



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

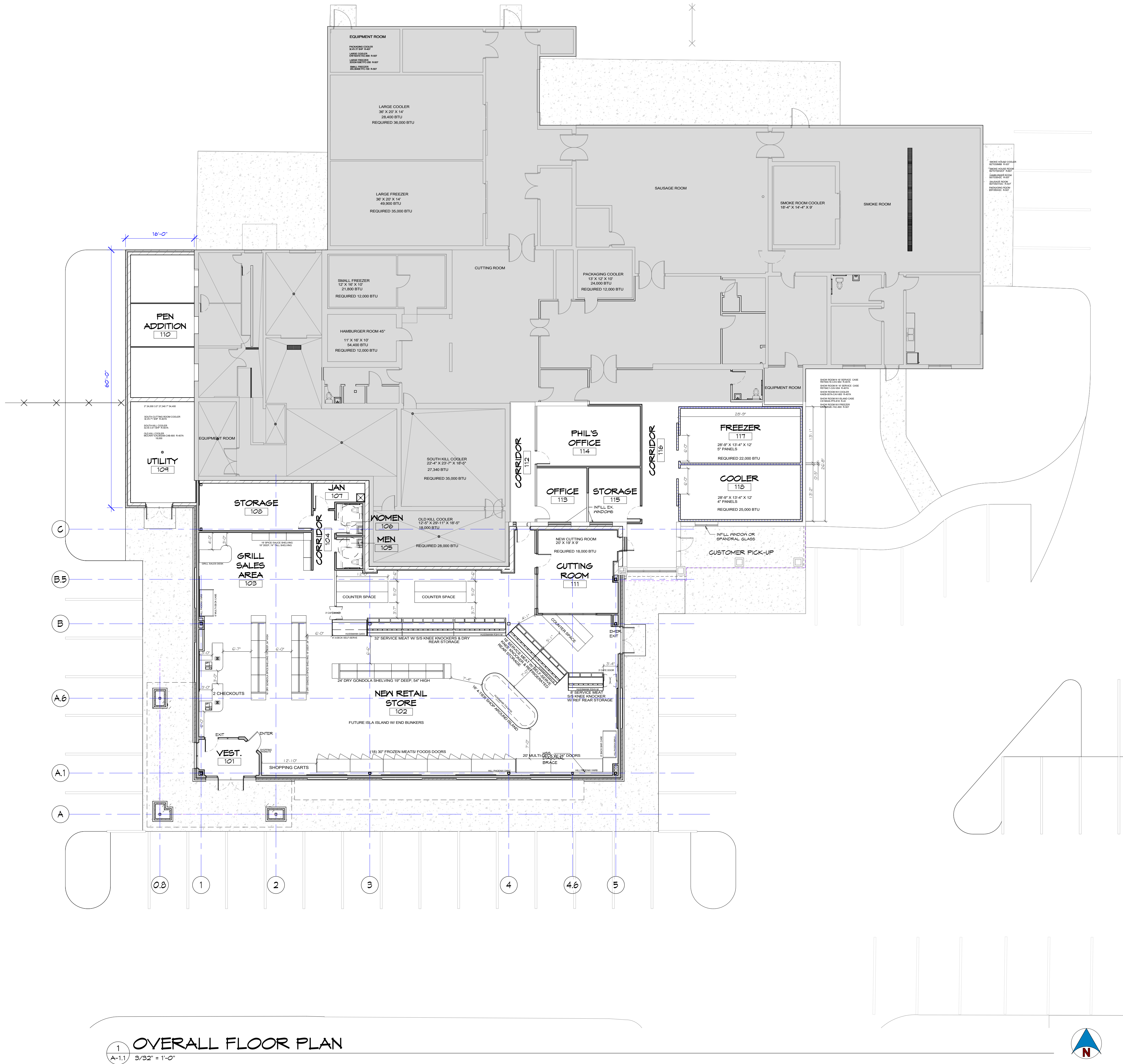
To: Plan Commission
From: Joe Stephenson
Date: 01-06-2022
Re: Site Plan Review – Haen Meat Expansion

Mach IV Engineering, on behalf of CWPS Properties LLC, has submitted a site plan review for the expansion of the Haen Meat Facility, located at 600 County Road KK. The applicant is proposing a 6,972 square foot expansion that will include additional utility space, cutting room, officers and a retail store front. In addition, the applicant will be expanding their parking to accommodate additional patrons and installing a stormwater pond to serve for their additional stormwater needs.

The front facing expansion will be primarily masonry, using brick and split face units to create an attractive entrance. The site is zoned Commercial Highway Corridor. Landscaping requirements have been met per original site plan. All parking requirements have been met, with 78 off street parking stalls being provided. The total height of the building is 21' 4". All stormwater requirements have been met per Department of Public Works review.

Recommendation:

Approval of the Site Plan for Haen Meat, 600 County Road KK, allowing an expansion of the existing facility.



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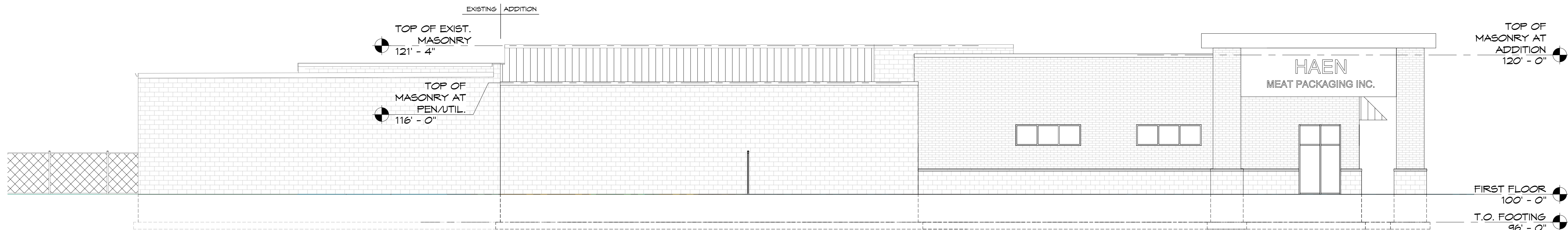
BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 11/22/2021
job: 21-031
d. by: BJS/LAK
rev.: _____

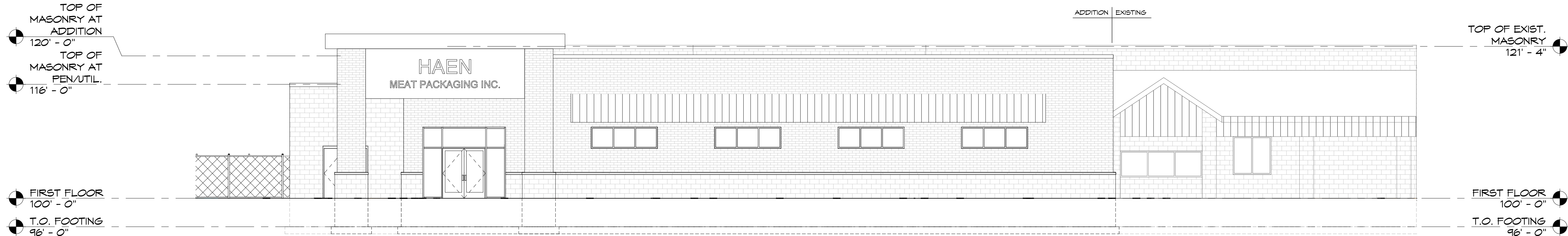
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Z:\2021\21-031 Haen Meat Packing Addition\21-031_Revit\21-031 Haen Meat Packing Addition revised2.rvt

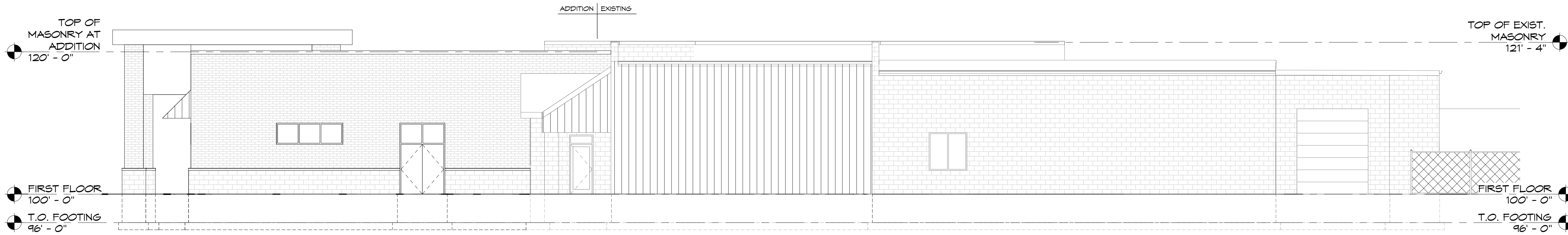
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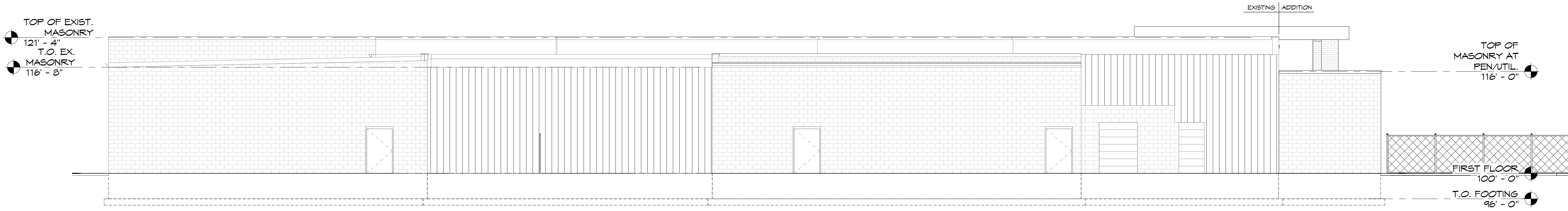
4 WEST ELEVATION
A-4.1 1/8" = 1'-0"



