



**PLANNING COMMISSION STAFF REPORT  
CONDITIONAL USE PERMIT USE2024 0008  
HEARING DATE: APRIL 9, 2024**

(907) 586-0715

CDD\_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

**DATE:** April 1, 2024  
**TO:** Mandy Cole, Chair, Planning Commission  
**BY:** Forrest Courtney, Planner II  
**THROUGH:** Jill Lawhorne, Director, AICP

**PROPOSAL:** Renovate ground floor patio and add a second-story deck to existing commercial building for use by bar.

**STAFF RECOMMENDATION:** Approval with conditions

**KEY CONSIDERATIONS FOR REVIEW:**

- Alternative traffic impact analysis code interpretation was used in error, and no Traffic Impact Analysis is required.
- Applicant submitted an updated plan set. (**Attachment B**)
- Architectural site plans are conceptual. CDD staff has documentation that the existing structure does not encroach as represented in the site plans (**Attachment C**).

GENERAL INFORMATION	
<b>Property Owner</b>	210admiraltyway LLC C/O Juneau Real Estate; C/O Juneau Real Estate
<b>Applicant</b>	Northwind Architecture, LLC
<b>Property Address</b>	206, 208, 210, 212 Admiral Way
<b>Legal Description</b>	TIDELANDS ADDITION BL 82 LT 5 FR
<b>Parcel Number</b>	1C070K820050
<b>Zoning</b>	Mixed Use (MU)
<b>Land Use Designation</b>	Traditional Town Center
<b>Lot Size</b>	8,091 square feet, 0.18 acres
<b>Water/Sewer</b>	CBJ
<b>Access</b>	Admiral Way and Marine Way
<b>Existing Land Use</b>	Commercial Retail, Office Space, and Bar without drive through service
<b>Associated Applications</b>	BLD2024-098 ( <b>Attachment M</b> )

**ALTERNATIVE ACTIONS:**

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

**ASSEMBLY ACTION REQUIRED:**

Assembly action is not required for this permit.

**STANDARD OF REVIEW:**

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
  - 49.15.330
  - 49.25.300
  - 49.25.300(3)(D)
  - 49.25.400
  - 49.40.200(a)(2)
  - 49.40.305
  - 49.50.300
  - 49.70.300(a)(1)
  - 49.80

**The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit. A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedures is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.**

*Fostering excellence in development for this generation and the next.*

**SITE FEATURES AND ZONING**



Figure 1 – Area Map

SURROUNDING ZONING AND LAND USES	
Northwest (MU)	Commercial Retail
Northeast (MU)	Commercial Retail/Bar
Southeast (ROW)	Admiral Way
Southwest (ROW)	Marine Way

SITE FEATURES	
Anadromous	None
Flood Zone	None
Hazard	Avalanche – Low
Hillside	None
Wetlands	None
Parking District	No Parking Required Area
Historic District	None
Overlay Districts	None

**BACKGROUND INFORMATION**

**Project Description** – The applicant proposes to renovate the existing ground floor patio and add a second-story deck to the existing commercial building for use by bar (**Attachment A**). The proposed project will increase existing use on the lot to approximately 11,513 square feet, which exceeds the 10,000 square foot limit for a minor development in the Mixed Use zoning district. [CBJ 49.25.300(3)(D)].

Note: The applicant should likely have been required to receive a Conditional Use Permit when the Applicant’s bar, Griz Bar, opened in 2020 (**Attachment D**) based on the nonresidential use of more than 10,000 square feet in a Mixed Use zoning district. However, this occurred during the outbreak of COVID-19 when CBJ regulations were flexible to support economic development and jobs and provide residents with outdoor opportunities.

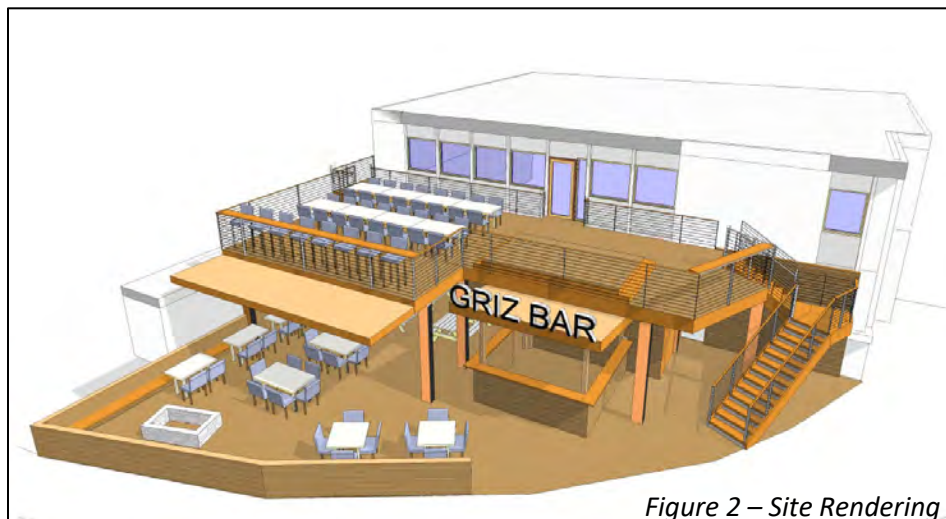


Figure 2 – Site Rendering

The project is compatible with MU zoning under 49.25.300 – Section 8.100 – Restaurants, bars without drive-through service.

**Background –**

Tidelands Addition Block 82 Lot 5 was established in 1962 through the platting of the Tidelands Addition to the City of Juneau, a Subdivision of Alaska Tidelands Survey No 3 (**Attachment E**). Tidelands Addition Block 82 Lot 5 was subdivided in 1981 via warranty deed into the existing fractional lots (**Attachment F**).

The Warner Building, a nonresidential structure constructed in 1945, has had various uses. Beginning as a laundry building, it was renovated into a bakery and then office space for the U.S. Forest Service. The Warner Building also served as the Alcoholism Central Agency center and the Juneau Police Department headquarters.

Tidelands Addition Block 82 Lot 5 FR and the nonresidential structure on the lot have a complex history; this report will focus on the current conditions to address the requested Conditional Use Permit application.

Applicable history began in 2005 when the first floor of the non-residential structure on the lot was remodeled to accommodate three separate retail spaces (**Attachment G**), and a temporary seasonal structure permit was issued for a gazebo canopy for Bernadette’s Barbeque (**Attachment H**).

The concrete patio project area has served as a temporary seasonal structure location for approximately 17 businesses catering to summer tourism since 2005: Bernadette’s Barbeque, Alaskan Seafood, Alaskan Luau, Old Fashioned Kettle Corn, Mesa Grill, C&C Alaskan Art & Gifts, Memeluck Furs, Mariella, Kebabs & Curry, Little Mexico, Caro’s Kitchen, Admiralty Excursions, Glacier Delights, The Salmon Spot, Real Time Pain Relief, and Juneau Tours.

In 2020, AK Grizzly Bar (Griz Bar) received a temporary seasonal structure permit for a bar with a deck and covered awning (**Attachment D**). The structures have remained on the lot since the permit was approved.



Figure 3 – 2016 Assessor’s Photo

Date	Item	Summary
1961	Survey	Alaska Tidelands Survey No. 3
1962	Plat	Plat #340: Sheet 1 of the Tidelands Addition to the City of Juneau, subdivision of Alaska Tidelands Survey No. 3. Depicts Block 82.
1962	Plat	Plat #340: Sheet 15 of the Tidelands Addition to the City of Juneau, subdivision of Alaska Tidelands Survey No. 3. Depicts Block 82 subdivided into five (5) lots. ( <b>Attachment E</b> )

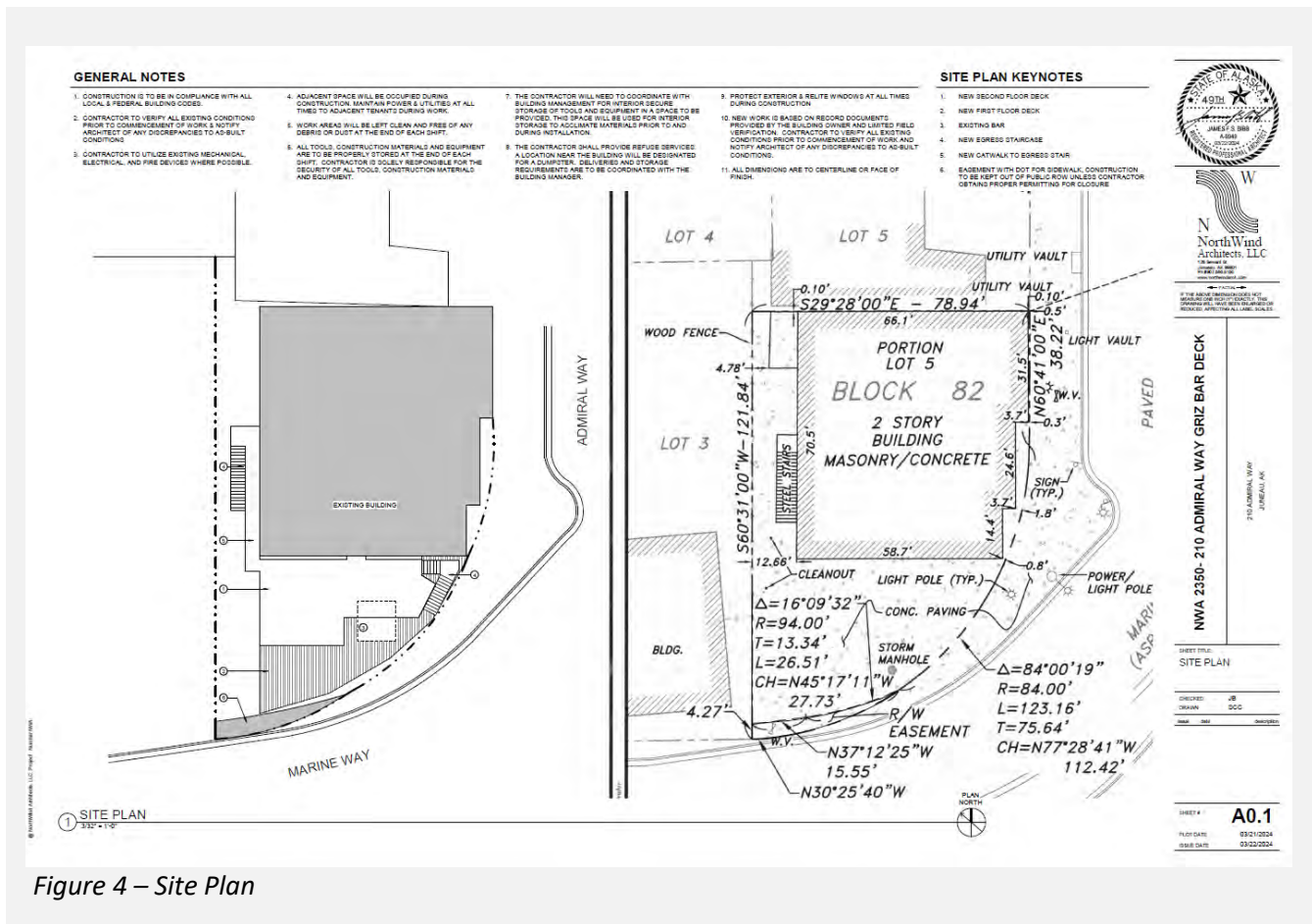
1981	Warranty Deed	Book 185, page 739: Warranty deed that split Block 82, Lot 5 into fractions. <b>(Attachment F)</b>
2001	Easement	122 square foot State Right Of Way Easement. <b>(Attachment J)</b>
2005	Building Permit	BLD2005-414: Remodel the first floor of Warner Building to create three separate retail spaces. <b>(Attachment G)</b>
2005	Building Permit	BLD2005-371: Temporary seasonal gazebo canopy for Bernadette’s Barbeque. <b>(Attachment H)</b>
2005	As-Built	June 27, 2005 As-Built Survey Plat of Lot 5, Block 82. <b>(Attachment C)</b>
2008	Building Permit	BLD2008-208: Temporary seasonal building for Old Fashioned Kettle Corn.
2009	Building Permit	BLD2009-319: Temporary seasonal gazebo and canopy for Alaskan Seafood.
2011	Building Permit	BLD2011-253: Construction of a 120 sf temporary building for Alaskan Luau.
2012	Building Permit	BLD2012-245: Construct temporary building for Memeluck Furs.
2013	Building Permit	BLD2013-251: Temporary structure for Mariella.
2013	Sketch/ Area	2013 Assessor’s Office Sketch/Area Table Addendum <b>(Attachment I)</b>
2014	Building Permit	BLD2014-262: Temporary structure for Admiralty Excursions.
2015	Building Permit	BLD2015-034: Temporary 16’ food trailer for Little Mexico.
2016	Building Permit	BLD2016-287: Temporary placement for Caro’s Kitchen.
2017	Building Permit	BLD2017-321: Temporary structure for Admiralty Excursions.
2018	Building Permit	BLD2018-207: Temporary placement of Juneau Tours.
2018	Building Permit	BLD2018-333: Seasonal kiosk for Real Time Pain Relief.
2019	Building Permit	BLD2019-209: Seasonal placement of The Salmon Spot.
2019	Warranty Deed	210AdmiralWay, LLC purchased the property from Transgulf Investors, LLC.
2020	Building Permit	BLD2020-074: Temporary structure for AK Grizzly Bar and canopy. <b>(Attachment D)</b>
2022	Building Permit	BLD2022-105: Temporary placement of Griz Bar.
2022	Building Permit	BLD2022-399: Seasonal placement of Tacos Mi Ranchito.
2022	Avalanche Map	Juneau Landslide and Avalanche Assessment: Figure 2.3b. <b>(Attachment N)</b>
2023	Building Permit	BLD2023-252: Seasonal placement of Griz Bar.
2023	Building Permit	BLD2023-406: Seasonal placement of El Perezoso food truck.
2024	Pre-Application Conference	PAC2024-07: Pre-application conference notes for USE24-08. <b>(Attachment L)</b>
2024	Building Permit	BLD2024-0098: Renovate existing patio, add second story deck, catwalk, and staircase. <b>(Attachment M)</b>

**ZONING REQUIREMENTS**

Standard		Requirement	Existing	Code Reference
Lot	Size	4,000 square feet (sf)	8,019 sf	49.25.400
	Width	50 feet	~197 feet	49.25.400
Setbacks	Front	0 feet	0.3 feet	49.25.400
	Rear	0 feet	4.78 feet	49.25.400
	Side	0 feet	0 feet	49.25.400
	Street Side	0 feet		49.25.400
Lot Coverage Maximum		None	57%	49.25.400

Standard	Requirement	Existing	Code Reference
	None		49.25.400
<b>Vegetative Cover Minimum</b>	0%	0%	49.50.300
<b>Height</b>	Permissible	None	49.25.400
	Accessory	None	49.25.400
<b>Use</b>	Mixed	Mixed	29.25.300

**SITE PLAN**



**ANALYSIS**

**Project Site** – The 8,019 square foot lot has a 4,528 square foot non-residential two-story structure with mixed uses (**Attachment I**). The first floor contains 4,500 square feet of commercial retail space with associated storage [CBJ 49.25.300 TPU 2.120]. The second floor includes 2,500 square feet of office space [CBJ 49.25.300 TPU 3.100] and 1,700 square feet of storage [CBJ 49.25.300 TPU 10.210] and common space (**Attachment A**).

The approximately 1,800 square foot concrete patio space and the southwestern and northwestern sides of the non-residential structure are the areas subject to renovation and construction (**Attachment B**).

There are no setback requirements in the Mixed Use zoning district [CBJ 49.25.400].

Two temporary structures have remained on the concrete patio since they were permitted: the temporary, seasonal structure for Griz Bar and the temporary, seasonal canopy structure utilized by Griz Bar patrons (**Attachment D**).

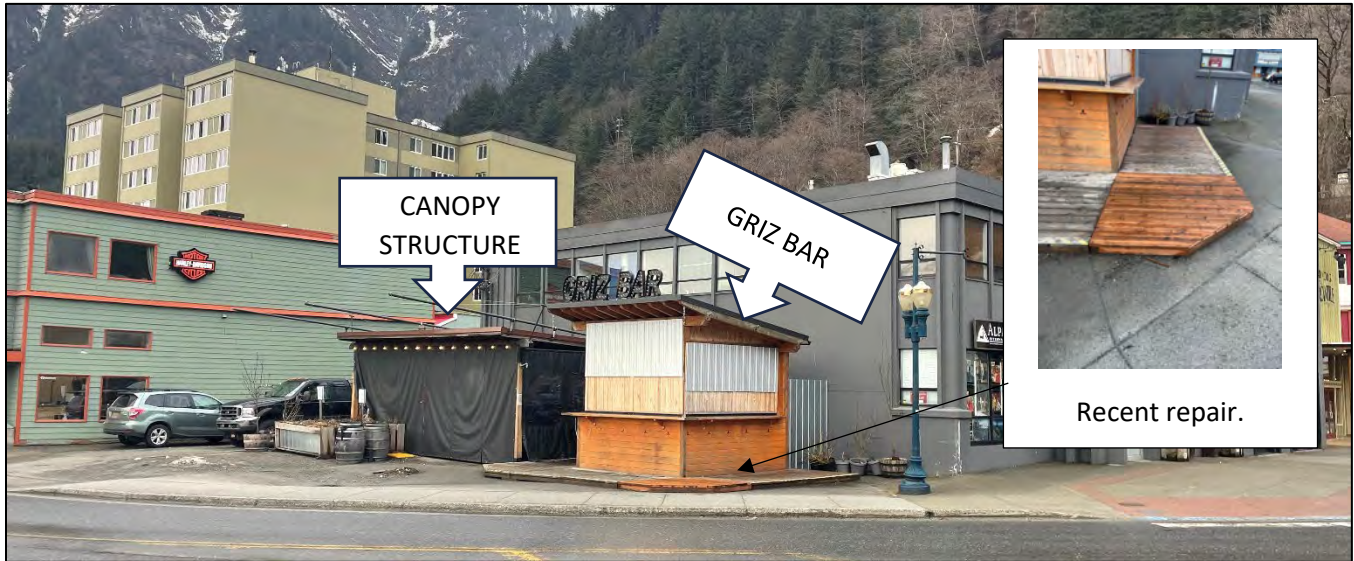


Figure 5 – Photos taken by staff on 2024.03.18

A 122 square foot Right of Way Easement was established in 2001 on the southwestern corner of the lot (**Attachment J**). Alaska Department of Transportation and Public Facilities (AKDOT&PF) has provided comments concerning the Right of Way Easement (**Attachment K**).

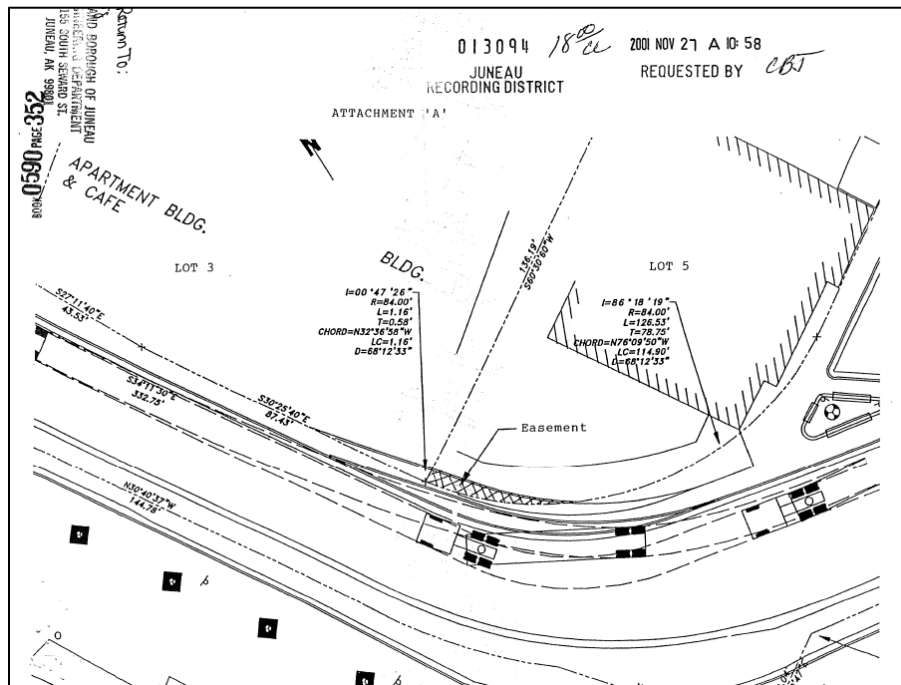


Figure 6 – Attachment A, 2001 Right of Way Easement

**Condition: Prior to Temporary Certificate of Occupancy (TCO), a foundation setback verification form must be completed, and an as-built survey submitted for BLD2024-0098.**

**Condition: If the director, in consultation with the Juneau Police Department, and AKDOT&PF, finds that the project results in the queuing of pedestrians within the public ROW, sidewalk or crosswalk, the Use Permit may be suspended until the applicant addresses the safety concern by re-designing pedestrian circulation on site to eliminate the hazard.**

**Project Design** – The project proposes a 1,678 square foot ground floor patio with wood decking and staircase connecting to a 977 square foot second-story deck with 186 square foot egress catwalk to fire escape. The existing fire escape will be demolished and reconstructed. The ground floor patio will have a capacity for 111 people and the second-story deck will have a capacity for 66 people for a total of 177 people (**Attachment B**).

The applicant attended a pre-application conference for the project in February 2024 (**Attachment L**) and has submitted a building permit for the structure (**Attachment M**).

The building permit for the project will not be issued until the Conditional Use Permit is approved.

The project will incorporate the existing temporary seasonal Griz Bar structure (**Attachment D**).

**Condition: None.**

**Traffic** – The Director is honoring an error made during the interpretation of the traffic code. A traffic impact analysis (TIA) is not required [CBJ 49.40.305].

The Institute of Traffic Engineer’s Trip Generation Manual (9<sup>th</sup> Edition) (ITE) provides two figures for evaluation – a daily rate, and a peak hour rate. CBJ code does not provide for using the peak hour rate for development traffic impacts; average daily trips is the land use code metric.

As documented in the preapplication conference notes for this project (PAC2024 0007, **Attachment L**) the analysis used hourly traffic rates as a daily rate. The applicant has moved forward with the project based on the Director’s determination. The Director will honor the determination.

Use	Total Sq. Ft.	Trips Generated Per 1,000 Sq. Ft.	Total Trips
Convenience Market <sup>A</sup>	2,175	32.60	70.9
Apparel Store <sup>B</sup>	2,175	4.20	9.1
Single Tenant Office <sup>C</sup>	2,500	11.65	29.1
Drinking Place <sup>D</sup>	2,963	15.49	45.9
<b>Total ADTs:</b>			<b>155</b>

*Institute of Traffic Engineer’s Trip Generation Manual, 9<sup>th</sup> Edition, Volume 3*

*A: pages 1664, 1667*

*B: pages 1787, 1790*

*C: pages 1277, 1281*

*D: pages 1861, 1863*

The nonresidential structure on the lot also contains 1,700 square feet of circulation and common areas not included in the calculation.

**Condition: None.**

**Vehicle Parking & Circulation** – The proposed development is within the *No Parking Required Area* and will not require additional parking [CBJ 49.40.200(a)(2)].

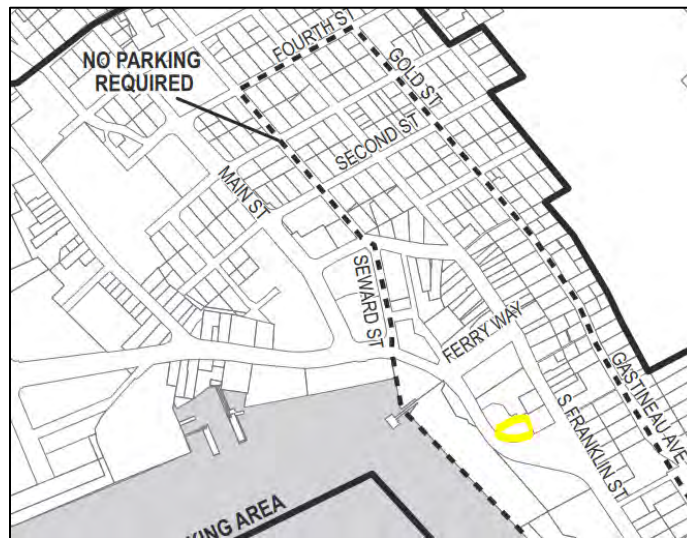


Figure 7 – No Parking Required Area Map

**Condition: None.**

**Noise** – Noise is anticipated to be consistent with that generated in Mixed Use zoning.

CBJ’s noise ordinance is under the Penal Code, Title 42. Unreasonable noise will be evaluated based on volume, intensity, background noise, proximity to residential sleeping facilities, time of day, and if the noise is produced by a commercial activity.

**Condition: Use of the sound systems, amplifiers, audible signaling, or voice at louder than conversational level shall not be permitted between the hours of 10:00 pm and 8:00 am Monday through Thursday, or 12:00 am to 8:00 am on Friday and Saturday.**

**Lighting** – A lighting plan will be required with the building permit application and will be reviewed and approved under that process. Lighting will be full-cut off design and not fall onto neighboring property.

**Condition: Prior to issuance of a building permit, the applicant shall submit a lighting plan illustrating the location and type of exterior lighting proposed for the development for review by Community Development. Exterior lighting shall be designed and located to minimize offsite glare.**



**Vegetative Cover & Landscaping** – The Mixed Use zoning district has no minimum vegetative cover requirement [CBJ 49.50.300].

**Condition: None.**

**Habitat** – There is no known habitat on the project site regulated by the land use code.

**Condition: None.**

**Drainage and Snow Storage**—The patio and second-story deck are proposed for seasonal operation. As the second-story deck and fire escape stairs serve as egress for the nonresidential structure's second story, clear paths will need to be maintained during snowfall. The applicant has indicated that the patio can be used for snow storage.

**Condition: The ground floor patio shall be reserved for purposes of storing snow between, but not including, the dates of October 31 to April 1.**

**Historic District** – Lot is outside of the historic district.

**Condition: None.**

**Hazard Zones** – The lot is within a low avalanche hazard area (**Attachment N**). Development in all avalanche hazard areas should minimize the risk of loss of life or property due to avalanches [CBJ 49.70.300(a)(1)].

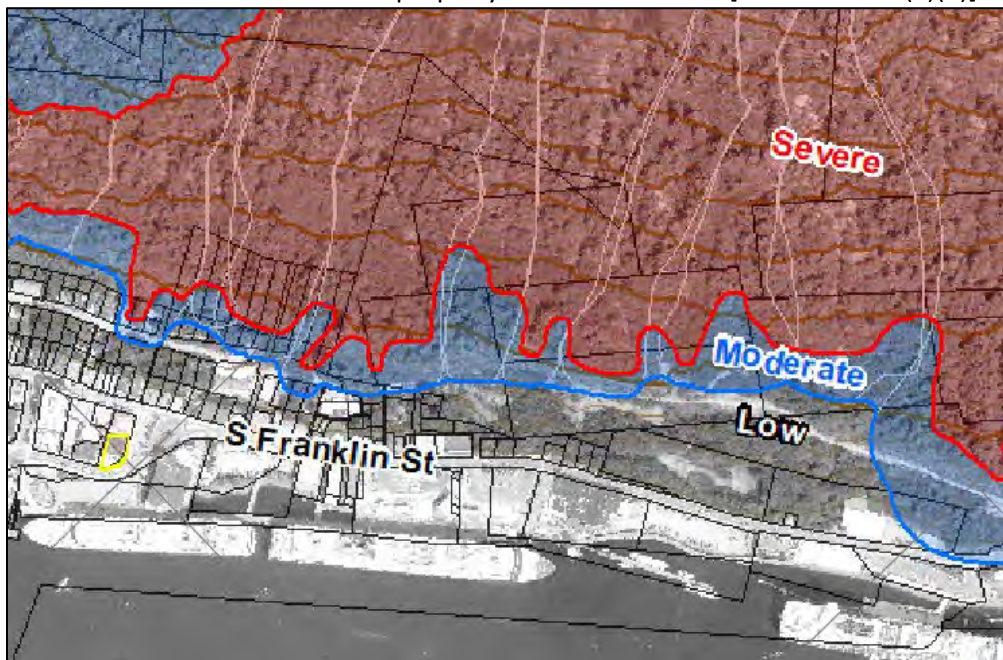


Figure 8 – Juneau Landslide and Avalanche Assessment, Figure 2.3b

The lot is not within a Special Flood Hazard Area (Panel 02110C1567E)

**Condition: None.**



**CONFORMITY WITH ADOPTED PLANS**

The proposed development is in general conformity with the 2013 Comprehensive Plan, the 2004 Long Range Waterfront Plan, and the 2015 Juneau Economic Development Plan.

Comprehensive Plan of the City and Borough of Juneau, 2013

Chapter	Page No.	Item	Summary
11	163	Map M	Traditional Town Center, development is consistent with non-residential land use in the downtown area. Mixture of retail, office, and general commercial.
5	50	Tourism and Visitors	Promote and accommodate development that services cruise ship tourism.
5	54	5.6-IA6	Encourage local private businesses to meet demand for varied and interesting tourism experiences.
5	57	5.9-DG2	To the greatest extent practicable, orient new structures and facilities located on the waterfront in such a way as to preserve views of the water from public roadways and vista points.

Long Range Waterfront Plan for the City of Juneau, 2004

Chapter	Page No.	Item	Summary
2	7	2.1	The use of wood construction materials greatly adds to the overall image of the city as experienced by residents and visitors.
2	32	2.4	Strengthen tourism product offerings as well as downtown retail, entertainment, residential, and service activities.
3	41	3.1	Provide unimpeded views of the waterfront from Downtown.

Juneau Economic Development Plan, 2015

Chapter	Page No.	Item	Summary
5	66	Objective 4	Actively support and maintain quality of life infrastructure that attracts and retains a desired workforce.

Blueprint Downtown (DRAFT) – This document is substantially complete and is in the process of final review. Blueprint Downtown is the most current representation of public development interest.

Chapter	Page No.	Item	Summary
2	40	Action	Use seasonal nature to develop the business activity.
2	40	Action	Allow short-term uses and temporary structures to activate lots and reduce barriers to start-ups.
2	50	Action	Incentivize current and new businesses offering goods and services to local residents.

## **FINDINGS**

### **Conditional Use Permit Criteria –**

**1. *Is the application for the requested Conditional Use Permit complete?***

**Analysis:** No further analysis is required.

**Finding: Yes.** The application contains the information necessary to conduct a full review of the proposed operations. The application submitted by the applicant, including appropriate fees, substantially conforms to the requirements of CBJ Chapter 49.15

**2. *Is the proposed use appropriate according to the Table of Permissible Uses?***

**Analysis:** The bar without drive through service (TPU 8.100) requires approval from the Planning Commission based on the size of the development on the lot.

**Finding: Yes.** The proposed use is appropriate according to the Table of Permissible Uses.

**3. *Will the proposed development comply with the other requirements of this chapter?***

**Analysis:** No further analysis is required.

**Finding: Yes.** With the recommended conditions, the proposed development will comply with Title 49, including parking, lighting, vegetative cover, and noise.

**4. *Will the proposed development materially endanger the public health, safety, or welfare?***

**Analysis:** No further analysis is required.

**Finding: No.** There is no evidence to suggest that with appropriate conditions, the requested bar without drive through service in a MU zoning district will materially endanger the public health or safety.

**5. *Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?***

**Analysis:** No further analysis is required.

**Finding: No.** There is no evidence to suggest that with appropriate conditions, the requested bar without drive through service, in a MU zoning district will substantially decrease the value or be out of harmony with the property in the neighboring area.

**6. *Will the proposed development be in general conformity with the Land Use Plan, Thoroughfare Plan, or other officially adopted plans?***

**Analysis:** No further analysis is required.

**Finding: Yes.** The proposed bar without drive through service with the recommended conditions, will be in general conformity with the 2013 Comprehensive Plan, the 2015 Economic Development Plan, the 2004 Long Range Waterfront Plan, and the DRAFT Blueprint Downtown.

**RECOMMENDATION**

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow the development of over 10,000 square feet in a MU zoning district for a bar without drive through service.

The approval is subject to the following conditions:

**Condition 1: Prior to Temporary Certificate of Occupancy (TCO), a foundation setback verification form must be completed, and an as-built survey submitted for BLD2024-0098.**

**Condition 2: If the director, in consultation with the Juneau Police Department, and AKDOT&PF, finds that the project results in the queuing of pedestrians within the public ROW, sidewalk or crosswalk, the Use Permit may be suspended until the applicant addresses the safety concern by re-designing pedestrian circulation on site to eliminate the hazard.**

**Condition 3: Use of the sound systems, amplifiers, audible signaling, or voice at louder than conversational level shall not be permitted between the hours of 10:00 pm and 8:00 am Monday through Thursday, or 12:00 am to 8:00 am on Friday and Saturday.**

**Condition 4: Prior to issuance of a building permit, the applicant shall submit a lighting plan illustrating the location and type of exterior lighting proposed for the development for review by Community Development. Exterior lighting shall be designed and located to minimize offsite glare.**

**Condition 5: The ground floor patio shall be reserved for purposes of storing snow between, but not including, the dates of October 31 to April 1.**

**STAFF REPORT ATTACHMENTS**

<b>Item</b>	<b>Description</b>
<b>Attachment A</b>	<i>Application Packet</i>
<b>Attachment B</b>	Updated Plan set
<b>Attachment C</b>	2005 As-Built
<b>Attachment D</b>	BLD2020-074: For temporary seasonal placement
<b>Attachment E</b>	Plat #340
<b>Attachment F</b>	1981 Warranty deed that split Block 82, Lot 5 into fractions.
<b>Attachment G</b>	BLD2005-414: First floor renovation
<b>Attachment H</b>	BLD2005-371: Temporary seasonal placement
<b>Attachment I</b>	2013 Assessor's Office Sketch/Area Table Addendum
<b>Attachment J</b>	2001 State Right of Way Easement
<b>Attachment K</b>	Agency Comments
<b>Attachment L</b>	PAC2024-07 Notes
<b>Attachment M</b>	BLD2024-98: Application
<b>Attachment N</b>	Juneau Landslide and Avalanche Assessment: Figure 2.3b
<b>Attachment O</b>	<i>Public Notice and Sign Photo</i>
<b>Attachment P</b>	<i>Public Comments</i>



# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

To be completed by Applicant	<b>PROPERTY LOCATION</b>	
	Physical Address	210 ADMIRAL WAY
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)	TIDELANDS ADDITION BL 82 LT 5 FR
	Parcel Number(s)	1C070K820050
	<input checked="" type="checkbox"/> This property is located in the downtown historic district	
	<input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which	MODERATE
	<b>LANDOWNER/ LESSEE</b>	
	Property Owner	210ADMIRALTYWAY LLC
	Contact Person	BLAKE RIDER
	Mailing Address	210 ADMIRAL WAY
E-mail Address	RIDER.BS@GMAIL.COM	
Phone Number(s)	907-723-3442	
<b>LANDOWNER/ LESSEE CONSENT</b>		
Required for Planning Permits, not needed on Building/ Engineering Permits.		
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.		
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:		
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.		
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.		
	Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
X	<i>Blake Rider</i>	
	Landowner/Lessee (Signature)	Date
		2-27-24
	Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
X		
	Landowner/Lessee (Signature)	Date
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.		
<b>APPLICANT</b>		
If same as LANDOWNER, write "SAME"		
Applicant (Printed Name)	NORTHWIND ARCHTIECTS, LLC	
Contact Person	SHANNON CROSSLEY	
Mailing Address	126 SEWARD STREET, JUNEAU, AK 99801	
E-mail Address	SHANNON@NORTHWINDARCH.COM	
Phone Number(s)	907 586 6150 EX 208	
X	<i>[Signature]</i>	2/15/24
	Applicant's Signature	Date of Application

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials	<i>[Signature]</i> 3/5/24
Case Number	USE24-008
Date Received	3/5/24



# ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

## PROJECT SUMMARY

Add second floor deck to existing commercial building. (Please see Attached Permit Drawing Project Scope.)

## TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

- Accessory Apartment – Accessory Apartment Application (AAP)  
 Use Listed in 49.25.300 – Table of Permissible Uses (USE)  
 Table of Permissible Uses Category: \_\_\_\_\_

## IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

YES – Case # \_\_\_\_\_  NO

## UTILITIES PROPOSED

WATER:  Public  On Site

SEWER:  Public  On Site

## SITE AND BUILDING SPECIFICS

Total Area of Lot 8,091 square feet      Total Area of Existing Structure(s) 10,734 square feet

Total Area of Proposed Structure(s) 11,897 square feet

## EXTERNAL LIGHTING

Existing to remain  
Proposed

No  
 No

Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures  
 Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

## ALL REQUIRED DOCUMENTS ATTACHED

### Narrative including:

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

*If this is a modification or extension include:*

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

### Plans including:

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES		Check No.	Receipt	Date
	Fees			
Application Fees	\$ <u>950.00</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>150.00</u>			
Pub. Not. Sign Deposit	\$ _____			
Total Fee	\$ _____			

This form and all documents associated with it are public record once submitted.

### INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE24-001</u>	<u>3/5/24</u>

## Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

**Pre-Application Conference:** A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

**Application:** An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
  - A. Site plan, floor plan and elevation views of existing and proposed structures
  - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
  - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
  - D. Existing and proposed lighting (including cut sheets for each type of lighting)
  - E. Existing and proposed vegetation with location, area, height and type of plantings
  - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

**Document Format:** All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

**Application Review & Hearing Procedure:** Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

**Review:** As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

**Hearing:** All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

**Public Notice Responsibilities:** Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

**The Community Development Department** will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

**The Applicant** will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

---

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**



## Sydney Hawkins

---

**From:** Forrest Courtney  
**Sent:** Tuesday, March 5, 2024 2:25 PM  
**To:** Sydney Hawkins  
**Subject:** FW: PAC24-007 Final Notes

See below

### Forrest Courtney | Planner II

Community Development Department | City & Borough of Juneau, AK  
Location: 230 S. Franklin Street | 4<sup>th</sup> Floor Marine View Building  
Office: 907.586.0753 x4208



*Fostering excellence in development for this generation and the next.*

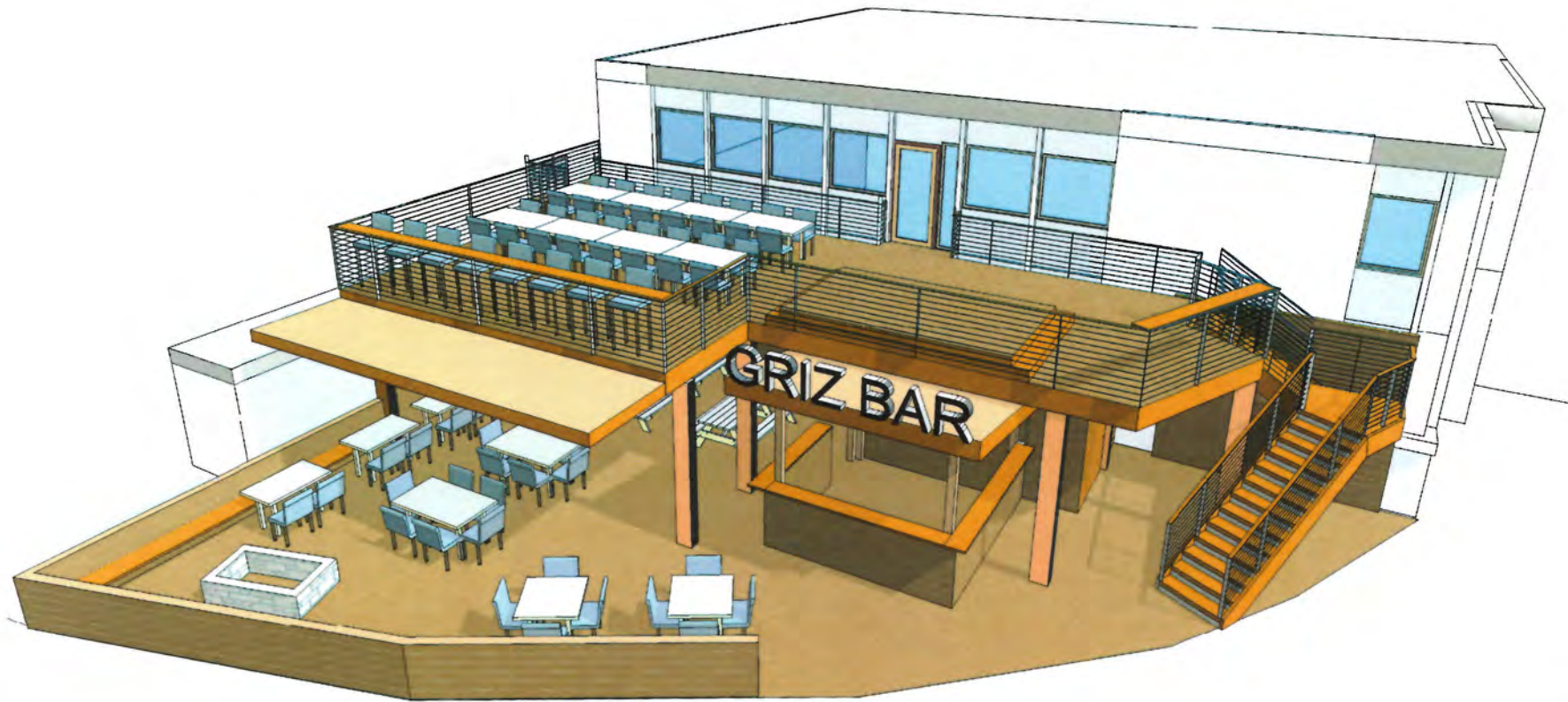
*How are we doing? Provide feedback here: <https://juneau.org/community-development/how-are-we-doing>*

**From:** Shannon Crossley <shannon@northwindarch.com>  
**Sent:** Tuesday, March 5, 2024 12:30 PM  
**To:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Cc:** James Bibb <james@northwindarch.com>; Permits <Permits@juneau.gov>  
**Subject:** Re: PAC24-007 Final Notes

Permitting,

Please send me the narrative that I need to edit if this is not it? Forrest is confusing me by referring to multiple paragraphs, from my email on the 29th, this was the narrative we submitted (with the new SF info included):

THE GRIZ BAR, LOCATED AT THE OUTDOOR PATIO AT 210 ADMIRAL WAY, WANTS TO RENOVATE THE EXISTING GROUND FLOOR PATIO ADJACENT TO THE SOUTHEAST FACADE AND CONSTRUCT A SECOND STORY DECK. THE EXISTING SECOND STORY EGRESS FROM THE HISTORIC JUNEAU POLICE STATION BUILDING WILL BE IMPROVED WITH A NEW CATWALK FROM THE PROPOSED DECK TO THE EXISTING SECOND STORY EGRESS DOOR, AND A NEW EGRESS STAIRCASE TO THE ALLEY BELOW. A SECOND EGRESS STAIRCASE WILL ALLOW CUSTOMERS TO ACCESS THE SECOND FLOOR DECK FROM THE PATIO. THE SCOPE OF THIS PROJECT INCLUDES EXCAVATING THE EXISTING PATIO AND REPLACING THE CONCRETE HARDSCAPE WITH A WOOD DECKING FINISH. THE EXISTING BAR WILL BE UTILIZED IN THE NEW FACILITY. THE EXISTING BUILDING HAS 1800 SF OF EXTERIOR TERRACE THAT WILL BE RENOVATED, AND THE INTERIOR HAS 3,000 OF RETAIL AND 1350 OF STORAGE/COMMON AREAS. UPSTAIRS, THE EXISTING BUILDING HAS 2500 SF OF OFFICE SPACE, AND 1700 SF OF STORAGE/CIRCULATION/COMMON AREAS. THE DECK ADDITION WILL INCLUDE 1163 SF OF CIRCULATION/OUTDOOR SEATING.



① PERSPECTIVE



W  
N  
NorthWind  
Architects, LLC  
125 Seward St  
Juneau, AK 99801  
PH: 907.586.8110  
WWW.NORTHWINDARCH.COM

IF THE ABOVE DIMENSIONS DO NOT MEASURE ONE TO ONE EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
PERSPECTIVE

CHECKED	JB
DRAWN	SCC
DATE	DATE

SHEET # **G0.2**  
PLOT DATE 02/21/2024  
ISSUE DATE 02/21/2024

# NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

## Permit Documents

OWNER

ARCHITECTURE

STRUCTURAL

AK Griz Bar LLC  
210 Admiral Way  
Juneau, AK 99801  
(907) 723-3442  
Blake Roder



NorthWind Architects, LLC.  
126 Seward St.  
Juneau, AK 99801  
(907) 586-6150  
James Bibb, AIA

SIGMA

Sigma Consulting & Engineering, LLC  
PO BOX 20554  
Juneau AK 99801  
(907) 723-3681  
John Maloney

### REGIONAL MAP



### PROJECT SCOPE

THE GRIZ BAR, LOCATED AT THE OUTDOOR PATIO AT 210 ADMIRAL WAY, WANTS TO RENOVATE THE EXISTING GROUND FLOOR PATIO ADJACENT TO THE SOUTHEAST FACADE AND CONSTRUCT A SECOND STORY DECK.

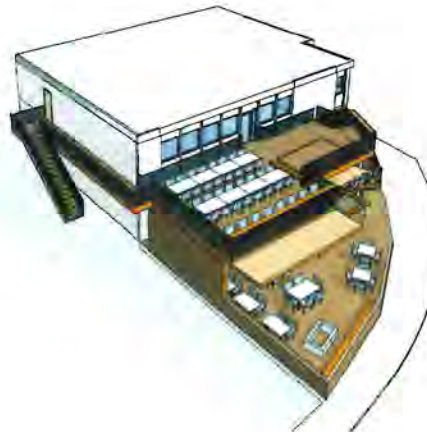
THE EXISTING SECOND STORY EGRESS FROM THE HISTORIC JUNEAU POLICE STATION BUILDING WILL BE IMPROVED WITH A NEW CATWALK FROM THE PROPOSED DECK TO THE EXISTING SECOND STORY EGRESS DOOR, AND A NEW EGRESS STAIRCASE TO THE ALLEY BELOW. A SECOND EGRESS STAIRCASE WILL ALLOW CUSTOMERS TO ACCESS THE SECOND FLOOR DECK FROM THE PATIO.

THE SCOPE OF THIS PROJECT INCLUDES EXCAVATING THE EXISTING PATIO AND REPLACING THE CONCRETE HARDSCAPE WITH A WOOD DECKING FINISH. THE EXISTING BAR WILL BE UTILIZED IN THE NEW FACILITY.

### GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
- ADJACENT SPACE WILL BE OCCUPIED DURING CONSTRUCTION. MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.
- WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
- ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
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- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. A LOCATION NEAR THE BUILDING WILL BE DESIGNATED FOR A DUMPSTER. DELIVERIES AND STORAGE REQUIREMENTS ARE TO BE COORDINATED WITH THE BUILDING MANAGER.
- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
- NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

### RENDERING FROM ABOVE



### SHEET INDEX

#### ARCHITECTURAL

G0.0	COVER SHEET
G0.1	SYMBOLS, CODE ANALYSIS, & EXIT PLAN
G0.2	PERSPECTIVE
A0.1	SITE PLAN
A0.2	DEMOLITION PLAN
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A2.0	ELEVATIONS
A3.0	SECTIONS
A4.0	ENLARGED PLANS
A5.0	DETAILS

#### STRUCTURAL

S1	GENERAL NOTES
S2	GENERAL NOTES
S3	FOUNDATION PLAN - MAIN
S4	FOUNDATION PLAN - EGRESS
S5	FIRST FLR BRACING PLAN - MAIN
S6	FIRST FLR BRACING PLAN - EGRESS
S7	SECOND FLR FRMG PLAN - MAIN
S8	SECOND FLR FRMG PLAN - EGRESS
S9	SECOND FLR CONNECTION PLAN- MAIN
S10	SECOND FLR CONNECTION PLAN- EGRESS
S11	FOUNDATION DETAILS
S12	TYPICAL DETAILS
S13	CONNECTION DETAILS
S14	CONNECTION DETAILS
S15	CONNECTION DETAILS
S16	ELEVATIONS AND SECTIONS
S17	ELEVATIONS AND SECTIONS



01/24/2024

COVER SHEET

SHEET #

G0.0

PLOT DATE: 02/1/2024  
ISSUE DATE: 02/1/2024

**SYMBOLS**

GENERAL - LEGEND

- ① FLOOR PLAN  
3" x 1'-0"
- ① - ITEM  
A-300 - SHEET NUMBER
- ① - ITEM  
A-300 - SHEET NUMBER
- ⑦ GRID BUBBLE
- ① - ITEM  
A-500 - SHEET NUMBER

- ① SHEET/DETAIL TITLE
- BUILDING SECTION
- ENLARGED BUILDING SECTION OR WALL SECTION
- PROPERTY LINE
- PATH OF EGRESS

FLOOR PLANS - LEGEND

- ① KEY NOTE
- ◇ DEMO KEY NOTE
- ⊕ ELEVATION
- △ REVISIONS
- PROPERTY LINE
- - - - - PATH OF EGRESS
- ① ITEM NUMBER
- ① SHEET NUMBER
- P-X PARTITION TYPE
- WALL OR STRUCTURE
- DOWNSPOUT
- STRUCTURAL ELEMENT- SEE STRUCTURAL SHEETS

**MATERIALS**

DETAILS - LEGEND

- CONCRETE
- EARTH
- STEEL
- PLYWD
- WOOD
- DECKING

**GENERAL NOTES**

1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
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9. PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
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11. ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

**ZONING REVIEW**

- ZONED MIXED USE
- 0'-0" SETBACK REQ.
- NO VEGETATION COVER REQ
- OCCUPANCY FOR UPSTAIRS DECK: 977/15= 65 PEOPLE
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE
- 1,800 SF FIRST FLOOR DECK

**CODE ANALYSIS**

AUTHORITY HAVING JURISDICTION:

CITY AND BOROUGH OF JUNEAU

DESCRIPTION:

THE PROPOSED PROJECT INCLUDES A NEW FIRST FLOOR DECK WITH STORAGE AREA AND EXISTING BAR AND NEW SECOND FLOOR DECK WITH CATWALK TO EGRESS STAIRCASE. THE SECOND STORY DECK WILL HAVE TWO (2) EGRESS STAIRCASES OF APPROPRIATE WIDTH (3'-8").

APPLICABLE CODES:

- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2020 NATIONAL ELECTRICAL CODE (NEC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FIRE CODE (IFC)

PROJECT SQUARE FOOTAGES:

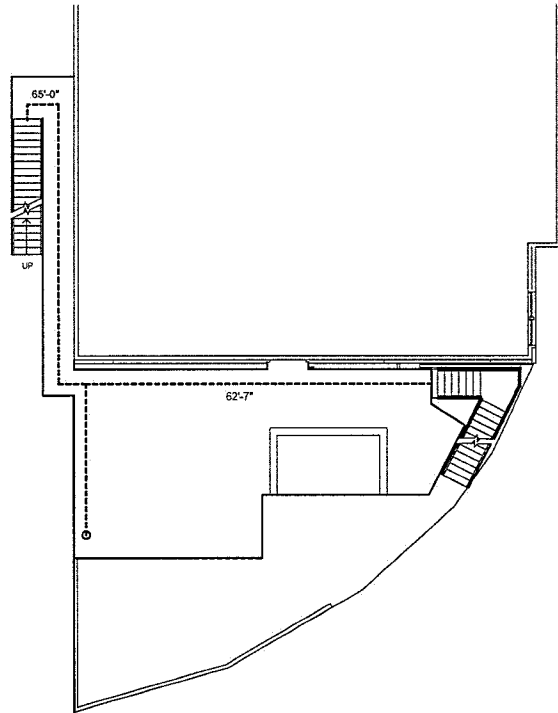
- FIRST FLOOR DECK (1,800 SF TOTAL)
  - \* STORAGE AREA (148 SF)
  - \* EXISTING BAR (130 SF) AND
- SECOND FLOOR DECK (1183 SF TOTAL)
  - \* ASSEMBLY SPACE (977 SF)
  - \* CATWALK TO EGRESS STAIRCASE (186 SF)

OCCUPANCY CLASSIFICATION (IBC CHAP 3):

PRIMARY OCCUPANCY ASSEMBLY A-2

TYPE OF CONSTRUCTION (IBC CHAP 6):

V-B: TYPE V CONSTRUCTION ALLOWS THE USE OF ALL TYPES OF MATERIALS, BOTH NONCOMBUSTIBLE AND COMBUSTIBLE



① SECOND FLOOR CODE & EXITING PLAN  
1/8" = 1'-0"



IF THE ABOVE DIMENSIONS DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**SYMBOLS, CODE ANALYSIS, & EXIT PLAN**

CHECKED: JB  
DRAWN: SCC

ISSUE DATE DESCRIPTION

SHEET # **G0.1**

PLOT DATE: 02/21/2024  
ISSUE DATE: 02/21/2024

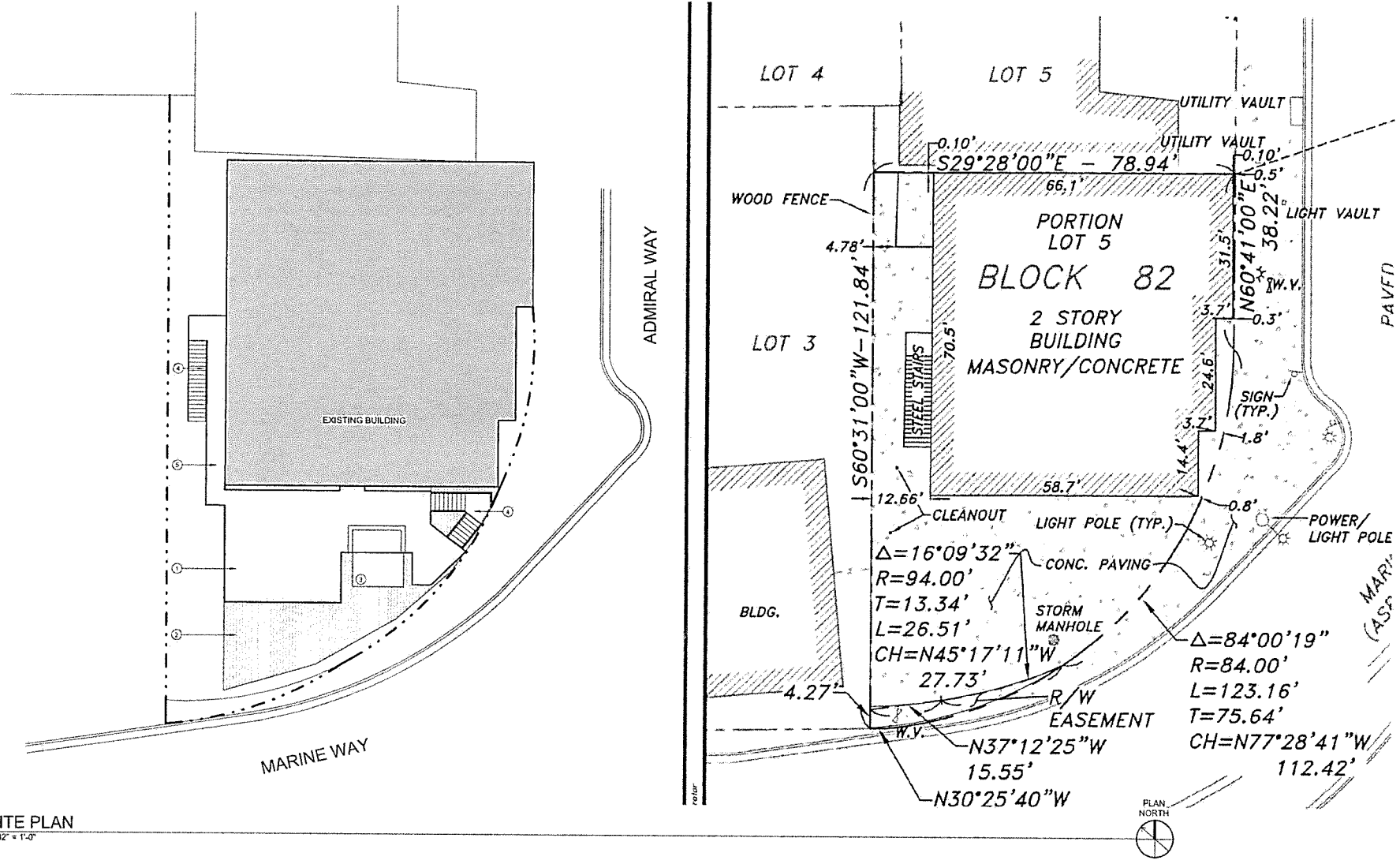
**GENERAL NOTES**

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
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- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
- NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

**SITE PLAN KEYNOTES**

- NEW SECOND FLOOR DECK
- NEW FIRST FLOOR DECK
- EXISTING BAR
- NEW EGRESS STAIRCASE
- NEW CATWALK TO EGRESS STAIR



1 SITE PLAN  
3/32" = 1'-0"



IF THE ABOVE CHECKS/SPECIES HIT LEADING THE WAY TO EXACTLY THE SPACING THAT HAS BEEN ENGINEERED OR MEDICAL, AFFECTING ALL LABEL SCALES.

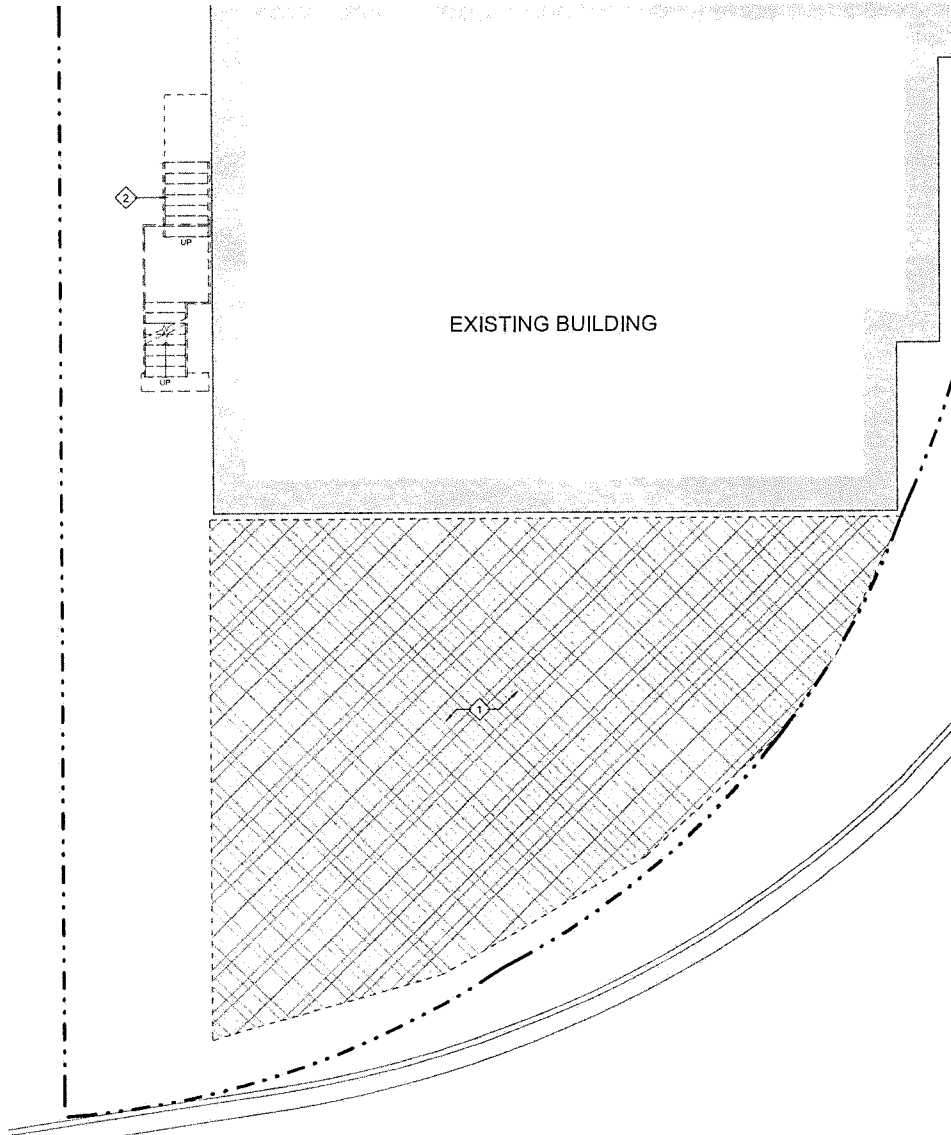
NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE  
SITE PLAN

CHECKED	JB
DRAWN	SCC
TITLE	DATE

SHEET # **A0.1**  
 PLOT DATE 02/21/2024  
 ISSUE DATE 02/21/2024



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

**DEMOLITION NOTES**

1. FOR GENERAL NOTES, SEE A0.1.
2. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
3. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR SURFACES, WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY DEMOLITION WORK, TO NEW CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
4. CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
5. DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
6. CONTROL DUST RESULTING FROM DEMOLITION AND REMOVAL WORK TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
7. REMOVE PROTECTION AT COMPLETION OF WORK.
8. CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
9. MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.

**DEMOLITION KEYNOTES**

- ◆ DEMO EXISTING CONCRETE PAD. EXCAVATE REQUIRED SOIL TO ALLOW FOR NEW PT WOOD FRAMING
- ◆ DEMO EXISTING EGRESS STAIRCASE

**DEMOLITION LEGEND**

- EXISTING TO REMAIN
- - - - EXISTING TO BE DEMOLISHED/REMOVED
- ▨ EXISTING CONCRETE PAD TO BE DEMOLISHED/REMOVED

NOTE: KNOWN HAZARDOUS MATERIALS WILL NOT BE DISTURBED OR IMPACTED BY THIS PROJECT



IF THE ABOVE DIMENSIONS DO NOT MEASURE THE DRAWING EXACTLY, THE DRAWING SHALL BE CONSIDERED AS REDUCED, AFFECTING ALL LABEL SCALES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

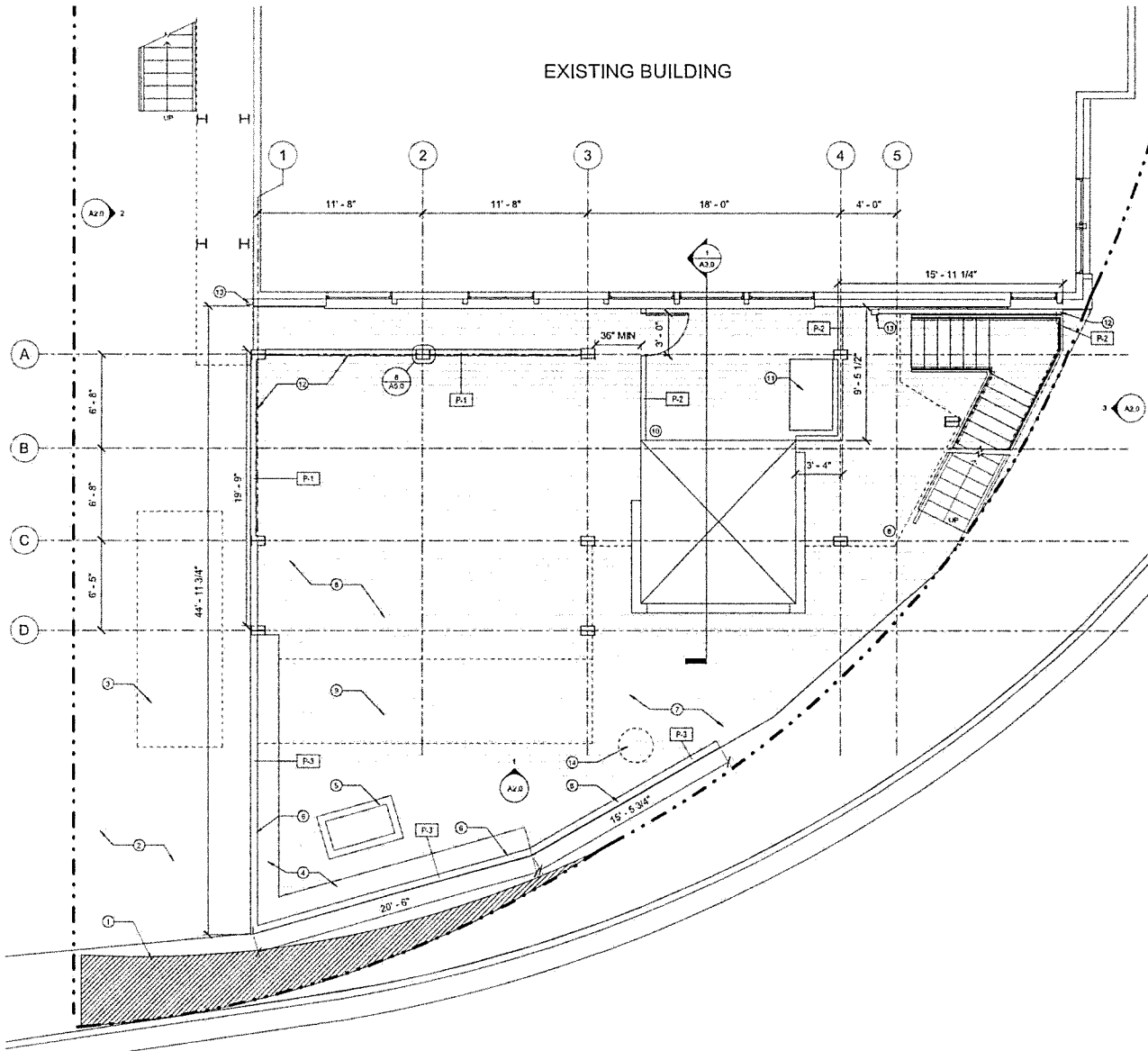
210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**DEMOLITION PLAN**

CHECKED	JB
DRAWN	SCC
DATE	DESCRIPTION

SHEET # **A0.2**

PLOT DATE	02/21/2024
ISSUE DATE	02/21/2024



1 FIRST FLOOR PLAN  
1/4" = 1'-0"



**GENERAL NOTES**

1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
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11. ALL DIMENSIONS ARE TO CENTERLINE OR FACE CF FINISH.

**ZONING REVIEW**

- ZONED MIXED USE
- 0'-0" SETBACK REQ.
- NO VEGETATION COVER REQ
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE
- EGRESS STAIRCASE CANNOT BE WINDING STAIR. MUST HAVE EQUAL DISTANCE ON BOTH ENDS OF TREAD
- 1,678 SF FIRST FLOOR DECK

**FLOORPLAN KEYNOTES**

1. EASEMENT
2. ALLEY DRIVEWAY ACCESS
3. FOOD TRUCK
4. BENCH SEAT
5. FIRE PIT
6. 36" WOOD FRAMED STEM WALL
7. NEW WOOD DECKING. FLUSH TO SIDEWALK
8. NEW DECK ABOVE
9. DECK STRUCTURE EXTENSION ABOVE FOR COVER
10. STORAGE AREA
11. NEW COOLER
12. WOOD-FRAMED WOOD SLAT PRIVACY WALL TO BTM OF DECK ASSEMBLY
13. DOWNSPOUT TO DRAINAGE PATH UNDERNEATH DECKING
14. STORM MANHOLE



IF THE ABOVE ENGINEER'S SEALS ARE NOT MADE PER THE 60% OF THE DRAWING, THE DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

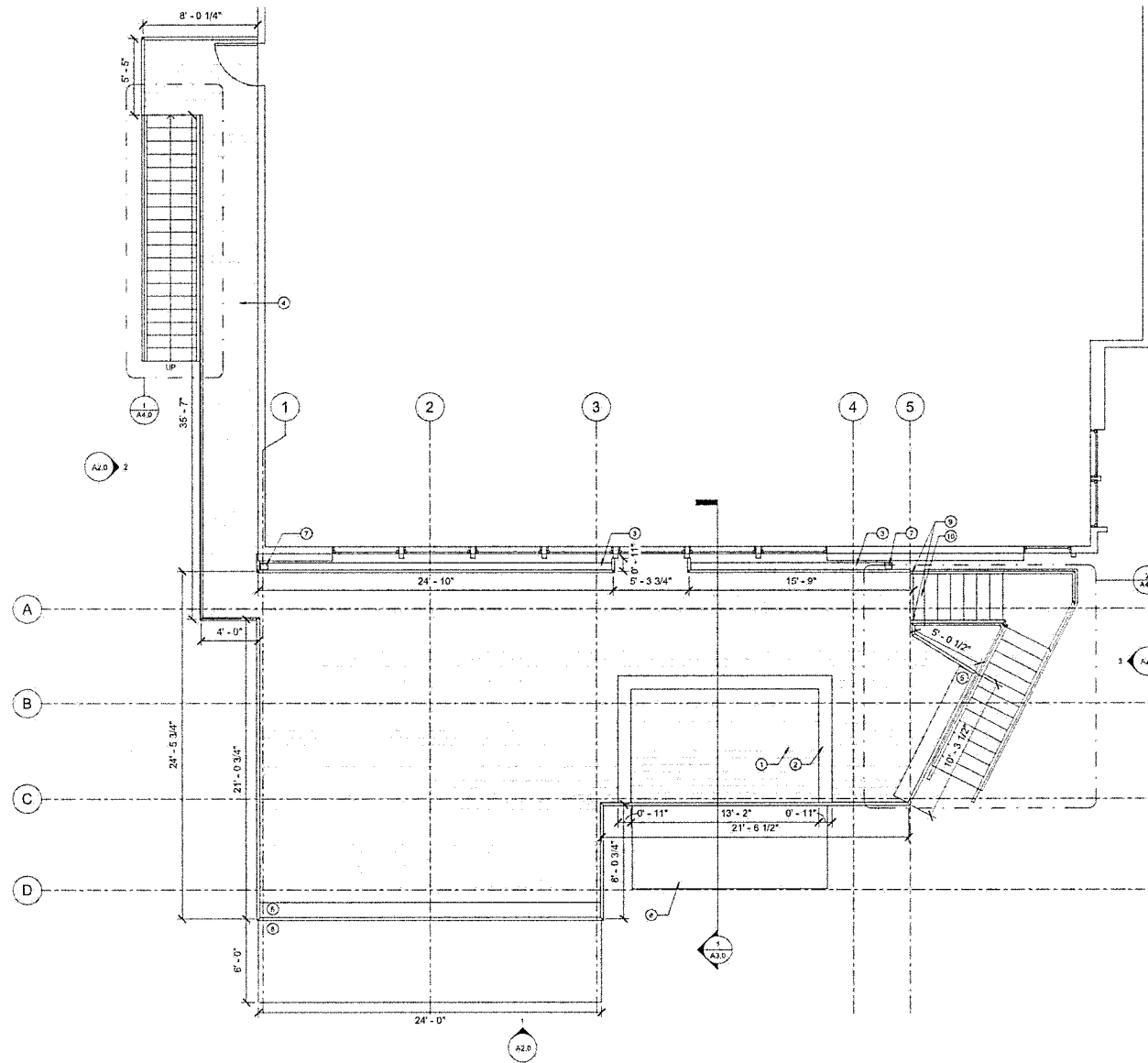
210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**FIRST FLOOR  
PLAN**

CHECKED: JB  
DRAWN: SCC

SHEET # **A1.0**

PLOT DATE: 02/21/2024  
ISSUE DATE: 02/21/2024



1 SECOND FLOOR PLAN  
1/4" = 1'-0"

**GENERAL NOTES**

1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
3. CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
4. ADJACENT SPACE WILL BE OCCUPIED DURING CONSTRUCTION, MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.
5. WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
6. ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
7. THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR INTERIOR SECURE STORAGE OF TOOLS AND EQUIPMENT IN A SPACE TO BE PROVIDED. THIS SPACE WILL BE USED FOR INTERIOR STORAGE TO ACCLIMATE MATERIALS PRIOR TO AND DURING INSTALLATION.
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9. PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
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11. ALL DIMENSIONS ARE TO FACE OF FINISH.

