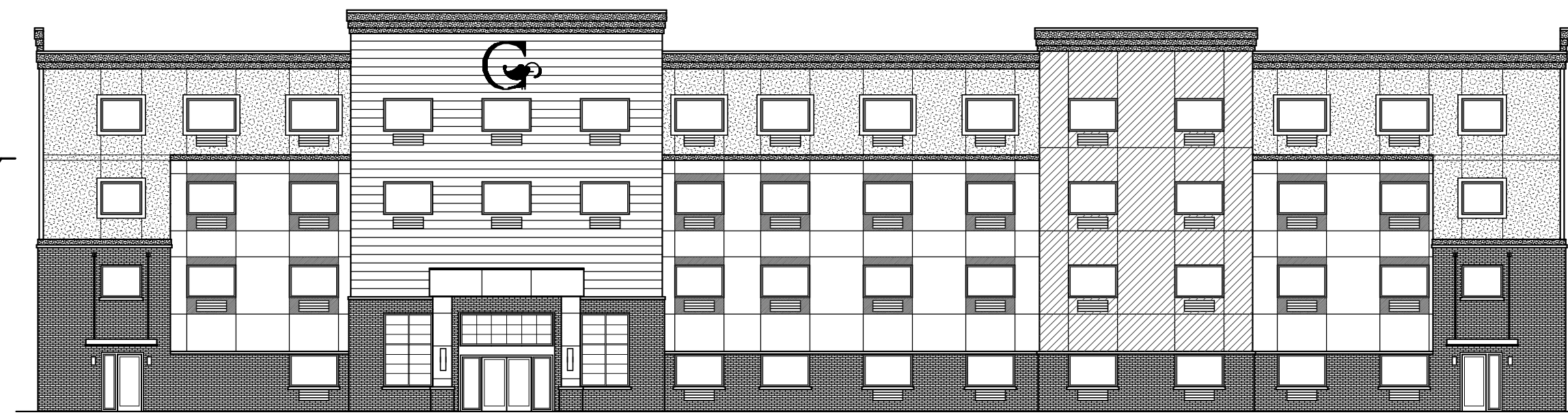


# GRANDSTAY RESIDENTIAL SUITES



## A 16 UNIT HOTEL IN KAUKAUNA, WI ADDRESS: -

### PROJECT TEAM:

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**CIVIL ENGINEER:**

**MECHANICAL ENGINEER:** DESIGN BUILD  
DEFERRED SUBMITTAL

**ELECTRICAL ENGINEER:** DESIGN BUILD  
DEFERRED SUBMITTAL

**FIRE SPRINKLER ENGINEER:** DESIGN BUILD  
DEFERRED SUBMITTAL

### DRAWING LOG

90% Bid Set Issued October 6th, 2023	
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### CODE SUMMARY

#### 1. BUILDING DESCRIPTION:

A NEW (4) STORY 48,392 S.F. HOTEL.

#### 2. BLDG. SUMMARY:

2015 I.B.C., 2015 INTERNATIONAL FIRE CODE, 2010 ADA STANDARDS AND OTHER RELATED CODES.

**A. CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION**  
R-1 OCCUPANCY - HOTEL - (SECTION 310.3)  
A-2 OCCUPANCY - LOBBY BREAKFAST - (SECTION 303.3)  
A-3 OCCUPANCY - POOL / EXERCISE - (SECTION 303.4)

**B. CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASE ON USE AND OCCUPANCY**  
- NFPA 13 AUTOMATIC SPRINKLER SYSTEM PROVIDED.  
- WALLS SEPARATING DWELLING UNITS IN R-1 CONSTRUCTED AS FIRE PARTITIONS (SECTION 420.2)  
- FIRE & SMOKE ALARMS PER 901.2.9 DESIGNED BY OTHERS

**C. CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS**  
ALLOWABLE HEIGHT: (TABLE 503)  
R1 OCCUPANCY ALLOWED: 4 STORIES OR 10'-0"  
R1 OCCUPANCY ACTUAL: 4 STORIES & 49'-0"  
A OCCUPANCY ALLOWED: 3 STORIES OR 10'-0"  
A OCCUPANCY ACTUAL: 1 STORY & 11'-0"  
ALLOWABLE AREA: (TABLE 506.2) A OCC. MOST RESTRICTIVE  
"A" & "SM" ALLOWABLE FLOOR AREA: (FROM TABLE 506.2) = 34,500 S.F.  
"R-1" & "SM" ALLOWABLE FLOOR AREA: (FROM TABLE 506.2) = 36,000 S.F.  
ALLOWABLE FLOOR AREA: 34,500 S.F.  
ACTUAL FLOOR AREA (LARGEST FLOOR 1ST FLOOR): 12,812 S.F.  
EQUATION 5-2 (FRONTAGE INCREASE)  
AVG. WIDTH (W) = [(A' X 30') + (B' X 30') + (C' X 30') + (D' X 30')]/(A+B+C+D)  
AVG. WIDTH (W) = 30'  
A FRONTAGE INCREASE: 34,500 X 0.39 = 13,455 S.F.  
R-1 FRONTAGE INCREASE: 36,000 X 0.39 = 14,040 S.F.  
ALLOWABLE FLOOR AREA (R-1) OCC: 50,040 S.F.  
ACTUAL FIRE AREA (SECOND - FOURTH FLOORS): 11,860 S.F.  
UPPER FLOOR RATIO CALCULATION: R-2 = 11,860 / 50,040 = .24 (ACTUAL / ALLOWABLE)  
ALLOWABLE FLOOR AREA (A) OCC: 41,955 S.F.  
ACTUAL FIRE AREA (FIRST FLOOR ONLY): 12,812 S.F.  
FIRST FLOOR RATIO CALCULATION: A = 12,812 / 41,955 = 0.21 (ACTUAL / ALLOWABLE)  
TOTAL FIRST FLOOR FIRE AREA RATIO CALCULATION: 0.21 + 0.21 = 0.42  
TOTAL BUILDING FIRE AREA RATIO CALCULATION: 0.21 + 0.24 + 0.24 + .24 = 0.99 ( 3 1506.2.4)  
ACCESSORY USE SEPARATION: (SECTION 508.3 & 508.4)  
FIRST FLOOR (508.3): FLOOR DESIGNED UNDER NONSEPARATED OCCUPANCIES. OCCUPANCY A-2 AND A-3 MOST RESTRICTIVE.  
SECOND FLOOR (508.4): SECOND FLOOR R-1 OCCUPANCY SEPARATED FROM FIRST FLOOR A OCCUPANCY WITH A 1 HR FLOOR / CEILING ASSEMBLY PER TABLE 508.4.  
AN AUTOMATIC FIRE SPRINKLER SYSTEM IS PROVIDED AT INCIDENTAL USE ROOMS OVER 100 S.F. (TABLE 509)  
BUILDING DIAGRAM  
1HR R/C ASSEMBLY  
STORY 3: (R-1 OCC.) 11,860 NFPA-13 1HR F/C ASSEMBLY  
STORY 3: (R-1 OCC.) 11,860 NFPA-13 1HR F/C ASSEMBLY  
STORY 2: (R-1 OCC.) 11,860 S.F. NFPA-13 1HR F/C ASSEMBLY  
STORY 1: (A & R-1 OCC.) 12,812 S.F. NFPA-13 N.A.

**D. CHAPTER 6 - TYPE OF CONSTRUCTION**  
TYPE V-A (ONE HOUR 602.5)

**E. CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES**  
10% FIRE WALLS - NOT REQUIRED.  
101 FIRE BARRIER - 2HR RATED (SECTION 713)  
PROVIDED AT STAIRWAY & ELEVATOR SHAFTS.  
108 FIRE PARTITION - 1HR RATED (SECTION 420.2)  
PROVIDED AT WALLS SEPARATING GUEST SUITES.

**F. CHAPTER 8 - INTERIOR FINISHES**  
ALL FINISHES SHALL COMPLY WITH INTERIOR FINISH REQUIREMENTS, FLAME SPREAD RATINGS ETC.  
SEE FINISH SCHEDULE PROVIDED BY OTHERS  
INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY:

GROUP	INTERIOR EXIT STAIRS, RAMPS & PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIR & RAMPS	ROOMS AND ENCLOSED SPACES
R-1	B	C	C
A-2	B	B	C
A-3	B	B	C

**G. CHAPTER 9 - FIRE PROTECTION SYSTEMS**  
AN AUTOMATIC SPRINKLER NFPA-13 (SECT. 903.2.1.2 & 903.2.1.3)  
R-1 AUTOMATIC SPRINKLER NFPA-13 (SECTION 903.3.1.1)  
R-1 FIRE ALARM & SMOKE ALARMS W/ MANUAL FIRE ALARM SYSTEM PER 901.2.8.1 (DESIGNED BY OTHERS)  
**H. CHAPTER 10 - MEANS OF EGRESS (TABLE 1004.1.2)**  
THIRD FLOOR:  
R-1 OCCUPANCY: 11,860 S.F.  
11,860 S.F./200 S.F. PER OCC. = 60  
(2) EXITS REQUIRED, (2) EXITS PROVIDED.  
SECOND FLOOR:  
R-1 OCCUPANCY: 11,860 S.F.  
11,860 S.F./200 S.F. PER OCC. = 60  
(2) EXITS REQUIRED, (2) EXITS PROVIDED.  
STAIRWAY LOAD = 120 (SECTION 1005.3.1)  
REQUIRED STAIRWAY WIDTH = .2 X 120 = 24" OR 44" MIN.  
PROVIDED STAIRWAY WIDTH = 48"

**FIRST FLOOR:**  
R-1 OCCUPANCY: 2,145 S.F.  
2,145 S.F./200 S.F. PER OCC. = 11  
A-3 OCCUPANCY: MEETING ROOM 869 S.F.  
869 S.F./15 S.F. PER OCC. = 58  
A-3 OCCUPANCY: LOBBY 1,059 S.F.  
1,059 S.F./15 S.F. PER OCC. = 71  
A-2 OCCUPANCY: BREAKFAST ROOM 718 S.F.  
718 S.F./15 S.F. PER OCC. = 48  
A-3 OCCUPANCY: EXERCISE 291 S.F.  
291 S.F./50 S.F. PER OCC. = 6  
A-3 OCCUPANCY: POOL 765 S.F.  
765 S.F./50 S.F. PER OCC. = 16  
A-3 OCCUPANCY: POOL DECK 1,488 S.F.  
1,488 S.F./15 S.F. PER OCC. = 100  
TOTAL FIRST FLOOR OCCUPANTS = 310  
OCCUPANT LOAD ALL FLOORS 4TH (60) 3RD (60) + 2ND (60) + 1ST (310) = 490  
SECT. 1006.3.1 (2) EXITS REQUIRED, (5) EXITS PROVIDED. (3) REQ'D. TO BE ADA  
EXIT DOOR LOAD = 490 (SECTION 1005.3.2)  
REQUIRED DOOR WIDTH = .2 X 490 = 98"  
PROVIDED DOOR WIDTH = 192"

**I. CHAPTER 11 - ACCESSIBILITY**  
ALL INTERIOR AND EXTERIOR COMMON AREA SPACES SHALL COMPLY REQUIRED UNIT TYPES: (1107.4.1.1)  
R-1 REQUIRES (5) ACCESSIBLE UNITS THE REMAINDER TYPE "B" UNITS  
76 TOTAL UNITS PROVIDED  
(5) ACCESSIBLE UNITS REQUIRED - (5) ACCESSIBLE UNITS PROVIDED

**J. CHAPTER 29 - PLUMBING SYSTEMS**  
PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1):  
R-1 (HOTEL) = (1) TOILET & SINK PER UNIT  
REQUIRED FIXTURES = 76 TOILETS & 76 SINKS  
PROVIDED FIXTURES = 76 TOILETS & 76 SINKS  
REQUIRED TUB/SHOWERS = (1) PER UNIT (76) TOTAL  
PROVIDED TUB/SHOWERS = 76 TUB/SHOWERS  
NO DRINKING FOUNTAIN REQUIRED, ONE DRINKING FOUNTAIN PROVIDED.  
ONE SERVICE SINK REQUIRED, (2) SERVICE SINKS PROVIDED.

### SHEET INDEX

#### ARCHITECTURAL:

A001 COVER SHEET  
A010 SITE PLAN  
A101 OVERALL FIRST FLOOR PLAN  
A102 OVERALL SECOND FLOOR PLAN  
A103 OVERALL THIRD FLOOR PLAN  
A104 OVERALL FOURTH FLOOR PLAN  
A105 OVERALL ROOF PLAN  
A201 ENLARGED UNIT PLANS  
A202 ENLARGED UNIT PLANS  
A301 ACCESSIBILITY DETAILS  
A302 ACCESSIBILITY DETAILS  
A401 DOOR & WINDOW SCHEDULES  
A501 EXTERIOR ELEVATIONS  
A502 EXTERIOR ELEVATIONS  
A110 TYPICAL CROSS SECTION "A"  
A120 STAIR SECTION "A"  
A130 ELEVATOR SECTION(S)  
A140 LOBBY WALL SECTION  
A801 TYPICAL BUILDING DETAILS  
A802 TYPICAL BUILDING DETAILS  
A803 TYPICAL BUILDING DETAILS  
A805 FLAT ROOF DETAILS  
A810 STUCCO / EIFS DETAILS  
A820 CULTURED STONE DETAILS  
A821 CULTURED STONE DETAILS  
A822 CULTURED STONE DETAILS  
A901 UL ASSEMBLIES - WALLS / COLUMNS / BEAMS  
A902 UL ASSEMBLIES - FLOORS / CEILINGS / ROOFS  
A903 UL ASSEMBLIES - MISC.

#### STRUCTURAL:

S001 STRUCTURAL NOTES  
S002 STRUCTURAL NOTES  
S003 SPECIAL INSPECTIONS  
S101 FOUNDATION PLAN  
S201 SECOND FLOOR FRAMING PLAN  
S202 THIRD FLOOR PLAN FRAMING PLAN  
S203 FOURTH FLOOR PLAN FRAMING PLAN  
S204 ROOF FRAMING PLAN  
S205 SHEARWALL PLAN  
S206 SHEARWALL PLAN  
S301 FOUNDATION DETAILS  
S302 FOUNDATION DETAILS  
S401 FRAMING DETAILS  
S402 FRAMING DETAILS  
S403 FRAMING DETAILS  
S404 FRAMING DETAILS

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DAVID MAJCHRZAK  
18878-5  
ST. CLOUD  
MN  
ARCHITECT

These documents are not valid for building permit unless signed in ink or by digital signature. Copies are not valid.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of WISCONSIN.

Name: DAVID MAJCHRZAK

GENERAL CONTRACTOR:  
DCD CONSTRUCTION

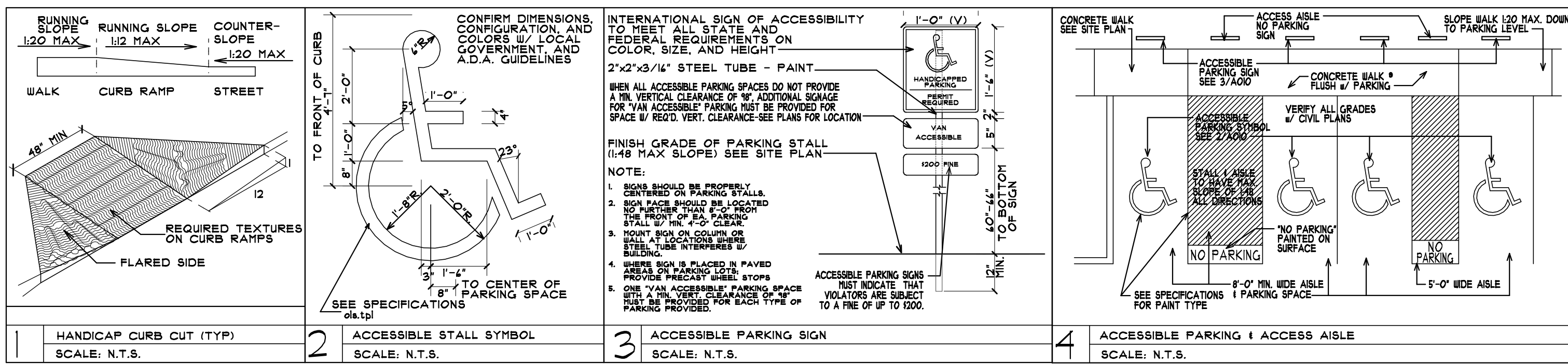
PROPOSED:  
GRANDSTAY HOTEL & SUITES  
KAUKAUNA, WI

REVISIONS COMMENTS

Project No. 23050  
Issue Date: October 6th, 2023  
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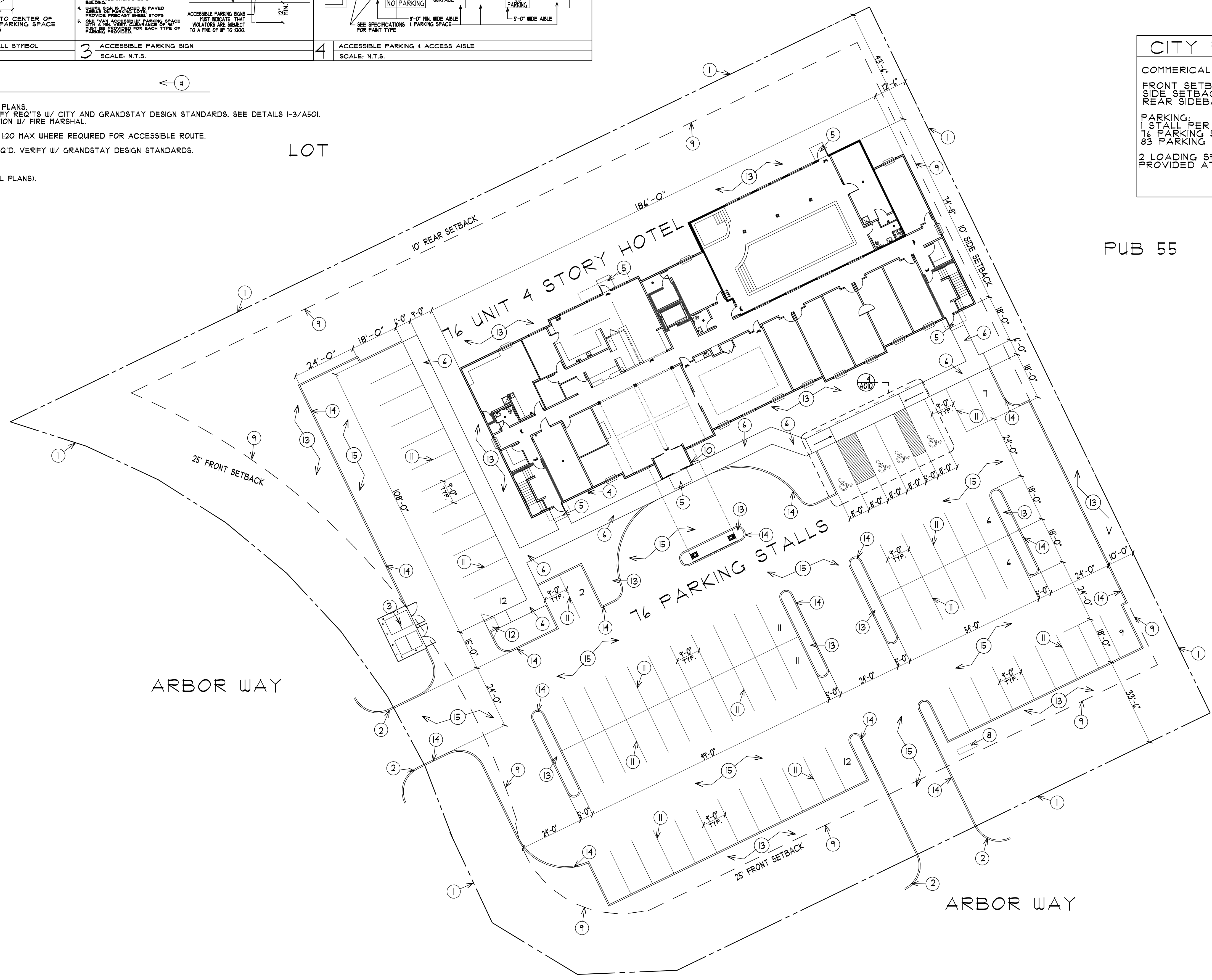
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A001



**SITE PLAN NUMBER NOTES:**

- PROPERTY LINE, VERIFY W/ SURVEY.
- NEW CURB CUT AS REQUIRED PER CITY SPECS. SEE CIVIL PLANS.
- 18'-0" X 12'-0" REFUSE ENCLOSURE W/ 4' HIGH WALLS. VERIFY REQ'TS W/ CITY AND GRANDSTAY DESIGN STANDARDS. SEE DETAILS I-3/A501.
- FIRE DEPARTMENT BUILDING CONNECTION - VERIFY LOCATION W/ FIRE MARSHAL.
- 5'-0" X 5'-0" MIN. FROST STOOP. SEE STRUCTURAL PLANS.
- NEW CONCRETE SIDEWALK. VERIFY W/ CIVIL PLANS. SLOPE 1:20 MAX WHERE REQUIRED FOR ACCESSIBLE ROUTE.
- NOT USED.
- MONUMENT SIGN WITH UP LIGHTING. PROVIDE ELECT. AS REQ'D. VERIFY W/ GRANDSTAY DESIGN STANDARDS.
- BUILDING SETBACK SHOWN DASHED, VERIFY W/ SURVEY.
- DAMA BOX, VERIFY LOCATION W/ FIRE MARSHAL.
- PAINTED PARKING STRIPES
- ACCESSIBLE CURB CUT PER DETAIL I/A010 (U.N.O. BY CIVIL PLANS).
- GREEN SPACE THIS AREA. SEE LANDSCAPE PLAN.
- NEW POURED CONCRETE CURB. SEE CIVIL PLANS.
- NEW BITUMINOUS PARKING AND DRIVE. SEE CIVIL PLANS.
- 
- 
- 



**CITY REQUIREMENTS**

COMMERCIAL HIGHWAY DISTRICT:

FRONT SETBACK = 25'-0"

SIDE SETBACK = 10'-0"

REAR SETBACK = 10'-0"

**PARKING:**

1 STALL PER SLEEPING UNITS

76 PARKING STALLS REQUIRED

83 PARKING STALLS PROVIDED

2 LOADING SPACES REQUIRED

PROVIDED AT DRIVE UNDER CANOPY

**SITE PLAN**

SCALE: 1:20

COLE GROUP ARCHITECTS LLC

1878-5 ST. CLOUD MN

241 Park Avenue South  
Saint Cloud, MN 56301  
(320) 454-4570  
www.colegrouparchitects.com

PROPOSED:

**GRANDSTAY HOTEL & SUITES**

KAUKAUNA, WI

GENERAL CONTRACTOR:

**DCD**

DCD CONTRACTING

REVISIONS COMMENTS

REVISIONS COMMENTS

Project No. 23050

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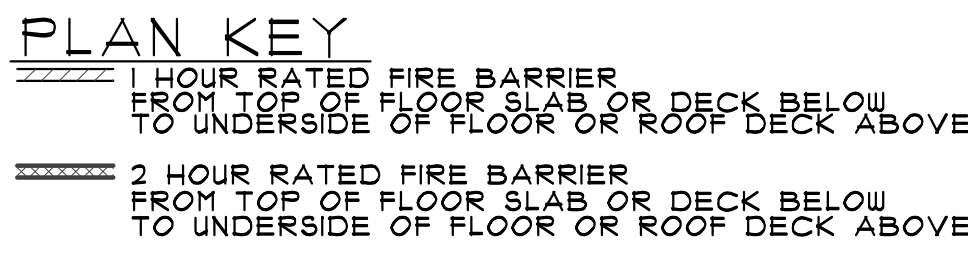
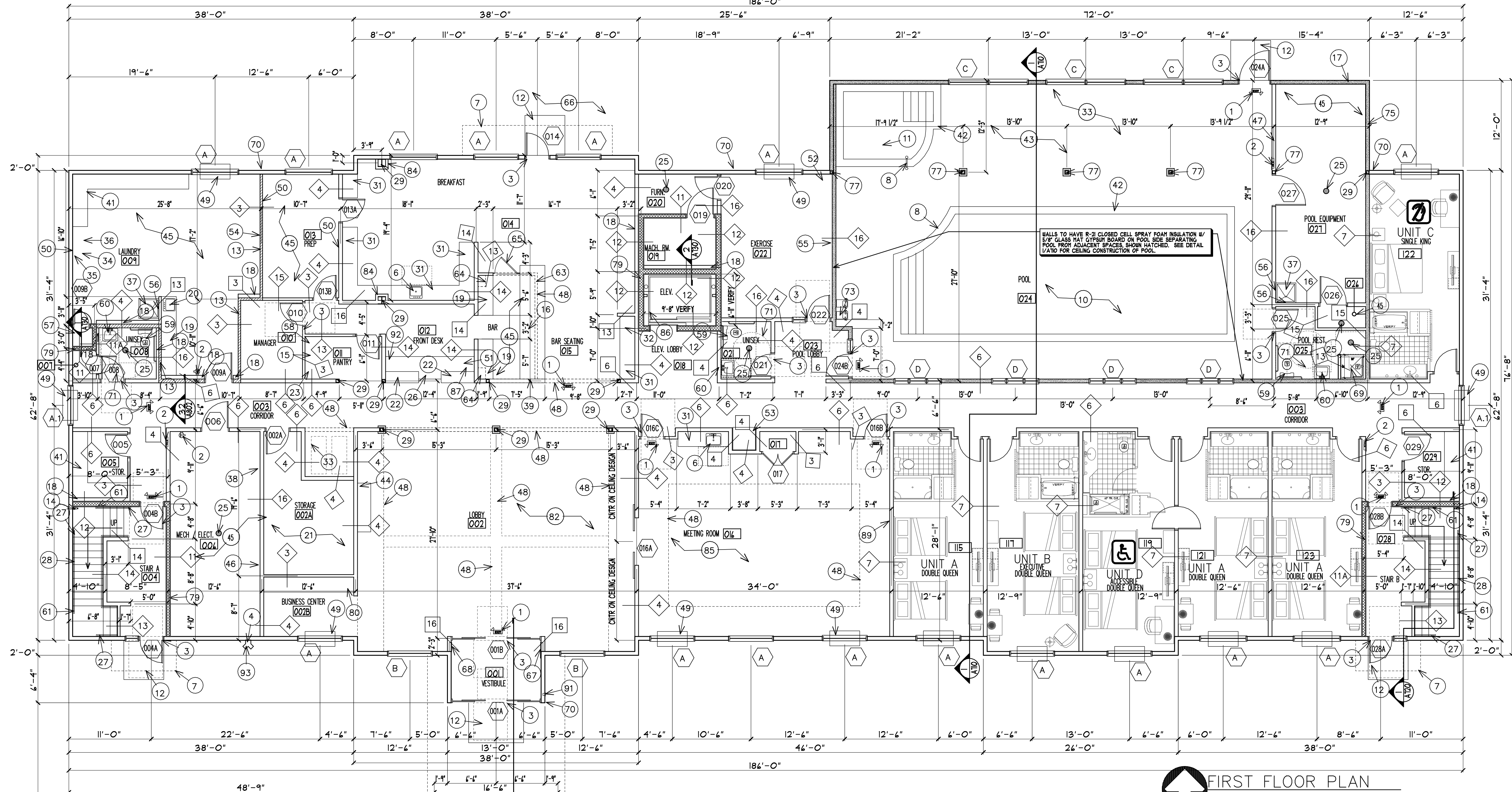
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of WISCONSIN.

Name: DAVID MAJCHRZAK

	<b>3 WALL TYPE</b> S.T.C. 40 SCALE: 1/2"=1'-0" SEE DETAILS 21/A/901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3444
	<b>4 WALL TYPE</b> S.T.C. - 40 SCALE: 1/2"=1'-0" SEE DETAIL 21/A/901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3444
	<b>5 WALL TYPE</b> S.T.C. 50 SCALE: 1/2"=1'-0" SEE DETAILS 21/A/901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3243
	<b>6 WALL TYPE</b> S.T.C. - 50 SCALE: 1/2"=1'-0" SEE DETAIL 21/A/901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3243
	<b>7 WALL TYPE</b> S.T.C. 40-44 + 5 + 5 = 54 MAX SCALE: 1/2"=1'-0" SEE DETAIL 31/A/901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3280
	<b>13 WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" SEE DETAIL 23, 24 13/A/901	RATING - NONE (LOAD BEARING) U.L. DESIGN NO.
	<b>14 WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" SEE DETAIL 23, 24 13/A/901	RATING - NONE (LOAD BEARING) U.L. DESIGN NO.
	<b>15 WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" SEE DETAIL 23, 24 13/A/901	RATING - NONE (LOAD BEARING) U.L. DESIGN NO.
	<b>16 WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" SEE DETAIL 23, 24 13/A/901	RATING - NONE (LOAD BEARING) U.L. DESIGN NO.

SEE PLANS FOR ALTERNATE MATERIALS ADDED TO THE WALL TYPE.

REVIEW STRUCTURAL PLANS FOR SHEAR MOMENTS WHICH MAY HAVE ADDITIONAL REQUIREMENTS FOR PARTY WALLS AND CORNERS. VERIFY ALL DIMENSIONS TO CENTER LINE OF WALL UNLESS NOTED OTHERWISE.