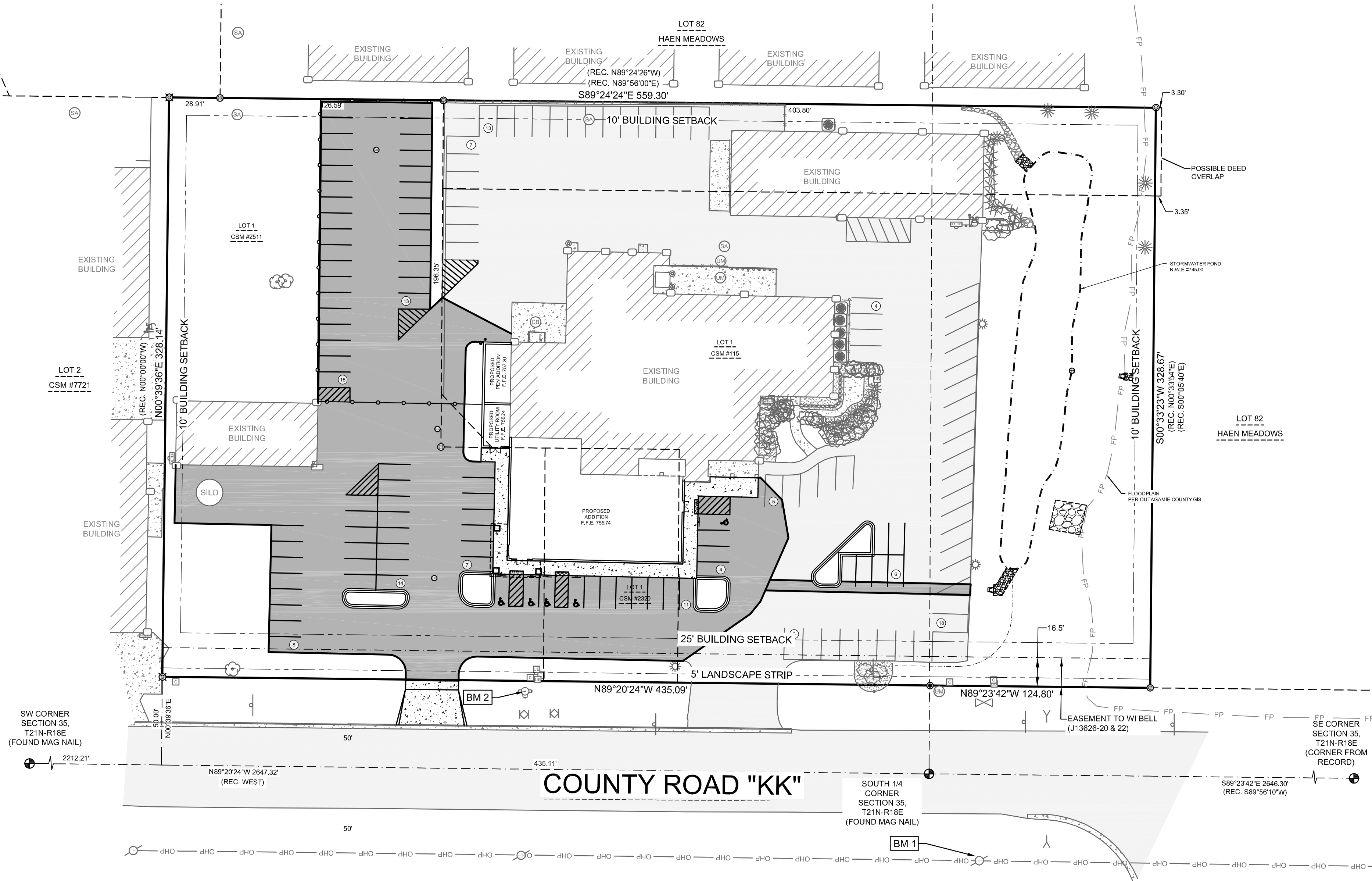
3 SOUTH ELEVATION
A-4.1 1/8" = 1'-0"



2 EAST ELEVATION
A-4.1 1/8" = 1'-0"



1 NORTH ELEVATION
A-4.1 1/8" = 1'-0"



CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB			
LIGHT POLE		BUILDING OVERHANG			
POWER POLE		UNDERGROUND CABLE			
GAS METER		OVERHEAD WIRE		ASPHALT	
GAS VALVE		UNDERGROUND ELECTRIC			
BOLLARD		GAS		CONCRETE	
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE		GRAVEL	
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE		LANDSCAPE WOOD MULCH	
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE		LANDSCAPE STONE MULCH	
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
EL	ELEVATION	SA	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SAN	SANITARY
FFE	FIRST FLOOR ELEVATION	SCHD	SCHEDULE
FL	FLOW LINE	S.D.	SUMP DEPTH
FO	FIBER OPTIC	SQ	SQUARE
FT	FEET	ST	STORM
G	GAS	S.T.H.	STATE TRUNK HIGHWAY
G.F.E.	GROUND FLOOR ELEVATION	STM	STORM
GR	GRADE	T	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	T/C	TOP OF CURB
INL	INLET	U.S.H.	UNITED STATES HIGHWAY
INV	INVERT	V	VARIES
M	METER	W	WEST
MAX	MAXIMUM	WAT	WATER
MH	MANHOLE	WI	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

CIVIL GENERAL NOTES:

- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JULY 2021.
- SURVEY VERTICAL DATUM IS NAVD88.
- UTILITY LOCATES PER DIGGERS HOTLINE REQUEST.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
- FOR NOTES SHOWN THUS, , SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

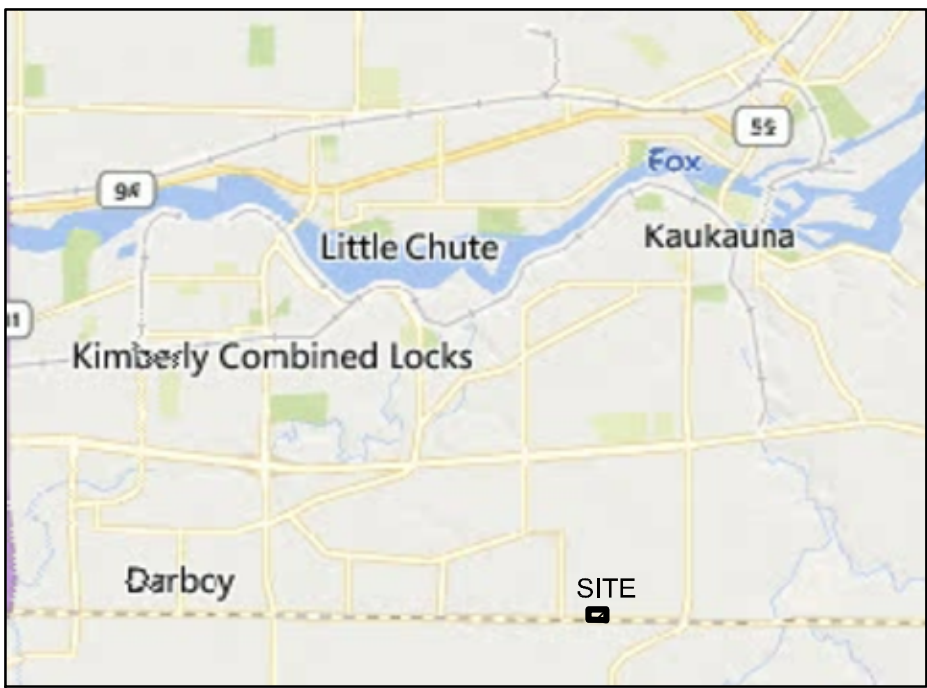
COVER SHEET

LEGAL DESCRIPTION

PART OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511 (DOCUMENT #1185864) AND ALSO PART OF LOT 1 OF VOLUME 12, CERTIFIED SURVEY MAPS, PAGE 2320 (DOCUMENT #1165660), AND ALSO PART OF VOLUME 1, CERTIFIED SURVEY MAPS, PAGE 115 (DOCUMENT #715161), AND ALSO PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, ALL LOCATED PART OF THE SOUTHEAST 1/4 OF SECTION 35, T21N-R18E, TOWN OF BUCHANAN, OUTAGAMIE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 35, T21N-R18E; THENCE N89°20'24"W, 435.11 FEET ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE N00°39'36"E, 50.00 FEET TO THE NORTH RIGHT OF WAY OF C.T.H. KK AND THE POINT OF BEGINNING; THENCE CONTINUING N00°39'36"E, 328.14 FEET ALONG THE WEST LINE OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511, OUTAGAMIE COUNTY RECORDS; THENCE S89°24'24"E, 559.30 FEET ALONG THE NORTH LINE OF SAID LOT AND ALSO A SOUTH LINE OF LOT 82 OF HAEN MEADOWS, RECORDED IN CABINET J, PAGES 29-31 (DOCUMENT #1636232), OUTAGAMIE COUNTY RECORDS; THENCE S00°33'23"W, 328.67 FEET TO SAID NORTH RIGHT OF WAY OF C.T.H. KK; THENCE N89°23'42"W, 124.80 FEET ALONG SAID RIGHT OF WAY; THENCE N89°20'24"W, 435.09 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

PARCEL CONTAINS 183,799 SQUARE FEET / 4.22 ACRES, MORE OR LESS.
PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

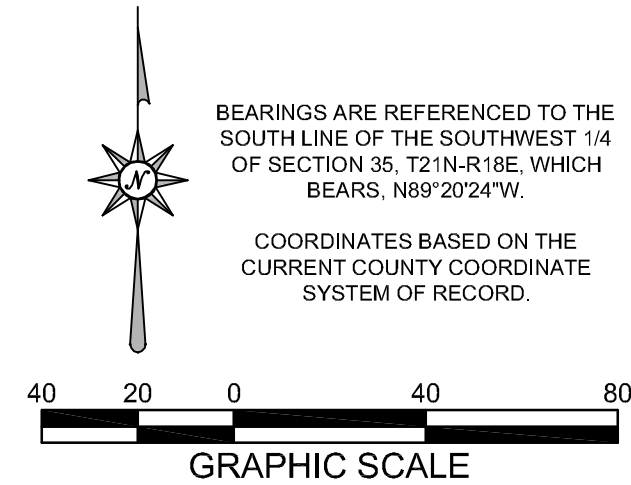


LOCATION MAP

600 WEST COUNTY ROAD KK
KAUKAUNA, WI 54130

CIVIL SHEETS INDEX

- C-0.1 COVER SHEET
- C-1.0 EXISTING CONDITIONS
- C-2.0 DEMOLITION PLAN
- C-3.0 SITE PLAN
- C-4.0 UTILITY PLAN
- C-5.1 GRADING PLAN - WEST
- C-5.2 GRADING PLAN - EAST
- C-6.0 EROSION CONTROL PLAN
- C-6.1 EROSION CONTROL DETAILS
- C-7.0 SITE DETAILS
- C-7.1 UTILITY & GRADING DETAILS
- L-1.0 LANDSCAPE PLAN



