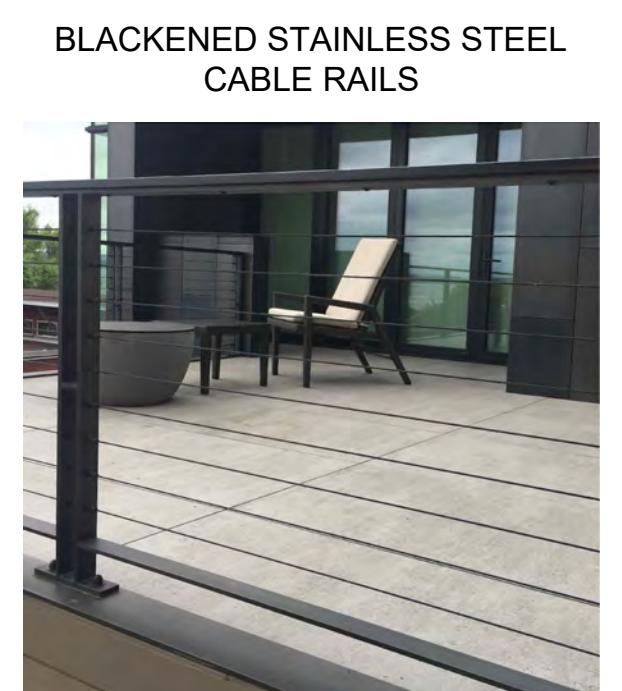
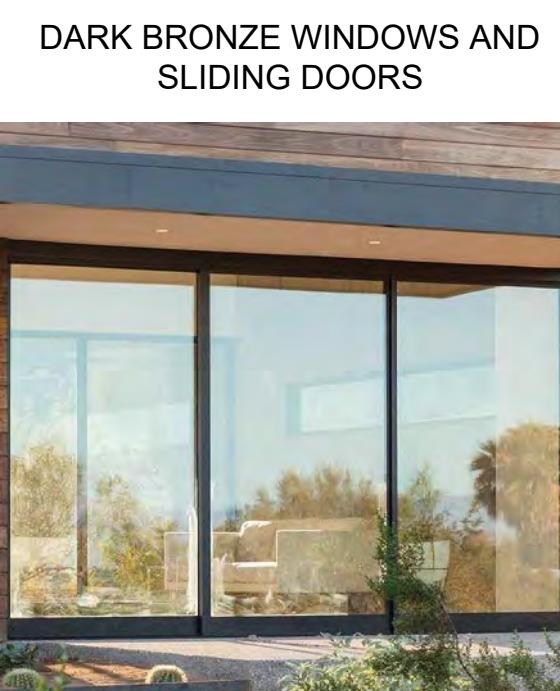
Project: SANTOOTH SERENADE  
260 1ST AVE. NORTH  
KETCHUM, IDAHO

Sheet Title: BUILDING SECTIONS  
Sheet: A11  
Project No. 2002

### BUILDING SECTION KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
2. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
3. Raised planter with plantings per the Landscape plans.
4. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
5. Landscape planting per the Landscape plans within +/- 6" high raised 6" concrete curb to contain soil and mulch.
6. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
7. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
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15. Magna-Loc 180° 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be 1/12.
16. Louvered steel sun screen with blackened finish - typical.
17. Stained Cedar 1x4 tongue and Groove wood soffit - typical at all roof and deck soffits.
18. Stone slab soffit at full bed stone veneer.
19. Horizontal wood fence to screen the mechanical system condensers from public view.
20. Guard Rail: Minimum of 36" high solid guard rail clad with metal siding.
21. Key Note not used.
22. Stainless steel open grate "grid" recessed mat.
23. Thermally broken aluminum framed sliding doors with blackened finish - typical.
24. Thermally broken aluminum framed windows with blackened finish - typical.
25. Insulated and weather-stripped rolling steel overhead door with blackened finish.
26. Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
27. Sloped glazing in thermally broken aluminum frames with blackened finish.
28. Metal soffit to match metal siding.
29. Mechanical system condensers.



Revised:  
6  
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10Drawn: 08/10/22  
Revised: 09/30/22  
Checked: ----  
Construction Set Issued: ----**Thielsen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376Project:  
**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, IDSheet Title:  
EXTERIOR MATERIALS  
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---Sheet:  
**A12**  
Project No.  
2002

## KEYNOTES

- 1 Property line
- 2 Line of building footprint
- 3 Temporary 6' tall chainlink construction fence.
- 4 Temporary "Sidewalk closed ahead" sign
- 5 Temporary "Sidewalk closed" sign
- 6 Materials storage area
- 7 Job trailer
- 8 Portable toilets
- 9 Material delivery and unloading area
- 10 Temporary mobile construction crane location
- 11 Truck wash area

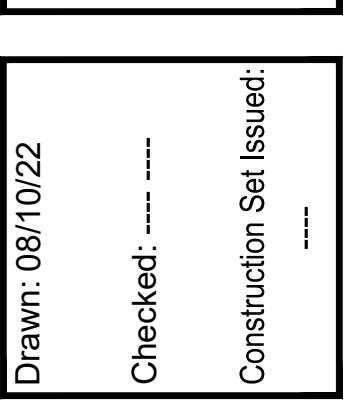
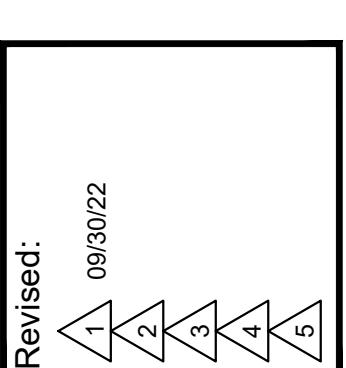
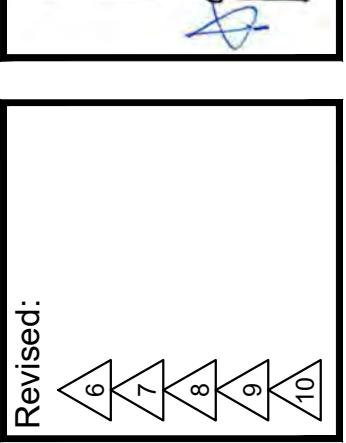
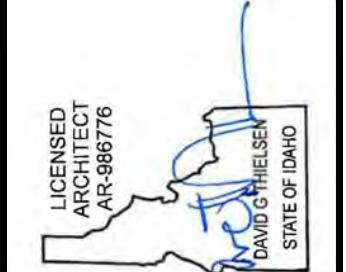


**CONSTRUCTION MANAGEMENT PLAN**

1° = 20'

## CONSTRUCTION MANAGEMENT NOTES

1. General contractor to ensure that all construction activity meets the requirements of the City of Ketchum and all OSHA safety standards.
2. Construction hours to be 7:30 am until 7:00 pm. No construction activity on Sundays or holidays.
3. For construction during the winter, all snow is to be removed from the job site. No snow is to be stored on site.



**Thielisen**  
ARCHITECTS  
Kirkland, WA 98033 ▶ tel 425.828.0333 ▶ fax 425.828.9376

Project:  
**SAWTOOTH SERENADE**  
260 N 1ST AVE  
KETCHUM, ID

Sheet Title:  
CONSTRUCTION PLAN  
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Sheet:  
**A13**  
Project No.  
2002



**ACOUSTIC**  
design group  
B104 N. 78TH STREET, SUITE 1600  
SCOTTSDALE, AZ 85260  
WWW.ADGROUPOAZ.COM  
T 888.296.0950

#### GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS AND LOCATIONS FOR THE PURPOSE OF A TURNKEY ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH GFI BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED. DIFFERENTLY NAMED COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRES USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADD'S ADD WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADD'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHTING PLACEMENT DURING FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

#### PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE ICEDATED AND LABELED AS UNSEALED AIR LEAKAGE RATE LESS THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWERTUB AREA AND FIXTURES INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

**SAWTOOTH SERENADE**  
260 1ST AVENUE NORTH  
KETCHUM IDAHO

LIGHT CONTROL SYMBOL LEGEND	
	SINGLE POLE SWITCH
	SINGLE POLE JAMB SWITCH
	SINGLE POLE MOTION SWITCH
	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
	SWITCHED RECESSED CLOCK RECEPTACLE
	1/2 SWITCHED FLOOR PLUG RECEPTACLE
	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
	ELECTRIC FIREPLACE IGNITOR
	LIGHTING CONTROL KEYPAD
	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE

SHEET NUMBER:  
LIGHTING PLAN

EL 1





ACOUSTIC  
design group

B104 SCOTTSDALE, AZ 85260  
WWW.ADGROUPAZ.COM  
T 888.296.0950

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Any questions concerning this drawing or any portion thereof, contact ACOUSTIC DESIGNS  
GROUP LLC.

#### GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS AND OTHER INFORMATION FOR THE PURPOSE OF A LASER ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
- THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
- ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

- ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH GFI BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
- ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

- FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
- ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

- ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
- ALL WIRE USED SHALL BE COPPER
- IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG'S ADD WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

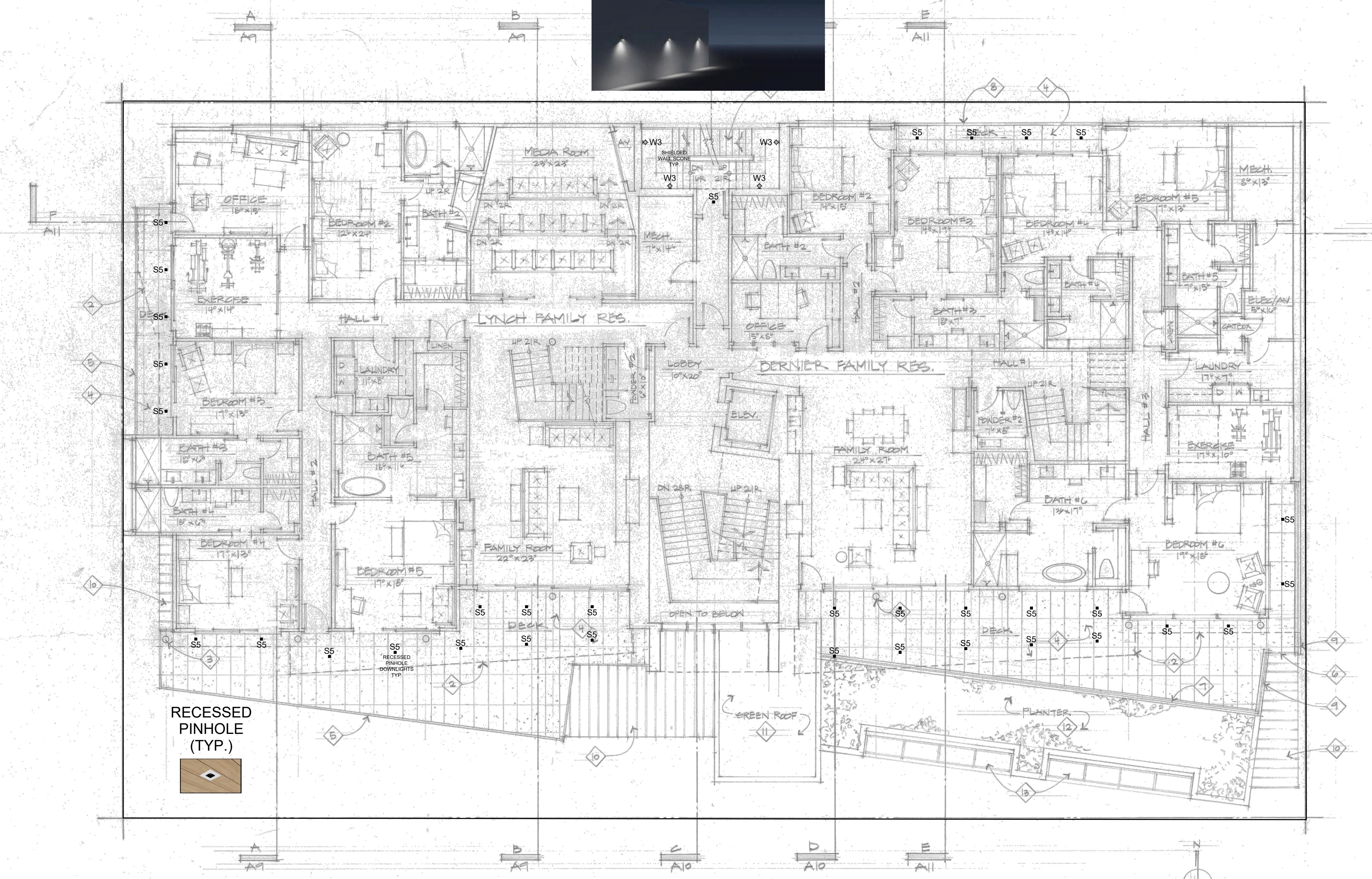
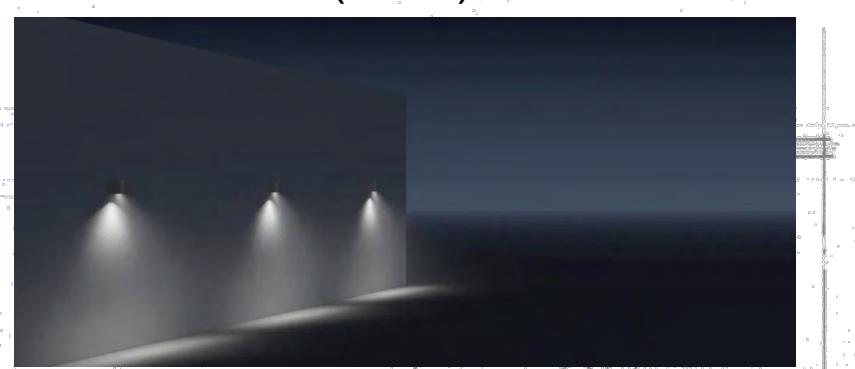
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#### PROJECT NOTES

- LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
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- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWERTUB AREA AND FIXTURES INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.
- ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

SAWTOOTH SERENADE  
260 1ST AVENUE NORTH  
KETCHUM IDAHO

SHIELDED  
WALL SCONCE  
(TYP.)



MIDDLE FLOOR PLAN

LIGHT CONTROL SYMBOL LEGEND	
	SINGLE POLE SWITCH
	SINGLE POLE JAMB SWITCH
	SINGLE POLE MOTION SWITCH
	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
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	CEILING MOUNTED EXHAUST FAN
	ELECTRIC FIREPLACE IGNITOR
	LIGHTING CONTROL KEYPAD
	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE



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G R O U P

DRAWN BY:  
KEVIN FLOWER, LC

DATE: JULY 19, 2022

SCALE: AS NOTED

**REVISIONS:**

- 1. City Comments - 9.30.22
- 2.
- 3.

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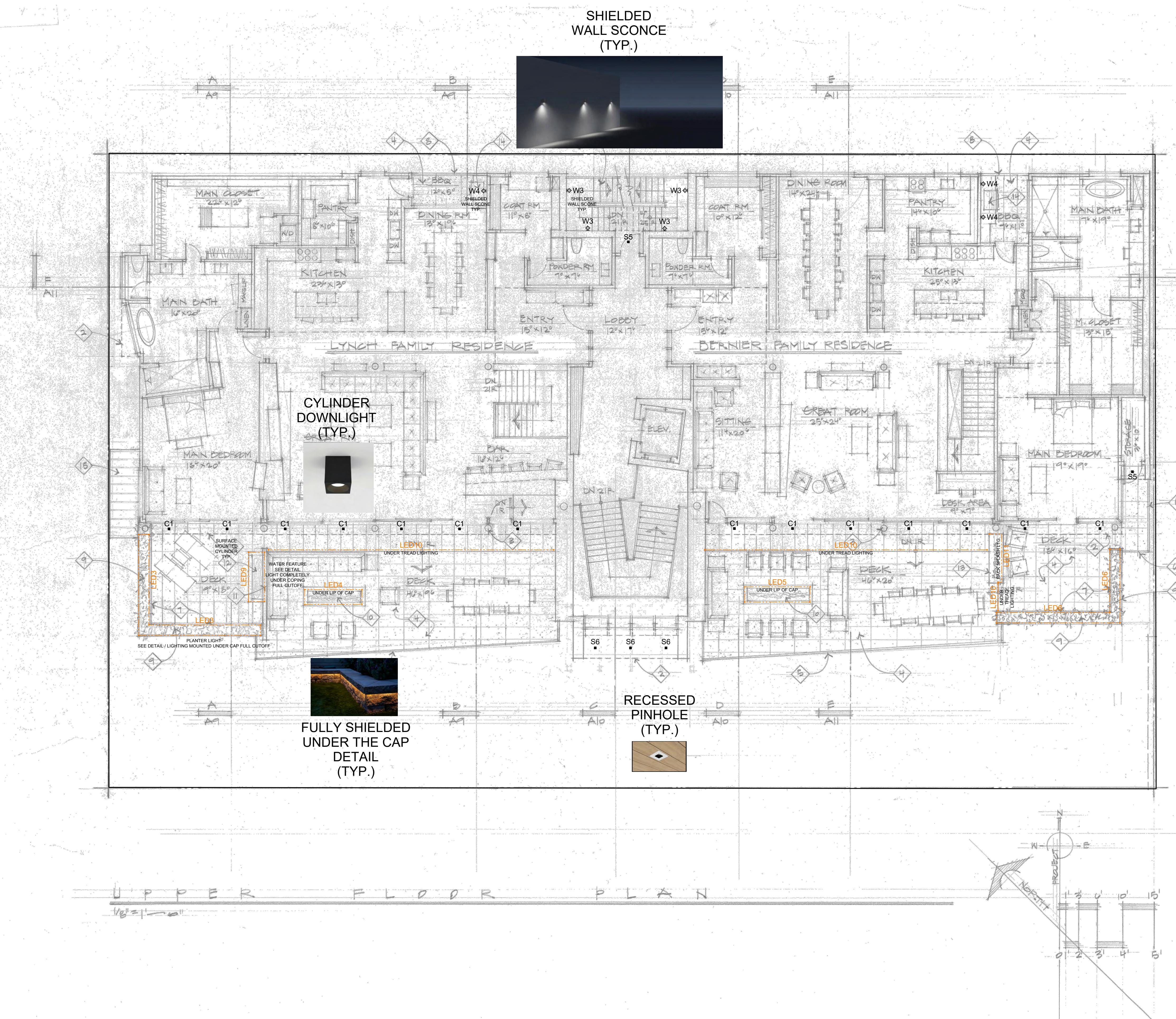
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**SAWTOOTH SERENADE  
260 1ST AVENUE NORTH  
KETCHUM IDAHO**

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	LIGHTING CONTROL ENCLOSURE

SHEET  
NUMBER:  
LIGHTING PLAN

EL 3





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#### LIGHT CONTROL SYMBOL LEGEND

- |  |                                    |
|--|------------------------------------|
|  | SINGLE POLE SWITCH                 |
|  | SINGLE POLE JAMB SWITCH            |
|  | SINGLE POLE MOTION SWITCH          |
|  | SINGLE POLE TIMER SWITCH           |
|  | SINGLE POLE DIMMER                 |
|  | 1/2 SWITCHED DUPLEX RECEPTACLE     |
|  | SWITCHED RECESSED CLOCK RECEPTACLE |
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|  | REMOTE LOW VOLTAGE TRANSFORMER     |
|  | CEILING MOUNTED EXHAUST FAN        |
|  | ELECTRIC FIREPLACE IGNITOR         |
|  | LIGHTING CONTROL KEYPAD            |
|  | LIGHTING CONTROL SWITCHLEG         |
|  | LIGHTING CONTROL ENCLOSURE         |