**ZONING REVIEW**

- 977 SF DECK
- 1163 SF TOTAL WITH CATWALK
- OCCUPANCY FOR UPSTAIRS DECK: 977/115= 66 PEOPLE
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE

**FLOORPLAN KEYNOTES**

1. DECK PLATFORM
2. STEP UP
3. 6" COMMERCIAL GUTTER
4. EGRESS CATWALK
5. 12" DEEP BUILT-IN BAR TOP WITH BACKSPASH
6. BAR BELOW
7. COMMERCIAL GUTTER
8. CANOPY
9. 12" HANDRAIL EXTENSIONS
10. TRANSITION STEP BETWEEN DECK AND STAIRCASE



IF THE ABOVE DIMENSIONS DO NOT MEASURE ONE PLUS, IT IS EXACTLY THIS DRAWING WILL HAVE BEEN ENGINEERED FOR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

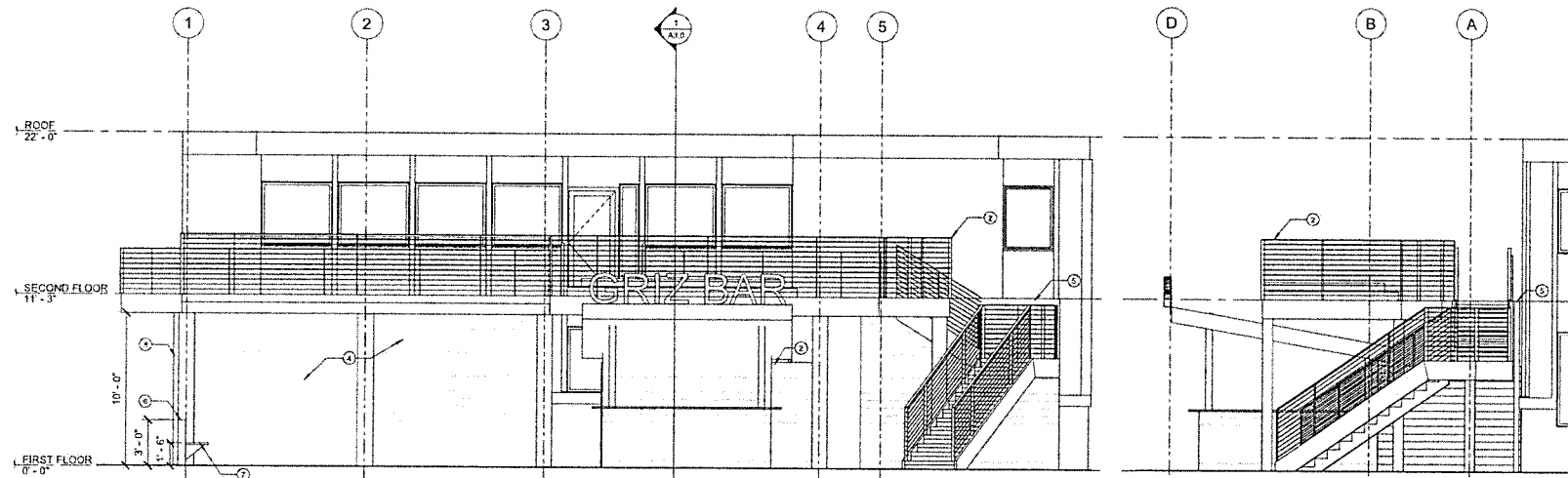
SHEET TITLE:  
**SECOND FLOOR PLAN**

CHECKED	JB	
DRAWN	SCC	
ISSUE	DATE	DESCRIPTION

SHEET # **A1.1**  
PLOT DATE 02/21/2024  
ISSUE DATE 02/21/2024

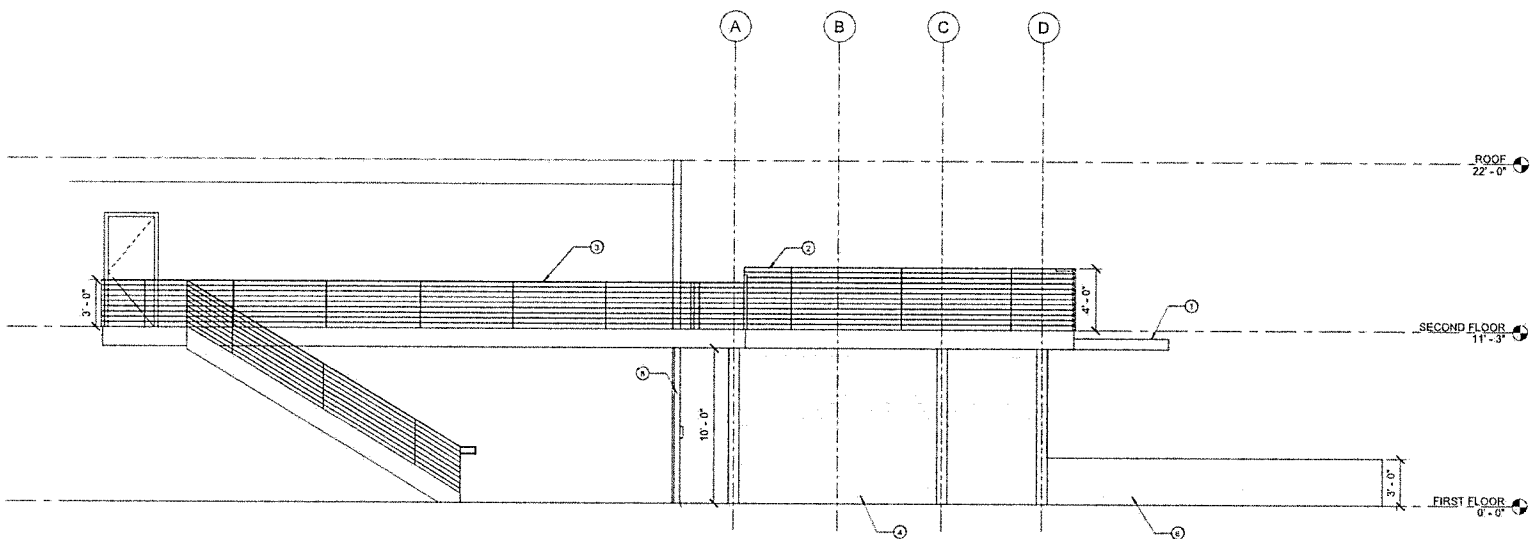






1 SOUTH ELEVATION  
1/4" = 1'-0"

3 EAST ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

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11. ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

**ELEVATION KEYNOTES**

1. CANOPY
2. 48" GUARDRAIL WITH SS CABLES
3. 36" GUARDRAIL WITH SS CABLES
4. 120" PARTITION WALL TO BOTTOM OF STRUCTURE
5. 135" PARTITION WALL
6. 36" PARTITION WALL
7. BUILT-IN BENCH WITH BRACKETS
8. DOWNSPOUT TO DRAINAGE PATH UNDERNEATH DECKING
9. 6" COMMERCIAL DOWNSPOUT



IF THE ABOVE ENGINEER'S SEAL IS NOT MEASURED TO BE PLACED EXACTLY, THE DRAWING SHALL HAVE BEEN EXAMINED OR REDESIGNED. AFFECTING ALL LABEL SIZES.

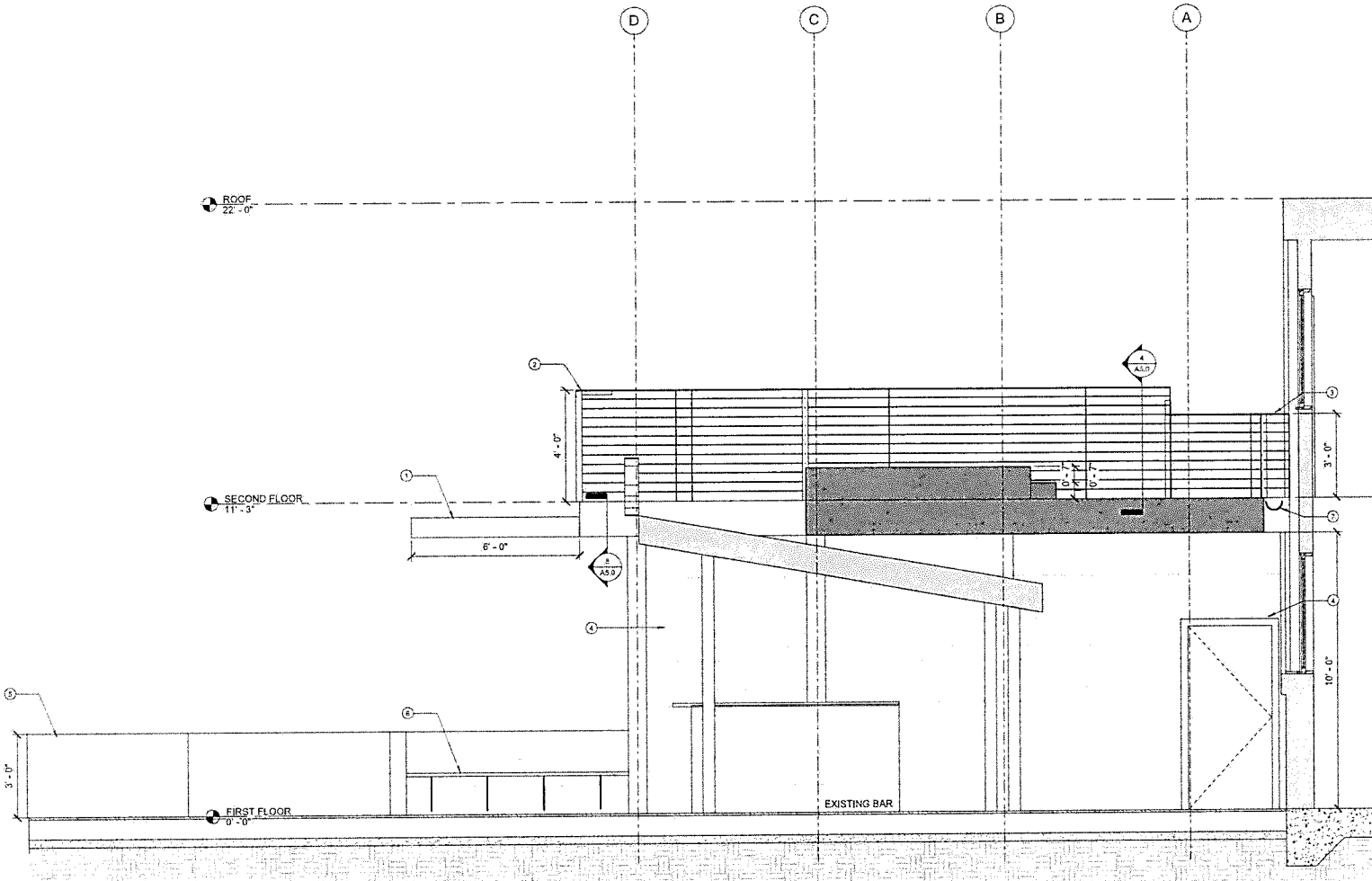
NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**ELEVATIONS**

CHECKED: JB  
DRAWN: SGC

SHEET # **A2.0**  
PLOT DATE: 02/21/2024  
ISSUE DATE: 02/21/2024



1 SECTION  
1/2" = 1'-0"

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**SECTION KEYNOTES**

1. CANOPY
2. 48" GUARDRAIL WITH SS CABLES
3. 36" GUARDRAIL WITH SS CABLES
4. 120" PARTITION WALL
5. 36" PARTITION WALL
6. BUILT-IN BENCH WITH BRACKETS
7. 6" COMMERCIAL DOWNSPOUT



IF THE ABOVE DIMENSIONS DO NOT MEASURE EXACTLY, THE DRAWING WILL HAVE BEEN DIMENSIONED OR RELEASED AFFECTING ALL LABEL SIZES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

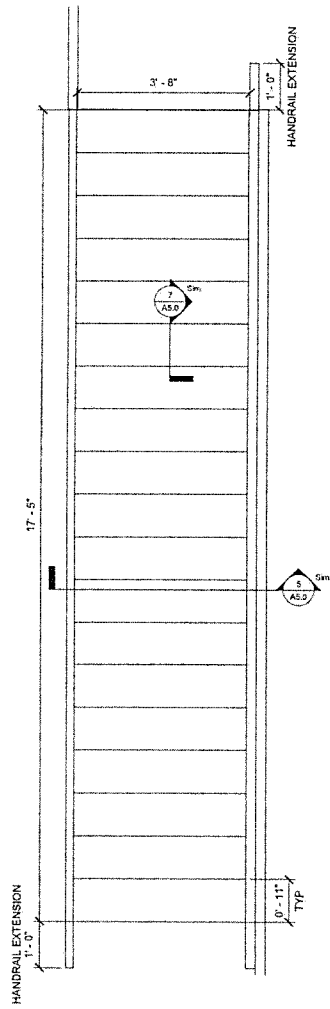
210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
SECTIONS

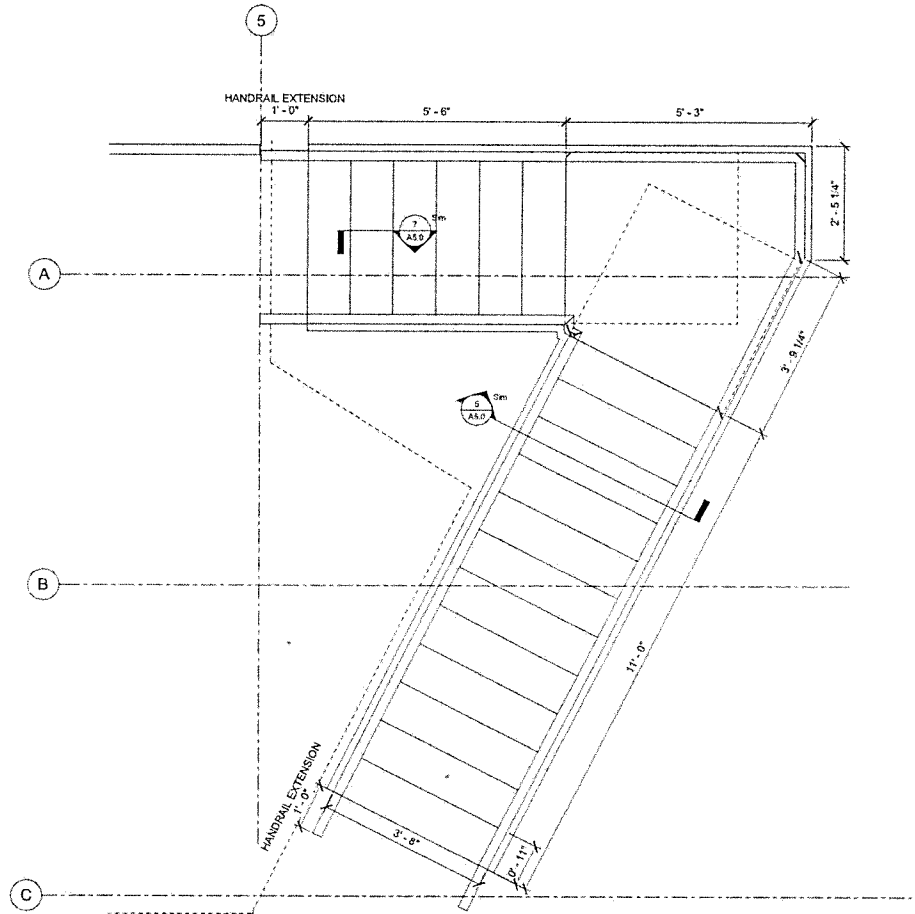
CHECKED	JB
DRAWN	SCC
ISSUE DATE	DESCRIPTION

SHEET # **A3.0**

PLOT DATE 02/21/2024  
ISSUE DATE 02/21/2024



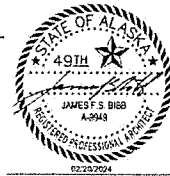
1 EGRESS STAIRCASE-N  
3/4" = 1'-0"



2 EGRESS STAIRCASE-S  
3/4" = 1'-0"

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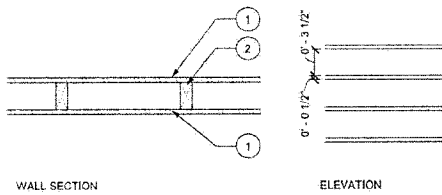


IF THE ABOVE DIMENSIONS DO NOT MEASURE THE PART EXACTLY THE DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

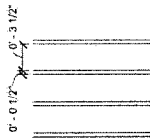
NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK  
 210 ADMIRAL WAY  
 JUNEAU, AK

SHEET TITLE:	
ENLARGED PLANS	
CHECKED:	JB
DRAWN:	SCC
DATE:	DATE:

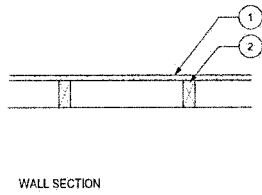
SHEET #	<b>A4.0</b>
PLUT DATE	02/21/2024
ISSUE DATE	02/21/2024



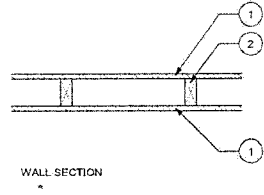
WALL SECTION



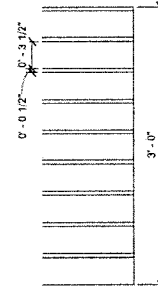
ELEVATION



WALL SECTION



WALL SECTION

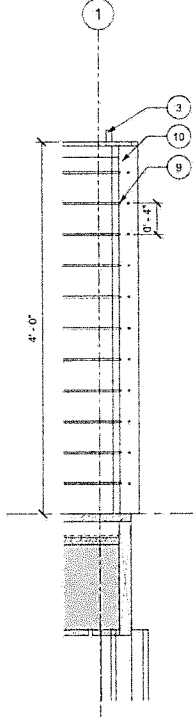


ELEVATION

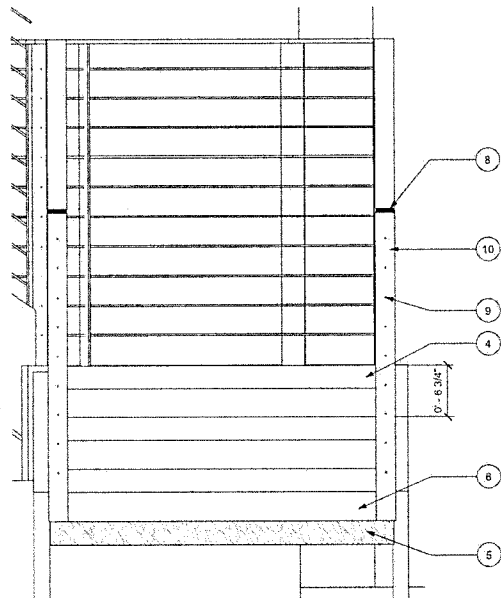
1 P-1 PARTITION WALL  
1 1/2" = 1'-0"

2 P-2 PARTITION WALL  
1 1/2" = 1'-0"

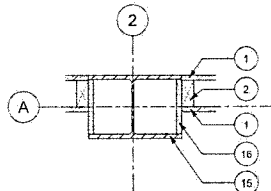
3 P-3 PARTITION WALL  
1 1/2" = 1'-0"



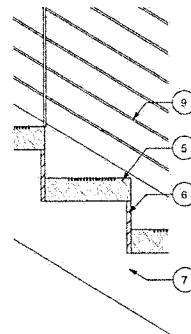
4 RAILING DETAIL  
1 1/2" = 1'-0"



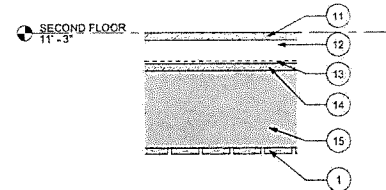
5 STAIR DETAIL  
1 1/2" = 1'-0"



6 COLUMN DETAIL  
1 1/2" = 1'-0"



7 STAIR DETAIL  
1 1/2" = 1'-0"



8 DECK DETAIL  
1 1/2" = 1'-0"

**GENERAL NOTES**

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- DO NOT SCALE OFF OF DRAWINGS
- DIMENSIONS ARE TO FINISH FACE
- DIMENSIONS LOCATING OPENINGS ARE TO CENTERLINE OF OPENING, UNLESS NOTED.

**DETAIL KEY NOTES**

- 1X4 WOOD, STAINED, SPECIES AND COLOR TBD
- WD FRAMING, EXTERIOR USE
- 12" BAR TOP WITH BACKSPASH
- METAL EGRESS STAIRCASE
- GROOVED WOOD TREADS, EGRESS PATHS TO BE SLIP RESISTANT
- SOLID RISERS, PER IBC EGRESS STANDARDS
- MTL STRINGER (2) PER STAIRCASE, INSET APPROX. 12" FROM EDGE OF STAIR
- WOOD CONTINUOUS HANDRAIL, SPECIES AND COLOR TBD
- STAINLESS STEEL CABLES, SPACED 4" O.C, NO OPENINGS SHALL ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER
- MTL FIN BALUSTER
- WOOD OR SYNTHETIC WD DECKING, TBD
- SLEEPER SPACERS
- MEMBRANE
- PLYWOOD
- STRUCTURE, SEE STRUC. SHEETS
- 1X WOOD INFILL, SPECIES AND COLOR TBD



IF THE ABOVE ENGINEER DOES NOT MEASURE THE PROJECT, IT IS SOLELY THE DRAWING TITLE HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SIZES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**DETAILS**

CHECKED	JB
DRAWN	SCC
DATE	DATE

SHEET # **A5.0**  
PLOT DATE 02/21/2024  
ISSUE DATE 02/21/2024



(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

## Griz Bar Deck

Case Number: PAC2024-007 OTC  
 Applicant: Shannon Crossley – Northwind Architecture, for Blake Rider  
 Property Owner: 210admiraltyway LLC C/O Juneau Real Estate; C/O Juneau Real Estate  
 Property Address: 206 Admiral Way; 208 Admiral Way; 210 Admiral Way; 212 Admiral Way  
 Parcel Code Number: 1C070K820050  
 Site Size: 8,091 square feet  
 Zoning: MU (Mixed Use)  
 Existing Land Use: Mixed Use

Conference Date: February 13, 2024  
 Report Issued: February 27, 2024

**DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.**

## List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Shannon Crossley	Applicant	<a href="mailto:Shannon@northwindarch.com">Shannon@northwindarch.com</a>
Forrest Courtney	Planning	<a href="mailto:Forrest.Courtney@juneau.gov">Forrest.Courtney@juneau.gov</a>

## Conference Summary

**Questions/issues/agreements identified at the conference that weren't identified in the attached reports.** The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

The pre-application conference was completed over the counter.

## Project Overview

The applicant is proposing a first-floor deck addition of 1,800 square feet and a second-floor deck addition of 1,163 square feet, including a catwalk, to be utilized by Griz Bar and as egress for the second floor of the nonresidential structure at 210 Admiral Way.



## Conditional Use Permit Process:

- Submit the application and back-up materials (listed on ten back of the application).
  - Electronic submissions accepted at [Permits@juneau.gov](mailto:Permits@juneau.gov). Note that the permit center will call you for payment when the application is processed. Applications are submitted in the order in which they are received, and it may be a few days before you get a call.
- The project will be assigned to a planner. They will review submitted materials and coordinate where necessary. When the planner assesses the file is complete, they will schedule a hearing before the Planning Commission.
  - A notice will be sent to property owners within 500 feet of the project.
  - There will be two newspaper ads for the case.
  - The Applicant is required to post a Public Notice sign, which will be provided by CDD. The sign must be posted two weeks before the hearing.

- Staff will prepare a report analyzing the project and make a recommendation to the Commission. The report will be publicly available the week before the hearing.
- At the Planning Commission meeting, the project can be:
  - On the Consent Agenda, where it will be passed without discussion.
  - On the Regular Agenda:
    - The Director will briefly describe the project.
    - The Applicant has 15 minutes to describe the project.
    - The public has the opportunity to comment. There is usually a time limit of two to three minutes.
    - The Applicant has time to respond to issues raised.
    - Public comment is closed and there is no additional opportunity to participate.
- The Planning Commission will:
  - Approve the project
  - Approve the project with conditions (the most common outcome)
  - Deny the project
  - Continue the project – if more information is required or if the Commission runs out of time.
- The decision can be appealed for 20 days after the Notice of Decision is filed with the City Clerk. If the decision is appealed, the Applicant can continue with their project at their own risk.

Videos of the Planning Commission activities are posted on Assembly's Minutes and Agendas site. [ps://uneau-ak.municodemeetings.com/](https://uneau-ak.municodemeetings.com/)

### Planning Division

1. **Zoning** – Tideland's Addition Block 82, Lot 5 is zoned MU. The mixed use district is established to accommodate a mix of appropriate commercial and residential uses [CBJ 49.25.220]. The mixed use district, reflects the existing downtown development pattern and is intended to maintain the stability of the downtown area. Multifamily residential uses are allowed and encouraged [CBJ 49.25.220(a)].

Map M of the CBJ Comprehensive Plan (2013) shows the lot is planned for Traditional Town Center.



The Comprehensive Plan defines Traditional Town:

*These lands are characterized by high density residential and non-residential land uses in downtown areas and around shopping centers, the University, major employment centers and public transit corridors, as well as other areas suitable for a mixture of retail, office, general commercial, and high density residential uses at densities at 18 or more residential units per acre. Residential and non-residential uses could be combined within a single structure, including off-street parking. Ground floor retail spaces facing roads with parking behind the retail and housing above would be an appropriate and efficient use of the land.*

**2. Table of Permissible Uses –**

Based on the approximate dimensions provided by the applicant.

Professional Office Space: allowed with department approval (TPU 3.100)

Commercial Retail: allowed with department approval (TPU 2.120)

Restaurants, bars without drive through service: allowed with Planning Commission approval (TPU 8.100)

Outdoor activity conducted outside enclosed buildings or structures with capacity for more than 20 people: allowed with Planning Commission approval (TPU 6.266)

The 9,056 square foot nonresidential building contains professional offices, commercial retail, associated storage space, and common areas. The applicant's request for a 1<sup>st</sup> and 2<sup>nd</sup> story deck addition will increase the nonresidential building's square footage to 12,019 square feet, exceeding the maximum square footage for a minor development in commercial and mixed use districts [CBJ 49.25.300(c)(3)(D)].

A major development requires a conditional use permit from the commission [CBJ 49.25.300].

Note: The applicant should likely have been required to receive a Conditional Use Permit when the Griz Bar opened in 2020 [BLD20200074] based on capacity and nonresidential use of more than 10,000 square feet in a mixed use district. This is no fault of the applicant and occurred during the outbreak of COVID-19 when CBJ regulations were more flexible to provide residents with outdoor opportunities.

3. **Setbacks** – The mixed use zoning district has a zero-foot setback from all lot lines [CBJ 49.25.400]. Building setbacks are defined on Sheet No. A1.0 of plans provided by the applicant appear within lot boundaries and do not encroach on the established 122-square-foot right-of-way easement.
4. **Height** – The mixed use zoning district has no maximum height restrictions [CBJ 49.25.400]. The height of the second-story deck, including guard rails as defined on Sheet A2.0 of the plans provided by the applicant, is approximately 15 feet 3 inches.  
  
The applicant had identified a canopy on the submitted materials page. The applicant should review the definition of a canopy in Title 49 and determine whether it should be identified as such.
5. **Access** – The property is accessed via Admiral Way and Marine Way.
6. **Parking & Circulation**– The lot falls within the *No Parking Required Area* [Ordinance No. 2022-04(b)] and will not require additional parking [CBJ 49.40.200(a)(2)].
7. **Lot Coverage** – The mixed use zoning district has no maximum lot coverage restrictions [CBJ 49.25.400].
8. **Vegetative Coverage** – The mixed use zoning district does not have a minimum vegetative cover requirement [CBJ 49.50.300].
9. **Lighting** – Not applicable to this application. Lighting is reviewed during the building permit process. Lighting should be downward cast and not on neighboring lots.
10. **Noise** – The noise difference with the addition of a second-story deck for sitting would be consistent with mixed use district standards.



11. **Flood** – The lot is not in a mapped flood hazard area.
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The lot is within the Low Avalanche Hazard area.
13. **Wetlands** – A wetlands fill may require a United States Army Corps of Engineers permit, you can contact them at 907-753-2689 for additional information.
14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
15. **Plat or Covenant Restrictions** –The applicant has accounted for the right-of-way easement that exists on the lot.

A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED WITHIN LOT NO. 5, BLOCK 82, ALASKA TIDELANDS ADDITION SURVEY NO. 3, CITY AND BOROUGH OF JUNEAU, FIRST JUDICIAL DISTRICT, STATE OF ALASKA BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS;

BEGINNING AT THE WESTERLY MOST CORNER OF LOT 5, IDENTICAL TO THE SOUTHERLY MOST CORNER OF LOT 3, BLOCK 82 ALASKA TIDELANDS ADDITION SURVEY NO. 3 SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY, THENCE ALONG THE WESTERLY LIMITS OF THIS DESCRIPTION IDENTICAL WITH THE COMMON BOUNDARY OF LOTS 3 AND 5 HEREINBEFORE DESCRIBED N60°31'00" E - 4.27' TO THE NORTHERLY MOST CONER OF THIS DESCRIPTION; THENCE DEPARTING AFOREMENTIONED COMMON BOUNDARY LINE, CROSSING LOT 5 BLOCK 82 TIDELANDS SURVEY NO. 3 S37°12'25" E - 15.55' TO A POINT OF CURVATURE; THENCE ALONG A 94.00' RADIUS CURVE TO THE LEFT, THROUGH AN ARC OF 16°09'32", AN ARC LENGTH OF 26.51' (CHORD = S45°17'11"E - 26.42') TO THE EASTERLY MOST CORNER OF THIS DESCRIPTION BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY; THENCE ALONG SAID RIGHT-OF-WAY LIMITS BEING THE SOUTHER BOUNDARY OF THIS DESCRIPTION ALONG AN 84.00' RADIUS CURVE TO THE RIGHT, THROUGH AN ARC OF 29°40'32", AN ARC LENGTH OF 43.51' (CHROD = N47°50'57" W - 43.02') TO THE TRUE POINT AND PLACE OF BEGINNING.

CONTAINING 122 SQUARE FEET, MORE OR LESS.

16. **Traffic** – Applicant submitted approximate square footage of use on the lot. These approximations are acceptable for Pre-Application purposes; however, more defined dimensions should be submitted with the Conditional Use Permit application.

Use	Total Sq. Ft.	Trips Generated Per 1,000 Sq. Ft.	Total Trips
Convenience Market <sup>A</sup> with Storage	2,000sf	32.60	65.20
Apparel Store <sup>B</sup> with Storage	2,000sf	4.20	8.40
Single Tenant Office <sup>C</sup> with Storage	4,000sf	11.65	46.60
Drinking Place <sup>D</sup>	2,963sf	15.49	46.47
<b>Total ADTs:</b>			<b>166.67</b>

*Institute of Traffic Engineer's Trip Generation Manual, 9<sup>th</sup> Edition, Volume 3,*

*A: pages 1664, 1667*

*B: pages 1787, 1790*

*C: pages 1277, 1281*

D: pages 1861, 1863

A development projected to generate fewer than 250 ADT shall not be required to have a traffic impact analysis [CBJ 49.40.300(a)(2)].

### **Building Division**

17. **Building** – Proposed project would require a building permit. Submittal requirements shall be determined during the permitting process.
18. **Outstanding Permits** – *(Note: does not include all outstanding permits on property):*
  - a. BLD20230252 – “Seasonal placement of Griz Bar for 2023 season”
  - b. BLD20210333 – “Install two 100 gallon LP tanks to supply heater and firepits”
  - c. BLD20200074 – “Temporary seasonal structure for AK Grizzly Bar. MODIFIED 7/14/20 to expand deck and install propane tank”

### **General Engineering/Public Works**

19. **Engineering** – No comments at this time.
20. **Drainage** – No comments at this time.
21. **Utilities** – No comments at this time.

### **Fire Marshal**

22. **Fire Items/Access** – No comments at this time.