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2260 Salschelder Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-01-21

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA,
WISCONSIN

date: 11/14/2021
job: 21-091
d. by: SAH
rev.:

C-0.1

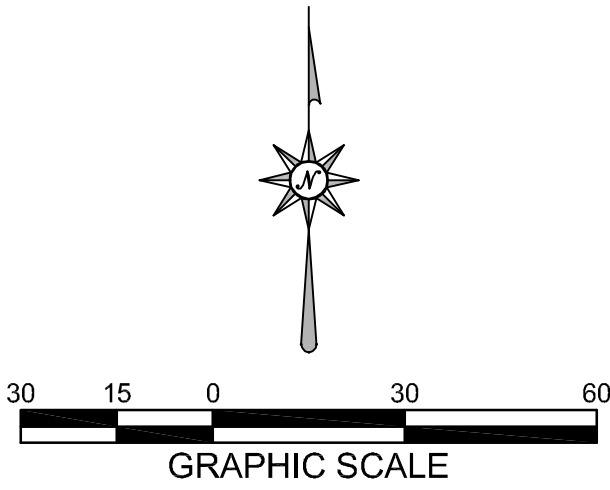
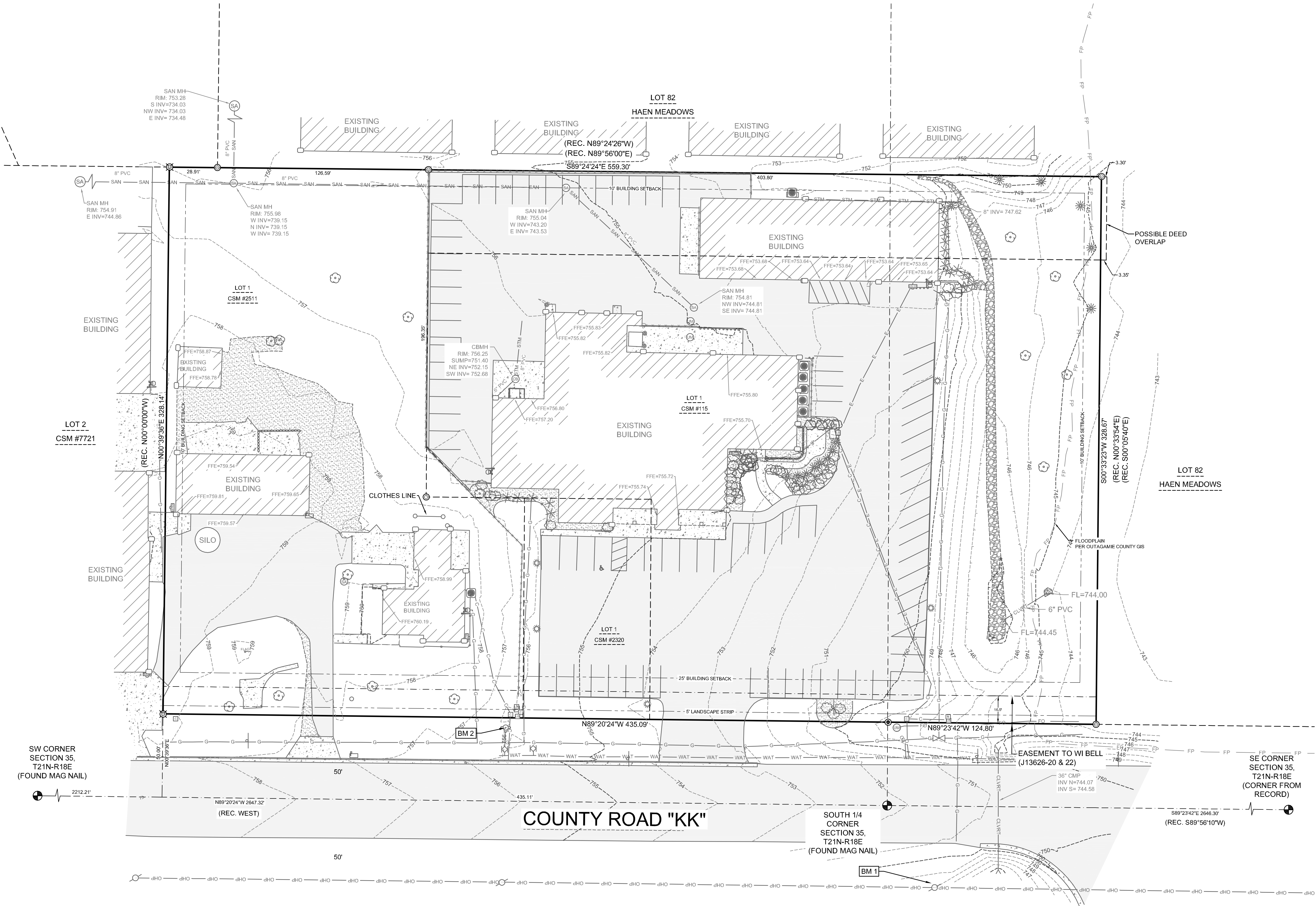
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EXISTING CONDITIONS

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT



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KAUKAUNA, WISCONSIN

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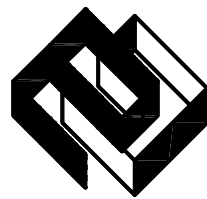
DEMOLITION PLAN

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

SHEET KEY NOTES:

- 1 REMOVE STRUCTURE IN IT ENTIRELYT INCLUDING FOUNDATION. BACKFILL WITH COMPACTED (95% MODIFIED PROCTOR) STRUCTURAL FILL
- 2 REMOVE GRAVEL
- 3 SAWCUT AND REMOVE ASPHALT PAVEMENT
- 4 REMOVE CONCRETE, SAW CUT WHEN NECESSARY
- 5 CLEAR & GRUB TREE. GRIND STUMP TO A MIN. OF 2' BELOW PROPOSED FINISHED GRADE
- 6 ABANDON SANITARY SYSTEM. REMOVE TANK AND BACKFILL WITH COMPACTED (95% MODIFIED PROCTOR) STRUCTURAL FILL
- 7 SALVAGE FENCE FOR RE-INSTALLATION
- 8 RELOCATE GAS METER

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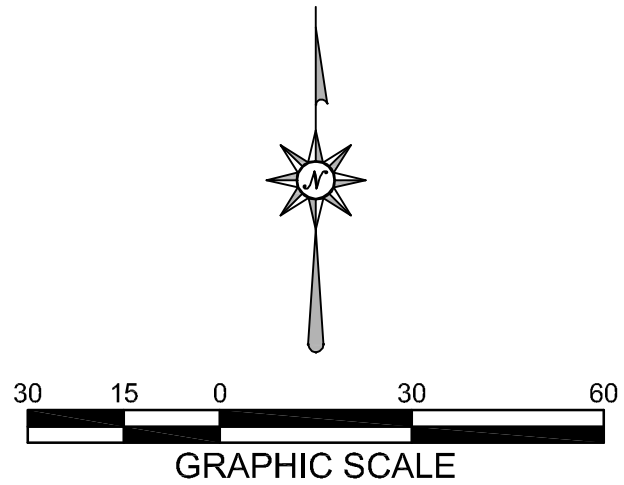
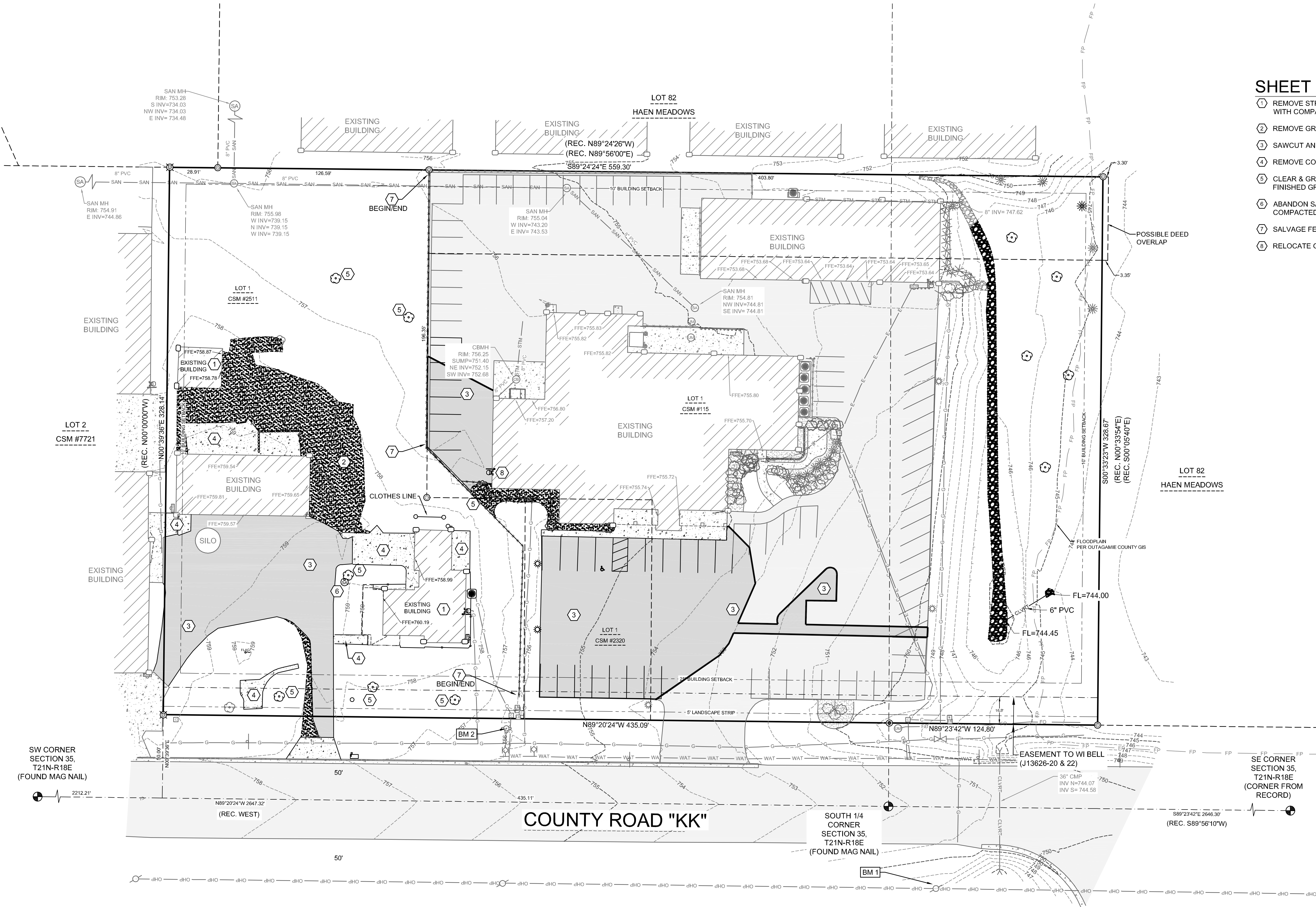
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SITE PLAN

