




**PLANNING COMMISSION STAFF REPORT
CONDITIONAL USE PERMIT USE2024 0019
HEARING DATE: DECEMBER 10TH, 2024**

(907) 586-0715

CDD_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

DATE: December 2, 2024
TO: Mandy Cole, Chair, Planning Commission
BY: Jolene Murphy, Planner I 
THROUGH: Jill Lawhorne, Director, AICP

PROPOSAL: Applicant requests a Conditional Use Permit to remodel an existing garage into a 219 square foot accessory apartment in a D1 zoning district.

STAFF RECOMMENDATION: Approval

KEY CONSIDERATIONS FOR REVIEW:

- An existing 219 square foot detached garage will be converted into an accessory apartment.
- This property is certified nonconforming for lot size and the addition of the accessory apartment will not aggravate the nonconforming situations (**Attachment H**).

GENERAL INFORMATION	
Property Owner	Galen Lamphere-Englund; Katherine Thomas-Canfield
Applicant	Galen Lamphere-Englund; Katherine Thomas-Canfield
Property Address	20136 Cohen Drive, Juneau, AK 99801
Legal Description	TEE HARBOR ALASKA BL 2 LT 20
Parcel Number	8B3701020210
Zoning	D1
Land Use Designation	Single Family and Duplex Residential
Lot Size	31,799 square feet
Water/Sewer	Private Water & Sewer
Access	Cohen Drive
Existing Land Use	Residential
Associated Applications	NCC2021-43; PAC24-36

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

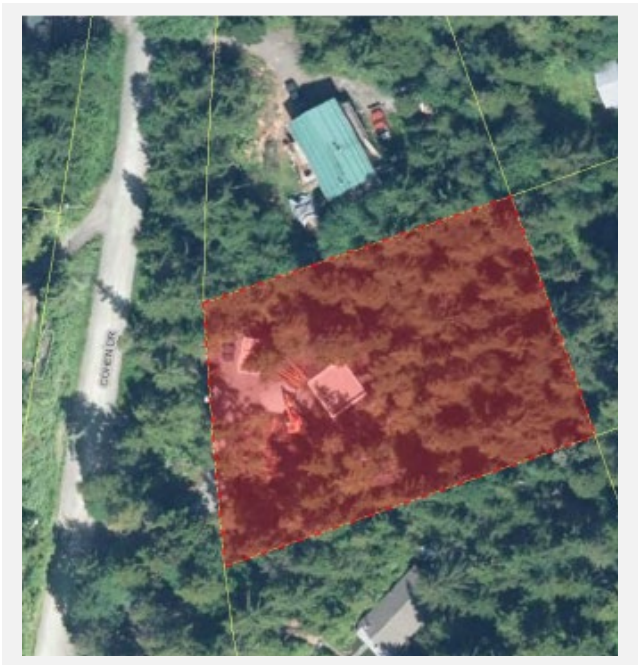
Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - 49.15.330
 - 49.25.510(k)
 - 49.30.260(a)
 - 49.80

The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit. A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (D1)	Residential
South (D1)	Residential
East (D1)	Residential
West (D1)	Residential

SITE FEATURES	
Anadromous	Yes
Flood Zone	No
Hazard	No
Hillside	Yes
Wetlands	No
Parking District	No
Historic District	No
Overlay Districts	No

BACKGROUND INFORMATION

Project Description – The applicant requests a Conditional Use Permit to convert an existing detached garage into an accessory apartment on a substandard lot in a D1 zoning district (**Attachment A**). The accessory apartment will maintain the garage’s 219 square foot net floor area and is located on the northwest corner of the lot.

Lot Size - The minimum lot size required in the D1 zoning district is 36,000 square feet. The lot is 31,799 square feet. Per CBJ 49.30.260(a), “A property owner of a nonconforming lot has the same development rights as a property owner of a conforming lot, provided the owner first obtains nonconforming certification pursuant to section 49.30.310.” In June 2021, a Nonconforming Certificate was issued certifying the lot size as nonconforming (**Attachment H**).



According to CBJ 49.25.510(k)(2)(E)(ii)(a), the commission may approve efficiency or one-bedroom accessory apartments not exceeding 600 square feet on a substandard lot with a Conditional Use Permit.

Background – The table below summarizes relevant history for the lot and propose development.

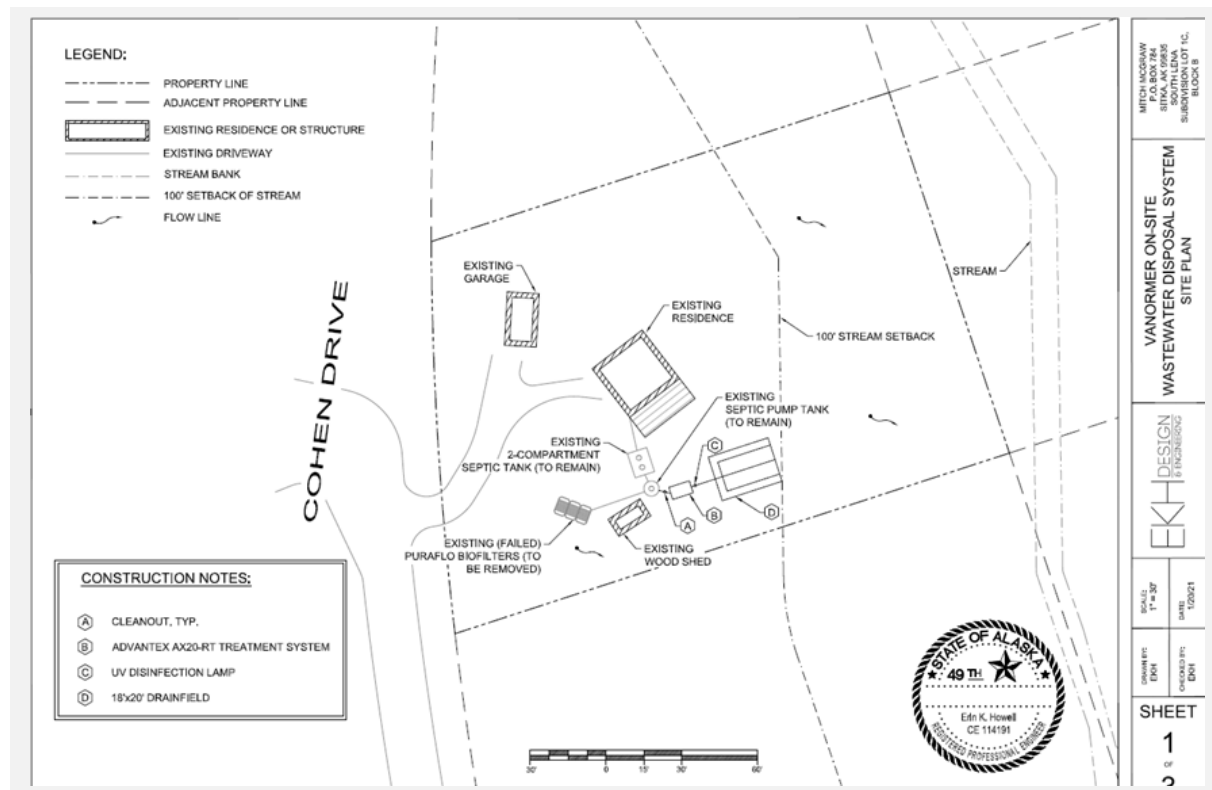
Date	Item	Summary
1967	Plat	Lot size, lot depth, and lot width. State of Alaska Dep of Natural Resources Tee Harbor Subdivision Lot 20, Block 2 (Attachment D).
2013	Building Permit	Provides the square footage and setback measurements (Attachment E).
2013	Wastewater Site Plan	Setbacks, Vegetative Cover. ADEC File No.:1513.40.109 (Attachment F).
2013	Certificate of Occupancy	Date that the 1,138 square foot single-family residence with 112 ft. porch and 250 square foot garage were built (Attachment G).
2021	NCC	NCC certification (NCC2021-43) for undersized lot (Attachment H).
2023	Assessor Photo	Structure height, visual context (Attachment I).
2024	Preapplication	Preapplication conference report for garage to ADU conversion. Includes apartment blueprints (Attachment J).
2024	Cohen Drive Blueprints	Blueprints and aerials for garage remodel (Attachment K)

ZONING REQUIREMENTS

Standard		Requirement	Existing	Code Reference
Lot	Size	36,000 square feet	31,799 square feet*	CBJ 49.25.400
	Width	150 feet	203 feet	CBJ 49.25.400
Setbacks	Front	25 feet	27.62 feet	CBJ 49.25.400
	Rear	25 feet	168 feet	CBJ 49.25.400
	Side	15 feet	100 feet	CBJ 49.25.400
	Side	15 feet	27.77 feet	CBJ 49.25.400
	Street Side	17 feet	27.62 feet	CBJ 49.25.400
Lot Coverage Maximum		20%	13%	CBJ 49.25.400
Vegetative Cover Minimum		20%; 6,360	34%;10,670 square feet	CBJ 49.50.300
Height	Permissible	35 feet	N/A	CBJ 49.25.400
	Accessory	25 feet	15.9 feet	CBJ 49.25.400
Maximum Dwelling Units (18/Acre)		1	1	CBJ 49.25.500
Use		Residential	Residential	CBJ 49.50.300
Parking		3	3	CBJ 49.40.210(a)

*Certified nonconforming (NCC2021 0043).

SITE PLAN



ANALYSIS

Project Site - The 31,799 square foot lot is in the Tee Harbor Subdivision and contains a two-story, single-family dwelling completed in 2013 (**Attachment G**). The existing detached garage proposed for conversion is northwest of the existing residence and sits on the northwest corner of the lot (**Attachment E**).

Project Design – The proposed 219 square foot accessory apartment and will have one bathroom and a combined kitchen/living area. In addition, the vaulted portion of the existing garage roof will be converted to a storage loft. The existing footprint will be unchanged, and the accessory apartment will not aggravate the existing nonconforming situation (**Attachment J**).

Traffic – According to CBJ 49.40.300(a)(2) a traffic impact analysis is not required; the proposed development is anticipated to generate less than 250 Average Daily Trips (ADTs). Additional traffic generated by the accessory apartment is expected to be minimal and is not expected to be out of character with the existing neighborhood.

Use	Per Unit	Trips Generated	Total Trips
Single-family dwelling	1	9.52	9.52
Accessory Apartment	1	6.65	6.65
Total ADTs:			16.17

Vehicle Parking & Circulation – According to CBJ 49.40.210(a), one (1) additional off-street parking space is required for the proposed accessory apartment. While the accessory apartment would replace the existing garage parking space, three identified parking spots are included in the preapplication report site plan and aerial imagery (**Attachment A**).

Condition: None.

Noise – Noise is not anticipated to be out of character with the existing residential neighborhood.

Condition: None.

Lighting – According to CBJ 49.40.230(d), parking areas shall be “full cutoff” design. If new lighting is proposed, design will be verified during the building permit review process.

Condition: None.

Vegetative Cover & Landscaping – A minimum of 20 percent vegetative coverage is required in the D1 zoning district. 2013 GIS aerial imagery indicates that this requirement is met, and the accessory apartment will not expand the existing building’s footprint.

Condition: None.

Habitat – Tee Creek (Anadromous Waters Catalog number 111-50-10200) is within 10 feet of the lot line at its closest mapped point (**Attachment F**). The proposed development is approximately 100 feet from the ordinary high-water mark [CBJ 49.70.310(a)(2)].

Condition: None.

Drainage and Snow Storage – Any proposed grading or changes to drainage will be reviewed through the building permit review process.

Condition: None.

Hazard Zones - The lot is not located in a mapped hazard area.

Condition: None.

Public Health, Safety, and Welfare – There is no evidence to suggest that the proposed development, with the appropriate conditions, will materially endanger the public health, safety, and welfare.

Condition: None.

Property Value or Neighborhood Harmony – There is no evidence to suggest that the proposed development will be out of character with the existing neighborhood, or that it would reduce property values of neighboring properties. The lot is in a D1 single family and duplex zoning district and is surrounded by residential uses. According to the 2013 Comprehensive Plan’s Development Guidelines, new, in-fill development on vacant land within established neighborhoods, should be promoted.

Condition: None.

AGENCY REVIEW

CDD conducted an agency review comment period between October 14th, 2024, and October 28th, 2024, and received the following responses. Comments can be found in **Attachment C**.

Agency	Summary
Alaska Department of Environmental Conservation	No response
Alaska Department of Transportation and Public Facilities	No response
CBJ Capital City Fire and Rescue	No concerns from fire
CBJ CDD Building Division	No response

PUBLIC COMMENTS

CDD conducted a public comment period between November 4th and November 18th. Public notice was mailed to property owners within 500 feet of the proposed development. A public notice sign was also posted on-site two weeks prior to the scheduled hearing. Public comments received are listed below.

Name	Summary
Annie Calkins & Dave Hunsaker	Support the approval of additional small apartment
Gary Miller	Neighbor with no objections

CONFORMITY WITH ADOPTED PLANS

The proposed development is in general conformity with the 2013 Juneau Comprehensive Plan.

PLAN	Chapter	Page No.	Item	Summary
2013 Comprehensive Plan	3	20	Policy 3.2	Promotes compact urban development within the designated urban service area to ensure efficient utilization of land resources and to facilitate cost effective provisions of community services and facilities.
	4	41	Policy 4.8	Balance the protection and preservation of the character and quality of life of existing

PLAN	Chapter	Page No.	Item	Summary
				neighborhoods while providing opportunities for a mixture of new housing types.
	11	147	Land Use Designation	Complies with the <i>Urban/Low Density Residential (ULDR)</i> designation; this land use designation allows single-family dwelling with accessory apartments.
	2	35	Production Targets	Creates additional housing, which advances the City's goal of increasing housing stock.
2015 Juneau Economic Development Plan	5	43	Juneau Economic Development Initiatives	Promote Housing Affordability and Availability.

FINDINGS

Conditional Use Permit Criteria –

1. *Is the application for the requested Conditional Use Permit complete?*

Analysis: No further analysis needed.

Finding: Yes. The application contains the information necessary to conduct a full review of the proposed development. The application submittal by the applicant, including the appropriate fees, conforms to the requirements of CBJ Chapter 49.15.

2. *Is the proposed use appropriate according to the Table of Permissible Uses?*

Analysis: The application for the conversion of an existing garage to accessory apartment is permissible under CBJ 49.25.300 Section 1.130.

Finding: Yes. The proposed development is appropriate according to the Table of Permissible Uses.

3. *Will the proposed development comply with the other requirements of this chapter?*

Analysis: No further analysis needed.

Finding: Yes. The proposed development will comply with Title 49 standards for accessory apartments.

4. *Will the proposed development materially endanger the public health, safety, or welfare?*

Analysis: No further analysis needed.

Finding: No. There is no evidence to suggest that the requested accessory apartment, in a D1 zoning district, will materially endanger the public health or safety.

5. Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?

Analysis: No further analysis needed.

Finding: No. The requested Conditional Use Permit in the D1 Residential District will not substantially decrease the value or be out of harmony with neighboring properties.

6. Will the proposed development be in general conformity with the Land Use Plan, Thoroughfare Plan, or other officially adopted plans?

Analysis: No further analysis needed.

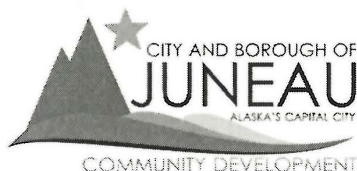
Finding: Yes. The proposed development will conform with the 2013 Juneau Comprehensive Plan and the 2015 Juneau Economic Development Plan.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow the conversion of the existing 219 square foot garage into an accessory apartment on an undersized lot in a D1 zoning district.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Abutters Notice and Public Notice Sign Photo
Attachment C	Agency Comments
Attachment D	1967 Plat
Attachment E	2013 Building Permit
Attachment F	2013 Wastewater Site Plan
Attachment G	2013 Certificate of Occupancy
Attachment H	2021 NCC2021-43
Attachment I	2023 Assessor Photo
Attachment J	2024 Preapplication
Attachment K	2024 Cohen Drive Blueprints



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 20136 Cohen Drive Juneau, AK 99801		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Tee Harbor Alaska BL 2 Lot 20		
	Parcel Number(s) 8B3701020210		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner Galen Lamphere-Englund, Katherine Thomas-Canfield		Contact Person Galen Lamphere-Englund
	Mailing Address 20136 Cohen Drive Juneau, AK 99801		Phone Number(s) 520-223-8024
	E-mail Address g.englund@pm.me		
	LANDOWNER/ LESSEE CONSENT		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name. I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application. X <u>Galen Lamphere-Englund</u> <u>Landowner</u> Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee) <u>[Signature]</u> <u>07/08/2024</u> Landowner/Lessee (Signature) Date X <u>Katherine Thomas-Canfield</u> <u>Landowner</u> Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee) <u>[Signature]</u> <u>07/08/2024</u> Landowner/Lessee (Signature) Date NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date. APPLICANT If same as LANDOWNER, write "SAME" Applicant (Printed Name) SAME Contact Person SAME Mailing Address SAME Phone Number(s) SAME E-mail Address SAME X <u>[Signature]</u> <u>07/08/2024</u> Applicant's Signature Date of Application			

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials <u>[Signature]</u> <u>8/30/24</u>	
Case Number <u>USE24-019</u>	Date Received <u>8/30/24</u>



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

The Applicant would like remodel an existing garage into an accessory apartment. Because the lot is less than required for the zoning district, the applicant will need a Conditional Use Permit [CBJ 49.25.510(k)(2)(E)]. The existing garage is 11.5 x 19 net floor area. The apartment would be a 219 square foot studio (interior dimensions; exterior=250 sq ft). Loft space would be available for storage.

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

- ☒ Accessory Apartment – Accessory Apartment Application (AAP)
☐ Use Listed in 49.25.300 – Table of Permissible Uses (USE)
 Table of Permissible Uses Category: _____

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

☐ YES – Case # _____ ☒ NO

UTILITIES PROPOSED

WATER: ☒ Public ☐ On Site

SEWER: ☐ Public ☒ On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 31,799 square feet Total Area of Existing Structure(s) 771 square feet

Total Area of Proposed Structure(s) 219 square feet

EXTERNAL LIGHTING

Existing to remain ☐ No ☒ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
 Proposed ☒ No ☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

☒ Narrative including:

- ☒ Current use of land or building(s)
☒ Description of project, project site, circulation, traffic etc.
☒ Proposed use of land or building(s)
☒ How the proposed use complies with the Comprehensive Plan

If this is a modification or extension include:

- ☐ Notice of Decision and case number
☐ Justification for the modification or extension
☐ Application submitted at least 30 days before expiration date

☒ Plans including:

- ☒ Site plan
☒ Floor plan(s)
☒ Elevation view of existing and proposed buildings
☒ Proposed vegetative cover
☒ Existing and proposed parking areas and proposed traffic circulation
☒ Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

To be completed by Applicant

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES		Check No.	Receipt	Date
Application Fees	\$ <u>350.00</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>50</u>			
Pub. Not. Sign Deposit	\$ <u>100</u>			
Total Fee	\$ <u>500.00</u>			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE 24-019</u>	<u>8/30/24</u>

Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

Pre-Application Conference: A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

Application: An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - A. Site plan, floor plan and elevation views of existing and proposed structures
 - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
 - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
 - D. Existing and proposed lighting (including cut sheets for each type of lighting)
 - E. Existing and proposed vegetation with location, area, height and type of plantings
 - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

Public Notice Responsibilities: Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:


The Community Development Department will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

The Applicant will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

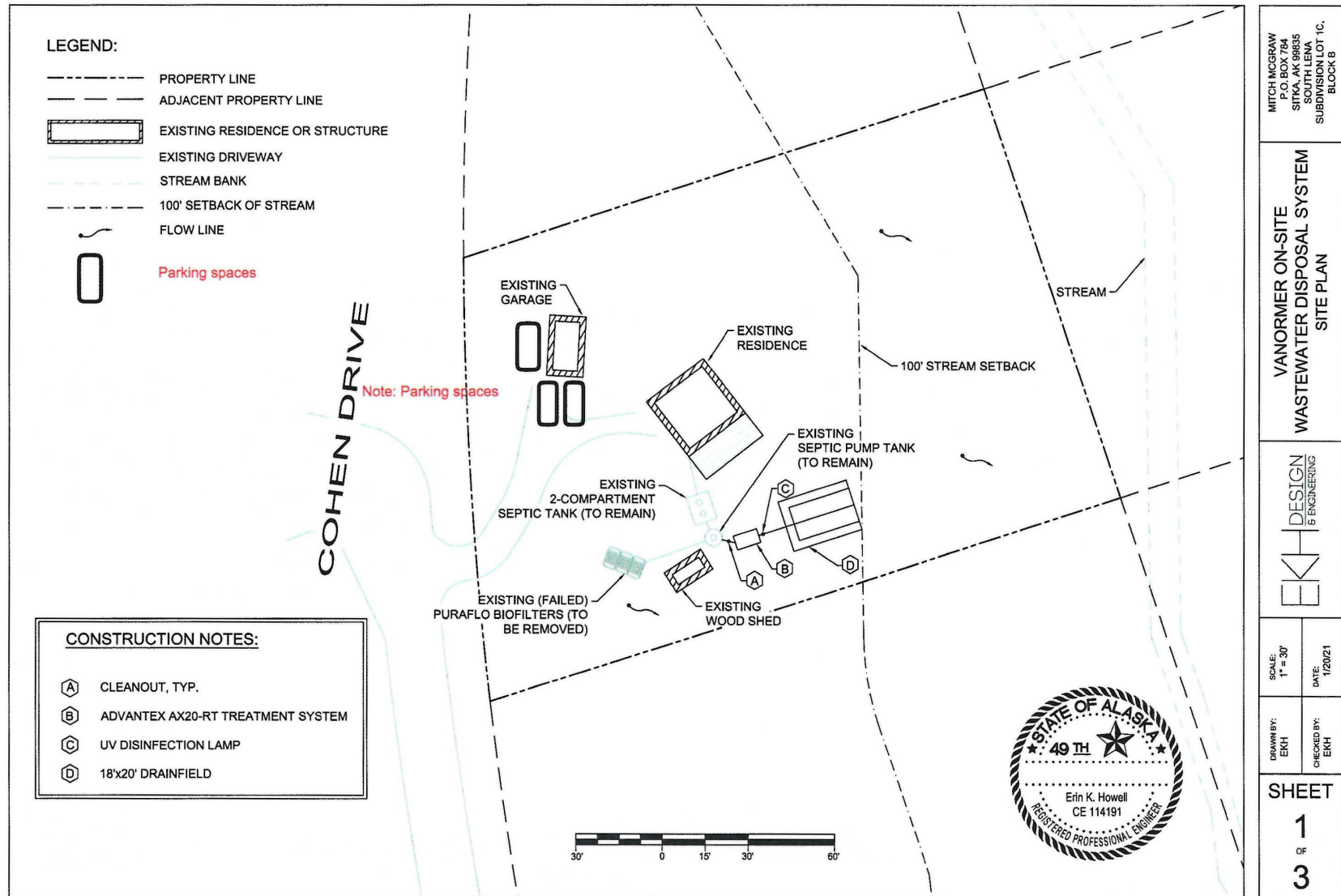
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



20136 Cohen Drive -- Aerial view of lot, 2013 during construction. Footprint visible.

 Note -- squares indicate parking spaces

Accurate site plan and plot from 2021 of land, submitted for successful permitting of new septic





(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

Case name: Cohen Accessory Dwelling Unit

Case Number: PAC2024 0036

Applicant: Jake Lapenter

Property Owner: Galen Lamphere-Englund, Katherine Thomas-Canfield

Property Address: 20136 Cohen Drive

Parcel Code Number: 8B3701020210

Site Size: 31,799

Zoning: D1

Existing Land Use: Residential

Conference Date: June 19, 2024

Report Issued: June 26, 2024

DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Jake Lapenter	Applicant	modernalaskabuilders@gmail.com
Irene Gallion	Planning	irene.gallion@juneau.gov
Charlie Ford	Building	Charlie.Ford@juneau.gov
Eric Vogel	General Engineering	Eric.Vogel@juneau.gov
Dave Sevdv	Permits	Dave.Sevdv@juneau.gov

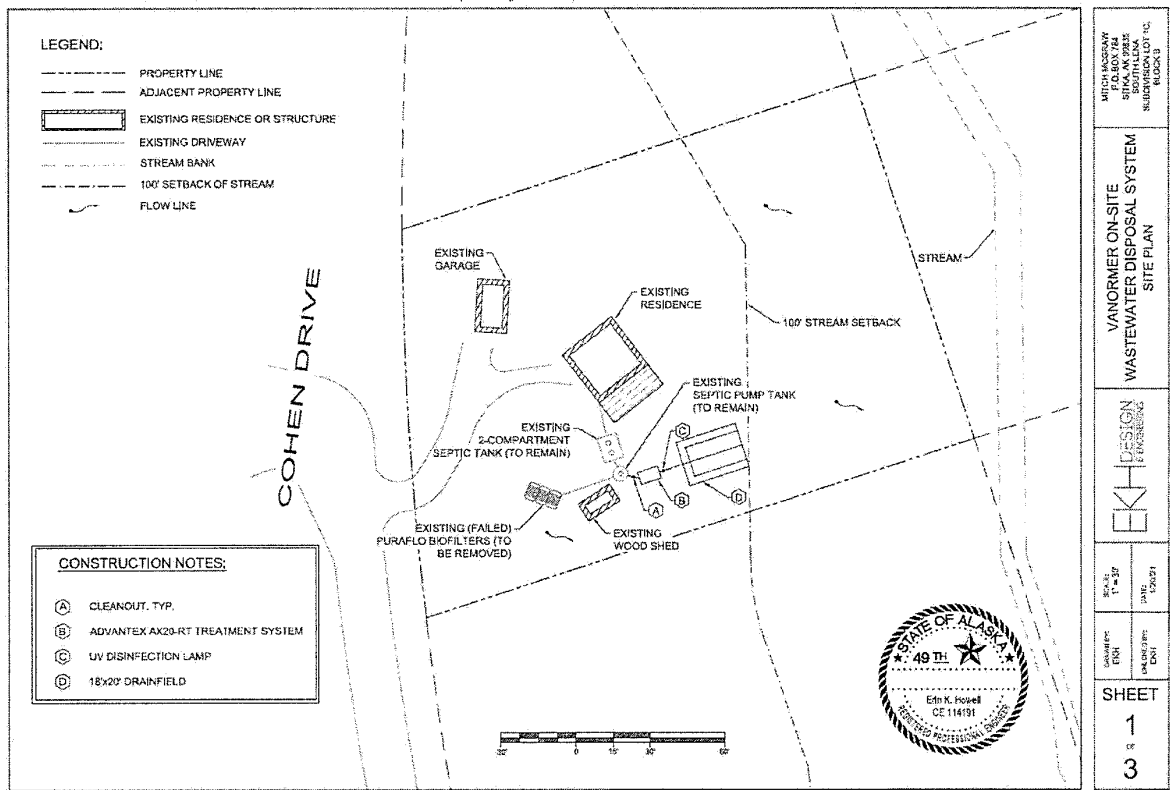
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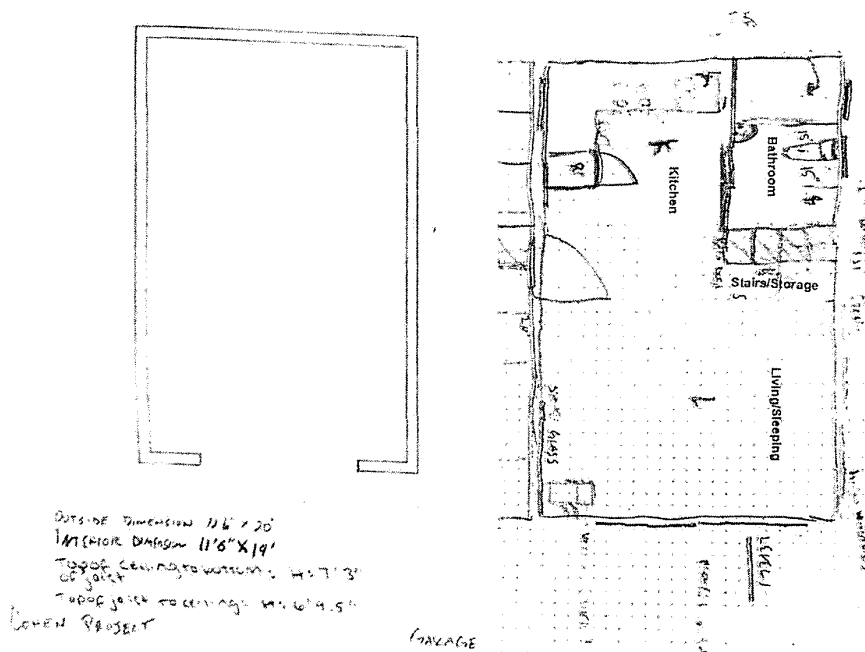
Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports. The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

The Applicant would like remodel an existing garage into an accessory apartment. Because the lot is less than required for the zoning district, the applicant will need a Conditional Use Permit [CBJ 49.25.510(k)(2)(E)].





The existing garage is 11.5 x 19 net floor area. The apartment would be a 219 square foot studio. Loft space would be available for storage.

Conditional Use Permit Process:

- Submit the application and back-up materials (listed on ten back of the application).
 - Electronic submissions accepted at Permits@juneau.gov. Note that the permit center will call you for payment when the application is processed. Applications are submitted in the order in which they are received, and it may be a few days before you get a call.
- The project will be assigned to a planner. They will review submitted materials, and coordinate where necessary. When the planner assesses the file is complete, they will schedule a hearing before the Planning Commission.
 - A notice will be sent to property owners within 500 feet of the project.
 - There will be two newspaper ads for the case.
 - The Applicant is required to post a Public Notice sign, which will be provided by CDD. The sign must be posted two weeks before the hearing.
 - Staff will prepare a report analyzing the project, and make a recommendation to the Commission. The report will be publicly available the week before the hearing.
- At the Planning Commission meeting, the project can be:
 - On the Consent Agenda, where it will be passed without discussion.
 - On the Regular Agenda:
 - The Director will briefly describe the project.
 - The Applicant has 15 minutes to describe the project.
 - The public has the opportunity to comment. There is usually a time limit of two to three minutes.
 - The Applicant has time to respond to issues raised.

Pre-Application Conference Final Report

- Public comment is closed and there is no additional opportunity to participate.
- The Planning Commission will:
 - Approve the project
 - Approve the project with conditions (the most common outcome)
 - Deny the project
 - Continue the project – if more information is required or if the Commission runs out of time.
- The decision can be appealed for 20 days after the Notice of Decision is filed with the City Clerk. If the decision is appealed, the Applicant can continue with their project at their own risk.

Videos of the Planning Commission activities are posted on Assembly's Minutes and Agendas site.

<https://juneau-ak.municodemeetings.com/>

Building permit

The building permit application may be submitted before the Conditional Use Permit is approved, but will not be issued until after approval. Early submittal gives review departments additional time to work with the Applicant on revisions or requirements, as needed.

Accessory Dwelling Unit (ADU) Grant Program

IMPORTANT NOTE: To qualify for the grant program, the ADU application needs to be received at the same time as the building permit application.

CBJ provides a \$13,500 grant incentive for development of an ADU. An information sheet is attached. To summarize:

- The application must be submitted with the Building Permit Application.
- The ADU must receive a Certificate of Occupancy within two years from the date the building permit was issued.
- A deed restriction must be recorded, agreeing not to rent the resulting unit as a short-term rental for five years from the date of issuance of the Certificate of Occupancy.
- The grant is non-transferable to a new property owner.

There is no additional cost for applying for the ADU Grant Program. More information at:

<https://juneau.org/community-development/ADUG>

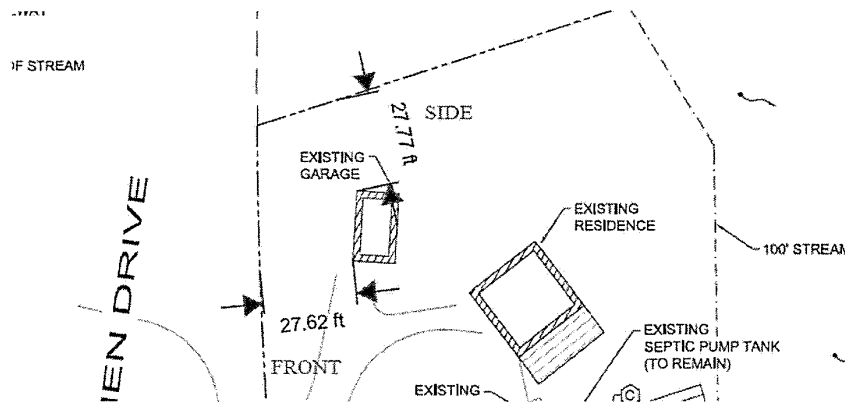
If you have further questions you can contact Joseph Meyers at (907) 586-0753 x4209

Planning Division

1. **Zoning** – D1
2. **Table of Permissible Uses** – Allowed under Paragraph 1.110
3. **Lot size requirements** – Minimum lot size in D1 is 36,000 square feet. This lot is 31,799 square feet and has been certified nonconforming.
4. **Setbacks** –
 - a. **Front:** 25 feet
 - b. **Rear:** 25 feet

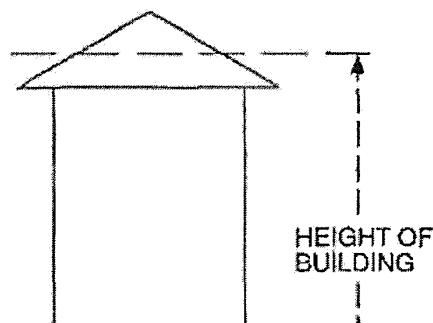
- c. **Side:** 15 feet
- d. **Setback from anadromous stream:**
 - i. 25 foot no disturbance
 - ii. 50 foot no development

Based on a site plan submitted by the applicant, the proposed apartment is on top of an existing garage that meets setbacks.



5. **Height** – The height of the garage and apartment is limited to 25 feet. Height will be measured to the average height of the roof.

The proposal converts the existing garage to an ADU. No additional structures and no increase of height is proposed at this time.



6. **Access** – Access to the property is via Cohen Drive,
7. **Parking & Circulation**– The accessory apartment will require one additional parking space on the property.
8. **Lot Coverage** – Maximum lot coverage is 10 percent. Lot coverage is any structure with a roof. The existing garage is approximately 250 square feet, and the single-family structure is 600 square feet, for a

- total of 850 square feet, or three percent lot coverage. The addition of an accessory apartment on top of the existing garage will not increase lot coverage.
9. **Vegetative Coverage** – Minimum vegetative cover is 20 percent, or 6,360. Current development is set back 100 feet from the stream, providing 10,670 square feet of vegetative cover. Additional vegetative cover is provided in the developed area.
 10. **Lighting** – Exterior lighting may not shed light or glare above the roofline of the building or beyond the property line of the site.
 11. **Noise** – An accessory apartment is not anticipated to create noise out of character with the D1 zoning district.
 12. **Flood** – The property is not in a flood zone (FEMA Panel 02110C 1185D).
 13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – There are no mapped hazards in the area of the lot. Lot slope is approximately five percent. A hillside endorsement is not required.
 14. **Wetlands** – Contact the Army Corps of Engineers if filling wetlands [(907) 753-2689].
 15. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling.