### **Other Applicable Agency Review**

23. Alcohol Beverage Control Board – Applicant has submitted the project independently for review.

### **List of required applications**

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application
2. Conditional Use Permit Application
3. [Building Permit Application](#)

### **Additional Submittal Requirements**

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Accurate square footage of current and requested uses.

### **Exceptions to Submittal Requirements**

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

### Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Public Notice Sign: \$150.00. \$100.00 is refundable if the sign is returned the Monday following the Planning Commission meeting.
2. Class III use: \$750.00 [CBJ 49.85.100 (3)(C)(i)].

For informational handouts with submittal requirements for development applications, please visit our website at [www.juneau.org/community-development](http://www.juneau.org/community-development).

### Submit your Completed Application

You may submit your application(s) online via email to [permits@juneau.gov](mailto:permits@juneau.gov)

OR in person with payment made to:

City & Borough of Juneau, Permit Center  
230 South Franklin Street  
Fourth Floor Marine View Center  
Juneau, AK 99801

Phone: (907) 586-0715

Web: [www.juneau.org/community-development](http://www.juneau.org/community-development)

### Attachments:

- 49.15.330 – Conditional Use Permit
- 49.15.800 – Canopies and Awnings
- 49.25.300 – Table of Permissible Uses
- Conditional Use Permit Application
- Development Permit Application
- [Building Permit Application](#)

## 49.15.330 - Conditional use permit.

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
- (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
  - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with [section 49.15.230](#).
  - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)—(1)(C) of subsection (e) of this section.
  - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
  - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of

the application if it is found that the development:

- (A) Will materially endanger the public health or safety;
- (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
- (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.

(e) *Review of director's determinations.*

(1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:

- (A) Whether the proposed use is appropriate according to the table of permissible uses;
- (B) Whether the application is complete; and
- (C) Whether the development as proposed will comply with the other requirements of this title.

(2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.

(f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:

- (1) Materially endanger the public health or safety;
- (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
- (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.

(g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:

- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
- (2) *Use.* Use of the development may be restricted to that indicated in the application.

- (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
- (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
- (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
- (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
- (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
- (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
- (9) *Avalanche areas.* Development in moderate and severe avalanche hazard areas shown on the Avalanche Hazard Designation Mapping, dated April 27, 2022, and attached to Serial No. 2023-18(am) as Appendix A, must minimize the risk to life and property.
- (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:
  - (A) Developments in wetlands and intertidal areas.
- (11) *Sound.* Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation.* Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access.* Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening.* The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.

- (15) *Lot size or development size.* Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage.* Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting.* Conditions may be imposed to control the type and extent of illumination.
- (18) *Other conditions.* Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018; Serial No. 2023-18(am), § 3, 12-11-2023, eff. 1-11-2024)

#### 49.15.800 - Purpose.

It is the purpose of this chapter to authorize canopy and awning encroachments into public ways, to provide standards for construction of canopies and awnings, and to provide a permitting process. The CBJ requires canopies in the Historic District, and encourages the construction of canopy and awning treatments to protect pedestrians from the elements in all zoning districts.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.810 - Application.

Canopies and awnings are permitted in all zoning districts. The permitting provisions of this chapter apply to canopies and awnings located above public ways, including the Seawalk. In the Downtown Historic District, canopies, consistent with the Downtown Historic District design guidelines, are required for all new construction and when exterior work is proposed to exceed a value of \$25,000.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.820 - Canopy permit required.

- (a) No person shall construct or maintain a canopy, awning, or cornice without a canopy permit issued pursuant to this chapter.
- (b) The canopy permit application shall include the following:
  - (1) A complete application for a building permit, and the required building permit fee.
  - (2) A site plan, along with scaled drawings of the existing structure to which the canopy will be affixed, showing the full width of the public way upon which the encroachment is proposed, and the extent of the requested encroachment. The Engineering Director, in his or her discretion, may require additional information.
- (c) The application shall be reviewed and a permit issued upon a finding that the proposed construction or other work complies with the building code, the canopy and awning standards listed in section 49.15 below, the setback provisions in CBJ 49.25.430, and any other applicable code requirements.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.830 - Canopy and awning standards.

- (a) Canopies and awnings shall comply with the following:
  - (1) Canopies or awnings shall be approved only if a sidewalk, curb, and gutter extending the entire length of the property frontage exists or is to be constructed under the same permit



application as the awning or canopy.

- (2) Vertical support structures from the pedestrian way are prohibited.
- (3) Canopies shall be designed to direct drainage water into an approved drainage way.
- (4) No awning or canopy shall be constructed in a location or manner which would obstruct, obscure, or interfere with traffic, a traffic control device, street sign, streetlight or utility pole.

(b) In the MU zoning district, canopies and awnings shall meet the following requirements in addition to those in subsection (a), above.

- (1) Canopies and awnings shall span the entire frontage of a building.
- (2) Canopy height, as measured from the sidewalk to the lowest point on the canopy, shall be a minimum of eight feet and a maximum of ten feet above the sidewalk. Canopies shall match the existing canopy heights of adjacent structures, where practicable.
- (3) For new construction, any clerestory must be located above any canopy or awning.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.850 - Indemnification.

Permittees shall sign an agreement, on a form provided by CBJ, containing the following indemnity and hold harmless provision, and are bound by the following provision: "The holder of a canopy permit issued under this chapter, and the holder's successors, heirs and assigns agrees to forever indemnify, hold harmless, and defend the City and Borough of Juneau against all claims and suits of any nature arising in any manner out of the issuance or existence of the permit, the existence of the canopy, awning, cornice, or other encroachment in the public way, or for any other reason related to the existence of the canopy, awning, cornice, or other encroachment, provided, no indemnification is required on account of injury to persons or damage to property caused by the sole negligence of CBJ."

(Serial No. 2007-11, § 2, 4-23-2007)

# NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

## Permit Documents

**OWNER**

AK Griz Bar LLC  
210 Admiral Way  
Juneau, AK 99801  
(907) 723-3442  
Blake Rider

**ARCHITECTURE**



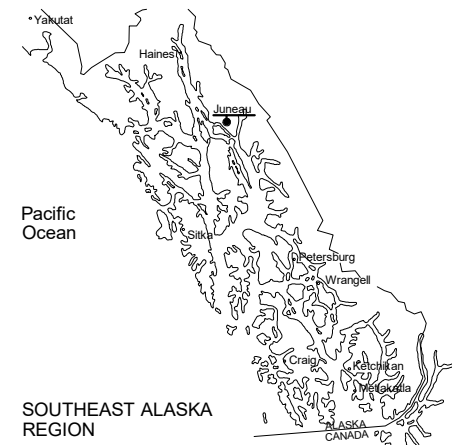
NorthWind Architects, LLC.  
126 Seward St.  
Juneau, AK 99801  
(907) 586-6150  
James Bibb, AIA

**STRUCTURAL**



Sigma Consulting & Engineering, LLC  
PO BOX 20554  
Juneau AK 99801  
(907) 723-3681  
John Malaby

### REGIONAL MAP



### PROJECT SCOPE

THE GRIZ BAR, LOCATED AT THE OUTDOOR PATIO AT 210 ADMIRAL WAY, WANTS TO RENOVATE THE EXISTING GROUND FLOOR PATIO ADJACENT TO THE SOUTHEAST FACADE AND CONSTRUCT A SECOND STORY DECK.

THE EXISTING SECOND STORY EGRESS FROM THE HISTORIC JUNEAU POLICE STATION BUILDING WILL BE IMPROVED WITH A NEW CATWALK FROM THE PROPOSED DECK TO THE EXISTING SECOND STORY EGRESS DOOR, AND A NEW EGRESS STAIRCASE TO THE ALLEY BELOW. A SECOND EGRESS STAIRCASE WILL ALLOW CUSTOMERS TO ACCESS THE SECOND FLOOR DECK FROM THE PATIO.

THE SCOPE OF THIS PROJECT INCLUDES EXCAVATING THE EXISTING PATIO AND REPLACING THE CONCRETE HARDSCAPE WITH A WOOD DECKING FINISH. THE EXISTING BAR WILL BE UTILIZED IN THE NEW FACILITY.

### GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
- ADJACENT SPACE WILL BE OCCUPIED DURING CONSTRUCTION. MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.
- WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
- ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
- THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR INTERIOR SECURE STORAGE OF TOOLS AND EQUIPMENT IN A SPACE TO BE PROVIDED. THIS SPACE WILL BE USED FOR INTERIOR STORAGE TO ACCLIMATE MATERIALS PRIOR TO AND DURING INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. A LOCATION NEAR THE BUILDING WILL BE DESIGNATED FOR A DUMPSTER. DELIVERIES AND STORAGE REQUIREMENTS ARE TO BE COORDINATED WITH THE BUILDING MANAGER.
- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
- NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

### RENDERING FROM ABOVE



### SHEET INDEX

**ARCHITECTURAL**

- G0.0 COVER SHEET
- G0.1 SYMBOLS, CODE ANALYSIS, & EXIT PLAN
- G0.2 PERSPECTIVE
- A0.1 SITE PLAN
- A0.2 DEMOLITION PLAN
- A1.0 FIRST FLOOR PLAN
- A1.1 SECOND FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- A4.0 ENLARGED PLANS
- A5.0 DETAILS

**STRUCTURAL**

- S1 GENERAL NOTES
- S2 GENERAL NOTES
- S3 FOUNDATION PLAN - MAIN
- S4 FOUNDATION PLAN - EGRESS
- S5 FIRST FLR BRACING PLAN - MAIN
- S6 FIRST FLR BRACING PLAN - EGRESS
- S7 SECOND FLR FRMG PLAN - MAIN
- S8 SECOND FLR FRMG PLAN - EGRESS
- S9 SECOND FLR CONNECTION PLAN- MAIN
- S10 SECOND FLR CONNECTION PLAN- EGRESS
- S11 FOUNDATION DETAILS
- S12 TYPICAL DETAILS
- S13 CONNECTION DETAILS
- S14 CONNECTION DETAILS
- S15 CONNECTION DETAILS
- S16 ELEVATIONS AND SECTIONS
- S17 ELEVATIONS AND SECTIONS



01/24/2024

COVER SHEET






SHEET #







**G0.0**

PLOT DATE: 03/22/2024  
ISSUE DATE: 03/22/2024






# SYMBOLS

## GENERAL - LEGEND

-  FLOOR PLAN  
3" = 1'-0"
-  BUILDING SECTION
-  ENLARGED BUILDING SECTION OR WALL SECTION
-  GRID BUBBLE
-  DETAIL KEY







-  KEY NOTE
-  DEMO KEY NOTE
-  ELEVATION
-  REVISIONS
-  PROPERTY LINE
-  PATH OF EGRESS

## FLOOR PLANS - LEGEND

-  ELEVATION
-  PARTITION TYPE
-  WALL OR STRUCTURE
-  DOWNSPOUT
-  STRUCTURAL ELEMENT-  
SEE STRUCTURAL SHEETS

# MATERIALS

## DETAILS - LEGEND

-  CONCRETE
-  EARTH
-  STEEL
-  PLYWD
-  WOOD
-  DECKING

# GENERAL NOTES

1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
3. CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
4. ADJACENT SPACE WILL BE OCCUPIED DURING CONSTRUCTION. MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.
5. WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
6. ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
7. THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR INTERIOR SECURE STORAGE OF TOOLS AND EQUIPMENT IN A SPACE TO BE PROVIDED. THIS SPACE WILL BE USED FOR INTERIOR STORAGE TO ACCLIMATE MATERIALS PRIOR TO AND DURING INSTALLATION.
8. THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. A LOCATION NEAR THE BUILDING WILL BE DESIGNATED FOR A DUMPSTER. DELIVERIES AND STORAGE REQUIREMENTS ARE TO BE COORDINATED WITH THE BUILDING MANAGER.
9. PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
10. NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
11. ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

## ZONING REVIEW

- ZONED MIXED USE
- 0'-0" SETBACK REQ.
- NO VEGETATION COVER REQ
- OCCUPANCY FOR UPSTAIRS DECK: 977/15= 66 PEOPLE
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE
- 1,800 SF FIRST FLOOR DECK

## CODE ANALYSIS

### AUTHORITY HAVING JURISDICTION:

CITY AND BOROUGH OF JUNEAU

### DESCRIPTION:

THE PROPOSED PROJECT INCLUDES A NEW FIRST FLOOR DECK WITH STORAGE AREA AND EXISTING BAR AND NEW SECOND FLOOR DECK WITH CATWALK TO EGRESS STAIRCASE. THE SECOND STORY DECK WILL HAVE TWO (2) EGRESS STAIRCASES OF APPROPRIATE WIDTH (3'-8").

### APPLICABLE CODES:

- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2020 NATIONAL ELECTRICAL CODE (NEC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FIRE CODE (IFC)

### PROJECT SQUARE FOOTAGES:

- FIRST FLOOR DECK (1,800 SF TOTAL)
  - \* STORAGE AREA (146 SF)
  - \* EXISTING BAR (130 SF) AND
- SECOND FLOOR DECK (1163 SF TOTAL)
  - \* ASSEMBLY SPACE (977 SF)
  - \* CATWALK TO EGRESS STAIRCASE (186 SF)

### OCCUPANCY CLASSIFICATION (IBC CHAP 3):

PRIMARY OCCUPANCY ASSEMBLY A-2

TYPE OF CONSTRUCTION (IBC CHAP 6):

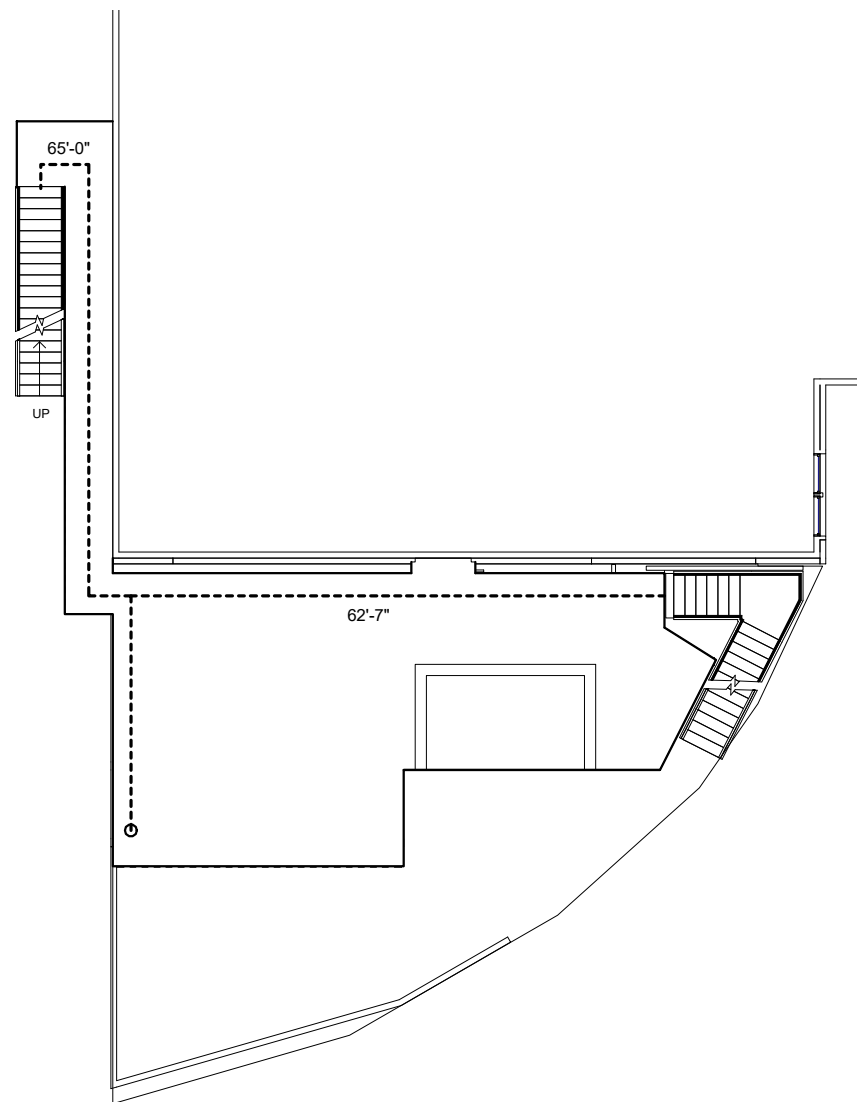
V-B: TYPE V CONSTRUCTION ALLOWS THE USE OF ALL TYPES OF MATERIALS, BOTH NONCOMBUSTIBLE AND COMBUSTIBLE



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK  
 210 ADMIRAL WAY  
 JUNEAU, AK

SHEET TITLE:		
SYMBOLS, CODE ANALYSIS, & EXIT PLAN		
CHECKED	JB	
DRAWN	SCC	
issue	date	description
SHEET # <b>G0.1</b>		
PLOT DATE	02/21/2024	
ISSUE DATE	03/22/2024	



**1 SECOND FLOOR CODE & EXITING PLAN**  
1/8" = 1'-0"



W  
N  
**NorthWind  
Architects, LLC**  
126 Seward St  
Juneau, AK 99801  
Ph #907.586.6150  
www.northwindarch.com

← 1" ACTUAL →  
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.



**NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK**

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**PERSPECTIVE**

CHECKED JB  
DRAWN SCC

issue	date	description

SHEET # **G0.2**  
PLOT DATE 02/21/2024  
ISSUE DATE 03/22/2024

1 PERSPECTIVE

# GENERAL NOTES

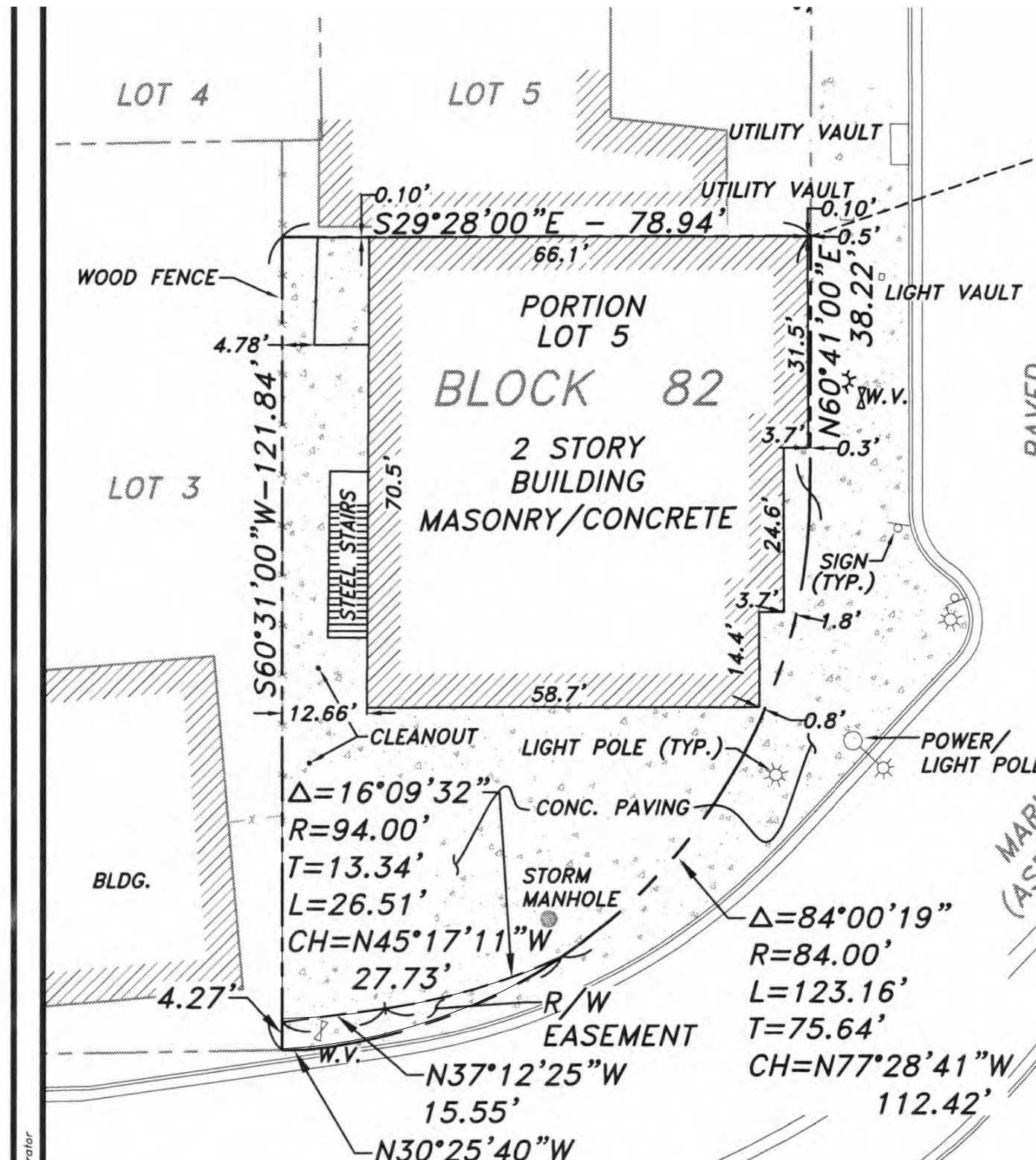
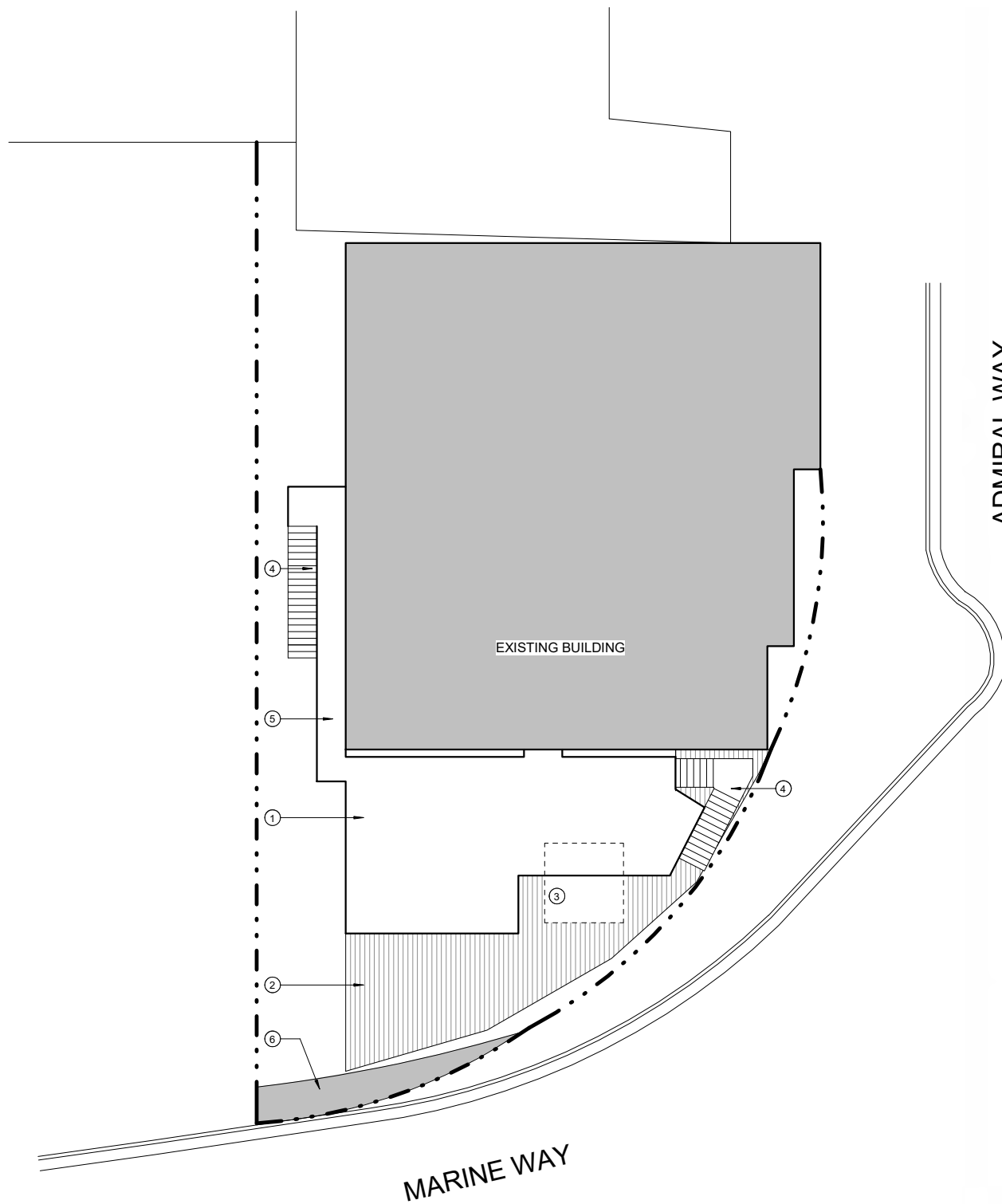
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- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
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- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
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- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

# SITE PLAN KEYNOTES

- NEW SECOND FLOOR DECK
- NEW FIRST FLOOR DECK
- EXISTING BAR
- NEW EGRESS STAIRCASE
- NEW CATWALK TO EGRESS STAIR
- EASEMENT WITH DOT FOR SIDEWALK, CONSTRUCTION TO BE KEPT OUT OF PUBLIC ROW UNLESS CONTRACTOR OBTAINS PROPER PERMITTING FOR CLOSURE



NorthWind Architects, LLC  
 126 Seward St  
 Juneau, AK 99801  
 Ph #907.586.6150  
 www.northwindarch.com

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NWA 2350-210 ADMIRAL WAY GRIZ BAR DECK

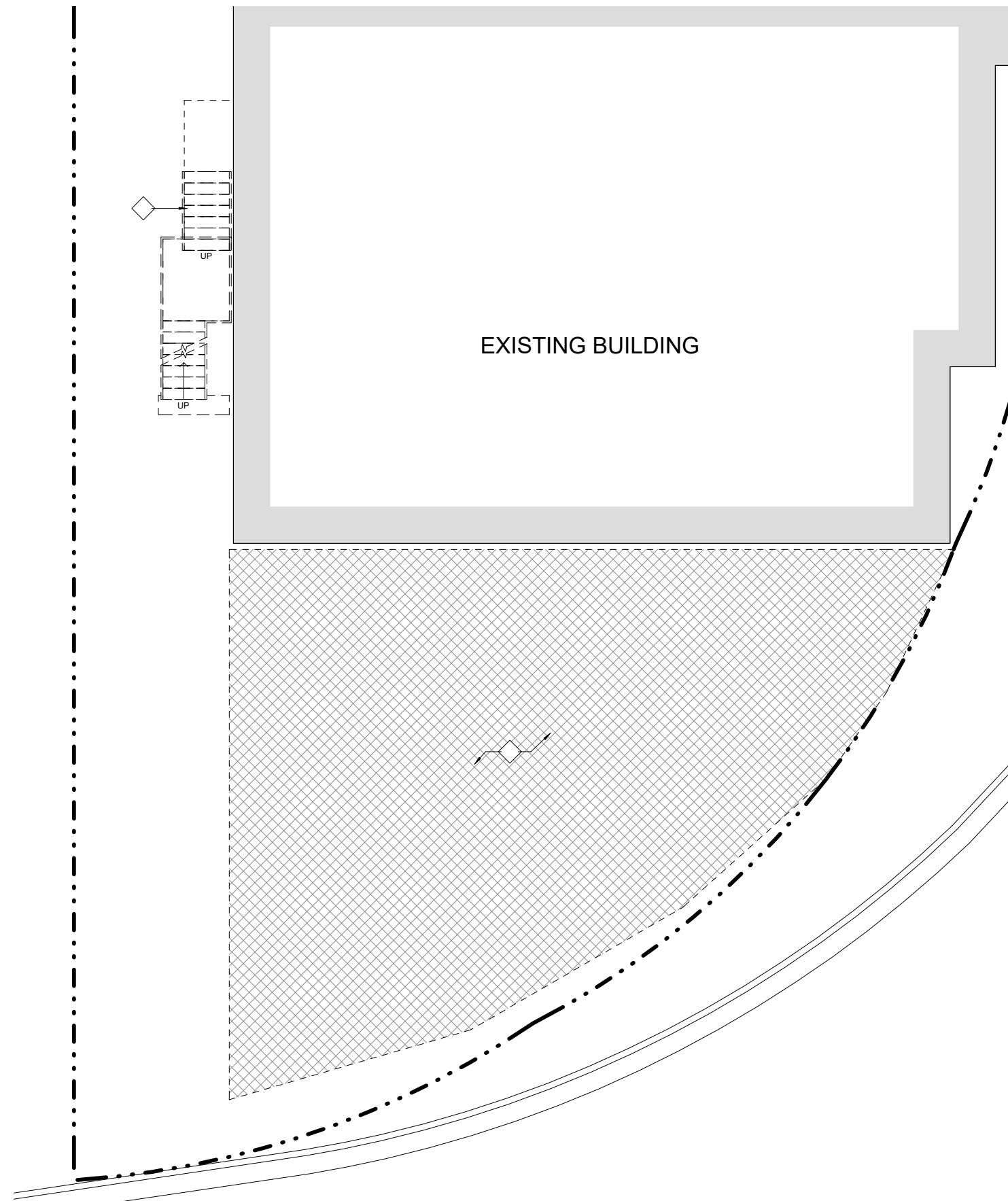
210 ADMIRAL WAY  
 JUNEAU, AK

SHEET TITLE:  
 SITE PLAN

CHECKED DRAWN JB SCC  
 issue date description

SHEET # **A0.1**  
 PLOT DATE 03/21/2024  
 ISSUE DATE 03/22/2024

1 SITE PLAN  
 3/32" = 1'-0"



1 FIRST FLOOR PLAN  
3/16" = 1'-0"



### DEMOLITION NOTES

1. FOR GENERAL NOTES, SEE A0.1.
2. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
3. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR SURFACES, WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY DEMOLITION WORK, TO NEW CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
4. CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
5. DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
6. CONTROL DUST RESULTING FROM DEMOLITION AND REMOVAL WORK TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
7. REMOVE PROTECTION AT COMPLETION OF WORK.
8. CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
9. MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.

### DEMOLITION KEYNOTES

- 1 DEMO EXISTING CONCRETE PAD, EXCAVATE REQUIRED SOIL TO ALLOW FOR NEW PT WOOD FRAMING
- 2 DEMO EXISTING EGRESS STAIRCASE

### DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED/REMOVED
- EXISTING CONCRETE PAD TO BE DEMOLISHED/REMOVED

NOTE: KNOWN HAZARDOUS MATERIALS WILL NOT BE DISTURBED OR IMPACTED BY THIS PROJECT.