	<b>II WALL TYPE</b> S.T.C. 40-44 + 5 = 49 MAX SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 13/A/901	RATING - 2 HOUR (LOAD BEARING) U.L. DESIGN NO. U301 GA FILE NO. WP 4193 (NAIL) WP 4194 (SCREWS)
	<b>IIIA WALL TYPE</b> S.T.C. 54-58 SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 13/A/901	RATING - 2 HOUR (LOAD BEARING) U.L. DESIGN NO. U301 GA FILE NO. WP 4193 (NAIL) WP 4194 (SCREWS)
	<b>12 WALL TYPE</b> S.T.C. 40-44 + 1 = 51 MAX SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 13/A/901	RATING - 2 HOUR (LOAD BEARING) U.L. DESIGN NO. U301 GA FILE NO. WP 4193 (NAIL) WP 4194 (SCREWS)

- NUMBER NOTES**
- EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATION.
  - FIRE EXTINGUISHER SURFACE MOUNTED / IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
  - VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
  - MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 IC/A301.
  - SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS FOR LOCATION.
  - PRE-FABRICATED SHIRTS LADDER W/ PREFABRICATED ROOF HATCH. SEE DET. 12/A301.
  - ACCESSIBLE STAINLESS STEEL SINGLE BOWL SINK. SEE DETAILS 9 1 IC/A301.
  - LINE OF ROOF ABOVE.
  - ACCESSIBLE GRAB BAR. VERIFY LOCATION W/ OWNER / MANAGER / POOL CONSULTANT.
  - LINE OF ROOF BELOW.
  - POOL DESIGN BY OTHERS. VERIFY SIZE AND STYLE W/ OWNER.
  - POOL SHALL BE HDPC ACCESSIBLE W/ GUNITE APRON.
  - 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
  - RAISED WHIRLPOOL DESIGNED BY OTHERS VERIFY SIZE AND STYLE W/ OWNER.
  - FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
  - 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
  - STAND PIPE VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
  - VERIFY LOCATION FOR NSF REFRIGERATOR / FREEZER. VERIFY SIZE AND STYLE W/ G.C.
  - VERIFY LOCATION FOR FREE STANDING 2 COMPARTMENT STAINLESS STEEL SINK W/ DRAIN BOARDS.
  - VERIFY LOCATION FOR MECHANICAL EXHAUST. SEE MECH PLANS.
  - 2x4 WOOD STUD @ 16" O.C. W/ (1) LAYER OF 5/8" GYPSUM BOARD. ADD RC-CHANNEL AS REQ'D.
  - PROVIDE SOUND INSUL. TO GUEST SUITE.
  - PLASTIC LAMINATE COUNTERTOP. VERIFY BASE CABINET REQUIREMENTS W/ OWNER.
  - SINGLE BOWL SINK. VERIFY W/ OWNER.
  - PREFAB SHIRTS UNIT. VERIFY SIZE AND STYLE W/ OWNER.
  - RAISED RECEPTION COUNTER. VERIFY HT. AND MATERIAL W/ OWNER.
  - VENDING MACHINES. VERIFY LOCATION W/ OWNER.
  - WATERPROOF EXTERIOR OUTLET. VERIFY LOCATION W/ ELECTRICAL PLANS.
  - 5 GROUND DRAIN VERIFY LOCATION W/ G.C.
  - RECEPTION COUNTER 36" MAX. A.F.F. AND 36" MIN. WIDE. VERIFY MATERIAL W/ OWNER.
  - EXTEND HANDRAIL 1" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER.
  - HANDRAIL MOUNTED 34" A.F.F. ON BOTH SIDES OF STAIRWAY. VERIFY STYLE AND FINISH WITH G.C.
  - STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A901 IF POST LESS THAN 8'x8'.
  - PROVIDE FURRING WALL FOR TOILET AS REQ'D. MEET ALL CLEARANCE REQ'TS PER SHEET A/301.
  - COUNTER TOP WITH BASE CABINETS BELOW 3/4" A.F.F. VERIFY BACK SPLASH WITH G.C.
  - TRASH BELOW COUNTERTOP. VERIFY REQ'TS. W/ OWNER.
  - LUGGAGE CART. SHOWN FOR SPACING ONLY.
  - VERIFY LOCATION FOR INDUSTRIAL WASHER. VERIFY CONCRETE PAD & ANCHORS W/ MANUFACTURER.
  - VERIFY LOCATION FOR DRAIN TROUGH W/ METAL GRATE. SEE PLUMBING PLANS & DET 8/A301.
  - VERIFY LOCATION FOR INDUSTRIAL DRYER W/ VENT IN SOFFIT ABOVE. SEE MECHANICAL PLANS.
  - HOP / SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
  - VERIFY LOCATION FOR ELECTRICAL PANELS. VERIFY W/ ELECTRICAL DRAWINGS.
  - 48" HIGH HALF WALL W/ DECORATIVE SCREEN. VERIFY W/ OWNER.
  - GUEST WASHERS & DRYERS W/ HDPC ACCESSIBLE CONTROLS. SEE DET. 13C/A301.
  - PRE-FINISHED SHELVES. VERIFY HEIGHT & FINISH WITH G.C.
  - PREFINISH POOL TRENCH DRAIN. SEE PLUMBING DRAWINGS & POOL DRAWINGS BY OTHERS.
  - SLOPE POOL DECK 1/8" PER FOOT TO TRENCH DRAIN.
  - VERIFY LOCATION FOR GAS FIREPLACE W/ TILE SURROUND AND WOOD MANTLE. VERIFY W/ OWNER & FFIE.
  - VERIFY EQUIPMENT / FIXTURES THIS AREA W/ OWNER / MECHANICAL DRAWINGS.
  - VERIFY LOCATION FOR WATER SOFTENERS BY OWNER. CONNECTION BY PLUMBING CONTRACTOR.
  - VERIFY LOCATION FOR FIRE DAMPERS. VERIFY FIRE DAMPERS AS REQ'D. VERIFY LOCATION W/ MECH.
  - LINE OF SOFFIT OR CEILING ABOVE.
  - THRU WALL PTAC UNIT UNDER WINDOW. VERIFY R.C. W/ G.C.
  - FIBERGLASS REINFORCED PANEL THIS AREA. VERIFY EXTENTS W/ OWNER.
  - VERIFY LOCATION FOR SECURITY MONITOR. VERIFY MOUNTING LOCATIONS W/ OWNER.
  - VERIFY LOCATION FOR WALL MOUNTED TV. PROVIDE BLOCKING AS REQ'D.
  - ICE MACHINE. VERIFY LOCATION. VERIFY MOUNTING LOCATIONS W/ OWNER.
  - VERIFY LOCATION FOR BULLETIN BOARD W/ TIME CLOCK THIS AREA. VERIFY W/ OWNER.
  - VERIFY LOCATION FOR FULL MIRROR. VERIFY EXTENTS W/ OWNER.
  - PROVIDE F.R.P. AROUND HOP SINK AS REQ'D. VERIFY W/ OWNER.
  - 2 HR. RATED SHIRT CHUTE SHOWN HATCHED. VERIFY SPRINKLER HEADS AS REQ'D.
  - PREFINISHED OPEN STORAGE SHELVES. W/ UNDER COUNTER CABINETS.
  - ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 123 1C/A301.
  - EXTEND HANDRAIL 12" HORIZONTALLY PAST TOP RISER.
  - NOT USED.
  - BAR COUNTER W/ SEATING. VERIFY W/ OWNER.
  - LINE OF UNDER CABINETS DASHED.
  - GATE FOR BAR. VERIFY W/ OWNER.
  - CONCRETE PATIO. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BLDG. AS REQ'D.
  - FIRE DEPARTMENT ENUNCIATOR PANEL. VERIFY LOCATION W/ FIRE MARSHAL.
  - INTERCOM TELEPHONE.
  - ACCESSIBLE TRANSFER SHOWER WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 11 3C/A301. VERIFY ROUGH OPENING SIZES WITH G.C.
  - ROOF DRAIN PENETRATES 1 HR. ROOF / CEILING ASSEMBLY. VERIFY W/ CIVIL DRAWINGS.
  - ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
  - PROVIDE 2-WAY COMMUNICATION DEVICE TO FRONT DESK OR OUTSIDE LINE PER CODE.
  - HI / LOW RATED SHIRT CHUTE SHOWN HATCHED. VERIFY SPRINKLER HEADS AS REQ'D.
  - ONE HOUR RATED CEILING ABOVE. BUILT BELOW TYPICAL BUILDING RATED CEILING. SEE DET. 8/A210.
  - VERIFY LOCATION FOR FRESH AIR INTAKE DUCT.
  - 42" HIGH WALL ABOVE.
  - STRUCTURAL STEEL COLUMN. SEE DETAIL 4/A901 FOR 1 HOUR FIRE PROTECTION. PROVIDE ANTI-CORROSION COATING FOR ALL COLUMNS IN POOL AREAS.
  - SHIRTS LADDER PENETRATES 1 HR. ROOF / CEILING ASSEMBLY. PROVIDE 1 HR. RATED PROTECTION TO ROOF SHTG. PROVIDE R-2 INSUL. AND VAPOR BARRIER AS REQ'D. SHOWN DASHED. GRIDER TRUSS ABOVE LADDER AS REQ'D BY TRUSS SUPPLIER.
  - 2 HOUR RATED SHIRT CHUTE SHOWN HATCHED. VERIFY SPRINKLER HEADS AS REQ'D.
  - 34" COUNTERTOP. VERIFY FINISH W/ OWNER.
  - NOT USED.
  - FURNITURE TO BE PROVIDED BY OWNER.
  - NOT USED.
  - 2X FURRED WALL W/ (1) LAYER 5/8" GYP. BD.
  - VERIFY LOCATION FOR FLUSH FLOOR JUNCTION BOX W/ ELECT. AND PHONE.
  - 3600" 2 HOUR RATED GURNEY SIZED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
  - MUSIC STORAGE. VERIFY LOCATION W/ OWNER.
  - NOT USED.
  - VERIFY LOCATION FOR WALL MOUNTED DRY ERASE BOARD.
  - NOT USED.
  - FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
  - PROVIDE ELECTRONIC RELEASE BUTTON FOR FRONT ENTRY DOOR. VERIFY LOCATION.
  - FIRE DEPT. SIAMESE CONNECTION. VERIFY LOCATION W/ FIRE MARSHAL.

**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 12,812 SF. - (6) UNITS

**PROPOSED:**  
**GRANDSTAY HOTEL & SUITES**  
KAUKAUNA, WI

**GENERAL CONTRACTOR:**  
**COLE GROUP ARCHITECTS, INC.**

**REVISIONS COMMENTS:**

Project No. 23050  
Issue Date: October 4th, 2023  
Document Set: 90% BID SET

**A101**

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1. I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of WISCONSIN. Name: DAVID MAJCHRZAK

2. These documents are not valid for building permit unless signed in ink or by digital signature. Copies are not valid.

3. I am a duly licensed Architect under the laws of the state of WISCONSIN. Name: DAVID MAJCHRZAK

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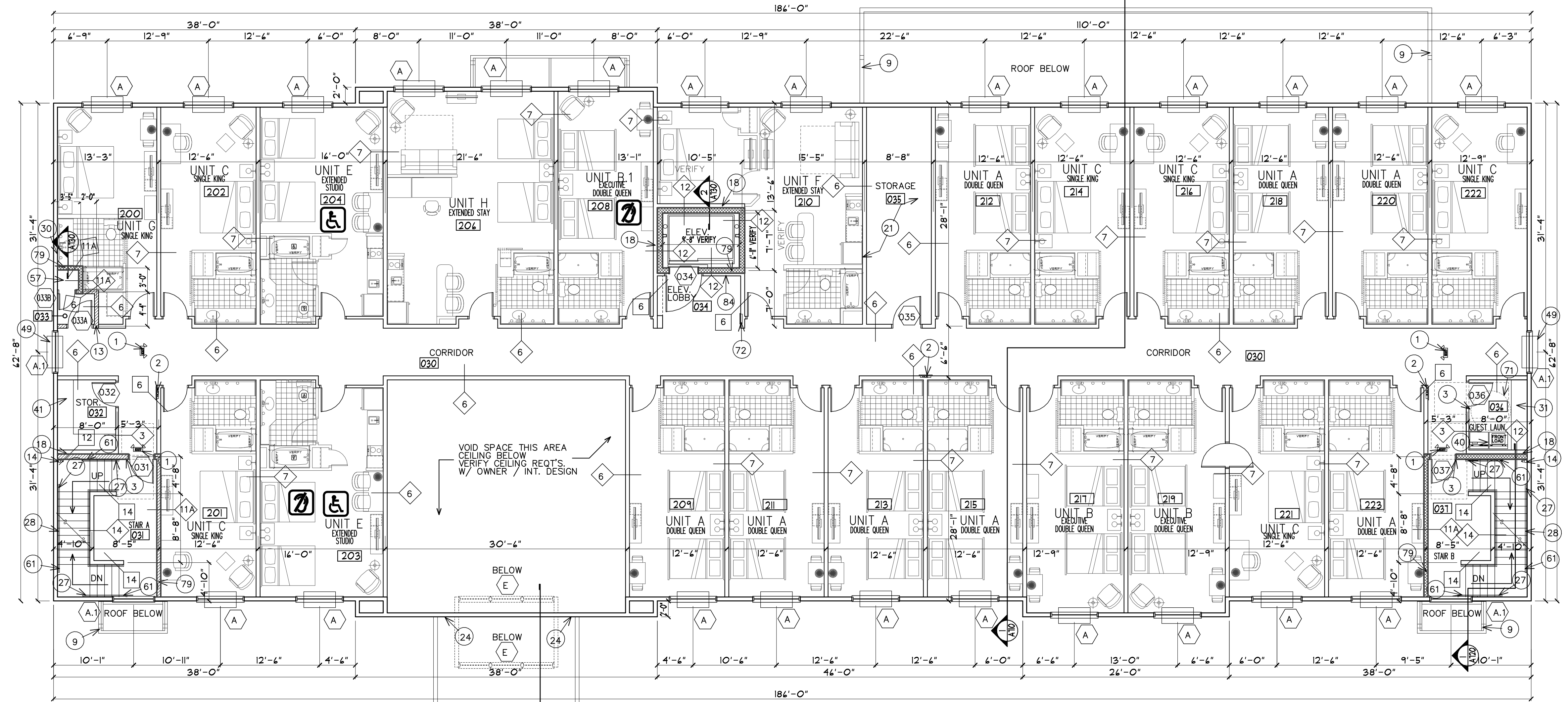
99. Name: DAVID MAJCHRZAK

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	<b>WALL TYPE</b> S.T.C. 40 SCALE: 1/2"=1'-0" SEE DETAILS 21 / A901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3242
	<b>WALL TYPE</b> S.T.C. - 40 SCALE: 1/2"=1'-0" SEE DETAIL 21/A901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305
	<b>WALL TYPE</b> S.T.C. 50 SCALE: 1/2"=1'-0" SEE DETAILS 21 / A901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305 GA FILE NO. WP 3243
	<b>WALL TYPE</b> S.T.C. - 50 SCALE: 1/2"=1'-0" SEE DETAIL 21/A901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U305
	<b>WALL TYPE</b> S.T.C. 40-44 + 5 = 54 MAX SCALE: 1/2"=1'-0" SEE DETAIL 31/A901	RATING - 1 HOUR (LOAD BEARING) U.L. DESIGN NO. U340 GA FILE NO. WP 3380
	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" U.L. DESIGN NO.	RATING - NONE (LOAD BEARING)
	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" U.L. DESIGN NO.	RATING - NONE (LOAD BEARING)
	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)	
	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)	

NOTE: REVIEW STRUCTURAL PLANS FOR SHEAR REINFORCEMENT FOR PARTIAL WALLS AND CORRIDORS WALLS (ALL WALLS FOR REQUIRED HEIGHTS WHEN FRAMING AND INSTALLING ALL WALLS). VERIFY RESPONSIBILITY TO CENTER OF THE STUD (RC CHANNELS WILL BE ON THE CORRIDOR SIDE UNLESS NOTED OTHERWISE)

SEE PLANS FOR ALTERNATE MATERIALS ADDED TO THE WALL TYPE.



ACCESSIBILITY	UNIT MIX	1ST FLR.	2ND FLR.	3RD FLR.	4TH FLR.	TOTAL
UNIT "A" DOUBLE QUEEN TRANSIENT	3	8	9	9	29	
UNIT "B" EXEC. DBL. QUEEN TRANSIENT	1	2	2	2	7	
UNIT "B1" EXEC. DBL. QUEEN TRANSIENT	-	1	2	2	5	
UNIT "C" SINGLE KING TRANSIENT	1	4	4	4	19	
UNIT "D" DOUBLE QUEEN TRANSIENT	-	-	-	-	1	
UNIT "E" DOUBLE QUEEN EXT. STAY STUDIO SH	-	2	1	1	4	
UNIT "F" SINGLE KING EXT. STAY ONE BED	-	1	1	1	3	
UNIT "G" SINGLE KING TRANSIENT	-	1	1	1	3	
UNIT "H" DOUBLE QUEEN EXT. STAY STUDIO LG	-	1	2	2	5	
<b>TOTAL</b>	<b>4</b>	<b>22</b>	<b>24</b>	<b>24</b>	<b>74</b>	

(5) ACCESSIBLE UNITS REQUIRED (1) PROVIDED (IBC TABLE 107.4.1)  
 - (1) ACCESSIBLE UNIT PROVIDED W/ A ROLL-IN SHOWER  
 9 HEARING / VISUAL IMPAIRED UNITS REQUIRED (1) PROVIDED (IBC 901.5.2.3.2)

- GENERAL NOTES:**
- VERIFY ROOF FINISHES AND COLOR SELECTIONS W/ G.C./OWNER.
  - HYAC CONTRACTOR TO PROVIDE ACCESSIBLE HEIGHT MOUNTED THERMOSTAT AT ALL PUBLIC AREAS.
  - VERIFY LOCATIONS OF ALL SURFACE MOUNTED SECURITY CAMERAS WITH OWNER. (USE PHONE WIRE)
  - VERIFY ALL WALL MOUNTED T.V. LOCATIONS W/ OWNER / G.C.
  - VERIFY ALL ROUGH OPENINGS DIMENSIONS W/ SHOP DRAWINGS.
  - VERIFY ALL FIXTURE & APPLIANCE REQUIREMENTS W/ OWNER.
  - VERIFY LOCATION OF ALL FIXTURES / EQUIPMENT W/ OWNER.
  - VERIFY OUTLET LOCATIONS W/ FURNITURE LOCATIONS W/ OWNER.
  - IF OPERABLE WINDOW PROVIDE WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090 OR SASH LIMITERS THAT PROVIDE AN OPENING NOT MORE THAN 4" FOR OPERABLE WINDOWS OVER 4'-0" ABOVE GRADE THAT ARE LESS THAN 34" A.F.F.
  - PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHALL.
  - ALL DOOR HARDWARE TO BE LEVER TYPE.
  - VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
  - ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF THE CLOTHES DRYER.
  - VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS W/ OWNER.
  - VERIFY LOCATIONS OF ALL WALL MOUNTED LIGHT SCONCES W/ OWNER.
  - VERIFY ALL HOSE BIB LOCATIONS W/ OWNER / G.C.

**PLAN KEY**

1 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 11,880 SF. - (22 UNITS)

	<b>WALL TYPE</b> S.T.C. 40-44 + 5 = 49 MAX SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 / A901	RATING - 2 HOUR (LOAD BEARING) U.L. DESIGN NO. U301 GA FILE NO. WP 435 (NAIL/S), WP 434 (SCREWS)
	<b>WALL TYPE</b> S.T.C. 54-58 SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 / A901	RATING - 2 HOUR (LOAD BEARING) U.L. DESIGN NO. U301 GA FILE NO. WP 435 (NAIL/S), WP 434 (SCREWS)
	<b>WALL TYPE</b> S.T.C. 40-44 + 1 = 51 MAX SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 / A901	RATING - 2 HOUR (LOAD BEARING) U.L. DESIGN NO. U301 GA FILE NO. WP 435 (NAIL/S), WP 434 (SCREWS)

- NUMBER NOTES**
- EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
  - FIRE EXTINGUISHER SURFACE ROUTED / IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
  - VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHALL.
  - MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11/IC/A301.
  - SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS FOR LOCATION.
  - PRE-FABRICATED SHIP LADDER W/ PREFABRICATED ROOF HATCH. SEE DET. 12/A130.
  - ACCESSIBLE STAINLESS STEEL SINGLE BOUL SINK. SEE DETAILS 9 / IC/A301.
  - LINE OF ROOF ABOVE.
  - ACCESSIBLE GRAB BAR. VERIFY LOCATION W/ OWNER / MANAGER / POOL CONSULTANT.
  - LINE OF ROOF BELOW.
  - POOL DESIGN BY OTHERS. VERIFY SIZE AND STYLE W/ OWNER.
  - POOL SHALL BE HDPC ACCESSIBLE W/ GUNITE APRON.
  - DEPTH TO RANGE FROM 3'-0" TO 5'-0".
  - RAISED WHIRLPOOL. DESIGNED BY OTHERS. VERIFY SIZE AND STYLE W/ OWNER.
  - FROST STAIR SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
  - 1 HR. FIRE BARRIER WALL SHOWN HATCHED. WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
  - STAND PIPE VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
  - VERIFY LOCATION FOR NSF REFRIGERATOR (FREEZER. VERIFY SIZE AND STYLE W/ G.C.
  - VERIFY LOCATION FOR FREE STANDING 3 COMPARTMENT STAINLESS STEEL SINK W/ DRAIN BOWDS.
  - VERIFY LOCATION FOR MECHANICAL EXHAUSTS. SEE MECH PLANS.
  - 2x4 WOOD STUD @ 16" O.C. (1) LAYER OF 1/2" GYP BOARD. ADD RC-CHANNEL AS REQ'D I PROVIDE SOUND INSUL. WHEN ADJACENT TO GUEST SUITE.
  - PLASTIC LAMINATE COUNTERTOP. VERIFY BASE CABINET REQUIREMENTS W/ OWNER.
  - SINGLE BOUL SINK. VERIFY W/ OWNER.
  - PREFAB SHELVING UNITS. VERIFY SIZE AND STYLE W/ OWNER.
  - RAISED RECEPTION COUNTER. VERIFY HT. AND MATERIAL W/ OWNER.
  - VENDING MACHINES. VERIFY LOCATION W/ OWNER.
  - WATERPROOF EXTERIOR OUTLET. VERIFY LOCATION W/ ELECTRICAL PLANS.
  - FLOOR DRAIN. VERIFY LOCATION W/ G.C.
  - RECEPTION COUNTER 34" MAX AFF AND 34" MIN. WIDE. VERIFY MATERIAL W/ OWNER.
  - EXTENDING HANDRAIL OR WIDTH OF TREAD MIN. FAST BOTTOM RISER.
  - HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY. VERIFY STYLE AND FINISH WITH G.C.
  - STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A901 IF POST LESS THAN 8'X8'.
  - PROVIDE FURRING WALL FOR TOILET AS REQ'D. MEET ALL CLEARANCE REQ'TS PER SHEET A/301.
  - COUNTER TOP WITH BASE CABINETS BELOW 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
  - TRASH BELOW COUNTERTOP. VERIFY REQ'TS W/ OWNER.
  - LUGGAGE CAB. SHOWN FOR SPACING ONLY.
  - VERIFY LOCATION FOR INDUSTRIAL WASHER. VERIFY CONCRETE PAD & ANCHORS W/ MANUFACTURER.
  - VERIFY LOCATION FOR DRAIN TROUGH W/ METAL GRATE. SEE PLUMBING PLANS I DET 8/A130.
  - VERIFY LOCATION FOR INDUSTRIAL DRYER W/ VENT IN SOFFIT ABOVE. SEE MECHANICAL PLANS.
  - MOP / SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
  - VERIFY LOCATION FOR ELECTRICAL PANELS. VERIFY W/ ELECTRICAL DRAWINGS.
  - 48" HIGH HALF WALL W/ DECORATIVE SCREEN. VERIFY W/ OWNER.
  - GUEST WASHERS / DRYERS W/ HDPC ACCESSIBLE CONTROLS. SEE DET. 13C/A301.
  - 5 PREFINISHED SHELVES. VERIFY EXTENTS W/ OWNER.
  - PERMETER POOL DRAIN. SEE PLUMBING DRAWINGS I POOL DRAWINGS BY OTHERS.
  - SLOPE POOL DECK 1/8" PER FOOT TO TRASH DRAIN.
  - VERIFY LOCATION FOR GAS FIREPLACE W/ TILE SURROUND AND WOOD MANTLE. VERIFY W/ OWNER I PFIE.
  - VERIFY EQUIPMENT / FIXTURES THIS AREA W/ OWNER / MECHANICAL DRAWINGS.
  - VERIFY LOCATION FOR WATER SOFTENERS W/ OWNER. CONNECTION BY PLUMBING CONTRACTOR.
  - VERIFY LOCATION FOR 48"X48" MECH. LOUVER W/ FIRE DAMPERS AS REQ'D. VERIFY LOCATION W/ MECH.
  - LINE OF SOFFIT OR CEILING ABOVE.
  - VERIFY W/ F.P.A.C. UNDER WINDOW. VERIFY R.O. W/ G.C.
  - FIBERGLASS REINFORCED PANEL THIS AREA. VERIFY EXTENTS W/ OWNER.
  - VERIFY LOCATION FOR SECURITY MONITOR. VERIFY MOUNTING LOCATIONS W/ OWNER.
  - VERIFY LOCATION FOR MOUNTED TV. PROVIDE BLOCKING AS REQ'D.
  - ICE MACHINE. VERIFY STYLE W/ OWNER.
  - VERIFY LOCATION FOR BULLETPROOF BOARD W/ TIME CLOCK. THIS AREA. VERIFY W/ OWNER.
  - VERIFY LOCATION FOR FULL WALL MIRROR. VERIFY EXTENTS W/ OWNER.
  - PROVIDE F.R.P. AROUND MOP SINK AS REQ'D. VERIFY W/ OWNER.
  - 2 HR. RATED LAUNDRY CHUTE SHAFT. PROVIDE SPRINKLER HEADS AS REQ'D.
  - PREFINISHED OPEN STORAGE SHELVES. W/ UNDER COUNTER CABINETS.
  - CONCRETE PATIO. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BLDG. AS REQ'D.
  - ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 / IC/A301.
  - EXTEND HANDRAIL 12" HORIZONTALLY FAST TOP RISER.
  - NOT USED.
  - BAR COUNTER W/ SEATING. VERIFY W/ OWNER.
  - LINE OF UPPER CABINETS. SHOWN DASHED.
  - GATE FOR BAR. VERIFY W/ OWNER.
  - CONCRETE PATIO. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BLDG. AS REQ'D.
  - FIRE DEPARTMENT ENUNCIATOR PANEL. VERIFY LOCATION W/ FIRE MARSHALL.
  - INTERCOM TELEPHONE.
  - ACCESSIBLE TRANSFER SHOWER WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR GRAB BARS. SEE DET 15 / IC/A301. VERIFY ROUGH OPENING SIZES WITH G.C.
  - ROOF DRAIN DOWNSPOUT LOCATION. TIE TO STORM SEWER. VERIFY W/ CIVIL DRAWINGS.
  - ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14C/A301.
  - CONCRETE PATIO. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BLDG. AS REQ'D.
  - H / 100 ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS I DETAIL 4/A301.
  - ONE HOUR RATED CEILING ABOVE. BUILT ABOVE TYPICAL BUILDING RATED CEILING. SEE DET. 8/A120.
  - VERIFY LOCATION FOR FRESH AIR INTAKE DUCT.
  - 42" HIGH WALL W/ OAK CAP.
  - STRUCTURAL STEEL COLUMN. SEE DETAIL 4/A901 FOR 1 HOUR FIRE PROTECTION.
  - VERIFY LOCATION FOR ALL COLLUMS IN POOL AREAS.
  - AS SHIPS LADDER PENETRATES 1 HR. ROOF / CEILING ASSEMBLY PROVIDE FIRE RATED PROTECTION TO ROOF SHTG. PROVIDE R-2 INSUL. AND VAPOR BARRIER AS REQ'D.
  - SHOWN DASHED. ORDER TRUSS AROUND LADDER REQ'D BY TRUSS SUPPLIER.
  - 2 HOUR RATED SHAFT FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE SHOWN HATCHED.
  - 34" COUNTER TOP. VERIFY FINISH W/ OWNER.
  - NOT USED.
  - FURNITURE TO BE PROVIDED BY OWNER.
  - NOT USED.
  - 2X FURRED WALL W/ (1) LAYER 5/8" GYP. BD.
  - VERIFY LOCATION FOR FLUSH FLOOR JUNCTION BOX. W/ ELECT. AND PHONE.
  - 3500# - 2 HOUR RATED GUNNEY SIZED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFRGR.
  - MUSIC STORAGE. VERIFY LOCATION W/ OWNER.
  - NOT USED.
  - VERIFY LOCATION FOR WALL MOUNTED DRY ERASE BOARD.
  - NOT USED.
  - FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHALL.
  - BUILDING ELECTRICAL PANEL. VERIFY LOCATION WITH FIRE MARSHALL.
  - FIRE DEPT. SIAMSESE CONNECTION. VERIFY LOCATION W/ FIRE MARSHALL.

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**GENERAL CONTRACTOR:** **DCP CONTRACTING**

**PROPOSED: GRANDSTAY HOTEL & SUITES KAUKAUNA, WI**

Project No. 23050  
Issue Date: October 6th, 2023  
Document Set: 90% BID SET

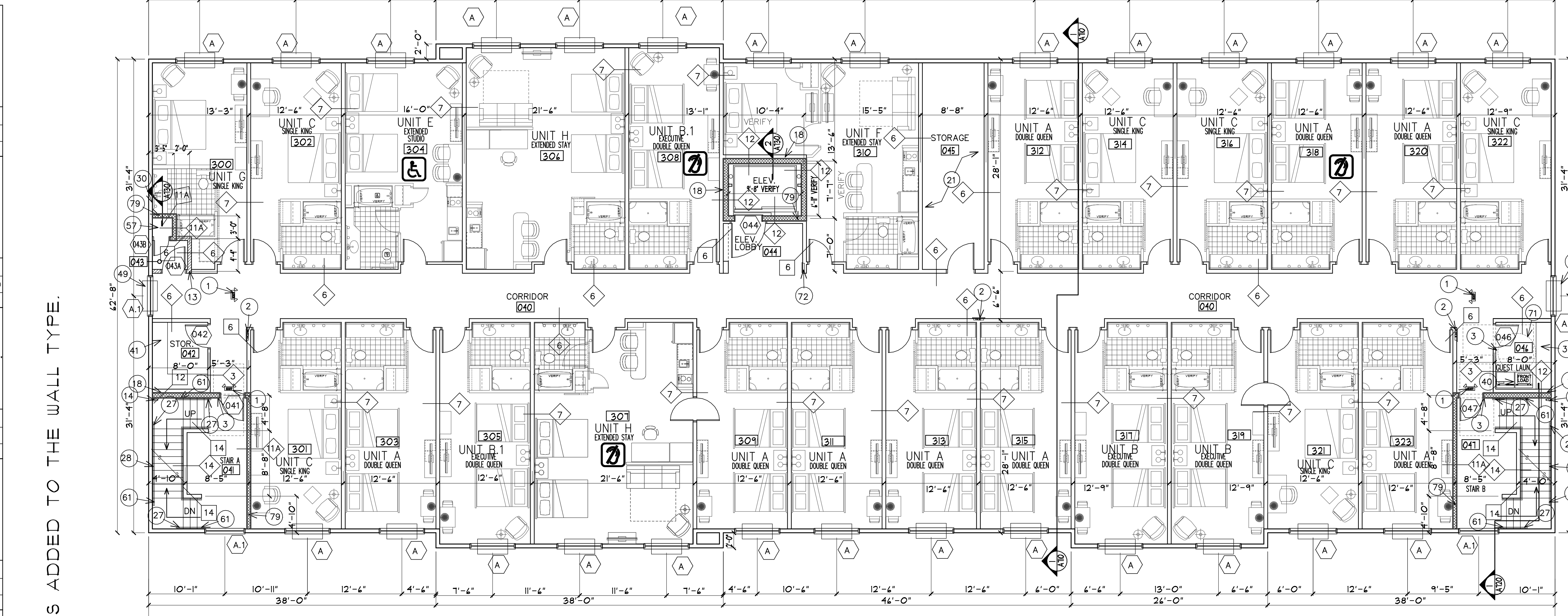
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PLOTTED: 10-6-23 FILE: 23050P COM: 5

SEE PLANS FOR ALTERNATE MATERIALS ADDED TO THE WALL TYPE.

NOTE: REVIEW STRUCTURAL PLANS FOR SHEAR REINFORCEMENT FOR PARTIAL WALLS AND CORRIDORS. WALLS ALLOWED TO BE REMOVED OR REDUCED IN HEIGHT AND THICKNESS WHEN REPAIRING AND INSTALLING ALL OF THE FOLLOWING: (1) DOOR OR WINDOW OPENINGS (2) R.C. CHANNELS (3) STUDS (R.C. CHANNELS WILL BE IDENTIFIED OTHERWISE)

	<b>WALL TYPE</b> S.T.C. 40 SCALE: 1/2"=1'-0" SEE DETAILS 21 / 34/A901
	<b>WALL TYPE</b> S.T.C. - 40 SCALE: 1/2"=1'-0" SEE DETAIL 21/A901
	<b>WALL TYPE</b> S.T.C. 50 SCALE: 1/2"=1'-0" SEE DETAILS 21 / 38/A901
	<b>WALL TYPE</b> S.T.C. - 50 SCALE: 1/2"=1'-0" SEE DETAIL 21/A901
	<b>WALL TYPE</b> S.T.C. 40-44 + 5 = 54 MAX SCALE: 1/2"=1'-0" SEE DETAIL 31/A901
	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" SEE DETAILS 23, 24 / 34/A901
	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" U.L. DESIGN NO.
	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)
	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)



ACCESSIBILITY	UNIT TYPE	1ST FLR.	2ND FLR.	3RD FLR.	4TH FLR.	TOTAL
	UNIT "A" DOUBLE QUEEN TRANSIENT	3	8	9	9	29
	UNIT "B" EXEC. DBL. QUEEN TRANSIENT	1	2	2	2	7
	UNIT "B" EXEC. DBL. QUEEN TRANSIENT	-	1	2	2	5
	UNIT "C" SINGLE KING TRANSIENT	1	6	6	6	19
	UNIT "D" DOUBLE QUEEN TRANSIENT	1	-	-	-	1
	UNIT "E" DOUBLE QUEEN TRANSIENT	-	2	1	1	4
	UNIT "F" SINGLE KING EXT. STAY STUDIO SM	-	-	1	1	3
	UNIT "G" SINGLE KING TRANSIENT	-	1	1	1	3
	UNIT "H" DOUBLE QUEEN EXT. STAY STUDIO LG	-	1	2	2	5
	<b>TOTAL</b>	<b>6</b>	<b>22</b>	<b>24</b>	<b>24</b>	<b>76</b>

(5) ACCESSIBLE UNITS REQUIRED (5) PROVIDED (IBC TABLE 1014.1.1)  
 - (H) ACCESSIBLE UNIT PROVIDED W/ A ROLL-IN SHOWER  
 9 HEARING / VISUAL IMPAIRED UNITS REQUIRED (1) PROVIDED (IBC 901.5.2.3.2)

- GENERAL NOTES:**
- VERIFY ROOM FINISHES AND COLOR SELECTIONS W/ G.C./OWNER.
  - HVAC CONTRACTOR TO PROVIDE ACCESSIBLE HEIGHT MOUNTED THERMOSTAT AT ALL PUBLIC AREAS.
  - VERIFY LOCATIONS OF ALL SURFACE MOUNTED SECURITY CAMERAS WITH OWNER. (USE PHONE WIRE)
  - VERIFY ALL WALL MOUNTED T.V. LOCATIONS W/ OWNER / G.C.
  - VERIFY ALL ROUGH OPENINGS DIMENSIONS W/ SHOP DRAWINGS.
  - VERIFY ALL FIXTURE & APPLIANCE REQUIREMENTS W/ OWNER.
  - VERIFY LOCATION OF ALL FIXTURES / EQUIPMENT W/ OWNER.
  - VERIFY OUTLET LOCATIONS W/ FURNITURE LOCATIONS W/ OWNER.
  - IF OPERABLE WINDOW PROVIDE WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090 OR 34 SH. LIMITERS THAT PROVIDE AN OPENING NOT MORE THAN 4" FOR OPERABLE WINDOWS OVER 4'-0" ABOVE GRADE THAT ARE LESS THAN 36" A.F.F.
  - PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHALL.
  - ALL DOOR HARDWARE TO BE LEVER TYPE.
  - VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
  - ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF THE CLOTHES DRYER.
  - VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS W/ OWNER.
  - VERIFY LOCATIONS OF ALL WALL MOUNTED LIGHT SCONCES W/ OWNER.
  - VERIFY ALL HOSE BIB LOCATIONS W/ OWNER / G.C.

