



**PLANNING COMMISSION STAFF REPORT
CONDITIONAL USE PERMIT USE2024 0003
HEARING DATE: APRIL 9, 2024**

(907) 586-0715

CDD_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

DATE: April 1, 2024
TO: Mandy Cole, Chair, Planning Commission
BY: Irene Gallion, Senior Planner
THROUGH: Jill Lawhorne, Director, AICP
PROPOSAL: Expansion of existing food court.
STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- Lot consolidation is pending.
- Alternative traffic impact analysis code interpretation was used in error, and no Traffic Impact Analysis is required.

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - 49.10.410(f)(2)
 - 49.15.330
 - 49.15.800
 - 49.40.305
 - 49.40.200(a)(2)
 - 49.45.260
 - 49.70.530(a)(2)
 - 49.80

GENERAL INFORMATION	
Property Owner	Franklin Foods LLC
Applicant	PND Engineers INC
Property Address	109, 117, 127, and 139 S. Franklin Street
Legal Description	Juneau Townsite Bl 13: Lot 1A, 2A, 3, 4, 6FR, 7, 8, 9
Parcel Number	C070A1300-11, -12, -30
Zoning	Mixed Use (MU)
Land Use Designation	Traditional Town Center
Lot Size	See Attachment A
Water/Sewer	CBJ
Access	South Franklin Street
Existing Land Use	Food Court
Associated Applications	BLD2023 1002 – Retaining Walls BLD2024 0073 – Underground Electrical BLD2024 0085 - Gazebo SLC2024 0002 – Lot consolidation

The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit. A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedures is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (MU)	Residential
South (MU)	Commercial (S. Franklin Street)
East (MU)	Commercial (Kindred Post)
West (MU)	Commercial (Baranof Hotel)

SITE FEATURES	
Anadromous	No
Flood Zone	No
Hazard	No
Hillside	Yes
Wetlands	No
Parking District	No Parking Required Area
Historic District	Yes*
Overlay Districts	No

** Lot 4 is not in the Historic District. No development is proposed for Lot 4.*

BACKGROUND INFORMATION

Project Description – The Applicant proposes expansion of an existing food court and eventual provision of contract parking for businesses (**Attachment B, C**). The food court is proposed for seasonal spring, summer and fall operation.

The Applicant requests approval for winter operations as well. Winter operations are not currently planned due to water infrastructure improvements that would need to be made. However, the Applicant would like the flexibility to extend to winter hours if desired.

The food court expansion is allowed with Planning Commission approval under Paragraph 8.3 of the Table of Permissible Uses, “Seasonal open-air food service without drive through.”

Plans also show eventual access and contract parking built above the food court. This would be allowed with Planning Commission approval under Paragraph 10.100, “Automobile parking garages or parking lots not related to a principal use on the site.”

The Director has determined that the development constitutes major development because the Applicant controls 31,078 square feet that includes the food court expansion. Plans submitted show eventual development on the lots held by the Applicant, with the exception of Lot 4. The Applicant plans development on 26,291 square feet, which is over half an acre.

Background –

A 1894 plat shows lots in their current configuration with subsequent modifications:

- Subdivision of Lot 6A FR.
- Modifications to Lot 1 and 2 into Lot 1A and 2A.

Applicable history begins with the 2012 destruction by fire of the Gastineau Apartments. CBJ negotiated with the owners to demolish the apartments. After ongoing negotiations failed, CBJ condemned the unsafe property and demolished the apartments in 2016. The city demolished the Gunakadeit Park to facilitate efficient apartment demolition and to eliminate the park, recognized as a “problematic property” (**Attachment D**).

In 2018, the Applicant approached CBJ to purchase the former Gunakadeit Park (Lot 9). Development plans for the Archipelago Lot (next to the Marine View parking garage) had displaced the Applicant and other vendors, and the Applicant was looking for a new location. The Assembly initially declined the purchase, but allowed the Applicant to lease the lot in 2019. On January 11, 2022, the Planning Commission recommended that the Assembly sell the lot to the Applicant, with the condition that the Gastineau Apartments property was purchased from the private owner of the property (CSP2021 0006, **Attachment E, F**). The Applicant had purchased the Gastineau Apartments property in December of 2021, before the hearing. After discussion by the Lands, Housing and Economic Development Committee on February 14, 2022 (**Attachment G**), the Assembly approved the transfer on February 28, 2022 (Ordinance 2022-14, **Attachment H**).

The Applicant purchased the Elks Hall in June of 2023. The property had been unoccupied for years, and was not salvageable (**Attachment I**). A demolition permit was issued in July.



Lot 1A, 2A and 3 accommodated the Gastineau Apartments from 1915 until they burned in 2012 and were demolished in 2016.

Lot 9 accommodated Gunakadeit Park from 1984 until it was demolished in 2015 to provide a staging area for demolition of the Gastineau Apartments.

Lots 6a, 7 and 8 accommodated the Elks Lodge. Built in 1908, the building hosted the first Alaska Territorial Legislature in 1913. It was demolished in 2023 due to foundation concerns.

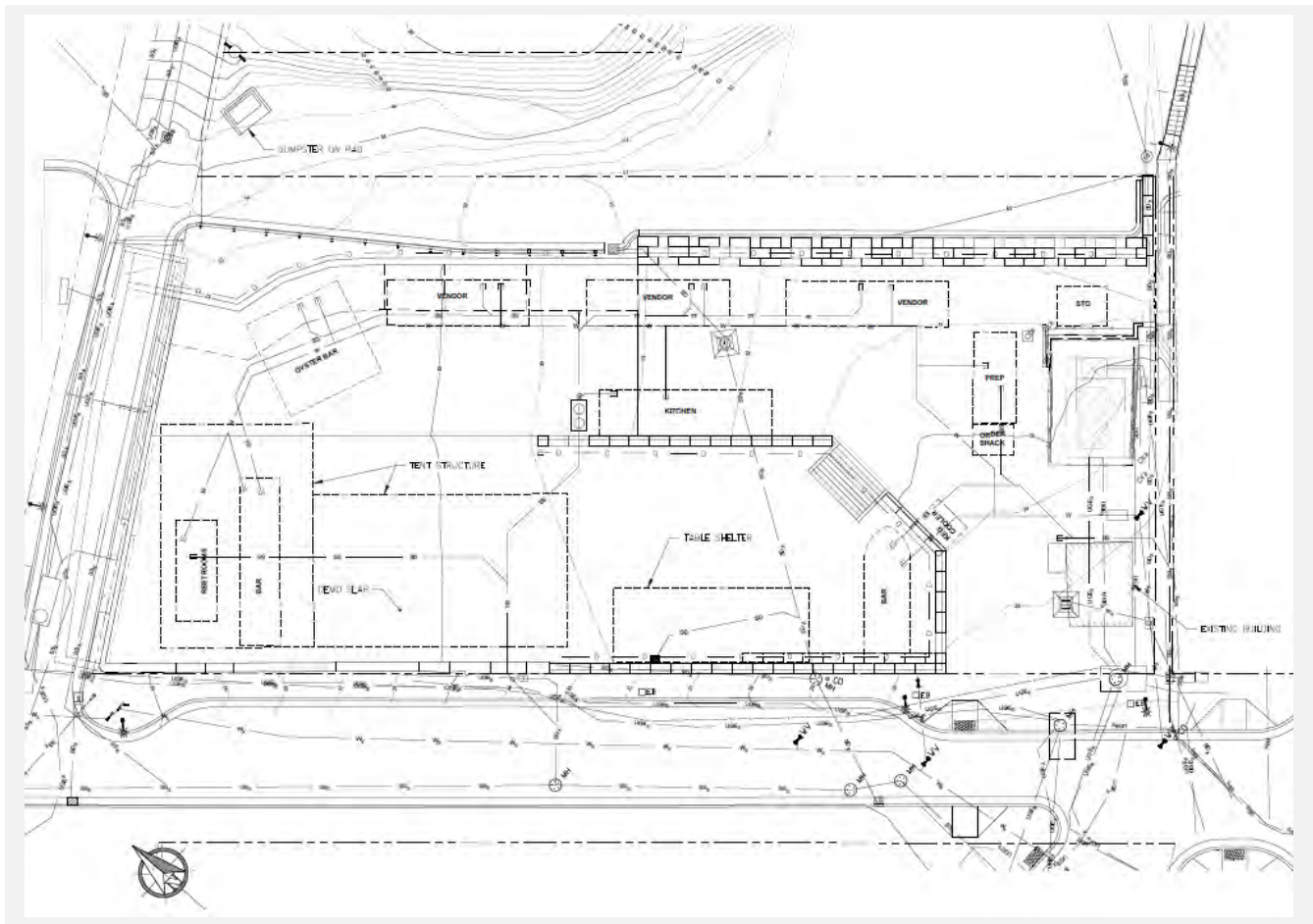
The Applicant has had multiple pre-application conferences. In 2022, the Applicant had a pre-application that included modifications to the neighboring Elks Hall to support food court operations (**Attachment J**). A 2023 pre-application conference included an exploration of adding housing to the project (**Attachment K**). The latest pre-application conference took place after demolition of the Elks Hall, and in anticipation of the 2024 tourist season (**Attachment L**).

Item	Summary
1894 Plat	Shows lots in their current configuration, with Lot 6 intact.
Plat 85-148	Documents modifications to Lots 1A and 2A.
DMO2015 0020	Demolition of Gastineau Apartments
CSP2021 0006	Planning Commission review of disposal of Gunakadeit Park to Applicant (Attachment E) .
January 11, 2022 Planning Commission Minutes	Recommending approval to the Assembly (Attachment F)
February 14, 2022 Lands, Housing and Economic Development Minutes	Discussion of housing and property value. Motion to forward to the Assembly with support. Motion passed without objection (Attachment G) .
ORD2022-14	Ordinance transferring ownership of Gunakadeit Park to the Applicant. Passed without objection on March 14, 2022 (Attachment H) .
PAC2022 0039	Plans for the site, including the Elks Hall (Attachment J) .
PAC2023 0031	Updated plans for the site, including the Elks Hall (Attachment K) .
BLD2023 1002	Retaining walls – permitted for construction (Attachment M) .
PAC2024 0008	Plans for the site, after demolition of the Elks Hall (Attachment L) .
BLD2024 0073	Underground electrical – permitted for construction (Attachment N) .
BLD2024 0085	Gazebo for picnic tables – in review. Approval contingent on outcome of this application (Attachment O) .
SLC2024 0002	Consolidation of Lot 1A, 2A, 7,8 and 9. Consolidation of Lot 6FR, and Lot 3. In process (Attachment P) .

ZONING REQUIREMENTS

See **Attachment A**.

SITE PLAN



ANALYSIS

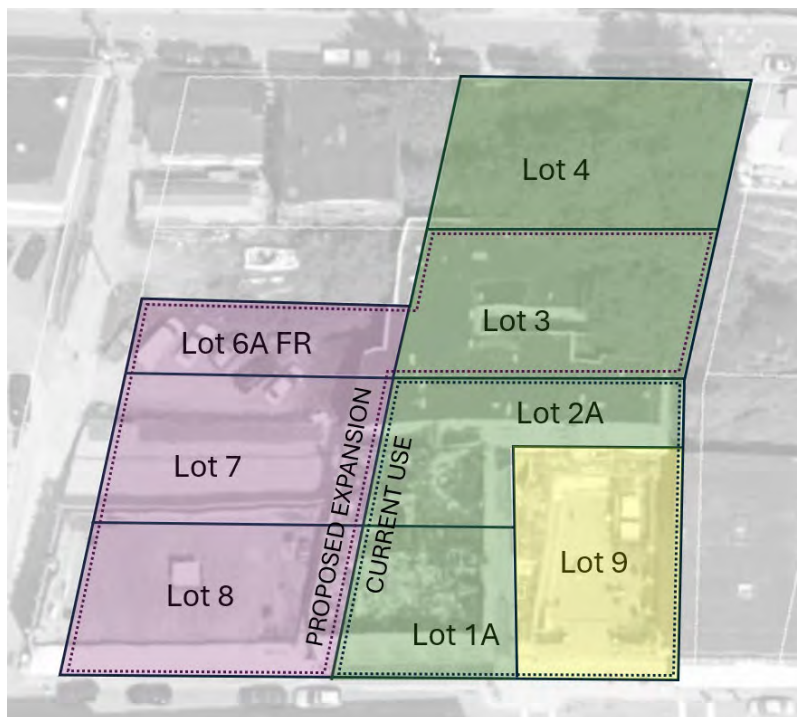
Project Site – The site is made up of eight lots.

- Current food court operations on Lots 1A, 2A and 9 (10,643 square feet).
- Proposed expansion of food court operations onto Lots 6A fr, 7 and 8 (11,048 square feet).
- Lot 3 will eventually be used for contract parking (~4,600 square feet)

Lot	Parcel	Address	Description	Frontage	Size, square feet
1A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)	South Franklin St.	2,797
2A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)	Rawn Way	3,768
3	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)	Rawn Way	~4,600 ^A
4	1C070A130011	127 S Franklin St.	Vacant hillside	Gastineau Avenue	~4,787 ^A
	1C070A130011		PARCEL TOTAL		15,952
6A FR	1C070A130030		Elks Hall (demolished)	First Street	~2,210
7	1C070A130030		Elks Hall (demolished)	First Street	~4,419
8	1C070A130030		Elks Hall parking lot	South Franklin St.	~4,419
	1C070A130030		PARCEL TOTAL		11,048
9	1C070A130012	139 S Franklin St.	Gunakadeit Park	South Franklin St.	4,078
TOTAL: 31,078 square feet					

A: Scaled in Parcel Viewer, plat illegible.

Colors in the table denote parcels in the map below. The green dotted line denotes current use, and the purple dotted line shows proposed expanded use.



Project Design – The project proposes approximately 4,650 square feet of covered structures. The only permanent structure is the proposed table cover structure. The applicant requests up to 5,000 of covered structures to allow for variability in temporary structures. Currently proposed structures include:

Structure	Square feet
Five food trucks, each 250 square feet	1,250
Oyster Bar	300
Boat Bar	200
Table Shelter	600
Tent	1,500
Bar	250
Restrooms	150
Keg cooler, order shack, storage	400

Structures will be connected to permanent utilities. Utility location limits location changes for temporary structures. A grading permit has been issued allowing construction of water, sewer and electric at the Applicant’s risk. Building permits for temporary structures on the expansion will not be permitted until the Conditional Use Permit is approved.

Condition: None.

Traffic – The Director is honoring an error made in the pre-application conference. A traffic impact analysis (TIA) is not required [CBJ 49.40.305].

The Institute of Traffic Engineer’s Trip Generation Manual (9th Edition) (ITE) provides two figures for evaluation – a daily rate, and a peak hour rate. CBJ code does not provide an evaluating metric for peak hour rate.

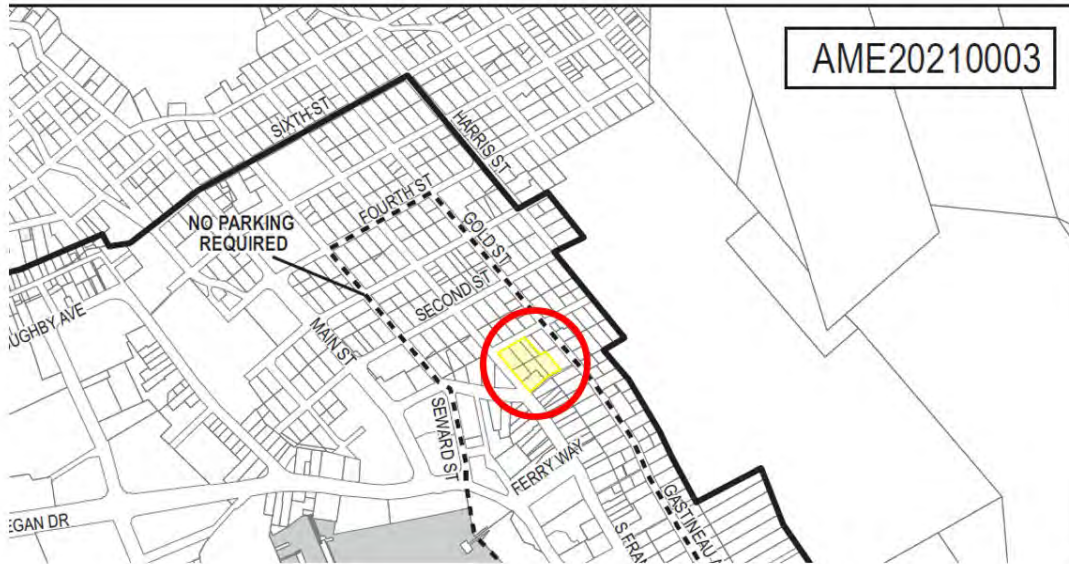
As documented in the preapplication conference notes for this project (PAC2024 0008, **Attachment L**), the analysis used hourly traffic rates as a daily rate. The applicant has moved forward with the project based on the Director’s determination. The Director will honor the determination. The infill development predominantly serves tourists and people who work downtown.

ITE categories that provide a daily rate include:

Category	Trips/1,000 sf	Total Trip Estimate
High Turn-Over Sit Down Restaurant	127.15	635.75
Fast Food Restaurant with Drive-Through Window	496.12	2,480.6
Coffee/Doughnut Shop with Drive-Through Window	818.58	4,092.90
...with Drive-Through Window and No Indoor Seating	1,800	9,000

Condition: None.

Vehicle Parking & Circulation – The proposed development is in the No Parking Required Area [CBJ 49.40.200(a)(2)].



Condition: None.

Noise – Noise is anticipated to be consistent with that generated in Mixed Use zoning.

CBJ’s noise ordinance is under the Penal Code, Title 42. Unreasonable noise will be evaluated based on volume, intensity, background noise, proximity to residential sleeping facilities, time of day, and if the noise is produced by a commercial activity.

Condition: Use of the sound systems, amplifiers, audible signaling, or voice at louder than conversational level shall not be permitted between the hours of 10:00 pm and 8:00 am Monday through Thursday, or 12:00 am and 8:00 am on Friday and Saturday.

Lighting - Exterior lighting shall not be used in a manner that produces glare on public roadways or neighboring property. Lighting fixtures must direct light only onto the parcel. Lighting shall be shielded from residential uses.

Condition: Prior to issuance of a Temporary Certificate of Occupancy for BLD2024 0073, the applicant will provide the following for outdoor lighting not associated with permitted structures:

- A site plan showing the location of fixtures.
- Cut sheets for lighting fixtures used.

Condition: Prior to issuance of a building permit, temporary structures permit will provide documentation of shielded lighting that is downward cast and shines light only on the project lot.

Vegetative Cover & Landscaping – There is no vegetative cover requirement in Mixed Use zoning.

Condition: None.

Habitat – There is no known habitat on the project site.

Condition: None.

Drainage and Snow Storage – Drainage elements are included in the utility plan (**Attachment Q**). Utility and drainage plans are approved by CBJ’s General Engineering Division.

The food court is proposed for seasonal operation. Site design provides adequate area for snow storage if operations are extended.

Condition: None.

Historic District – The project is in Juneau’s Downtown Historic District (Ordinance 2013-01). Note that Lot 4 is outside of the Historic District.

The Planning Commission is the arbiter for which historic standards are “applicable.” For this proposal, the Commission is tasked to review harmony of scale and sidewalk level use [CBJ 49.70.530(a)(2)].

The Historic Resources Advisory Committee (HRAC) is tasked with providing recommendations on historic preservation plan elements that may impact local projects [CBJ 49.10.410(f)(2)].

This project has four development permit elements:

Site Design:

The HRAC was asked on March 6, 2024 to provide recommendations to the Commission on preservation of harmony of scale and sidewalk level use [CBJ 49.70.530(a)(2), **Attachment R**]. It is anticipated to consider the project at their April 3, 2024 meeting and to have feedback to the Commission by April 5, 2024.

Permanent Structures:

The permanent structure proposed at this time is the picnic table gazebo, being reviewed under BLD2024 0085 (**Attachment O**).

Structures next to sidewalks in the Historic District must provide canopies if the structure it is affixed to exceeds \$25,000 [CBJ 49.15.800]. Estimated construction costs are \$18,697.

HRAC is anticipated to review the gazebo at their April 3, 2024 meeting.

Temporary Structures:

Temporary structures do not fall under HRAC purview. Unless the Commission conditions it, temporary structures will not receive HRAC review.

Signs:

CBJ sign code requires all applications to be decided within three working days of receiving a complete application. Staff reviews signs in accordance with CBJ 49.45.260.

Condition: None.

Hazard Zones – Hazard regulations were updated December 11, 2023. The update eliminated landslide considerations from CBJ code, and adopts the April 27, 2022 avalanche maps.

Under updated regulations, the proposed project is outside of the hazard zone.



Condition: None.

Public Health, Safety, and Welfare –

The Applicant has considered providing housing. At this time, housing is not economically feasible.

The Applicant’s food court moved to this area after demolition of Gunakadeit Park. A 2015 KTOO article said of the park, “Litter, fistfights, intoxicated loiterers, open container violations, and sundry calls for emergency services are common at the pocket park in the shadow of the Gastineau Apartments.” The City Manager said, “The park itself, I think, it’s no secret, is not a particularly successful park.” (**Attachment D**). During consideration of the CSP for disposing of property to the Applicant (**Attachment E**), neighboring business owner Dale Whitney said, “The food truck court is one bright spot in this chronically blighted area.”

The Juneau Police Department participates in a program called “Crime Prevention Through Environmental Design.” Under the program a trained office will evaluate a site and make recommendations on improvements to mitigate crime. This voluntary program might provide insights on site improvements.

Condition: None.

Property Value or Neighborhood Harmony – Negative impacts to property values are not anticipated. Differing noise tolerance between commercial and residential uses is an ongoing concern of the MU zoning district. Impacts from the Applicant’s proposed development would be in keeping with other downtown venues.

Condition: None.

AGENCY REVIEW

CDD conducted an agency review comment period between March 1, 2024 and March 8, 2024 and received the following response (**Attachment S**):

Agency	Summary
CDD Building Division	No issues at this time.

PUBLIC COMMENTS

CDD conducted a public comment period between March 6, 2024 and March 15, 2024. Public notice was mailed to property owners within 500 feet of the proposed development (**Attachment T**). A public notice sign was also posted on-site two weeks prior to the scheduled hearing (**Attachment U**). Public comments submitted at time of writing this staff report can be found in **Attachment V**.

Name	Summary
Claire Geldhof	Ambient noise concerns.

CONFORMITY WITH ADOPTED PLANS

The proposed development conforms with the following plans:

2013 Comprehensive Plan:

Chapter	Page No.	Item	Summary
5	50	Tourism and Visitors	Promote and accommodate development that services cruise ship tourism.
5	54	5.6-IA6	Encourage local private businesses to meet demand for varied and interesting tourism experiences.
8	102	Transportation	Encourage infill to reduce costs of expanding utilities.
11	184		Subarea 6:
		5	5. Limit development in hazard areas.
		19	19. Consider noise impacts on residents.

2015 Juneau Economic Development Plan:

Chapter	Page No.	Item	Summary
5	66	Objective 4	Actively support and maintain quality of life infrastructure that attracts and retains a desired workforce.

Blueprint Downtown DRAFT: The document is substantially complete and in the process of final review. Blueprint Downtown is the most current representation of public development interest.

The following action items support the Applicant’s development.

Chapter	Page No.	Item	Summary
2	40	Action	Use seasonal nature to develop business activity.
			Allow short term uses and temporary structures to activate lots and reduce barriers to start-ups.
	43		Encourage Crime Prevention Through Environmental Design review.
	45		Promote facilities that enhance the public realm, such as plazas or parks, and public seating.
	48		Implement pedestrianization and parklets to increase retail benefits.

FINDINGS

Conditional Use Permit Criteria –

1. *Is the application for the requested Conditional Use Permit complete?*

Analysis: No further analysis required.

Finding: **Yes**, the application is complete.

2. *Is the proposed use appropriate according to the Table of Permissible Uses?*

Analysis: The food court expansion (TPU 8.3) and proposed contract parking (TPU 10.1) require approval from the Planning Commission based on size of the development as a whole.

Finding: **Yes**, the proposed use is appropriate according to the Table of Permissible Uses.

3. *Will the proposed development comply with the other requirements of this chapter?*

Analysis: No further analysis needed.

Finding: **Yes**. With the recommended conditions, the proposed development will comply with Title 49, including parking, lighting, noise, and lot consolidation.

4. Will the proposed development materially endanger the public health, safety, or welfare?

Analysis: No further analysis needed.

Finding: No. With appropriate conditions, the requested food court expansion and contract parking provision, in a MU zoning district, will not materially endanger the public health or safety.

5. Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?

Analysis: No further analysis needed.

Finding: No. With appropriate conditions, the requested food court expansion and contract parking provision, in a MU zoning district will not substantially decrease the value or be out of harmony with the property in the neighboring area.

6. Will the proposed development conform to the Land Use Plan, Thoroughfare Plan, or other officially adopted plans?

Analysis: No further analysis needed.

Finding: Yes / No. The proposed food court expansion, with the recommended conditions, will conform with the 2013 Comprehensive Plan, the 2015 Economic Development Plan, and the DRAFT Blueprint Downtown.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow the development of pet grooming, walking and dog daycare services in a D3 zone.

The approval is subject to the following conditions:

Condition #1: Prior to issuance of Temporary Certificates of Occupancy (TCO) for temporary or permanent structures, Lots 1A, 2A, 7, 8, and 9 must be consolidated.

Condition #2: Use of the sound systems, amplifiers, audible signaling, or voice at louder than conversational level shall not be permitted between the hours of 10:00 pm and 8:00 am Monday through Thursday, or 12:00 am and 8:00 am on Friday and Saturday.

Condition #3: Prior to issuance of a Temporary Certificate of Occupancy for BLD2024 0073, the applicant will provide the following for outdoor lighting not associated with permitted structures:

- A site plan showing the location of fixtures.
- Cut sheets for lighting fixtures used.

Condition #4: Prior to issuance of a building permit, temporary structures requiring a building permit will provide documentation of shielded lighting that is downward cast and shines light only on the project parcel.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Lot size information.
Attachment B	Application.
Attachment C	Revised site plan for food court expansion.
Attachment D	KTOO Report, August 31, 2015.
Attachment E	CSP2021 0006: Recommending approval of land transfer.
Attachment F	Planning Commission meeting minutes, January 11, 2022.
Attachment G	Assembly LHED meeting minutes, February 14, 2022.
Attachment H	Ordinance 2022-14, conveyance.
Attachment I	KTOO Report, November 3, 2023.
Attachment J	PAC2022 0039: Pre-application conference notes, with Elks Hall.
Attachment K	PAC2023 0031: Pre-application conference notes, with Elks Hall and housing.
Attachment L	PAC2024-0008: Pre-application conference notes after Elks Hall demolition (Attachments removed).
Attachment M	BLD2023 1002 for retaining walls.
Attachment N	BLD2024 0073 for underground electrical.
Attachment O	BLD2024 0085 for picnic table gazebo.
Attachment P	SLC2024 0003, lot consolidations.
Attachment Q	Utility plan showing drainage.
Attachment R	Request to HRAC to review the site plan (plan pages removed).
Attachment S	Agency Comments.
Attachment T	Public notice.
Attachment U	Public Notice sign.
Attachment V	Public comments.

ATTACHMENT A: LOT DATA

Items in **BOLD** are nonconforming.

Standard		Requirement	Existing, Juneau Townsite Block 13, Lot:							
			1A	2A	3	4	6A FR	7	8	9
Lot	Size	4,000	2,797	3,768	~4,600	~4,787	~2,210	~4,419	~4,419	4,078
	Width	50	62.29	25.77	~50	~95	~25	~50	~90	56.71
Setbacks	Front	0	<p>At this time permanent structures have been removed. Temporary structures are placed seasonally.</p> <p>Applicant requests up to 5,000 square feet of temporary structures, including food carts, awnings, canopies, and refrigerated storage.</p> <p>Historic District Standards limit height to 45 feet.</p>							
	Rear	0								
	Side	0								
	Street Side	0								
Lot Maximum Coverage	None									
Vegetative Minimum Cover	None									
Height	None									
Maximum Dwelling Units Per Acre	None									



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY

Construct a cast-in-place and stacked concrete block walls at the site of the former Elks Lodge, Gastineau Apartments and Guunakadeit Park, to stabilize conditions. **Also includes expansion of the existing food court.**

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

~~Accessory Use Permit (AUP)~~

Use Listed in 49.25.300 – Table of Permissible Uses (USE)

Table of Permissible Uses Category: **8.300 Seasonal Open-Air Food Service Without a Drive-Through**

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

YES – Case # _____ NO

UTILITIES PROPOSED

WATER: Public On Site

SEWER: Public On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 31,078 square feet Total Area of Existing Structure(s) 220 square feet

Total Area of Proposed Structure(s) 220 square feet No new permanent structures

EXTERNAL LIGHTING

Existing to remain	X No	Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
Proposed	No	Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

If this is a modification or extension include:

Narrative including:

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

Plans including:

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500.00</u>	<u>Class II</u>		
Admin. of Guarantee	\$ <u>—</u>			
Adjustment	\$ <u>—</u>			
Pub. Not. Sign Fee	\$ <u>50.00</u>			
Pub. Not. Sign Deposit	\$ <u>100.00</u>			
Total Fee	\$ <u>650.00</u>			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE24-003</u>	<u>1-23-24</u>



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

PROPERTY LOCATION	
Physical Address 109, 127 and 139 South Franklin Street, Juneau Alaska 99801	
Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Juneau Townsite Block 13	
Parcel Number(s) Lots 1A, 2A, 3, 4, 6 Fraction, 7, 8, 9	
<input checked="" type="checkbox"/> This property is located in the downtown historic district <input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which XXXXXX Hazard Zone No longer in a regulated hazard area.	
LANDOWNER/ LESSEE	
Property Owner Franklin Foods, LLC	Contact Person David McCasland
Mailing Address 3294 Pioneer Ave, Juneau AK 99801	Phone Number(s) 907-957-2212
E-mail Address davidmccasland907@gmail.com	
LANDOWNER/ LESSEE CONSENT	
Required for Planning Permits, not needed on Building/ Engineering Permits.	
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.	
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:	
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.	
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.	
David McCasland	Landowner
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
<i>[Signature]</i>	1/23/24
X Landowner/Lessee (Signature)	Date
_____ Landowner/Lessee (Printed Name)	_____ Title (e.g.: Landowner, Lessee)
X _____ Landowner/Lessee (Signature)	_____ Date
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.	
APPLICANT If same as LANDOWNER, write "SAME"	
Applicant (Printed Name) PND Engineers	Contact Person Chris Gianotti
Mailing Address 9360 Glacier Highway, St 100, Juneau AK 99801	Phone Number(s) 907=463-7001
E-mail Address cgianotti@pndengineers.com	
X Christopher M Gianotti	2024-01-23
Applicant's Signature	Date of Application

To be completed by Applicant

DEPARTMENT USE ONLY BELOW THIS LINE

Intake Initials
<i>JLS</i>

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<i>USE24-003</i>	<i>1-23-24</i>



ENGINEERS, INC.

January 23, 2024

PND 222070

Mr. David McCasland
Franklin Foods, LLC
3294 Pioneer Avenue
Juneau, Alaska 99801

Re: Franklin Foods Food Court - Grading Permit
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this narrative to accompany the application for the conditional use permit application for the Franklin Foods Food Court. The narrative includes the following:

- Current Use of Land and Proposed Use of the land.
- Description of project, project site, circulation, traffic
- How the Use complies with the Comprehensive Plan

Project Background

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1st Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1st Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20th Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

When demolishing the Elks Club Building the east wall collapsed as it was very poorly constructed. The demolition contractor re-graded the slope to between a 1.5 to 1 to 1 to 1 slope (horizontal to vertical) or 34 to 45 degrees. The slope was covered with a polyethylene tarp to minimize moisture intrusion to help stabilize the slope. This is sloped condition is temporarily stable.

Current Use and Proposed Use

Current use of the site is a food court where vendors prepare and sell food and drinks to customers who eat at tables on site or take the food and drink with them elsewhere. There is an existing one-story, wood-framed structure for one vendor which was built under a previous building permit. Other structures are portable and those include a restroom, a bar, a kitchen, a storage building, and seasonal fabric pavilion like tents. The food court operates from May until October 1, when weather

discourages customers to the point that operations are not feasible. The use after the project is complete is the same as what the current use is.

Proposed Project

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. The stacked block wall will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel-surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.

The above-described improvements are needed to stabilize existing conditions and create a more pleasingly aesthetic site for food court operations.

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls. Drain lines will be installed behind the retaining wall to both improve stability of the retained fill and intercept and control water across the food court.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal. The existing soils will be stable if graded to that slope.

Along the Franklin Street sidewalk and south of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along the street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

Circulation and Traffic

Most customers of the food court are pedestrians. Most of the pedestrians are passengers and crew members from cruise ships. Some locals will drive to the site and use on-street parking before walking to the food court to buy and eat foods. All customers will likely go to adjacent and nearby businesses and shops.

The proposed improvements will stabilize the site and increase seating at the site, increase area for customer queuing lines.

The retained fill behind the retaining walls will provide 15 to 20 spaces of parking. This parking will be mainly for the vendor staff and customers that are local or those using cars to get to the site.

January 23, 2024

Franklin Foods Food Court
Grading Permit
Page 3

The new area above the retained fill behind the retaining walls, via access from 1st Street, will also be a spot for a bear-resistant dumpster. It will not block access to Rawn Way or 1st Street. It will not block access to the food court.

Compliance with the Comprehensive Plan

The proposed improvements are to enhance the experience of being in Downtown Juneau by improving aesthetics, enhance tourist experience, offer a better experience for locals dining in downtown. This project will make the existing food court a more-attractive and safer component of the downtown neighborhood. The display of the historic plaque that was on the Elks Building and reuse of the designs cast in the ground level slab of the Elks Building will note the historic character of the site.

Closing

PND appreciates this opportunity to present this narrative for the grading permit to Mr. David McCasland for the Franklin Foods Improvements project. We hope this narrative satisfies the project permit parameters. Please contact us with any questions regarding the contents of this document.

Sincerely,
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.
Senior Engineer



ENGINEERS, INC.

January 9, 2024

PND 222070

Mr. David McCasland
Franklin Foods, LLC
3294 Pioneer Avenue
Juneau, Alaska 99801

Re: Franklin Foods Hillside Endorsement
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this Engineering Geology Report for the Franklin Foods Improvements Project. The purpose of this report is to provide a summary of existing site geology, observed geological processes and engineering data relevant to proposed development. This report is being submitted to satisfy the City and Borough of Juneau (CBJ) Hillside Endorsement section requirements of the Land Use Code for areas with slopes that exceed 18%.

Project Background

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1st Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1st Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20th Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. It will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal.

South of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along Franklin Street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

Site Geology

Limited geotechnical reconnaissance was completed for this project. Three test pits were excavated west of the west foundation wall of the former Gastineau apartments east wing and one test pit was excavated east of the same foundation wall. At each test pit abandoned foundation walls and footings surrounded by gravelly sand was found to a depth of approximately 4 feet below the ground surface. Below the footings test pits revealed a gravel base course underlain with a firm, sandy silty material with shell fragments, which is believed to be native, natural soils.

During site demolition, the excavation contractor further revealed the existing abandoned lowest level slab of the east wing of the Gastineau Apartments and the adjacent retaining walls east of the slab. Backfill around the retaining walls is a loose, very wet, sandy-gravel to gravelly-sand material.

The only likely active geologic process affecting the site is isostatic rebound, and is not expected to have any adverse impacts. There are no substantial indications of slope instability on the hillside.

Recommendations

The retaining walls need to be designed and constructed for global stability as well as internal stability to resist all lateral loads imposed by the retained fill with a surcharge of 50 psf on the fill which is appropriate for a parking area. The walls should be designed and constructed in accordance with the CBJ Building Code. Drains should be installed behind the walls and backfill shall be free-draining.

New excavated slopes should be stable for the soil conditions. For the soils encountered on site, that is sandy gravel to gravelly-sands, man-made fill, the slope of 2:1 (horizontal to vertical) should not be exceeded.

Preventing saturation and minimizing disturbance will be critical in maintaining stability. Rain gutters and other runoff from new development and the adjacent properties should be directed away from slopes or intercepted prior to reaching the excavated slopes. Riprap pads, landscaped vegetation or

January 9, 2024

Franklin Foods Improvements
Engineering Geology Report
Page 3

other techniques to prevent erosion should be utilized when discharging runoff downhill. Previously-vegetated areas disturbed during construction should be stabilized through re-vegetation or other means such as large shot rock gravel or riprap. No slopes, either existing or constructed, should exceed 1.5H:1V unless designed or evaluated by a professional engineer.

Closing

PND appreciates this opportunity to present this Engineering Geology Report to Mr. David McCasland for the Franklin Foods Improvements project. We hope this report satisfies the project parameters. Please contact us with any questions regarding the contents of this report.

Sincerely,
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.
Senior Engineer

GENERAL NOTES

GENERAL NOTES

CRITERIA

CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU
STRUCTURAL RISK CATEGORY: II

LOADS

SURCHARGE ON RETAINED EARTH: 50 PSF
RETAINED SOIL: INTERNAL ANGLE OF FRICTION = 26 DEGREES IN NATURAL SOIL 40 DEGREES IN SHOT ROCK BACKFILL

RAILING LOADS: 50 POUNDS PER FOOT OR 200 POUND CONCENTRATED LOAD
30 PSF ON INTERMEDIATE POSTS, WIRES AND RAILS
VEHICLE BARRIER LOAD: 6000 POUNDS HORIZONTAL BETWEEN 18 INCHES AND 27 INCHES ABOVE DRIVING SURFACE
STRUCTURES AT ROADWAY: AASHTO HL90 HIGHWAY LOADING

FOUNDATION

FOUNDATION IS DESIGNED FOR A MAXIMUM ALLOWABLE BEARING PRESSURE OF 3,000 PSF.

MATERIALS AND CONSTRUCTION

EXCAVATION AND GROUND PREPARATION

EXCAVATE TO LIMITS SHOWN ON PLANS IN ACCORDANCE WITH OSHA AND STATE OF ALASKA DEPARTMENT OF LABOR REGULATIONS. VERIFY THAT CONDITIONS AT THE LIMIT OF EXCAVATION ARE FIRM NATIVE MATERIAL FREE OF TRASH, DEBRIS, ORGANICS, SOFT MATERIAL, AND MUCK ON BEDROCK OR BEDROCK. IF UNDESIRABLE CONDITIONS EXIST NOTIFY ENGINEER. REMOVE ANY UNDESIRABLE MATERIAL FROM SITE. REPORT TO ENGINEER CONDITIONS FOUND AT LIMIT OF EXCAVATION AND FIELD ADJUST BOTTOM OF FOOTING ELEVATION BASED ON CONDITIONS.

PROTECT EXISTING BURIED UTILITIES. LOCATE UTILITIES PRIOR TO EXCAVATION.

BASE COURSE

BASE COURSE SHALL CONFORM TO SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION, GRADATION C1 OR D1. PLACE IN LIFTS NOT TO EXCEED 6 INCHES IN THICKNESS AND COMPACT EACH LIFT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

DRAIN ROCK

DRAIN ROCK SHALL BE UNIFORMLY GRADED, WASHED GRAVEL WITH STONE SIZE BETWEEN 1/2 INCH AND 1 INCH. PLACE IN LIFTS NOT TO EXCEED 12 INCHES AND TAMP WITH EXCAVATOR BUCKET TO OBTAIN MAXIMUM DENSITY.

TRENCHING

BED PIPES IN GRAVELLY SAND WITH NO STONE SIZE GREATER THAN 1.5 INCHES. COMPACT BOTTOM OF TRENCH WITH THE MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS. PLACE BEDDING IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS AND COMPACT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

PLACE WARNING TAPE 12 INCHES ABOVE PIPE. WARNING TAPE SHALL BE 6 INCHES WIDE, 4 MIL THICK POLYETHYLENE WITH BLACK LETTERING ON COLOR APPROPRIATE FOR PIPE TYPE BELOW.

BACKFILL TRENCHES WITH SUITABLE MATERIAL EXCAVATED FROM TRENCH OR IMPORTED, WELL-GRADED SANDY GRAVEL. PLACE IN LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS. COMPACT EACH LIFT PRIOR TO PLACING SUBSEQUENT LIFTS WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

DRAIN PIPE AND SEWER PIPE

DRAIN PIPE SHALL BE EITHER PVC MEETING ASTM D3034 WITH SDR 35 OR CPP MEETING AASHTO M252 TYPE 5 WHERE INDICATED PIPE SHALL BE PERFORATED. PIPE SHALL HAVE BELL AND SPIGOT JOINTS. FITTINGS SHALL BE OF SAME MATERIAL AND COMPATIBLE WITH PIPE. SHIP, STORE, HANDLE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.

CONCRETE

MIXING, PLACING AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE SUCH TO RESULT IN A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. A MIX DESIGN, WITH RECORDED CYLINDER TEST RESULTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING CONCRETE EQUIPMENT TO THE SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICIZERS OR WATER REDUCERS ON SITE. 28-DAY COMPRESSIVE STRENGTH (f_c) SHALL BE 4,000 PSI. CONCRETE SHALL BE ENTRAINED WITH AIR AND AIR CONTENT SHALL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60. LAP REINFORCING STEEL 50 BAR DIAMETERS UNLESS OTHERWISE NOTED.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.

PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: ANY CONCRETE CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 2 INCHES.

EXTEND HORIZONTAL REINFORCING AT CORNERS OF WALLS AND FOOTINGS WITH A 90 DEGREE BEND AND A 48 BAR DIAMETER LAP OR CORNER BARS WITH 48 BAR DIAMETER LAP AT EACH LEG. MATCH ALL HORIZONTAL BARS.

PRECAST CONCRETE BLOCKS

PRECAST CONCRETE BLOCKS SHALL BE MADE WITH CONCRETE WITH A MINIMUM 28 DAY STRENGTH (f_c) = 3,000 AND BE ENTRAINED WITH AIR TO BE BETWEEN 5 AND 8 PERCENT. BLOCKS SHALL HAVE NIBS AND INDENTS AS MANUFACTURED BY ALASKA CONCRETE CASTING INC., OR APPROVED EQUAL. BLOCKS SHALL BE OF THE SIZE INDICATED ON THE PLANS.

STRUCTURAL STEEL

STEEL SHALL CONFORM TO THE FOLLOWING:

W SECTION	ASTM A992
PLATES, CHANNELS, ANGLES	ASTM A 36
PIPES	ASTM A 53 GRADE B
HOLLOW TUBES	ASTM A 500 GRADE C
ANCHOR BOLTS	ASTM F 1554 GRADE 36
BOLTS STEEL TO STEEL	ASTM A 325

STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1, STRUCTURAL WELDING CODE.

BOLTS DESIGNATED AS SLIP CRITICAL (SC) SHALL BE TENSIONED USING TURN OF THE NUT METHOD.

ALL STEEL SHALL BE GALVANIZED AFTER FABRICATION PER ASTM A 125 AND A 153 AS APPROPRIATE.

TIMBER FRAMING

SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE DOUG FIR NO 1 GRADE. TIMBER 5.5 INCHES X 5.5 INCHES OR LARGER SHALL BE DOUG FIR NO. 1 GRADE, USUALLY GRADED IN ACCORDANCE WITH THE WESTERN WOODS PRODUCTS ASSOCIATION, LATEST GRADING RULES. ALL SAWN FRAMING SHALL BE STAMPED WITH LUMBER SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. BOLTS SHALL CONFORM TO ASTM A307 AND BE GALVANIZED. HOLES FOR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. ALL BOLTS WITH HEAD OR NUT IN CONTACT WITH TIMBER SHALL BE INSTALLED WITH GALVANIZED WASHERS UNDER THE HEAD AND NUTS. ALL NAILED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

TIMBER AND LUMBER NOTED AS TREATED SHALL BE PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA C2 FOR IN GROUND CONTACT USING A PRESERVATIVE APPROVED BY THE ENGINEER. FIELD TREAT ALL DAMAGE TO PRESSURE TREATED ENDS AND SURFACES IN ACCORDANCE WITH AWPA M-4 USING 2 COATS OF COPPER NAPHTHATE SOLUTION AT DAMAGE, CUTS, HOLES, CHAMFERS, DAPS, COUNTERSINKS, ETC.

PRECAST CONCRETE BLOCKS

PRECAST CONCRETE BLOCKS SHALL BE MADE OF CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI, MADE FROM A MIX IN COMPLIANCE WITH ACI 318, WITH A MINIMUM CEMENT CONTENT OF 5.5 SACKS OF CEMENT PER CUBIC YARD, USING AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF 3/8 INCHES AND BE AIR ENTRAINED SO AIR CONTENT IS BETWEEN 5 AND 8 PERCENT. BLOCKS SHALL BE INTERLOCKING, WITH A VERTICAL OFFSET OF 2 INCHES IN 2 VERTICAL FEET, BE STACKED IN A RUNNING BOND AND OF THE SIZE INDICATED. ANY DAMAGE TO THE EXPOSED FACE SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER AND ENGINEERS APPROVAL.

REINFORCING GRID

STACKED CONCRETE BLOCK WALL REINFORCING GRID SHALL BE MIRADRID 5X1 AS MANUFACTURED BY MIRIF TENCATE, OR APPROVED EQUAL. ANY SUBMITTAL FOR SUBSTITUTION SHALL INCLUDE THE TECHNICAL SPECIFICATIONS SHEET THAT INCLUDES STRENGTH AND DURABILITY CHARACTERISTICS. REINFORCING GRID SHALL BE LAID OVER THE CONCRETE BLOCKS AND COMPACTED BACKFILL LIFT, WITH TOP EVEN WITH THE BLOCK, WITHOUT ANY BUNCHING OR TEARS OR DAMAGE. THE SUBSEQUENT BLOCK SHALL BE PLACED AND THE GRID PULLED TO A TAUT CONDITION AND SECURED WITH STAKES, GALVANIZED STAPLES OR ANOTHER APPROVED METHOD PRIOR TO PLACING ADDITIONAL LIFTS OF BACKFILL.

STACKED BLOCK WALL BACKFILL

BACKFILL BETWEEN GEORIDS AT GEORID REINFORCED STACKED BLOCK WALL SHALL COMPLY WITH 2 INCH MINUS SHOT ROCK WITH THE GRADATION MEETING SUBBASE GRADING A, AS DEFINED IN CBJ STANDARD SPECIFICATIONS FOR CIVIL ENGINEERING AND SUBDIVISION IMPROVEMENTS, SECTION 2202, PARAGRAPHS 2.8 AND 2.4, RESPECTIVELY. PLACE SHOT ROCK BACKFILL PER SECTION 3.2 OF CBJ STANDARD SPECIFICATION 02202.

BACKFILL BEHIND UN-REINFORCED STACKED CONCRETE BLOCK WALLS SHALL BE WELL GRADED SANDY GRAVEL WITH NO MORE THAN 6 PERCENT PASSING THE NO 200 SIEVE. SUBMIT GRADATION OF MATERIAL PROPOSED TO BE USED FOR REVIEW AND APPROVAL.

PLACE BACKFILL FOR CONCRETE BLOCK WALLS IN LOOSE LIFTS NO GREATER THAN 12 INCHES IN LOOSE THICKNESS. COMPACT WITH A MINIMAL LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY PLATE OR VIBRATORY DOUBLE DRUM ROLLER WITH THE MINIMUM FORCE LEVEL RATING OF 10,000 POUNDS. SUBMIT TECHNICAL DATA ON COMPACTION EQUIPMENT FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING COMPACTION EQUIPMENT TO THE SITE.

ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE FOR STEEL CONSTRUCTION
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA	AMERICAN WOOD PRESERVERS ASSOCIATION
AWWA	AMERICAN WATER WORKS ASSOCIATION
CPP	CORRUGATED POLYETHYLENE PIPE
(E)	EXISTING
EQ	EQUAL
ER	EVALUATION REPORT
EXIST	EXISTING
HDPE	HIGH DENSITY POLYETHYLENE
IBC	INTERNATIONAL BUILDING CODE
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
KIPS	1000 POUNDS
LB	POUND
MAX	MAXIMUM
MIN	MINIMUM
NO	NUMBER
OC	ON CENTER
PCF	POUNDS PER CUBIC FOOT
PL	PLATE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PVC	POLY VINYL CHLORIDE
SS	STAINLESS STEEL
STD	STANDARD
Typ	TYPICAL

LEGEND

EXISTING	THIS PROJECT	
---	---	CUT OR FILL SLOPE
---	---	PROPERTY LINE
---	---	FOUNDATION DRAIN
---	---	UNDERGROUND ELECTRICAL
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	GEOTEXTILE FABRIC
---	---	FOOD CART / MOBILE STRUCTURE

REVISIONS

REV	DATE	DESCRIPTION	DWN	CHKD	APP.
A	1/08/24	REV 1			



9300 Glenn Highway Ste 100
Juneau, Alaska 99901
Phone: 907 586 2905
Fax: 907 586 2990
www.pndengineers.com



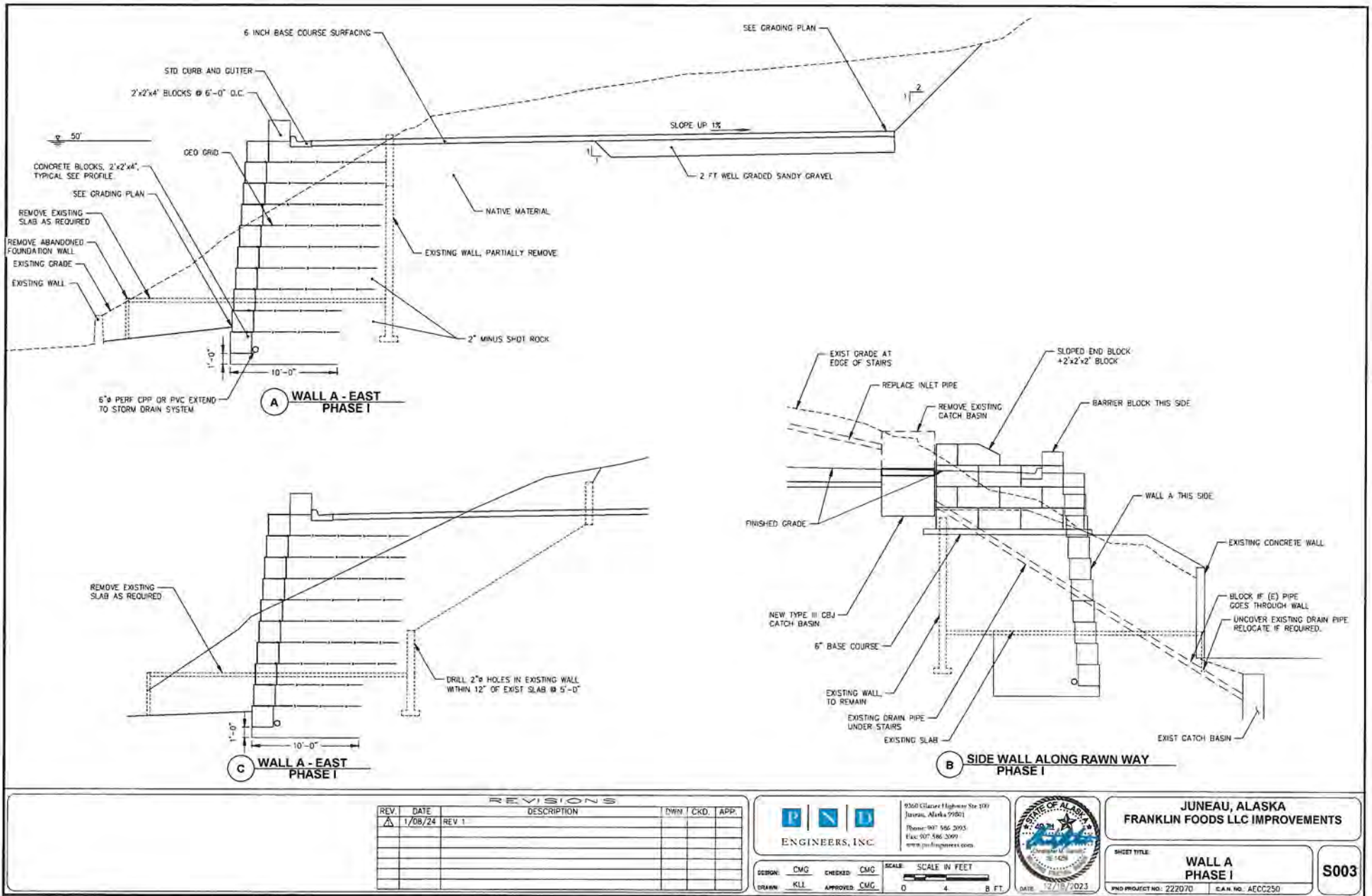
JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE
STRUCTURAL GENERAL NOTES


S001

DESIGN: CMG CHECKED: CMG SCALE:
DRAWN: KLL APPROVED: CMG

DATE: 12/16/2023
PROJECT NO: 222070 PLAN NO: AECC258



REVISIONS					
REV	DATE	DESCRIPTION	DWN	CKD	APP
1	1/08/24	REV 1			


ENGINEERS, INC.
 9360 Clifton Highway Ste 100
 Juneau, Alaska 99801
 Phone: 907 586 2093
 Fax: 907 586 2099
 www.pndengineers.com

DESIGN: CMG CHECKED: CMG SCALE: SCALE IN FEET
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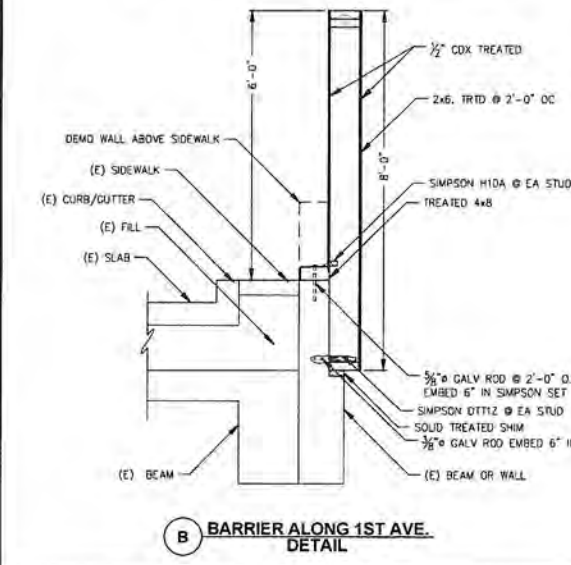
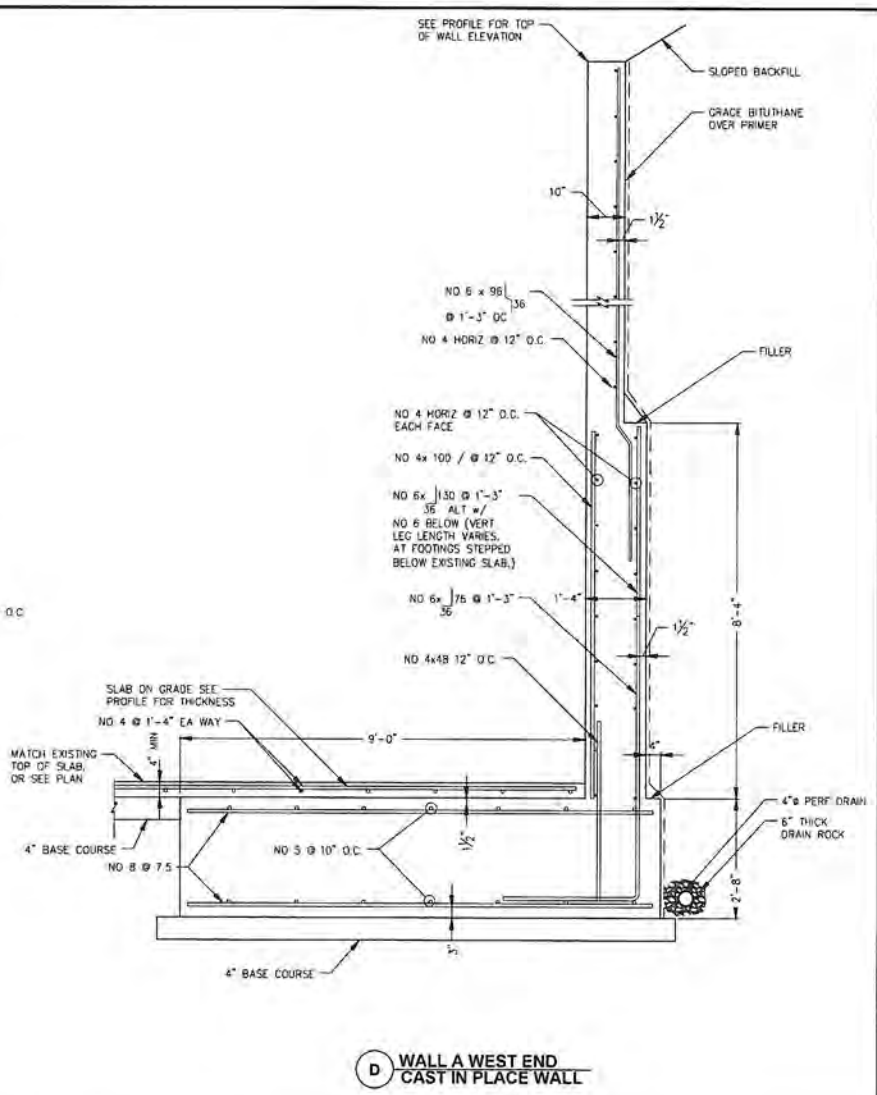
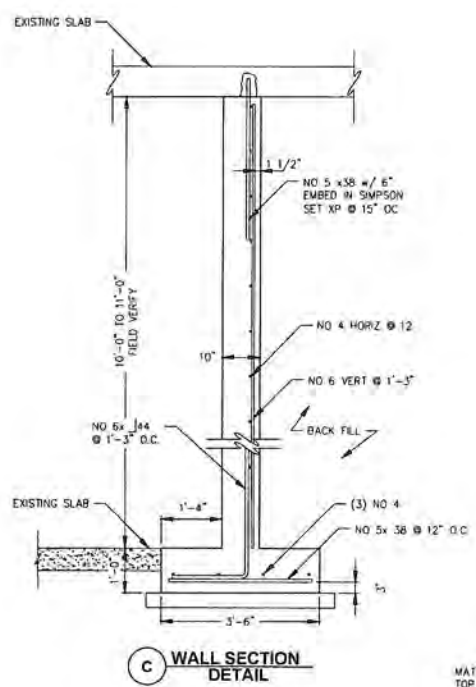
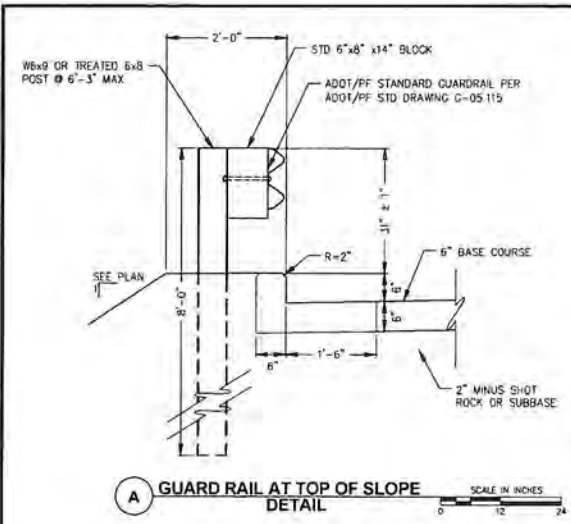


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: **WALL A PHASE I**

SHEET NO: **S003**

PND PROJECT NO: 222070 C.A.N. NO: AEC2250



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CHKD.	APP.
1	1/08/24	REV 1			

PND ENGINEERS, INC.
 9369 Clares Highway Ste 200
 Juneau, Alaska 99801
 Phone: 907-586-2903
 Fax: 907-586-2099
 www.pndengineers.com



**JUNEAU, ALASKA
 FRANKLIN FOODS LLC IMPROVEMENTS**

DESIGN: CMG CHECKED: CMG SCALE: SCALE IN FEET
 DRAWN: KLL APPROVED: CMG 0 1 2 3

SHEET TITLE: **TYPICAL DETAILS**
 PND PROJECT NO: 222070 C.A.N. NO: AECC250

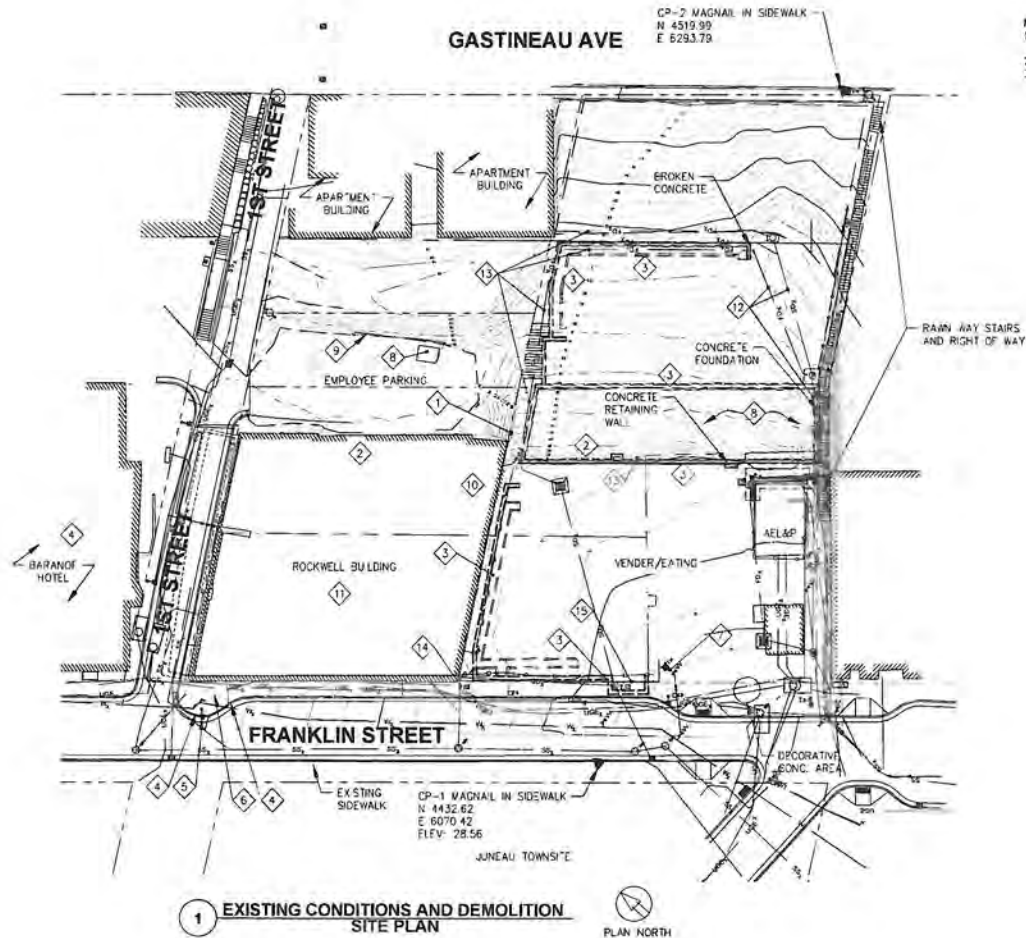
S002

DEMOLITION NOTES:

- 1 REMOVE SHEET PILE WALL
- 2 REMOVE EXISTING RETAINING WALL
- 3 REMOVE REMAINING FOUNDATION WALLS, AS REQUIRED
- 4 REMOVE CURB AND GUTTER (PHASE II)
- 5 REMOVE LIGHT POLE SALVAGE FOR REINSTALLATION (PHASE II)
- 6 REMOVE SIDEWALK (PHASE II)
- 7 REMOVE HYDRANT AND CAP WATERLINE AT PROPERTY LINE
- 8 REMOVE SLAB, AS REQUIRED
- 9 REMOVE CONCRETE BARRIERS (PHASE II)
- 10 DEMO SLAB FOR NEW RAMP
- 11 DEMOLISH BUILDING
- 12 REMOVE EXPOSE EXISTING DRAIN PIPE, RE-ALIGN AS REQUIRED
- 13 EXISTING ABANDONED FOUNDATION REMOVED AS REQUIRED
- 14 RELOCATE SS CLEANOUT
- 15 REMOVE INFORMATIONAL SIGN

NOTES:

- 1. BURIED UTILITIES SHOWN ARE FROM AVAILABLE AS-BUILT INFORMATION. VERIFY LOCATIONS PRIOR TO EXCAVATION.
- 2. TOPOGRAPHY FROM SURVEY BY ST. NORTH IN FALL OF 2023.
- 3. BURIED FOUNDATIONS FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.



REV.	DATE	DESCRIPTION	DWN.	CRD.	APP.
1	1/08/24	REV 1			

PND ENGINEERS, INC.
 9360 Glenn Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907 586 2001
 Fax: 907 586 2499
 www.pndengineers.com

DESIGN: CMC CHECKED: CMC
 DRAWN: KL APPROVED: CMC
 SCALE: SCALE IN FEET
 0 20 40 FT
 DATE: 12/15/2023

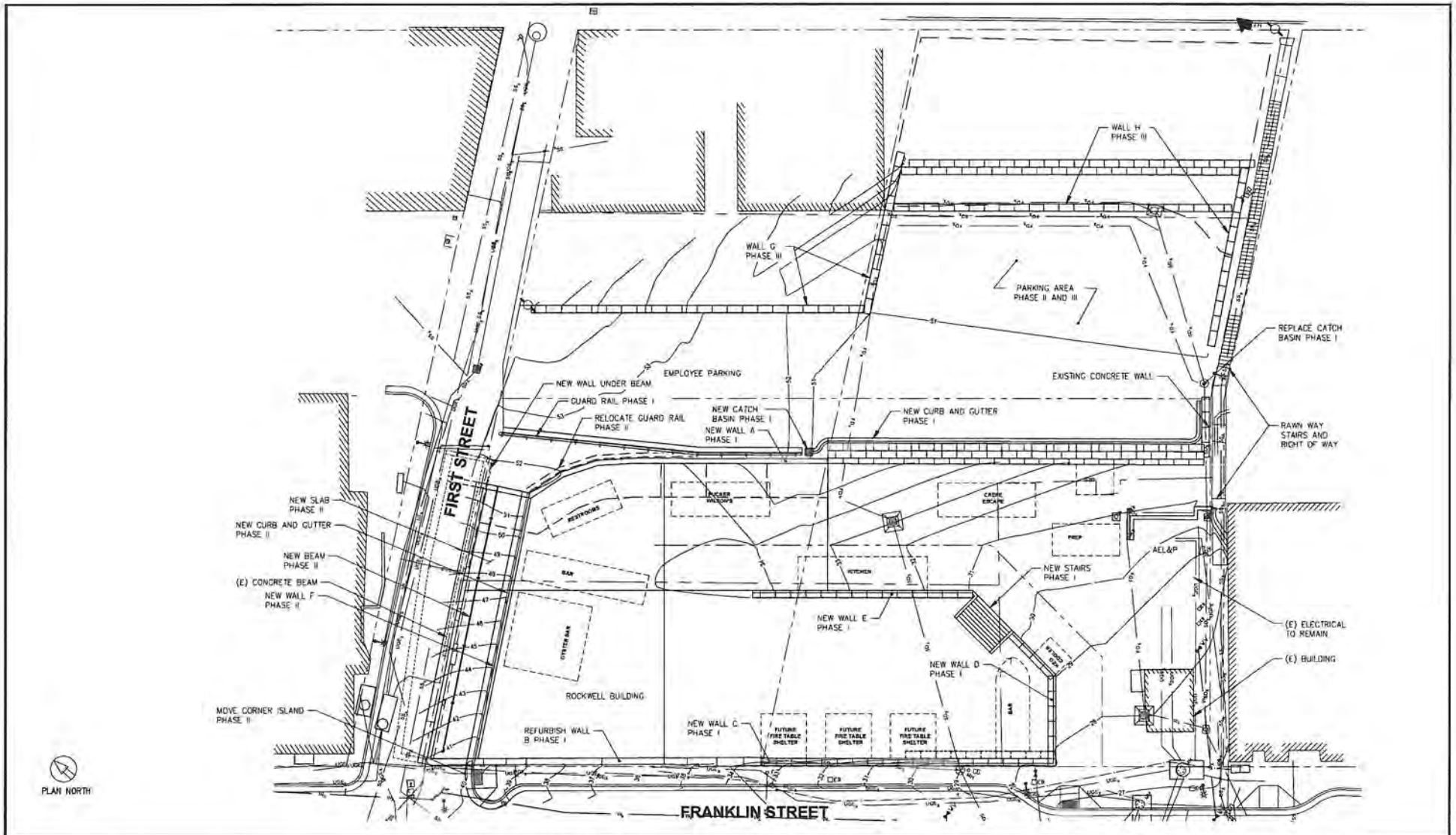


**JUNEAU, ALASKA
 FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE:
**EXISTING CONDITIONS AND
 DEMOLITION SITE PLAN**

PROJECT NO.: 222070 PLAN NO.: AECC250

S100



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CRD.	APP.
1	1/08/24	REV 1			

ENGINEERS, INC.
 9340 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907 586 2993
 Fax: 907 586 2999
 www.pndengineers.com



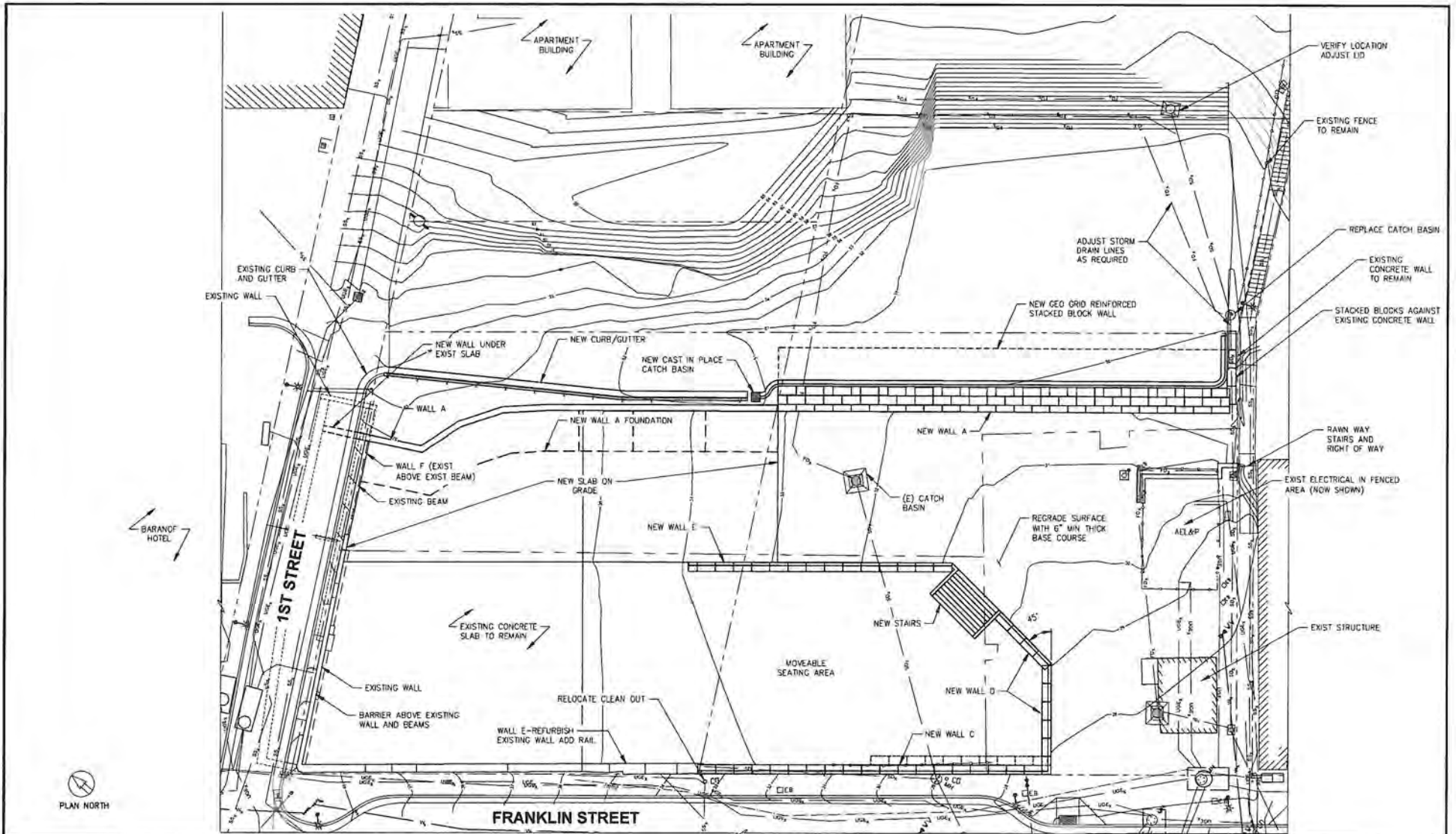
JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
OVERALL SITE PLAN
S101

DESIGN: CMG CHECKED: CMG SCALE: SCALE IN FEET
 DRAWING: KLL APPROVED: CMG 0 12 24
 DATE: 12/22/2023

PND PROJECT NO. 222070 C.A.N. NO. AECC250

Attachment B - Application.