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:  
**DEMOLITION PLAN**

CHECKED JB  
DRAWN SCC

issue	date	description

SHEET # **A0.2**

PLOT DATE 02/21/2024  
ISSUE DATE 03/22/2024

## GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
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- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION
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- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

## ZONING REVIEW

- ZONED MIXED USE
- 0'-0" SETBACK REQ.
- NO VEGETATION COVER REQ
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE
- EGRESS STAIRCASE CANNOT BE WINDING STAIR, MUST HAVE EQUAL DISTANCE ON BOTH ENDS OF TREAD
- 1,678 SF FIRST FLOOR DECK

## FLOORPLAN KEYNOTES

- EASEMENT
- ALLEY DRIVEWAY ACCESS
- FOOD TRUCK
- BENCH SEAT
- FIRE PIT
- 36" WOOD FRAMED STEM WALL
- NEW WOOD DECKING, FLUSH TO SIDEWALK
- NEW DECK ABOVE
- DECK STRUCTURE EXTENSION ABOVE FOR COVER
- STORAGE AREA
- NEW COOLER
- WOOD-FRAMED WOOD SLAT PRIVACY WALL TO BTM OF DECK ASSEMBLY
- DOWNSPOUT TO DRAINAGE PATH UNDERNEATH DECKING
- STORM MANHOLE



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:

**FIRST FLOOR PLAN**

CHECKED: JB  
DRAWN: SCC

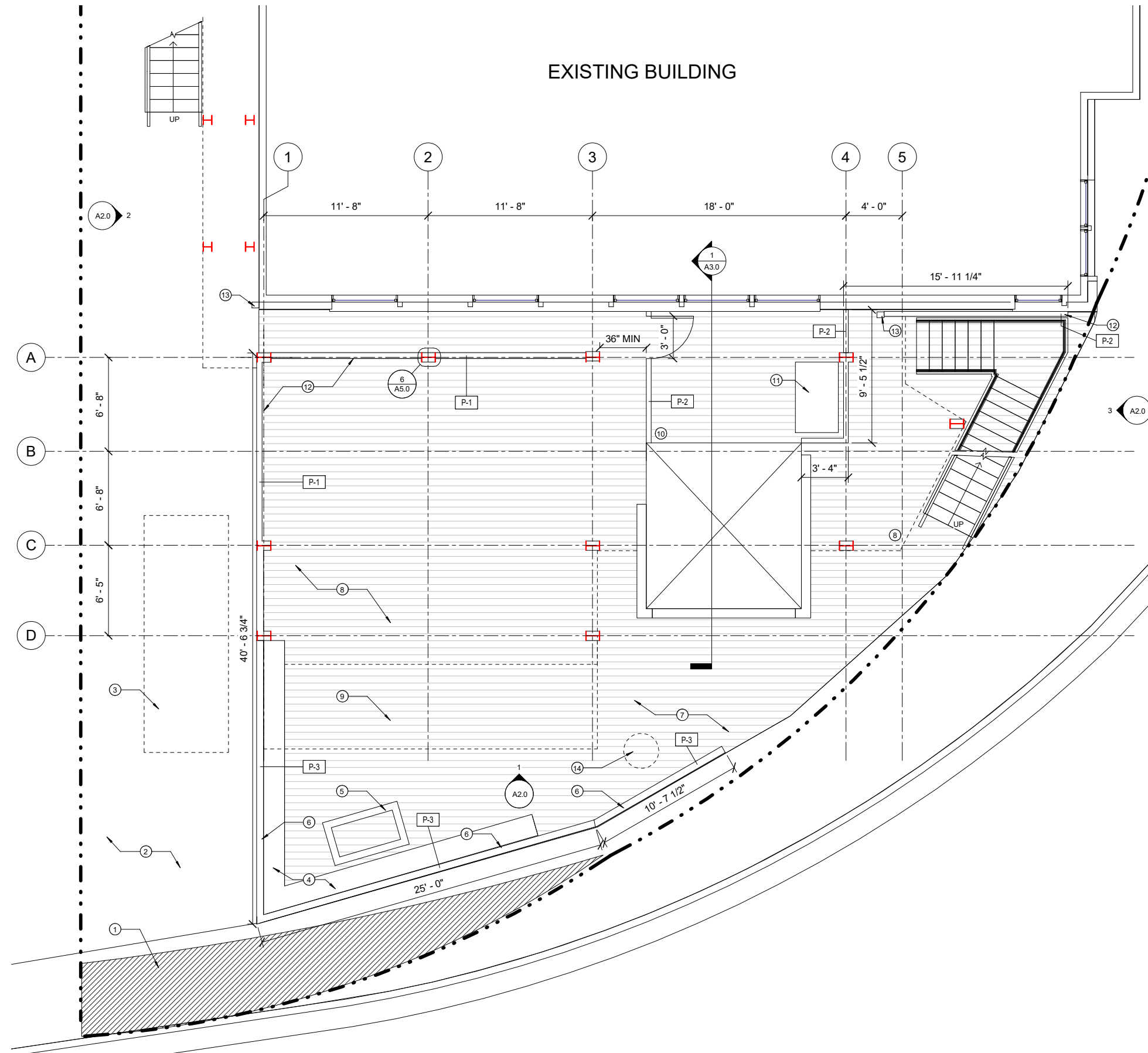
issue date description

SHEET #

**A1.0**

PLOT DATE: 03/22/2024

ISSUE DATE: 03/22/2024



**1 FIRST FLOOR PLAN**  
1/4" = 1'-0"



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## ZONING REVIEW

- 977 SF DECK
- 1163 SF TOTAL WITH CATWALK
- OCCUPANCY FOR UPSTAIRS DECK: 977/15= 66 PEOPLE
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE

## FLOORPLAN KEYNOTES

- DECK PLATFORM
- STEP UP
- 6" COMMERCIAL GUTTER
- EGRESS CATWALK
- 12" DEEP BUILT-IN BAR TOP WITH BACKSPASH
- BAR BELOW
- COMMERCIAL GUTTER
- CANOPY
- 12" HANDRAIL EXTENSIONS
- TRANSITION BETWEEN DECK AND STAIRCASE



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 250-210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

SHEET TITLE:

**SECOND FLOOR PLAN**

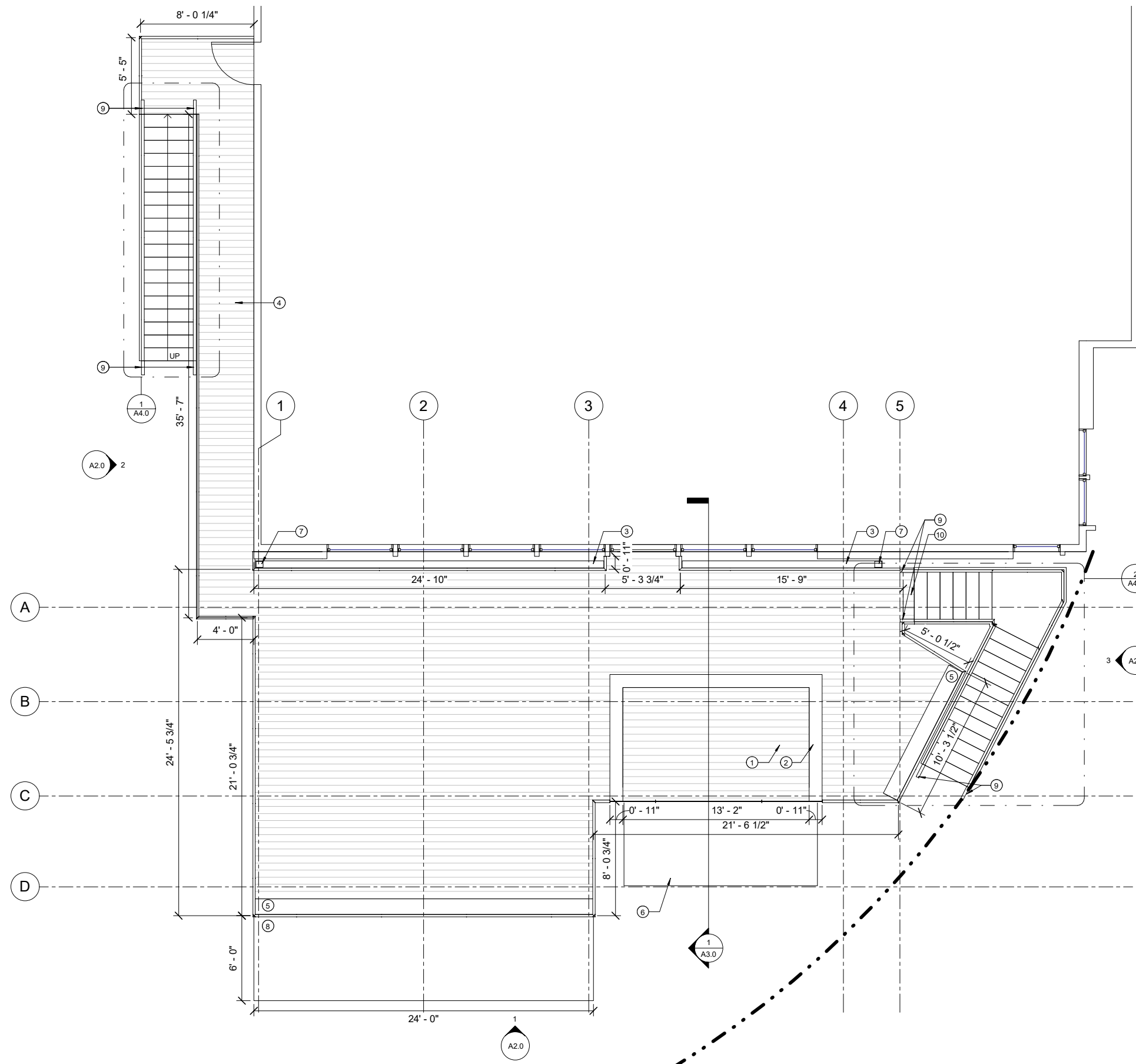
CHECKED: JB  
DRAWN: SCC

issue date description

SHEET #

**A1.1**

PLOT DATE: 03/22/2024  
ISSUE DATE: 03/22/2024



**1 SECOND FLOOR PLAN**  
1/4" = 1'-0"





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NWA 2350-210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

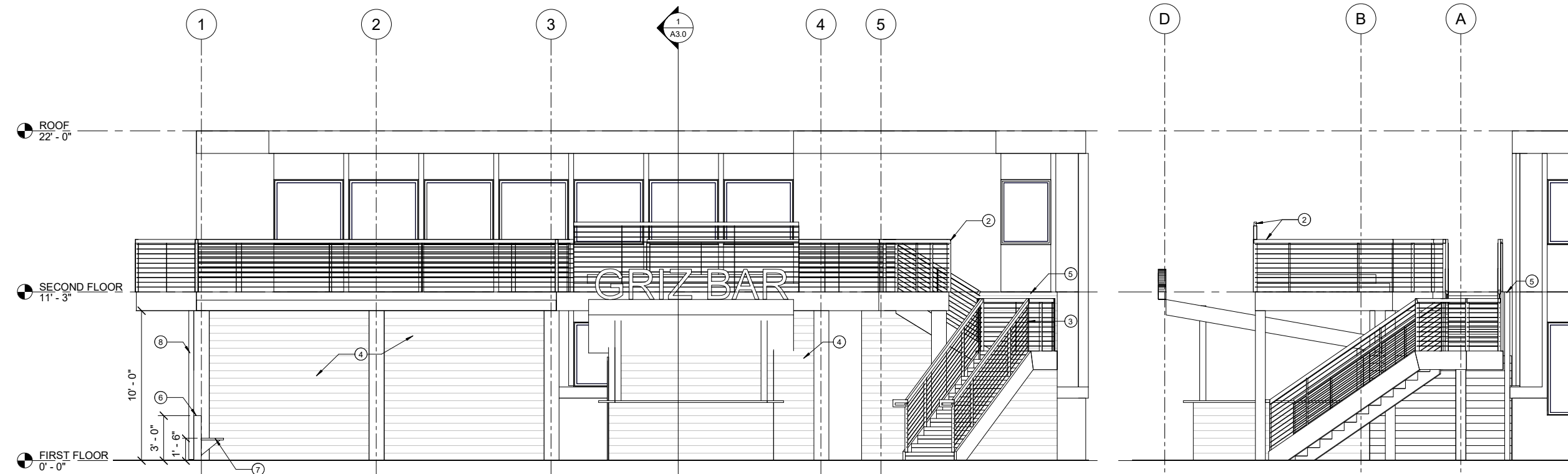
SHEET TITLE:  
**ELEVATIONS**

CHECKED: JB  
DRAWN: SCC

issue	date	description

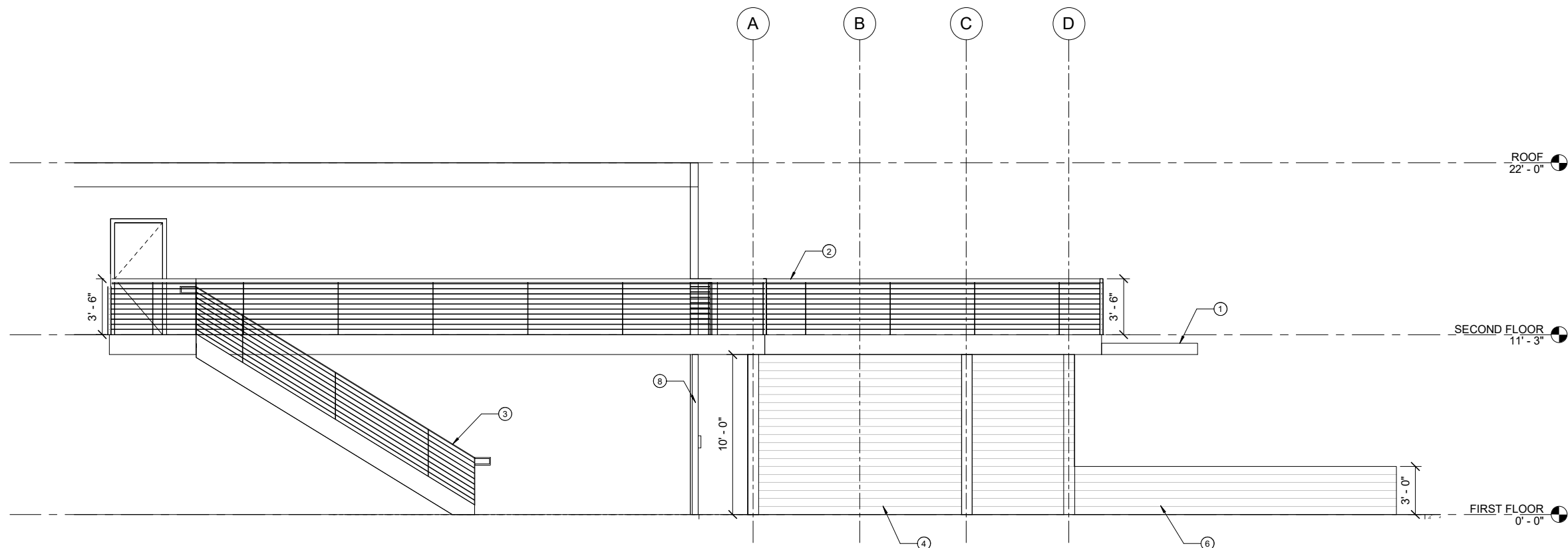
SHEET # **A2.0**

PLOT DATE: 02/21/2024  
ISSUE DATE: 03/22/2024



**1 SOUTH ELEVATION**  
1/4" = 1'-0"

**3 EAST ELEVATION**  
1/4" = 1'-0"



**2 WEST ELEVATION**  
1/4" = 1'-0"

## ELEVATION KEYNOTES

- CANOPY
- 42" GUARDRAIL WITH SS CABLES
- 36" RAILING WITH SS CABLES
- 120" PARTITION WALL TO BOTTOM OF STRUCTURE
- 135" PARTITION WALL
- 36" PARTITION WALL
- BUILT-IN BENCH WITH BRACKETS
- DOWNSPOUT TO DRAINAGE PATH UNDERNEATH DECKING
- 6" COMMERCIAL DOWNSPOUT

## GENERAL NOTES

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NWA 2350-210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

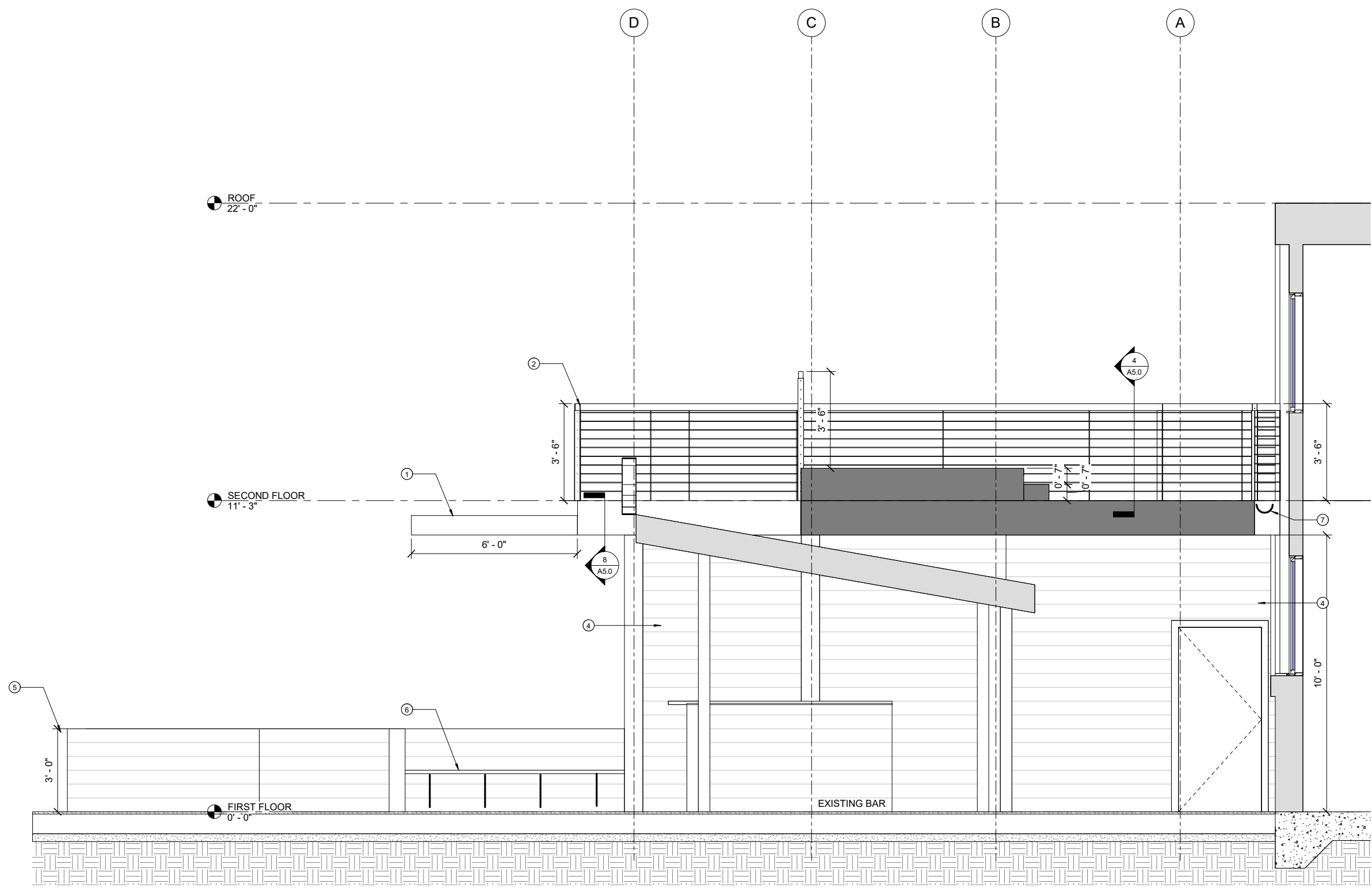
## SECTION KEYNOTES

- CANOPY
- 42" GUARDRAIL WITH SS CABLES
- 36" RAILING WITH SS CABLES
- 120" PARTITION WALL
- 36" PARTITION WALL
- BUILT-IN BENCH WITH BRACKETS
- 6" COMMERCIAL DOWNSPOUT

SHEET TITLE:  
**SECTIONS**

CHECKED	JB	
DRAWN	SCC	
issue	date	description

SHEET # **A3.0**  
PLOT DATE 02/21/2024  
ISSUE DATE 03/22/2024



**1** SECTION  
1/2" = 1'-0"

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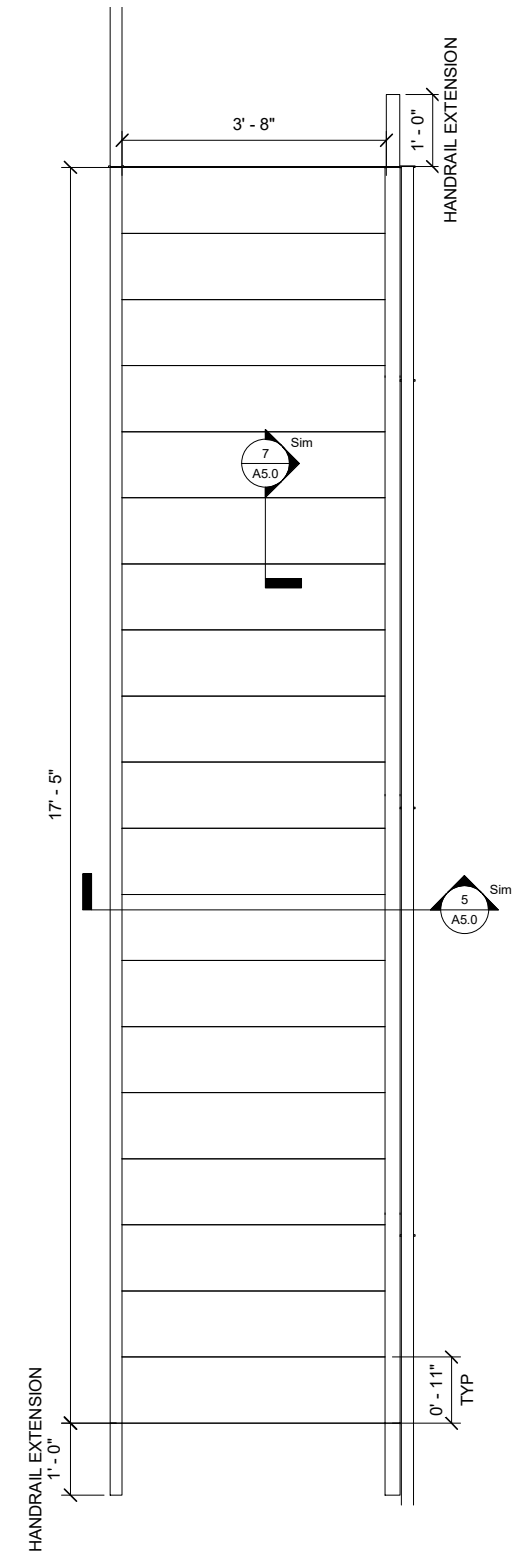
**NWA 250-210 ADMIRAL WAY GRIZ BAR DECK**

210 ADMIRAL WAY  
JUNEAU, AK

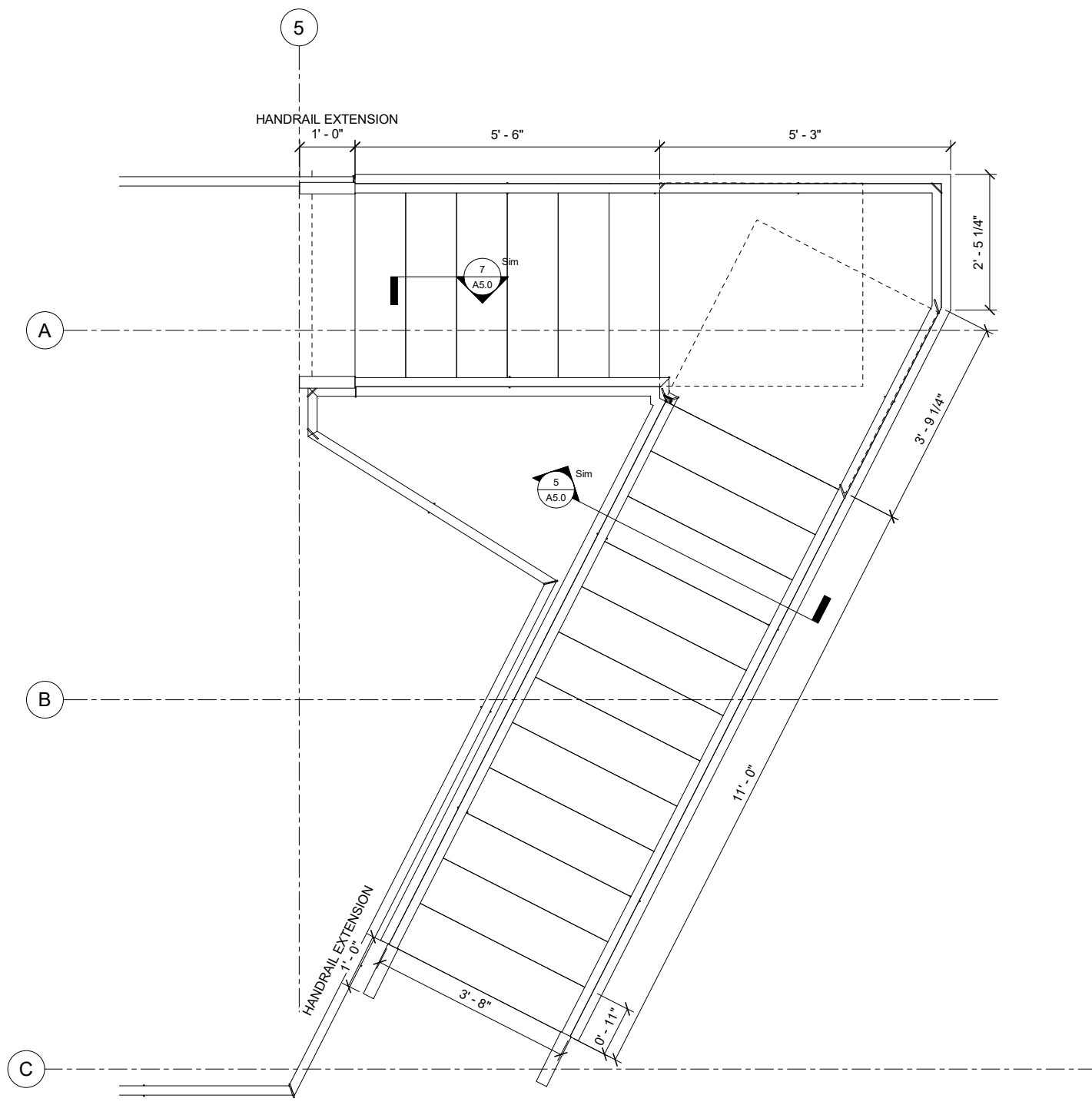
SHEET TITLE:  
**ENLARGED PLANS**

CHECKED	JB	
DRAWN	SCC	
issue	date	description

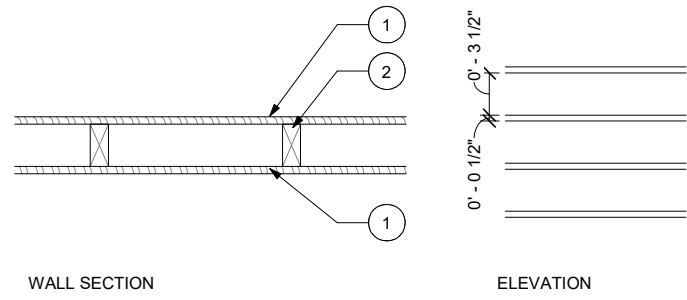
SHEET #	<b>A4.0</b>
PLOT DATE	02/21/2024
ISSUE DATE	03/22/2024



**1** EGRESS STAIRCASE- N  
3/4" = 1'-0"

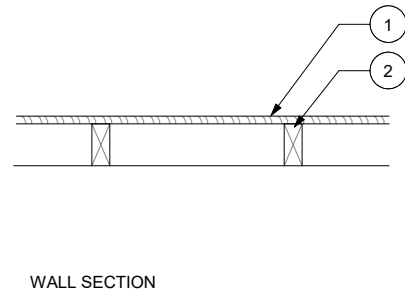


**2** EGRESS STAIRCASE- S  
3/4" = 1'-0"

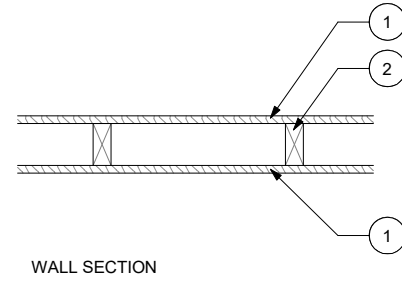


WALL SECTION

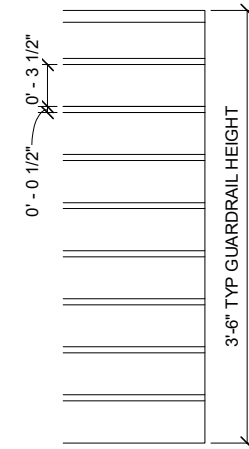
ELEVATION



WALL SECTION

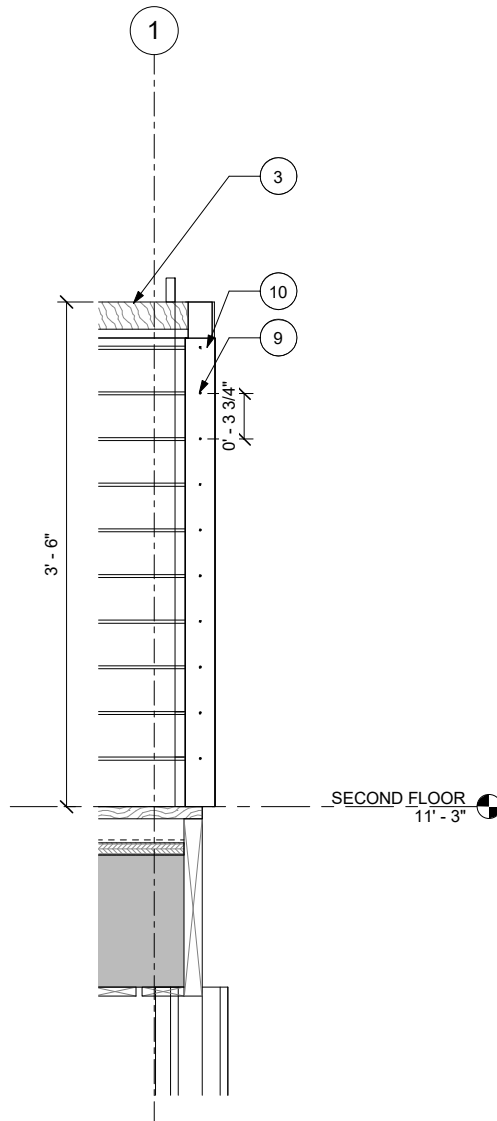


WALL SECTION



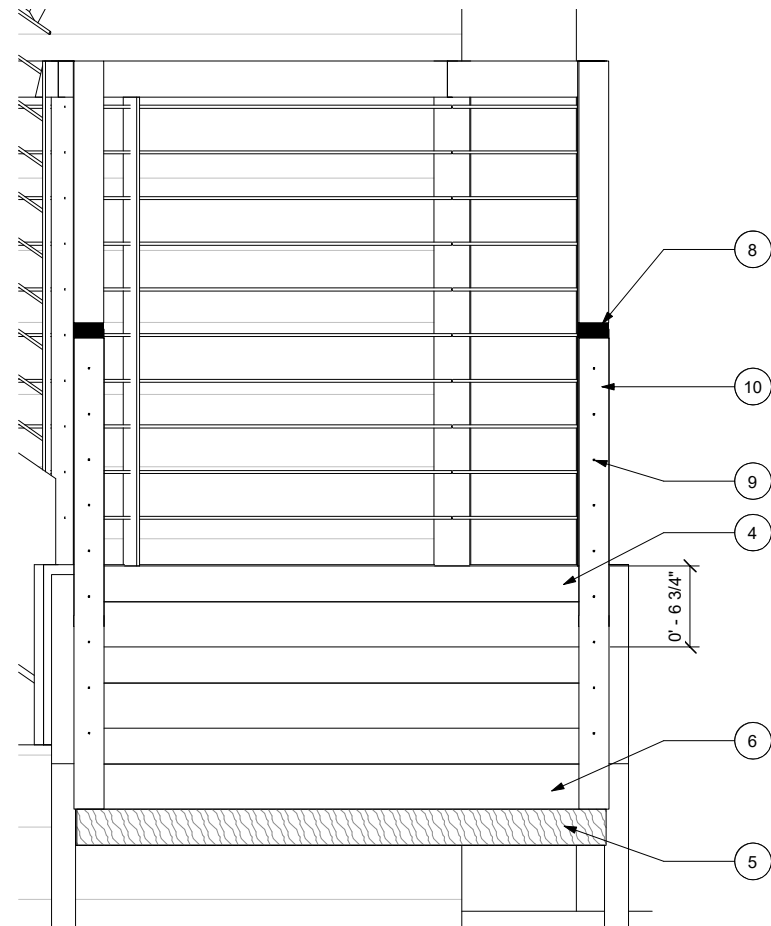
ELEVATION

**1** P-1 PARTITION WALL  
1 1/2" = 1'-0"



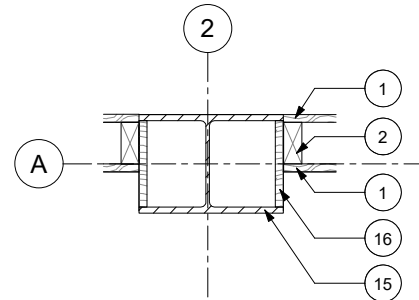
**4** RAILING DETAIL  
1 1/2" = 1'-0"

**2** P-2 PARTITION WALL  
1 1/2" = 1'-0"

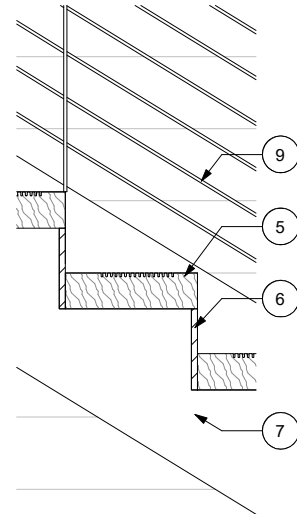


**5** STAIR DETAIL  
1 1/2" = 1'-0"

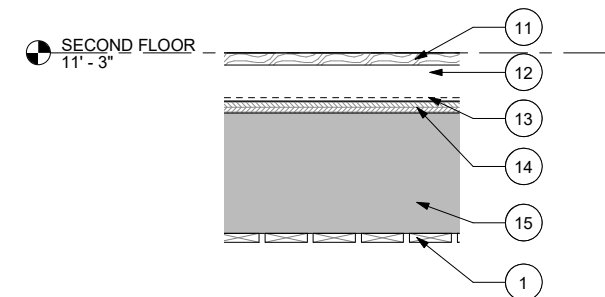
**3** P-3 PARTITION WALL  
1 1/2" = 1'-0"



**6** COLUMN DETAIL  
1 1/2" = 1'-0"



**7** STAIR DETAIL  
1 1/2" = 1'-0"



**8** DECK DETAIL  
1 1/2" = 1'-0"

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3. DO NOT SCALE OFF OF DRAWINGS
4. DIMENSIONS ARE TO FINISH FACE
5. DIMENSIONS LOCATING OPENINGS ARE TO CENTERLINE OF OPENING, UNO.

**DETAIL KEY NOTES**

1. 1X4 WOOD, STAINED, SPECIES AND COLOR TBD
2. WD FRAMING, EXTERIOR USE
- 12" BAR TOP WITH BACKSPASH
4. METAL EGRESS STAIRCASE
5. GROOVED WOOD TREADS, EGRESS PATHS TO BE SLIP RESISTANT
6. SOLID RISERS, PER IBC EGRESS STANDARDS
7. MTL STRINGER (2) PER STAIRCASE, INSET APPROX. 12" FROM EDGE OF STAIR
8. WOOD CONTINUOUS HANDRAIL, SPECIES AND COLOR TBD. GRIPPABLE SURFACE TO BE NON-CIRCULAR, 2 1/4" MAX DIAMETER
9. STAINLESS STEEL CABLES, SPACED 4" O.C. NO OPENINGS SHALL ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER
10. MTL FIN BALUSTER
11. WOOD OR SYNTHETIC WD DECKING, TBD
12. SLEEPER SPACERS
13. MEMBRANE
14. PLYWOOD
15. STRUCTURE, SEE STRUC. SHEETS
16. 1X WOOD INFILL, SPECIES AND COLOR TBD



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

NWA 250-210 ADMIRAL WAY CRIZ BAR DECK

210 ADMIRAL WAY  
JUNEAU, AK

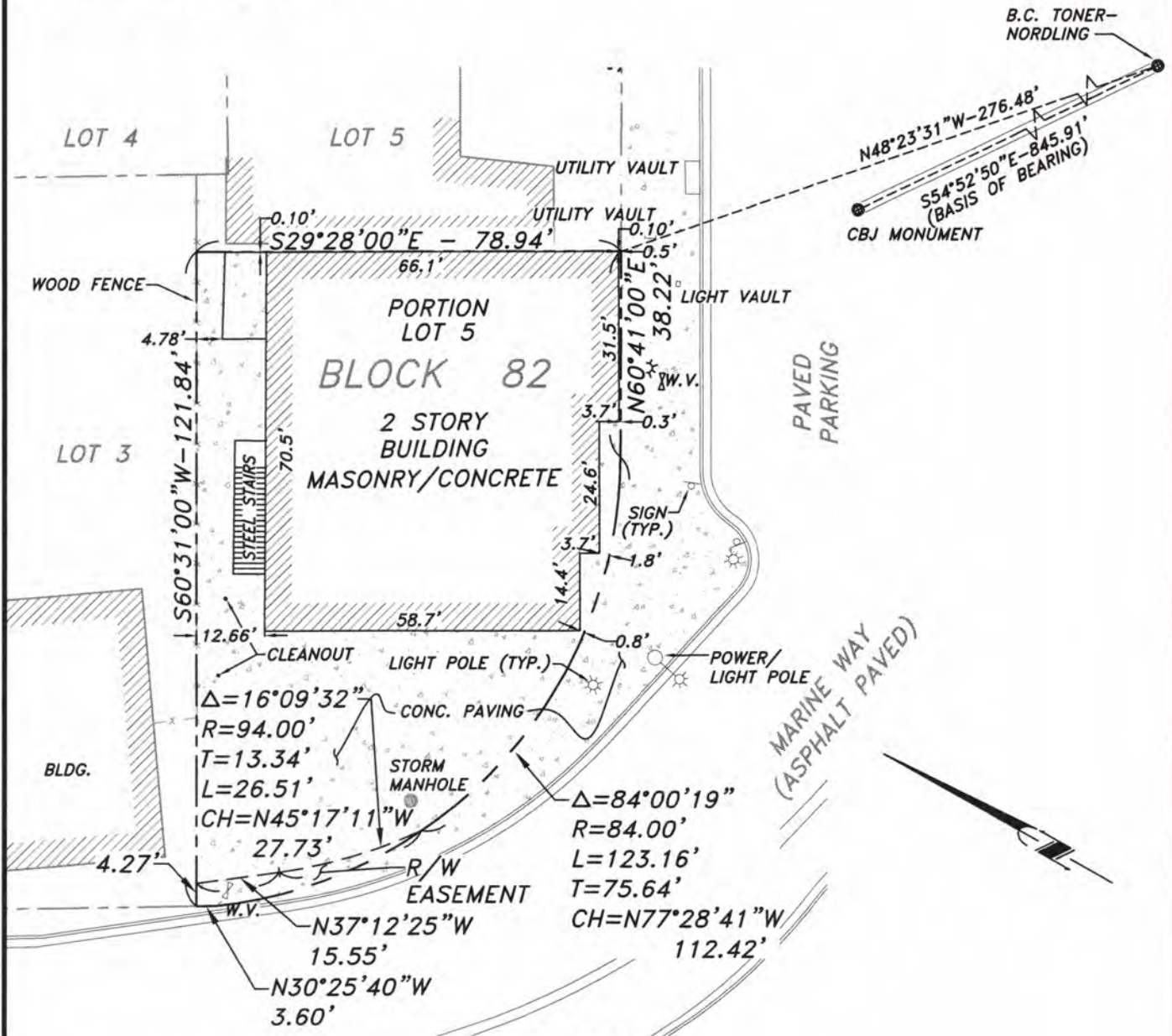
SHEET TITLE:  
**DETAILS**

CHECKED	JB	
DRAWN	SCC	
issue	date	description

SHEET # **A5.0**  
PLOT DATE 03/22/2024  
ISSUE DATE 03/22/2024

**NOTE:**

UNDER NO CIRCUMSTANCES SHOULD ANY DATA HEREON BE USED FOR CONSTRUCTION OR FOR ESTABLISHING BOUNDARY OR FENCE LINES.