**PLAN KEY**

1 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE

**THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 11,880 SF. - (24 UNITS)

	<b>WALL TYPE</b> S.T.C. 40-44 + 5 = 49 MAX SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 / 34/A901
	<b>WALL TYPE</b> S.T.C. 54-58 SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 / 34/A901
	<b>WALL TYPE</b> S.T.C. 40-44 + 1 = 51 MAX SCALE: 1/2"=1'-0" SEE DETAILS 23, 24 / 34/A901

- NUMBER NOTES**
- EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
  - FIRE EXTINGUISHER SURFACE MOUNTED / IN RECESSIBLE CABINET. SEE DETAILS 10/A301 AND 5/A801.
  - VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHALL.
  - MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11 / IC/A301.
  - SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS FOR LOCATION.
  - PRE-FABRICATED SHIPS LADDER. VERIFY LOCATION W/ OWNER.
  - ACCESSIBLE STAINLESS STEEL SINGLE BOULI SINK. SEE DETAILS 9 / IC/A301.
  - LINE OF ROOF ABOVE.
  - ACCESSIBLE GRAB BAR. VERIFY LOCATION W/ OWNER / MANAGER / POOL CONSULTANT.
  - LINE OF ROOF BELOW.
  - POOL DESIGN BY OTHERS. VERIFY SIZE AND STYLE W/ OWNER.
  - POOL SHALL BE HDOP ACCESSIBLE. VERIFY GUNITE AFROM. DEPTH TO RANGE FROM 3'-0" TO 5'-0".
  - RAISED WHIRLPOOL. DESIGNED BY OTHERS. VERIFY SIZE AND STYLE W/ OWNER.
  - FROST STOOP SIZED TO ACCOMMODATE REQ'D. ADA CLEARANCES. SEE STRUCTURAL PLANS.
  - 1 HR. FIRE BARRIER W/ G.C. WALL BUILT TO 1 HR. RATED ASSEMBLY ABOVE.
  - STAND PIPE. VERIFY LOCATION W/ FIRE SPRINKLER PLANS.
  - VERIFY LOCATION FOR REFRIGERATOR / FREEZER. VERIFY SIZE AND STYLE W/ G.C.
  - VERIFY LOCATION FOR MECHANICAL EXHAUST. SEE MECH PLANS.
  - 2x2 WOOD STUDS @ 16" O.C. W/ 1/2" LAYER OF 5/8" GYPSUM BOARD. ADD RC-CHANNEL AS REQ'D I PROVIDE SOUND INSUL. WHEN ADJACENT TO GUEST SUITE.
  - PLASTIC LAMINATE COUNTERTOP. VERIFY BASE CABINET REQUIREMENTS W/ OWNER.
  - SINGLE BOULI SINK. VERIFY W/ OWNER.
  - PREFAB SHELVING UNITS. VERIFY SIZE AND STYLE W/ OWNER.
  - RAISED RECEPTION COUNTER. VERIFY HT. AND MATERIAL W/ OWNER.
  - VENDING MACHINES. VERIFY LOCATION W/ OWNER.
  - WATERPROOF EXTERIOR OUTLET. VERIFY LOCATION W/ ELECTRICAL PLANS.
  - FLOOR DRAIN. VERIFY LOCATION W/ G.C.
  - RECEPTION COUNTER 3/4" MAX. A.F.F. AND 3/4" MIN. WIDE. VERIFY MATERIAL W/ OWNER.
  - EXTEND HANDRAIL 3" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER.
  - HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY. VERIFY STYLE AND FINISH WITH G.C. STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 41/A901 IF POST LESS THAN 8'x8".
  - PROVIDE FURRING WALL FOR TOILET AS REQ'D. MEET ALL CLEARANCE REQ'TS PER SHEET A/301.
  - COUNTER TOP WITH BASE CABINETS BELOW 3/4" A.F.F. VERIFY BACK SPLASH WITH G.C.
  - TRASH BELOW COUNTERTOP. VERIFY REQ'TS. W/ OWNER.
  - LUGGAGE CART. SHOW FOR SPACING ONLY.
  - VERIFY LOCATION FOR INDUSTRIAL DRYER. VERIFY CONCRETE PAD & ANCHORS W/ MANUFACTURER.
  - VERIFY LOCATION FOR DRAIN TROUGH W/ METAL GRATE. SEE PLUMBING PLANS I DET 8/A130.
  - VERIFY LOCATION FOR INDUSTRIAL DRYER W/ VENT IN SOFFIT ABOVE. SEE MECHANICAL PLANS.
  - NOT A SERVICE SINK. VERIFY PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 8' HIGH.
  - VERIFY LOCATION FOR ELECTRICAL PANELS. VERIFY W/ ELECTRICAL DRAWINGS.
  - 48" HIGH HALF WALL W/ DECORATIVE SCREEN. VERIFY W/ OWNER.
  - GUEST WASHERS & HDOP ACCESSIBLE. VERIFY HT. AND MATERIAL W/ OWNER.
  - PREFINISHED SHELVES. VERIFY EXTENTS W/ OWNER.
  - PERIMETER POOL TRENCH. DRAIN SEE PLUMBING DRAWINGS I POOL DRAWINGS BY OTHERS.
  - 5/8" POOL DECK W/ FINISH. VERIFY STAIR LOCATION W/ OWNER.
  - VERIFY LOCATION FOR GAS FIREPLACE W/ TILE SURROUND AND WOOD MANTLE. VERIFY W/ OWNER I FFIE.
  - VERIFY EQUIPMENT / FIXTURES THIS AREA W/ OWNER / MECHANICAL DRAWINGS.
  - VERIFY LOCATION FOR WATER SOFTENERS BY OWNER. CONNECTION BY PLUMBING CONTRACTOR.
  - VERIFY LOCATION FOR 48"x48" MECH. LOUVER. VERIFY DAMPERS AS REQ'D. VERIFY LOCATION W/ MECH.
  - LINE OF SOFFIT OR CEILING ABOVE. VERIFY R.O. W/ G.C.
  - FIBERGLASS REINFORCED PANEL THIS AREA. VERIFY EXTENTS W/ OWNER.
  - VERIFY LOCATION FOR SECURITY MONITOR. VERIFY MOUNTING LOCATIONS W/ OWNER.
  - VERIFY LOCATION FOR WALL MOUNTED TV. PROVIDE BLOCKING AS REQ'D.
  - CE. MACHINE. VERIFY STYLE W/ OWNER.
  - VERIFY LOCATION FOR BULLETIN BOARD W/ TIME CLOCK THIS AREA. VERIFY W/ OWNER.
  - VERIFY LOCATION FOR FULL WALL MIRROR. VERIFY EXTENTS W/ OWNER.
  - PROVIDE R.F.P. ABOVE WINDOW. VERIFY AS REQ'D. VERIFY W/ OWNER.
  - 2 HR. RATED LAUNDRY CHUTE SHAFT. PROVIDE SPRINKLER HEADS AS REQ'D.
  - PREFINISHED OPEN STORAGE SHELVES. VERIFY UNDER COUNTER CABINETS.
  - ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 12.3 / IC/A301.
  - ACCESSIBLE WALL HUNG AVATORY. SEE DETAILS 14 / IC/A301.
  - EXTEND HANDRAIL 12" HORIZONTALLY PAST TOP RISER.
  - NOT USED.
  - BAR COUNTER W/ SEATING. VERIFY W/ OWNER.
  - LINE OF UPPER CABINETS. SHOWN DASHED.
  - GATE FOR BAR. VERIFY W/ OWNER.
  - CONCRETE PATIO. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BLDG. AS REQ'D.
  - FIRE DEPARTMENT ENUNCIATOR PANEL. VERIFY LOCATION W/ FIRE MARSHALL.
  - INTERCOM TELEPHONE.
  - ACCESSIBLE TRANSFER SHOWER WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 11 / IC/A301. VERIFY ROUGH OPENING SIZES WITH G.C.
  - ROOF DRAIN DOWNSPOUT LOCATION. TIE TO STORM SEWER. VERIFY W/ CIVIL DRAWINGS.
  - ACCESSIBLE TURNING CLEARANCE SHOWN DASHED. SEE DETAIL 14/A301.
  - VERIFY W/ G.C. CONNECTION DEVICE TO FRONT DESK OR OUTSIDE LINE PER CODE.
  - H / LOW ACCESSIBLE DRINKING FOUNTAIN / URINALS EXHIBITS BY OTHERS I DET 4/A301.
  - ONE HOUR RATED CEILING ABOVE. BUILT BELOW TYPICAL BUILDING RATED CEILING. SEE DET. 8/A120.
  - VERIFY LOCATION FOR FRESH AIR INTAKE DUCT.
  - NOT USED.
  - STRUCTURAL STEEL COLUMN. SEE DETAIL 41/A901 FOR 1 HOUR FIRE PROTECTION. PROVIDE ANTI-CORROSION COATING FOR ALL COLUMNS IN POOL AREAS.
  - AS SHIPS LADDER PERMITTED. VERIFY HT. ROOF / CEILING ASSEMBLY PROVIDE 1 HR. RATED PROTECTION TO ROOF SHG. PROVIDE R-2 INSUL. AND VAPOR BARRIER AS REQ'D. SHOWN DASHED. PROVIDE TRUSS ABOVE LADDER AS REQ'D. BY TRUSS SUPPLIER.
  - 2 HOUR RATED SHAFT FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE SHOWN HATCHED.
  - 3" COUNTERTOP. VERIFY FINISH W/ OWNER.
  - NOT USED.
  - FURNITURE TO BE PROVIDED BY OWNER.
  - NOT USED.
  - 2X HIGHER WALL W/ (1) LAYER 5/8" GYP. BD.
  - VERIFY LOCATION FOR FLUSH FLOOR JUNCTION BOX W/ ELECT. AND PHONE.
  - 3500" 1 HOUR RATED GUNNEY SIZED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFR.
  - MUSIC STORAGE. VERIFY LOCATION W/ OWNER.
  - NOT USED.
  - VERIFY LOCATION FOR WALL MOUNTED DRY ERASE BOARD.
  - NOT USED.
  - FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHALL.
  - PROVIDE ELECTRONIC RELEASE BUTTON FOR FRONT ENTRY DOOR. VERIFY LOCATION.
  - FIRE DEPT. SIAMENE CONNECTION. VERIFY LOCATION W/ FIRE MARSHALL.

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DAVID MAJCHRZAK ARCHITECT

PROPOSED: GRANDSTAY HOTEL & SUITES KAUKAUNA, WI

Project No. 23050  
 Issue Date: October 4th, 2023  
 Document Set: 90% BID SET

Project A103

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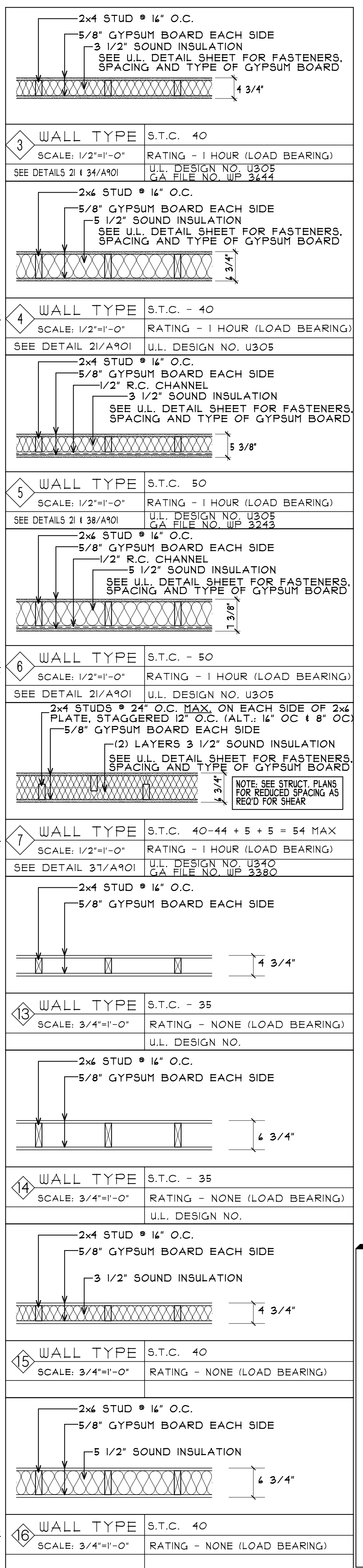
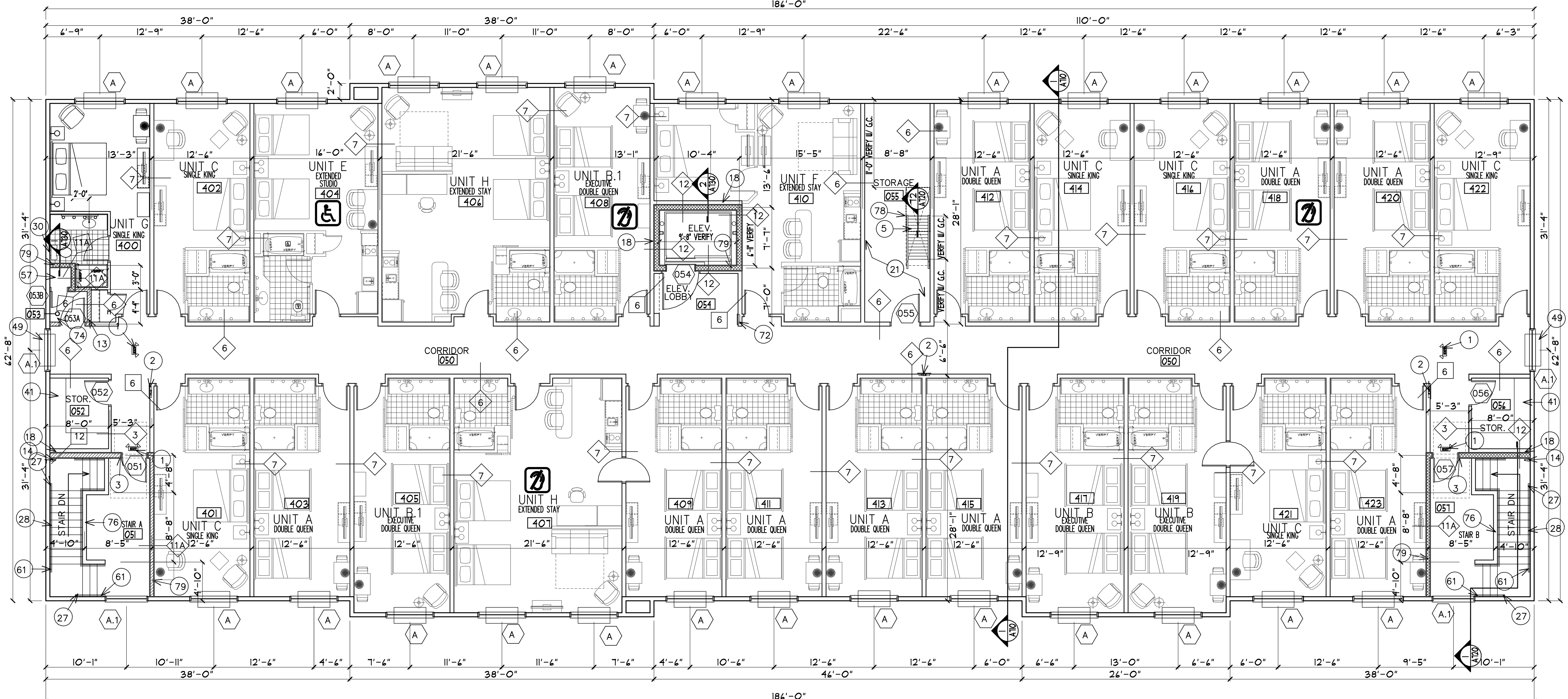
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of WISCONSIN  
 Name: DAVID MAJCHRZAK

GENERAL CONTRACTOR: DCD CONSTRUCTION

REVISIONS COMMENTS

COM: 5  
 PLOTTED: 10-6-23 FILE: 23050P



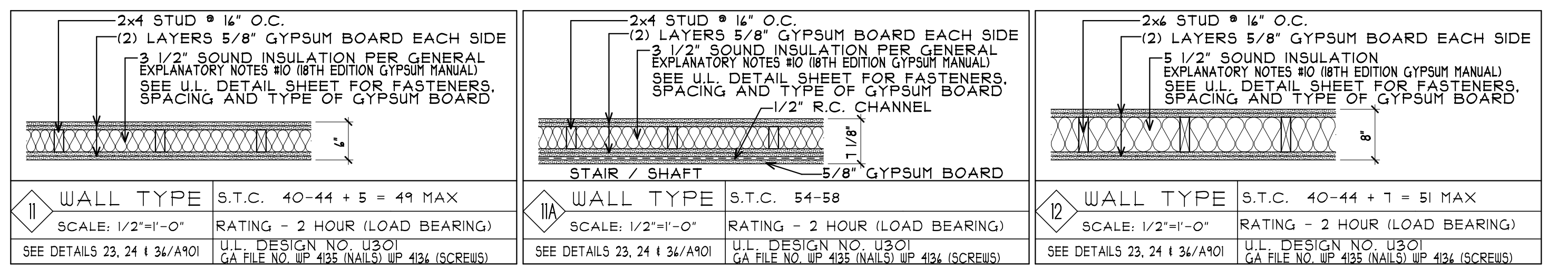
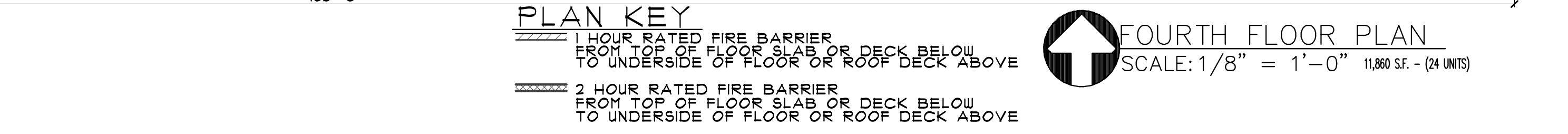
SEE PLANS FOR ALTERNATE MATERIALS ADDED TO THE WALL TYPE.

ACCESSIBILITY	UNIT MIX					TOTAL
	UNIT TYPE	1ST FLR.	2ND FLR.	3RD FLR.	4TH FLR.	
	UNIT "A" DOUBLE QUEEN TRANSIENT	3	8	9	9	29
	UNIT "B" EXEC. DBL. QUEEN TRANSIENT	1	2	2	2	7
	UNIT "B1" EXEC. DBL. QUEEN TRANSIENT	-	1	2	2	5
	UNIT "C" SINGLE KING TRANSIENT	1	4	4	6	19
	UNIT "D" DOUBLE QUEEN TRANSIENT	1	-	-	-	1
	UNIT "E" DOUBLE QUEEN EXT. STAY STUDIO SM	-	2	1	1	4
	UNIT "F" SINGLE KING EXT. STAY ONE BED	-	1	1	1	3
	UNIT "G" SINGLE KING TRANSIENT	-	1	1	1	3
	UNIT "H" DOUBLE QUEEN EXT. STAY STUDIO LG	-	1	2	2	5
	<b>TOTAL</b>	<b>4</b>	<b>22</b>	<b>24</b>	<b>24</b>	<b>74</b>

(5) ACCESSIBLE UNITS REQUIRED (5) PROVIDED (IBC TABLE 1074.1.1)  
 - (1) ACCESSIBLE UNIT PROVIDED W/ A ROLL-IN SHOWER.  
 9 HEARING / VISUAL IMPAIRED UNITS REQUIRED (1 PROVIDED (IBC 1075.2.3.2))

- GENERAL NOTES:**
- VERIFY ROOM FINISHES AND COLOR SELECTIONS W/ G.C./OWNER.
  - HVAC CONTRACTOR TO PROVIDE ACCESSIBLE HEIGHT MOUNTED THERMOSTAT AT ALL PUBLIC AREAS.
  - VERIFY LOCATIONS OF ALL SURFACE MOUNTED SECURITY CAMERAS WITH OWNER. (USE PHONE WIRE)
  - VERIFY ALL WALL MOUNTED T.V. LOCATIONS W/ OWNER / G.C.
  - VERIFY ALL ROUGH OPENINGS DIMENSIONS W/ SHOP DRAWINGS.
  - VERIFY ALL FIXTURE & APPLIANCE REQUIREMENTS W/ OWNER.
  - VERIFY LOCATION OF ALL FIXTURES / EQUIPMENT W/ OWNER.
  - VERIFY OUTLET LOCATIONS W/ FURNITURE LOCATIONS W/ OWNER.
  - IF OPERABLE WINDOW PROVIDE WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2020 OR SASH LIMITERS THAT PROVIDE AN OPENING NOT MORE THAN 4" FOR OPERABLE WINDOWS OVER 4'-0" ABOVE GRADE THAT ARE LESS THAN 34" A.F.F.
  - PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHALL.
  - ALL DOOR HARDWARE TO BE LEVER TYPE.
  - VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
  - ALL CLOTHES WASHERS TO BE INSTALLED TO THE LEFT OF CLOTHES DRYER.
  - VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS W/ OWNER.
  - VERIFY LOCATIONS OF ALL WALL MOUNTED LIGHT SCONCES W/ OWNER.
  - VERIFY ALL HOSE BIB LOCATIONS W/ OWNER / G.C.

NOTE: REVIEW STRUCTURAL PLANS FOR SHEAR WALLS, CORRIDORS, STAIRS, AND ELEVATORS. ALL WALLS SHALL BE CONCRETE OR CMU. ALL CORRIDOR AND STAIR WALLS SHALL BE CONCRETE OR CMU. ALL CORRIDOR AND STAIR WALLS SHALL BE CONCRETE OR CMU. ALL CORRIDOR AND STAIR WALLS SHALL BE CONCRETE OR CMU.



- NUMBER NOTES**
- EMERGENCY/EXIT LIGHTING PER CODE. SEE ELECTRICAL PLANS FOR LOCATIONS.
  - FIRE EXTINGUISHER SURFACE MOUNTED / IN RECESSED CABINET. SEE DETAILS 10/A301 AND 5/A801.
  - VERIFY LOCATIONS AND QUANTITIES WITH FIRE MARSHAL.
  - MAINTAIN ACCESSIBLE DOOR CLEARANCES. SEE DETAILS 11/IC/A301.
  - SPRINKLER RISER. SEE FIRE SUPPRESSION PLANS FOR LOCATION.
  - PRE-FABRICATED SHIPS LADDER W/ PREFABRICATED ROOF HATCH. SEE DET. 12/130.
  - ACCESSIBLE STAINLESS STEEL SINGLE BOUILL SINK. SEE DETAILS 11/IC/A301.
  - LINE OF ROOF ABOVE.
  - ACCESSIBLE GRAB BAR. VERIFY LOCATION W/ OWNER / MANAGER / POOL CONSULTANT.
  - LINE OF ROOF BELOW.
  - POOL DESIGN BY OTHERS. VERIFY SIZE AND STYLE W/ OWNER.
  - POOL SHALL BE HOCP ACCESSIBLE W/ GUNITE APRON.
  - RAISED WHIRLPOOL. DESIGNED BY OTHERS VERIFY SIZE AND STYLE W/ OWNER.
  - FROST STOOP SIZED TO ACCOMMODATE REQ'D ADA CLEARANCES. SEE STRUCTURAL PLANS.
  - IF FIRE BARRIER WALL SHOWN HATCHED, WALL BUILT TO FLOOR SHTG. / 1 HR. RATED ASSEMBLY ABOVE.
  - STAND PIPE. VERIFY LOCATION W/ SPRINKLER PLAN.
  - VERIFY LOCATION FOR NSF REFRIGERATOR / FREEZER. VERIFY SIZE AND STYLE W/ G.C.
  - VERIFY LOCATION FOR FREE STANDING 3 COMPARTMENT STAINLESS STEEL SINK W/ DRAIN BOARDS.
  - VERIFY LOCATION FOR MECHANICAL EXHAUST FRESH AIR INTAKE.
  - 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" R.C. CHANNEL AS REQ'D.
  - PLASTIC LAMINATE COUNTERTOP. VERIFY BASE CABINET REQUIREMENTS W/ OWNER.
  - SINGLE BOUILL SINK. VERIFY W/ OWNER.
  - PREFAB SHELVING UNITS. VERIFY SIZE AND STYLE W/ OWNER.
  - RAISED RECEPTION COUNTER. VERIFY HT. AND MATERIAL W/ OWNER.
  - VENDING MACHINES. VERIFY LOCATION W/ OWNER.
  - WATERPROOF EXTERIOR OUTLET. VERIFY LOCATION W/ ELECTRICAL PLANS.
  - RECEPTION COUNTER 34" MAX. A.F.F. AND 34" MIN. WIDE. VERIFY MATERIAL W/ OWNER.
  - EXTEND HANDRAIL 1/8" OR WIDTH OF TREAD MIN. PAST BOTTOM RISER.
  - HANDRAIL MOUNTED 34-38" A.F.F. ON BOTH SIDES OF STAIRWAY. VERIFY STYLE AND FINISH WITH G.C.
  - STRUCTURAL COLUMN W/ DECORATIVE COLUMN COVER. SEE STRUCTURAL DRAWINGS AND DETAIL 4/A101 IF POST LESS THAN 8'x8'.
  - PROVIDE FURRING WALL FOR TOILET AS REQ'D. MEET ALL CLEARANCE REQ'TS PER SHEET A/301.
  - COUNTER TOP WITH BASE CABINETS BELOW @ 34" A.F.F. VERIFY BACK SPLASH WITH G.C.
  - TRASH BELOW COUNTERTOP. VERIFY REQ'TS. W/ OWNER.
  - LUGGAGE CART SHOWN FOR SPACING ONLY.
  - VERIFY LOCATION FOR INDUSTRIAL WASHER. VERIFY CONCRETE PAD (ANCHORS W/ MANUFACTURER).
  - VERIFY LOCATION FOR INDUSTRIAL DRYER. VERIFY CONCRETE PAD (ANCHORS W/ MANUFACTURER).
  - VERIFY LOCATION FOR INDUSTRIAL DRYER W/ VENT IN SOFFIT ABOVE. SEE MECHANICAL PLANS.
  - NOP / SERVICE SINK. SEE PLUMBING PLANS. PROVIDE FRP ON ADJACENT WALLS 48" HIGH.
  - VERIFY LOCATION FOR ELECTRIC PANELS. VERIFY W/ ELECTRICAL DRAWINGS.
  - 48" HIGH HALF WALL W/ DECORATIVE SCREEN. VERIFY W/ OWNER.
  - GUEST WASHERS / DRYERS W/ HOCP ACCESSIBLE CONTROLS. SEE DET. 13/A301.
  - PRE-FABRICATED SHIPS LADDER. VERIFY W/ STRUCTURAL PLANS.
  - PERIMETER POOL TRENCH DRAIN. SEE PLUMBING DRAWINGS & POOL DRAWINGS BY OTHERS.
  - STRONG FLOOR DECK 1/8" PER FOOT TO TRENCH DRAIN.
  - VERIFY LOCATION FOR GAS FIREPLACE W/ TILE SURROUND AND WOOD MANTLE. VERIFY W/ OWNER & FFIE.
  - VERIFY EQUIPMENT / FIXTURES THIS AREA W/ OWNER / MECHANICAL DRAWINGS.
  - VERIFY LOCATION FOR WATER SOFTENERS BY OWNER. CONNECTION BY PLUMBING CONTRACTOR.
  - FIBERGLASS REINFORCED PANEL THEATRE SEATING. VERIFY EXTENTS W/ OWNER.
  - LINE OF SOFFIT OR CEILING ABOVE.
  - THRU WALL PTAC UNIT UNDER WINDOW. VERIFY R.O. W/ G.C.
  - VERIFY ACCESSIBLE 48" HIGH LOUVER W/ FIRE DAMPERS AS REQ'D. VERIFY LOCATION W/ MECH.
  - VERIFY LOCATION FOR SECURITY MONITOR. VERIFY MOUNTING LOCATIONS W/ OWNER.
  - VERIFY LOCATION FOR WALL MOUNTED TV. PROVIDE BLOCKING AS REQ'D.
  - ICE MACHINE. VERIFY STYLE W/ OWNER.
  - VERIFY LOCATION FOR PROJETIN BOARD W/ TIME CLOCK THIS AREA. VERIFY W/ OWNER.
  - VERIFY LOCATION FOR FULL WALL MIRROR. VERIFY EXTENTS W/ OWNER.
  - VERIFY F.R.P. AROUND HOP SINK AS REQ'D. VERIFY W/ OWNER.
  - DEPTH RATED SPRINKLER HEADS. VERIFY W/ OWNER.
  - PREFABRICATED OPEN STORAGE SHELVES. W/ UNDER COUNTER CABINETS.
  - ACCESSIBLE WATER CLOSET. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 12.3 / 1C/A301.
  - ACCESSIBLE WALL HUNG LAVATORY. SEE DETAILS 4 / IC/A301.
  - EXTEND HANDRAIL 1/8" HORIZONTALLY PAST TOP RISER.
  - NOT USED.
  - BAR COUNTER W/ SEATING. VERIFY W/ OWNER.
  - LINE OF UPPER CABINETS. SHOWN DASHED.
  - GATE FOR BAR. VERIFY W/ OWNER.
  - CONCRETE PATIO. VERIFY EXTENTS W/ OWNER. SLOPE AWAY FROM BLDG. AS REQ'D.
  - FIRE DEPARTMENT ENUNCIATOR PANEL. VERIFY LOCATION W/ FIRE MARSHALL.
  - INTERCOM TELEPHONE.
  - ACCESSIBLE TRANSFER SHOWER WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 11 / 3C/A301. VERIFY ROUGH OPENING SIZES WITH G.C.
  - ROOF DRAIN DOWNSPOUT LOCATION. TIE TO STORM SEWER. VERIFY W/ CIVIL DRAWINGS.
  - ACCESSIBLE TURNING CLEARANCE. VERIFY W/ OWNER. SEE DETAIL 12/A301.
  - PROVIDE 2-WAY COMMUNICATION DEVICE TO FRONT DESK OR OUTSIDE LINE PER CODE.
  - IF LOW ACCESSIBLE DRINKING FOUNTAIN. SEE PLUMBING PLANS BY OTHERS & DETAIL 1/A301.
  - ONE HOUR RATED CEILING ABOVE. BUILT BELOW TYPICAL BUILDING RATED CEILING. SEE DET. 8/A120.
  - VERIFY LOCATION FOR FRESH AIR INTAKE DUCT.
  - NOT USED.
  - STRUCTURAL STEEL COLUMN. SEE DETAIL 4/A101 FOR 1 HOUR FIRE PROTECTION. PROVIDE ANTI-CORROSION COATING FOR ALL COLUMNS IN POOL AREAS.
  - AS SHIPS LADDER PENETRATES 1 HR. ROOF / CEILING ASSEMBLY PROVIDE 1 HR. RATED FLOOR OR ROOF DECK ABOVE SHIPS LADDER AND VAPOR BARRIER AS REQ'D. SHOWN DASHED. GIRDER TRUSS ABOVE LADDER AS REQ'D BY TRUSS SUPPLIER.
  - 2 HOUR RATED SHAFT FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE SHIPS LADDER.
  - 34" COUNTERTOP. VERIFY FINISH W/ OWNER.
  - FURNITURE TO BE PROVIDED BY OWNER.
  - NOT USED.
  - FURRED WALL W/ 1/2" LAYER 5/8" GYP. BD.
  - VERIFY LOCATION FOR FLUSH FLOOR JUNCTION BOX W/ ELECT. AND PHONE.
  - 3500V - 2 HOUR RATED GURNEY SIZED ELEVATOR. VERIFY SHAFT CLEARANCES AND REQUIREMENTS W/ ELEV. MFRG.
  - ALFIC STORAGE. VERIFY LOCATION W/ OWNER.
  - NOT USED.
  - VERIFY LOCATION FOR WALL MOUNTED DRY ERASE BOARD.
  - NOT USED.
  - FIRE DEPARTMENT KEY BOX. VERIFY LOCATION WITH FIRE MARSHAL.
  - PROVIDE ELECTRONIC RELEASE BUTTON FOR FRONT ENTRY DOOR. VERIFY LOCATION.
  - FIRE DEPT. SIAMSESE CONNECTION. VERIFY LOCATION W/ FIRE MARSHAL.