Tee Creek (Anadromous Waters Catalog number 111-50-10200) is within 10 feet of the lot line at its closest mapped point. Lot development is approximately 100 feet from this point. Future development will need to be a minimum of 50 feet from the stream. The proposed accessory apartment on top of the existing garage does not impact this setback.
 16. **Plat Restrictions** – There are no restrictions documented on Plat #499, Juneau serial number 67-830.
 17. **Traffic** – A traffic impact analysis is not required.
 18. **Nonconforming situations** – The lot size is certified nonconforming. There are no other documented nonconforming or noncomplying conditions (NCC2021 0043).

Building Division

19. **Building** –
 - a. Fire and sound separation will be required between the garage and apartment.
 - b. The apartment is required to have outside access. No entrance or exit through the garage is allowed.
 - c. A water meter will be required.
20. **Outstanding Permits** – None.

General Engineering/Public Works

21. **Engineering** –
 - a. Please show utilities on the site plan. This can be drawn by hand on the existing as-built.
22. **Drainage** – N/A
23. **Utilities** – (water, power, sewer, etc.)
Septic – ADEC review required. Please provide formal ADEC approval.
Water – A water meter is required.

Fire Marshal

24. **Fire Items/Access** – The Fire Marshal did not provide notes for this report.

Other Applicable Agency Review

25. Alaska Department of Environmental Conservation may be required to evaluate the septic capacity for the extra load.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

Items 1-3 must be submitted together. Items 4-5 must be submitted together.

1. Development Permit Application
2. Allowable/Conditional Use Permit Application
3. Accessory Apartment Application
4. Building Permit Application
5. Accessory Dwelling Unit Grant Program Application (if desired)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. A site plan (the one you've provided for this conference will do). Please show the parking space for the Accessory Apartment, and utilities to the new ADU.
3. Plans for modification of the garage.

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. None.

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Conditional Use Permit: \$350
2. Public Notice Sign: \$150: \$100 refundable if the sign is returned by the Monday following the Commission meeting.
3. Building permit fees will depend on the value of the improvements.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Pre-Application Conference Final Report

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

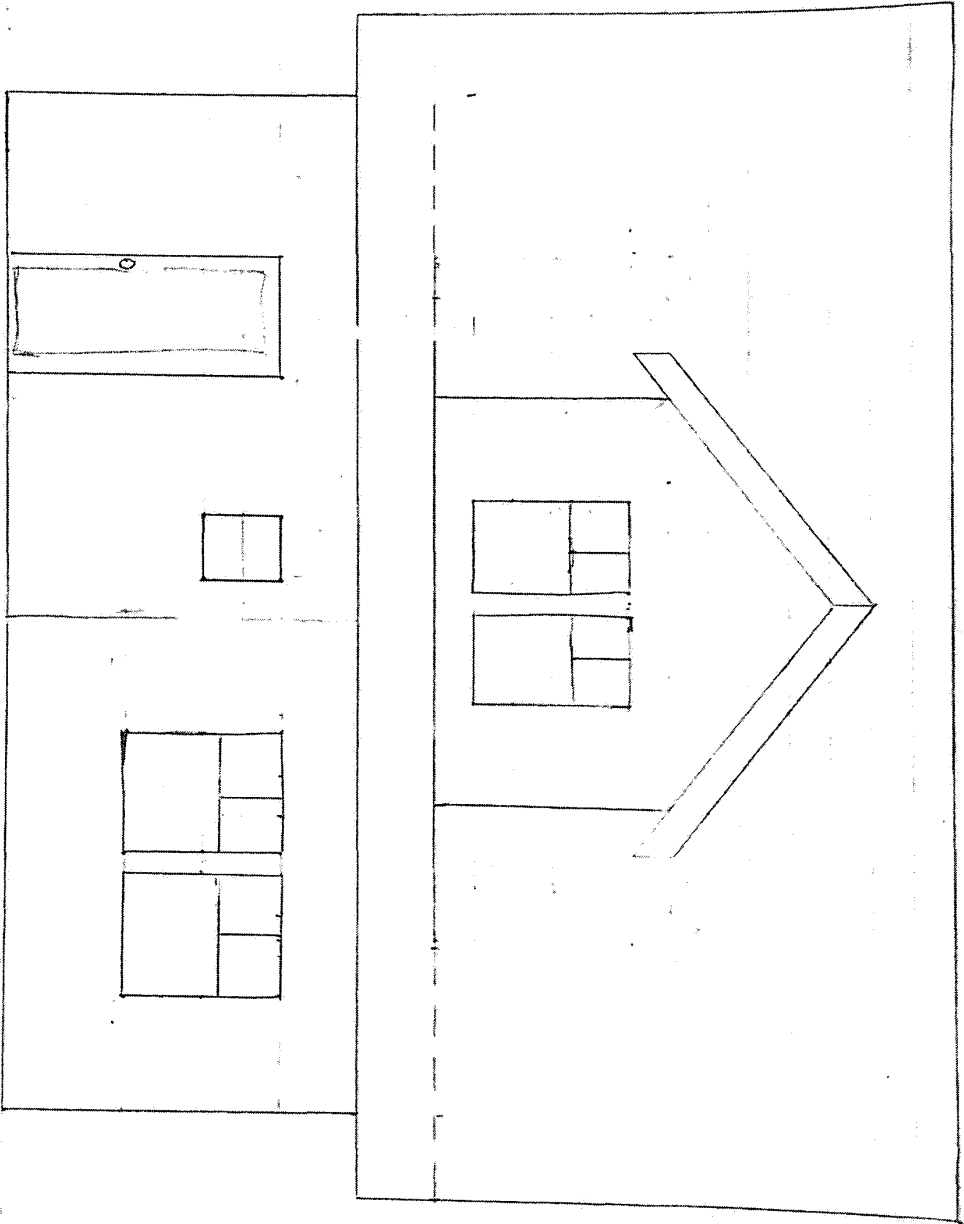
Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

49.15.330 – Conditional Use Permit
Development Permit Application
Allowable/Conditional Use Permit Application
Accessory Apartment Application
Accessory Dwelling Unit Information and Grant Application

Main house elevation



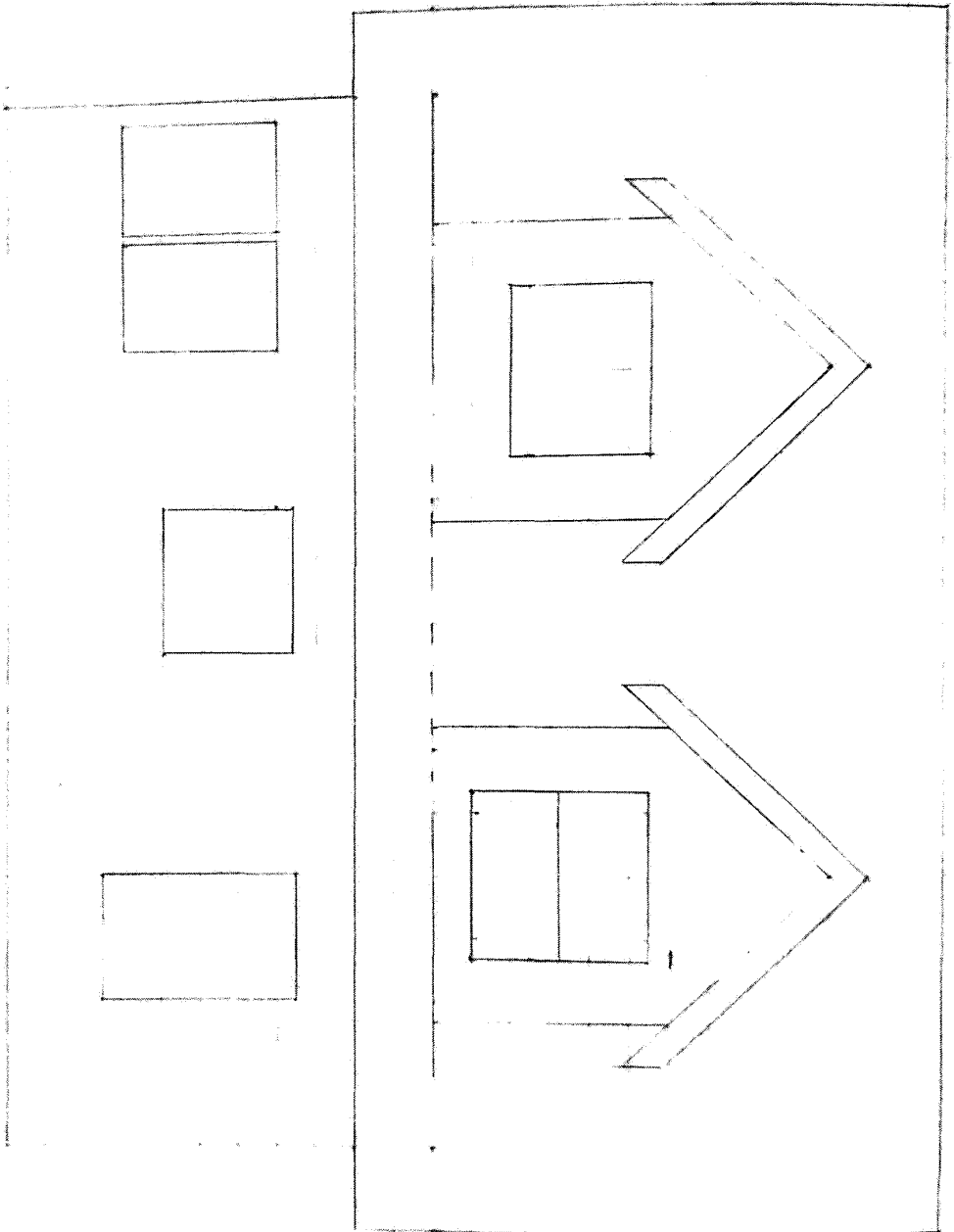
COHEN PROJECT

West Section*
1 sq. = 1 ft.²

*not shown w/ covered front porch

BORD-VANDERMEER
28 Jan 2013

Main house elevation

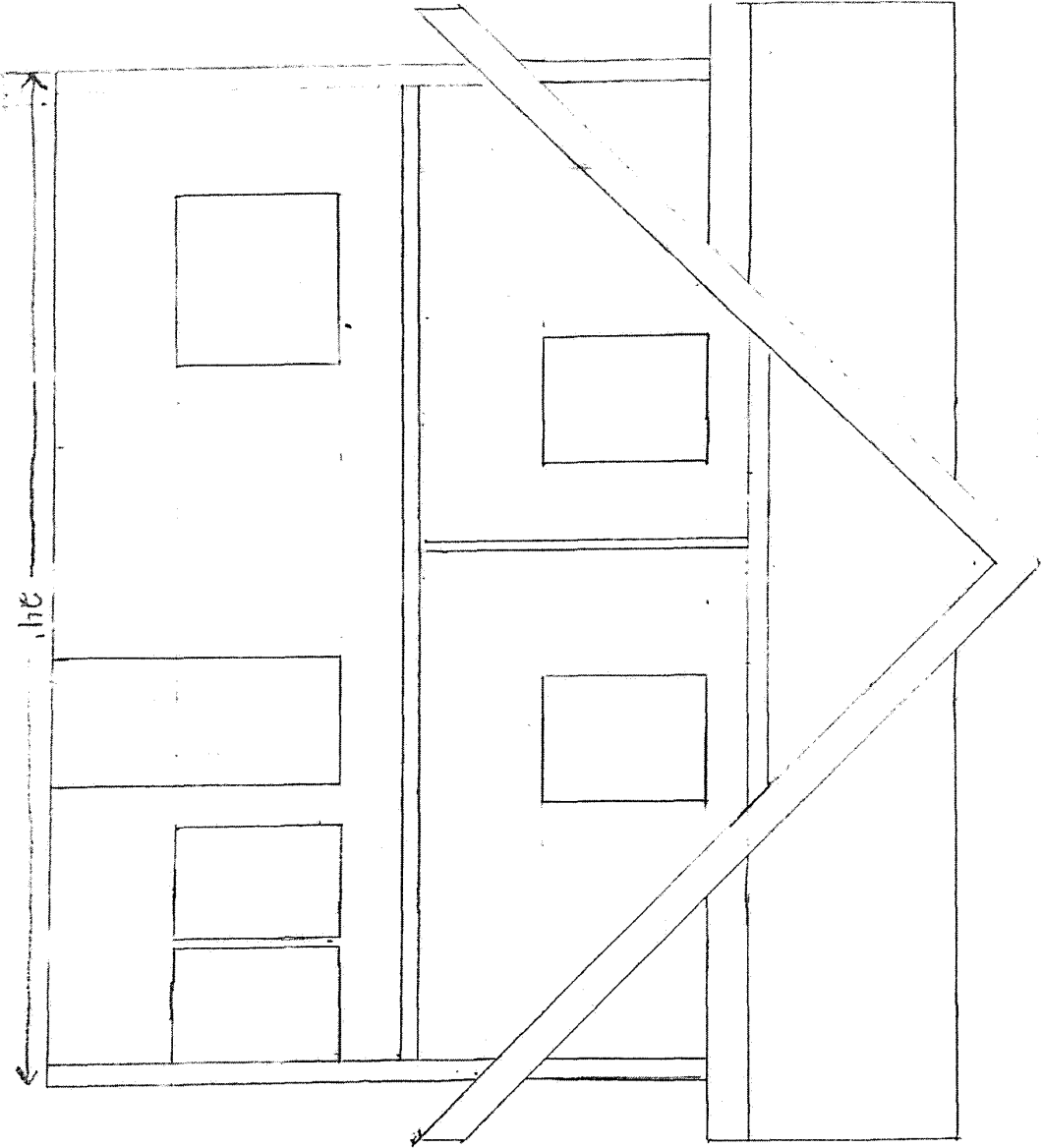


OTHER PROJECT

East Section
137 - 141

Bond - Vancouver
28 Jan 2013

Main house elevation

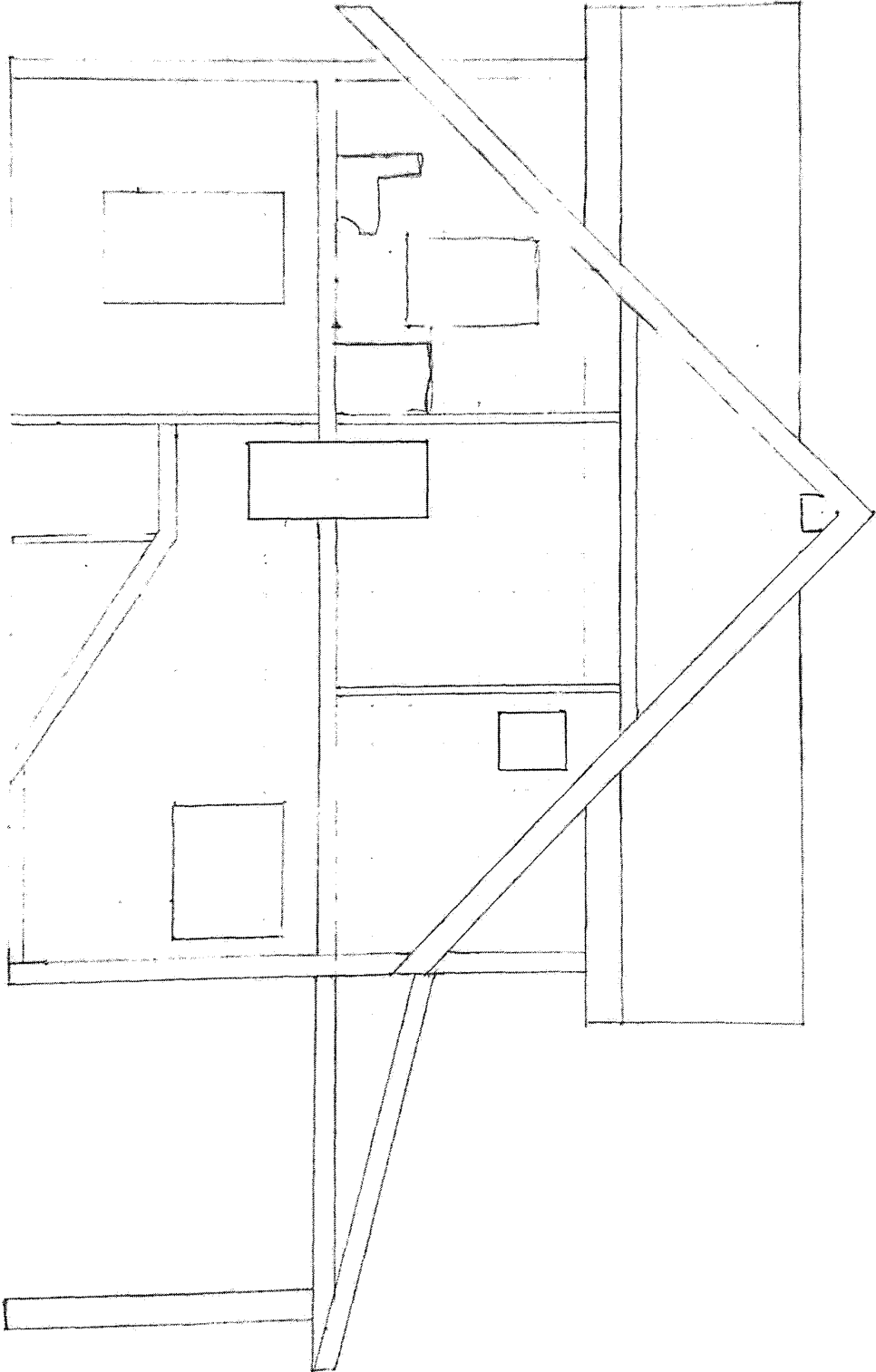


COHEN PROJECT

South Section
1 sq. = 1 ft.²

Boris - Van Dierck
28 Jan 2013

Main house elevation



Cohen Project

North Profile
1 sq. = 1 ft.

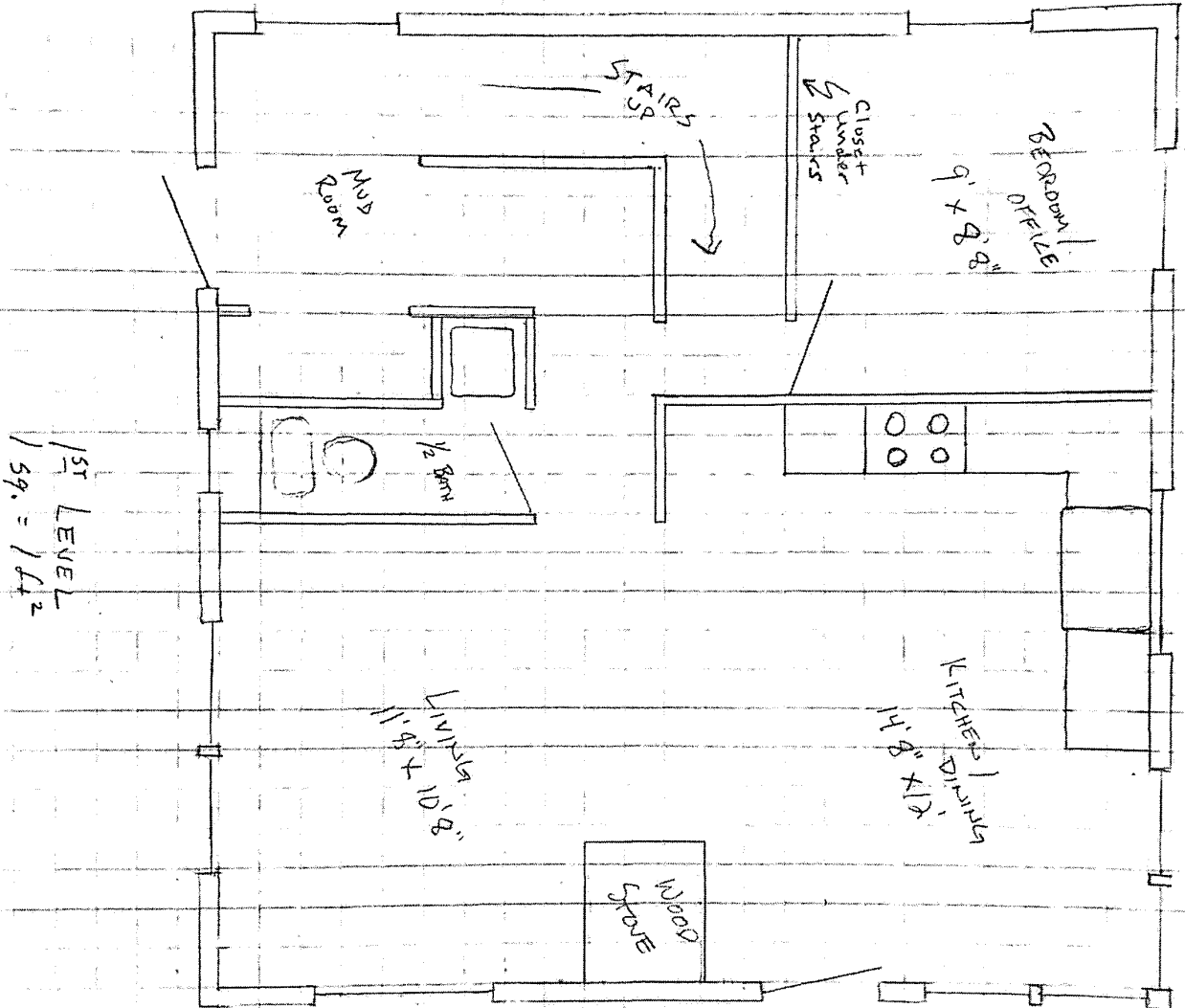
Boyd-Vandewater
28 Jan 2013

Main house, floorplan, lower level

OUTSIDE DIMENSIONS
25' x 24'

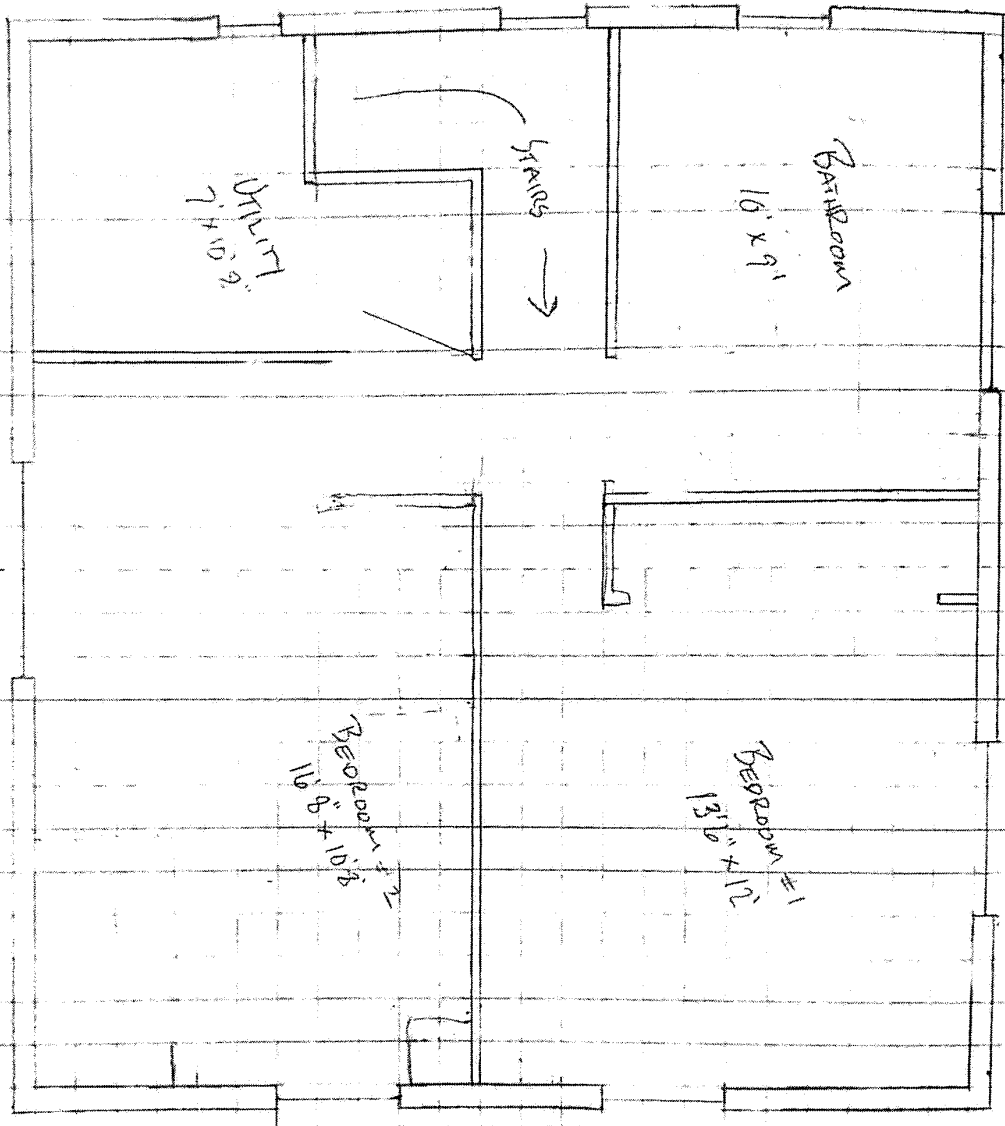
INSIDE DIMENSIONS
24' x 23'

COHEN PROJECT



BOYD-VANDERMEER

Main house floorplan, upper level

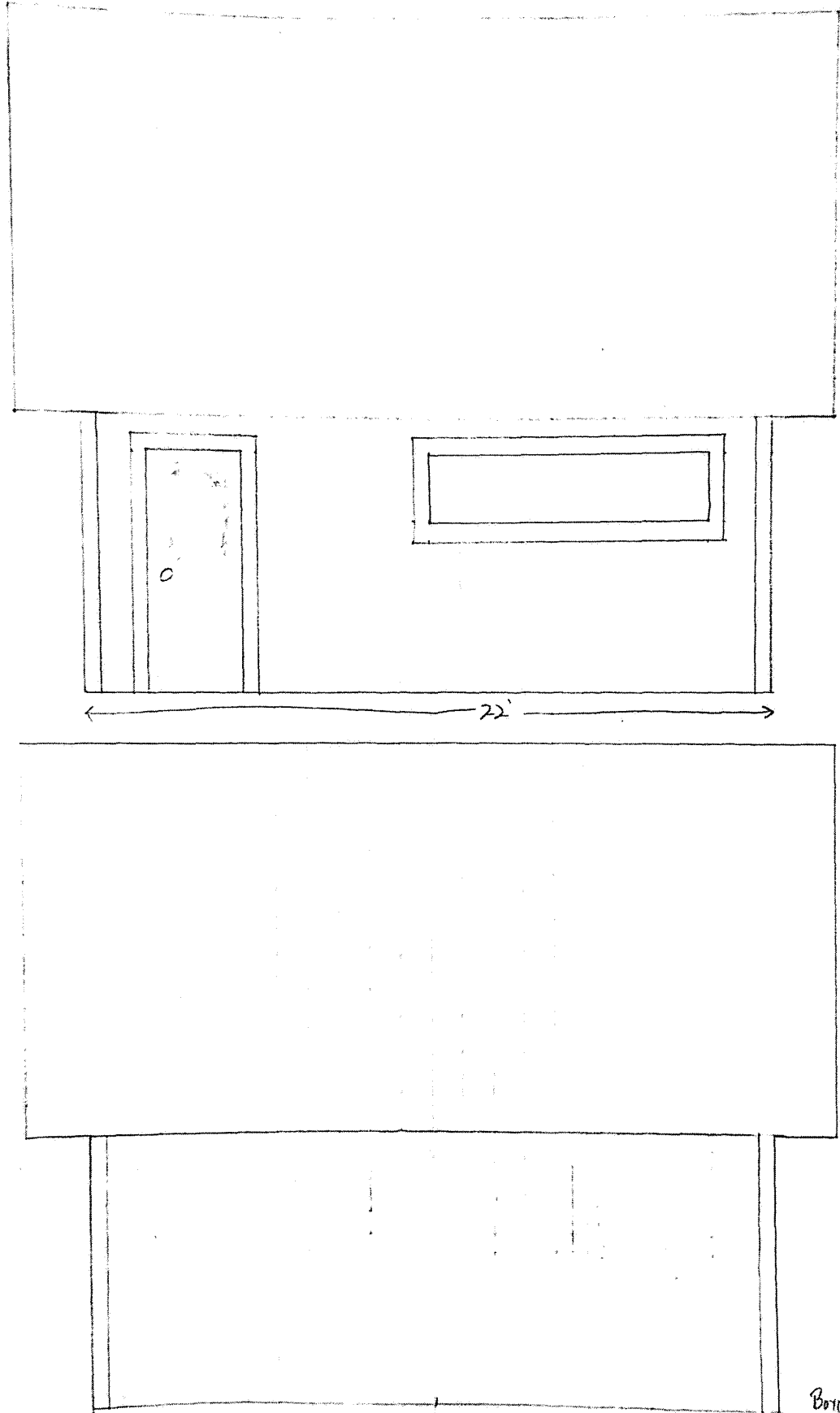


COHEN PROJECT

2nd LEVEL
159. - 15.2

BOD - VAN DER MEER
28 JAN 2013

Garage elevation

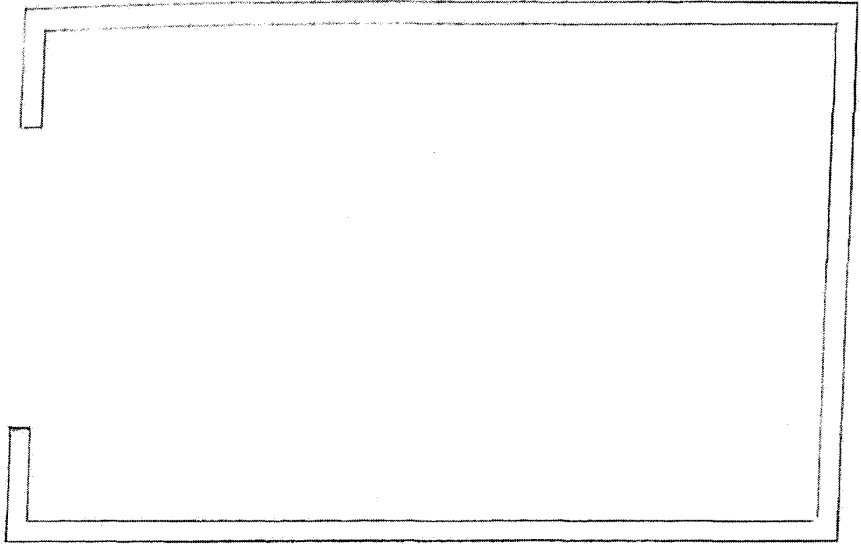


COHEN PROJECT

GARAGE

BOTO-VAN ORMER
16 NOV 2012

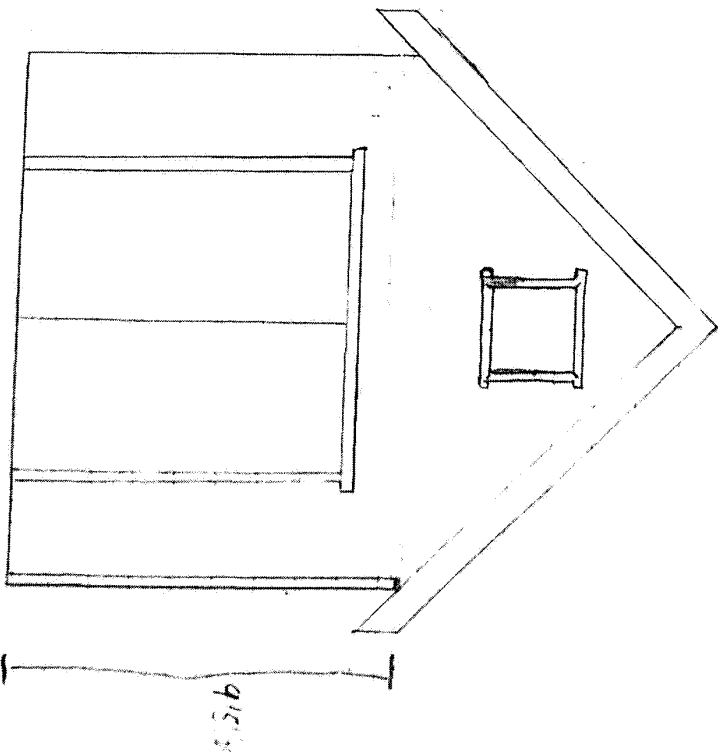
Garage elevation and dimension



OUTSIDE DIMENSION 12'6" x 20'
 INTERIOR DIMENSION 11'6" x 19'
 TOP OF CEILING TO BOTTOM OF JOIST 4'7'3"
 TOP OF JOIST TO CEILING 4'6'9.5"
 LOFTEN PROJECT

between uprights: 8'5"

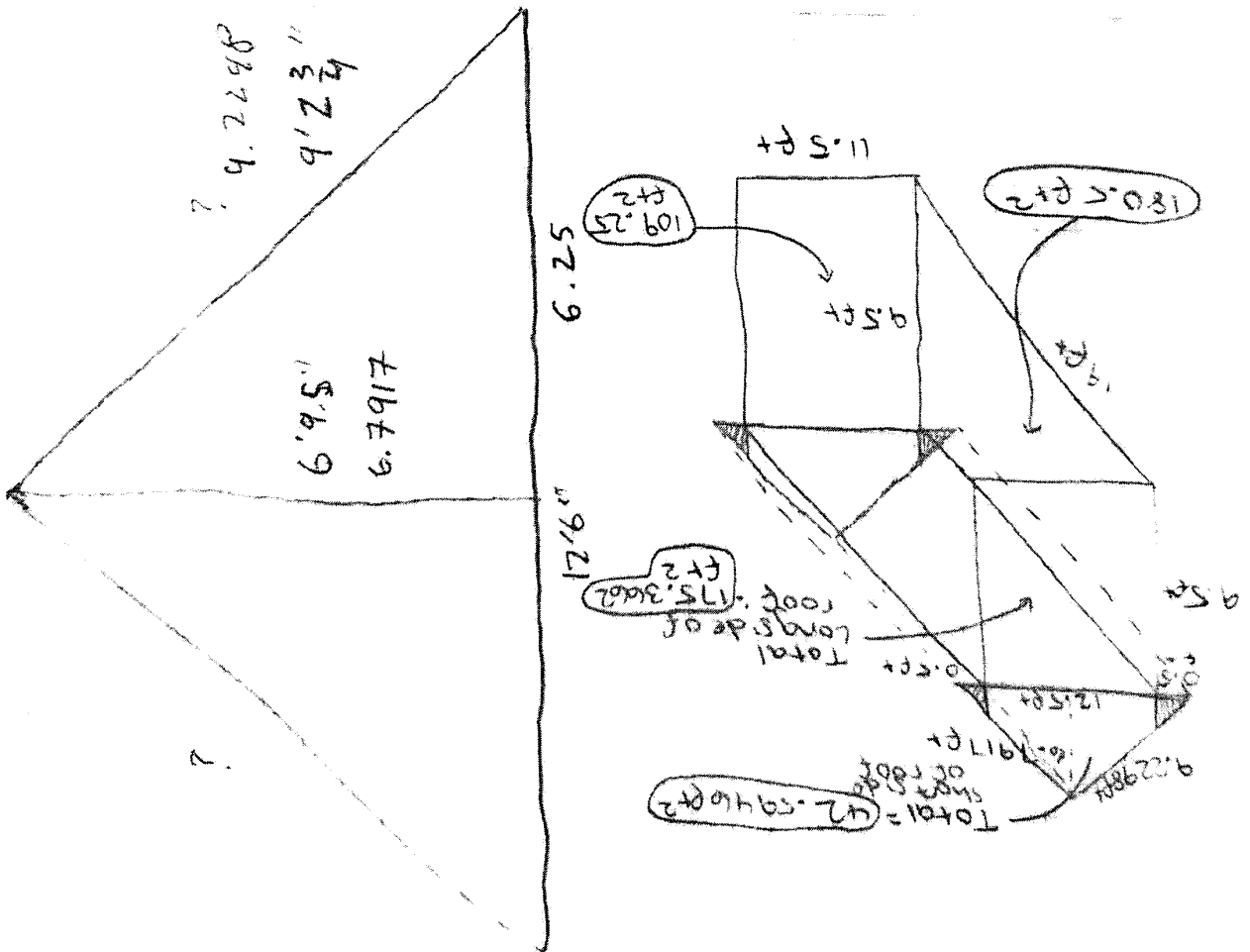
(GARAGE



INTERIOR HEIGHT TO SOFT 9'5.25"
 TOTAL INTERIOR HEIGHT 16'9"