SHEET  
NUMBER:  
LIGHTING PLAN

EL 4

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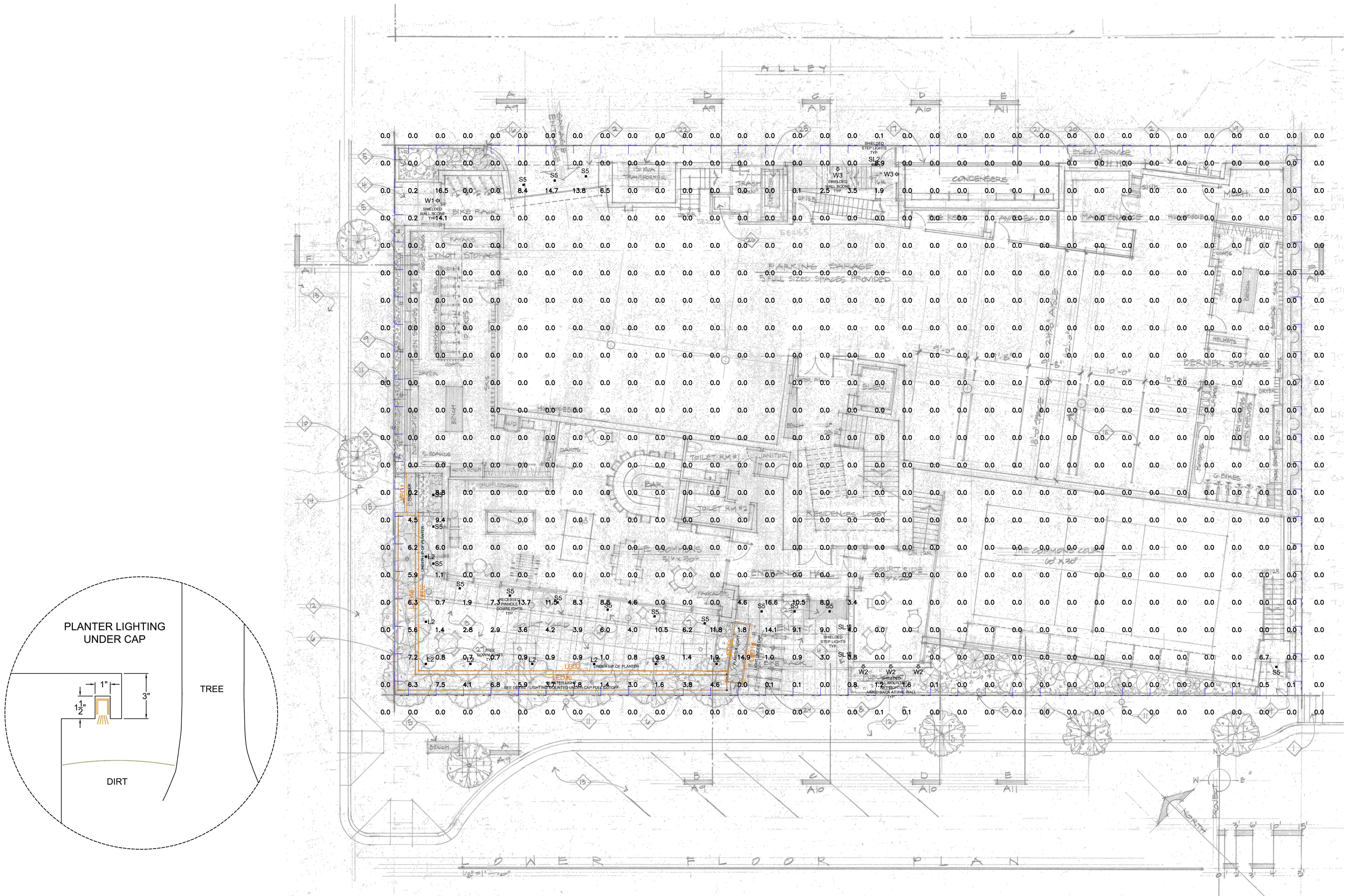
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 SAWTOOTH SERENADE  
260 1ST AVENUE NORTH  
KETCHUM IDAHO


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	0	C1	SINGLE	N.A.	1.000	SPCO6095QINC-PAR30-MB-SM-MB w/ GU24 Base
○	1	L1	VISUAL	N.A.	1.000	
○	16	LED	SINGLE	N.A.	1.000	DI-24V-SE-NB12-27-32-SPN
○	16	S5	SINGLE	N.A.	1.000	HW-D3AD5Q-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
○	0	S6	SINGLE	N.A.	1.000	HW-D3AD5Q-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
2	SL1	SINGLE	N.A.	1.000	34705.023-27K	
1	SL2	SINGLE	N.A.	1.000	34703.023	
1	W1	SINGLE	N.A.	1.000	85105.023-27K	
3	W2	SINGLE	N.A.	1.000	77756-27K	
2	W3	SINGLE	N.A.	1.000	85105.023-27K	
○	0	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Lower Level Overview	Illuminance	Fc	0.69	16.6	0.0	N.A.
Lower Level Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Lower Level Plan Trespass North	Obtrusive - III	Fc	0.01	0.1	0.0	N.A.
Lower Level Plan Trespass South	Obtrusive - III	Fc	0.01	0.1	0.0	N.A.
Lower Level Plan Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.

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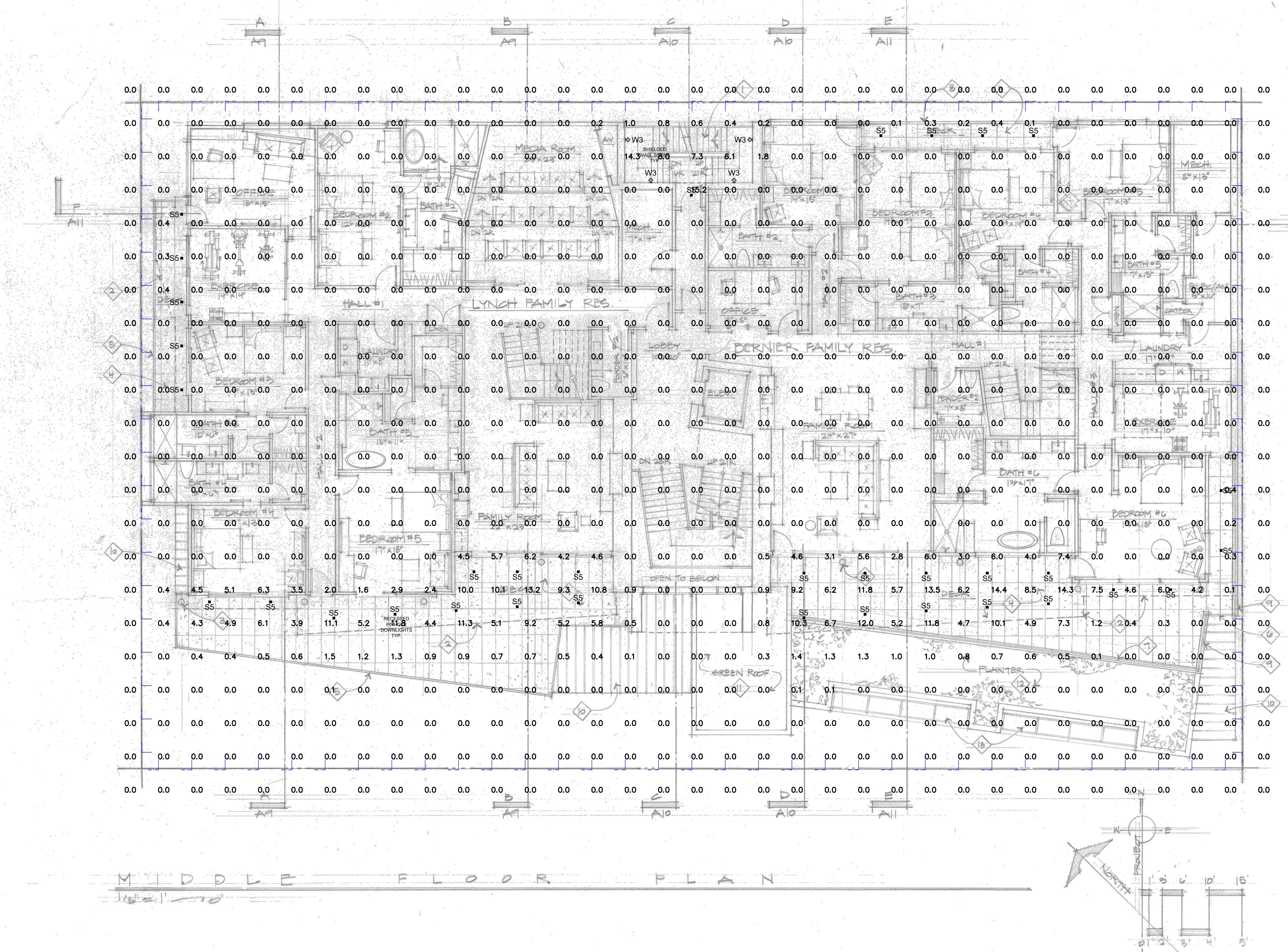
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Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF
○	0	C1	SINGLE	N.A.	1.000
○	0	C2	SINGLE	N.A.	1.000
○	0	LED	SINGLE	N.A.	1.000
○	34	S5	SINGLE	N.A.	1.000
○	0	S6	SINGLE	N.A.	1.000
○	0	SL1	SINGLE	N.A.	1.000
○	0	SL2	SINGLE	N.A.	1.000
○	0	W1	SINGLE	N.A.	1.000
○	0	W2	SINGLE	N.A.	1.000
○	4	W3	SINGLE	N.A.	1.000
○	0	W4	SINGLE	N.A.	1.000
					NL-ZD-3LED-DN-CR-FB

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Middle Level Overview	Illuminance		1.03	15.2	0.0	N.A.
Middle Level Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Middle Level Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Middle Level Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Middle Level Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.

LIGHT CONTROL SYMBOL LEGEND	
○	SINGLE POLE SWITCH
○	SINGLE POLE JAMB SWITCH
○	SINGLE POLE MOTION SWITCH
○	SINGLE POLE TIMER SWITCH
○	SINGLE POLE DIMMER
○	1/2 SWITCHED DUPLEX RECEPTACLE
○	SWITCHED RECESSED CLOCK RECEPTACLE
○	1/2 SWITCHED FLOOR PLUG RECEPTACLE
○	REMOTE LOW VOLTAGE TRANSFORMER
○	CEILING MOUNTED EXHAUST FAN
○	ELECTRIC FIREPLACE IGNITOR
○	LIGHTING CONTROL KEYPAD
○	LIGHTING CONTROL SWITCHLEG
○	LIGHTING CONTROL ENCLOSURE

## GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS AND REQUIREMENTS FOR THE PURPOSE OF A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH GFI BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT 1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG'S ADDS WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

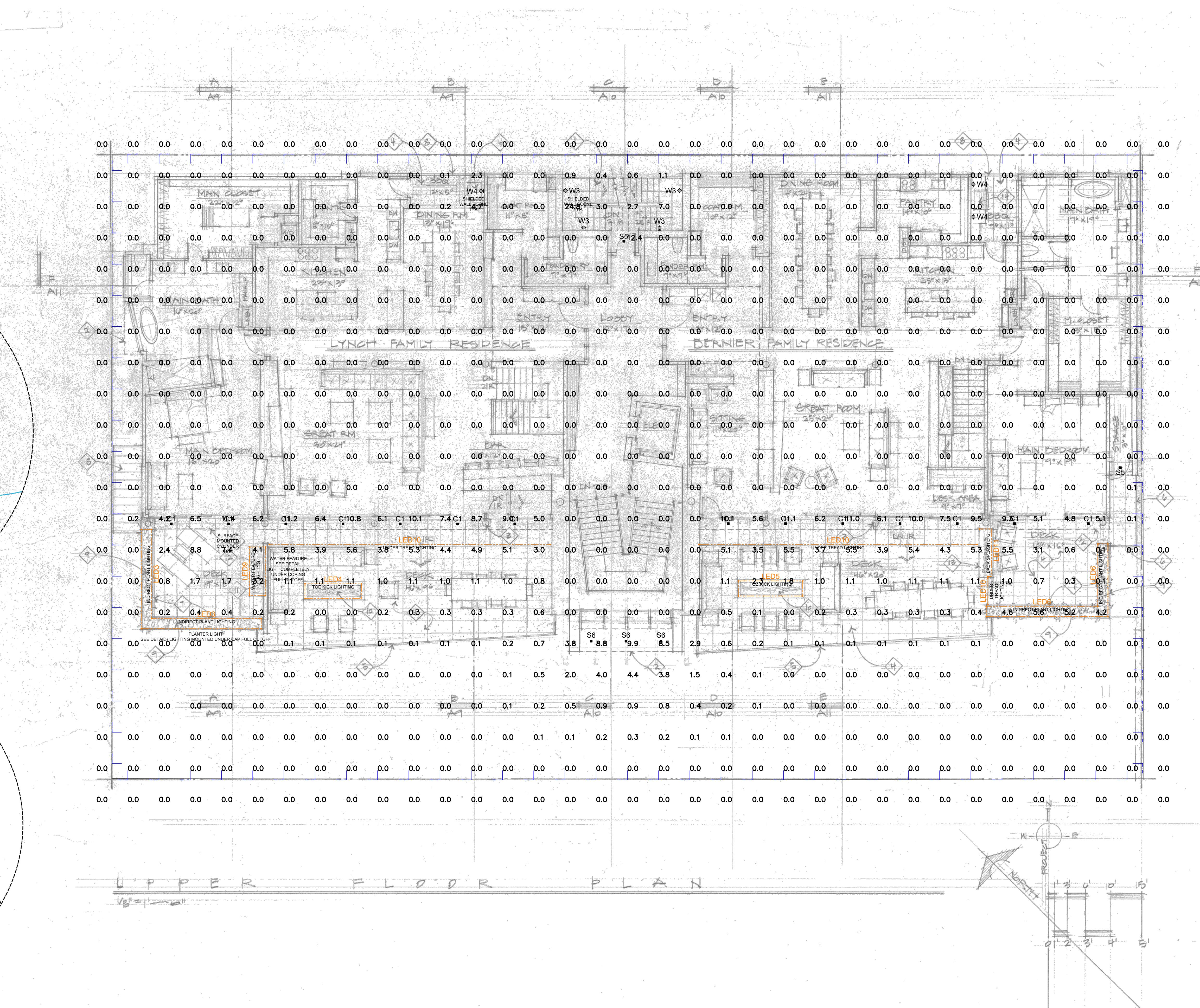
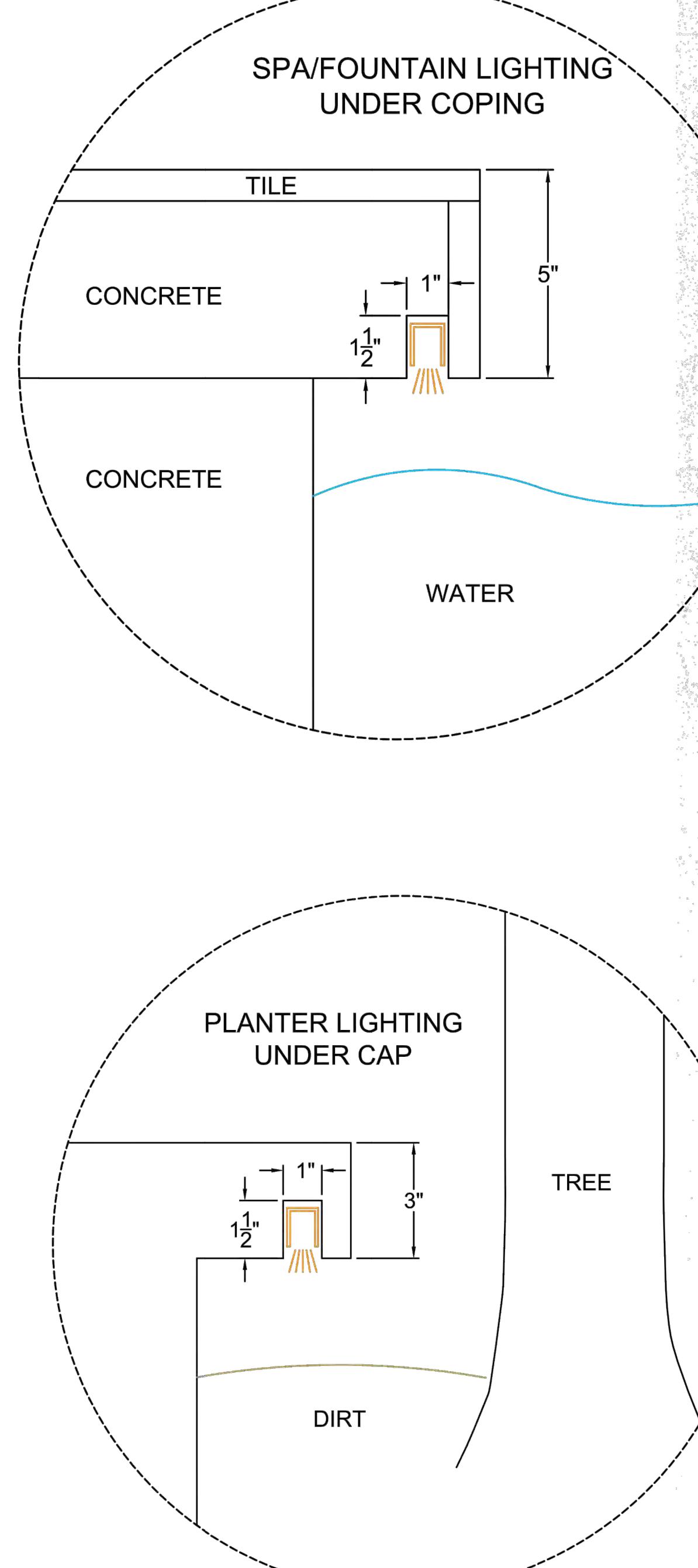
13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDER AND MAN LIFTS TO ASSIST LIGHTING CONTRACTOR DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