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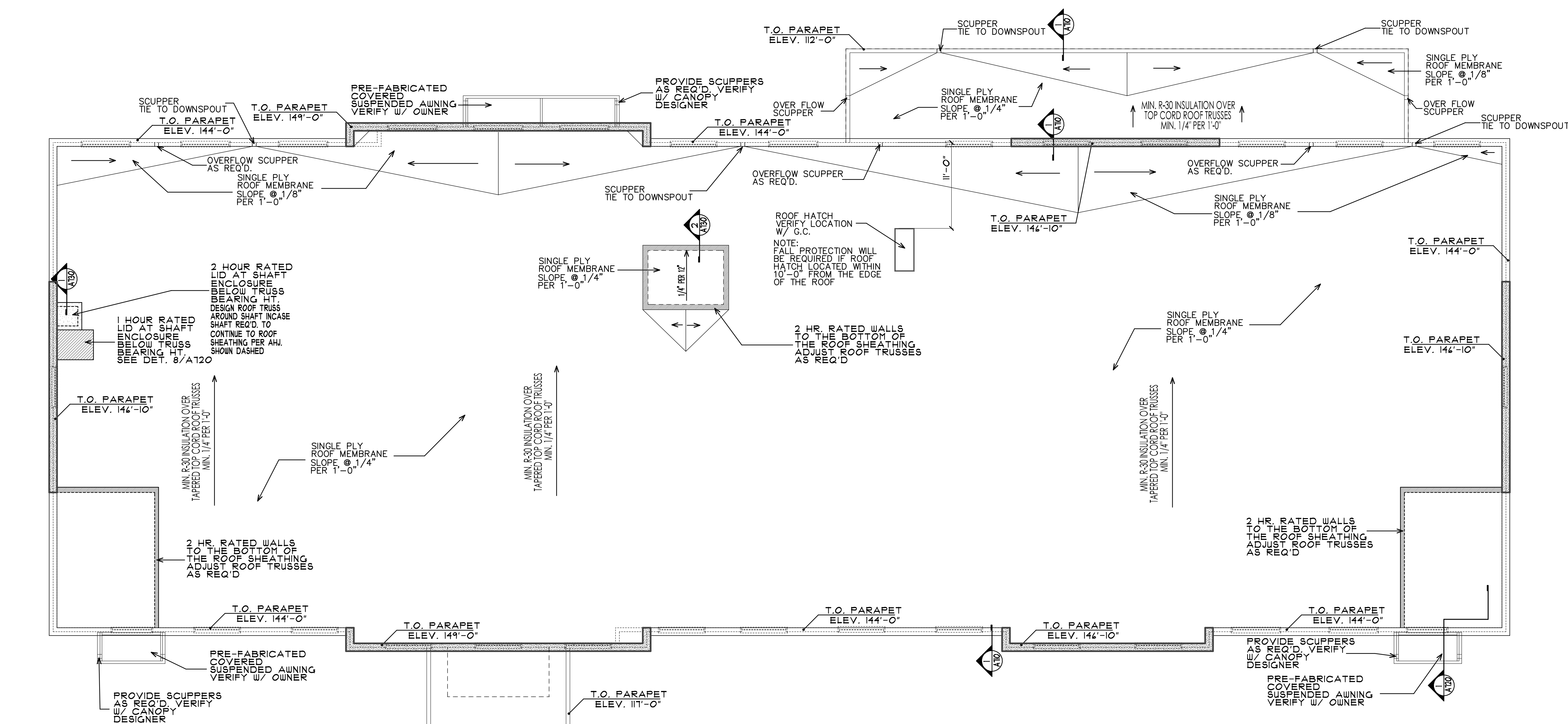
**DAVID MAJCHURZAK ARCHITECT**  
 13879-5 ST. CLOUD MN  
 55155  
 (763) 437-1111  
 www.davidmaichurzak.com

**PROPOSED: GRANDSTAY HOTEL & SUITES KAUKAUNA, WI**

**GENERAL CONTRACTOR: DCD CONTRACTING**

Project No. 23050  
 Issue Date: October 6th, 2023  
 Document Set: 90% BID SET

**A104**



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

- KEY**
- 2 HOUR RATED FIRE BARRIER FROM TOP OF FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE. WHEN USED AS A SHAFT WALL, NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL EXCEPT THAT WHICH IS REQUIRED FOR THE SHAFT.
  - 2 HOUR RATED SHAFT LID
  - 1 HOUR RATED SHAFT LID
  - RAISED PARAPET OR ARCHITECTURAL FEATURE
  - SHAFT FIRE BARRIER TO UNDERSIDE OF ROOF SHEATHING

**ROOF NOTES:**

- NOTE: SEE MECHANICAL PLANS FOR ROOF TOP HVAC UNIT LOCATIONS AND CURB DETAILS.
- NOTE: SEE PLUMBING PLANS FOR ROOF TOP PENETRATION LOCATIONS AND FLASHING DETAILS.
- SEAL ALL MECHANICAL, ELECTRICAL & PLUMBING PENETRATIONS AIR TIGHT. UTILIZE ASTM APPROVED ASSEMBLIES APPROPRIATE FOR WHERE FIRE RATED CONSTRUCTION IS INDICATED. SEE MEP PLANS FOR LOCATIONS.
- NOTE: VERIFY LOCATION OF ROOF HATCH w/ G.C.
- PAINT ALL ROOF TOP EQUIPMENT, VENT STACKS, EXHAUST FANS AND FLUES, ETC. TO MATCH ROOFING COLOR.
- INSTALL ALL VENT STACKS ON THE REAR SIDE OF THE ROOF
- NOTE: LOCATE DOWNSPOUTS AS CLOSE TO INSIDE BENDS AS POSSIBLE
- PROVIDE PRE-CAST CONCRETE SPLASH BLOCK AT DOWNSPOUT. VERIFY LOCATIONS.
- PRE-FABRICATED DOWNSPOUTS CONNECT TO UNDERGROUND DRAINAGE SYSTEM - AIR GAP AT GRADE TO PREVENT BACK-UPS VERIFY LOCATIONS WITH CIVIL PLANS.
- NOTE: SECONDARY ROOF DRAIN 2' ABOVE & ADJACENT TO EACH PRIMARY ROOF DRAIN
- NOTE: RUN SECONDARY OVERFLOW DRAINS TO EXTERIOR WALL AS AN OVERFLOW SCUPPER. SEE PLUMBING PLANS FOR LOCATIONS.

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These documents are not valid for building permit unless signed in ink or by digital signature. Copies are not valid. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of WISCONSIN. Name: DAVID MAJCHRZAK

**PROPOSED:**  
**GRANDSTAY HOTEL & SUITES**  
 KAUKAUNA, WI

**GENERAL CONTRACTOR:**

Project No. 23050  
 Issue Date: October 4th, 2023  
 Document Set: 10% BID SET  
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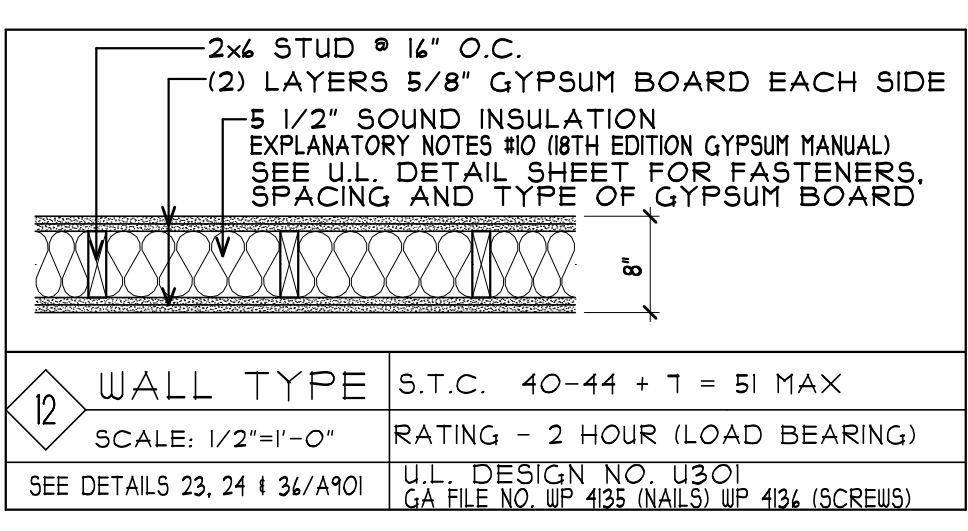
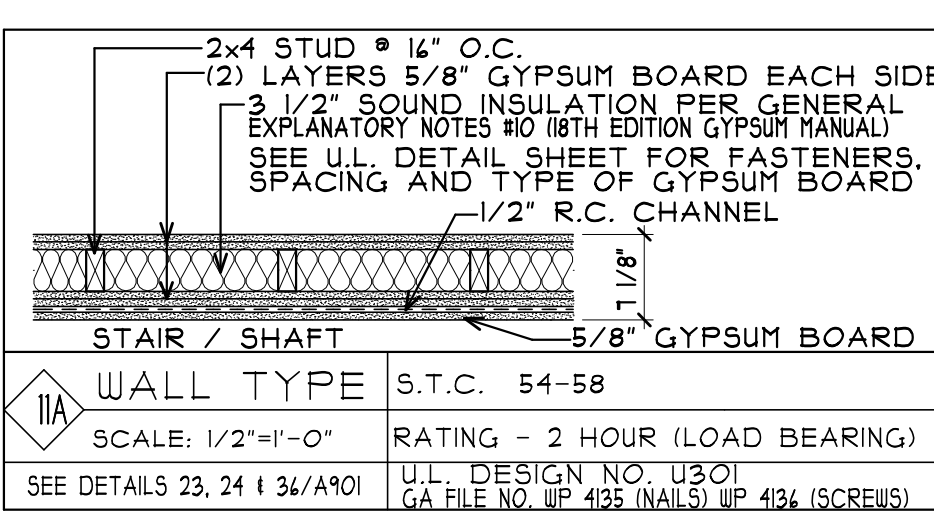
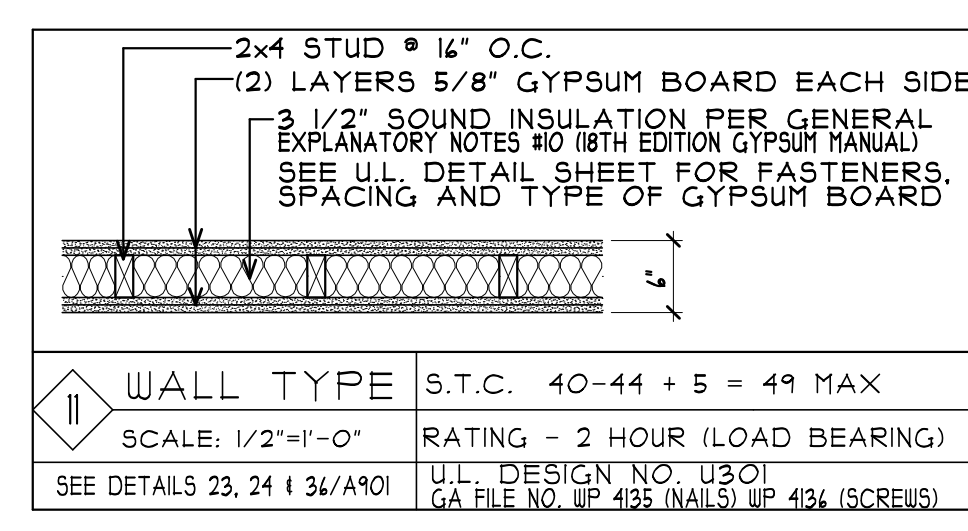
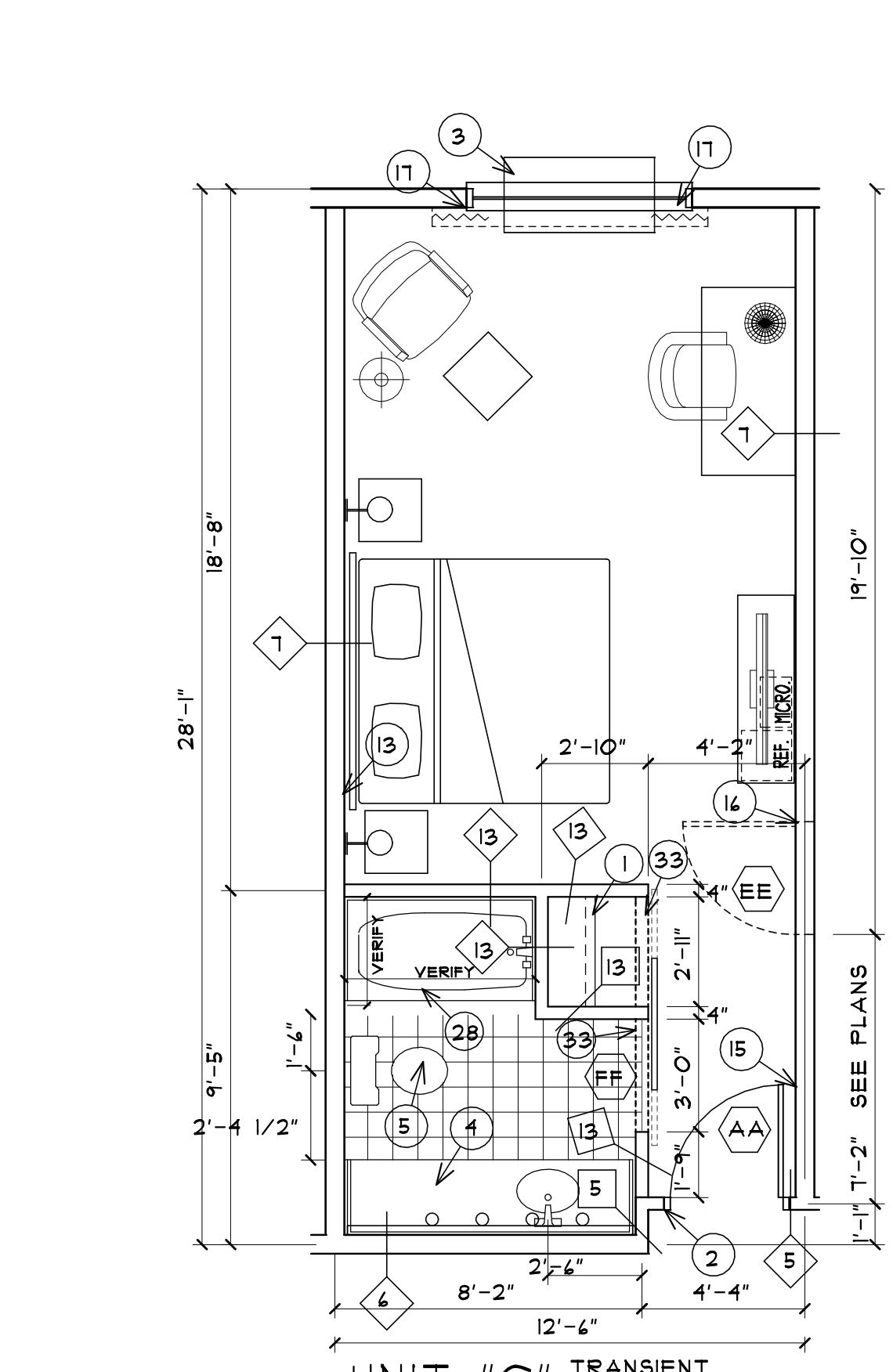
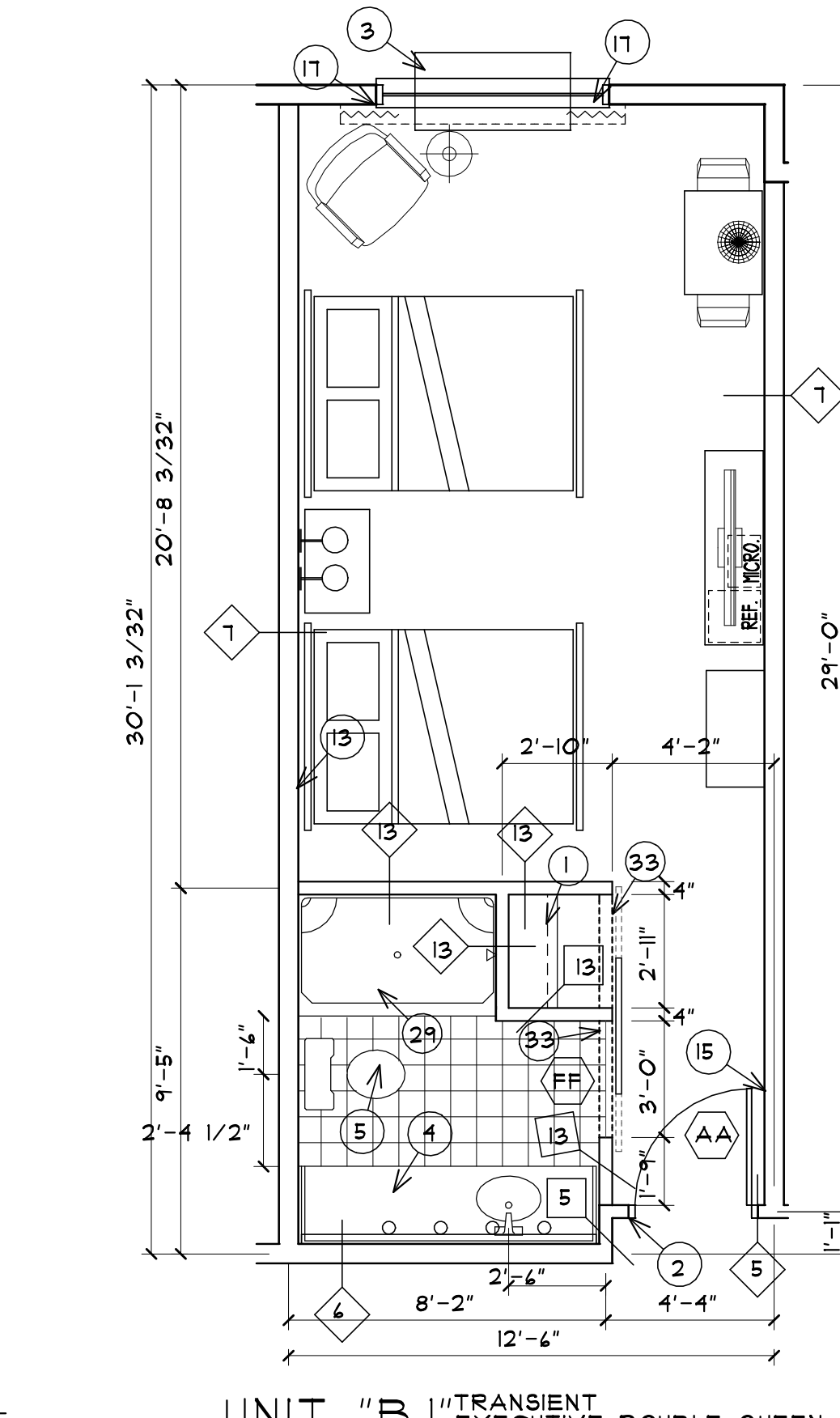
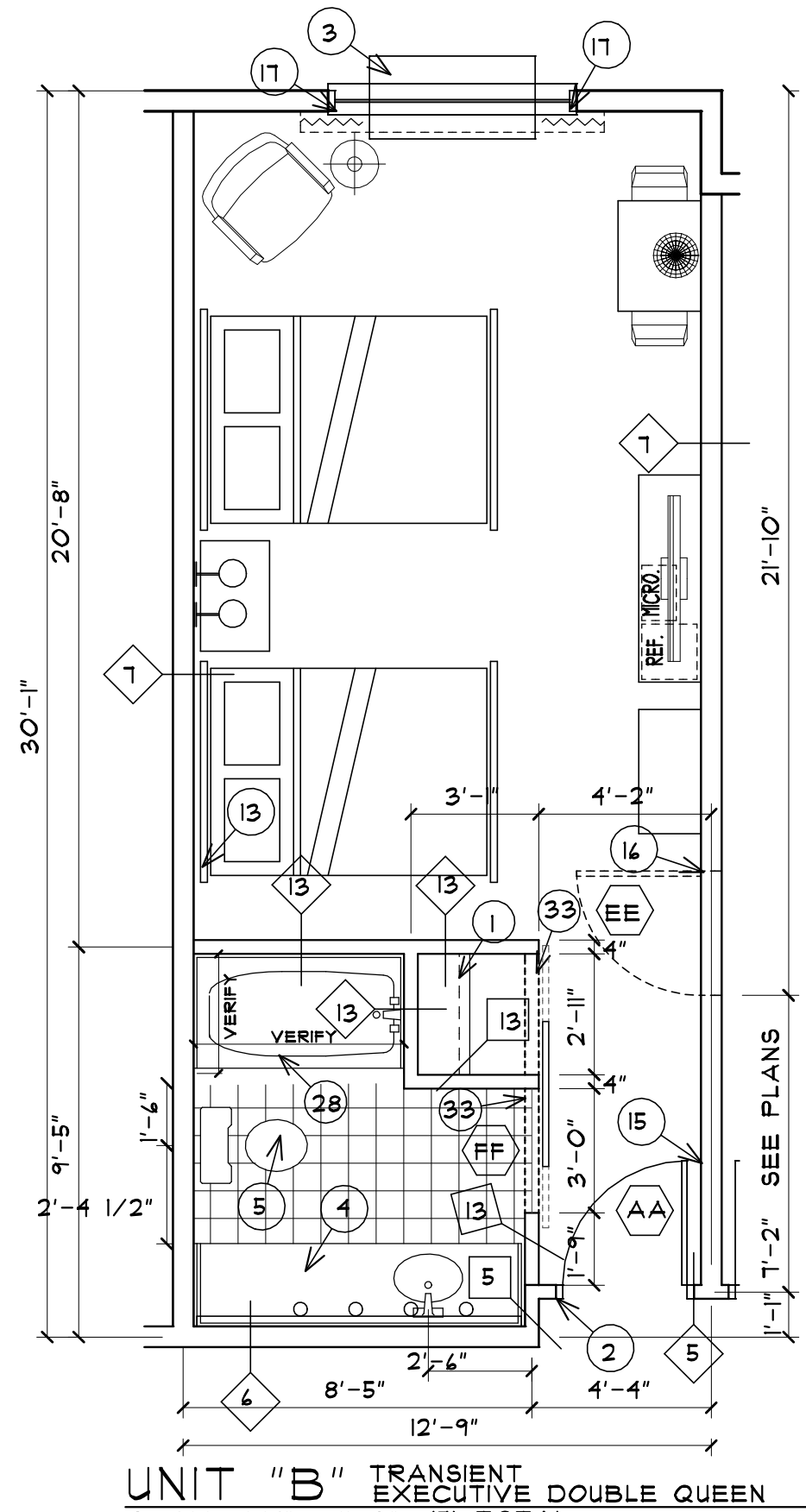
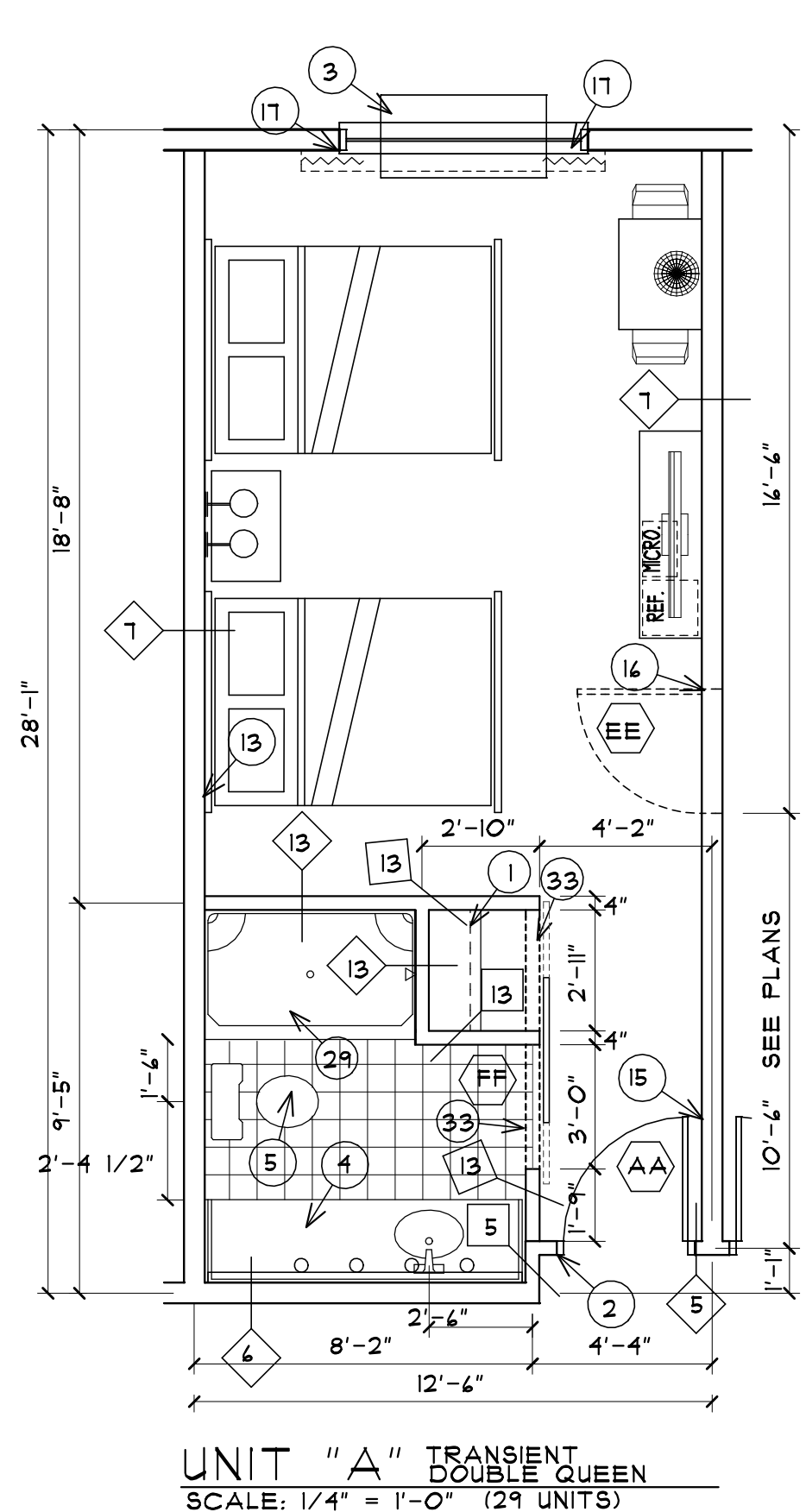
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**A105**

	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE 3 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	4 3/4"
<b>3</b>	<b>WALL TYPE</b> S.T.C. 40 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAILS 21 ( 34/A901 U.L. DESIGN NO. U305 GA FILE NO. WP 3444	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE 5 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	4 3/4"
<b>4</b>	<b>WALL TYPE</b> S.T.C. - 40 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAIL 21/A901 U.L. DESIGN NO. U305	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE 1/2" R.C. CHANNEL 3 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	5 3/8"
<b>5</b>	<b>WALL TYPE</b> S.T.C. 50 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAILS 21 ( 38/A901 U.L. DESIGN NO. U305 GA FILE NO. WP 3245	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE 1/2" R.C. CHANNEL 5 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	5 3/8"
<b>6</b>	<b>WALL TYPE</b> S.T.C. - 50 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAIL 21/A901 U.L. DESIGN NO. U305	
	2x4 STUDS @ 24" O.C. MAX ON EACH SIDE OF 2x6 PLATE, STAGGERED 12" O.C. (ALT. 16" O.C. @ 8" O.C.) 5/8" GYPSUM BOARD EACH SIDE (2) LAYERS 3 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	4 3/4"
<b>7</b>	<b>WALL TYPE</b> S.T.C. 40-44 + 5 + 5 = 54 MAX SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAILS 23, 24 ( 34/A901 U.L. DESIGN NO. U340 GA FILE NO. WP 3380	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE	4 3/4"
<b>8</b>	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING) U.L. DESIGN NO.	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE	4 3/4"
<b>9</b>	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING) U.L. DESIGN NO.	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE 3 1/2" SOUND INSULATION	4 3/4"
<b>10</b>	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)	
	2x4 STUD @ 16" O.C. 5/8" GYPSUM BOARD EACH SIDE 5 1/2" SOUND INSULATION	4 3/4"
<b>11</b>	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)	

NOTE: REVIEW STRUCTURAL PLANS FOR SHEAR WALLS WHICH MAY HAVE ADDITIONAL CORNER WALLS ALLOW FOR REQUIRED BLOCKING WHEN FRAMING AND INSTALLING PLUMBING ROUGHINGS. NON-SYMMETRICAL WALLS WITH STUD CHANNELS WILL BE ON THE CORRIDOR SIDE UNLESS NOTED OTHERWISE

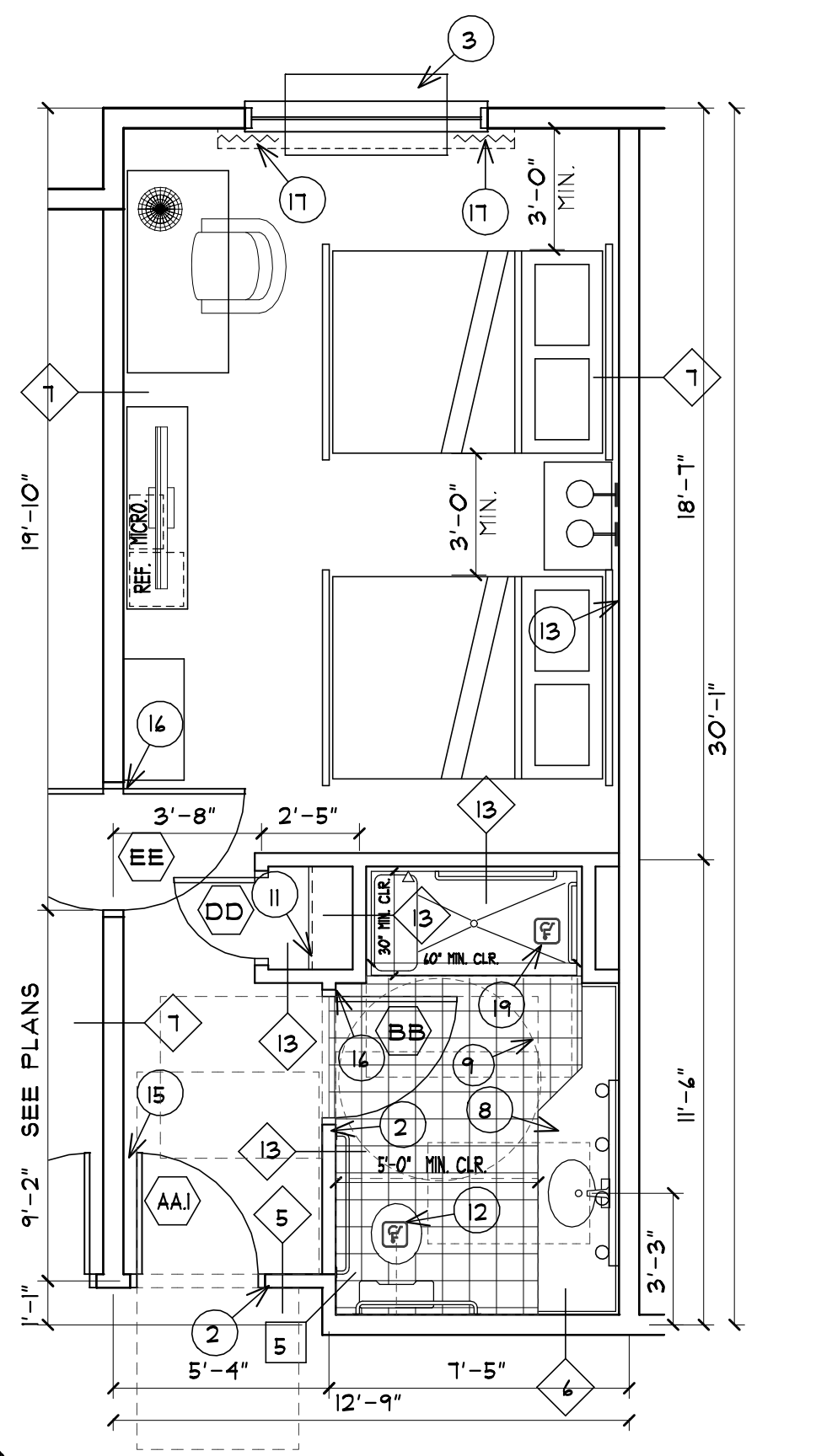
SEE PLANS FOR ALTERNATE MATERIALS ADDED TO THE WALL TYPE.



- GENERAL NOTES:**
- VERIFY ROOM FINISHES AND COLOR SELECTIONS w/ G.C./OWNER.
  - HVAC CONTRACTOR TO PROVIDE THERMOSTAT WITHIN ACCESSIBLE REACH RANGES AT ALL UNITS. SEE DET. 10/A301
  - ALL BEDROOM WINDOWS TO MEET MIN. EGRESS REQUIREMENTS.
  - UNIT FURNITURE IS SHOWN FOR BLOCKING PURPOSES ONLY. FURNITURE SUPPLIED BY OTHERS AND INSTALLED BY G.C.
  - VERIFY ALL ROUGH OPENINGS DIMENSIONS w/SHOP DRAWINGS.
  - VERIFY ALL FIXTURE & APPLIANCE REQUIREMENTS w/ OWNER.
  - VERIFY LOCATION OF ALL ELECTRICAL RECEPTACLES, CABLE TV JACKS, TELEPHONE JACK AND DATA JACKS w/ OWNER.
  - BEDROOM & LIVING ROOM TO HAVE CARPET FLOORING AND WOOD BASE. VERIFY w/ OWNER.
  - IF OPERABLE WINDOWS PROVIDED - PROVIDE WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090 OR SASH LIMITERS THAT PROVIDE AN OPENING NOT MORE THAN 4" FOR OPERABLE WINDOWS OVER 4'-0" ABOVE GRADE THAT ARE LESS THAN 36" A.F.F.
  - PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
  - ALL DOOR HARDWARE TO BE LEVER TYPE.
  - VERIFY ALL SPECIALTY EQUIPMENT w/ G.C.
  - PROVIDE BLOCKING IN ALL STUD WALLS FOR MOUNTING OF LIGHTS, TOWEL BARS, GRAB BARS, WINDOW TREATMENTS AND FURNITURE MOUNTED AGAINST WALLS. TYPICAL ALL UNITS.
  - PROVIDE ROUGH OPENING IN FRAMING FOR FUTURE 14"x14" ACCESS PANEL TO TUB IN ALL GUEST ROOM CLOSETS
  - AT GUEST UNIT PARTY WALLS, BACK TO BACK ELECTRICAL OUTLETS ARE NOT ALLOWED. A MIN OF 4" HORIZONTAL OFFSET IS REQ'D FOR ALL OUTLETS INCLUDING T.V. AND TELEPHONE.
  - ELECTRICAL WALL OUTLET HEIGHTS:
    - 18" A.F.F. - TYP. WALL OUTLET.
    - 48" A.F.F. - ACCESSIBLE WALL OUTLET.
    - 48" A.F.F. - BATHROOM VANITY OUTLET.
    - 48" A.F.F. - TYP. SWITCH.