BIRD-VAN DER WER
 28 JAN 2013

Attachment A - Application Packet

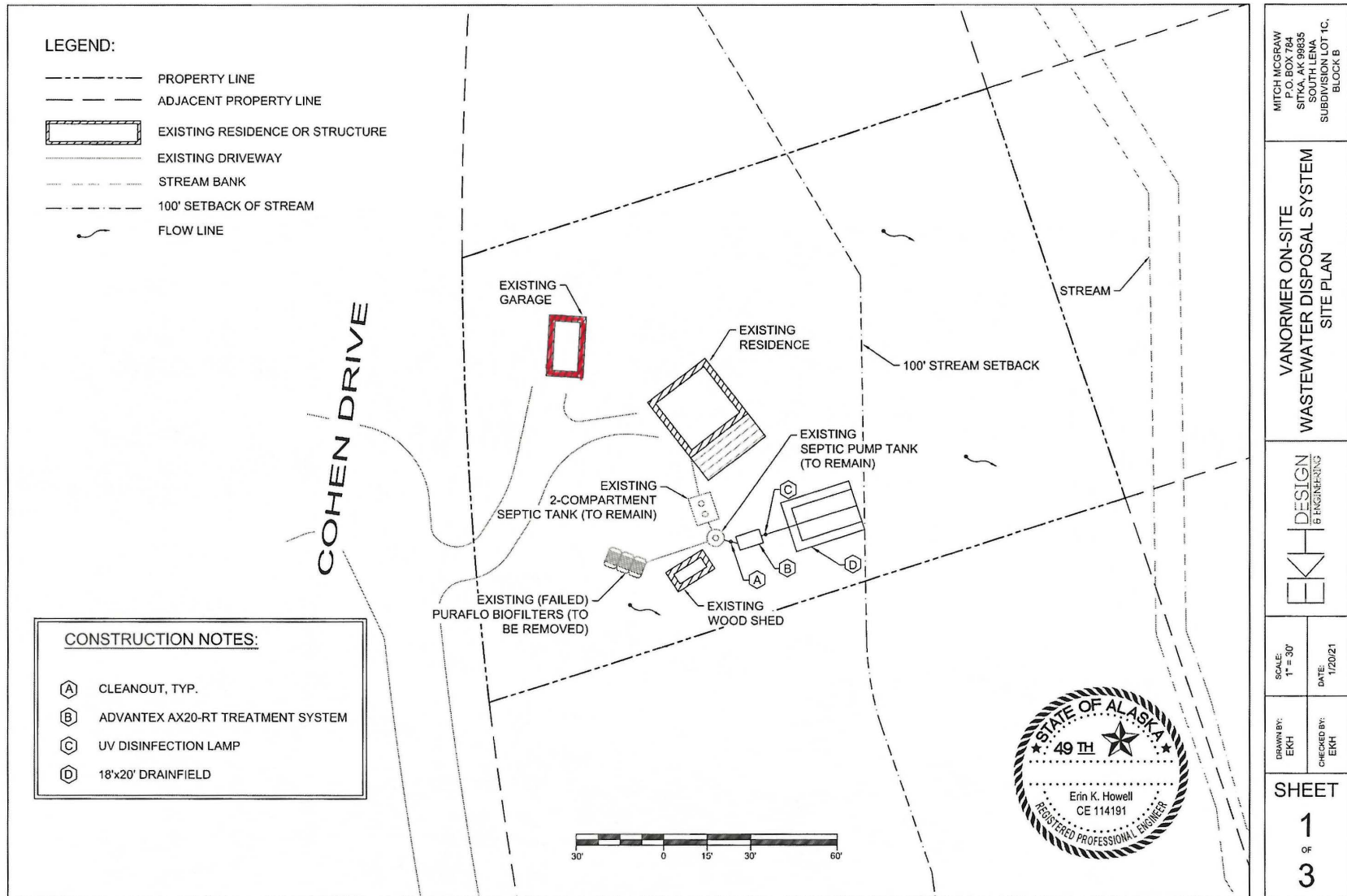


Total: $\frac{1,015,4216 \text{ €}}{880,1116 \text{ €}}$

Journal of Management Education



Accurate site plan and plot from 2021 of land, submitted for successful permitting of new septic

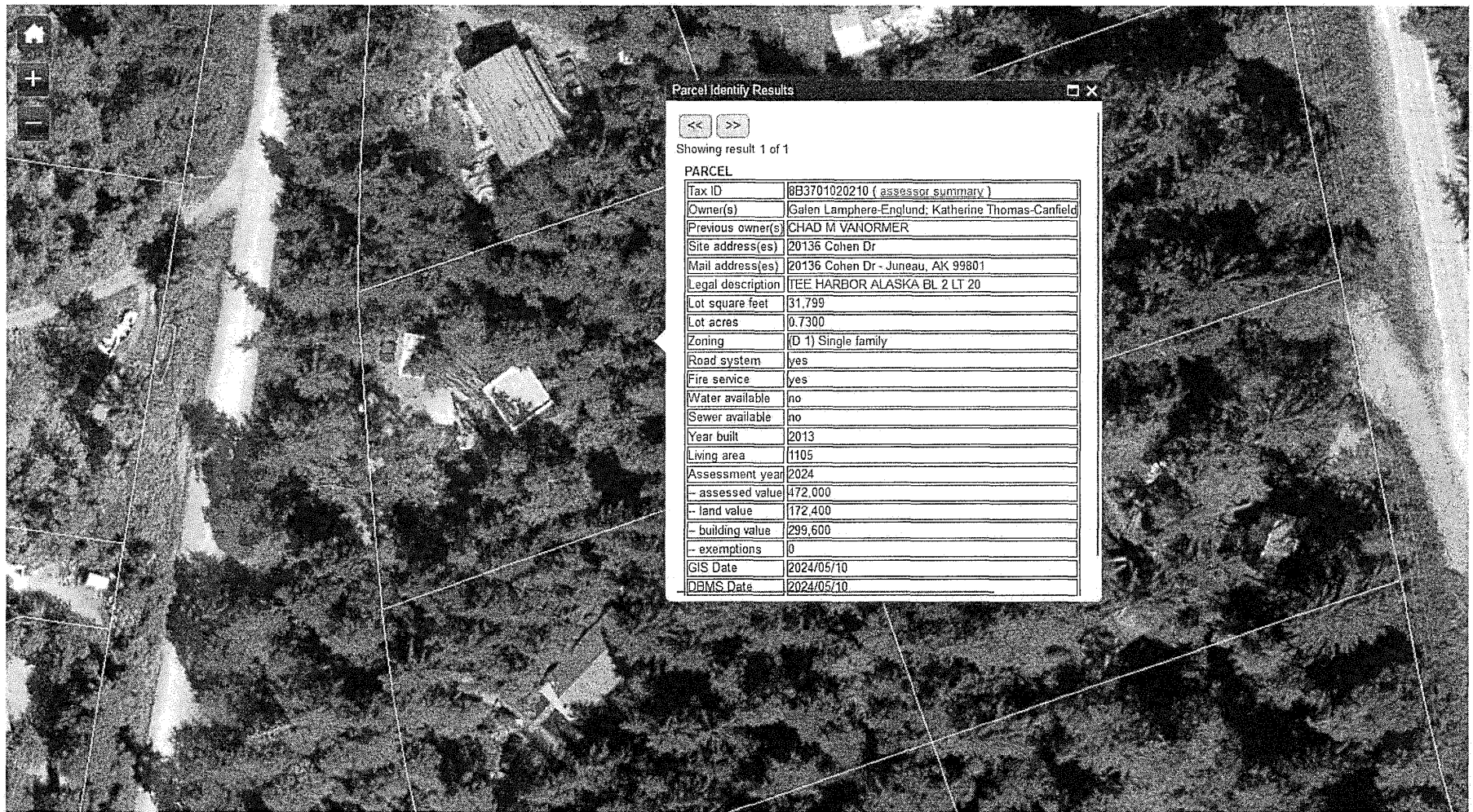




Aerial view, 2020, of current footprint. Garage visible as smaller structure at left.



20136 Cohen Drive -- Aerial view of lot, 2013 during construction. Footprint visible.



20136 Cohen Drive -- Aerial view of lot, 2013 during construction. Footprint visible.



Attachment B – Abutters Notice and Public Notice Sign Photo

From: [Theresa Ross](#)
To: [Jolene Murphy](#)
Subject: RE: USE24-19 For Agency Review
Date: Thursday, October 17, 2024 7:45:08 AM
Attachments: [image002.png](#)

No concerns from fire.

Thank you,

Theresa Ross, Fire Marshal
Capital City Fire Rescue
820 Glacier Avenue
Juneau AK 99801
907-586-5322 ext. 4323
<https://www.juneau.org/fire>



From: Jolene Murphy <Jolene.Murphy@juneau.gov>
Sent: Monday, October 14, 2024 3:07 PM
To: Jeffrey Hedges <Jeffrey.Hedges@juneau.gov>; General Engineering <General_Engineering@juneau.gov>; Theresa Ross <Theresa.Ross@juneau.gov>
Cc: Jolene Murphy <Jolene.Murphy@juneau.gov>
Subject: USE24-19 For Agency Review

Good afternoon,

We recently received an application for an accessory apartment on Cohen Drive. I've attached the application and pre-application report to this email. If you have any questions or concerns, please reach out to me by October 28th. Let me know if you need an extension.

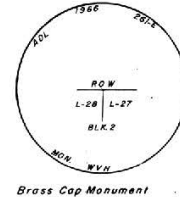
Thank you!

Jolene Murphy | Planner

[Community Development Department](#) | City & Borough of Juneau, AK
Location: 230 S. Franklin Street | 4th Floor Marine View Building
Office: 907.586.0753 x4131



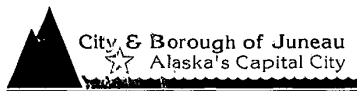
Fostering excellence in development for this generation and the next.



TYPICAL MONUMENT MARKINGS



Attachment D – 1967 Plat



BUILDING PERMIT

Permit No.
BLD20130125

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.php.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:30 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **COHEN DR**
Permit Number: **BLD20130125**
Project Description: New single family residence

Issued Date : **04/01/2013**
Parcel No: **8B3701020210**

Parcel Information : TEE HARBOR ALASKA BL 2 LT 20

Setbacks: Zone: D1: Firm Zone: C
Front: 25.00 Ft. SW Side 1: 15.00 Ft. NW
Rear: 25.00 Ft. NE Side 2: 15.00 Ft. SE
Street Side:

Comments:

Owner :
MIKE PERENSOVICH
LOIS PERENSOVICH
332 WACHUSETTS
SITKA AK 99835

Applicant :
BUILDING PROS
9882 LONE WOLF DR
JUNEAU AK 99801

Fee Type	Date	Receipt	Amount Paid
BLD- Res Plan Review	03/12/2013	03372	\$563.91
BLD- Bldg Permit Fee	04/01/2013	03432	\$1,127.82
Total Fees Paid:			\$1,691.73

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
1,138	Residential-Single Family R	116.96	133,100.48
250	Utl & Misc-Private Garage	63.64	15,910.00
112	Utl & Misc-Porch	43.28	4,847.36
Total Valuation:			\$153,857.84

Project Conditions and Holds:

Asbuilt Survey May Be Req'd - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

Approved Fasteners - Fasteners hangars and brackets used on the exterior of the building and or used with pressure-preservative or fire retardant-treated woods shall be listed and approved products for such use.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Crawl Space Vapor Barrier - Under floor spaces and crawlspaces shall have a vapor retarder that is a minimum of 6 mil thick (0.15 mm) polyethylene film installed such that all edges are lapped a minimum of 6 inches (152 mm) and sealed with a permanent compatible sealing compound or adhesive. Such vapor retarder shall extend vertically up the foundation wall a minimum of 6 inches (152 mm) and be attached and sealed with a permanent compatible sealing compound or adhesive to the foundation wall. Vapor retarder shall not be attached to wood other than pressure preservative treated wood.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us
Web Site: www.juneau.org/permits



BUILDING PERMIT*

Permit No.
BLD20130125
Page No. 2

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

EGRESS WINDOWS - Verify egress windows.

Fuel Burning Appliance Instructions - Listed fuel burning appliances must be installed in accordance with the listed installation and operating instructions provided by the manufacturer. These instructions must be onsite and available to the inspector at time of inspection.

WATER FIXTURE COUNT - Minimum 1" Street Service and 1" Building Supply and branches for up to 31 water fixture units.

Garage Floor Drains - Garage floor drains must have approved separator device as approved by CBJ Gen Eng department. Maintenance schedule required for these devices prior to TCO or CO.

Ice Shield Required - Residential - Ice Shield Underlayment required for residential roofs. Call for inspection of Ice Shield Underlayment installation. Alternately a licensed contractor or owner-builder may provide written confirmation stating Ice Shield Underlayment installation has been installed in accordance with section 905.2.7.1 of the 2006 IRC as modified by CBJ Title 19.

Chimney Clearance - Chimney Clearance: If roof sheathing is replaced at a chimney or chimney flashing is detached, call for inspection to verify proper clearance to combustibles before cover. Alternately a licensed contractor or owner-builder may provide written confirmation stating proper clearances are met.

Shower Anti-scald Valve - All shower valves and combination tub/shower valves shall provide scald and thermal shock protection by means of an approved valve that conforms to ASSE 1016 or ASME A112.18.1 / CSA B125.1. The maximum water temperature supplied to these fixtures shall be 120 degrees fahrenheit per 2009 UPC section 418.

Seismic Strap Water Heater - Residential - Residential water heaters shall be strapped within the upper 1/3 of its vertical dimension per 2009 UPC section 508.2.

Smoke and CO Detectors - Smoke and Carbon Monoxide detectors as required by applicable code must be operational prior to temporary occupancy and/ or final inspection approval, whichever is requested first.

STAMPED TRUSS DRAWINGS - Provide stamped truss detail at site.

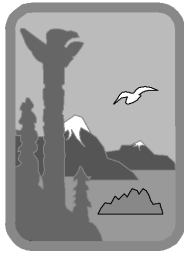
UFER Ground - An approved UFER ground conductor must be installed and inspected per the 2008 National Electrical Code.

Meter Yoke Installation - Meter yoke installation must be in accordance with CBJ Standard 420 prior to issuance of TCO.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

B-Setback Verification	B-Foundation, Forms and Reinforcing Steel	B-Temporary Power
B-Framing	B-Rough Electrical	B-Yellow Tag Electrical
B-Under Slab Utilities	B-Rough Plumbing	B-Appliance/Chimney
B-Insulation/Vapor Barrier	B-Oil & Gas Piping/Tanks	B-Vents (Bath, Dryer, Kitchen, etc.)
B-Smoke /Carbon Monoxide Detectors	B-Cross Connection Control	B-Building Final
E-Grading/Drainage	E-General Engineering Final	

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us
Web Site: www.juneau.org/permits



STATE OF ALASKA
DEPARTMENT OF ENVIRONMENTAL CONSERVATION
CONSTRUCTION AND OPERATION CERTIFICATE
FOR
DOMESTIC WASTEWATER DISPOSAL SYSTEMS



A. APPROVAL TO CONSTRUCT

Plans for the construction or modification of the **Tee Harbor Subdivision, Block 2, Lot 20** domestic wastewater system, located at **Juneau, Alaska**, submitted in accordance with 18 AAC 72.200 through 18 AAC 72.235 by **Erin Howell, P.E.** have been reviewed and are

☒ **approved as submitted**

☐ **conditionally approved (see attached conditions)**

By: Raymond Zimmer

Engineering Associate I
(Title)

02/26/2021
(Date of Approval)

If applicant fails to construct, alter, install, or modify the system within two years of the date of approval to construct, approval is void, and plans must be resubmitted for Department review and approval.

B. APPROVED CHANGE ORDERS

Change (contract order number or descriptive reference)

(Reviewing Engineer)

(Title)

(Date of Approval)

C. APPROVAL TO OPERATE

The “**Interim Approval to Operate**” or “**Final Approval to Operate**” section must be completed and signed by the Department to continue to use this system beyond 90 days following the construction completion date.

Interim Approval to Operate:

The construction of the above referenced domestic wastewater disposal system was completed on _____. The system is hereby granted an extension of the **INTERIM APPROVAL TO OPERATE** until _____ date. It is illegal to operate the domestic wastewater disposal system beyond this date without **Final Approval to Operate** from the Department.

(Reviewing Engineer)

(Title)

(Date of Approval)

Final Approval to Operate:

Record drawings and other documents submitted to the Department, or an inspection by the Department, has confirmed that the domestic wastewater disposal system was constructed in substantial conformance with the approved plans. The system is hereby granted **FINAL APPROVAL TO OPERATE**.

(Reviewing Engineer)

(Title)

(Date of Approval)



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Environmental Conservation
DIVISION OF WATER
Engineering Support and Plan Review

610 University Avenue
Fairbanks, Alaska 99709
Main: 907.451.2177
Fax: 907.451.2188
www.dec.alaska.gov

February 26, 2021
Erin Howell, P.E.

Plan Tracking No.: 28662
ADEC File No.: 1513.40.109

RE: VanOrmer WWTS
Tee Harbor Subdivision, Block 2, Lot 20
Secondary Treatment, Disinfection and Soil Absorption System
Design Flow – 450 gpd
Approval to Construct

Greetings Ms. Howell,

On February 15, 2021 the Alaska Department of Environmental Conservation (ADEC or Department) received a submittal requesting construction approval for the VanOrmer WWTS located in Juneau, AK. The information was reviewed in accordance with Wastewater Disposal Regulations 18 AAC 72 and **construction approval is granted**. Enclosed is the Construction and Operation Certificate with the Approval to Construct section signed.

Project Description

The approved project includes installation of a new Advantex AXRT-20 Secondary Treatment Plant capable of treating 600 gpd, with an integrated UV-Disinfection system. Final effluent will terminate into a 360 ft² soil absorption system.

Approval to Operate Requirements

This construction approval includes a 90 day interim approval to operate provided that construction substantially complied with the approved design drawings. In order to receive final operational approval, please submit the following information within 60 days of the completion of this project:

1. Written request for operational approval that includes a statement regarding any changes made during construction
2. Record drawings prepared (signed and dated) by the engineer responsible for observing the construction of this project (The Department prefers drawings that are no larger than 11" x 17").
3. Certification of Construction form complete with signatures from the Owner, Construction Contractor, and Engineer (A copy of this form may be downloaded and printed from the Department of Environmental Conservation website <http://dec.alaska.gov/water/wwdp/onsite/pdf/construction.pdf> or a copy will be provided upon request.)
4. A signed maintenance contract with a qualified service provider for the WWTS.

If the approval to operate requirements cannot be met within 90 days of construction completion, an extension of the interim approval to operate must be requested at least 30 days in advance.

Disclaimers and Appeals Process

Approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulation. The Department's construction approval does not guarantee correctness or the functionality of the design, or waive the owner's responsibility for continued compliance with state regulations. Deviations from approved plans which affect capacity, flow, pressure, operation, compliance, or materials of major system components must be approved by this Department prior to their construction or implementation.

This approval is valid for two years from the date of this letter. If the applicant fails to construct, alter, install, or modify the system, the approval is void and plans must be resubmitted for department review and approval according to 18 AAC 72.200.

This approval is contingent upon your receipt of any other state, federal, or local authorizations which are required for your project. You are required to obtain all other necessary authorizations before proceeding with your project. This approval does not imply the granting of additional authorizations nor obligate any state, federal, or local regulatory body to grant required authorizations.

Any person who disagrees with this decision may request an adjudicatory hearing in accordance with 18 AAC 15.195- 18 AAC 15.340 or an informal review in accordance with 18 AAC 15.185. **Informal review requests** must be delivered to the Division of Water Director, 555 Cordova Street, Anchorage, AK 99501, within 20 days of this decision. **Adjudicatory hearing requests** must be delivered to the Commissioner of the Department of Environmental Conservation, PO Box 111800, Juneau, AK 99811, within 30 days of this decision. If a hearing is not requested within 30 days, the right to appeal is waived. More information on the Department's administrative appeals process can be found at <http://dec.alaska.gov/commish/review-guidance/>.

If you have questions please contact me at 907-456-5167 or by e-mail at raymond.zimmer@alaska.gov

Sincerely,

Raymond Zimmer
Eng. Associate

Enclosures: Construction and Operation Certificate

Introduction:

The applicant wishes to install a new septic tank and absorption field for an existing 3-bedroom home.

Applicant/Property Owner Contact Information:

Chad VanOrmer & Tamar Boyd
20136 Cohen Dr.
Juneau, AK 99801
(907)723-1415
cvanormer@gmail.com

Project Location:

Tee Harbor Alaska Block 2 Lot 20
20136 Cohen Dr.
Juneau, AK 99801
CBJ Parcel No. 8B3701020210

Wastewater System Components:

- Existing 1,000-gallon septic tank (brand unknown)
- Existing pump-out tank (brand of tank + pump unknown)
- Advantex AXRT-20 secondary treatment unit with a treatment capacity of 600 gpd.
- Salcor UV disinfection unit.
- 18'x20' bed-type drain field using ADS ARC 36HC bio-diffusers.

Existing Site Conditions:

Site Description: The project site is located roughly 1/3 of the way down Cohen Dr.

Lot size: 31,799 SF

Adjoining Properties: All adjoining lots (excluding the lot directly behind this property) are developed properties with single family residences. All properties in the vicinity are fairly large sized lots ranging between 0.75-1.5 acres. The location of the dispersal bed, septic tank, and Advantex unit will not impact any of the adjoining properties.

Lot Topography: The project site slopes down slowly from northwest to southeast. There is a stream behind the property that is shown to be an anadromous fish stream on the ADFG database. Although the stream is categorized anadromous, the stream runs pretty much dry year-round at this location. The required 100' stream setback limits the area of the property that can be used for the septic system.

Existing/Proposed Utilities: The property is currently served by the CBJ municipal water utility system. There is currently an existing on-site wastewater disposal system on the property consisting of 1,000 gallon 2-compartment plastic septic tank, a pump out tank, and three puraflo bio-diffusers all installed when the home was constructed in 2013. The existing septic tank and

pump-out tank appear to be functioning properly. The puraflo bio-diffusers, however, have failed. There is currently standing water around the bio-diffusers and the ground around them is beginning to turn mucky. It does not appear that the bio-diffusers have malfunctioned, rather that they were installed much too close to the water table and proper drainage is unobtainable.

Existing Soils: The uppermost layer of soil consists of 1-2' of folists and organic soils with peat. The second stratum of soil consists of 1-2' of silty gravel with sand. The third soil stratum (roughly 3-4' below the surface) is made up of glacial till/blue clay.

Design Details:

Considerations:

- Existing structure consisting of a 3-bedroom home.
 - Estimated flow: 150 gpd/bd * 3 bd = 450 gpd

Wastewater Treatment Plant and Pump Tank Specifications:

- Existing 1,000-gallon septic tank (can be removed if desired).
- Existing pump-out tank (existing pump can be re-used if needed; if pump is not necessary for new system, the tank and pump can be removed if desired).
- Advantex AXRT-20 secondary treatment unit with integral UV treatment.
- Vcom-AX20A1HTSA Vericomm AX20A1 control panel
- Advantex treatment systems meet required NSF Certification Standard 40 criteria for Class I NSF listing.
- System must be installed following the manufacturer's installation requirements: [NIM-ATX-AXRT-1.pdf \(orenco.com\)](#)
- System must be operated following the manufacturer's operation and maintenance requirements. Refer to the following website for the O&M manual: <https://odl.orenco.com/documents/aim-om-atx-3-prn.pdf>
- Supplemental information for the AXRT units: [AIM-OM-ATX-sup-1.pdf \(orenco.com\)](#)

Wastewater Disposal System Specifications: Due to the high quality of effluent that comes out of the Advantex sytems (BOD of 5 mg/L and TSS of 5 mg/L or less when loaded at the same hydraulic loading rate used during NSF Standard 40 testing, not including the additional UV disinfection that this system will have) the absorption field size has been reduced from the typical system. Typical systems in Juneau have an application rate of 1-1.2 gallons per square foot. Advantex systems can increase the application rate on an absorption field to 6 gal/SF because the effluent is that much cleaner than required (5 mg/L for BOD and TSS, vs. 30 mg/L for each).

- Absorption field size: $450 \text{ gal} \div 6 \text{ gal/SF} = 75 \text{ SF}$ (minimum)
- Absorption field actual size: 18'x20' = 360'
- Treated wastewater effluent will be disposed of in a bed type absorption field system. Please note that the system must be mounded due to the close proximity to slow-draining soils. The location of the new absorption field is downhill from the existing system and may not need to be pumped; however, if existing soils dictate that the absorption field be higher than the existing pump-out tank, the pump may be re-used for this system. Components to the disposal system include:
 - 360 sf of absorption area. Absorption area dimensions are 18' (width) by 20' (length).
 - Layers (starting from the bottom up) of the absorption system include:

- 2' of clean washed sand from either Aggpro or West Glacier Development
- 1.5' of ¾" washed rock; this layer will contain two sections of ARC 36HC bio-diffusers.
- 2' (min.) of existing site soils or non-frost susceptible pit-run. 1" of high-density foam polystyrene insulation may replace 1' of soil.
- 0.5' of topsoil, seeded.
- 4" PVC monitor tubes will be installed in each corner of the drain field.

Further Instructions to Gain Approval to Construct from ADEC:








- Report, plans, cover letter, owner's statement, and Engineering Support and Plan Review (ESPR) Intake Form will be submitted by the engineer to State of Alaska Department of Environmental Conservation (ADEC).
- There will be a permit fee for plan review of this project from ADEC. An ADEC plan review invoice will be attached to this invoice for the owner to submit along with payment.
- Please be aware that, along with design and plan review, approval is a two-step process. Steps being, approval to construct and approval to operate.
- Upon successful review of the submittal ESPR, ADEC will issue an Approval to Construct Letter and a Construction and Operation Certificate with the Approval to Construct section signed to the owner.
- Once the system is constructed according to plan, an Interim Approval to Operate will be granted automatically along with the Approval to Construct for 90 days after construction.
- The owner will request Final Approval to Operate once the system is constructed and operational.
- ESPR will issue an Approval to Operate once all documents are received.

ADEC Contact Information:

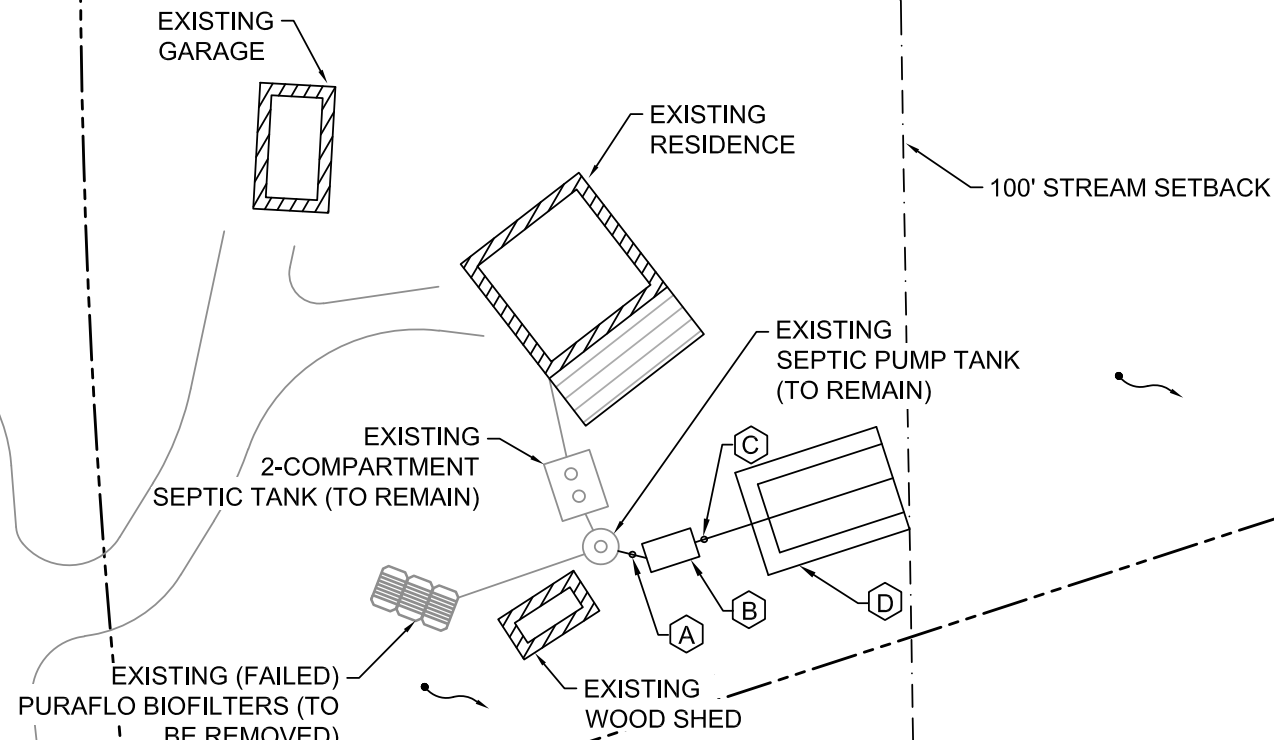
Raymond Zimmer
(907)465-5167
410 Willoughby, Ave.
Juneau, AK 99801







LEGEND:

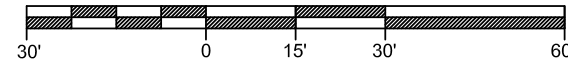
-  PROPERTY LINE
-  ADJACENT PROPERTY LINE
-  EXISTING RESIDENCE OR STRUCTURE
-  EXISTING DRIVEWAY
-  STREAM BANK
-  100' SETBACK OF STREAM
-  FLOW LINE

COHEN DRIVE



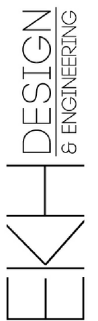
CONSTRUCTION NOTES:

-  CLEANOUT, TYP.
-  ADVANTEX AX20-RT TREATMENT SYSTEM
-  UV DISINFECTION LAMP
-  18'x20' DRAINFIELD



MITCH MCGRAW
P.O. BOX 784
SITKA, AK 99835
SOUTH LENA
SUBDIVISION LOT 1C,
BLOCK B

**VANORMER ON-SITE
WASTEWATER DISPOSAL SYSTEM
SITE PLAN**



SCALE:
1" = 30'

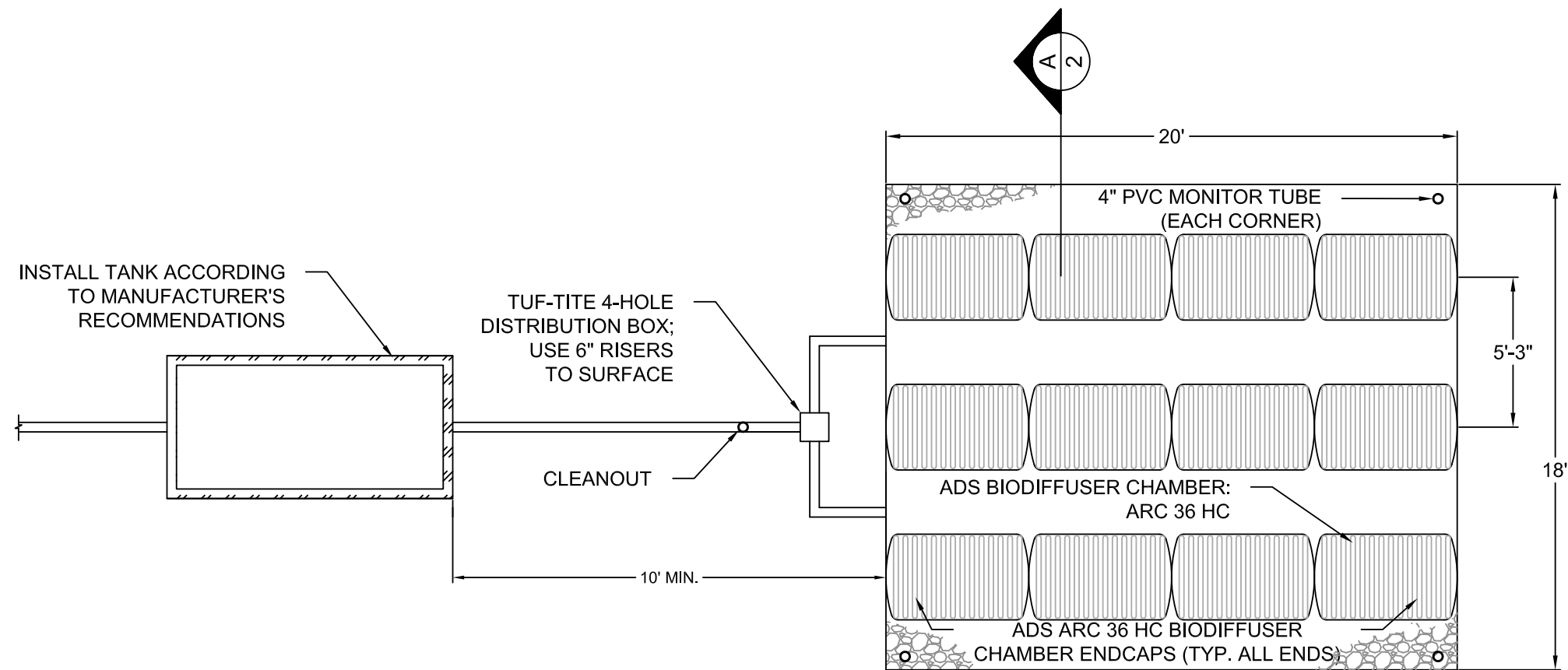
DATE:
1/20/21

DRAWN BY:
EKH

CHECKED BY:
EKH

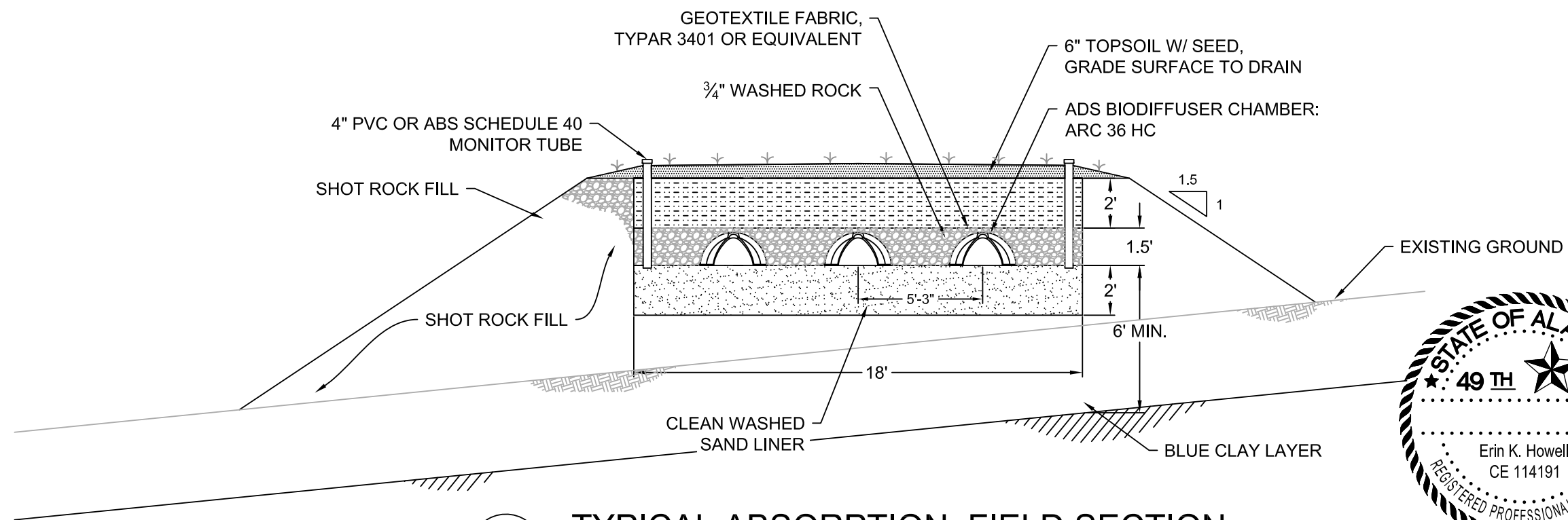
SHEET

**1
OF
3**



ABSORPTION FIELD PLAN VIEW

SCALE: 1" = 5'