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT PLAT OF LOT 5, BLOCK 82, ALASKA TIDELANDS SURVEY NO. 3, AND THAT ALL WALKS, ROADS, EASEMENTS AND IMPROVEMENTS APPEARING ON THE LAND ARE AS SHOWN, AND THERE ARE NO ENCROACHMENTS OR OVERLAPS OF IMPROVEMENTS.



AN AS-BUILT SURVEY PLAT OF LOT 5, BLOCK 82, WITHIN A.T.S. No. 3 CITY & BOROUGH OF JUNEAU, ALASKA

DATE	SCALE	DRAWN BY	CHECKED BY	PROJECT NO.	DRAWING NO.
June 27, 2005	1"=20'	MLL	MAJ	051755	1-1

I:\2005\051755\051755A.BDWG PLOT: June 27, 2005 at: 9:15am Administrator



# BUILDING PERMIT

Permit No.  
BLD20200074

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

### Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

### Inspections

Inspections can be arranged by telephoning 586-1703 or by written or by online form or Email.

The Online Building Inspection Request Form is at: [www.juneau.org/community-development/cdd-inspection-request](http://www.juneau.org/community-development/cdd-inspection-request).

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

All inspections must be requested before noon the business day prior. Same day inspections must be requested by calling 586-0770

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **206 ADMIRAL WAY**

Issued Date : **03/03/2021**

Permit Number: **BLD20200074**

Parcel No: **1C070K820050**

Project Description: Temporary seasonal structure for AK Grizzly Bar. MODIFIED 7/14/20 to expand deck and install propane tank

Parcel Information : TIDELANDS ADDITION BL 82 LT 5 FR

Setbacks: Zone: :  
Front: 0.00 Side 1: 0.00  
Rear: 0.00 Side 2: 0.00  
Street Side: 0.00

Comments:

Owner : 210ADMIRALTYWAY LLC  
C/O JUNEAU REAL ESTATE  
8800 GLACIER HWY UNIT 219  
JUNEAU AK 99801

Applicant : AK GRIZZLY BAR LLC  
4475 N DOUGLAS HWY  
JUNEAU AK 99801

Fee Type	Date	Receipt	Amount Paid
BLD- Comm Plan Review	02/28/2020	57538	\$36.82
BLD- Bldg Permit Fee	02/28/2020	57538	\$54.00
BLD- Comm Plan Review	07/14/2020	58033	\$36.82
Total Fees Paid:			\$127.64

### Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
Total Valuation:			\$0.00

### Project Conditions and Holds:

**DEC Approval** - DEC approval to operate shall be submitted to building department before certificate of occupancy or final inspection is approved.

**Asbuilt Survey May Be Req'd** - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

**Foundation Setback Verification** - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

**Accessible Tables** - Tables: minimum 5% of tables (and at least one) to be accessible: top 28"-34" high; and kneespace below min 27" high, min 30" wide, and min 19" deep.

**Approved Fasteners** - Fasteners hangars and brackets used on the exterior of the building and or used with pressure-preservative or fire retardant-treated woods shall be listed and approved products for such use.

**Approved Plans On Site** - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 586-0770 - FAX: 586-4529 - Inspection Requests: 586-1703, [Inspections@Juneau.org](mailto:Inspections@Juneau.org) - Questions, Email: [permits@juneau.org](mailto:permits@juneau.org)  
Web Site: [www.juneau.org/community-development](http://www.juneau.org/community-development)

Attachment D - BLD2020-074 For temporary seasonal placement



# BUILDING PERMIT\*

Permit No.  
BLD20200074  
Page No. 2

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.		
B-Electrical Final	B-Plumbing Final	B-Setback Verification
B-Framing	B-Rough Electrical	B-Rough Plumbing
B-Building Final	B-Zoning Final	

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 586-0770 - FAX: 586-4529 - Inspection Requests: 586-1703, [Inspections@Juneau.org](mailto:Inspections@Juneau.org) - Questions, Email: [permits@juneau.org](mailto:permits@juneau.org)  
Web Site: [www.juneau.org/community-development](http://www.juneau.org/community-development)

Attachment D - BLD2020-074 For temporary seasonal placement





Statutory Warranty Deed

Attachment F - 1981 Warranty deed that split Block 82, Lot 5 into fractions.

THE CRANTOR FRANKLIN MARINE LIMITED PARTNERSHIP

residing at P. O. Box 1211, Juneau, Alaska, 99802

for and in consideration of TEN DOLLARS

RIPLEY

in hand paid, conveys and warrants to RUDY J. and JUDY RIPLEY, Husband and Wife

P. O. Box 1708, Juneau, Alaska 99802

the following described real estate:

A tract of land in Lot 5, Block 82, Tidelands Addition to Juneau, Juneau Recording District, First Judicial District, State of Alaska, described as:

BEGIN at the North Corner of said lot, run thence S 29° 51' 45" E 74.31 feet to the East corner of said lot; thence S 60° 41' W 82.82 feet; thence N 29° 28' W 78.94 feet to the Northwest line of said lot; thence N 60° 31' E 14.40 feet; thence S 30° 24' E 5.94 feet; thence N 59° 37' E 67.81 feet to the point of beginning.

EXCEPTIONS:

1. Reservations in the State of Alaska Patent.

2. Terms, provisions and reservations under the Submerged Lands Act (43 USCA 1301, 67 Stat. 29) and the enabling act (Public Law 35-508, 72 Stat. 339). Rights of the United States of America and the State of Alaska to regulate commerce, navigation, flood control, fishing and the production of power.

3. 1981 City and Borough of Juneau taxes.

8-7-81  
8.00

FILED  
REC.  
NOT

SEP 28 3 17 PM '81

POSTED BY TIA

ADDRESS \_\_\_\_\_

situated in the State of Alaska.

DATED this 28th day of September, 1981

FRANKLIN MARINE LIMITED PARTNERSHIP

By Norma L. Ballard (seal)  
Norma L. Ballard, General Partner

ACKNOWLEDGEMENT

STATE OF ALASKA

CITY OF JUNEAU ss.

THIS CERTIFIES that on this 28th day of September 19 81, before me, the undersigned, a Notary Public in and for the State of Alaska, personally appeared NORMA L. BALLARD, General Partner of FRANKLIN MARINE LIMITED PARTNERSHIP to me known and known to me to be the person(s) named as grantor(s) in the foregoing deed and she (individually) acknowledged to me that she executed the same freely and voluntarily for the uses and purposes therein mentioned.

WITNESS my hand and official seal the day and year in this certificate first above written.

Notary Public for Alaska.

My commission expires: 8-7-82

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

**Your special attention is called to the following:**

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

**COMPLETED**

Inspections can be arranged by telephoning **586-1703** or by written or faxed notification.  
 The Online Building Inspection Request Form is at: [www.juneau.org/permits/inspect\\_request.htm](http://www.juneau.org/permits/inspect_request.htm).  
 Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:30 AM for same day inspections.

Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address: <b>210 ADMIRAL WAY</b>	Issued Date: <b>7/21/2005</b>
Permit Number: <b>BLD2005-00414</b>	Parcel No: <b>1C070K820050</b>
Project Description: <b>WARNER BLDG RETAIL REMODEL</b> Remodel first floor of Warner Building to create three separate retail spaces.	

Parcel Identification: <b>TIDELANDS ADDITION BL 82 LT 5 FR</b>
--

Setbacks: Front:      Rear:      Zone:      Side 1:      Side 2:
Comments:

Owner: <b>TRANS GULF INVESTORS LTD PARTNERSHI</b> Address: City: <b>ANCHORAGE, AK 99515</b>	Applicant: <b>KE MELL ARCHITECTS</b> Address: <b>PO BOX 2-1898</b> City: <b>JUNEAU, AK 99802</b>
---	--

Fee Type	Date	Receipt	Amount Paid	Valuation for Permit Fee Calculations:
1 Permit Fee	7/6/2005	20700	130.68	
1 Commercial Plan Revi	7/6/2005	20700	84.94	Total Valuation: <b>7,500.00</b>
1 Investigation Fee	7/21/2005	20835	130.68	
Total Fees Paid:			<b>346.30</b>	

- Project Conditions and Holds:
- 1 Sales-Service counters in B & C: a portion of the counter at least 36" long must be not over 36" high.
  - 2 Mount fire extinguishers in all three units not over 5' high.
  - 3 New ventilation window required in left side unit A: minimum .55 sq ft net opening (79.2 sq inches).
  - 4 Ventilation fan required for storage room in central unit B.
  - 5 Recessed front entrance doors to central unit B: to meet ADA -- threshold not over 1/2", push-pull or lever or panic hardware. If closer then not over 8.5# force, and to take minimum 3 seconds to go from 70-degrees open to 3" from latch.
  - 6 Sign above B and C doors, if keyed lock is on inside of door: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." Sign to be readily visible, high contrast, with letters minimum 1" high.
  - 7 Objects protruding from a wall over 4" in depth into a path of travel whose bottom edge is over 27" high and less than 80" high require a cane-detectable surface below them that's not over 27" high. A few examples: paper towel dispensers, hand dryers, extinguishers, trash receptacles, high sides of water fountains, counters, light fixtures, etc.  
 Thus objects whose bottom edge is not over 27" high, or that are more than 80" high, can protrude any amount -- as can objects not in a path of travel.
  - 8 In unit B, provide cane detectable surface below the sloping stairway where it is less than 80" high.
  - 9 New work operable parts like new storage room's fan control, switches, outlets, to be min 15" and not over 48" high.

## Attachment G - BLD2005-414 First floor renovation

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

10 MOD2005-00031 APPROVED: Provide ventilation to 412 sq ft of storage associated with Store B by means of an exhaust fan providing 63.3 cfm min in the north exterior wall and undercutting door between retail space and storage. The existing walls between Store B retail and storage, Store C and Store B's storage and the exterior walls to the storage on two sides are concrete, without openings to the exterior, considerably complicating natural ventilation.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

140	Insp - Framing	400	Insp - Ventilation/Plenums	450	Insp - Conduits raceways
800	Insp - Commercial Final				

## Attachment G - BLD2005-414 First floor renovation



# BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Project Name: **WARNER BLDG RETAIL REMODEL**

Case No: **BLD2005-00414**

Project No: BLD2005-00414

Case Description: Remodel first floor of Warner Building to create three separate retail spaces.

Site Address: **210 ADMIRAL WAY**

Check No. of Existing Dwelling Units:

Parcel No: 1C070K820050

No. of New Dwelling Units:

Legal Description: TIDELANDS ADDITION BL 82 LT 5 FR

Applicant: **KE MELL ARCHITECTS**

Address: PO BOX 2-1898

City: JUNEAU, AK 99802

PH1 463-3942

FAX 463-3941

EML kemell@alaska.com

Owner: **TRANS GULF INVESTORS LTD PARTNERSHI**

Address: 3461 KACHEMAK

City: ANCHORAGE, AK 99515

PH: 586-1204 FAX \_\_\_\_\_

Contractor: **PERFECT FIT THE**

Address: 434 WILLOUGHBY AVE #B

City: JUNEAU, AK 99801

License No: AA19916

### Valuation for Permit Fee Calculations:

Description	S.F	Type	Amount
BUILDING PERMIT			7,500.00
Total Valuation:			7,500.00

### Permit Fees Paid at Application:

Fee Type	Date Paid	Receipt	Check or Credit #	Amount Paid
1 Permit Fee	7/6/2005	20700	2595	130.68
1 Commercial Plan Review	7/6/2005	20700	2595	84.94
Total Fees Paid:				215.62

### Associated Cases:

None.

### Parcel Tags:

GPC March 23 2001 - This building is located in a mapped moderate hazard zone. In connection with change of use permit BLD2001-00143 the following was determined: No change required for parking due to CBJ49.40.210(c)(2)(d).  
No Hazard CU required since the building is being converted to a less intense use.

### Notes and Conditions:

  
Applicant's Signature

7/6/05  
Date

  
Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

### Attachment G - BLD2005-414 First floor renovation

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801

Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us

Web Page: HTTP://WWW.JUNEAU.ORG/PERMITS

# BUILDING PERMIT APPLICATION

(Including Water, Sewer, Driveway, Grading, Mechanical, Plumbing, Electrical, and Building Safety Inspections)

(APPLICANT PLEASE FILL IN TOP PORTION OF PAGE AFTER FIRST LINE)

Project No:	Project Name: (City Staff to assign name)	Case No:	Date Received:
<b>CONTRACTOR/OWNER-BUILDER</b> The Perfect Fit <input type="checkbox"/> Contact by E-Mail		Contact Person BRAD CURE	Phone No.
Mailing Address		FAX No.	License Number
<b>ARCHITECT/ENGINEER</b> KE MELL <input checked="" type="checkbox"/> Contact by E-Mail: kemell@ataska.com		Contact Person Ke Mell	Phone No. 463-3942
Mailing Address PO Box 2-1898, Juneau, AK 99801		FAX No. 463-3941	License Number A7901
<b>PERMIT CLASS</b> <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> REPAIR/REMOD <input type="checkbox"/> DEMOLITION <input type="checkbox"/> GRADING <input type="checkbox"/> DRIVEWAY <input type="checkbox"/> BUILDING SAFETY <input type="checkbox"/> OTHER			
<b>BUILDING TYPE</b> <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Other			
EXISTING DWELLING UNITS ON PROPERTY: 0 NEW DWELLING UNITS THIS PROJECT: 0 TOTAL EXISTING BUILDINGS ON PROPERTY: 1			
<b>DESCRIPTION OF WORK:</b> Construct interior walls, relocate exhaust fan, rehang doors		<b>VALUE:</b> TYPE (ie: house, garage, deck, unfinished) New: _____ Sq. Ft. New: _____ Sq. Ft. New: _____ Sq. Ft. New: _____ Sq. Ft. Cost of Remodeling: \$ 7,500 (if any)	
I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.			
Signature of Owner, Contractor or Authorized Agent: x Ke Mell		Date: x 7/6/05	

(OFFICE USE ONLY BELOW THIS LINE)

<b>BUILDINGS</b> Occupancy Class _____ Type of Construction _____ FCC Code _____ Permit Classification _____	<b>BUILDING PERMIT FEES</b> <b>PLAN REVIEW FEES</b> Building Plan Review \$ _____ Grading Plan Review \$ _____ Total Review Fees \$ _____ <b>PLAN REVIEW PAYMENT</b> Date _____ Receipt No. _____ CK _____																																							
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Occupancy</th> <th>Square Feet</th> <th>@ Rate</th> <th>= Valuation</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> Bedrooms _____ Stories _____	Occupancy	Square Feet	@ Rate	= Valuation																					<b>PERMIT ISSUANCE FEES</b> Adjusted Plan Review Fee \$ _____ Fast Track Fee \$ _____ Early Start Fee \$ _____ Building Permit Fee \$ _____ Water Assessment Fee \$ _____ Water Inspection Fee \$ _____ Sewer Assessment Fee \$ _____ Sewer Inspection Fee \$ _____ Grading Permit Fee \$ _____ Driveway Permit Fee \$ _____ Bond for \$ _____ Other \$ _____ Total Issuance Fees \$ _____ <b>PERMIT ISSUANCE PAYMENTS</b> Date _____ Rcpt _____ Ck _____ \$ _____ Date _____ Rcpt _____ Ck _____ \$ _____ Date _____ Rcpt _____ Ck _____ \$ _____ Date _____ Rcpt _____ Ck _____ \$ _____															
Occupancy	Square Feet	@ Rate	= Valuation																																					
<b>LAND USE</b> PARKING _____ FLOOD ELEV. _____ FIRM ZONE _____ FIRM MAP _____ <b>LAND USE PERMITS:</b> Case Number _____ Case Number _____ Case Number _____ Case Number _____	<b>ENGINEERING/PUBLIC WORKS</b> CITY WATER Units: _____ Case No: _____ Service - Size _____ Fire Line - Size _____ Metered _____ Extended Pay # _____ CITY SEWER Units: _____ Case No: _____ BOND Case No: _____ OTHER Case No: _____ ADEC On-site Water No _____ Date _____ ADEC On-site Sewer No _____ Date _____																																							
<b>Water Connection Permits</b> I hereby acknowledge receipt of a _____ inch meter valve. <input checked="" type="checkbox"/> _____ Date: _____	<b>PLAN REVIEW APPROVALS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>Initials</th> <th>Date</th> </tr> </thead> <tbody> <tr><td>Fire</td><td> </td><td> </td></tr> <tr><td>Zoning</td><td> </td><td> </td></tr> <tr><td>Engineering</td><td> </td><td> </td></tr> <tr><td>Water</td><td> </td><td> </td></tr> <tr><td>Sewer</td><td> </td><td> </td></tr> <tr><td>Architectural</td><td> </td><td> </td></tr> <tr><td>Structural</td><td> </td><td> </td></tr> <tr><td>Plumbing</td><td> </td><td> </td></tr> <tr><td>Mechanical</td><td> </td><td> </td></tr> <tr><td>Electrical</td><td> </td><td> </td></tr> <tr><td>Access</td><td> </td><td> </td></tr> <tr><td>Special Inspection Form</td><td> </td><td> </td></tr> </tbody> </table> <b>APPROVED FOR ISSUANCE</b> Signature _____ Date _____		Initials	Date	Fire			Zoning			Engineering			Water			Sewer			Architectural			Structural			Plumbing			Mechanical			Electrical			Access			Special Inspection Form		
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<b>CONDITIONS AND HOLDS ON PERMIT:</b> _____ _____ _____																																								

# DEVELOPMENT PERMIT APPLICATION

(APPLICANT - PLEASE FILL IN THE PROJECT/APPLICANT INFORMATION)

Project Number	<b>CITY and BOROUGH of JUNEAU</b>	Date Received:
Project Name (City Staff to assign name)		

PROJECT / APPLICANT INFORMATION	Project Description <i>Subdivision of existing first floor Mercantile space into three smaller Mercantile tenant spaces</i>																	
	PROPERTY LOCATION																	
	Street Address <i>210 Admiral Way</i>	City / Zip <i>Juneau, AK 99801</i>																
	Subdivision (if known) <i>Tidelands</i>	Survey (if known)	Block / Tract (if known) Lot (if known) <i>82 5</i>															
	Assessor's Parcel Number (if known) <i>1-C07-0-K82-005-0</i>																	
	I AND OWNER // FSSFF																	
	Property Owner's Name <i>Larry Lynd</i>	<input type="checkbox"/> Contact by E-Mail:	Contact Person <i>Gil Guenther</i>															
	Mailing Address <i>319 W. 5th Avenue, Anchorage, AK 99501</i>		Work Phone No. <i>463-1204</i>															
	LANDOWNER/LESSEE CONSENT (Required for Planning permits not needed on Building/Engineer permits)		Home Phone No. / FAX No.															
	<p>I am (we are) the owner(s) or Lessee of the property subject to this application and I (we) consent as follows:</p> <p>A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.</p> <p>B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.</p>		<table border="1"> <tr> <th colspan="2">INITIAL ALL THAT MAY APPLY</th> </tr> <tr> <td>APPLICATION TYPE</td> <td>OWNER'S INITIALS</td> </tr> <tr> <td>ALLOWABLE USE</td> <td></td> </tr> <tr> <td>CONDITIONAL USE</td> <td></td> </tr> <tr> <td>VARIANCE</td> <td></td> </tr> <tr> <td>DESIGN REVIEW</td> <td></td> </tr> <tr> <td>SUBDIVISION</td> <td></td> </tr> <tr> <td>OTHER</td> <td></td> </tr> </table>	INITIAL ALL THAT MAY APPLY		APPLICATION TYPE	OWNER'S INITIALS	ALLOWABLE USE		CONDITIONAL USE		VARIANCE		DESIGN REVIEW		SUBDIVISION		OTHER
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VARIANCE																		
DESIGN REVIEW																		
SUBDIVISION																		
OTHER																		
<p>NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission and/or the Design Review Board may visit the property and may do so during the weekend before the scheduled public hearing date.</p>																		
<p>APPLICANT (If same as OWNER, write "SAME" and sign and date at X below)</p>																		
Applicant's Name <i>Ke Mell</i>	<input checked="" type="checkbox"/> Contact by E-Mail: <i>ke mell@alaska.com</i>	Contact Person <i>Ke Mell</i>																
Mailing Address <i>P.O. Box 2-1898, Juneau, AK 99802</i>		Work Phone No. <i>463-3942</i>																
<i>Ke Mell</i>		Home Phone No. / FAX No. <i>463-3942 463-3941</i>																
<input checked="" type="checkbox"/> Applicant's Signature		<input checked="" type="checkbox"/> Date of Application <i>7/6/05</i>																

(OFFICE USE ONLY BELOW THIS LINE)

STAFF APPROVALS	C K	PERMIT TYPE	SIGN	DATE RECEIVED	APPLICATION NO.	C K	PERMIT TYPE	DATE RECEIVED	APPLICATION NO.
		ALLOWABLE USE APPROVAL					WATER PERMIT		
		CONDITIONAL USE APPROVAL					SEWER PERMIT		
		VARIANCE					GRADING PERMIT		
		DESIGN REVIEW APPROVAL	MINOR MAJOR				DRIVEWAY PERMIT		
		SUBDIVISION	MINOR MAJOR PIIN				RIGHT-OF-WAY PERMIT		
		STREET VACATION					PUB. FAC. TRANSMISS. & EXCAV. PERMIT		
		SIGN APPROVAL	LOCATED IN HISTORIC DISTRICT? <input type="checkbox"/> YES <input type="checkbox"/> NO				OTHER - (Describe)		
		BUILDING PERMIT					Permit Intake Initials		
		Zone	Total Lot Area	Required Setbacks					
			Front	Back	Side	Other			
COMMENTS:									
Attachment G - BLD2005-414 First floor renovation									

Consent for Bathroom USE

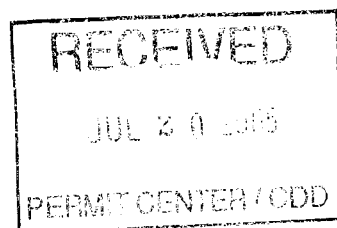
7-19-05

Woolly Mammoth Gifts  
210 Admiral Way

Hello, Store C Employees will have full  
ACCESS TO Bathroom in Store A During  
Business hours as we will Be operating  
Both Locations, and will have Keys to Both  
Stores.

Thank  
you,

Phil Quattrone





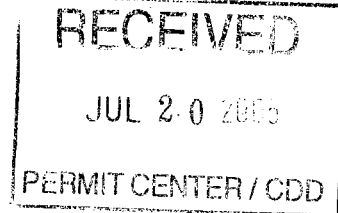
# KE MELL ARCHITECTS

# TRANSMITTAL

Box 2-1898  
Juneau, AK 99802  
(907) 463-3942, (907) 463-3941 fax

DATE: 7/19/05      JOB NO: 0506  
ATTENTION: Sara Boesser  
RE: Warner Building Apartment  
First Floor Alterations

TO: City and Borough of Juneau  
Department of Community Development  
155 S Seward Street  
Juneau, AK 99801



**WE ARE SENDING YOU THE FOLLOWING ITEMS:**

Shop drawings     Copies     Samples     Specifications     Photos  
 Facsimiles     Change order     Plans     Catalog Cut     Originals

Copies	Date	Item	Description
2	7/19/05	Drawing A1	Existing Conditions
2	7/19/05	Drawing A2	Proposed Int. Alts.
1	7/19/05	Letter	Explanation of toilet facilities

**THESE ARE TRANSMITTED** as checked below:

For approval     Approved as submitted     Resubmit \_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_ corrected prints  
 For review and comment     For Authorized Signature  
 FOR BIDS DUE \_\_\_\_\_ 19\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

**REMARKS**

I've had a couple of rounds of conversations w/ the lessor, Gil Guenter, the contractor, Brad Cure, and the tenant for Store B, who is in New York. One of the difficulties in working with this building is that I have never had accurate measured drawings or the time in which to produce them. Both Gil and the tenant have estimated the area of the retail spaces as significantly less than I had shown on my drawings, which were derived from a survey (footprint), and scaling xeroxes of drawings for late alterations at the police station, mostly of the second floor, supplemented by some field measurements.

This afternoon I took unobstructed field measurements of the space for Store B. Previously the space had been full of merchandise and fixtures. The actual dimensions are significantly less than those I had based my code review on. I know the building has very thick walls—much thicker than I have shown, and quite likely more concealed spaces than I have found. I have revised the code review to reflect the actual measurements for Store B. By keeping the retail area under 1,500 sq.ft., we should be able to keep the existing in-swinging pair of doors on Admiral Way. I have also added a wall separating storage at the back from retail at the front.

COPY TO: Gil Guenther, Brad Cure

SIGNED: Ke Mell



COMMUNITY  
DEVELOPMENT  
DEPARTMENT

**FAX  
FACTS**

230 S Franklin St., Marine View Center  
Mail: 155 So. Seward St, Juneau, 99801

FACSIMILE TRANSMISSION COVER SHEET

DATE: July 19, 2005 PERMIT NUMBER: BLD2005-414  
 TO: Ke Mell cc: Brad Cure FAX NUMBER:  
 FROM: Sara Boesser, Building Inspector Sara FAX NUMBER: (907) 586-3365  
Community Development Department VOICE NUMBER: (907) 586-0769  
 email address: Sara\_Boesser@ci.juneau.ak.us

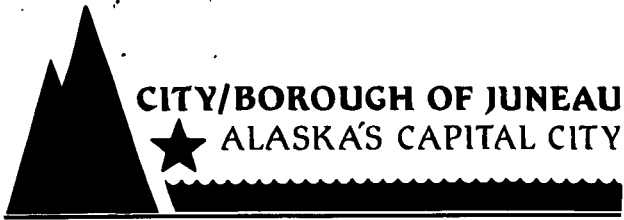
SUBJECT: Plan review comments, remodel of 210 Admiral Way

Number of Pages, including this one: 2

Hello,

Here are my review comments. Other reviewers may have other comments later.

- 1) The out-swinging doors cannot project across the property line. Please provide revised plans showing the doors recessed so they don't swing beyond the face of the building. (Site plan from our files attached).
- 2) Restroom for Store C: please indicate the specific restroom that is proposed to serve this tenant, and provide the explanation how it will always be available to this tenant during all times the space is occupied (not just times it's open to the public).
- 3) Note: we approved the Code Modification for the mechanical ventilation for the Storage Room.



# BUILDING PERMIT REMINDER

**Juneau Permit Center**  
Community Development Department  
City and Borough of Juneau  
155 South Seward Street  
Juneau, Alaska 99801

Physical location: 230 S. Franklin St., 4th Floor Marine View Center  
Telephone: (907) 586-0770 Telefax: (907) 586-3365  
Email: [permits@ci.juneau.ak.us](mailto:permits@ci.juneau.ak.us) Web site: [www.juneau.org/permits](http://www.juneau.org/permits)

### To the Owner and/or Contractor of the building located at:

Address: 210 Admiral Way APN: \_\_\_\_\_

In order to assure that this building meets the requirements of building codes and therefore is safe for current and future occupants, a valid Building Permit specifically for the work described below is required.

**Please apply for a Building Permit** by the time specified below **to avoid a Stop Work Order.** We suggest that you not proceed with construction until a building permit is issued and this matter is resolved.

**WORK COVERED BY THIS REMINDER:** Provide revised plans showing unit B's doors reset so the out-swing doesn't cross face of building (the property line). Get permit issued today to avoid a Stop Work tomorrow am  
**POSSIBLE ITEMS NEEDED FOR BUILDING PERMIT ISSUANCE:**

- A completed Building Permit Application and Building Permit Fee

(No occupancy will be approved for "B" until front doors are correct)

### IF PLAN REVIEW IS NEEDED:

- Two sets of building plans
- A site survey stamped by an Alaska registered land surveyor
- Plan Review Fee
- Other Investigation Fee

**WHEN APPLICATION MUST BE SUBMITTED:** by Date: 7-19-05 Time: 3:30  
**RESOLVED TODAY**

FORM DELIVERED TO: Site + faxed to Brad Curie

NOTICE BY: [Signature] Date: 7-19-05 Time: 10:40 am



# BUILDING PERMIT

Permit No.  
**BLD2005-00371**  
Proj #: PRJ2005-00119

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

### Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning **586-1703** or by written or faxed notification.  
The Online Building Inspection Request Form is at: [www.juneau.org/permits/inspect\\_request.htm](http://www.juneau.org/permits/inspect_request.htm).  
Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:30 AM for same day inspections.

# COMPLETED

Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address: <b>210 ADMIRAL WAY</b>		Issued Date: <b>7/1/2005</b>	
Permit Number: <b>BLD2005-00371</b>	<b>BERNADETTE'S BBQ TEMP GAZEBO</b>		Parcel No: <b>1C070K820050</b>
Project Description: <b>Temporary seasonal gazebo canopy for Bernadette's Barbeque.</b>			
Parcel Identification: <b>TIDELANDS ADDITION BL 82 LT 5 FR</b>			
Setbacks:	Zone: <b>MU</b>	Firm Zone: <b>C</b>	
	Front: <b>5 Ft. SE</b>	Side 1: <b>0</b>	
	Rear: <b>0</b>	Side 2: <b>5 Ft. SW</b>	
Comments:			
Owner: <b>TRANS GULF INVESTORS LTD PARTNERSHI</b>		Applicant: <b>BERNADITA BUNDY</b>	
Address:		Address: <b>PO BOX 021585</b>	
City: <b>ANCHORAGE, AK 99515</b>		City: <b>JUNEAU, AK 99802</b>	
Fee Type	Date	Receipt	Amount Paid
1 Commercial Plan Revi	6/17/2005	20582	12.87
1 Permit Fee	7/1/2005	20678	19.80
Total Fees Paid:			<b>32.67</b>
Valuation for Permit Fee Calculations:			
BUILDING PERMIT			<u>400.00</u>
Total Valuation:			<b>400.00</b>
Project Conditions and Holds:			
1 Provide readily available fire extinguisher within structure.			
2 No public seating allowed in structure, per Fire Inspector Etheridge.			
3 Permit is for Summer 2005 season ONLY. Gazebo canopy and all accessory equipment must be removed by October 31, 2005.			
Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.			
800 Insp - Commercial Final			

# Staff Review Sheet

DJP

Planner  
BSL

Permit Intake Initials: *GM*

FIRE ZONE ENG WAT SEW ARCH STRUC PLUM MECH ELEC ACCESS SPEC/INS

6/17/2005

Project Name: **BERNADETTE'S BBQ TEMP GAZEBO**

Case No: **BLD2005-00371**

Site Address: **210 ADMIRAL WAY**

Parcel No: **1C070K820050**

Desc: Temporary seasonal gazebo canopy for Bernadette's Barbeque.

Commercial                     Type of Construction:       
 Occupancy Class:      New Dwelling Units:       
 FCC Code: 116 Code Edition:      Existing Dwelling Units:       
 Alarm System:      Required:      Sprinkler System:      Required:       
 Code Review by:      Date:     

**Fees Assessed at Application:**

Fee Type	Amount
1 Permit Fee	19.80
1 Commercial Plan Review	12.87
<b>Total Fees:</b>	<b>12.87</b>

**Valuation at Application:**

S.F.	Type	Rate	Amount
--	VALUE	--	400.00
<b>Total Valuation:</b>			<b>400.00</b>

**Fees Paid at Application:**

Date Paid	Receipt	Check	Paid
6/17/2005	20582	CASH	12.87
1 Commercial Plan Review			12.87
<b>Total Fees Paid:</b>			<b>12.87</b>

**LAND USE**

ZONE/UNIT Mixed Use / 1  
 WETLAND Unknown  
 FLOOD ELEV       
 FIRM ZONE C  
 FIRM MAP       
 LOT SIZE 8,091 SF  
0.2 ACRES  
 SETBACKS  
 Front 5 SE  
 Rear 0  
 Side 0  
 Other 5 SW  
 PARKING N/A  
 ANADROMOUS NO  
 EAGLES NEST NO

**ENGINEERING/PUB WORKS**

CITY WATER Units:       
 Case No:       
 Service Size:       
 Fire Line Size:       
 Metered:       
 Extended Pmt #:       
 CITY SEWER Units:       
 Case No:       
 Bond Case No:       
 Other Case No:       
 ADEC Sewer No:     

**PLAN REVIEW APPROVALS**

	Initials	Date
<input checked="" type="checkbox"/> Fire	<i>SB</i>	<i>6-28-05</i>
<input checked="" type="checkbox"/> Zoning	<i>Malt</i>	<i>6/27</i>
<input type="checkbox"/> Engineering		
<input type="checkbox"/> Water		
<input type="checkbox"/> Sewer		
<input checked="" type="checkbox"/> Architectural	<i>N/A</i>	
<input checked="" type="checkbox"/> Structural	<i>N/A</i>	
<input type="checkbox"/> Plumbing		
<input type="checkbox"/> Mechanical		
<input type="checkbox"/> Electrical		
<input checked="" type="checkbox"/> Access	<i>SB</i>	<i>6-28-05</i>
<input type="checkbox"/> Spcl Insp Form		

**PERMIT ISSUANCE FEES**

Grading Plan Review Fee	\$
Adjusted Plan Review Fee	\$
Fast Track Fee	\$
Early Start Fee	\$
Building Permit Fee	\$
Water Assessment Fee	\$
Sewer Assessment Fee	\$
Sewer Inspection Fee	\$
Grading Permit Fee	\$
Driveway Permit Fee	\$
Bond for	\$
Other	\$
<b>Total Issuance Fees</b>	<b>\$</b>

**LAND USE PERMITS**

**WATER CONNECTION PERMITS**

I hereby acknowledge receipt of a      inch meter yoke.  
 X       
 Date     

**APPROVED FOR ISSUANCE**

*[Signature]*  
 Signature  
6-28-05  
 Date

**PERMIT ISSUANCE PAYMENTS**

Date	Receipt	Check	Amount
7/1/05	20678	CASH	19.80
			\$
			\$

**PARCEL TAGS:**

GPC March 23 2001 - This building is located in a mapped moderate hazard zone. In connection with change of use permit BLD2001-00143 the following was determined: No change required for parking due to CBJ49.40.210(c)(2)(d). No Hazard CU required since the building is being converted to a less intense use.