**NUMBER NOTES**

- ROD & SHELF @ 44" A.F.F. VERIFY MATERIAL w/ OWNER.
- DOOR MUST MEET ADA MINIMUM CLEARANCES, SEE DETAIL 1/A301.
- THRU WALL PTAC UNIT, VERIFY w/ G.C.
- VANITY w/ QUARTZ TOP & SINK.
- WATER CLOSET w/ 24" TOWEL SHELF @ 5'-0" A.F.F. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE DETAILS 1, 2, 3, 4B & 1B/A301.
- 1 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
- ACCESSIBLE REFRIGERATOR. VERIFY STYLE WITH G.C. SEE DETAIL 8C/A301.
- ACCESSIBLE VANITY w/ CULTURED MARBLE TOP & SINK, SEE DETS. 4 & 5C/A301
- AREA UNDER SINK TO BE OPEN. WRAP PIPE AND FINISH WALLS AND FLOORING AS REQ'D.
- 5'-0" MINIMUM CLEAR TURNAROUND CLEARANCE REQUIRED IN THIS ROOM. SHOWN DASHED. SEE DET. 14C/A301.
- ACCESSIBLE BATH TUB WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 1 & 1C/A301. VERIFY ROUGH OPENING SIZES WITH G.C.
- ACCESSIBLE SHELF & ROD MOUNTED 48" HIGH.
- ACCESSIBLE WATER CLOSET w/ 24" TOWEL SHELF. SEE DETAILS 1-3 & 1C/A301
- FOR REQUIRED CLEARANCES & GRAB BAR REQUIREMENTS.
- PROVIDE TWO LAYERS OF GYPSUM BOARD AT HEADBOARD WALLS.
- ACCESSIBLE STAINLESS STEEL SINGLE BOWL SINK. SEE DETS. 9 & 1C/A301.
- AREA UNDER SINK TO BE OPEN. WRAP PIPE AND FINISH WALLS AND FLOORING AS REQ'D.
- WALL MOUNTED DOOR STOP.
- HINGE MOUNTED DOOR STOP.
- PROVIDE BLOCKING FOR WINDOW TREATMENTS.
- PLASTIC LAMINATE DINING COUNTER & WORK STATION w/ MULTI-MEDIA ACCESS.
- ADA COMPLIANT ROLL-IN SHOWER w/ RUBBER ROLLOVER WATER DAM. SLOPE TO DRAIN.
- PROVIDE BLOCKING FOR GRAB BARS. MAX 1/2" BEVELED TRANSITION. SEE DETAILS 13, 20C & 13C/A301
- REFRIGERATOR. SEE DET. 8B/A301
- SINGLE BOWL STAINLESS STEEL SINK. SEE DET. 10B/A301.
- UNDER COUNTER DISHWASHER. SEE DET. 10B/A301.
- 2 BURNER COOK TOP. SEE DET. 8B/A301.
- ACCESSIBLE RANGE WITH VENTLESS HOOD. SEE DETAILS 9 & 9C/A301.
- ACCESSIBLE DISHWASHER. SEE DETAIL 10C/A301.
- ACCESSIBLE WORK AREA 30" WIDE MIN. OPEN BELOW. SEE DETS. 9 & 12C/A301
- COUNTERTOP. VERIFY MATERIAL w/ OWNER.
- BATH TUB WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE DETAILS 1, 1B & 2B/A301. VERIFY ROUGH OPENING SIZE WITH G.C.
- SHOWER WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE DETS. 12 & 12B/A301.
- IF SHOWER DEPTH EXCEEDS 36" CLEAR. THEN BLOCKING FOR FUTURE SEAT NOT REQ'D. VERIFY ROUGH OPENING SIZE w/ G.C.
- 34" HIGH COUNTERTOP TO MEET ADA ACCESSIBILITY CODES.
- 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
- HALF WALL VERIFY HEIGHT AND FINISH MATERIALS w/ OWNER.
- GYPSUM BOARD BULKHEAD ABOVE SHOWN DASHED. BOTTOM OF BULKHEAD AT 4'-8".
- FLOOR MOUNTED DOOR STOP.



PROPOSED:  
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GENERAL CONTRACTOR:  
**DCD CONTRACTING**

REVISIONS COMMENTS

Project No. 23050  
Issue Date: October 4th, 2023  
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A201

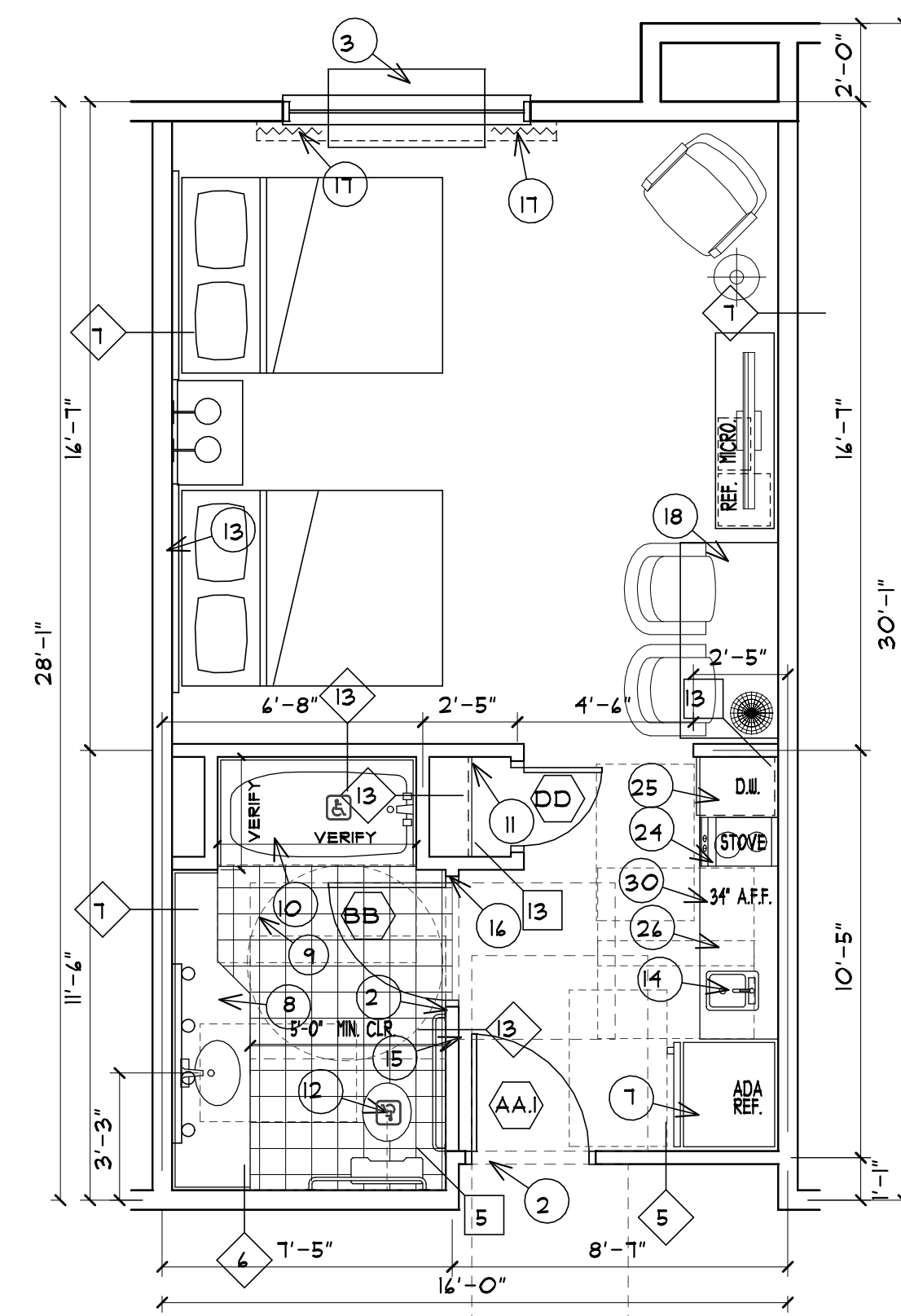
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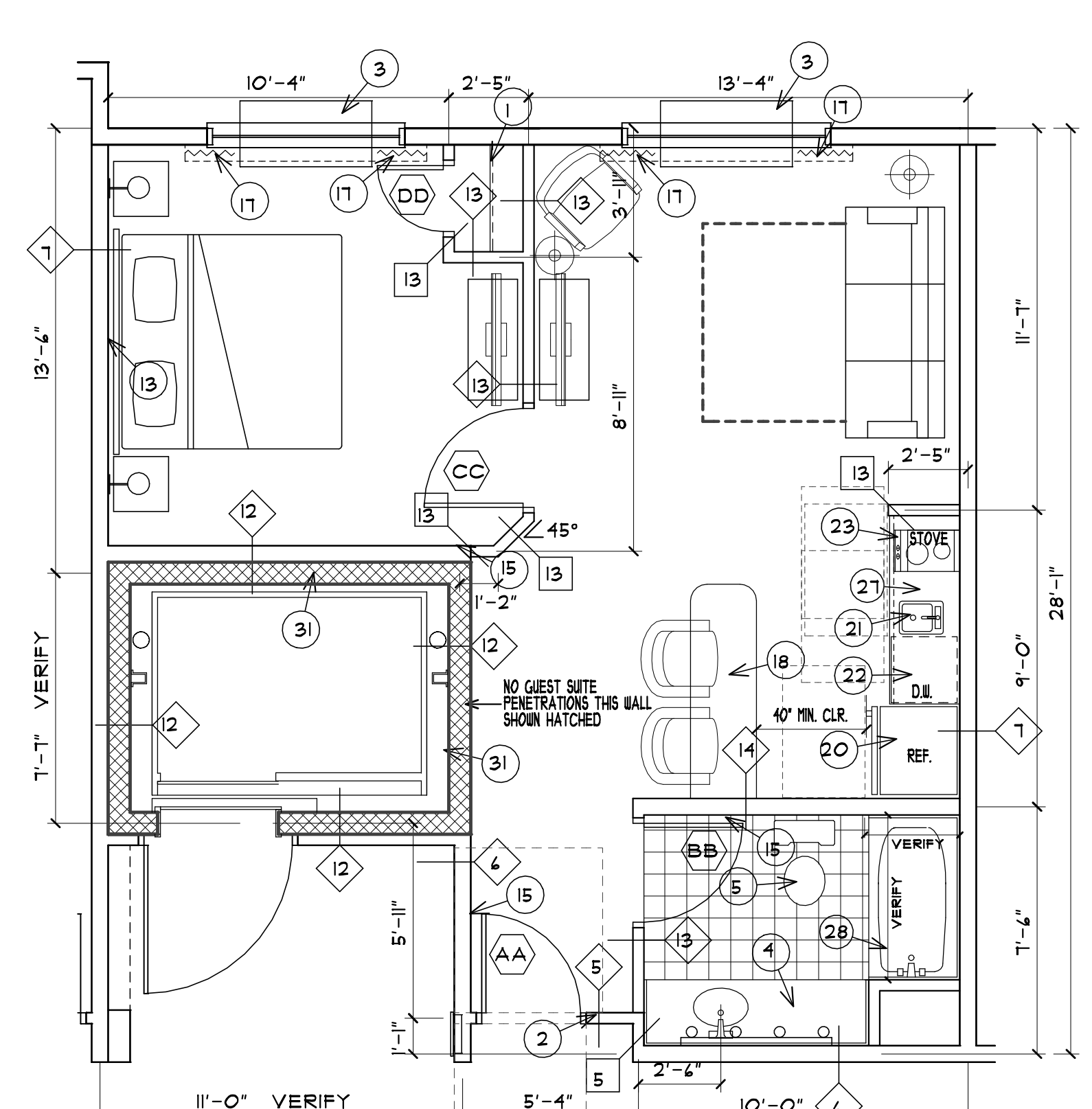
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE 3 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	1 3/4"
<b>3</b>	<b>WALL TYPE</b> S.T.C. 40 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAILS 21 1/34/A901 U.L. DESIGN NO. U305 GA FILE NO. WP 3444	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE 5 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	3 3/4"
<b>4</b>	<b>WALL TYPE</b> S.T.C. - 40 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAIL 21/A901 U.L. DESIGN NO. U305	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE 1/2" R.C. CHANNEL 3 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	5 3/8"
<b>5</b>	<b>WALL TYPE</b> S.T.C. 50 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAILS 21 1/38/A901 U.L. DESIGN NO. U305 GA FILE NO. WP 3443	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE 1/2" R.C. CHANNEL 5 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD	1 3/8"
<b>6</b>	<b>WALL TYPE</b> S.T.C. - 50 SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAIL 21/A901 U.L. DESIGN NO. U305	
	2x4 STUDS @ 24" O.C. MAX. ON EACH SIDE OF 2x4 PLATE, STAGGERED 12" O.C. (ALT.: 14" OC @ 8" OC) 5/8" GYPSUM BOARD EACH SIDE (2) LAYERS 3 1/2" SOUND INSULATION SEE U.L. DETAIL SHEET FOR FASTENERS, SPACING AND TYPE OF GYPSUM BOARD NOTE: SEE STRUCT. PLANS FOR REDUCED SPACING AS REQ'D FOR SHEAR	3 3/4"
<b>7</b>	<b>WALL TYPE</b> S.T.C. 40-44 + 5 + 5 = 54 MAX SCALE: 1/2"=1'-0" RATING - 1 HOUR (LOAD BEARING) SEE DETAIL 31/A901 U.L. DESIGN NO. U340 GA FILE NO. WP 3380	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE	4 3/4"
<b>13</b>	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING) U.L. DESIGN NO.	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE	6 3/4"
<b>14</b>	<b>WALL TYPE</b> S.T.C. - 35 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING) U.L. DESIGN NO.	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE 3 1/2" SOUND INSULATION	4 3/4"
<b>15</b>	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)	
	2x4 STUD @ 14" O.C. 5/8" GYPSUM BOARD EACH SIDE 5 1/2" SOUND INSULATION	6 3/4"
<b>16</b>	<b>WALL TYPE</b> S.T.C. 40 SCALE: 3/4"=1'-0" RATING - NONE (LOAD BEARING)	

SEE PLANS FOR ALTERNATE MATERIALS ADDED TO THE WALL TYPE.

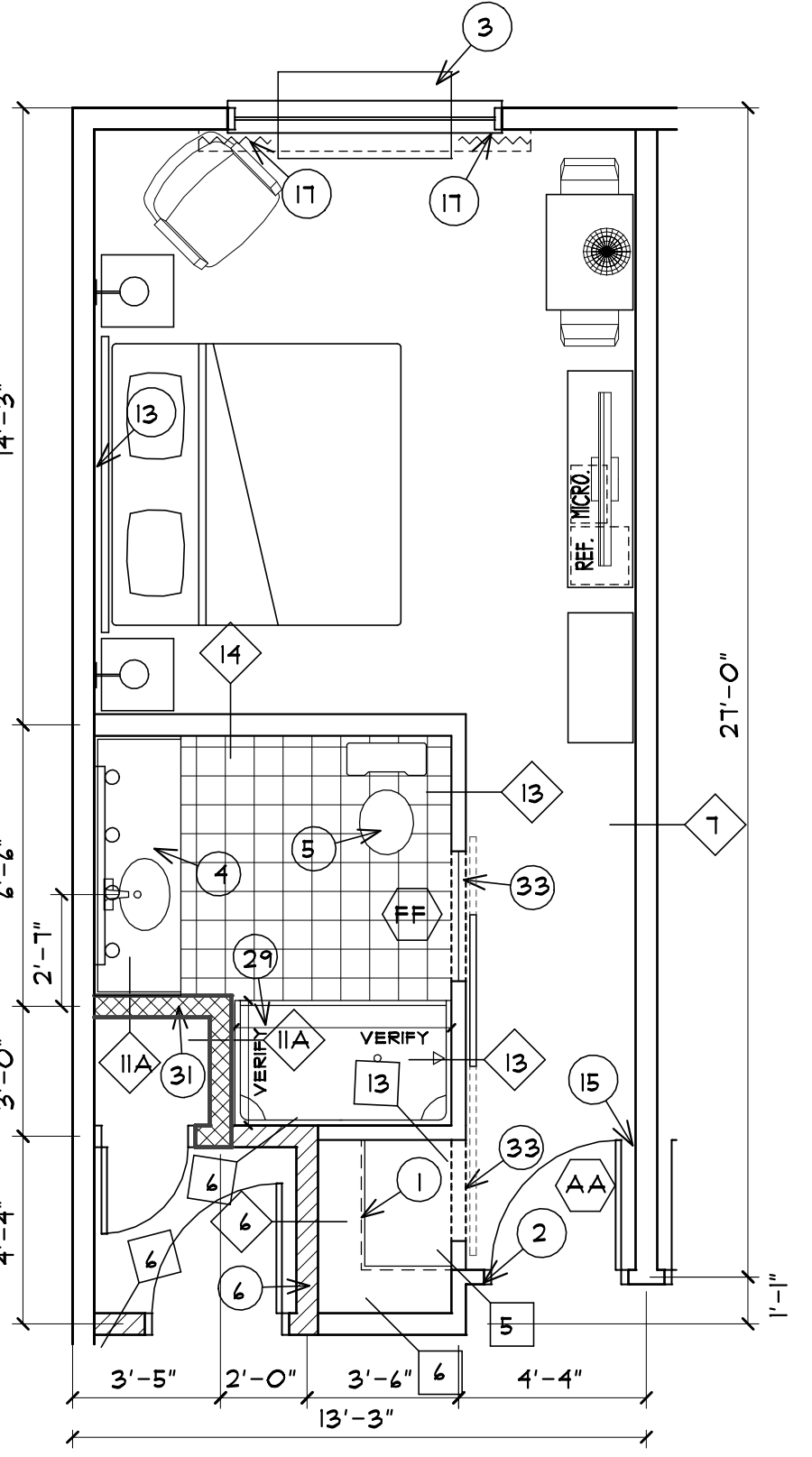
NOTE: REVIEW STRUCTURAL PLANS FOR SHEAR WALLS WHICH MAY HAVE ADDITIONAL BLOCKING WALLS FOR REQUIRED STIFFNESS. VERIFY FRAMING AND INSTALLING BLOCKING THROUGH NON-SYMETRIC WALLS. THE STUDS ON EACH SIDE OF THE EXTERIOR SIDE UNLESS NOTED OTHERWISE.



**UNIT "E" EXTENDED STAY STUDIO**  
SCALE: 1/4" = 1'-0" TYPE ACCESSIBLE (4) TOTAL



**UNIT "F" EXTENDED STAY - TYPE "B"**  
SCALE: 1/4" = 1'-0" (3) TOTAL



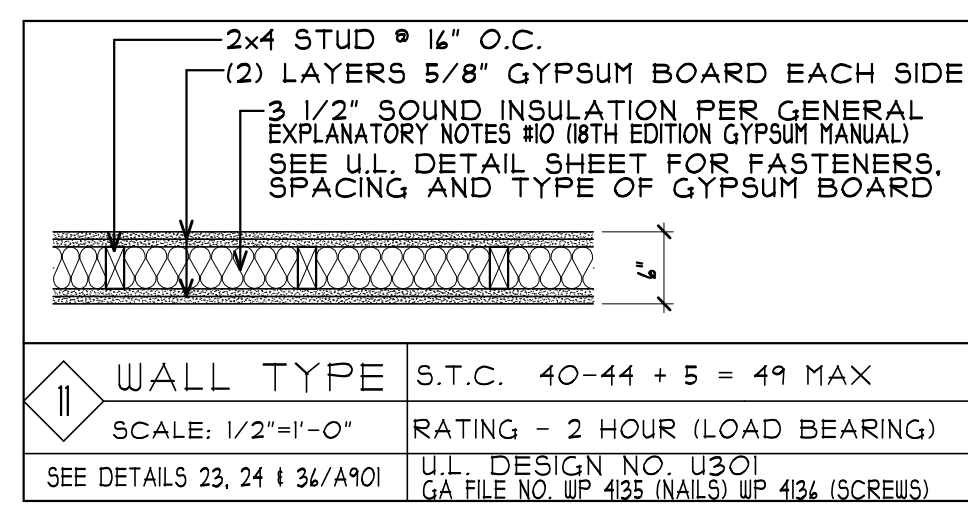
**UNIT "G" TRANSIENT SINGLE KING**  
SCALE: 1/4" = 1'-0" (3) TOTAL

**GENERAL NOTES:**

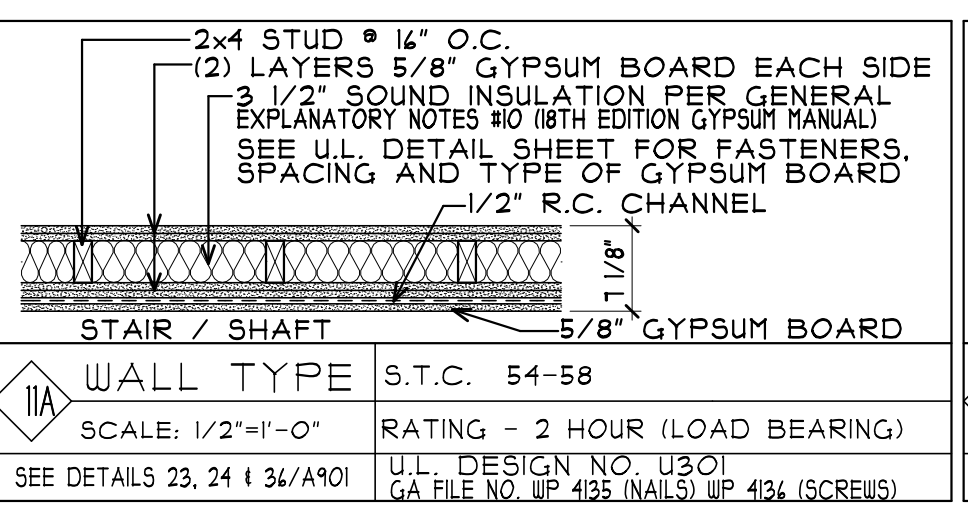
- A) VERIFY ROOM FINISHES AND COLOR SELECTIONS w/ G.C./OWNER.
- B) HVAC CONTRACTOR TO PROVIDE THERMOSTAT WITHIN ACCESSIBLE REACH RANGES AT ALL UNITS. SEE DET. 10/A301
- C) ALL BEDROOM WINDOWS TO MEET MIN. EGRESS REQUIREMENTS.
- D) UNIT FURNITURE IS SHOWN FOR BLOCKING PURPOSES ONLY. FURNITURE SUPPLIED BY OTHERS AND INSTALLED BY G.C.
- E) VERIFY ALL ROUGH OPENINGS DIMENSIONS w/SHOP DRAWINGS.
- F) VERIFY ALL FIXTURE & APPLIANCE REQUIREMENTS w/ OWNER.
- G) VERIFY LOCATION OF ALL ELECTRICAL RECEPTACLES, CABLE TV JACKS, TELEPHONE JACK AND DATA JACKS w/ OWNER.
- H) BEDROOM & LIVING ROOM TO HAVE CARPET FLOORING AND WOOD BASES. VERIFY w/ OWNER.
- I) IF OPERABLE WINDOWS PROVIDED - PROVIDE WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090 OR SASH LIMITERS THAT PROVIDE AN OPENING NOT MORE THAN 4" FOR OPERABLE WINDOWS OVER 4'-0" ABOVE GRADE THAT ARE LESS THAN 34" A.F.F.
- J) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- K) ALL DOOR HARDWARE TO BE LEVER TYPE.
- L) VERIFY ALL SPECIALTY EQUIPMENT w/ G.C.
- M) PROVIDE BLOCKING IN ALL STUD WALLS FOR MOUNTING OF LIGHTS, TOILET BARS, GRAB BARS, WINDOW TREATMENTS AND FURNITURE MOUNTED AGAINST WALLS. TYPICAL ALL UNITS.
- N) PROVIDE ROUGH OPENING IN FRAMING FOR FUTURE 14"x14" ACCESS PANEL TO TUB IN ALL GUEST ROOM CLOSETS
- O) AT GUEST UNIT PARTY WALLS, BACK TO BACK ELECTRICAL OUTLETS ARE NOT ALLOWED. A MIN OF 4" HORIZONTAL OFFSET IS REQ'D FOR ALL OUTLETS INCLUDING T.V. AND TELEPHONE.
- P) ELECTRICAL WALL OUTLET HEIGHTS:
  - 18" A.F.F. - TYP. WALL OUTLET.
  - 18" A.F.F. - TYP. ACCESSIBLE WALL OUTLET.
  - 48" A.F.F. - TYP. VANITY OUTLET.
  - 48" A.F.F. - TYP. SWITCH.

**NUMBER NOTES**

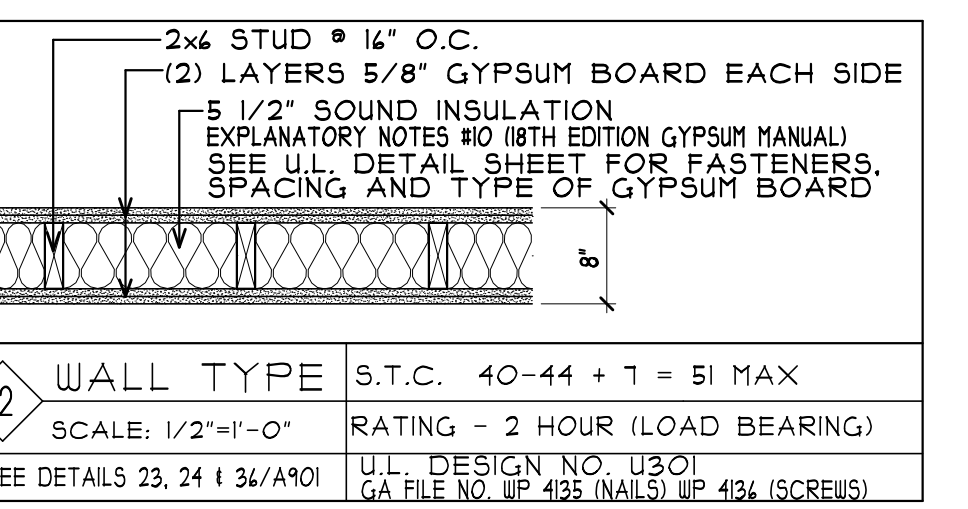
- 1. ROD & SHELF @ 44" A.F.F. VERIFY MATERIAL w/ OWNER.
- 2. DOOR MUST MEET ADA MINIMUM CLEARANCES. SEE DETAIL 1/A301.
- 3. THRU WALL PTAC UNIT. VERIFY w/ G.C.
- 4. VANITY w/ QUARTZ TOP & SINK.
- 5. WATER CLOSET w/ 24" TOILET SHELF @ 5'-0" A.F.F. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE DETAILS 1, 2, 3, 4B & 1B/A301.
- 6. 1 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.
- 7. ACCESSIBLE REFRIGERATOR. VERIFY STYLE WITH G.C. SEE DETAIL 8C/A301.
- 8. ACCESSIBLE VANITY w/ CULTURED MARBLE TOP & SINK. SEE DETS. 4 & 1C/A301.
- 9. AREA UNDER SINK TO BE OPEN. WRAP PIPE AND FINISH WALLS AND FLOORING AS REQ'D.
- 10. 5'-0" MINIMUM CLEAR TURNAROUND CLEARANCE REQUIRED IN THIS ROOM. SHOWN DASHED. SEE DET. 10C/A301.
- 11. ACCESSIBLE BATH TUB WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR GRAB BARS. SEE DETAILS 11 & 1C/A301. VERIFY ROUGH OPENING SIZES WITH G.C.
- 12. ACCESSIBLE SHELF & ROD MOUNTED 48" HIGH.
- 13. ACCESSIBLE WATER CLOSET w/ 24" TOILET SHELF. SEE DETAILS 1-3 & 1C/A301.
- 14. FOR REQUIRED CLEARANCES & GRAB BAR REQUIREMENTS.
- 15. PROVIDE TWO LAYERS OF GYPSUM BOARD AT HEADBOARD WALLS.
- 16. ACCESSIBLE STAINLESS STEEL BOWL SINK. SEE DETS. 9 & 1C/A301.
- 17. AREA UNDER SINK TO BE OPEN. WRAP PIPE AND FINISH WALLS AND FLOORING AS REQ'D.
- 18. WALL MOUNTED DOOR STOP.
- 19. HINGE MOUNTED DOOR STOP.
- 20. PROVIDE BLOCKING FOR WINDOW TREATMENTS.
- 21. PLASTIC LAMINATE DINING COUNTER & WORK STATION.
- 22. ADA COMPLIANT ROLL-IN SHOWER w/ RUBBER ROLLOVER WATER DAM. SLOPE TO DRAIN.
- 23. PROVIDE BLOCKING FOR GRAB BARS. MAX 1/2" BEVELED TRANSITION. SEE DETAILS 13, 20C & 13C/A301.
- 24. REFRIGERATOR. SEE DET. 8B/A301.
- 25. SINGLE BOWL STAINLESS STEEL SINK. SEE DET. 11B/A301.
- 26. UNDER COUNTER DISHWASHER. SEE DET. 10B/A301.
- 27. 2 BURNER COOK TOP. SEE DET. 11A/A301.
- 28. ACCESSIBLE RANGE WITH VENTLESS HOOD. SEE DETAILS 9 & 1C/A301.
- 29. ACCESSIBLE DISHWASHER. SEE DETAIL 10C/A301.
- 30. ACCESSIBLE WORK AREA 30" WIDE MIN. OPEN BELOW. SEE DETS. 9 & 1C/A301.
- 31. COUNTERTOP. VERIFY MATERIAL w/ OWNER.
- 32. BATH TUB WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE DETAILS 11, 1B & 2B/A301. VERIFY ROUGH OPENING SIZE WITH G.C.
- 33. SHOWER WITH FIBERGLASS SURROUND. PROVIDE BLOCKING FOR FUTURE GRAB BARS. SEE DETS. 12 & 1B/A301.
- 34. SHOWER DEPTH EXCEEDS 36" CLEAR. THEN BLOCKING FOR FUTURE SEAT NOT REQ'D. VERIFY ROUGH OPENING SIZE w/ G.C.
- 35. 34" HIGH COUNTERTOP TO MEET ADA ACCESSIBILITY CODES.
- 36. 2 HOUR RATED FIRE BARRIER WALL FROM TOP OF FIRST FLOOR SLAB OR DECK BELOW TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE NO MECHANICAL, ELECTRICAL OR PLUMBING ALLOWED WITHIN THE WALL.
- 37. HALF WALL. VERIFY HEIGHT AND FINISH MATERIALS w/ OWNER.
- 38. GYPSUM BOARD BULKHEAD ABOVE SHOWN DASHED. BOTTOM OF BULKHEAD AT 4'-8".
- 39. FLOOR MOUNTED DOOR STOP.