TYPICAL ABSORPTION FIELD SECTION

SCALE: 1" = 5'



MITCH MCGRAW
P.O. BOX 784
SITKA, AK 99835
SOUTH LENA
SUBDIVISION LOT 1C,
BLOCK B

VANORMER ON-SITE
WASTEWATER DISPOSAL SYSTEM
ABSORPTION FIELD PLAN &
CROSS-SECTION

EKH DESIGN
& ENGINEERING

SCALE:
1" = 30'

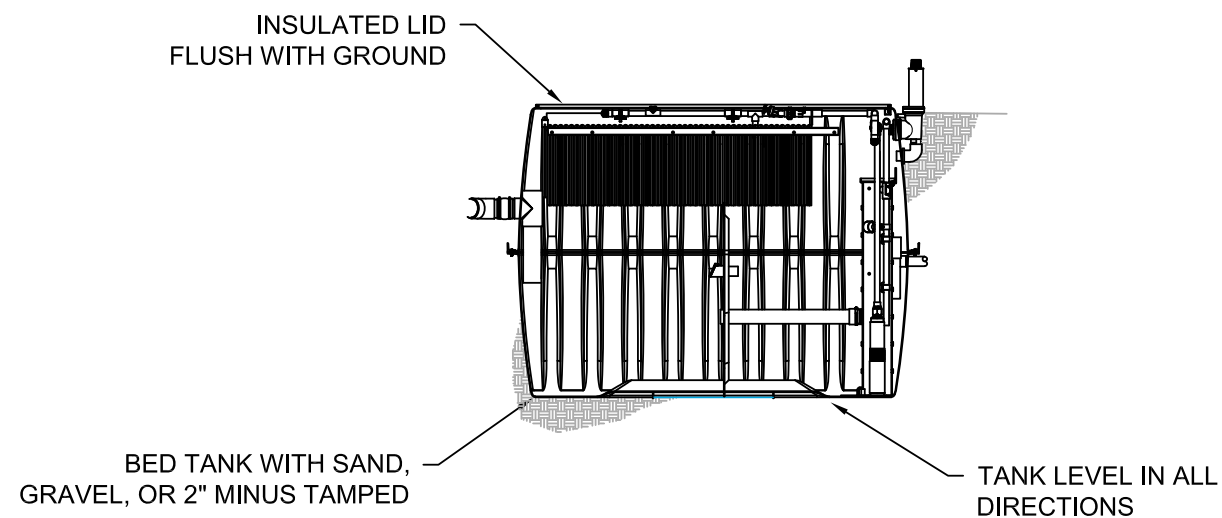
DATE:
1/20/21

DRAWN BY:
EKH

CHECKED BY:
EKH

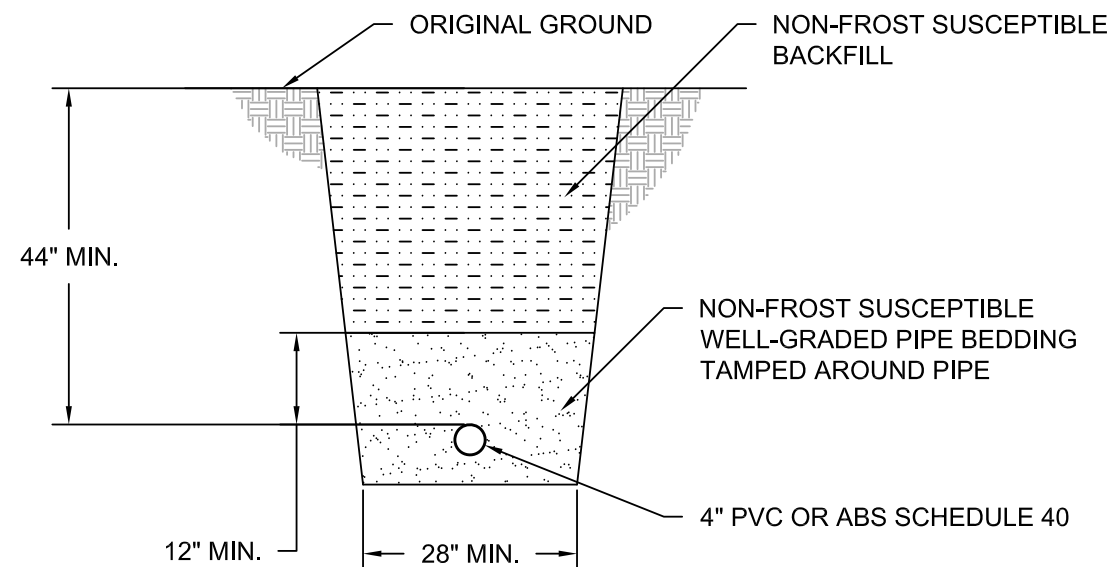
SHEET

2
OF
3



SEPTIC TANK BEDDING DETAIL

NTS



SEPTIC PIPE BEDDING DETAIL

NTS

GENERAL NOTES:

1. ALL LEACH FIELD PIPING SHALL BE LAID LEVEL AND BEDDED IN ROCK.
2. 2' MINIMUM COVER ABOVE ABSORPTION FIELD TO GROUND SURFACE REQUIRED.
3. 1" OF POLYSTYRENE INSULATION MAY BE SUBSTITUTED PER FOOT OF SOIL COVER UP TO TWO FEET MAXIMUM. MINIMUM SOIL COVER SHALL NOT BE REDUCED LESS THAN TWO FEET.
4. SAND LINER, MEETING THE GRADATION SPECIFICATION IN ARTICLE 3.18.
5. SEPTIC TANK MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND WARRANTY. MAXIMUM BURIAL DEPTH MUST NOT BE EXCEEDED.
6. GRADE OF SEWER LINE BETWEEN THE HOUSE AND SEPTIC TANK MUST BE BETWEEN 2% AND 10%, EXCLUDING THE LAST 10' WHICH MUST BE AT 2% MAX GRADE.



MITCH MCGRAW
P.O. BOX 784
SITKA, AK 99835
SOUTH LENA
SUBDIVISION LOT 1C,
BLOCK B

VANORMER ON-SITE
WASTEWATER DISPOSAL SYSTEM
DETAILS & GENERAL NOTES



SCALE:
1" = 30'

DATE:
1/20/21

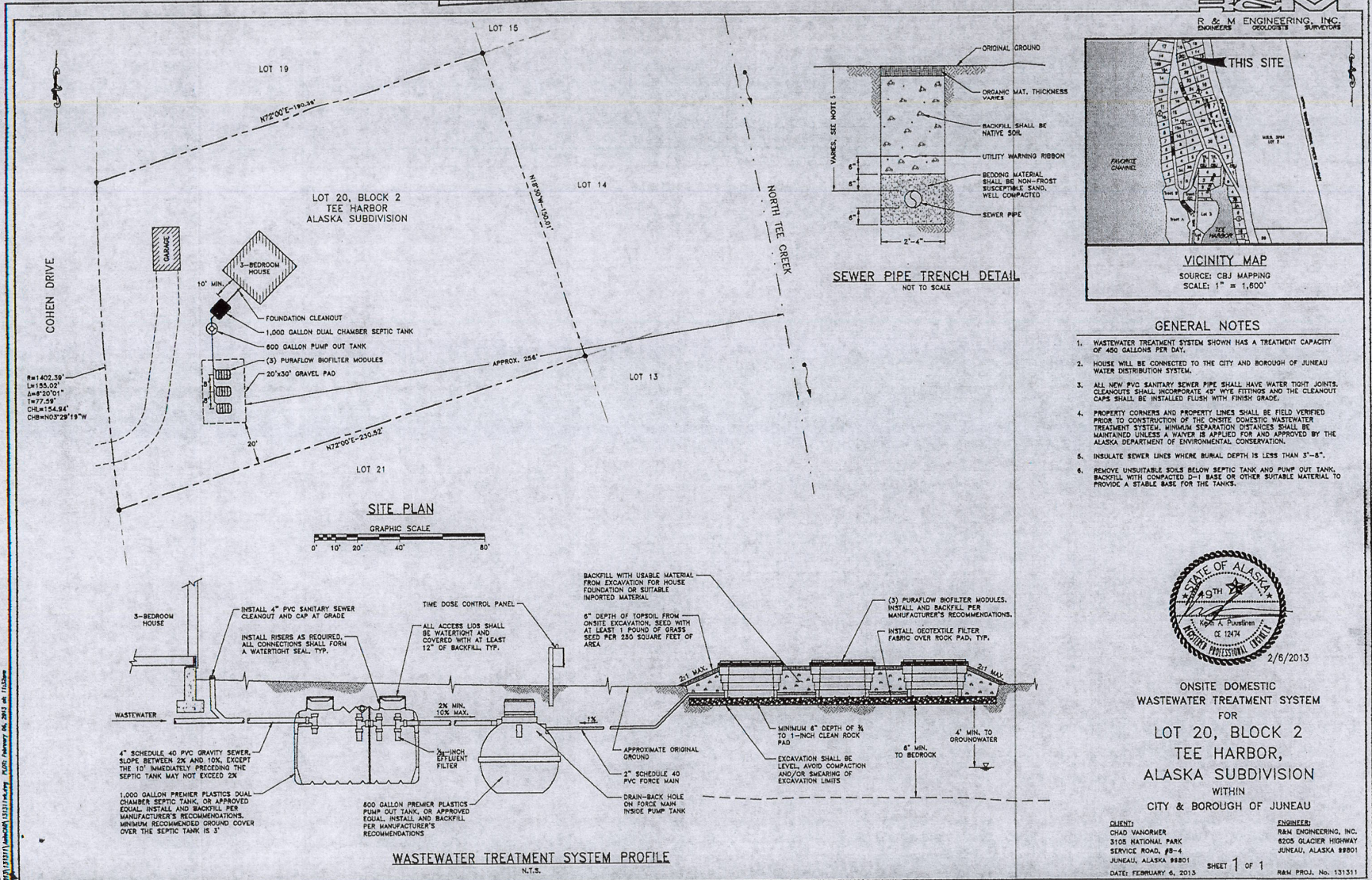
DRAWN BY:
EKH

CHECKED BY:
EKH

SHEET

3
OF
3

RECEIVED
MAR 12 2013
PERMIT CENTER/CDD



Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

New single family residence

Building Address: 20136 COHEN DR

Occupancy Group:

Owner of Building: CHAD M VANORMER
TAMAR M BOYD
3105 NATIONAL PARK SERVICE RD APT B 4
JUNEAU AK 99801-8437

Building Permit No. BLD20130125

Construction Type: Type V-B

Code Edition: 2006 IRC

Occupant Load: N/A

Sprinklers: Required No

Provided No

Legal Description of Building Lot:

TEE HARBOR ALASKA BL 2 LT 20

Building Official: Charlie Ford, BO


Signature

Parcel No: 8-B37-0-102-021-0

Date of Issuance: November 19, 2013

Post this Certificate in a conspicuous place for the duration of the stated occupancy.

CHECKLIST FOR
☒ CERTIFICATE OF OCCUPANCY
☐ TEMPORARY CERTIFICATE OF OCCUPANCY

Circle One: 30 Day TCO 60 Day TCO Other

Date: 11/18/13 Requested By (Inspector/Staff) MFS

Building Permit : BLD20130125

Site Address: 20136 COHEN DR

APN: 8B3701020210

Owner's Name: CHAD M VANORMER

Project Description: New single family residence

☒ **Buildings:** Date: 11/18/13 Initials: MFS Comments:

BF approved

OK for CO

☒ **Engineering:** Date: 11/19/13 Initials: MFS Comments:

☐ AS BUILT APPROVED FOR FORM BY ENGINEERING Date: _____ Initials: _____

OKAY FOR CO

☒ **Zoning:** Date: 11/18/13 Initials: CM Comments:

OK for CO



**DIRECTOR'S REVIEW STAFF REPORT
NONCONFORMING CERTIFICATION
NCC2021 0043**

(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/CDD
155 S. Seward Street • Juneau, AK 99801

DATE: June 14, 2021

TO: Jill Maclean, Director, AICP

BY: Joseph Meyers, Planner

PROPOSAL: A Nonconforming Certification Review for lots.

KEY CONSIDERATIONS FOR REVIEW:

- Zoning was not established when the lot was platted in 1967
- Lot was conforming under R12 zoning
- Lot became nonconforming for size with the zoning change in 1987
- Other dimensional standards are met

STAFF RECOMMENDATION:

Staff recommends the following situations receive Nonconforming Certification:

- Nonconforming Lots (49.30.260)

ABANDONMENT:

If a nonconforming situation is deemed to be abandoned by the Director, the decision may be reconsidered in accordance with CBJ 49.30.220. After reconsideration is reviewed, an appeal may be filed in accordance with CBJ 49.20.110.

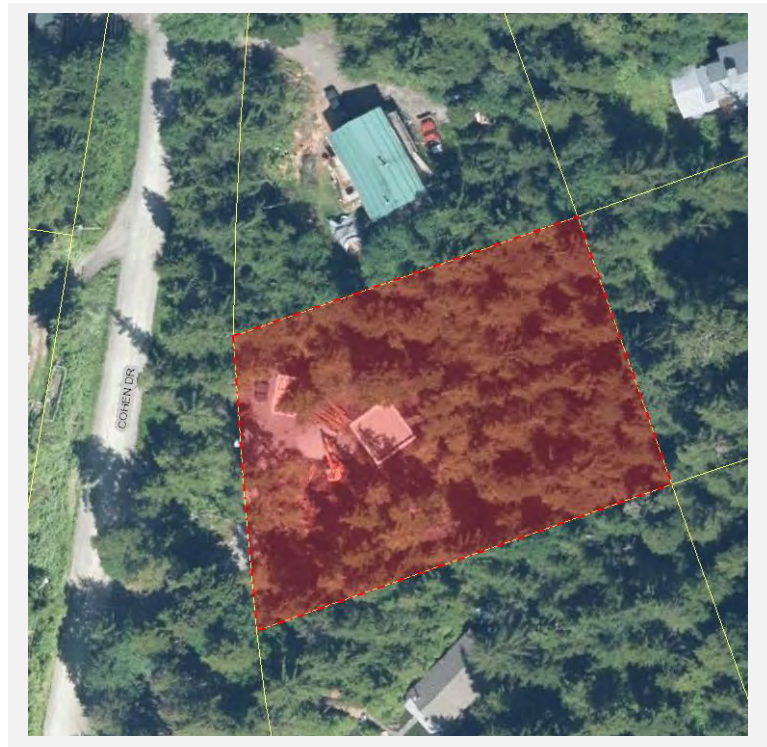
NONCOMPLIANCE:

If a situation fails to be certified as nonconforming, an appeal of this decision may be filed in accordance with CBJ 49.20.110.

GENERAL INFORMATION	
Property Owner	Chad M Vanormer & Tamar M Boyd
Applicant	Katherine Thomas-Canfield & Galen Lamphere-Englund
Property Address	20136 Cohen Drive
Legal Description	Tee Harbor Alaska Block 2 Lot 20
Parcel Number	8B3701020210
Zoning	D1
Lot Size	31,799 square feet
Water/Sewer	Private
Access	Cohen Drive
Existing Land Use	Residential
Associated Applications	N/A

CBJ 49.30.215: Accidental damage or destruction. Structures receiving a nonconforming certification may have the right to reconstruct a nonconforming structure per CBJ Chapter 49.30.

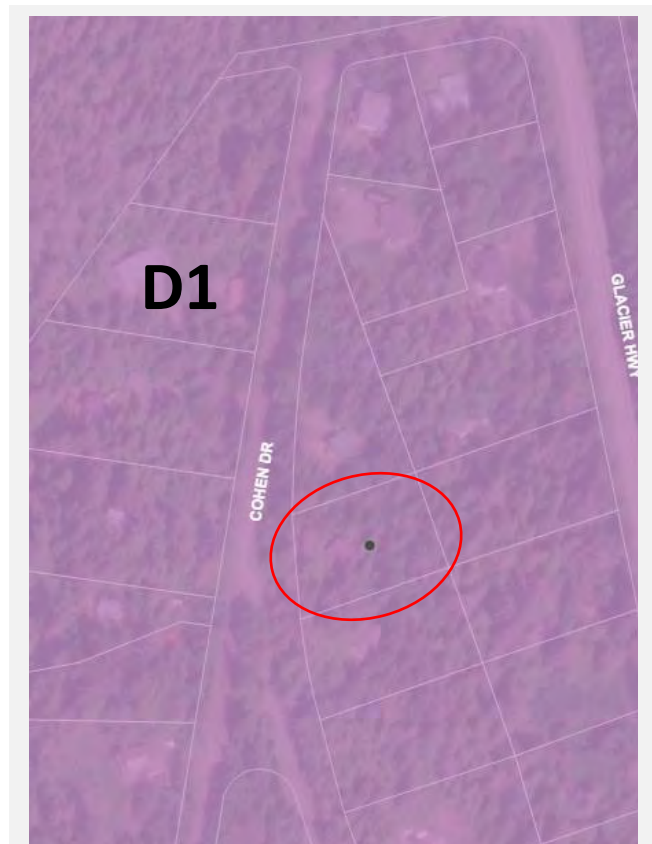
SITE FEATURES AND ZONING



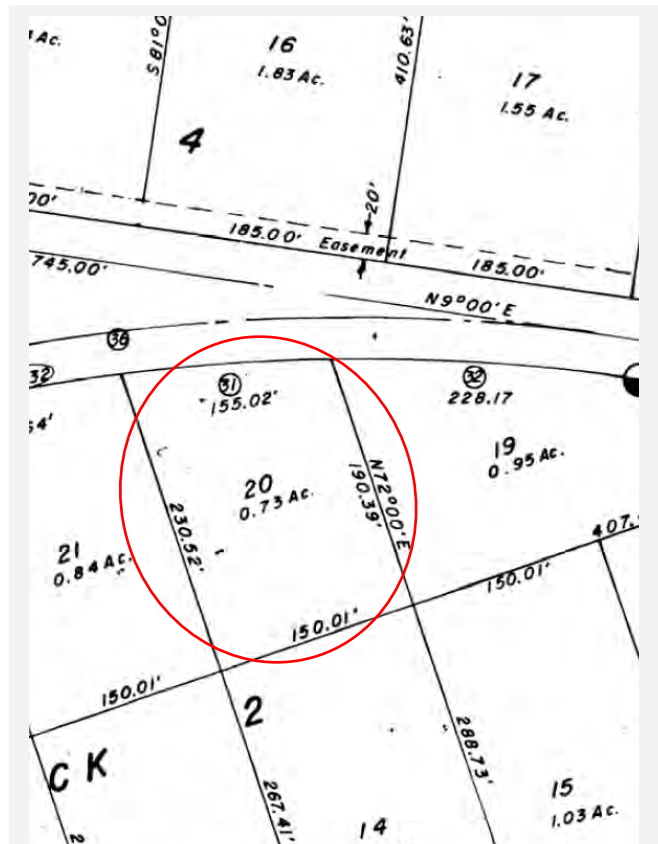
SURROUNDING ZONING AND LAND USES	
North (D1)	Residential
South (D1)	Residential
East (D1)	Vacant
West (ROW)	Cohen Drive

SITE FEATURES	
Anadromous	Yes
Flood Zone	Zone X
Hazard	No
Hillside	No
Wetlands	No
Parking District	No
Historic District	No
Overlay Districts	No

CURRENT ZONING MAP



1967 PLAT



ZONING HISTORY

Year	Zoning District	Summary
1967	None	Zoning was not established when the lot was platted in 1967.
1969	R12 Residential	In 1969, the lot and surrounding area was zoned R12. The R12 zoning district required a 12,000 square foot minimum lot size, 110-foot lot width, and 100-foot lot depth. Required setbacks were 25 feet front, 25 feet rear, and 10 feet on each side. One off-street parking space was required per dwelling unit. Dimensional requirements were met under this zoning.
1987	D1 Residential	In 1987, the lot and surrounding area was rezoned D1. The minimum lot size in the D1 zoning district is 36,000 square feet, 150-foot lot width, and 150-foot lot depth. Minimum yard setbacks are 25 feet front and rear, and 15 feet on the sides. The maximum building height is 35 feet and maximum lot coverage is 10%. The lot became nonconforming for lot size.

BACKGROUND INFORMATION

The applicant requests a Nonconforming Certification for lot size. The lot was platted in 1967 and the structures on the lot were constructed in 2013.

INFORMATION REVIEWED

Year	Type	Summary
1967	Plat	Lot size, lot depth, and lot width
2013	Certificate of Occupancy	Structure establishment
2013	Wastewater Site Plan	Setbacks, vegetative cover
2013	Aerial Imagery	Vegetative Cover
2021	Applicant dated Photos	Structure height

ANALYSIS

Zoning District Comparison Table – The table below lists the required standards for the D1 zoning district compared to the lot. A description of these situations is provided in the following sections. Items bolded do not meet current requirements.

Standard		Requirement	Existing	Code Reference
Lot	Size	36,000 square feet	31,799 square feet	49.25.400
	Width	150 feet	154 feet	49.25.400
	Depth	150 feet	213 feet	49.25.400
Setbacks	Front	25 feet	27 feet	49.25.400
	Rear	25 feet	114 feet	49.25.400

	Side	15 feet	27 feet	49.25.400
	Side	15 feet	71 feet	49.25.400
	Street Side	17 feet	N/A	49.25.400
Lot Coverage		10%	4%	49.25.400
Height	Permissible	35 feet	2-story structure	49.25.400
	Accessory	25 feet	N/A	49.25.400
Maximum Dwelling Units		1	1	49.25.500
Use		Residential	Residential	49.25.300
Vegetative Cover		20%	92%	49.50.300
Parking		2	2	49.40.210(a)

Minimum Lot Requirements – The lot does not meet minimum lot size requirements. When the lot was platted in 1967, zoning was not established.

Finding: Staff finds the lot nonconforming for lot size.

Minimum Setback Requirements – The structure meets required yard setbacks, demonstrated by the site plan and scale measurements.

Finding: Staff finds the structures conforming for setbacks.

Lot Coverage – Based on the site plan and Assessor’s database information, lot coverage is not exceeded.

Finding: Staff finds the lot conforming for lot coverage.

Structure Height – Based on Assessor’s photos, the structure on the lot is two-stories in height and likely does not exceed the maximum height allowed.

Finding: Staff finds the structures conforming for height.

Residential Density – The lot is conforming for density of one dwelling unit per lot.

Finding: Staff finds the lot conforming for residential density.

Use – Use of the lot is residential.

Finding: Staff finds the lot conforming for use.

Vegetative Cover – GIS aerial imagery and plat show that minimum vegetative cover requirements are met.

Finding: Staff finds the lot conforming for vegetative cover.

Parking – CBJ 49.40.210 requires 2 off-street parking spaces. Back-out parking may be allowed for single-family dwellings in residential zoning districts per 49.40.230(b)(7)(A).

Finding: Staff finds the use conforming for number and type of off-street parking spaces.

Modifications to Nonconforming ADA Parking: Accessible spaces are required where parking facilities are altered or added. The term 'alterations' includes resurfacing of vehicular ways (§106.5). Resurfacing or resealing and projects that add new parking spaces constitute alterations (or additions) and must include accessible spaces as required in the scoping table. Normal maintenance, such as pothole repair, surface patching, or repainting in place existing striping for a few spaces, is not considered an alteration except where it affects a facility's usability.

NONCOMPLIANT SITUATIONS

49.30.310(j) Failure of a situation to qualify for nonconforming certification. If a situation does not qualify for or is denied nonconforming certification, it is noncompliant and the property is subject to enforcement actions consistent with this title.

No information has been found to suggest noncompliant situations exist on the lot.

ABANDONMENT

49.30.220(b) Abandonment of a nonconforming situation. A nonconforming situation is abandoned if any of the following events occur:

- (1) The owner indicates in writing that the nonconforming situation is being permanently discontinued;
- (2) The nonconforming situation is damaged, destroyed, removed or demolished intentionally by the owner or intentionally by an authorized agent of the owner;
- (3) The nonconforming structure is moved;
- (4) The owner takes action consistent with an intent to abandon the nonconforming situation;
- (5) The structure(s) associated with the nonconforming situation has been vacant for 365 consecutive days;
- (6) Except for a structure with a nonconforming residential density, the nonconforming use has ceased and not substantially resumed for 365 consecutive days; or
- (7) A structure with a nonconforming residential density has been unoccupied for 1095 consecutive days.

No information has been submitted to suggest the nonconforming situations on the lot have been abandoned.

Finding: Staff finds none of the above events have taken place and the nonconforming situations are not deemed abandoned.

FINDINGS

1. Was the nonconforming situation allowed, or not prohibited by law, when it was established?

Analysis: The nonconforming situation was allowed when it was established.

Finding: Yes. The nonconforming situation was allowed, or not prohibited by law, when established.

2. Has the nonconforming situation been abandoned?

Analysis: No additional analysis needed.

Finding: No. The nonconforming situation has not been abandoned.

RECOMMENDATION

Staff recommends that the Director adopt the analysis and findings, and find the following situations on the lot to be NONCONFORMING to the Title 49 Land Use Code and issue a Nonconforming Certification for the following situations:

- Nonconforming Lots (49.30.260):
 - Lot size of 31,799 square feet

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Information Reviewed



Closing date: June 9, 2021

DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 20136 Cohen Dr Juneau, AK 99801		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Tee Harbor Alaska BL 2 LT 20		
	Parcel Number(s) 8B3701020210		
	This property located in the downtown historic district <u>N/A</u>		
	This property located in a mapped hazard area, if so, which <u>N/A</u>		
	LANDOWNER/ LESSEE		
	Property Owner Chad Vanormer and Tamar Boyd	Contact Person Chad Vanormer	
	Mailing Address 20136 Cohen Dr Juneau, AK 99801	Phone Number(s)	
	E-mail Address cvanormer@gmail.com		
LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.			
X		6/4/2021	
	Landowner/Lessee Signature	Date	
X		6/4/2021	
	Landowner/Lessee Signature	Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant Katherine Thomas-Canfield and Galen Lamphere-Englund		Contact Person Katherine Thomas-Canfield	
Mailing Address 20147 Cohen Dr Juneau, AK 99801		Phone Number(s)	
E-mail Address kthomascanfield@gmail.com		+1 202 384 3465	
X		6/4/2021	
	Applicant's Signature	Date of Application	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials LE
Case Number NCC21-43
Date Received 6/4/202



APPLICATION FOR A NONCONFORMING CERTIFICATION REVIEW

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

TYPE OF NONCONFORMING SITUATION (CHECK ALL THAT MAY APPLY)

☐ USE ☐ STRUCTURE ☐ DENSITY ☐ PARKING ☐ LOT

Have you submitted a narrative that fully explains the above listed nonconforming situations? YES ☐ NO ☐

The narrative should explain the nature of the nonconforming situation(s). Be specific, state past and present uses of the building, property, etc.

List all relevant information being submitted. Include this material and an as-built or site plan with the application.

Relevant information to show that the **situation was allowed when established** may include: building or land use permits, recorded plats, zoning codes or maps, dated photographs.

Situation	Type of Documentation

Relevant information to show that the **situation was maintained over time** may include: business licenses, dated photographs, insurance records and maps, utility bills, property tax records, business license, telephone listing, advertisement in dated publications, leases.

Maintained Situation	Type of Documentation

NOTE: If an as-built survey is not submitted, the Community Development Department may not be able to issue a Nonconforming Certificate for setbacks. As-built surveys should show the property in its current condition.

ALL REQUIRED MATERIALS ATTACHED

☐ Complete Application (Per CBJ 49.30.310)

- ☐ Narrative
- ☐ As-built survey or similar document
- ☐ Documentation
- ☐ Fees

NONCONFORMING CERTIFICATION REVIEW FEES:

	Fees	Check No.	Receipt	Date
Application Fees	\$ \$150			
Admin. of Guarantee	\$			
Adjustment	\$			
Total Fee	\$			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center
907-586-0770.

Case Number	Date Received
NCC21-43	6/4/2022

Nonconforming Certification Application Instructions

Nonconforming Situations is outlined in CBJ 49.30.310

Pre-Application Conference: A pre-application conference is **NOT** required prior to submitting an application. It is highly recommended that applicants meet with a planner to discuss the nonconforming situation(s) and necessary or appropriate documentation for submittal. Staff may have access to documentation that the applicant does not. Please contact the Permit Center at 907-586-0770 or via e-mail at permits@juneau.org.

Application: An application for a Nonconforming Certificate will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed application for Nonconforming Certificate and Development Permit Application forms.
2. **Fees:** Fee is \$150. If submitted in conjunction with a development permit, the fee is waived. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the nonconforming situation(s).

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process, the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes. Depending on the details of the permit request, the application may require review by other City & Borough of Juneau departments. Applicants may be required to provide additional information and clarification.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

20136 Cohen Non-Conforming Certification Narrative

June 4, 2021

Existing Site Conditions:

Site Description: The project site is located roughly 1/3 of the way down Cohen Dr.

Lot size: 31,799 SF

Adjoining Properties: All adjoining lots (excluding the lot directly behind this property) are developed properties with single family residences. All properties in the vicinity are fairly large sized lots ranging between 0.75-1.5 acres. The location of the dispersal bed, septic tank, and Advantex unit will not impact any of the adjoining properties.

Lot Topography: The project site slopes down slowly from northwest to southeast. There is a stream behind the property that is shown to be an anadromous fish stream on the ADFG database. Although the stream is categorized anadromous, the stream runs pretty much dry year-round at this location. The required 100' stream setback is in place.

Use: Single family home used as a primary residence

Non-Conforming Specifications:

The single family house was constructed in 2013 and aligned with the codes and zoning regulations at that time (documentation attached). However, based on subsequent revised zoning laws, the property no longer meets the minimum lot size of 36,000, falling just shy at 31,799 sq ft.



BUILDING PERMIT

Permit No.
BLD20130125

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.php.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:30 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **COHEN DR**
Permit Number: **BLD20130125**
Project Description: **New single family residence**

Issued Date : **04/01/2013**
Parcel No: **8B3701020210**

Parcel Information : **TEE HARBOR ALASKA BL 2 LT 20**

Setbacks: Zone: D1: Firm Zone: C
Front: 25.00 Ft. SW Side 1: 15.00 Ft. NW
Rear: 25.00 Ft. NE Side 2: 15.00 Ft. SE
Street Side:

Comments:

Owner : **MIKE PERENSOVICH**
LOIS PERENSOVICH
332 WACHUSETTS
SITKA AK 99835

Applicant : **BUILDING PROS**
9882 LONE WOLF DR
JUNEAU AK 99801

Fee Type	Date	Receipt	Amount Paid
BLD- Res Plan Review	03/12/2013	03372	\$563.91
BLD- Bldg Permit Fee	04/01/2013	03432	\$1,127.82
Total Fees Paid:			\$1,691.73

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
1,138	Residential-Single Family R	116.96	133,100.48
250	Utl & Misc-Private Garage	63.64	15,910.00
112	Utl & Misc-Porch	43.28	4,847.36

Total Valuation: **\$153,857.84**

Project Conditions and Holds:

Asbuilt Survey May Be Req'd - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

Approved Fasteners - Fasteners hangars and brackets used on the exterior of the building and or used with pressure-preservative or fire retardant-treated woods shall be listed and approved products for such use.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Crawl Space Vapor Barrier - Under floor spaces and crawlspaces shall have a vapor retarder that is a minimum of 6 mil thick (0.15 mm) polyethylene film installed such that all edges are lapped a minimum of 6 inches (152 mm) and sealed with a permanent compatible sealing compound or adhesive. Such vapor retarder shall extend vertically up the foundation wall a minimum of 6 inches (152 mm) and be attached and sealed with a permanent compatible sealing compound or adhesive to the foundation wall. Vapor retarder shall not be attached to wood other than pressure preservative treated wood.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us
Web Site: www.juneau.org/permits



BUILDING PERMIT*

Permit No.
BLD20130125
Page No. 2

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

EGRESS WINDOWS - Verify egress windows.

Fuel Burning Appliance Instructions - Listed fuel burning appliances must be installed in accordance with the listed installation and operating instructions provided by the manufacturer. These instructions must be onsite and available to the inspector at time of inspection.

WATER FIXTURE COUNT - Minimum 1" Street Service and 1" Building Supply and branches for up to 31 water fixture units.

Garage Floor Drains - Garage floor drains must have approved separator device as approved by CBJ Gen Eng department. Maintenance schedule required for these devices prior to TCO or CO.

Ice Shield Required - Residential - Ice Shield Underlayment required for residential roofs. Call for inspection of Ice Shield Underlayment installation. Alternately a licensed contractor or owner-builder may provide written confirmation stating Ice Shield Underlayment installation has been installed in accordance with section 905.2.7.1 of the 2006 IRC as modified by CBJ Title 19.

Chimney Clearance - Chimney Clearance: If roof sheathing is replaced at a chimney or chimney flashing is detached, call for inspection to verify proper clearance to combustibles before cover. Alternately a licensed contractor or owner-builder may provide written confirmation stating proper clearances are met.

Shower Anti-scald Valve - All shower valves and combination tub/shower valves shall provide scald and thermal shock protection by means of an approved valve that conforms to ASSE 1016 or ASME A112.18.1 / CSA B125.1. The maximum water temperature supplied to these fixtures shall be 120 degrees fahrenheit per 2009 UPC section 418.

Seismic Strap Water Heater - Residential - Residential water heaters shall be strapped within the upper 1/3 of its vertical dimension per 2009 UPC section 508.2.

Smoke and CO Detectors - Smoke and Carbon Monoxide detectors as required by applicable code must be operational prior to temporary occupancy and/ or final inspection approval, whichever is requested first.