OWNER

CWPS PROPERTIES LLC
W7358 SPENCER ROAD
APPLETON, WI 54914

SHEET KEY NOTES:

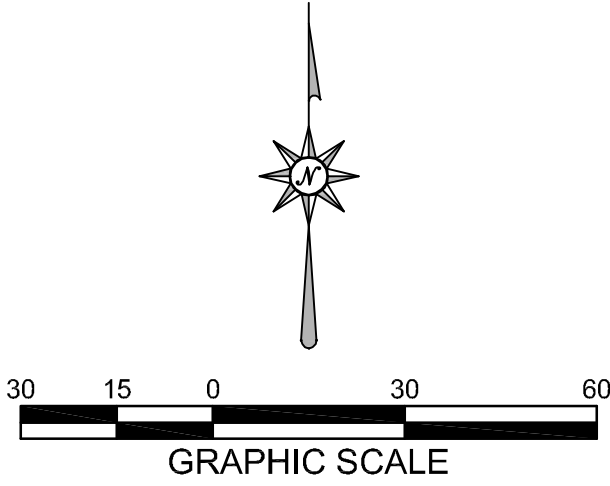
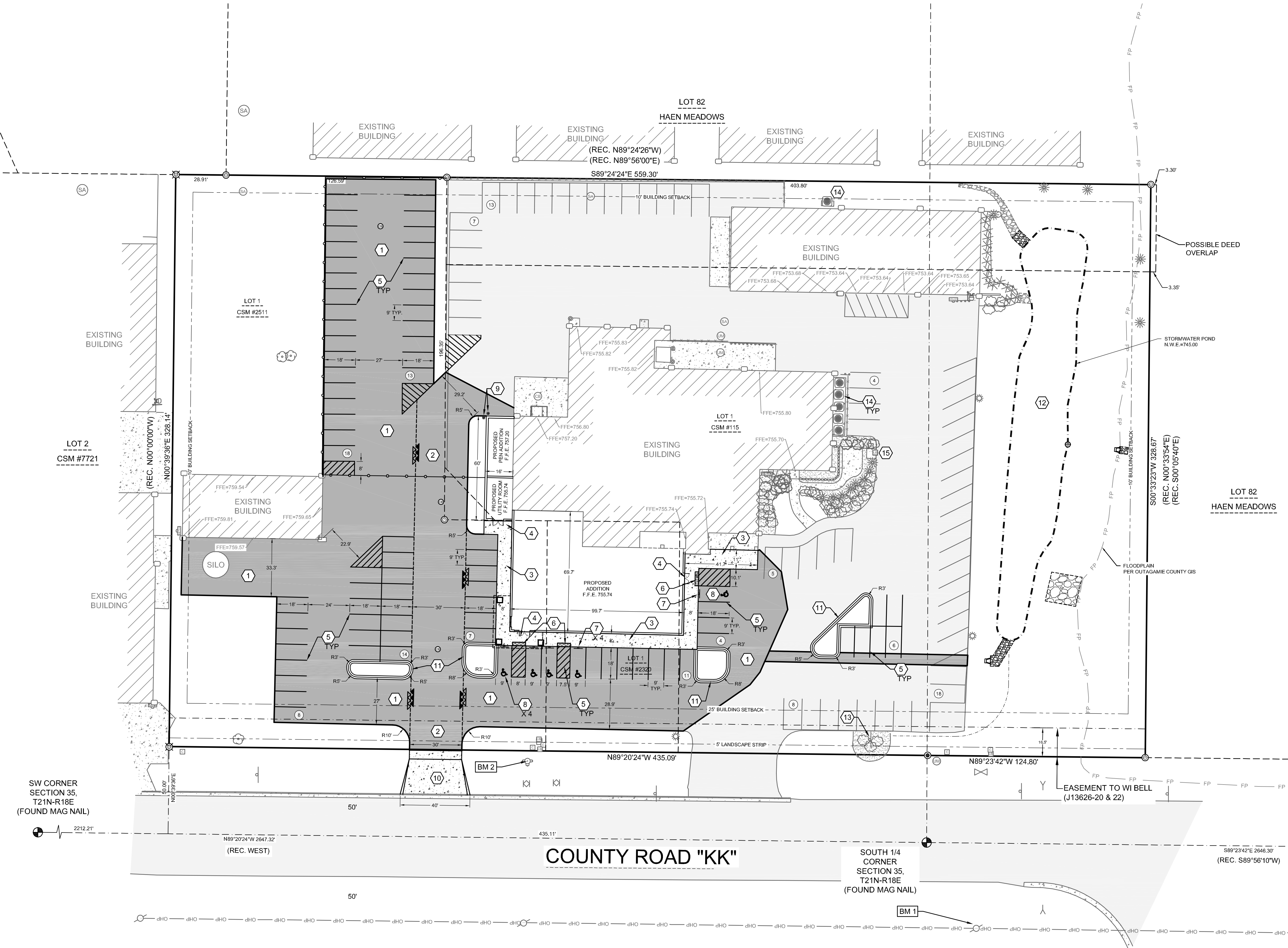
- 1 STANDARD DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C-7.0
- 2 HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL B SHEET C-7.0
- 3 CONCRETE SIDEWALK; SEE DETAIL C SHEET C-7.0
- 4 STOOP; REFER TO STRUCTURAL DRAWINGS
- 5 4" WIDE PAINT STRIPE (WHITE)
- 6 ADA DETECTABLE WARNING; SEE DETAIL D SHEET C-7.0
- 7 ADA SIGN; SEE DETAIL E SHEET C-7.0
- 8 PAINTED ADA SYMBOL; SEE DETAIL F SHEET C-7.0
- 9 BOLLARD; SEE DETAIL G SHEET C-7.0
- 10 DRIVEWAY APRON; SEE DETAIL H SHEET C-7.0
- 11 CURB & GUTTER, ROLL CURB; SEE DETAIL I SHEET C-7.0
- 12 STORMWATER MANAGEMENT POND; SEE SHEET C-5.2
- 13 EXISTING MONUMENT SIGN
- 14 EXISTING MECHANICAL UNIT
- 15 EXISTING TRANSFORMER

SITE STATISTICS

PARCEL ADDRESS:	600 WEST COUNTY ROAD KK
PARCEL NUMBER:	323243600, 323243900, 323244100, & 323244200 TO BE COMBINED VIA CSM
PARCEL SIZE:	183,799 SF (4.22 AC)
ZONING:	CHD - COMMERCIAL HIGHWAY DISTRICT
EXISTING SITE	
GREEN SPACE:	77,624 SF (42.0%)
IMPERVIOUS AREA	
BUILDING:	28,688 SF (15.6%)
PAVEMENT:	77,847 SF (42.4%)
TOTAL IMPERVIOUS:	106,535 SF (58.0%)
PROPOSED SITE	
TOTAL DISTURBED AREA:	84,353 SF (1.94 AC)
GREEN SPACE PROVIDED:	
IMPERVIOUS AREA	64,914 SF (35.3%)
BUILDING:	32,870 SF (17.9%)
PAVEMENT:	86,015 SF (46.8%)
TOTAL IMPERVIOUS:	118,885 SF (64.7%)
PARKING PROVIDED	
PARKING SPACES REQ'D/CALCS:	1 STALL PER 300 SF 32,282 SF / 300 SF = 107 STALLS
PARKING SPACES PROVIDED:	136 STALLS, INCLUDES 5 ADA HANDICAP STALLS

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UTILITY PLAN

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

SHEET KEY NOTES:

- 1
- 36-INCH DIAMETER CATCH BASIN; SEE DETAIL A SHEET C-7.1
- 2
- CONNECT TO ROOF DRAIN; REFER TO PLUMBING PLANS. FIELD VERIFY INVERT PRIOR TO INSTALLING ROOF DRAIN PIPING. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IF INVERT IS DIFFERENT FROM PLANS.
- 3
- POND OUTLET STRUCTURE; SEE DETAIL B SHEET C-7.1
- 4
- APRON END WALL

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KAUKAUNA, WISCONSIN

UTILITY NOTES:

1.
- CONNECTIONS TO EXISTING UTILITIES SHALL BE VERIFIED (SIZE, ELEVATION AND LOCATION) PRIOR TO CONSTRUCTING ANY PROPOSED UTILITIES.
2.
- SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
3.
- WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
4.
- ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
5.
- ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
6.
- WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
7.
- STORM SEWER SHALL BE PVC SDR 35 (ASTMD-3034) OR SCH 40.
8.
- NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
9.
- CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH MUNICIPALITY SPECIFICATIONS.