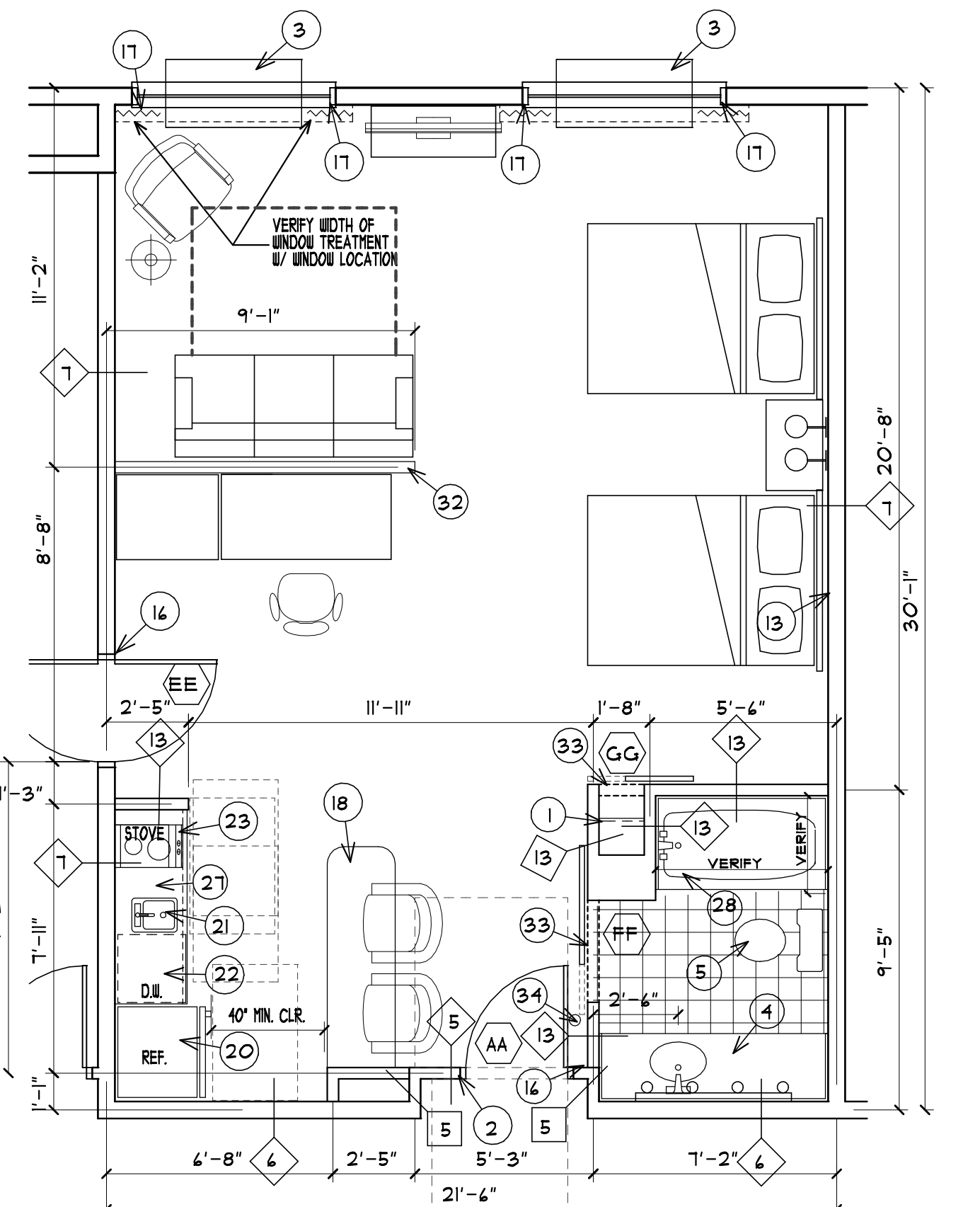
**11 WALL TYPE** S.T.C. 40-44 + 5 = 49 MAX  
SCALE: 1/2"=1'-0" RATING - 2 HOUR (LOAD BEARING)  
U.L. DESIGN NO. U301  
GA FILE NO. WP 435 (MAILS) WP 4134 (SCREWS)



**11A WALL TYPE** S.T.C. 54-58  
SCALE: 1/2"=1'-0" RATING - 2 HOUR (LOAD BEARING)  
U.L. DESIGN NO. U301  
GA FILE NO. WP 435 (MAILS) WP 4134 (SCREWS)



**12 WALL TYPE** S.T.C. 40-44 + 1 = 51 MAX  
SCALE: 1/2"=1'-0" RATING - 2 HOUR (LOAD BEARING)  
U.L. DESIGN NO. U301  
GA FILE NO. WP 435 (MAILS) WP 4134 (SCREWS)



**UNIT "H" EXTENDED STAY - TYPE "B"**  
SCALE: 1/4" = 1'-0" (5) TOTAL

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**PROPOSED:**  
**GRANDSTAY HOTEL & SUITES**  
KAUKAUNA, WI

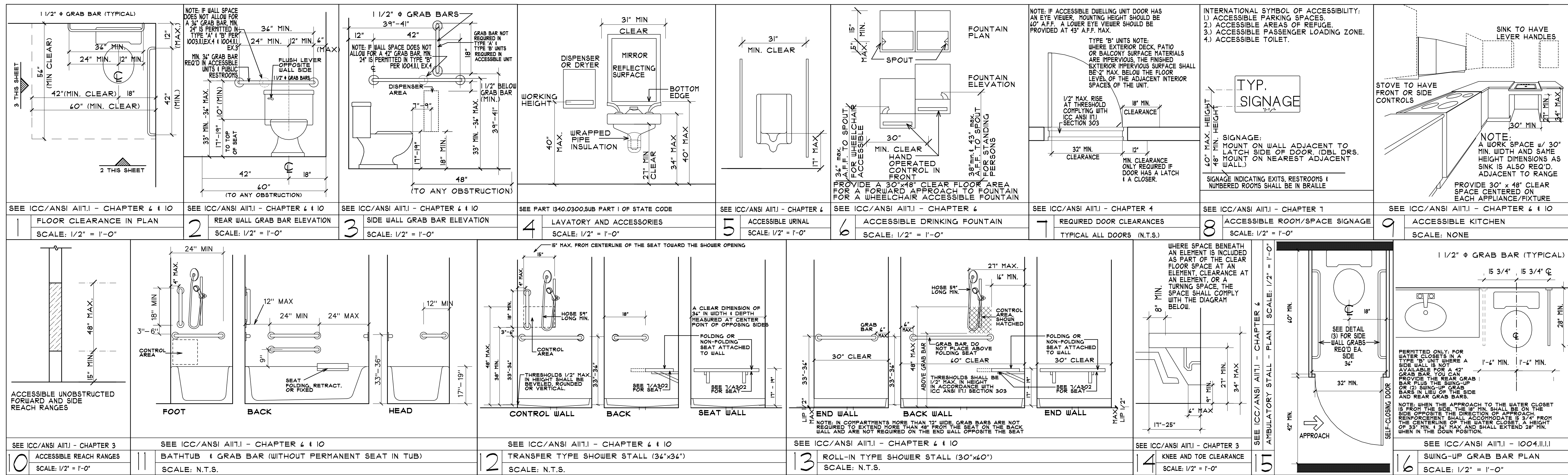
**GENERAL CONTRACTOR:**  
**DCD CONTRACTING**

**REVISIONS COMMENTS**

Project No. 23050  
Issue Date: October 4th, 2023  
Document Set: 90% BID SET

**A202**

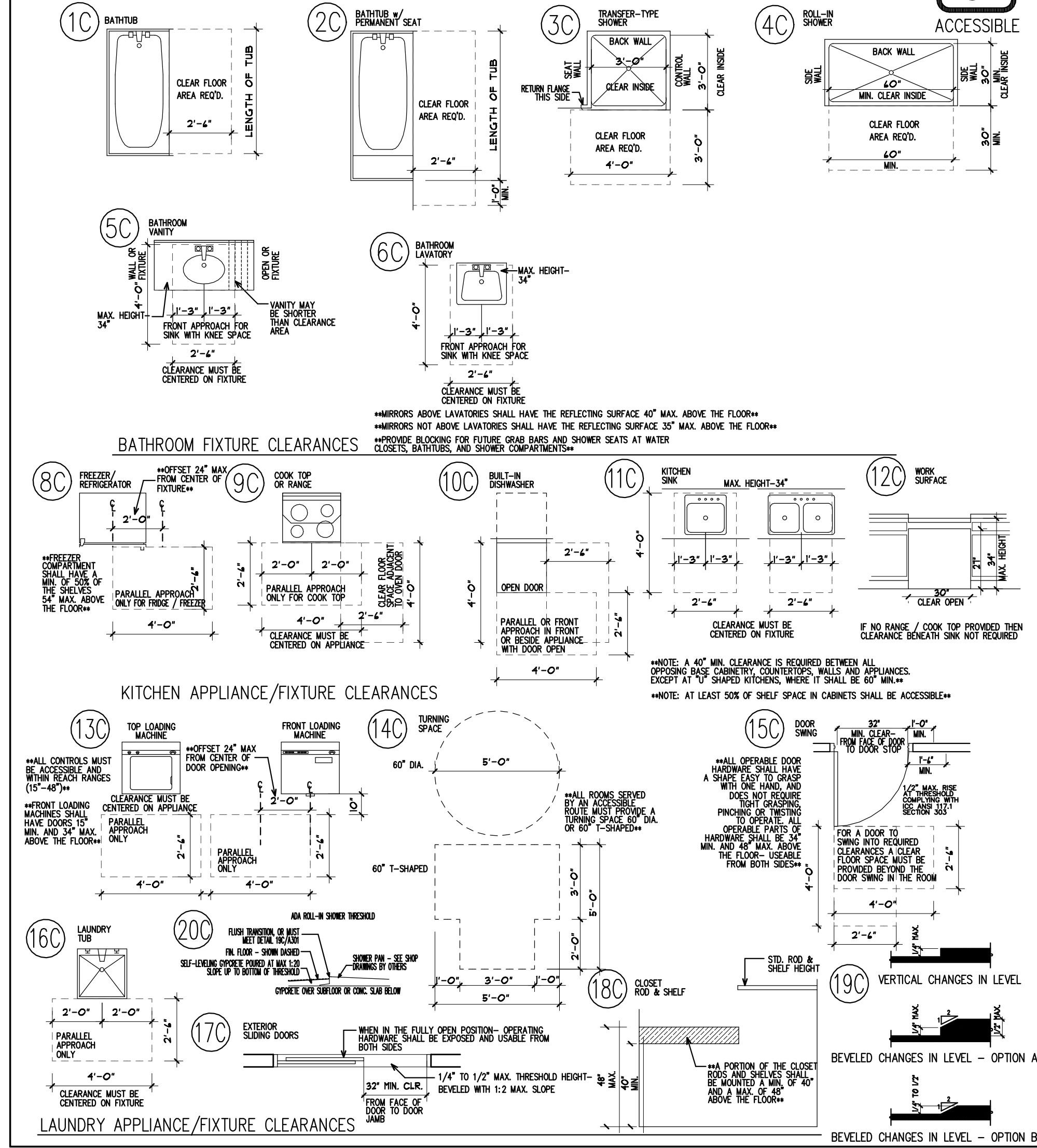
PLotted: 10-06-23 FILE: 230500 COM: 5



WHEN REQUIRED: INDEPENDENT SENIOR LIVING I-1, CON. 1: 4% OF UNITS  
 MULTI-FAMILY APARTMENT R-2: ALL COMMON AREAS (PUBLIC RESTROOMS, KITCHENS, ETC.)  
 HOTEL R-1: ALL COMMON AREAS + "X" AMOUNT OF UNITS: 1-25 UNITS = 1 ACC. UNIT, 26-50 UNITS = 2 ACC. UNITS, 51-75 UNITS = 3 ACC. UNITS, ETC.

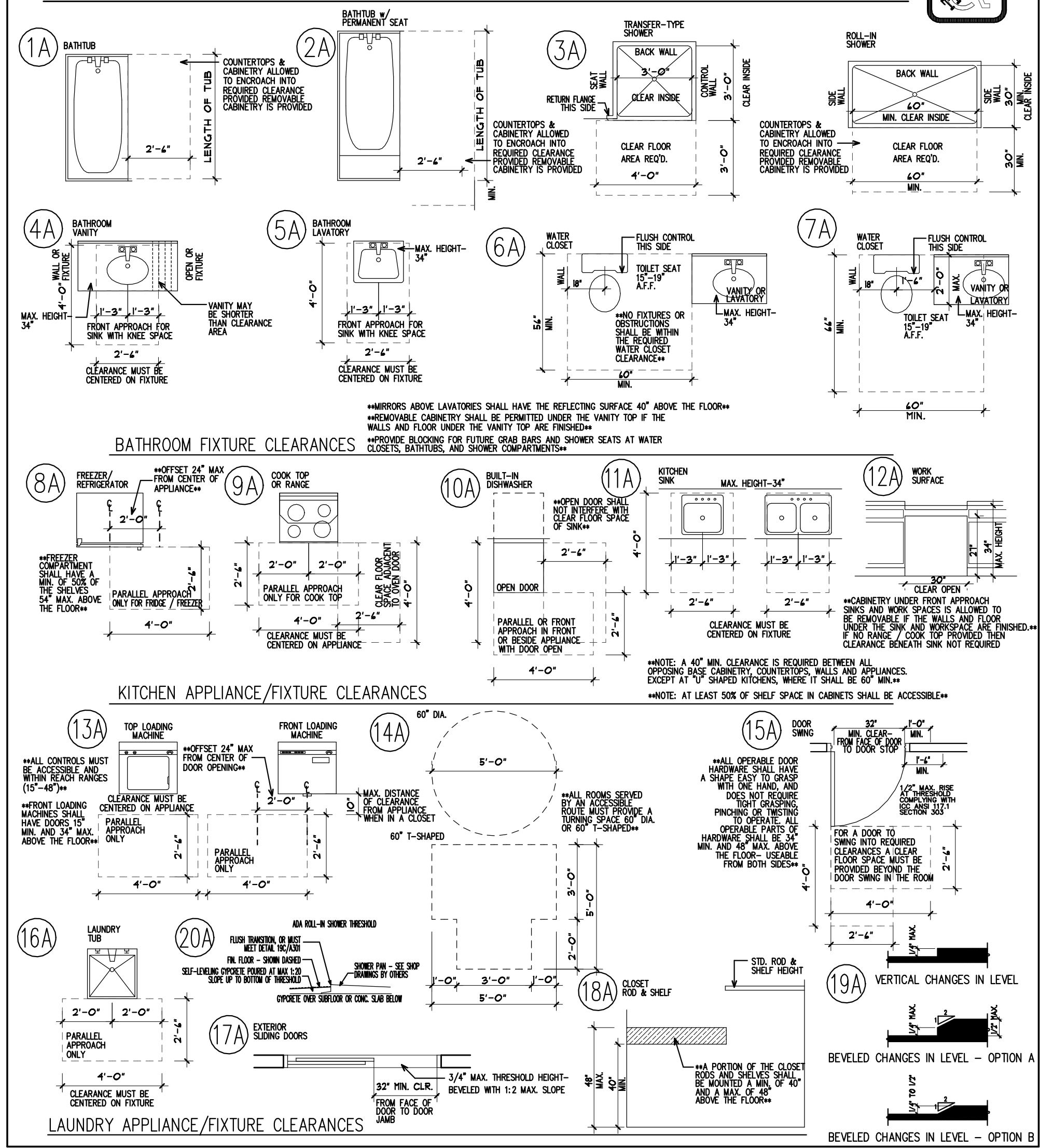
ASSISTED LIVING I-1, CON. 2: 10% OF UNITS  
 MEMORY CARE I-2, CON. 1: 50% OF UNITS

# ACCESSIBLE CLEARANCES



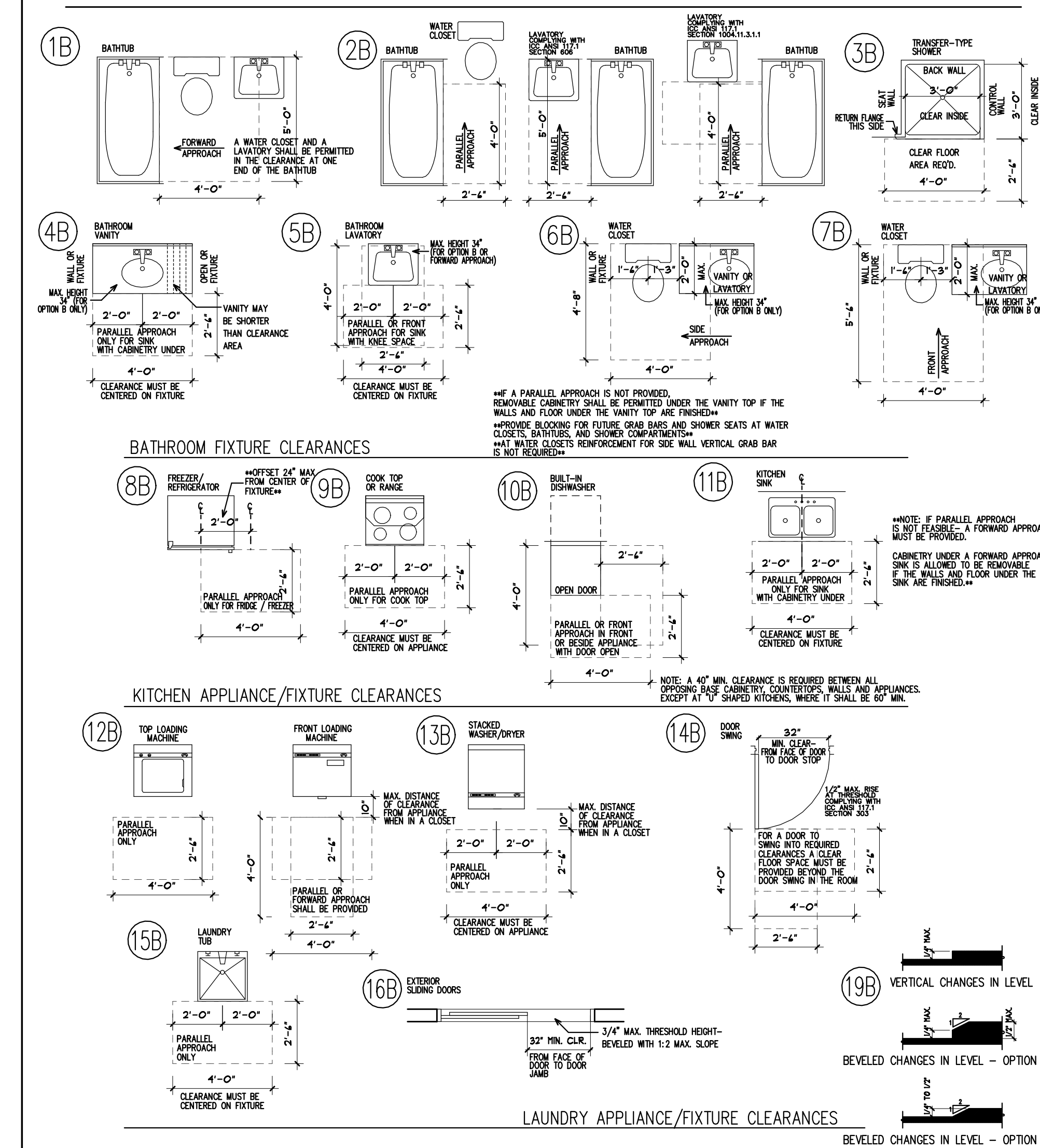
WHEN REQUIRED: MULTI-FAMILY APARTMENT R-2 (BUILDING CODE): 2% OF UNITS

# TYPE "A" UNIT CLEARANCES (ADAPTABLE)



WHEN REQUIRED: ALL REMAINING UNITS THAT ARE NOT "ACCESSIBLE" OR "TYPE A", ARE REQUIRED TO BE "TYPE B" (SEMI-ADAPTABLE)

# TYPE "B" UNIT CLEARANCES (SEMI-ADAPTABLE)



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DAVID MACHYZAK ARCHITECT  
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 (507) 338-1111  
 www.davidmachyzak.com

These documents are not valid for building permit unless signed in ink or by digital signature. Copies are not valid. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the state of WISCONSIN. Name: DAVID MACHYZAK

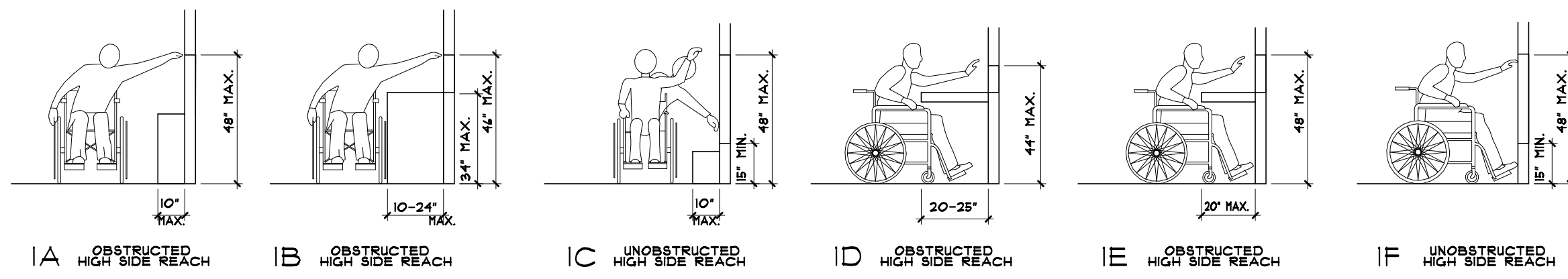
GENERAL CONTRACTOR: DCD CONTRACTING

PROPOSED: GRANDSTAY HOTEL & SUITES KAUKAUNA, WI

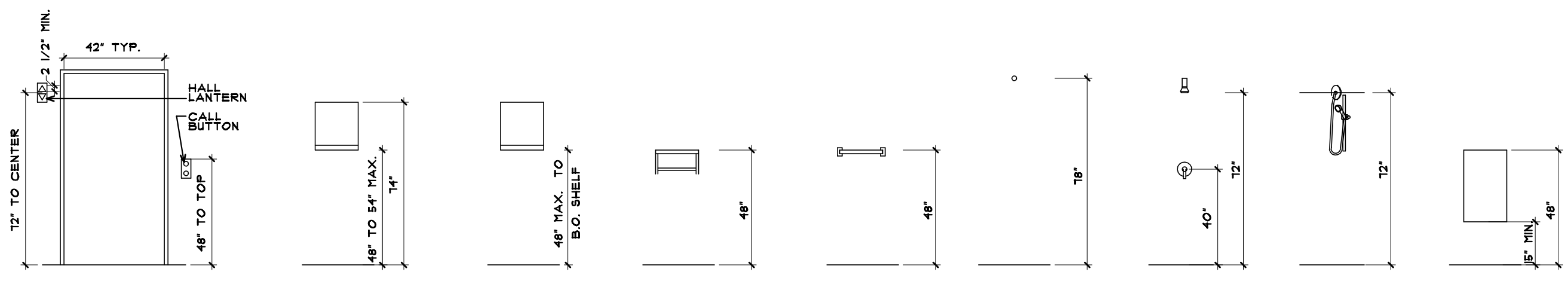
Project No. 23050  
 Issue Date: October 6th, 2023  
 Document Set: 10% BID SET

PLOTTED: 10-6-23 FILE: 230505A.DWG 5. UPDATE: 08-30-23

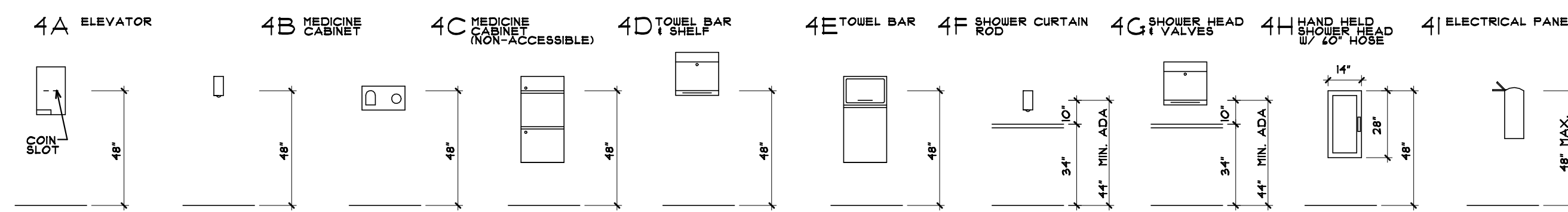
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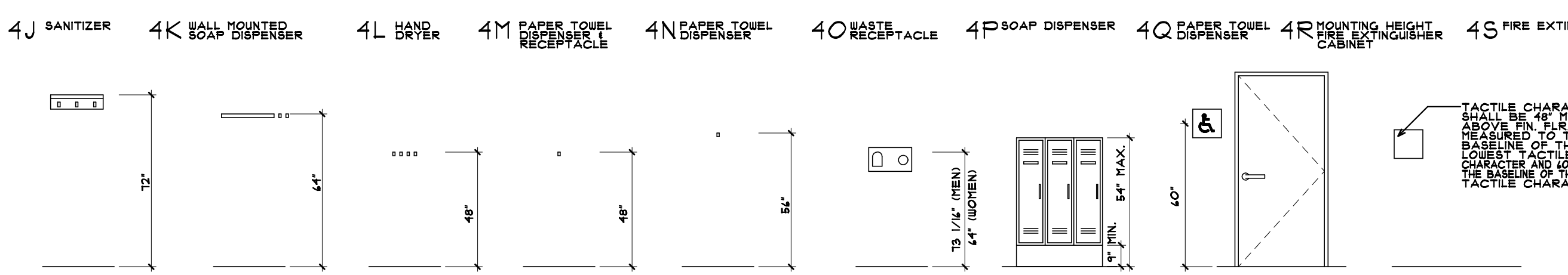
1 ACCESSIBLE REACH RANGES  
SCALE: 1/4" = 1'-0"



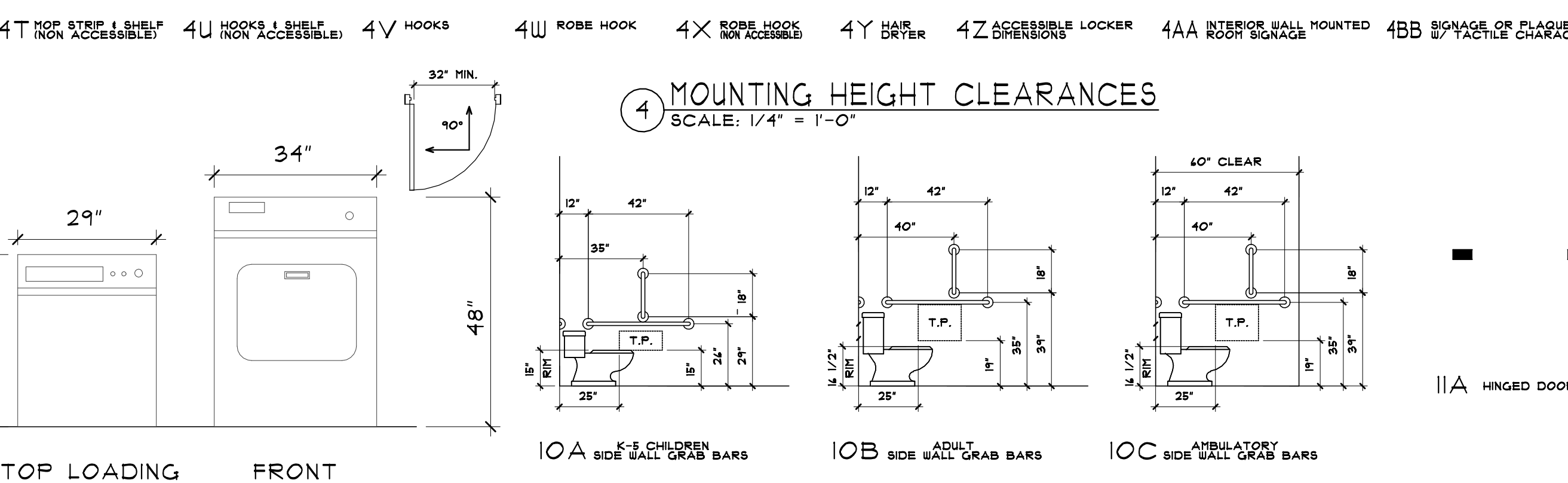
2 ACCESSIBLE TRAVEL CLEARANCES  
SCALE: 1/4" = 1'-0"



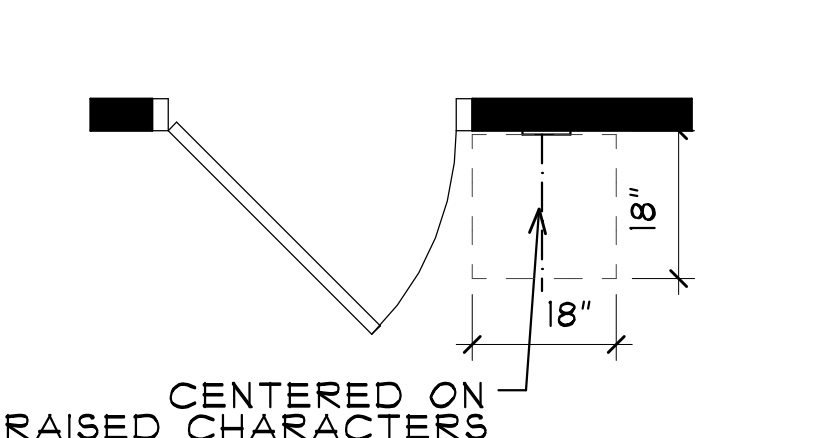
3 HANDRAIL CLEARANCES  
SCALE: 1/4" = 1'-0"



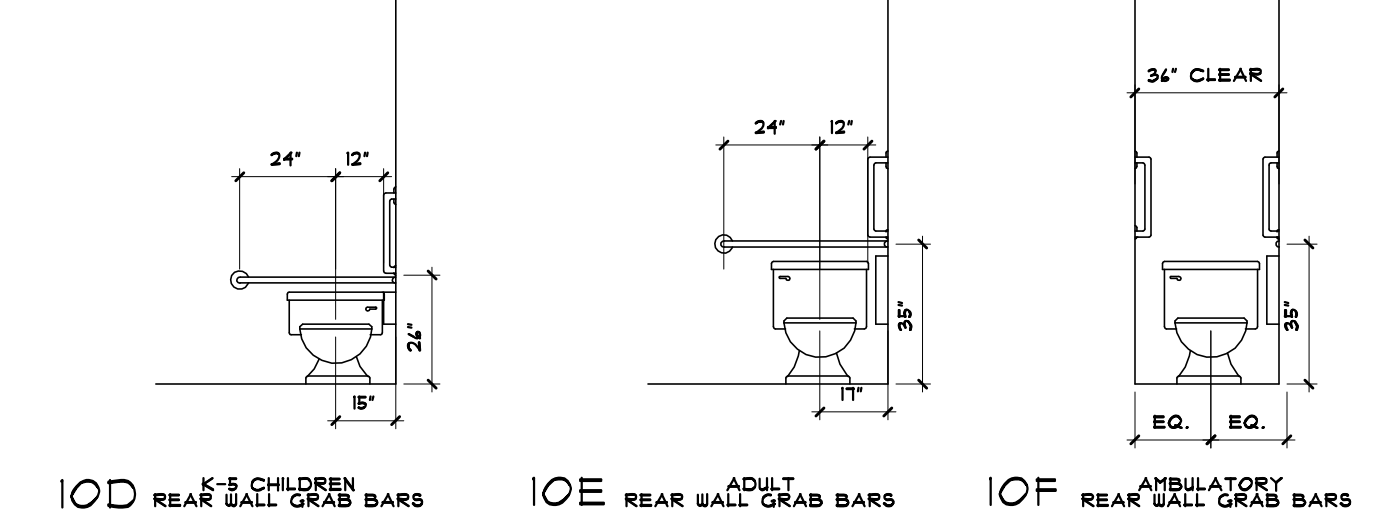
4 MOUNTING HEIGHT CLEARANCES  
SCALE: 1/4" = 1'-0"



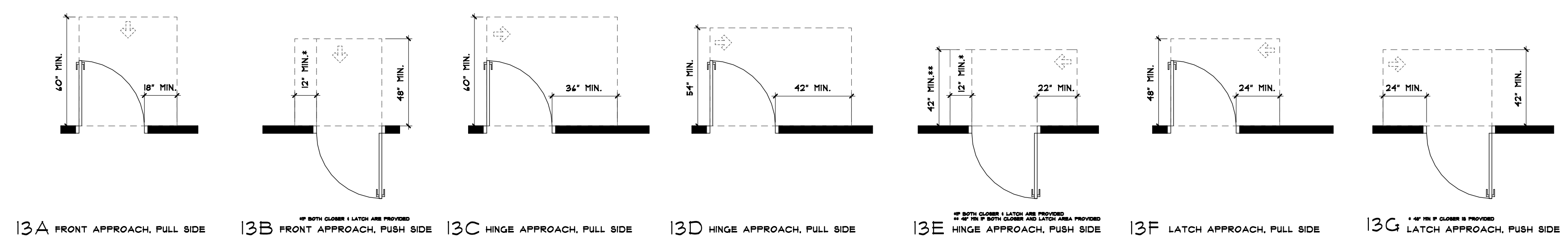
8 HEIGHT OF LAUNDRY  
SCALE: 1/2" = 1'-0"



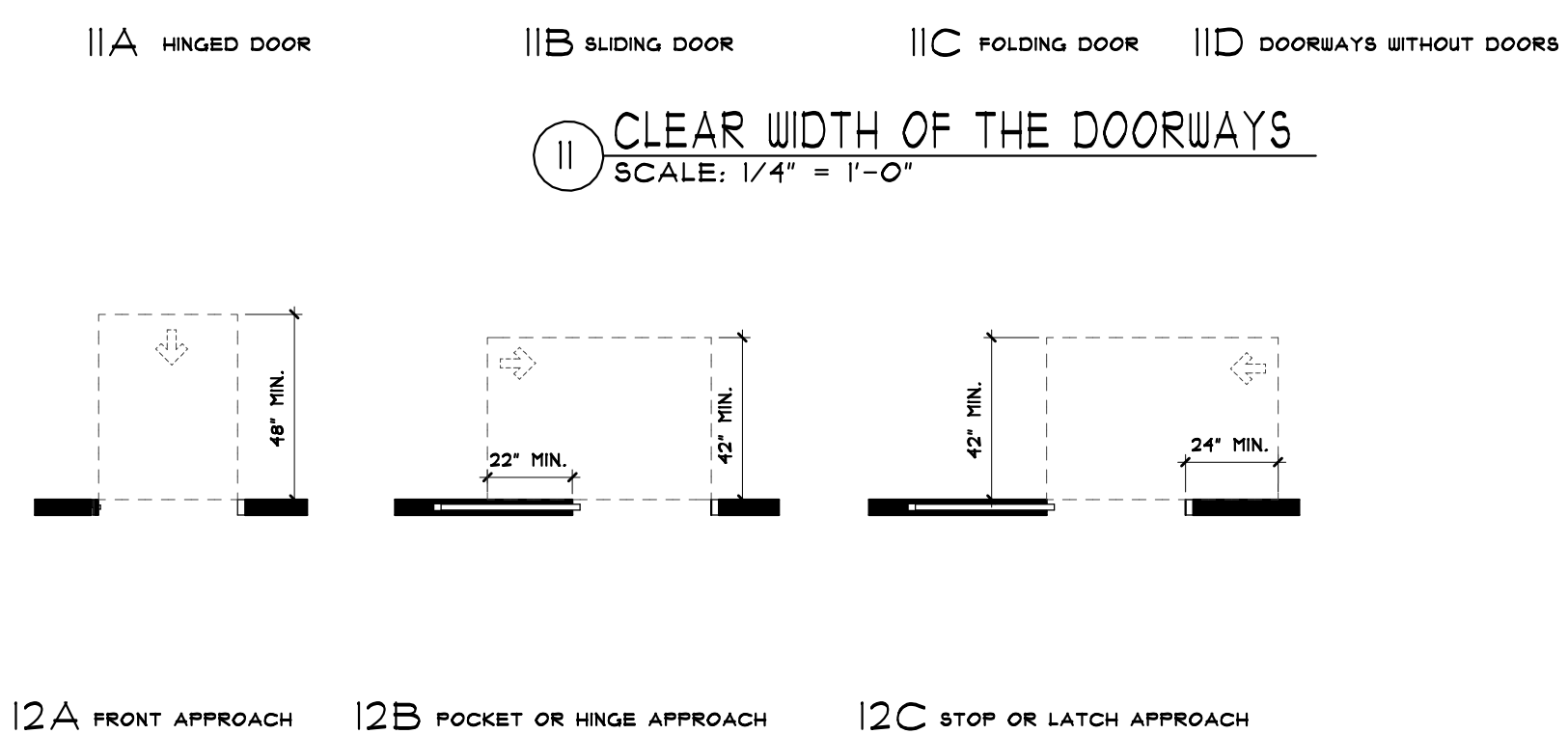
10 GRAB BAR CLEARANCES  
SCALE: 1/4" = 1'-0"