REVISIONS

REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	17/08/24	REV 1			

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ENGINEERS, INC.

3360 Glacier Highway Ste 100
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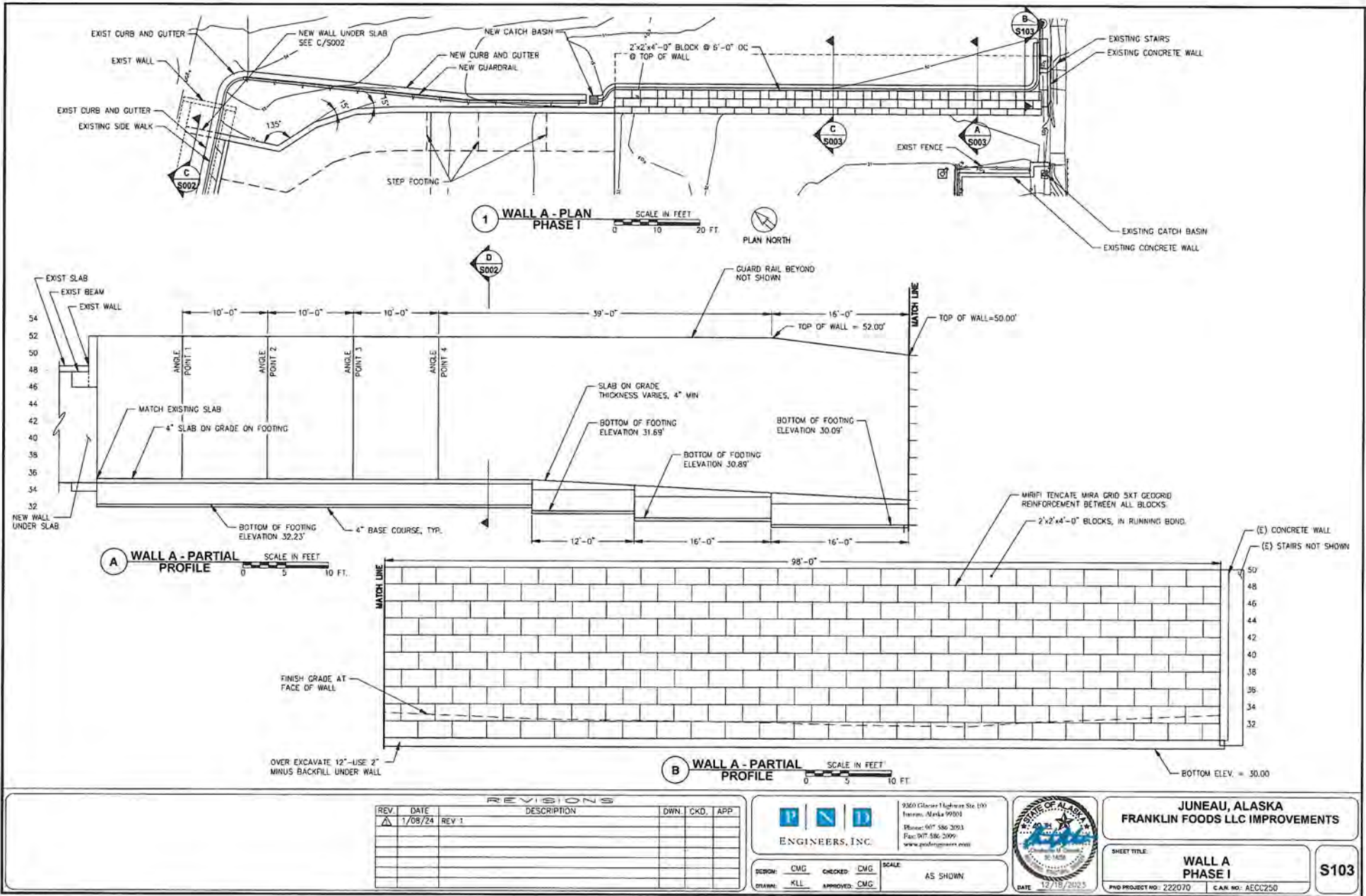


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

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DRAWN: KLL APPROVED: CMG 0 10 20 FT

SHEET TITLE: **SITE PLAN PHASE I**
S102
PND PROJECT NO: 222070 E.A.N. NO: AECC250

Attachment B - Application.



Attachment B - Application.

REV	DATE	DESCRIPTION	DWN	CKD	APP
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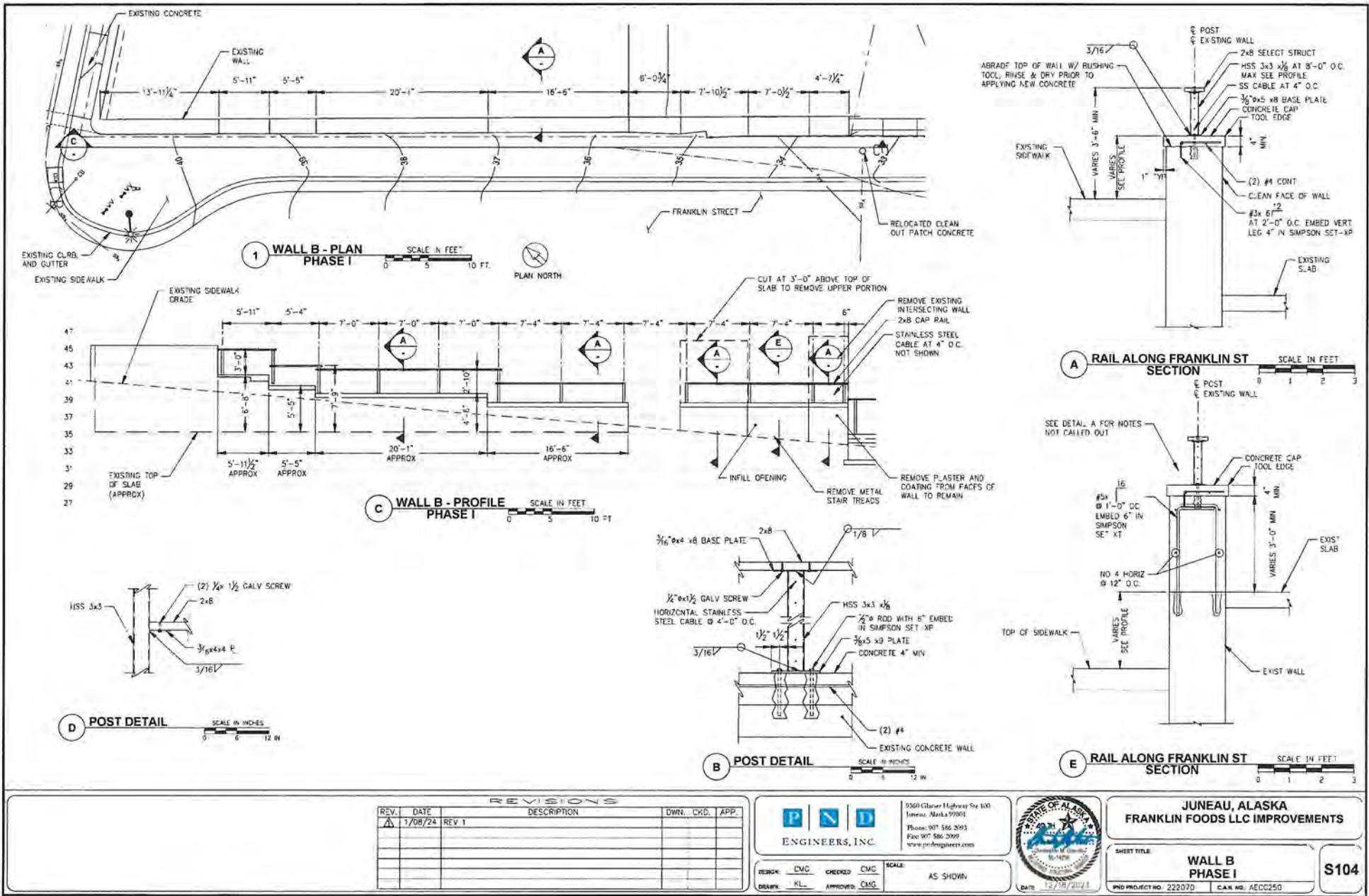
ENGINEERS, INC.
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Juneau, Alaska 99901
Phone: 907 586 3093
Fax: 907 586 3099
www.psdengineers.com



**JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE: **WALL A PHASE I**
PROJECT NO: 222070
C.A.R. NO: AEOC250

S103



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CHKD.	APP.
1	1/08/24	REV 1			

P N D ENGINEERS, INC.
2360 Glacier Highway Ste. 100
Juneau, Alaska 99801
Phone: 907.586.2093
Fax: 907.586.2099
www.pndengineers.com

DESIGN: CMC CHECKED: CMC SCALE: AS SHOWN
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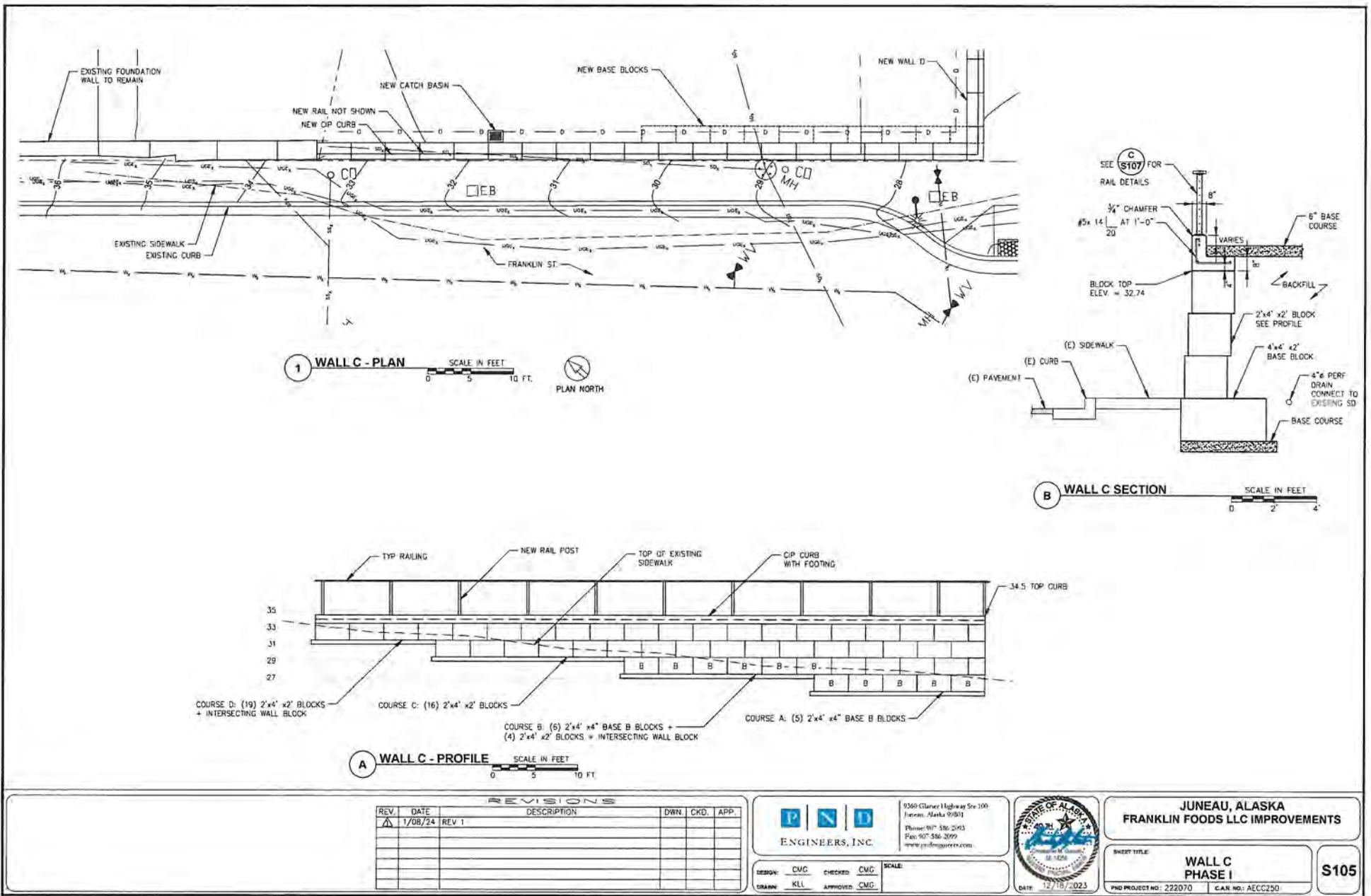


**JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS**

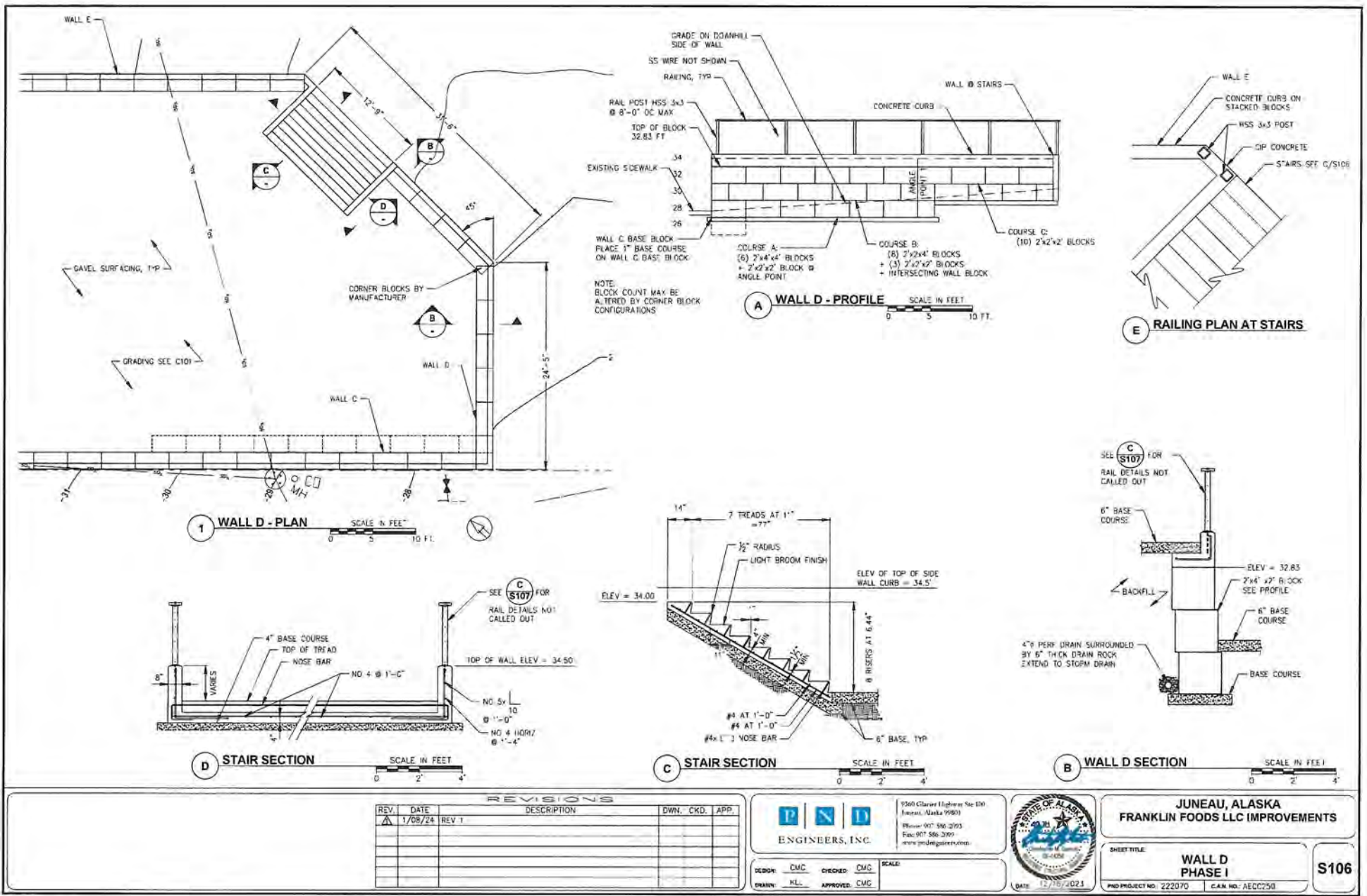
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PROJECT NO: 22207D C.A.N. NO: AECC350

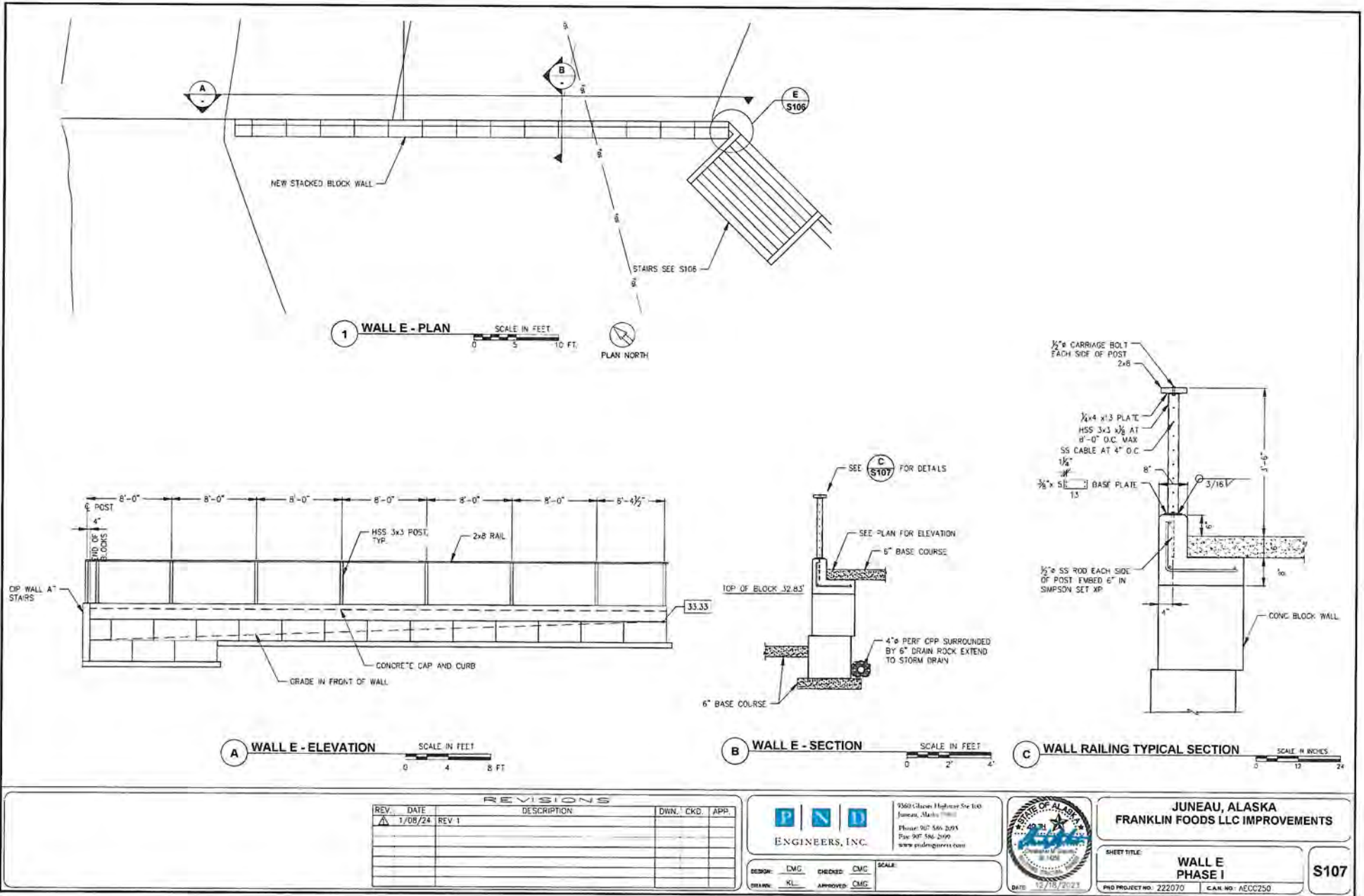
S104



Attachment B - Application.



Attachment B - Application.



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			

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9560 Glenn Highway Ste 100
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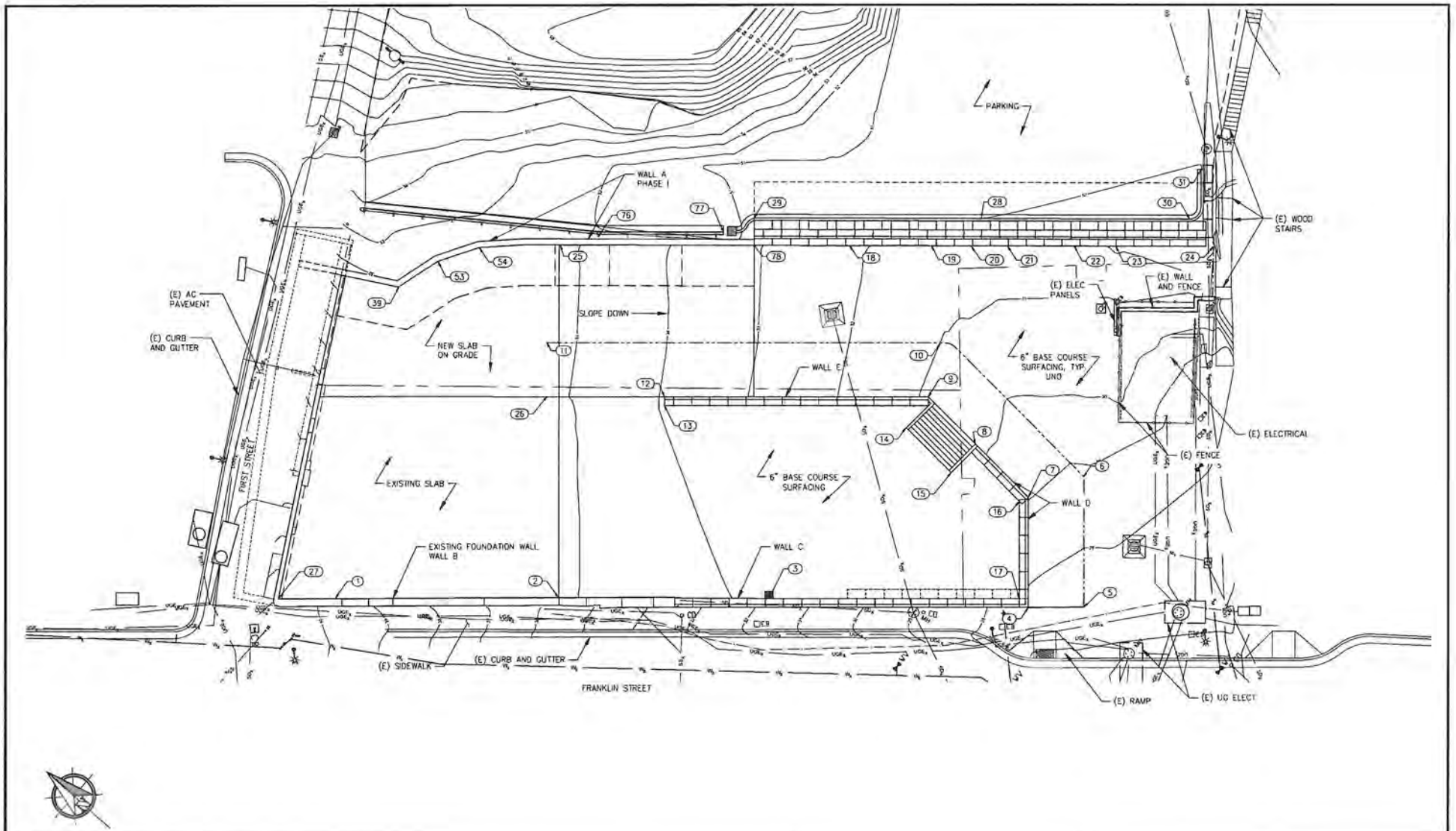


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
WALL E
PHASE I

S107

PROJECT NO. 222070 CAN. NO. AEC0250



REVISIONS						
REV	DATE	REV	DESCRIPTION	DWN	CRD	APPR
1	1/08/24	REV 1				

ENGINEERS, INC.

9360 Glacier Highway Ste 100
Juneau, Alaska 99901
Phone: 907-586-2503
Fax: 907-586-2509
www.pniengineering.com

STATE OF ALASKA
Professional Engineer
No. 14256

DESIGN: CMG	CHECKED: CMG	SCALE: SCALE IN FEET		DATE: 12/16/2023	
DRAWN: KLL	APPROVED: CMC				

JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
SITE AND PHASE I
GRADING PLAN

C100

PHD PROJECT NO.: 222070	CAN. NO.: AECC250
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Attachment B - Application.

POINT TABLE					POINT TABLE				
POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION	POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION
1	4543.1766	6013.3769	35.23	GRADE AT WALL	21	4483.4303	6169.9917	31.45	GRADE AT WALL
2	4506.2200	6045.9873	35.23	WE, SLAB EDGE	22	4472.1462	6179.8565	31.50	GRADE AT WALL
3	4471.2269	6076.6659	33.91	CB	23	4465.2063	6185.9234	32.13	GRADE AT WALL
4	4426.9281	6112.7934	27.58	GRADE AT WALL	24	4448.9214	6200.1599	33.00	GRADE AT WALL
5	4417.6864	6121.0084	27.34	MATCH EXISTING	25	4557.7025	6105.0618	35.23	GRADE AT WALL
6	4436.8007	6142.7785	28.79	CB	26	4537.5903	6077.7851	35.23	CB
7	4443.0569	6131.1599	29.03	GRADE AT WALL	27	4552.5055	6005.0643	41.46	GRADE AT WALL
8	4459.7518	6132.2443	30.27	GRADE AT WALL	28	4491.7925	6170.6991	50.00	CB
9	4474.4714	6133.2003	30.89	GRADE AT WALL	29	4529.4088	6137.8144	49.98	DB
10	4480.2931	6144.0578	30.99	CB	30	4456.8517	6201.2512	49.98	DB
11	4545.5068	6086.7997	35.23	CB	31	4462.1955	6211.1344	49.98	DB
12	4518.0558	6094.0329	33.94	GRADE AT WALL	39	4578.3557	6074.6888	35.23	GRADE AT WALL
13	4516.7323	6093.4267	34.00	GRADE AT WALL	53	4575.6302	6084.5373	35.23	GRADE AT WALL
14	4473.5995	6124.8053	34.00	TOP OF STAIRS	54	4570.7613	6092.8636	35.23	GRADE AT WALL
15	4459.5608	6123.9226	34.00	TOP OF STAIRS	76	4552.5777	6112.0217	52.00	GRADE AT GUARD RAIL
16	4444.0133	6129.2175	34.00	GRADE AT WALL	77	4532.3757	6130.9558	51.92	GRADE AT GUARD RAIL
17	4429.6024	6113.0321	34.00	GRADE AT WALL	78	4525.4353	6133.2703	33.09	GRADE AT WALL
18	4509.7198	6147.0090	32.20	GRADE AT WALL					
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REVISIONS					
REV	DATE	DESCRIPTION	DWN	CHKD	APP.
1	1/08/24	REV 1			


 9360 Glacier Highway, Ste. 100
 Juneau, Alaska 99801
 Phone: (907) 586-2993
 Fax: (907) 586-2999
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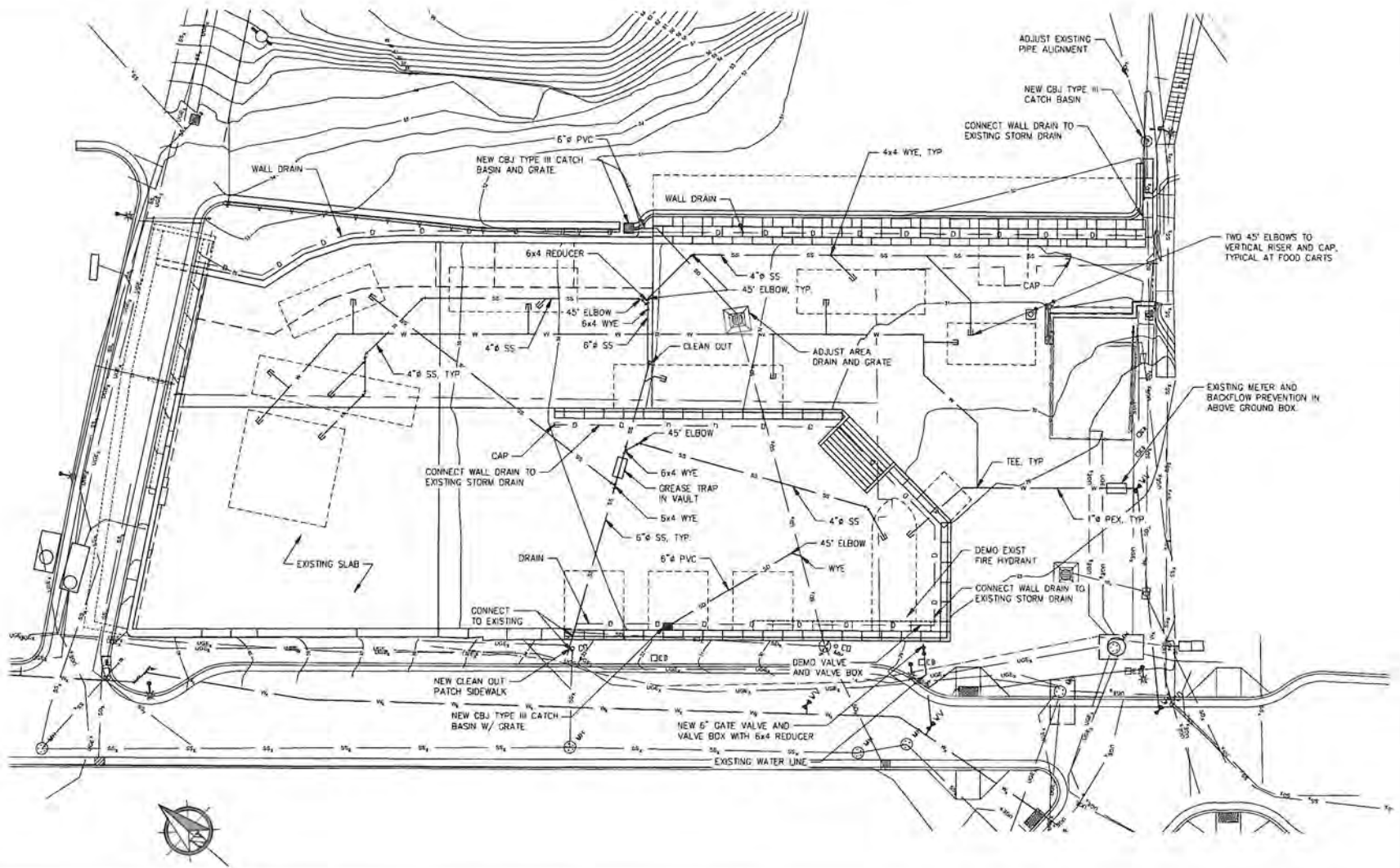


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
LAYOUT TABLE

PND PROJECT NO: 222070 C.A.R. NO: AECC250

C202



REVISIONS					
REV	DATE	DESCRIPTION	OWN.	CKD.	APP.
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 9367 Glenn Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907 586 2093
 Fax: 907 586 2499
 www.pndengineers.com

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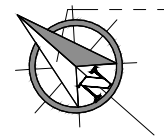
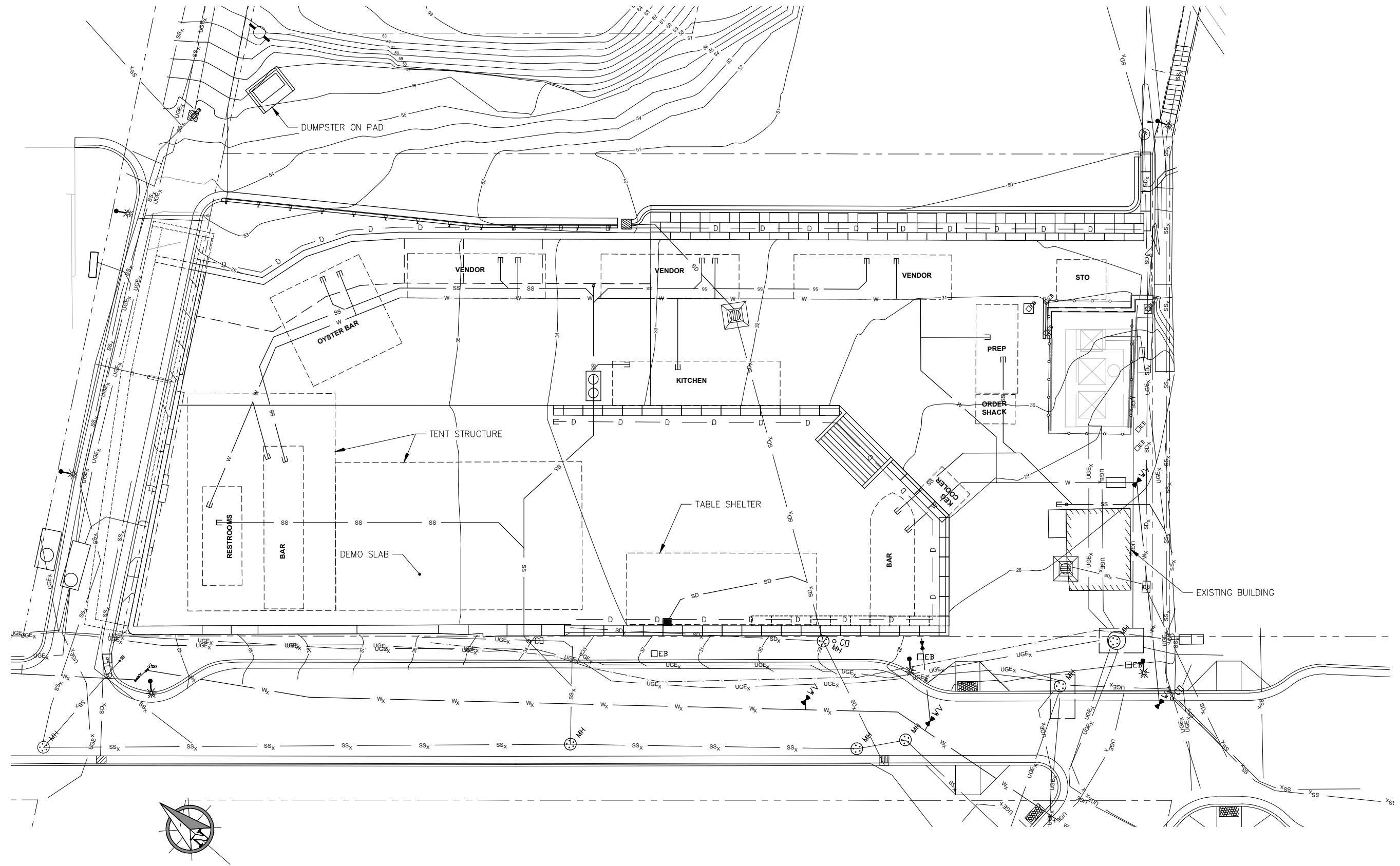
JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: **UTILITY PLAN**

PNO PROJECT NO: 222070 C.A.N. NO.: AECC250

U201

Attachment B - Application.



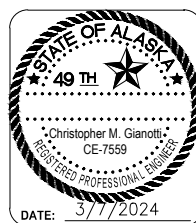
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3	2/28/24	REV 3			
4	3/7/24	REV 4			

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Juneau, Alaska 99801
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SCALE: SCALE IN FEET
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JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
SITE PLAN

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S102

Attachment C - Revised site plan for food court expansion.

CBJ staff: Gastineau Apartments demolition may be right time to demolish pocket park

Jeremy Hsieh, KTOO

The derelict Gastineau Apartments, July 21, 2015. (Photo by Jeremy Hsieh/KTOO)

Demolishing a downtown Juneau eyesore may also be an opportunity to demolish another problematic property, Gunakadeít Park.

“The park itself, I think, it’s no secret, is not a particularly successful park,” said city Engineering Director Rorie Watt, addressing the Juneau Assembly on Monday.

That was an understatement. Litter, fistfights, intoxicated loiterers, open container violations and sundry calls for emergency services are common at the pocket park in the shadow of the Gastineau Apartments.

Watt was circumspect when describing the park’s “long-term disposition.”

“The more we’ve looked at it, we wonder how much of the park to preserve. So, quite frankly, if a contractor has to dance around the park and preserve it, the demolition will go slower and be more expensive,” he said. “And I think there’s a persuasive argument that appears to be lining up that demolition of the park effectively might be the best path forward.”

Gunakadeít Park opened at the corner of South Franklin and Front streets in 1984. It’s been [a sore spot for downtown businesses](#) for decades. In 1998, the Juneau Assembly officially banned alcohol from it after police had been issuing drinking citations in or near the park for years.

None of the members of the assembly spoke up in defense of the park.

“I will say that Parks and Rec staff is not particularly attached to preserving the park as it exists today,” Watt said. “It may be property that can end up some time in the future on the tax rolls as a better utilized parcel.”

Watt said the [Parks and Recreation Advisory Committee](#) is discussing the future of the park at [its next meeting](#), Sept. 8.

Meanwhile, Watt said the city’s contract [for the demolition](#) of the Gastineau Apartments will be ready to go out for bid Sept. 9. A contract for \$116,000 was [awarded last month](#) to Northwind Architects [to write the demolition plans](#).


The city hopes to recoup some of the demolition costs, budgeted at \$1.8 million, from the property

Attachment D - KTOO Report, August 31, 2015.

owners. Watt said the city's aiming for demolition to be complete by Dec. 31.

Local News Reporter, KTOO

I dig into questions about the forces and institutions that shape Juneau, big and small, delightful and outrageous. What stirs you up about how Juneau is built and how the city works?

A dark blue rectangular banner with white text. On the left, the KTOO logo is enclosed in a white square border. To the right of the logo, the text reads "Members make KTOO's important work possible." in a bold, sans-serif font. In the bottom right corner, there is a yellow rounded rectangular button with the word "DONATE" in black, uppercase letters.

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Planning Commission

(907) 586-0715
PC_Comments@juneau.org
www.juneau.org/plancomm
155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION NOTICE OF RECOMMENDATION

Date: January 20, 2022
File No.: CSP2021 0006

City and Borough of Juneau
CBJ Assembly Members
155 S. Seward Street
Juneau, AK 99801

Proposal: Planning Commission Recommendation to the City and Borough Assembly for land disposal of 4,000 square feet (Gunakadeit Park) to Franklin Foods

Property Address: 139 South Franklin Street

Legal Description: Juneau Townsite Block 13 Lot 9

Parcel Code No.: 1C070A130012

Hearing Date: January 11, 2022

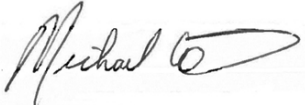
The Planning Commission, at its regular public meeting, amended the analysis and findings listed in the attached memorandum dated January 4, 2022, and recommended that the Assembly direct CBJ staff to proceed with the project and removed the following condition:

- ~~1. The Commission removed staff's condition of Amendment of the 2013 Comprehensive Plan Land Use Map M to Traditional Town Center in keeping with the surrounding area.~~

Attachments: January 4, 2022 memorandum from Senior Planner Irene Gallion, Community Development, to the CBJ Planning Commission regarding CSP2021 0006.

This Notice of Recommendation constitutes a recommendation of the CBJ Planning Commission to the City and Borough Assembly. Decisions to recommend an action are not appealable, even

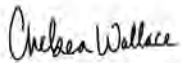
if the recommendation is procedurally required as a prerequisite to some other decision, according to the provisions of CBJ 01.50.020(b).



Michael Levine, Chair
Planning Commission

January 22, 2022

Date



Filed With Municipal Clerk

January 24, 2022

Date


cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ - adopted regulations. The CBJ and project designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



**PLANNING COMMISSION STAFF REPORT
CITY PROJECT REVIEW CSP2021 0006
HEARING DATE: JANUARY 11, 2021**

(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/CDD
155 S. Seward Street • Juneau, AK 99801

DATE: January 4, 2022
TO: Michael LeVine, Chair, Planning Commission
BY: Irene Gallion, Senior Planner 
THROUGH: Jill Maclean, Director, AICP

PROPOSAL: Applicant requests a City Project Review for land disposal of 4,000 square feet (Gunakadeit Park) to Franklin Foods.

STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- Disposal is contingent on applicant purchase and development of adjoining lots.
- Assembly expressed interest in the future development including housing.
- If consolidated, housing development will be limited to one dwelling unit, unless the Assembly amends hazard maps and land use code.
- 2013 Comprehensive Plan map amendment required.

GENERAL INFORMATION	
Property Owner	City and Borough of Juneau
Applicant	Franklin Foods LLC
Property Address	139 South Franklin Street
Legal Description	Juneau Townsite Block 13 Lot 9
Parcel Number	1C070A130012
Zoning	Mixed Use
Land Use Designation	Recreational Service Park, in Traditional Town Center
Lot Size	4,078 square feet
Water/Sewer	CBJ
Access	Franklin Street
Existing Land Use	Outdoor Food Service
Associated Applications	None

ALTERNATIVE ACTIONS:

1. **Amend:** amend the recommendation to include conditions and recommend approval to the Assembly.
2. **Deny:** recommend denial of the proposed project. Planning Commission must make its own findings.
3. **Continue:** continue the hearing to a later date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

A Notice of Recommendation will be forwarded to the Assembly for further action.

STANDARD OF REVIEW:

- Quasi-legislative decision
- Requires five (5) affirmative votes for recommendation
- Code Provisions:
 - 49.10.170
 - 49.15.580(a)
 - 49.80
 - 53.09.260

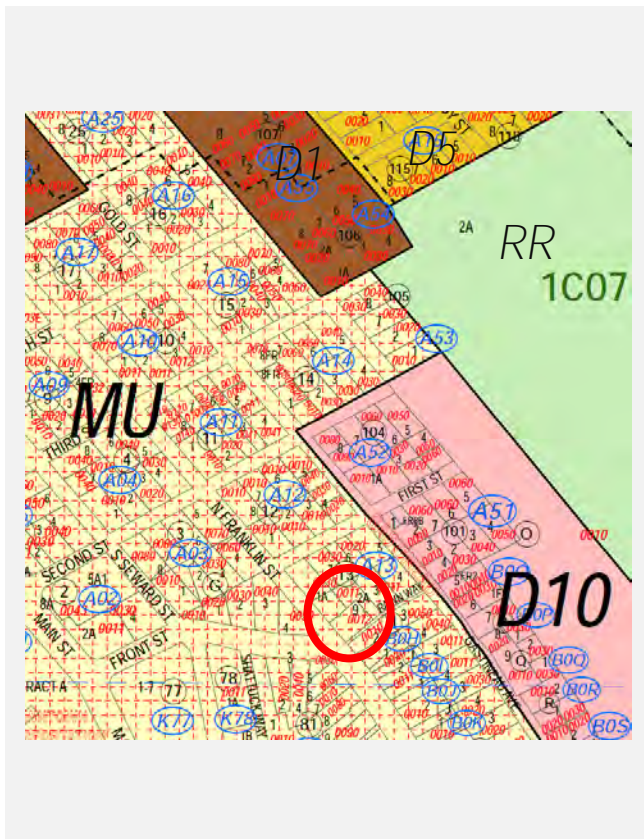
The Commission shall hear and decide the case per

CBJ 49.10.170(c) Planning Commission Duties: *The commission shall review and make recommendations to the assembly on land acquisitions and disposals as prescribed by Title 53, or capital improvement project by any City and Borough agency. The report and recommendation of the commission shall be based upon the provisions of this title, the comprehensive plan, and the capital improvements program.*

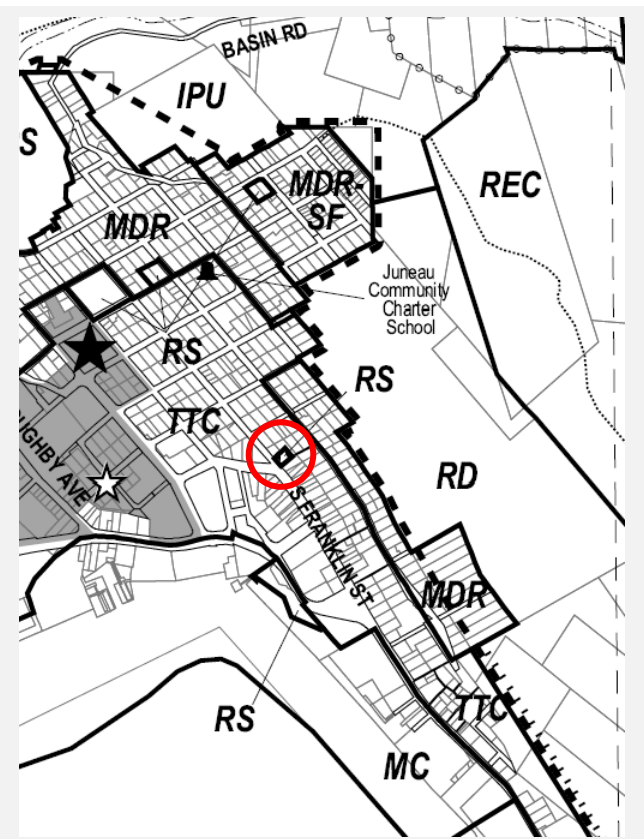
CBJ 49.15.580(a) - CBJ Project Review: *The commission shall review all proposed City and Borough capital improvement projects estimated to cost \$500,000 or more for consistency with this title. The commission may review, at the director's discretion, all proposed City and Borough capital projects estimated to cost more than \$250,000 but less than \$500,000. The commission may recommend conditions on and modifications to any project reviewed by the commission through a notice of recommendation. The notice of recommendation shall be forwarded to the assembly for further action.*

CBJ 53.09.260 (b) – Negotiated sales, leases and exchanges: *Review and approval process. Upon satisfactory progress in the negotiation or competition undertaken pursuant to subsection (a) of this section, after review by the planning commission for disposals other than leases, after review by the assembly lands committee, and authorization by the assembly by ordinance, the manager may conclude arrangements for the lease, sale, exchange, or other disposal of City and Borough land. The final terms of a disposal pursuant to this section are subject to approval by the assembly unless the minimum essential terms and the authority of the manager to execute the disposal are set forth in the ordinance enacted pursuant to this subsection. The disposal may not be executed until the effective date of the ordinance.*

CURRENT ZONING MAP



LAND USE DESIGNATION MAP



SURROUNDING LAND USES AND ZONING

Direction	Zoning District	Land Use
North	MU	Vacant - residential
South	MU	Retail
East	MU	Retail
West	MU	Retail/Accommodations

BACKGROUND INFORMATION

Project Description – The applicant requests Planning Commission review of 4,078 square feet at 139 S. Franklin (Lot 9 in image below) to Franklin Foods (**Attachment A**). Franklin Foods currently leases the property and provides an open air food service. The sale of the property would be contingent on Franklin Foods acquiring neighboring lots (Lots 1A, 2A, 3 and 4 in the image below) for eventual development.



Background – Lot 9 is located at the corner of South Franklin and Rawn Way, in the core of Juneau’s Downtown Historic District. Lot 9 adjoins the vacant lots that were the site of the Gastineau Hotel & Apartments. Lot 9 provided off-street parking for the residents and guests of the Gastineau. In 1985, CBJ purchased the lot, which became Gunakadeit Park, with Comprehensive Plan Land Use Designation as a Recreation Service Park. In the early 1990’s, the lot had planters that also provided seating and a large covered bus shelter. In the early 2000’s, the bus shelter was removed. The City installed a water feature and a gate to close the park at night, features later removed. The lot was vacant after the Gastineau was torn down in January 2016, and used a staging area for Front Street and Franklin Street reconstruction projects.

In 2018, Sustainable Seafood LLC, doing business as Deckhand Dave’s, was granted a lease to accommodate multiple food carts during the tourist season. Sustainable Seafood LLC had expressed interest in purchase at that time. The Assembly had said that if the neighboring Gastineau Apartments property was purchased, they would consider sale of the lot.

On June 3, 2021, David McCasland of Franklin Foods LLC (formerly Sustainable Seafood LLC) applied to purchase the Lot 9. McCasland has a contract to purchase the former Gastineau Apartments. At their September 27, 2021

meeting, the Lands, Housing and Economic Development Committee (LHEDC) forwarded the application to the full Assembly, contingent on the purchase of adjoining property “for an apartment property.” (**Attachment B**)

At the Regular Assembly meeting on October 25, 2021, the City Manager asked for and received a motion of support for working with the proposer on disposal of the property, with the contingency that the sale of the land would be dependent on a successful purchase of the adjoining property.

The table below summarizes relevant history for the lot.

Item	Summary
BLD20200709	Construction of eight foot display wall and 20 foot aluminum lighted display.
BLD2019 0360	Install propane line for decorative fireplace
CSP2018 0018	Planning Commission recommended the City Manger direct CBJ staff to lease the lot to Sustainable Seafood, LLC for a term of one year, with all other terms and conditions to be negotiated at a later date, including renewal periods.
BLD2007-00530	Demolition of existing planter beds and seating in Gunakadeit (Pocket) Park; construct a separate maintenance and emergency access to Gastineau Apartments consistent with easement; install new planter beds, perimeter fence and lighting; additive alternate one constructs a waterfall at the back of the park and additive alternate two constructs a channel for the water to run from the waterfall towards South Franklin Street.
BLD2006-00250	Demolish shelter at Gunakadeit Park.
Plat 85-148	Creating Lot 9, Lot 1A and 2A

Current Conditions – The lot is in Juneau’s Historic District. Historic review will be conducted under subsequent development permits.

The record indicates the LHEDC’s interest in the Franklin Foods LLC eventual development inclusion of housing. Franklin Foods LLC’s ability to do that will depend on Assembly action on hazard mapping and associated land use code amendments (see “**Hazards**,” below).

Land use code disallows construction across property lines. Building to current plans would require a lot consolidation. Assuming the lots were consolidated, construction of more than one dwelling unit is disallowed under current code due to location in a severe hazard zone.

- Code disallows increased density in a severe avalanche area – a developer can put one dwelling on a lot [CBJ 49.70.300(b)(1)].
 - Avalanche restrictions were drafted based on maps in place at the time, which combined severe landslide and avalanche risk.
 - Severe landslide areas have functionally had the same development restrictions as severe avalanche areas since adoption of the maps in 1987.
 - Under currently-adopted maps, four of the five lots considered for development (including the lot CBJ is interested in transferring) are in a severe landslide and avalanche zone.
 - Under draft maps developed under AME 2021 0008 the lots are outside of the severe avalanche area but inside the severe landslide area.
- While Gastineau Apartments used to have 61 dwelling units, the structure has been demolished and abandoned nonconforming rights.

Under current regulation and adopted mapping, further development of the lots being considered for acquisition would require Planning Commission approval [CBJ 49.70.300(a)(3)]. Regardless of avalanche or landslide hazard, restaurant space in the MU zone requires a Conditional Use Permit if the use is over 10,000 square feet or over 0.5 acres. The combined areas of the properties in question is approximately 20,029 square feet, or 0.46 acres.

ZONING ANALYSIS

49.05.100 - Purpose and intent. The purpose and Intent of Title 49 Land Use Code is:

- (1) To achieve the goals and objectives, and implement the policies, of the Juneau comprehensive plan, and coastal management program;*
- (2) To ensure that future growth and development in the City and Borough is in accord with the values of its residents;*
- (3) To identify and secure, for present and future residents, the beneficial impacts of growth while minimizing the negative impacts;*
- (4) To ensure that future growth is of the appropriate type, design and location, and is served by a proper range of public services and facilities such as water, sewage, and electrical distribution systems, transportation, schools, parks and other public requirements, and in general to promote public health, safety and general welfare;*
- (5) To provide adequate open space for light and air; and*
- (6) To recognize the economic value of land and encourage its proper and beneficial use.*

Table of Permissible Uses – The Table of Permissible Uses is not applicable to land transfer or lot consolidation.

Considering future plans, the TPU allows [CBJ 49.25.300]:

- 8.050: Small Restaurants, less than 1,000 ft² without drive-through service.
- 8.100: Restaurants, bars without drive-through service.
- 8.300: Seasonal open air food service without drive-through.

A conditional use permit will be required for [CBJ49.25.300(c)(3)(D)]:

- A residential development of more than 12 units.
- A nonresidential structure
 - Over 10,000 square feet, OR
 - Using more than one half acre of land.

Table of Dimensional Standards – While not applicable to this application, subsequent development will have zero setbacks from all lot lines.

Other Permit Required – If the Assembly approves this CSP, subsequent land actions for development may include:

- Lot consolidation, including a new plat. A consolidation in a severe hazard zone would require a Conditional Use Permit [CBJ 49.70.300(a)(3)].
- Conditional Use Permit, depending on the scale of development [CBJ 49.70.300(a)(3)].
- Provide off-street parking or pay fee in lieu for non-ADA spaces.
- Building Permit
 - Historic Resources Advisory Committee review
 - Lighting plan
 - Hillside Endorsement

Roadway Classification Maps – Franklin Street is classified a Collector.

Hazard Areas – Under current code, all Lots 9, 2A, 3 and 4 fall within a Severe Landslide and Avalanche Area (heavy line). Lot 1A is in a Moderate Landslide and Avalanche Area (dashed line).



Currently-adopted maps combine landslide and avalanche hazards.

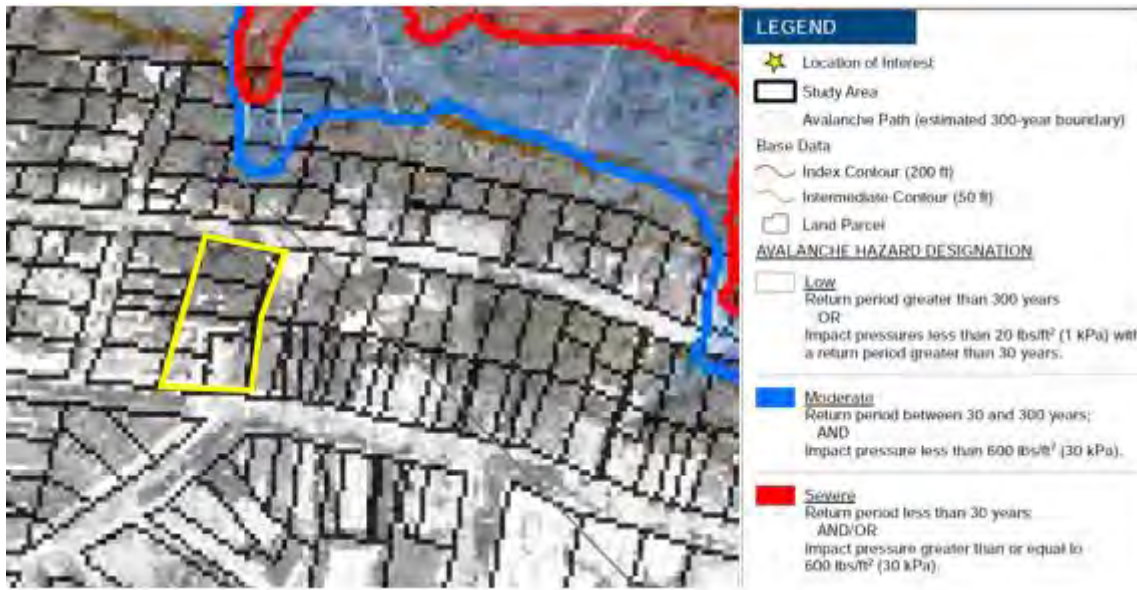
No lot in a severe avalanche area can increase density on that lot. Each existing lot could have one single-family structure [CBJ 49.70.300(b)(1)]. In order for each current lot to preserve a dwelling unit (for a total of five), those dwelling units would have to be constructed. Subsequent lot consolidation would not be permitted under this scenario, because lot density would be increased through dissolving lot lines, contrary to code.

Current hazard code provides that the applicant can increase density for a lot in a severe hazard area by [CBJ 49.70.300(a)(4&5)]:

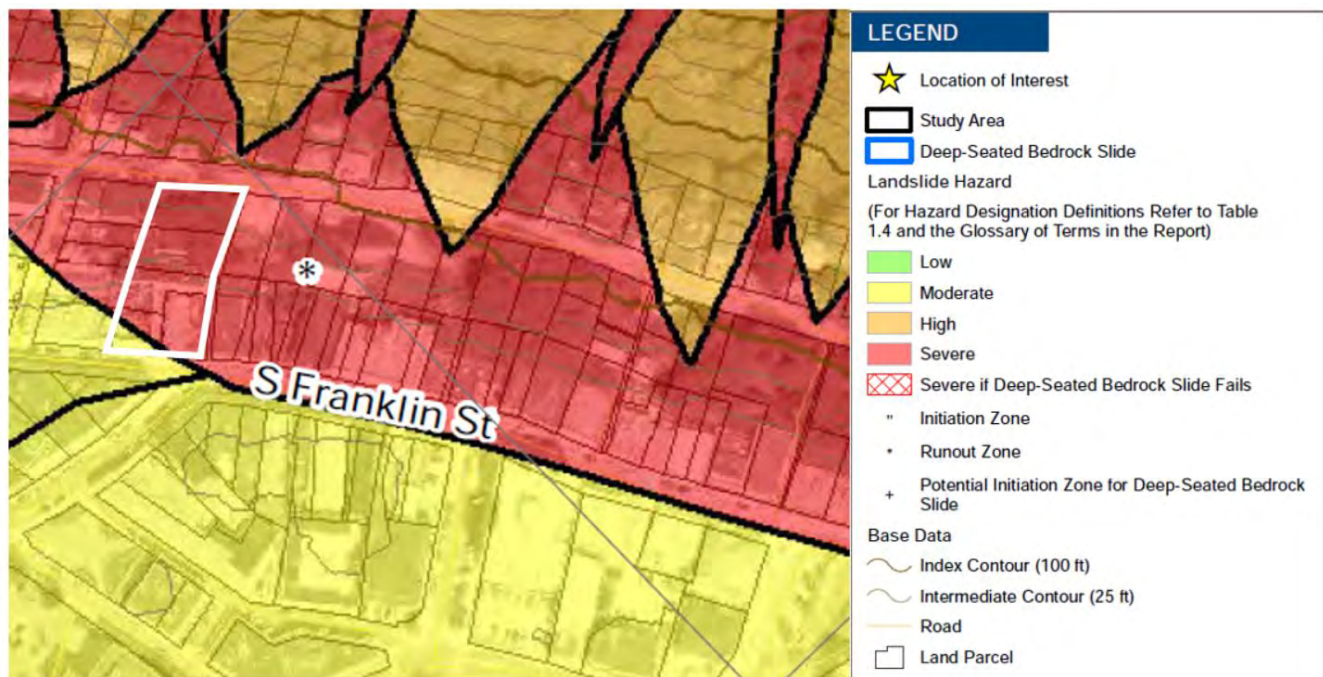
- A study, conducted by an appropriately qualified Professional Engineer with Alaska credentials, showing the lot is outside of a severe hazard area.
- Structural elements engineered for mitigation.

While Gastineau Apartments had 61 units, the structure has been demolished and abandoned nonconforming rights [CJ 49.30.220(b)(1)]. Under current code, 61 units cannot be rebuilt on the site of the former Gastineau Apartments.

The draft avalanche hazards maps developed under project AME 2021 0008, which are not yet adopted, show the lots outside of the avalanche area.



Of note, the lots remain in a severe landslide zone.



Current code does not explicitly restrict development in a severe landslide zone. However, code was drafted after combined maps were adopted. One possible interpretation is that previous bodies intended that severe landslide hazards have the same restrictions as severe avalanche hazards.

A hillside endorsement is required for development on slopes exceeding 18 percent. Lot 9 is less than 18 percent slope. Lots 3 & 4 exceed 18 percent slope.

Other relevant information:

Nonconformity: Lot 9, intended for transfer, conforms.

Transfer of Lot 9 is contingent on applicant acquisition of Lot 1A and 2A. Both lots are nonconforming for lot size, and Lot 2A is nonconforming for lot width. If the lots are developed without consolidation, nonconforming situation review is required for Lots 1A and 2A prior to issuing building permits.

Note that density on a lot in the Severe Avalanche Area cannot be increased (see above).

- Under CURRENT maps, four of the five lots are within the Severe Avalanche Area.
- Under PROPOSED maps, the lots are outside of the avalanche area, but are in the severe mass wasting area.

Parking: The land transfer and lot consolidation do not have associated off-street parking requirements, but subsequent development will.

COMMUNITY SERVICES

Service	Summary
Urban Service Boundary	Yes
Water/Sewer	CBJ
Fire Service Area	Yes
Schools	No CBJ schools within 1,500 feet.
Recreation	Tourist attractions, Mt. Roberts

ENVIRONMENTAL, CONSERVATION, HISTORIC, AND ARCHEOLOGICAL RESOURCES

The below table summarizes Conservation, Historic, and Archeological Resources for Lot 9.

Resource	Summary
Conservation Areas	No
Wetlands	No
Anadromous	No
Impaired Waterbodies	No
Historic	Yes
Archeological	Unknown
Comprehensive Plan View sheds	No.

CONFORMITY WITH ADOPTED PLANS

2013 COMPREHENSIVE PLAN VISION: *The City and Borough of Juneau is a vibrant State Capital that values the diversity and quality of its natural and built environments, creates a safe and satisfying quality of life for its diverse population, provides quality education and employment for its workers, encourages resident participation in community decisions and provides an environment to foster state-wide leadership.*

2013 COMPREHENSIVE PLAN -			
Chapter	Page No.	Item	Summary
4	31		Concerns regarding losing housing and urban blight.
4	38	4.2-IA5	Encourage the preservation, rehabilitation and year-round occupancy of Downtown Juneau upper-level rental housing units in mixed use structures.
5	48	Downtown Juneau	Year-round, 24-hour presence, including housing.
5	49	5.5-SOP4	Encourage development and retention of year-round businesses in downtown that provide goods and services to local residents.
5	49	5.5-IA1	Encourage ground floor retail with residences above, such that residents do not need to own a car.
5	49	5.5-IA12	Encourage food and beverage services in the Historic District, that convey the style and character of the community to cruise ship passengers.
11	184	Subarea 6 guidelines	5. Limit development in landslide/avalanche hazard areas.
			10. Encourage mixed use, with retail downstairs and residential upstairs.

The Assembly goal for housing is in keeping with the 2013 Comprehensive Plan. The Assembly’s action on hazard map and ordinance revisions will determine if the applicant will be able to develop housing.

Comprehensive Plan Land Use Maps denote this area a Recreational Service Park (RS). RS lands are developed with parks for active recreation, programmed use, and/or community gardening. Recreation, off-street parking, playgrounds and fields, ski lifts, and operations and maintenance-related structure are possible uses or components of Recreational Service designated lands. The lands should be zoned to prevent residential, commercial, and industrial development. CBJ should retain ownership of RS lands (Comprehensive Plan, page 145).

CONDITION: Amendment of the 2013 Comprehensive Plan Land Use Map M to Traditional Town Center in keeping with the surrounding area (**Attachment C**).

2016 HOUSING ACTION PLAN -			
Chapter	Page No.	Item	Summary
9	49	Downtown Strategy	CBJ-owned property is an incubator for improved downtown vitality, and disposition of lots should be strategic, aligned with public priorities, and handled in a way that keeps developers accountable.

2016 LAND MANAGEMENT PLAN -			
Chapter	Page No.	Item	Summary
	43	CBJ Land Holdings	“Retain/Dispose” lands are appropriate for disposal, but sections (stream corridors, high value wetlands, etc.) may be retained for a public purpose. This designation is common for larger parcels.
	56	Juneau	Parcel retention status is Retain/Dispose

AGENCY REVIEW

The CBJ Department applying for the CSP conducts agency review.

PUBLIC COMMENTS

The CBJ Department applying for the CSP conducts public outreach in accordance with their regulations. However, if complementary to other Department public outreach efforts, CDD will ask the applicant to hang a public notice sign notifying the public of the Planning Commission meeting (**Attachment D**). Under this method we have received two comments (**Attachment E**).

Name	Summary
Michael Hekkers	Dispose of the property at fair market value.
Dale Whitney	Supports disposal.

Land will be appraised, then sold at the appraised value.

FINDINGS

In accordance with CBJ 49.15.580, staff finds the proposed land disposal of 4,000 square feet (Gunakadeit Park) to Franklin Foods complies with Title 49 Land Use Code and substantially conforms with adopted plans, if the Comp Plan Land Use Map M is amended to TTC.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and forward a recommendation of APPROVAL WITH CONDITIONS to the CBJ Assembly for the land disposal of 4,000 square feet (Gunakadeit Park) to Franklin Foods.

CONDITION: Amendment of the 2013 Comprehensive Plan Land Use Map M to Traditional Town Center in keeping with the surrounding area.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	Minutes: Lands, Housing and Economic Development, September 27, 2021
Attachment C	Proposed 2013 Comprehensive Plan Map Amendment
Attachment D	Public Notice Sign
Attachment E	Public Comments

DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 139 S. Franklin St		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) JUNEAU TOWNSITE BL 13 LT 9		
	Parcel Number(s) 1C070A130012		
	<input checked="" type="checkbox"/> This property located in the downtown historic district <input type="checkbox"/> This property located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner City and Borough of Juneau	Contact Person Dan Bleidorn	
	Mailing Address 155 S. Seward Street	E-mail Address lands_office@juneau.org	Phone Number(s) 586-5252
	LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits		
	I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.		
X <u><i>Daniel Bleidorn</i></u> Landowner/Lessee Signature		<u>10/11/21</u> Date	
X _____ Landowner/Lessee Signature		_____ Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant Franklin Foods LLC	Contact Person David McCasland		
Mailing Address <u>3294 Pioneer Ave Juneau AK 99801</u>	E-mail Address <u>david.mccasland907@gmail.com</u>	Phone Number(s) <u>907 957 2212</u>	
X <u><i>David McCasland</i></u> Applicant's Signature		<u>10/11/21</u> Date of Application	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials	
11/30/2021 IMG	
Case Number	Date Received



CITY/STATE PROJECT AND LAND ACTION REVIEW APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY
Franklin Foods Request to Purchase City Property at 139 S. Franklin St. This property was formally Gunakadeit Park, is roughly 4,000 square feet, and is currently being leased to Franklin Foods as part of a food court. This sale would be contingent on Franklin Foods acquiring the adjacent property and consolidation the properties in a way that makes them conform to title 49.

TYPE OF PROJECT REVIEW:

City Project Review
 City Land Acquisition /Disposal
 State Project Review

PROJECT NUMBERS ASSOCIATED WITH PROPOSAL:

Is this project associated with any other Land Use Permits?
 YES Case No.: _____
 NO

Capital Improvement Program # (CIP) _____

Local Improvement District # (LID) _____

State Project # _____

ESTIMATED PROJECT COST: \$ _____

ALL REQUIRED MATERIALS ATTACHED

Complete application

Pre-Application notes (if applicable)

Narrative including:

- Current use of land or building(s)
- Proposed use of land or building(s)
- How the proposed project complies with the Comprehensive Plan
- How the proposed project complies with the Land Use Code (Title 49)

Site Plan (details on page 2)

NOTE: This application is required even if the proposed project is associated with other Land Use permits.

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

CITY/STATE PROJECT FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____ 0 _____			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
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Attachment E - CSP2021 0006 Recommending approval of land transfer.

City/State Project and Land Action Review Information

City and State project review is outlined in CBJ 49.15.580

Each application for a City/State Project is reviewed by the Planning Commission at a public hearing. The permit procedure is intended to provide the Commission the flexibility necessary to make recommendations tailored to individual applications.

Application: An application for a City/State Project Review will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed City/State Project Review Application and Development Permit Application forms.
2. **Fees:** No fee required for projects that cost less than \$2.5 million. For projects costing more than this amount, the fee is \$1,600.00. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - a. Plat, site plan, floor plan and elevation views of existing and proposed structures and land;
 - b. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances;
 - c. Proposed traffic circulation within the site including access/egress points and traffic control devices;
 - d. Existing and proposed lighting (including cut sheets for each type of lighting);
 - e. Existing and proposed vegetation with location, area, height and type of plantings; and,
 - f. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All City/State Project Review Permit Applications must be reviewed by the Planning Commission. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting. The Planning Commission will make a recommendation based on staff's analysis and forward it to the Assembly for final approval/denial.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Irene Gallion

From: Dan Bleidorn
Sent: Wednesday, October 27, 2021 10:37 AM
To: Kyle Paw
Subject: Fw: Franklin Foods request to purchase CBJ property
Attachments: 1 letter to assembly 2021 01.pdf; 2 Area Map.pdf; Franklin Foods Memo.pdf; Franklin Supplemental Material.pdf; DPA signed.pdf; CSP-City_State_Project_Review_Application.pdf

From: Dan Bleidorn
Sent: Monday, October 11, 2021 4:29:15 PM
To: Edward Quinto; Alexandra Pierce
Subject: Franklin Foods request to purchase CBJ property

53.09.260 states that the Planning Commission will review all land disposals.
Can I set up a pre-app meeting for this proposed disposal and schedule this for PC review?