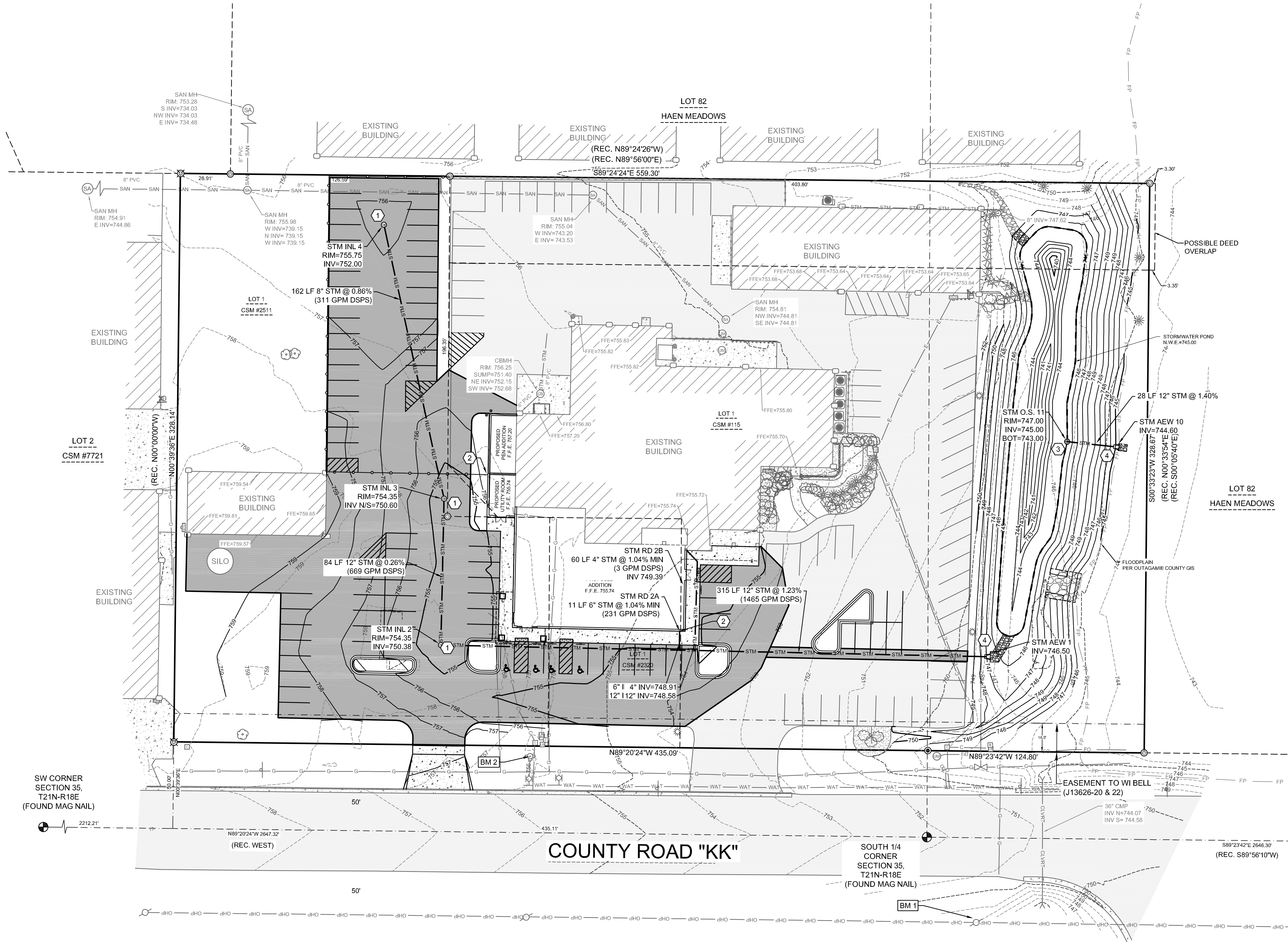


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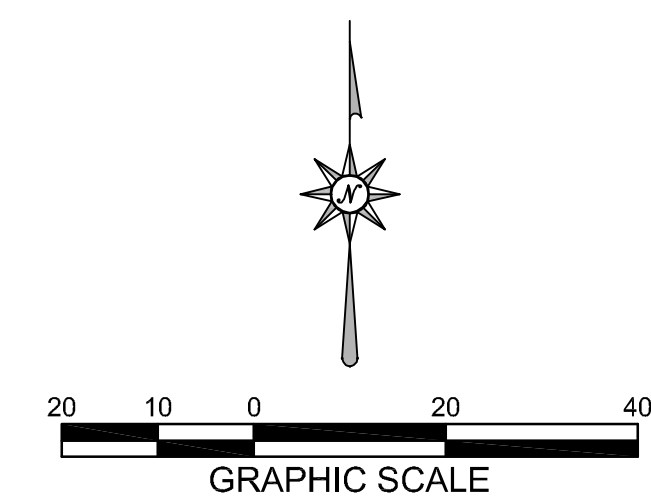
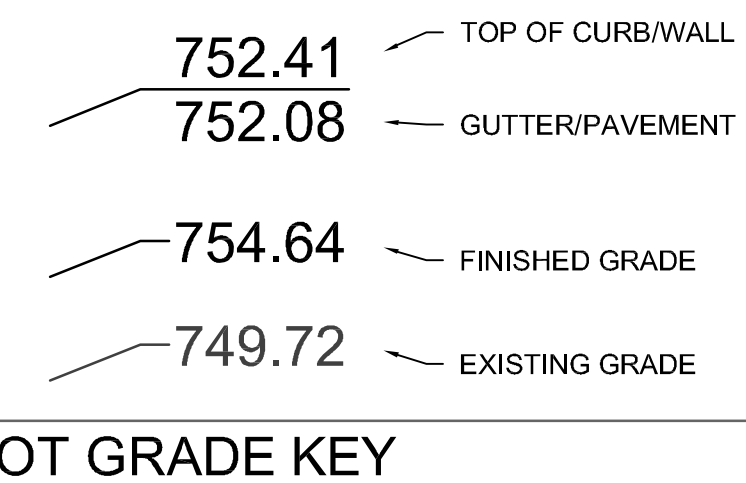
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Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET
- ③ REVERSE PAN CURB AND GUTTER



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GRADING PLAN - WEST

Benchmarks		
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BM 2	758.530	HYDRANT BURY BOLT

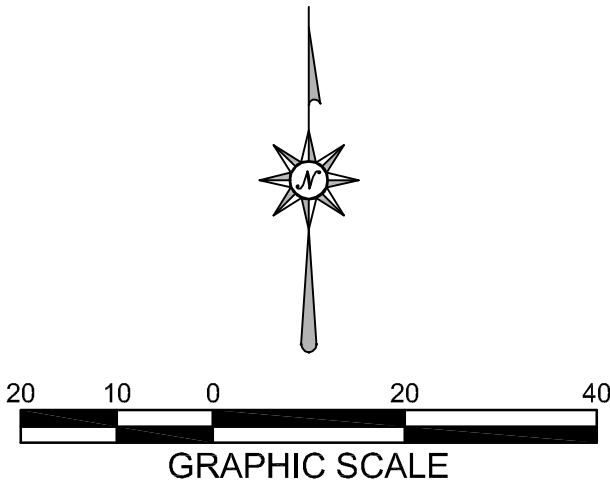
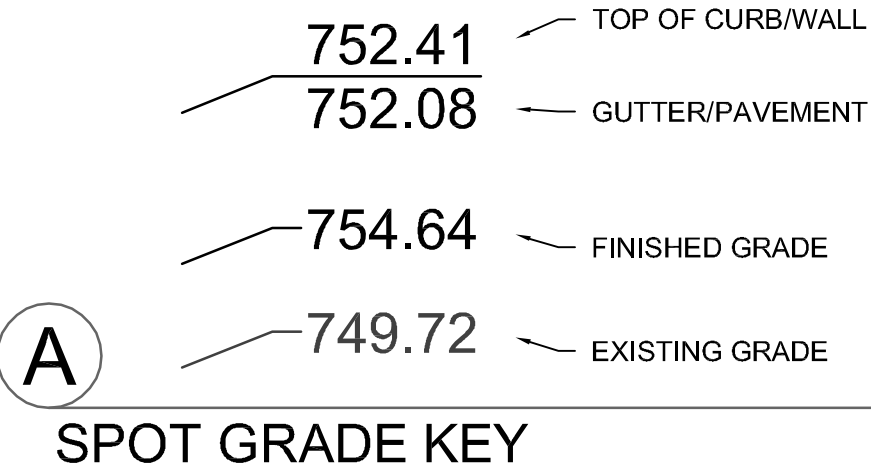
SHEET KEY NOTES:

- 1 CONSTRUCTION / GRADING LIMITS
- 2 SPOT GRADE; SEE DETAIL A THIS SHEET
- 3 REVERSE PAN CURB AND GUTTER
- 4 STORMWATER POND; SEE DETAIL C SHEET C-7.1
- 5 EMERGENCY OVERFLOW WEIR; SEE DETAIL D SHEET C-7.1
- 6 GRASS SWALE WITH BERM, V-NOTCH; SEE DETAIL E & F SHEET C-7.1