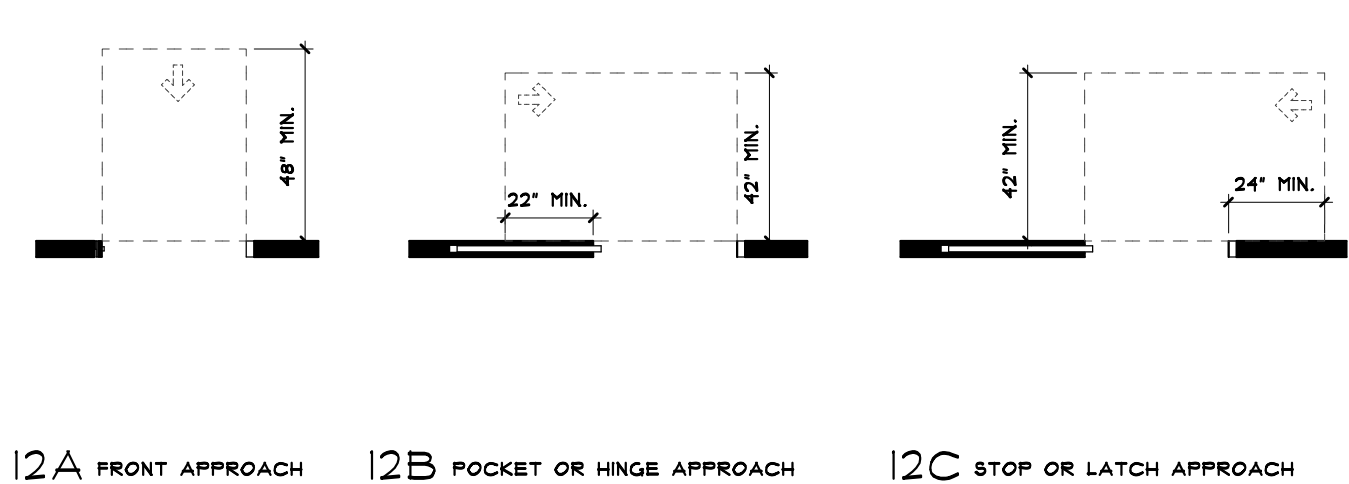
13 MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS  
SCALE: 1/4" = 1'-0"



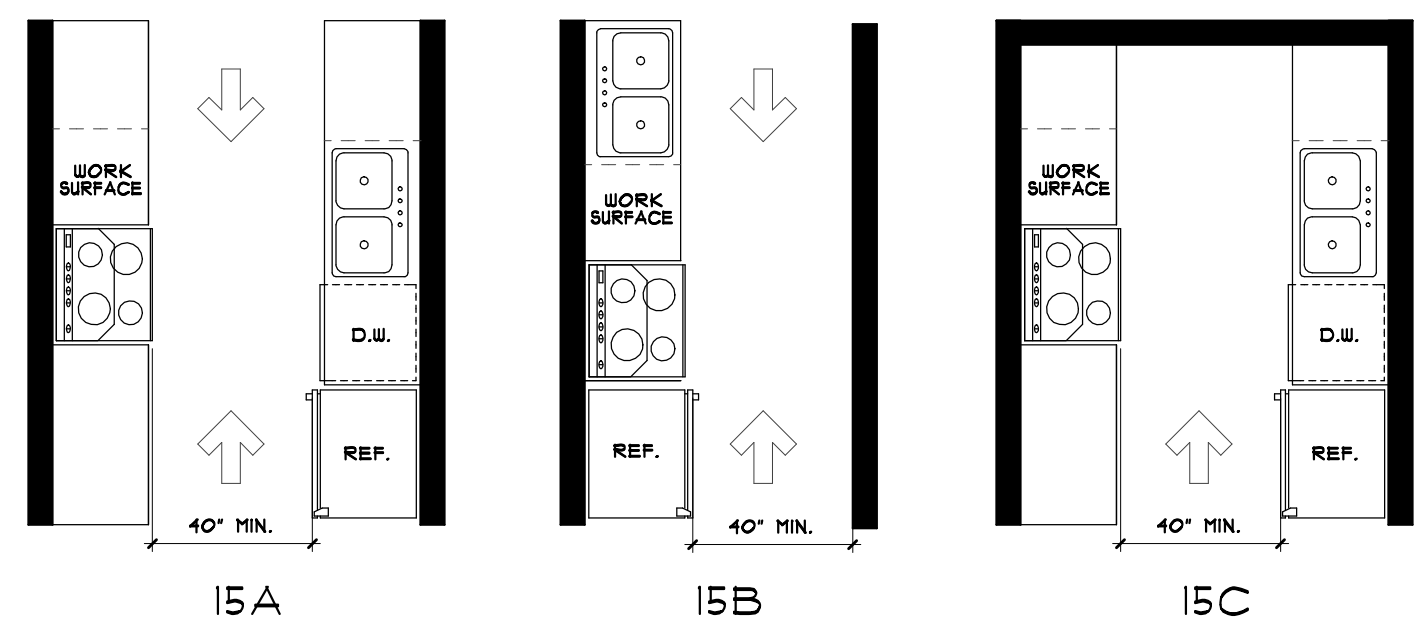
11 CLEAR WIDTH OF THE DOORWAYS  
SCALE: 1/4" = 1'-0"



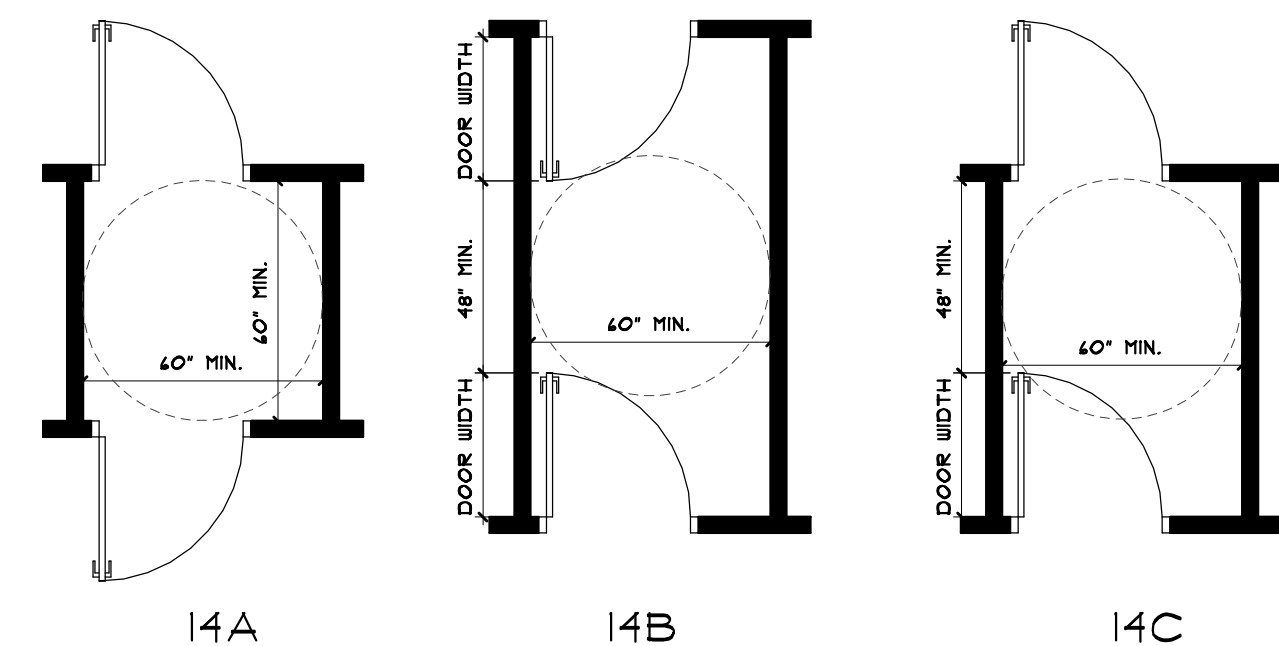
12 MANEUVERING CLEARANCE AT SLIDING AND FOLDING DOORS  
SCALE: 1/4" = 1'-0"



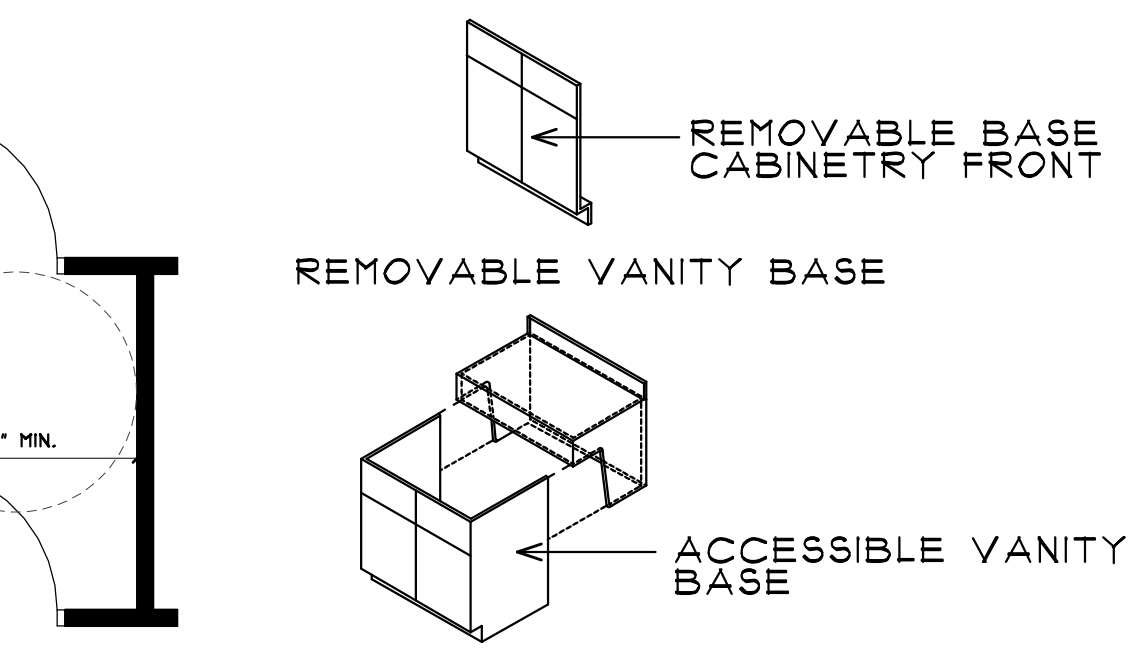
15 KITCHEN CLEARANCES  
SCALE: 1/4" = 1'-0"



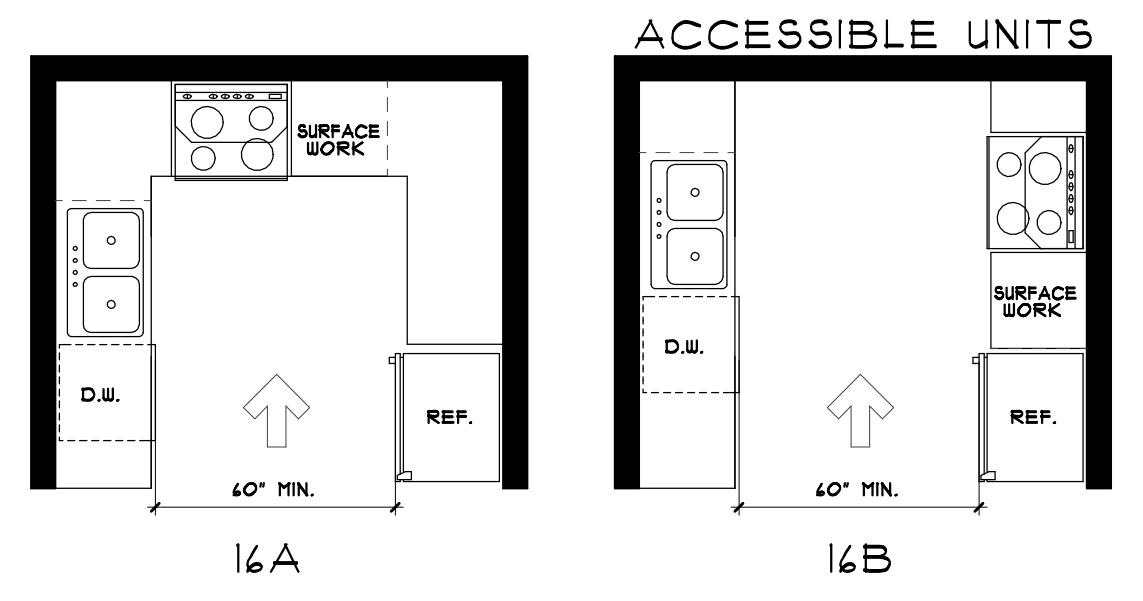
14 TWO DOORS IN A SERIES  
SCALE: 1/4" = 1'-0"



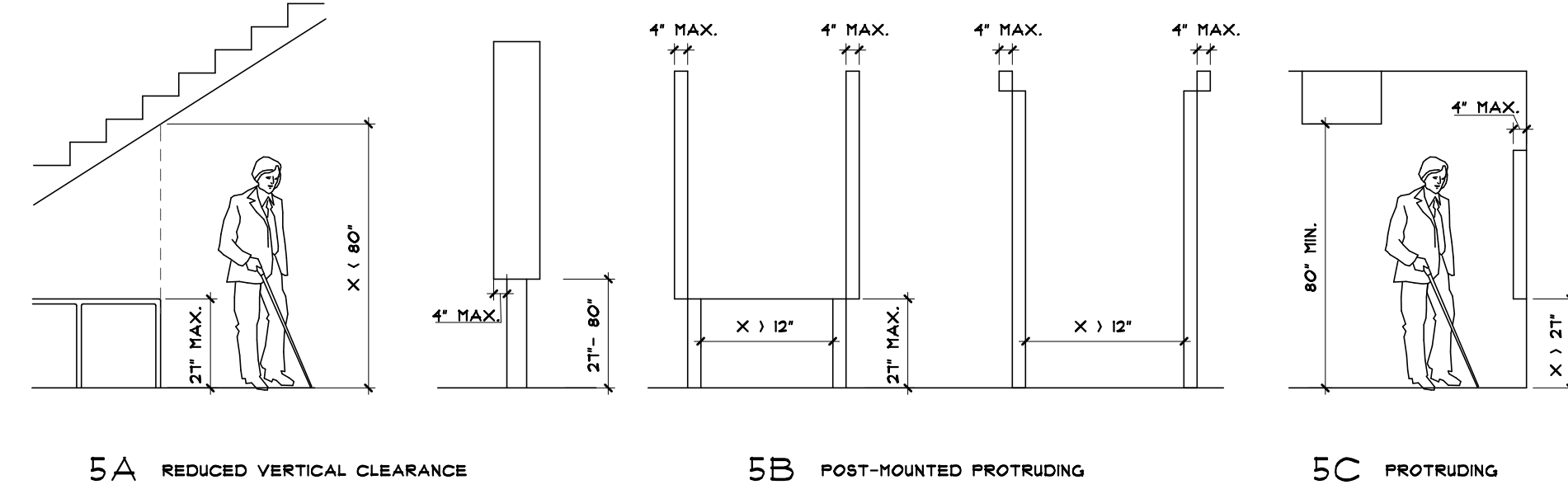
17 ACCESSIBLE VANITY BASE  
SCALE: 1/2" = 1'-0"



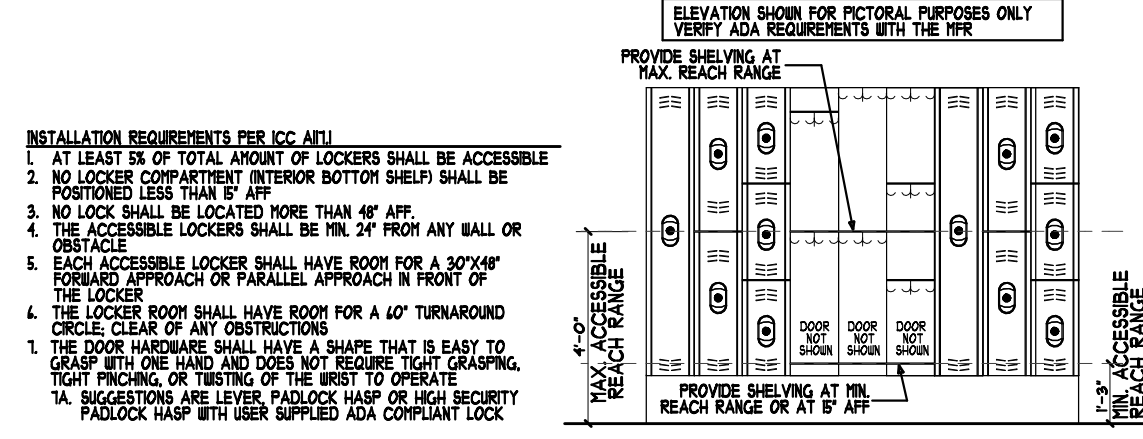
16 U-SHAPED KITCHEN CLEARANCE  
SCALE: 1/4" = 1'-0"



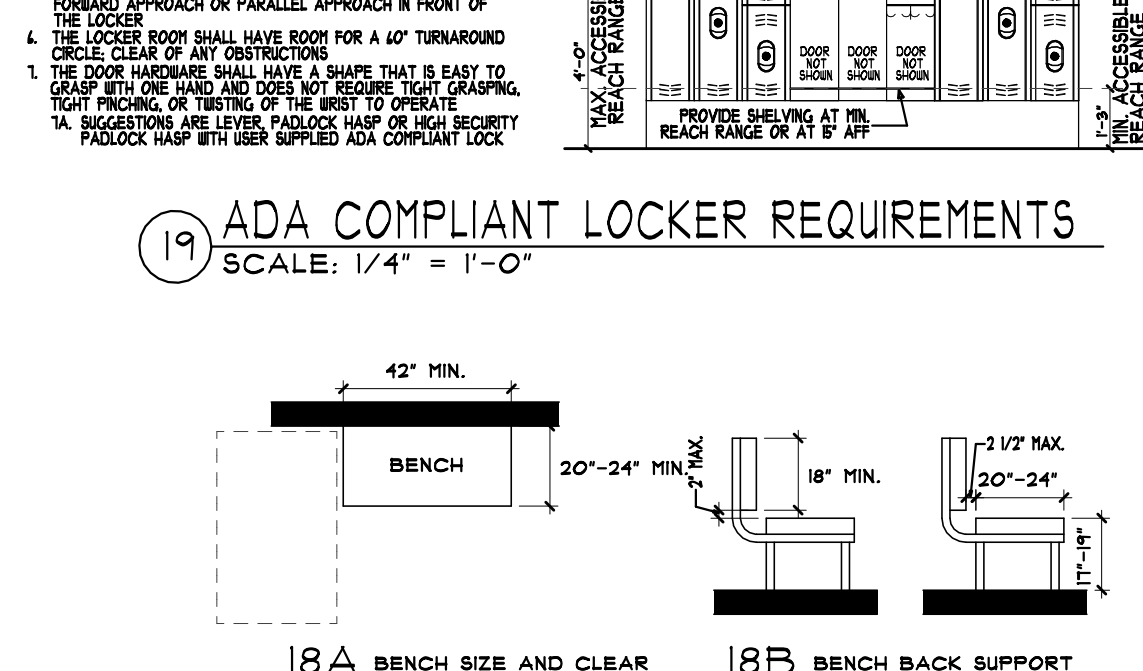
5 PROTRUDING CLEARANCES  
SCALE: 1/4" = 1'-0"



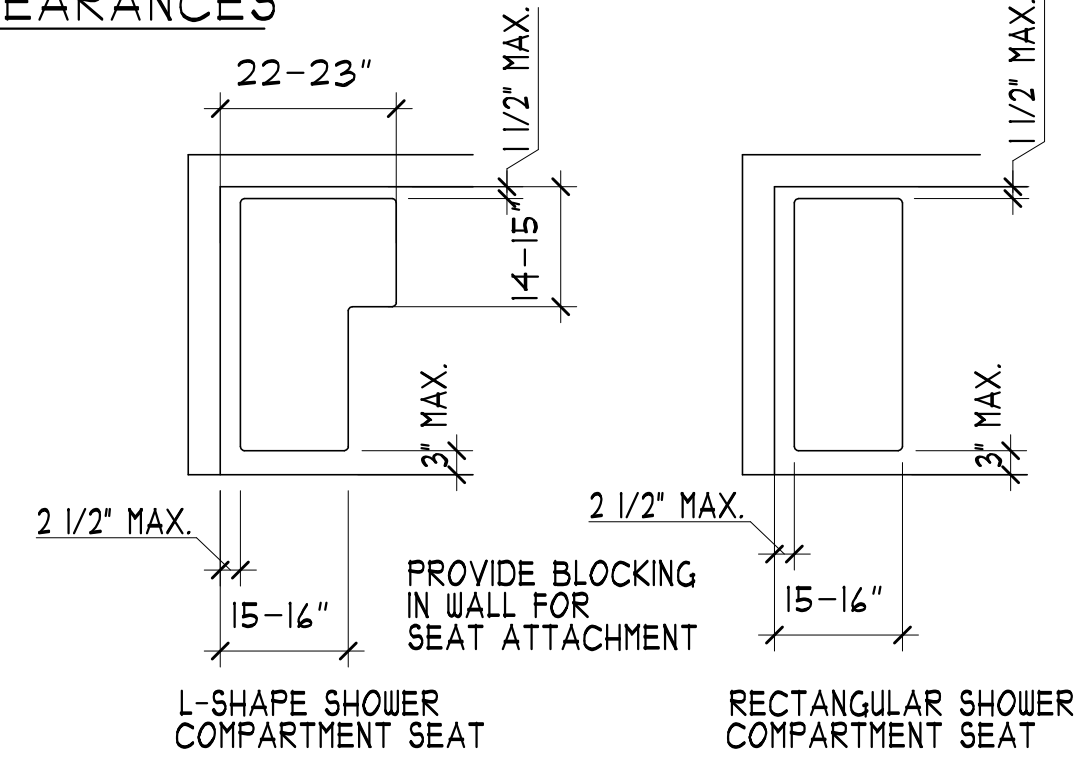
19 ADA COMPLIANT LOCKER REQUIREMENTS  
SCALE: 1/4" = 1'-0"



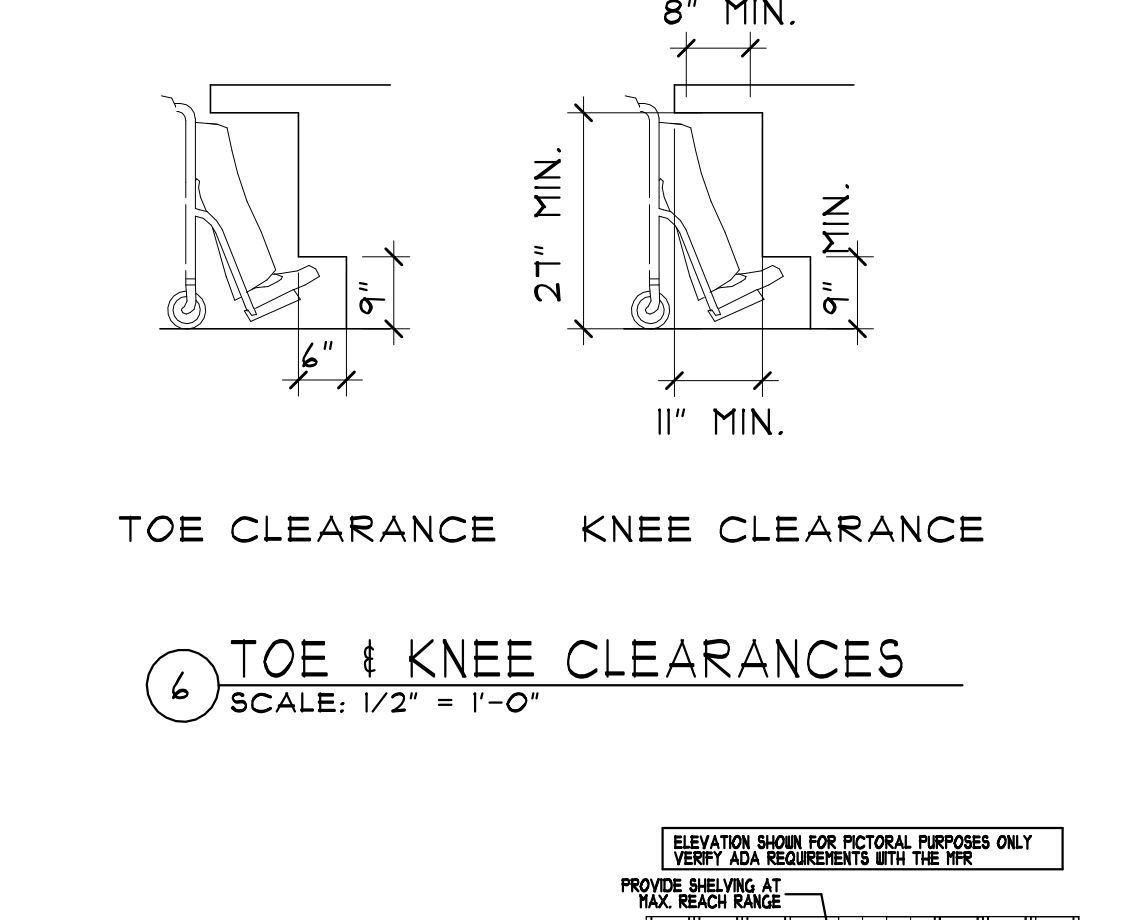
18 BENCHES - AREA, SIZE AND HEIGHT  
SCALE: 1/4" = 1'-0"



7 SHOWER SEAT CLEARANCES  
SCALE: 1/2" = 1'-0"



6 TOE & KNEE CLEARANCES  
SCALE: 1/2" = 1'-0"



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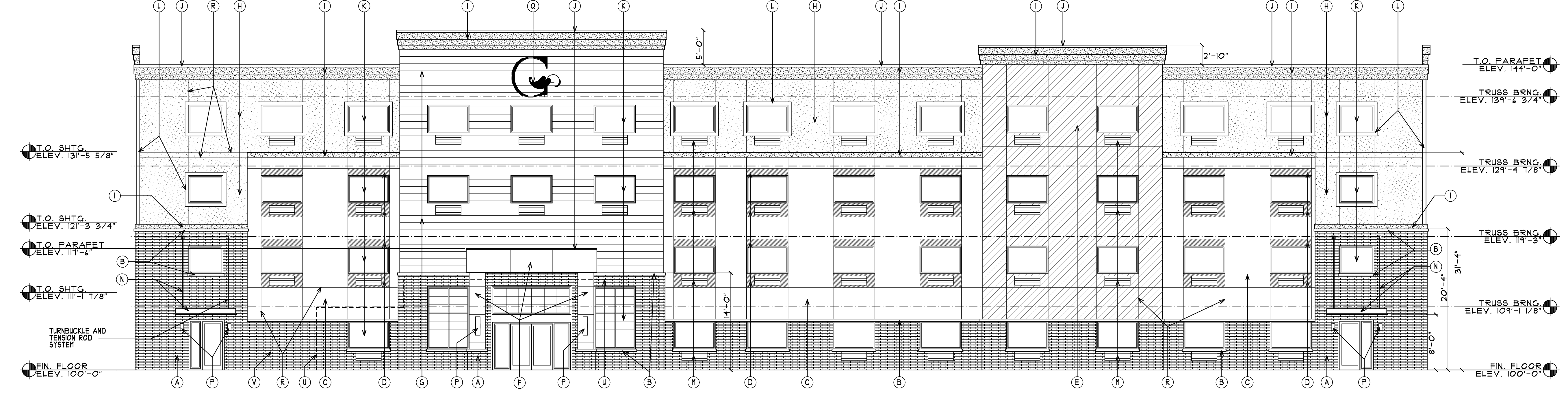
PROPOSED:  
**GRANDSTAY HOTEL & SUITES**  
KAUKAUNA, WI

GENERAL CONTRACTOR:  
**DCP CONTRACTING**

PLOTTED: 10-6-23 FILE: 23050ADA COM: 5 UPDATE: 08-30-23  
Project No. 23050  
Issue Date: October 6th, 2023  
Document Set: 90% BID SET

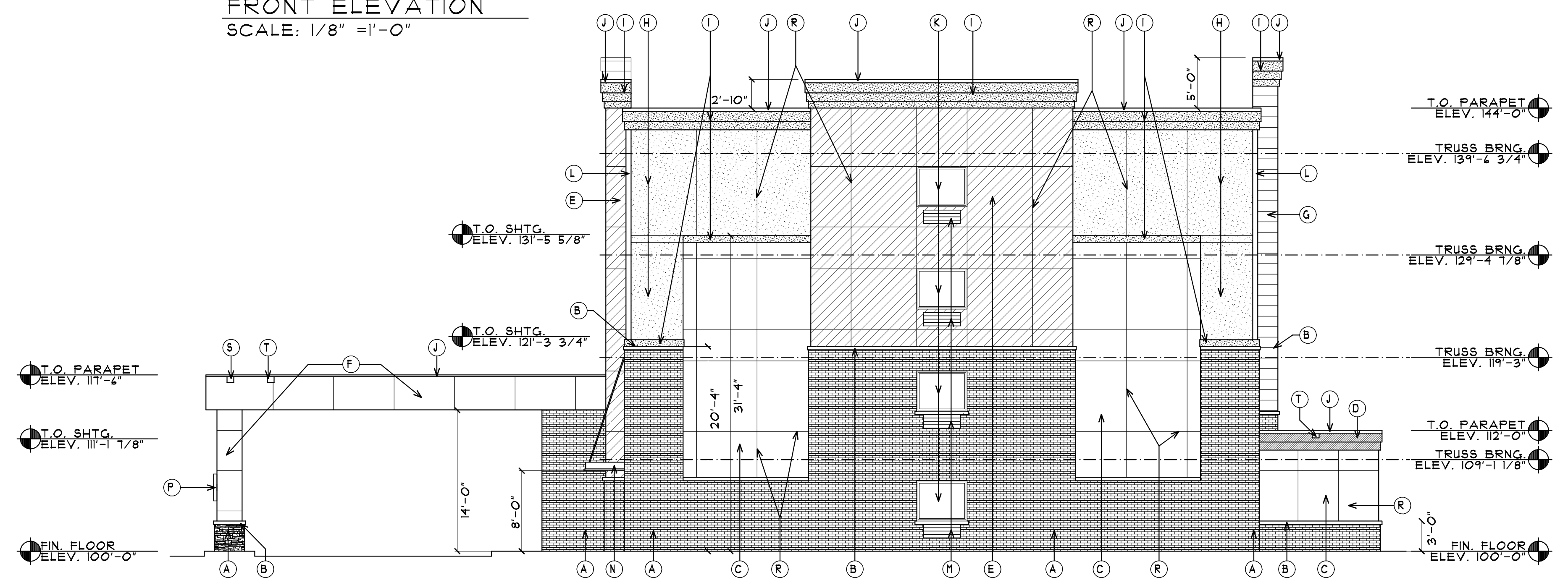
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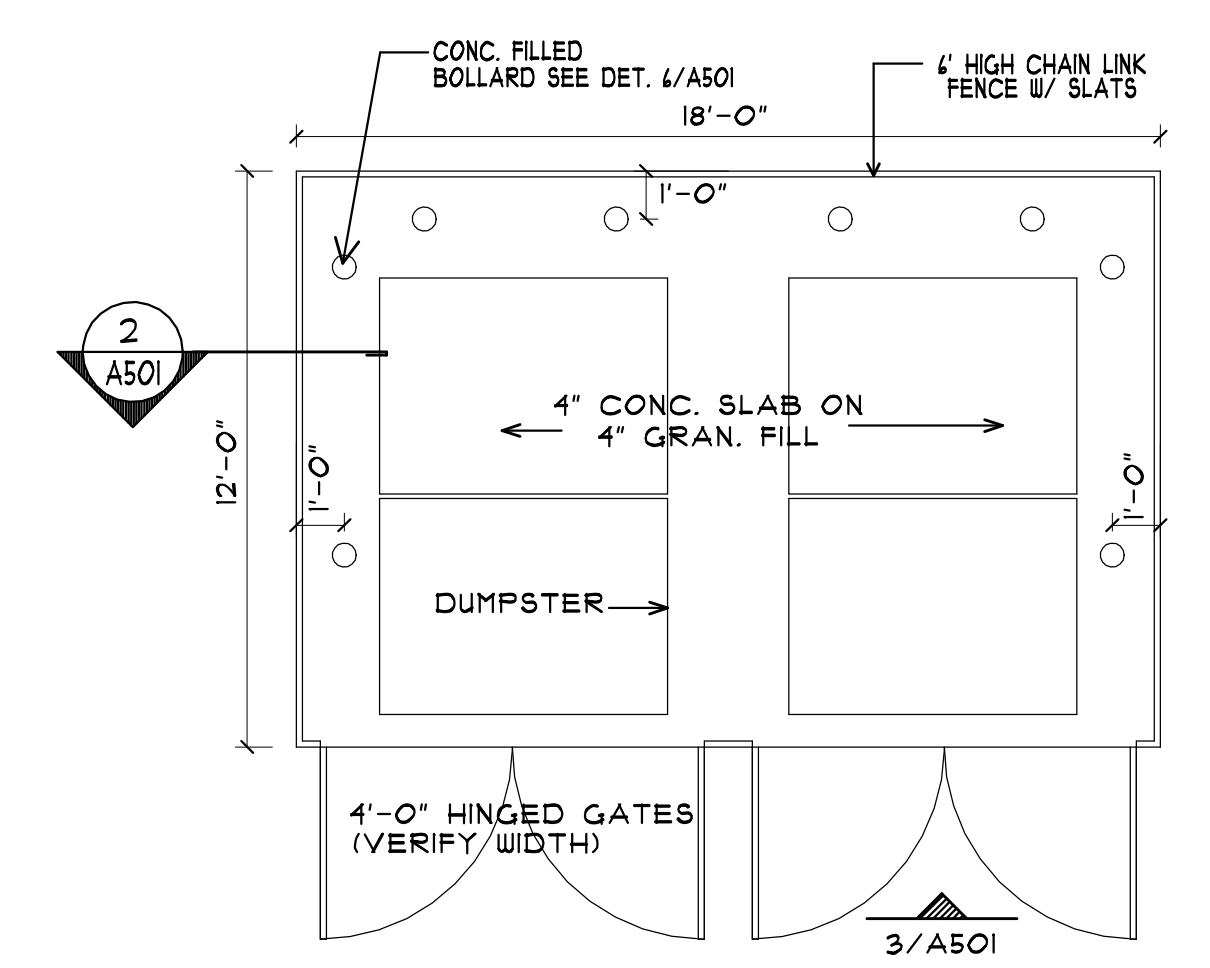