# SAWTOOTH SERENADE

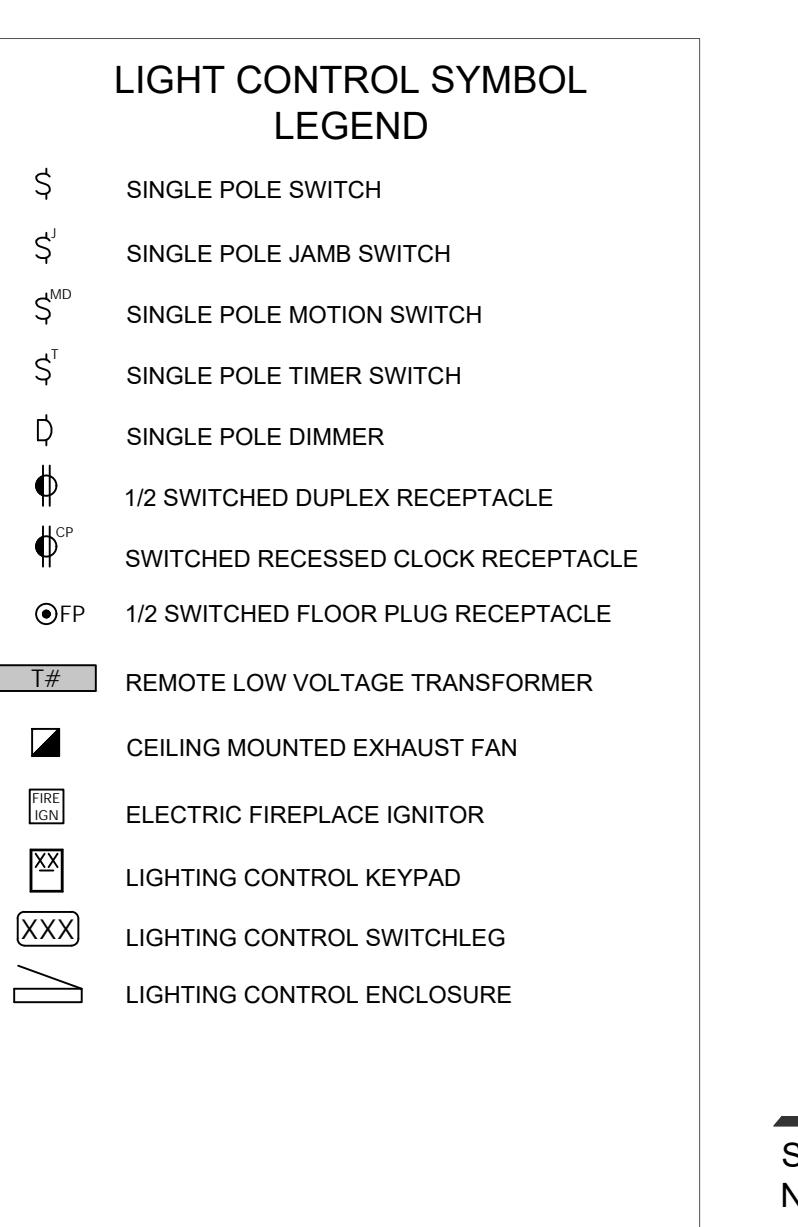
## 260 1ST AVENUE NORTH

### KETCHUM IDAHO



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	14	C1	SINGLE	N.A.	1.000	SPCO6095QINC-PAR30-MB-SM-MB w/ GU24 Base
○	1	C2	VARIABLE	N.A.	1.000	DI-24V-SE-NB12-27-32-SPN
—	106	LED	SINGLE	N.A.	1.000	HW-D3AD5Q-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
□	2	S5	SINGLE	N.A.	1.000	HW-D3AD5Q-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
□	3	S6	SINGLE	N.A.	1.000	34705.023-27K
○	0	SL1	SINGLE	N.A.	1.000	85105.023-27K
○	0	SL2	SINGLE	N.A.	1.000	77756-27K
○	0	W1	SINGLE	N.A.	1.000	85105.023-27K
○	4	W3	SINGLE	N.A.	1.000	85105.023-27K
○	3	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Upper Level Overview	Illuminance	Fc	0.78	24.8	0.0	N.A. N.A.
Upper Level Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A. N.A.
Upper Level Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A. N.A.
Upper Level Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A. N.A.
Upper Level Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A. N.A.





**ACOUSTIC**  
design group  
16074 N. 78TH STREET, SUITE  
B104 SCOTTSDALE, AZ 85260  
WWW.ADGROUPOAZ.COM  
T 888.296.0950

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For questions concerning this drawing, contact ACOUSTIC DESIGNS  
GROUP LLC.

#### GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS AND OTHER INFORMATION FOR THE PURPOSE OF ASSISTING THE ELECTRICAL CONTRACTOR IN BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH GFCI BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.
6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
8. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.
9. ALL STEP LIGHTS SHALL BE MOUNTED AT 1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
10. ALL STEP LIGHTS SHALL BE COPPER
11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG'S ADDS WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.
12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDED ALL NECESSARY LADDER AND MAN LIFTS TO ASSIST LIGHTING CONTRACTOR DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.
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DRAWN BY:  
KEVIN FLOWER, LC

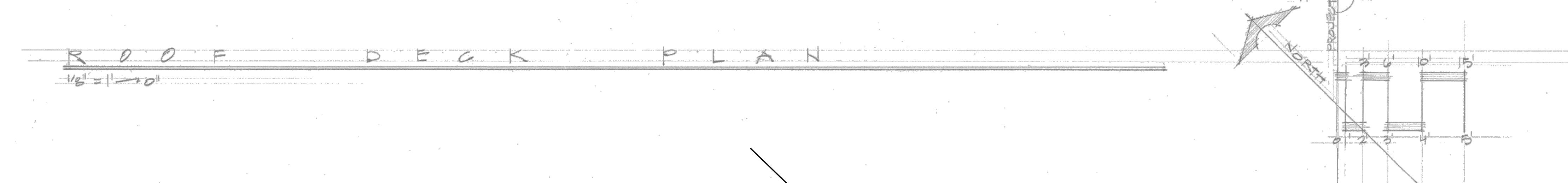
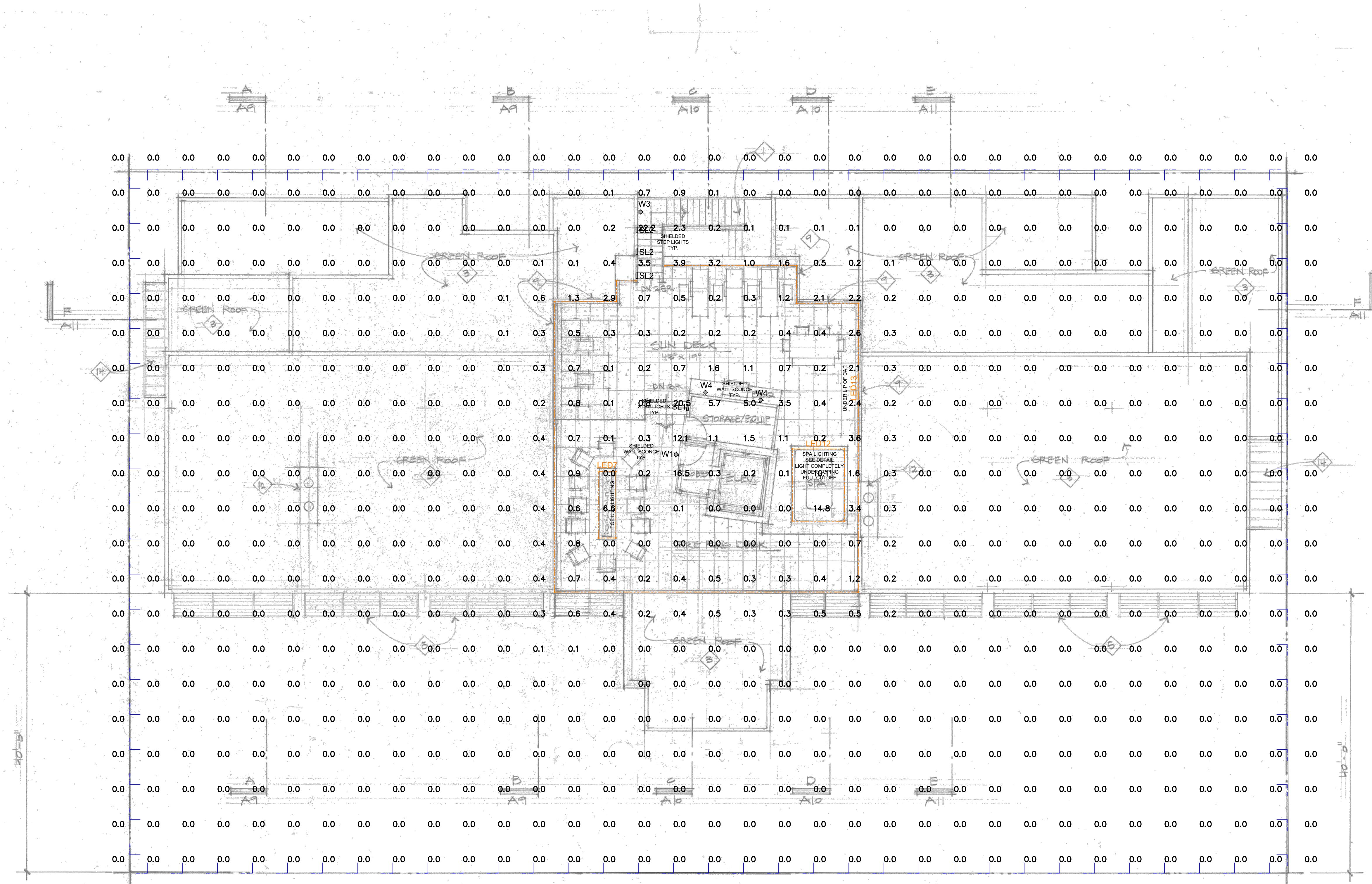
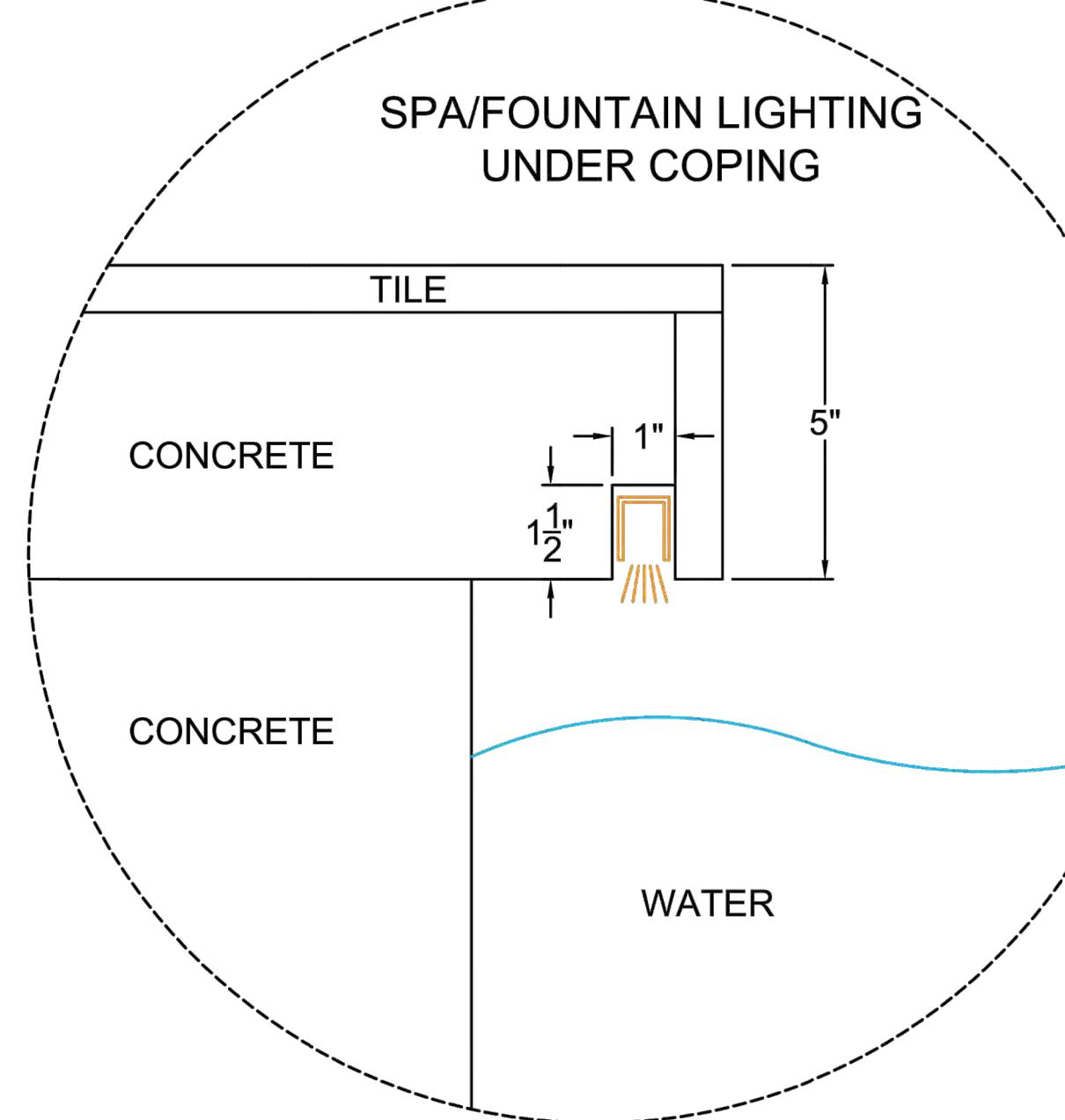
DATE: JULY 19, 2022

SCALE: AS NOTED

#### REVISIONS:

1. City Comments - 9.30.22
- 2.
- 3.

## SAWTOOTH SERENADE 260 1ST AVENUE NORTH KETCHUM IDAHO



Luminaires Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF
○	0	C1	SINGLE	N.A.	1.000
○	0	L2	SINGLE	N.A.	1.000
—	237	LED	SINGLE	N.A.	DI-24V-SE-NBL2-27-32-SPN
■	0	SS	SINGLE	N.A.	HW-D3AD50-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
□	0	SL	SINGLE	N.A.	1.000
1	1	SL1	SINGLE	N.A.	1.000 34/05/023-27K
3	3	SL2	SINGLE	N.A.	1.000 34/03/023
○	1	W1	SINGLE	N.A.	1.000 85105.023-27K
○	0	W2	SINGLE	N.A.	1.000 77756-27K
○	1	W3	SINGLE	N.A.	1.000 85105.023-27K
○	2	W4	SINGLE	N.A.	1.000 NL-ZD-3LED-DN-CR-FB

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Roof Deck Overview	Illuminance	Fc	0.26	22.2	0.0	N.A.
Roof Deck Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Roof Deck Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Roof Deck Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.
Roof Deck Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.

LIGHT CONTROL SYMBOL LEGEND	
○	SINGLE POLE SWITCH
○—	SINGLE POLE JAMB SWITCH
○△	SINGLE POLE MOTION SWITCH
○□	SINGLE POLE TIMER SWITCH
○×	SINGLE POLE DIMMER
○/○	1/2 SWITCHED DUPLEX RECEPTACLE
○□	SWITCHED RECESSED CLOCK RECEPTACLE
○□	1/2 SWITCHED FLOOR PLUG RECEPTACLE
○#	REMOTE LOW VOLTAGE TRANSFORMER
□	CEILING MOUNTED EXHAUST FAN
□	ELECTRIC FIREPLACE IGNITOR
□	LIGHTING CONTROL KEYPAD
XXX	LIGHTING CONTROL SWITCHLEG
□	LIGHTING CONTROL ENCLOSURE

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T 888.296.0950

## GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS AND DETAILS FOR THE PURPOSE OF A TRANSFER ELECTRICAL CONTRACTOR BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH THE GFI BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG'S ADD'S WILL REQUIRE SITE VISITS DURING ELECTRICAL RUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDED ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTRACTOR DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

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## PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE INSULATED AND SEALED AS AIR LEAKAGE RATE MUST NOT BE MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURES/DILIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

## ACOUSTIC DESIGNS GROUP

1607 N. 78th Street, Suite B104  
Scottsdale, AZ 85260  
888.296.0950

## Lighting Fixture Schedule

Project: Sawtooth Serenade

Quantity	Type	Manufacturer	Model Number / Description	Volts	Dimming	Lamp Type	Watts
14	C1	SPECTRUM	SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base 6" Square Cylinder Surface Mounted with GU24 Base and Ketra Lamp	120V AC	KETRA (COLOR SET TO 27K)	HW-S30-08H-O-GTWFL-11G25-BK LOUVER: S30ALUV45 BK	10
8	L2	FX LUMINAIRE	JB - ZDC - FB - Warm 27K Lens 4" Surface Mounted Tree Downlight with 45° Cutoff Shroud	12V AC	ELV	integral LED lamp	4
16	LED1 - LED16	ELEMENTAL LED	LINEAR LED LIGHTING MOUNTED IN CHANNEL DIFFUSED AND MOUNTED FACING DOWNWARD CONTRACTOR TO DETERMINE BILL OF MATERIALS USING DI-24V-SE-NBL2-27-32-SPN-ELV-FACTORY - 32.8 Foot Spool / 27K / 244W/FT DI-ODX-24VXXW-J - ELV DIMMING DRIVERS	24V DC	ELV	integral LED lamp	244W/FT
52	S5	KETRA	HW-D3ADSQ-09-GT-40L-II-NCOC-H-SP / UN-D3TFSPA-CWH-N 3" Adjustable LED with 40 Degree Beam and Interchangeable Optics	120V AC	KETRA (COLOR SET TO 27K)	integral LED lamp	9
3	S6	KETRA	HW-D3ADSQ-09-GT-25L-II-NCOC-H-SP / UN-D3TFSPA-CWH-N 3" Adjustable LED with 25 Degree Beam and Interchangeable Optics	120V AC	KETRA (COLOR SET TO 27K)	integral LED lamp	9
3	SL1	ERCO	34705.023-27K w/appropriate Housing 7-5/8" x 6-7/8" Recessed Linear Light with Deep Beam	120V AC	ELV	integral LED lamp	8
4	SL2	ERCO	34703.023-27K w/appropriate Housing 7-5/8" x 6-7/8" Recessed Linear Light with Wide Beam	120V AC	ELV	integral LED lamp	8
2	W1	ERCO	85105.023-27K w/33137.023 Mounting Plate 7-7-16" Wall Mounted Floor Wash Light	120V AC	ELV	integral LED lamp	8
3	W2	BEGA LIGHTING	77756-27K w/70755 Glare Shield 4-3/8" Cylindrical Wall Mounted Downlight with 180 degree Glare Shield	120V AC	0-10V	integral LED lamp	10.5
11	W3	ERCO	85105.023-27K w/33137.023 Mounting Plate 7-7-16" Wall Mounted Floor Wash Light	120V AC	ELV	integral LED lamp	8
5	W4	FX LUMINAIRE	NL-ZD-3LED-DN-CR-FB w/ Wide Spread Lens - Warm 27K Lens 3" Surface Mounted Downlight with	12V AC	PHASE	integral LED lamp	4

\*\*\* ALL FIXTURES INSTALLED IN EXTERIOR CONDITIONS MUST BE DAMP OR WET RATED AND BE DARK SKY COMPLIANT

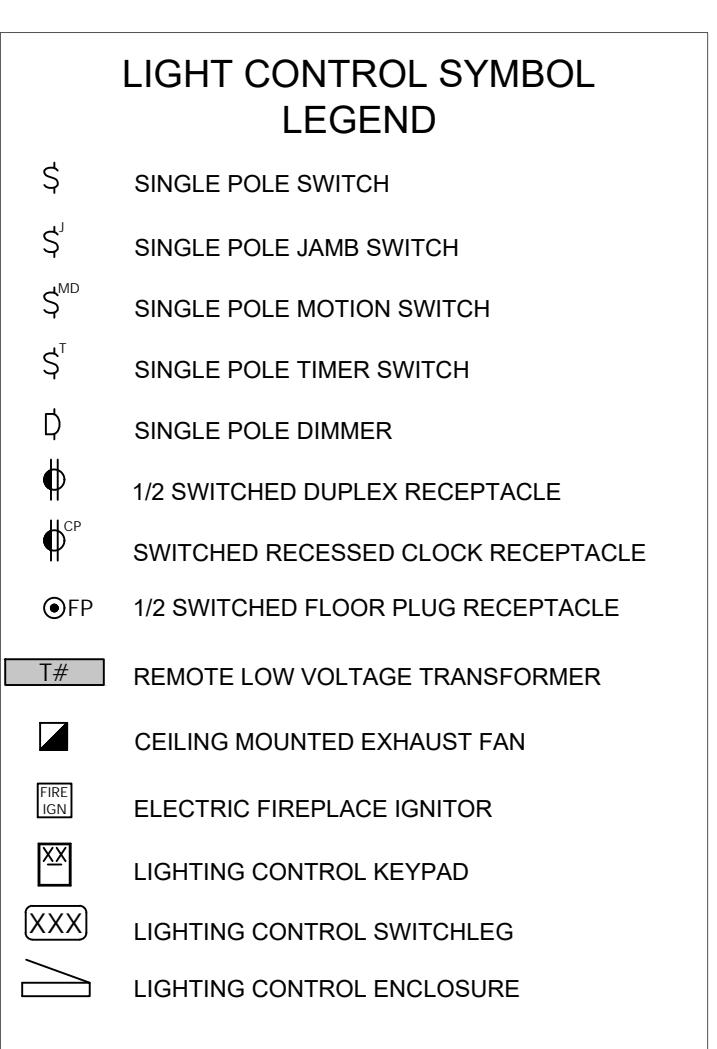
\*\*\* EQUIVALENT FIXTURES MAY BE SUBSTITUTED WITH OWNER'S APPROVAL

\*\*\* ALL FIXTURES ARE TO BE APPROVED BY OWNER BEFORE ORDERING.