**CONDITIONS AND HOLDS ON PERMIT:** (Continued on back)

*Bond For Removal*



# BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Project Name: **BERNADETTE'S BBQ TEMP GAZEBO**

Case No: **BLD2005-00371**

Project No: BLD2005-00371

Case Description: Temporary seasonal gazebo canopy for Bernadette's Barbeque.

Site Address: **210 ADMIRAL WAY**

Check No. of Existing Dwelling Units:

Parcel No: 1C070K820050

No. of New Dwelling Units:

Legal Description: TIDELANDS ADDITION BL 82 LT 5 FR

Applicant: **BERNADITA BUNDY**

Address: PO BOX 021585

PH1 586-6239 hm

City: JUNEAU, AK 99802

CEL 209-8016

Owner: **TRANS GULF INVESTORS LTD PARTNERSHI**

Address: 3461 KACHEMAK

Contractor: **OWNER/BUILDER**

City: ANCHORAGE, AK 99515

PH: \_\_\_\_\_ FAX: \_\_\_\_\_

## Valuation for Permit Fee Calculations:

Description	S.F	Type	Amount
BUILDING PERMIT			400.00
Total Valuation:			400.00

## Permit Fees Paid at Application:

Fee Type	Date Paid	Receipt	Check or Credit #	Amount Paid
1 Permit Fee	6/17/2005			0.00
1 Commercial Plan Review	6/17/2005	20582	CASH	12.87
Total Fees Paid:				12.87

## Associated Cases:

None.

## Parcel Tags:

GPC March 23 2001 - This building is located in a mapped moderate hazard zone. In connection with change of use permit BLD2001-00143 the following was determined: No change required for parking due to CBJ49.40.210(c)(2)(d).  
No Hazard CU required since the building is being converted to a less intense use.

## Notes and Conditions:

  
Applicant's Signature

6-17-05  
Date

  
Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

~~Sara Boesser~~

---

**From:** Rich Etheridge  
**Sent:** Tuesday, June 28, 2005 8:35 AM  
**To:** Sara Boesser  
**Subject:** RE: Fire review for little screened in barbeque temp structure

I have had some concern about the flammability rating of some of these carts. Last year I had one that had blue tarps draped over the cooking area and they were showing signs of melting. I just have not had time to start looking at them in any detail. With the existing conditions in town I would be ok with them using it with a fire extinguisher and as long as it is not seating for the public.

Rich

---

**From:** Sara Boesser  
**Sent:** Monday, June 27, 2005 4:25 PM  
**To:** Rich Etheridge  
**Cc:** Sara at home (bsara.alaska@gci.net)  
**Subject:** Fire review for little screened in barbeque temp structure

BLD2005-00370

For this one, it's just a screened in surround with tent-like top. It's beside the Harley shop on Marine Way near the parking garage. I've put on a condition/hold for them to have a fire extinguisher readily available inside (there are no walls to attach one to). Is that enough for me to sign off the Fire review for you on this seasonal temporary structure?

Bond Case BND2005-000043  
Building Permit BLD2005-00371  
Parcel Code: 1-C07-0-K82-005-0

**CITY AND BOROUGH OF JUNEAU  
COMMUNITY DEVELOPMENT DEPARTMENT**

Bernadette Bundy  
PO Box 21585  
Juneau, Alaska 99802

**VERIFICATION OF REMOVAL GUARANTEE FUNDS**

Bernadette Bundy, Owner of Bernadette's Barbecue, has deposited the amount of \$50.00, to guarantee the removal of the temporary seasonal gazebo located at 205 Front Street by October 31, 2005.

Payment of a cash bond in the amount of \$50.00, to the City and Borough of Juneau, Community Development Department, on 7/1/05 by cash and a copy of the receipt number 20679 is attached.

Dated the 1 day of July, 2005 in Juneau, Alaska.

Owner:

Bundy  
Signature

Bernadette Bundy  
Printed Name

Owner  
Title

City and Borough of Juneau staff:

Jennifer Mannix  
Signature

Jennifer Mannix  
Printed Name

Permit Specialist, Community Development Dept.  
Title

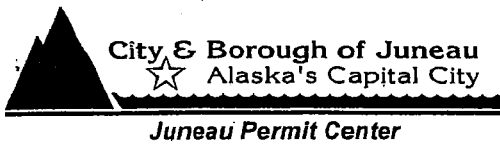
Approved as to form by CBJ law dept. PRJ



Estimate for removal of  
Gazebo @ Bernadette's BBQ.

materials + labor : \$50.00

*B. Burns*  
7-1-05



## Payment Receipt

RECEIPT NO: 20679

Friday, July 1, 2005

## BERNADETTE'S BBQ TEMP GAZEBO

Case # : BND2005-00043

Payee : **BERNADITA BUNDY**  
**PO BOX 021585**  
**JUNEAU, AK 99802**

Parcel No: 1C070K820050

Case Number	Description	Account Number	Receipt Number	Paid By	Date Paid	Amount Due	Amount Paid
BND2005-00043	11 Bond - CDD	110-00-1-33-00-000	20679	CASH	7/1/2005	50.00	50.00
<b>Total Paid:</b>							<b>\$50.00</b>

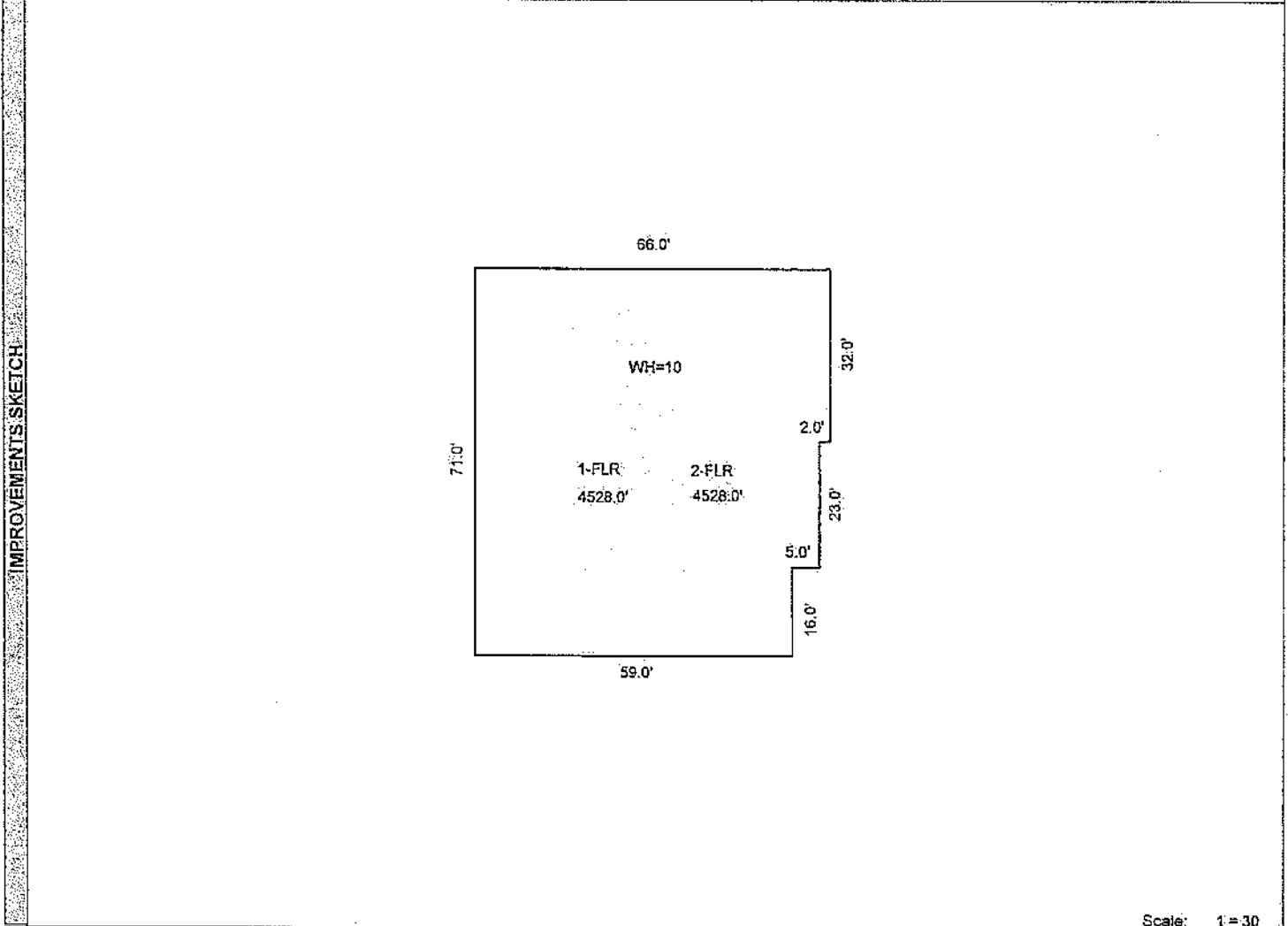
RECEIPT PREPARED BY

Note: If your project involves a Plan Review or other CBJ Approval, you can check the status on the Internet at the following URL: <http://www.juneau.org/permits/> and click on Forms, Reports and Handouts then on Permit Lists/Reports under Land Use or Building Permits to see a list of active reviews.

# SKETCH/AREA TABLE ADDENDUM

Parcel No 1C070K920050

SUBJECT	Property Address 206/208/210 Admiral Way		
	City	State	Zip
	Owner		
	Client		
	Appraiser Name		



AREA CALCULATIONS

AREA CALCULATIONS SUMMARY						BUILDING AREA BREAKDOWN			
Code	Description	Factor	Net Size	Perimeter	Net Totals	Breakdown		Subtotals	
GBA1	1-FLR	1.00	4528.0	274.0	4528.0	1-FLR			
GBA2	2-FLR	1.00	4528.0	274.0	4528.0	32.0 x 66.0		2112.0	
						23.0 x 64.0		1472.0	
						16.0 x 59.0		944.0	
						2-FLR			
						32.0 x 66.0		2112.0	
						23.0 x 64.0		1472.0	
						16.0 x 59.0		944.0	
Net BUILDING Area (rounded w/ factors)						9056	6 Items (rounded w/o factors)		9056

RIGHT OF WAY EASEMENT

In consideration of the benefits derived therefrom, the Grantors: TRANS GULF INVESTORS LIMITED LIABILITY COMPANY, whose address is 3461 Kachemak Circle, Anchorage, Alaska, convey and quitclaim to the Grantee: THE ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES, a state agency, whose office is located at 6860 Glacier Highway, Juneau, Alaska, and its assignees, a public roadway easement for the purpose of constructing, reconstructing, maintaining, repairing, and improving a public sidewalk and the driveway approach, through, across and under all, or any portion of the following described property:

A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATE WITHIN LOT NO. 5, BLOCK 82, ALASKA TIDELANDS ADDITION SURVEY NO. 3, CITY AND BOROUGH OF JUNEAU, FIRST JUDICIAL DISTRICT, STATE OF ALASKA BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS;

BEGINNING AT THE WESTERLY MOST CORNER OF LOT 5, IDENTICAL TO THE SOUTHERLY MOST CORNER OF LOT 3, BLOCK 82, ALASKA TIDELANDS ADDITION SURVEY NO.3 SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY, THENCE ALONG THE WESTERLY LIMITS OF THIS DESCRIPTION IDENTICAL WITH THE COMMON BOUNDARY OF LOTS 3 AND 5 HEREINBEFORE DESCRIBED N60°31'00"E - 4.27' TO THE NORTHERLY MOST CORNER OF THIS DESCRIPTION; THENCE DEPARTING AFOREMENTIONED COMMON BOUNDARY LINE, CROSSING LOT 5, BLOCK 82, ALASKA TIDELANDS SURVEY NO. 3 S37°12'25"E - 15.55' TO A POINT OF CURVATURE; THENCE ALONG A 94.00' RADIUS CURVE TO THE LEFT, THROUGH AN ARC OF 16°09'32", AN ARC LENGTH OF 26.51' (CHORD = S45°17'11"E - 26.42') TO THE EASTERLY MOST CORNER OF THIS DESCRIPTION BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY; THENCE ALONG SAID RIGHT-OF-WAY LIMITS BEING THE SOUTHERLY BOUNDARY OF THIS DESCRIPTION ALONG AN 84.00' RADIUS CURVE TO THE RIGHT, THROUGH AN ARC OF 29°40'32", AN ARC LENGTH OF 43.51' (CHORD = N47°50'57"W - 43.02') TO THE TRUE POINT AND PLACE OF BEGINNING.

CONTAINING 122 SQUARE FEET, MORE OR LESS.

In accordance with Attachment A.

Additionally, this easement will in no way block egress to or from the existing parking area adjacent to the building at 210 Admiral Way and the Grantee assumes all liability for injuries or damage caused on or related to the use of this easement.

Dated this 3 day of Oct, 2001

By: Lianne R. Coates (Grantor)

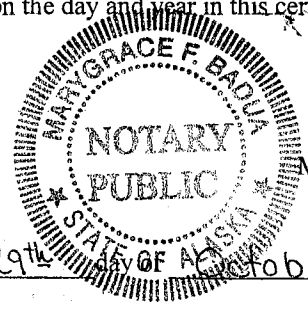
By: Loren C. Warner (Grantor)

ACKNOWLEDGMENT

STATE OF ALASKA )
) ss
FIRST JUDICIAL DISTRICT )

This is to certify that on the 3 day of October, 2001, before the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, appeared Grantors: Lianne R. Coates and Loren C. Warner, to be known and known to be the grantors in the foregoing easement acknowledged to me that they executed the same freely and voluntarily, being fully authorized to do so.

WITNESS my hand and official seal on the day and year in this certificate first above written.



[Signature]
Notary Public

My Commission expires: December 13, 2003

This easement approved as to form this 29th day of October, 2001.

[Signature]
Chief ROW Agent

Juneau Recording District

Return TO:

I:\Projects\1334 Admiral Way\admin\Warner Easement w Warner revisions.doc

CITY AND BOROUGH OF JUNEAU
ENGINEERING DEPARTMENT
155 SOUTH SEWARD ST.
JUNEAU, AK 99801

013094

1800

2001 NOV 27 A 10:58

JUNEAU RECORDING DISTRICT

REQUESTED BY

CBT

ATTACHMENT 'A'

Return To:

AND BOROUGH OF JUNEAU  
ENGINEERING DEPARTMENT  
155 SOUTH SEWARD ST.  
JUNEAU, AK 99801

BOOK PAGE 0590 0650

APARTMENT BLDG.  
& CAFE

LOT 3

BLDG.

LOT 5

$I=00^{\circ}47'26''$   
 $R=84.00'$   
 $L=1.16'$   
 $T=0.58'$   
 $CHORD=N32^{\circ}36'58''W$   
 $LC=1.16'$   
 $D=68^{\circ}12'33''$

$I=86^{\circ}18'19''$   
 $R=84.00'$   
 $L=126.53'$   
 $T=78.75'$   
 $CHORD=N76^{\circ}09'50''W$   
 $LC=114.90'$   
 $D=68^{\circ}12'33''$

Easement

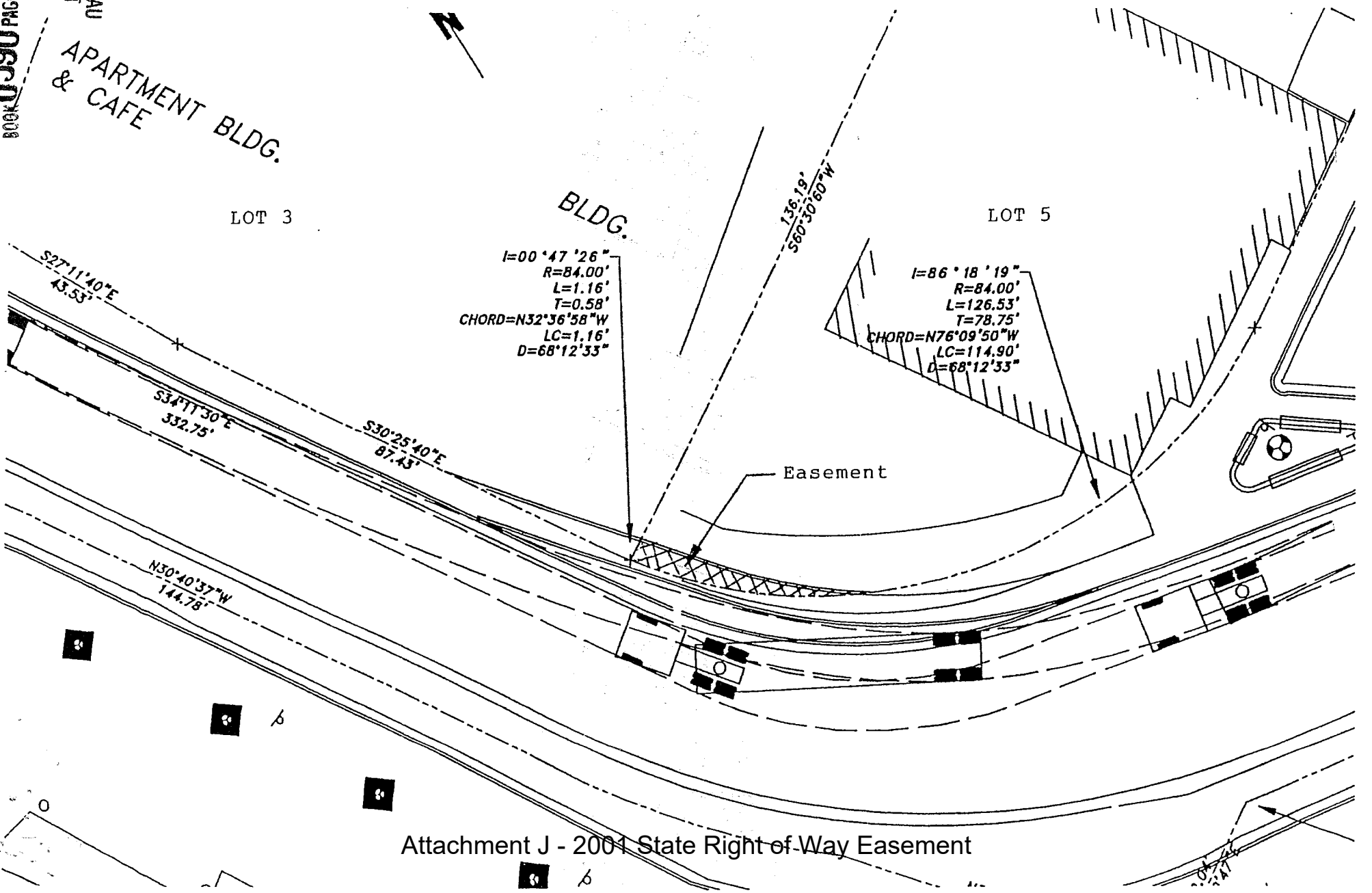
$S27^{\circ}11'40''E$   
 $43.53'$

$S33^{\circ}11'30''E$   
 $332.75'$

$S30^{\circ}25'40''E$   
 $87.43'$

$N30^{\circ}40'37''W$   
 $144.78'$

Attachment J - 2001 State Right of Way Easement





(907) 586-0715  
CDD\_Admin@juneau.org  
www.juneau.org/community-development  
155 S. Seward Street • Juneau, AK 99801

**COMMUNITY DEVELOPMENT DEPARTMENT - REQUEST FOR AGENCY COMMENT**

**DEPARTMENT:** CDD/Buildings  
**STAFF PERSON/TITLE:** Charlie Ford/Building Official  
**DATE:** 3/13/2024  
**APPLICANT:** 210 Admiral Way, LCC  
**TYPE OF APPLICATION:** Conditional Use Permit

**PROJECT DESCRIPTION:**  
Renovate ground floor patio and add a second-story deck to existing commercial building for use by Griz Bar

**LEGAL DESCRIPTION:** Tidelands Additional BL 82 LT 5 FR  
**PARCEL NUMBER(S):** 1C070K820050  
**PHYSICAL ADDRESS:** 210 Admiral Way, Juneau, AK 99801

**SPECIFIC QUESTIONS FROM PLANNER:**

**AGENCY COMMENTS:**

Buildings has no issues with this project at this time.

**AGENCY COMMENTS (CONTINUED):**

The property owner and their contractors are responsible for ensuring the safety of the traveling public during construction. Should the scope of work include the need for a closure and or disruption of either pedestrian facilities (sidewalk) or a lane of traffic, a Lane Closure Permit needs to be properly applied for with an appropriate Traffic Control Plan provided by a qualified Traffic Control Supervisor through the Department of Transportation and Public Facilities Right of Way Section.



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**From:** [Alexandra Pierce](#)  
**To:** [Forrest Courtney](#)  
**Subject:** RE: USE24-8: Griz Bar Deck  
**Date:** Wednesday, March 13, 2024 12:37:25 PM

---

Hi Forest,

I don't have any comments and objections.

Thanks,  
Alix

---

**From:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Sent:** Wednesday, March 13, 2024 11:59 AM  
**To:** Charlie Ford <Charlie.Ford@juneau.gov>; General Engineering <General\_Engineering@juneau.gov>; Theresa Ross <Theresa.Ross@juneau.gov>; Jeffrey Hedges <Jeffrey.Hedges@juneau.gov>; Drown, Arthur EE (DOT) <arthur.drown@alaska.gov>; Alexandra Pierce <Alexandra.Pierce@juneau.gov>; David Campbell <dscampbell@juneaupolice.com>  
**Cc:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Subject:** USE24-8: Griz Bar Deck

Good Afternoon Everyone,

Griz Bar is requesting to renovate its ground-floor patio and add a second-story deck to the commercial building it is attached to on Admiral Way. The narrative in the email on page three of the packet gives a good summary of their plans. Please have any comments to me by March 19, 2024. If you need additional time, let me know, and we'll figure it out.



Thank you,

**Forrest Courtney | Planner II**

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street | 4<sup>th</sup> Floor Marine View Building

Office: 907.586.0753 x4208



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*How are we doing? Provide feedback here: <https://juneau.org/community-development/how-are-we-doing>*

**From:** [Krag Campbell](#)  
**To:** [Forrest Courtney](#)  
**Cc:** [Forrest Courtney](#)  
**Subject:** RE: USE24-8: Griz Bar Deck  
**Date:** Wednesday, March 13, 2024 12:25:45 PM  
**Attachments:** [image003.png](#)

---

**EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS**

Thank you. I'll take a look at it with staff to see if there is any law enforcement concerns and let you know before the 19<sup>th</sup> of March.

Take care,



**Krag Campbell**

*Deputy Chief of Police*

Juneau Police Department

6255 Alaway Ave, Juneau, AK. 99801

Office: (907) 500-0637

[kjcampbell@juneaupolice.com](mailto:kjcampbell@juneaupolice.com)

---

**From:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Sent:** Wednesday, March 13, 2024 12:07 PM  
**To:** Krag Campbell <KJCampbell@juneaupolice.com>  
**Cc:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Subject:** USE24-8: Griz Bar Deck

Good afternoon Krag,

I sent the email below to an older contact with JPD. I am forwarding the agency comment email if your department would like to provide comment on this Conditional Use Permit.

Best,

**Forrest Courtney | Planner II**

[Community Development Department](#) | City & Borough of Juneau, AK

Location: 230 S. Franklin Street | 4<sup>th</sup> Floor Marine View Building

Office: 907.586.0753 x4208



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How are we doing? Provide feedback here: <https://juneau.org/community-development/how-are-we-doing>

---

**From:** Forrest Courtney

**Sent:** Wednesday, March 13, 2024 11:59 AM

**To:** Charlie Ford <[Charlie.Ford@juneau.gov](mailto:Charlie.Ford@juneau.gov)>; General Engineering <[General\\_Engineering@juneau.gov](mailto:General_Engineering@juneau.gov)>; Theresa Ross <[Theresa.Ross@juneau.gov](mailto:Theresa.Ross@juneau.gov)>; Jeffrey Hedges <[Jeffrey.Hedges@juneau.gov](mailto:Jeffrey.Hedges@juneau.gov)>; Drown, Arthur EE (DOT) <[arthur.drown@alaska.gov](mailto:arthur.drown@alaska.gov)>; Alexandra Pierce <[Alexandra.Pierce@juneau.gov](mailto:Alexandra.Pierce@juneau.gov)>; David Campbell <[dscampbell@juneaupolice.com](mailto:dscampbell@juneaupolice.com)>

**Cc:** Forrest Courtney <[Forrest.Courtney@juneau.gov](mailto:Forrest.Courtney@juneau.gov)>

**Subject:** USE24-8: Griz Bar Deck

Good Afternoon Everyone,

Griz Bar is requesting to renovate its ground-floor patio and add a second-story deck to the commercial building it is attached to on Admiral Way. The narrative in the email on page three of the packet gives a good summary of their plans. Please have any comments to me by March 19, 2024. If you need additional time, let me know, and we'll figure it out.



Thank you,

**Forrest Courtney | Planner II**

Attachment K - Agency Comments

Community Development Department | City & Borough of Juneau, AK  
Location: 230 S. Franklin Street | 4<sup>th</sup> Floor Marine View Building  
Office: 907.586.0753 x4208



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**From:** [Bridget LaPenter](#)  
**To:** [Forrest Courtney](#)  
**Subject:** RE: USE24-8: Griz Bar Deck  
**Date:** Tuesday, March 19, 2024 10:25:58 AM

---

GE has no comments regarding conditional use.

**Bridget LaPenter, P.E. | Chief GE Engineer**  
General Engineering Department | City & Borough of Juneau, AK  
Location: 230 S. Franklin Street, 4<sup>th</sup> Floor Marine View Building  
**Office: 907.586.0800 ext. 4187 Cell: 907.500.4170**

---

**From:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Sent:** Wednesday, March 13, 2024 11:59 AM  
**To:** Charlie Ford <Charlie.Ford@juneau.gov>; General Engineering <General\_Engineering@juneau.gov>; Theresa Ross <Theresa.Ross@juneau.gov>; Jeffrey Hedges <Jeffrey.Hedges@juneau.gov>; Drown, Arthur EE (DOT) <arthur.drown@alaska.gov>; Alexandra Pierce <Alexandra.Pierce@juneau.gov>; David Campbell <dscampbell@juneaupolice.com>  
**Cc:** Forrest Courtney <Forrest.Courtney@juneau.gov>  
**Subject:** USE24-8: Griz Bar Deck

Good Afternoon Everyone,

Griz Bar is requesting to renovate its ground-floor patio and add a second-story deck to the commercial building it is attached to on Admiral Way. The narrative in the email on page three of the packet gives a good summary of their plans. Please have any comments to me by March 19, 2024. If you need additional time, let me know, and we'll figure it out.



Thank you,

**Forrest Courtney | Planner II**

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street | 4<sup>th</sup> Floor Marine View Building

Office: 907.586.0753 x4208



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(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

## Griz Bar Deck

Case Number: PAC2024-007 OTC  
 Applicant: Shannon Crossley – Northwind Architecture, for Blake Rider  
 Property Owner: 210admiraltyway LLC C/O Juneau Real Estate; C/O Juneau Real Estate  
 Property Address: 206 Admiral Way; 208 Admiral Way; 210 Admiral Way; 212 Admiral Way  
 Parcel Code Number: 1C070K820050  
 Site Size: 8,091 square feet  
 Zoning: MU (Mixed Use)  
 Existing Land Use: Mixed Use

Conference Date: February 13, 2024

Report Issued: February 27, 2024

***DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.***

## List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Shannon Crossley	Applicant	<a href="mailto:Shannon@northwindarch.com">Shannon@northwindarch.com</a>
Forrest Courtney	Planning	<a href="mailto:Forrest.Courtney@juneau.gov">Forrest.Courtney@juneau.gov</a>

## Conference Summary

### Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

The pre-application conference was completed over the counter.

### Project Overview

The applicant is proposing a first-floor deck addition of 1,800 square feet and a second-floor deck addition of 1,163 square feet, including a catwalk, to be utilized by Griz Bar and as egress for the second floor of the nonresidential structure at 210 Admiral Way.



### Conditional Use Permit Process:

- Submit the application and back-up materials (listed on ten back of the application).
  - Electronic submissions accepted at [Permits@juneau.gov](mailto:Permits@juneau.gov). Note that the permit center will call you for payment when the application is processed. Applications are submitted in the order in which they are received, and it may be a few days before you get a call.
- The project will be assigned to a planner. They will review submitted materials and coordinate where necessary. When the planner assesses the file is complete, they will schedule a hearing before the Planning Commission.
  - A notice will be sent to property owners within 500 feet of the project.
  - There will be two newspaper ads for the case.
  - The Applicant is required to post a Public Notice sign, which will be provided by CDD. The sign must be posted two weeks before the hearing.

- Staff will prepare a report analyzing the project and make a recommendation to the Commission. The report will be publicly available the week before the hearing.
- At the Planning Commission meeting, the project can be:
  - On the Consent Agenda, where it will be passed without discussion.
  - On the Regular Agenda:
    - The Director will briefly describe the project.
    - The Applicant has 15 minutes to describe the project.
    - The public has the opportunity to comment. There is usually a time limit of two to three minutes.
    - The Applicant has time to respond to issues raised.
    - Public comment is closed and there is no additional opportunity to participate.
- The Planning Commission will:
  - Approve the project
  - Approve the project with conditions (the most common outcome)
  - Deny the project
  - Continue the project – if more information is required or if the Commission runs out of time.
- The decision can be appealed for 20 days after the Notice of Decision is filed with the City Clerk. If the decision is appealed, the Applicant can continue with their project at their own risk.

Videos of the Planning Commission activities are posted on Assembly’s Minutes and Agendas site.

<ps://juneau-ak.municodemeetings.com/>

## Planning Division

1. **Zoning** – Tideland Addition Block 82, Lot 5 is zoned MU. The mixed use district is established to accommodate a mix of appropriate commercial and residential uses [CBJ 49.25.220]. The mixed use district, reflects the existing downtown development pattern and is intended to maintain the stability of the downtown area. Multifamily residential uses are allowed and encouraged [CBJ 49.25.220(a)].

Map M of the CBJ Comprehensive Plan (2013) shows the lot is planned for Traditional Town Center.



The Comprehensive Plan defines Traditional Town:

*These lands are characterized by high density residential and non-residential land uses in downtown areas and around shopping centers, the University, major employment centers and public transit corridors, as well as other areas suitable for a mixture of retail, office, general commercial, and high density residential uses at densities at 18 or more residential units per acre. Residential and non-residential uses could be combined within a single structure, including off-street parking. Ground floor retail spaces facing roads with parking behind the retail and housing above would be an appropriate and efficient use of the land.*

**2. Table of Permissible Uses –**

Based on the approximate dimensions provided by the applicant.

Professional Office Space: allowed with department approval (TPU 3.100)

Commercial Retail: allowed with department approval (TPU 2.120)

Restaurants, bars without drive through service: allowed with Planning Commission approval (TPU 8.100)

Outdoor activity conducted outside enclosed buildings or structures with capacity for more than 20 people: allowed with Planning Commission approval (TPU 6.266)

The 9,056 square foot nonresidential building contains professional offices, commercial retail, associated storage space, and common areas. The applicant's request for a 1<sup>st</sup> and 2<sup>nd</sup> story deck addition will increase the nonresidential building's square footage to 12,019 square feet, exceeding the maximum square footage for a minor development in commercial and mixed use districts [CBJ 49.25.300(c)(3)(D)].

A major development requires a conditional use permit from the commission [CBJ 49.25.300].

Note: The applicant should likely have been required to receive a Conditional Use Permit when the Griz Bar opened in 2020 [BLD20200074] based on capacity and nonresidential use of more than 10,000 square feet in a mixed use district. This is no fault of the applicant and occurred during the outbreak of COVID-19 when CBJ regulations were more flexible to provide residents with outdoor opportunities.

3. **Setbacks** – The mixed use zoning district has a zero-foot setback from all lot lines [CBJ 49.25.400]. Building setbacks are defined on Sheet No. A1.0 of plans provided by the applicant appear within lot boundaries and do not encroach on the established 122-square-foot right-of-way easement.
4. **Height** – The mixed use zoning district has no maximum height restrictions [CBJ 49.25.400]. The height of the second-story deck, including guard rails as defined on Sheet A2.0 of the plans provided by the applicant, is approximately 15 feet 3 inches.  
  
The applicant had identified a canopy on the submitted materials page. The applicant should review the definition of a canopy in Title 49 and determine whether it should be identified as such.
5. **Access** – The property is accessed via Admiral Way and Marine Way.
6. **Parking & Circulation**– The lot falls within the *No Parking Required Area* [Ordinance No. 2022-04(b)] and will not require additional parking [CBJ 49.40.200(a)(2)].
7. **Lot Coverage** – The mixed use zoning district has no maximum lot coverage restrictions [CBJ 49.25.400].
8. **Vegetative Coverage** – The mixed use zoning district does not have a minimum vegetative cover requirement [CBJ 49.50.300].
9. **Lighting** – Not applicable to this application. Lighting is reviewed during the building permit process. Lighting should be downward cast and not on neighboring lots.
10. **Noise** – The noise difference with the addition of a second-story deck for sitting would be consistent with mixed use district standards.