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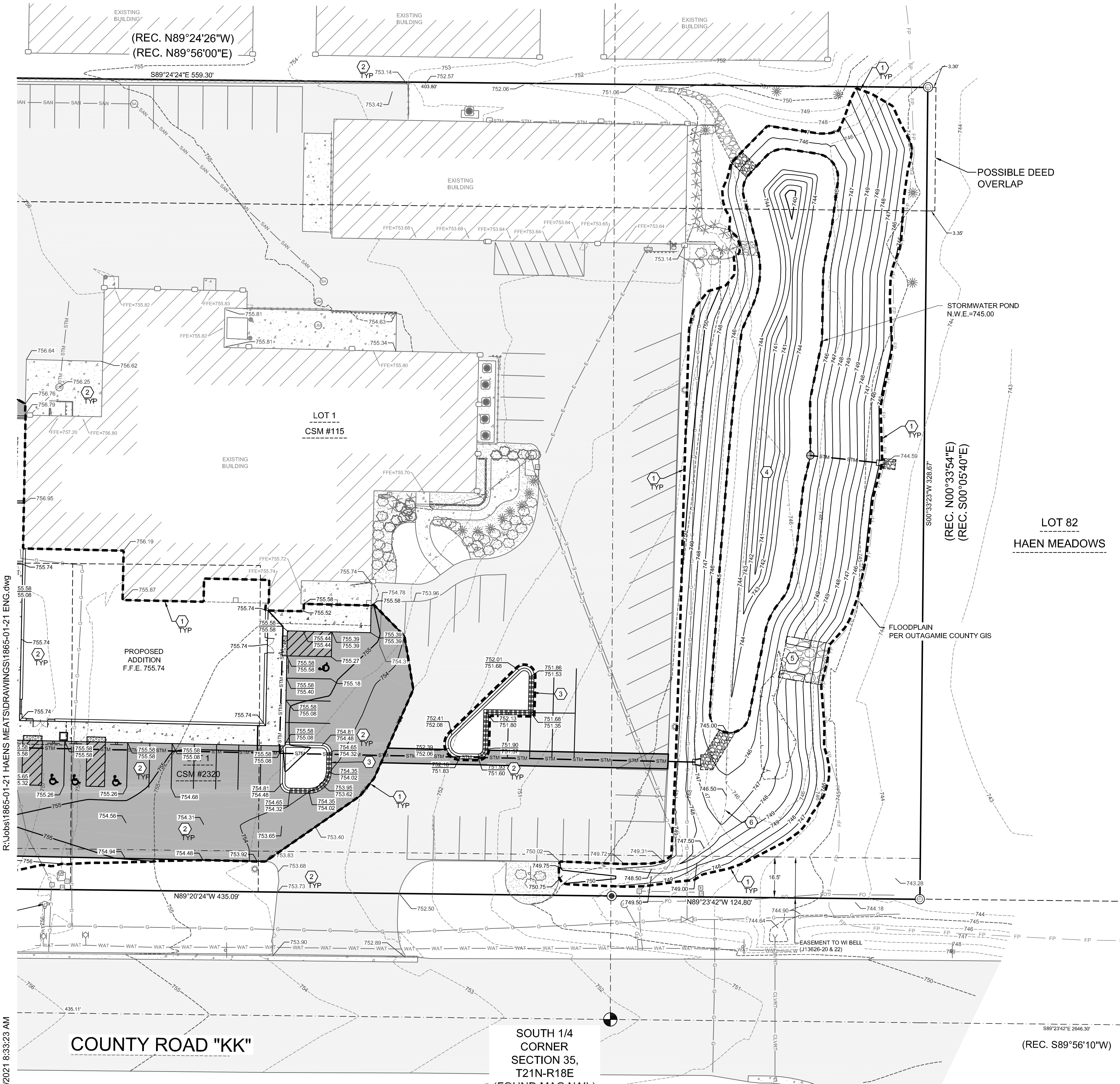
BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN



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C-5.2



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- ① INLET PROTECTION; SEE DETAIL A SHEET C-6.1
- ② STONE TRACKING PAD; SEE DETAIL B SHEET C-6.1
- ③ SILT FENCE; SEE DETAIL C SHEET C-6.1
- ④ CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES;
SEE DETAIL D SHEET C-6.1
- ⑤ ENERGY DISSIPATOR; SEE DETAIL E SHEET C-6.1
- ⑥ SEDIMENT LOG; SEE DETAIL F SHEET C-6.1
- ⑦ MEDIUM RIP RAP OVER TYPE F GEOTEXTILE FABRIC

1. **SILT FENCE (TECH. STANDARD 1056)**
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION (TECH STANDARD 1060)**
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL (TECH STANDARD 1068)**
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOM TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING TO PREVENT VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1057)**
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS (TECH. STANDARD 1053)**
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING (TECH STANDARD 1061)**
SILT DEWATERING DEVICES REQUIRED FOR REMEDIATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

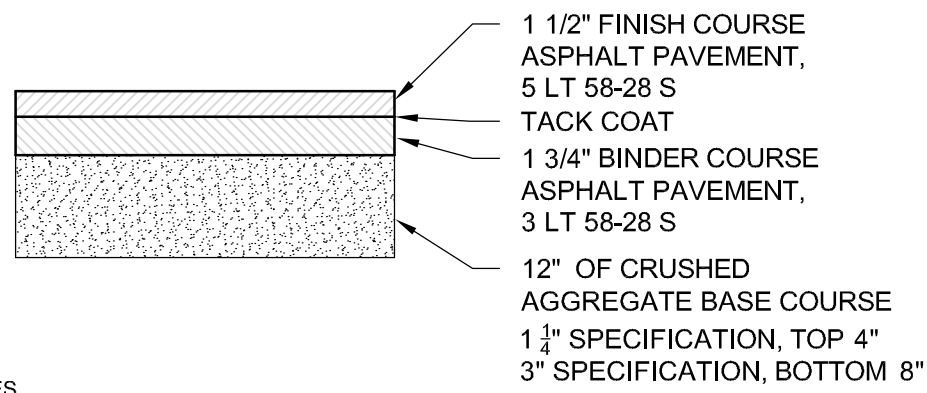
1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 4 FEET HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR IF SEDIMENT HAS ACCUMULATED TO A DEPTH OF 4 FEET, IT SHALL BE REMOVED.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH FLOW VOLUMES WILL BE REGRADED AND STABILIZED WITH A RECOMMENDED EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. ANY SILT THAT HAS BEEN SWEEPED OFFITE ONTO ADJACENT PROPERTIES SHALL BE SWEEP OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET ALL REQUIREMENTS OF THE ORDINANCE. THE EROSION AND SEDIMENT CONTROL PLAN STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL MEASURES, AND THE LOCATION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

WINTER 2021 TO SPRING 2022

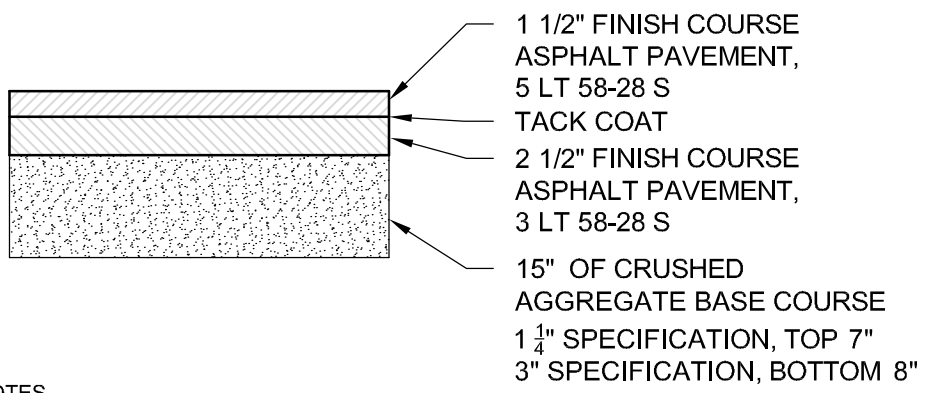
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDMR TECHNICAL STANDARDS
- SITE DEMOLITION
- EXCAVATE STORMWATER POND AND SWALE ALONG SOUTHEAST CORNER OF EXISTING PARKING LOT TO DIVERT RUNOFF TO POND
- STRIP TOPSOIL WITHIN GRADING LIMITS
- ROUGH GRADE SITE
- CONSTRUCT BUILDING ADDITIONS
- INSTALL SITE UTILITIES
- INSTALL BASE COURSE
- INSTALL PAVEMENT
- TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- REMOVE ACCUMULATED SEDIMENT FROM POND
- RE-SEED ANY UNVEGETATED AREAS
- REMOVE TEMPORARY EROSION CONTROL BMPs UPON SITE STABILIZATION

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" (150MM) SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE STANDARD (1061).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE BIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FROM THE WDNR.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