\*\*\* ALL LINEAR PRODUCT MUST BE FIELD MEASURED BEFORE ORDERING.

\*\*\* ALL LED PRODUCT IS TO BE FIELD VERIFIED FOR PROPER COLOR RENDERING BEFORE ORDERING

\*\*\* ALL TRIM COLORS TO BE VERIFIED WITH OWNER BEFORE ORDERING.



SAWTOOTH SERENADE  
260 1ST AVENUE NORTH  
KETCHUM IDAHO

SHEET NUMBER:  
SPECIFICATION PLAN  
EL 9







ACOUSTIC  
design group

B104 N. 78TH STREET, SUITE  
16074 N. 78TH STREET, AZ 85260  
WWW.ADGROUPOAZ.COM  
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DRAWN BY:  
KEVIN FLOWER, LC

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

- 1. City Comments - 9.30.22
- 2.
- 3.

## GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS AND REQUIREMENTS FOR THE PURPOSE OF PROVIDING A LUMINAIRE ELECTRICAL CONTRACTOR TO DESIGN AND INSTALL A COMPLETE LIGHTING SYSTEM.

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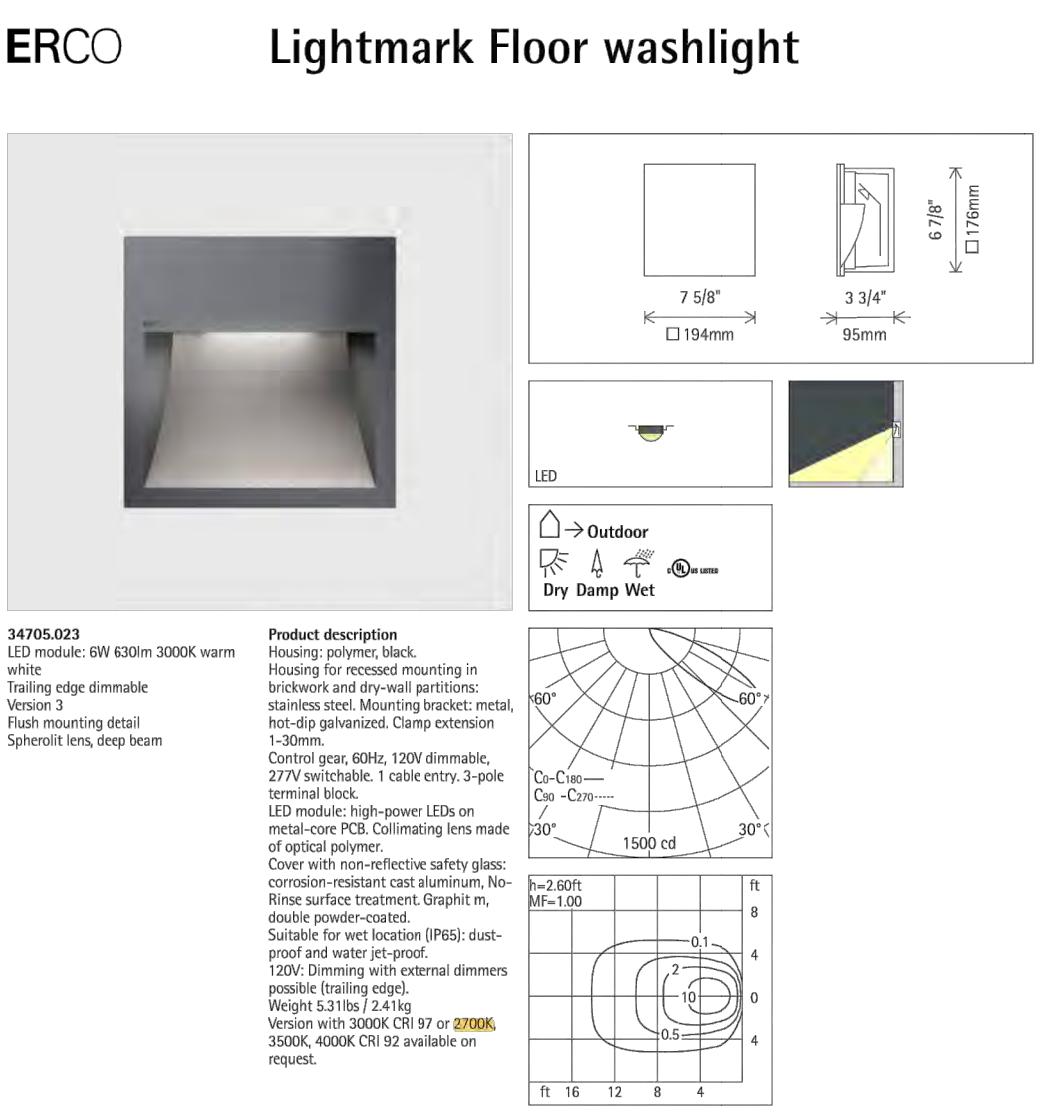
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4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

Acoustic Designs Group  
Type: SL1

Model # 34705.023-27K



Acoustic Designs Group  
Type: SL2

Model # 34703.023-27K



Acoustic Designs Group  
Type: W1

Model # 85105.023-27K w/33137.023



Acoustic Designs Group  
Type: W2

Model # 877756-27K w/70755

LED floodlight with mounting canopy and outrigger arm

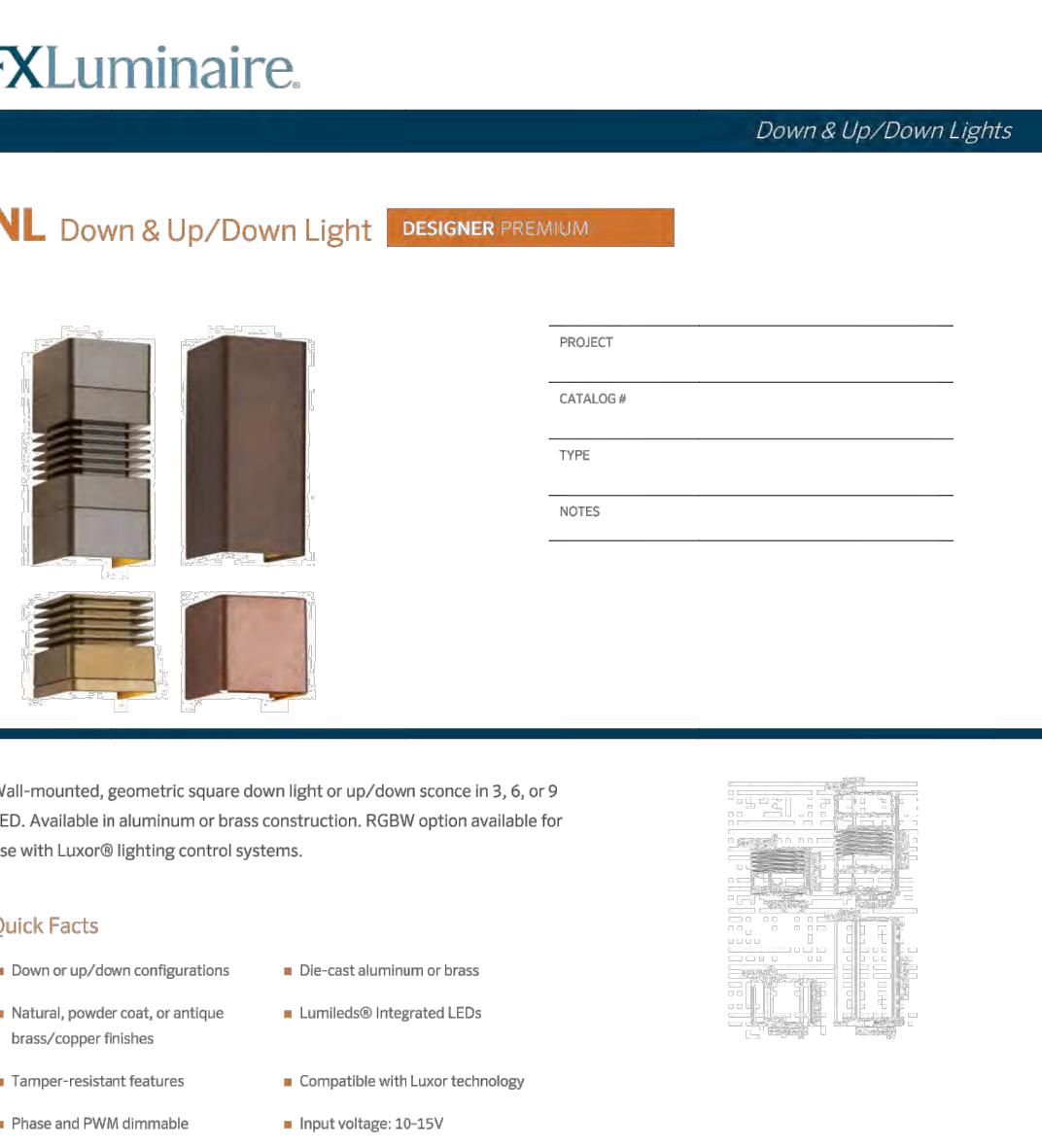
Acoustic Designs Group  
Type: W3

Model # 85105.023-27K w/33137.023



Acoustic Designs Group  
Type: W4

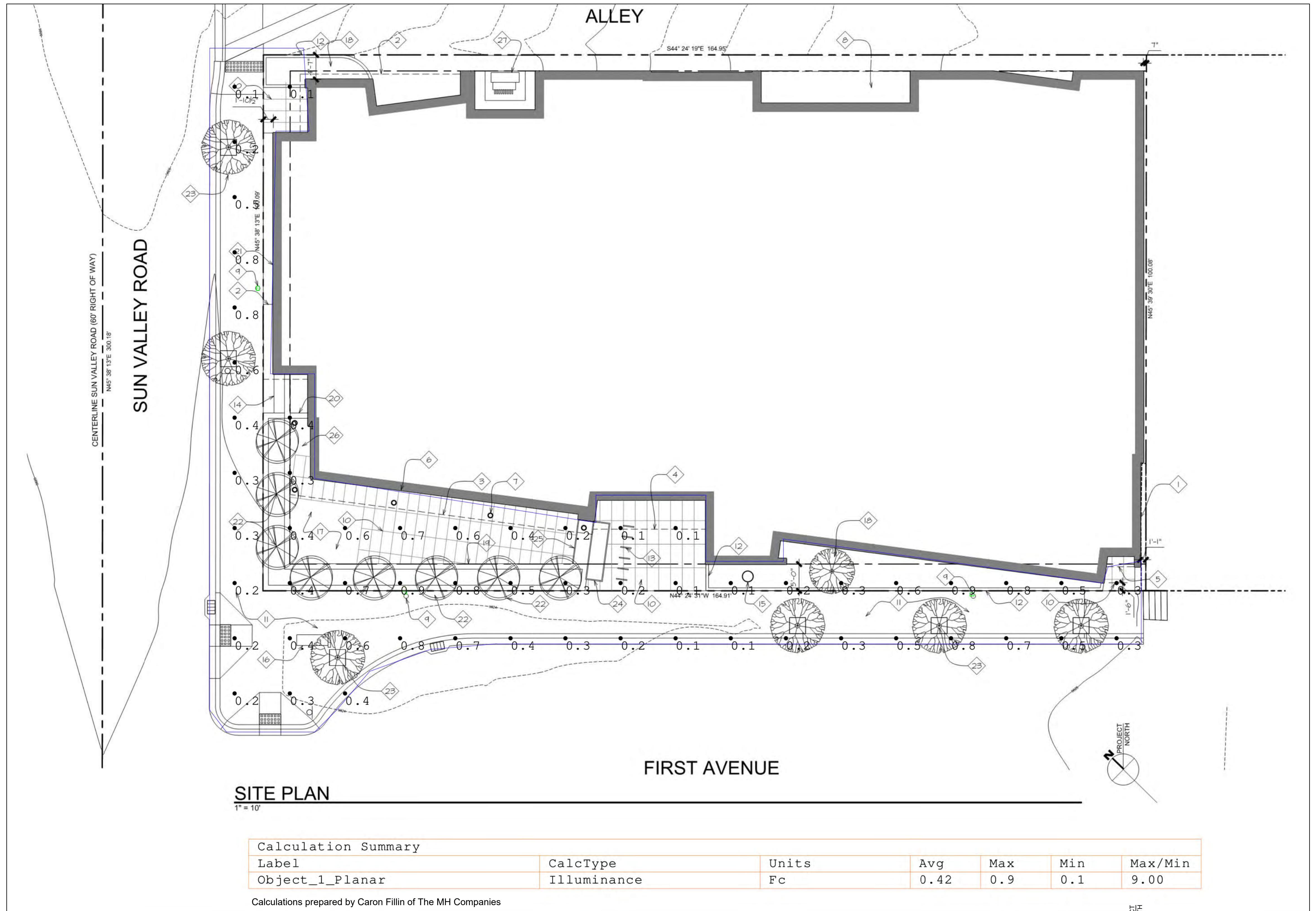
Model # NL-ZD-3LED-DN-CR-FB w/ Wide Spread Lens



LIGHT CONTROL SYMBOL LEGEND	
	SINGLE POLE SWITCH
	SINGLE POLE JAMB SWITCH
	SINGLE POLE MOTION SWITCH
	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
	SWITCHED RECESSED CLOCK RECEPTACLE
	OFF
	1/2 SWITCHED FLOOR PLUG RECEPTACLE
	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
	ELECTRIC FIREPLACE IGNITOR
	LIGHTING CONTROL KEYPAD
	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE

SAWTOOTH SERENADE  
260 1ST AVENUE NORTH  
KETCHUM IDAHO

SHEET NUMBER:  
SPECIFICATION PLAN  
EL12



Sheet No.  
2002

Project No.  
2002

Sheet Title:  
STREET LIGHTING PHOTOMETRIC PLAN

Sheet:

**ES1**

**THE MH COMPANIES**  
PREPARED BY CARSON FILLIN  
(208) 609-3722  
carson@mhlighting.com

Project:  
**SAWTOOTH SERENADE**  
260 N 1ST AVE  
Ketchum, ID

Revised:  
09/09/22  
1 2 3 4 5 6 7 8 9 10

Revised:  
09/09/22  
1 2 3 4 5 6 7 8 9 10

Drawn: 08/10/22 CF  
Checked: -----  
Construction Set Issued: -----

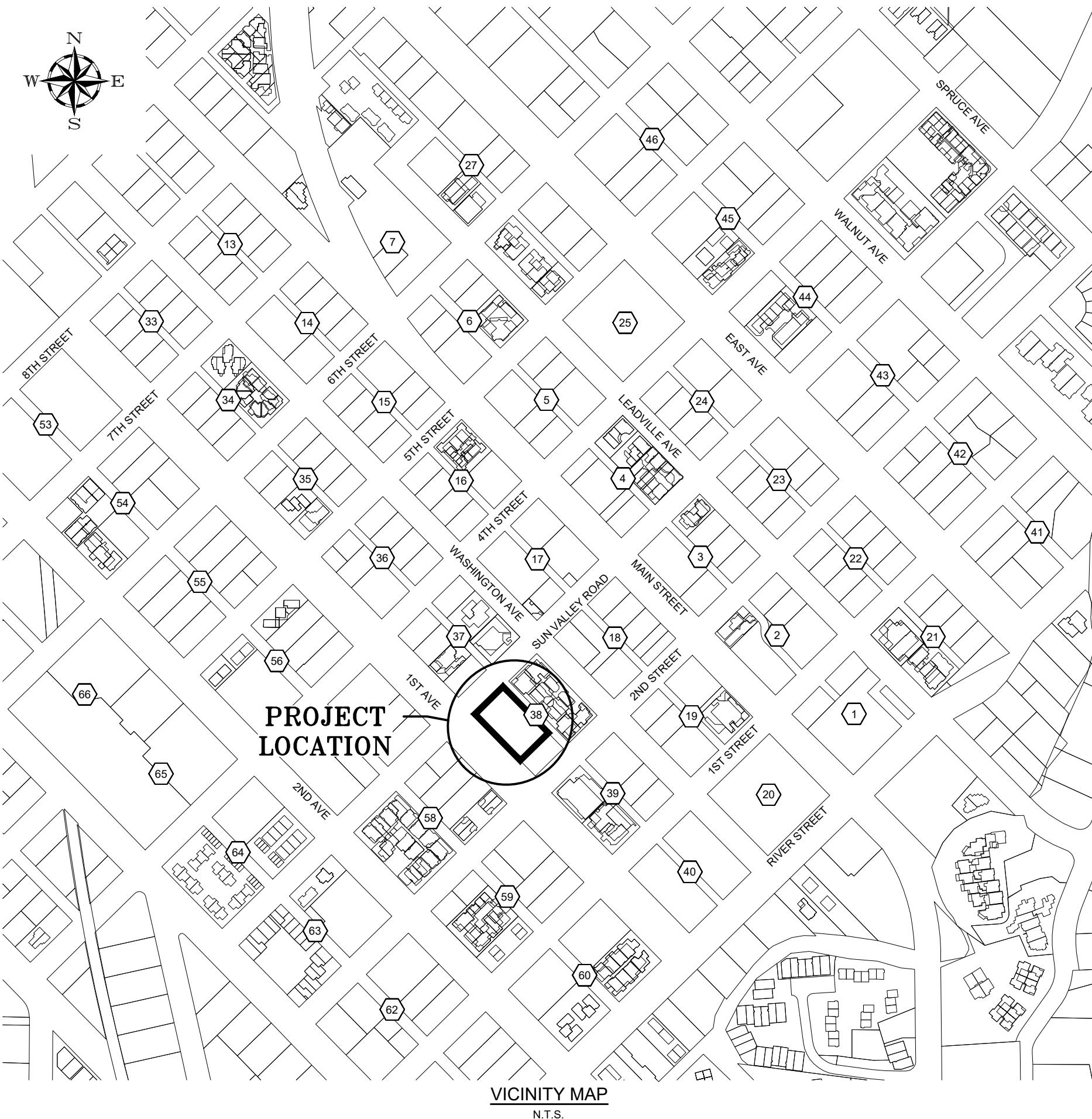
# SAWTOOTH SERENADE

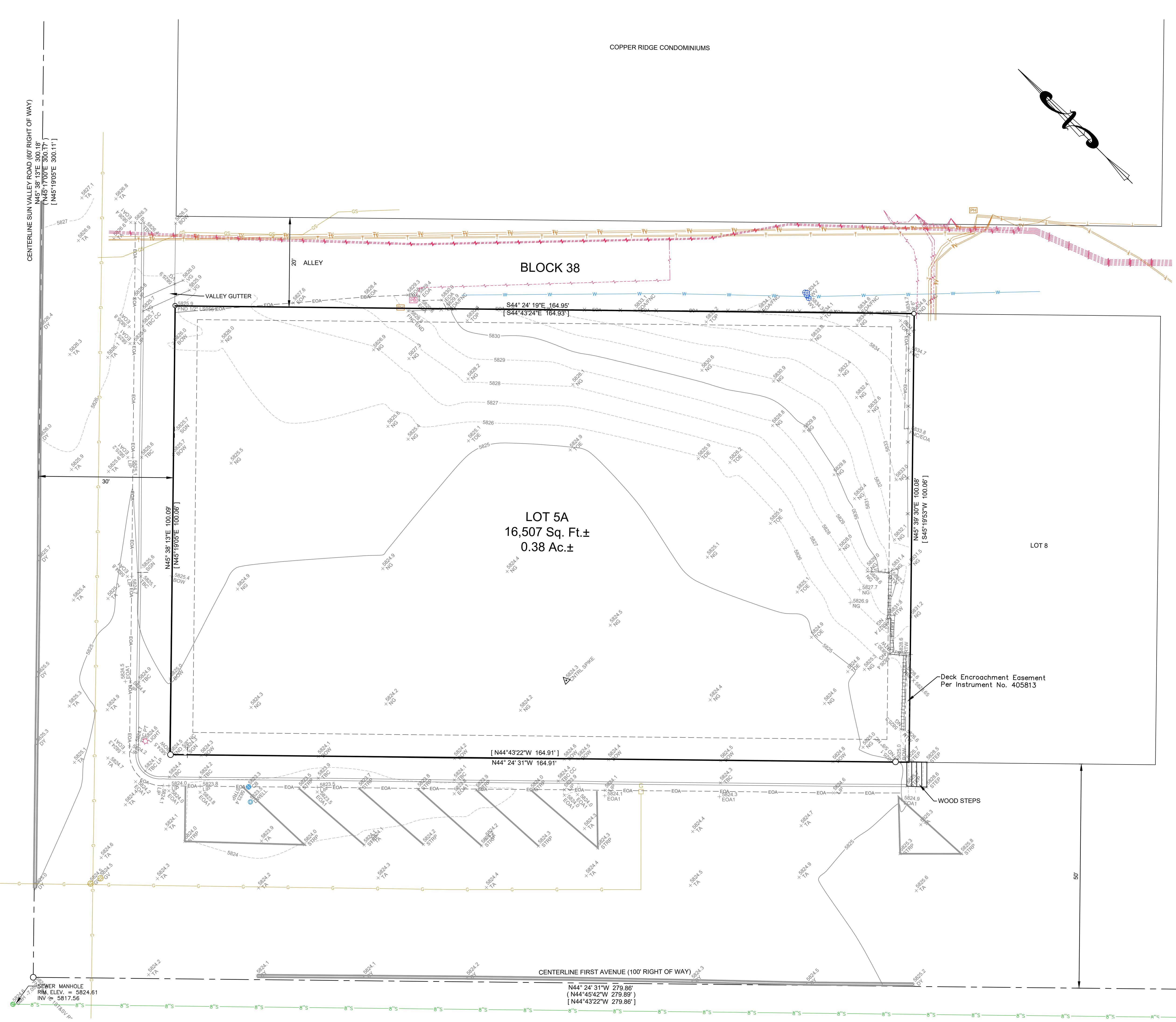
## CITY OF KETCHUM, BLAINE COUNTY, IDAHO

### SEPTEMBER 2022

#### CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DILINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPAKTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPAKTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPAKTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- CONTRACTOR IS RESPONSIBLE FOR A TRAFFIC CONTROL PLAN FOR WORK WITHIN THE CITY RIGHTS-OF-WAY. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
- ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPAKTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19).
- DOCUMENTATION OF TESTING FOR WORK WITHIN THE CITY RIGHT-OF-WAY MEETING SECTION 12.04.040 D WILL BE REQUIRED FOR ASPHALT, CONCRETE, AND BASE MATERIALS AND WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.





A TOPOGRAPHIC MAP SHOWING  
**LOT 5A, BLOCK 38, KETCHUM TOWNSITE**  
LOCATED WITHIN SECTION 13 T 1 N R 13 E CITY OF KETCHUM BLAINE COUNTY IDAHO

LOCATED WITHIN SECTION 18, 1.4 N., R. 18 E., B.M., CITY OF KEICHEUM, BLAINE COUNTY, IDAHO  
PREPARED FOR HOLLIS REMPELTS ARCHITECTS

PROJ. NO. \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
SHEET NO. \_\_\_\_\_  
TOTAL SHEETS \_\_\_\_\_  
extents of this Project except by  
agreement in writing with Galena  
Engineering Inc.

(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

10 ft.  
END

- Property Line
- Adjoinder's Lot Line
- Centerline Right of Way
- - Building Setback Line
- Easement Line
- Concrete Line
- - Edge of Asphalt
- Paint Striping
- └ Retaining Wall
- Fence Line
- Sewer main Line
- Water main Line
- Buried Telephone Line
- Buried Cable Television Line
- - Buried Power Line
- Gas main Line
- 1' Contour Interval
- 5' Contour Interval
- ⚠ Survey Control
- Found 1/2" Rebar
- Found 5/8" Rebar
- △ Found 5/8" Rebar with Aluminum Cap
- ⊕ Water Valve
- Drywell
- Sign
- Light
- PH Telephone Riser
- PB Power Box
- S Sewer Manhole
- G Gas Valve

- ( ) Record Bearing & Distance, Ketchum Townsite, Block 38, Lot 1A, Instrument Number 467733

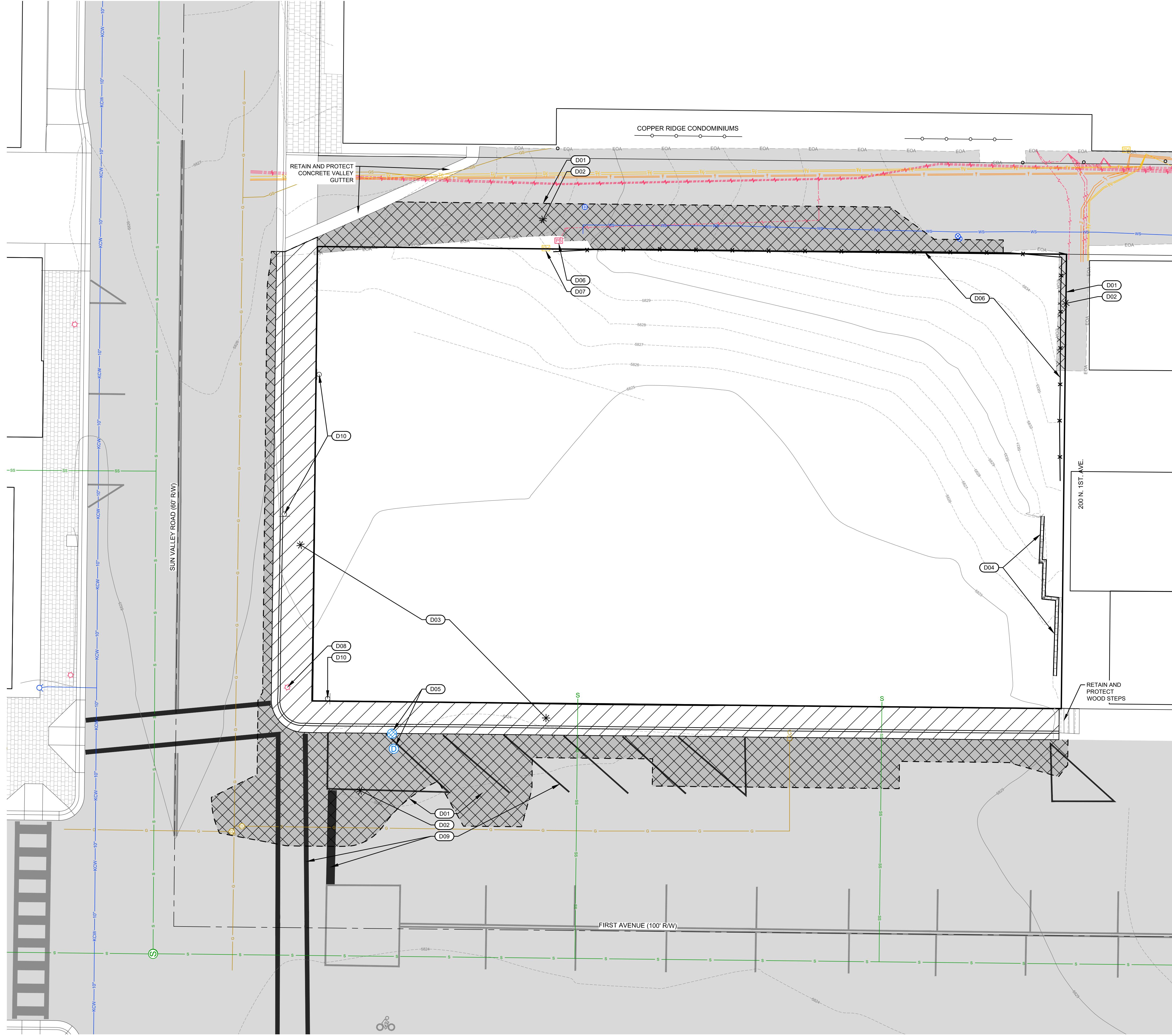
[ ] Record Bearing & Distance, Lot 5A, Block 38, Ketchum Townsite, Instrument Number 548431

BOW = Back of Walk  
CB = Catch Basin  
CC = Curb Cut  
COR = Corner  
CNTRL = Survey Control  
DWELL = Drywell  
DY = Double Yellow  
EOA = Edge of Asphalt  
FNC = Fence  
FND = Found  
GV = Gas Valve  
IC = Illegible Cap  
IP = Iron Pipe  
LIP = Lip of Gutter  
LP = Low Point  
NG = Natural Ground  
PBOX = Power Box  
PHBOX = Telephone Riser  
PT = Point of Tangent  
RTW = Retaining Wall  
SGN = Sign  
SMH = Sewer Manhole  
STRP = Stripe  
TA = Top of Asphalt  
TBC = Top Back of Curb  
TBM = Temporary Benchmark  
TOE = Toe of Slope  
TOP = Top of Slope  
VG = Valley Gutter  
WV = Water Valve
- ## NOTES
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/02/18).
- Boundary information is based on Found Monumentation and the recorded plat of Lot 5A, Block 38, Ketchum Townsite, Instrument Number 548431, records of Blaine County. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of the  $\frac{5}{8}$ " rebar with No Cap, at the Northwest Corner of Lot 5A. Elevation = 5824.53'



C0.20

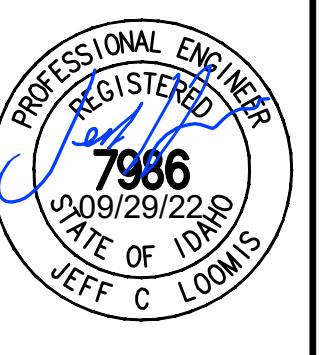




**SAWTOOTH SERENADE (131 E SUN VALLEY RD)**  
**SITE DEMOLITION PLAN**

LOCATED WITHIN SECTION 18, T 4 N., R 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR THIELSEN ARCHITECTS

PROJECT INFORMATION  
 File# 676-03 dwg/Construction 09/29/2022 12:19:42 PM

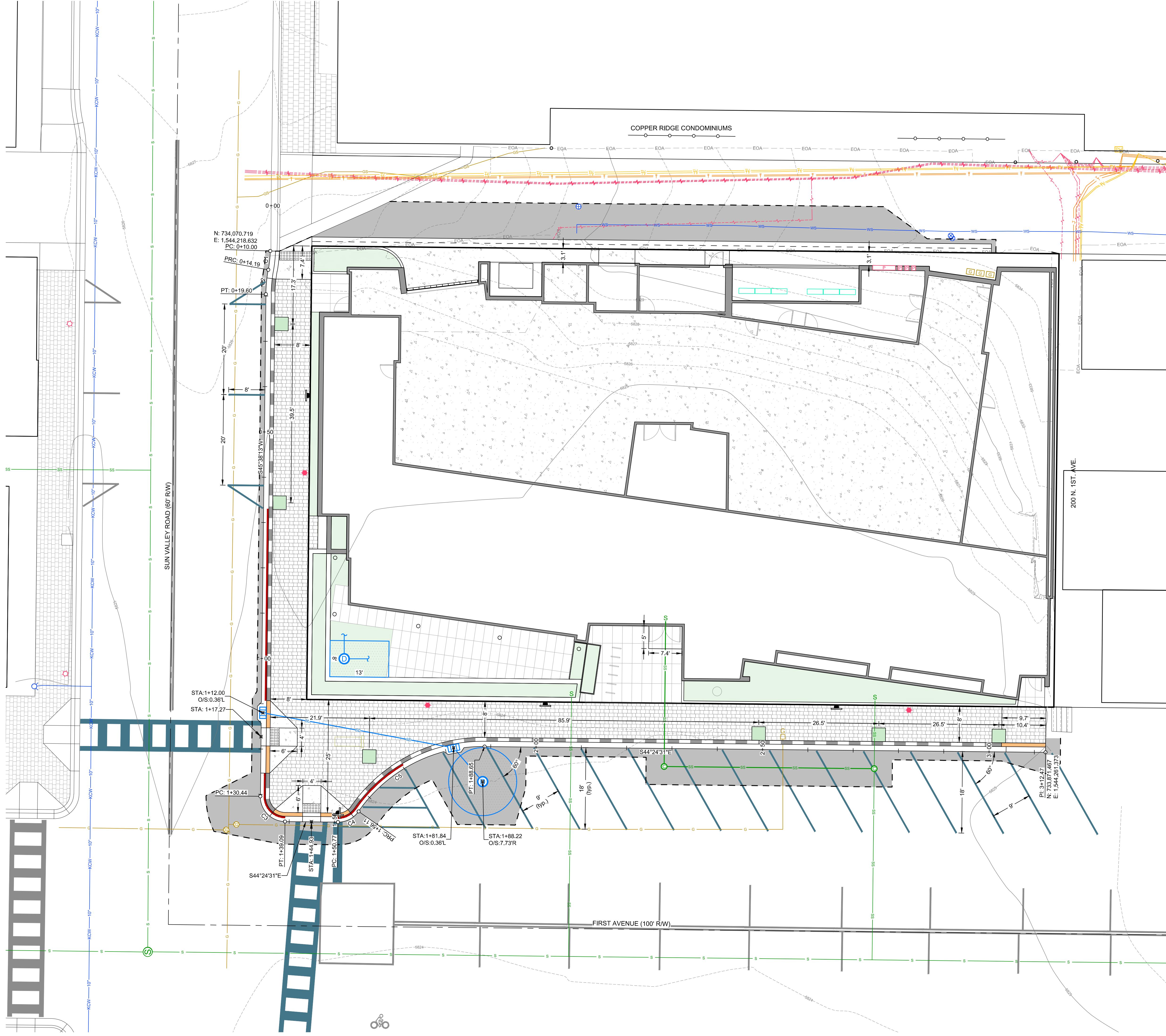


**GALENA**  
 ENGINEERING, INC.  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Hailey, Idaho 83333  
 (208) 788-1705  
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR REVIEW  
 NO. DATE BY REVISIONS

C0.90

GRAPHIC SCALE  
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 Scale in Feet

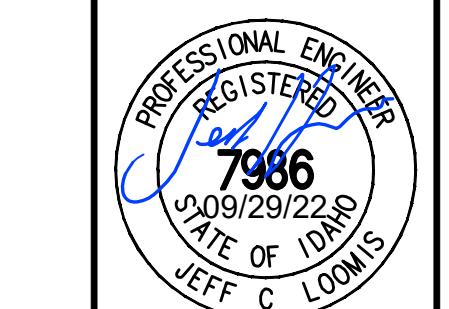


Curve Table					
Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.00'	4.19'	8°34'20"	S51°02'48"W	4.19'
C2	32.00'	5.42'	9°41'45"	S60°29'05"W	5.41'
C3	5.50'	8.64'	90°02'44"	S00°36'51"W	7.78'
C4	5.50'	5.34'	55°39'36"	S72°14'19"E	5.14'
C5	33.50'	32.54'	55°39'36"	S72°14'19"E	31.28'

# SAWTOOTH SERENADE (131 E SUN VALLEY RD) SITE PLAN / SITE GEOMETRY PLAN

LOCATED WITHIN SECTION 18, T 4 N., R 18 E., BLM., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR THIELSEN ARCHITECTS