53.09.260 - Negotiated sales, leases, and exchanges.

(a) Application, initial review, assembly authority to negotiate. Upon application, approval by the manager, and payment of a \$500.00 fee, a person or business entity may submit a written proposal to lease, purchase, exchange, or otherwise acquire City and Borough land for a specified purpose. The proposal shall be reviewed by the assembly for a determination of whether the proposal should be further considered and, if so, whether by direct negotiation with the original proposer or by competition after an invitation for further proposals. Upon direction of the assembly by motion, the manager may commence negotiations for the lease, sale, exchange, or other disposal of City and Borough land.

(b) Review and approval process. Upon satisfactory progress in the negotiation or competition undertaken pursuant to subsection (a) of this section, after review by the planning commission for disposals other than leases, after review by the assembly lands committee, and authorization by the assembly by ordinance, the manager may conclude arrangements for the lease, sale, exchange, or other disposal of City and Borough land. The final terms of a disposal pursuant to this section are subject to approval by the assembly unless the minimum essential terms and the authority of the manager to execute the disposal are set forth in the ordinance enacted pursuant to this subsection. The disposal may not be executed until the effective date of the ordinance.

Thank you!

Dan Bleidorn | Division of Lands and Resources Manager | ph 907.586.5252
[Lands and Resources](#) | Dan.Bleidorn@Juneau.org |

Dear Mayor Beth Weldon and assembly members,

I am owner and operator of Deckhand Dave's Fish Tacos located in the Franklin food court at the intersection of Front Street and South Franklin Street in Downtown Juneau.

I am currently in the process of further developing my business by securing the property rights of my present site located on previous Gastineau Apartment property, 127 South Franklin Street and have a broader interest in opening discussions with the City and Borough of Juneau to secure the adjacent City owned property formally known as Pocked Park located at 139 South Franklin Street for a business development expansion.

For background information, I moved and developed my current location in 2018 when the food trucks and stands were required to move from the downtown Juneau waterfront location of the Archipelago lot. Because of this required relocation, to open operations, at my current location, I negotiated an agreement with the owners of the Gastineau apartment property and the city to create the Franklin Food Court.

For this initial development, I personally invested over \$100,000 in upgrades to the current site to make the site operational to support my business by upgrading and enlarging the site which required re-grading, security fencing, lighting and connections to sewer, water, and electricity.

The result of this effort provided space for my business as well as (5) seasonal businesses previously located at the Archipelago site that otherwise would not have opened in 2019.

This effort secured (12) of my own employees as well as 20 employees from the other (5) businesses for a total of 32 seasonal workers. Business has since been successful where with my efforts, I expect to expand my current employment by adding a Champagne oyster bar selling local oysters from the Salty Lady.

My personal goal is to be a life-long Juneau resident and to do my best by contributing to the vitality of historic downtown Juneau; a trend we see currently underway along North Franklin Street and throughout downtown Juneau. I intent to do my absolute best to improve Juneau and help make downtown what I know it could be.

I have preliminary sketches that involve expanding pocket park up the hillside for a better view and to create more business opportunities for other food trucks like myself. With this development of this vision, I intend to create retail and hospitality space for year-round business and with plans to create 10 more jobs with just my business alone.

The long-term vision is to work with local interests and potentially introduce more housing in developing the upper portion of the property connecting to Gastineau Avenue.

Juneau has so many empty buildings and I want to make it my life goal to have them all open and operating. All business would do better when there is more activity happening around them.

Immediate interest is to work with development interests and restore the Rockwell Building adjacent to my current operation to historical standards with my personal goal to repaint the exposed 2-story Rockwall wall with a mural suggested to be depicting Elizabeth Peratrovich as a favored ideal. This would be an added highlight in the heart of downtown Juneau.

I am writing to you now to open discussions for the purchase of the Pocket Park property to help secure financing and am in current discussions with numerous local banks. Financing is reliant by securing Pocket Park simultaneously with the purchase of the Gastineau Apartment property to insure future potential growth as primary access to the Gastineau property is through the Pocket Park parcel.

The history of Pocket Park is that Pocket Park was in fact given to the city in 50's and was originally part of the Gastineau parcel.

My request is to have the City and Borough of Juneau sell me 139 s Franklin's contingent on the purchase of the Gastineau apartments parcel.

Thank you for your time and consideration of this inquiry.

David McCasland



MEMORANDUM

CITY/BOROUGH OF JUNEAU

Lands and Resources Office
155 S. Seward St., Juneau, Alaska 99801
Dan.Bleidorn@juneau.org
(907) 586-5252

TO: Maria Gladziszewski, Chair of the Assembly Lands Housing and Economic Development Committee

FROM: Dan Bleidorn, Lands and Resources Manager *Daniel Bleidorn*

SUBJECT: Franklin Foods Request to Purchase City Property at 139 S. Franklin St.

DATE: September 15, 2021

On June 3, 2021, David McCasland of Franklin Foods LLC submitted an application to purchase City property located at 139 S. Franklin St. This property was formally Gunakadeit Park, is roughly 4,000 square feet, and is currently being leased to Franklin Foods as part of a food court. McCasland has a contact to purchase the former Gastineau Apartments property located at 127 S. Franklin St., which is adjacent to the City's property. It is roughly 16,000 square feet and is leased to Franklin Foods for the food court.

In 2018, the Division of Lands and Resources received a similar application to buy this property, also from Franklin Foods LLC. During the Assembly 2018 review, Assembly Member Jones noted that if the purchase of the neighboring property did go through that it would be worth approaching the Assembly again to request another proposal to purchase Gunakadeit Park at that time. The Assembly, at the November 5, 2018 meeting, directed the City Manager to negotiate a fair market value lease of Gunakadeit Park. The current lease agreement is for one year and has two additional one year terms remaining.

City Code 53.09.260 states that the Assembly must determine "whether the proposal should be further considered and, if so, whether by direct negotiation with the original proposer or by competition after an invitation for further proposals. Upon direction of the Assembly by motion, the Manager may commence negotiations for the lease, sale, exchange, or other disposal of City and Borough land."

This Committee forwarded this application to the Parks and Recreation Advisory Committee (PRAC) at the July 19 2021 meeting. The PRAC reviewed this request at the September 7th meeting and provided a recommendation that "The PRAC's mission is to recommend and assist in developing a well-managed park system which improves the quality of life for the citizens of Juneau. To that end, it is not in the best interest of the citizens of Juneau to recommend the disposal of any parkland. That notwithstanding, Gunakadeit Park, due to its historic management challenges, does not meet the definition of parkland as it is a 'Special

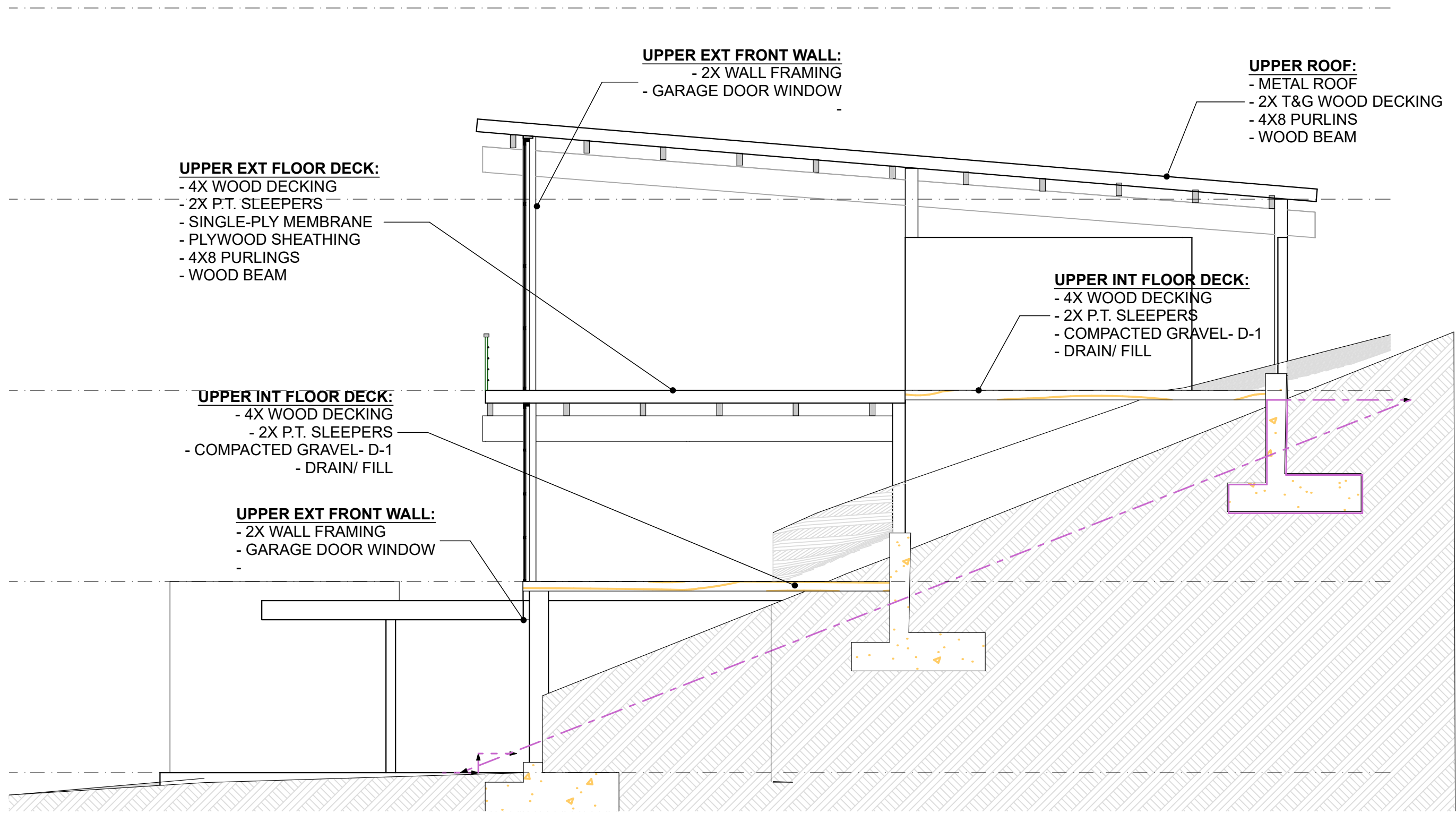
Use Area' and the PRAC recommends the disposal of this small, non-conforming parkland with a recommendation that the proceeds of the sale be used to provide improvements to the park system."

If the Assembly provides direction by motion, the Manager will begin negotiations and if negotiations are successful, an ordinance will be drafted and introduced to the Assembly.

Staff request that the Lands, Housing and Economic Development Committee forward this application to the Assembly with a motion of support for working with the original proposer.

Attachments:

1. Dave McCasland 2021 letter to the Assembly
2. Property Map




North Wind
 Architects LLC
 126 Seward St
 Juneau, AK 99801
 Ph #907.586.6150
 www.northwindarch.com

← 1" ACTUAL →
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

NWA-1534
 #Site City, #Site State

1 SECTION
 SCALE: 3/16" = 1'-0"

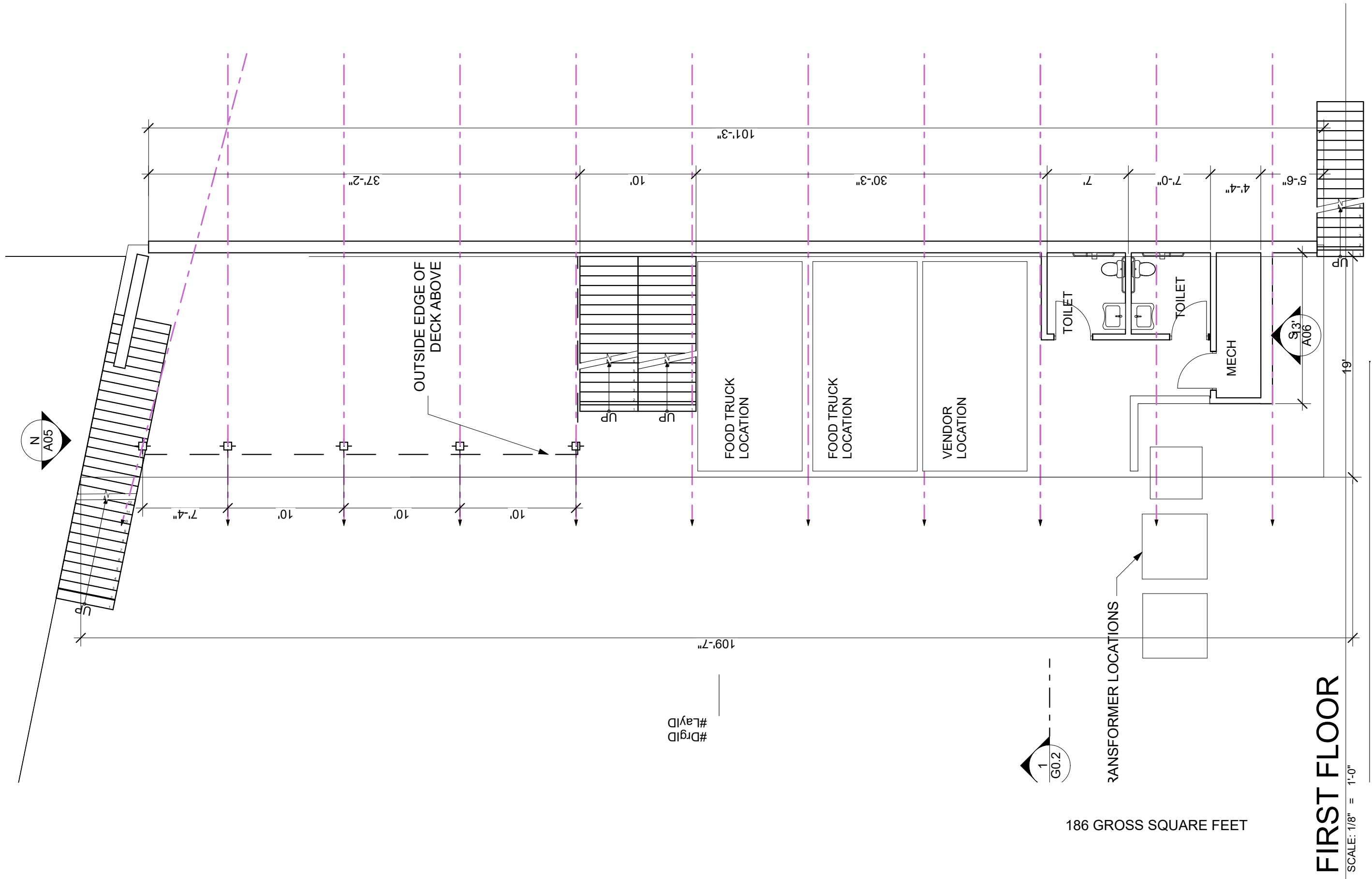
SHEET TITLE:
 SITE SECTION

CHECKED	XX
DRAWN	XX

SHEET #

G0.2

PLOT DATE	11/24/20
ISSUE DATE	8/4/15



186 GROSS SQUARE FEET

FIRST FLOOR
SCALE: 1/8" = 1'-0"

1

NorthWind Architects LLC
 126 Seward St
 Juneau, AK 99801
 Ph #907.586.6150
 www.northwindarch.com

1" ACTUAL
 IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

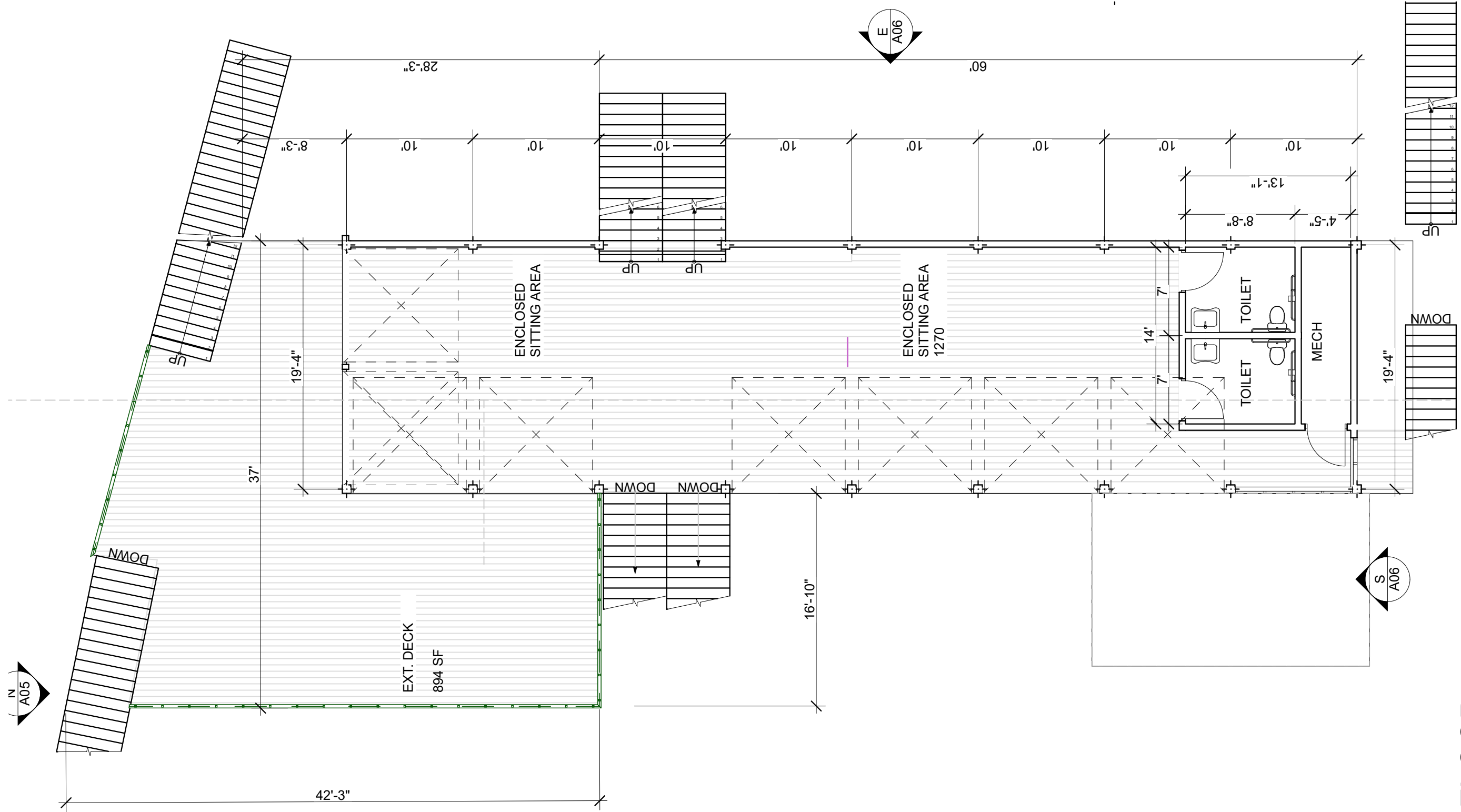
NWA-1534
 #Site City, #Site State

SHEET TITLE:
1st Floor Plan

CHECKED XX
 DRAWN XX

SHEET #
A 1.1

PLOT DATE 11/24/20
 ISSUE DATE 8/4/15



2577 GROSS SQUARE FEET
 1894 SF ENCLOSED SPACE
 683 SF EXTERIOR DECK

FIRST FLOOR
 SCALE: 1/8" = 1'-0"

NorthWind Architects LLC
 126 Seward St
 Juneau, AK 99801
 Ph #907.586.6150
 www.northwindarch.com

← 1" ACTUAL →

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

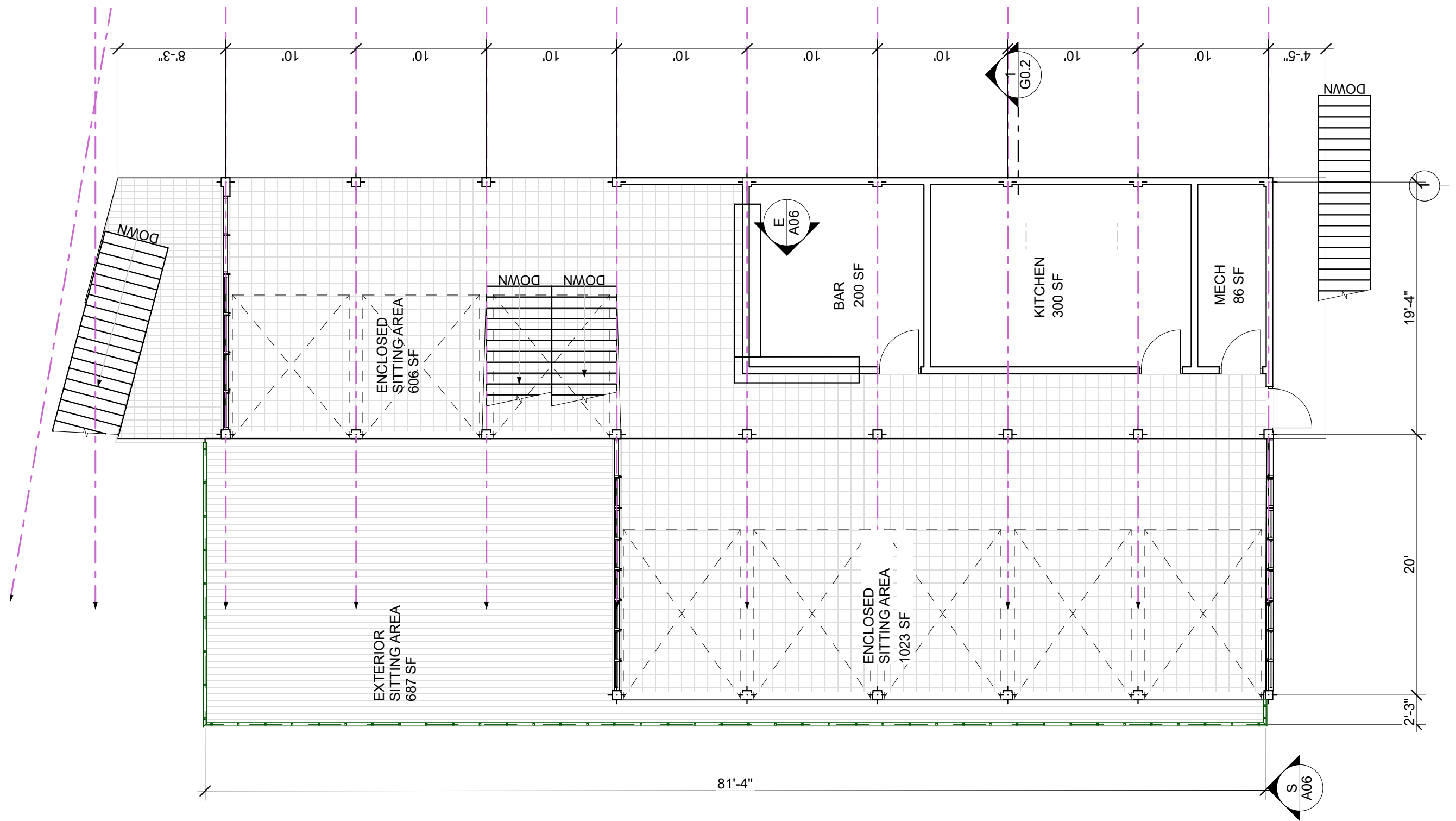
NWA-1534
 #Site City, #Site State

SHEET TITLE:
2nd Floor Plan

CHECKED	XX
DRAWN	XX

SHEET #
A 1.2

PLOT DATE 11/24/20
 ISSUE DATE 8/4/15



3610 GROSS SQUARE FEET
 2613 SF ENCLOSED SPACE
 687 SF EXTERIOR DECK
 310 SF MISC CONNECTION DECK TO GRADE

1 FIRST FLOOR
 SCALE: 1/8" = 1'-0"



1" ACTUAL
 IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

NWA-1534
 #Site City, #Site State

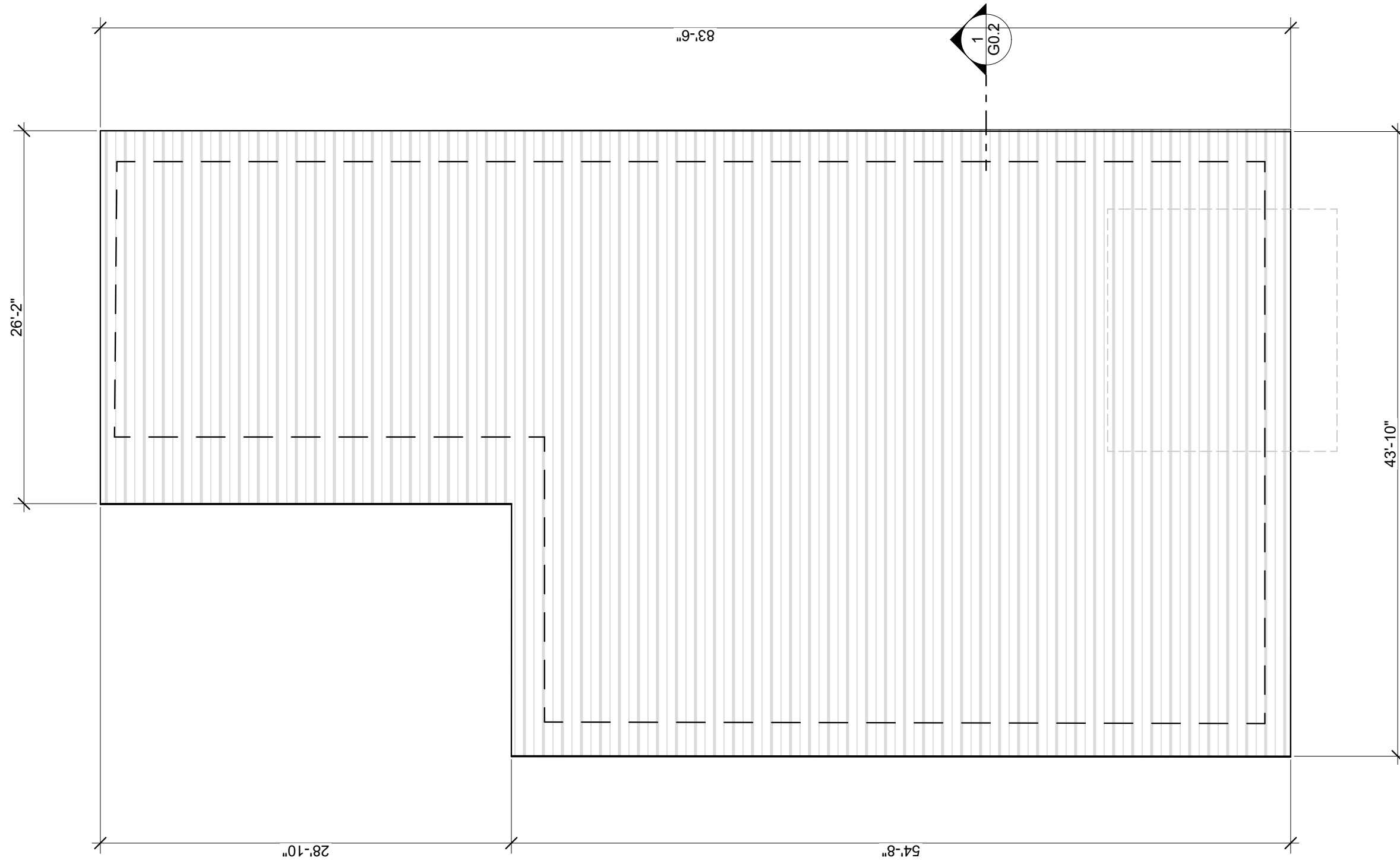
SHEET TITLE:
 3rd Floor Plan

CHECKED XX
 DRAWN XX

SHEET #

A 1.3

PLOT DATE 11/24/20
 ISSUE DATE 8/4/15



1 UPPER ROOF PLAN

SCALE: 1/8" = 1'-0"



← 1" ACTUAL →
 IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

NWA-1534
 #Site City, #Site State

SHEET TITLE:
 4th Floor Plan

CHECKED XX
 DRAWN XX

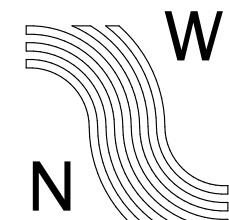
SHEET #

A 1.4

PLOT DATE 11/24/20
 ISSUE DATE 8/4/15



1 3D Perspective
SCALE: 1:70.47



North Wind Architects LLC
126 Seward St
Juneau, AK 99801
Ph #907.586.6150
www.northwindarch.com

← 1" ACTUAL →

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

NWA-1534
#Site City, #Site State

SHEET TITLE:
3D View 1

CHECKED XX
DRAWN XX

SHEET #
A12

PLOT DATE 11/24/20
ISSUE DATE 8/4/15



1 **FIRST FLOOR**
SCALE: 1:66.13

N **W**

NorthWind Architects LLC
126 Seward St
Juneau, AK 99801
Ph #907.586.6150
www.northwindarch.com

← 1" ACTUAL →

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

Gastineau Apartments Demolition

NWA-1534
#Site City, #Site State

SHEET TITLE:
3D View 2

CHECKED XX
DRAWN XX

SHEET #
A13
PLOT DATE 11/24/20
ISSUE DATE 8/4/15



Historic Resources Advisory Committee

(907) 586-0715
HRAC@juneau.org
www.juneau.org/history/advcomm.php
155 S. Seward Street • Juneau, AK 99801

August 30, 2021

Dave McCasland, Franklin Food Court
James Bibb, Northwind Architects
126 Seward Street
Juneau, AK 99801

Re: Franklin Food Court

Dear Mr. McCasland,

The members of Juneau's Historic Resources Advisory Committee (HRAC) would like to thank you for bringing your upgrade ideas for the Franklin Food Court to our meeting on June 16, 2021.

The Franklin Food Court has been a delicious addition to the Downtown Historic District attracting hungry locals and tourists since 2019. In 2018 you brought the food court idea to the Committee and headed many of the recommendations. Since then other businesses have added to the food court area bringing more and more people into Juneau's Downtown Historic District.

The upgrade ideas that were discussed in June 2021 include a permanent two-story eating area with room for an outdoor performance space and restrooms. The drawings that were presented as concepts and the final design of the project will be determined in the near future. HRAC was assured that any future design plans for this project will be brought to the committee for review. HRAC reviewed the concepts and looks forward to seeing further development and ways to maintain our historic district with this exciting new project.

Thank you for allowing HRAC the opportunity to provide our support. Should you have any questions please do not hesitate to reach out.

Sincerely,

Zane Jones, Chair of HRAC



**Wild,
Natural &
Sustainable®**

Alaska Seafood Marketing Institute

311 N. Franklin Street, Suite 200, Juneau, AK 99801-1147

907-465-5560 / 800-478-2903

info@AlaskaSeafood.org

Sept. 21, 2021

To Whom It May Concern:

The Alaska Seafood Marketing Institute (ASMI) commends Deckhand Dave's for its exemplary work in the promotion and sales of wild, sustainable Alaska seafood products.

Despite numerous challenges in recent years Deckhand Dave's has persevered to build a highly recognizable brand and food destination centered around the premier seafood caught in the waters of Alaska. By choosing to menu only wild, sustainable Alaska seafood Deckhand Dave's honors the hard work of Juneau's commercial fishing fleet, introduces countless visitors of Alaska's capital city to iconic, nutritious and delicious Alaska seafood products, and promotes wild, sustainable Alaska seafood through imagery, marketing and story-telling.

ASMI also greatly appreciates working with Deck Hand Dave's and its owner Dave McCasland on numerous ASMI marketing campaigns. Most recently, Deckhand Dave's served as the venue for the Alaska X Louisiana Seafood Celebration to recognize the top two seafood producing states that have been both been gravely economically impacted in the seafood and tourism sectors. This is just one example of how Mr. McCasland is an exemplary ambassador for the Alaska Seafood brand, which represents over 100,000 hardworking Americans found across all fifty states.

ASMI is a partnership between the State of Alaska and the Alaska seafood industry representing over 60,000 Alaskan harvesters, processors and businesses that take pride in providing nutritious, wild, natural, and sustainable seafood to consumers worldwide. Alaska produces over 60 percent of the nation's wild seafood that in turn generates \$13.9 billion in economic output annually. The significant impact and size of the Alaska seafood industry is only made possible, in part, by dedicated businesses such as Deckhand Dave's.

Sincerely,

A handwritten signature in black ink that reads "J Woodrow". The signature is fluid and cursive.

Jeremy Woodrow
Executive Director

Alaska Seafood Marketing Institute

AlaskaSeafood.org

Attachment E - CSP2021 0006 Recommending approval of land transfer.

**ASSEMBLY STANDING COMMITTEE MINUTES
LANDS HOUSING AND ECONOMIC DEVELOPMENT COMMITTEE
THE CITY AND BOROUGH OF JUNEAU, ALASKA**

September 27 2021, 5:00 P.M. – Rescheduled from September 20, 2021
Zoom Webinar Meeting

I. CALL TO ORDER

II. ROLL CALL

Chair Gladziszewski called the meeting to order at 5:00pm.

Members Present: Chair Maria Gladziszewski, Alicia Hughes-Skandijs, Greg Smith, Wade Bryson (note, Mr. Bryson experienced technical difficulties and was not able to participate in some of the meeting)

Members Absent:

Liaisons Present: Chris Mertl, Parks and Recreation; Lacey Derr, Docks and Harbors

Liaisons Absent: Dan Hickok Planning Commission

Other Assembly Members Present: Christine Woll

Some Members of the Public Present: Dave McCasland, Dave Bicknell, Liz Perry

Staff Present: Dan Bleidorn, Lands Manager; Jill Maclean, CDD Director; Scott Ciambor, Chief Housing Officer; Irene Gallion, Senior Planner

III. APPROVAL OF AGENDA

Agenda was approved as presented.

IV. APPROVAL OF MINUTES

September 7, 2021 Draft Minutes were approved with minor change that the year listed on the agenda packet should be 2021, not 2020.

V. PUBLIC PARTICIPATION

No public participation.

VI. AGENDA TOPICS

A. Franklin Foods Request to Purchase City Property at 139 S. Franklin St.

Dan Bleidorn brought this topic back after review at the September 1, 2021 PRAC meeting. Mr. Smith is supportive of this idea and asked if there have been other parties interested in this area looking to develop housing on the site. Chair Gladziszewski commented that she was interested in the housing aspect of Mr. McCasland's proposal. Mr. McCasland commented that he has been approved by his bank and has an appraiser, Kim Wold, lined up. He is in the process of closing the deal with the Barrett's, the Gastineau Apartments owners. His plan is to build a tiered foundation wall and going up three levels, about 7,000 square feet wide. The foundational support is for the whole hillside to build housing on the fourth lot of the Gastineau Apartments, which connects to Gastineau Ave. The plan is to build a multi-level food truck park with three levels for a better view and sun exposure and to support the hillside on the fourth level for housing development.

Mr. Mertl commented that he thought it was not a good idea to sell parkland. The disposal of City parkland is not necessarily in the public's best interest and even though the PRAC supports Mr. McCasland's development because there is existing Parks facilities within the downtown core, there are concerns of precedence that this is going to set. It did pass in the PRAC, 6 – 2, with Mr. Mertl one of the no votes. Speaking for the PRAC, Mr. Mertl commented that they would like to see the Assembly move forward and develop some sort of mechanism to be allocated for purchasing or making park improvements in areas of greater need, instead of the proceeds from the sale of parkland going into the general fund. An example would be the shortfall of parkland in Lemon Creek. Overall, the PRAC does support this proposal due to the amount of existing parkland downtown but are looking at the Assembly

for adjustments because we are seeing many requests for disposal of parkland and we are struggling with that. Trades are what have been done in the past. Chair Gladziszewski does not support disposing parkland without the connection to possible housing.

Mr. Smith asked if the buyer will figure out the market value or if that is already known. Mr. Bleidorn replied that the applicant is working on an appraisal and we should have that in a few weeks.

Chair Gladziszewski commented that whoever makes a motion should add that this request should be contingent on the purchase of the Gastineau Apartments parcel. I would like to keep this together if this falls through I wouldn't want to dispose of parkland without it being connected to the other property because then that other property would never get developed.

Mr. Smith moved that Staff request that the Lands, Housing, and Economic Development Committee forward this application for the purchase of the lot at 139 S. Franklin Street to the Assembly with a motion of support for working with the original proposer, with a contingency of the sale of this land would be dependent on a successful purchase of the adjoining property for an apartment property. Motion Passed.

B. Ordinance 2021-38 An Ordinance Amending the Official Zoning Map of the City and Borough to Change the Zoning of Honsinger Pond Lots 3, 4, 5, 6, 7, 8, 9, 10, and 11: Located Near 7900Honsinger Drive

Ms. Maclean discussed this topic. The developer of the Honsinger Pond Subdivision requested to rezone nine lots (2, 3, 4, 5, 6, 10, 11, 12 and 13) from Industrial to General Commercial. The Planning Commission, on August 10, 2021, found the proposal was for more than two acres, expanded an existing zoning district, and substantially conformed to the Resource Development designation of the Comprehensive Plan maps. However, the Planning Commission recommended the Assembly rezone different lots (2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, and 13) because of the noise from the airport, visibility from Egan, and align with nearby existing land uses. Chair Gladziszewski commented that the developer asked for "X" and the Planning Commission made a different proposal, picking a few different parcels.

Mr. Smith commented that he thought the reason from the Planning Commission was for airport noise and asked about exclusion of lot 2 in the rezone, the reason behind it, and if we should be concerned about that lot based on a study for something like 15-years. Ms. Maclean replied that the applicant was requesting nine lots change from industrial to general commercial. When staff conducted their analysis we looked at all of the different types of users that can occur under both zoning districts and also with a greater focus on the airport, which is a neighboring property, and to work with FAA guidelines and their recommendations. The staff report listed noise and wildlife attractant being of concern. Noise decibel levels were looked at and thought those issues could be addressed in the future when a conditional use permit came forth. The Planning Commission felt differently after their review, hearing, and discussion with the applicant. They opted to change it and strike lot 2 with the feeling it was better to shift the rezone area. They gave the applicant the same amount of acreage that was being rezoned but shifted it so there would not be any potential for a housing development close to the airport. It put more weight on future housing versus what the applicant saw that was happening on a particular lot.

Mr. Smith asked if at some point the applicant wanted to build out with the lots, could sound be mitigated through design. If that worked but they did not work to go general commercial and not want to build residential, do we have safeguards in place in the permitting process so that in 15 years or

whatever, they would not build residential if the noise is too much. Chair Gladziszewski commented that there is an airport there. Ms. Maclean commented that the conditional use permit process would give the Commission the authority to make certain recommendations. If it were rezoned general commercial and a housing development were proposed, which I think is unlikely in that location, but could happen, the Commission has the authority to put in place certain constraints or restrictions on how the building is constructed. Soundproofing or something of that nature would be required. To the other extreme, the Commission has the authority to deny a conditional use permit if they feel that the use is not compatible or a detriment to public health, safety or welfare, they have the option to completely deny or condition it in a manner that could address those concerns. I do not think the applicant at this time has any anticipation of building housing there. I would note that we do have housing right across from the airport across from Egan, next to the mercantile armory building, along with the Glory Hall, and a few of the other establishments, which may be a little further away. The question being, does the Commission have authority to issue conditions, and I would say yes, they do or to simply deny it out right.

Chair Gladziszewski asked that if housing is allowed by right in general commercial or do it require a permit. Ms. Maclean replied that for general commercial if the lot is greater than 10,000 square feet or if it is more than 12 units or 12 bedrooms, those all go to the Planning Commission. Anything under 10,000 square feet for the lot itself and 12 bedrooms or less would be director approval and still have the ability to be conditional use or denied if it didn't need public health safety or welfare, those options would still be there. Chair Gladziszewski replied that there are no category ones in the table of permissible uses for housing and then it requires director approval. Ms. Maclean replied that one would be director approval and three Commission approval in the table of permissible uses. Chair Gladziszewski asked if one is allowed by right, you do not need anything. Ms. Maclean replied that prior to 2010, there used to be a two, and the two was those that are allowed by right. I believe the only two that still exist in the TPU is mining, like Kensington or Greens Creek, that level of mining and only parts of it. The one is the director approval and the three is the conditional approval, adding that each of these lots are over an acre or almost an acre in size, so on unless they were subdivided further right now, they would all require a conditional use permit.

Mr. Mertl asked what is the allowable housing in general commercial and a big picture concern is that there is a need for housing but wedging housing in general commercial between two industrial sites, Egan and the Airport, is not a great housing experience, and I think that we just want to be careful with that. We are setting up quality housing in the right location and I have some transportation and egress concerns as well coming off that area. Chair Gladziszewski replied that she agrees with Mr. Mertl and what the Planning Commission did.

Ms. Hughes-Skandijis made a motion for the Lands, Housing, and Economic Development Committee forward a motion of support to rezone lots labeled by recommendation by the Planning Commission, along Honsinger Drive, from Industrial to General Commercial. Motion passed.

C. Travel Juneau Update

Liz Perry from Travel Juneau provided additional information gathered after the September 7, 2021 LHED meeting. Mr. Smith appreciated the information on different independent travelers and wanted to know more about the nonprofit board. Chair Gladziszewski commented that Ms. Perry had offered to write new contracts and draft language, which this committee has not yet forwarded on for a recommended. Regardless of the path of new contract with Travel Juneau or as the ordinance suggests,

a new contract to go out for bid, we still need a scope of work, expectations of this organization, and with examples from different DMOs to pick from in it would be good to get something drafted.

Ms. Hughes-Skandijs appreciated giving this topic the time it deserves. She agrees with Mr. Smith that the Assembly should be interested in the appointment process to show public trust and accountability, since it makes it similar to other factions of City organizations that work in concert with the City that are receiving various kinds of what is ultimately public money. I think you just really summarize whether we were going to go out for bid, or just get a more detailed scope of work that would be contracts, and our next step would be a scope of work. I would be willing to work with Ms. Perry to create a scope of work, bring something back to the committee on a smaller scale, and then see if we come up with something that the committee decides on. Chair Gladziszewski thought that was a great idea for a smaller group to draft something so that we are not grouping at a committee meeting. Anyone else is interested in working with Ms. Hughes-Skandijs let her know. Chair Gladziszewski asked Ms. Perry if they come up with a draft for the next meeting, or for whenever you get it done that would be great. There are many materials to work with, there is probably plenty of language to steal that is good.

Mr. Bryson commented that his zoom connection was coming in and out and missed parts of the meeting and asked if he could be caught up to Ms. Hughes-Skandijs idea. Chair Gladziszewski replied that the idea was to have Ms. Perry draft a new MOA, and if anyone would like help. The draft language could come from other DMO memos and would come up with a more detailed scope of work that could be used either for going out to bid or as the contract with Travel Juneau. Basically, to write a draft, what does the City want, and there is probably some language from Mr. Jones's draft legislation to include.

Mr. Smith appreciates Ms. Perry for being responsive to the numerous questions through the process and giving us information. Ms. Perry appreciates the opportunity to work with this committee and making sure that the Assembly and City leadership are comfortable with what Travel Juneau does and wants to be as transparent as possible. Ms. Perry looks forward to working with Ms. Hughes-Skandijs and anyone else who wants to help create the scope of work. Chair Gladziszewski commented that we have an action item and we will look forward to a draft at some point.

VII. STANDING COMMITTEE TOPICS

A. Status of Housing Initiatives Updates

Mr. Ciambor provided an update. The Juneau Affordable Housing Fund program guidelines and application have been posted. The due date for those applications is October 29. This past Wednesday there was a public information meeting, with seven attendees with constant inquiries from potential applicants. Chair Gladziszewski asked about the next task. Mr. Ciambor replied that process is to set up a committee review training for the second week of October and wait for the applications to come in on the 29th. Chair Gladziszewski congratulated Mr. Ciambor on his progress.

Mr. Smith asked if Mr. Ciambor had heard if other people are making proposals for housing gaps, such as apartments, prior to Gastineau apartment lot and the pocket park lot, are you aware of any proposals for housing there. Mr. Ciambor replied that overtime he had heard about developers poking around for housing and or hotel, but nothing specific and nothing in the last year or so.

Chair Gladziszewski asked about the upstairs downtown housing, if there are still a lot of housing upstairs that are empty and we had an inventory, but is unsure if the City did anything and if this something we can move the ball on. Where are we on that that aspect of housing and downtown. Mr.

Ciambor replied that for the upstairs downtown program, staff has discussed developing language for the rehabilitation and code compliance upgrade program and I have worked a little through the summer to get some community feedback from developers and local architects who have been working with people trying to develop upstairs units downtown. Mr. Ciambor is working to meld that language together into a model and bring it back to the LHED committee. I had hoped to bring something a bit earlier this summer, but getting the Housing Fund out the door was first priority so the upstairs downtown project was put on the back burner, but it is there and I am starting to compile information.

Mr. Bryson asked if Mr. Ciambor had a number of applications that we received for the housing grant funds to the state. Mr. Ciambor replied that the application guidelines and applications were posted on September 10 there is a two month window until October 29 for folks to call and ask questions and to put the applications together. Mr. Bryson asked if any developers reached out to say there were interested, if there is a sense of desire for this program right now. Mr. Ciambor replied that he has received seven different organizations or projects at the information meeting last week, so that was a good sign there's probably been two or three others that have checked in continuously with the expectation that we will get a good amount of applications across the spectrum. I'm encouraged that there's enough folks that know how these application processes works that we might not hear from them until we see an application come across my desk. I'm hopeful that we'll get a good amount of applications. Another thing to note, when I do talk to people I am promoting and encouraging people to submit applications, no matter where they are in the development timeline. This is another communication tool to get to the LHED Committee and the Assembly that people are actually working on affordable projects. I'm encouraging people to apply to let us know what they're thinking about in the future for future rounds of funding.

Chair Gladziszewski noted that the Mayor's Task Force on the joint Chamber Planning Commission Assembly group is going to have its first meeting this Thursday at noon, which should be organizational.

B. Status of Title 49 Updates

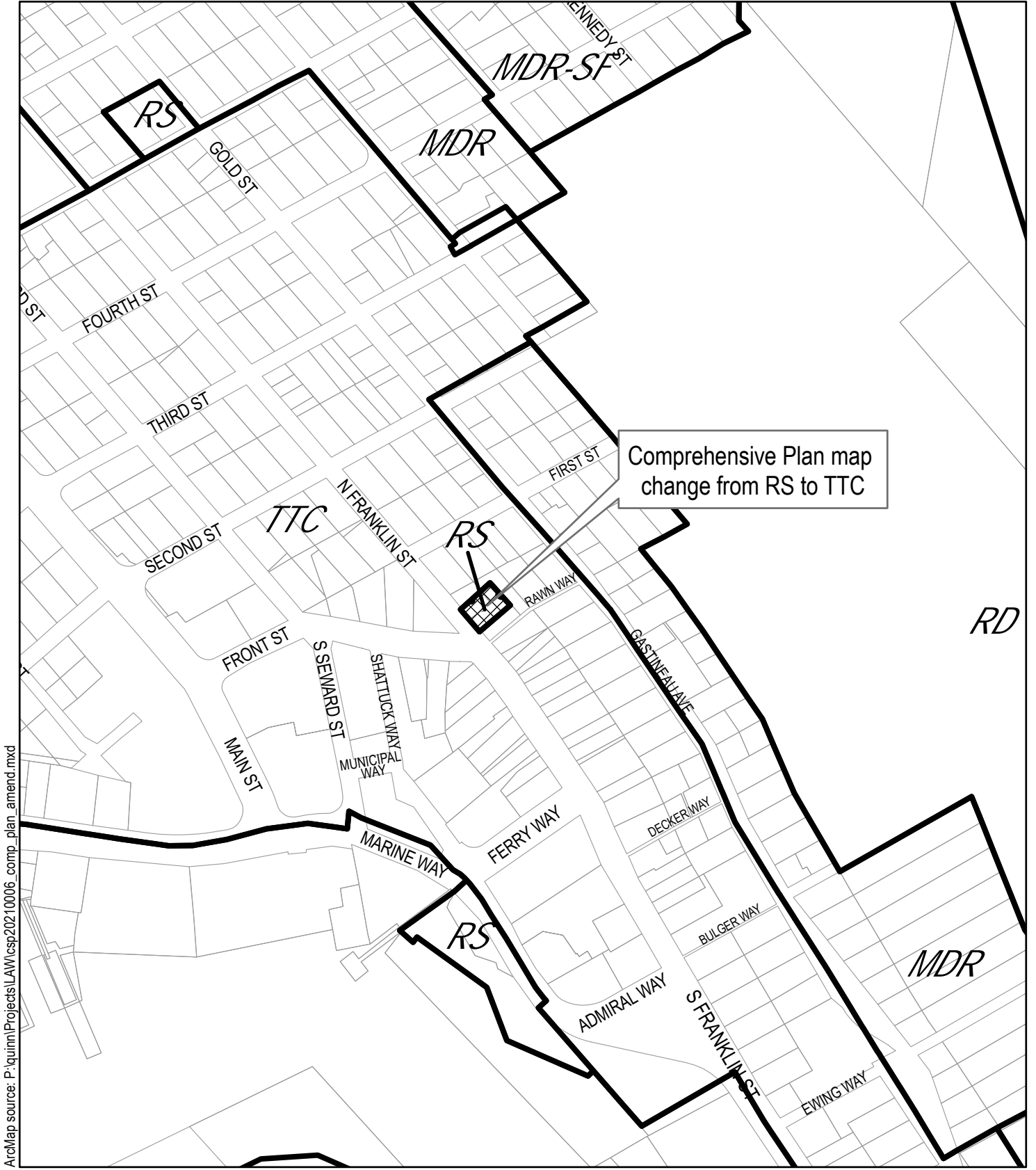
Mr. Bryson asked Ms. Maclean if there was a list of activities that the solution is director's discretion. It seems pertinent to have what the outcomes of all those director's discretion questions are as we move housing forward and as we're doing things with Title 49. He wanted to know the track record is, does it get passed through, or does it gets stopped unless we know what the voting decision factors are, how do we know if we have the right rule in place. Chair Gladziszewski commented that Ms. Maclean is no longer in the zoom meeting and asked to have Ms. Gallion respond. Mr. Bleidorn responded that he believed Ms. Maclean was working to compile this information and the preliminary determination was that the majority of director approvals were going through, and it was timelier than taking them to the Planning Commission but maybe Irene can fill us in more on that. Ms. Gallion commented that she had not been part of those reports and would defer to Director Maclean. Mr. Bryson asked if that information could be provided to the committee.

VIII. COMMITTEE MEMBER / LIAISON COMMENTS AND QUESTIONS

None

IX. ADJOURNMENT

Chair Gladziszewski adjourned the meeting at 5:43 PM. Next meeting will be Monday, November 1, 2021.

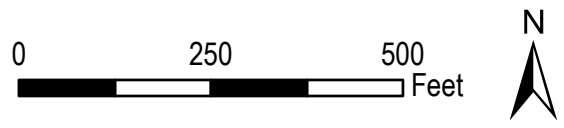


ArcMap source: P:\gim\Projects\LA\w\csp20210006_comp_plan_amend.mxd

CDD Case:CSP2021-0006

COMPREHENSIVE PLAN MAP AMENDMENT

Land use designation change for portions of
 Juneau Townsite, Block 13, Lots 1A, 2A, & 9
 from RS to TTC



Irene Gallion

From: Dan Bleidorn
Sent: Monday, December 20, 2021 3:49 PM
To: Irene Gallion
Subject: RE: Deckhand Dave/ Franklin Foods sign photo



From: Irene Gallion <Irene.Gallion@juneau.org>
Sent: Monday, December 20, 2021 3:39 PM
To: Dan Bleidorn <Dan.Bleidorn@juneau.org>
Subject: RE: Deckhand Dave/ Franklin Foods sign photo

Can you send in another format? I get this:

IMG_4057.HEIC

Install additional codecs to work with this file.

[Download codecs at Microsoft Store.](#)

From: Dan Bleidorn <Dan.Bleidorn@juneau.org>
Sent: Monday, December 20, 2021 3:37 PM
To: Irene Gallion <Irene.Gallion@juneau.org>
Subject: Deckhand Dave/ Franklin Foods sign photo

Dan Bleidorn | Division of Lands and Resources Manager | ph 907.586.5252
[Lands and Resources](#) | Dan.Bleidorn@Juneau.org |

From: Michael Hekkers <mikehekkers@yahoo.com>
Sent: Monday, December 20, 2021 12:21 PM
To: PC_Comments
Subject: Case CSP2021 0006

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

I propose that CBJ can dispose of this property as long as it's at appraised fair market value.

I hope you are well.

Mike Hekkers

Get your elected officials to tackle the climate emergency and to reduce the plastic and waste stream!

SPICKETT'S PALACE LLC DBA

HELLENTHAL LOFTS

PO BOX 23293, JUNEAU, ALASKA 99802 • (907) 321-3504

December 17, 2021

CBJ Planning Commission
c/o CBJ Community Development
155 S. Seward Street
Juneau, Alaska 99801

Re: Case Number CSP20210006

Dear Commissioners:

I am writing on behalf of myself as an owner of the Hellenthal Building and the MacKinnon apartments, and on behalf of my partners and the businesses we run in those two buildings, and also as a citizen who works downtown on Franklin Street.

We strongly support releasing this property to the private ownership of Franklin Foods.

While we are strong supporters of parks, open green spaces, and public ownership of such places, this parcel is best suited for commercial use. Since the city demolished the park that previously stood on this space, it has developed the whale park and an expanded seawalk. Hopefully, the near future we will see even further expansion of the seawalk. These nearby spaces are far more suitable for parks and mitigate any remaining need for public green space in this area. The use that the applicant has made of the space in the last few years does in fact provide a kind of open area to the public that the city cannot replicate, and it serves far more people, appealing equally to cruise passengers, independent travelers, and locals. The applicant's current use does not preclude future development of high-density housing, should a time ever come when that becomes economically feasible in downtown Juneau.

The applicant's use of this space has an outsized beneficial effect on the entire downtown business ecosystem. Both our Airbnb guests at the Hellenthal and our permanent residents at the MacKinnon routinely remark on how the applicant's business contributes to their tourist experiences or their quality of life, respectively. Mr. McCasland collaborates with our commercial tenant and sells their product. Each food truck in the

court represents one tax-paying small business and employer, and I am aware that Mr. McCasland has helped other young people dreaming of starting their own businesses.

At the Hellenthal, we are surrounded on four sides by decaying buildings that are mostly vacant and partly boarded up. The food truck court is one bright spot in this chronically blighted area. We strongly encourage the city to take any possible measures to support businesspeople who demonstrate the energy and ambition that downtown so badly needs.

Thank you for considering our opinions. In conclusion, below are two typical reviews of one of our Airbnb apartments from last summer that I have copied from the Airbnb website. These are representative of what our guests tell us in person, and they show how independent travelers, who are so important to our economy, view the applicant's business.

Sincerely,



Dale Whitney

Hellenthal Lofts 203 - Downtown Apartment
August 2021

The loft was perfect in many ways. Close to everything down town, we went on 2 tours and the pick up spot was only two blocks away. The loft was modern and super clean and comfortable. The food park across the street was delicious (try the salmon tacos) and we loved that Devils Club Brewery was next door. We highly recommend staying at the loft!!

Chuck, St. Louis, MO
Joined in 2017

Hellenthal Lofts 203 - Downtown Apartment
August 2021

This is a fantastic location for exploring town! Walking distance to tons of restaurants and shopping. Deckhand Daves is right down the street. The loft just as pictured, had everything we needed and was nice and clean. Dale was very easy to communicate with and very helpful for recommendations! Thank You!

Wayne, Glen Gardner, NJ
Joined in 2019

Minutes
Planning Commission
Regular Meeting
CITY AND BOROUGH OF JUNEAU
Michael LeVine, Chairman
January 11, 2022

- I. **LAND ACKNOWLEDGEMENT** read by Chair LeVine
- II. **ROLL CALL**

Michael LeVine, Chairman, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held virtually via Zoom Webinar and telephonically, to order at 7:00 p.m.

Commissioners present: All Commissioners present via video conferencing – Michael LeVine, Chairman; Nathaniel Dye, Vice Chairman; Paul Voelckers, Clerk; Ken Alper; Dan Hickok; Mandy Cole; Josh Winchell; Erik Pedersen

Commissioners absent: Travis Arndt, Deputy Clerk

Staff present: Jill Maclean, CDD Director; Alison Eddins, CDD Planner; Irene Gallion, CDD Planner; Sherry Layne, LAW

Assembly members: Alicia Hughes-Skandijs

- III. **REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA** – Election of Officers added to Other Business

- IV. **APPROVAL OF MINUTES**

- A. Draft Minutes November 23, 2021 Planning Commission Regular Meeting

MOTION: *by Mr. Voelckers to approve the November 23, 2021 Planning Commission Regular Meeting minutes.*

- V. **BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION** – Chair LeVine gave a brief description of the rules for public participation via Zoom format
- VI. **PUBLIC PARTICIPATION ON NON-AGENDA ITEMS** – None

VII. ITEMS FOR RECONSIDERATION – None

VIII. CONSENT AGENDA – None

IX. UNFINISHED BUSINESS – None

X. REGULAR AGENDA

CSP2021 0004: A land exchange between CBJ Land at 11860 Glacier Highway and private property at 11930 Glacier Highway. This will create a new right-of-way to access CBJ land.

Applicant: CBJ Lands Division

Location: 11860 & 11930 Glacier Highway

Staff Recommendation

Staff recommends the Planning Commission adopt the Director's analysis and findings and forward a recommendation of **APPROVAL** to the CBJ Assembly for a negotiated fair market value land exchange with the owner of Kirkevold Lot 1 with the following condition:

Condition 1: Prior to final plat approval, the owner of Kirkevold Lot 1 must be able to demonstrate that the site meets the parking requirement per conditions four and five of SUB2004-08 and that no automobile or recreational vehicles will be parked within the CBJ right-of-way. Alternatively, the owner of Kirkevold Lot 1 may apply to have the conditions of SUB2004-08 amended or apply for a parking waiver.

STAFF PRESENTATION by Planner Eddins

QUESTIONS FOR STAFF

Mr. Alper noted that the applicant is the CBJ, but the landowner (owner) seems to be the one taking on the burden, as they will be giving up parking spaces. Ms. Eddins explained the owner had approached the CBJ previously for this swap. She added they would likely gain a bit more land than what they would be giving up. With the land swap, the owner's plot would then be large enough to qualify to apply for a rezone.

Mr. Winchell noticed the diagrams and photos in the presentation were slightly different with one showing the land CBJ would acquire abutting the proposed owner's property and one showing them offset and asked for clarification. He also wanted to know if this were to be approved, would the owner then need right of way access across the CBJ portion. Ms. Eddins explained the right of way would abut CBJ property and the owner's property would have direct access onto the new CBJ right of way.

Mr. Dye asked if staff felt 60-foot right of way was the correct size and asked whether there had been ADT analysis to determine the amount of traffic that would be affected. Ms. Eddins said they had considered it and decided to go with the maximum right of way as that seemed the safest route and would accommodate any future development of the road.

Mr. Dye asked what elevates an arterial into a minor arterial that would categorize it as a collector. Ms. Eddins said this road would not be an arterial. It may be a collector but would not be an arterial.

QUESTIONS FOR APPLICANT

Dan Bleidorn, CBJ Lands Manager made himself available for questions and explained the landowners are mildly interested in the exchange. The purpose this CSP is to get the authority from the assembly to allow the City manager to evaluate the proposal. That way, when the owner is ready to make the swap, the CBJ will be ready.

Mr. Voelckers asked if there is any short-term plan to develop the right of way so the owner's alternate driveway can be served. Mr. Bleidorn said they do not have any set plans yet as they are still in the planning stage.

Mr. Voelckers followed up and asked if the department had looked into the gradient and topography of the area and confirmed the plot would be beneficial to CBJ. Mr. Bleidorn said the slope is good and the only concern would be with the wetland in the area.

PUBLIC COMMENT

Debbie White – said she is pleased to see this coming forward adding CBJ has a large developable land-locked parcel and this would allow access to that land. She felt this could help mitigate the local housing shortage.

Dave Klein, 12410 Glacier Hwy – spoke against the land exchange saying they need a plan that Auke Bay supports.

Ms. Cole referenced Ms. Eddins' explanation that the land exchange makes additional development possible but any development would be subject to scrutiny and this step is just opening the conversation. Ms. Cole asked Mr. Klein if knowing there will be scrutiny on development affects his thoughts on the project. Mr. Klein felt Auke Bay does not support this plan and believes this will cause confrontation and will not be supported.

ADDITIONAL APPLICANT COMMENTS Mr. Bleidorn thanked the members of the public for their comments and offered to answer any commissioner questions.

Mr. Pedersen said the parcel appears to have other options for access and asked if this is being pursued out of convenience or is this better than the other access options. Mr. Bleidorn explained the lands that appear to be CBJ lands are not managed by the Land Department. He added that the long-term goals will likely call for multiple access points. He said the Lands Department is considering all options and this one is worth pursuing.

MOTION: *by Mr. Voelckers to accept staff's findings, analysis and recommendations and forward a recommendation to approve CSP2021 0004.*

Mr. Voelckers spoke in support of the motion saying this will give the chance for development in the future.

The motion passed with no objection.

AT EASE 7:43 P.M. – 7:50 P.M.

CSP2021 0006:	Disposal of CBJ-owned land to Franklin Foods
Applicant:	Franklin Foods LLC
Location:	139 S. Franklin Street

Staff Recommendation

Staff recommends the Planning Commission adopt the Director's analysis and findings and forward a recommendation of APPROVAL WITH CONDITIONS to the CBJ Assembly for the land disposal of 4,000 square feet (Gunakadeit Park) to Franklin Foods.

~~CONDITION: Amendment of the 2013 Comprehensive Plan Land Use Map M to Traditional Town Center in keeping with the surrounding area. [Removed on Motion]~~

STAFF PRESENTATION by Director MacLean and Planner Gallion

QUESTIONS FOR STAFF – Prior to questions for Staff, Mr. LeVine reminded the commissioners that there is a pending appeal on a similar topic and they were not to discuss that. He then asked Ms. Gallion to clarify the job of the commission at this time. Ms. Gallion explained the task of the commission is to make a recommendation to the Assembly regarding the disposal of the land.

Mr. Dye asked for clarification that only one dwelling unit could be built on the property if this were to pass. Ms. Gallion agreed saying staff interpretation of Code is that only one dwelling unit can be built within the severe hazard zone. She added that there is a small corner of the lot that

is outside of the severe hazard zone. Theoretically, they could build on that small area but it would require a conditional use permit.

Mr. Winchell asked if the parcel is sold, would the new owner be able to exclude the other food trucks and create a monopoly for themselves on that corner. Mr. LeVine explained the property would be sold and the owner would be able to do as they see fit with the land.

Mr. LeVine asked if there was development of multiple dwellings in the square outside of the hazardous zone, would it need to happen prior to consolidation of the lots. Ms. Gallion said it would require a Conditional Use Permit. Ms. Maclean clarified the owner could build to density in the one lot outside of the hazard zone. They could then consolidate all the lots, but would not be permitted under current code to then build on the other lots, as that would increase density within a severe hazard zone.

Ms. Cole asked if she understood correctly that the Lands, Housing and Economic Development Committee (LHEDC) wanted the consolidated lot to be used in a way that is currently not allowed under code but CDD identified disposal as an alternative that would allow the development. Ms. Maclean explained the PC could approve or deny the CSP, and they could recommend housing or some other development in the area.

Mr. Dye asked for clarification that consolidating the lots would be considered subdivision and subdivision is not allowed on any parcel designated Severe Hazard zone but if developed, it could be built to density and then consolidated so long as it does not increase density. Ms. Maclean cited CBJ 49.70.300 (a)(3) and found she and Mr. Dye had interpreted it slightly differently. She offered to look at the interpretation further.

Mr. Winchell asked what is the density for non-residential commercial use in this area. Ms. Maclean explained density applies to dwelling units and so would not apply in his question.

Mr. Voelckers asked if there was an option for engineering a hazard mitigation such as a retaining wall. Ms. Maclean said the developments she is aware of were in hillside areas where the hillside was steep but not necessarily in a mass wasting zone. That is where she is aware of retaining walls being utilized. 49.70.300 (a)(4) and 49.70.300 (a)(5) says a developer can hire a surveyor to determine whether an area is outside of the mass wasting zone and the commission can require mitigating measures. Ms. Gallion added 49.70.300(b)(1) says it cannot increase density.

APPLICANT PRESENTATION - Dan Bleidorn, CBJ Lands Manager, explained this is similar to the previous agenda item

QUESTIONS FOR APPLICANT – Mr. Dye asked for clarification of the LHEDC position regarding housing on the parcel and if the Assembly was aware of the landslide/avalanche issues by the time they made the final recommendation. Mr. Bleidorn explained the first time the assembly heard of this item was at its introduction to the Parks and Rec Advisory Committee (PRAC). The PRAC determined it was not necessary for Parks management to retain the parcel and recommended disposal. Housing was considered but this was prior to CDD involvement and the committees were not aware that the parcel lies in a severe hazard zone. Once it was known, the assembly proposed to work with the owner with the condition that they own the adjacent properties.

Mr. Voelckers asked why this was being offered to a single entity rather than going to a competitive process to dispose of the property. Mr. Bleidorn said that considering the right of way requirements, the only way to consolidate the properties was for this property to be consolidated with the former Gastineau apartments land. They have received no comments from neighbors or anybody else interested in the property. The owner had approached the CBJ before about acquiring the land. At that time, the assembly opted to lease it to them until CBJ had further information and is now reconsidering disposal.

Mr. Voelckers referenced LHEDC testimony and found chair Gladziszewski and assembly member Smith were clear that the sale would be predicated on controlling the other properties for the reason of the right-of-way access. He said it seems that process has flipped now and asked Mr. Bleidorn what had changed. Mr. Bleidorn said having authority to dispose of property is different from disposing that property. By approving the authority to dispose of the properties on condition that the owner acquire all the lots first, the sale will be authorized but will not move forward or complete until the condition has been met.

Mr. Dye asked if it would be useful to put a condition requiring the land ownership prior to disposal. Mr. Bleidorn said it would be up to the commission but it is already a condition of the assembly

PUBLIC COMMENT

David McCasland – said he now owns the adjacent properties and he is available for questions.

Mr. Winchell asked if it is preferable or more beneficial to build one residential unit or to keep it to all commercial development. Mr. McCasland said he envisions the lower area with street

frontage becoming a world-class food truck area and the upper property might be a desirable location for a single dwelling considering the view, but it would be very expensive housing.

COMMISSIONER DISCUSSION

Mr. Dye asked how important the map amendment is for the development to take place. Ms. Maclean said it is not critical but is a housekeeping item that should be cleaned up.

Mr. Dye asked what would the timeline be for making the amendment and would it slow the disposal activity. Ms. Maclean said that is difficult to answer but if the commission recommended it then the amendment and the disposal could happen concurrently. If something happened to hold up the amendment then that could slow the disposal.

Mr. Winchell commented that due to the fact that there would only be allowed a single dwelling and the owner has said it would be cost prohibitive, they should strike the housing requirement in their recommendation to the assembly.

Ms. Cole said she is not comfortable with abandoning the housing guidance considering the assembly and the PC aim is to develop housing.

MOTION: *by Mr. Dye to accept staff's findings, analysis and recommendations and approve CSP2021 0006 striking the condition*

Mr. Dye spoke to his motion saying the owner has moved in good faith to purchase the parcels adjoining the food truck lot and we should support that. He added he does not see a problem with removing the condition because the assembly can take this recommendation and either follow or amend it when it comes to them.

Mr. Voelckers spoke in support of the motion.

Mr. Winchell spoke saying he will not oppose the motion but he is concerned the upper lots will sit fallow for some time.

Mr. Levine asked if the motion relies at all on staff determining the how much housing should be allowed in the development.

Mr. LeVine said the PC acknowledges the challenges to development of housing in this area but they do not take a stand on requiring housing or not at this time.

ROLL CALL VOTE

Yea: Dye, Winchell, Alper, Hickok, Pedersen, Voelckers, Levine

No: Cole

Motion Passed 7-1

USE2021 0023: Modification of Use2021 0002 to allow construction of a 5-foot wide bike path to be delayed until the final condominium building is complete
Applicant: R & S Construction
Location: 3011 Clinton Drive

Staff Recommendation

Staff recommends the Planning Commission adopt the Director's analysis and findings and **APPROVE** the requested Conditional Use Permit Modification. The permit would modify Condition #7 of USE2021 0002 to allow the installation of the 5-foot wide sidewalk to be delayed until prior to the issuance of the ~~final~~ FIRST [added on motion] unit in Building B.

The approval is subject to the following modified condition:

***Condition #7:** Prior to the issuance of a temporary certificate of occupancy for the ~~final~~ FIRST [ADDED ON MOTION] unit in Building B, a 5-foot-wide paved sidewalk must be installed providing safe public access from the Clinton Drive sidewalk to the Mendenhall River walking/bike path, per CBJ 49.35.630. The Homeowners Association agreement must address the ongoing maintenance of the sidewalk including snow removal.*

STAFF PRESENTATION by Planner Eddins

QUESTIONS FOR STAFF

Mr. Dye asked if the maintenance agreement described in the condition was the unsigned document included in the staff report. Ms. Eddins confirmed that agreement would be signed by the owners as they purchase the units.

APPLICANT PRESENTATION – Rob Worden, R&S Construction said they are requesting the change in conditions because putting in the sidewalk now would not be as safe as if they waited until the construction was more complete.

QUESTIONS FOR APPLICANT

Mr. Dye asked at what phase in construction would the paving be done in relation to obtaining the TCO for Building B. Mr. Worden said the paving would be done about a month or so before obtaining a TCO.

Mr. Dye asked if it would still work to change it to require the sidewalk prior to TCO for the first rather than the last unit of building B. Mr. Worden said that would work.

MOTION: *by Mr. Dye to accept staff's findings, analysis and recommendations and approve USE2021 0023 changing the condition from FINAL to FIRST unit of building B.*

The motion passed with no objection.

MOTION: *by Ms. Cole to add election of officers to Other Business*

XI. OTHER BUSINESS –
Election of Officers

MOTION: *by Ms. Cole to elect the current slate of officers to continue in their positions*

The motion passed with no objection.

Mr. LeVine added that it is time for committee and liaison appointments and requested members to send him their preferences

XII. STAFF REPORTS

Ms. Maclean reported the following activities:

- Title 49 met and got through ordinances that will now come before the PC at the January 25 meeting. They can expect to see downtown parking, an amendment to the marijuana establishment striking the 5-year renewal requirement, and an ordinance making the pre-application process optional.
- In February or March, the plan is to present ADOD for downtown Juneau, stream side setbacks and accessory apartment
- CDD is currently in process of hiring a planning manager and interviewing for permit technician
- Alaska State APA conference is coming up and they usually send three commissioners each year. She will inform the PC when she gets the dates for this.