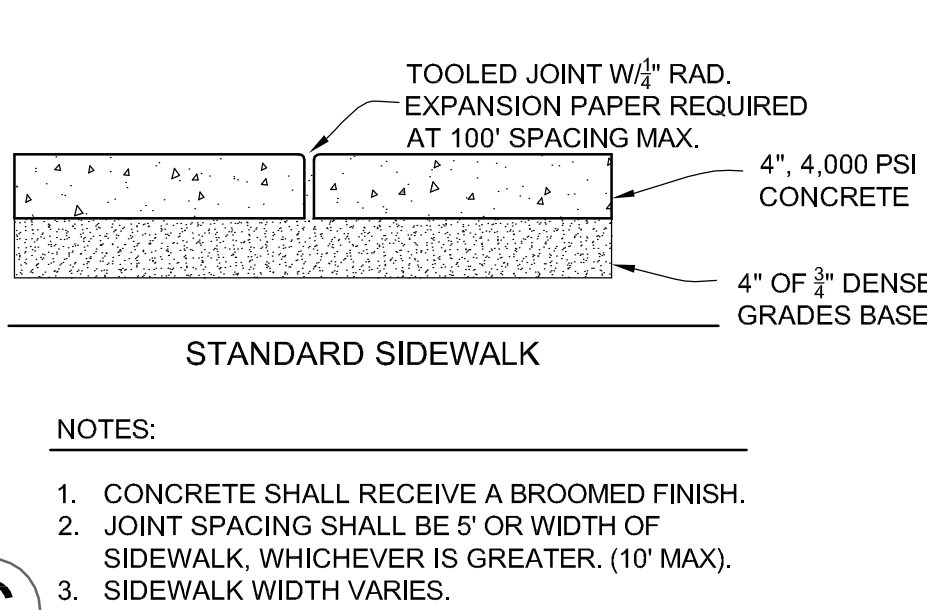
SITE DETAILS



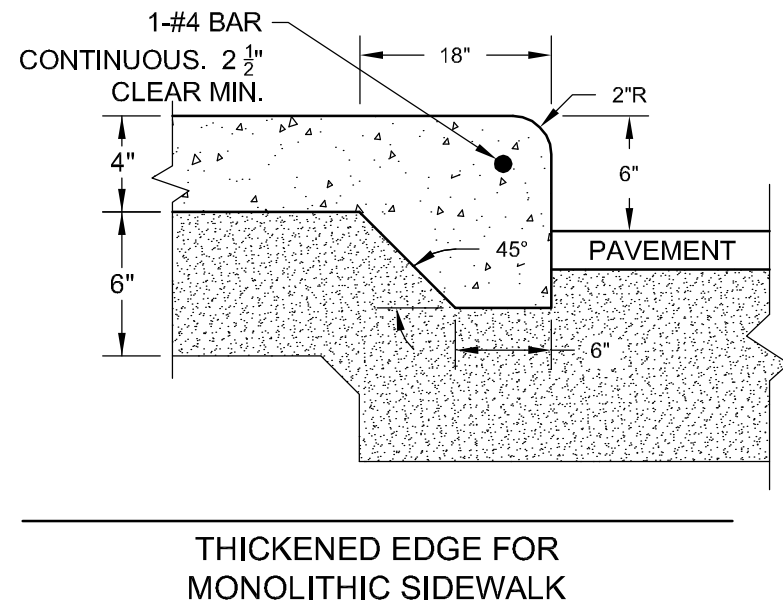
STANDARD DUTY ASPHALT PAVEMENT



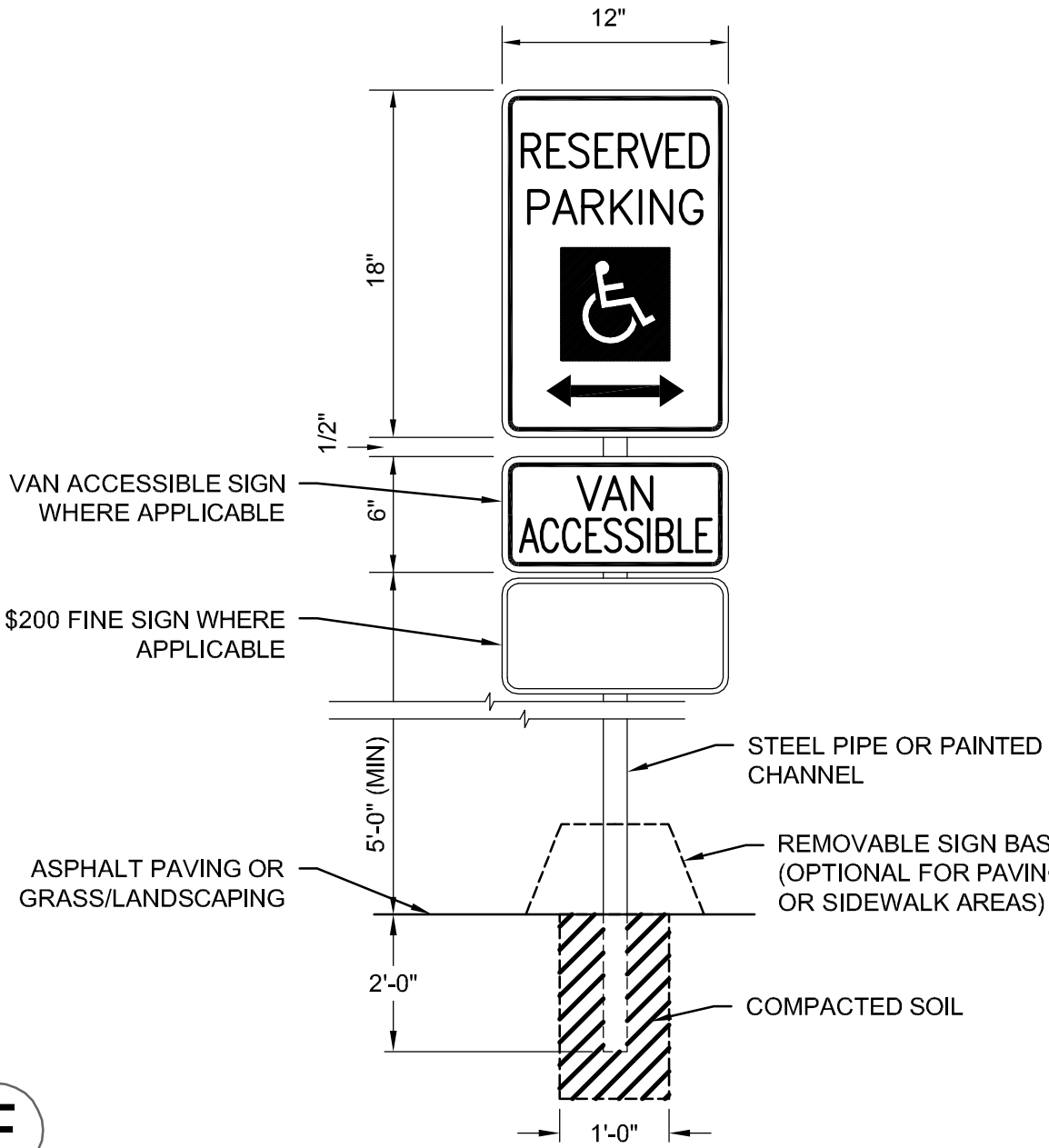
HEAVY DUTY ASPHALT PAVEMENT



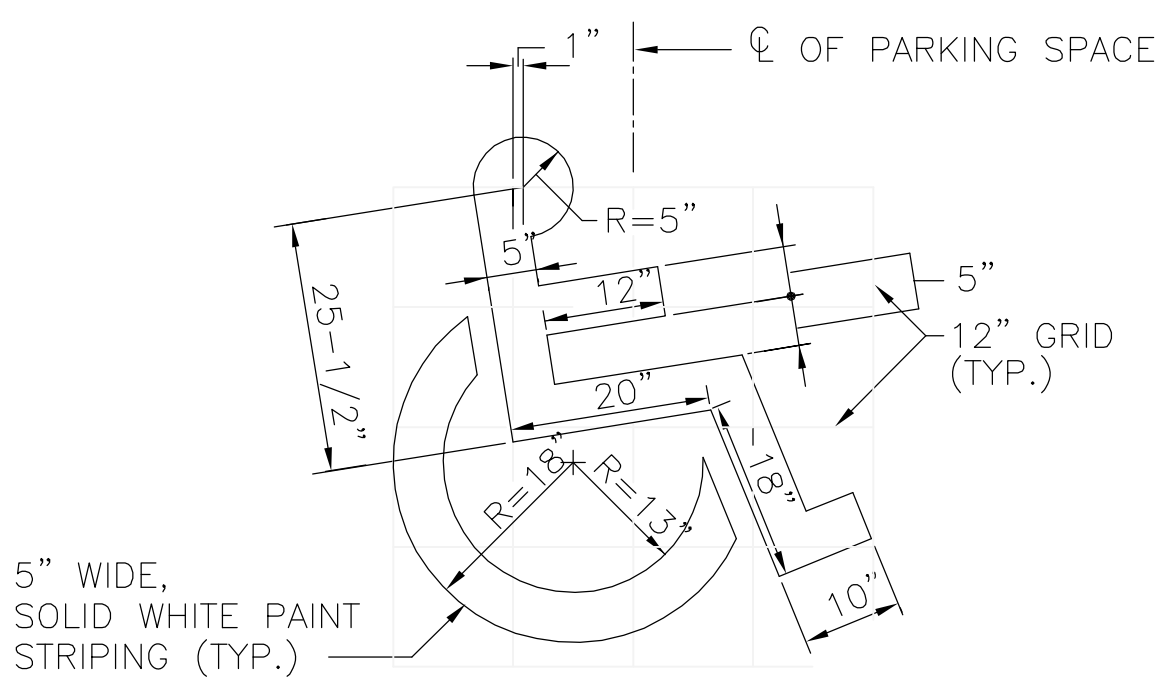
CONCRETE SIDEWALK



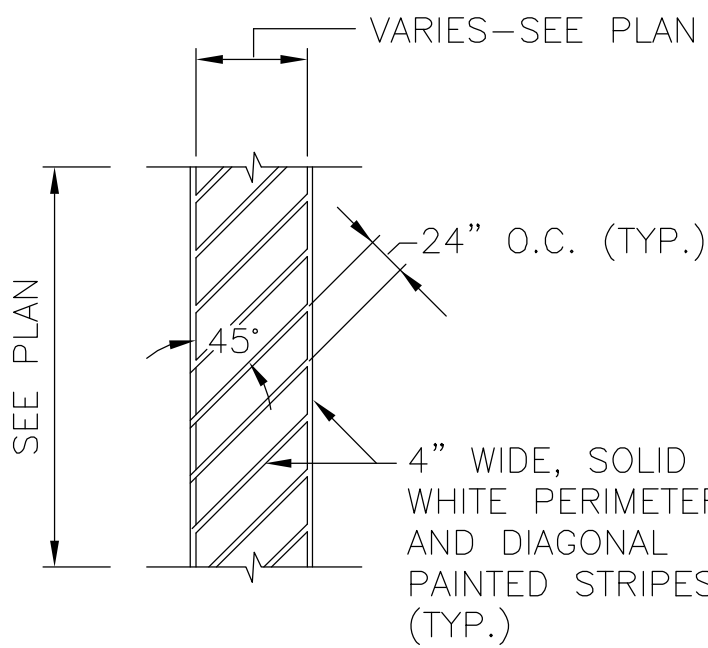
ADA DETECTABLE WARNING PLATE



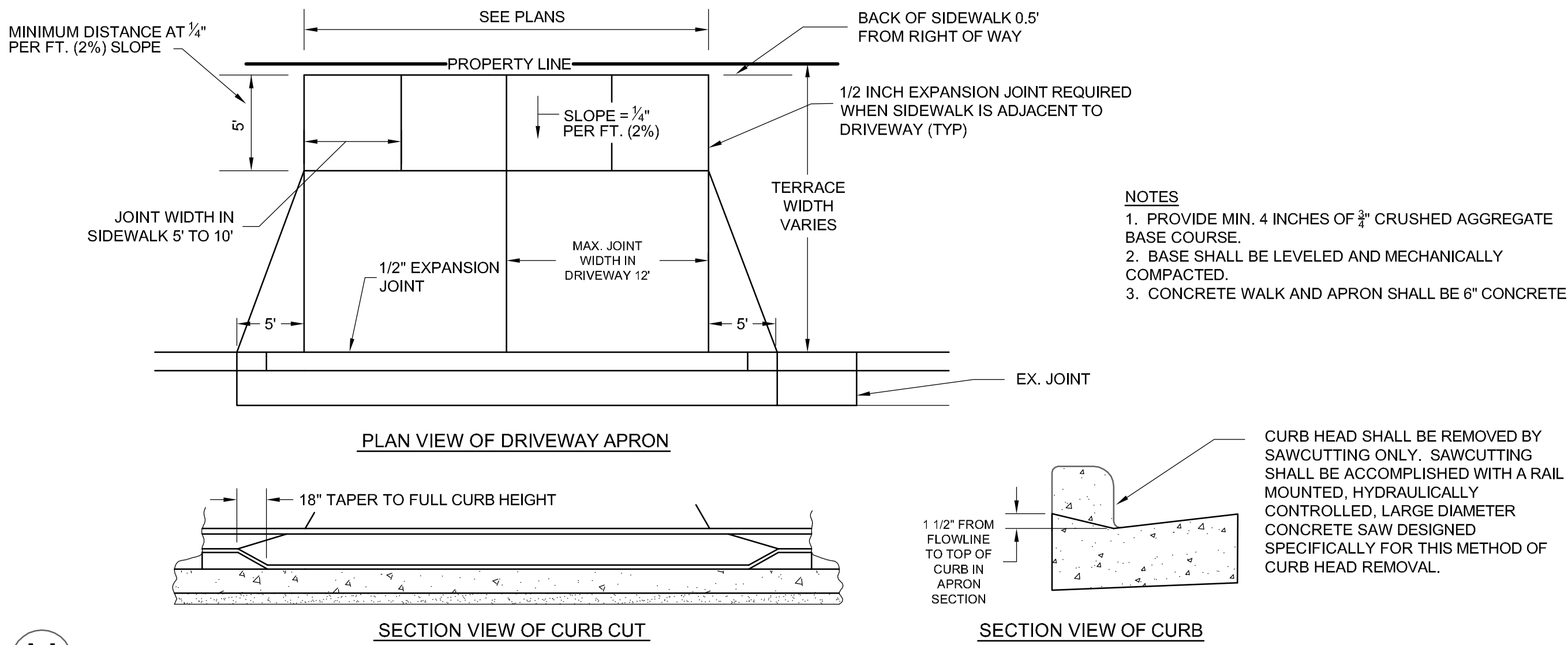
ADA HANDICAP SIGN



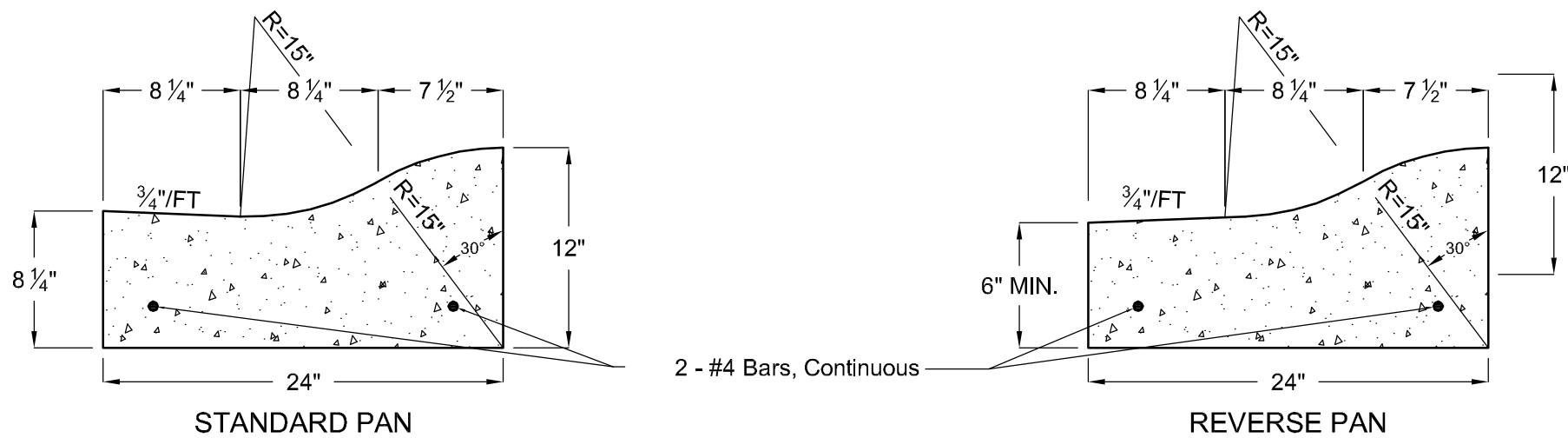
HANDICAP PAVEMENT MARKING DETAILS



PIPE BOLLARD - 6"



CONCRETE DRIVEWAY APRON



24" MOUNTABLE CURB AND GUTTER

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Miron Building Excellence	
BUILDING ADDITION FOR: HAEN MEAT PACKING ADDITION KAUKAUNA, WISCONSIN	
date: 11/14/2021 job: 21-031 d. by: SAH rev.: _____ _____ _____ _____ _____	
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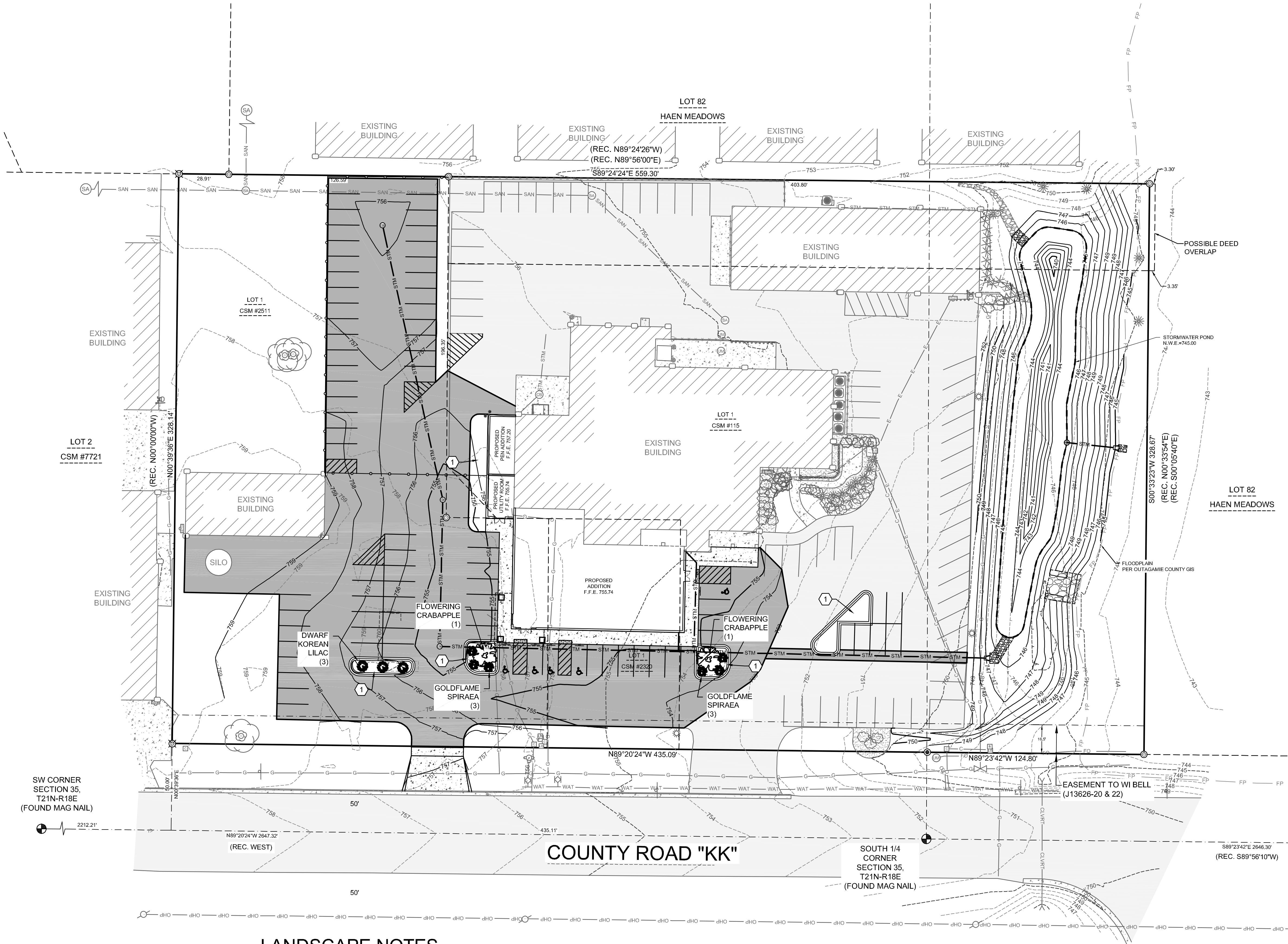
LANDSCAPE PLAN

SHEET KEY NOTES:

① STONE MULCH, 3" THICK, WITH WEED BARRIER FABRIC; MATCH EXISTING STONE MULCH

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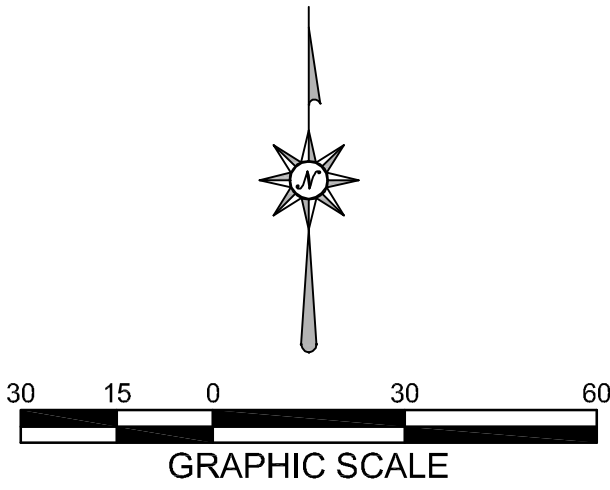


LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUND COVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH WDot No. 40 GRASS MIX.

PLANT TABLE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
	FLOWERING CRABAPPLE	MALUS 'ROSACEAE'	2	11/4"
	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALABIN'	3	3-4'
	GOLDFLAME SPIRAEA	SPIRAEA X BUMALDA 'GOLDFLAME'	3	3 GAL.



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Building Excellence

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 11/14/2021
job: 21-091
d. by: SAH
rev.: _____

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Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
	A1	3	Lithonia Lighting	RSX2 LED P1 40K R3 MVOLT SPA DDBXD w\ 30FT POLE ON 3FT BASE
	A2	4	Lithonia Lighting	RSX2 LED P1 40K R5S MVOLT SPA DDBXD w\ 30FT POLE ON 3FT BASE
	B	6	Lithonia Lighting	WPX1 LED P2 40K Mvolt
	C	4	Lithonia Lighting	TWX2 LED ALO 40K
	D	0	Lithonia Lighting	TWX1 LED ALO 40K

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside Lot	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.4 fc	4.9 fc	0.1 fc	49.0:1	14.0:1