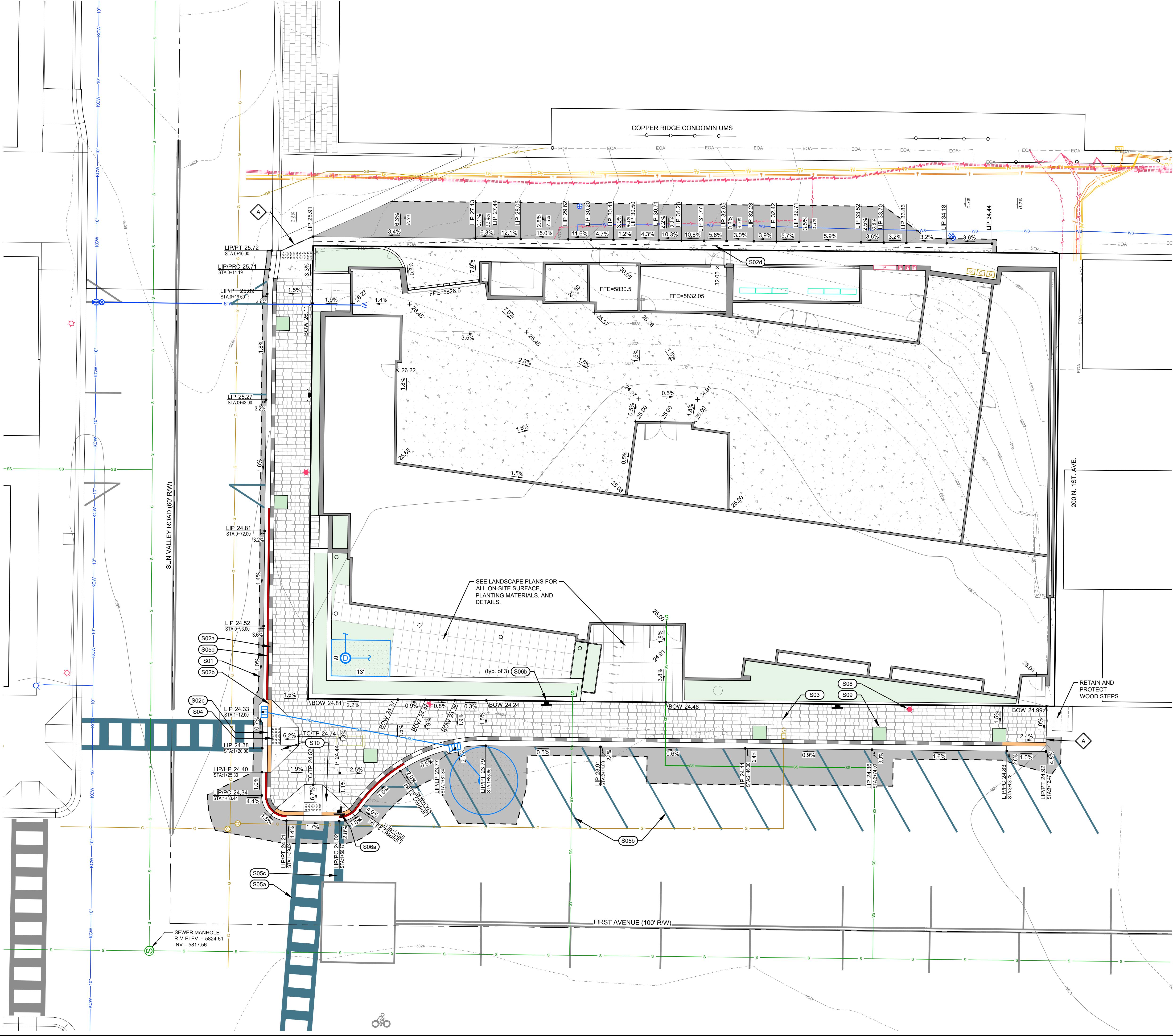
PROJECT INFORMATION  
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GALENA  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
3117 N. River Street  
Hailey, Idaho 83333  
(208) 788-1705  
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR REVIEW  
NO. DATE BY REVISIONS  
C1.00

GRAPHIC SCALE  
Scale in Feet



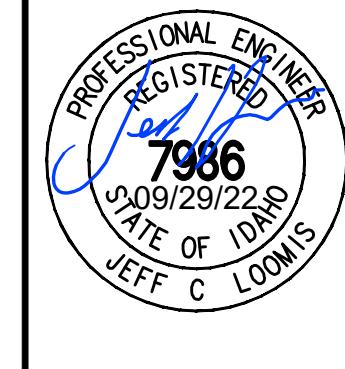
- SITE IMPROVEMENT KEY NOTES**
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.20.
  - S02** CONSTRUCT CONCRETE CURB AND GUTTER
    - a. 6" ROLLED C&G PER DETAIL 2 / C1.20.
    - b. CURB TRANSITION (6" ROLLED TO ZERO REVEAL) PER DETAIL 3 / C1.20.
    - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C1.20.
    - d. 24" WIDE VALLEY GUTTER. PER DETAIL 4 / C1.20.
  - S03** CONSTRUCT PAVER SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C1.20.
  - S04** CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACHES WITH CITY APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLAT. REFER TO DETAIL 6 / C1.20 FOR CONCRETE AND DETAIL 7 / C1.20 FOR TRUNCATED DOMES.
  - S05** INSTALL ROAD STRIPING / PAINT
    - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
    - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
    - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
    - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
  - S06** SIGNS:
    - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH THE CITY. REFER TO DETAIL 8 / C1.20 FOR SIGN BASE CONFIGURATION.
    - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH THE CITY. REFER DETAIL 8 / C1.20 FOR SIGN BASE CONFIGURATION.
  - S07** RESET UTILITY BOX LID ELEVATION.
    - a. POWER HANDBOLE ORIGINAL RIM = 58 NEW RIM = 58
  - S08** INSTALL STREET LIGHT: LOCATIONS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION ONLY. ARCHITECT SHALL SUBMIT AN ILLUMINATION ANALYSIS FROM MH COMPANIES TO VERIFY STREET LIGHT PLACEMENTS. REFER TO THE CITY OF KETCHUM STANDARD STREET LIGHT DETAIL.
  - S09** INSTALL KETCHUM STANDARD TREE WELL. REFER TO DETAIL 9 / C1.20.
  - S10** CONSTRUCT CONCRETE SIDEWALK. REFER TO DETAIL 6 / C1.20.

**A**

GRAPHIC SCALE  
Scale in Feet

PURPOSE: ISSUE FOR REVIEW  
NO. DATE BY REVISIONS

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
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Hailey, Idaho 83333  
(208) 788-1705  
email: galena@galena-engineering.com



**SAWTOOTH SERENADE (131 E SUN VALLEY RD)**  
**GRADING PLAN**

LOCATED WITHIN SECTION 18, T-4 N., R-18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR THIELSEN ARCHITECTS

PROJECT INFORMATION

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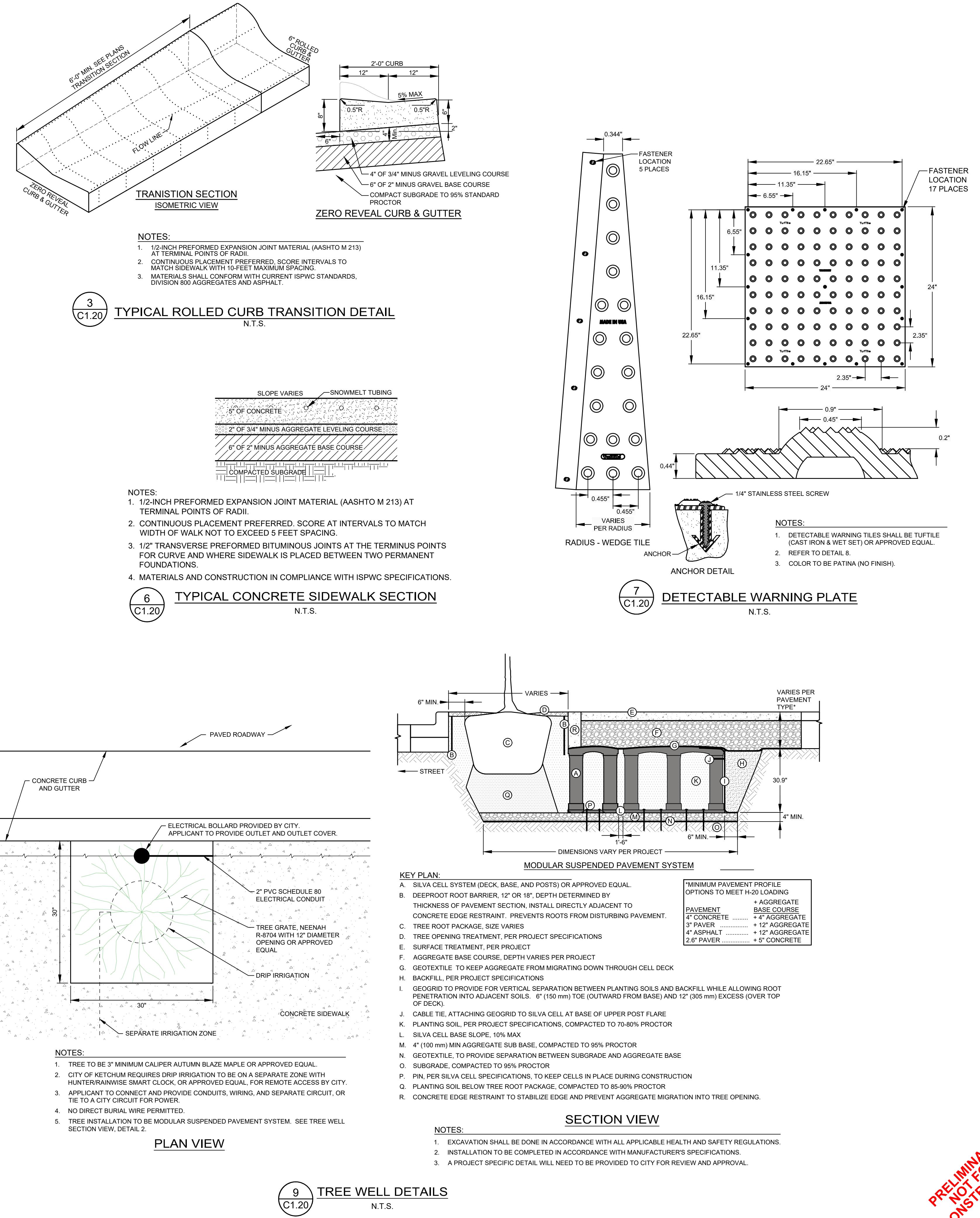
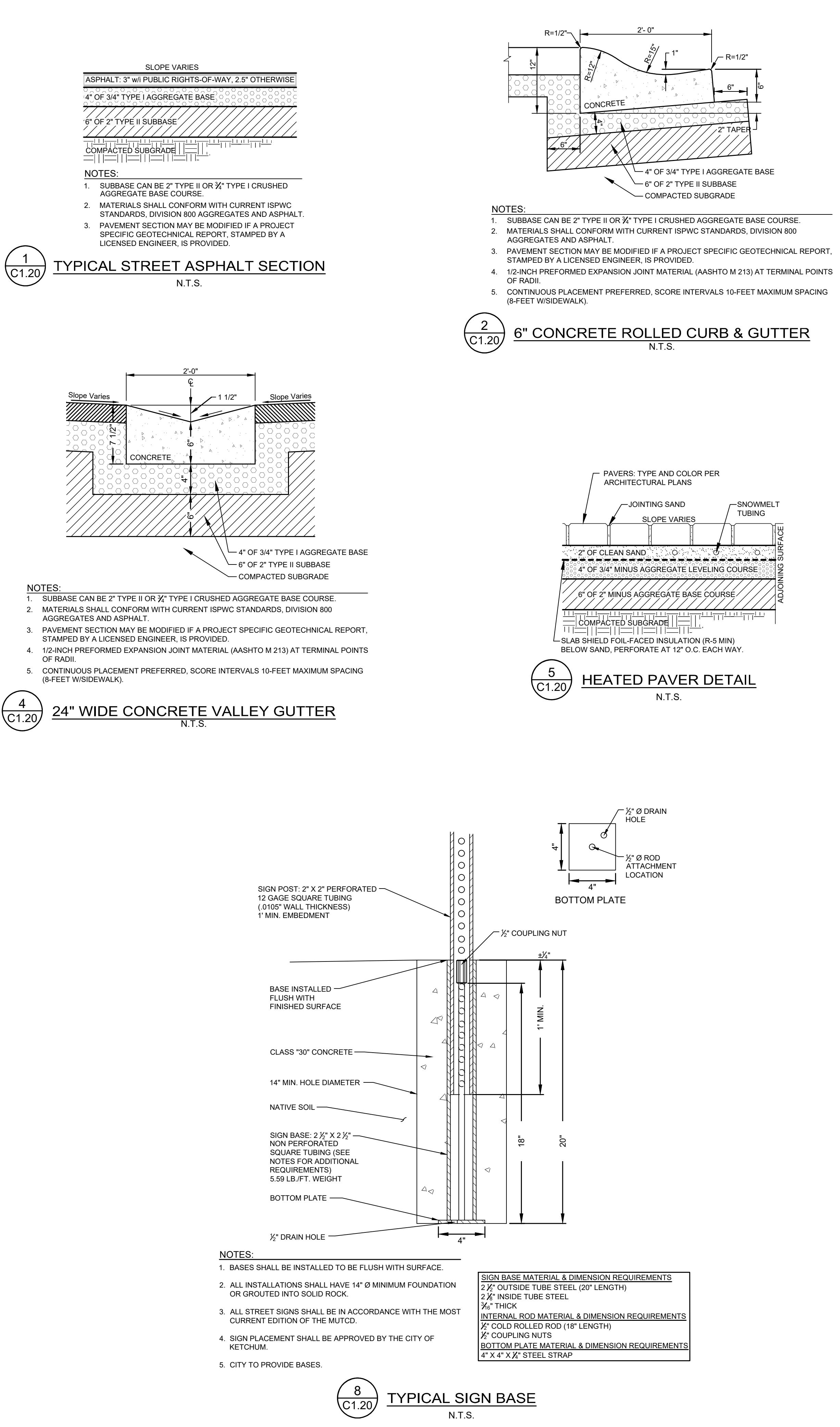
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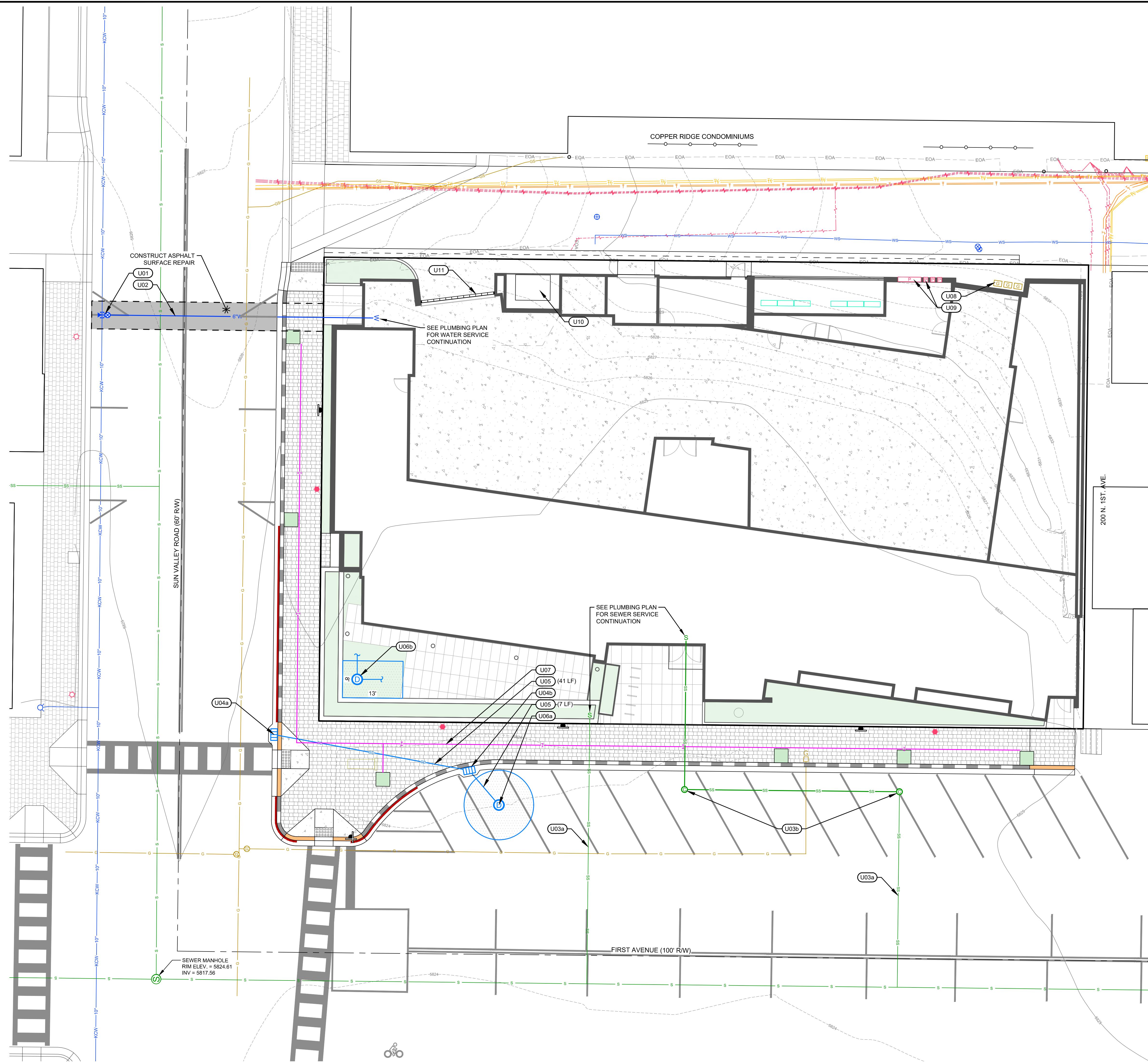
**LEGEND**

- LIP 30.71 Spot Elevation
- 2.2% Proposed Grade
- 3.3% Existing Grade

**ABBREVIATIONS**

- BOW = BACK OF WALK
- EG = EXISTING GRADE
- FF = FINISHED FLOOR
- FPE = FINISHED FLOOR AT ENTRY
- FG = FINISHED GRADE
- LF = LINEAL FEET
- LIP = LIP OF GUTTER
- HP = HIGH POINT
- PC = POINT OF CURVATURE
- POC = POINT ON CURVE
- PT = POINT OF TANGENT
- TA = TOP OF ASPHALT
- TBC = TOP BACK OF CURB
- TC = TOP OF CONCRETE
- TP = TOP OF PAVERS
- TG = TOP OF GRATE





- UTILITY & STORM IMPROVEMENT KEY NOTES**
- U01** INSTALL 10"X6" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE WITH THRUST BLOCKS REFER TO DETAIL 2 / C2.10.
  - U02** INSTALL 6" C-900 PVC WATER SERVICE. REFER TO TRENCHING DETAIL 1 / C2.10 AND POTABLE/NON-POTABLE SEPARATION DETAIL 3 / C2.10.
  - SS** SEWER SERVICE:
    - a. UTILIZE EXISTING SEWER SERVICE.
    - b. REALIGN SEWER SERVICE. INSTALL TRAFFIC RATED CLEANOUTS AT EACH BEND. REFER TO ISPWC STANDARD DRAWING SD-506A.
  - U04** INSTALL CATCH BASIN. SEE DETAIL 4 / C2.10.
    - a. RIM = 5824.13 I.E.(OUT) = 5821.13
    - b. RIM = 5823.57 I.E.(IN) = 5820.30 I.E.(OUT) = 5820.20
  - SD** INSTALL 12' ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO TRENCHING DETAIL 1 / C2.10
  - U06** DRYWELL
    - a. INSTALL 18" DIAMETER DRYWELL SEE DETAIL 5 / C2.10. RIM = 5823.77 I.E.(IN) = 5820.10
    - b. INSTALL 8x14' RECTANGULAR DRYWELL. CONNECT ALL FLOOR, FOUNDATION, ROOF, AND TRENCH DRAINS TO THIS DRYWELL. SEE DETAIL 5 / C2.10. RIM = 5824.9 I.E.(IN) = 5820.9
  - U07** INSTALL 1" PVC IRRIGATION LINE. SEE IRRIGATION PLAN FOR CONNECTION DETAILS.
  - U08** INSTALL GAS SERVICE. BY OTHERS.
  - U09** INSTALL POWER SERVICE. BY OTHERS.
  - U10** INSTALL POWER TRANSFORMER. BY OTHERS.
  - U11** INSTALL TRENCH DRAIN. CONNECT TO DRYWELL U06b. REFER TO DETAIL 4 / C2.10.