Mr. Voelckers asked about the potential for further January meetings. Ms. Maclean said there is a meeting scheduled for January 25.

XIII. COMMITTEE REPORTS

- Mr. Voelckers reported Mayor's Task Force met. Chamber of Commerce is considering creating a liaison to attend the meetings. The task force is also looking at updating the table of dimensional standards.
- Mr. Dye reported the next Title 49 meeting is not yet scheduled but will be coming up

XIV. LIAISON REPORTS

- Ms. Hughes-Skandijs addressed Mr. Voelckers question regarding hazard and landslide mapping saying it is scheduled for the Committee of the Whole (COW) meeting scheduled for January 24

- Assembly met last night and extended the COVID mandates
- The North Douglas rezone was heard and reviewed by the systemic racism review committee. This is the first ordinance to go through the first step of review. It was recommended for the assembly to review it again.

Mr. Dye asked if there would be any value in the commissioners attending the assembly COW meeting when the rezone is addressed. Ms. Hughes-Skandijs said the assembly is pretty well versed in the issue at this point but having them available to answer questions could be helpful.

XV. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS – None

XVI. PLANNING COMMISSION COMMENTS AND QUESTIONS –

Ms. Maclean said should a commissioner wish to speak at the COW, the entire commission would need to approve the member representing the group.

Mr. Maclean added the return to Chambers has been delayed to at least the end of February due to the current COVID condition.

XVII. EXECUTIVE SESSION – None

XVIII. ADJOURNMENT – 9:18 P.M.

ASSEMBLY STANDING COMMITTEE MINUTES
LANDS HOUSING AND ECONOMIC DEVELOPMENT COMMITTEE
THE CITY AND BOROUGH OF JUNEAU, ALASKA
February 14, 2022, 5:00 P.M.

I. CALL TO ORDER

II. LAND ACKNOWLEDGEMENT

III. ROLL CALL - Chair Hale called the meeting to order at 5:00 pm.

Members Present: Chair Michelle Hale, Greg Smith, Wade Bryson,

Members Absent: Wáahlaal Gíidaak

Liaisons Present: Chris Mertl, Parks and Recreation; Lacey Derr, Docks and Harbors; Mandy Cole, Planning Commission

Staff Present: Dan Bleidorn, Lands Manager; Roxie Duckworth, Lands & Resources Specialist; Jill Maclean, CDD Director

IV. APPROVAL OF AGENDA – The agenda was approved as presented.

V. APPROVAL OF MINUTES – January 24, 2022 Draft Minutes were approved as presented.

VI. PUBLIC PARTICIPATION - No public participation.

VII. AGENDA TOPICS

A. Franklin Foods Request to Purchase City Property at 139 S. Franklin St.

Mr. Bleidorn discussed this topic. Mr. Smith commented that this property is that it is downtown and putting in housing downtown is an important factor in my consideration when I've spoken with Mr. McCasland. I've seen plans that show him putting housing on this, not necessarily on this piece of property, but as part of his overall project. That's one reason that I'm supportive of this.

Mr. Bryson commented that he has had the same concerns as Mr. Smith, in that there is little available buildable land and in the conversation with Mr. McCasland, he has indicated that at some point he was building housing there so that moves towards that project. I was concerned that we might not be charging enough for the land as property assessment values have been going up and this land priced out at \$41.93 a square foot, which is above most of the land that I've seen for sales around \$20 or less. Having the last piece of buildable land in the middle of downtown, he's paying double what you would pay in the Valley, so that does seem appropriate and I can support this.

Mr. Mertl commented that the PRAC did approve the disposal and one of the concerns of the PRAC and the Department, was the disposal of parkland is not necessarily in the best interest of the public, especially when the funds received from those go into the general fund and that money and land is lost for future park use. One thing that they wanted to have me bring up for clarity is that as we're seeing more and more requests for parkland disposal that there is some system that the money or the revenues generated from the disposal of parkland goes into a parkland fund that can be used for taking land and putting it into a new service or new land so that we're actually not losing that land or those facilities that really are in the best interest of the public. Mr. Bleidorn replied that the funds from this land sale would go into the land fund and not the general fund. This way the money can be used to acquire future properties, so if Parks is looking to acquire property, that money would come through the lands fund. This doesn't go to the general fund so I just wanted to make that clear.

Mr. Bryson commented that Mr. Mertl will be pleased to hear at the Public Works and Facility meeting, this morning, we authorized half a million dollars to be move forward to the Assembly for park deferred maintenance. It got its own line item to upgrade and update three parks that were mentioned earlier, Juneau loves its parks, it might not always be as straightforward, but we are taking care of the parks.

Staff request that the Lands, Housing and Economic Development Committee forward this application to the Assembly with a motion of support for disposal of City property to Franklin Foods LLC for fair market value as determined by appraisal. Motion passed, no objections.

B. Ord. 2022-04 An Ordinance Amending the Parking Requirements of the Land Use Code.

Ms. Maclean discussed this topic. The Assembly had asked CDD to look at downtown parking spurring off of the Archipelago development and the variants that they tried to have granted for their development. Staff has been working hard with the Planning Commission and the Title 49 Committee and have a solid ordinance that addresses many of the challenges. If you'll recall, we had a Parking District 1, where required parking was reduced by 60% and just outside of that we had a Parking District 2, where your required parking was reduced by 30%. Incorporating both of those zones was the fee-in-lieu map where, if you couldn't provide the required parking you could pay a fee-in-lieu which would change with the state income, with the index for to gauge what that fee would be year year-to-year. Around this same time, we had proposed in the Assembly adopted parking waivers. If you are outside of those three districts, you can apply for a parking waiver, rather than a variance. It was a much lower threshold to get that waiver, most of the time we've seen the waivers use for accessory apartments, occasionally some other commercial development and they've been hugely successful.

Looking at that, what we had before us, and working with the Commission, what we're proposing and what the Commission is recommending for approval is doing away with PD1, PD2 and the fee-in-lieu maps, creating one new map called the Town Center Parking Area, and within that area, your parking is reduced by 60%, so no more 60 and 30, it's all 60%. Within that same mapped boundary you can still apply for fee-in-lieu but one of the big differences is that prior to this, or currently on the books today, you cannot get a waiver if you're inside those parking districts. What's being proposed within these districts, you get a 60% reduction right off the top, and then you can apply for a waiver if you still believe that you don't need that parking. If you still need even more of a reduction, you can then pay fee-in-lieu and rather than having the fee-in-lieu be a fluid number that is increasing, over time, the Commission had recommended that it just be a straight fee of \$10,000 per space that you were looking to reduce from. Beyond these options, you still have joint parking and shared parking options, as we have currently in code. But you could then still apply for a variance if you thought you had the grounds for it.

While conducting the research and working with law, we started looking at the ADA regulations, those are federal and we have to abide by them. If you require any parking whatsoever, you can reduce all of it, but you can never reduce the ADA that is required to go along with it. Knowing that we went back to the books went back to title 49 and the Commission, and came up with a core area, more or less the real historic district, such as Franklin and Front Street, that area on the map in your packet. This is the area that in order to provide any parking you pretty much have to tear down buildings, which is not the intent that any of us have, to raise the historic district. In this very tight court area where you simply cannot provide any parking on site, where the buildings are basically building-to-building, we're proposing zero parking which means you aren't required to provide the ADA parking. We do have on-street and garage ADA parking and some others throughout downtown, which is why it's quite tight it ends of right before the Marine View building and goes up the hill, but it's intended for the for the buildings and the properties that simply cannot provide any parking at all on their site without taking down the building. The Commission also took time to go through the parking requirements for each use and that table that's in the land use code. They tried to work down and fine tune what those numbers should be to get it as low as possible when the 60% reduction was applied. The other thing of note, the

next item on your agenda, but they go hand in hand, when we were working on the parking code, we also realized that this impacted the on-street vendors and so that's address this evening.

Mr. Bryson commented about the Archipelago lot, he was hoping that the no parking would have been extended down two more blocks, so that the proposed Archipelago project might have a chance if it was included in a no parking area. Mr. Bryson asked if that was that discussed and what was the reason why the line was drawn where was at the Marine View. How much would it mess things up to go two block south and if Director Maclean could elaborate on the no parking area and the Archipelago lot and how they relate to each other. Ms. Maclean replied that the Planning Commission and Title 49 discussed this and it came up a number of different times. In general, not just for the Archipelago lot, but it's whenever we make code or the decisions they're based on, the findings and what's reasonable for all property owners. If you're giving special treatment there should be a strong reason why. When we look at downtown the Commission was quite diligent in looking at the areas where parking on site truly couldn't be provided and that's where the zero parking map was drawn from. It's where those historic buildings are built from property line to property line, and you can't provide ADA on site. There was discussion on the Archipelago lot and Second and Franklin because of those difficulties. Because they can provide some parking on site, if I recall correctly, the Archipelago had about six to nine spaces and because they could easily provide at least the ADA spaces, they were excluded from the zero parking area. The other thing I would add is that we did reach out to the Archipelago developers and we also reached out to Eagle Rock Ventures, they were looking at Second and Franklin and neither attended the public hearing. I believe Eagle Rock's comment was just generally that it should be zero parking for all of downtown and I can't recall that Archipelago gave any specific comments, just to say that they would not be commenting because they did not have development plans at this time.

Mr. Smith asked about page 40 of the packet, that overlays the new town Center parking area, the no parking required area, and then the PD1 and PD2. He wanted to know what the Commission's decision was to not include that square area, essentially, to have now that no parking required area, to go on Ferry Way and then South Franklin and not wrapped around that that corner. The reason for asking is that area used to be PD1, but now it's not included in the no parking required area. Ms. Maclean replied that the PD1, PD2, and the fee-in-lieu that are currently in place are incorporated into the new Town Center parking area. That area has been enlarged in certain places, near Coppa, and heading north. Those are still in the Town Center parking area, they didn't get a 60% reduction right off the top, but again they're not in the zero parking area because their lots aren't completely built from property line to property line so they can provide at least the ADA parking spaces on site and potentially more than that. Mr. Smith commented that it seems kind of incongruous to just have that corner not be included in the no parking required area, based on how the four different type of parking zones are overlaid. It just seems like an outlier and my understanding of that corner, is that it is pretty built out. I guess there's a parking lot behind the old Taqueria building, something I may evaluate as we go forward.

Mr. Bryson asked how many spaces will the new City Hall require under this new parking ordinance, whether it's a built at the 450 Whittier or on top of the parking garage, do we have any numbers for that. Ms. Maclean replied offhand, she does not know how many parking spaces a new City Hall will require, but happy to follow up.

Mr. Smith asked if there was any discussion to have less parking requirements with residential development versus commercial. Ms. Maclean replied that on page 21 or 22 of the packet, the table for parking spaces, there is one column for use, space is required in all other areas, with spaces required in

the Town Center parking area. For instance, for single family duplex if you're anywhere else in the borough, it is two per dwelling unit, but when you're in the Town Center parking area it's one per dwelling unit for a single family home. When it comes to multifamily units it's even more reduced because it's one per bedroom throughout the borough but in the Town Center parking area downtown it would be 0.4 spaces per bedroom. The table illustrates the number of spaces required.

Mr. Smith commented that in the Town Center, would we be willing to reduce the parking based on bedrooms, how that calculation is done. For example, the Second Street lot, if there was consideration or if that was being put into residential, having no parking requirements versus if it were in commercial then having parking requirements. I can understand that the calculation for parking requirements, based on use and some of those factors, I was thinking something for instance of development at that Second and Franklin lot if it might be a residential development, to have very low or no parking requirements. If it were commercial to have some parking requirements to incentivize residential development versus just purely commercial. Just an idea, knowing that we want to encourage housing downtown. Ms. Maclean replied that the Assembly could do that, and when the Commission worked through this, their line of thinking was, what is the minimum, where is the sweet spot that balances between incentivizing development but ensuring that there's enough parking downtown and then also being aware of the impact to the residential neighborhoods up the hill and if you don't provide parking in the Town Center then will people impact the neighborhoods with their parking. I believe the Commission was trying to find that balance of what's enough to require but not too much that it's a detriment to development.

Mr. Mertl agrees that cutting out around Marine View and Ferry Way seems inconsistent in terms of the general layout of the no parking area. Has there been any thought or desired outcomes that have a higher density housing that are outside of the no parking zone. Follow up question, how that affects the housing units along Gastineau Avenue, because that seems somewhat inconsistent and I guess I'm just looking for the rationale and maybe I don't have enough understanding. Ms. Maclean replied that when the Planning Commission looked at parking in general and this downtown parking, zero parking wasn't considered. When we came to the challenge of addressing ADA parking spaces, it became a reality that that we realized, we needed to somehow address the specific area again, where the buildings simply just take up the entire lot, how do we make it possible for them to be redeveloped or reuse if they cannot provide ADA on site. The Commission strived to look at this, and it's a big jump from where we've been to go to zero parking. The intention of the Commission was to keep this as narrow as possible to address the ADA issue, while still being balanced with, why does everyone else have to provide parking. It's coming back to trying to balance the needs and wants of everyone.

Commissioner Cole commented that the idea of no parking zones downtown is scary to a lot of people, and we were absolutely trying to walk this in to introduce the idea to really move forward the kind of commercial and housing potential of the downtown core without blowing up the issue so that everyone felt very uncomfortable. The entire Commission was divided, I happen to be on a no parking side of the fence and also wanted to include Second in Franklin in the no parking area. The rest of the Commission has more experience than I do and was trying to balance the years' worth of parking complaints and woes that exists downtown with some forward progress. The idea that it's not a fully formed progressive agenda, it is the first step toward, maybe thinking a little bit differently about parking downtown.

Chair Hale had a question that was related to Mr. Bryson's comment about the Archipelago lot and didn't realize it was included in the Town Center parking area, is that reduced parking? Ms. Maclean nodded in confirmation.

Mr. Bryson, moved to amend the motion, to move the dotted line that goes up the Ferry Way on the map, to move it down three blocks to include the Archipelago lot, stretching the map out.

Mr. Bryson spoke on his amendment, that he took the Ferry Way dotted line and in stretched it down South Franklin to include the Archipelago lot. While I completely understood Director MacLean's response and I understood the thought process behind the Planning Commission's decision to balance no parking with the fairness of the rest of the community, we have a different situation here. We had a land trade between the City and a private developer. The City got to develop their lot and got to use the Archipelago lot as a staging area. We don't know if there was a cost to that because the next plan was going to be that the Archipelago lot would build and they would use the City's land. We had this trade, it was moving right along until we ran into the Planning Commission and parking the waivers. The parking-in-lieu of, I wanted to say was a \$20 million project, that was completely designed to absorb tourism traffic, it was going to be a way to help deal with some of the higher volumes of tourists and traffic, but because we did not have parking solutions they said no. We have been asking for development and asking to help with the tourism, we have an opportunity here to correct a wrong and by putting that piece of land into a no parking. A no parking required area allows for the trade in its original desire to come forth. They showed an artist's rendition that had the Archipelago lot fully developed with the City parking lot, the 18 passenger shuttle parking lot. The City got to build theirs, and they have no parking requirements, even though they have dozens of people working there each day. So I thought that if we included that as the Assembly would be helping move development forward.

Mr. Mertl commented on the amendment that he believes in the Planning Commission, that they're going to do the best work that they can. I just have heartache when another Commission, as things move up the food chain, starts making spot changes to reflect one or two pieces of property, I fully understand where Mr. Bryson's coming I was involved in the Archipelago design property, I understand the challenges. But then I'm afraid that we're going to get pushed back from other people on the waterfront saying they want the same rights and privileges. I like the cleanliness of drawing lines along road so it's either on the upland side or the water side of Franklin Street. I get a little bit of heartache around Ferry Way and South Franklin not picking up that little corner that's notched out but for me that's just my personal take is that we want to make clean lines and make sure that everybody is being treated equally. I think the Planning Commission the Planning Department know this better than anybody else, and I have faith, but I do understand Mr. Bryson where you're coming from, and I do understand the challenges I'm just afraid of the ripple effect this may potentially have, thank you.

Chair Hale objected to the motion and spoke to her objection. Director Maclean and Commissioner Cole had clear explanations as to why the no parking zone area was arrived at. Originally there was the no parking area, and that area was arrived at, as I understand it, because if there is any parking at that location, it has to be ADA parking. The City provides ADA parking, so there is ADA parking and those buildings, as Director Maclean explained, would have to be torn down in order to provide pieces of them for that one ADA parking space. As I understand it, there is there are avenues, even beyond just the 60% waiver or whatever waiver if someone can demonstrate why they don't need parking. And I agree with Mr. Mertl that keeping it clean and following the logic that the Title 49 Committee, CDD and the Planning Commission used when we work very hard on this parking ordinance.

Amendment to the motion passes with 2:1 vote, Mr. Bryson and Mr. Smith voting in favor and Chair Hale voting against.

Motion passed that the parking recommendations to the full Assembly as amended. No objections.

[Clerk's Note: It was discovered after the fact that it takes 3 votes to pass a motion along. There was an erroneous ruling to pass this motion that went to Assembly meeting on February 28, 2022 and then forwarded to COW for the March 7, 2022 meeting.]

C. Ord. 2022-11 An Ordinance Amending the Street Vending Requirements of Title 62 Regarding Parking.

Ms. Maclean discussed this topic. Staff have been working through the changes to the parking code and with assistance, we realized that it would impact Chapter 62, which we don't often do too much work in, at least not the Planning Division side of Community Development. We do have street vendors that are permissible in the areas that use the PD1 and PD2 maps. Since the PD1 and PD2 will no longer be part of code, then we also need to update Chapter 62 to be consistent. We are recommending that similar to what exists today, there would be no vending carts allowed in on-street parking spaces. Currently they are not allowed in PD2 and we would be changing that to the no parking required area, or the zero parking area. Vending carts can park in parking spaces currently in the PD1 district and we're proposing to change that to the Town Center parking area. Switching it to be consistent and still keeping them permissible, but just in the map boundary area that most closely relates to what's on the books today.

Mr. Smith move ordinance 2022-11 for introduction to the assembly. Motion passed.

VIII. INFORMATION ITEMS

A. Community Development Department information

Ms. Maclean discussed this topic and wanted to take the opportunity to get the memo to the committee and was happy to discuss it at another meeting, if desired. Staff is still working on the other permit numbers that Committee has asked for and will present once completed.

IX. STAFF REPORTS – Household Hazardous Waste Facility Disposal Verbal Update

Mr. Bleidorn gave a quick update. Staff is continuing to work with Alaska Brewing Company, who is the adjacent property owner acquiring this property from the City. The Assembly process was complete and we were scheduled to finalize in 2020 but with Covid the City may have wanted to use that site at times between then and now. We are working with the applicant to acquire it and we expect it to be finished in April. It's moving right along, we need nothing from the Committee or the Assembly at this time, since we already have the ordinance adopted, but just wanted to remind you all that that's taking place and staff are working actively to dispose of that property.

X. COMMITTEE MEMBER/LIAISON COMMENTS AND QUESTIONS - None

XI. NEXT MEETING DATE – March 7, 2022

XII. ADJOURNMENT - Chair Hale adjourned the meeting at 5:48 PM.

Presented by: The Manager
Presented: 02/28/2022
Drafted by: R. Palmer III

ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA

Serial No. 2022-14

An Ordinance Authorizing the Manager to Convey Lot 9, Block 13, Juneau Townsite, Located at 139 South Franklin Street in Downtown Juneau, to Franklin Foods LLC.

WHEREAS, the City and Borough of Juneau (CBJ) owns real property located at 139 South Franklin Street with the legal description of Lot 9, Block 13, Juneau Townsite; and

WHEREAS, David McCasland (“applicant”) currently leases 139 S. Franklin Street from the CBJ and has requested to purchase it from the CBJ; and

WHEREAS, the Parks and Recreation Advisory Committee reviewed this request at the September 7th, 2021, meeting and provided a recommendation in favor of disposal; and

WHEREAS, the Planning Commission reviewed this proposed disposal of the CBJ property at its meeting on January 11, 2022, and recommended that the Assembly direct CBJ staff to proceed with the sale of Lot 9, Block 13, Juneau Townsite; and

WHEREAS, the Assembly reviewed this request on October 25, 2021, and passed a motion of support for the Manager to work with the original proposer towards the disposal of CBJ property through a negotiated sale; and

WHEREAS, the Manager has determined, based on an October 2021 appraisal, the fair market value of the CBJ property to be \$171,000.

THEREFORE BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

Section 1. Classification. This ordinance is a non-code ordinance.

Section 2. Authorization to Convey. The Manager is authorized to negotiate and execute the sale of Lot 9, Block 13, Juneau Townsite, Juneau Recording District, First Judicial District, State of Alaska, constituting 4,078 square feet more or less, as shown on the attached Exhibit A.

Section 3. Purchase Price. The purchase price of the property shall be the fair market value, which has been determined by appraisal to be \$171,000. The Applicant has the opportunity to elect to utilize CBJ financing with a minimum of 10% down, 10% interest for a maximum term of 10 years.

Section 4. Other Terms and Conditions. The Manager may include such other terms and conditions as may be in the public interest and in accordance with CBJ Title 53.

Section 5. Effective Date. This ordinance shall be effective 30 days after its adoption.

Adopted this 14th day of March, 2022.


Marie Gladziszewski, Deputy Mayor

Attest:


Elizabeth J. McEwen, Municipal Clerk



After being uninhabited for years, downtown Juneau's Elks Hall building is being demolished

Yvonne Krumrey, KTOO

The demolition of the former Elks Hall building in Juneau on Nov. 2, 2023. (Katie Anastas/KTOO)

A historic downtown Juneau building that hosted the first Alaska Territorial Legislature is being demolished.

David McCasland, owner of Deckhand Dave's outdoor food court in the adjacent lot, bought the former Elks Hall building this summer. He said Friday that he had hoped for a different outcome.

"Just let them know that I tried. That was my main intention," McCasland said. "The building was totaled, and it wasn't saveable."

McCasland hired NorthWind Architects for the project. Shannon Crossley, an architect with the firm, is also on the city's Historic Resources Advisory Committee. She said the building sat uninhabited for three years.

"The conditions in the building just got worse and worse," she said. "Eventually, it turned from 'How do we save this building?' to 'How do we try to try to maintain the façade in some way?' And then that wasn't feasible anymore. It was just a really sad story."

Crossley said by the time the building changed hands, it was far too expensive to save any piece of it.

McCasland had a personal connection to the building.

"I actually worked in it like 10 years ago," he said. "And I remember being like, 'Man, it'd be so awesome to own this building. This building is so sweet.'"

McCasland had been making offers on the building for years. Crossley said, in that time, the conditions worsened.

"Because they couldn't agree on a price for that building, it just languished," she said.

Erik Emert and Deborah Percy were the previous owners of the building, according to the Alaska Division of Corporations, Business and Professional Licensing. They could not be reached for comment Friday.

The building was built in 1908 and hosted the first Alaska Territorial Legislature in 1913.

"And then the first thing that they voted on was to give women the right to vote," Crossley said.

On the first floor was a Turkish bath and a bowling alley, and the second floor housed a ballroom. The third floor, where the Legislature met for the first time, was removed in the 1940s, and the outside was renovated to the stucco look it had until this week. More recently, it housed the Rockwell restaurant and bar downstairs.

Crossley said Juneau's historic buildings hold the authenticity of the town.

"And when we lose that historic fabric, it's gone forever," she said. "I would love to see more of a community investment in the historic buildings of Juneau."

Crossley says public funding that supports preserving and using historic buildings would help prevent this fate for other historic buildings.

"There are many historic buildings in downtown Juneau that could be used for housing, that could be used for many things, but the property owners might not necessarily have the millions of dollars that it's going to take to bring them back up," she said.

McCasland isn't certain of his plans for the lot. In the past he's [publicly talked about](#) creating housing and restaurant space. He said he's trying to figure out what's possible financially.

Anything he builds would have to meet [the design standards](#) of the Downtown Historic District. Basically, it can't look too distinct from the rest of the street, Crossley said.

That means it can't be higher than 45 feet, and needs to have similar design elements to the buildings around it.

Local News Reporter, KTOO

Juneau is built on hidden and assumed layers of power and access, influencing how we interact with identity, with the law and with each other. I bring you stories of the gaps in access to power, and those who are working to close those gaps.



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Attachment I - KTOO Report, November 3, 2023.



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

Deckhand Dave's Epic Food Court

Case Number: PAC2022 0039
 Applicant: NorthWind Architects, LLC
 Property Owner: Franklin Foods, LLC

Lot	Parcel	Address	Size
1A	1C070A130011	127 S Franklin St.	2,796.8 sf
2A	1C070A130011	127 S Franklin St.	3,767.6 sf
3	1C070A130011	127 S Franklin St.	~4,637 sf (scaled, Parcel Viewer)
4	1C070A130011	127 S Franklin St.	~4,735 sf (scaled, Parcel Viewer)
9	1C070A130012	139 S Franklin St.	4,077.9 sf
Elks	1C070A130030	109, 117 Franklin St.	11,048 sf
TOTAL: 31,062 square feet			
TOTAL without Elks Hall: 20,014 square feet			
TOTAL without Lot 4 and without Elks Hall: 15,279 square feet			

Zoning: Mixed Use
 Existing Land Use: Vacant/Seasonal Food Service

Conference Date: August 31, 2022
 Report Issued: October 14, 2022

DISCLAIMER: Pre-application conferences are conducted for purposes of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application, and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
James Bibb, NorthWind Architects Shannon Crossley, NorthWind Architects	Applicant Representative	James@northwindarch.com Shannon@northwindarch.com
Dave McCasland, "Deckhand Dave"	Applicant	DavidMcCasland907@gmail.com
Irene Gallion David Peterson	Planning	Irene.Gallion@juneau.org David.Peterson@juneau.org
Sydney Hawkins	Permit Tech	Sydney.Hawkins@juneau.org
Guy Gleason	Building	Guy.Gleason@juneau.org
Dan Jager, CCFR	Fire Marshall	Dan.Jager@juneau.org

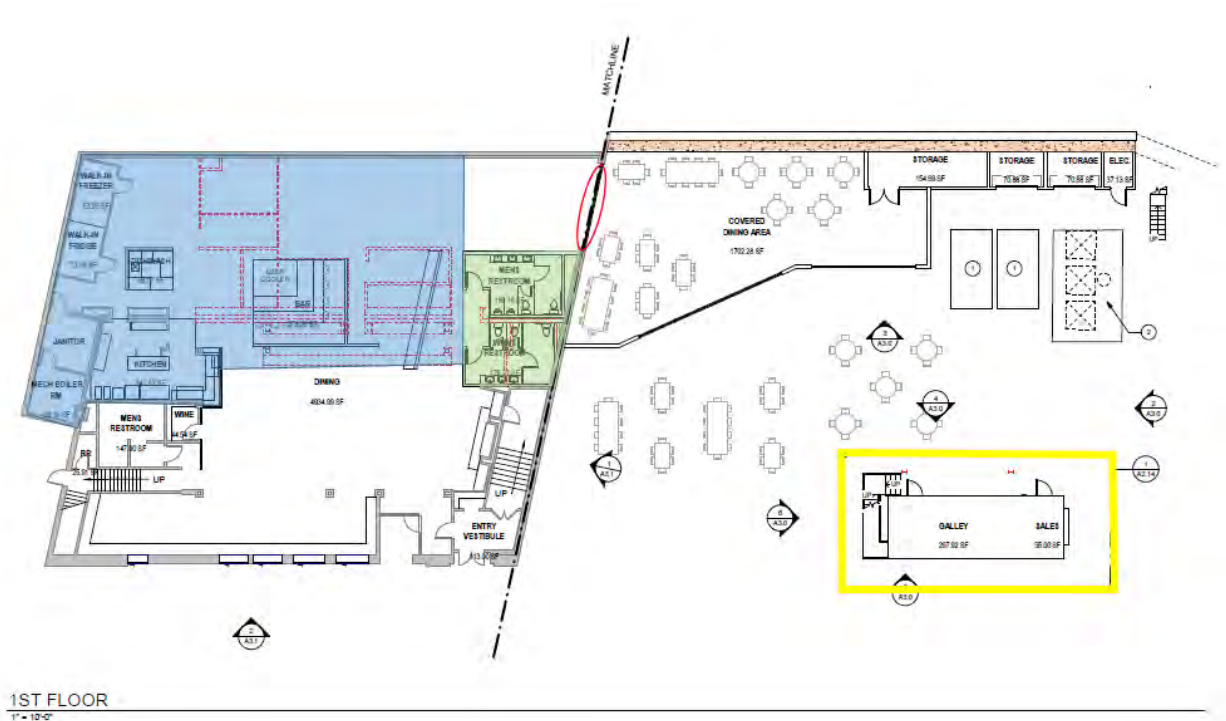
Conference Summary

Project Overview

Applicant proposes a multi-story indoor/outdoor pavilion that would provide seating for food trucks, and possibly for operations out of the restaurant to the northwest (old Elk's Hall). The Applicant's site plan and draft plan set are attached to this report.

The Applicant would like to approach phased development of the area.

The first phase would be completed in advance of next year's tourist season. The first phase would be construction of a permanent "galley," (in yellow, below) and the retaining wall structures that will support further development (in orange, below). The first phase may include modifications to and utilization of the neighboring Elks Hall, including establishing kitchen facilities behind the existing bar (blue, approximate) and restrooms (green). A roll-up door (red oval) is proposed to the kitchen area, which would be for food pick-up (no seating). Food truck parking would be provided to the north of the galley, up to six vehicles.



The second phase of development would include the proposed patio structures, and substantive renovations to the Elks Hall that would support business between the Hall and the patio. For Phase 2, lot consolidation would be required.

The applicant owns Lot 1A, 2A, 3, 4 and 9. The Applicant is in negotiations to purchase the lot to the northwest (old Elk's Hall).



In general, the steps would be:

Phase 1

- Apply for a conditional use permit. This is required because of development in a hazard zone.
 - HRAC review is part of the CUP
- Modify the plan per Planning Commission feedback, and get a Building Permit.

Phase 2

- Consolidate lots that will see development.
- Apply for a new or modified Conditional Use Permit (CUP) for the development.
 - The HRAC review will be a part of the CUP review
- Modify plans per Planning Commission feedback, and get a Building Permit.

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

How does the Historic Resources Advisory Committee (HRAC) process work?

An HRAC review will be part of the Conditional Use Permit (CUP) process. If significant changes are made between the CUP and the Building Permit, the plans may require an additional review. If the architect anticipates significant changes between these two actions, contact CDD to discuss.

The HRAC does not approve or deny. The HRAC makes recommendations to the Director or Planning Commission as appropriate, who consider the HRAC expertise in their decisions.

The Applicant should be aware of the standards of Title 4, which provides the standards the HRAC will use during evaluation.

What documentation is needed for the first phase of design? (CUP Application)

For the first phase as provided, there are no structures proposed to cross property lines. The first phase could occur without lot consolidation. In addition to application forms, the applicant should provide:

- Site plan
- Floor plans, draft, with explanations of how the buildings will be used (restaurant, storage, etc.)
- Elevations, draft
- Detailed narrative including hours of operation, and any operational controls that may impact design approval (such as management of patrons with alcohol).

The documentation will depend on if you want the proposal approved all at once, or in multiple CUPs.

To approve Phase 1 first, the Applicant should anticipate pursuing a CUP, then amending that CUP when more accurate Phase 2 information is developed. Phase 2 information could be 35% design, but needs to be enough for the Commission to understand the impacts of the development as a whole. Of note, the CUP amendment process is substantially similar to the regular CUP process.

To approve it all at once, Phase 2 documentation would need to be a well-developed proposal (approximately 65% design) and should include flexibilities required for development. Flexibilities might include alternate locations for office space, or how much floor space is used to accommodate customer seating.

The Commission understands that Phase 2 documents are conceptual, but they need enough information to understand the scale of use as a whole, and overall impacts to the community.

Changes to how space is used may compel an amendment to the CUP. As an example, if the amount of office space is increased. Of note, the narrative or documents can provide a reasonable range.

If the Applicant is able to purchase the Elks Lodge, with parking requirements be increased?

No. In part due to the testimony of the Applicant himself, a No Parking Required Area (NPRA) has been established that largely corresponds to the Downtown Historic District. See the attached map.

Can the fire hydrant be moved, possibly to over by the clock?

It is possible. Moving the fire hydrant would be at the Applicant's expense, as CBJ does not have a functional reason to move it.

The lots do not currently have water and sewer connections. Will CBJ provide those?

Under current code, it is a Developer expense to provide connections to city water and sewer. The Elks Hall has water and sewer connection, and the current location of the food truck park has access through Rawn Way.

Rawn Way utilities are inadequate.

The Developer may upgrade utilities, at their cost, with appropriate permitting from CBJ.

The City Manager had said there were funding sources to help with utility improvements.

The Chief Capital Improvement Project Engineer is unaware of such funding sources. Please provide him with written direction from the City Manager.

What are the odds of opening the top part of First Street? The one-way access toward Franklin Street makes access to the parking lot behind the Elks Hall difficult for food trucks. Access through YC Juneau Hotel property (Baranoff) is currently the only access to the Elks Hall parking.

First Street currently is blocked to vehicle access off of Gold Street. While CBJ does not have plans to open the access, the Applicant could improve the access to road standards with appropriate permitting, at their expense.

Note that staff did not find a documented access easement across Baranof property.

First Street has historically been a one-lane two-way alley. A request will be sent to Streets to facilitate removal of the “No Entry” sign currently at the bottom of First Street.



The Elks Lodge #1 problem is water draining from First Street along the northwest and northeast foundations. Additionally, there is a mechanical room located under First Street. The solution is to dig out the foundation, repair it, and put a waterproof coating around it. Could the Developer dig up First Street to make these repairs?

With appropriate permitting, the Developer could dig up First Street to the degree needed to address on-site problems. The Developer would do this work at their own expense, and need to accommodate other First Street users during construction, and return the roadway to CBJ standards.

If the Galley is entirely on Lot 9, would Phase 1 require lot consolidation? Would we able to keep multiple utility services?

Lot consolidation is required if structures cross lot lines. Each lot can have a water and sewer hook-up with its own meter. Subsequent consolidation would require decommissioning of redundant hook-ups.

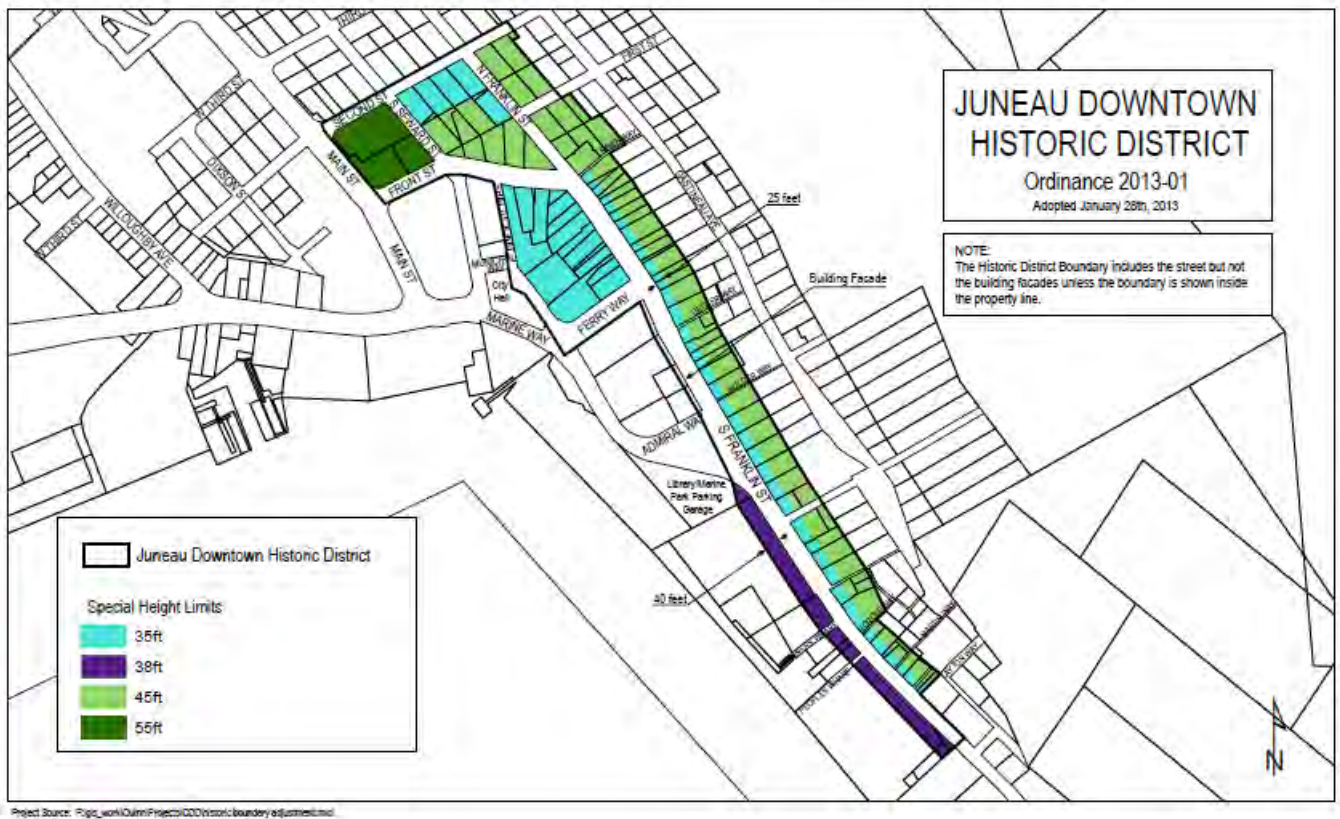
Planning Division

- 1. **Zoning** – The development is located in the Mixed Use (MU) zoning district.

The development will require a CUP because it is in a severe hazard area (see #12, below).

Lot 1A and 9 meet the lot width requirement, with their frontages along South Franklin Street. Lot 2A frontage is along Rawn Way to the east, and is 25.77 feet wide. Lot consolidation will address this nonconformity. If Lot 2a is ever developed independently it will need a Nonconforming Certification for the lot.

The lots are in the Downtown Historic District, with a special height limit of 45 feet. Draft plans (attached) show roof height of the proposed structure at 28 feet.



A historic review is required, and conducted by the Department for minor development and the Commission for major development. In both cases the recommendation of the Historic Resources Advisory Committee is sought. In the case of new construction, preserve harmony of scale, architectural style, sidewalk level use and materials of the existing locale [CBJ 49.70.530(a)(2)]. In their CUP

Application, the Applicant should include renderings and construction details that provide enough detail for this review. Reviewers may ask for more information if needed.

2. **Subdivision** – In CBJ code, a lot consolidation is considered a minor subdivision, and will not require a hearing at the Planning Commission. Though in a severe hazard zone, a lot consolidation is considered a boundary line relocation, so can be done under the Minor Subdivision process [CBJ 49.70.300(a)(3)]. This process will require:
 - a. A pre-application conference (this one will meet that requirement).
 - b. Submission of a preliminary plat for review, and a final plat.
 - c. Staff suggests that, as long as you have a surveyor out there, it may be cost effective to survey all interests, so subsequent land actions require only drafting. Note that fall is a good time for surveyors, as summer work is slowing down, and foliage has thinned out in anticipation of winter.
 - d. If the food court structurally connects to the old Elks Hall, the Elks Hall lots should be included in the consolidation.
3. **Setbacks** – The MU district has no lot line setbacks.
4. **Height** – The MU district has no height restriction. Historic standards include a 45 foot height restriction.
5. **Access** – Proposed access is along South Franklin Street.
6. **Parking & Circulation**– The development is in the No Parking Required Area (NPRA).
7. **Lot Coverage** – There is no maximum lot coverage in the MU zoning district.
8. **Vegetative Coverage** – There is no vegetative cover requirement in the MU zoning district.
9. **Lighting** – Lighting standards are included in the Downtown Historic District Design Standards and Guidelines.
10. **Noise** – This development is not anticipated to create noise in excess of that anticipated in an MU zoning district.
11. **Flood** – The development is not in a Special Flood Hazard Area (Map 02110C 1567E).
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** –

Because the development is partially in a severe hazard area, the development will require a CUP [CBJ 49.70.300(a)(3)]. The Commission may require engineered mitigating measures, such as dissipating structures or dams [CBJ 49.70.300(a)(5)].

Under current code, all Lots 9, 2A, 3 and 4 fall within a Severe Landslide and Avalanche Area (heavy line). Lot 1A is in a Moderate Landslide and Avalanche Area (dashed line).



Currently-adopted maps combine landslide and avalanche hazards.

No lot in a severe avalanche area can increase density on that lot. Each existing lot could have one single-family structure [CBJ 49.70.300(b)(1)]. In order for each current lot to preserve a dwelling unit (for a total of five), those dwelling units would have to be constructed. Subsequent lot consolidation would not be permitted under this scenario, because lot density would be increased through dissolving lot lines, contrary to code.

Current hazard code provides that the Applicant can increase density for a lot in a severe hazard area by [CBJ 49.70.300(a)(4&5)]:

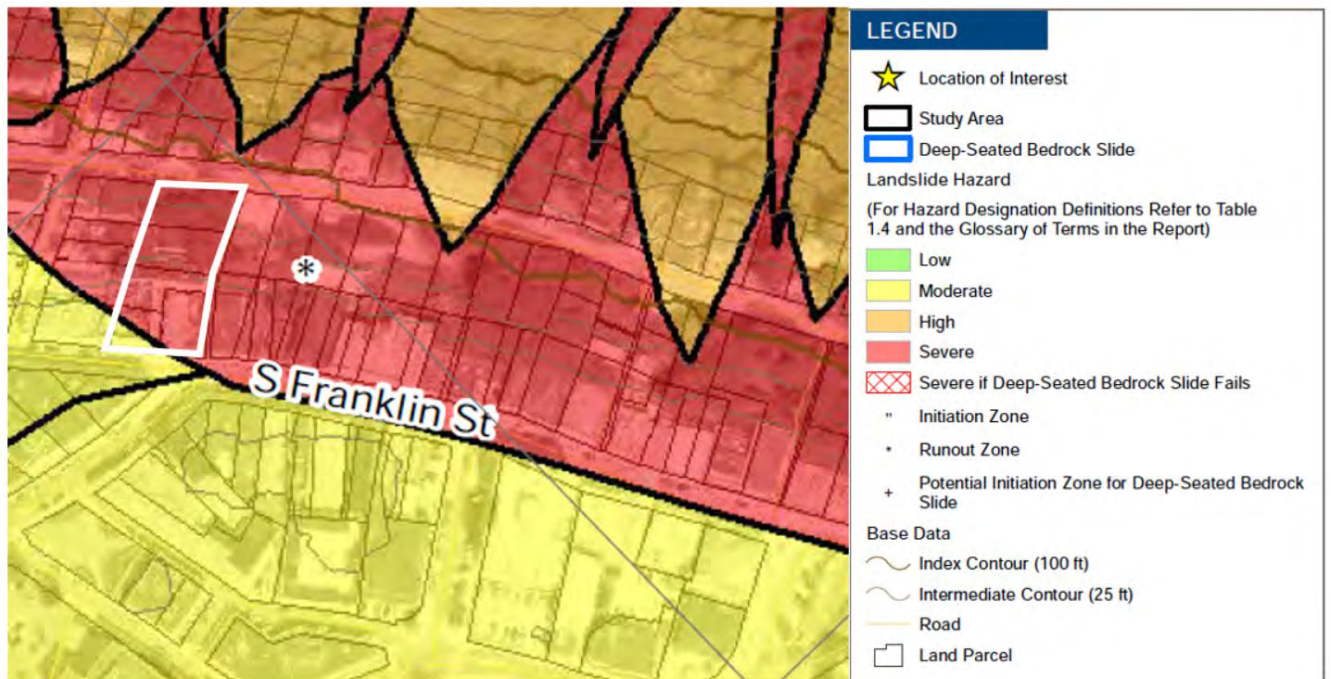
- A study, conducted by an appropriately qualified Professional Engineer with Alaska credentials, showing the lot is outside of a severe hazard area.
- Structural elements engineered for mitigation.

While Gastineau Apartments had 61 units, the structure has been demolished and abandoned nonconforming rights [CBJ 49.30.220(b)(1)]. Under current code, 61 units cannot be rebuilt on the site of the former Gastineau Apartments.

The draft avalanche hazards maps developed under project AME 2021 0008, which are not yet adopted, show the lots outside of the avalanche area.



Of note, the lots remain in a severe landslide zone.



Current code does not explicitly restrict development in a severe landslide zone. However, code was drafted after combined maps were adopted. One possible interpretation is that previous bodies intended that severe landslide hazards have the same restrictions as severe avalanche hazards.

A hillside endorsement is required for development on slopes exceeding 18 percent. Lot 9 is less than 18 percent slope. Lots 3 & 4 exceed 18 percent slope.

13. **Wetlands** – Wetlands are not anticipated on this lot.

- 14. **Habitat** –Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
- 15. **Plat Restrictions** – Subject to easements and restrictions of record.
- 16. **Traffic** – A traffic study will be required. Estimated square footage is:

Floor	Elks Hall	Food Court
1st	7637	2549
2nd	7637	5444
3rd	1018	4,871
TOTAL	16,292	12,864

The Institute of Traffic Engineers Trip Generation Manual (9th Edition) estimates a fast food restaurant without a drive-through window will generate 43.87 Average Annual Daily Traffic (AADT) per gross thousand feet, for 564 AADT possibly generated by the food court development.

Phase 1 development would include first floor development, and approximately half of the Elks Hall first floor, for approximately 279 AADT.

- 17. **Nonconforming situations** – Lot 2A is currently nonconforming for lot width. If the lot is developed separately, it will need a nonconforming certification.

Building Division

18. **Building** –

- a. If the area is just used for the kitchen and restrooms, secondary access is not anticipated to be required (Limit 49 people).
- b. Structures at the property line will require three hour fire separation. This will be a consideration with the idea of a roll-up door.

19. **Outstanding Permits** –

- a. BLD20220248 – “Placement of Crepe Escape for 2022 season” (will not affect proposed project)

General Engineering/Public Works

20. **Engineering and Streets Departments**–

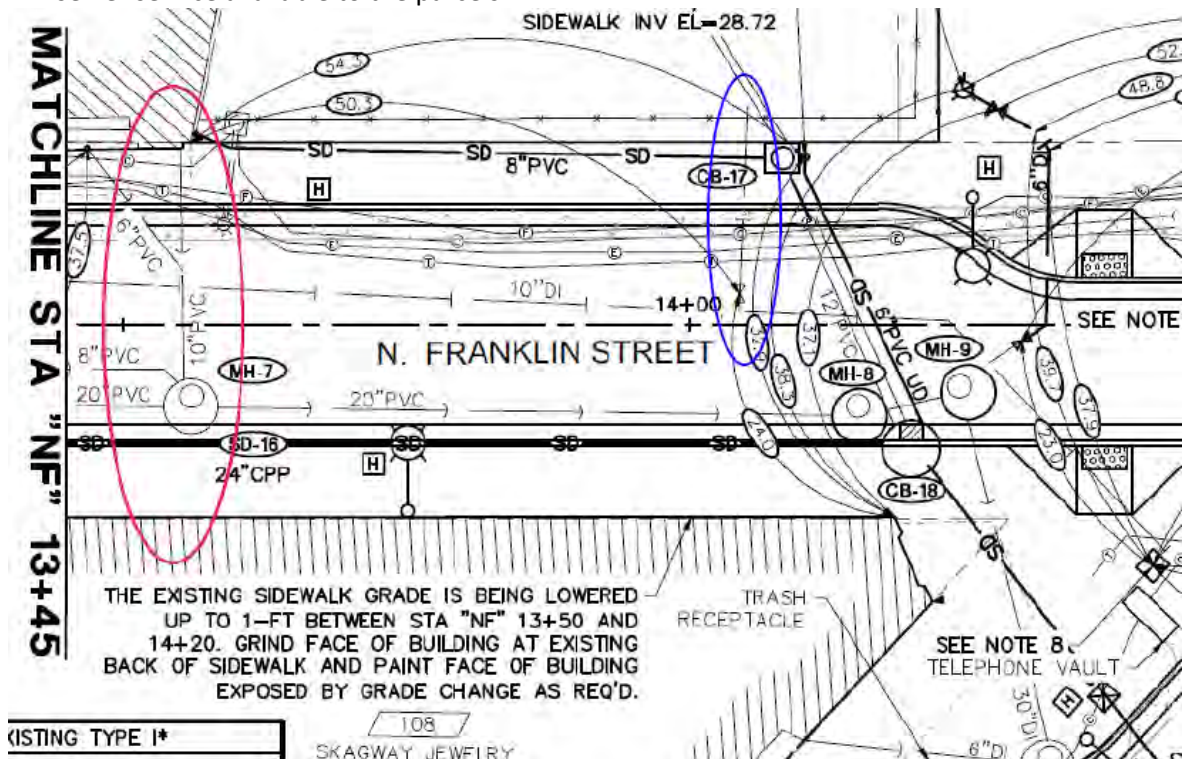
- a. Identify dedicated space for appropriately sized single dumpster to collect trash (or fully enclosed bear proof can enclosure) – current plastic garbage carts are public nuisance – bears get into them, they are not bear proof, tenants are not closing properly, overloading etc... Causes significant hardship for Streets Maintenance crews to clean up after the current food court tenants.
- b. Plans will be required to show location of on-site bear-proof dumpster. The dumpster cannot block access to pedestrian accommodations, including walkways and stairways. At least five feet of pedestrian walkway must be maintained.

- c. Curb cuts / driveway permit – Are food trucks meant to be permanent for the season and removed, or moving on a daily / rotational basis? If daily or rotational basis, a commercial sized curb cut (28-32') would be required to be constructed to prevent damaging curb and sidewalk and for public safety.

21. **Drainage** – A drainage plan will be a required element of a land use or construction plan.

22. **Utilities** –

- a. Water service is required to be metered prior to any branches to individual users, CBJ will provide and read one meter only under a utility permit. Subsequent metering may be done at applicant's expense through sub-meters. Note that an underground meter vault is not acceptable due to OSHA confined space entry issues for CBJ staff, a meter hut or placing a meter inside a permitted building would be required. If development crosses property lines, then design for and request only one metered water service, as more would be complicated for CBJ Engineering/Public Works staff.
- b. Sewer service must be protected with a single grease trap for the development, with the property owner providing a written service and maintenance plan. CBJ cannot enforce each individual user to provide a grease trap due to limitations in the nature of temporary structures. CBJ will essentially treat the food court as a single restaurant requiring a single grease trap/separator prior to site discharge. CBJ has already had problems with vendors dumping grease and other unknown contaminants into nearby drainage.
- c. In addition to the utilities already connected to on Rawn Way, there is a water service and 10" sewer service available to the parcels.



Fire Marshal

23. Fire Items/Access –

- a. When using the back lower half of the Elks Hall, the sale or storage of alcohol mandates an alarm and sprinkler system. If alcohol is kept outside of the facility, and there is no frying occurring in the Elks Hall, the sprinkler and alarm system are not required.
- b. When the Elks Hall is supplemented by the proposed food court, both structures would have to share a fire suppression system.

Other Applicable Agency Review

24. USF&W – 907-780-1163

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application: NOTE: Required with all application types
2. Minor Lot Consolidation Application: NOTE: Have the GIS analyst provide the new lot description. That can be requested through the Planner on Call.
3. Subdivision Application
4. Subdivision Checklist for Preliminary Plat
5. Conditional Use Permit Application

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Renderings and construction details adequate for the Historic Resources Advisory Committee review.
3. Plans will be required to show location of on-site bear-proof dumpster. The dumpster cannot block access to pedestrian accommodations, including walkways and stairways. At least five feet of pedestrian walkway must be maintained.
4. Construction plans must indicate a grease trap prior to discharge into the city sewer system.

Exceptions to Submittal Requirements

Submittal requirements staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Lot Consolidation: Assuming three lots consolidated, \$185: \$110, plus \$25 for each lot changed.

2. Conditional Use Permit: \$400

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.org

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

49.15.330 – Conditional Use Permit
49.70.300 – Landslide and Avalanche Areas
Memo for pre-app
Food Court Areas 8.25.2022
Food Court Elevations 8.25.2022
Food Court Site Plan 7.6.2022
NPRA Map
Development Permit Application
Minor Lot Consolidation Application
Subdivision Application
Subdivision Checklist for Preliminary Plat
Conditional Use Permit Application

Edward Quinto

From: Shannon Crossley <shannon@northwindarch.com>
Sent: Wednesday, August 17, 2022 11:26 AM
To: Edward Quinto; Permits
Cc: James Bibb
Subject: RE: Pre-app for 139 S Franklin Street

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

The notes hadn't been updated yet on the drawings from another project, but we'll take those out that don't pertain to the food court for clarity. We'll also update the graphic and send it along shortly.

The client is still working out the details on the seasonal/year round question and how many food trucks there will be on the site, so for now the answers are:

- Parts of the food court will be open year round, parts will be seasonal, depending on many factors such as leases from other businesses and the impending possible purchase of the Elks Hall.
- The number of food trucks hasn't been decided upon quite yet, but the client is planning on 6-8 total.
- We can put in general lot lines based off parcel viewer. All of the lots are mixed use without setbacks. Some of the lots will be consolidated and some of them may not, depending on the hazard zone delineation and whether or not the client wants to develop all of the parcels of land he has purchased at this time or if he wants to hold back on the lot closest to Gastineau Ave.

Shannon Crossley (she/her)
NorthWind Architects, LLC

126 Seward Street
Juneau, AK 99801

p.907.586.6150 (x208)
f.907.586.6181

www.northwindarch.com
www.facebook.com/northwindarchitects

*NorthWind Architects acknowledges the Southeast Alaska Native nations upon whose traditional lands we live and work.
Our homes and office are located on the traditional lands of the Lingit Aani (Tlingit) people.
I kaax gunalchéesh yéi ax toowú yatee. I am thankful for you.*

From: [Edward Quinto](#)
Sent: Wednesday, August 17, 2022 10:23 AM
To: [Shannon Crossley](#); [Permits](#)
Cc: [James Bibb](#)
Subject: RE: Pre-app for 139 S Franklin Street

Shannon, the site plan needs to include the legal lot lines, for setback verification. We'll need to look at the actual lot lines, not the lease lines. Also, how many food trucks will be on site and where? I tried checking the notes on the plans, but they appear to be for another project. Will the operation be seasonal or year round?

Also, as an FYI the planners wanted me to give you a heads up that a hillside endorsement may be needed, but that can be discussed at the meeting.

Eddie Quinto | Permit Specialist

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

General questions/payments: 907.586.0770

Office: 907.586.0770 Ext. 4123

Effective May 3rd, our phone system is changing. You will no longer be able to reach me directly at 586-0928. Instead please contact the Permit Center at 586-0770, then if you wish to reach me specifically dial extension # 4123.

From: Shannon Crossley <shannon@northwindarch.com>
Sent: Wednesday, August 17, 2022 9:10 AM
To: Edward Quinto <Edward.Quinto@juneau.org>; Permits <Permits@juneau.org>
Cc: James Bibb <james@northwindarch.com>
Subject: RE: Pre-app for 139 S Franklin Street

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Eddie,

Here are the site plan and floorplans for the pre-app. I hope you received the narrative I sent yesterday and it is sufficient, are there any additional questions you have?

Shannon

Shannon Crossley (she/her)
NorthWind Architects, LLC

126 Seward Street
Juneau, AK 99801

p.907.586.6150 (x208)
f.907.586.6181

www.northwindarch.com

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Our homes and office are located on the traditional lands of the Lingit Aani (Tlingit) people.
I kaax gunalchéesh yéi ax toowú yatee. I am thankful for you.*

From: [Edward Quinto](#)
Sent: Tuesday, August 16, 2022 10:16 AM
To: [Shannon Crossley](#); [Permits](#)
Cc: [James Bibb](#)
Subject: RE: Pre-app for 139 S Franklin Street

Shannon, I'll need the usual narrative describing operations and a site plan/floor plan showing occupied areas, and outdoor uses before I can begin work on scheduling.

Eddie Quinto | Permit Specialist

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

General questions/payments: 907.586.0770

Office: 907.586.0770 Ext. 4123

Effective May 3rd, our phone system is changing. You will no longer be able to reach me directly at 586-0928. Instead please contact the Permit Center at 586-0770, then if you wish to reach me specifically dial extension # 4123.

From: Shannon Crossley <shannon@northwindarch.com>

Sent: Monday, August 15, 2022 4:36 PM

To: Permits <Permits@juneau.org>; Edward Quinto <Edward.Quinto@juneau.org>

Cc: James Bibb <james@northwindarch.com>

Subject: Pre-app for 139 S Franklin Street

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Good afternoon!

We are hoping to secure a pre-app conference as soon as possible to discuss a new development at 139 S Franklin Street, regarding documentation needed for the first phase of design, the review process with HRAC, and any planning we should touch base on before moving forward with design. Our client wants to build a multi-story indoor/outdoor pavilion that would act as seating for the various food trucks and his restaurant operated out of the Elks Hall.

Thank you!

Shannon

Shannon Crossley (she/her)

NorthWind Architects, LLC

126 Seward Street

Juneau, AK 99801

p.907.586.6150 (x208)

f.907.586.6181

www.northwindarch.com

www.facebook.com/northwindarchitects

NorthWind Architects acknowledges the Southeast Alaska Native nations upon whose traditional lands we live and work.

Our homes and office are located on the traditional lands of the Lingít Aani (Tlingít) people.

I kaax gunalchéesh yéi ax toowú yatee. I am thankful for you.

LEVEL 1 AREAS

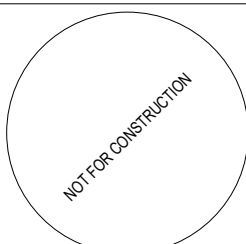
ELKS LODGE
TOTAL GROSS AREA
= 7637.38 SF

COVERED DINING ADDITION
TOTAL GROSS AREA
= 2146.13 SF

COOKHOUSE
TOTAL GROSS AREA
= 403 SF

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS. WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
2. DO NOT SCALE OFF OF DRAWINGS.
3. DIMENSIONS ARE TO GRIDLINE, FACE OR CENTER OF FRAMING UNO.
4. STRUCTURAL ELEMENTS SHOWN IN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.
5. ALL PARTITIONS ARE TYPE P1-4, UNO.
6. WHERE DOOR OPENINGS ARE NOT DIMENSIONED, LOCATE DOOR OPENINGS TO ENSURE 3" MIN JAMB FRAMING.
7. DIMENSIONS LOCATING OPENINGS ARE TO CENTERLINE OF OPENING, UNO.
8. SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN HERE.
9. THE MAJORITY OF ALL FFE ITEMS ARE OFOI AND ARE NOT IN CONTRACT, HOWEVER LIMITED ITEMS ARE SHOWN IN DRAWINGS FOR COORDINATION PURPOSES. SEE FFE SHEETS FOR GENERAL FFE INFORMATION AND FFE SHEETS AND PROJECT MANUAL FOR CFCI FFE INFORMATION.



02/15/2020



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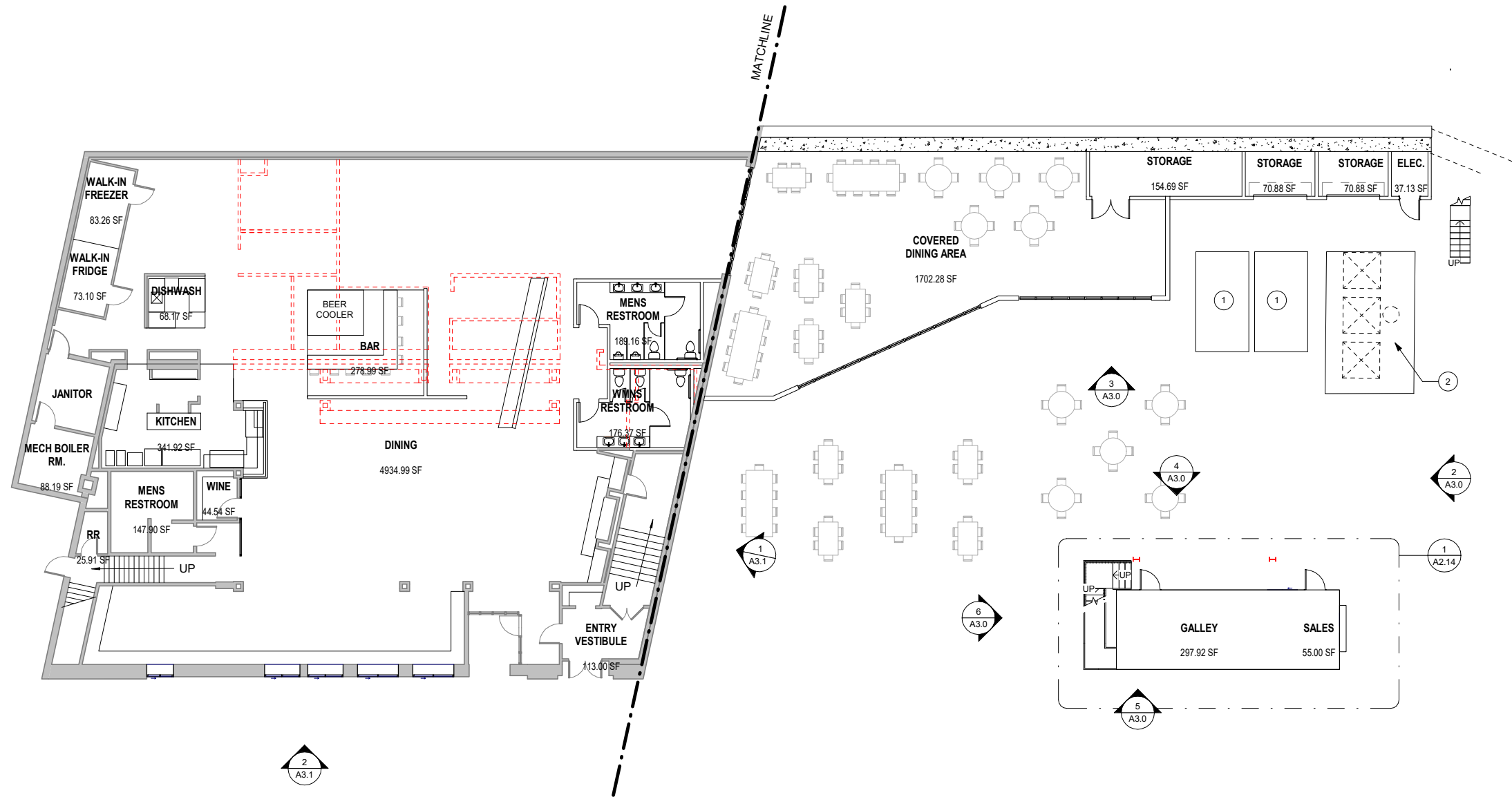
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.