**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

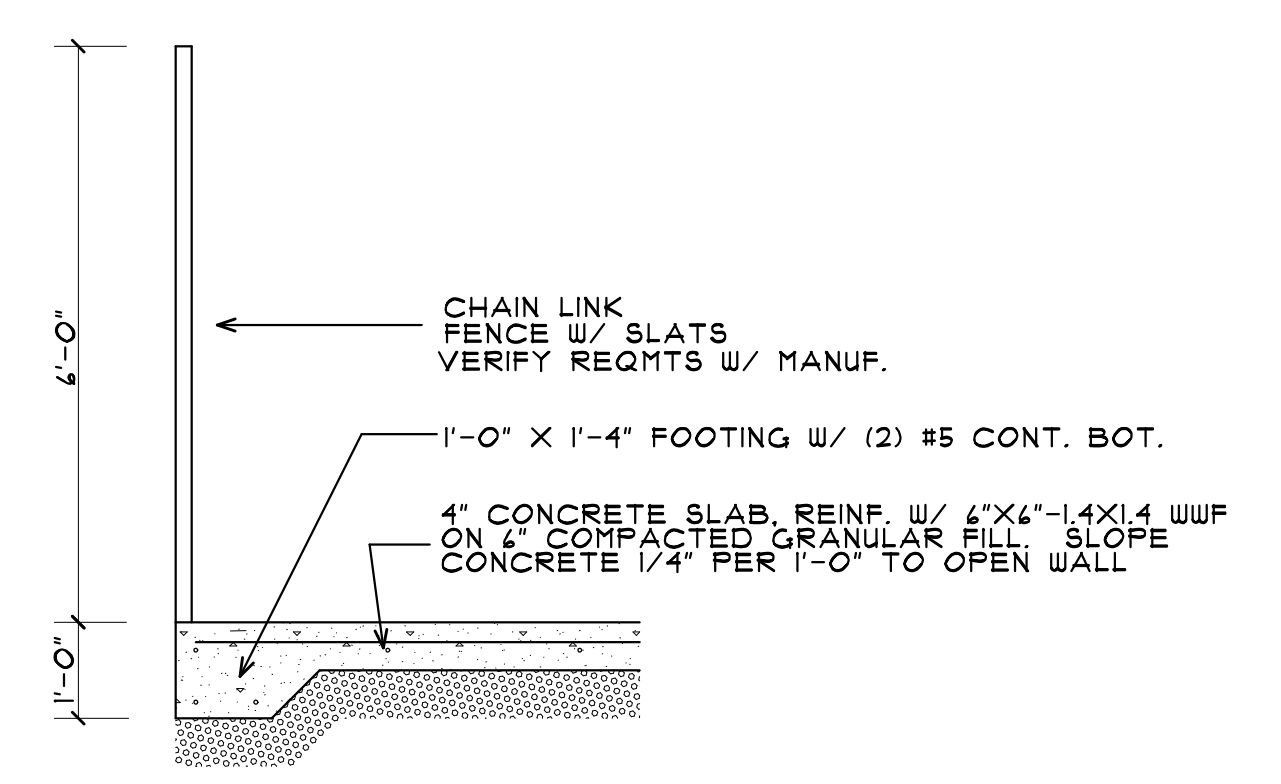
EXTERIOR MATERIAL / COLOR SCHEDULE: VERIFY ALL SELECTIONS W/ OWNER				
KEY	ITEM	BRAND	MODEL/ STYLE/ NOTES	COLOR
A	MANUFACTURED THIN BRICK VENEER	ELDORADO STONE OR EQUAL	TUNDRABRICK W/ RAINSCREEN ASSEMBLY VERIFY WITH SURROUNDING BLDGS. INTENT TO MATCH BRICK ON SURROUNDING BLDGS.	TBD
B	MANUFACTURED STONE CAP / SILL	ELDORADO STONE OR EQUAL	SPLIT - EDGE WAINSCOT SILL RAINSCREEN ASSEMBLY	TBD
C	EIFS MATERIAL PANEL #1	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
D	EIFS MATERIAL PANEL #2	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
E	EIFS MATERIAL PANEL #3	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
F	EIFS MATERIAL PANEL #4	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
G	EIFS PANELS	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
H	EIFS #1	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
I	EIFS ACCENT #2	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSCREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
J	PRE-FINISHED METAL CAP	OPEN BID	PRE-FINISHED PAINTED	TBD
K	VINYL WINDOWS	OPEN BID	FIXED - SEE PLANS FOR SIZES VERIFY STYLE W/ OWNER	TBD
L	LP SMARTSIDE TRIM	LP	5 1/2 WIDTH	TBD
M	THRU-WALL HVAC	OPEN BID	PAINT TO MATCH ADJACENT MATERIAL COLOR (TYP.)	TBD
N	PRE-FINISHED METAL SUSPENDED CANOPY	OPEN BID	ALUMINUM / METAL VERIFY STYLE W/ OWNER	TBD
P	EXTERIOR WALL SCOSCE	OPEN BID	PAINT / PRE-FINISHED STAINLESS STEEL MOUNTING BRACKETS AT COLUMNS	TBD
Q	FRANCHISE SIGNAGE	OPEN BID	VERIFY LIGHTING REQTS W/ G.C.	TBD
R	CONTROL JOINT	OPEN BID	PROVIDE JOINTS AS REQ'D PER MANUFACTURERS SPECIFICATIONS.	TBD
S	PRE-FINISHED SCUPPER AND DOWNSPOUT	OPEN BID	CONNECT TO UNDERGROUND DRAINAGE SYSTEM PROVIDE AIR GAP AT GRADE TO PREVENT BACKUPS. SEE CIVIL DRAWINGS	TBD
T	OVERFLOW SCUPPER	OPEN BID	PRE-FINISHED METAL	TBD
U	DASHED LINE REPRESENTS EXTENTS OF FIRST FLOOR FACADE AREA.			
V	SCREEN METERS AS REQUIRED PER CITY REQUIREMENTS.			
W				



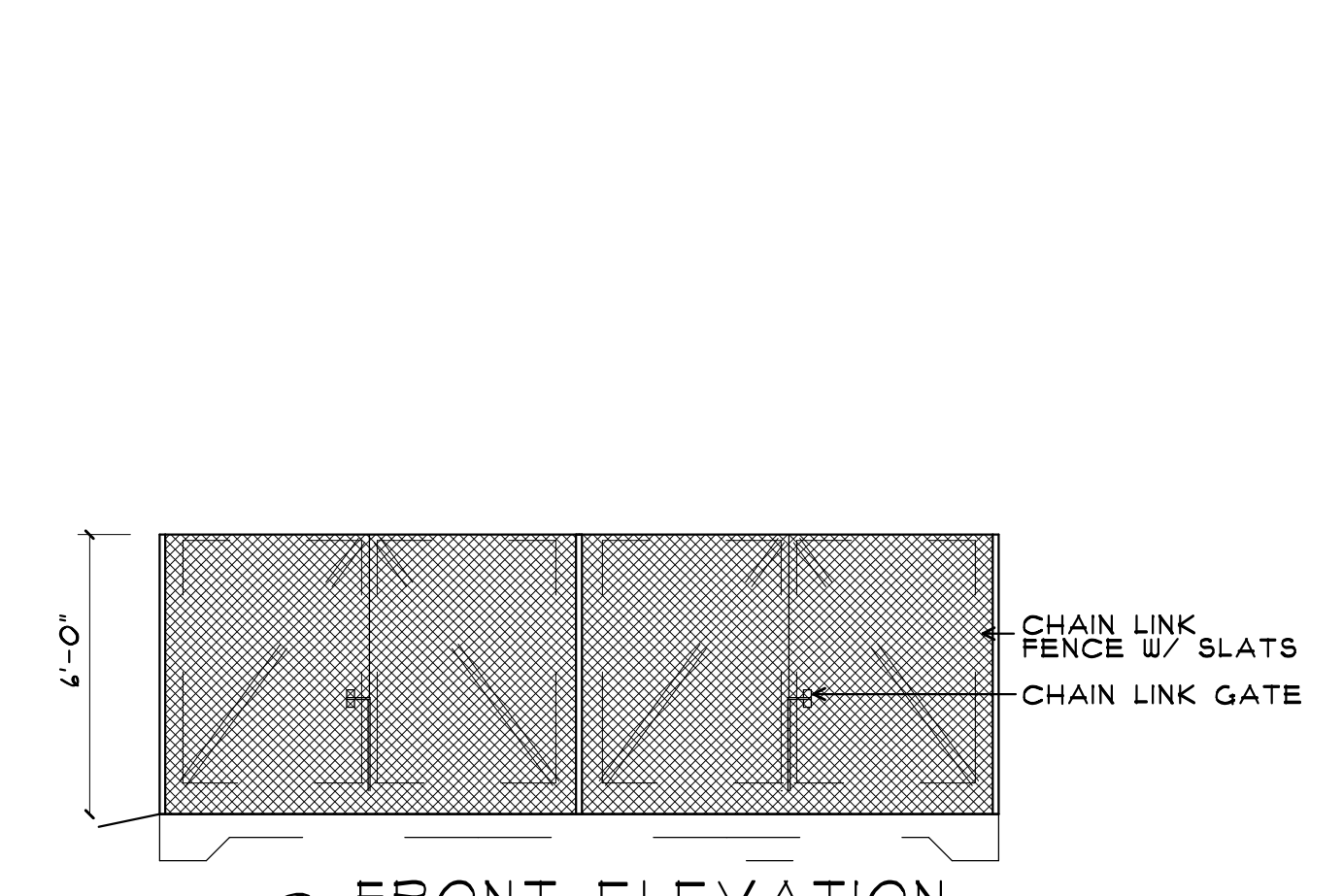
**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



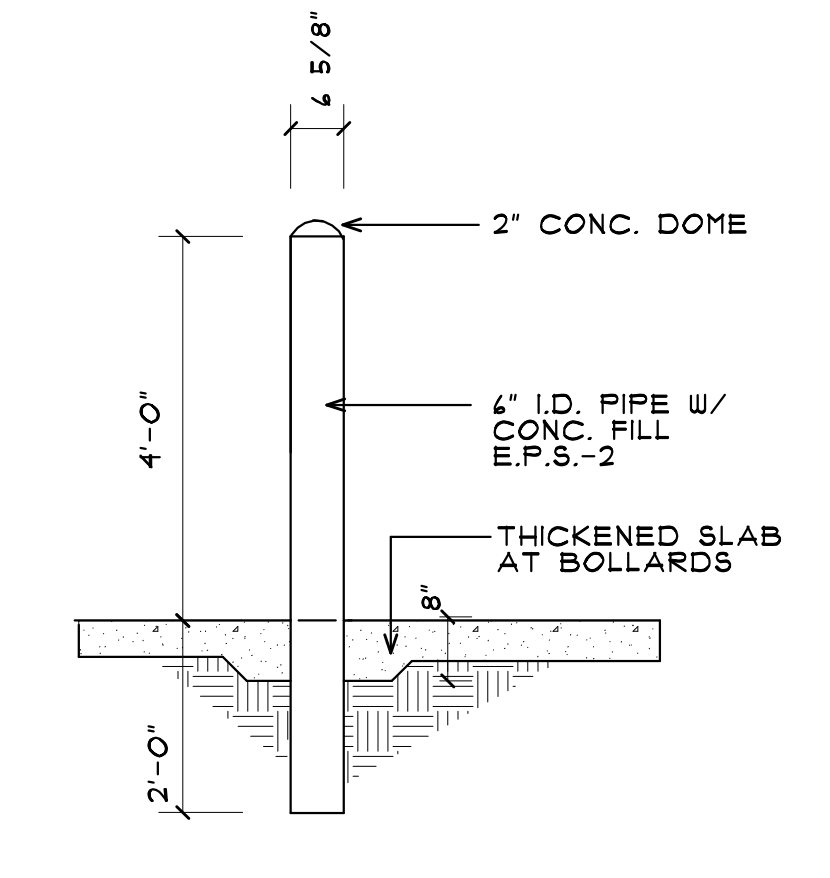
**1 TRASH ENCL. PLAN**  
SCALE: 1/4" = 1'-0"  
NOTE: SEE CIVIL SITE PLAN FOR REFUSE LOCATION



**2 TRASH ENCLOSURE SECTION**  
SCALE: 1/2" = 1'-0"



**3 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 PIPE BOLLARD**  
SCALE: 1/2" = 1'-0"

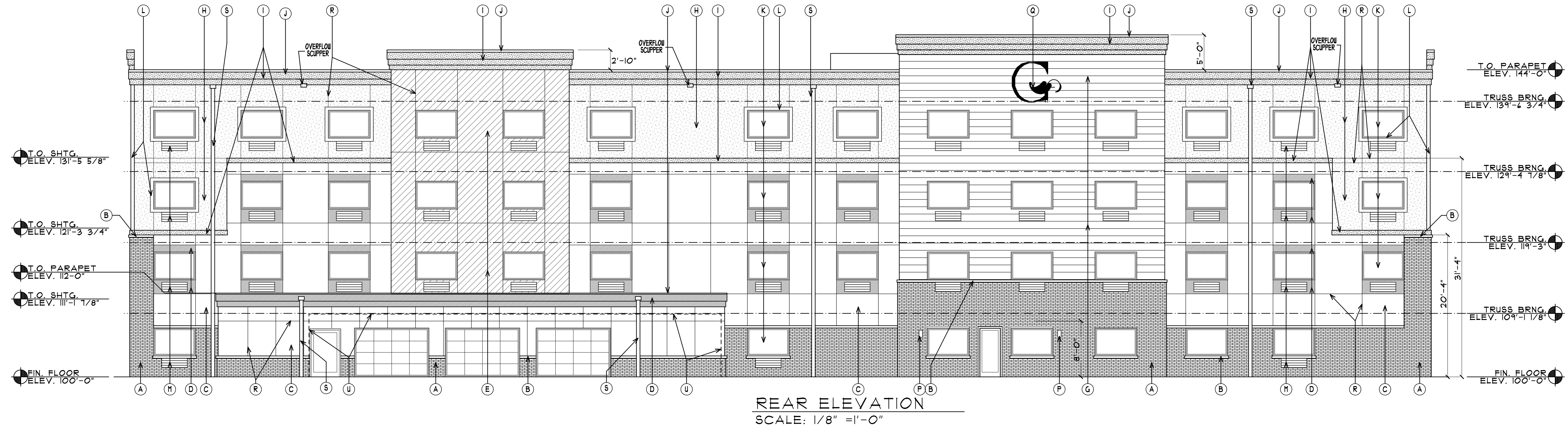
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PROPOSED:  
**GRANDSTAY HOTEL & SUITES**  
KAUKAUNA, WI

Project No. 23050  
Issue Date: October 4th, 2023  
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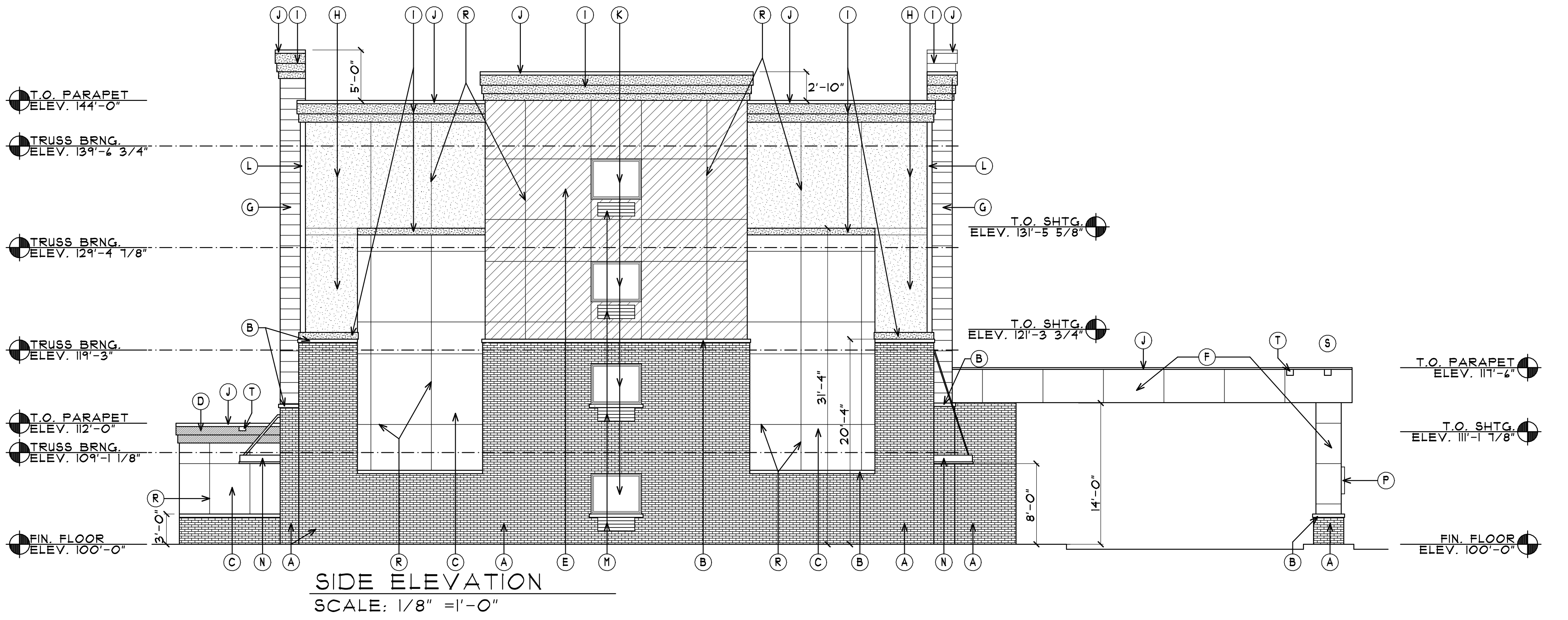
PLOTTED: 10-6-23 FILE: 23050E COM: 5

A501



REAR ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL / COLOR SCHEDULE: VERIFY ALL SELECTIONS W/ OWNER				
KEY	ITEM	BRAND	MODEL/ STYLE/ NOTES	COLOR
A	MANUFACTURED THIN BRICK VENEER	ELDORADO STONE OR EQUAL	TUNDRABRICK W/ RAINSCREEN ASSEMBLY VERIFY WITH SURROUNDING DARK BRICK INTENT TO MATCH BRICK ON SURROUNDING BLDGS.	TBD
B	MANUFACTURED STONE CAP / SILL	ELDORADO STONE OR EQUAL	SPLIT - EDGE WAINSCOT SILL RAINSREEN ASSEMBLY	TBD
C	EIFS MATERIAL PANEL #1	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
D	EIFS MATERIAL PANEL #2	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
E	EIFS MATERIAL PANEL #3	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
F	EIFS MATERIAL PANEL #4	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
G	EIFS PANELS	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
H	EIFS #1	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
I	EIFS ACCENT #2	OPEN BID	SEE ELEVATIONS FOR SCORING PATTERN RAINSREEN ASSEMBLY W/ HIDDEN FASTENERS	TBD
J	PRE-FINISHED METAL CAP	OPEN BID	PRE-FINISHED PAINTED	TBD
K	VINYL WINDOWS	OPEN BID	FIXED - SEE PLANS FOR SIZES VERIFY STYLE W/ OWNER	TBD
L	LP SMARTSIDE TRIM	LP	5 1/2 WIDTH	TBD
M	THRU-WALL HVAC	OPEN BID	PAINT TO MATCH ADJACENT MATERIAL COLOR (TYP.)	TBD
N	PRE-FINISHED METAL SUSPENDED CANOPY	OPEN BID	ALUMINUM / METAL VERIFY STYLE W/ OWNER	TBD
P	EXTERIOR WALL SCANCE	OPEN BID	PAINT / PRE-FINISHED STAINLESS STEEL MOUNTING BRACKETS AT COLUMNS	TBD
Q	FRANCHISE SIGNAGE	OPEN BID	VERIFY LIGHTING REQ'TS W/ G.C.	TBD
R	CONTROL JOINT	OPEN BID	PROVIDE JOINTS AS REQ'D. PER MANUFACTURERS SPECIFICATIONS.	TBD
S	PRE-FINISHED SCUPPER AND DOWNSPOUT	OPEN BID	CONNECT TO UNDERGROUND DRAINAGE SYSTEM PROVIDE AIR GAP AT GRADE TO PREVENT BACKUPS. SEE CIVIL DRAWINGS	TBD
T	OVERFLOW SCUPPER	OPEN BID	PRE-FINISHED METAL	TBD
U	DASHED LINE REPRESENTS EXTENTS OF FIRST FLOOR FACADE AREA.			
V	SCREEN METERS AS REQUIRED PER CITY REQUIREMENTS.			
W				



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

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St. Cloud, MN 56301  
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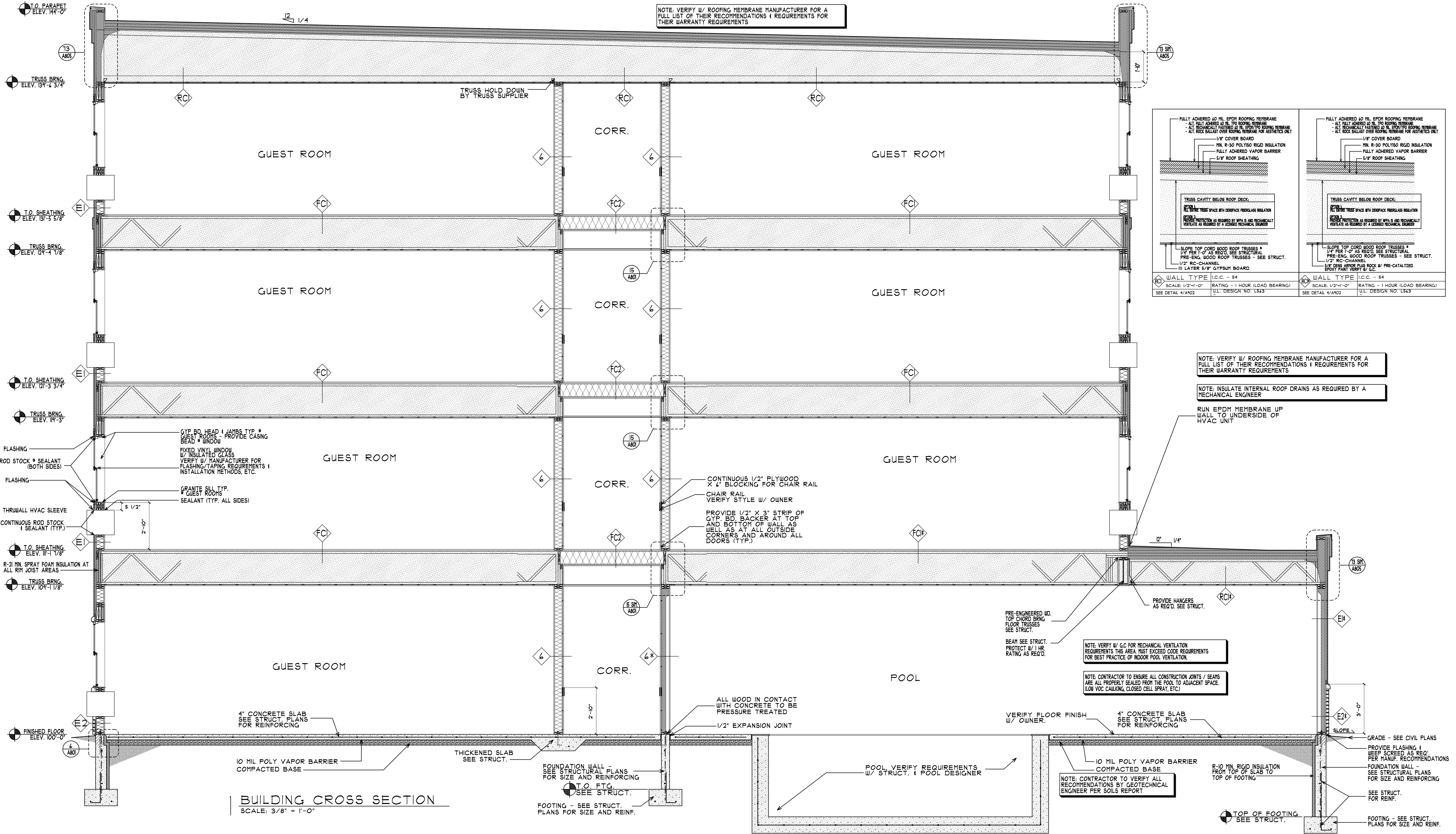
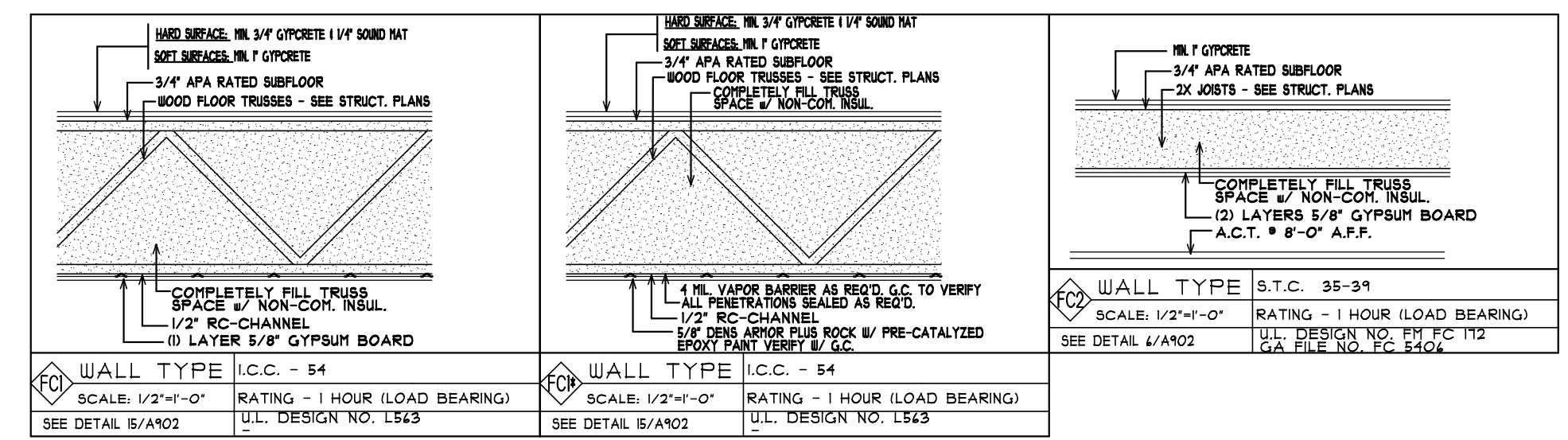
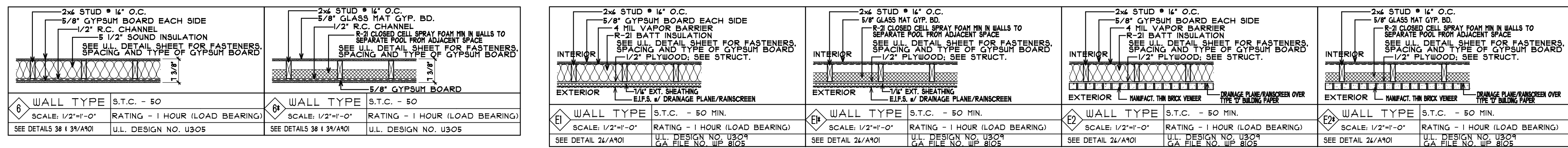
**WISCONSIN ARCHITECT**  
19679-5  
13679-5  
ST. CLOUD, MN

**GENERAL CONTRACTOR:**  
**DCP CONTRACTING**

**PROPOSED:**  
**GRANDSTAY HOTEL & SUITES**  
KAUKAUNA, WI

Project No. 23050  
Issue Date: October 4th, 2023  
Document Set: 90% BID SET

1  
**A502**



**BUILDING CROSS SECTION**  
SCALE: 3/8" = 1'-0"

NOTE: VERIFY W/ ROOFING MEMBRANE MANUFACTURER FOR A FULL LIST OF THEIR RECOMMENDATIONS & REQUIREMENTS FOR THEIR WARRANTY REQUIREMENTS

NOTE: VERIFY W/ ROOFING MEMBRANE MANUFACTURER FOR A FULL LIST OF THEIR RECOMMENDATIONS & REQUIREMENTS FOR THEIR WARRANTY REQUIREMENTS

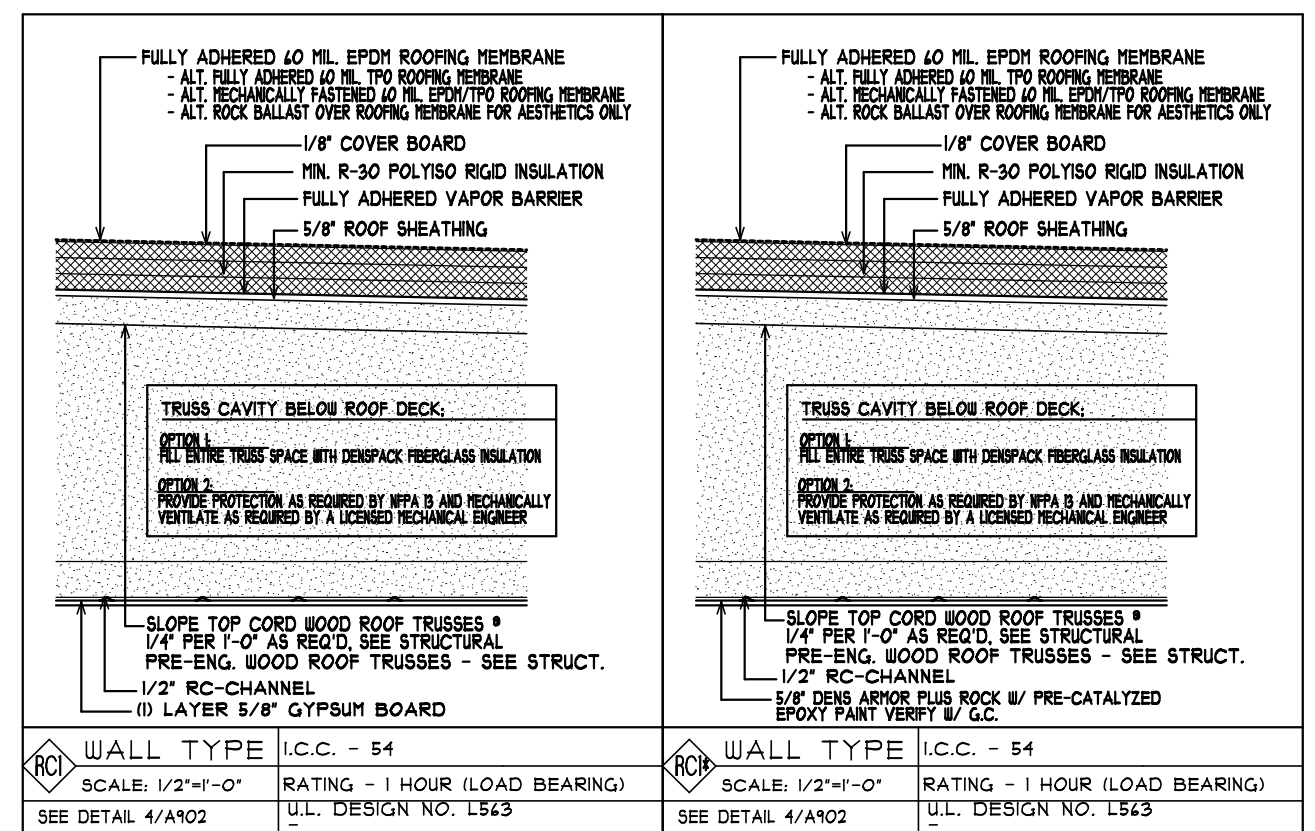
NOTE: INSULATE INTERNAL ROOF DRAINS AS REQUIRED BY A MECHANICAL ENGINEER

RUN EPDM MEMBRANE UP WALL TO UNDERSIDE OF HVAC UNIT

NOTE: VERIFY W/ G.C. FOR MECHANICAL VENTILATION REQUIREMENTS THIS AREA MUST EXCEED CODE REQUIREMENTS FOR BEST PRACTICE OF INDOOR POOL VENTILATION.

NOTE: CONTRACTOR TO ENSURE ALL CONSTRUCTION JOINTS / SEAMS ARE ALL PROPERLY SEALED FROM THE POOL TO ADJACENT SPACE. (LOW VOC CHALKING, CLOSED CELL SPRAY, ETC.)

NOTE: CONTRACTOR TO VERIFY ALL RECOMMENDATIONS BY GEOTECHNICAL ENGINEER PER SOILS REPORT



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**GENERAL CONTRACTOR:**  
**PROPOSED:**  
**GRANDSTAY HOTEL & SUITES**  
 KAUKAUNA, WI

**REVISIONS COMMENTS**  
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**DAVID MAJCHRAZAK**  
 ARCHITECT  
 LICENSE NO. 13879-5  
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PLOT: 10-6-23 FILE: 23050 COM-5  
**A710**