**SAWTOOTH SERENADE (131 E SUN VALLEY RD)  
DRAINAGE AND UTILITY PLAN**

LOCATED WITHIN SECTION 18, T-4 N., R-18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR THIELSEN ARCHITECTS

PROJECT INFORMATION

7986

PROFESSIONAL ENGINEER  
REGISTERED  
STATE OF IDAHO

**GALENA  
ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
3117 N. River Street  
Hailey, Idaho 83333  
(208) 788-1705  
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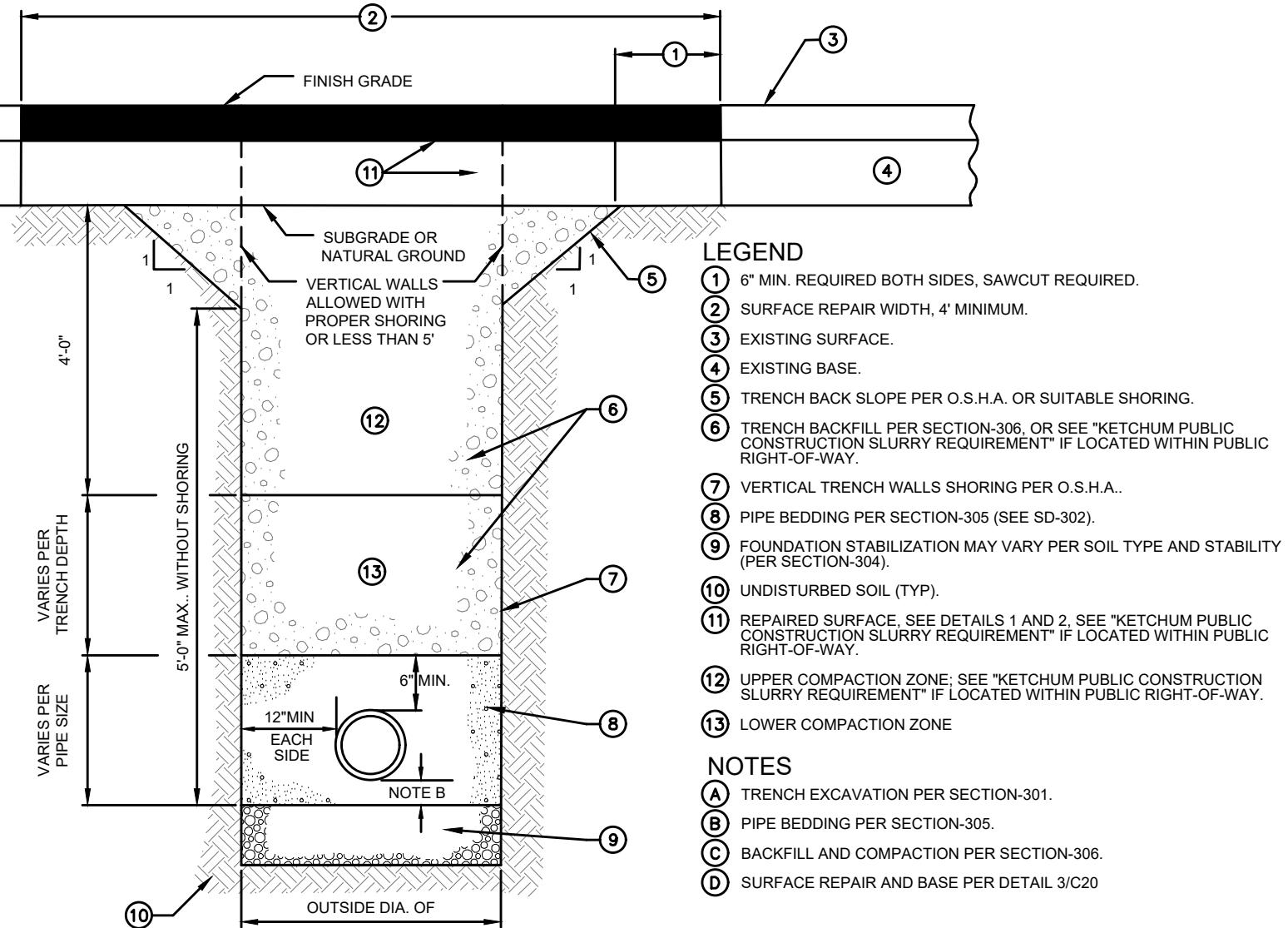
PURPOSE: ISSUE FOR REVIEW

C2.00

NO DATE BY REVISIONS

0 GRAPHIC SCALE  
Scale in Feet

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**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**  
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE ( $\frac{3}{4}$ " MINUS) : 2,600 LBS  
SAND : 800 LBS  
PORTLAND CEMENT : 94 LBS  
WATER : 11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE DROPPED OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SUPPLY HOPPER. NO VIBRATOR, VIBRATING VIBRATOR, OR FINISHER IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE PLACED IN THE TRENCH FOR A MINIMUM OF 3 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

### 1 TYPICAL TRENCH SECTION (C2.10) N.T.S.

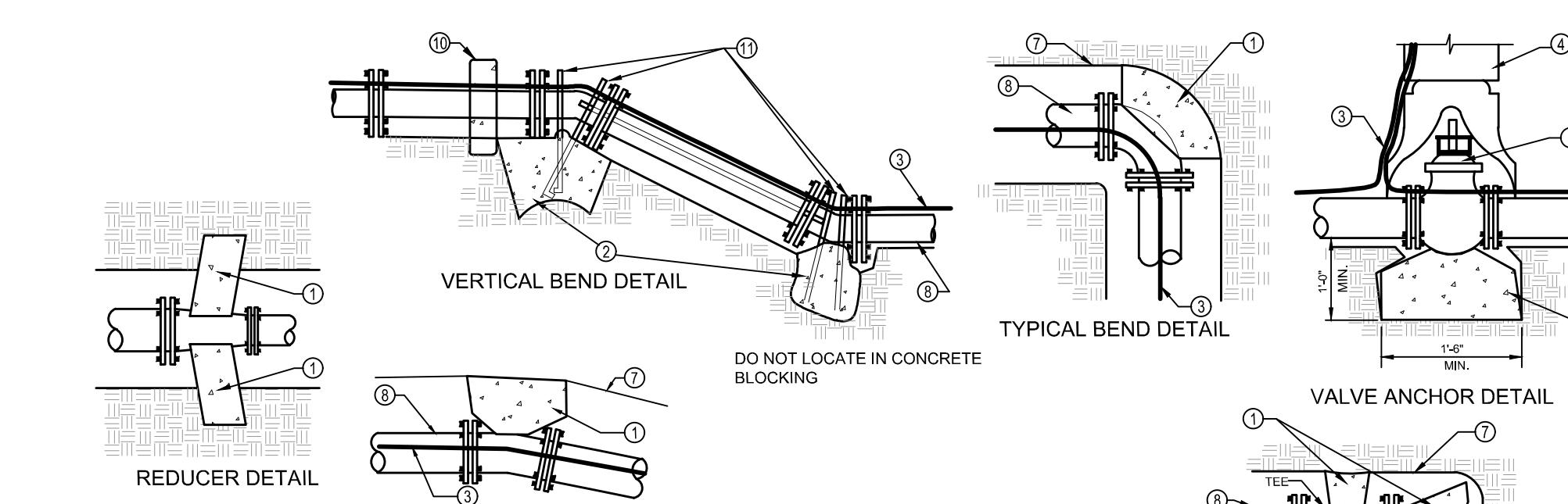


TABLE 1 THRUST AREA FOR HORIZONTAL BENDS***					
PIPE SIZE	TEE, PLUG & VALVE	90° BEND*	45° BEND	22.5° BEND*	11.25° BEND*
3"	0.8	1.1	0.6	0.3	
4"	1.4	2.0	1.1	0.6	
6"	3.2	4.5	2.4	1.2	
8"	5.7	8.0	4.3	2.2	
10"	8.8	12.5	6.8	3.4	
12"	12.7	18.0	9.7	5.0	
14"	17.3	24.5	13.3	6.8	
16"	22.6	32.0	17.3	8.8	
18"	28.6	40.5	21.9	11.2	

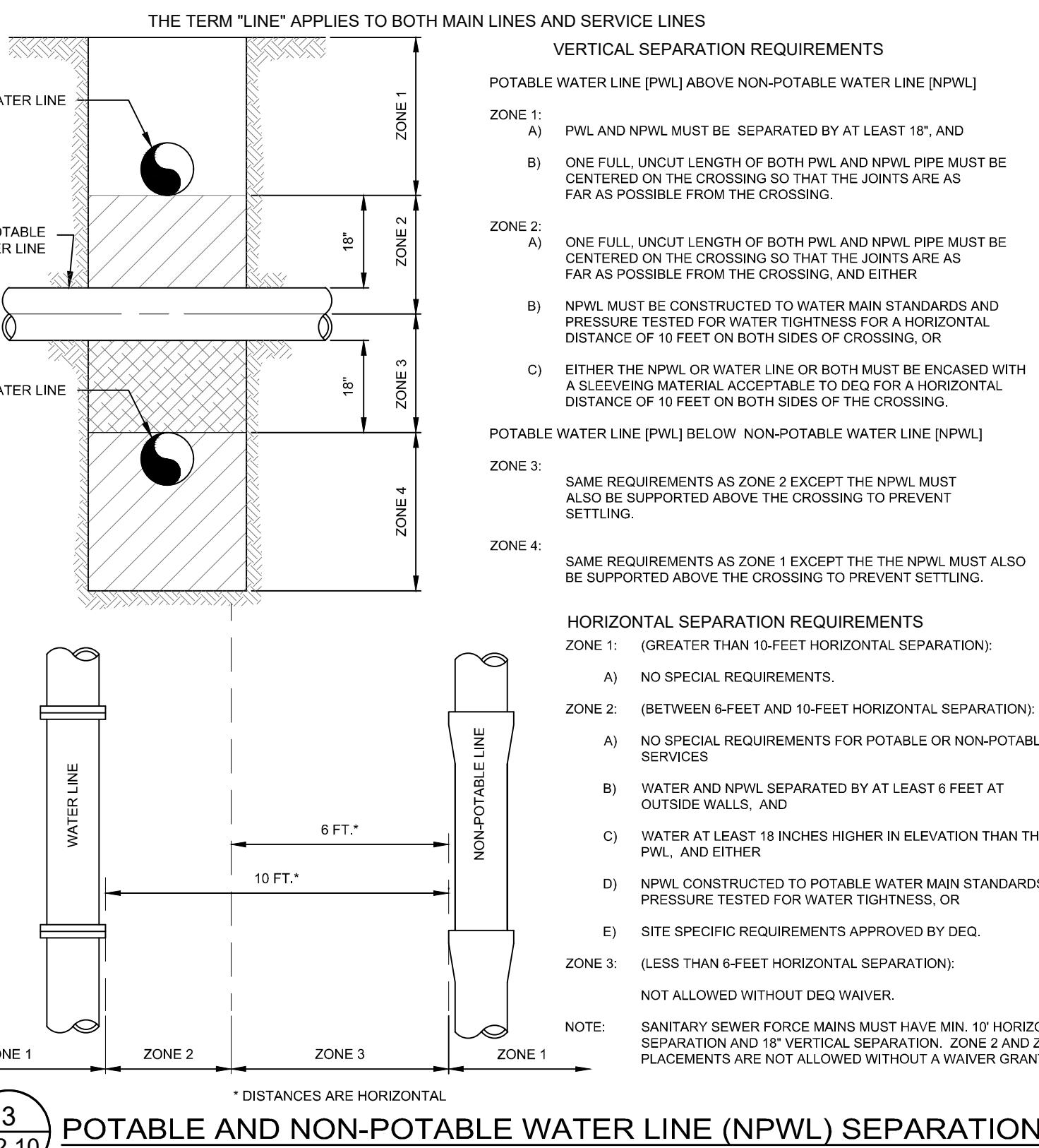
\* MUST BE INCREASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).

\*\* TRENCH BLOCK DEPTH SHALL BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

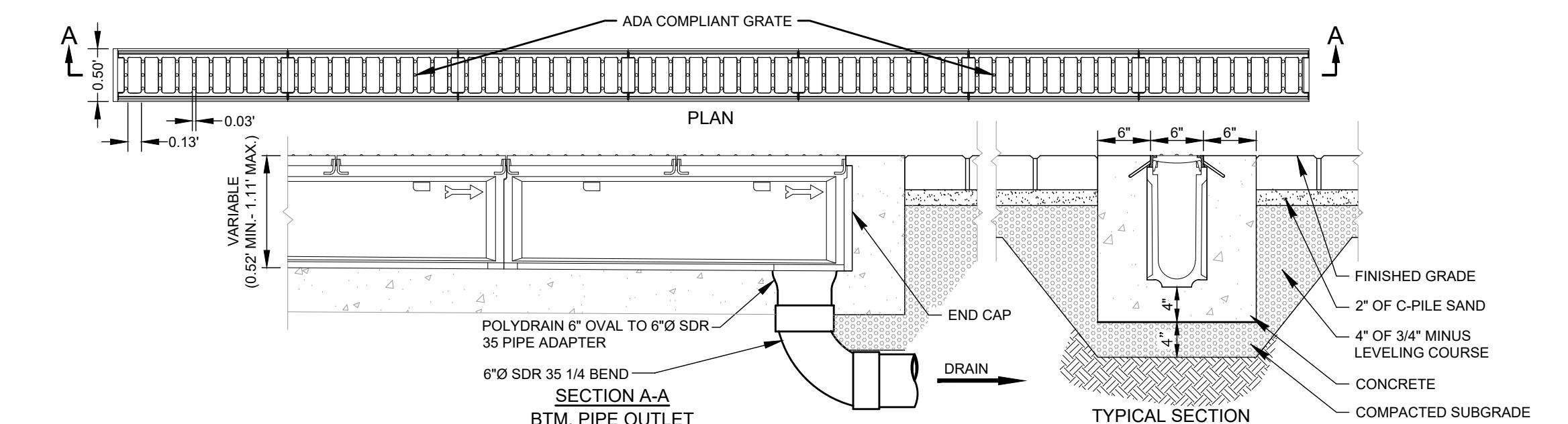
- ① FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- ② FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
- ③ NO. 12 COPPER FINGER WIRE. SEE SD-514 FOR SPlicing.
- ④ C.I. VALVE BOX WITH COVER.
- ⑤ C.I. GATE VALVE (M.J.).
- ⑥ PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.
- ⑦ TRENCH SIDE.
- ⑧ PIPE.
- ⑨ PLUG.
- ⑩ HAMMERHEAD THRUST BLOCKING.
- ⑪ ANCHOR BARS (1/2" MIN)

NOTES:  
 (A) ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE AS SHOWN.  
 (B) COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS.  
 (C) SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.  
 (D) ALL CONCRETE TO BE 2500 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.  
 (E) PROVIDE 6 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.  
 (F) NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.  
 (G) ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.

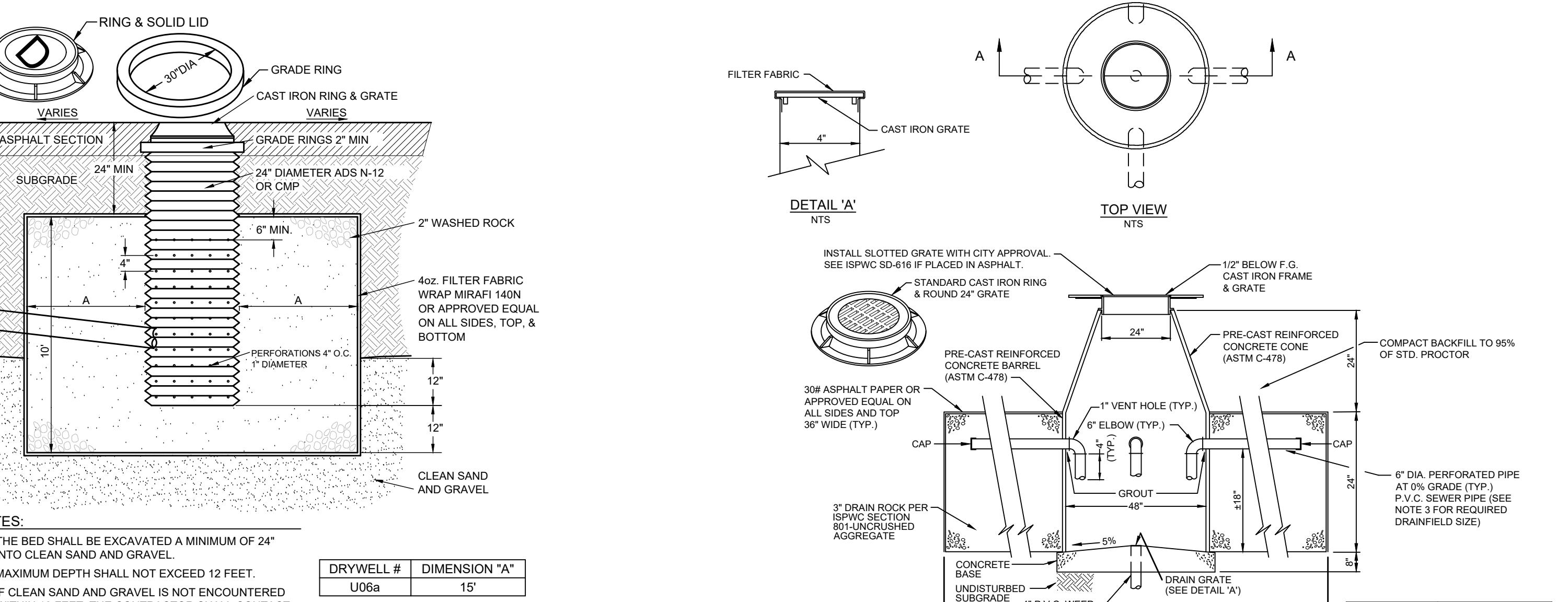
\* DISTANCES ARE HORIZONTAL



### 3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION (C2.10) N.T.S.



### 4 TRENCH DRAIN DETAIL (ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL) (C2.10) N.T.S.





# Sawtooth Serenade



Peking  
Cotoneaster



Snowberry



Fritschiana Spirea



American Compact  
Cranberry



Blue Oat Grass



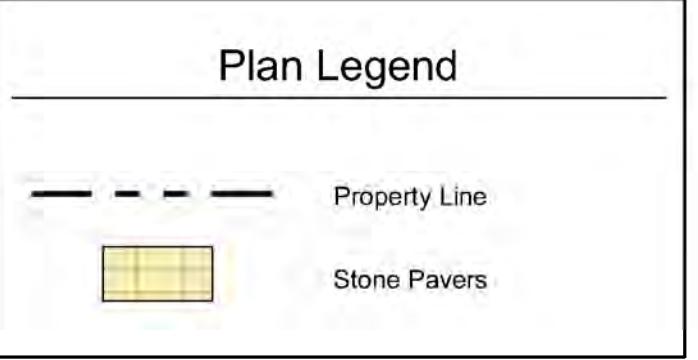
Feather Reed Grass



Virginia Creeper

## General Notes

- Base map information taken from survey by Galena Engineering dated 07/29/20 and from on-site information. Architectural information provided by Thielsen Architects dated 09/26/22. Contractor shall verify conditions in the field prior to construction.
- Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
- All existing utilities are underground. All new utilities shall be underground.
- Site serviced by City of Ketchum.