SHEET NOTES:

1. FOOD TRUCK LOCATION
2. EXISTING UTILITIES LOCATION

LEGEND:

- STRUCTURAL FRAMING - SEE STRUCT
- (E) WALL / PARTITION TO REMAIN
- - - - POTENTIAL DEMO OVERLAY



1 1ST FLOOR
1" = 10'-0"

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DECKHAND FOODCOURT

CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
FLOOR PLAN - FIRST FLOOR

CHECKED _____ Approver
DRAWN _____ Author

issue date description

SHEET # **A2.0**

ISSUE DATE 08.25.2022

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS. WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
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SHEET NOTES:

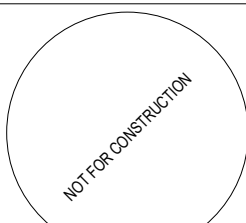
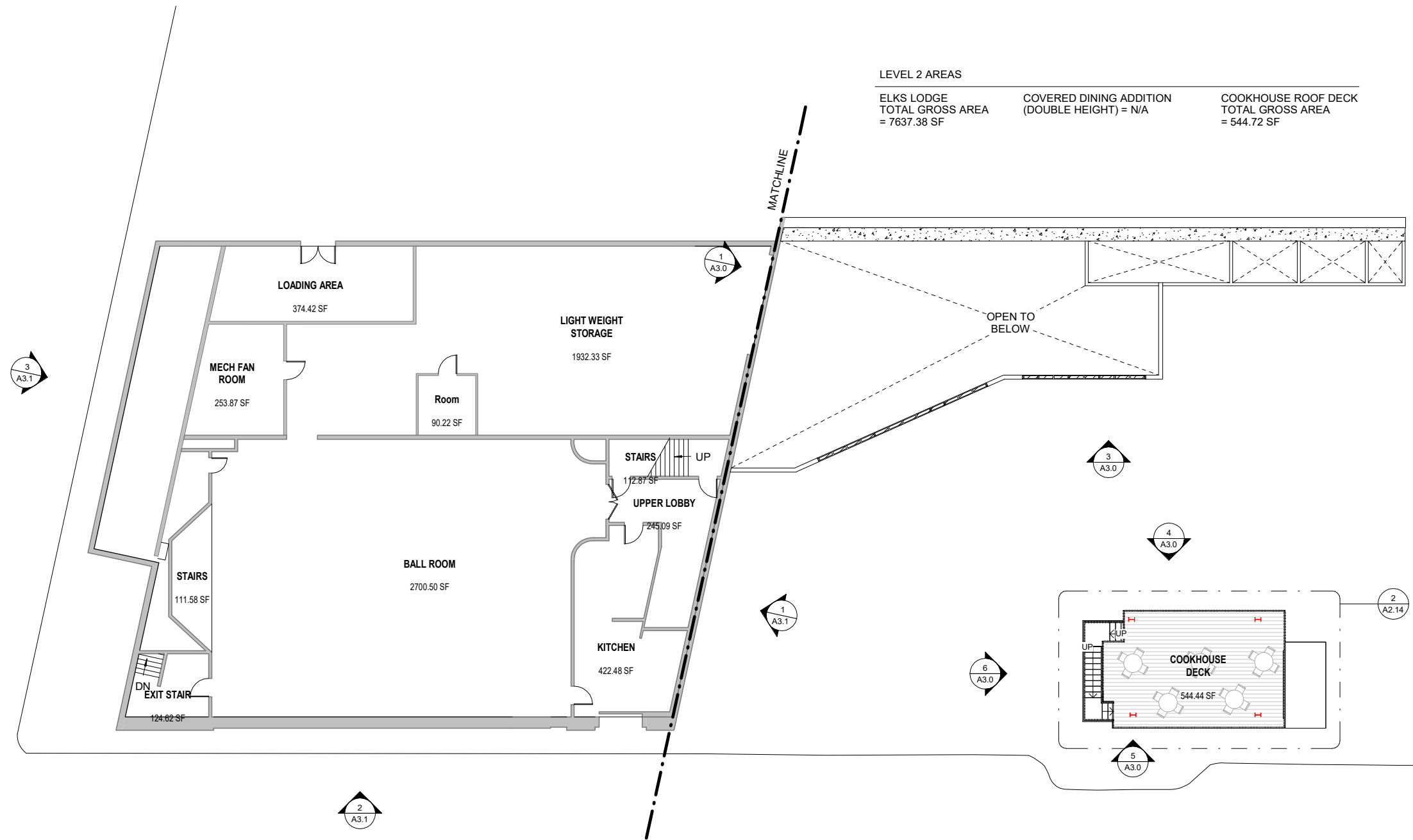
1. FOOD TRUCK LOCATION
2. EXISTING UTILITIES LOCATION

LEGEND:

- STRUCTURAL FRAMING - SEE STRUCT
- (E) WALL / PARTITION TO REMAIN
- POTENTIAL DEMO OVERLAY

LEVEL 2 AREAS

ELKS LODGE TOTAL GROSS AREA = 7637.38 SF	COVERED DINING ADDITION (DOUBLE HEIGHT) = N/A	COOKHOUSE ROOF DECK TOTAL GROSS AREA = 544.72 SF
--	--	--



02/15/2020



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DECKHAND FOODCOURT

CLIENT AND ADDRESS
JUNEAU, ALASKA

1 2ND FLOOR
1" = 10'-0"

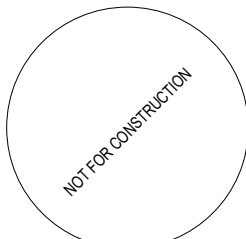


SHEET TITLE:
FLOOR PLAN - SECOND FLOOR

CHECKED	Approver
DRAWN	Author
issue	date description

SHEET # **A2.3**

ISSUE DATE 08.25.2022



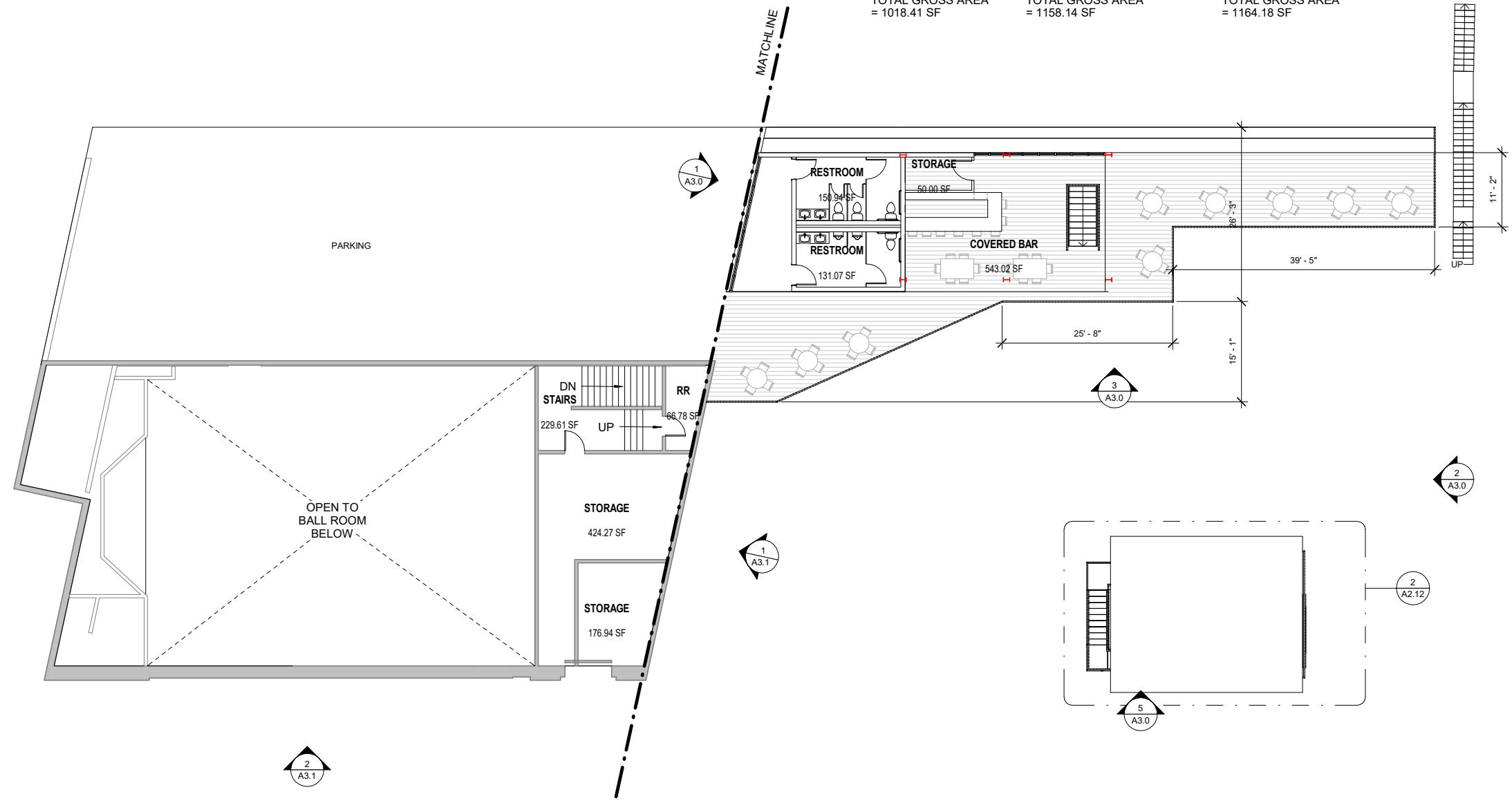
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LEVEL 3 AREAS		
ELKS LODGE TOTAL GROSS AREA = 1018.41 SF	COVERED DINING ADDITION TOTAL GROSS AREA = 1158.14 SF	OUTDOOR DINING DECK ADDITION TOTAL GROSS AREA = 1164.18 SF



GENERAL NOTES:

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SHEET NOTES:

- FOOD TRUCK LOCATION
- EXISTING UTILITIES LOCATION

LEGEND:

- STRUCTURAL FRAMING - SEE STRUCT
- (E) WALL / PARTITION TO REMAIN
- POTENTIAL DEMO OVERLAY

DECKHAND FOODCOURT

CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
FLOOR PLAN - THIRD FLOOR

CHECKED	Approver
DRAWN	Author
issue	date description

SHEET # **A2.6**

ISSUE DATE 08.25.2022

1 T.O. DECK
1" = 10'-0"

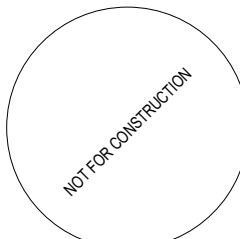


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GENERAL NOTES:

SHEET NOTES:

1. FOOD TRUCK LOCATIONS
2. EXISTING UTILITIES

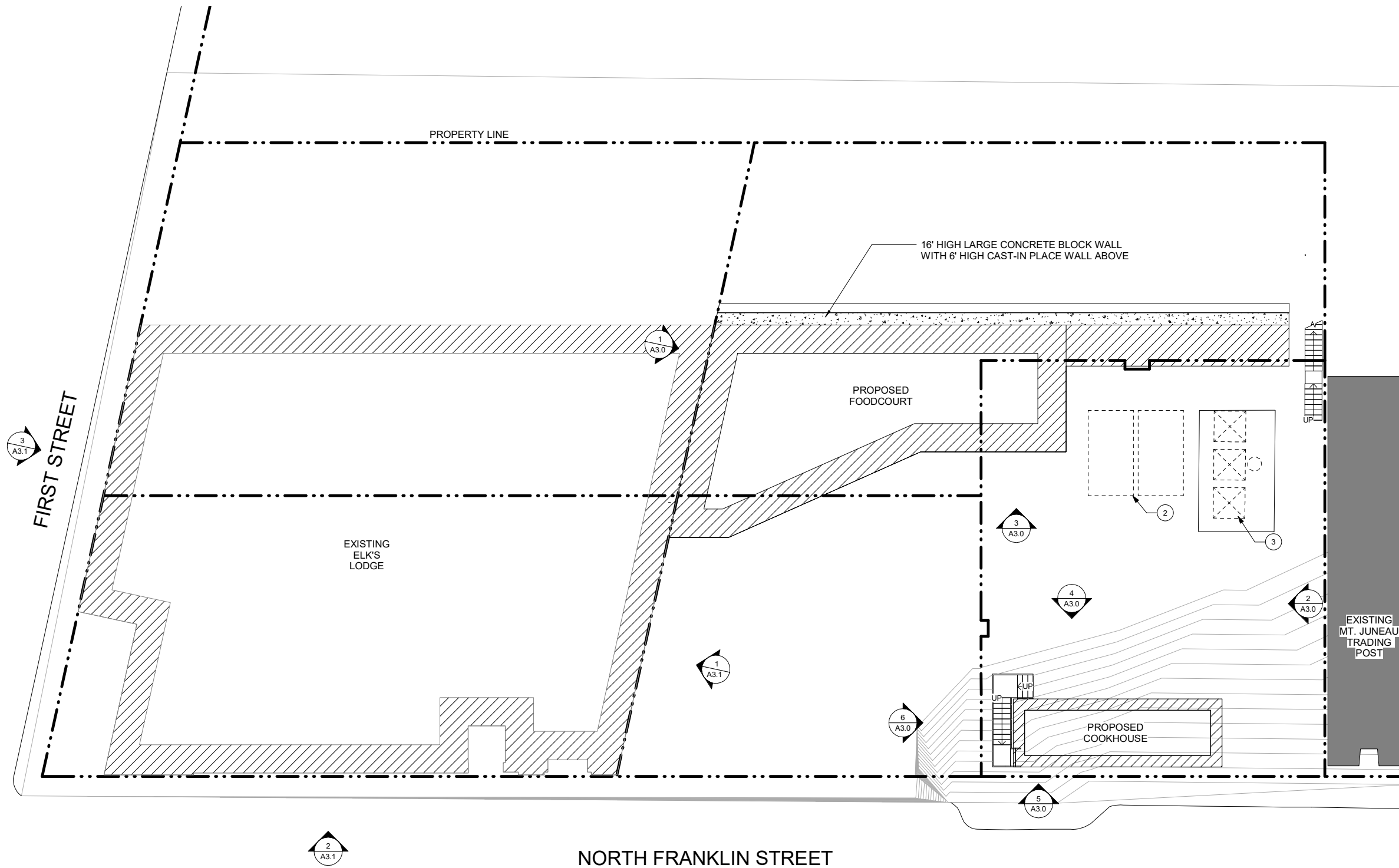


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CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
SITE PLAN

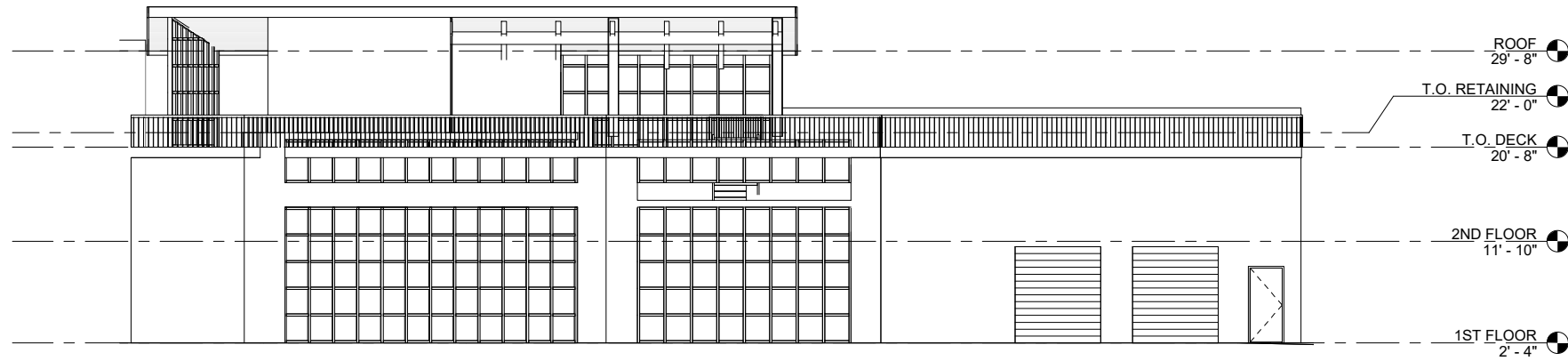
issue	date	description
CHECKED		
DRAWN		N/A

SHEET # **A1.0**

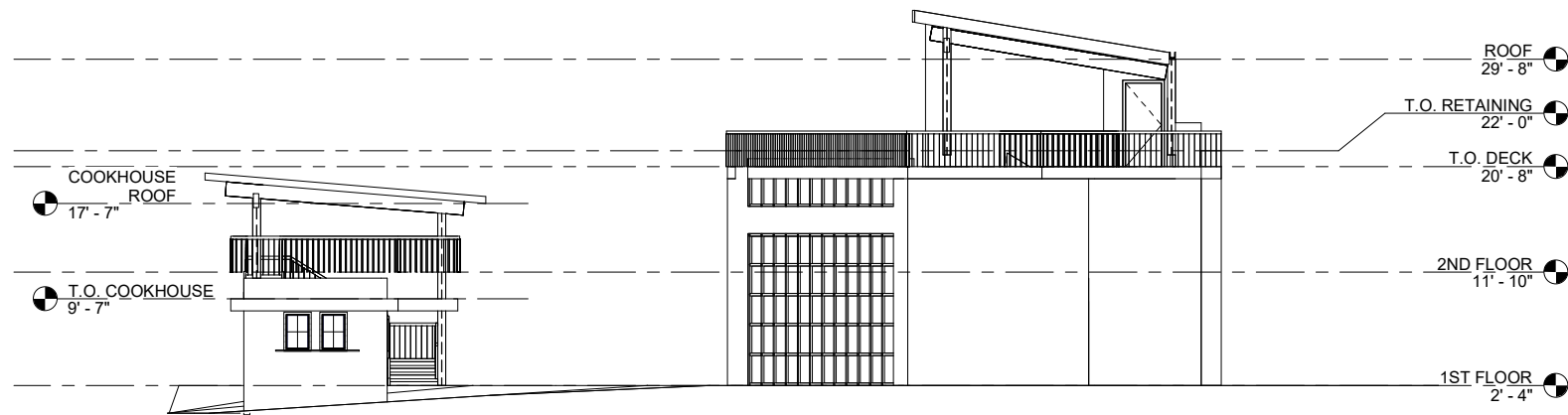
ISSUE DATE 08.25.2022

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1 SITE PLAN
1" = 10'-0"

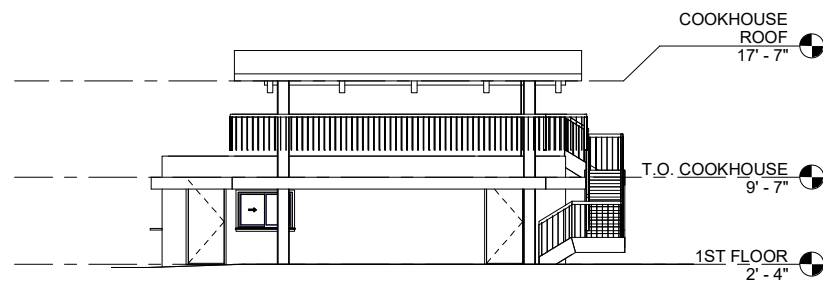


3 FOODCOURT - SOUTH
1/8" = 1'-0"

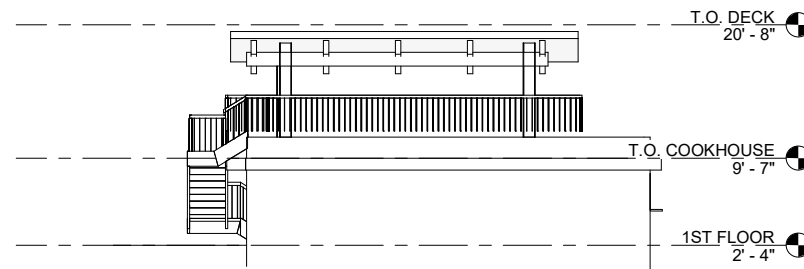


1 FOODCOURT - WEST
1/8" = 1'-0"

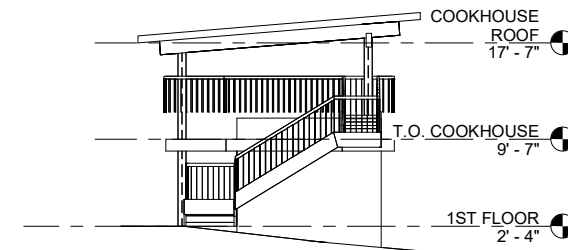
2 FOODCOURT - EAST
1/8" = 1'-0"



4 COOKHOUSE - NORTH
1/8" = 1'-0"



5 COOKHOUSE - SOUTH
1/8" = 1'-0"



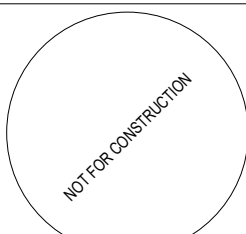
6 COOKHOUSE - WEST
1/8" = 1'-0"

GENERAL NOTES:

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5. SECTION DRAWINGS FOR REFERENCE ONLY IDENTIFY DATUM AND DETAILS. NOT FOR CONSTRUCTION.
6. TAPERED INSULATION SLOPES NOT SHOWN FOR CLARITY.

SHEET NOTES:

1. XSPEC XPSEC



02/15/2020



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← 1" ACTUAL →
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DECKHAND FOODCOURT

CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
BUILDING ELEVATIONS

CHECKED Approver
DRAWN Author

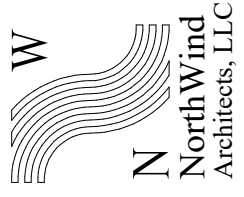
issue date description

SHEET # **A3.0**

ISSUE DATE 08.25.2022

NOT FOR CONSTRUCTION

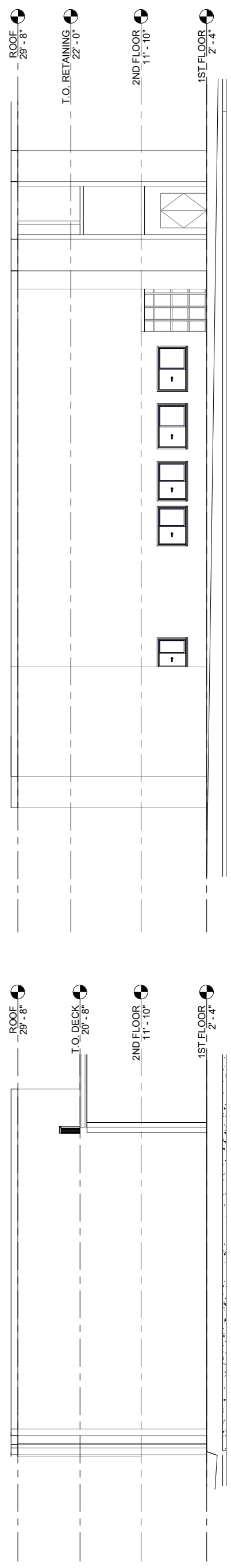
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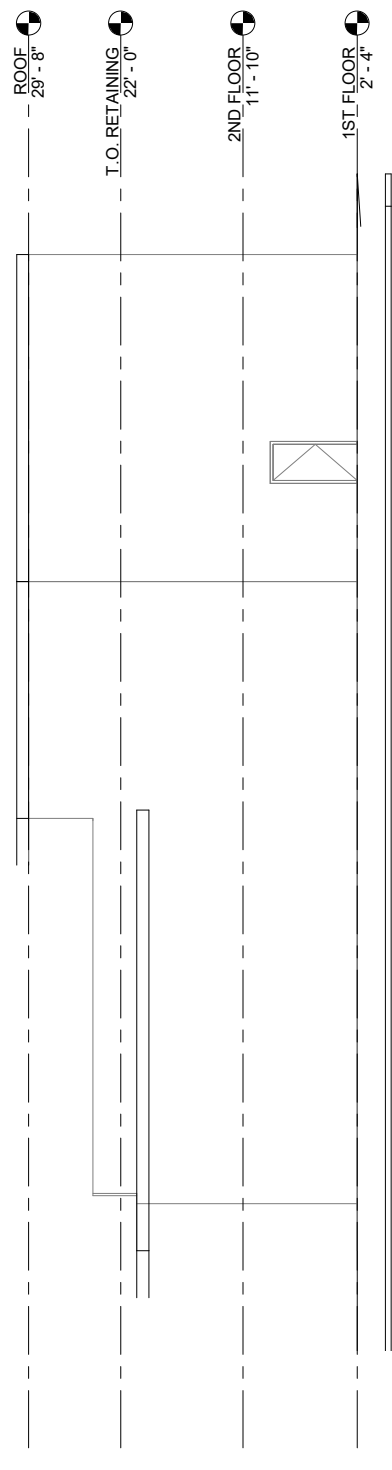
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← 1" ACTUAL →



1 ELKS - EAST
1/8" = 1'-0"

2 ELKS - SOUTH
1/8" = 1'-0"



3 ELKS - WEST
1/8" = 1'-0"

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JUNEAU, ALASKA

SHEET TITLE:
BUILDING
ELEVATIONS

CHECKED	Approver
DRAWN	Author
ISSUE	date description

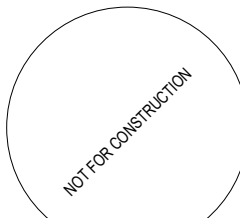
SHEET # **A3.1**

ISSUE DATE 08.25.2022

GENERAL NOTES:

SHEET NOTES:

- 1. PROPERTY LINES
- 2. FOOD TRUCK LOCATIONS
- 3. EXISTING UTILITIES

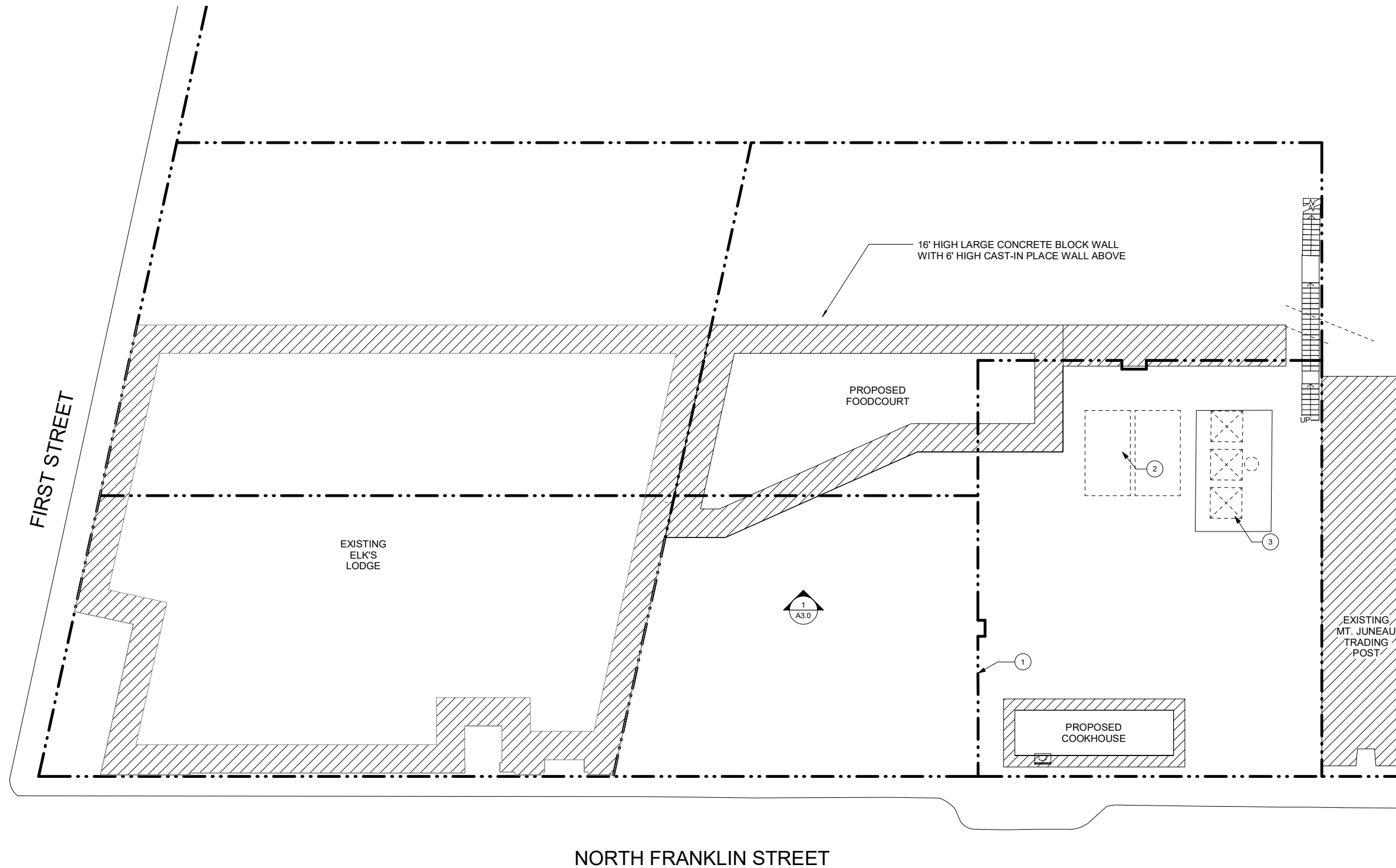


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← 1" ACTUAL →
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DECKHAND FOODCOURT

CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
SITE PLAN

CHECKED	
DRAWN	N/A
issue	date description

SHEET # **A1.0**

ISSUE DATE 07.06.2022

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1 SITE PLAN
1" = 10'-0"





(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

South Franklin Food Court and Housing

Case Number: PAC2023 0031
 Applicant: James Bibb
 Property Owner: Fishbone Rentals LLC
 Property Address: 109 S. Franklin St.
 Parcel Code Number: 1C070A130030
 Site Size: 11,048 square feet
 Zoning: MU
 Existing Land Use: Commercial Office Former Elks Hall

Conference Date: August 9, 2023

Report Issued: August 18, 2023

DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
David McCasland	Owner/Applicant	davidmccasland907@gmail.com
Jill Maclean	CDD Director	Jill.maclean@juneau.gov
Jeff Hedges	Building	Jeff.Hedges@juneau.gov
Bridget LaPenter	General Engineering	Bridget.Lapenter@juneau.gov
James Bibb	Applicant	james@northwindarch.com
Shannon Crossley	Applicant	shannon@northwindarch.com
Naalkh DeAsis	Applicant	naalkh@northwindarch.com
Dan Jager	Fire Marshal	dan.jager@juneau.gov
David Sevdv	Permitting	david.sevdv@juneau.gov

Revised 5/07/2021

i:\documents\cases\2023\pac\pac23-031 s franklin food court and housing\pac23-31-deckhand dave_08-18-23, sh.doc

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

Applicant had a pre-application conference in 2022 (PAC22-39).

Applicant now owns the Rockwell site, the plans have changed to include housing, potentially up to 100 units.

Additionally, Applicant still proposes a multi-story indoor/outdoor pavilion that would provide seating for food trucks, and possibly for operations out of the restaurant to the northwest (old Elk's Hall). The Applicant's site plan and draft plan set are attached to this report.

Applicant would like to approach phased development of the area.

Applicant proposes a multi-story indoor/outdoor pavilion that would provide seating for food trucks, and possibly for operations out of the restaurant to the northwest (old Elk's Hall) with housing on the upper floors.

Applicant's site plan and draft plan set are attached to this report.

The second phase of development would include the proposed patio structures, and substantive renovations to the Elks Hall that would support business between the Hall and the patio. For Phase 2, lot consolidation would be required.

Housing would be included in either the second or a third phase of development.

In general, the steps would be:

Phase 1

- Apply for a conditional use permit. This is required because of development in a hazard zone.
 - HRAC review is part of the CUP.
- Modify the plan per Planning Commission feedback and get a Building Permit.

Phase 2

- Consolidate lots that will see development.
- Apply for a new or modified Conditional Use Permit (CUP) for the development.
 - The HRAC review will be a part of the CUP review.
- Modify plans per Planning Commission feedback and get a Building Permit.

Planning Division

1. **Zoning** – The development is located in the Mixed Use (MU) zoning district.

The development will require a CUP because it is in a severe hazard area.

Lot 1A and 9 meet the lot width requirement, with their frontages along South Franklin Street. Lot 2A frontage is along Rawn Way to the east and is 25.77 feet wide. Lot consolidation will address this nonconformity. If Lot 2a is ever developed independently it will need a Nonconforming Certification for the lot.

The lots are in the Downtown Historic District, with a special height limit of 45 feet.

2. **Subdivision** – In CBJ code, a lot consolidation is considered a minor subdivision and will not require a hearing at the Planning Commission. Though in a severe hazard zone, a lot consolidation is considered a boundary line relocation, so can be done under the Minor Subdivision process [CBJ 49.70.300(a)(3)]. This process will require:
 - a. A pre-application conference (this one will meet that requirement).
 - b. Submission of a preliminary plat for review, and a final plat.
 - c. Staff suggests that, as long as you have a surveyor out there, it may be cost effective to survey all interests, so subsequent land actions require only drafting. Note that fall is a good time for surveyors, as summer work is slowing down, and foliage has thinned out in anticipation of winter.
 - d. If the food court structurally connects to the old Elks Hall, the Elks Hall lots should be included in the consolidation.
3. **Setbacks** – The MU zoning district has no lot line setbacks.
4. **Height** – The MU zoning district does not have a height restriction; however, the Downtown Historic District has a 45' height restriction. The 45' height restriction area marked on the overlay map requires that the façade of the building be no higher than 45'.

Per CBJ 49.80, façade is defined as, “means any vertical wall face of a building, including vertical parapet walls which enclose usable space. Where separate faces are oriented in the same direction, they are to be considered as part of a single façade”.
5. **Access** – Proposed access is along South Franklin Street.
6. **Parking & Circulation** – No, a No Parking Required Area (NPRA) has been established that largely corresponds to the Downtown Historic District.
7. **Lot Coverage** – There is no maximum lot coverage in the MU zoning district.
8. **Vegetative Coverage** – There is no vegetative cover requirement in the MU zoning district.
9. **Lighting** – Lighting standards are included in the Downtown Historic District Design Standards and Guidelines.
10. **Noise** – This development is not anticipated to create noise in excess of that anticipated in an MU zoning district.
11. **Flood** – The development is not in a Special Flood Hazard Area (Map 02110C 1567E).
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The property is located within a severe hazard area.
13. **Wetlands** – N/A
14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
15. **Plat or Covenant Restrictions** – Subject to easements and restrictions of record.
16. **Traffic** – A traffic study will be required.
17. **Nonconforming situations** – Lot 2A is currently nonconforming for lot width. If the lot is developed separately, it will need a nonconforming certification.

Building Division

16. **Building** – Provide plans that have been prepared by Architects and Engineers.
17. **Outstanding Permits** – DMO20230013- Demolish Elk’s Lodge.

General Engineering/Public Works

18. **Engineering** –

21.1 Demolition.

There are no specific concerns regarding demolition with respect to CBJ infrastructure.

21.1 First Street: new drive lane/widening as public/private access to proposed parking area.

First Street is presently a dead-end, one-lane, two-way public street with practical service to and from the Baranof Hotel parking area, former Elks Lodge parking area as well as several residences and businesses. First Street may be accessed from South Franklin Street right of way but does not connect traffic through to Gastineau Avenue. After demolition of the existing Elks Lodge building, the applicant has proposed adding a traffic lane on private property to provide two-lane, two-way access to a proposed parking area.

Although CBJ will need plans to make a complete determination, it may be possible for the applicant to construct a lane on their property to CBJ standards as a private driveway at their own expense. The CBJ could thereafter take over maintenance of the now two-lane, two-way street with a written maintenance agreement.

Some things to consider, the existing fire hydrant, electrical and utility connections would need to be relocated to accommodate the “private driveway” at the applicant’s expense.

19. **Drainage** – Drainage from “private driveway” adjacent to First Street would need to be evaluated in the design phase.
20. **Utilities** – (water, power, sewer, etc.)
There are no specific concerns for this phase of the project.

Fire Marshal

21. **Fire Items/Access** –

- a. Consideration for hydrant relocation – Applicant will need to keep the hydrant in same general area, if it is moved across the street that is fine but there may be issues, check with water dept.
- b. Height of building – Applicant desired to make the structure taller than neighboring Baranof Hotel. Be aware that fire department access for high rise is based on the lowest level of fire apparatus access. While CCFR has tall ladder trucks, this could be problematic if the structure exceeds capabilities. This may require fire/life safety features such as sprinkler systems with standpipe connections which are in addition to regular sprinkler system requirements, and fire alarm systems requiring building evacuation features which are in addition to the minimum fire code requirement for fire alarm system.
- c. Regardless of how tall the structure is, the bar area is designated as A-2 occupancy and by local ordinance, this will require sprinkler system if the occupant load exceeds 49.
- d. The fire sprinkler system in the residential occupancy may be NFPA 13R system, other areas would have to meet NFPA 13 commercial sprinkler system coverage requirements. If future building is forecast, it

may be best to consider installation of a NFPA 13 commercial system from the beginning to allow future needs.

Other Applicable Agency Review

22. N/A

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application: NOTE: Required with all application types.
2. Minor Lot Consolidation Application: NOTE: Have the GIS analyst provide the new lot description. That can be requested through the Planner on Call.
3. Subdivision Application
4. Subdivision Checklist for Preliminary Plat
5. Conditional Use Permit Application

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Conditional Use Permit – Fee will be determined upon submittal.
2. Lot Consolidation – \$110.00 + \$25.00 for each lot changed = \$160.00*. (* = Based upon the currently proposed consolidation, actual fee will depend on the application as submitted.)

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street

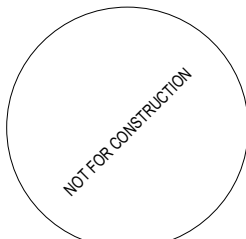
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

49.15.330 – Conditional Use Permits
Draft Site Plan
Development Permit Application
Subdivision Application
Preliminary Plat Checklist
Conditional Use Permit Application

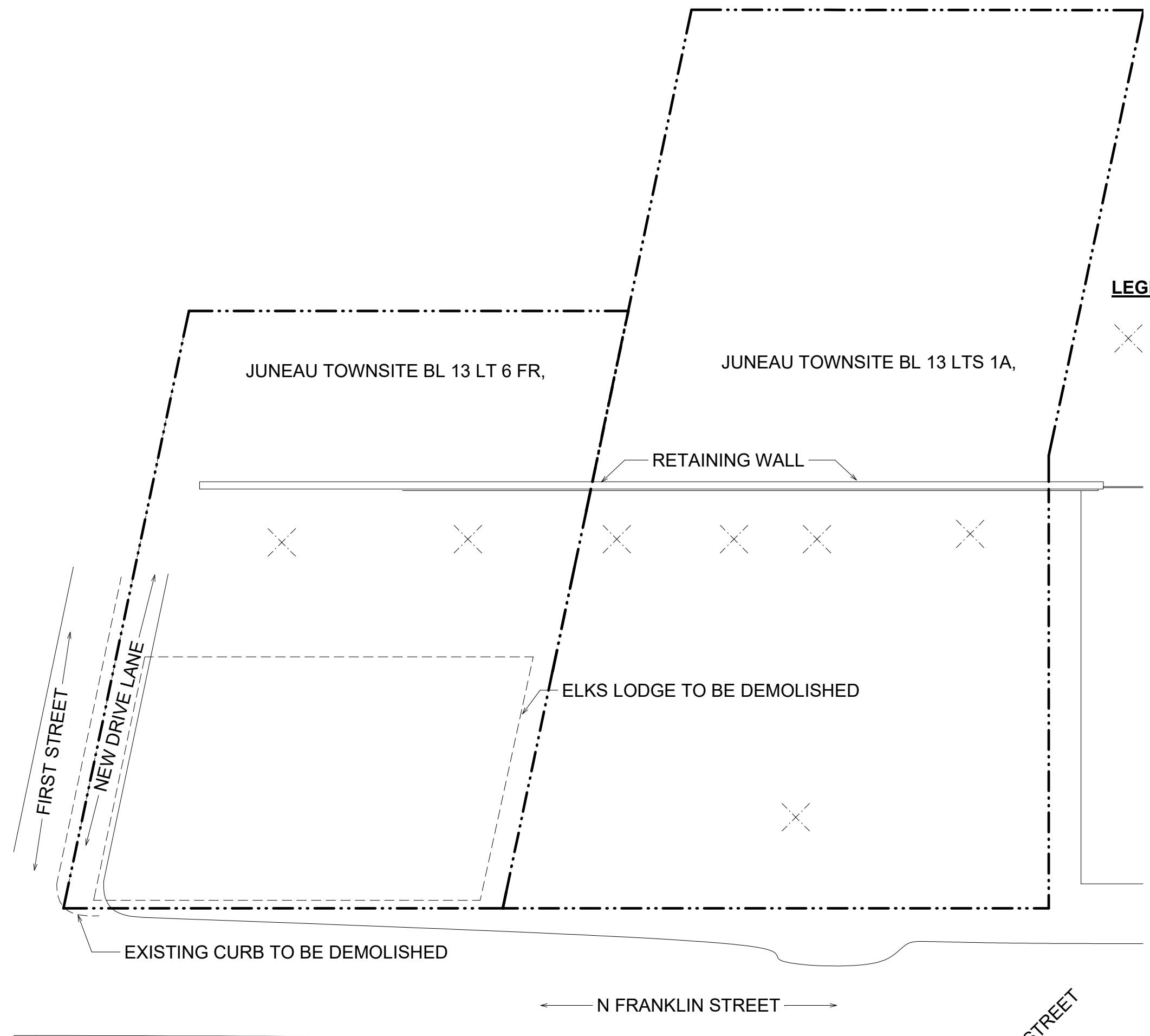


02/15/2020



126 Seward St
Juneau, AK 99801
Ph #907.586.6150
www.northwindarch.com

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABEL SCALES.



LEGEND
X UTILITY HOOK UP (WATER, ELEC., GREASE TRAP)

Deckhand Dave Master Plan

CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
SITE PLAN

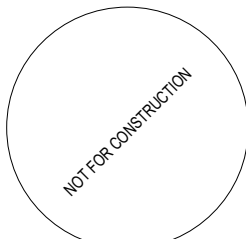
CHECKED	
DRAWN	N/A
issue	date description

SHEET # **G1.0**

ISSUE DATE 01.01.2022

@ NorthWind Architects, LLC; Project Number: NWA-0000A

1 PHASE 1
3/32" = 1'-0"

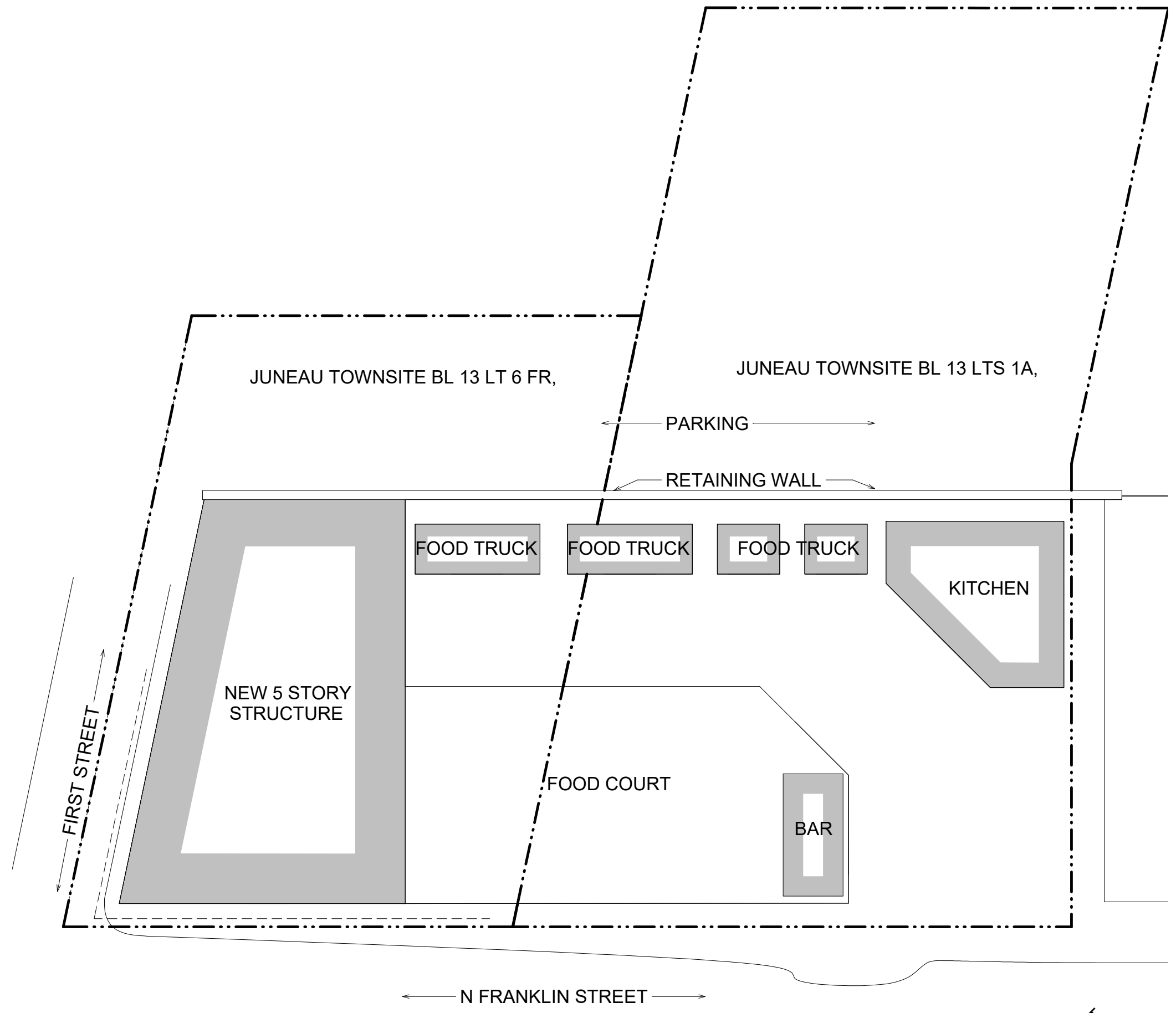


02/15/2020



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Deckhand Dave Master Plan

CLIENT AND ADDRESS
JUNEAU, ALASKA

SHEET TITLE:
SITE PLAN

CHECKED	Approver
DRAWN	Author
issue	date description

SHEET # **G1.1**

ISSUE DATE 01.01.2022

@ NorthWind Architects, LLC; Project Number: NWA-0000A

1 PHASE 2
3/32" = 1'-0"



(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

Franklin Foods LLC Lot Consolidation and Food Court Expansion Conditional Use Permit

Case Number: PAC2024-0008

Applicant: David McCasland

Property Owner: Franklin Foods, LLC

Property Addresses: 109 and 117 South Franklin Street (Lots 6FR, 7, and 8)
 127 South Franklin Street (Lots 1A, 2A, 3, and 4)
 139 South Franklin Street (Lot 9)

Parcel Code Numbers: 1C070A130030 (Lots 6FR, 7, and 8)
 1C070A130011 (Lots 1A, 2A, 3, and 4)
 1C070A130012 (Lot 9)

Legal Descriptions: JUNEAU TOWNSITE BL 13 LT 1A
 JUNEAU TOWNSITE BL 13 LT 2A
 JUNEAU TOWNSITE BL 13 LT 3
 JUNEAU TOWNSITE BL 13 LT 4
 JUNEAU TOWNSITE BL 13 LT 6FR
 JUNEAU TOWNSITE BL 13 LT 7
 JUNEAU TOWNSITE BL 13 LT 8
 JUNEAU TOWNSITE BL 13 LT 9

Site Size:

1C070A130030 (Lots 6FR, 7, and 8)	11,048 square feet
1C070A130011 (Lots 1A, 2A, 3, and 4)	15,952 square feet
1C070A130012 (Lot 9)	4,078 square feet
Total Square Footage (All Lots)	31,078 square feet

Zoning: MU (Mixed Use)

Existing Land Use: Lots 1A, 2A, and 9 – USE 8.300 Seasonal Open Air Food Service Without Drive Through
 Lots 3, 4, 6A, 7, and 8 – Vacant

Conference Date: February 21, 2024

Report Issued: February 23, 2024

DISCLAIMER: Pre-Application Conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-Application Conferences are not based on a complete application and are not a guarantee of final project approval.

Revised 5/07/2021

i:\documents\cases\2024\pac\pac24-008 deckhand dave's food court expansion and lot consolidation\pac24-008 report final draft.doc

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
David McCasland	Applicant	Davidmccasland907@gmail.com
Chris Gianotti	Applicant	cgianotti@pndengineers.com
Jim Sheehan	Applicant	jsheehan@stsl.com
Bridget LaPenter	General Engineering	Bridget.LaPenter@juneau.gov
Scott Ciambor	Planning	Scott.Ciambor@juneau.gov
Jennifer Shields	Planning	Jennifer.Shields@juneau.gov
David Peterson	Planning	David.Peterson@juneau.gov
Ilsa Lund	Planning	Ilsa.Lund@juneau.gov
Sydney Hawkins	Permitting	Sydney.Hawkins@juneau.gov

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the Pre-Application Conference.

Project Overview

PAC22-39: The applicant proposed a multi-story indoor/outdoor pavilion that would provide seating for food trucks on Lots 1A, 2A, 3, 4, and 9, with potential for future purchase and use of Elks Lodge on Lots 6A, 7 and 8.

PAC23-31: The applicant proposed a multi-story indoor/outdoor pavilion that would provide seating for food trucks on Lots 1A, 2A, 3, 4, and 9, along with use of the Elks Lodge on Lots 6A, 7, and 8 for housing.

Conditional Use Permit Application Submittal: On January 23, 2024, the applicant submitted a Conditional Use Permit (CUP) application for the development of the 8 lots owned by Franklin Foods, LLC for an expansion of the seasonal food court on the lower lots and new parking areas on the upper lots. After submitting the application, the applicant indicated that his plans had changed and requested that this application be put on hold.

At the end of the pre-application conference held on February 21, 2024, the applicant requested that the CUP application submitted on January 23, 2024 (showing the development of all 8 lots owned by Franklin Foods, LLC) move forward and be scheduled for a hearing before the Planning Commission.

BLD2023-1002: On February 14, 2024, a building permit was issued for Phase 1 engineered slopes and retaining walls only. The permit includes a Hillside Endorsement from the CDD Director, as the project engineer submitted a stamped letter specifically stating that CBJ 49.70.210(b)(1) and (5) do not apply to the proposed retaining walls.

PAC24-08: This applicant is now proposing the following:

- 1) Lot Consolidation from 8 lots into 2 lots, as follows:
 - o Proposed Lot A (Existing Lots 3, 4, and 6FR)
 - o Proposed Lot B (Existing Lots 1A, 2A, 7, 8, and 9)

- and -

- 2) Seasonal Food Court Expansion involving the existing Lots 1A, 2A, 7, 8, and 9 (Proposed Lot B). The goal is to have the food court open from May 1st through September 30th. Utilities will run to all of the vendors and temporary structures shown in the drawings. Proposed amenities include the following:
 - o Restroom made out of a 20-foot shipping container
 - o Bar made out of a 40-foot shipping container
 - o Oyster Bar which made out of a previously permitted shipping container
 - o Pucker Wilson food truck
 - o Crepe Escape food truck
 - o Deckhand Dave’s food truck
 - o Deckhand Dave’s boat bar
 - o Kitchen preparation food truck
 - o Additional food truck (possible)

Planning Division

1. **Zoning** – The property is zoned MU (Mixed Use).
 - The minimum lot size required in the MU zoning district is 4,000 square feet. Lots 1A, 2A, and 6FR do not appear to meet this requirement. Lot Consolidation will address this nonconformity.
 - The minimum lot width required in the MU zoning district is 50-feet. Lot 2A frontage is along Rawn Way to the east and is approximately 25-feet wide. Lot 6FR frontage is along First Street and is 25-feet wide. Lot consolidation will address these nonconformities.
2. **Table of Permissible Uses** – Currently, CBJ 49.25.300 lists *USE 8.300 – Seasonal Open Air Food Service Without Drive Through* as the most closely associated land use category, with development approval procedures varying, depending on whether the project is a Major or a Minor development.
 - Per CBJ 49.25.300(c)(3)(D), in a MU zoning district, non-residential buildings totaling 10,000 square feet OR using less than one-half acre of land in total constitute Minor Development. Minor Developments are reviewed at the department level. Major Development means all development activity that is not Minor Development. Major Developments are reviewed by the Planning Commission.
 - Per CBJ 49.15.220(1): *“Unless otherwise specified in this title, minor development shall require department approval. If the director determines that a series of applications for minor developments, taken together, constitute a major development, the applications shall be subject to the appropriate major development permit procedures and standards.”*
3. **Density** – The MU zoning district does not have a maximum density limit.
4. **Subdivision** – For BLD2023-1002, the Director determined that Lot Consolidation was not required for retaining walls only. However, Lot Consolidation will be required for the seasonal food court expansion due to the placement of multiple structures (restroom, bars, kitchen), utilities, and drainage across lot lines which comprise an overall development site.
 - CBJ 49.80 Definitions: *“Encroachment” means any structure located in a floodway, setback, right-of-way or adjacent lot.*
 - CBJ 49.80 Definitions: *“Structure” means anything which is constructed or erected and located on or under the ground, or attached to something fixed to the ground, including the following:*
 - o *A building, regardless of size, purpose, or permanence;*
 - o *A tower, sign, antenna, pole or similar structure;*
 - o *A basement, foundation, or mobile home pad;*
 - o *A fence;*
 - o *A sign;*
 - o *A street, road, sidewalk, driveway, parking area, or storage area.*

A Lot Consolidation is considered a Minor Subdivision per CBJ 49.70.300(a)(3) and will not require a hearing at the Planning Commission but will be recommended by staff as a condition of approval for the Conditional Use Permit.

5. **Setbacks** – The MU zoning district has 0-foot lot line setbacks.
6. **Height** – The MU zoning district does not have a height restriction for structures. However, the site is located in the Downtown Historic District which requires that the façade of the building be no higher than 45 feet. Per CBJ 49.80, façade is defined as, “*means any vertical wall face of a building, including vertical parapet walls which enclose usable space. Where separate faces are oriented in the same direction, they are to be considered as part of a single façade*”. See “Historic District” section below for further information on this overlay district.
7. **Access** –
 - Proposed Lot A: First Street and Gastineau Avenue
 - Proposed Lot B: South Franklin Street, First Street, and Rawn Way.
8. **Parking & Circulation** – All 8 lots fall within a No Parking Required Area (NPRA).
9. **Lot Coverage** – The MU zoning district does not require a maximum lot coverage percentage.
10. **Vegetative Coverage** – The MU zoning district does not require a minimum vegetative coverage percentage.
11. **Lighting** – All lighting should be full cut-off lighting to prevent glare on neighboring properties or the right-of-way. Parking and circulation standards require that any future parking lots shall be “adequately lit.”

CUP Application: Show all existing and proposed outdoor lighting locations on the Site Plan.
12. **Noise** – The proposed development is not anticipated to create noise in excess of that anticipated in an MU zoning district.
13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** –
 - Slopes on the site exceed 18%. On February 14, 2024, a building permit (BLD2023-1002) was issued for Phase 1 engineered slopes and retaining walls only. The permit includes a Hillside Endorsement from the CDD Director, as the project engineer submitted a stamped letter specifically stating that CBJ 49.70.210(b)(1) and (5) do not apply to the proposed retaining walls.
 - On December 11, 2023, the CBJ Assembly approved Ordinance 2023-18 amending Title 49 related to development in landslide (now unregulated) and avalanche (regulated) hazard areas. Based upon the newly adopted CBJ avalanche maps (effective on January 11, 2024), the subject property is not within a mapped avalanche hazard area and is therefore not subject to avalanche hazard development regulations.
14. **Wetlands** – N/A
15. **Flood** – N/A
16. **Habitat** – Check with U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
17. **Plat or Covenant Restrictions** – Subject to easements and restrictions of record.

18. **Traffic** – For this application, staff used The Institute of Traffic Engineers Trip Generation Manual (9th Edition) projections for a *High Turnover Sit Down Restaurant (932)* as shown in the table below.

According to CBJ 49.40.300(2), a development projected to generate more than 250 Average Daily Trips (ADT’s) but fewer than 500 ADTs shall be required to have a traffic impact analysis if the Community Development Department (CDD) Director determines that an analysis is necessary based on the type of development, its location, the likelihood of future expansion, and other factors found relevant by the director.

After review, the CDD Director has determined that a Traffic Impact Analysis is not required.

ITE Category	Trips Generated Per 1,000sf	15,000sf/1,000	Total ADT’s
High Turnover Sit Down Restaurant (932)	18.49 weekday PM peak hour	15	277.35
	14.07 Saturday peak hour	15	211.05
	18.46 Sunday peak hour	15	276.9

19. **Nonconforming Situations** – Lot 1A does not meet the minimum lot size requirement. Lots 2A and 6FR do not meet the minimum lot size or lot width requirements. If any of these lots are developed independently and not part of the required Lot Consolidation, each one will need a Nonconforming Certification.
20. **Historic District** – The lots are in the Downtown Historic District, with a special height limitation of 45 feet. The Historic Resources Advisory Committee (HRAC) will be part of the Conditional Use Permit (CUP) process but will not approve or deny. The HRAC makes recommendations to the Director or Planning Commission as appropriate, who consider the HRAC expertise in their decisions. In the case of new construction, the development should preserve harmony of scale, architectural style, sidewalk level use and materials of the existing locale per CBJ 49.70.530(a)(2).
21. **Trash Receptacle(s)** – Plans will be required to show location of on-site bear-proof dumpster(s). The dumpster(s) cannot block access to pedestrian accommodations, including walkways and stairways. At least five feet of pedestrian walkway must be maintained.

CUP Application: Show location of on-site bear-proof dumpster(s).

Building Division

22. **Building** – Prior to placement of any structures, food trucks or any other use, a Building Permit must be obtained from the Community Development Department. Plans must be prepared by licensed design professionals.
23. **Outstanding Permits** –
- a. BLD20240073 – “Underground Electrical Only for Current and Future Food Park”
 - b. BLD20231002 – “PHASE I ENGINEERED SLOPES AND RETAINING WALLS ONLY”
 - c. DMO20230013 – “Demolition of Elks Lodge.”

General Engineering/Public Works

24. **Engineering** – Drainage or utilities crossing property lines will require easements. In lieu of easements, lots may be consolidated.
25. **Drainage** – Work within the CBJ right of way (ROW) will require a ROW permit and bonding.
26. **Utilities** – Work within the CBJ right of way (ROW) will require a ROW permit and bonding.

Fire Marshal

27. **Fire Items/Access** – No comments at this time.

Other Applicable Agency Review

28. N/A

List of Required Applications

Based upon the information submitted for this pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

Lot Consolidation

1. Development Permit Application (DPA)
2. Subdivision Application for Lot Consolidation (SLC)

Conditional Use Permit

1. Development Permit Application (DPA)
2. Conditional Use Permit application (USE)

Building Permit

1. Development Permit Application (DPA)
2. [Building Permit Application \(BPA\)](#)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

Lot Consolidation

1. A copy of this pre-application conference report
2. Narrative including legal descriptions of properties, existing structures on the land, zoning district, density, access, current and proposed use of any structures, utilities available, unique characteristics of the land or structures.
3. Subdivision Checklist for Preliminary Plat
4. As-Built Survey
5. Preliminary Plat
6. Lot Closure Report

Conditional Use Permit

1. A copy of this pre-application conference report.
2. Narrative
3. As-Built Survey
4. Proposed Site Plan (with details as outlined above)
5. Elevation Drawings
6. Lighting Plan / Fixtures Data Sheet

Building Permit

1. Plans prepared by licensed design professionals.

Exceptions to Submittal Requirements

Submittal requirements that staff has determined not to be applicable or not required, given the specifics of the development proposal, are listed below. These items will not be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85. Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

Lot Consolidation

1. Development Permit Application – N/A
2. Subdivision Application - \$110 plus \$25 for each lot changed (8 lots = \$200) = \$310

Conditional Use Permit

1. Conditional Use Permit Application – Class II Uses (Commercial, mixed use using less than one acre of land): \$500
2. Public Notice Sign: \$150, with \$100 refundable if the sign is returned by the Monday after the Planning Commission meeting.

Building Permit

1. To be determined during permitting process based on size and scope of project which may include cost of work and/or new square footage.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov
OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

Development Permit Application (DPA)

Building Permit Application (BPA)

Subdivision Application (SLC)

Notice of Minor Lot Consolidation Form

Subdivision Preliminary Plat Checklist

Conditional Use Permit Application

Permit Center
230 S. Franklin, 4th Floor
Marine View Center
PHONE 586-0770

INSPECTIONS
586-1703



POSTING NOTICE OF BUILDING PERMIT

BLD20231002

Permit No.

**PHASE I ENGINEERED SLOPES AND RETAINING WALLS
ONLY**

For

127 S FRANKLIN ST

Address

2/14/2024

MUST BE POSTED IN A CONSPICUOUS PLACE THROUGHOUT CONSTRUCTION
Attachment M - BLD2023 1002 for retaining walls.

Case No: **BLD20231002**

Site Address: 127 S FRANKLIN ST
 Desc: Retaining Wall

Parcel No: 1C070A130011

Commercial ADD New Dwelling Units: 0
 FCC Code: 437 Existing Dwelling Units: 0
 Type of Construction: VB Occupancy Class: _____
 Sprinkler Substitute for Type A Construction: YES NO
 Sprinkler System: FULL PARTIAL NONE Required: YES NO
 Alarm System: FULL PARTIAL NONE Required: YES NO
 Code Edition: 2021 IBC Code Review by: JS Date: 1/4/2024

<]`g]XY9bXcfgYa Ybh
 Documentation in accordance
 with CBJ 49.70.240
 *Engineered plans with
 landscaping addressed
 *Geotech memo

CDD Director Approval:
scott ciambor for Jill Lawhorne
 Date: 2/13/2024

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
			600,000.00
Total Valuation:			<u>600,000.00</u>

LAND USE

ZONE/UNITS	MU / 0
WETLAND	<u>N/A</u>
FLOOD ELEV.	<u>N/A</u>
FIRM ZONE	<u>N/A</u>
FIRM MAP	<u>N/A</u>
LOT SIZE	<u>~19,000 SF</u>
SETBACKS	
Front	<u>0</u>
Rear	<u>0</u>
Side	<u>0</u>
Other	_____
PARKING	<u>NPRA</u>
ANADROMOUS	<u>N/A</u>
EAGLES NEST	<u>?</u>
Coverage	<u>N/A</u> Permissible/Conditional
HEIGHT	<u>N/A</u> Permissible/Accessory
VEGETATION	<u>N/A</u>
HAZARD	<u>None Regulated</u>

ENGINEERING/PUB WORKS

Dwelling Units: _____
 CITY WATER: _____
 Permit #: _____
 Use: _____
 Assessment: _____
 Service Size: _____
 Line Size: _____
 Meter Size: _____
 CITY SEWER: _____
 Permit #: _____
 Use: _____
 Assessment: _____
 Fixture Units: _____

LAND USE PERMITS

ADR Case #: _____

PLAN REVIEW APPROVALS

	Initials	Date
<input type="checkbox"/> Fire	<u>DMJ</u>	<u>1/2/2024</u>
<input checked="" type="checkbox"/> Zoning	<u>JLS</u>	<u>02/13/24</u>
<input checked="" type="checkbox"/> Engineering	<u>bpl</u>	<u>2/7/24</u>
<input type="checkbox"/> Water		
<input type="checkbox"/> Sewer		
<input checked="" type="checkbox"/> Architectural	<u>JS</u>	<u>1/4/2024</u>
<input checked="" type="checkbox"/> Structural	<u>JS</u>	<u>1/4/2024</u>
<input type="checkbox"/> Plumbing		
<input type="checkbox"/> Mechanical		
<input type="checkbox"/> Electrical		
<input type="checkbox"/> Access		
<input type="checkbox"/> Spcl Insp Form		

APPROVED FOR ISSUANCE

[Signature]
 Signature
2/7/24
 Date

PERMIT ISSUANCE FEES

Grading Plan Review Fee	\$ _____
Adjusted Plan Review Fee	\$ _____
Fast Track Fee	\$ _____
Early Start Fee	\$ _____
Building Permit Fee	\$ _____
Water Assessment Fee	\$ _____
Sewer Assessment Fee	\$ _____
Sewer Inspection Fee	\$ _____
Grading Permit Fee	\$ _____
Driveway Permit Fee	\$ _____
Bond for _____	\$ _____
Other _____	\$ _____
Total Issuance Fees	\$ _____

PERMIT ISSUANCE PAYMENTS

Date	Receipt	Check	Amount
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Parcel Tags:
 BLD-008589 Remodel 1972

This parcel is located within the Downtown Historic District.

CONDITIONS AND HOLDS ON PERMIT: (Continued on back of sheet)

BLD23-1002 Zoning approval is for retaining walls only. Future site development will require a pre-application conference review.

SPECIAL INSPECTION PROPOSAL FORM

Note: This form must be completed by the Owner or Architect/Engineer of Record and approved by the Building Official prior to issuance of a Building Permit. The qualified individual special inspector must be identified along with their firm.
Special Inspector may not be employed by the Contractor or anyone responsible for the construction work.

PROJECT FRANKLIN FOODS LLC
PHASE I ENGINEERED SLOPES AND RETAINAGE PERMIT APPLICATION NO.: BLD2023-1002
OWNER DAVE MCCASLAND DATE: 02/09/2024

PROPOSED SPECIAL INSPECTOR Firm: PND ENGINEERS, INC. and Individual: UNDER SUPERVISION OF C. GIANOTTI
(Please fill out one of these forms for each Special Inspector on this project. Attach proposed inspector's qualifications.)

PROPOSED TESTING AGENCIES RESPEC LAB
(Specify which category they are testing.)

The use of a special inspector does not negate the need to call for and have all normal required CBJ inspections inspected and approved by CBJ Inspectors. Report requirements shall comply with the 2006 IBC Section 1704.1.2

TYPES OF INSPECTIONS REQUIRED: Check each type of inspection required by Architect/Engineer of Record as indicated on the approved building plans and specifications.

1. CONCRETE
Inspection Scope & Schedule* Formwork, rebar, sampling

Frequency of Sampling Materials EVERY DAY CONCRETE PLACED
Frequency of Testing 7day, 28day

2. BOLTS INSTALLED IN CONCRETE
Inspection Scope & Schedule* verify method, embedment

3. SPECIAL MOMENT - RESISTING CONCRETE FRAME
Inspection Scope & Schedule* NA

Frequency of Sampling Materials _____
Frequency of Testing _____

4. REINFORCING STEEL AND PRESTRESSED STEEL TENDONS
Inspection Scope & Schedule* verify size, spacing, location, orientation

Method of Testing Visual

5. WELDING

A. SPECIAL MOMENT - RESISTING STEEL FRAMES
Inspection Scope & Schedule* N/A

Type of non-destructive testing _____
Frequency of Tests _____

B. STRUCTURAL WELDING INCLUDING REINFORCING STEEL
Inspection Scope & Schedule* N/A ALL SHOP FABRICATION, SINGLE PASS FILLET WELDS

Type of non-destructive testing _____
Frequency of Tests _____

6. HIGH-STRENGTH BOLTING
Inspection Scope & Schedule* N/A

Method of Testing _____
Frequency of Testing _____

7. STRUCTURAL MASONRY
Inspection Scope & Schedule* N/A

Frequency of Sampling Materials _____
Frequency of Testing _____

8. REINFORCED GYPSUM CONCRETE
Inspection Scope & Schedule* N/A

Frequency of Sampling Materials _____
Frequency of Testing _____

OVER →

- 9. INSULATING CONCRETE FILL**
Inspection Scope & Schedule* N/A

Frequency of Sampling Materials _____
Frequency of Testing _____
- 10. SPRAYED-ON FIREPROOFING**
Inspection Scope & Schedule* N/A

Method of Inspection _____
Frequency of Sampling Materials _____
Frequency of Testing _____
- 11. PILING, DRILLED PIERS AND CAISSONS**
Inspection Scope & Schedule* N/A

Method of Inspection _____
- 12. SHOTCRETE**
Inspection Scope & Schedule* N/A

Method of Inspection _____
Frequency of Sampling Materials _____
Frequency of Testing _____

13. SPECIAL GRADING, EXCAVATION AND FILLING
Inspection Scope & Schedule* The engineered slopes and walls shall be constructed in accordance with the approved plan, applicable CBJ codes and shall be stable and not create a hazard to public or private property. Submit a letter from an Alaska-licensed engineer to the CBJ General Engineering Department stating the work has been inspected and completed in accordance with the design, is stabilized, and capable of withstanding the forces for which it was designed. The letter must include the engineer's professional stamp with signature.

14B. SPECIAL CASES TYPE: Verify conditions at limit of excavation
Inspection Scope & Schedule* AT BASE OF GEOGRID-REINFORCED CONCRETE
BLOCK WALL AND CIP WALL FOOTING
Method of Inspection VISUAL
Other _____

14C. SPECIAL CASES TYPE: GEO GRID REINFORCED WALL
Inspection Scope & Schedule* Verify geogrid tautness, Backfilling materials
and compaction
Method of Inspection VISUAL
Other _____

SPECIAL INSPECTOR CERTIFICATION:

I hereby certify that I am qualified to perform the special inspection items marked above, that I will perform the special inspections at the appropriate times scheduled by the contractor and that I will submit weekly and final reports.

Special Inspector: [Signature] Date: 2-9-2024

OWNER CERTIFICATION: (May be signed by Architect /Engineer of Record on Owner's behalf.)

I hereby certify that I will employ the aforementioned Special Inspector to perform the inspections shown above.

Owner: [Signature] Date: 2-9-2024

BUILDING OFFICIAL'S APPROVAL OF PROPOSAL OF SPECIAL INSPECTION:

Building Official: _____ Date: _____

Note:

Special Inspection weekly reports must be submitted to the owner and to the Building Official within 5 working days of the last day of the week being reported to avoid Suspension of the Building Permit and possible Stop Work Order.

A monthly summary letter is required for overall status including any outstanding items that require followup. The final special inspection approval letter(s) must be submitted before use or occupancy. Any variation to the special inspection proposal requires prior approval of the Building Official.

* (extent of work inspected; continuous or periodic, frequency)

GENERAL NOTES

GENERAL NOTES

CRITERIA

CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU
STRUCTURAL RISK CATEGORY: II

LOADS:

SURCHARGE ON RETAINED EARTH: 50 PSF
RETAINED SOIL: INTERNAL ANGLE OF FRICTION = 26 DEGREESE IN NATURAL SOIL 40 DEGREES IN SHOT ROCK BACKFILL

RAILING LOADS: 50 POUNDS PER FOOT OR 200 POUND CONCENTRATED LOAD
50 PSF ON INTERMEDIATE POSTS, WIRES AND RAILS
VEHICLE BARRIER LOAD: 6000 POUNDS HORIZONTAL BETWEEN 18 INCHES AND 27 INCHES ABOVE DRIVING SURFACE
STRUCTURES AT ROADWAY AASHTO HL90 HIGHWAY LOADING

FOUNDATION:

FOUNDATION IS DESIGNED FOR A MAXIMUM ALLOWABLE BEARING PRESSURE OF 3,000 PSF.

MATERIALS AND CONSTRUCTION

EXCAVATION AND GROUND PREPARATION:

EXCAVATE TO LIMITS SHOWN ON PLANS IN ACCORDANCE WITH OSHA AND STATE OF ALASKA DEPARTMENT OF LABOR REGULATIONS. VERIFY THAT CONDITIONS AT THE LIMIT OF EXCAVATION ARE FIRM NATIVE MATERIAL FREE OF TRASH, DEBRIS, ORGANICS, SOFT MATERIAL, AND MUCK ON BEDROCK OR BEDROCK. IF UNDESIRABLE CONDITIONS EXIST NOTIFY ENGINEER. REMOVE ANY UNDESIRABLE MATERIAL FROM SITE. REPORT TO ENGINEER CONDITIONS FOUND AT LIMIT OF EXCAVATION AND FIELD ADJUST BOTTOM OF FOOTING ELEVATION BASED ON CONDITIONS.

PROTECT EXISTING BURIED UTILITIES. LOCATE UTILITIES PRIOR TO EXCAVATION.

BASE COURSE

BASE COURSE SHALL CONFORM TO SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION, GRADATION C1 OR D1. PLACE IN LIFTS NOT TO EXCEED 6 INCHES IN THICKNESS AND COMPACT EACH LIFT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

DRAIN ROCK

DRAIN ROCK SHALL BE UNIFORMLY GRADED, WASHED GRAVEL WITH STONE SIZE BETWEEN ¼ INCH AND 1 INCH. PLACE IN LIFTS NOT TO EXCEED 12 INCHES AND TAMP WITH EXCAVATOR BUCKET TO OBTAIN MAXIMUM DENSITY.

TRENCHING

BED PIPES IN GRAVELLY SAND WITH NO STONE SIZE GREATER THAN 1.5 INCHES. COMPACT BOTTOM OF TRENCH WITH THE MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS. PLACE BEDDING IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS AND COMPACT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

PLACE WARNING TAPE 12 INCHES ABOVE PIPE. WARNING TAPE SHALL BE 6 INCHES WIDE, 4 MIL THICK POLYETHYLENE WITH BLACK LETTERING ON COLOR APPROPRIATE FOR PIPE TYPE BELOW.

BACKFILL TRENCHES WITH SUITABLE MATERIAL EXCAVATED FROM TRENCH OR IMPORTED, WELL-GRADED SANDY GRAVEL. PLACE IN LIFTS NOT TO EXCEED 8 INCHES IN TLOOSE THICKNESS. COMPACT EACH LIFT PRIOR TO PLACING SUBSEQUENT LIFTS WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

DRAIN PIPE AND SEWER PIPE

DRAIN PIPE SHALL BE EITHER PVC MEETING ASTM D3034 WITH SDR 35 OR CPP MEETING AASHTO M252 TYPE S. WHERE INDICATED PIPE SHALL BE PERFORATED. PIPE SHALL HAVE BELL AND SPIGOT JOINTS. FITTINGS SHALL BE OF SAME MATERIAL AND COMPATIBLE WITH PIPE. SHIP, STORE, HANDLE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.

CONCRETE

MIXING, PLACING, AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE SUCH TO RESULT IN A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. A MIX DESIGN, WITH RECORDED CYLINDER TEST RESULTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING CONCRETE EQUIPMENT TO THE SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. 28-DAY COMPRESSIVE STRENGTH (f_c') SHALL BE 4,000 PSI. CONCRETE SHALL BE ENTRAINED WITH AIR AND AIR CONTENT SHALL BE BETWEEN 5 AND 8 PERCENT

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60. LAP REINFORCING STEEL 50 BAR DIAMETERS UNLESS OTHERWISE NOTED.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.

PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: ANY CONCRETE CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 2 INCHES.

EXTEND HORIZONTAL REINFORCING AT CORNERS OF WALLS AND FOOTINGS WITH A 90 DEGREE BEND AND A 48 BAR DIAMETER LAP OR CORNER BARS WITH 48 BAR DIAMETER LAP AT EACH LEG. MATCH ALL HORIZONTAL BARS.

STRUCTURAL STEEL

STEEL SHALL CONFORM TO THE FOLLOWING:

W SECTION	ASTM A992
PLATES, CHANNELS ANGLES	ASTM A 36
PIPES	ASTM A 53 GRADE B
HOLLOW TUBES	ASTM A 500 GRADE C
ANCHOR BOLTS	ASTM F 1554 GRADE 36
BOLTS STEEL TO STEEL	ASTM A 325

STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1, STRUCTURAL WELDING CODE.

BOLTS DESIGNATED AS SLIP CRITICAL (SC) SHALLBE TENSIONED USING TURN OF THE NUT METHOD.

ALL STEEL SHALL BE GALVANIZED AFTER FABRICATION PER ASTM A 125 AND A 153 AS APPROPRIATE.

PRECAST CONCRETE BLOCKS

PRECAST CONCRETE BLOCKS SHALL BE MADE OF CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI, MADE FROM A MIX IN COMPLIANCE WITH ACI 318, WITH A MINIMUM CEMENT CONTENT OF 5.5 SACKS OF CEMENT PER CUBIC YARD, USING AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF ¾ INCHES AND BE AIR ENTRAINED SO AIR CONTENT IS BETWEEN 5 AND 8 PERCENT. BLOCKS SHALL BE INTERLOCKING, WITH A VERTICAL OFFSET OF 2 INCHES IN 2 VERTICAL FEET, BE STACKED IN A RUNNING BOND AND OF THE SIZE INDICATED. ANY DAMAGE TO THE EXPOSED FACE SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER AND ENGINEERS APPROVAL.

REINFORCING GRID

STACKED CONCRETE BLOCK WALL REINFORCING GRID SHALL BE MIRAGRID 5XT AS MANUFACTURED BY MIRIFI TENCATE, OR APPROVED EQUAL. ANY SUBMITTAL FOR SUBSTITUTION SHALL INCLUDE THE TECHNICAL SPECIFICATIONS SHEET THAT INCLUDES STRENGTH AND DURABILITY CHARACTERISTICS. REINFORCING GRID SHALL BE LAID OVER THE CONCRETE BLOCKS AND COMPACTED BACKFILL LIFT, WITH TOP EVEN WITH THE BLOCK, WITHOUT ANY BUNCHING OR TEARS OR DAMAGE. THE SUBSEQUENT BLOCK SHALL BE PLACED AND THE GRID PULLED TO A TAUT CONDITION AND SECURED WITH STAKES, GALVANIZED STAPLES OR ANOTHER APPROVED METHOD PRIOR TO PLACING ADDITIONAL LIFTS OF BACKFILL.

STACKED BLOCK WALL BACKFILL

BACKFILL BETWEEN GEOGRIDS AT GEOGRID REINFOCED STACKED BLOCK WALL SHALL COMPLY WITH 2 INCH MINUS SHOT ROCK WITH THE GRADATION MEETING SUBBASE GRADING A, AS DEFINED IN CBJ STANDARD SPECIFICATIONS FOR CIVIL ENGINEERING AND SUBDIVISION IMPROVEMENTS, SECTION 2202, PARAGRAPHS 2.8 AND 2.4, RESPECTIVELY. PLACE SHOT ROCK BACKFILL PER SECTION 3.2 OF CBJ STANDARD SPECIFICATION 02202.

BACKFILL BEHIND UN-REINFORCED STACKED CONCRETE BLOCK WALLS SHALL BE WELL GRADED SANDY GRAVEL WITH NO MORE THAN 6 PERCENT PASSING THE NO 200 SIEVE. SUBMIT GRADATION OF MATERIAL PROPOSED TO BE USED FOR REVIEW AND APPROVAL

PLACE BACKFILL FOR CONCRETE BLOCK WALLS IN LOOSE LIFTS NO GREATER THAN 12 INCHES IN LOOSE THICKNESS. COMPACT WITH A MINIMAL LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY PLATE OR VIBRATORY DOUBLE DRUM ROLLER WITH THE MINIMUM FORCE LEVEL RATING OF 10,000 POUNDS. SUBMIT TECHNICAL DATA ON COMPACTION EQUIPMENT FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING COMPACTION EQUIPMENT TO THE SITE.

ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE FOR STEEL CONSTRUCTION
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA	AMERICAN WOOD PRESERVERS ASSOCIATION
AWS	AMERICAN WELDING SOCIETY
AWWA	AMERICAN WATER WORKS ASSOCIATION
CPP	CORRUGATED POLYETHYLENE PIPE
(E)	EXISTING
EQ	EQUAL
ER	EVALUATION REPORT
EXIST	EXISTING
HDPE	HIGH DENSITY POLYETHYLENE
IBC	INTERNATIONAL BUILDING CODE
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
KIPS	1000 POUNDS
LB	POUND
MAX	MAXIMUM
MIN	MINIMUM
NO	NUMBER
OC	ON CENTER
PCF	POUNDS PER CUBIC FOOT
PL	PLATE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PVC	POLY VINYL CHLORIDE
SS	STAINLESS STEEL
STD	STANDARD
TYP	TYPICAL

LEGEND

EXISTING	THIS PROJECT	
---	---	CUT OR FILL SLOPE
FD _x	D	PROPERTY LINE
UGE _x	sd	FOUNDATION DRAIN
SD _x	w	UNDERGROUND ELECTRICAL
W _x	SS	STORM DRAIN LINE
SS _x	x	WATER LINE
	x	SANITARY SEWER LINE
	---	GEOTEXTILE FABRIC
	---	FOOD CART / MOBILE STRUCTURE

REVISIONS

REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			



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SCALE:



DATE: 12/18/2023

JUNEAU, ALASKA
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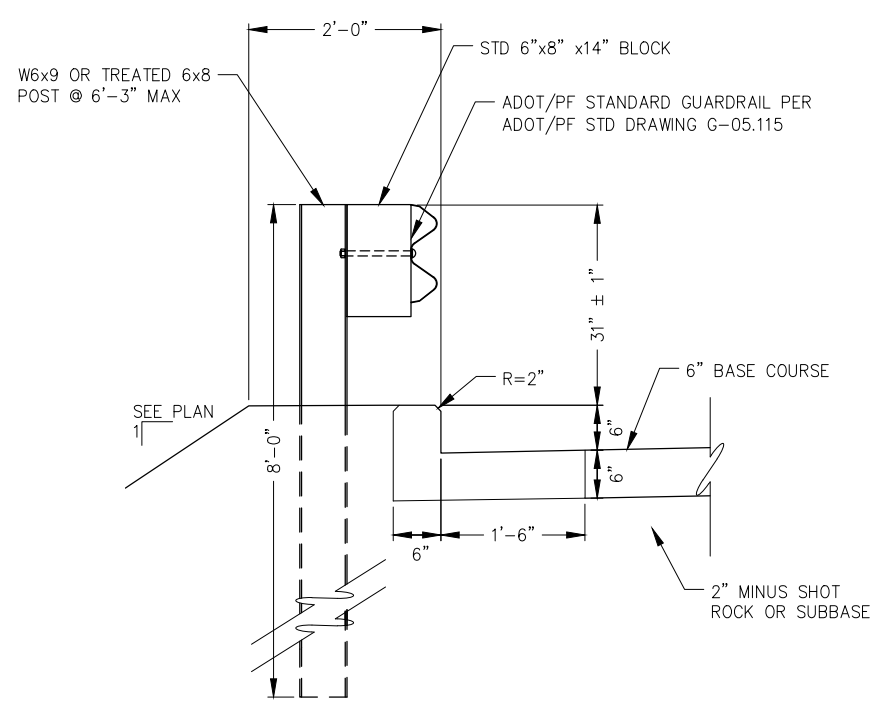
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STRUCTURAL GENERAL NOTES

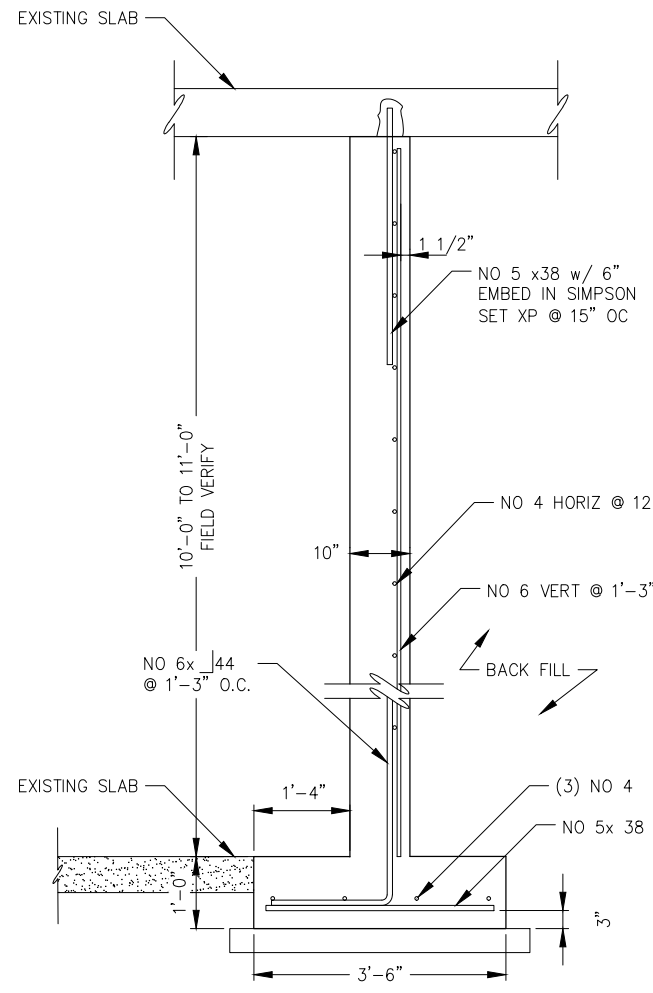
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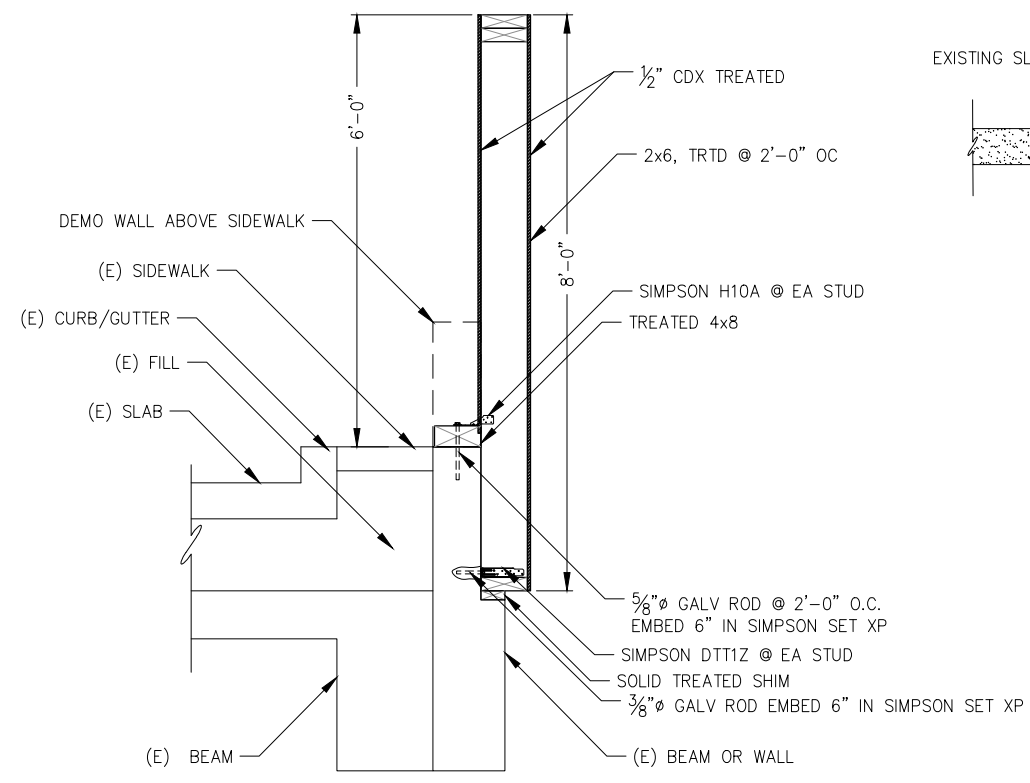
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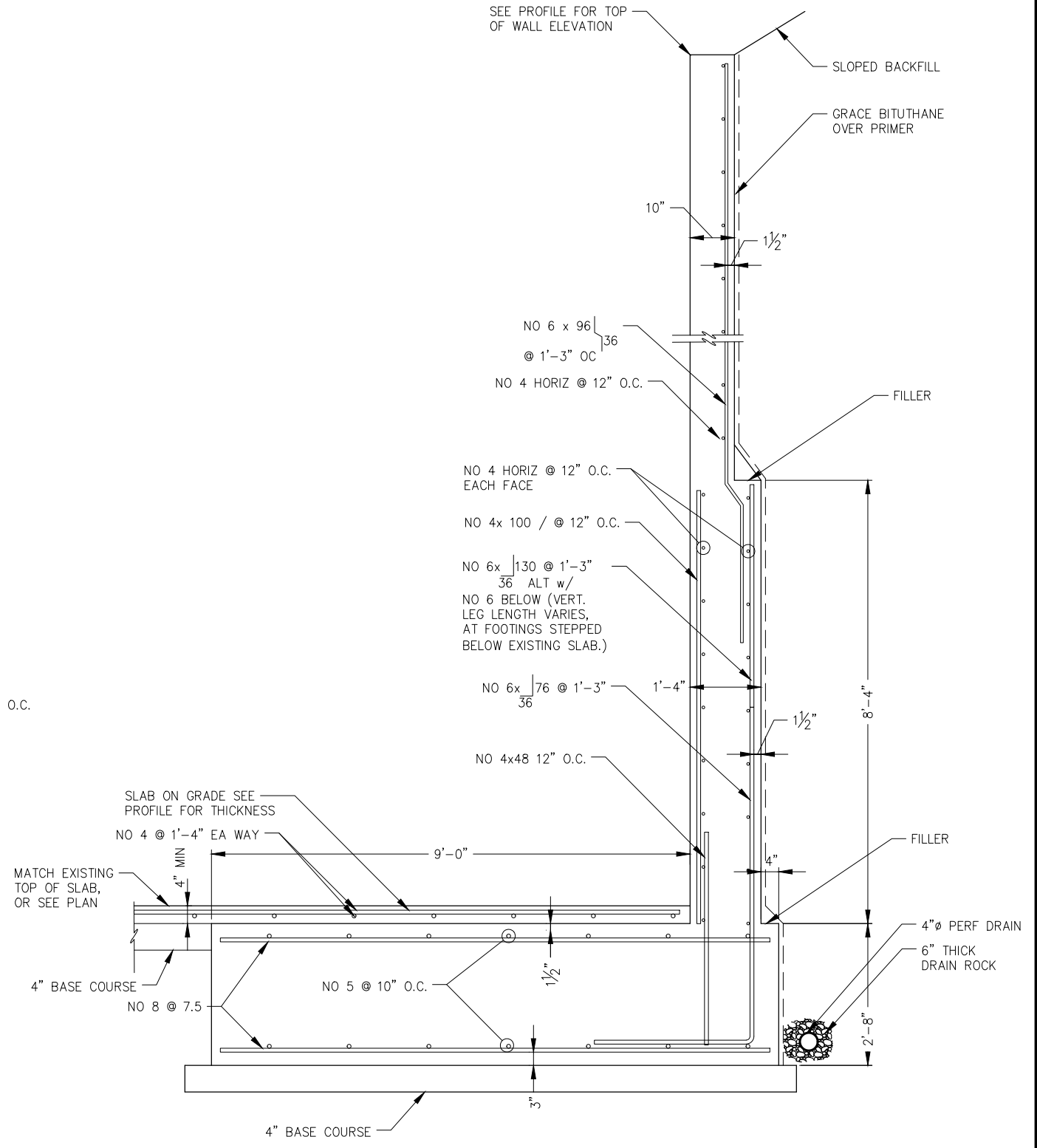
A GUARD RAIL AT TOP OF SLOPE DETAIL
SCALE IN INCHES
0 12 24



C WALL SECTION DETAIL



B BARRIER ALONG 1ST AVE. DETAIL



D WALL A WEST END CAST IN PLACE WALL

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SCALE: SCALE IN FEET
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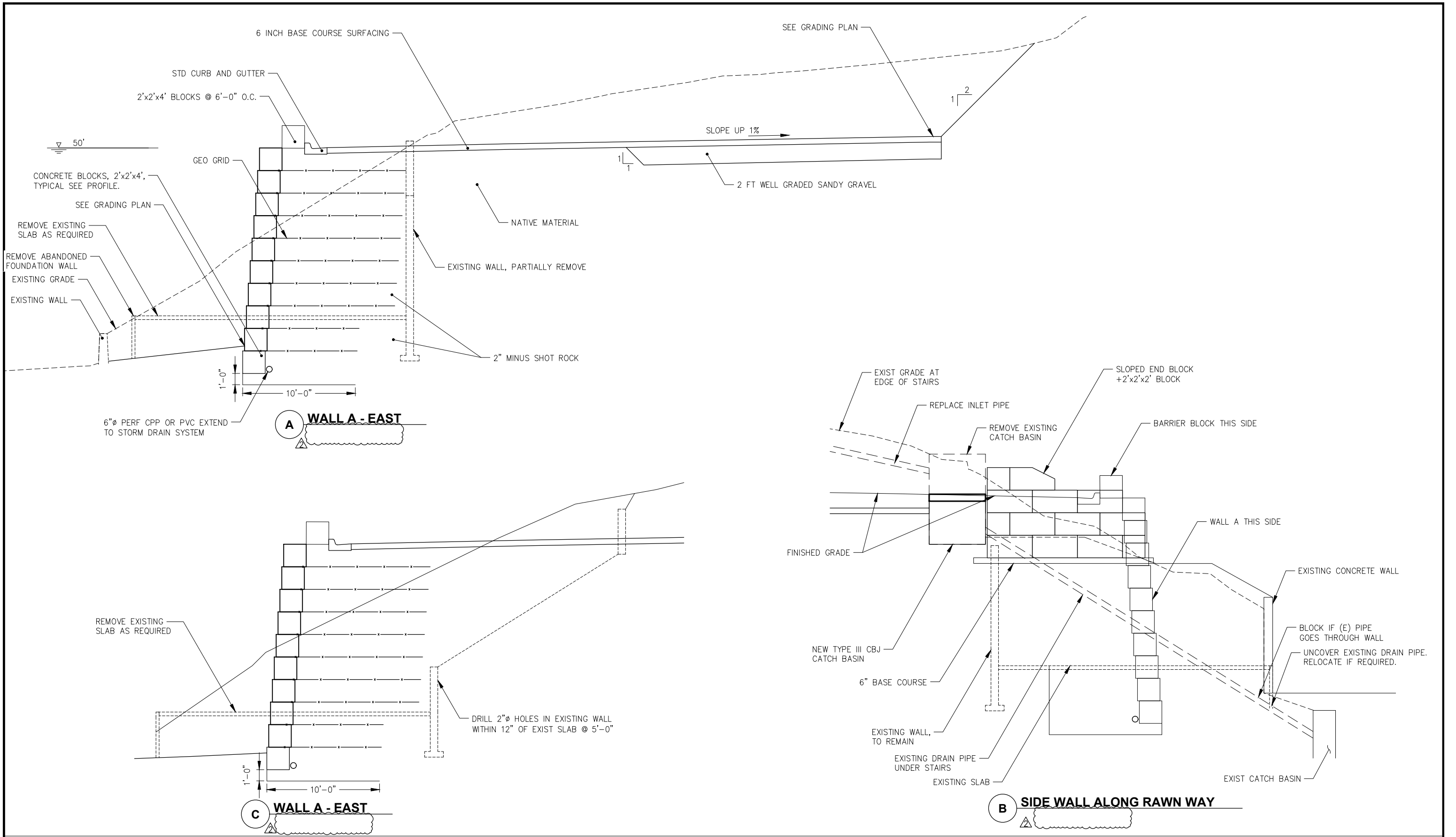


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SHEET TITLE:
TYPICAL DETAILS

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S002



REVISIONS						
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2	2/12/24	REV 2				

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JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: **WALL A**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

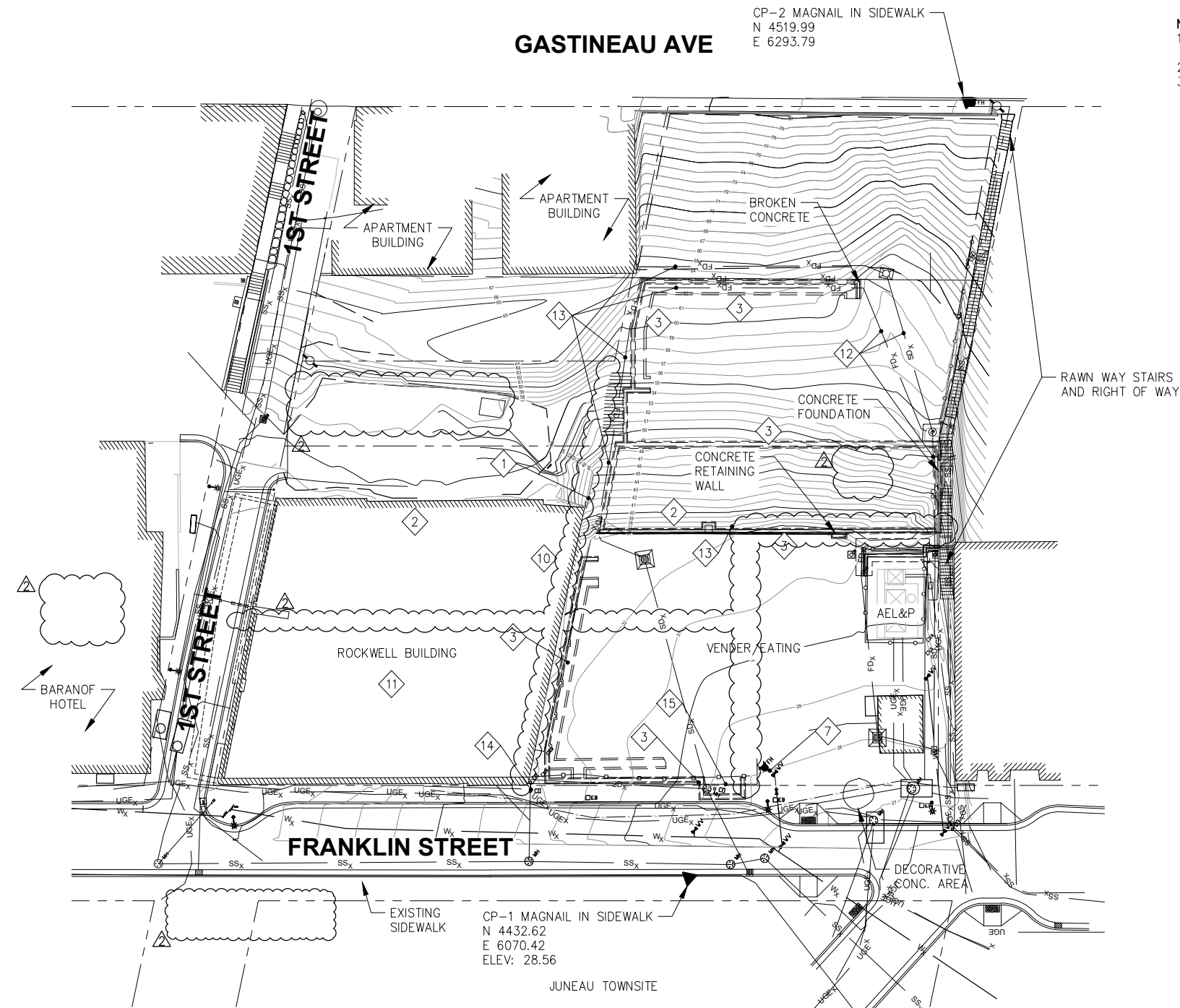
S003

DEMOLITION NOTES:

- ① REMOVE SHEET PILE WALL
- ② REMOVE EXISTING RETAINING WALL
- ③ REMOVE REMAINING FOUNDATION WALLS, AS REQUIRED
- ④
- ⑤
- ⑥
- ⑦ REMOVE HYDRANT AND CAP WATERLINE AT PROPERTY LINE
- ⑧
- ⑨
- ⑩ DEMO SLAB FOR NEW RAMP
- ⑪ DEMOLISH BUILDING
- ⑫ REMOVE EXPOSE EXISTING DRAIN PIPE. RE-ALIGN AS REQUIRED.
- ⑬ EXISTING ABANDONED FOUNDATION REMOVED AS REQUIRED
- ⑭ RELOCATE SS CLEANOUT
- ⑮ REMOVE INFORMATIONAL SIGN

NOTES:

- 1. BURIED UTILITIES SHOWN ARE FROM AVAILABLE AS-BUILT INFORMATION. VERIFY LOCATIONS PRIOR TO EXCAVATION
- 2. TOPOGRAPHY FROM SURVEY BY 57 NORTH IN FALL OF 2023
- 3. BURIED FOUNDATIONS FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.



1 EXISTING CONDITIONS AND DEMOLITION SITE PLAN



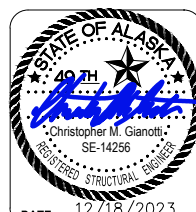
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①	1/08/24	REV 1			
②	2/12/24	REV 2			

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SCALE: SCALE IN FEET
0 20 40 FT.



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SHEET TITLE:
EXISTING CONDITIONS AND DEMOLITION SITE PLAN

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S100



PLAN NORTH



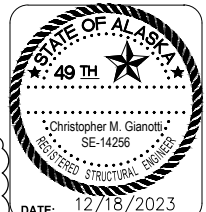
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△	2/12/24	REV 2			

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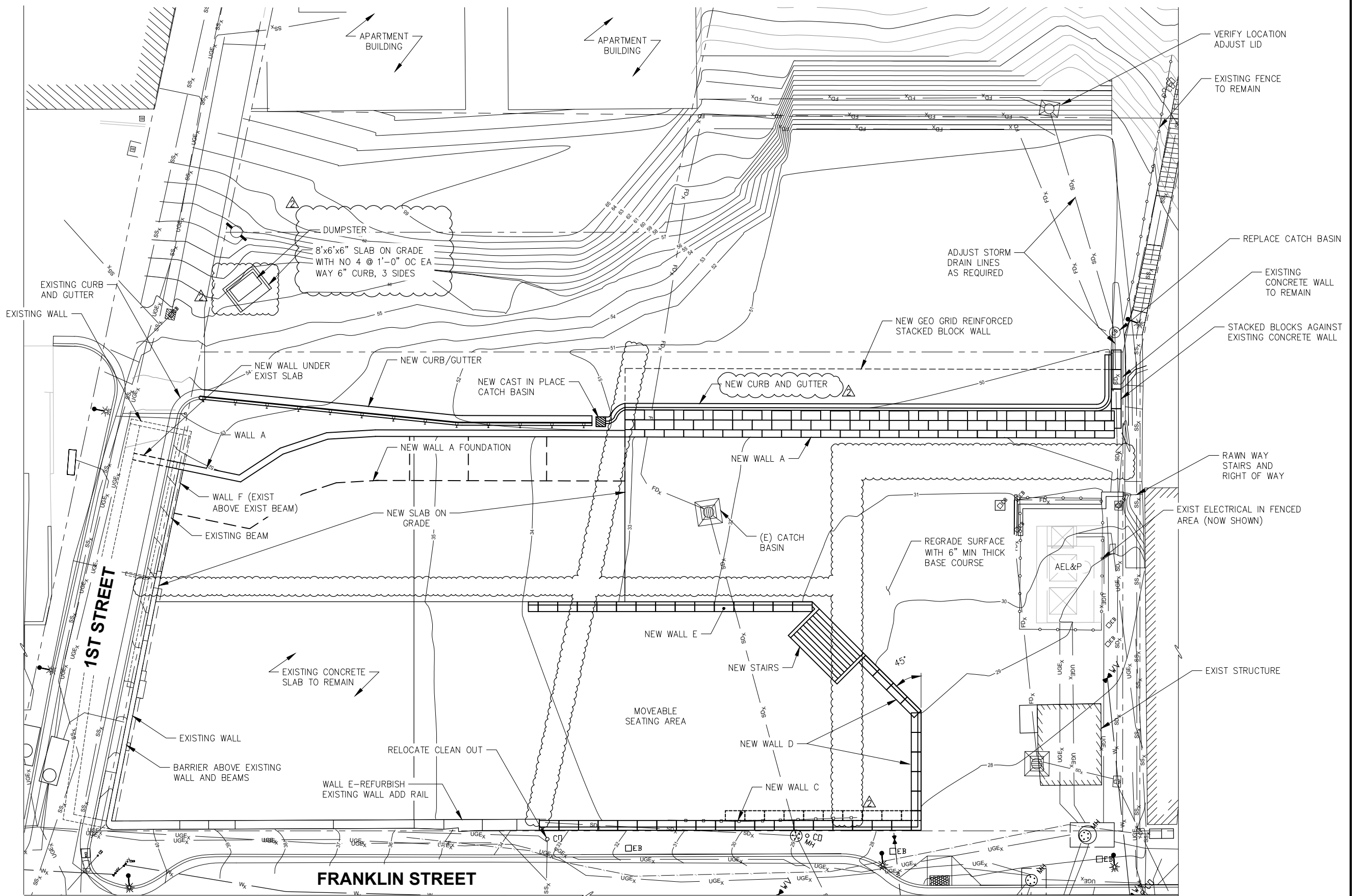


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SHEET TITLE: **SITE PLAN**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S101



BARANOF HOTEL



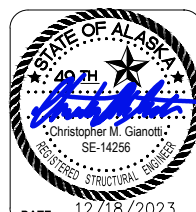
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1	1/08/24	REV 1			
2	2/12/24	REV 2			

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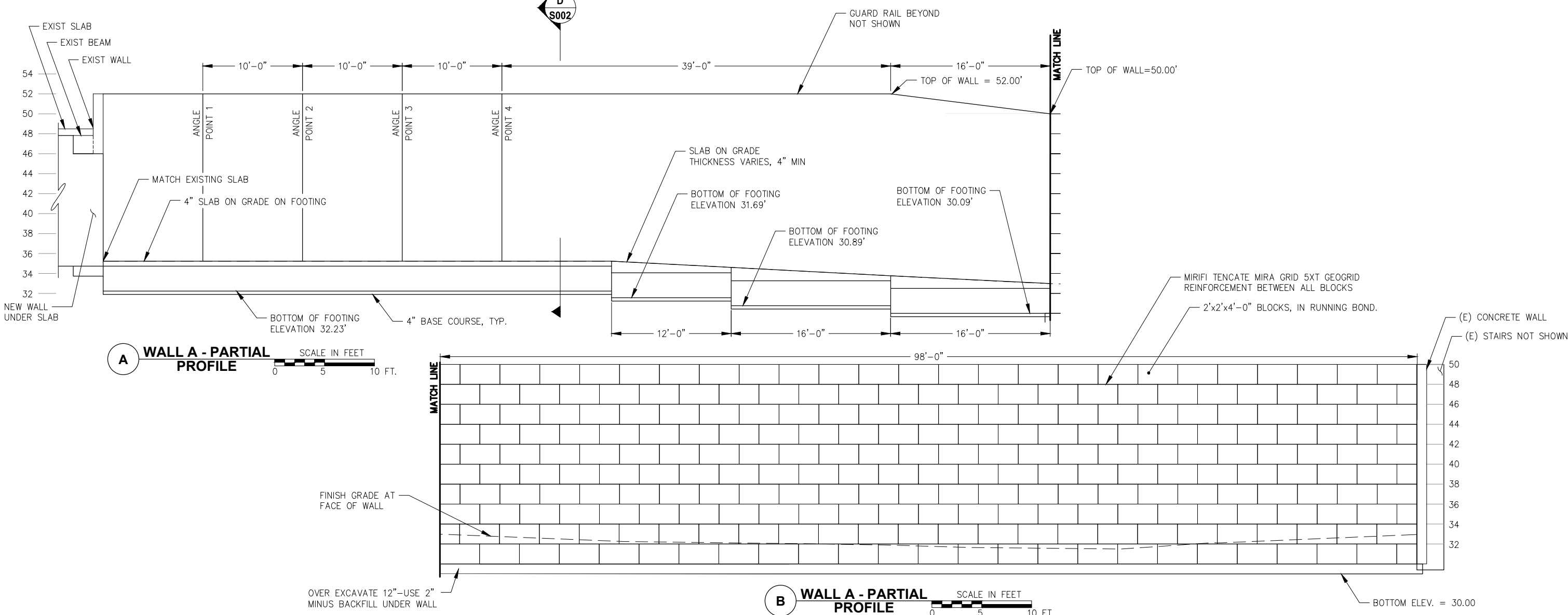
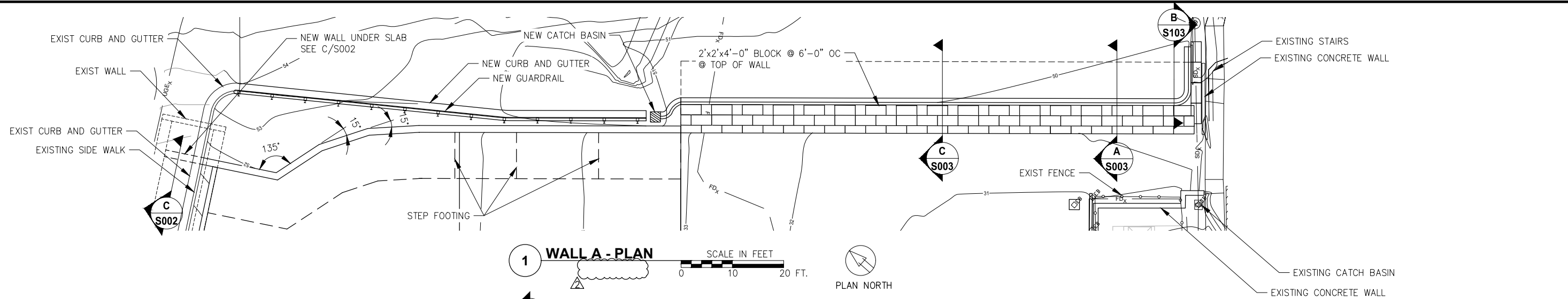
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S102

PND PROJECT NO.: 222070

C.A.N. NO.: AECC250

Attachment M - BLD2023 1002 for retaining walls.



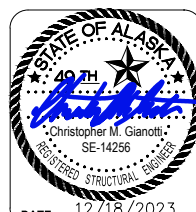
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1	1/08/24	REV 1			
2	2/12/24	REV 2			

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SCALE: AS SHOWN

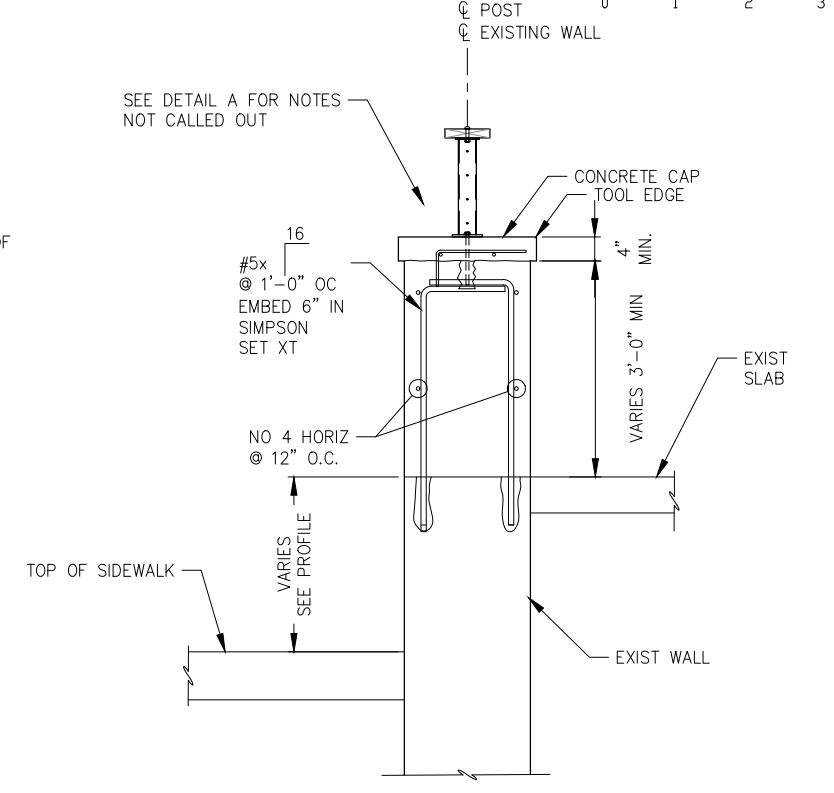
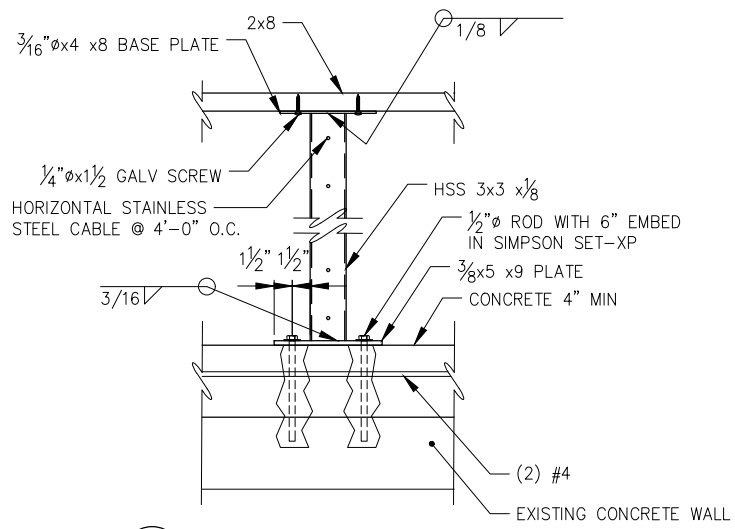
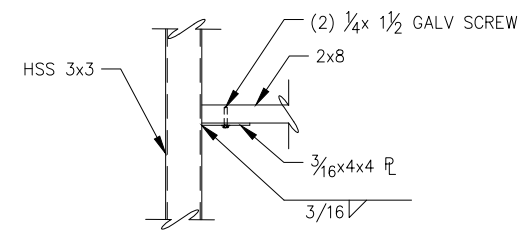
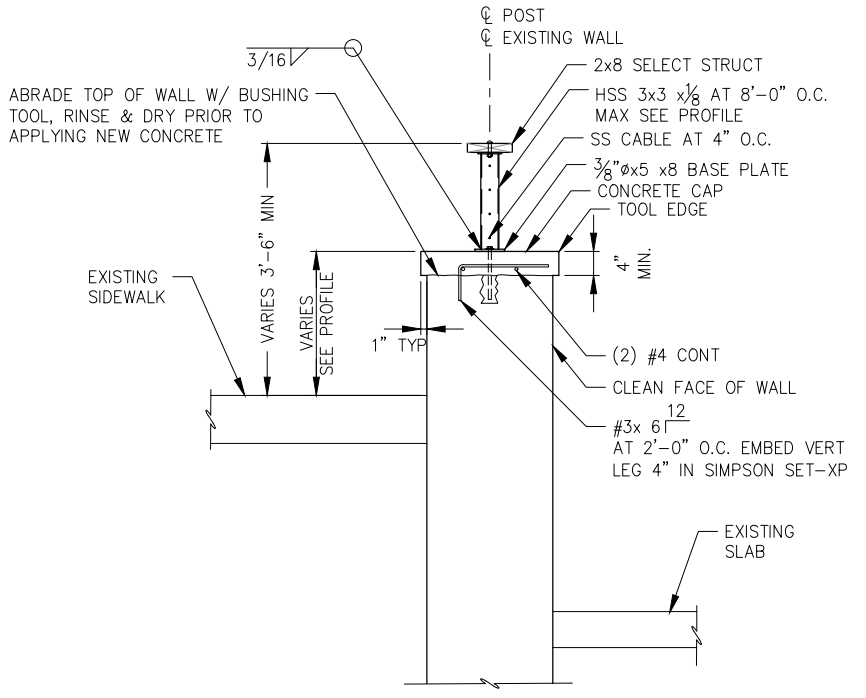
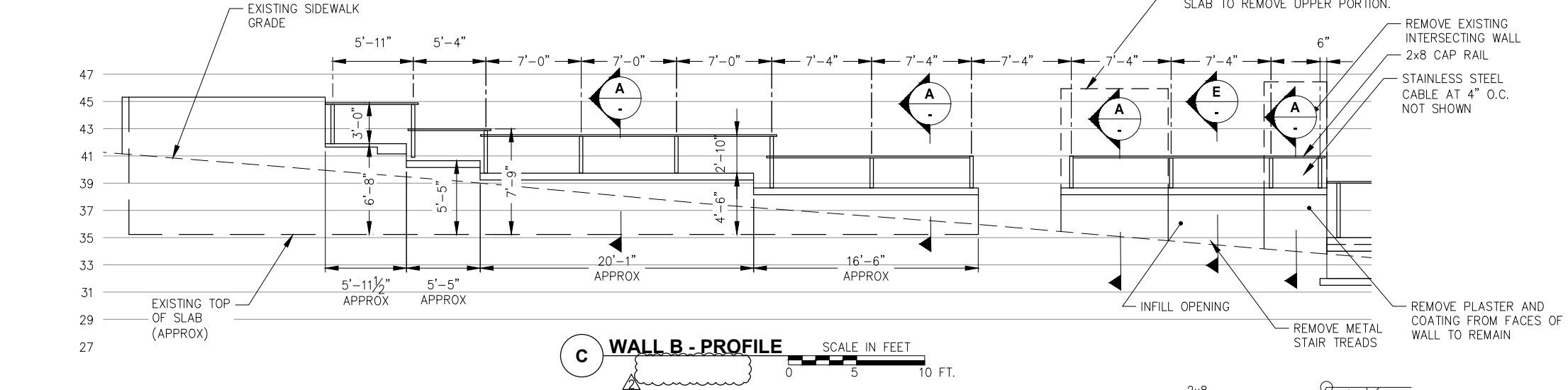
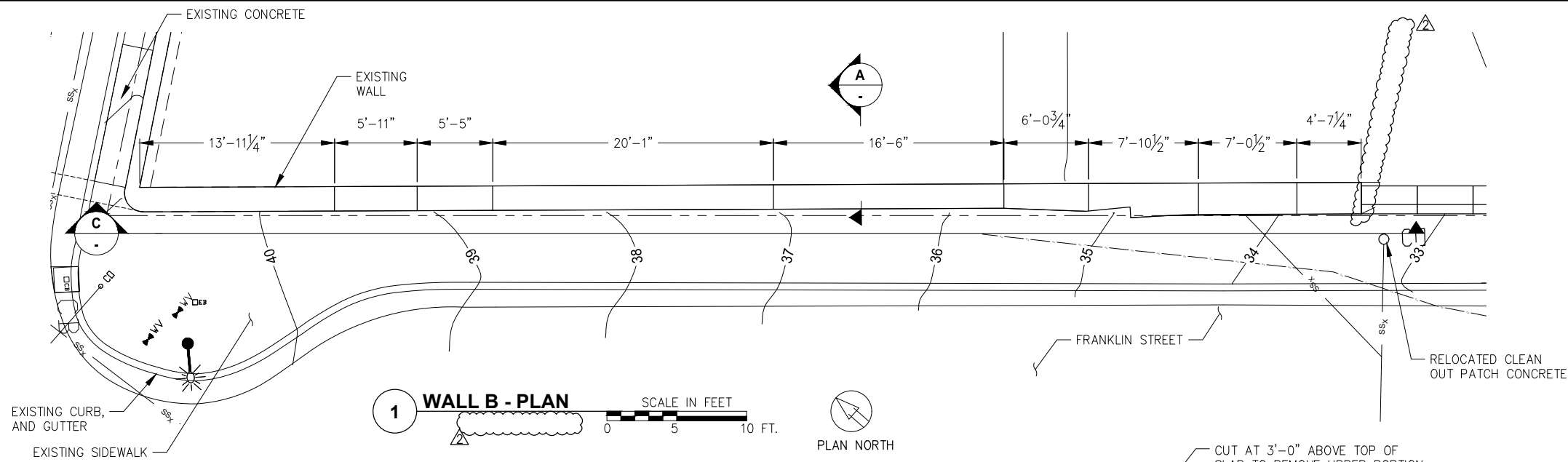


JUNEAU, ALASKA
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SHEET TITLE: **WALL A**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S103



D POST DETAIL SCALE IN INCHES 0 6 12 IN

B POST DETAIL SCALE IN INCHES 0 6 12 IN

E RAIL ALONG FRANKLIN ST SECTION SCALE IN FEET 0 1 2 3

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1	1/08/24	REV 1			
2	2/12/24	REV 2			

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 DRAWN: KLL APPROVED: CMG

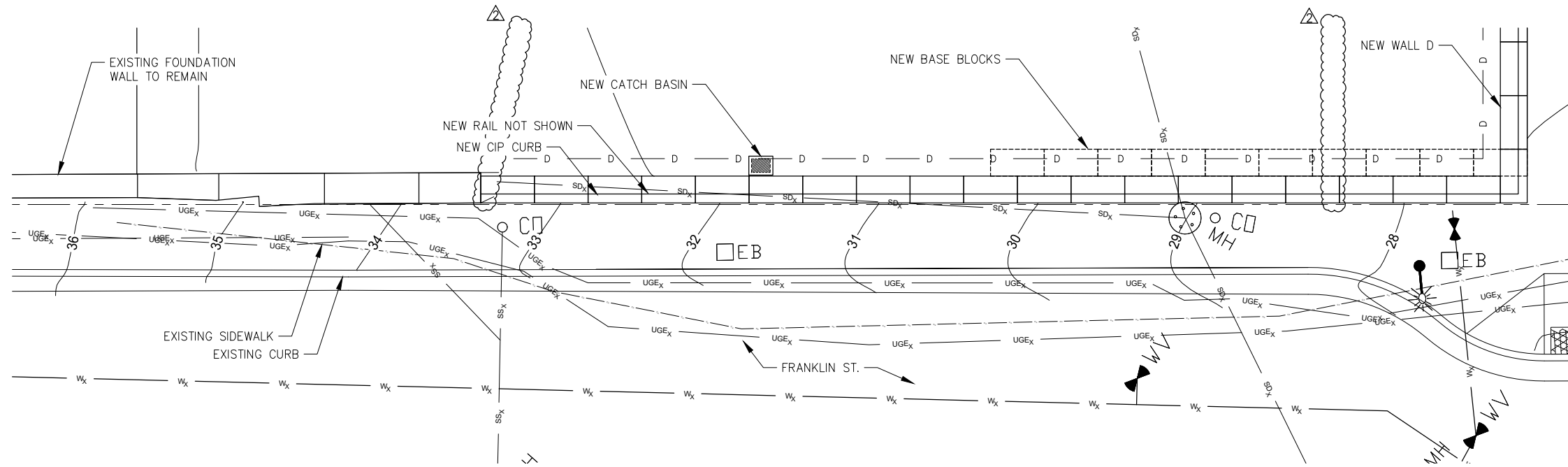


**JUNEAU, ALASKA
 FRANKLIN FOODS LLC IMPROVEMENTS**

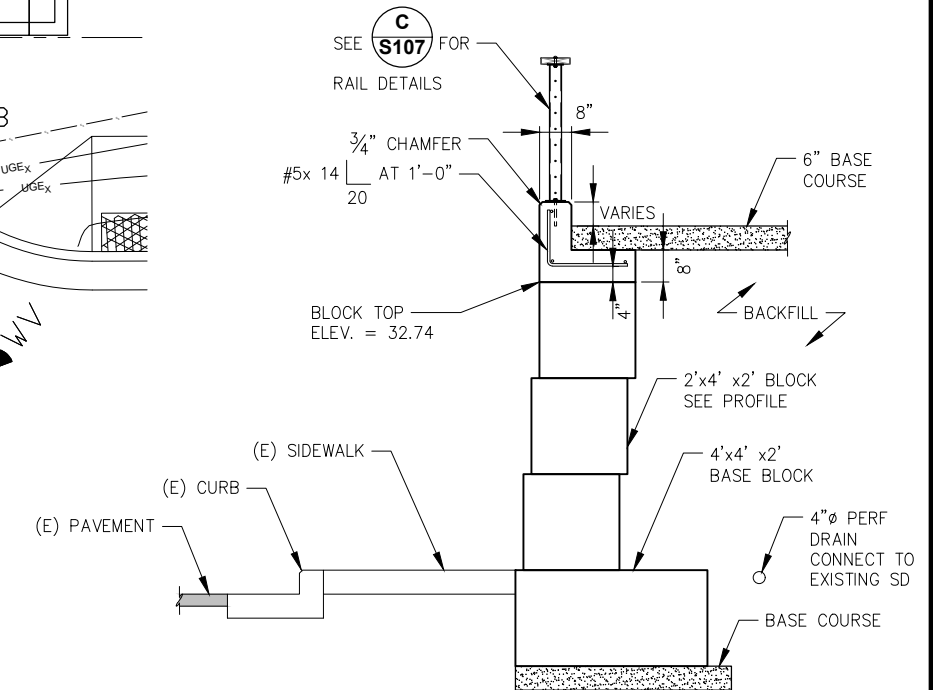
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PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

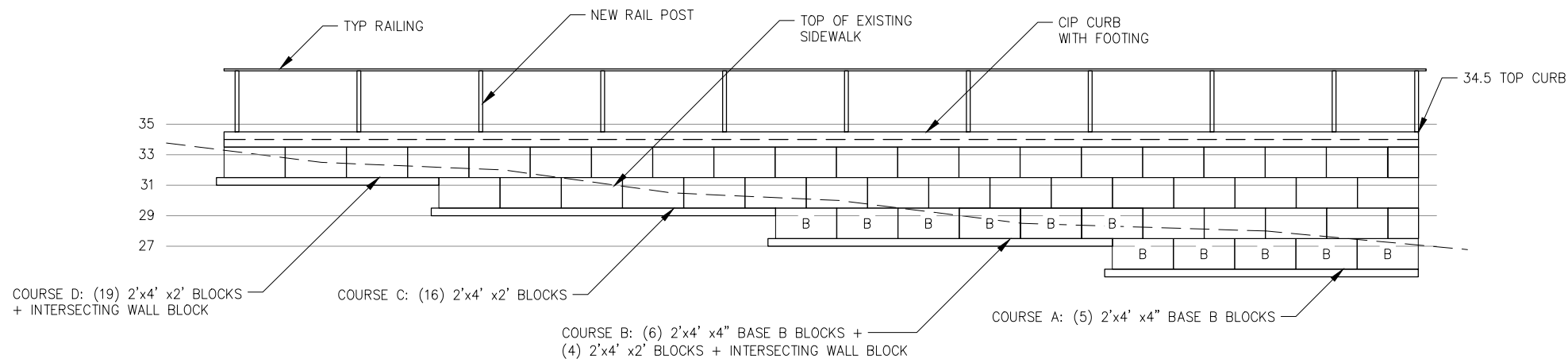
S104



1 WALL C - PLAN SCALE IN FEET
 0 5 10 FT.
 PLAN NORTH



B WALL C SECTION SCALE IN FEET
 0 2' 4'



A WALL C - PROFILE SCALE IN FEET
 0 5 10 FT.

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			

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DESIGN: CMG CHECKED: CMG
 DRAWN: KLL APPROVED: CMG

SCALE:

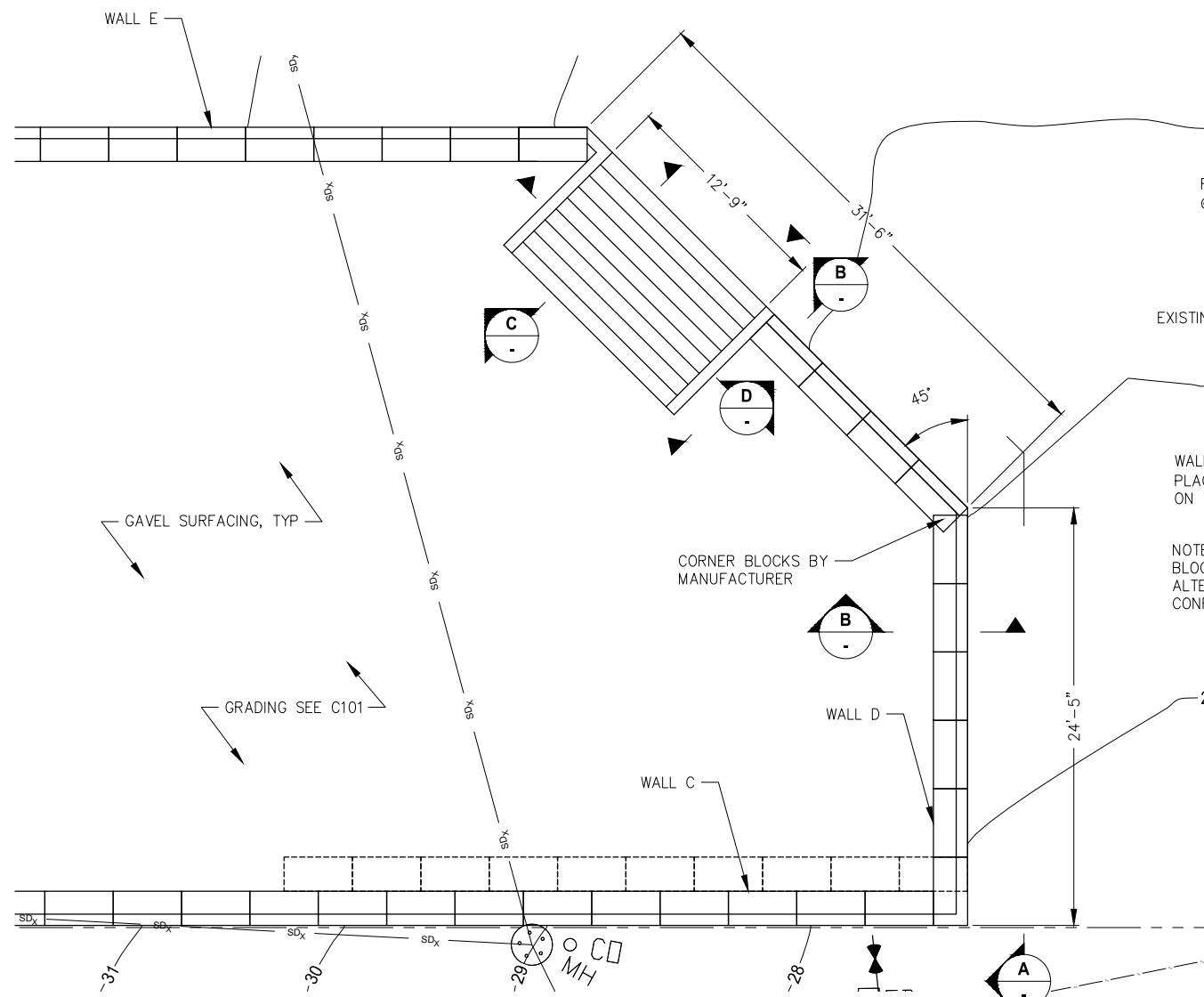


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

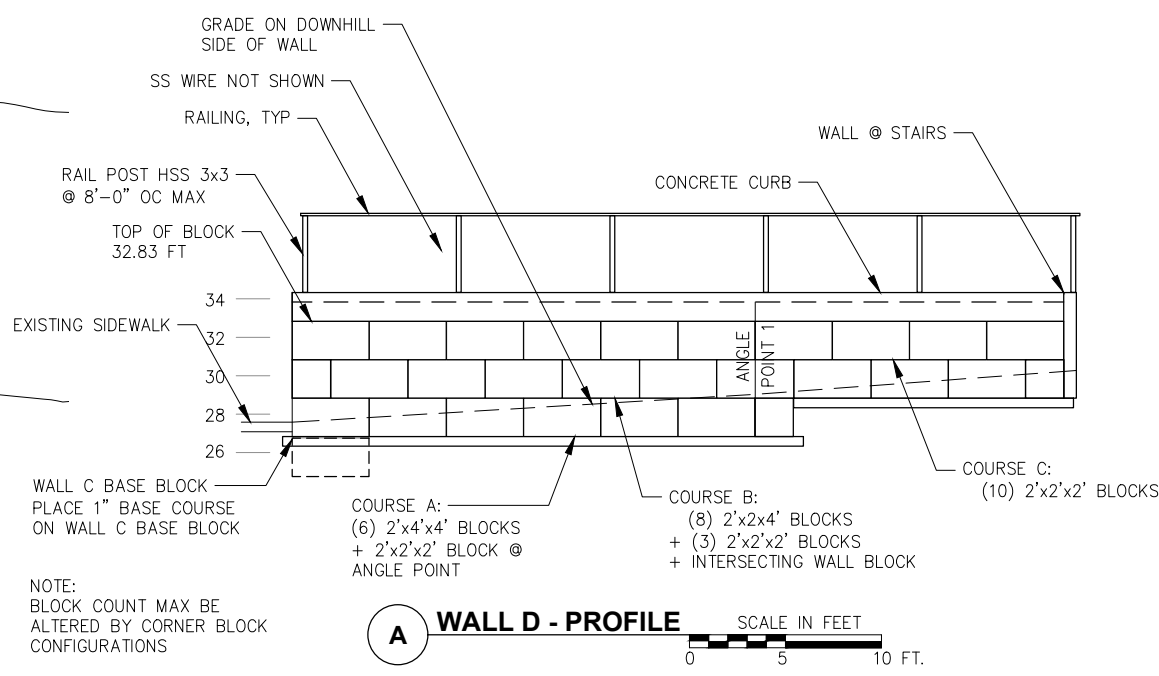
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PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

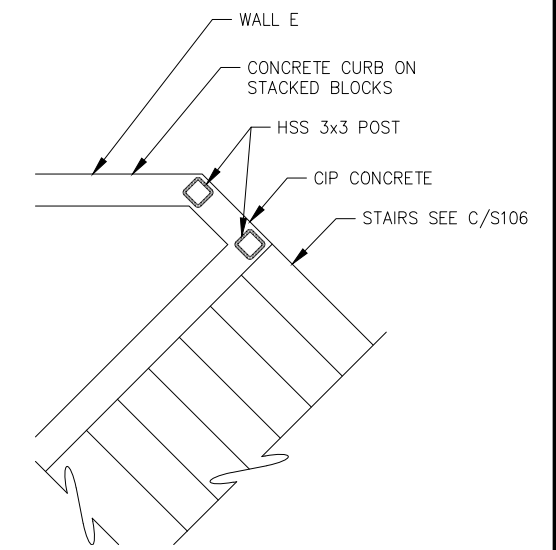
S105



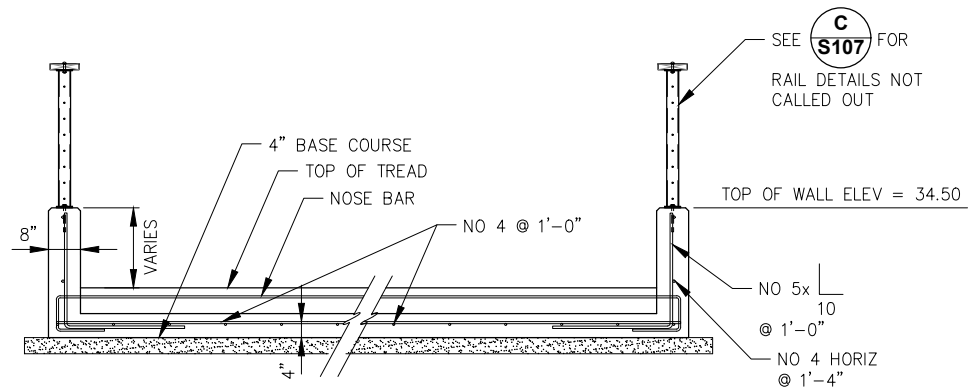
1 WALL D - PLAN SCALE IN FEET
0 5 10 FT.



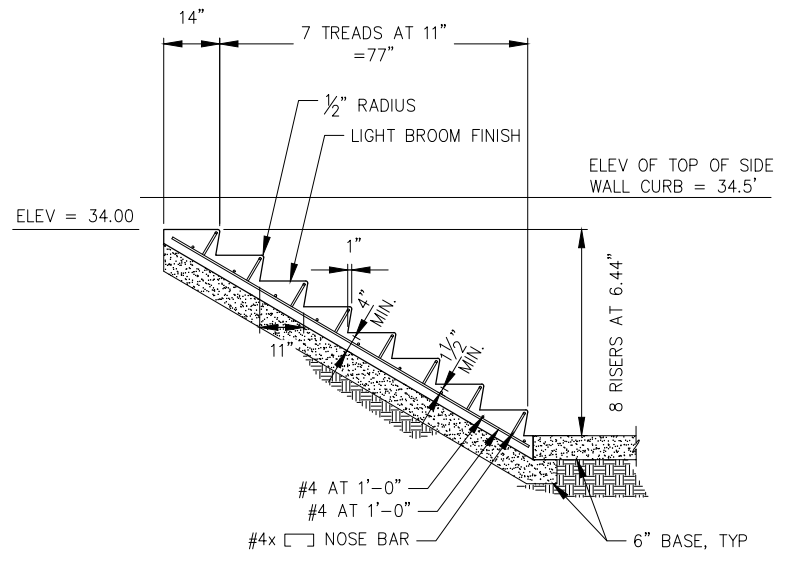
A WALL D - PROFILE SCALE IN FEET
0 5 10 FT.



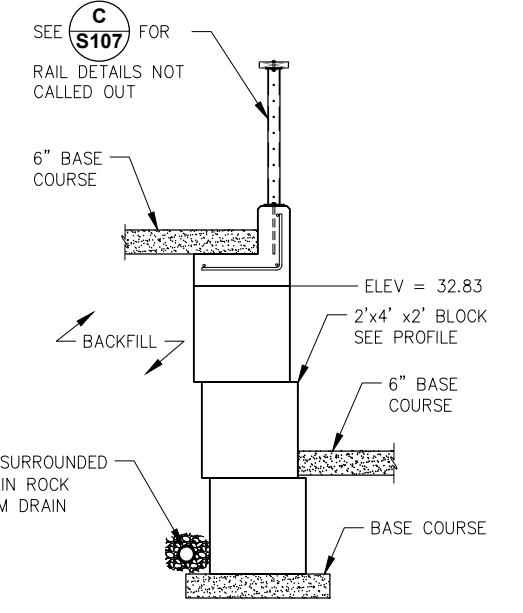
E RAILING PLAN AT STAIRS



D STAIR SECTION SCALE IN FEET
0 2' 4'



C STAIR SECTION SCALE IN FEET
0 2' 4'



B WALL D SECTION SCALE IN FEET
0 2' 4'

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			

PND ENGINEERS, INC.
9360 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com

DESIGN: CMG CHECKED: CMG SCALE:
DRAWN: KLL APPROVED: CMG

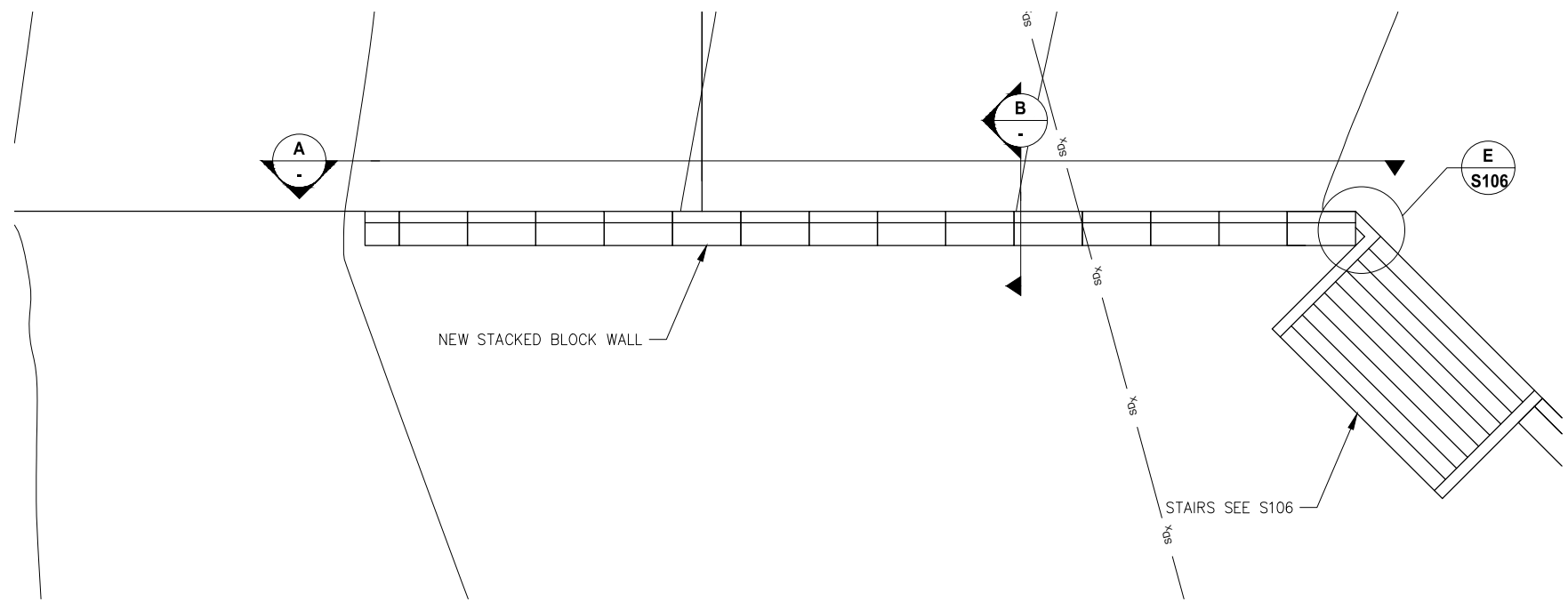


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

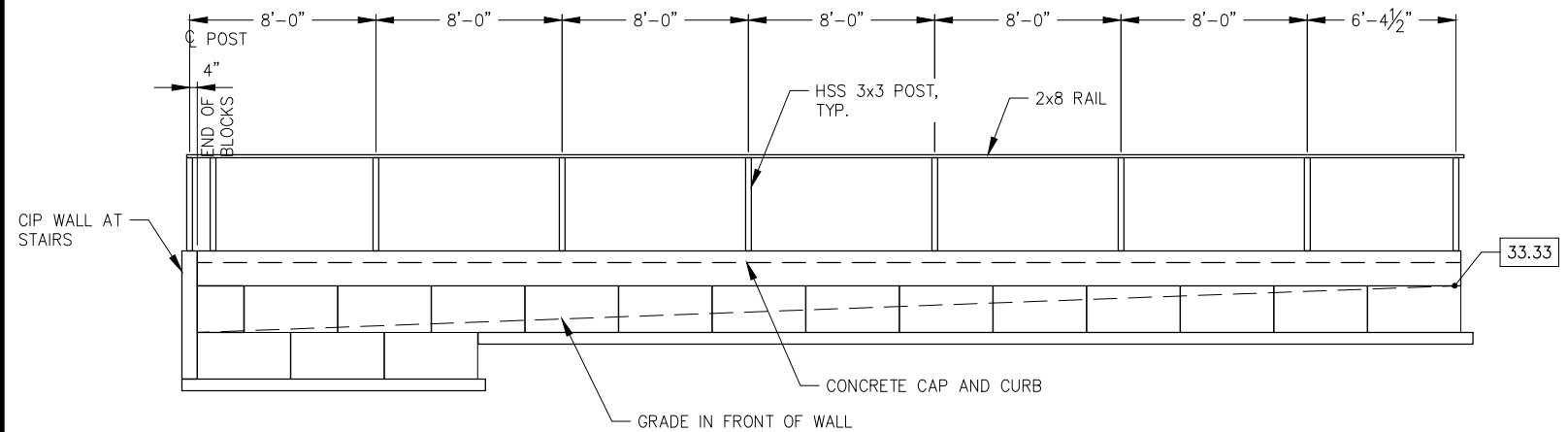
SHEET TITLE: **WALL D**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

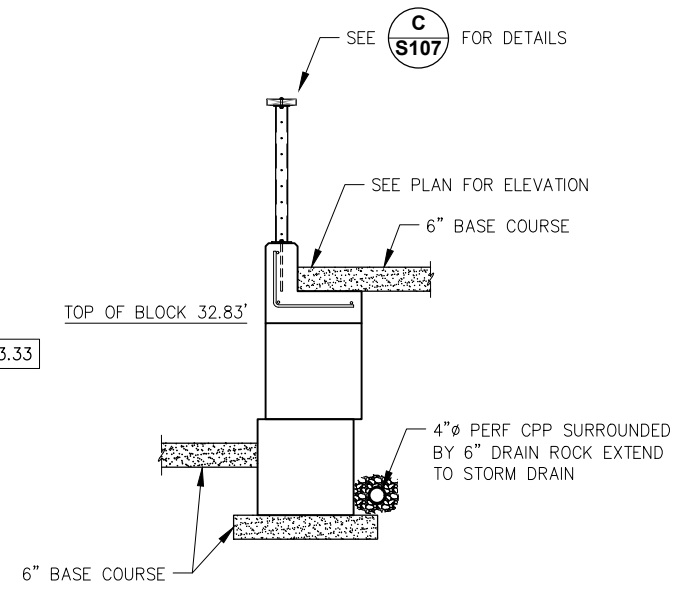
S106



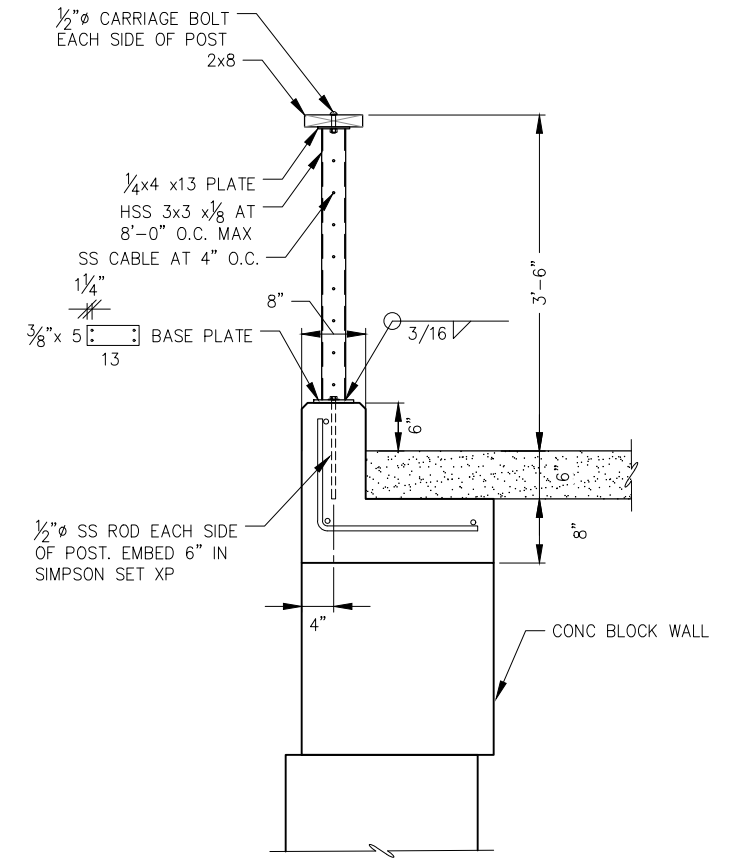
1 WALL E - PLAN
 SCALE IN FEET
 0 5 10 FT.
 PLAN NORTH



A WALL E - ELEVATION
 SCALE IN FEET
 0 4 8 FT.



B WALL E - SECTION
 SCALE IN FEET
 0 2 4



C WALL RAILING TYPICAL SECTION
 SCALE IN INCHES
 0 12 24

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			

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DESIGN: CMG CHECKED: CMG SCALE:
 DRAWN: KLL APPROVED: CMG

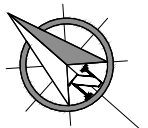
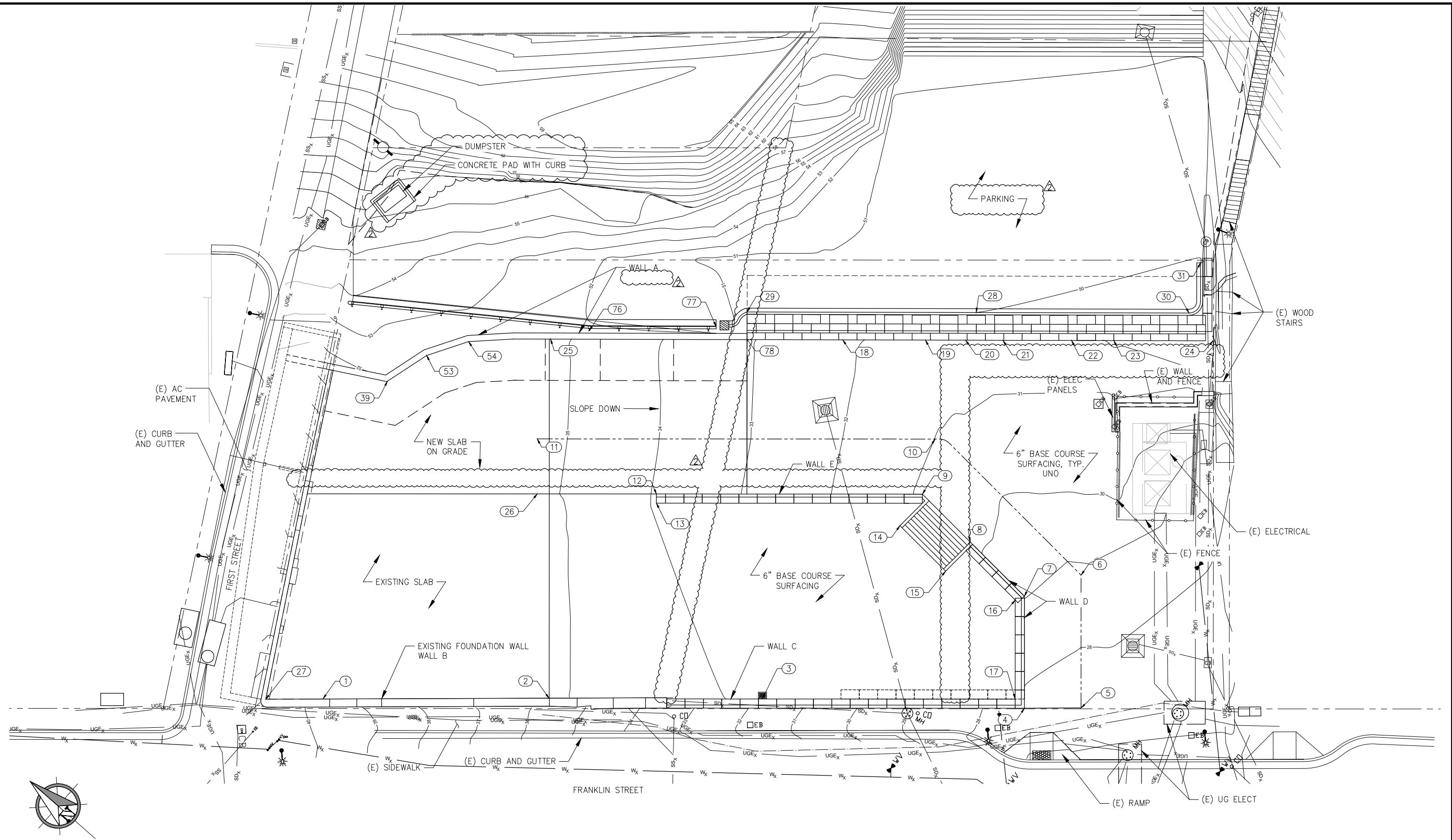


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS


SHEET TITLE: **WALL E**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S107



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
▲	1/08/24	REV 1			
▲	2/12/24	REV 2			


 9360 Glacier Highway Ste 100
 Juneau, Alaska 99801
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pndengineers.com

DESIGN: CMG CHECKED: CMG
 DRAWN: KLL APPROVED: CMG

SCALE: SCALE IN FEET
 0 10 20 FT.