STAMPED TRUSS DRAWINGS - Provide stamped truss detail at site.

UFER Ground - An approved UFER ground conductor must be installed and inspected per the 2008 National Electrical Code.

Meter Yoke Installation - Meter yoke installation must be in accordance with CBJ Standard 420 prior to issuance of TCO.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

B-Setback Verification	B-Foundation, Forms and Reinforcing Steel	B-Temporary Power
B-Framing	B-Rough Electrical	B-Yellow Tag Electrical
B-Under Slab Utilities	B-Rough Plumbing	B-Appliance/Chimney
B-Insulation/Vapor Barrier	B-Oil & Gas Piping/Tanks	B-Vents (Bath, Dryer, Kitchen, etc.)
B-Smoke /Carbon Monoxide Detectors	B-Cross Connection Control	B-Building Final
E-Grading/Drainage	E-General Engineering Final	

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us
Web Site: www.juneau.org/permits

Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

New single family residence

Building Address: 20136 COHEN DR

Occupancy Group:

Owner of Building: CHAD M VANORMER
TAMAR M BOYD
3105 NATIONAL PARK SERVICE RD APT B 4
JUNEAU AK 99801-8437

Building Permit No. BLD20130125

Construction Type: Type V-B

Code Edition: 2006 IRC

Occupant Load: N/A

Sprinklers: Required No

Provided No

Legal Description of Building Lot:

TEE HARBOR ALASKA BL 2 LT 20

Building Official: Charlie Ford, BO


Signature

Parcel No: 8-B37-0-102-021-0

Date of Issuance: November 19, 2013

Post this Certificate in a conspicuous place for the duration of the stated occupancy.

CHECKLIST FOR
☒ CERTIFICATE OF OCCUPANCY
☐ TEMPORARY CERTIFICATE OF OCCUPANCY
Circle One: 30 Day TCO 60 Day TCO Other

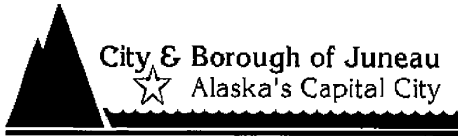
Date: 11/18/13 Requested By (Inspector/Staff) MFS
Building Permit : BLD20130125
Site Address: 20136 COHEN DR APN: 8B3701020210
Owner's Name: CHAD M VANORMER
Project Description: New single family residence

☒ **Buildings:** Date: 11/18/13 Initials: MFS Comments:
BF approved
OK for CO

☒ **Engineering:** Date: 11/19/13 Initials: AKS Comments:
☐ AS BUILT APPROVED FOR FORM BY ENGINEERING Date: _____ Initials: _____
OKAY FOR CO

☒ **Zoning:** Date: 11/18/13 Initials: CM Comments:
OK for CO

BLD 2013 012



City and Borough of Juneau
Engineering Department
155 South Seward Street
Juneau, Alaska 99801
Telephone: 586-0800 Facsimile: 463-2606

TO: Dan Miller, Building PRO's
DATE: April 9, 2013
CC: Chris & Sandra Landis, 20134 Cohen Drive
FROM: Rorie Watt, P.E., Director, CBJ Engineering Department *DWR*
RE: Driveway Permit Application for Tee Harbor Alaska Subdivision Lot 20, Block 2

I have reviewed CBJ code and the proposed development of a driveway for the Van Ormer family to access Lot 20, Block 2, Tee Harbor Subdivision. In making this decision, I have carefully reviewed the facts of the situation and the municipal code.

Under **CBJ 62.05**, and **62.36** the Engineer Director is authorized to issue permits for the development of driveways within City rights-of-ways. **49.35.240 (d) Access driveways allowed in rights-of-way** details additional construction standards.

The facts that I have are:

1. Some decades ago, Landis constructed a driveway to access Lots 21 & 22, Block 2.
2. Building Pros applied for a permit to construct an access driveway in the right-of-way to gain access to the adjacent Lot 20.
3. Building Pros has proposed to use a portion of the existing Landis driveway.
4. The Landis driveway is more than 200 feet long and has steep sections. Over the years, Landis has been unable to use the driveway during some snow events, and has parked two cars at the top of the driveway.
5. Landis' objected to the use of the existing driveway by Lot 20 based on their long standing use of the top of the driveway for parking during inclement weather.

Analysis and Rationale:

Landis' existing driveway is a non-exclusive use of the public right-of-way. Building Pros have applied for an additional non-exclusive use of a section of the same right-of-way. **62.05.040** authorizes the Director of Engineering to place permit conditions as deemed necessary to protect the public interest.

When Landis' paid for and constructed their driveway, they created an additional off street parking space. In the absence of other neighbors, the Landis' were the only users of the parking space. None-the-less, CBJ views the off street space as a public space, to be used by the general public. CBJ does not agree that Landis' have exclusive use of the parking space or of portions of the right-of-way. Landis' additionally have parked a second vehicle in the driveway during poor weather periods. If Building Pros constructs as proposed, Landis' would no longer be able to park the second car at the top of the existing driveway.

If Building Pros constructs the new driveway in a manner that allows continued off street parking of two vehicles, the existing situation will be continued, and the public interest will be protected. CBJ does not object to side agreements between the owners of Lot 20 and Landis' but does not agree that the requirement of a binding agreement over use of public right-of-way is appropriate.

Administrative Decision:

CBJ grants a permit to construct a driveway as proposed to Lot 20 with the following conditions:

- A. That upon completion that there are a minimum of two off street parking spaces in the right-of-way.
- B. That the owners of Lot 20 comply with the provisions of 49.35.240(d) (3) & (4)
- C. That prior to construction the applicant provides a final plan that meets the standards of the code.

This is an administrative decision of the Engineering Director.

Juneau Permit Center

Foundation Setback Verification

Permit Number:	BLD20130125
Project Address:	COHEN DR
Assessor's Parcel No:	8B3701020210
Applicant's Name:	BUILDING PROS

Zoning Setbacks Required for Finished Building:

Front: 25.00 SW	Side1: 15.00 NW
Rear: 25.00 NE	Side2: 15.00 SE
Street Side:	

Planner: JKL

Date: 3/15/2013

Comments:

In accordance with CBJ 19.01.109.6.2.1, building setback lines are to be verified before inspectors can approve forms for concrete pour or placement of other foundation systems. Setbacks are measured from exterior finish materials of closest building component to property line.

Notice: DO NOT POUR CONCRETE OR PLACE OTHER FOUNDATION SYSTEMS

UNTIL INSPECTOR APPROVES SETBACKS BY ONE OF THE FOLLOWING CHECKED OPTIONS:

- ☒ **A. Surveyor's monument(s)** / string line clearly visible at the site. If the foundation and all other building elements are clearly behind the setback line, the inspector may approve the setbacks outright or at owner/contractor's risk. If there is any question, the inspector may require that no pour or foundation placement be permitted without one of the following methods of verification. (Also see "Note" below.) **OR**
- ☐ **B. Surveyor's Statement of Setback Compliance.** (Surveyor must sign and stamp the bottom portion of this form). No pour or foundation placement is allowed until the statement is received by CBJ, regardless of risk assumed by owner or contractor. Upon receipt of statement, pour or foundation placement may be approved outright or at owner/contractor risk. (See "Note" below.) **OR**
- ☐ **C. Stamped Surveyor's As-built Survey of Adjacent Building or Structure** if setback can be verified measuring from adjacent structure. (See "Note" below. May only be used when structure is parallel with property line.) **OR**
- ☐ **D. Stamped Surveyor's As-built Survey of Foundation or Formwork** indicating setbacks, easements and other relevant information. (See "Note" below.) **OR**
- ☐ **E. Other** _____

INSPECTOR'S APPROVAL & COMMENTS:

Setbacks for house approved SJS

Inspector's Initials

Date

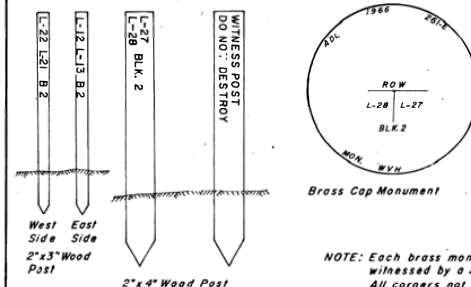
Note: An as-built survey may still be required prior to issuance of a Certificate of Occupancy if setbacks are close enough to the building to make setback verification questionable. Example: Where the structure is less than 3' to the setback line on steep slopes or forested terrain. The purpose of the monuments and string line, surveyor's statement or foundation as-built is to give the inspector the information necessary to allow a pour or placement based on a surveyor's work, as required by CBJ ordinance and not to cause scheduling delays for the contractor. In some situations, a final as-built may be required before frame or final approval where the distance to the setback line of some element of the structure must be more exactly determined. Inspectors may require this additional as-built based on their observations in the field.

SURVEYOR'S STATEMENT OF SETBACK COMPLIANCE

I hereby certify that I am a surveyor registered to practice in the State of Alaska, and that on _____, I personally verified that the forms or foundation systems on site at: _____, Permit No: _____ are placed so that the finished building, if built to the plans as approved by CBJ, will meet the required setbacks shown above. I have reviewed the plans and zoning requirements as approved by CBJ and have accounted for all exterior finish materials, decks, antilevers and/or other proposed building projections on the approved plans. To the best of my ability, I staked the property so that the contractor can meet all CBJ zoning requirements per CBJ Titles 19 and 49.

I heretofore affix my professional stamp, this date of _____.

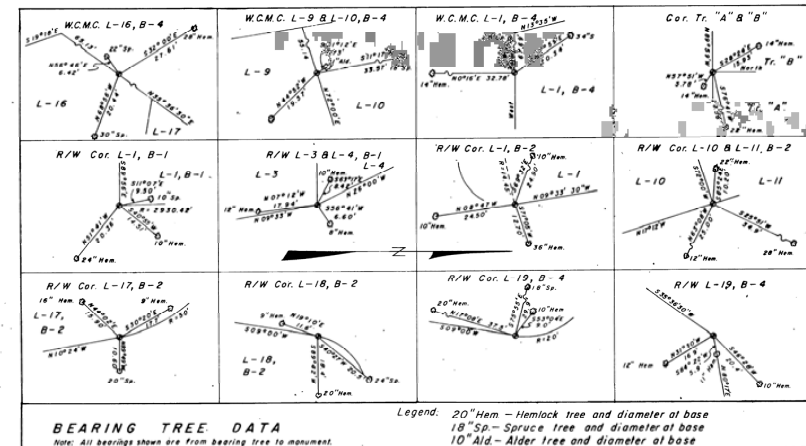
Surveyor's Signed Seal Required



NOTE: Each brass monument is witnessed by a 2"x4" post. All corners not otherwise noted are 2"x3" posts. Posts are white with black markings.

TYPICAL MONUMENT MARKINGS

CURVE DATA						
CURVE	RADIUS	ARC	Δ	TANGENT	CHORD BRG.	CHORD
20	2834.79'	158.13'	3°02'47"	79.08'	N00°25'57"E	158.11'
21	"	161.34'	3°11'36"	80.69'	N00°35'39"E	161.32'
22	2834.79'	155.80'	3°08'57"	77.92'	N02°02'20"W	155.78'
23	"	158.51'	3°12'13"	79.28'	N00°50'15"E	158.49'
24	2834.79'	171.39'	3°25'33"	85.72'	N00°53'13"E	171.37'
25	2834.79'	324.60'	6°33'38"	162.48'	N05°43'11"E	324.84'
26	2834.79'	21.06'	0°25'01"	10.53'	N89°47'30"E	21.08'
27	50.00'	133.87'	133°24'28"	211.53'	N85°42'12"E	97.32'
28	140.2139'	150.17'	6°08'07"	73.16'	N15°55'07"W	150.10'
29	"	24.81'	1°00'50"	12.41'	N19°29'25"W	24.81'
30	"	151.64'	8°11'43"	75.89'	N09°45'12"W	151.57'
31	"	155.02'	8°20'01"	77.89'	N03°28'19"W	154.94'
32	"	228.17'	9°19'18"	114.34'	N01°40'20"W	227.92'
33	190.5421'	13.285'	3°50'02"	66.45'	N15°16'28"E	132.83'
34	"	102.78'	2°57'58"	51.40'	N11°52'59"W	102.77'
35	50.00'	77.93'	89°19'00"	49.41'	N55°03'30"W	70.31'
36	1432.39'	725.00'	2°30'00"00"	370.44'	N55°30'00"W	717.29'
37	1462.39'	61.43'	2°04'22"	30.72'	N10°47'48"W	61.43'
38-26	2834.79'	732.59'	14°30'0"	368.26'	N11°52'59"E	730.64'
7-25	2834.79'	717.41'	14°30'0"	360.63'	N01°45'00"E	715.90'
29-32	1402.39'	709.82'	2°30'00"	367.66'	N55°30'00"W	702.66'
33-34	198.7142'	235.63'	6°48'	117.96'	N13°48'00"	235.50'



I, the undersigned, hereby certify that I am the Director, Alaska Division of Lands, and that the State of Alaska is the owner of the Tee Harbor, Alaska Subdivision, as shown hereon. I hereby approve this survey and plat for the State of Alaska.

Subscribed and Sworn to Before me this 3rd day of March 1967

DEDICATION OF EASEMENTS, PUBLIC UTILITIES, AND ROADWAYS

I hereby dedicate for public or private use, as noted, all easements, public utility areas, and roadways as shown and described hereon.

Date 3/3/67

Director, Alaska Division of Lands

I hereby certify that the Subdivision Plat shown hereon has been found to comply with the subdivisional regulations of the Greater Juneau Borough, and that said plat has been approved by the board by plat resolution no. 108, dated 10 April 1967, and that the plat shown hereon has been approved for recording in the office of the District Magistrate, Juneau.

10 April 1967
Date

Raymond K. Hain
Chairman, Greater Junction Borough
Planning Board

Alan A. Brunel

NOTES:

NOTES: John W. Gorman
CLERK

1. The bearings on this survey refer to true north and were derived between corners 17 & 18, U. S. S. 3764 or the east boundary of Tract "C" officially recorded as NORTH. B. L. M. Record.

2. The coordinate system for this survey is assumed, WCMC 19, U.S.S. 3764 is N5000 & E5000
3. Minor variations exists between ADL & BLM Bearings due to adjusting the survey to form a closure.
4. Extension boundary, closure, unadjusted, is 1:7750

A Fractional Part of Lot 2, U. S. Survey No. 3764, located within protracted section 2, T40S, R 64E and Section 36, T39S, R64E, Cooper River Meridian and more particularly described by notes and bounds as follows:

[illegible]

This tract contains 82.17 acres, more or less.

I hereby certify that I am registered to practice land surveying in Alaska and that this plan represents a monument by me or under my direct supervision, and the monuments shown hereon actually exist as located, and that all dimensional and other details are correct to the best of my knowledge.

William C. Stille 1518-8 February 20, 1967
Registration

TEE HARBOR, ALASKA SUBDIVISION

Attachment H – 2021 NCC2021-43



STATE OF ALASKA
DEPARTMENT OF ENVIRONMENTAL CONSERVATION
CONSTRUCTION AND OPERATION CERTIFICATE
FOR
DOMESTIC WASTEWATER DISPOSAL SYSTEMS



A. APPROVAL TO CONSTRUCT

Plans for the construction or modification of the **Tee Harbor Subdivision, Block 2, Lot 20** domestic wastewater system, located at **Juneau, Alaska**, submitted in accordance with 18 AAC 72.200 through 18 AAC 72.235 by **Erin Howell, P.E.** have been reviewed and are

☒ **approved as submitted**

☐ **conditionally approved (see attached conditions)**

By: Raymond Zimmer

Engineering Associate I
(Title)

02/26/2021
(Date of Approval)

If applicant fails to construct, alter, install, or modify the system within two years of the date of approval to construct, approval is void, and plans must be resubmitted for Department review and approval.

B. APPROVED CHANGE ORDERS

Change (contract order number or descriptive reference)

(Reviewing Engineer)

(Title)

(Date of Approval)

C. APPROVAL TO OPERATE

The “**Interim Approval to Operate**” or “**Final Approval to Operate**” section must be completed and signed by the Department to continue to use this system beyond 90 days following the construction completion date.

Interim Approval to Operate:

The construction of the above referenced domestic wastewater disposal system was completed on _____. The system is hereby granted an extension of the **INTERIM APPROVAL TO OPERATE** until _____ date. It is illegal to operate the domestic wastewater disposal system beyond this date without **Final Approval to Operate** from the Department.

(Reviewing Engineer)

(Title)

(Date of Approval)

Final Approval to Operate:

Record drawings and other documents submitted to the Department, or an inspection by the Department, has confirmed that the domestic wastewater disposal system was constructed in substantial conformance with the approved plans. The system is hereby granted **FINAL APPROVAL TO OPERATE**.

(Reviewing Engineer)

(Title)

(Date of Approval)



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Environmental Conservation
DIVISION OF WATER
Engineering Support and Plan Review

610 University Avenue
Fairbanks, Alaska 99709
Main: 907.451.2177
Fax: 907.451.2188
www.dec.alaska.gov

February 26, 2021
Erin Howell, P.E.

Plan Tracking No.: 28662
ADEC File No.: 1513.40.109

RE: VanOrmer WWTS
Tee Harbor Subdivision, Block 2, Lot 20
Secondary Treatment, Disinfection and Soil Absorption System
Design Flow – 450 gpd
Approval to Construct

Greetings Ms. Howell,

On February 15, 2021 the Alaska Department of Environmental Conservation (ADEC or Department) received a submittal requesting construction approval for the VanOrmer WWTS located in Juneau, AK. The information was reviewed in accordance with Wastewater Disposal Regulations 18 AAC 72 and **construction approval is granted**. Enclosed is the Construction and Operation Certificate with the Approval to Construct section signed.

Project Description

The approved project includes installation of a new Advantex AXRT-20 Secondary Treatment Plant capable of treating 600 gpd, with an integrated UV-Disinfection system. Final effluent will terminate into a 360 ft² soil absorption system.

Approval to Operate Requirements

This construction approval includes a 90 day interim approval to operate provided that construction substantially complied with the approved design drawings. In order to receive final operational approval, please submit the following information within 60 days of the completion of this project:

1. Written request for operational approval that includes a statement regarding any changes made during construction
2. Record drawings prepared (signed and dated) by the engineer responsible for observing the construction of this project (The Department prefers drawings that are no larger than 11" x 17").
3. Certification of Construction form complete with signatures from the Owner, Construction Contractor, and Engineer (A copy of this form may be downloaded and printed from the Department of Environmental Conservation website <http://dec.alaska.gov/water/wwdp/onsite/pdf/construction.pdf> or a copy will be provided upon request.)
4. A signed maintenance contract with a qualified service provider for the WWTS.

If the approval to operate requirements cannot be met within 90 days of construction completion, an extension of the interim approval to operate must be requested at least 30 days in advance.

Disclaimers and Appeals Process

Approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulation. The Department's construction approval does not guarantee correctness or the functionality of the design, or waive the owner's responsibility for continued compliance with state regulations. Deviations from approved plans which affect capacity, flow, pressure, operation, compliance, or materials of major system components must be approved by this Department prior to their construction or implementation.

This approval is valid for two years from the date of this letter. If the applicant fails to construct, alter, install, or modify the system, the approval is void and plans must be resubmitted for department review and approval according to 18 AAC 72.200.

This approval is contingent upon your receipt of any other state, federal, or local authorizations which are required for your project. You are required to obtain all other necessary authorizations before proceeding with your project. This approval does not imply the granting of additional authorizations nor obligate any state, federal, or local regulatory body to grant required authorizations.

Any person who disagrees with this decision may request an adjudicatory hearing in accordance with 18 AAC 15.195- 18 AAC 15.340 or an informal review in accordance with 18 AAC 15.185. **Informal review requests** must be delivered to the Division of Water Director, 555 Cordova Street, Anchorage, AK 99501, within 20 days of this decision. **Adjudicatory hearing requests** must be delivered to the Commissioner of the Department of Environmental Conservation, PO Box 111800, Juneau, AK 99811, within 30 days of this decision. If a hearing is not requested within 30 days, the right to appeal is waived. More information on the Department's administrative appeals process can be found at <http://dec.alaska.gov/commish/review-guidance/>.

If you have questions please contact me at 907-456-5167 or by e-mail at raymond.zimmer@alaska.gov

Sincerely,

Raymond Zimmer
Eng. Associate

Enclosures: Construction and Operation Certificate

Introduction:

The applicant wishes to install a new septic tank and absorption field for an existing 3-bedroom home.

Applicant/Property Owner Contact Information:

Chad VanOrmer & Tamar Boyd
20136 Cohen Dr.
Juneau, AK 99801
(907)723-1415
cvanormer@gmail.com

Project Location:

Tee Harbor Alaska Block 2 Lot 20
20136 Cohen Dr.
Juneau, AK 99801
CBJ Parcel No. 8B3701020210

Wastewater System Components:

- Existing 1,000-gallon septic tank (brand unknown)
- Existing pump-out tank (brand of tank + pump unknown)
- Advantex AXRT-20 secondary treatment unit with a treatment capacity of 600 gpd.
- Salcor UV disinfection unit.
- 18'x20' bed-type drain field using ADS ARC 36HC bio-diffusers.

Existing Site Conditions:

Site Description: The project site is located roughly 1/3 of the way down Cohen Dr.

Lot size: 31,799 SF

Adjoining Properties: All adjoining lots (excluding the lot directly behind this property) are developed properties with single family residences. All properties in the vicinity are fairly large sized lots ranging between 0.75-1.5 acres. The location of the dispersal bed, septic tank, and Advantex unit will not impact any of the adjoining properties.

Lot Topography: The project site slopes down slowly from northwest to southeast. There is a stream behind the property that is shown to be an anadromous fish stream on the ADFG database. Although the stream is categorized anadromous, the stream runs pretty much dry year-round at this location. The required 100' stream setback limits the area of the property that can be used for the septic system.

Existing/Proposed Utilities: The property is currently served by the CBJ municipal water utility system. There is currently an existing on-site wastewater disposal system on the property consisting of 1,000 gallon 2-compartment plastic septic tank, a pump out tank, and three puraflo bio-diffusers all installed when the home was constructed in 2013. The existing septic tank and

pump-out tank appear to be functioning properly. The puraflo bio-diffusers, however, have failed. There is currently standing water around the bio-diffusers and the ground around them is beginning to turn mucky. It does not appear that the bio-diffusers have malfunctioned, rather that they were installed much too close to the water table and proper drainage is unobtainable.

Existing Soils: The uppermost layer of soil consists of 1-2' of folists and organic soils with peat. The second stratum of soil consists of 1-2' of silty gravel with sand. The third soil stratum (roughly 3-4' below the surface) is made up of glacial till/blue clay.

Design Details:

Considerations:

- Existing structure consisting of a 3-bedroom home.
 - Estimated flow: 150 gpd/bd * 3 bd = 450 gpd

Wastewater Treatment Plant and Pump Tank Specifications:

- Existing 1,000-gallon septic tank (can be removed if desired).
- Existing pump-out tank (existing pump can be re-used if needed; if pump is not necessary for new system, the tank and pump can be removed if desired).
- Advantex AXRT-20 secondary treatment unit with integral UV treatment.
- Vcom-AX20A1HTSA Vericomm AX20A1 control panel
- Advantex treatment systems meet required NSF Certification Standard 40 criteria for Class I NSF listing.
- System must be installed following the manufacturer's installation requirements: [NIM-ATX-AXRT-1.pdf \(orenco.com\)](#)
- System must be operated following the manufacturer's operation and maintenance requirements. Refer to the following website for the O&M manual: <https://odl.orenco.com/documents/aim-om-atx-3-prn.pdf>
- Supplemental information for the AXRT units: [AIM-OM-ATX-sup-1.pdf \(orenco.com\)](#)

Wastewater Disposal System Specifications: Due to the high quality of effluent that comes out of the Advantex systems (BOD of 5 mg/L and TSS of 5 mg/L or less when loaded at the same hydraulic loading rate used during NSF Standard 40 testing, not including the additional UV disinfection that this system will have) the absorption field size has been reduced from the typical system. Typical systems in Juneau have an application rate of 1-1.2 gallons per square foot. Advantex systems can increase the application rate on an absorption field to 6 gal/SF because the effluent is that much cleaner than required (5 mg/L for BOD and TSS, vs. 30 mg/L for each).

- Absorption field size: $450 \text{ gal} \div 6 \text{ gal/SF} = 75 \text{ SF}$ (minimum)
- Absorption field actual size: 18'x20' = 360'
- Treated wastewater effluent will be disposed of in a bed type absorption field system. Please note that the system must be mounded due to the close proximity to slow-draining soils. The location of the new absorption field is downhill from the existing system and may not need to be pumped; however, if existing soils dictate that the absorption field be higher than the existing pump-out tank, the pump may be re-used for this system. Components to the disposal system include:
 - 360 sf of absorption area. Absorption area dimensions are 18' (width) by 20' (length).
 - Layers (starting from the bottom up) of the absorption system include:

- 2' of clean washed sand from either Aggpro or West Glacier Development
- 1.5' of ¾" washed rock; this layer will contain two sections of ARC 36HC bio-diffusers.
- 2' (min.) of existing site soils or non-frost susceptible pit-run. 1" of high-density foam polystyrene insulation may replace 1' of soil.
- 0.5' of topsoil, seeded.
- 4" PVC monitor tubes will be installed in each corner of the drain field.

Further Instructions to Gain Approval to Construct from ADEC:








- Report, plans, cover letter, owner's statement, and Engineering Support and Plan Review (ESPR) Intake Form will be submitted by the engineer to State of Alaska Department of Environmental Conservation (ADEC).
- There will be a permit fee for plan review of this project from ADEC. An ADEC plan review invoice will be attached to this invoice for the owner to submit along with payment.
- Please be aware that, along with design and plan review, approval is a two-step process. Steps being, approval to construct and approval to operate.
- Upon successful review of the submittal ESPR, ADEC will issue an Approval to Construct Letter and a Construction and Operation Certificate with the Approval to Construct section signed to the owner.
- Once the system is constructed according to plan, an Interim Approval to Operate will be granted automatically along with the Approval to Construct for 90 days after construction.
- The owner will request Final Approval to Operate once the system is constructed and operational.
- ESPR will issue an Approval to Operate once all documents are received.

ADEC Contact Information:

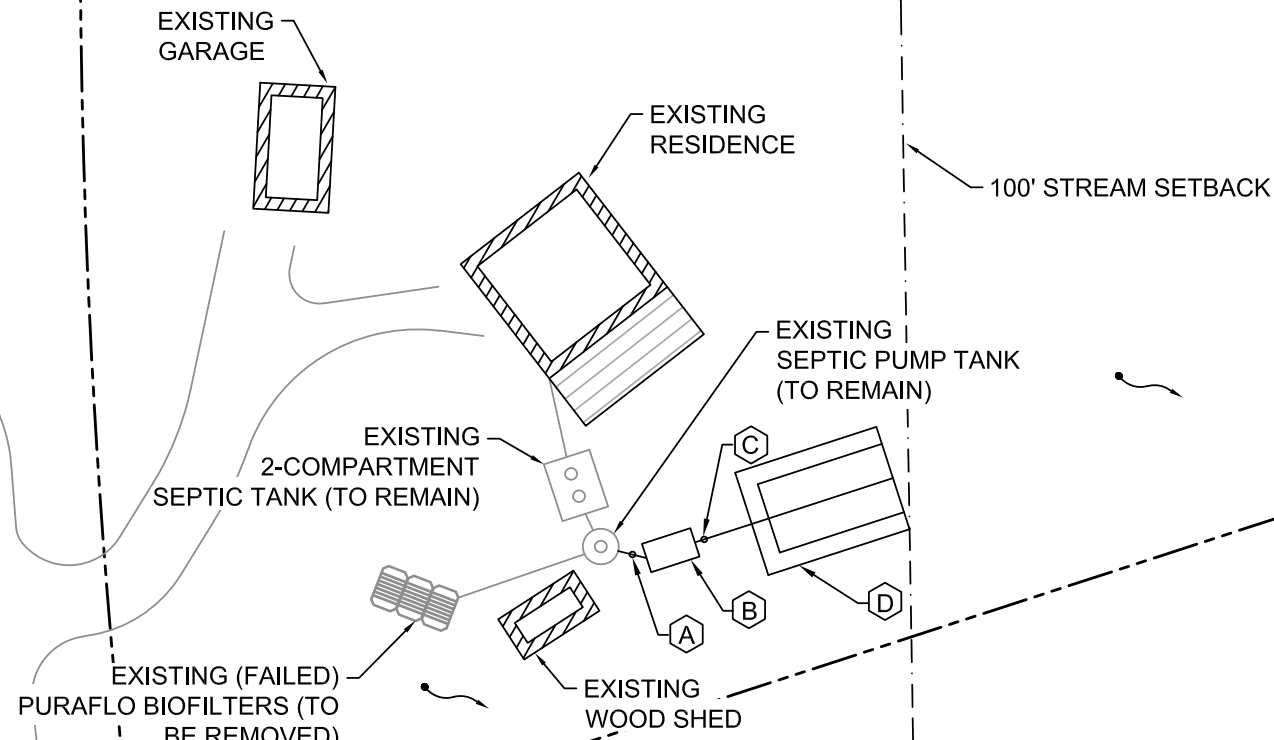
Raymond Zimmer
 (907)465-5167
 410 Willoughby, Ave.
 Juneau, AK 99801







LEGEND:

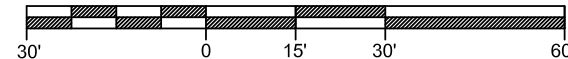
-  PROPERTY LINE
-  ADJACENT PROPERTY LINE
-  EXISTING RESIDENCE OR STRUCTURE
-  EXISTING DRIVEWAY
-  STREAM BANK
-  100' SETBACK OF STREAM
-  FLOW LINE

COHEN DRIVE



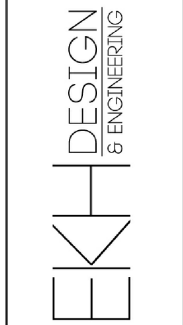
CONSTRUCTION NOTES:

-  CLEANOUT, TYP.
-  ADVANTEX AX20-RT TREATMENT SYSTEM
-  UV DISINFECTION LAMP
-  18'x20' DRAINFIELD



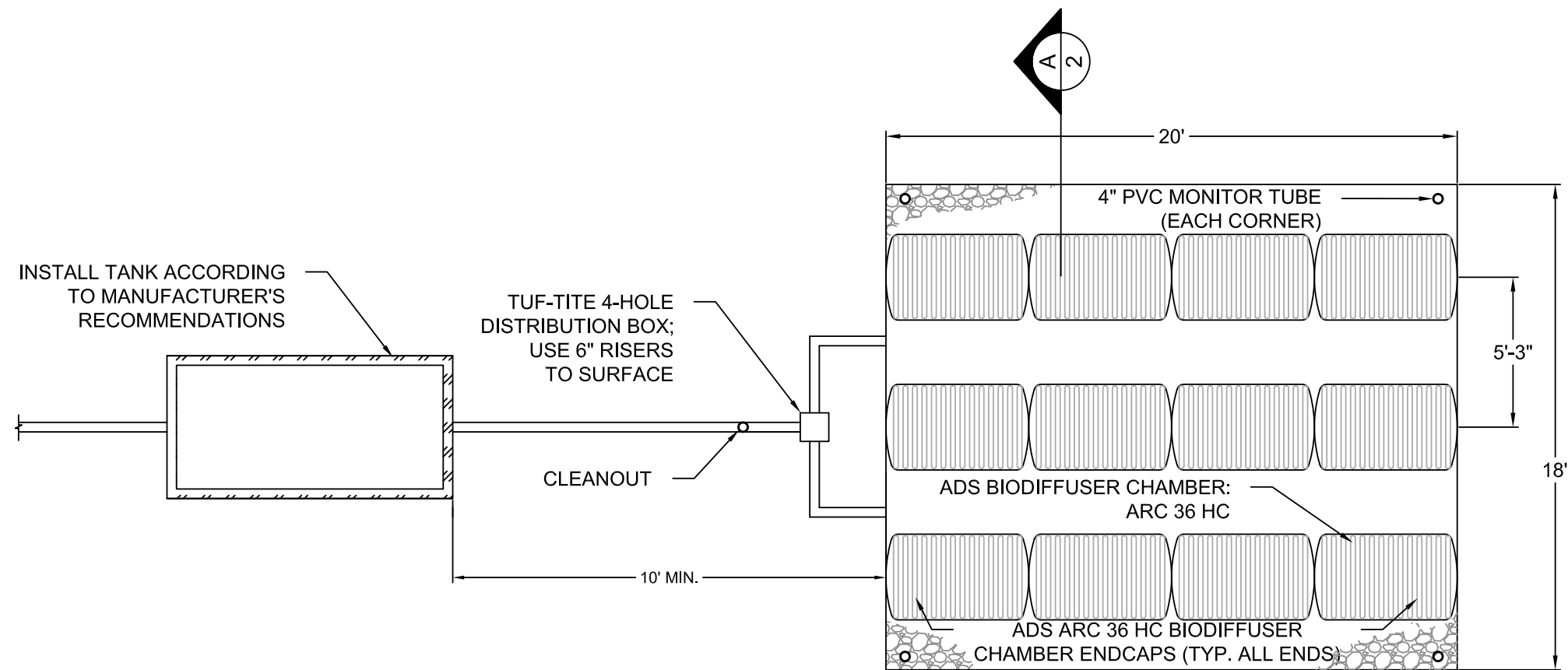
MITCH MCGRAW
P.O. BOX 784
SITKA, AK 99835
SOUTH LENA
SUBDIVISION LOT 1C,
BLOCK B

**VANORMER ON-SITE
WASTEWATER DISPOSAL SYSTEM
SITE PLAN**



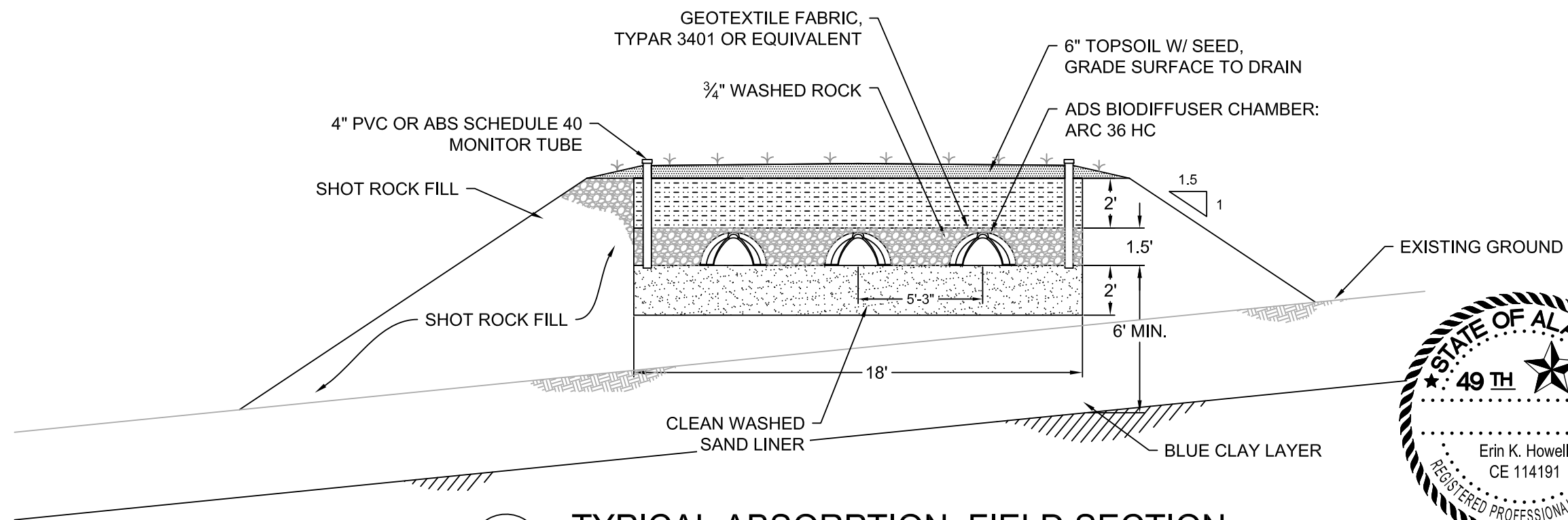
SCALE: 1" = 30'	DATE: 1/20/21
DRAWN BY: EKH	CHECKED BY: EKH