EGGERS ASSOCIATES, P.A.  
Landscape architecture  
T: (208) 725-0988  
F: (208) 725-0972

P.O. Box 933-240  
Ketchum, ID 83340

Sawtooth Serenade  
260 N 1st Ave  
Ketchum, Idaho

Job No: 22.33  
Scale: 1" = 10' - 0"

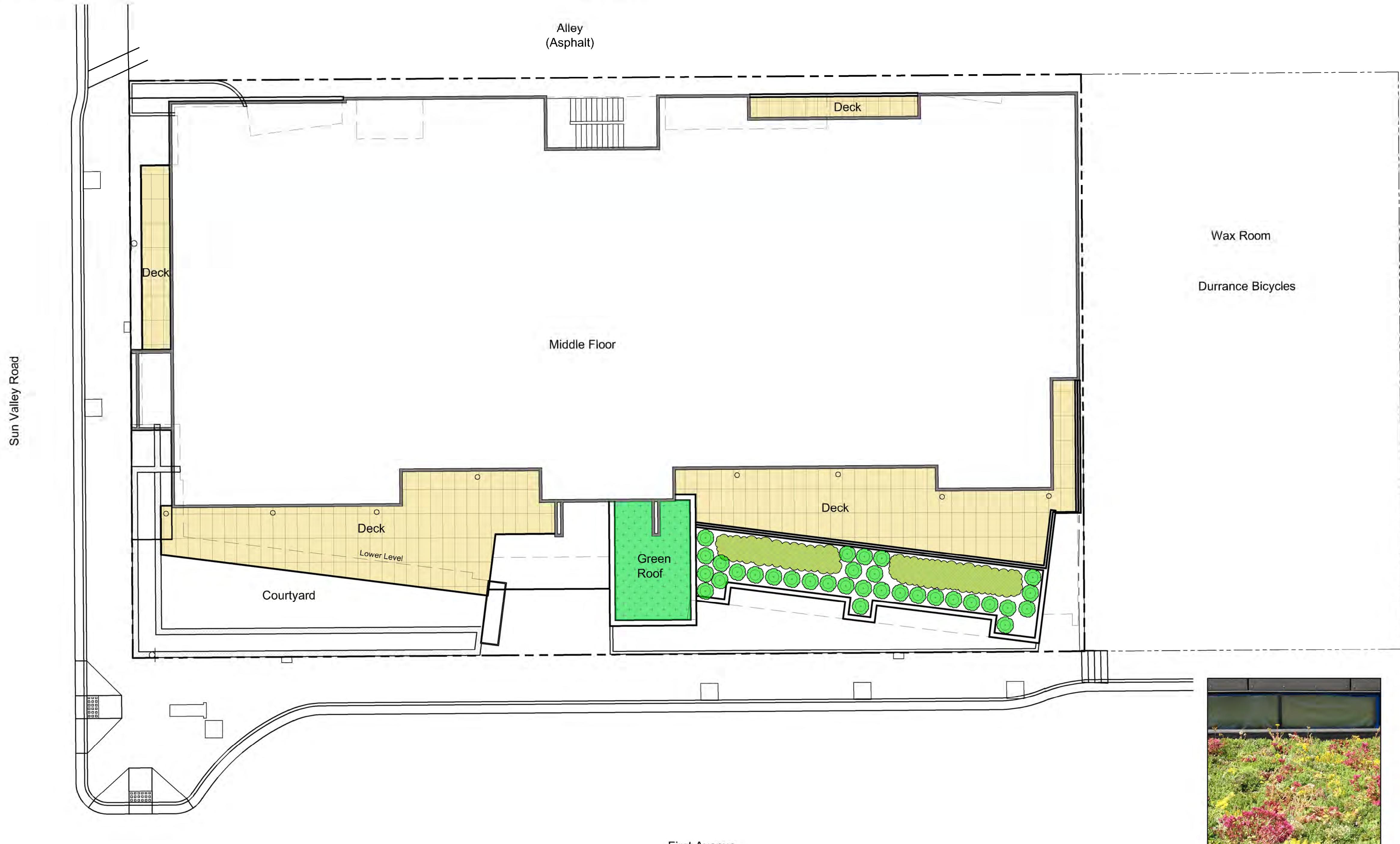
Issue/Revisions: Date:  
Design Review 09/30/22

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates, P.A.

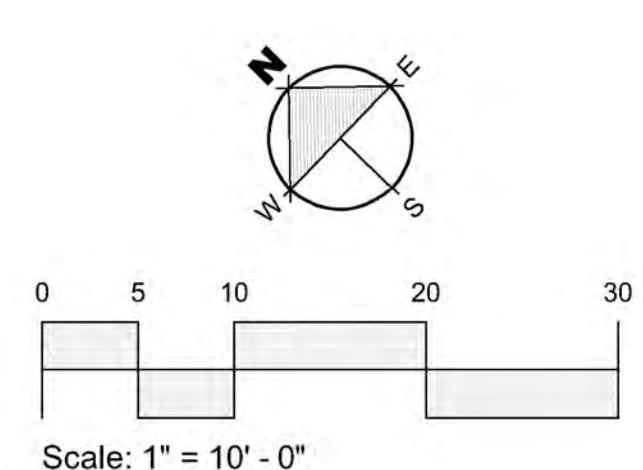


Sheet Title:  
Landscape Plan Lvl 2

Sheet No:  
L3.1



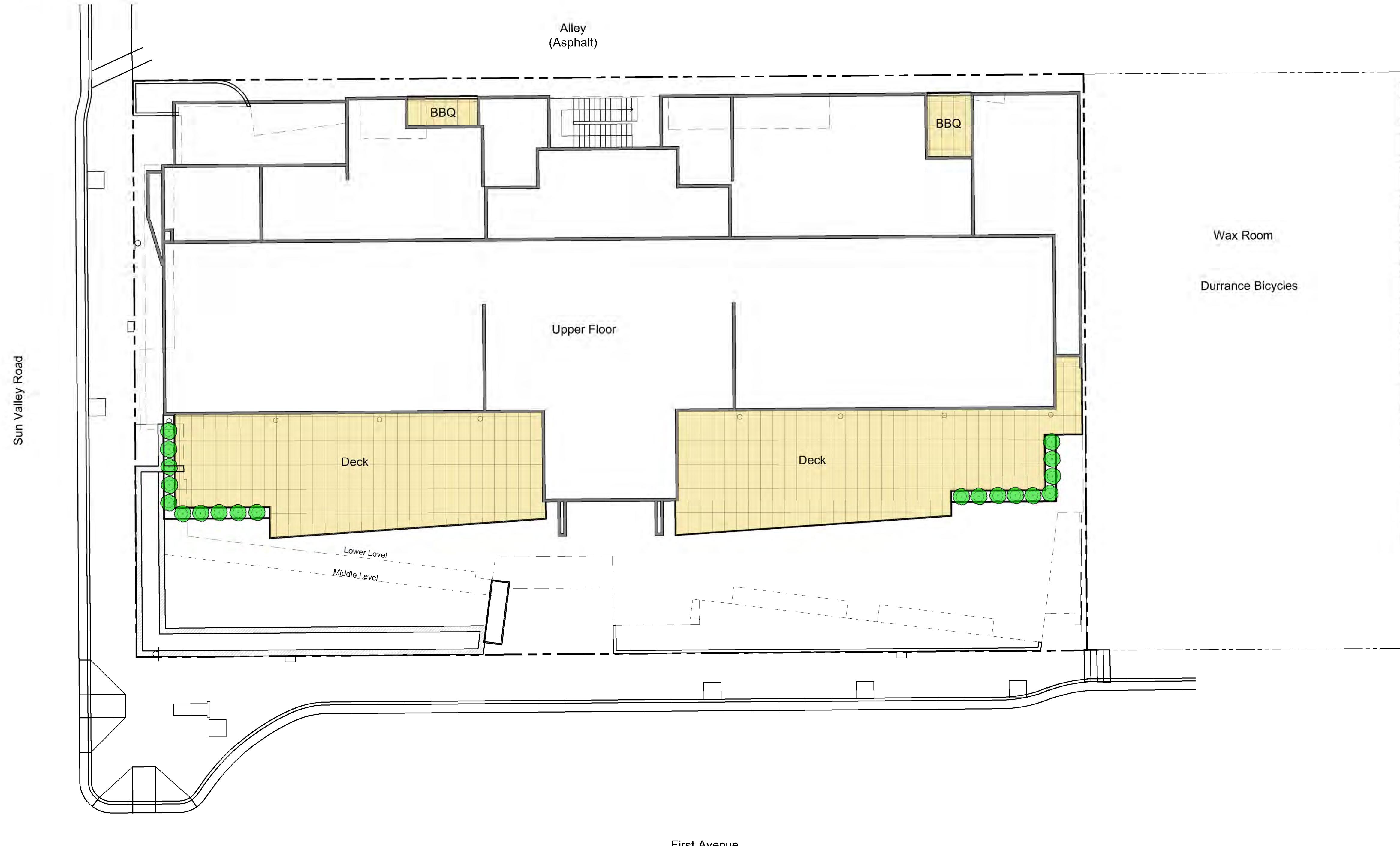
Sedums



Scale: 1" = 10' - 0"



Tor Birchleaf  
Spirea



General Notes

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Sawtooth  
Serenade

EGGERS ASSOCIATES, P.A.  
Landscape Architecture

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Sawtooth Serenade  
260 N 1st Ave  
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions: Date:

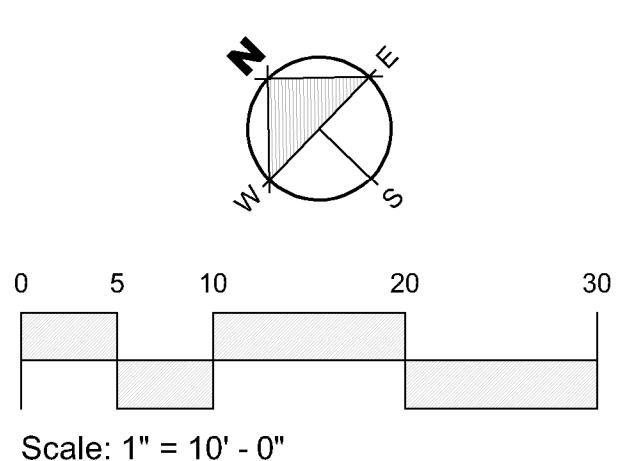
Design Review 09/30/22

All information appearing herein shall not be  
disclosed, discharged or otherwise used without  
the written consent of Eggers Associates P.A.

Sheet Title:  
Landscape  
Plan Lvl 3

Sheet No:

L3.2



# Sawtooth Serenade



Sedums



## General Notes

- Base map information taken from survey by Galena Engineering dated 07/29/20 and from on-site information. Architectural information provided by Thielsen Architects dated 09/26/22. Contractor shall verify conditions in the field prior to construction.
- Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
- All existing utilities are underground. All new utilities shall be underground.
- Site serviced by City of Ketchum.

## Plan Legend

	Property Line
	Stone Pavers

## Plant Legend

Symbol	Quantity	Species	Size
<i>Green Roof</i>			
	7,030 Sq. FT	Sedums	Trays

Sawtooth Serenade  
260 N 1st Ave  
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions: Date:

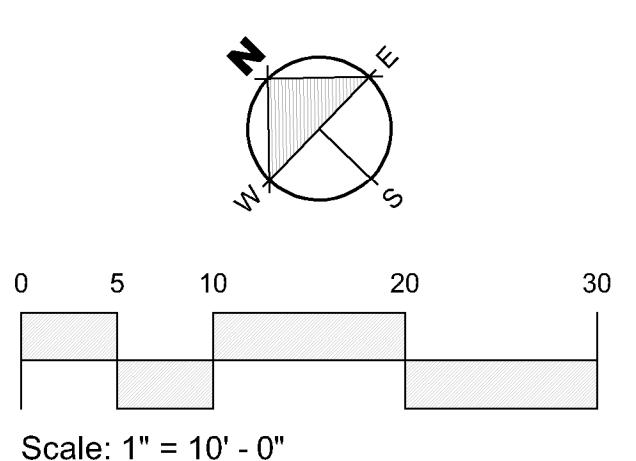
Design Review 09/30/22

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Sheet Title:  
Landscape Plan Roof

Sheet No:

L3.3





City of Ketchum

## ATTACHMENT C:

# Story Pole and Staking Diagram





City of Ketchum

# ATTACHMENT D:

## Interim Ordinance 1234

### Analysis



**City of Ketchum**  
Planning & Building

**SAWTOOTH SERENADE – 260 N 1<sup>ST</sup> AVE**

**CONFORMANCE WITH INTERIM ORDINANCE 1234**

Interim Ordinance 1234 was approved by the Ketchum City Council on October 17, 2022 and published in the paper on October 19, 2022 (the effective date). The preapplication design review application for “Sawtooth Serenade” was received and deemed complete prior to the effective date of the ordinance and therefore the ordinance does not apply to this application. However, as this is an interim ordinance, staff is providing the analysis below for information only so the Commission can see how the ordinance would apply to projects within the Community Core. This information is not to be used in evaluating the proposed development.

- **Minimum Residential Densities (Section 4) - NOT MET** - The application would be subject to the minimum density requirements as the development exceeds the base permitted FAR of 1.0:
  - The proposed development has a gross floor area of 23,942 SF and does not include any commercial space, therefore it is considered to be 100% residential.
  - The total lot area of the subject property is 16,507 SF which equates to three Ketchum townsite lots of 5,500 SF each. Based on the interim ordinance and the lot size, the project would be required to provide a minimum of 21 residential units. The proposed project has two residential units. Here is the equation for calculating minimum density:
    - $(16,507 \text{ SF} / 5500 \text{ SF}) = 3.00 \times 7 = 21$
    - 7 is the number of residential units required per 5500 SF for 100% residential developments
- **Consolidation of Lots (Section 5) - N/A** - The applicant is not requesting a consolidation of lots as the lots have already been consolidated. These standards would not apply.
- **No Net Loss of Units (Section 6) – N/A** - The subject property is currently vacant, therefore there is no net loss of units with the proposed development.
- **Parking for Retail (Section 7) – POTENTIALLY** - No retail is proposed for the project. However, the interim ordinance would require ground floor commercial facing the street, for this property, which could benefit from the parking exemption.
- **Parking for Office (Section 8) – POTENTIALLY** - No office is proposed for the project. However, the interim ordinance would require ground floor commercial facing the street, for this property, which could benefit from the parking exemption.
- **Ground floor Commercial Facing the Street (Section 10) – NOT MET** - The interim ordinance would require commercial uses on the ground floor of the project facing the street. The proposed project includes ground floor parking, storage, and recreation space only for the residential units which is classified as “recreation facility, residential” per the district use matrix in KMC 17.12.020. The residential recreation facility is

permitted in the CC as an accessory use to the residential uses and are not considered a commercial use. The current development would not meet this requirement.

- **Development Standards within the CC-2 (Section 11):**
  - **% of gross floor area for commercial (Section 11.a) – NOT MET** - No commercial is proposed for the project, however, the project would be required to comply with this requirement under the interim ordinance as Section 10 requires ground floor commercial facing the street. The current project would not meet this requirement.
  - **Community Housing in basement (Section 11.B) – N/A** - the proposed development does not propose on-site community housing, therefore this standard is not applicable.
  - **Size of residential units (Section 11.C) – NOT MET** - The proposed development includes two residential units that both exceed the 3,000 square foot maximum. One unit is 8,454 net square feet and the other is 8,819 net square feet. The proposed development does not meet this requirement.
  - **Parking Maximums (Section 11.D) – NOT MET** - The proposed development would require 4 parking spaces and 5 parking spaces are being proposed. The development would not meet this criterion as it is providing one additional parking space than what is required.
- **Comprehensive Plan Conformance (Section 13) – NOT MET**
  - Staff provided feedback in the staff report as to the proposed uses and placement of those uses within the project. Staff believes that if the proposed project met the design review criteria and the requirements of the interim ordinance, many of the goals and objectives of the comprehensive plan would be met.



City of Ketchum

# ATTACHMENT E:

## Public Comment

**From:** [Participate](#)  
**To:** [Heather Nicolai](#)  
**Cc:** [Morgan Landers](#); [Aly Swindley](#)  
**Subject:** FW: City of Ketchum | Word on the Street  
**Date:** Tuesday, January 17, 2023 9:38:35 AM

---

## ALY SWINDLEY | CITY OF KETCHUM

Management and Communications Analyst  
P.O. Box 2315 | 191 5<sup>th</sup> Street West | Ketchum, ID 83340  
o: 208.727.5081 | f: 208.726.7812  
[aswindley@ketchumidaho.org](mailto:aswindley@ketchumidaho.org) | [www.ketchumidaho.org](http://www.ketchumidaho.org)

---

**From:** H Boyle <Boylehp@yahoo.com>  
**Sent:** Friday, January 13, 2023 6:56 PM  
**To:** Participate <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>  
**Subject:** Fwd: City of Ketchum | Word on the Street

Something looks wrong with tjis. 23,000sf for 2 dwelling units? Doesn't that violate the recent ordinance limiting residences to 3000sf in CC?

Thanks  
Perry

**Project: Sawtooth Serenade**  
260 N 1st Ave | Preapplication  
Design Review

*23,942 gross-square-foot multi-family project, with a total of two dwelling units, on a vacant property located at 260 N 1st Ave in the Community Core Subdistrict 2 – Mixed Use (CC-2) zone district*

**From:** [Participate](#)  
**To:** [Heather Nicolai](#)  
**Cc:** [Morgan Landers](#)  
**Subject:** FW: P&Z: Project 260 1st Ave.  
**Date:** Thursday, January 19, 2023 9:20:51 AM

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ALY SWINDLEY | CITY OF KETCHUM  
Management and Communications Analyst  
P.O. Box 2315 | 191 5th Street West | Ketchum, ID 83340  
o: 208.727.5081 | f: 208.726.7812  
[aswindley@ketchumidaho.org](mailto:aswindley@ketchumidaho.org) | [www.ketchumidaho.org](http://www.ketchumidaho.org)

-----Original Message-----

From: Michael O'neil <[mi.oneil@aol.com](mailto:mi.oneil@aol.com)>  
Sent: Wednesday, January 18, 2023 4:58 PM  
To: Participate <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>  
Subject: P&Z: Project 260 1st Ave.

Planning and Zoning Commission,

Dear Commissioners,

I wholeheartedly support the Sawtooth Serenade project. I have reviewed the plans and renderings and approve of this project. I have lived at Copper Ridge directly behind said project for 15 years. I am excited about the evolving neighborhood. I think Dave Wilson did a wonderful job on the old post office (83340 Building). Now that the antique store and yard have been removed, this building will be a pleasant addition to the intersection and our neighborhood.

Thank you for your consideration,  
Michael O'Neil  
221 Washington Ave. Unit 1  
PO Box 1570  
Ketchum

Sent from my iPad