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: **SITE AND GRADING PLAN**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

C100

Attachment M - BLD2023 1002 for retaining walls.

POINT TABLE				
POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION
1	4543.1766	6013.3769	35.23	GRADE AT WALL
2	4506.2200	6045.9873	35.23	ME, SLAB EDGE
3	4471.2269	6076.6659	33.91	CB
4	4426.9281	6112.7934	27.58	GRADE AT WALL
5	4417.6864	6121.0084	27.34	MATCH EXISTING
6	4436.8007	6142.7785	28.79	GB
7	4443.0569	6131.1599	29.03	GRADE AT WALL
8	4459.7518	6132.2443	30.27	GRADE AT WALL
9	4474.4714	6133.2003	30.89	GRADE AT WALL
10	4480.2931	6144.0578	30.99	GB
11	4545.5068	6086.7997	35.23	GB
12	4518.0558	6094.9329	33.94	GRADE AT WALL
13	4516.7323	6093.4267	34.00	GRADE AT WALL
14	4473.5995	6124.8053	34.00	TOP OF STAIRS
15	4459.5608	6123.9226	34.00	TOP OF STAIRS
16	4444.0133	6129.2175	34.00	GRADE AT WALL
17	4429.8024	6113.0321	34.00	GRADE AT WALL
18	4509.7198	6147.0090	32.20	GRADE AT WALL
19	4496.1327	6158.8870	31.43	GRADE AT WALL
20	4489.5321	6164.6574	31.45	GRADE AT WALL

POINT TABLE				
POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION
21	4483.4303	6169.9917	31.45	GRADE AT WALL
22	4472.1462	6179.8565	31.50	GRADE AT WALL
23	4465.2063	6185.9234	32.13	GRADE AT WALL
24	4448.9214	6200.1599	33.00	GRADE AT WALL
25	4557.7025	6105.0618	35.23	GRADE AT WALL
26	4537.5903	6077.7851	35.23	GB
27	4552.5055	6005.0643	41.46	GRADE AT WALL
28	4491.7925	6170.6991	50.00	GB
29	4529.4088	6137.8144	49.98	GB
30	4456.8517	6201.2512	49.98	GB
31	4462.1955	6211.1344	49.98	GB
39	4578.3557	6074.6888	35.23	GRADE AT WALL
53	4575.6302	6084.5373	35.23	GRADE AT WALL
54	4570.7613	6092.8636	35.23	GRADE AT WALL
76	4552.5777	6112.0217	52.00	GRADE AT GUARD RAIL
77	4532.3757	6130.9558	51.92	GRADE AT GUARD RAIL
78	4525.4353	6133.2703	33.09	GRADE AT WALL

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
△	1/08/24	REV 1			
△	2/12/24	REV 2			

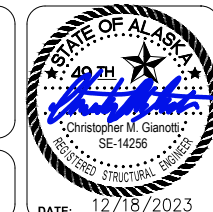


P | N | D
ENGINEERS, INC.

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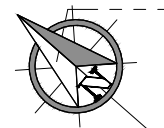
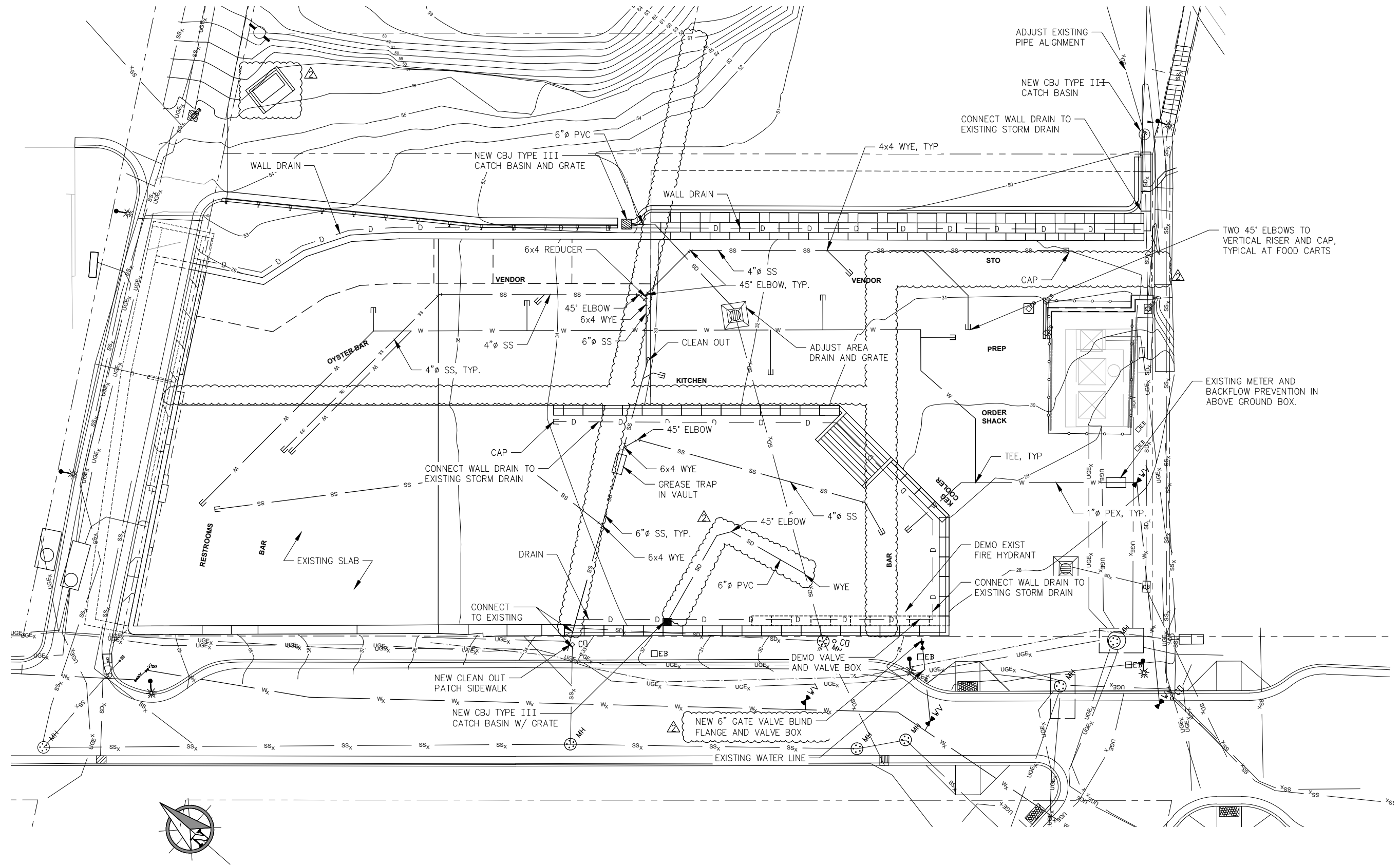
JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
LAYOUT TABLE

C202

PND PROJECT NO.: 222070

C.A.N. NO.: AECC250



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			

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ENGINEERS, INC.

9360 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com

DESIGN: CMG CHECKED: CMG
DRAWN: KLL APPROVED: CMG

SCALE: SCALE IN FEET
0 10 20 FT.

DATE: 12/18/2023



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
UTILITY PLAN

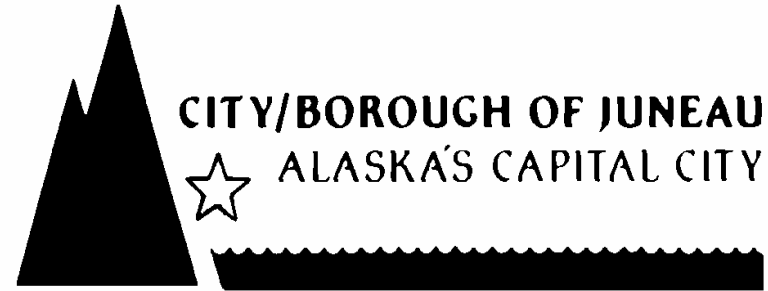
PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

U201

Attachment M - BLD2023 1002 for retaining walls.

Permit Center
230 S. Franklin, 4th Floor
Marine View Center
PHONE 586-0770

INSPECTIONS
586-1703



POSTING NOTICE OF BUILDING PERMIT

BLD20240073

Permit No.

Underground Electrical Only for Current and Future Food Park

For

109 S FRANKLIN ST

Address

2/26/2024

MUST BE POSTED IN A CONSPICUOUS PLACE THROUGHOUT CONSTRUCTION

Attachment N - BLD2024 0073 for underground electrical.

Case No: **BLD20240073**

Site Address: 109 S FRANKLIN ST

Parcel No: 1C070A130030

Desc: Underground Electrical Only for Current and Future Food Park

Commercial _____ ELEC _____ New Dwelling Units: 0 0
 FCC Code: 437 VB Existing Dwelling Units: _____
 Type of Construction: _____ Occupancy Class: _____
 Sprinkler Substitute for Type A Construction: YES NO
 Sprinkler System: FULL PARTIAL NONE Required: YES NO
 Alarm System: FULL PARTIAL NONE Required: YES NO
 Code Edition: 2020 NEC Code Review by: JH Date: 02/22/2024

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
			7,000.00
Total Valuation:			\$7,000.00

<p>LAND USE</p> <p>ZONE/UNITS <u> </u> MU / 0</p> <p>WETLAND <u> </u></p> <p>FLOOD ELEV <u> </u></p> <p>FIRM ZONE <u> </u></p> <p>FIRM MAP <u> </u></p> <p>LOT SIZE <u>11,048 SF</u></p> <p><u>0.3 ACRES</u></p> <p>SETBACKS</p> <p>Front <u>0</u></p> <p>Rear <u>0</u></p> <p>Side <u>0</u></p> <p>Other <u> </u></p> <p>PARKING <u> </u></p> <p>ANADROMOUS <u> </u></p> <p>EAGLES NEST <u> </u></p> <p>Coverage <u>Permissible/Conditional</u></p> <p>HEIGHT <u> </u></p> <p>VEGETATION <u> </u></p> <p>HAZARD <u> </u></p>	<p>ENGINEERING/PUB WORKS</p> <p>Dwelling Units: _____</p> <p>Permit # _____</p> <p>WATER:</p> <p>Use: _____</p> <p>Assessment: _____</p> <p>Service Size: _____</p> <p>Meter Size: _____</p> <p>CITY SEWER:</p> <p>Permit #: _____</p> <p>Use: _____</p> <p>Assessment: _____</p> <p>Fixture Units: _____</p> <p>LAND USE PERMITS</p> <p>ADR Case #: _____</p>	<p>PLAN REVIEW APPROVALS</p> <table border="0"> <tr> <td></td> <td>Initials</td> <td>Date</td> </tr> <tr> <td>— Fire</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Zoning</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Engineering</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Water</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Sewer</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Architectural</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Structural</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Plumbing</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Mechanical</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Electrical</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Access</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>— Spcl Insp Form</td> <td>_____</td> <td>_____</td> </tr> </table> <p>APPROVED FOR ISSUANCE</p> <p><i>Jeff Hedger</i></p> <p>Signature _____</p> <p><u>02/22/2024</u></p> <p>Date _____</p>		Initials	Date	— Fire	_____	_____	— Zoning	_____	_____	— Engineering	_____	_____	— Water	_____	_____	— Sewer	_____	_____	— Architectural	_____	_____	— Structural	_____	_____	— Plumbing	_____	_____	— Mechanical	_____	_____	— Electrical	_____	_____	— Access	_____	_____	— Spcl Insp Form	_____	_____	<p>PERMIT ISSUANCE FEES</p> <table border="0"> <tr> <td>— Grading Plan Review Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Adjusted Plan Review Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Fast Track Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Early Start Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Building Permit Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Water Assessment Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Sewer Assessment Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Sewer Inspection Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Grading Permit Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Driveway Permit Fee</td> <td>\$ _____</td> </tr> <tr> <td>— Bond for _____</td> <td>\$ _____</td> </tr> <tr> <td>— Other _____</td> <td>\$ _____</td> </tr> <tr> <td>Total Issuance Fees</td> <td>\$ _____</td> </tr> </table> <p>PERMIT ISSUANCE PAYMENTS</p> <table border="0"> <tr> <td>Date</td> <td>Receipt</td> <td>Check</td> <td>Amount</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> <tr> <td>_____</td> <td>_____</td> <td>_____</td> <td>\$ _____</td> </tr> </table>	— Grading Plan Review Fee	\$ _____	— Adjusted Plan Review Fee	\$ _____	— Fast Track Fee	\$ _____	— Early Start Fee	\$ _____	— Building Permit Fee	\$ _____	— Water Assessment Fee	\$ _____	— Sewer Assessment Fee	\$ _____	— Sewer Inspection Fee	\$ _____	— Grading Permit Fee	\$ _____	— Driveway Permit Fee	\$ _____	— Bond for _____	\$ _____	— Other _____	\$ _____	Total Issuance Fees	\$ _____	Date	Receipt	Check	Amount	_____	_____	_____	\$ _____	_____	_____	_____	\$ _____	_____	_____	_____	\$ _____
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Parcel Tags:

This parcel is located within the Downtown Historic District.

Elk's Lodge
 Elks Lodge 420 Sprinkler Plans 1971

CONDITIONS AND HOLDS ON PERMIT: (Continued on back of sheet)

Reviewed for Code Compliance

Inspections will not be performed without CBJ approved plans on site.

JH

02/22/2024

All Electrical work must comply with the requirements of the **2020 NEC** Code as modified by CBJ Title 19

GENERAL ELECTRICAL REQUIREMENTS
THIS CONTRACT IS FOR ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR INSTALLATION. THE SYSTEM SHALL BE COMPLETE AND FINISHED IN ALL RESPECTS. ALL MATERIALS, EQUIPMENT AND APPARATUS SHALL BE NEW, UNLESS OTHERWISE NOTED.

DRAWINGS: THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. ANY APPARATUS, APPLIANCE, MATERIAL, OR INCIDENTAL ACCESSORIES, NECESSARY TO MAKE THE WORK COMPLETE IN ALL RESPECTS AS DETERMINED BY GOOD TRADE PRACTICE SHALL BE FURNISHED.

EXISTING CONDITIONS: LOCATIONS OF ALL EXISTING SYSTEMS AND EQUIPMENT SHOWN ON THE DRAWINGS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING SYSTEMS AND EQUIPMENT IN THE FIELD AND ADJUST AS NECESSARY.

CODES AND STANDARDS: THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES AND STANDARDS APPLY TO ALL ELECTRICAL WORK: INTERNATIONAL BUILDING CODE (IBC), NATIONAL ELECTRICAL CODE (NEC) AS AMENDED BY THE CITY AND BOROUGH OF JUNEAU.

PERMITS: THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS; AND PAY ALL GOVERNMENT AND STATE SALES TAXES AND FEES WHERE APPLICABLE, AND OTHER COSTS, INCLUDING UTILITY CONNECTION OR EXTENSIONS IN CONNECTION WITH THE WORK, FILE ALL NECESSARY DRAWINGS, PREPARE ALL DOCUMENTS AND OBTAIN ALL NECESSARY APPROVALS OF ALL GOVERNMENTAL AND STATE DEPARTMENTS HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION FOR HIS WORK.

EQUIPMENT: THE DRAWINGS SPECIFY THE BASIS OF DESIGN TO ESTABLISH THE STANDARD OF WORKMANSHIP, FINISH AND DESIGN REQUIRED FOR THE INSTALLATION WHERE THE CONTRACTOR PROPOSES TO DEVIATE (PROVIDE AN EQUIVALENT OR REQUEST FOR SUBSTITUTION) FROM THE EQUIPMENT OR MATERIALS INDICATED, THEY ARE REQUIRED TO SUBMIT A REQUEST FOR SUBSTITUTION IN WRITING.

SUBMITTALS: PREPARE SUBMITTALS IN ELECTRONIC FORMAT. PROVIDE LOGICAL TABS ARRANGED FOR EACH PRODUCT CATEGORY. SUBMIT CONDUCTORS AND CABLES, GROUNDING AND BONDING, PANELBOARDS, AND WIRING DEVICES.

WORKMANSHIP: ALL LABOR FOR INSTALLATION OF ELECTRICAL SYSTEMS SHALL BE PERFORMED BY EXPERIENCED, SKILLED TRADESMEN UNDER THE SUPERVISION OF A LICENSED JOURNEYMAN FOREMAN. ALL WORK SHALL BE OF A QUALITY CONSISTENT WITH GOOD TRADE PRACTICE AND SHALL BE INSTALLED IN A NEAT, WORKMANLIKE MANNER.

AS-BUILT DRAWINGS: MAINTAIN A CLEAN, UNDAMAGED SET OF PRINTS OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS. MARK THE SET TO SHOW THE ACTUAL INSTALLATION WHERE THE INSTALLATION VARIES SUBSTANTIALLY FROM THE WORK AS ORIGINALLY SHOWN. MARK WHICHEVER DRAWING IS MOST CAPABLE OF SHOWING CONDITION FULLY AND ACCURATELY. GIVE PARTICULAR ATTENTION TO CONCEALED ELEMENTS THAT WOULD BE DIFFICULT TO MEASURE AND RECORD AT A LATER DATE.

WARRANTY: THE CONTRACTOR SHALL WARRANTY ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER. DURING THIS GUARANTEE PERIOD, ALL DEFECTS DEVELOPING THROUGH FAULTY EQUIPMENT, MATERIALS OR WORKMANSHIP SHALL BE CORRECTED OR REPLACED WITHOUT EXPENSE TO THE OWNER.











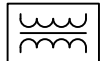

COPPER BUILDING WIRE
A. CONDUCTORS: COPPER, COMPLYING WITH ASTM B3 FOR BARE ANNEALED COPPER.
B. FEEDERS AND BRANCH CIRCUITS: TYPE THHN/THWN-2, SINGLE CONDUCTORS IN CONDUIT.

CONDUIT
A. OUTDOORS EXPOSED TO PHYSICAL DAMAGE, GRS OR IMC.
B. OUTDOORS DIRECT BURIED, PVC-40.

PANELBOARDS
A. NEMA 3R, LIGHTING AND APPLIANCE BRANCH-CIRCUIT TYPE.
B. DOOR-IN-DOOR CONSTRUCTION WITH CONCEALED HINGES.

WIRING DEVICES
A. COVER PLATES: NEMA 3R WEATHERPROOF, IN-USE COVER, PADLOCK PROVISION, MIDWEST OUTDOOR POWER OUTLET, OR SIMILAR.
B. VERIFY EXACT CONFIGURATIONS WITH THE OWNER.

LEGEND

-  SIMPLEX RECEPTACLE
-  SPECIAL PURPOSE RECEPTACLE
-  BRANCH CIRCUIT PANELBOARD
-  SERVICE OR DISTRIBUTION EQUIPMENT
-  UTILITY METER
-  JUNCTION BOX
-  HANDHOLE
-  CONDUIT
-  20/1
CIRCUIT BREAKER
-  CONNECTION TO GROUND
-  TRANSFORMER
-  NETWORK INTERFACE DEVICE

ABBREVIATIONS

- A AMPERES
- C CONDUIT
- CB CIRCUIT BREAKER
- EMT ELECTRICAL METALLIC TUBING
- (E) EXISTING
- G GROUND
- GRC GALVANIZED RIGID CONDUIT
- IMC INTERMEDIATE METAL CONDUIT
- KW KILOWATTS
- KVA KILOVOLT-AMPERES
- MLO MAIN LUGS ONLY
- N NEUTRAL (GROUNDED CONDUCTOR)
- NEC NATIONAL ELECTRICAL CODE
- (P) REPLACE
- PH PHASE
- RNC RIGID NON-METALLIC CONDUIT
- TYP TYPICAL
- UL UNDERWRITERS LAB
- UON UNLESS OTHERWISE NOTED
- V VOLTS
- VA VOLT-AMPERES
- W WATT



217 2nd ST, STE 208, JUNEAU, AK 99801
PH: (907) 586-5900 / FAX: (907) 586-5901

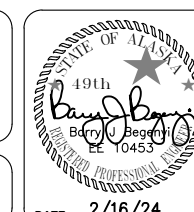
REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.



9360 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com

DESIGN: BJB CHECKED: BJB
DRAWN: BJB APPROVED: BJB

SCALE:



DATE: 2/16/24

JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:

LEGEND AND SPECIFICATIONS

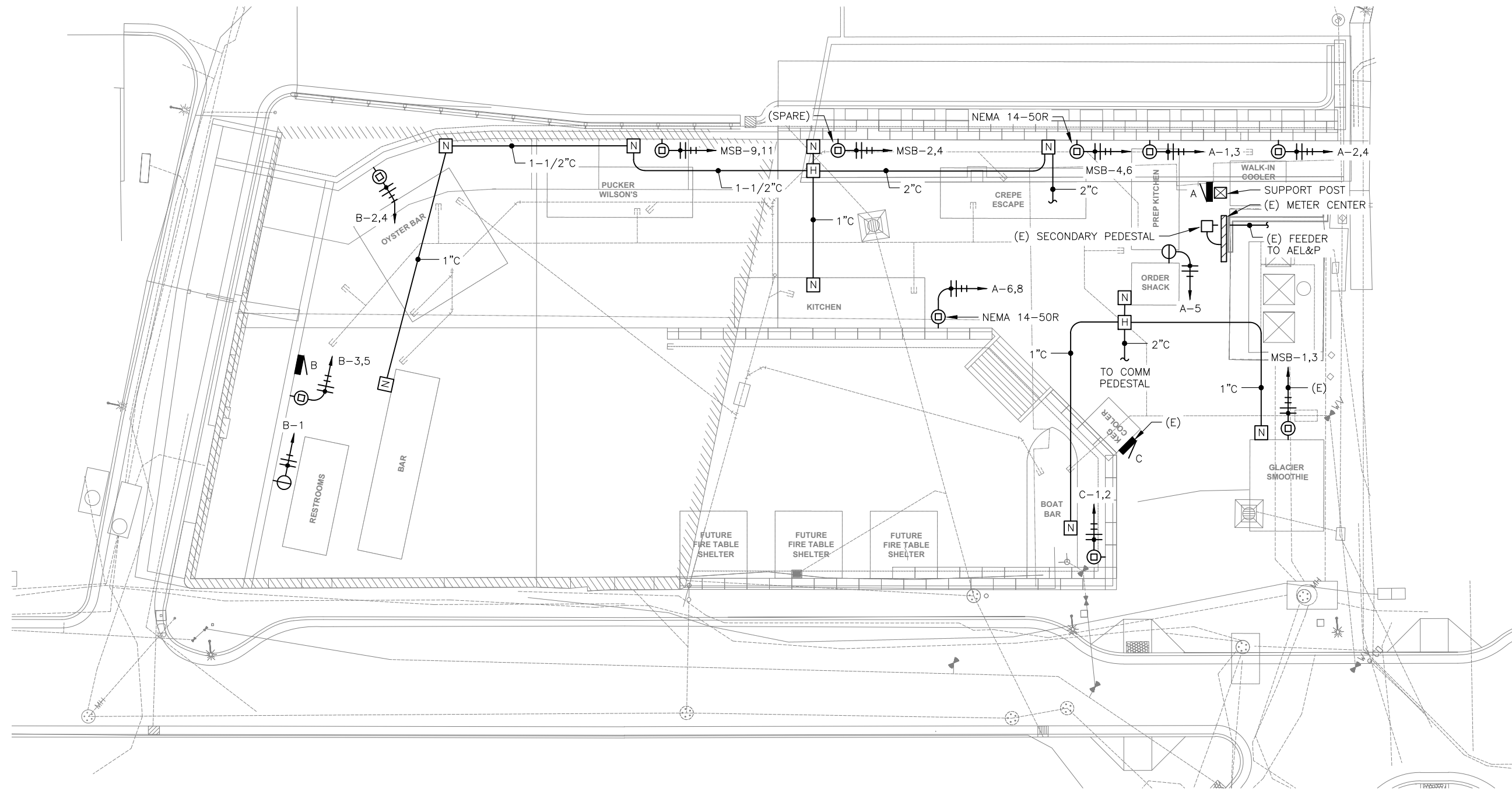
E001

PND PROJECT NO.: 222070

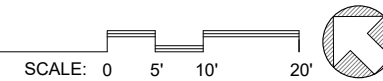
C.A.N. NO.: AECC250

NOTES:

1. VERIFY ALL ROUGH-IN LOCATIONS WITH THE OWNER.
2. THE NETWORK INTERFACE DEVICES AND ASSOCIATED RACEWAYS ARE SHOWN FOR INFORMATION, ONLY. COORDINATE EXACT REQUIREMENTS WITH THE OWNER.



1 SITE PLAN
SCALE: 1" = 10'



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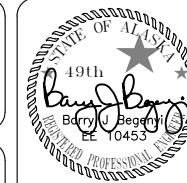


ENGINEERS, INC.

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SCALE:



DATE: 2/16/24

JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:

ELECTRICAL PLAN

E101

PND PROJECT NO.: 222070

C.A.N. NO.: AECC250

METER CENTER (EXISTING)										
POLE NO.	LOAD SERVED	LOAD		PH	CB	LOAD		LOAD SERVED	POLE NO.	
		TYPE	KVA			TYPE	KVA			
1	GLACIER SMOOTHIE	C	3.3	40/2	A	50/2		SPARE	2	
3	----	C	3.3	--	B	--		----	4	
5	PANELBOARD B	S	9.0	100/2	A	50/2	C	4.2	CREPE ESCAPE	6
7	----	S	9.0	--	B	--	C	4.2	----	8
9	PUCKER WILSON'S	C	4.2	50/2	A	225/2	S	24.5	PANELBOARD A (2)	10
11	----	C	4.2	--	B	--	S	24.5	----	12

VOLTAGE:	120/208V, 1P, 3W	LOAD SUMMARY	CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND KVA	NOTES: 1. NEMA 3R ENCLOSURE. 2. REPLACED CIRCUIT BREAKER.
AIC RATING:	10,000	(L) LIGHTING	.	100% OF LOAD	.	
MOUNTING:	SURFACE	(R) RECEPTACLE	.	NEC 220-44	.	
MAIN:	LUGS ONLY	(M) MOTOR	.	NEC 430-24	.	
BUS:	800A	(C) CONTINUOUS	23.4	125% OF LOAD	29.3	
		(N) NON-CONTINUOUS	.	100% OF LOAD	.	
		(S) SUBFEED	67.0	100% OF LOAD	67.0	
		TOTAL	.		96.0	

PANELBOARD A										
POLE NO.	LOAD SERVED	LOAD		PH	CB	LOAD		LOAD SERVED	POLE NO.	
		TYPE	KVA			TYPE	KVA			
1	PREP KITCHEN	C	4.2	50/2	A	30/2	C	2.5	WALK-IN COOLER (2)	2
3	----	C	4.2	--	B	--	C	2.5	----	4
5	ORDER SHACK (2)	C	1.9	20/1	A	50/2	C	4.2	KITCHEN	6
7	SPARE			20/1	B	--	C	4.2	----	8
9	SUBFEED PANELBOARD C	S	8.0	100/2	A	20/1			SPARE	10
11	----	S	8.0	--	B	20/1			SPARE	12

VOLTAGE:	120/208V, 1P, 3W	LOAD SUMMARY	CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND KVA	NOTES: 1. NEMA 3R ENCLOSURE. 2. VERIFY CIRCUIT BREAKER SIZE.
AIC RATING:	10,000	(L) LIGHTING	.	100% OF LOAD	.	
MOUNTING:	SURFACE	(R) RECEPTACLE	.	NEC 220-44	.	
MAIN:	LUGS ONLY	(M) MOTOR	.	NEC 430-24	.	
BUS:	225A	(C) CONTINUOUS	26.0	125% OF LOAD	32.5	
		(N) NON-CONTINUOUS	.	100% OF LOAD	.	
		(S) SUBFEED	16.0	100% OF LOAD	16.0	
		TOTAL	.		49.0	

PANELBOARD B										
POLE NO.	LOAD SERVED	LOAD		PH	CB	LOAD		LOAD SERVED	POLE NO.	
		TYPE	KVA			TYPE	KVA			
1	RESTROOMS (2)	C	1.9	20/1	A	50/2	C	4.2	OYSTER BAR	2
3	BAR (2)	C	2.1	25/2	B	--	C	4.2	----	4
5	----	C	2.1	--	A	20/1			SPARE	6
7	SPARE			20/1	B	20/1			SPARE	8
9	SPARE			20/1	A	20/1			SPARE	10
11	SPARE			20/1	B	20/1			SPARE	12

VOLTAGE:	120/208V, 1P, 3W	LOAD SUMMARY	CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND KVA	NOTES: 1. NEMA 3R ENCLOSURE. 2. VERIFY CIRCUIT BREAKER SIZE.
AIC RATING:	10,000	(L) LIGHTING	.	100% OF LOAD	.	
MOUNTING:	SURFACE	(R) RECEPTACLE	.	NEC 220-44	.	
MAIN:	LUGS ONLY	(M) MOTOR	.	NEC 430-24	.	
BUS:	100A	(C) CONTINUOUS	14.5	125% OF LOAD	18.1	
		(N) NON-CONTINUOUS	.	100% OF LOAD	.	
		(K) KITCHEN	.	NEC 220-56	.	
		TOTAL	.		18.0	

PANELBOARD C (EXISTING)										
POLE NO.	LOAD SERVED	LOAD		PH	CB	LOAD		LOAD SERVED	POLE NO.	
		TYPE	KVA			TYPE	KVA			
1	BOAT BAR	C	2.4	25/2	A	20/2	C	1.9	OUTSIDE CONDENSER	3
2	----	C	2.4	--	B	--	C	1.9	----	4
5	INDOOR COOLING UNIT	C	1.9	20/1	A	20/1	C	1.9	LIGHTING	6

VOLTAGE:	120/208V, 1P, 3W	LOAD SUMMARY	CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND KVA	NOTES:
AIC RATING:	10,000	(L) LIGHTING	.	100% OF LOAD	.	
MOUNTING:	SURFACE	(R) RECEPTACLE	.	NEC 220-44	.	
MAIN:	LUGS ONLY	(M) MOTOR	.	NEC 430-24	.	
BUS:	100A	(C) CONTINUOUS	12.4	125% OF LOAD	15.5	
		(N) NON-CONTINUOUS	.	100% OF LOAD	.	
		(K) KITCHEN	.	NEC 220-56	.	
		TOTAL	.		16.0	

Provide GFCI protection per 2020 NEC 210.8(B)



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

P | N | D
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DESIGN: <u>BJB</u>	CHECKED: <u>BJB</u>	SCALE:
DRAWN: <u>BJB</u>	APPROVED: <u>BJB</u>	



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SCHEDULES	E301
PND PROJECT NO.: 222070	C.A.N. NO.: AECC250

Case No: **BLD20240085**

Site Address: 127 S FRANKLIN ST

Parcel No: 1C070A130011

Desc: Permanent covered seating for food court

Commercial <u>ADD</u>	New Dwelling Units: <u>0</u>
FCC Code: <u>437</u>	Existing Dwelling Units: <u>0</u>
Type of Construction: _____	Occupancy Class: _____
Sprinkler Substitute for Type A Construction: YES NO	
Sprinkler System: FULL PARTIAL NONE Required: YES NO	
Alarm System: FULL PARTIAL NONE Required: YES NO	
Code Edition: <u>2021 IBC</u> Code Review by: <u>JS</u> Date: <u>3/11/2024</u>	

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
432	Utl & Misc-Carport	43.28	18,696.96
Total Valuation:			\$18,696.96

<p>LAND USE</p> <p>ZONE/UNITS <u>MU / 0</u></p> <p>WETLAND _____</p> <p>FLOOD ELEV _____</p> <p>FIRM ZONE _____</p> <p>FIRM MAP _____</p> <p>LOT SIZE <u>15,952 SF</u> <u>0.4 ACRES</u></p> <p>SETBACKS</p> <p>Front <u>0</u></p> <p>Rear <u>0</u></p> <p>Side <u>0</u></p> <p>Other _____</p> <p>PARKING _____</p> <p>ANADROMOUS _____</p> <p>EAGLES NEST _____</p> <p>Coverage <u>Permissible/Conditional</u></p> <p>HEIGHT _____</p> <p>VEGETATION <u>Permissible/Accessory</u></p> <p>HAZARD _____</p>	<p>ENGINEERING/PUB WORKS</p> <p>Dwelling Units: _____</p> <p>CITY WATER:</p> <p>Permit #: _____</p> <p>Use: _____</p> <p>Assessment: _____</p> <p>Service Size: _____</p> <p>Line Size: _____</p> <p>Meter Size: _____</p> <p>CITY SEWER:</p> <p>Permit #: _____</p> <p>Use: _____</p> <p>Assessment: _____</p> <p>Fixture Units: _____</p>	<p>PLAN REVIEW APPROVALS</p> <table style="width:100%;"> <tr> <td></td> <td style="text-align: center;">Initials</td> <td style="text-align: center;">Date</td> </tr> <tr> <td><input type="checkbox"/> Fire</td> <td style="text-align: center;">TAR</td> <td style="text-align: center;">03/05/2024</td> </tr> <tr> <td><input type="checkbox"/> Zoning</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Engineering</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Water</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Sewer</td> <td></td> <td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Architectural</td> <td style="text-align: center;">JS</td> <td style="text-align: center;">3/11/2024</td> </tr> <tr> <td><input checked="" type="checkbox"/> Structural</td> <td style="text-align: center;">JS</td> <td style="text-align: center;">3/11/2024</td> </tr> <tr> <td><input type="checkbox"/> Plumbing</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Mechanical</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Electrical</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Access</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Spcl Insp Form</td> <td></td> <td></td> </tr> </table> <p style="text-align: center;">APPROVED FOR ISSUANCE</p> <p style="text-align: center;">_____ Signature</p> <p style="text-align: center;">_____ Date</p>		Initials	Date	<input type="checkbox"/> Fire	TAR	03/05/2024	<input type="checkbox"/> Zoning			<input type="checkbox"/> Engineering			<input type="checkbox"/> Water			<input type="checkbox"/> Sewer			<input checked="" type="checkbox"/> Architectural	JS	3/11/2024	<input checked="" type="checkbox"/> Structural	JS	3/11/2024	<input type="checkbox"/> Plumbing			<input type="checkbox"/> Mechanical			<input type="checkbox"/> Electrical			<input type="checkbox"/> Access			<input type="checkbox"/> Spcl Insp Form			<p>PERMIT ISSUANCE FEES</p> <p><input type="checkbox"/> Grading Plan Review Fee \$ _____</p> <p><input type="checkbox"/> Adjusted Plan Review Fee \$ _____</p> <p><input type="checkbox"/> Fast Track Fee \$ _____</p> <p><input type="checkbox"/> Early Start Fee \$ _____</p> <p><input type="checkbox"/> Building Permit Fee \$ _____</p> <p><input type="checkbox"/> Water Assessment Fee \$ _____</p> <p><input type="checkbox"/> Sewer Assessment Fee \$ _____</p> <p><input type="checkbox"/> Sewer Inspection Fee \$ _____</p> <p><input type="checkbox"/> Grading Permit Fee \$ _____</p> <p><input type="checkbox"/> Driveway Permit Fee \$ _____</p> <p><input type="checkbox"/> Bond for _____ \$ _____</p> <p><input type="checkbox"/> Other _____ \$ _____</p> <p style="text-align: right;">Total Issuance Fees \$ _____</p>
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Parcel Tags:
BLD-008589 Remodel 1972

This parcel is located within the Downtown Historic District.

CONDITIONS AND HOLDS ON PERMIT: (Continued on back of sheet)

Scheduled for Historic District Design Review by HRAC on 4.3.2024

CRITERIA

CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU
STRUCTURAL RISK CATEGORY: II

LOADS:
SNOW

GROUND SNOW LOAD: 70 PSF
 THERMAL COEFFICIENT $C_t = 1.2$, (UNHEATED)
 EXPOSURE COEFFICIENT, $C_e = 0.9$ (TERRAIN CATEGORY C, EXPOSED)
 IMPORTANCE, $I_s = 1.0$ (OCCUPANCY CATEGORY II)
 FLAT ROOF SNOW: 53 PSF

WIND LOADS:

ULTIMATE WIND SPEED: 127 MPH
 EXPOSURE: C; $K_z = 0.85$ $K_{zt} = 1.0$; $K_d = 0.85$
 ULTIMATE STATIC PRESSURE, $q_u = 29.8$ PSF
 OPEN STRUCTURE, COMPONENT AND CLADDING WIND FORCES
 TRIBUTARY AREA LESS THAN 9 SF:
 WITHIN 3 FEET OF EAVE: 63 PSF ULT. INWARD PRESSURE
 48 ULT. OUTWARD PRESSURE
 INTERIOR ZONE 49 PSF INWARD PRESSURE
 27 OUTWARD PRESSURE
 TRIBUTARY AREA BETWEEN 9 AND 36 SF:
 WITHIN 3 FEET OF EAVE: 49 PSF ULT. INWARD PRESSURE
 36 PSF ULT. OUTWARD PRESSURE
 INTERIOR ZONE 49 PSF ULT INWARD PRESSURE
 36 PSF ULT OUTWARD PRESSURE
 TRIBUTARY AREA ABOVE 36 SF:
 WITHIN 3 FEET OF EAVE: 32 PSF ULT. INWARD PRESSURE
 24 PSF ULT. OUTWARD PRESSURE
 INTERIOR ZONE 32 PSF ULT INWARD PRESSURE
 24 PSF ULT OUTWARD PRESSURE
 MAIN FORCE RESISTING SYSTEM WIND
 WINDWARD SIDE 30.4 PSF ULT. INWARD PRESSURE
 LEEWARD SIDE 8 PSF ULT OUTWARD PRESSURE

USE 60 % OF ABOVE PRESSURES FOR ALLOWABLE STRESS PRESSURES

SEISMIC LOADS

SITE CLASS: D (FIRM SOILS)
 $S_{ds} = 0.53$ g; $S_{d1} = 0.40$ g
 DESIGN CATEGORY D; IMPORTANCE = 1.0
 $R = 1.5$ (TIMBER FRAME)
 $C_s = 0.32$ g

FOUNDATION:

FOUNDATION HAS BEEN DESIGNED WITH AN ALLOWABLE BEARING PRESSURE OF 2,000 PSF BASED UPON THE ANTICIPATION OF ENCOUNTERING TYPE 4 SOILS (SAND, SILTY SAND, CLAYEY SAND, SILTY

GRAVEL OR CLAYEY GRAVEL) AS DEFINED IN TABLE 11806.2 OF THE INTERNATIONAL BUILDING CODE. CONTRACTOR SHALL VERIFY CONDITIONS AT THE LIMIT OF EXCAVATION AND REPORT TO THE ENGINEER.

STRUCTURAL MATERIALS AND CONSTRUCTION

BASE COURSE

BASE COURSE SHALL CONFORM TO GRADATION C1 OR D1 OF SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION. PLACE BASE COURSE IN ONE LIFT AND COMPACT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY DOUBLE DRUM ROLLER OR PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

CONCRETE

MIXING, PLACING, AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE SUCH TO RESULT IN A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. 28-DAY COMPRESSIVE STRENGTH (f_c') SHALL BE 3,000 PSI. CONCRETE SHALL BE ENTRAINED WITH AIR SO THAT AIR CONTENT WILL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.

PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 1.5 INCHES

STRUCTURAL STEEL

STEEL PLATES SHALL CONFORM TO ASTM A36 AND FABRICATED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE, LATEST EDITION. WELDING SHALL BE IN CONFORMANCE WITH THE AWS D1.1 STRUCTURAL WELDING CODE. AFTER FABRICATION COMMERCIAL BLAST CLEAN AND PRIME WITH INORGANIC ZINC RICH PRIMER, 3 MIL DFT. TOPCOAT WITH EPOXY PAINT WITH COLOR ACCEPTABLE TO OWNER.

TIMBER FRAMING

SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE ALASKA SPRUCE, DOUG FIR OR HEM FIR NO 1 GRADE, TIMBER 5 INCHES AND GREATER IN THICKNESS SHALL BE COASTAL SPRUCE, HEM FIR OR DOUG FIR NO 1 GRADE OR OF A BETTER SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. BOLTS SHALL CONFORM TO

ASTM A307 AND BE GALVANIZED. HOLES FOR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. ALL BOLTS WITH HEAD OR NUT IN CONTACT WITH TIMBER SHALL BE INSTALLED WITH GALVANIZED WASHERS UNDER THE HEAD AND NUTS. ALL NAILED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

PRE-FABRICATED CONNECTORS NOTED IN THE PLANS ARE FABRICATED STEEL OR A PRODUCT OF THE SIMPSON STRONG TIE COMPANY. CONNECTORS MADE BY OTHER MANUFACTURER'S MAY BE CONSIDERED FOR SUBSTITUTION IF THE CONNECTOR HAS EQUAL OR GREATER LOAD CAPACITY, EQUAL OR GREATER CORROSION RESISTANCE AND BE OF AN APPROPRIATE EQUAL CONFIGURATION. SUBMIT ICBO ER FOR REVIEW AND APPROVAL WITH ANY REQUEST FOR SUBSTITUTION.

TIMBER DECK SHALL BE SITKA SPRUCE OR DOUG FIR 2X DECKING WITH TONGUE AND GROOVE SIDE JOINTS. PLACE DECK ONTO RAFTERS IN A CONTROLLED RANDOM LAYOUT: END JOINTS IN THE SAME GENERAL LINE SHALL BE SEPARATED BY AT LEAST 2 INTERVENING COURSES AND END JOINTS SHALL BE MORE THAN 24 INCHES FROM END JOINTS ON ADJACENT COURSES. AT END BAYS EACH PIECE MUST REST ON AT LEAST ONE SUPPORT AND MUST CONTINUE OVER THE FIRST INNER SUPPORT FOR AT LEAST 2 FEET. CONNECT PLANKS TO RAFTERS USING 16D NAILS WITH ONE NAIL TOE NAILED THROUGH THE TONGUE AND GROOVE AND ONE FACE NAILED DIRECTLY TO THE RAFTER. TONGUES SHALL BE ORIENTED UP SLOPE.

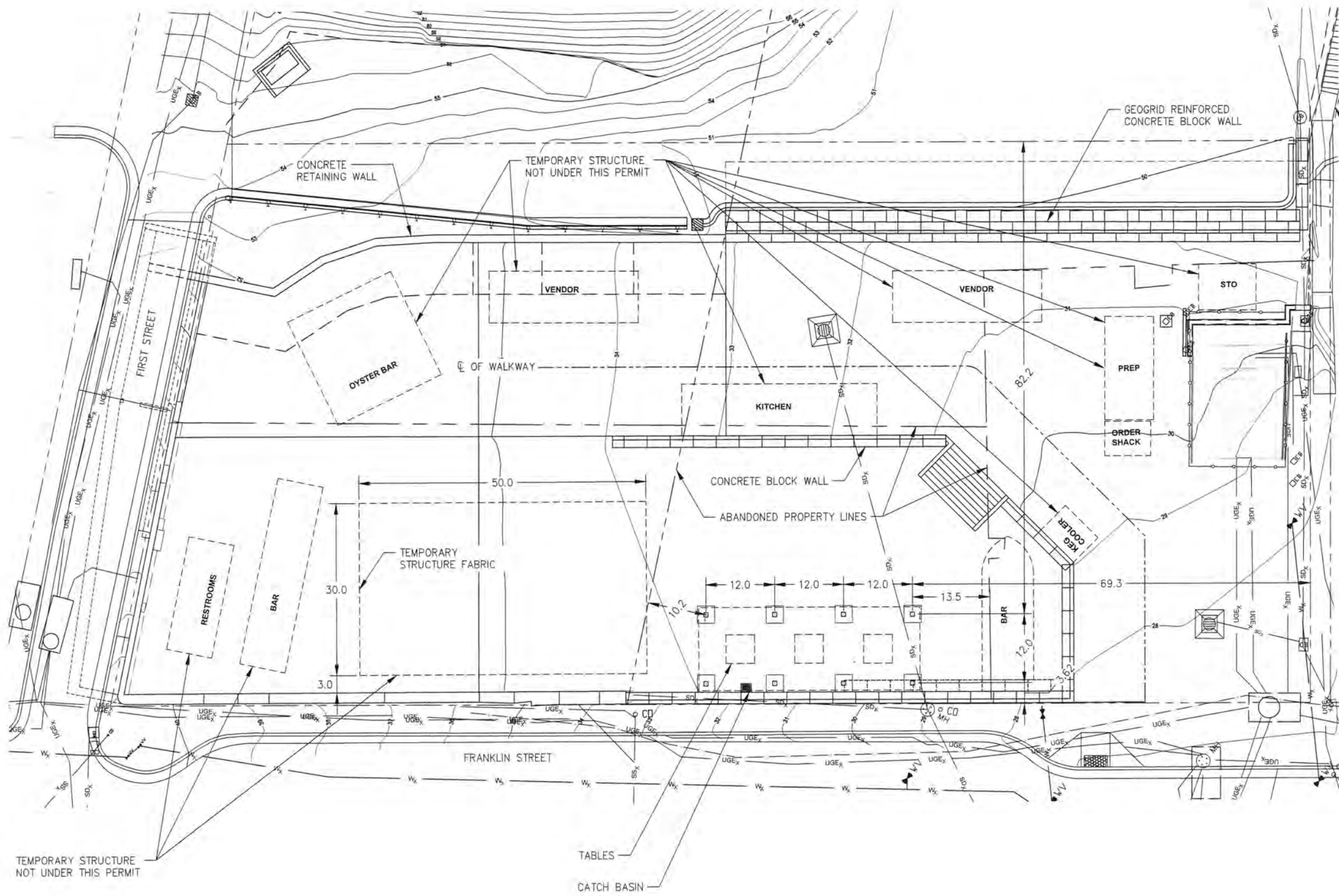
PLYWOOD

PLYWOOD SHALL COMPLY WITH AWA PS1, EXPOSURE 1 RATED SHEATHING. PANELS SHALL BE NAILED WITH SIMPSON N10 NAILS, 6 INCHES ON CENTER AT PANEL EDGES AND IN ROWS 2 FEET ON CENTER AT 6 INCHES ON CENTER.

ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
APA	AMERICAN PLYWOOD ASSOCIATION
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA	AMERICAN WOOD PRESERVERS ASSOCIATION
IBC	INTERNATIONAL BUILDING CODE
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
MAX	MAXIMUM
MIN	MINIMUM
NO	NUMBER
OC	ON CENTER
PS	PRODUCT STANDARD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
STD	STANDARD
TYP	TYPICAL



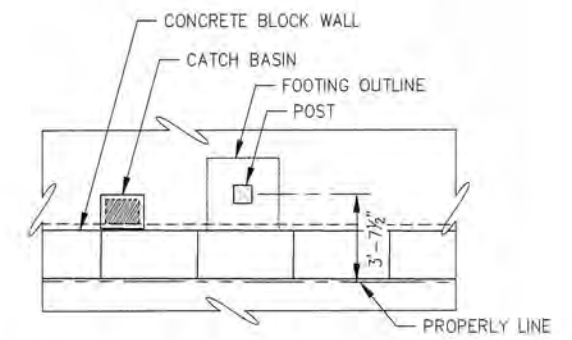


Reviewed for Code Compliance

Inspections will not be performed without CBJ approved plans on site.

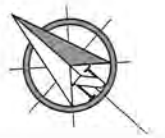
JS

3/11/2024



A FOOTING TABLE SHELTER

SCALE IN FEET
0 4 8 FT.



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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 9360 Glacier Highway Ste 100
 Juneau, Alaska 99801
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pndengineers.com

DESIGN: CMG CHECKED: CMG
 DRAWN: KLL APPROVED: CMG

SCALE: SCALE IN FEET
 0 10 20 FT.

DATE: 2/12/2024

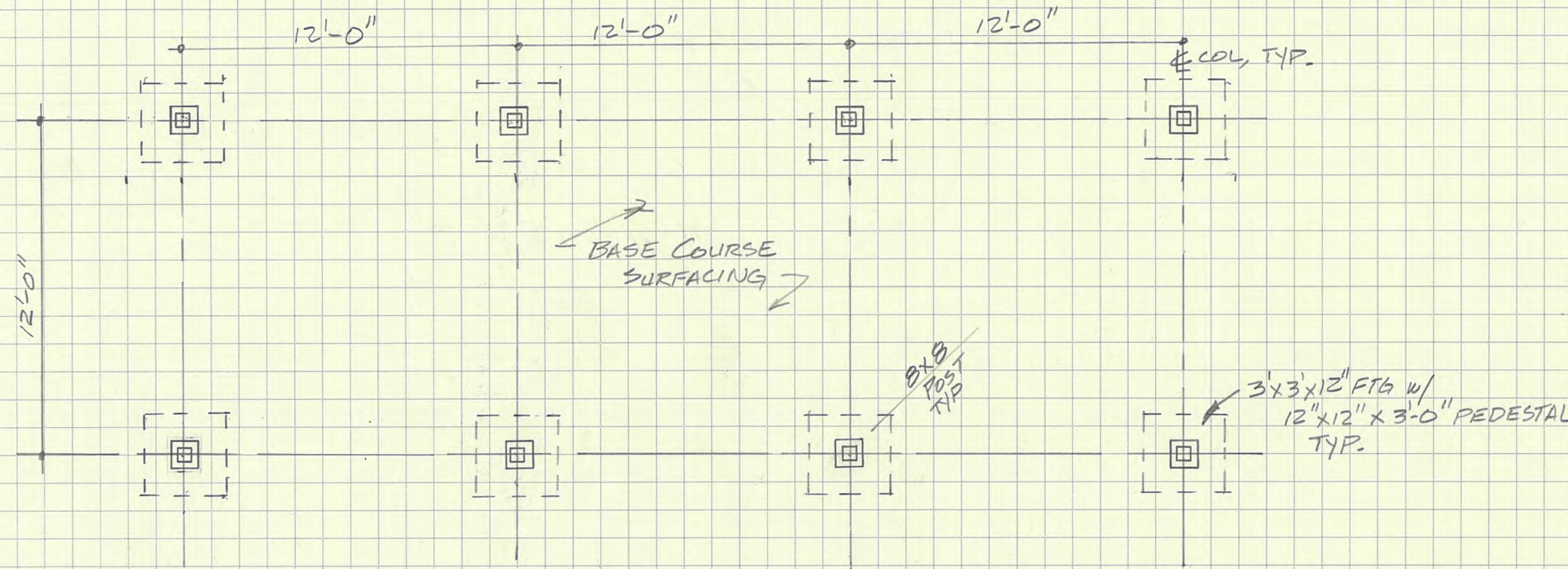


**JUNEAU, ALASKA
TABLE SHELTER**

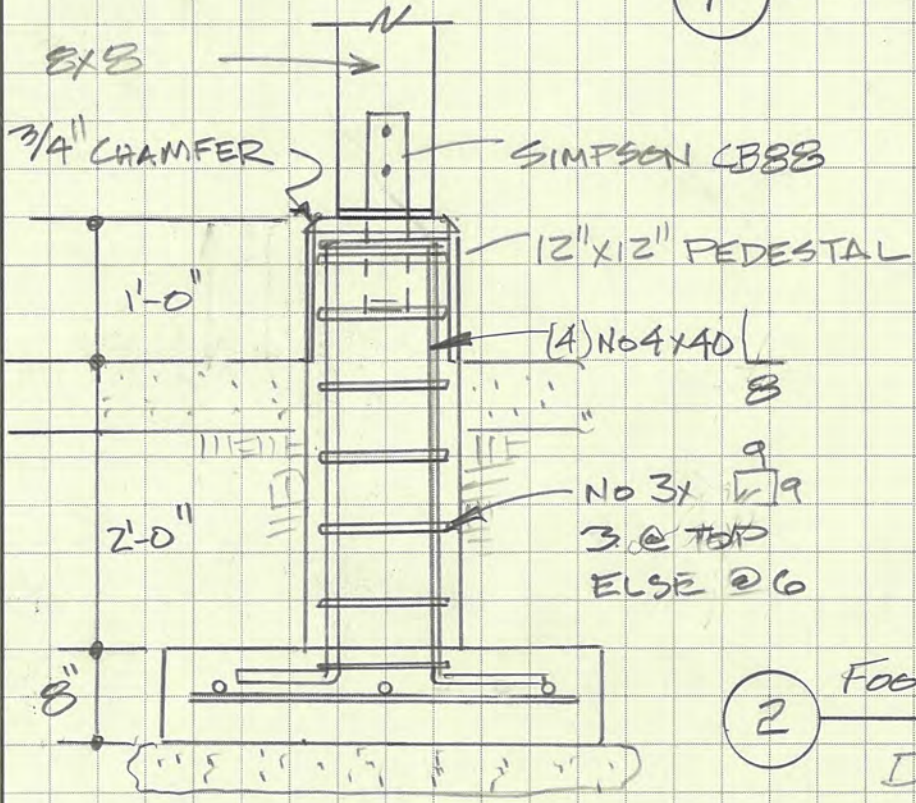
SHEET TITLE:
**TABLE STRUCTURE
SITE PLAN**

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

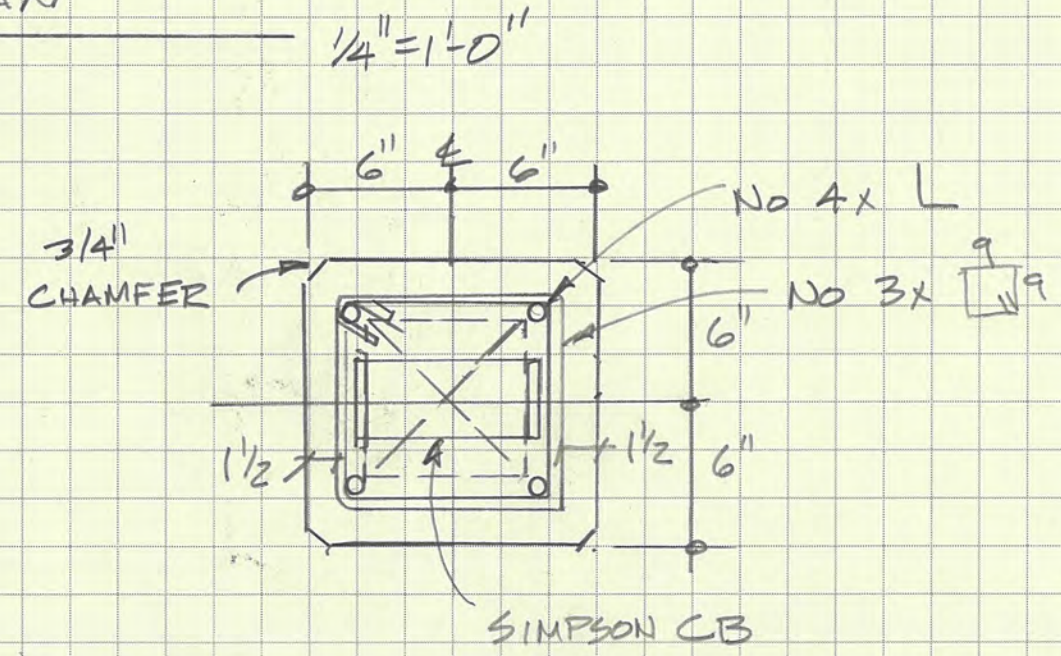
2



1 FOUNDATION PLAN $\frac{1}{4}'' = 1'-0''$



2 FOOTINGS-PEDESTAL DETAIL $\frac{3}{4}'' = 1'-0''$



3 PEDESTAL SECTION



PERATROVICH, NOTTINGHAM & DRAGE, INC.
 3220 Hospital Dr. Suite 200
 JUNEAU, ALASKA 99801
 (907) 586-2093 FAX (907) 586-2099

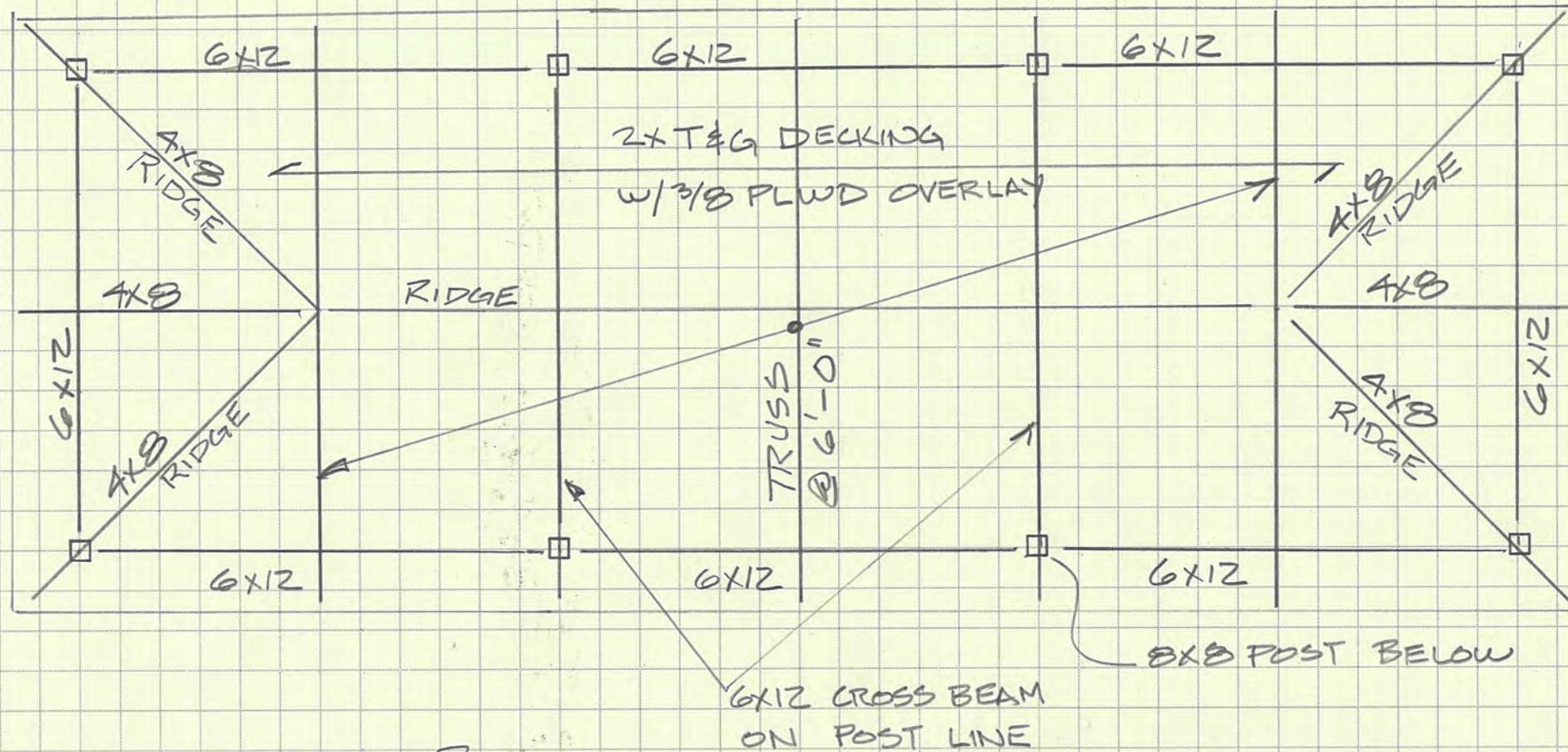
JOB **TABLE SHELTER**

SHEET NO. **3** OF **3**

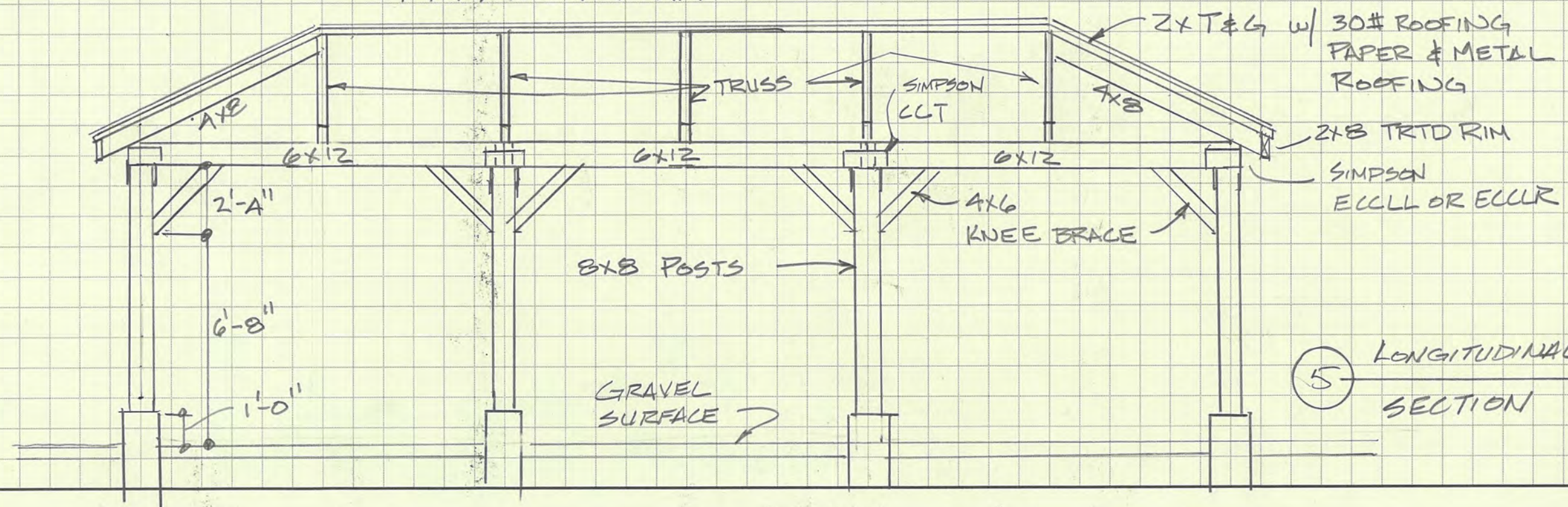
CALCULATED BY **CG** DATE **2-12-2024**

CHECKED BY _____ DATE _____

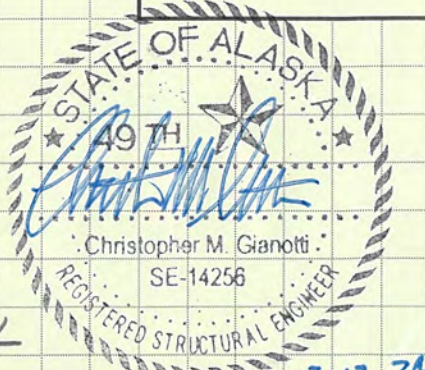
SCALE **AS NOTED**



④ ROOF FRAMING PLAN
 $\frac{1}{4}'' = 1'-0''$

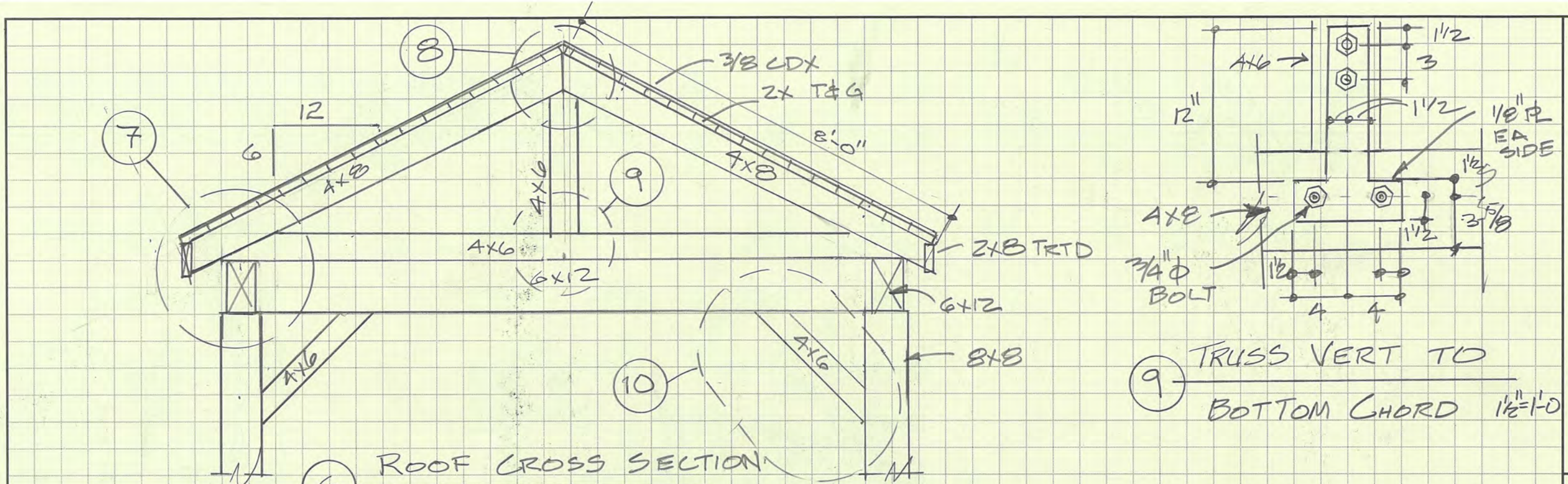


⑤ LONGITUDINAL SECTION
 $\frac{1}{4}'' = 1'-0''$

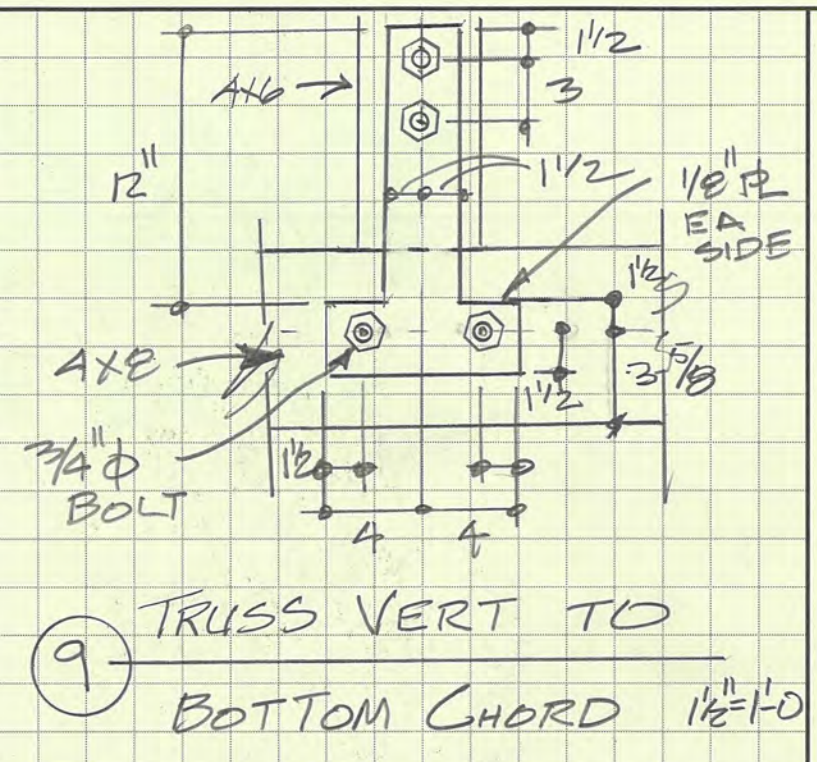


PERATROVICH, NOTTINGHAM & DRAGE, INC.
 3220 Hospital Dr. Suite 200
 JUNEAU, ALASKA 99801
 (907) 586-2093 FAX (907) 586-2099

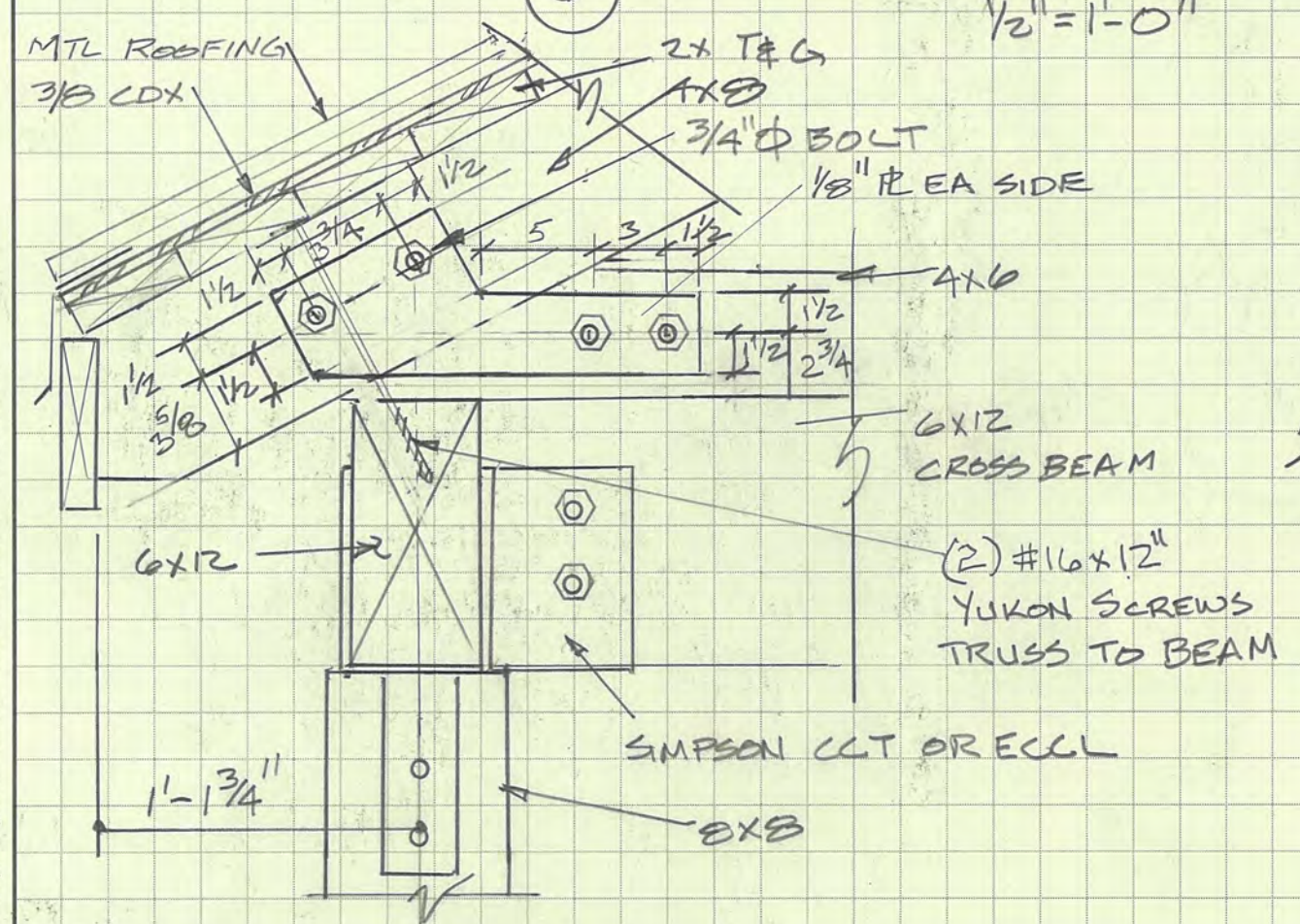
JOB: TABLE SHELTER
 SHEET NO. 4 OF 4
 CALCULATED BY: CG
 CHECKED BY: AS
 DATE: 2-12-2024
 SCALE: AS NOTED



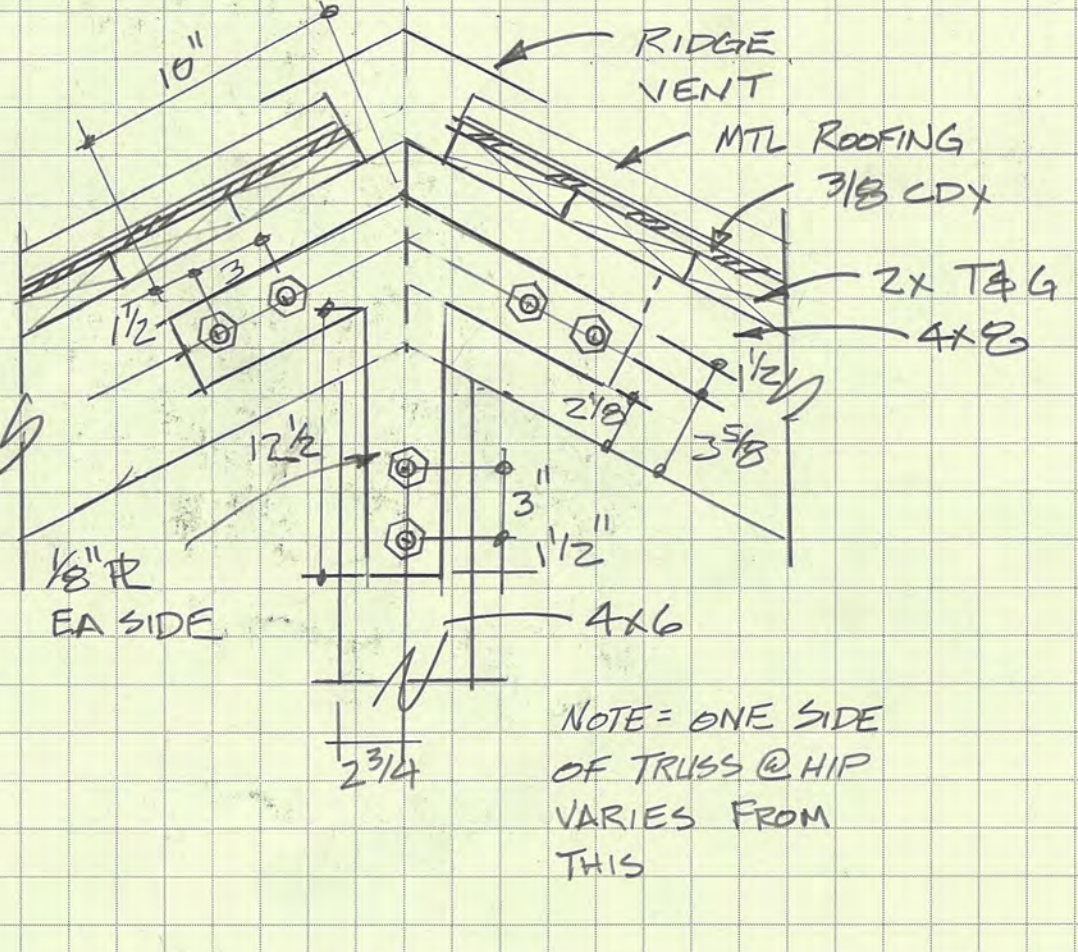
6 ROOF CROSS SECTION
1/2" = 1'-0"



9 TRUSS VERT TO
BOTTOM CHORD 1/2" = 1'-0"



7 TRUSS-EAVE DETAIL
1/2" = 1'-0"



8 TRUSS RIDGE
DETAIL 1/2" = 1'-0"

NOTE = ONE SIDE
OF TRUSS @ HIP
VARIES FROM
THIS

JOB TABLE SHELTER

SHEET NO. 5 OF

CALCULATED BY CG DATE 2-12-2024

CHECKED BY AS NOTED

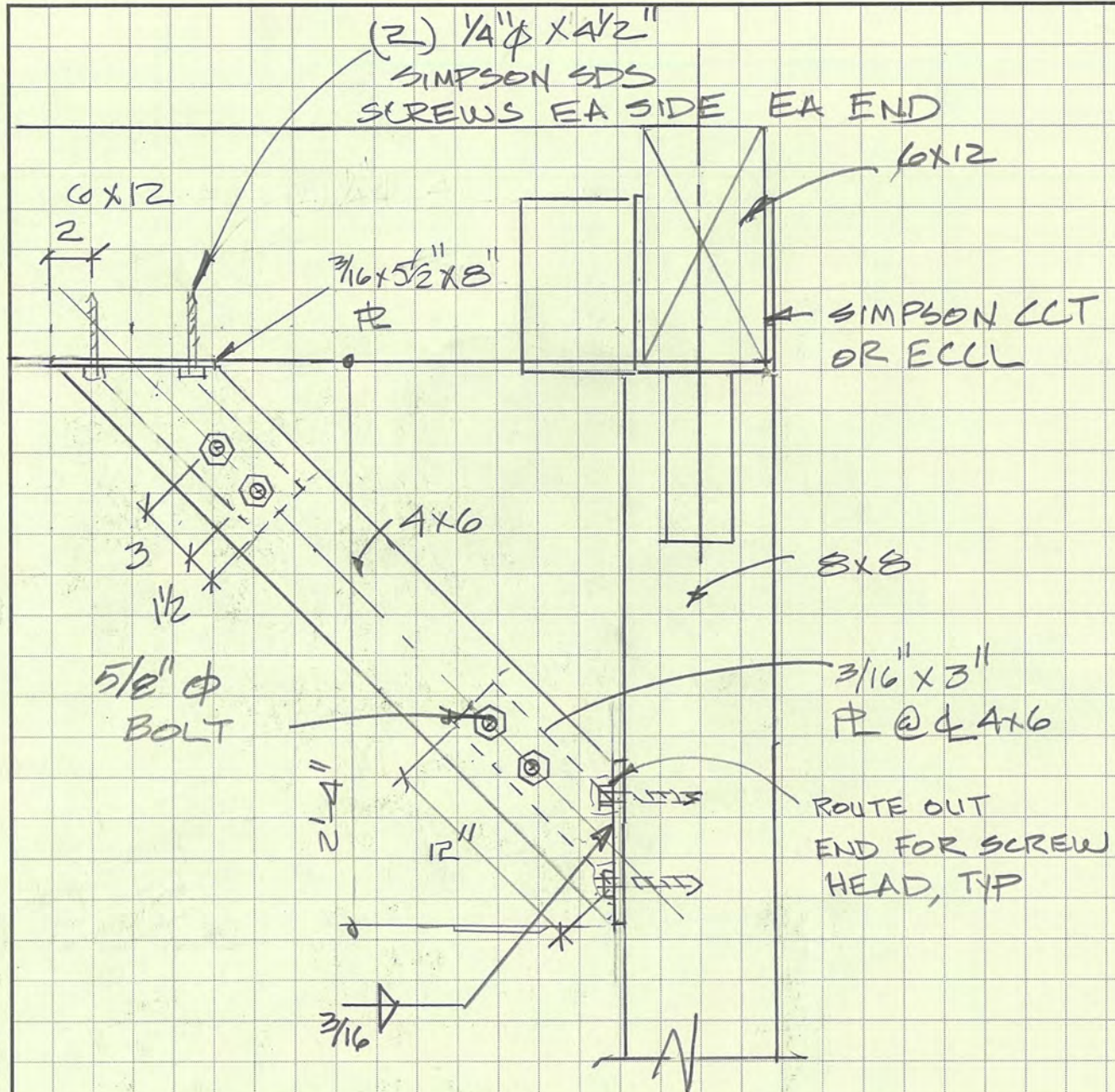
SCALE

PERATROVICH, NOTTINGHAM
& DRAGE, INC.