SHEET
1
OF
3



ABSORPTION FIELD PLAN VIEW

SCALE: 1" = 5'



A
2

TYPICAL ABSORPTION FIELD SECTION

SCALE: 1" = 5'



MITCH MCGRAW
P.O. BOX 784
SITKA, AK 99835
SOUTH LENA
SUBDIVISION LOT 1C,
BLOCK B

VANORMER ON-SITE
WASTEWATER DISPOSAL SYSTEM
ABSORPTION FIELD PLAN &
CROSS-SECTION

EKH DESIGN
& ENGINEERING

SCALE:
1" = 30'

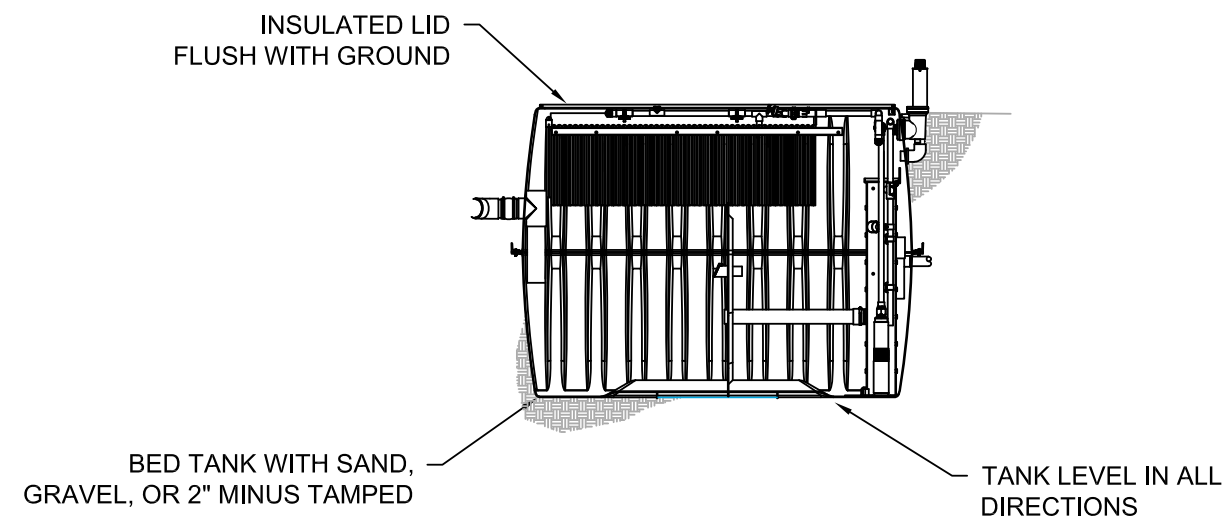
DATE:
1/20/21

DRAWN BY:
EKH

CHECKED BY:
EKH

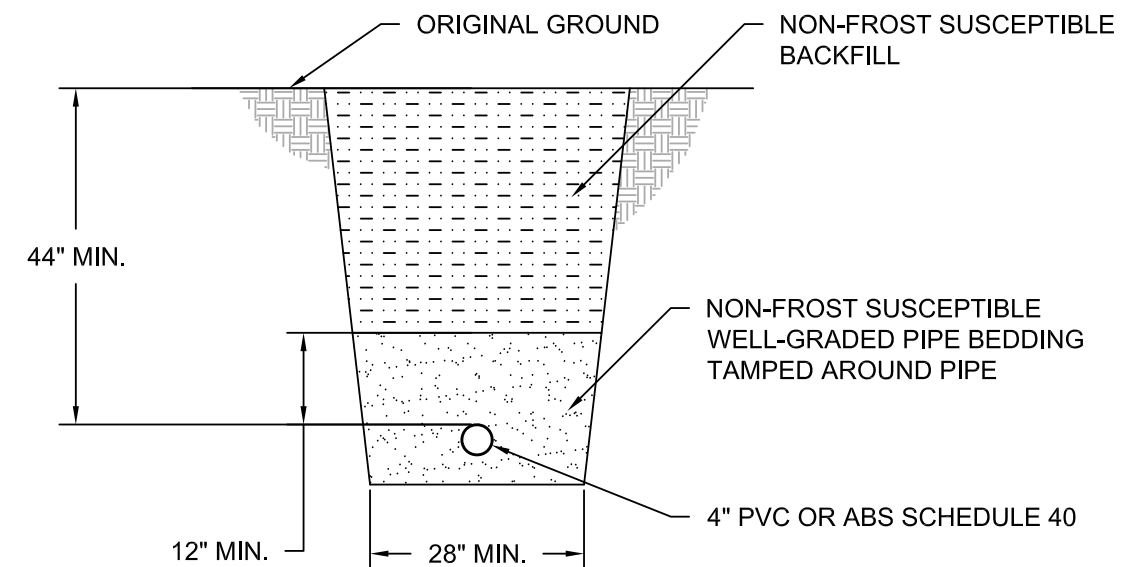
SHEET

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OF
3



SEPTIC TANK BEDDING DETAIL

NTS



SEPTIC PIPE BEDDING DETAIL

NTS

GENERAL NOTES:

1. ALL LEACH FIELD PIPING SHALL BE LAID LEVEL AND BEDDED IN ROCK.
2. 2' MINIMUM COVER ABOVE ABSORPTION FIELD TO GROUND SURFACE REQUIRED.
3. 1" OF POLYSTYRENE INSULATION MAY BE SUBSTITUTED PER FOOT OF SOIL COVER UP TO TWO FEET MAXIMUM. MINIMUM SOIL COVER SHALL NOT BE REDUCED LESS THAN TWO FEET.
4. SAND LINER, MEETING THE GRADATION SPECIFICATION IN ARTICLE 3.18.
5. SEPTIC TANK MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND WARRANTY. MAXIMUM BURIAL DEPTH MUST NOT BE EXCEEDED.
6. GRADE OF SEWER LINE BETWEEN THE HOUSE AND SEPTIC TANK MUST BE BETWEEN 2% AND 10%, EXCLUDING THE LAST 10' WHICH MUST BE AT 2% MAX GRADE.



MITCH MCGRAW
P.O. BOX 784
SITKA, AK 99835
SOUTH LENA
SUBDIVISION LOT 1C,
BLOCK B

VANORMER ON-SITE
WASTEWATER DISPOSAL SYSTEM
DETAILS & GENERAL NOTES



SCALE:
1" = 30'

DATE:
1/20/21

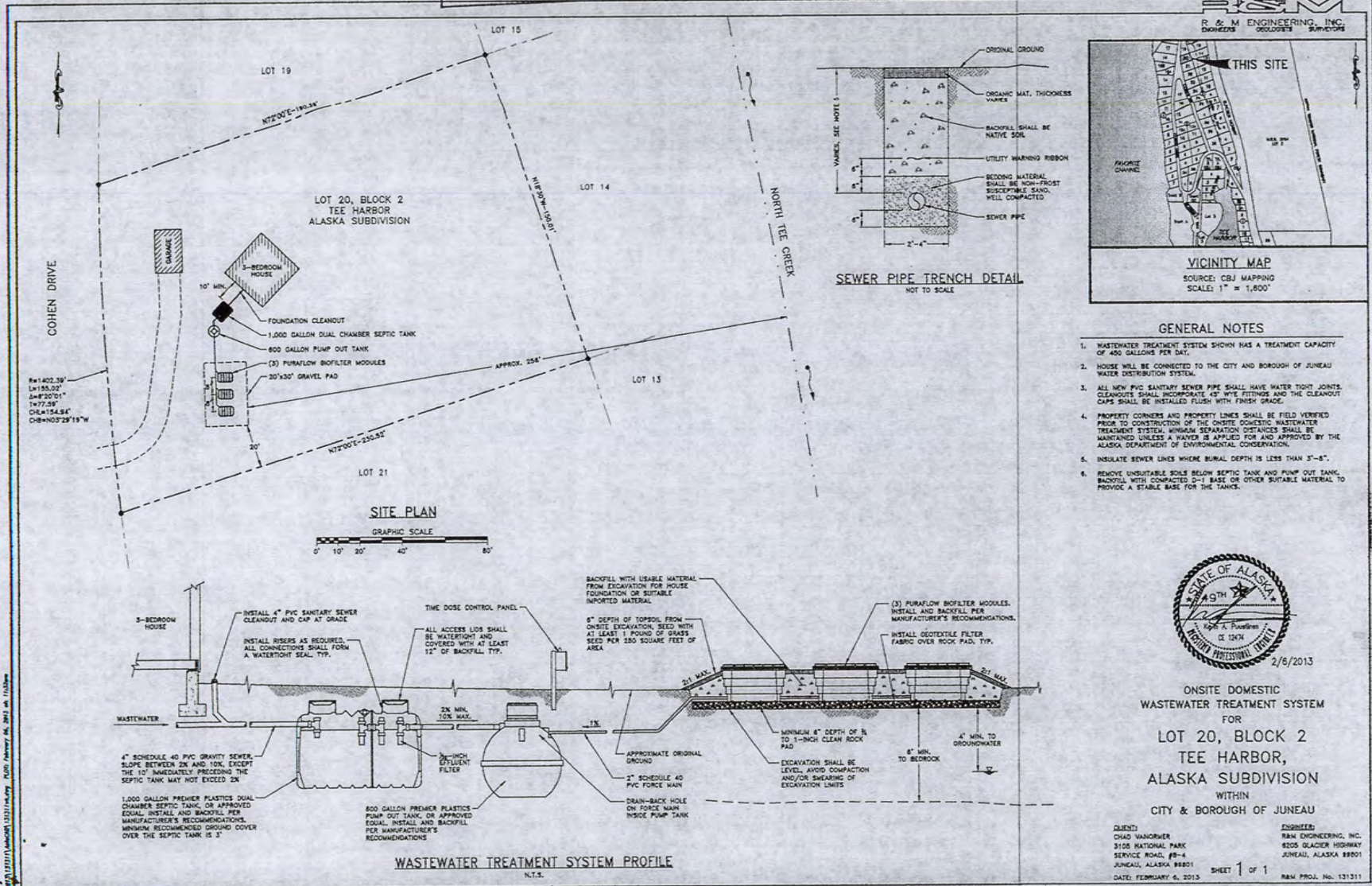
DRAWN BY:
EKH

CHECKED BY:
EKH

SHEET

3
OF
3

RECEIVED
MAR 12 2013
PERMIT CENTER/CDD





Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

New single family residence

Building Address: 20136 COHEN DR

Occupancy Group:

Owner of Building: CHAD M VANORMER
TAMAR M BOYD
3105 NATIONAL PARK SERVICE RD APT B 4
JUNEAU AK 99801-8437

Building Permit No. BLD20130125

Construction Type: Type V-B

Code Edition: 2006 IRC

Occupant Load: N/A

Sprinklers: Required No

Provided No

Legal Description of Building Lot:

TEE HARBOR ALASKA BL 2 LT 20

Building Official: Charlie Ford, BO


Signature

Parcel No: 8-B37-0-102-021-0

Date of Issuance: November 19, 2013

Post this Certificate in a conspicuous place for the duration of the stated occupancy.

CHECKLIST FOR
☒ CERTIFICATE OF OCCUPANCY
☐ TEMPORARY CERTIFICATE OF OCCUPANCY
Circle One: 30 Day TCO 60 Day TCO Other

Date: 11/18/13 Requested By (Inspector/Staff) MFS
Building Permit : BLD20130125
Site Address: 20136 COHEN DR APN: 8B3701020210
Owner's Name: CHAD M VANORMER
Project Description: New single family residence

☒ **Buildings:** Date: 11/18/13 Initials: MFS Comments:
BF approved
OK for CO

☒ **Engineering:** Date: 11/19/13 Initials: AKS Comments:
☐ AS BUILT APPROVED FOR FORM BY ENGINEERING Date: _____ Initials: _____
OKAY FOR CO

☒ **Zoning:** Date: 11/18/13 Initials: CM Comments:
OK for CO



BUILDING PERMIT

Permit No.
BLD20130125

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.php.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:30 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **COHEN DR**
Permit Number: **BLD20130125**
Project Description: **New single family residence**

Issued Date : **04/01/2013**
Parcel No: **8B3701020210**

Parcel Information : **TEE HARBOR ALASKA BL 2 LT 20**

Setbacks: Zone: D1: Firm Zone: C
Front: 25.00 Ft. SW Side 1: 15.00 Ft. NW
Rear: 25.00 Ft. NE Side 2: 15.00 Ft. SE
Street Side:

Comments:

Owner : **MIKE PERENSOVICH**
LOIS PERENSOVICH
332 WACHUSETTS
SITKA AK 99835

Applicant : **BUILDING PROS**
9882 LONE WOLF DR
JUNEAU AK 99801

Fee Type	Date	Receipt	Amount Paid
BLD- Res Plan Review	03/12/2013	03372	\$563.91
BLD- Bldg Permit Fee	04/01/2013	03432	\$1,127.82
Total Fees Paid:			\$1,691.73

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
1,138	Residential-Single Family R	116.96	133,100.48
250	Utl & Misc-Private Garage	63.64	15,910.00
112	Utl & Misc-Porch	43.28	4,847.36

Total Valuation: **\$153,857.84**

Project Conditions and Holds:

Asbuilt Survey May Be Req'd - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

Approved Fasteners - Fasteners hangars and brackets used on the exterior of the building and or used with pressure-preservative or fire retardant-treated woods shall be listed and approved products for such use.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Crawl Space Vapor Barrier - Under floor spaces and crawlspaces shall have a vapor retarder that is a minimum of 6 mil thick (0.15 mm) polyethylene film installed such that all edges are lapped a minimum of 6 inches (152 mm) and sealed with a permanent compatible sealing compound or adhesive. Such vapor retarder shall extend vertically up the foundation wall a minimum of 6 inches (152 mm) and be attached and sealed with a permanent compatible sealing compound or adhesive to the foundation wall. Vapor retarder shall not be attached to wood other than pressure preservative treated wood.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us
Web Site: www.juneau.org/permits



BUILDING PERMIT*

Permit No.
BLD20130125
Page No. 2

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

EGRESS WINDOWS - Verify egress windows.

Fuel Burning Appliance Instructions - Listed fuel burning appliances must be installed in accordance with the listed installation and operating instructions provided by the manufacturer. These instructions must be onsite and available to the inspector at time of inspection.

WATER FIXTURE COUNT - Minimum 1" Street Service and 1" Building Supply and branches for up to 31 water fixture units.

Garage Floor Drains - Garage floor drains must have approved separator device as approved by CBJ Gen Eng department. Maintenance schedule required for these devices prior to TCO or CO.

Ice Shield Required - Residential - Ice Shield Underlayment required for residential roofs. Call for inspection of Ice Shield Underlayment installation. Alternately a licensed contractor or owner-builder may provide written confirmation stating Ice Shield Underlayment installation has been installed in accordance with section 905.2.7.1 of the 2006 IRC as modified by CBJ Title 19.

Chimney Clearance - Chimney Clearance: If roof sheathing is replaced at a chimney or chimney flashing is detached, call for inspection to verify proper clearance to combustibles before cover. Alternately a licensed contractor or owner-builder may provide written confirmation stating proper clearances are met.

Shower Anti-scald Valve - All shower valves and combination tub/shower valves shall provide scald and thermal shock protection by means of an approved valve that conforms to ASSE 1016 or ASME A112.18.1 / CSA B125.1. The maximum water temperature supplied to these fixtures shall be 120 degrees fahrenheit per 2009 UPC section 418.

Seismic Strap Water Heater - Residential - Residential water heaters shall be strapped within the upper 1/3 of its vertical dimension per 2009 UPC section 508.2.

Smoke and CO Detectors - Smoke and Carbon Monoxide detectors as required by applicable code must be operational prior to temporary occupancy and/or final inspection approval, whichever is requested first.

STAMPED TRUSS DRAWINGS - Provide stamped truss detail at site.

UFER Ground - An approved UFER ground conductor must be installed and inspected per the 2008 National Electrical Code.

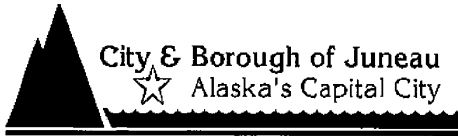
Meter Yoke Installation - Meter yoke installation must be in accordance with CBJ Standard 420 prior to issuance of TCO.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

B-Setback Verification	B-Foundation, Forms and Reinforcing Steel	B-Temporary Power
B-Framing	B-Rough Electrical	B-Yellow Tag Electrical
B-Under Slab Utilities	B-Rough Plumbing	B-Appliance/Chimney
B-Insulation/Vapor Barrier	B-Oil & Gas Piping/Tanks	B-Vents (Bath, Dryer, Kitchen, etc.)
B-Smoke /Carbon Monoxide Detectors	B-Cross Connection Control	B-Building Final
E-Grading/Drainage	E-General Engineering Final	

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us
Web Site: www.juneau.org/permits

BLD 2013 012



City and Borough of Juneau
Engineering Department
155 South Seward Street
Juneau, Alaska 99801
Telephone: 586-0800 Facsimile: 463-2606

TO: Dan Miller, Building PRO's
DATE: April 9, 2013
CC: Chris & Sandra Landis, 20134 Cohen Drive
FROM: Rorie Watt, P.E., Director, CBJ Engineering Department *DWR*
RE: Driveway Permit Application for Tee Harbor Alaska Subdivision Lot 20, Block 2

I have reviewed CBJ code and the proposed development of a driveway for the Van Ormer family to access Lot 20, Block 2, Tee Harbor Subdivision. In making this decision, I have carefully reviewed the facts of the situation and the municipal code.

Under **CBJ 62.05**, and **62.36** the Engineer Director is authorized to issue permits for the development of driveways within City rights-of-ways. **49.35.240 (d) Access driveways allowed in rights-of-way** details additional construction standards.

The facts that I have are:

1. Some decades ago, Landis constructed a driveway to access Lots 21 & 22, Block 2.
2. Building Pros applied for a permit to construct an access driveway in the right-of-way to gain access to the adjacent Lot 20.
3. Building Pros has proposed to use a portion of the existing Landis driveway.
4. The Landis driveway is more than 200 feet long and has steep sections. Over the years, Landis has been unable to use the driveway during some snow events, and has parked two cars at the top of the driveway.
5. Landis' objected to the use of the existing driveway by Lot 20 based on their long standing use of the top of the driveway for parking during inclement weather.

Analysis and Rationale:

Landis' existing driveway is a non-exclusive use of the public right-of-way. Building Pros have applied for an additional non-exclusive use of a section of the same right-of-way. **62.05.040** authorizes the Director of Engineering to place permit conditions as deemed necessary to protect the public interest.

When Landis' paid for and constructed their driveway, they created an additional off street parking space. In the absence of other neighbors, the Landis' were the only users of the parking space. None-the-less, CBJ views the off street space as a public space, to be used by the general public. CBJ does not agree that Landis' have exclusive use of the parking space or of portions of the right-of-way. Landis' additionally have parked a second vehicle in the driveway during poor weather periods. If Building Pros constructs as proposed, Landis' would no longer be able to park the second car at the top of the existing driveway.

If Building Pros constructs the new driveway in a manner that allows continued off street parking of two vehicles, the existing situation will be continued, and the public interest will be protected. CBJ does not object to side agreements between the owners of Lot 20 and Landis' but does not agree that the requirement of a binding agreement over use of public right-of-way is appropriate.

Administrative Decision:

CBJ grants a permit to construct a driveway as proposed to Lot 20 with the following conditions:

- A. That upon completion that there are a minimum of two off street parking spaces in the right-of-way.
- B. That the owners of Lot 20 comply with the provisions of 49.35.240(d) (3) & (4)
- C. That prior to construction the applicant provides a final plan that meets the standards of the code.

This is an administrative decision of the Engineering Director.

Juneau Permit Center

Foundation Setback Verification

Permit Number:	BLD20130125
Project Address:	COHEN DR
Assessor's Parcel No:	8B3701020210
Applicant's Name:	BUILDING PROS

Zoning Setbacks Required for Finished Building:

Front: 25.00 SW	Side1: 15.00 NW
Rear: 25.00 NE	Side2: 15.00 SE
Street Side:	

Planner: JKL

Date: 3/15/2013

Comments:

In accordance with CBJ 19.01.109.6.2.1, building setback lines are to be verified before inspectors can approve forms for concrete pour or placement of other foundation systems. Setbacks are measured from exterior finish materials of closest building component to property line.

Notice: DO NOT POUR CONCRETE OR PLACE OTHER FOUNDATION SYSTEMS

UNTIL INSPECTOR APPROVES SETBACKS BY ONE OF THE FOLLOWING CHECKED OPTIONS:

- ☒ **A. Surveyor's monument(s)** / string line clearly visible at the site. If the foundation and all other building elements are clearly behind the setback line, the inspector may approve the setbacks outright or at owner/contractor's risk. If there is any question, the inspector may require that no pour or foundation placement be permitted without one of the following methods of verification. (Also see "Note" below.) **OR**
- ☐ **B. Surveyor's Statement of Setback Compliance.** (Surveyor must sign and stamp the bottom portion of this form). No pour or foundation placement is allowed until the statement is received by CBJ, regardless of risk assumed by owner or contractor. Upon receipt of statement, pour or foundation placement may be approved outright or at owner/contractor risk. (See "Note" below.) **OR**
- ☐ **C. Stamped Surveyor's As-built Survey of Adjacent Building or Structure** if setback can be verified measuring from adjacent structure. (See "Note" below. May only be used when structure is parallel with property line.) **OR**
- ☐ **D. Stamped Surveyor's As-built Survey of Foundation or Formwork** indicating setbacks, easements and other relevant information. (See "Note" below.) **OR**
- ☐ **E. Other** _____

INSPECTOR'S APPROVAL & COMMENTS:

Setbacks for house approved SJS

Inspector's Initials

Date

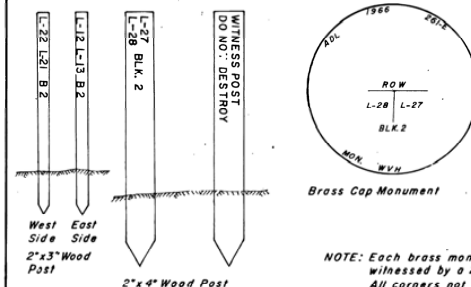
Note: An as-built survey may still be required prior to issuance of a Certificate of Occupancy if setbacks are close enough to the building to make setback verification questionable. Example: Where the structure is less than 3' to the setback line on steep slopes or forested terrain. The purpose of the monuments and string line, surveyor's statement or foundation as-built is to give the inspector the information necessary to allow a pour or placement based on a surveyor's work, as required by CBJ ordinance and not to cause scheduling delays for the contractor. In some situations, a final as-built may be required before frame or final approval where the distance to the setback line of some element of the structure must be more exactly determined. Inspectors may require this additional as-built based on their observations in the field.

SURVEYOR'S STATEMENT OF SETBACK COMPLIANCE

I hereby certify that I am a surveyor registered to practice in the State of Alaska, and that on _____, I personally verified that the forms or foundation systems on site at: _____, Permit No: _____ are placed so that the finished building, if built to the plans as approved by CBJ, will meet the required setbacks shown above. I have reviewed the plans and zoning requirements as approved by CBJ and have accounted for all exterior finish materials, decks, antilevers and/or other proposed building projections on the approved plans. To the best of my ability, I staked the property so that the contractor can meet all CBJ zoning requirements per CBJ Titles 19 and 49.

I heretofore affix my professional stamp, this date of _____.

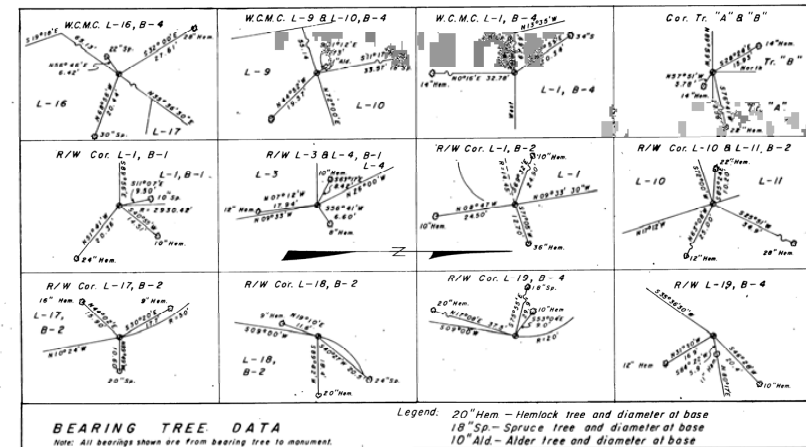
Surveyor's Signed Seal Required



NOTE: Each brass monument is witnessed by a 2"x4" post. All corners not otherwise noted are 2"x3" posts. Posts are white with black markings.

TYPICAL MONUMENT MARKINGS

CURVE DATA						
CURVE	RADIUS	ARC	Δ	TANGENT	CHORD BRG.	CHORD
20	2834.79'	158.13'	3°02'47"	79.08'	N00°25'57"E	158.11'
21	"	161.34'	3°11'36"	80.69'	N00°35'39"E	161.32'
22	2834.79'	155.80'	3°08'57"	77.92'	N02°02'20"W	155.78'
23	"	158.51'	3°12'13"	79.28'	N00°50'15"E	158.49'
24	2834.79'	171.39'	3°25'33"	85.72'	N00°53'13"E	171.37'
25	2834.79'	324.60'	6°33'38"	162.48'	N05°43'11"E	324.84'
26	2834.79'	21.06'	0°25'01"	10.53'	N89°47'30"E	21.08'
27	50.00'	133.87'	133°24'28"	211.53'	N85°42'12"E	97.32'
28	140.2139'	150.17'	6°08'07"	73.16'	N15°55'07"W	150.10'
29	"	24.81'	1°00'50"	12.41'	N19°29'25"W	24.81'
30	"	151.64'	8°11'43"	73.89'	N09°45'12"W	151.57'
31	"	155.02'	8°20'01"	77.89'	N03°28'19"W	154.94'
32	"	228.17'	9°19'18"	114.34'	N01°40'20"W	227.92'
33	190.5421'	13.285'	3°50'02"	66.45'	N15°16'28"E	132.83'
34	"	102.78'	2°57'58"	51.40'	N11°52'59"W	102.77'
35	50.00'	77.93'	89°19'00"	49.41'	N55°03'30"W	70.31'
36	1432.39'	725.00'	2°30'00"00"	370.44'	N55°30'00"W	717.29'
37	1462.39'	61.43'	2°04'22"	30.72'	N10°47'48"W	61.43'
38-26	2834.79'	732.59'	14°30'0"	368.26'	N11°52'59"E	730.64'
7-25	2834.79'	717.41'	14°30'0"	360.63'	N01°45'00"E	715.90'
29-32	1402.39'	709.82'	2°30'00"	367.66'	N55°30'00"W	702.66'
33-34	198.7142'	235.63'	6°48'	117.96'	N13°48'00"	235.50'



I, the undersigned, hereby certify that I am the Director, Alaska Division of Lands, and that the State of Alaska is the owner of the Tee Harbor, Alaska Subdivision, as shown hereon. I hereby approve this survey and plat for the State of Alaska.

Subscribed and Sworn to Before me this 3rd day of March 1967

DEDICATION OF EASEMENTS, PUBLIC UTILITIES, AND ROADWAYS

I hereby dedicate for public or private use, as noted, all easements, public utility areas, and roadways as shown and described hereon.

Date 3/3/67

Director, Alaska Division of Lands

I hereby certify that the Subdivision Plat shown hereon has been found to comply with the subdivisional regulations of the Greater Juneau Borough, and that said plat has been approved by the board by plat resolution no. 108 dated 10 April 1967, and that the plat shown hereon has been approved for recording in the office of the District Magistrate, Juneau.

10 April 1967
Date

Raymond L. ...
Chairman, Greater Juneau Borough
Planning Board

Alan A. Brunce

NOTE

1. The bearings on this survey refer to true north and were derived between corners 17 & 18, U.S.S. 3764 or the east boundary of Tract "C" officially recorded as NORTH. B.L.M. Record.
2. The coordinate system for this survey is assumed, WCGM 19, U.S.S. 3764 = N3000 + E5000
3. Minor variations exists between ADL & BLM Bearings due to adjusting the survey to form a closure.
4. Extension boundary, closure, unadjusted, is 1:7750

A Fractional Part of Lot 2, U. S. Survey No. 3764, located within protracted section 1, T40S, R 64E and Section 36, T39S, R66E, Copper River Meridian and more particularly described by series and bounds as follows:

[illegible]

This tract contains 82.17 acres, more or less.

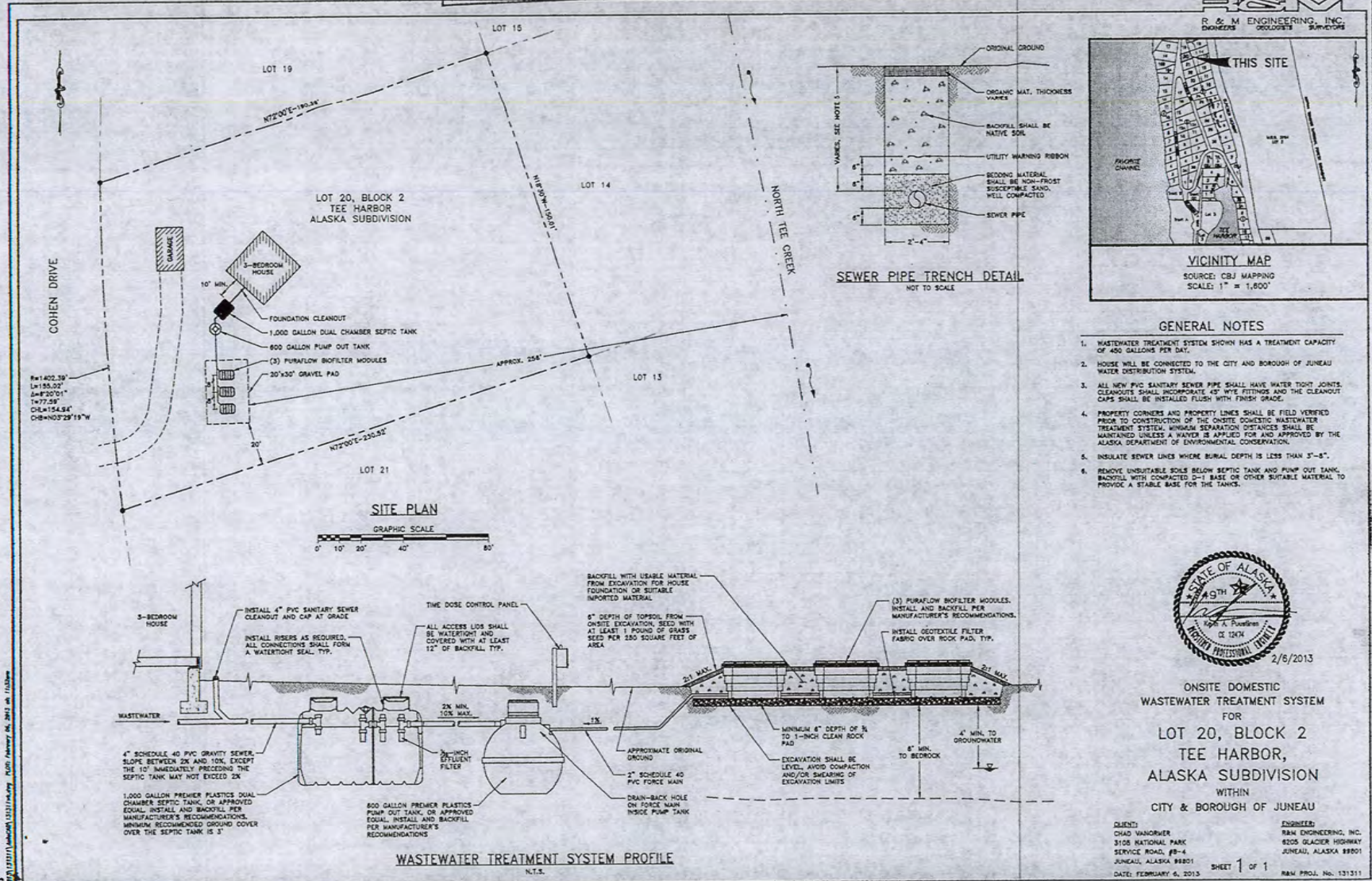
SURVIVOR'S CERTIFICATE

I hereby certify that I am registered to practice land surveying in Alaska and that this plat represents a survey made by me or under my direct supervision, and the monuments shown hereon actually exist as located, and that all dimensional and other details are correct to the best of my knowledge.