11. **Flood** – The lot is not in a mapped flood hazard area.
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The lot is within the Low Avalanche Hazard area.
13. **Wetlands** – A wetlands fill may require a United States Army Corps of Engineers permit, you can contact them at 907-753-2689 for additional information.
14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
15. **Plat or Covenant Restrictions** –The applicant has accounted for the right-of-way easement that exists on the lot.

A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED WITHIN LOT NO. 5, BLOCK 82, ALASKA TIDELANDS ADDITION SURVEY NO. 3, CITY AND BOROUGH OF JUNEAU, FIRST JUDICIAL DISTRICT, STATE OF ALASKA BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS;

BEGINNING AT THE WESTERLY MOST CORNER OF LOT 5, IDENTICAL TO THE SOUTHERLY MOST CORNER OF LOT 3, BLOCK 82 ALASKA TIDELANDS ADDITION SURVEY NO. 3 SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY, THENCE ALONG THE WESTERLY LIMITS OF THIS DESCRIPTION IDENTICAL WITH THE COMMON BOUNDARY OF LOTS 3 AND 5 HEREINBEFORE DESCRIBED N60°31'00" E - 4.27' TO THE NORTHERLY MOST CONER OF THIS DESCRIPTION; THENCE DEPARTING AFOREMENTIONED COMMON BOUNDARY LINE, CROSSING LOT 5 BLOCK 82 TIDELANDS SURVEY NO. 3 S37°12'25" E - 15.55' TO A POINT OF CURVATURE; THENCE ALONG A 94.00' RADIUS CURVE TO THE LEFT, THROUGH AN ARC OF 16°09'32", AN ARC LENGTH OF 26.51' (CHORD = S45°17'11"E - 26.42') TO THE EASTERLY MOST CORNER OF THIS DESCRIPTION BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY; THENCE ALONG SAID RIGHT-OF-WAY LIMITS BEING THE SOURTHER BOUNDARY OF THIS DESCRIPTION ALONG AN 84.00' RADIUS CURVE TO THE RIGHT, THROUGH AN ARC OF 29°40'32", AN ARC LENGTH OF 43.51' (CHROD = N47°50'57" W – 43.02') TO THE TRUE POINT AND PLACE OF BEGINNING.

CONTAINING 122 SQUARE FEET, MORE OR LESS.

16. **Traffic** – Applicant submitted approximate square footage of use on the lot. These approximations are acceptable for Pre-Application purposes; however, more defined dimensions should be submitted with the Conditional Use Permit application.

Use	Total Sq. Ft.	Trips Generated Per 1,000 Sq. Ft.	Total Trips
Convenience Market <sup>A</sup> with Storage	2,000sf	32.60	65.20
Apparel Store <sup>B</sup> with Storage	2,000sf	4.20	8.40
Single Tenant Office <sup>C</sup> with Storage	4,000sf	11.65	46.60
Drinking Place <sup>D</sup>	2,963sf	15.49	46.47
<b>Total ADTs:</b>			<b>166.67</b>

*Institute of Traffic Engineer's Trip Generation Manual, 9<sup>th</sup> Edition, Volume 3,*

*A: pages 1664, 1667*

*B: pages 1787, 1790*

*C: pages 1277, 1281*

*D: pages 1861, 1863*

A development projected to generate fewer than 250 ADT shall not be required to have a traffic impact analysis [CBJ 49.40.300(a)(2)].

### **Building Division**

17. **Building** – Proposed project would require a building permit. Submittal requirements shall be determined during the permitting process.
18. **Outstanding Permits** – (*Note: does not include all outstanding permits on property*):
  - a. BLD20230252 – “Seasonal placement of Griz Bar for 2023 season”
  - b. BLD20210333 – “Install two 100 gallon LP tanks to supply heater and firepits”
  - c. BLD20200074 – “Temporary seasonal structure for AK Grizzly Bar. MODIFIED 7/14/20 to expand deck and install propane tank”

### **General Engineering/Public Works**

19. **Engineering** – No comments at this time.
20. **Drainage** – No comments at this time.
21. **Utilities** – No comments at this time.

### **Fire Marshal**

22. **Fire Items/Access** – No comments at this time.

### **Other Applicable Agency Review**

23. Alcohol Beverage Control Board – Applicant has submitted the project independently for review.

### **List of required applications**

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application
2. Conditional Use Permit Application
3. [Building Permit Application](#)

### **Additional Submittal Requirements**

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Accurate square footage of current and requested uses.

### **Exceptions to Submittal Requirements**

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

## Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Public Notice Sign: \$150.00. \$100.00 is refundable if the sign is returned the Monday following the Planning Commission meeting.
2. Class III use: \$750.00 [CBJ 49.85.100 (3)(C)(i)].

For informational handouts with submittal requirements for development applications, please visit our website at [www.juneau.org/community-development](http://www.juneau.org/community-development).

## Submit your Completed Application

You may submit your application(s) online via email to [permits@juneau.gov](mailto:permits@juneau.gov)  
OR in person with payment made to:

City & Borough of Juneau, Permit Center  
230 South Franklin Street  
Fourth Floor Marine View Center  
Juneau, AK 99801

Phone: (907) 586-0715  
Web: [www.juneau.org/community-development](http://www.juneau.org/community-development)

### Attachments:

- 49.15.330 – Conditional Use Permit
- 49.15.800 – Canopies and Awnings
- 49.25.300 – Table of Permissible Uses
- Conditional Use Permit Application
- Development Permit Application
- [Building Permit Application](#)

## 49.15.330 - Conditional use permit.

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
- (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
  - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with [section 49.15.230](#).
  - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)—(1)(C) of subsection (e) of this section.
  - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
  - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of



the application if it is found that the development:

- (A) Will materially endanger the public health or safety;
  - (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
  - (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.
- (e) *Review of director's determinations.*
- (1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:
    - (A) Whether the proposed use is appropriate according to the table of permissible uses;
    - (B) Whether the application is complete; and
    - (C) Whether the development as proposed will comply with the other requirements of this title.
  - (2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.
- (f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:
- (1) Materially endanger the public health or safety;
  - (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
  - (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.
- (g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:
- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
  - (2) *Use.* Use of the development may be restricted to that indicated in the application.

- (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
- (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
- (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
- (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
- (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
- (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
- (9) *Avalanche areas.* Development in moderate and severe avalanche hazard areas shown on the Avalanche Hazard Designation Mapping, dated April 27, 2022, and attached to [Serial No. 2023-18\(am\)](#) as Appendix A, must minimize the risk to life and property.
- (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:
  - (A) Developments in wetlands and intertidal areas.
- (11) *Sound.* Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation.* Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access.* Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening.* The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.

- (15) *Lot size or development size.* Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage.* Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting.* Conditions may be imposed to control the type and extent of illumination.
- (18) *Other conditions.* Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018; Serial No. 2023-18(am), § 3, 12-11-2023, eff. 1-11-2024)

#### 49.15.800 - Purpose.

It is the purpose of this chapter to authorize canopy and awning encroachments into public ways, to provide standards for construction of canopies and awnings, and to provide a permitting process. The CBJ requires canopies in the Historic District, and encourages the construction of canopy and awning treatments to protect pedestrians from the elements in all zoning districts.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.810 - Application.

Canopies and awnings are permitted in all zoning districts. The permitting provisions of this chapter apply to canopies and awnings located above public ways, including the Seawalk. In the Downtown Historic District, canopies, consistent with the Downtown Historic District design guidelines, are required for all new construction and when exterior work is proposed to exceed a value of \$25,000.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.820 - Canopy permit required.

- (a) No person shall construct or maintain a canopy, awning, or cornice without a canopy permit issued pursuant to this chapter.
- (b) The canopy permit application shall include the following:
  - (1) A complete application for a building permit, and the required building permit fee.
  - (2) A site plan, along with scaled drawings of the existing structure to which the canopy will be affixed, showing the full width of the public way upon which the encroachment is proposed, and the extent of the requested encroachment. The Engineering Director, in his or her discretion, may require additional information.
- (c) The application shall be reviewed and a permit issued upon a finding that the proposed construction or other work complies with the building code, the canopy and awning standards listed in section 49.15 below, the setback provisions in CBJ 49.25.430, and any other applicable code requirements.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.830 - Canopy and awning standards.

- (a) Canopies and awnings shall comply with the following:
  - (1) Canopies or awnings shall be approved only if a sidewalk, curb, and gutter extending the entire length of the property frontage exists or is to be constructed under the same permit

application as the awning or canopy.

- (2) Vertical support structures from the pedestrian way are prohibited.
  - (3) Canopies shall be designed to direct drainage water into an approved drainage way.
  - (4) No awning or canopy shall be constructed in a location or manner which would obstruct, obscure, or interfere with traffic, a traffic control device, street sign, streetlight or utility pole.
- (b) In the MU zoning district, canopies and awnings shall meet the following requirements in addition to those in subsection (a), above.
- (1) Canopies and awnings shall span the entire frontage of a building.
  - (2) Canopy height, as measured from the sidewalk to the lowest point on the canopy, shall be a minimum of eight feet and a maximum of ten feet above the sidewalk. Canopies shall match the existing canopy heights of adjacent structures, where practicable.
  - (3) For new construction, any clerestory must be located above any canopy or awning.

(Serial No. 2007-11, § 2, 4-23-2007)

#### 49.15.850 - Indemnification.

Permittees shall sign an agreement, on a form provided by CBJ, containing the following indemnity and hold harmless provision, and are bound by the following provision: "The holder of a canopy permit issued under this chapter, and the holder's successors, heirs and assigns agrees to forever indemnify, hold harmless, and defend the City and Borough of Juneau against all claims and suits of any nature arising in any manner out of the issuance or existence of the permit, the existence of the canopy, awning, cornice, or other encroachment in the public way, or for any other reason related to the existence of the canopy, awning, cornice, or other encroachment, provided, no indemnification is required on account of injury to persons or damage to property caused by the sole negligence of CBJ."

(Serial No. 2007-11, § 2, 4-23-2007)



# ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

<b>PROJECT SUMMARY</b>	
<b>TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED</b>	
<input type="radio"/> Accessory Apartment – Accessory Apartment Application (AAP) <input type="radio"/> Use Listed in 49.25.300 – Table of Permissible Uses (USE) Table of Permissible Uses Category: _____	
<b>IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?</b> <input type="radio"/> YES – Case # _____ <input type="radio"/> NO	
<b>UTILITIES PROPOSED</b> WATER: <input type="checkbox"/> Public <input type="checkbox"/> On Site                              SEWER: <input type="checkbox"/> Public <input type="checkbox"/> On Site	
<b>SITE AND BUILDING SPECIFICS</b>	
Total Area of Lot _____ square feet                      Total Area of Existing Structure(s) _____ square feet Total Area of Proposed Structure(s) _____ square feet	
<b>EXTERNAL LIGHTING</b>	
Existing to remain <input type="radio"/> No <input type="radio"/> Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures Proposed <input type="radio"/> No <input type="radio"/> Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures	
<b>ALL REQUIRED DOCUMENTS ATTACHED</b>	
<input type="checkbox"/> <b>Narrative including:</b> <input type="checkbox"/> Current use of land or building(s) <input type="checkbox"/> Description of project, project site, circulation, traffic etc. <input type="checkbox"/> Proposed use of land or building(s) <input type="checkbox"/> How the proposed use complies with the Comprehensive Plan  <input type="checkbox"/> <b>Plans including:</b> <input type="checkbox"/> Site plan <input type="checkbox"/> Floor plan(s) <input type="checkbox"/> Elevation view of existing and proposed buildings <input type="checkbox"/> Proposed vegetative cover <input type="checkbox"/> Existing and proposed parking areas and proposed traffic circulation <input type="checkbox"/> Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)	<i>If this is a modification or extension include:</i> <input type="checkbox"/> Notice of Decision and case number <input type="checkbox"/> Justification for the modification or extension <input type="checkbox"/> Application submitted at least 30 days before expiration date

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES				
	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ _____			
Pub. Not. Sign Deposit	\$ _____			
<b>Total Fee</b>	\$ _____			

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
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## **Allowable/Conditional Use Permit Application Instructions**

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

**Pre-Application Conference:** A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at [permits@juneau.org](mailto:permits@juneau.org).

**Application:** An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
  - A. Site plan, floor plan and elevation views of existing and proposed structures
  - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
  - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
  - D. Existing and proposed lighting (including cut sheets for each type of lighting)
  - E. Existing and proposed vegetation with location, area, height and type of plantings
  - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

**Document Format:** All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

**Application Review & Hearing Procedure:** Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

**Review:** As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

**Hearing:** All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

**Public Notice Responsibilities:** Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

**The Community Development Department** will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

**The Applicant** will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

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**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**



# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)		
	Parcel Number(s)		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER/ LESSEE</b>		
	Property Owner	Contact Person	
	Mailing Address	Phone Number(s)	
	E-mail Address		
	<b>LANDOWNER/ LESSEE CONSENT</b>		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
_____ <div style="display: flex; justify-content: space-between;"> <span><b>Landowner/Lessee (Printed Name)</b></span> <span><b>Title (e.g.: Landowner, Lessee)</b></span> </div>			
X _____ <div style="display: flex; justify-content: space-between;"> <span><b>Landowner/Lessee (Signature)</b></span> <span><b>Date</b></span> </div>			
_____ <div style="display: flex; justify-content: space-between;"> <span><b>Landowner/Lessee (Printed Name)</b></span> <span><b>Title (e.g.: Landowner, Lessee)</b></span> </div>			
X _____ <div style="display: flex; justify-content: space-between;"> <span><b>Landowner/Lessee (Signature)</b></span> <span><b>Date</b></span> </div>			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
<b>APPLICANT</b> <span style="float: right;">If same as LANDOWNER, write "SAME"</span>			
Applicant (Printed Name)	Contact Person		
Mailing Address	Phone Number(s)		
E-mail Address			
X _____ <div style="display: flex; justify-content: space-between;"> <span><b>Applicant's Signature</b></span> <span><b>Date of Application</b></span> </div>			

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

	Intake Initials
Case Number	Date Received



# BUILDING PERMIT APPLICATION

(Including Water, Sewer, Driveway, Grading, Mechanical, Plumbing, Electrical, and Building Safety Inspections)

(APPLICANT PLEASE FILL IN TOP PORTION OF PAGE AFTER FIRST LINE)

Project No:	Project Name: (City Staff to assign name)	Case No:	Date Received:
-------------	---	----------	----------------

<b>APPLICANT AREA</b>	<b>CONTRACTOR/OWNER-BUILDER</b> <input type="checkbox"/> Contact by E-Mail _____		Contact Person	Phone No.
	Mailing Address		FAX No.	License Number
	<b>ARCHITECT / ENGINEER</b> <input type="checkbox"/> Contact by E-Mail _____		Contact Person	Phone No.
	Mailing Address		FAX No.	License Number
	<b>PERMIT CLASS</b>		<input type="checkbox"/> ELECTRICAL <input type="checkbox"/> PLUMBING <input type="checkbox"/> MECHANICAL <input type="checkbox"/> WOODSTOVE <input type="checkbox"/> WATER <input type="checkbox"/> SEWER <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> REPAIR/REMOD <input type="checkbox"/> DEMOLITION <input type="checkbox"/> GRADING <input type="checkbox"/> DRIVEWAY <input type="checkbox"/> BUILDING SAFETY <input type="checkbox"/> OTHER _____	
	<b>BUILDING TYPE</b>		<input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other _____	
	EXISTING DWELLING UNITS ON PROPERTY _____		NEW DWELLING UNITS THIS PROJECT _____	
	TOTAL EXISTING BUILDINGS ON PROPERTY _____			
DESCRIPTION OF WORK:			VALUE: _____	TYPE (ie: house, garage, deck, unfinished)
			New: _____	Sq. Ft.
			New: _____	Sq. Ft.
			New: _____	Sq. Ft.
			New: _____	Sq. Ft.
			Cost of Remodeling: \$ _____ (if any)	
<p>I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.</p> <p>Signature of Owner, Contractor or Authorized Agent: _____ Date: _____</p> <p>X _____ X _____</p>				

(OFFICE USE ONLY BELOW THIS LINE)

<b>STAFF AREA</b>	<b>BUILDINGS</b> Occupancy Class _____ Type of Construction _____ FCC Code _____ Permit Classification _____		<b>BUILDING PERMIT FEES</b>																																					
	<table border="1"> <thead> <tr> <th>Occupancy</th> <th>Square Feet</th> <th>@ Rate</th> <th>= Valuation</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		Occupancy	Square Feet	@ Rate	= Valuation																																	<b>PLAN REVIEW FEES</b> _____ Building Plan Review \$ _____ _____ Grading Plan Review \$ _____ Total Review Fees \$ _____	
	Occupancy	Square Feet	@ Rate	= Valuation																																				
Bedrooms _____ Stories _____		<b>PLAN REVIEW PAYMENT</b>																																						
<b>LAND USE</b> PARKING _____ FLOOD ELEV. _____ FIRM ZONE _____ FIRM MAP _____ LAND USE PERMITS: Case Number _____ Case Number _____ Case Number _____ Case Number _____		<b>PERMIT ISSUANCE FEES</b> _____ Adjusted Plan Review Fee \$ _____ _____ Fast Track Fee \$ _____ _____ Early Start Fee \$ _____ _____ Building Permit Fee \$ _____ _____ Water Assessment Fee \$ _____ _____ Water Inspection Fee \$ _____ _____ Sewer Assessment Fee \$ _____ _____ Sewer Inspection Fee \$ _____ _____ Grading Permit Fee \$ _____ _____ Driveway Permit Fee \$ _____ _____ Bond for _____ \$ _____ _____ Other _____ \$ _____ Total Issuance Fees \$ _____																																						
<b>ENGINEERING/PUBLIC WORKS</b> CITY WATER Units: _____ Case No: _____ Service - Size _____ Fire Line - Size _____ Metered _____ Extended Pay # _____ CITY SEWER Units: _____ Case No: _____ BOND Case No: _____ OTHER Case No: _____ ADEC On-site Water No _____ Date _____ ADEC On-site Sewer No _____ Date _____		<b>PLAN REVIEW APPROVALS</b> _____ Fire _____ Initials _____ Date _____ _____ Zoning _____ _____ Engineering _____ _____ Water _____ _____ Sewer _____ _____ Architectural _____ _____ Structural _____ _____ Plumbing _____ _____ Mechanical _____ _____ Electrical _____ _____ Access _____ _____ Special Inspection Form _____																																						
<b>Water Connection Permits</b> I hereby acknowledge receipt of a _____ inch meter yoke. X _____ Date: _____		<b>APPROVED FOR ISSUANCE</b> _____ Signature _____ _____ Date _____																																						
<b>PERMIT ISSUANCE PAYMENTS</b> _____ Date _____ Rcpt _____ Ck _____ \$ _____ _____ Date _____ Rcpt _____ Ck _____ \$ _____ _____ Date _____ Rcpt _____ Ck _____ \$ _____ _____ Date _____ Rcpt _____ Ck _____ \$ _____																																								
<b>CONDITIONS AND HOLDS ON PERMIT:</b> _____ _____ _____ _____																																								

BUILDING PERMIT APPLICATION (Continued)

TYPES OF INSPECTIONS

The inspections indicated below are normally required for each permit type. (Staff marks applicable items)

Table with 4 columns: BU (Commercial Buildings), BI (Com. Building Safety Inspection), SF (Single Family - 4 Units), BI (Res. Building Safety Inspection), PB (Plumbing), MC (Mechanical), EC (Electrical), DW (Driveway), WC (Water Connection), WE (Water Extended), WI (Water Inspection), FC (Fire Connection), SI (Sewer Inspection), GR (Grading), and DM (Demolition). Each column lists various inspection codes and descriptions.

ADDITIONAL CONDITIONS AND HOLDS (STAFF)

Series of horizontal lines provided for staff to enter additional conditions and holds.

# BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Case No: **BLD20240098**

Case Description: **Renovate existing patio, add second story deck, catwalk, and staircase.**

Site Address: **206 ADMIRAL WAY**

Check No. of Existing Dwelling Units:

Parcel No: **1C070K820050**

No. of New Dwelling Units:

Legal Description: **TIDELANDS ADDITION BL 82 LT 5 FR**

No. of Removed Dwelling Units:

**Applicant :** **NORTHWIND ARCHITECTS**  
**126 SEWARD ST**  
**JUNEAU AK 99801**

e-mail: [shannon@northwindarch.com](mailto:shannon@northwindarch.com)  
e-mail: [sean@northwindarch.com](mailto:sean@northwindarch.com)

PH1 586-6150  
CEL 321-3443  
CEL 540-229-9452  
FAX 586-6181

**Owner:** **210ADMIRALTYWAY LLC**  
**C/O JUNEAU REAL ESTATE**  
**8800 GLACIER HWY UNIT 219**  
**JUNEAU AK 99801**

**Contractor:** TO BE BID  
**AK**

PH: \_\_\_\_\_ FAX \_\_\_\_\_

**Valuation for Permit Fee Calculations:**

<u>S.F.</u>	<u>Type</u>	<u>Rate</u>	<u>Amount</u>
1,163	Utl & Misc-Decks	9.91	11,525.33
	Assembly-Gymnasium	129.00	
			450,000.00
	Total Valuation:		\$461,525.34

**Associated Cases:**

None.

**Parcel Tags:**

0//28/15 TJF - Sign permit for Alpacca international is not in parcel file but is shown in Govern. Informed business owner they have appropriate permits.

GPC March 23 2001 - This building is located in a mapped moderate hazard zone. In connection with change of use permit BLD2001-00143 the following was determined: No change required for parking due to CBJ49.40.210(c)(2)(d). No Hazard CU required since the building is being converted to a less intense use.

Owner, Transgulf Investments, wants to be notified of any applications made for this property. Contact: Loren Warner 907-349-0804 (phone/fax). 907-242-9677 (cell).

1/26/06 KJB. See attached document DEED 20060119.

Present parking total for temporary structures is .12, per BLD2007-00234. All additional temporary structures shall be calculated independently and the sums totaled to determine the required parking.  
KFC 6/27/08: Addition of 10'x10' Alaskan Seafood Gazebo structure adds a parking requirement of .33 spaces, bringing the total parking requirement to .42 spaces.

**Notes and Conditions:**

**Applicant's Signature**

(Owner, Contractor or Authorized Agent)

**Date**

**Staff Acceptance**

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

**From:** [domadmin@juneau.org](mailto:domadmin@juneau.org)  
**To:** [Permits](#)  
**Subject:** Online Permit Application #103411  
**Date:** Thursday, February 22, 2024 9:49:03 AM

## Project Description

### Permit Type

Building Permit

### Project Address or Lot/Legal Description as Shown on Plat

210 Admiral Way

### Describe Proposed Project in Detail

THE GRIZ BAR, LOCATED AT THE OUTDOOR PATIO AT 210 ADMIRAL WAY, WANTS TO RENOVATE THE EXISTING GROUND FLOOR PATIO ADJACENT TO THE SOUTHEAST FACADE AND CONSTRUCT A SECOND STORY DECK.

THE EXISTING SECOND STORY EGRESS FROM THE HISTORIC JUNEAU POLICE STATION BUILDING WILL BE IMPROVED WITH A NEW CATWALK FROM THE PROPOSED DECK TO THE EXISTING SECOND STORY EGRESS DOOR, AND A NEW EGRESS STAIRCASE TO THE ALLEY BELOW. A SECOND EGRESS STAIRCASE WILL ALLOW CUSTOMERS TO ACCESS THE SECOND FLOOR DECK FROM THE PATIO.

THE SCOPE OF THIS PROJECT INCLUDES EXCAVATING THE EXISTING PATIO AND REPLACING THE CONCRETE HARDSCAPE WITH A WOOD DECKING FINISH. THE EXISTING BAR WILL BE UTILIZED IN THE NEW FACILITY.

### Value of Work (Materials + Labor)

200000

## Applicant Information

### Applicant Name

Shannon Crossley

### Applicant Address

159 S Franklin St Juneau, AK 99801

### Primary Phone

(154) 022-9945

### Email

[shannon@northwindarch.com](mailto:shannon@northwindarch.com)

## Owner Information

### Owner's Name

Blake Rider

### Owner's Address

[rider.bs@gmail.com](mailto:rider.bs@gmail.com)

**Owner Phone**

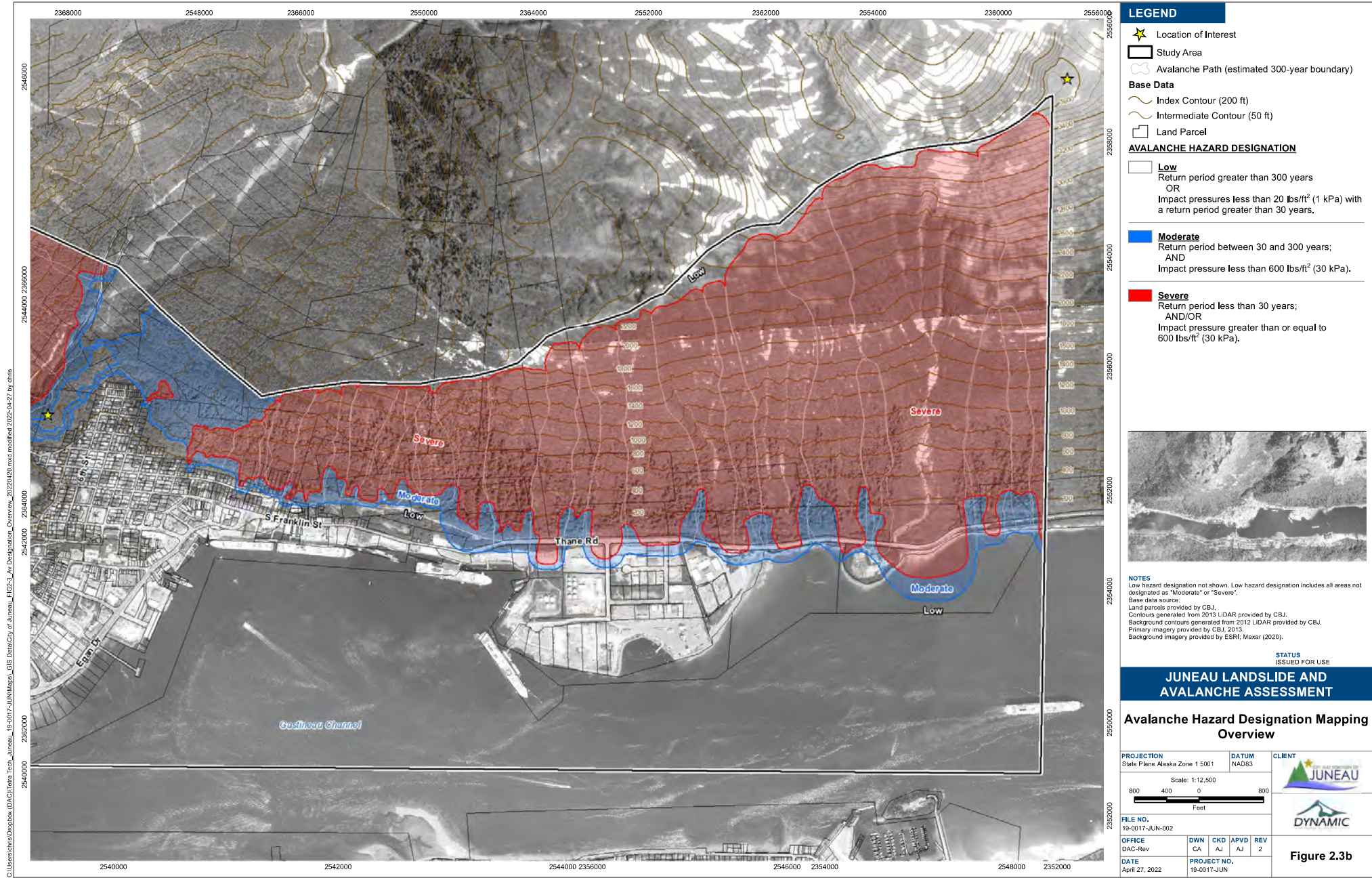
(907) 723-3442

**Contractor Information**

**Contractor Name (or Owner/Builder)**

TBD

**ID# 103411**



**LEGEND**

- ★ Location of Interest
- ▭ Study Area
- Avalanche Path (estimated 300-year boundary)

**Base Data**

- ~ Index Contour (200 ft)
- ~ Intermediate Contour (50 ft)
- ▭ Land Parcel

**AVALANCHE HAZARD DESIGNATION**

- ▭ **Low**  
Return period greater than 300 years  
OR  
Impact pressures less than 20 lbs/ft<sup>2</sup> (1 kPa) with a return period greater than 30 years.
- ▭ **Moderate**  
Return period between 30 and 300 years;  
AND  
Impact pressure less than 600 lbs/ft<sup>2</sup> (30 kPa).
- ▭ **Severe**  
Return period less than 30 years;  
AND/OR  
Impact pressure greater than or equal to 600 lbs/ft<sup>2</sup> (30 kPa).



**NOTES**  
 Low hazard designation not shown. Low hazard designation includes all areas not designated as "Moderate" or "Severe".  
 Base data source:  
 Land parcels provided by CBJ.  
 Contours generated from 2013 LIDAR provided by CBJ.  
 Background contours generated from 2012 LIDAR provided by CBJ.  
 Primary imagery provided by CBJ, 2013.  
 Background imagery provided by ESRI, Maxar (2020).

STATUS  
ISSUED FOR USE

**JUNEAU LANDSLIDE AND  
 AVALANCHE ASSESSMENT**

**Avalanche Hazard Designation Mapping  
 Overview**

<b>PROJECTION</b> State Plane Alaska Zone 1 5001	<b>DATUM</b> NAD83	<b>CLIENT</b> 
Scale: 1:12,500		
800 400 0 800 Feet		

**FILE NO.**  
19-0017-JUN-002

<b>OFFICE</b> DAC-Rev	<b>DWN</b> CA	<b>CKD</b> AJ	<b>APVD</b> AJ	<b>REV</b> 2
<b>DATE</b> April 27, 2022	<b>PROJECT NO.</b> 19-0017-JUN			

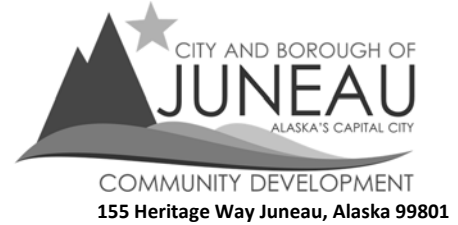
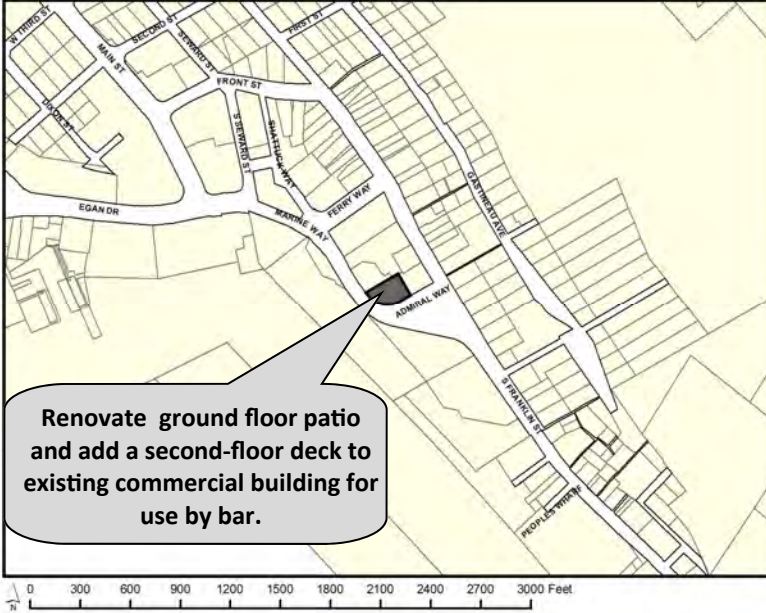
Figure 2.3b

Attachment N - Juneau Landslide and Avalanche Assessment Figure 2.3b

# Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

*Your Community, Your Voice*



TO

**A Conditional Use Permit** has been submitted for consideration and public hearing by the Planning Commission to **renovate ground floor patio and add a second-floor deck to existing commercial building for use by bar** at **Admiral Way** in a **Mixed Use (MU)** zoning district.

#### PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

#### PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **April 1, 2024** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

**Now through March 18**

Comments received during this period will be sent to the Planner, **Forrest Courtney**, to be included as an attachment in the staff report.

**March 19 — noon, April 5**

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

**HEARING DATE & TIME: 7:00 pm, April 9, 2024**

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/88922837421> and use the Webinar ID: 889 2283 7421 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 Heritage Way Juneau, Alaska.

**April 10**

The results of the hearing will be posted online.

#### FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4208

Email: [pc\\_comments@juneau.gov](mailto:pc_comments@juneau.gov) or [forrest.courtney@juneau.gov](mailto:forrest.courtney@juneau.gov)

Mail: Community Development, 155 Heritage Way, Juneau AK 99801

Case No.: **USE2024 0008**

Parcel No.: **1C070K820050**

CBJ Parcel Viewer: <http://epv.juneau.org>





**PUBLIC NOTICE**  
PLEASE READ  
THIS NOTICE IS FOR THE PUBLIC TO  
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VERIFY ALL INFORMATION.  
DATE: 10/10/2023  
BY: [Name]

**ALPA**  
INTERNATIONAL



**From:** [Eric Forst](#)  
**To:** [PC Comments](#)  
**Cc:** [Forrest Courtney](#)  
**Subject:** USE20240008 Griz Bar expansion  
**Date:** Monday, March 25, 2024 12:20:39 PM  
**Attachments:** [image002.png](#)

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**EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS**

Hello,

I am writing in regard to the Griz Bar application for expansion by adding a second story deck. Although I am not opposed to their plan I do want to make sure that they are adding restrooms to their facility. Currently they only have one small restroom in the back alley for their customers to use. We often have issues with their customers coming into the Red Dog and using our restrooms. Sometimes this has been an issue as they can be disruptive to those dining in the Red Dog. Occasionally they have also been abusive to my staff when they are told our restrooms are for customers only.

If you are going to approve their expansion, I would ask that you require them to put in sufficient restroom facilities for the increased capacity. They also need to have better regulation of their alcohol leaving the premises. I have had to take plastic cups of beer away from patrons walking on the sidewalk from the Griz Bar coming into the Red Dog or the Mercantile. Many times, during the summer, patrons are unaware that you cannot walk around with an open container in Alaska.

Again, I am not opposing their plans, but I would like to make sure the restroom issue is included.

Thank you.

**Eric Forst**

*General Manager/Partner*

*Red Dog Saloon and Mercantile*

*278 S. Franklin St.*

*Juneau AK, 99801*

*(907)463-3658 ext. 1*

*(907)723-1275 cell*

*[eric@reddogsaloon.com](mailto:eric@reddogsaloon.com)*



[www.reddogsaloon.com](http://www.reddogsaloon.com)