William C. Stille 1518-8 February 20, 1967
Registration

TEE HARBOR, ALASKA SUBDIVISION

RECEIVED
MAR 12 2013
PERMIT CENTER/CDD







(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

Case name: Cohen Accessory Dwelling Unit

Case Number: PAC2024 0036
Applicant: Jake Lapenter
Property Owner: Galen Lamphere-Englund, Katherine Thomas-Canfield
Property Address: 20136 Cohen Drive
Parcel Code Number: 8B3701020210
Site Size: 31,799
Zoning: D1
Existing Land Use: Residential

Conference Date: June 19, 2024

Report Issued: June 26, 2024

DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Jake Lapenter	Applicant	modernalaskabuilders@gmail.com
Irene Gallion	Planning	irene.gallion@juneau.gov
Charlie Ford	Building	Charlie.Ford@juneau.gov
Eric Vogel	General Engineering	Eric.Vogel@juneau.gov
Dave Sevdy	Permits	Dave.Sevdy@juneau.gov

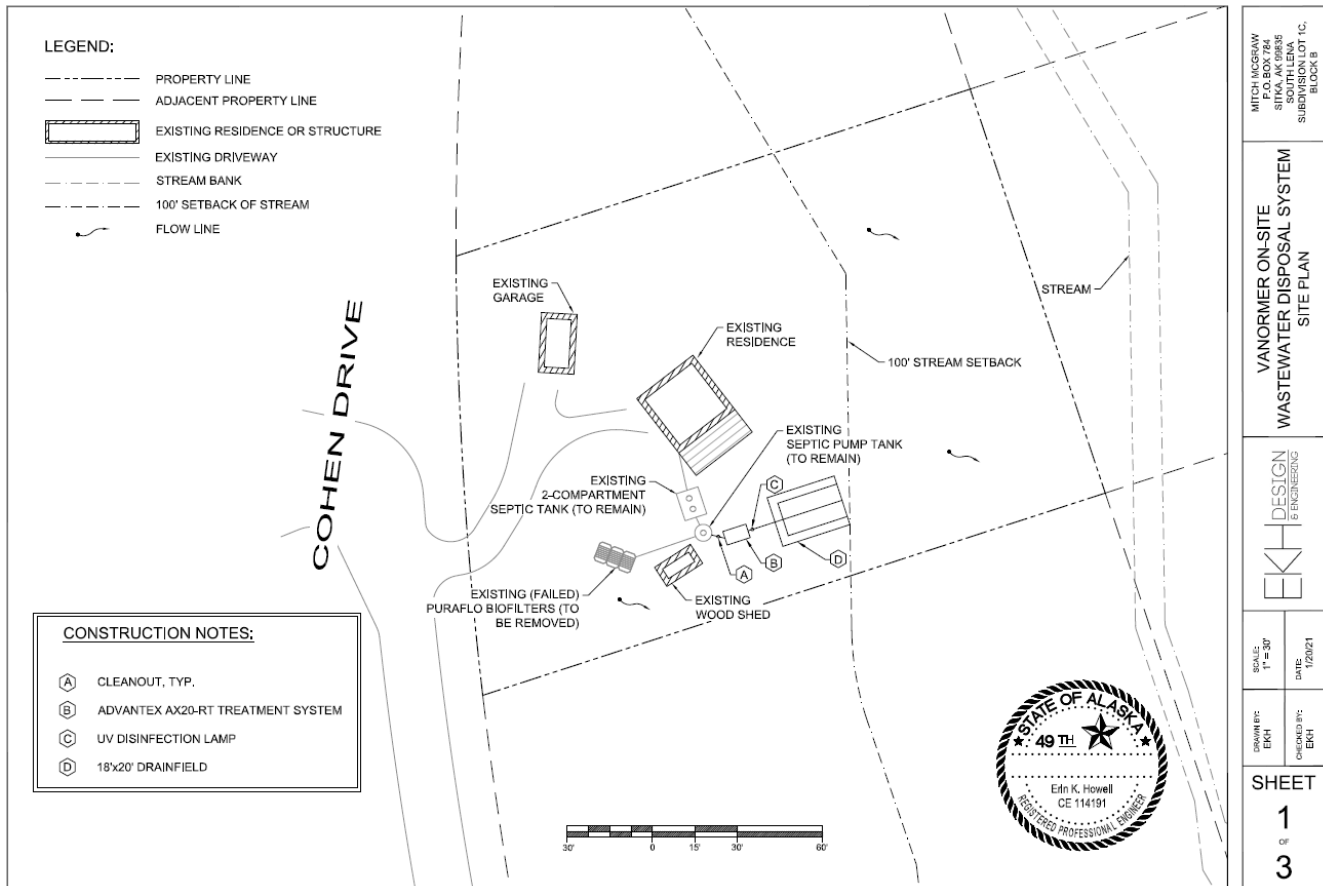
Conference Summary

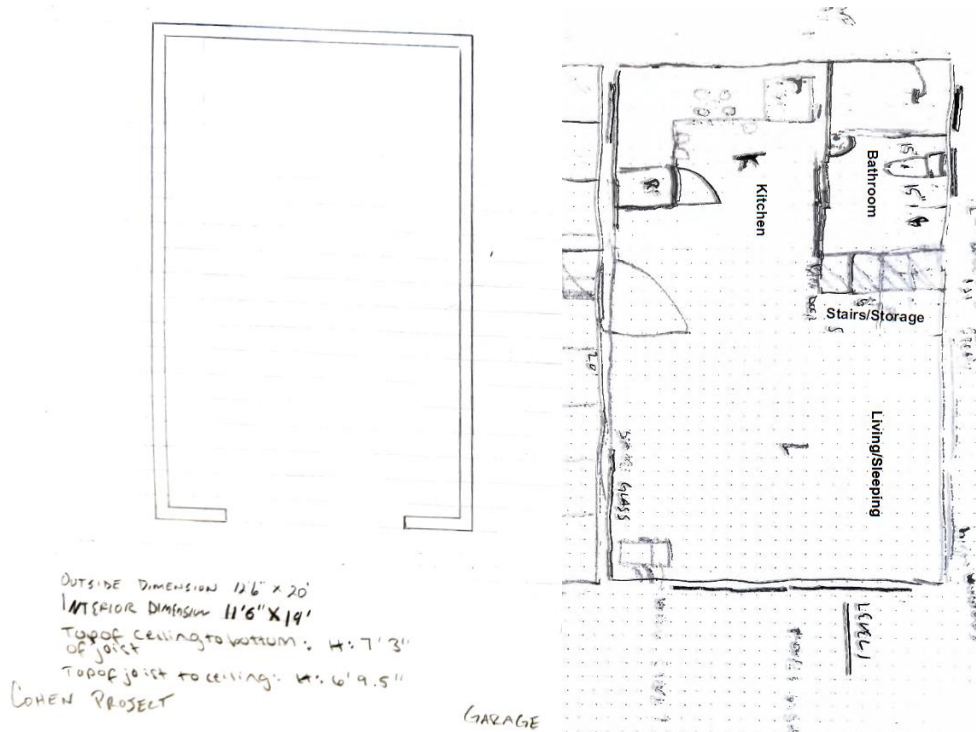
Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

The Applicant would like remodel an existing garage into an accessory apartment. Because the lot is less than required for the zoning district, the applicant will need a Conditional Use Permit [CBJ 49.25.510(k)(2)(E)].





The existing garage is 11.5 x 19 net floor area. The apartment would be a 219 square foot studio. Loft space would be available for storage.

Conditional Use Permit Process:

- Submit the application and back-up materials (listed on ten back of the application).
 - Electronic submissions accepted at Permits@juneau.gov. Note that the permit center will call you for payment when the application is processed. Applications are submitted in the order in which they are received, and it may be a few days before you get a call.
- The project will be assigned to a planner. They will review submitted materials, and coordinate where necessary. When the planner assesses the file is complete, they will schedule a hearing before the Planning Commission.
 - A notice will be sent to property owners within 500 feet of the project.
 - There will be two newspaper ads for the case.
 - The Applicant is required to post a Public Notice sign, which will be provided by CDD. The sign must be posted two weeks before the hearing.
 - Staff will prepare a report analyzing the project, and make a recommendation to the Commission. The report will be publicly available the week before the hearing.
- At the Planning Commission meeting, the project can be:
 - On the Consent Agenda, where it will be passed without discussion.
 - On the Regular Agenda:
 - The Director will briefly describe the project.
 - The Applicant has 15 minutes to describe the project.
 - The public has the opportunity to comment. There is usually a time limit of two to three minutes.
 - The Applicant has time to respond to issues raised.

- Public comment is closed and there is no additional opportunity to participate.
- The Planning Commission will:
 - Approve the project
 - Approve the project with conditions (the most common outcome)
 - Deny the project
 - Continue the project – if more information is required or if the Commission runs out of time.
- The decision can be appealed for 20 days after the Notice of Decision is filed with the City Clerk. If the decision is appealed, the Applicant can continue with their project at their own risk.

Videos of the Planning Commission activities are posted on Assembly's Minutes and Agendas site.

<https://juneau-ak.municodemeetings.com/>

Building permit

The building permit application may be submitted before the Conditional Use Permit is approved, but will not be issued until after approval. Early submittal gives review departments additional time to work with the Applicant on revisions or requirements, as needed.

Accessory Dwelling Unit (ADU) Grant Program

IMPORTANT NOTE: To qualify for the grant program, the ADU application needs to be received at the same time as the building permit application.

CBJ provides a \$13,500 grant incentive for development of an ADU. An information sheet is attached. To summarize:

- The application must be submitted with the Building Permit Application.
- The ADU must receive a Certificate of Occupancy within two years from the date the building permit was issued.
- A deed restriction must be recorded, agreeing not to rent the resulting unit as a short-term rental for five years from the date of issuance of the Certificate of Occupancy.
- The grant is non-transferable to a new property owner.

There is no additional cost for applying for the ADU Grant Program. More information at:

<https://juneau.org/community-development/ADUG>

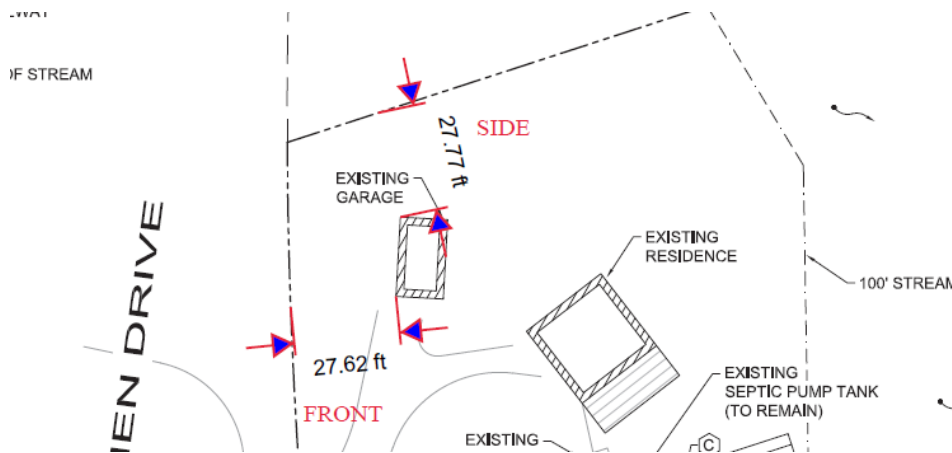
If you have further questions you can contact Joseph Meyers at (907) 586-0753 x4209

Planning Division

1. **Zoning** – D1
2. **Table of Permissible Uses** – Allowed under Paragraph 1.110
3. **Lot size requirements** – Minimum lot size in D1 is 36,000 square feet. This lot is 31,799 square feet and has been certified nonconforming.
4. **Setbacks** –
 - a. **Front:** 25 feet
 - b. **Rear:** 25 feet

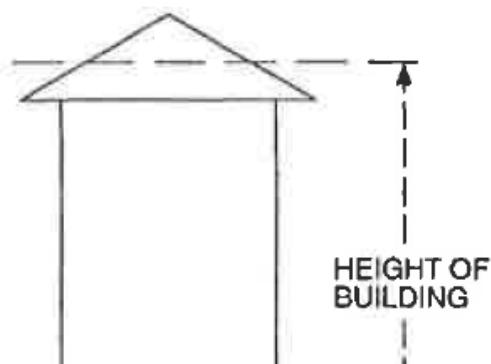
- c. **Side:** 15 feet
- d. **Setback from anadromous stream:**
 - i. 25 foot no disturbance
 - ii. 50 foot no development

Based on a site plan submitted by the applicant, the proposed apartment is on top of an existing garage that meets setbacks.



5. **Height** – The height of the garage and apartment is limited to 25 feet. Height will be measured to the average height of the roof.

The proposal converts the existing garage to an ADU. No additional structures and no increase of height is proposed at this time.



- 6. **Access** – Access to the property is via Cohen Drive,
- 7. **Parking & Circulation**– The accessory apartment will require one additional parking space on the property.
- 8. **Lot Coverage** – Maximum lot coverage is 10 percent. Lot coverage is any structure with a roof. The existing garage is approximately 250 square feet, and the single-family structure is 600 square feet, for a

total of 850 square feet, or three percent lot coverage. The addition of an accessory apartment on top of the existing garage will not increase lot coverage.

9. **Vegetative Coverage** – Minimum vegetative cover is 20 percent, or 6,360. Current development is set back 100 feet from the stream, providing 10,670 square feet of vegetative cover. Additional vegetative cover is provided in the developed area.
10. **Lighting** – Exterior lighting may not shed light or glare above the roofline of the building or beyond the property line of the site.
11. **Noise** – An accessory apartment is not anticipated to create noise out of character with the D1 zoning district.
12. **Flood** – The property is not in a flood zone (FEMA Panel 02110C 1185D).
13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – There are no mapped hazards in the area of the lot. Lot slope is approximately five percent. A hillside endorsement is not required.
14. **Wetlands** – Contact the Army Corps of Engineers if filling wetlands [(907) 753-2689].
15. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling.

Tee Creek (Anadromous Waters Catalog number 111-50-10200) is within 10 feet of the lot line at its closest mapped point. Lot development is approximately 100 feet from this point. Future development will need to be a minimum of 50 feet from the stream. The proposed accessory apartment on top of the existing garage does not impact this setback.
16. **Plat Restrictions** – There are no restrictions documented on Plat #499, Juneau serial number 67-830.
17. **Traffic** – A traffic impact analysis is not required.
18. **Nonconforming situations** – The lot size is certified nonconforming. There are no other documented nonconforming or noncomplying conditions (NCC2021 0043).

Building Division

19. **Building** –
 - a. Fire and sound separation will be required between the garage and apartment.
 - b. The apartment is required to have outside access. No entrance or exit through the garage is allowed.
 - c. A water meter will be required.
20. **Outstanding Permits** – None.

General Engineering/Public Works

21. **Engineering** –
 - a. Please show utilities on the site plan. This can be drawn by hand on the existing as-built.
22. **Drainage** – N/A
23. **Utilities** – (water, power, sewer, etc.)
Septic – ADEC review required. Please provide formal ADEC approval.
Water – A water meter is required.

Fire Marshal

24. **Fire Items/Access** – The Fire Marshal did not provide notes for this report.

Other Applicable Agency Review

25. Alaska Department of Environmental Conservation may be required to evaluate the septic capacity for the extra load.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

Items 1-3 must be submitted together. Items 4-5 must be submitted together.

1. Development Permit Application
2. Allowable/Conditional Use Permit Application
3. Accessory Apartment Application
4. Building Permit Application
5. Accessory Dwelling Unit Grant Program Application (if desired)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. A site plan (the one you've provided for this conference will do). Please show the parking space for the Accessory Apartment, and utilities to the new ADU.
3. Plans for modification of the garage.

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. None.

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Conditional Use Permit: \$350
2. Public Notice Sign: \$150: \$100 refundable if the sign is returned by the Monday following the Commission meeting.
3. Building permit fees will depend on the value of the improvements.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

49.15.330 – Conditional Use Permit
Development Permit Application
Allowable/Conditional Use Permit Application
Accessory Apartment Application
Accessory Dwelling Unit Information and Grant Application

49.15.330 Conditional use permit.

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
 - (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
 - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with section 49.15.230.
 - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)—(1)(C) of subsection (e) of this section.
 - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
 - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of the application if it is found that the development:
 - (A) Will materially endanger the public health or safety;
 - (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
 - (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.
- (e) *Review of director's determinations.*
 - (1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:
 - (A) Whether the proposed use is appropriate according to the table of permissible uses;

-
- (B) Whether the application is complete; and
 - (C) Whether the development as proposed will comply with the other requirements of this title.
- (2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.
- (f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:
- (1) Materially endanger the public health or safety;
 - (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
 - (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.
- (g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:
- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
 - (2) *Use.* Use of the development may be restricted to that indicated in the application.
 - (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
 - (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
 - (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
 - (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
 - (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
 - (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
 - (9) *Avalanche areas.* Development in moderate and severe avalanche hazard areas shown on the Avalanche Hazard Designation Mapping, dated April 27, 2022, and attached to Serial No. 2023-18(am) as Appendix A, must minimize the risk to life and property.
 - (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:

(A) Developments in wetlands and intertidal areas.

- (11) *Sound*. Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation*. Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access*. Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening*. The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.
- (15) *Lot size or development size*. Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage*. Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting*. Conditions may be imposed to control the type and extent of illumination.
- (18) *Other conditions*. Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018; Serial No. 2023-18(am), § 3, 12-11-2023, eff. 1-11-2024)



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)		
	Parcel Number(s)		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner	Contact Person	
	Mailing Address	Phone Number(s)	
	E-mail Address		
	LANDOWNER/ LESSEE CONSENT		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)		Contact Person	
Mailing Address	Phone Number(s)		
E-mail Address			
X _____ Applicant's Signature Date of Application			

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

Intake Initials

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

Date Received



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant	PROJECT SUMMARY
	TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED <input type="radio"/> Accessory Apartment – Accessory Apartment Application (AAP) <input type="radio"/> Use Listed in 49.25.300 – Table of Permissible Uses (USE) Table of Permissible Uses Category: _____
	IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL? <input type="radio"/> YES – Case # _____ <input type="radio"/> NO
	UTILITIES PROPOSED WATER: <input type="checkbox"/> Public <input type="checkbox"/> On Site SEWER: <input type="checkbox"/> Public <input type="checkbox"/> On Site
	SITE AND BUILDING SPECIFICS Total Area of Lot _____ square feet Total Area of Existing Structure(s) _____ square feet Total Area of Proposed Structure(s) _____ square feet
	EXTERNAL LIGHTING Existing to remain <input type="radio"/> No <input type="radio"/> Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures Proposed <input type="radio"/> No <input type="radio"/> Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
ALL REQUIRED DOCUMENTS ATTACHED	
<input type="checkbox"/> Narrative including: <input type="checkbox"/> Current use of land or building(s) <input type="checkbox"/> Description of project, project site, circulation, traffic etc. <input type="checkbox"/> Proposed use of land or building(s) <input type="checkbox"/> How the proposed use complies with the Comprehensive Plan	
<input type="checkbox"/> Plans including: <input type="checkbox"/> Site plan <input type="checkbox"/> Floor plan(s) <input type="checkbox"/> Elevation view of existing and proposed buildings <input type="checkbox"/> Proposed vegetative cover <input type="checkbox"/> Existing and proposed parking areas and proposed traffic circulation <input type="checkbox"/> Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)	
<i>If this is a modification or extension include:</i> <input type="checkbox"/> Notice of Decision and case number <input type="checkbox"/> Justification for the modification or extension <input type="checkbox"/> Application submitted at least 30 days before expiration date	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES				
	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ _____			
Pub. Not. Sign Deposit	\$ _____			
Total Fee	\$ _____			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received

Attachment J – 2024 Preapplication

Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

Pre-Application Conference: A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

Application: An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - A. Site plan, floor plan and elevation views of existing and proposed structures
 - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
 - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
 - D. Existing and proposed lighting (including cut sheets for each type of lighting)
 - E. Existing and proposed vegetation with location, area, height and type of plantings
 - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

Public Notice Responsibilities: Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

The Community Development Department will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

The Applicant will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Accessory Apartment Application Information

Accessory Apartments are outlined in CBJ 49.25.510(k)

For more information about Accessory Apartments see the Accessory Apartment handout in the Permit Center.

If the Actual Lot Size is less than the Minimum Lot Size required, the application must be reviewed through the Conditional Use Permitting Process.

Application: An application for an Accessory Apartment Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Accessory Apartment Permit Application and Development Permit Application forms.
2. **Fees:** All Accessory Apartment Application's must pay Building permit fees. If it is determined that the apartment needs to be reviewed under the Conditional Use process, additional fees will apply. Any development, work or use done without an issued permit will be subject to double fees.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and must clearly show the items listed below:
 - A. Site plan, drawn to scale and dimensioned indicating all required parking, minimum setbacks and entrances for both dwelling units.
 - B. A floor plan drawn to scale and dimensioned indicating both dwelling units including each room labeled as to use.
 - C. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.).

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Please consult with the Community Development Department to discuss whether additional information may be required for your application. During business hours the "Planner-On-Call" can be reached by contacting the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

Minimum Lot Size: If the property meets or exceeds the minimum lot size required in the Table of Dimensional Standards and is served by public sewer, the application will be reviewed by Community Development Department Staff. If the property has an on-site waste disposal system, written verification from the Alaska Department of Environmental Conservation that the disposal system has the capacity to service an additional dwelling unit and inspection are required.

Conditional Use Process: An Accessory Apartment Permit will be required to be reviewed through the Conditional Use permitting process if the lot upon which the accessory apartment is proposed is smaller than the Minimum Lot Size for Permissible Uses listed in the Table of Dimensional Standards, CBJ 49.25.400. **If this is the case, a Conditional Use permit review fee will be required in addition to building permit fees.**

Application Review Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review of the application. As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the Accessory Apartment Application request, the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department will coordinate the review of this application by other agencies, as necessary. **Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.**

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



Accessory Dwelling Unit Grant Program

The Accessory Dwelling Unit Grant program is intended to provide encouragement for homeowners to add an accessory apartment to their home. This incentive is a \$13,500 grant per new accessory dwelling unit created. Funding for this program is provided by the Juneau Affordable Housing Fund.

Preliminary Eligibility to Apply

- **Applicant can only apply for the grant program concurrently with a building permit application**
- One grant per property
- Applicant must be the property owner and at least 18 years of age.
- Applicant must be a Juneau resident whose principal residence is within the borough of Juneau.
- Outstanding Code Enforcement cases must **not** exist on the subject property.
- Only new accessory apartment units are eligible for this incentive program. Building permit must have been issued after the program launch date.
- Building permit and grant application must be compliant with Title 19, Title 49, CBJ Engineering Code, and incentive grant criteria.

Eligibility for Award

- Pass final inspection within two years of issuance of associated building permit.
- Receive a full Certificate of Occupancy within 2 years from date building permit was **issued**. A Temporary Certificate of Occupancy is insufficient.
- Have no outstanding or active code enforcement cases on subject property.
- Submit exterior and interior photos of new unit
- Property taxes and assessments, including bonds, must be in good standing.
- Record a deed restriction agreeing not to rent the resulting unit as a short-term rental for five (5) years from the date of issuance of the certificate of occupancy; a default would cause the property owner to owe the CBJ the grant award in the amount of \$2,700 for each year remaining of the deed restriction.
- The grant is non-transferable; therefore, if there is a conveyance of property prior to awarding this grant, this application becomes null and void.

Application and Disbursement Process

Property owners shall complete an Accessory Dwelling Unit Grant application concurrently with a Building Permit application for an Accessory Apartment. Applications are accepted at the Community Development Department Permit Center on the 4th floor of the Marine View Building, located at 230 South Franklin Street. Staff will be available to provide assistance and answer any questions.

Availability of funding currently allows for 16 grant awards per fiscal year. Applications are received on a first come, first served basis. Grant application approval will be determined by the Community Development Department; approval is subject to meeting preliminary eligibility requirements. The first 16 eligible applicants will be awarded after meeting the final eligibility for award requirements. After the first 16 applications have been received, eligible applicants will be placed on a waitlist in the event more funding becomes available, or an applicant on the primary list fails to meet award eligibility requirements.

Grant proceeds will be disbursed after a full Certificate of Occupancy is issued by the CBJ Building Division, within the 2 year timeframe, and all other award eligibility requirements are met. Extension of grant deadlines will not be provided. Temporary Certificates of Occupancy are insufficient to receive an incentive grant award.

The applicant must agree not to rent the apartment as a short-term rental from issuance of the Certificate of Occupancy for five (5) years, and a default would cause the property owner to owe the CBJ the grant award. A short-term rental means a dwelling unit, or portion of a dwelling unit, offered for overnight occupancy in exchange for a fee and that is available for rent for fewer than 30 consecutive days.

Final Inspections

Applicants are cautioned that the building inspection process often takes more time to complete than one may anticipate. Inspectors may have several inspections pending. Depending on the season, inspectors may be unable to respond rapidly to a request for an inspection. Please allow adequate time after inspections to make necessary corrections. **Final inspections should be scheduled at least 1 month in advance of the 2 year deadline.**

Income and Taxes

Applicant is solely responsible for any tax implications upon receiving this incentive grant.



ACCESSORY DWELLING UNIT GRANT (ADUG) PROGRAM APPLICATION

Please complete the top section of this form and the attached W-9 form. Please retain the compliance report for use after the grant is awarded. Incomplete applications will not be accepted.

Owner and property information – required		
Name:		Mailing address:
Email:		Phone:
Property physical address:		Parcel number (PCN):
Unit square footage:	Zoning district:	Lot size:
Permitting information – staff to complete		
ADUG #:	AAP #:	BLD #:
App. expiration date:	BLD issue date:	CO issue date:

1. Grants: Applicant can only apply for the grant program concurrently with a building permit application. Grants are limited based on available funding. The CBJ is free to reduce or eliminate the funding for this program. Applicants do not vest any rights in this program.

2. Certificate of Occupancy: The CBJ intends to award \$13,500 grants to the first 16 eligible applicants who also receive a *full* Certificate of Occupancy within two (2) years of issuance of associated building permit. A temporary Certificate of Occupancy is insufficient.

3. Eligible applicant: Only the property owner may apply as an individual and may not receive more than one grant per property. This award is non-transferable; therefore, if there is a conveyance of property prior to awarding this grant, this application becomes null and void and the applicant will be required to pay back the remaining prorated grant amount at a rate of \$2,700 per year remaining on the deed restriction. The resulting apartment must not be rented as a short-term rental for five (5) years from the receipt of the Certificate of Occupancy.

4. Taxes and Assessments: All taxes and assessments, including bonds, due to the CBJ at the time of issuance of a Certificate of Occupancy shall be in good standing prior to the award of this grant.

5. Compliance: All development on the subject property shall comply with all applicable laws, including CBJ Title 19, Title 49, and Engineering Code. This application is void if there is an outstanding code enforcement case or if the apartment development creates a code enforcement case before award of the grant.

<u>Applicant Signature</u>	<u>Date</u>	<u>Staff intake initial and date:</u>

This form and all documents associated with it are public record once submitted. For assistance filling out this form, contact the Permit Center at 586-0770.

Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

► Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type. See Specific Instructions on page 3.	1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.	
	2 Business name/disregarded entity name, if different from above	
	3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor or single-member LLC <input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ► _____ Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions) ► _____	
	4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <small>(Applies to accounts maintained outside the U.S.)</small>	
	5 Address (number, street, and apt. or suite no.) See instructions.	Requester's name and address (optional)
	6 City, state, and ZIP code	
	7 List account number(s) here (optional)	

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number								
				-				
or								
Employer identification number								
				-				

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign
Here

Signature of
U.S. person ►

Date ►

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
 - Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
 - Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
 - Form 1099-S (proceeds from real estate transactions)
 - Form 1099-K (merchant card and third party network transactions)
 - Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
 - Form 1099-C (canceled debt)
 - Form 1099-A (acquisition or abandonment of secured property)
- Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

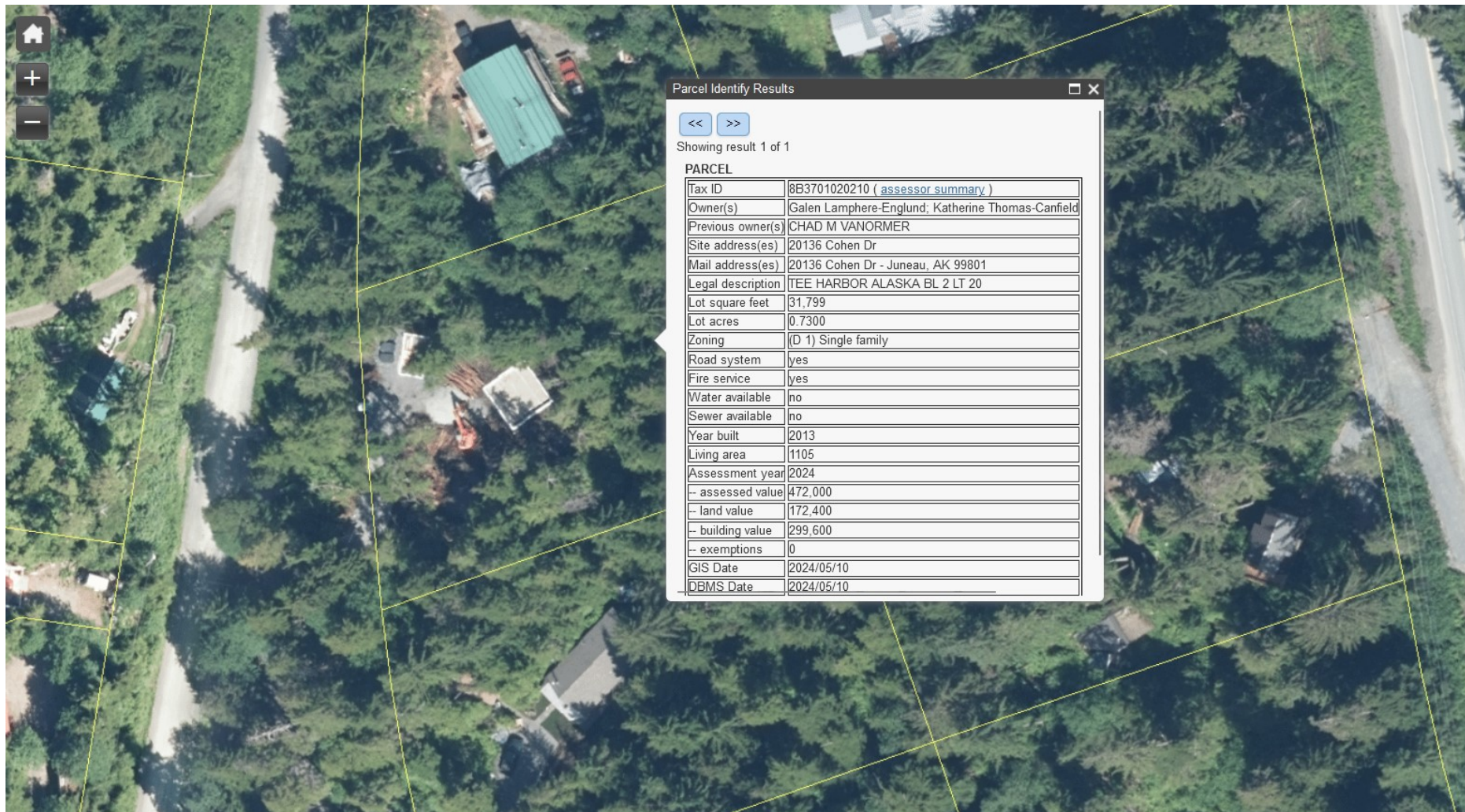
If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.

Accessory Dwelling Unit Grant Compliance Report

Important: This compliance report must be filed annually on or before March 31 for five years after the unit receives a Certificate of Occupancy (CO). Noncompliance will cause the applicant to owe the CBJ \$2,700 a year for the remaining years of compliance up to \$13,500

Property owner: _____	For staff use only: Intake initials: _____ Date: _____
Parcel number: _____	
Property address: _____	
Grant ID: _____	
Date Grant issued: _____	
Today's date: _____	

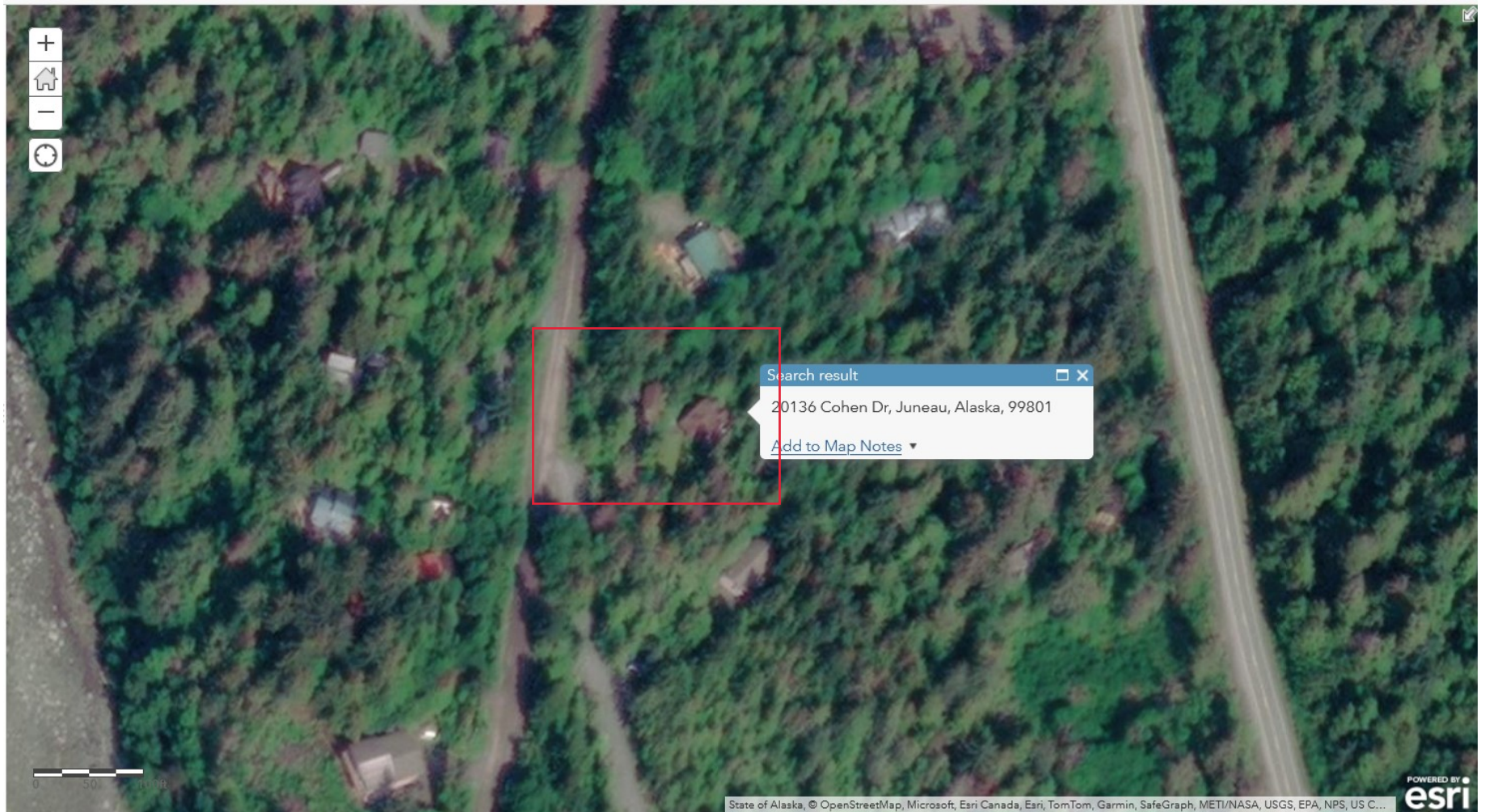
[illegible]



20136 Cohen Drive -- Aerial view of lot, 2013 during construction. Footprint visible.

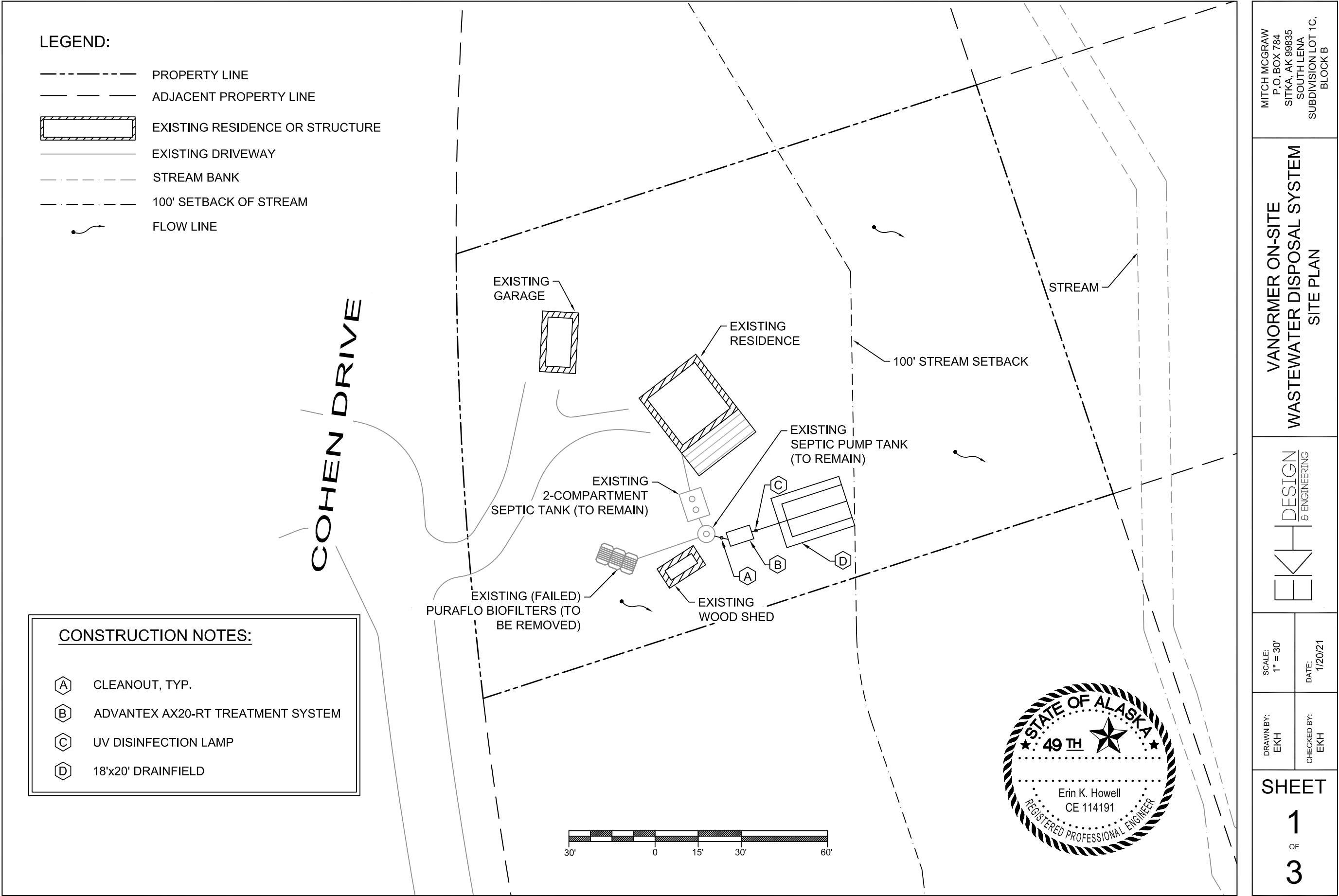


20136 Cohen Drive -- Aerial view of lot, 2013 during construction. Footprint visible.



Aerial view, 2020, of current footprint. Garage visible as smaller structure at left.

Accurate site plan and plot from 2021 of land, submitted for successful permitting of new septic



Attachment K – 2024 Cohen Drive Blueprints

Main house elevation



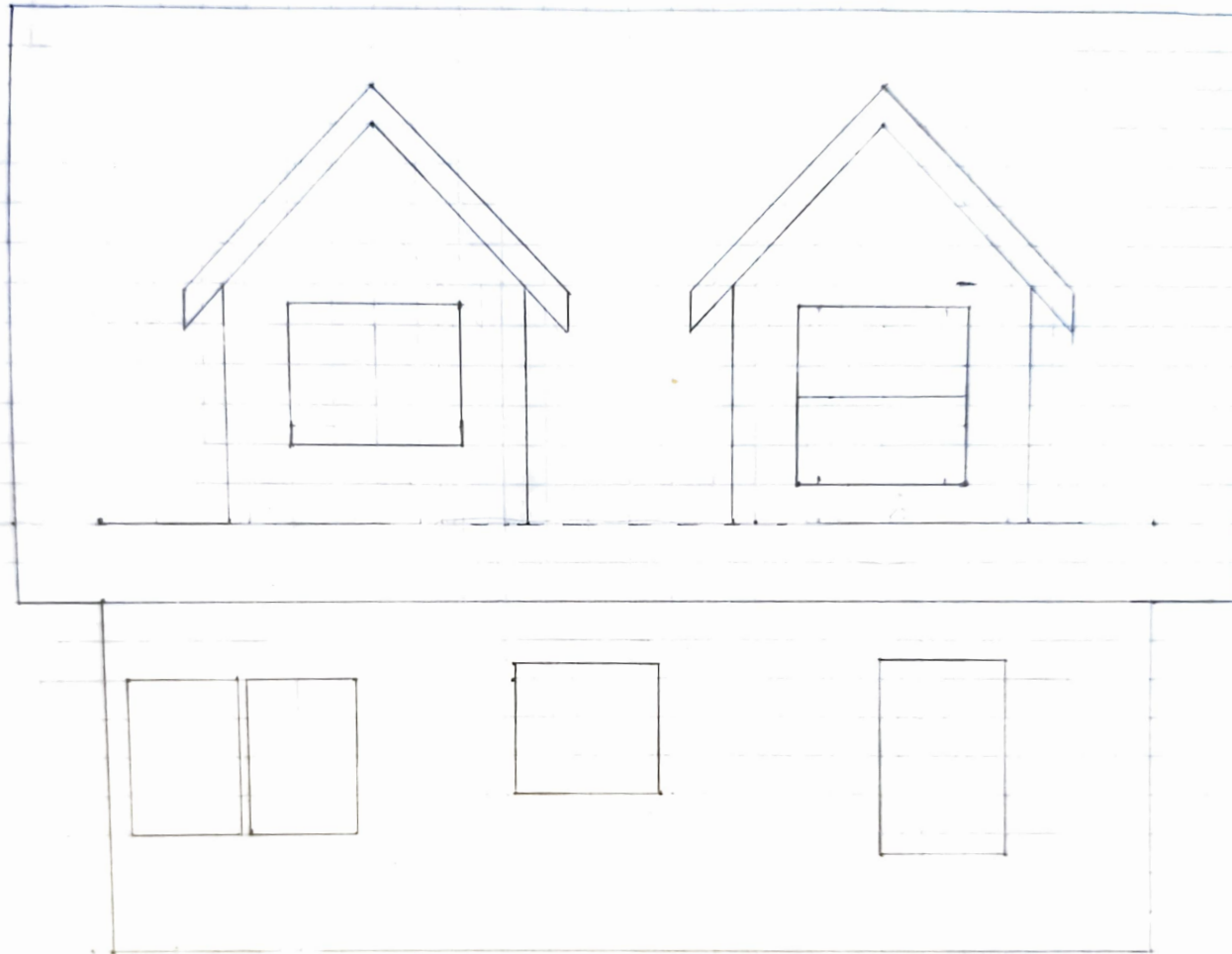
*not shown w/ covered front porch

COHEN PROJECT

West Section*
1 sq. = 1 ft.²

BOYD-VANDERMER
28 Jan 2013

Main house elevation

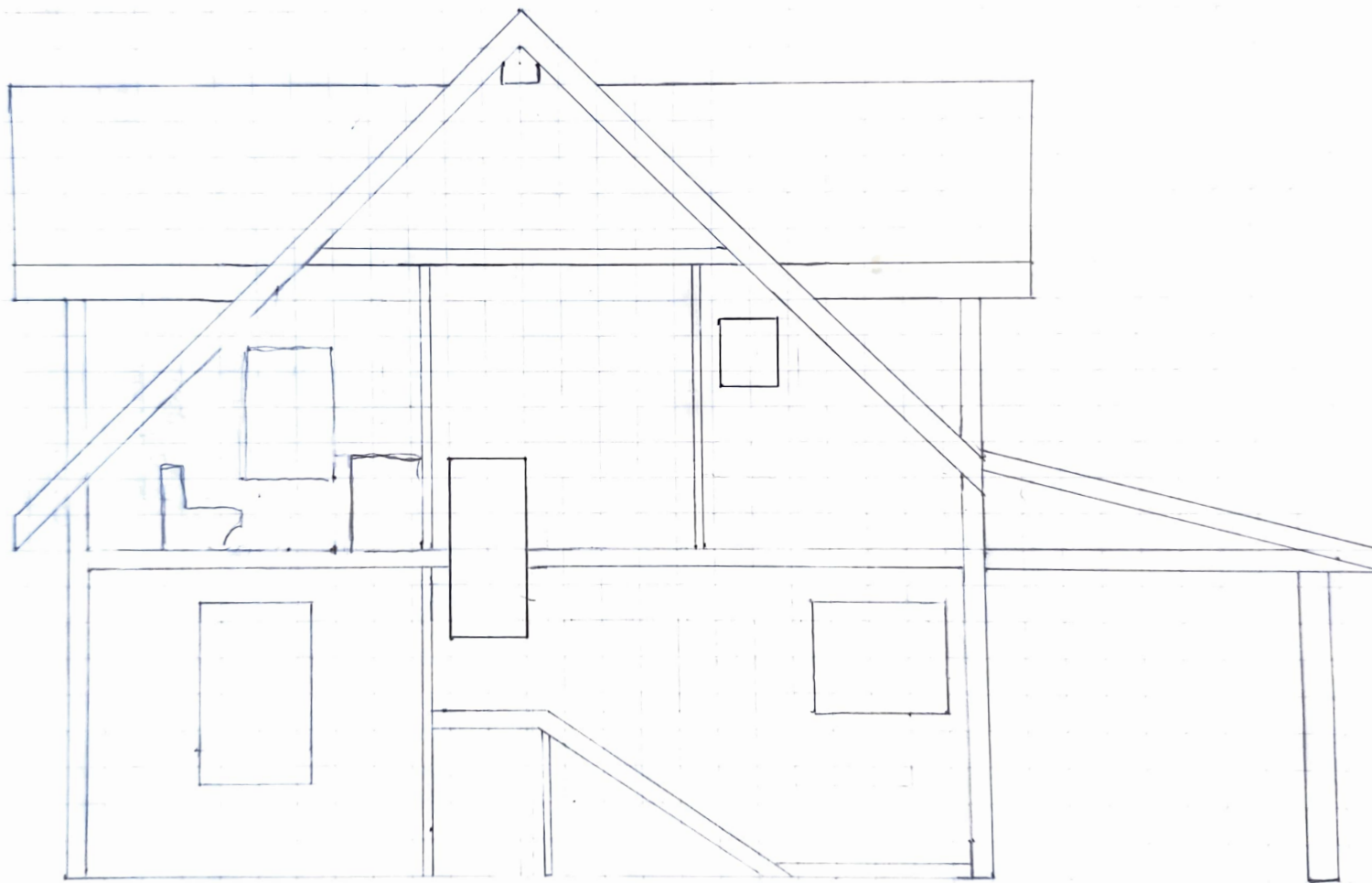


COHEN PROJECT

East Section
159' x 142'

BOYD - VAN ORMER
28 Jan 2013

Main house elevation

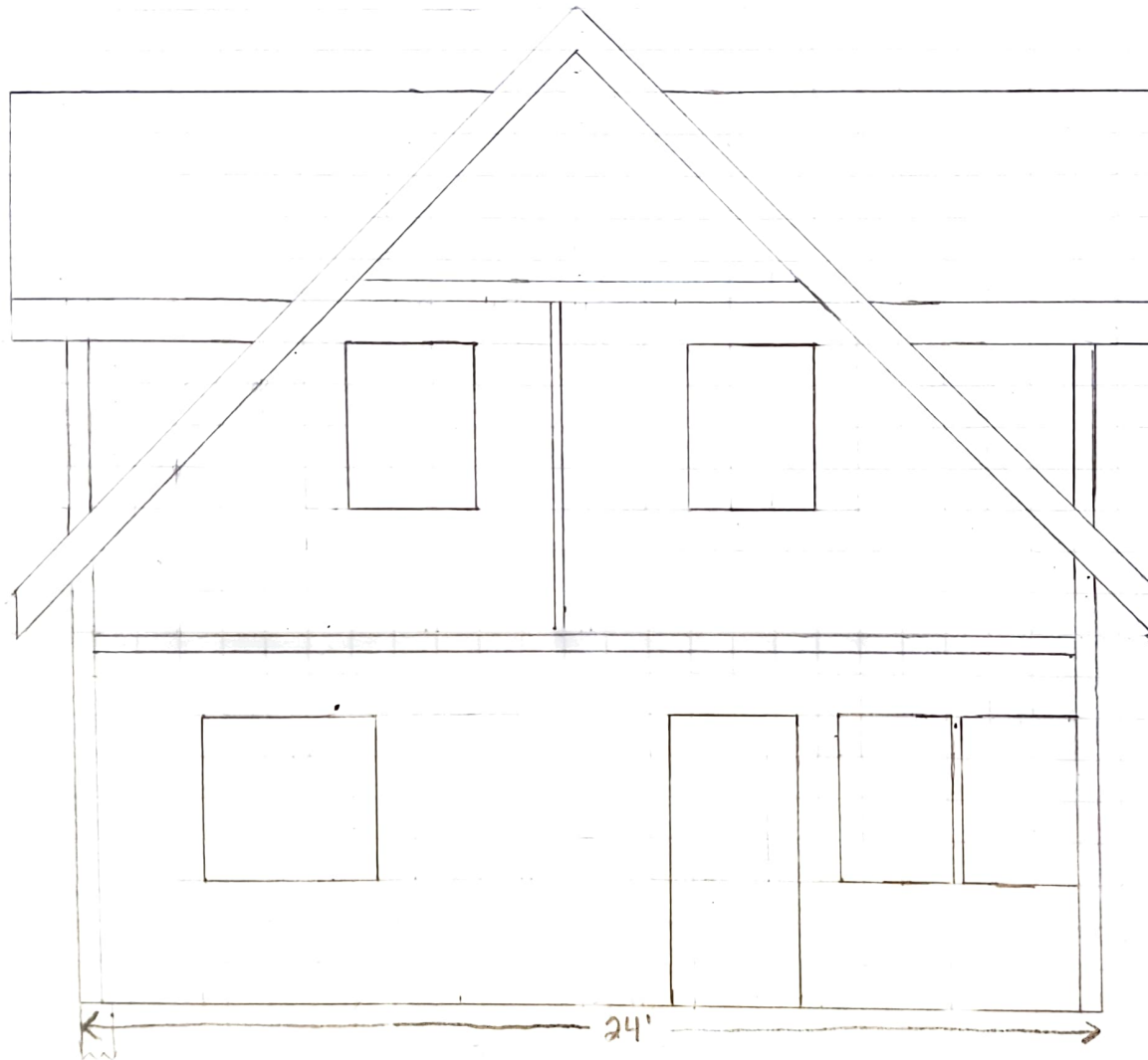


COHEN PROJECT

North Profile
1 sq. = 1 ft.²

BOYD-VANDORMER
28 Jan 2013

Main house elevation

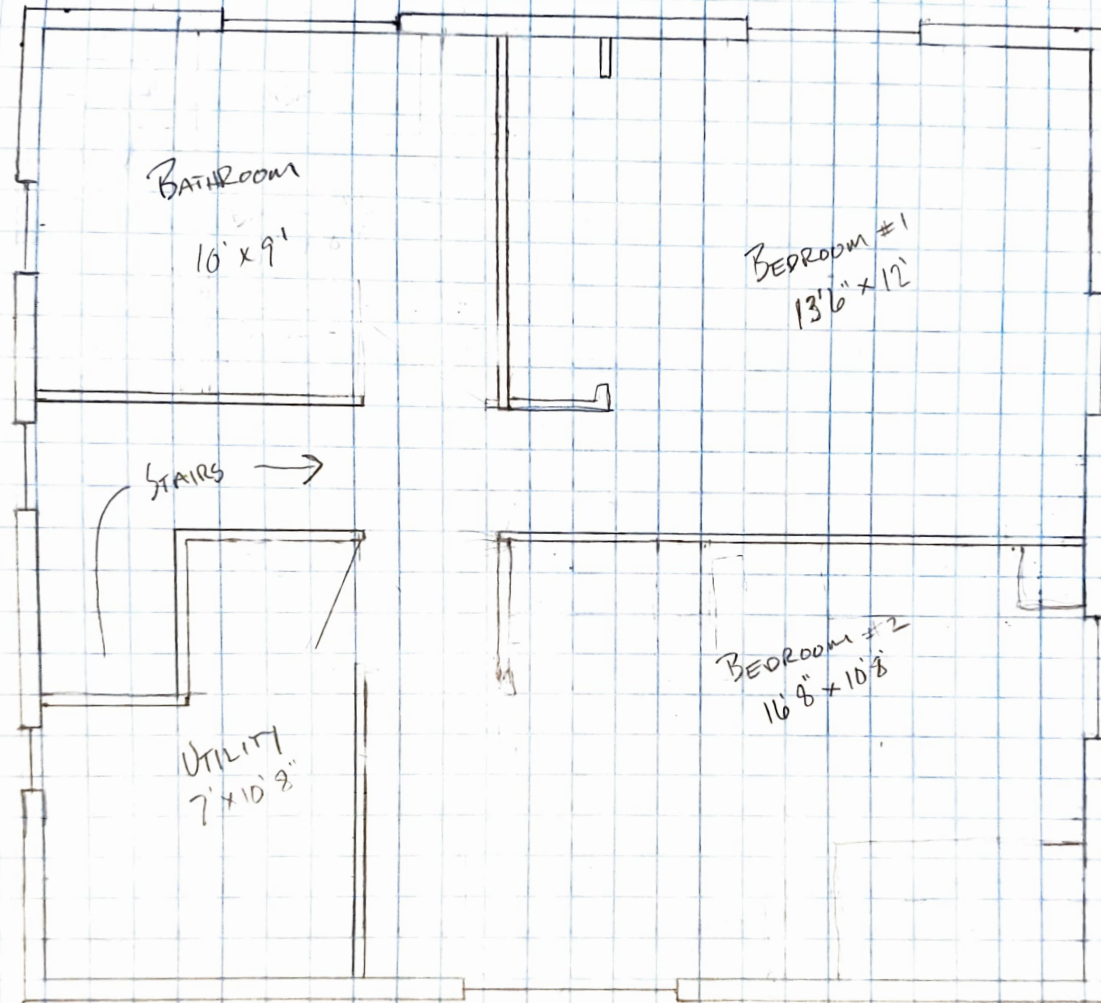


COHEN PROJECT

South Section
1 sq. = 1 ft.²

BOYD - VAN DERMER
28 Jan 2013

Main house floorplan, upper level



COHEN PROJECT

2nd LEVEL
1 sq. = 1 ft²

BOYD-VANDORMER
28 JAN 2013

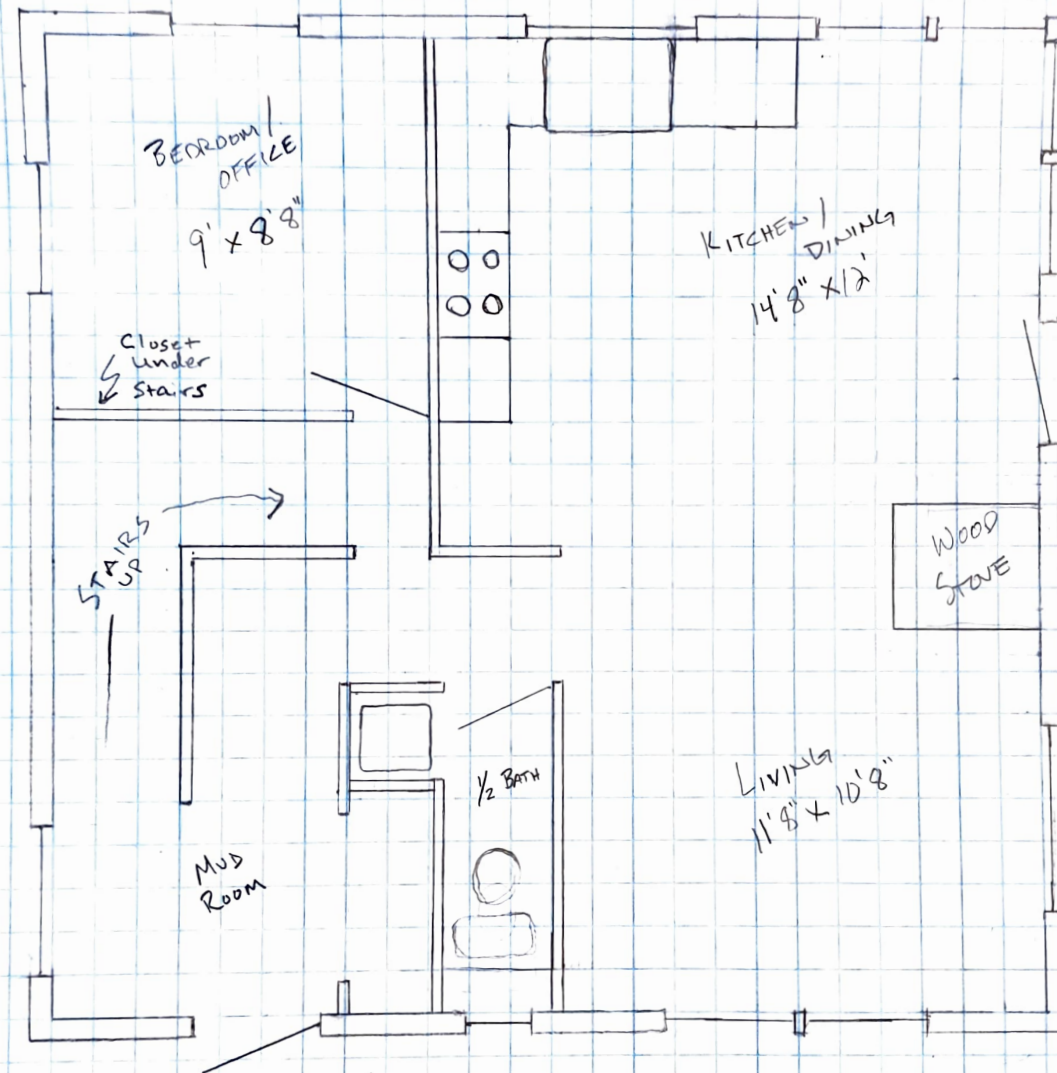
Main house, floorplan, lower level

OUTSIDE DIMENSIONS

25' x 24'

INSIDE DIMENSIONS

24' x 23'

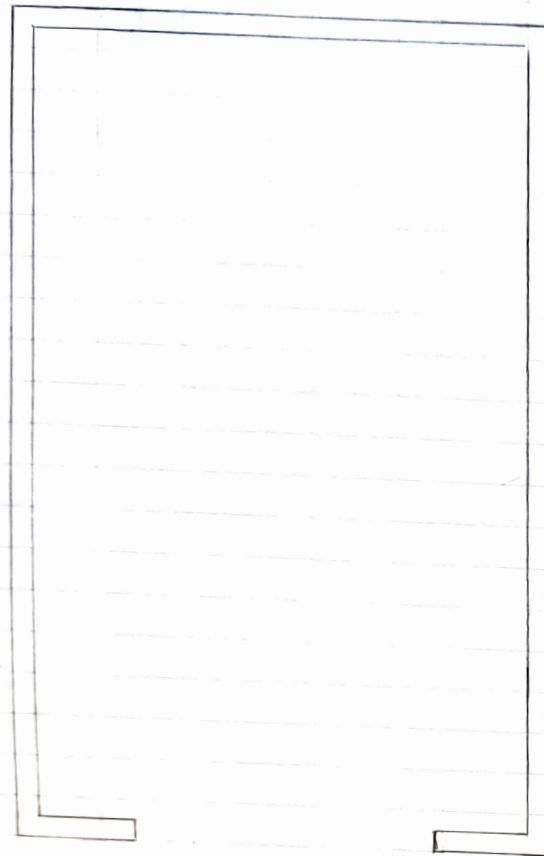


COHEN PROJECT

1ST LEVEL
1 sq. = 1 ft²

BOYD-VANORMER

Garage elevation and dimension



OUTSIDE DIMENSION 12'6" X 20'

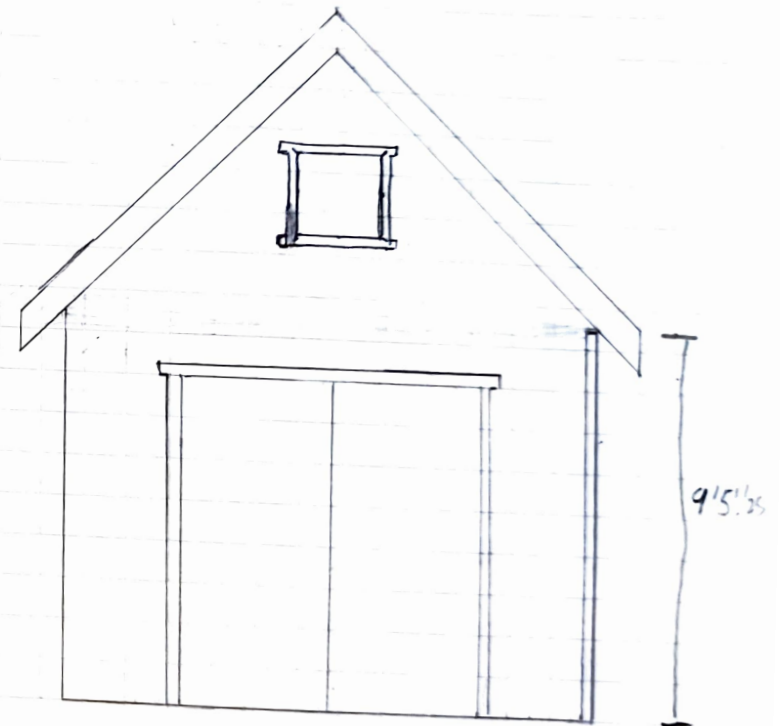
INTERIOR DIMENSION 11'6" X 14'

TOP OF CEILING TO BOTTOM OF JOIST: H: 7'3"

TOP OF JOIST TO CEILING: H: 6'9.5"

COHEN PROJECT

BETWEEN UPRIGHTS: 8'5"

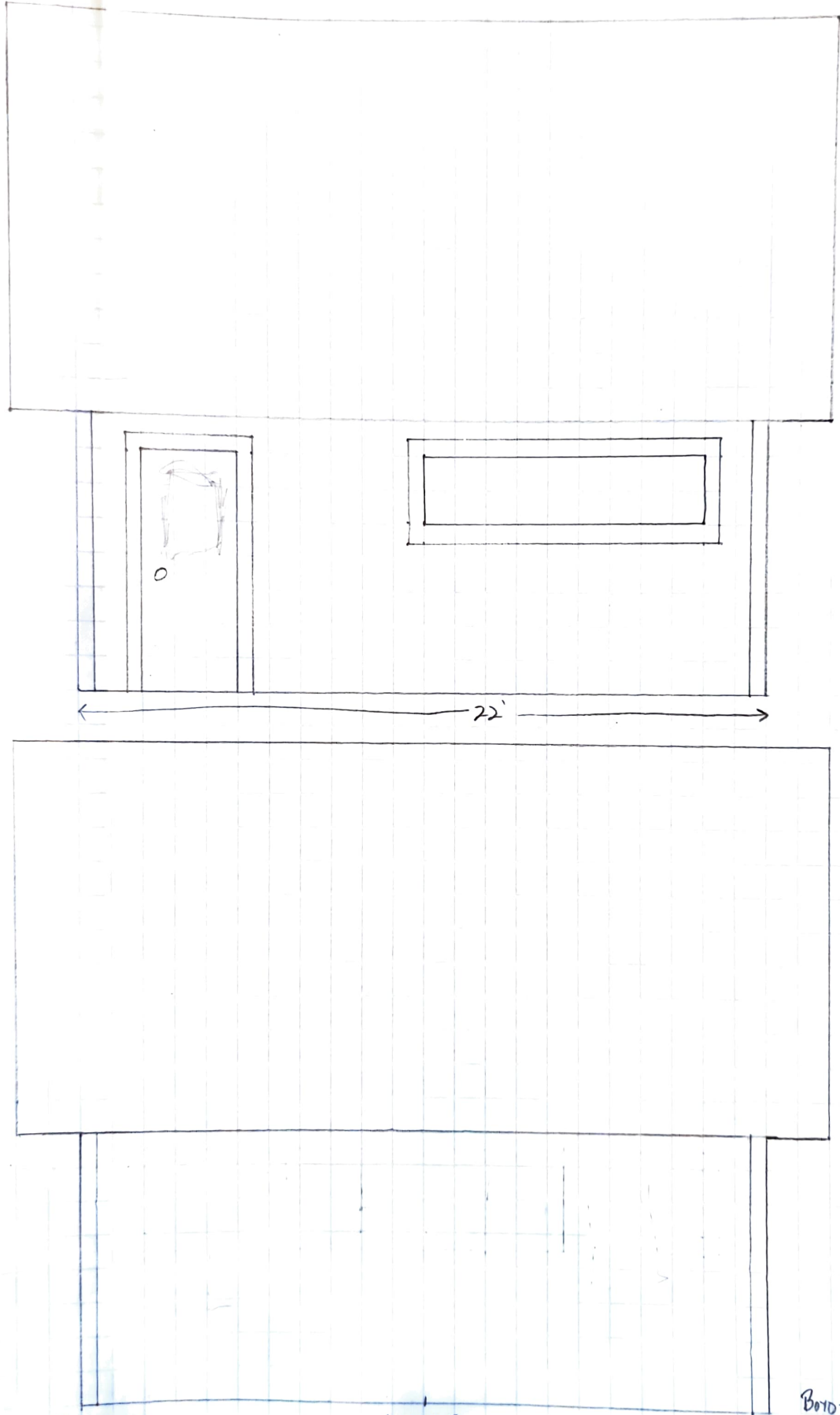


INTERIOR HEIGHT TO JOIST 9'5.25"
TOTAL INTERIOR HEIGHT 16'9"

GARAGE

BORD-VANDERMER
28 JAN 2013

Garage elevation



COHEN PROJECT

GARAGE

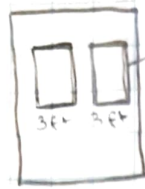
BOYD-VAN ORMER
16 NOV 2012

Proposed remodel views

w/o windows

w/ windows

Wall 1
(back overlooking forest)



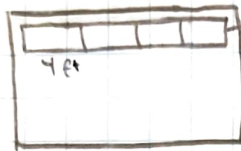
$$= 109.25 \text{ ft}^2 - 24 \text{ ft}^2 = 85.25 \text{ ft}^2$$

Wall 2
(front overlooking parking)



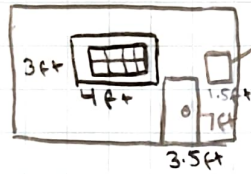
$$= 109.25 \text{ ft}^2 - 15 \text{ ft}^2 = 94.25 \text{ ft}^2$$

Wall 3
(side overlooking shelter logic)



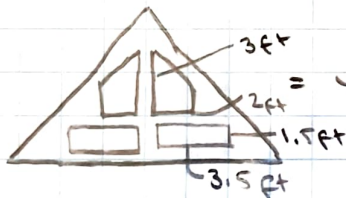
$$= 180.5 \text{ ft}^2 - 24 \text{ ft}^2 = 156.5 \text{ ft}^2$$

Wall 4
(side overlooking main house)



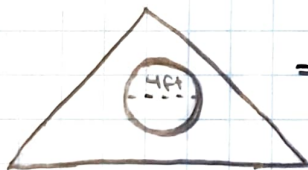
$$= 180.5 \text{ ft}^2 - 14.25 \text{ ft}^2 - 24.5 = 141.75 \text{ ft}^2$$

Wall 5
(roof section overlooking forest)



$$= 42.5946 \text{ ft}^2 - 18 \text{ ft}^2 = 24.5946 \text{ ft}^2$$

Wall 6
(roof section overlooking parking)



$$= 42.5946 \text{ ft}^2 - 12.56 \text{ ft}^2 = 30.0346 \text{ ft}^2$$

Wall 7
(roof overlooking shelter logic)



$$= 175.3662 \text{ ft}^2 - 0 = 175.3662 \text{ ft}^2$$

Wall 8
(roof overlooking main house)

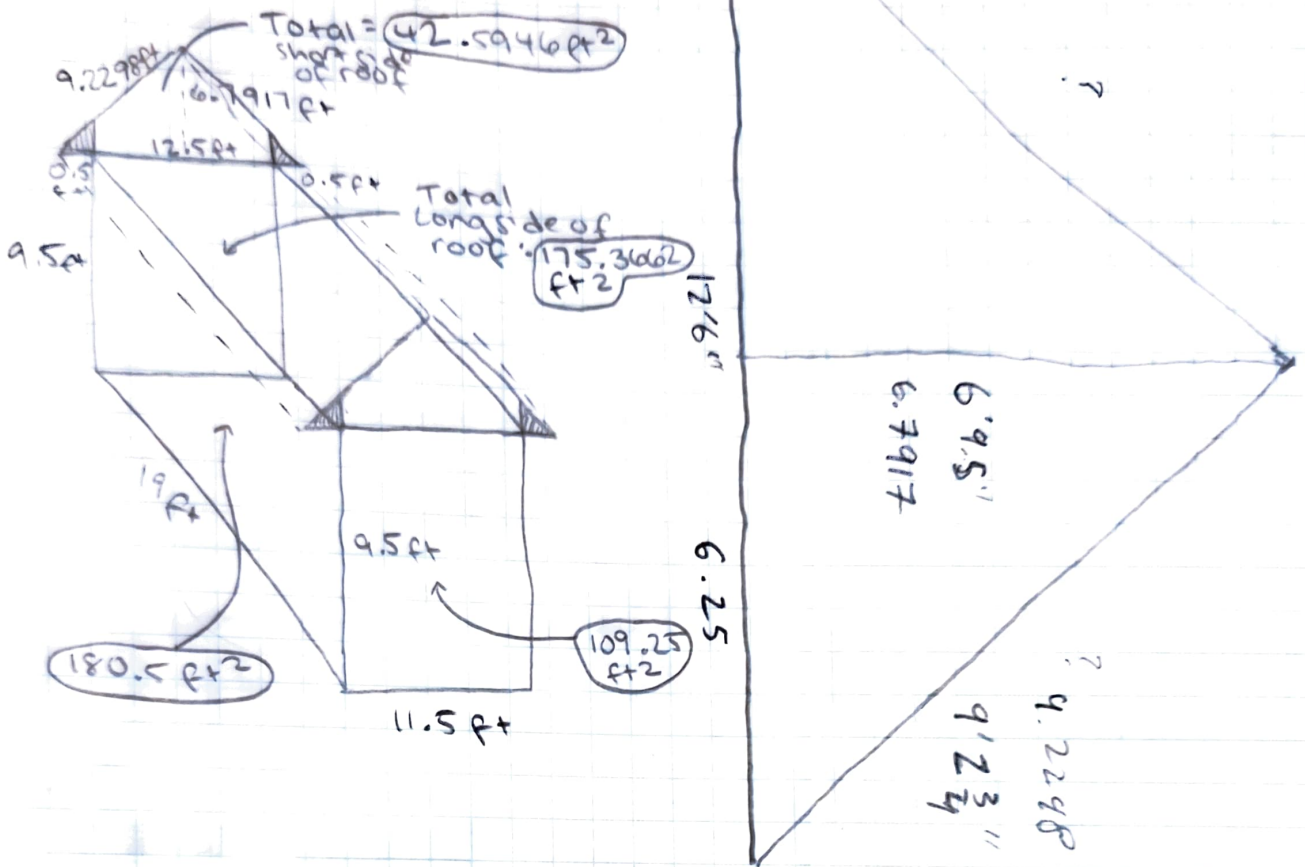


$$= 175.3662 \text{ ft}^2 - 0 = 175.3662 \text{ ft}^2$$

Total : w/o windows:
1,015.4216 ft²

w/ windows
886.1116 ft²

Garage dimensions



$$\frac{1}{12} = .0833$$

$$6.7917^2 + 6.25^2 = 9.2298$$

Attachment K – 2024 Cohen Drive Blueprints