3220 Hospital Dr. Suite 200
JUNEAU, ALASKA 99801
(907) 586-2093 FAX (907) 586-2099



2-12-24



10 KNEE BRACE
DETAIL

JOB **TABLE SHELTER**

SHEET NO. **6** OF **6** DATE **2-12-2024**

CALCULATED BY **CG**

CHECKED BY **AS NOTED**

SCALE **AS NOTED**

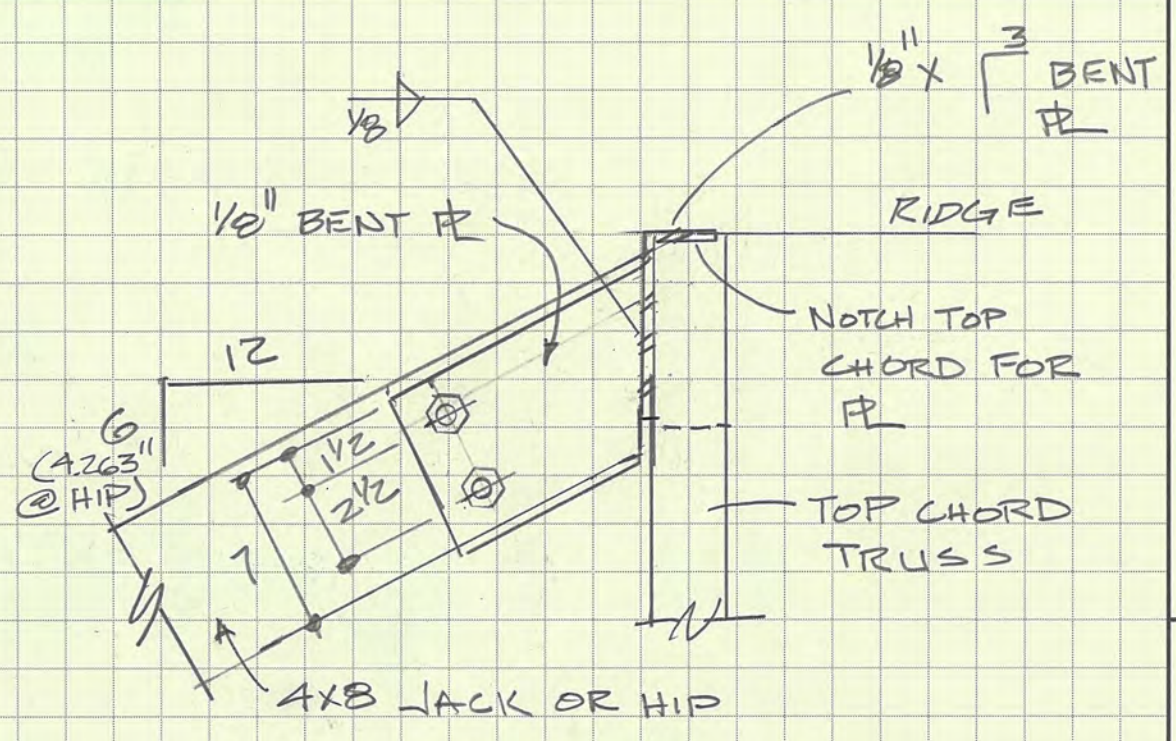
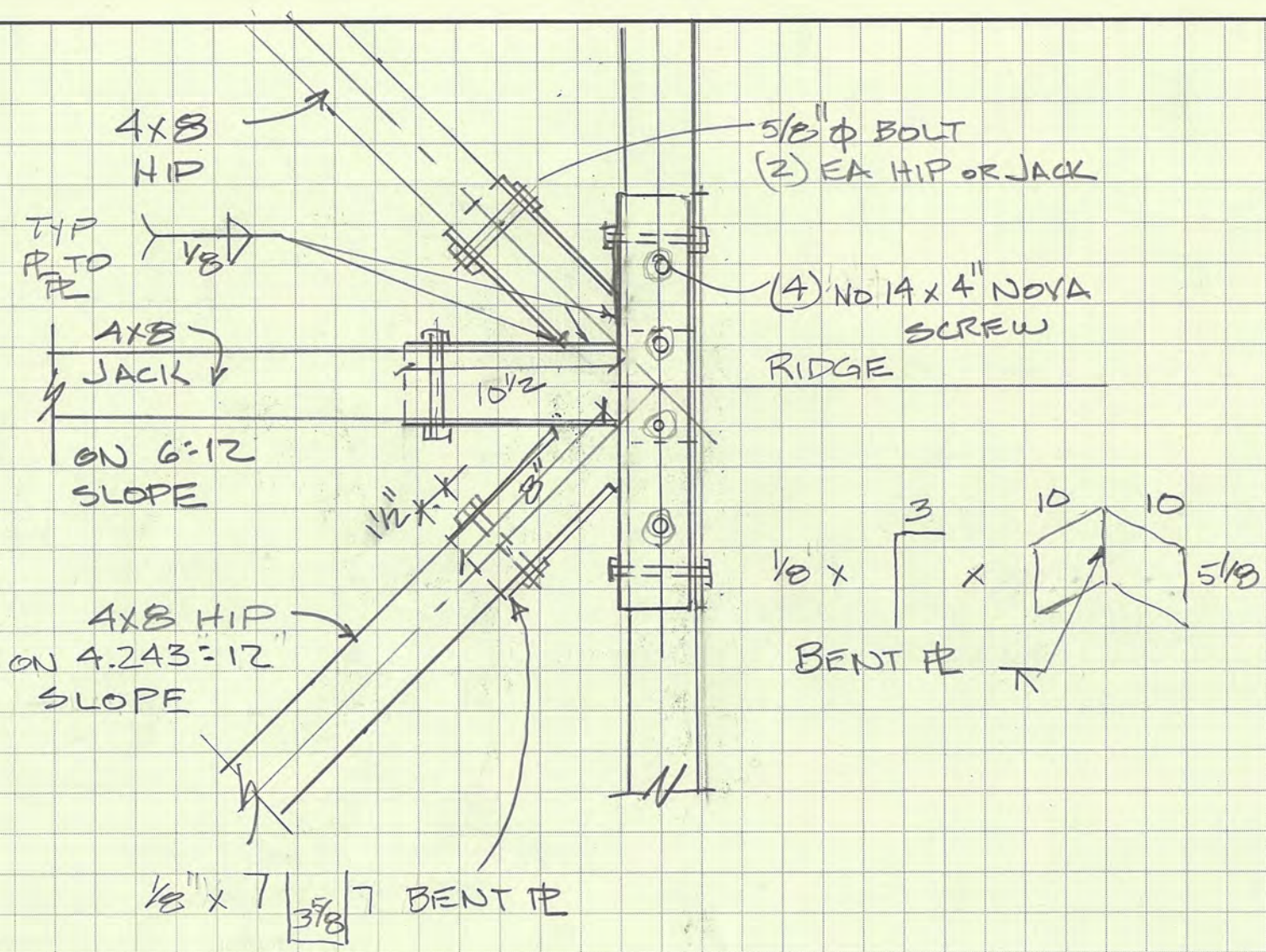
PERATROVICH, NOTTINGHAM & DRAGE, INC.

3220 Hospital Dr. Suite 200
JUNEAU, ALASKA 99801

(907) 586-2093 FAX (907) 586-2099

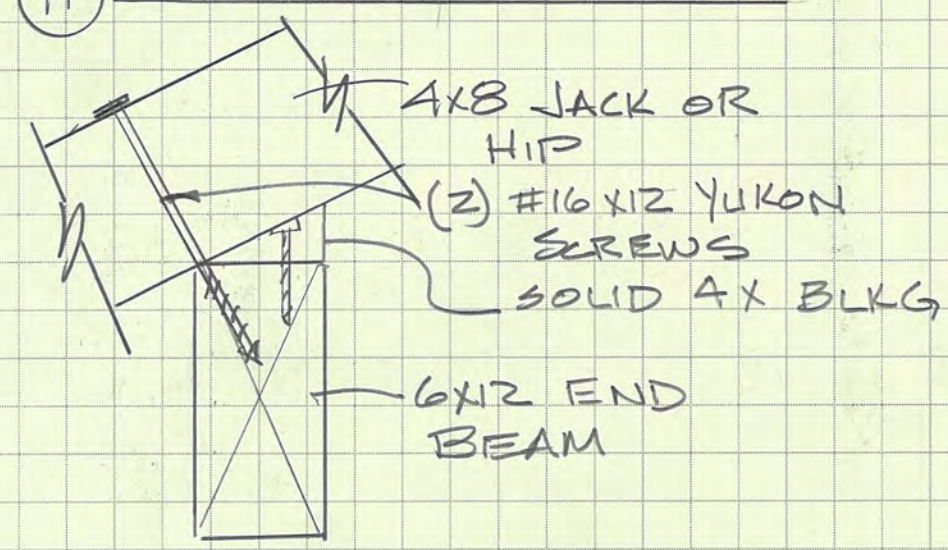


2-12-24



12

11 HIP-JACK-RIDGE DETAIL



13 HIP OR JACK TO BEAM

JOB TABLE SHIELTER

SHEET NO. 7 OF 7

CALCULATED BY CG DATE 2-12-24

CHECKED BY DATE

SCALE

PERATROVICH, NOTTINGHAM & DRAGE, INC.

3220 Hospital Dr. Suite 200 JUNEAU, ALASKA 99801

(907) 586-2093 FAX (907) 586-2099

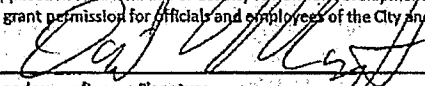
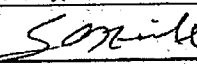


2-12-24



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.


To be completed by Applicant.	PROPERTY LOCATION	
	Physical Address 109, 127 and 139 South Franklin Street, Juneau AK 99801	
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Juneau Townsite Block 13	
	Parcel Number(s) Lots 1A, 2A, 3, 4, 6 Fraction, 7, 8, 9	
	<input checked="" type="checkbox"/> This property located in the downtown historic district <input type="checkbox"/> This property located in a mapped hazard area, if so, which <u>NA</u>	
	LANDOWNER/ LESSEE	
	Property Owner Franklin Foods, LLC	Contact Person David McCasland
	Mailing Address 3294 Pioneer Ave. II	Phone Number(s) 907 957 2212
	E-mail Address davidmccasland907@gmail.com	
	LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits	
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent, as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.		
X	 Landowner Landowner/Lessee Signature Date 3/8/24	
X	_____ Landowner/Lessee Signature Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.		
APPLICANT If the same as OWNER, write SAME		
Applicant North 57 Land Surveying LLC	Contact Person Sean O'Neill (Juneau head)	
Mailing Address 8800 Glacier Hwy Suite 224 1/2 Juneau AK 99801	Phone Number(s) 907-738-2771 (Sean) 907-747-6700 (Kelly P.E.S.)	
E-mail Address sonwill@north57ls.com		
X	 Applicant's Signature Date of Application 03/08/24	

AK 99801

DEPARTMENT USE ONLY BELOW THIS LINE

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Intake Initials 
Date Received 3/13/24

Case Number SLC24-002

For assistance filling out this form, contact the Permit Center at 586-0770.

Attachment P - SLC2024 0003, lot consolidations.



SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Number of Existing Parcels 8 Total Land Area 31292 Number of Resulting Parcels 2

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS

NO YES Case Number _____

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

MINOR DEVELOPMENT

(changing or creating 13 or fewer lots)

- Preliminary Plat (MIP)
- Final Plat (MIF)
- Panhandle Subdivision
- Accretion Survey
- Boundary Adjustment
- Lot Consolidation (SLC)
- Bungalow Lot Subdivision
- Common Wall/Zero Lot Subdivision
- Other _____

MAJOR DEVELOPMENT

(changing or creating 14 or more lots)

- Preliminary Plat (SMP)
- Final Plat (SMF)
- Preliminary Development Plan – PUD (PDP)
- Final Development Plan – PUD (PDF) Preliminary
- Development Plan – ARS (ARP) Final
- Development Plan – ARS (ARF)
- Bungalow Lot Subdivision
- Common Wall/Zero Lot Subdivision
- Other _____

ALL REQUIRED DOCUMENTS ATTACHED

- Pre-application conference notes
- Narrative including:
 - Legal description(s) of property to be subdivided
 - Existing structures on the land
 - Zoning district
 - Density
 - Access
 - Current and proposed use of any structures
 - Utilities available
 - Unique characteristics of the land or structure(s)
- Preliminary Plat checklist

To be completed by Applicant

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>310⁰⁰</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Total Fee	\$ _____			

For assistance filling out this form, contact the Permit Center at 586-0770.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Case Number <u>SLC24-002</u>	Date Received <u>3/13/24</u>
---------------------------------	---------------------------------



PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: McCasland Manor

The following items must be included with the initial submittal of a Preliminary Plat:

- Application, filled out completely
- Application fee (see fee schedule)
- Project Narrative
- Five (5) – 22" by 34" Copies
- Pre-application Conference Report
- Lot Closure Report
- Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.

Applicant or Surveyor - Signature

Date

Applicant or Surveyor - Print Name

GENERAL REQUIREMENTS

- The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- The preliminary plat shall be oriented with north toward the top of the sheet.
- A vicinity map shall be located in the upper right-hand corner of the sheet
- The vicinity map shall be oriented in the same direction as the plat
- A suitable north arrow shall be shown for the plat and vicinity map
- All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

Title block - An enclosed title block in the lower right-hand corner containing the following information:

- The proposed name of the subdivision
- The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- "City and Borough of Juneau, Alaska"
- "State Recorder's Office at ~~Juneau~~ Anchorage"
- The date the preliminary plat was prepared and revised
- The horizontal scale
- The name and address of the owner of record
- The name, address, and telephone number of the surveyor preparing the preliminary plat

Preliminary Plat Checklist

Updated 1/2018

Page 2 of 5

Lot, block, and street information:

- The area of each lot
- The dimensions in feet and hundredths of a foot
- An identifying number and letter for lots and blocks
- Lots numbered consecutively, commencing with the number "1" ^{A+B} with no omissions or duplications
- If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- Abutting properties shall be shown with dashed lines, numbers, and/or letters
- For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
 - The minimum data shown for each curve shall be as follows:
 - Length
 - Central angle
 - Radius
 - Bearing and distance of long chord
 - Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

Boundary lines:

- All boundary lines of the subdivision with bearings and distances described
- All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

Monumentation:

- The monuments used to establish the basis of bearing
- Each monument found or set shall be identified on the plat by a symbol
- A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- A legend showing the symbols for all the types of monuments
- The identification, description location, elevation, and datum of the benchmark used to establish vertical control

Site access, circulation, and utilities:

- The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- Proposed rights-of-way, including their widths and proposed names
- The grades of existing and proposed streets within these rights-of-way
- The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- The width, ownership, and use of all proposed easements

Preliminary Plat Checklist

Updated 1/2018

Page 3 of 5

- All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- Proposed trails or pathways and widths of their rights-of-way
- If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street *Has change due to improvements*

Topographic information:

- For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- For slopes between five percent and ten percent, show two foot contour lines
- For slopes greater than ten percent, show five foot contour lines
- Every fifth elevation contour shall be distinctive and clearly labeled
- Dashed lines shall represent existing contours
- Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
 - Pad elevations and drainage patterns for each lot
 - Tops and toes of all manufactured slopes, including daylight lines
 - Existing and proposed retaining wall locations and heights
- For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

Sewer and water:

- Existing sewer and water mains within the tract with pipe sizes and grades
- A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

Multisheet plats:

- When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
 - North arrow
 - Legend
 - Surveyor's seal and signature
 - Title block
 - Sheet _____ of _____
 - Scale
 - All plat notes
 - Vicinity map

ADDITIONAL MAPPING OR REPORTS: *At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted:*

Hazard and Special Habitat Areas:

- Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

Soils report:

- A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
 - Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
 - The location and size of drain fields for each lot
 - The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
 - If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
 - The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

Drainage report:

- A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
 - A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
 - How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
 - An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
 - All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

Water:

- For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
 - If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

Preliminary Plat Checklist

Updated 1/2018

Page 5 of 5

- A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III
- A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands
- This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.
- The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

Erosion control:

- A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

Traffic study:

- A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

Shadow plats:

- For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

Lot Closure Report - Lot : LOT AB

=====

file- C:\Users\sonei\Desktop\Current work\mccastland 40484-02\40484-02B

(3).msj\lc_LOT AB.txt

Wednesday, February 28, 2024, 2:42:55p.m.

Starting location (North, East) = (4395.9010, 6139.8823)

(In the table below, the Length of Curves refers to the chord length.
and the Bearing of Curves refers to the chord bearing.)

Leg	Segment	Bearing	Length	Front	End_Northing	End_Easting
---	-----	-----	-----	-----	-----	-----
1	Line	N48°45'10"E	97.8600	No	4460.4195	
6213.4617						
2	Line	N60°35'00"E	100.0000	No	4509.5353	
6300.5688						
3	Line	N41°17'00"W	98.5000	No	4583.5537	
6235.5802						
4	Line	S60°35'00"W	75.0000	No	4546.7169	
6170.2499						
5	Line	N41°17'00"W	90.0000	No	4614.3480	
6110.8694						
6	Line	S60°35'00"W	125.0000	No	4552.9533	
6001.9855						
7	Line	S41°17'00"E	209.0000	No	4395.8990	
6139.8802						

Ending location (North, East) = (4395.8990, 6139.8802)

Total Distance : 795.3600
 Total Traverse Stations : 8
 Misclosure Direction : N46°59'50"E (from ending location to starting location)
 Misclosure Distance : 0.0029
 Error of Closure : 1:274226.0
 Frontage : 0.0000
 Frontage/Perimeter : 0.0 percent
 AREA : 31291.651 sq. ft. (straight segment added to close
 traverse)
 = 0.718357 Acres

Lot Closure Report - Lot : LOT A

=====
file- C:\Users\sonei\Desktop\Current work\mccastland 40484-02\40484-02B
(3).msj\lc_LOT A.txt
Wednesday, February 28, 2024, 2:35:15p.m.

Starting location (North, East) = (4460.4215, 6213.4638)

(In the table below, the Length of Curves refers to the chord length.
and the Bearing of Curves refers to the chord bearing.)

Leg	Segment	Bearing	Length	Front	End_Northing	End_Easting
----	-----	-----	-----	-----	-----	-----
1	Line	N60°35'00"E	100.0000	No	4509.5372	
6300.5709						
2	Line	N41°17'00"W	98.5000	No	4583.5557	
6235.5823						
3	Line	S60°35'00"W	75.0000	No	4546.7189	
6170.2520						
4	Line	N41°17'00"W	90.0000	No	4614.3499	
6110.8715						
5	Line	S60°35'00"W	25.0000	No	4602.0710	
6089.0947						
6	Line	S41°17'00"E	188.5000	No	4460.4215	
6213.4638						

Ending location (North, East) = (4460.4215, 6213.4638)

Total Distance : 577.0000
Total Traverse Stations : 7
Misclosure Distance : < 0.001000
Error of Closure : 1:INFINITY
Frontage : 0.0000
Frontage/Perimeter : 0.0 percent
AREA : 11841.408 sq. ft.
= 0.271841 Acres

Lot Closure Report - Lot : LOT B

=====

file- C:\Users\sonei\Desktop\Current work\mccastland 40484-02\40484-02B
(3).msj\lc_LOT 1A.txt

Wednesday, February 28, 2024, 2:33:05p.m.

Starting location (North, East) = (4395.9010, 6139.8823)

(In the table below, the Length of Curves refers to the chord length.
and the Bearing of Curves refers to the chord bearing.)

Leg	Segment	Bearing	Length	Front	End_Northing	End_Easting
---	-----	-----	-----	-----	-----	-----
1	Line	N48°45'10"E	97.8600	No	4460.4195	
6213.4617						
2	Line	N41°17'00"W	188.5000	No	4602.0690	
6089.0926						
3	Line	S60°35'00"W	100.0000	No	4552.9533	
6001.9855						
4	Line	S41°17'00"E	209.0000	No	4395.8990	
6139.8802						

Ending location (North, East) = (4395.8990, 6139.8802)

Total Distance : 595.3600
 Total Traverse Stations : 5
 Misclosure Direction : N46°59'50"E (from ending location to starting location)
 Misclosure Distance : 0.0029
 Error of Closure : 1:205269.6
 Frontage : 0.0000
 Frontage/Perimeter : 0.0 percent
 AREA : 19450.243 sq. ft. (straight segment added to close
 traverse)
 = 0.446516 Acres

CERTIFICATE OF APPROVAL OF SHORT PLAT

I hereby certify that the subdivision plat shown hereon has been found to comply with the Short Plat Subdivision Regulations of the City and Borough of Juneau, Alaska, CSJ 49.35.070 through 074, and is approved and that the plat shown hereon has been approved for recording in the office of the District Recording Office, Juneau, Alaska.

Date December 31st, 1985.

[Signature]
 Director
 City and Borough of Juneau
 Planning Department

[Signature]
 Clerk
 City and Borough of Juneau

LEGEND

- Found brass plug FM CB (Original Monument)
- ⊙ Found Brass Cap Monument (Reset by others)
- ⊙ Set 3" Brass Cap in concrete Marked PLS 8282

CERTIFICATE OF OWNERSHIP

I hereby certify that Gastineau Limited Partnership is the owner of the property shown and described hereon and that we, as Partners, hereby adopt this plat of subdivision with our free consent and dedicate all alleys, walks, parks and other spaces to public use as noted.

Owner: Gastineau Limited Partnership

Witness: *[Signature]*

By: *[Signature]*
 E. A. Parrish, President
 Sheffield Enterprises, Inc.
 A General Partner

STATE OF ALASKA)
) ss.
 THIRD JUDICIAL DISTRICT)

This is to certify that on this 30th day of December 1985, before the undersigned, a notary public in and for the State of Alaska, duly commissioned and sworn, appeared E. A. Parrish, known to me to be the person he represents himself to be and the President of Sheffield Enterprises Inc., a General Partner, who acknowledged to me that he executed the foregoing instrument as a free act and deed for the purpose therein mentioned, being fully authorized to do so.

Witness my hand and official seal. The day and year in this certificate first above written.

State of Alaska
 NOTARY PUBLIC
 KAREN OSHIRO
 My Commission expires July 21, 1988

[Signature]
 NOTARY PUBLIC FOR ALASKA
 My Commission Expires: 7-21-88

LINE	BEARING	DISTANCE
1	N 41°31'05"W	27.28
2	N 41°31'04"W	25.48
3	S 48°34'02"E	22.78
4	S 41°28'07"E	1.60
5	N 48°33'53"E	2.20
6	N 41°28'07"W	1.60
7	S 48°29'58"W	1.98
8	S 41°31'04"E	4.20
9	N 48°28'56"E	1.98

NOTES

- 1) Record information and coordinate base for Block 13, Townsite of Juneau was calculated from a plat of the City of Juneau by Frank A. Metcalf, accepted by the Common Council of the City of Juneau on March 18, 1932.
- 2) The property boundary for Lot 9 is intended to be face of the Gastineau Hotel Building where applicable and is monumented by said building line and building corners as noted.
- 3) Unable to monument due to close proximity of S.P.O.E. building.
- 4) Subject to easements and restrictions of record.
- 5) All distances are measured in U.S. Feet.

BASIS OF BEARING

The Basis of Bearing for this plat is the calculated bearing of N 28°20'58" E as computed from the plat titled "Alaska Tidelands Survey No. 3", approved April 7, 1961, between the found monuments as noted.

plat 15-148
 RECORDED - FILED 1000
 DISTRICT
 DATE: 12-31-85
 TIME: 9:28 AM
 BY: *[Signature]*
 Address: 155 S.eward
Juneau, AK 99801

CERTIFICATION OF REGISTERED LAND SURVEYOR

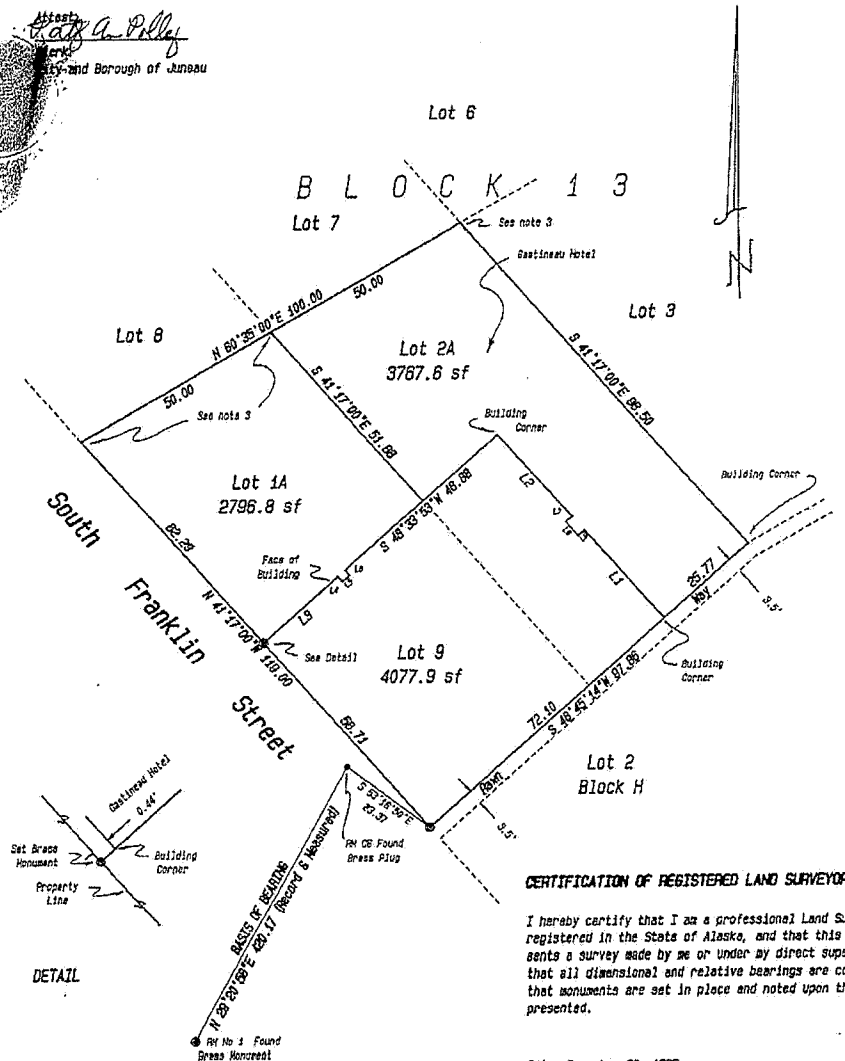
I hereby certify that I am a professional Land Surveyor registered in the State of Alaska, and that this plat represents a survey made by me or under my direct supervision, that all dimensional and relative bearings are correct and that monuments are set in place and noted upon this plat as presented.

Date: December 28, 1985



VICINITY MAP

SCALE: 1" = 1 MILE
 SOURCE: USGS QUADRANGLE MAP JUNEAU AREA



PLAT OF
**LOT 1A, LOT 2A & LOT 9, A SUBDIVISION OF
 LOT 1 & LOT 2, BLOCK 13, JUNEAU TOWNSITE**
 OWNER: GASTINEAU LIMITED PARTNERSHIP, JUNEAU, ALASKA
Toner-Nordling & Associates, Inc.
 114 S. Franklin St., Suite 204, Juneau, Alaska 99801 (907) 586-2315
 Scale: 1" = 20' Date: December 1985 Pl. No.: 2250 File No.:

Plat 85-148



CITY/BOROUGH OF JUNEAU
ALASKA'S CAPITAL CITY

CERTIFICATION OF PAYMENT OF TAXES
AND SPECIAL ASSESSMENTS

I, the undersigned, being duly appointed, qualified Treasurer or Deputy Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described property is carried on the tax records in the name of:

Gastineau Limited Partnership

Description

lots 1 and 2, Block 13, Juneau Townsite

Parcel Code Number

1-007-0-A13-001-0

and that, according to the records in my possession, all taxes and special assessments assessed against said lands and in favor of the City and Borough of Juneau are paid in full; that current taxes of the year 1986 will be due on or before September 30, 1986.

[Signature]
Deputy Treasurer or Treasurer
City and Borough of Juneau

Date

12-31-85

85-010047

1/1 to 7/1 Authorization to
Split Attached

10.00

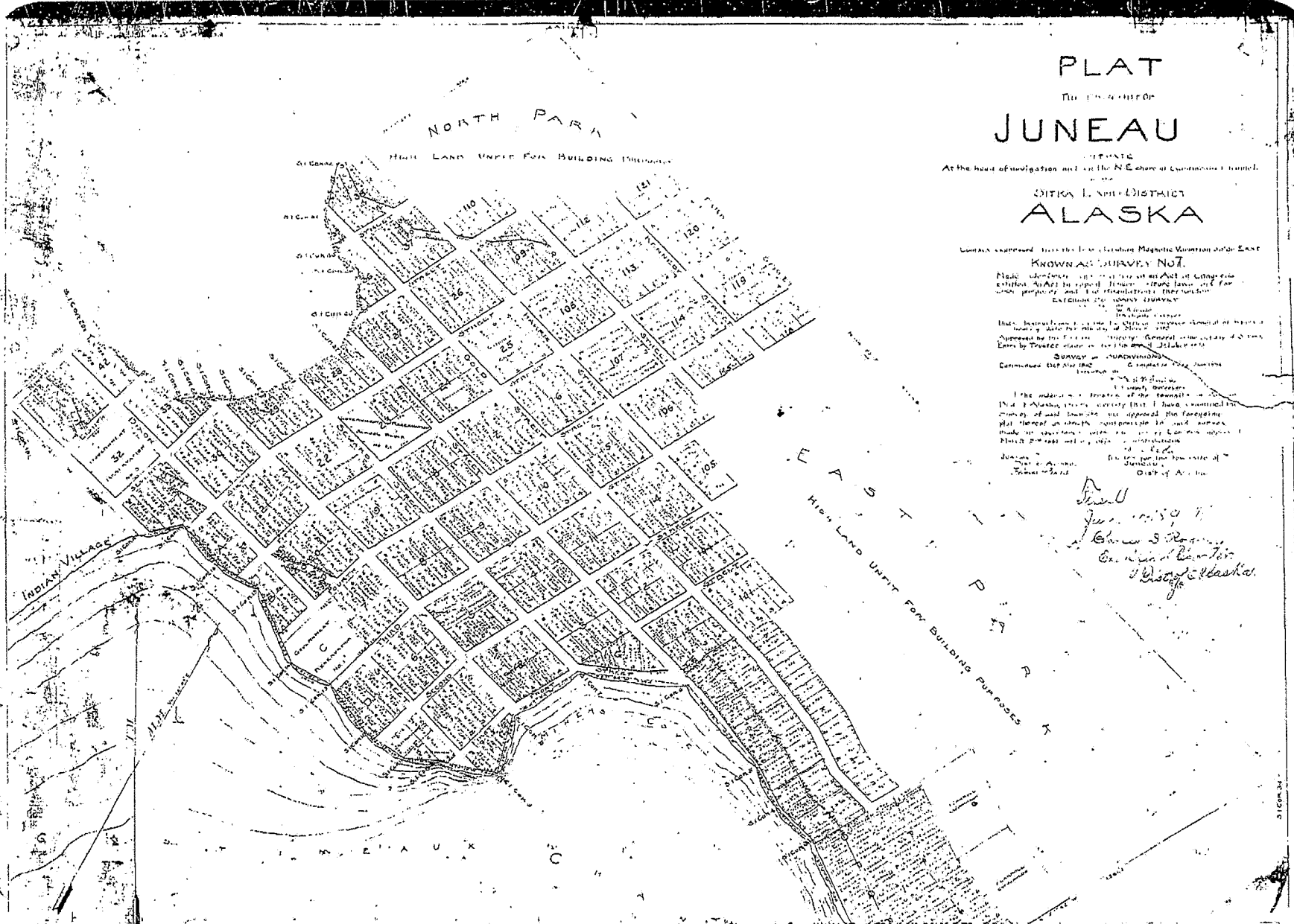
RECORDED-FILED
JUNEAU REG.
DISTRICT

DEC 31 9 28 AM '85

REQUESTED BY JC#B

ADDRESS 155 Seward
Juneau AK 99801

155 South Seward Street, Juneau, Alaska 99801



Attachment P - SLC2024 0003, lot consolidations.



(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

Franklin Foods LLC Lot Consolidation and Food Court Expansion Conditional Use Permit

Case Number: PAC2024-0008
 Applicant: David McCasland
 Property Owner: Franklin Foods, LLC
 Property Addresses: 109 and 117 South Franklin Street (Lots 6FR, 7, and 8)
 127 South Franklin Street (Lots 1A, 2A, 3, and 4)
 139 South Franklin Street (Lot 9)
 Parcel Code Numbers: 1C070A130030 (Lots 6FR, 7, and 8)
 1C070A130011 (Lots 1A, 2A, 3, and 4)
 1C070A130012 (Lot 9)
 Legal Descriptions: JUNEAU TOWNSITE BL 13 LT 1A
 JUNEAU TOWNSITE BL 13 LT 2A
 JUNEAU TOWNSITE BL 13 LT 3
 JUNEAU TOWNSITE BL 13 LT 4
 JUNEAU TOWNSITE BL 13 LT 6FR
 JUNEAU TOWNSITE BL 13 LT 7
 JUNEAU TOWNSITE BL 13 LT 8
 JUNEAU TOWNSITE BL 13 LT 9

Site Size:

1C070A130030 (Lots 6FR, 7, and 8)	11,048 square feet
1C070A130011 (Lots 1A, 2A, 3, and 4)	15,952 square feet
1C070A130012 (Lot 9)	4,078 square feet
Total Square Footage (All Lots)	31,078 square feet

Zoning: MU (Mixed Use)
 Existing Land Use: Lots 1A, 2A, and 9 – USE 8.300 Seasonal Open Air Food Service Without Drive Through
 Lots 3, 4, 6A, 7, and 8 – Vacant

Conference Date: February 21, 2024
 Report Issued: February 23, 2024

DISCLAIMER: Pre-Application Conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-Application Conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
David McCasland	Applicant	Davidmccasland907@gmail.com
Chris Gianotti	Applicant	cgianotti@pndengineers.com
Jim Sheehan	Applicant	jsheehan@stsl.com
Bridget LaPenter	General Engineering	Bridget.LaPenter@juneau.gov
Scott Ciambor	Planning	Scott.Ciambor@juneau.gov
Jennifer Shields	Planning	Jennifer.Shields@juneau.gov
David Peterson	Planning	David.Peterson@juneau.gov
Ilsa Lund	Planning	Ilsa.Lund@juneau.gov
Sydney Hawkins	Permitting	Sydney.Hawkins@juneau.gov

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the Pre-Application Conference.

Project Overview

PAC22-39: The applicant proposed a multi-story indoor/outdoor pavilion that would provide seating for food trucks on Lots 1A, 2A, 3, 4, and 9, with potential for future purchase and use of Elks Lodge on Lots 6A, 7 and 8.

PAC23-31: The applicant proposed a multi-story indoor/outdoor pavilion that would provide seating for food trucks on Lots 1A, 2A, 3, 4, and 9, along with use of the Elks Lodge on Lots 6A, 7, and 8 for housing.

Conditional Use Permit Application Submittal: On January 23, 2024, the applicant submitted a Conditional Use Permit (CUP) application for the development of the 8 lots owned by Franklin Foods, LLC for an expansion of the seasonal food court on the lower lots and new parking areas on the upper lots. After submitting the application, the applicant indicated that his plans had changed and requested that this application be put on hold.

At the end of the pre-application conference held on February 21, 2024, the applicant requested that the CUP application submitted on January 23, 2024 (showing the development of all 8 lots owned by Franklin Foods, LLC) move forward and be scheduled for a hearing before the Planning Commission.

BLD2023-1002: On February 14, 2024, a building permit was issued for Phase 1 engineered slopes and retaining walls only. The permit includes a Hillside Endorsement from the CDD Director, as the project engineer submitted a stamped letter specifically stating that CBJ 49.70.210(b)(1) and (5) do not apply to the proposed retaining walls.

PAC24-08: This applicant is now proposing the following:

- 1) Lot Consolidation from 8 lots into 2 lots, as follows:
 - o Proposed Lot A (Existing Lots 3, 4, and 6FR)
 - o Proposed Lot B (Existing Lots 1A, 2A, 7, 8, and 9)

- and -

- 2) Seasonal Food Court Expansion involving the existing Lots 1A, 2A, 7, 8, and 9 (Proposed Lot B). The goal is to have the food court open from May 1st through September 30th. Utilities will run to all of the vendors and temporary structures shown in the drawings. Proposed amenities include the following:
 - Restroom made out of a 20-foot shipping container
 - Bar made out of a 40-foot shipping container
 - Oyster Bar which made out of a previously permitted shipping container
 - Pucker Wilson food truck
 - Crepe Escape food truck
 - Deckhand Dave's food truck
 - Deckhand Dave's boat bar
 - Kitchen preparation food truck
 - Additional food truck (possible)

Planning Division

1. **Zoning** – The property is zoned MU (Mixed Use).
 - The minimum lot size required in the MU zoning district is 4,000 square feet. Lots 1A, 2A, and 6FR do not appear to meet this requirement. Lot Consolidation will address this nonconformity.
 - The minimum lot width required in the MU zoning district is 50-feet. Lot 2A frontage is along Rawn Way to the east and is approximately 25-feet wide. Lot 6FR frontage is along First Street and is 25-feet wide. Lot consolidation will address these nonconformities.
2. **Table of Permissible Uses** – Currently, CBJ 49.25.300 lists *USE 8.300 – Seasonal Open Air Food Service Without Drive Through* as the most closely associated land use category, with development approval procedures varying, depending on whether the project is a Major or a Minor development.
 - Per CBJ 49.25.300(c)(3)(D), in a MU zoning district, non-residential buildings totaling 10,000 square feet OR using less than one-half acre of land in total constitute Minor Development. Minor Developments are reviewed at the department level. Major Development means all development activity that is not Minor Development. Major Developments are reviewed by the Planning Commission.
 - Per CBJ 49.15.220(1): *“Unless otherwise specified in this title, minor development shall require department approval. If the director determines that a series of applications for minor developments, taken together, constitute a major development, the applications shall be subject to the appropriate major development permit procedures and standards.”*
3. **Density** – The MU zoning district does not have a maximum density limit.
4. **Subdivision** – For BLD2023-1002, the Director determined that Lot Consolidation was not required for retaining walls only. However, Lot Consolidation will be required for the seasonal food court expansion due to the placement of multiple structures (restroom, bars, kitchen), utilities, and drainage across lot lines which comprise an overall development site.
 - CBJ 49.80 Definitions: *“Encroachment” means any structure located in a floodway, setback, right-of-way or adjacent lot.*
 - CBJ 49.80 Definitions: *“Structure” means anything which is constructed or erected and located on or under the ground, or attached to something fixed to the ground, including the following:*
 - A building, regardless of size, purpose, or permanence;
 - A tower, sign, antenna, pole or similar structure;
 - A basement, foundation, or mobile home pad;
 - A fence;
 - A sign;
 - A street, road, sidewalk, driveway, parking area, or storage area.

A Lot Consolidation is considered a Minor Subdivision per CBJ 49.70.300(a)(3) and will not require a hearing at the Planning Commission but will be recommended by staff as a condition of approval for the Conditional Use Permit.

5. **Setbacks** – The MU zoning district has 0-foot lot line setbacks.
6. **Height** – The MU zoning district does not have a height restriction for structures. However, the site is located in the Downtown Historic District which requires that the façade of the building be no higher than 45 feet. Per CBJ 49.80, façade is defined as, “*means any vertical wall face of a building, including vertical parapet walls which enclose usable space. Where separate faces are oriented in the same direction, they are to be considered as part of a single façade*”. See “Historic District” section below for further information on this overlay district.
7. **Access** –
 - Proposed Lot A: First Street and Gastineau Avenue
 - Proposed Lot B: South Franklin Street, First Street, and Rawn Way.
8. **Parking & Circulation** – All 8 lots fall within a No Parking Required Area (NPRA).
9. **Lot Coverage** – The MU zoning district does not require a maximum lot coverage percentage.
10. **Vegetative Coverage** – The MU zoning district does not require a minimum vegetative coverage percentage.
11. **Lighting** – All lighting should be full cut-off lighting to prevent glare on neighboring properties or the right-of-way. Parking and circulation standards require that any future parking lots shall be “adequately lit.”

CUP Application: Show all existing and proposed outdoor lighting locations on the Site Plan.
12. **Noise** – The proposed development is not anticipated to create noise in excess of that anticipated in an MU zoning district.
13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** –
 - Slopes on the site exceed 18%. On February 14, 2024, a building permit (BLD2023-1002) was issued for Phase 1 engineered slopes and retaining walls only. The permit includes a Hillside Endorsement from the CDD Director, as the project engineer submitted a stamped letter specifically stating that CBJ 49.70.210(b)(1) and (5) do not apply to the proposed retaining walls.
 - On December 11, 2023, the CBJ Assembly approved Ordinance 2023-18 amending Title 49 related to development in landslide (now unregulated) and avalanche (regulated) hazard areas. Based upon the newly adopted CBJ avalanche maps (effective on January 11, 2024), the subject property is not within a mapped avalanche hazard area and is therefore not subject to avalanche hazard development regulations.
14. **Wetlands** – N/A
15. **Flood** – N/A
16. **Habitat** – Check with U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
17. **Plat or Covenant Restrictions** – Subject to easements and restrictions of record.

18. **Traffic** – For this application, staff used The Institute of Traffic Engineers Trip Generation Manual (9th Edition) projections for a *High Turnover Sit Down Restaurant (932)* as shown in the table below.

According to CBJ 49.40.300(2), a development projected to generate more than 250 Average Daily Trips (ADT's) but fewer than 500 ADTs shall be required to have a traffic impact analysis if the Community Development Department (CDD) Director determines that an analysis is necessary based on the type of development, its location, the likelihood of future expansion, and other factors found relevant by the director.

After review, the CDD Director has determined that a Traffic Impact Analysis is not required.

ITE Category	Trips Generated Per 1,000sf	15,000sf/1,000	Total ADT's
High Turnover Sit Down Restaurant (932)	18.49 weekday PM peak hour	15	277.35
	14.07 Saturday peak hour	15	211.05
	18.46 Sunday peak hour	15	276.9

19. **Nonconforming Situations** – Lot 1A does not meet the minimum lot size requirement. Lots 2A and 6FR do not meet the minimum lot size or lot width requirements. If any of these lots are developed independently and not part of the required Lot Consolidation, each one will need a Nonconforming Certification.
20. **Historic District** – The lots are in the Downtown Historic District, with a special height limitation of 45 feet. The Historic Resources Advisory Committee (HRAC) will be part of the Conditional Use Permit (CUP) process but will not approve or deny. The HRAC makes recommendations to the Director or Planning Commission as appropriate, who consider the HRAC expertise in their decisions. In the case of new construction, the development should preserve harmony of scale, architectural style, sidewalk level use and materials of the existing locale per CBJ 49.70.530(a)(2).
21. **Trash Receptacle(s)** – Plans will be required to show location of on-site bear-proof dumpster(s). The dumpster(s) cannot block access to pedestrian accommodations, including walkways and stairways. At least five feet of pedestrian walkway must be maintained.

CUP Application: Show location of on-site bear-proof dumpster(s).

Building Division

22. **Building** – Prior to placement of any structures, food trucks or any other use, a Building Permit must be obtained from the Community Development Department. Plans must be prepared by licensed design professionals.
23. **Outstanding Permits** –
- a. BLD20240073 – “Underground Electrical Only for Current and Future Food Park”
 - b. BLD20231002 – “PHASE I ENGINEERED SLOPES AND RETAINING WALLS ONLY”
 - c. DMO20230013 – “Demolition of Elks Lodge.”

General Engineering/Public Works

24. **Engineering** – Drainage or utilities crossing property lines will require easements. In lieu of easements, lots may be consolidated.
25. **Drainage** – Work within the CBJ right of way (ROW) will require a ROW permit and bonding.
26. **Utilities** – Work within the CBJ right of way (ROW) will require a ROW permit and bonding.

Fire Marshal

27. **Fire Items/Access** – No comments at this time.

Other Applicable Agency Review

28. N/A

List of Required Applications

Based upon the information submitted for this pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

Lot Consolidation

1. Development Permit Application (DPA)
2. Subdivision Application for Lot Consolidation (SLC)

Conditional Use Permit

1. Development Permit Application (DPA)
2. Conditional Use Permit application (USE)

Building Permit

1. Development Permit Application (DPA)
2. Building Permit Application (BPA)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

Lot Consolidation

1. A copy of this pre-application conference report
2. Narrative including legal descriptions of properties, existing structures on the land, zoning district, density, access, current and proposed use of any structures, utilities available, unique characteristics of the land or structures.
3. Subdivision Checklist for Preliminary Plat
4. As-Built Survey
5. Preliminary Plat
6. Lot Closure Report

Conditional Use Permit

1. A copy of this pre-application conference report.
2. Narrative
3. As-Built Survey
4. Proposed Site Plan (with details as outlined above)
5. Elevation Drawings
6. Lighting Plan / Fixtures Data Sheet

Building Permit

1. Plans prepared by licensed design professionals.

Exceptions to Submittal Requirements

Submittal requirements that staff has determined not to be applicable or not required, given the specifics of the development proposal, are listed below. These items will not be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85. Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

Lot Consolidation

1. Development Permit Application – N/A
2. Subdivision Application - \$110 plus \$25 for each lot changed (8 lots = \$200) = \$310

Conditional Use Permit

1. Conditional Use Permit Application – Class II Uses (Commercial, mixed use using less than one acre of land): \$500
2. Public Notice Sign: \$150, with \$100 refundable if the sign is returned by the Monday after the Planning Commission meeting.

Building Permit

1. To be determined during permitting process based on size and scope of project which may include cost of work and/or new square footage.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

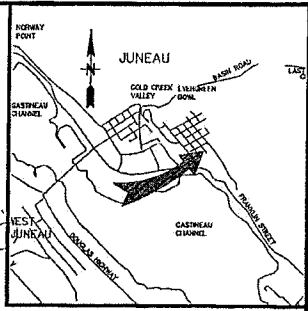
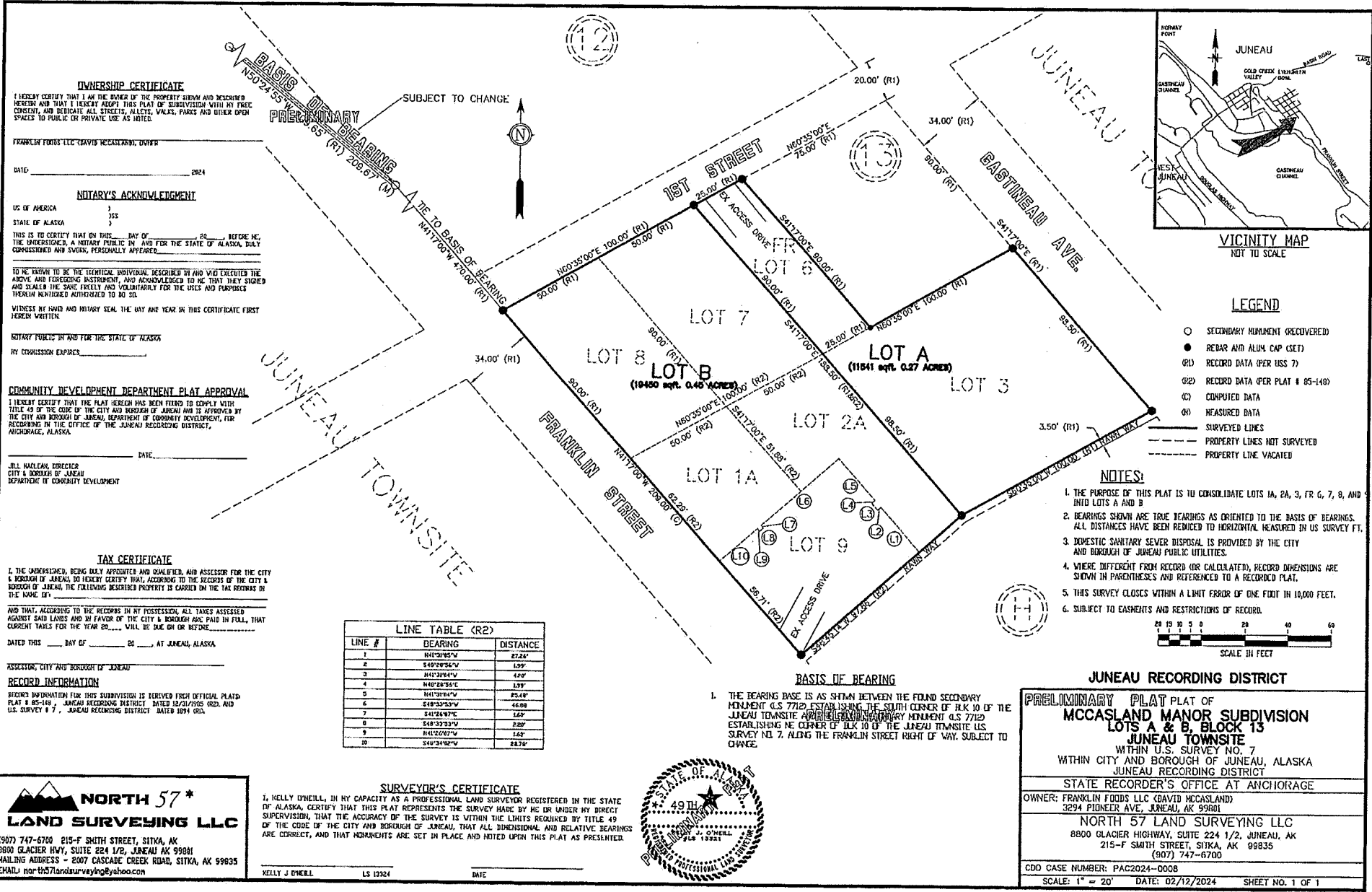
OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715
Web: www.juneau.org/community-development

Attachments:

Development Permit Application (DPA)
Building Permit Application (BPA)
Subdivision Application (SLC)
Notice of Minor Lot Consolidation Form
Subdivision Preliminary Plat Checklist
Conditional Use Permit Application



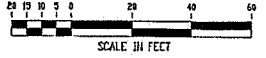
VICINITY MAP
NOT TO SCALE

LEGEND

- SECONDARY MONUMENT (RECOVERED)
- REBAR AND ALUM CAP (SET)
- (R1) RECORD DATA (PER URS 7)
- (R2) RECORD DATA (PER PLAT 1 05-140)
- (C) COMPUTED DATA
- (M) MEASURED DATA
- SURVEYED LINES
- - - PROPERTY LINES NOT SURVEYED
- - - - - PROPERTY LINE VACATED

NOTES:

1. THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE LOTS 1A, 2A, 3, 7, 8, AND 10 INTO LOTS A AND B.
2. BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARINGS. ALL DISTANCES HAVE BEEN REDUCED TO HORIZONTAL MEASURED IN US SURVEY FT.
3. DOMESTIC SANITARY SEWER DISPOSAL IS PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
4. WHERE DIFFERENT FROM RECORD (OR CALCULATED), RECORD DIMENSIONS ARE SHOWN IN PARENTHESES AND REFERENCED TO A RECORDED PLAT.
5. THIS SURVEY CLOSES WITHIN A LIMIT ERROR OF ONE FOOT IN 10,000 FEET.
6. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



OWNERSHIP CERTIFICATE

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREIN AND THAT I HEREBY ACCEPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

FRANKLIN FOODS LLC (DAVID MCCASLAND), OWNER
DATE: _____ 2024

NOTARY'S ACKNOWLEDGMENT

US OF AMERICA)
STATE OF ALASKA)
THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____

TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN AUTHORIZED AND AUTHORIZED TO DO SO.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL

I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATE: _____
JILL MACLEAN, DIRECTOR
CITY & BOROUGH OF JUNEAU
DEPARTMENT OF COMMUNITY DEVELOPMENT

TAX CERTIFICATE

I, THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND ASSESSOR FOR THE CITY & BOROUGH OF JUNEAU, DO HEREBY CERTIFY THAT, ACCORDING TO THE RECORDS OF THE CITY & BOROUGH OF JUNEAU, THE FOLLOWING DESCRIBED PROPERTY IS CARRIED ON THE TAX RECORDS IN THE NAME OF:

AND THAT, ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANCES AND IN FAVOR OF THE CITY & BOROUGH ARE PAID IN FULL, THAT CURRENT TAXES FOR THE YEAR 20____ WILL BE DUE ON OR BEFORE _____
DATED THIS _____ DAY OF _____, 20____, AT JUNEAU, ALASKA.

ASSESSOR, CITY AND BOROUGH OF JUNEAU

RECORD INFORMATION

RECORD INFORMATION FOR THIS SUBDIVISION IS DERIVED FROM OFFICIAL PLAT # 1 05-140, JUNEAU RECORDING DISTRICT, DATED 12/21/2005 (R2), AND U.S. SURVEY # 7, JUNEAU RECORDING DISTRICT, DATED 10/4/04.

LINE #	BEARING	DISTANCE
1	S41°28'45"W	27.22'
2	S40°28'54"W	1.99'
3	S41°31'04"W	4.00'
4	N40°28'55"E	1.99'
5	S41°28'45"W	25.44'
6	S48°32'53"W	46.89'
7	S11°26'47"E	1.52'
8	S48°33'53"W	2.20'
9	N47°26'47"W	1.65'
10	S49°34'42"W	23.72'

SURVEYOR'S CERTIFICATE

I, KELLY J O'NEILL, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



KELLY J O'NEILL LS 19324 DATE _____

NORTH 57*
LAND SURVEYING LLC
(907) 747-6700 215-F SMITH STREET, SITKA, AK
8000 GLACIER HWY, SUITE 224 1/2, JUNEAU AK 99801
MAILING ADDRESS - 2007 CASCADE CREEK ROAD, SITKA, AK 99835
EMAIL: n0rth57landsurveying@yahoo.com

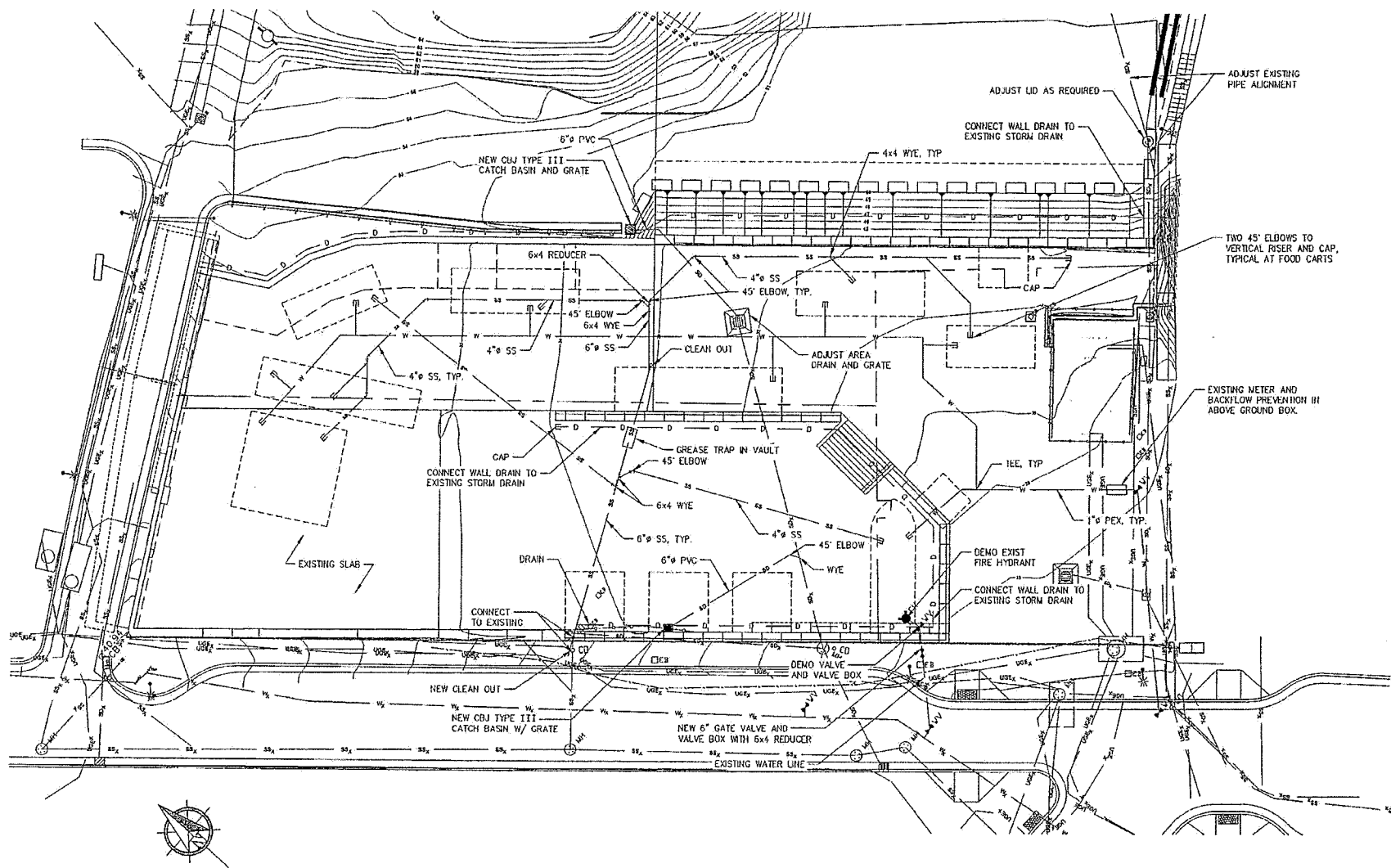
JUNEAU RECORDING DISTRICT

PRELIMINARY PLAT PLAT OF
MCCASLAND MANOR SUBDIVISION
LOTS A & B, BLOCK 13
JUNEAU TOWNSITE
WITHIN U.S. SURVEY NO. 7
WITHIN CITY AND BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT ANCHORAGE

OWNER: FRANKLIN FOODS LLC (DAVID MCCASLAND)
3294 PIONEER AVE, JUNEAU, AK 99801

NORTH 57 LAND SURVEYING LLC
8800 GLACIER HIGHWAY, SUITE 224 1/2, JUNEAU, AK
215-F SMITH STREET, SITKA, AK 99835
(907) 747-6700

CDD CASE NUMBER: PAC2024-0008
SCALE: 1" = 20' DATE: 02/12/2024 SHEET NO. 1 OF 1



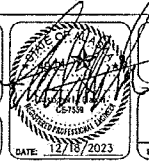
REVISIONS

REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

P N D
ENGINEERS, INC.

9369 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-0093
Fax: 907-586-2099
www.pndengineers.com

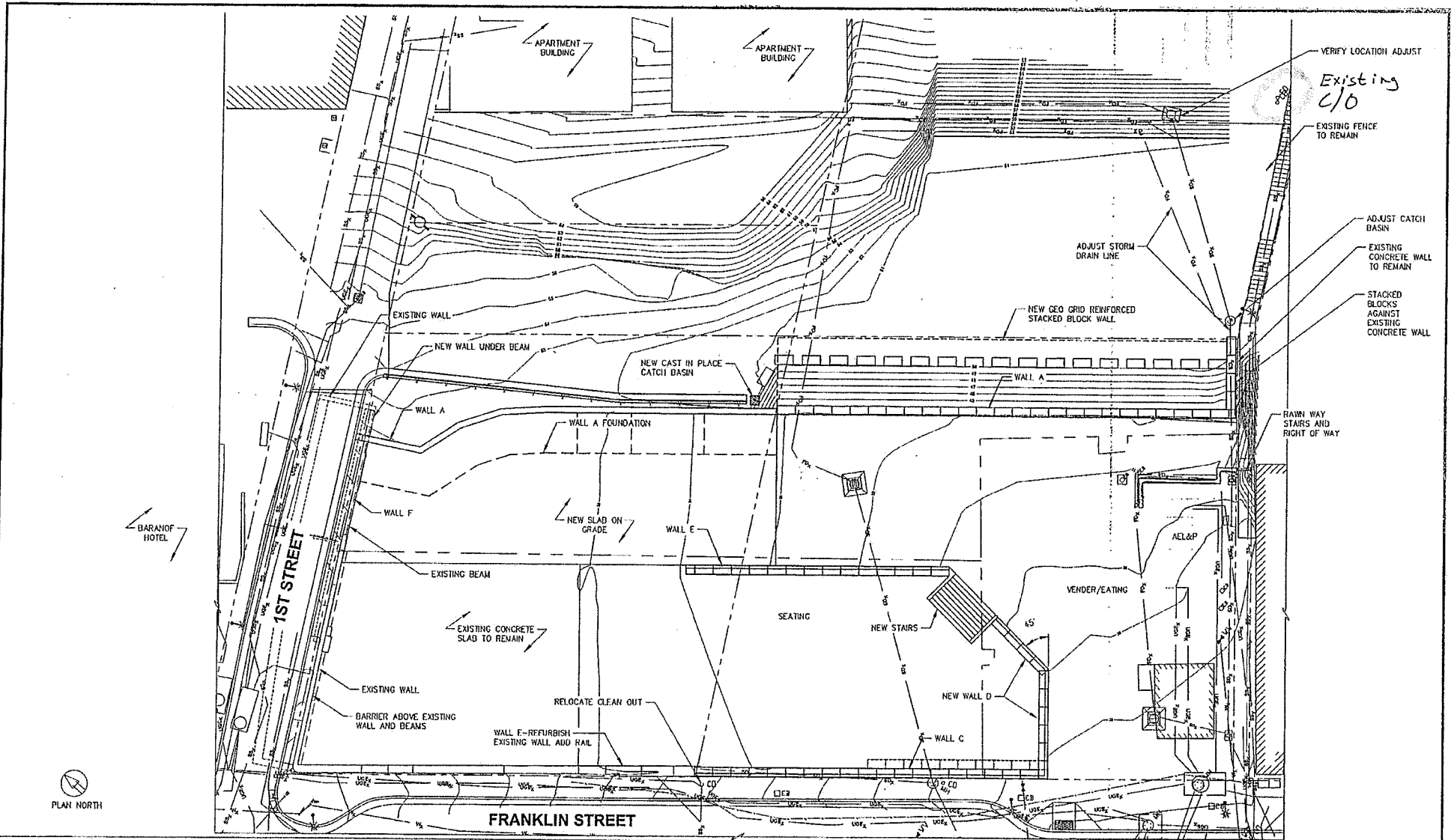
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JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: **UTILITY PLAN**
U201
PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

DATE: 12/18/2023



REVISIONS

REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

PND
ENGINEERS, INC.

9360 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com

DESIGN: CMG CHECKED: CUG SCALE: SCALE IN FEET
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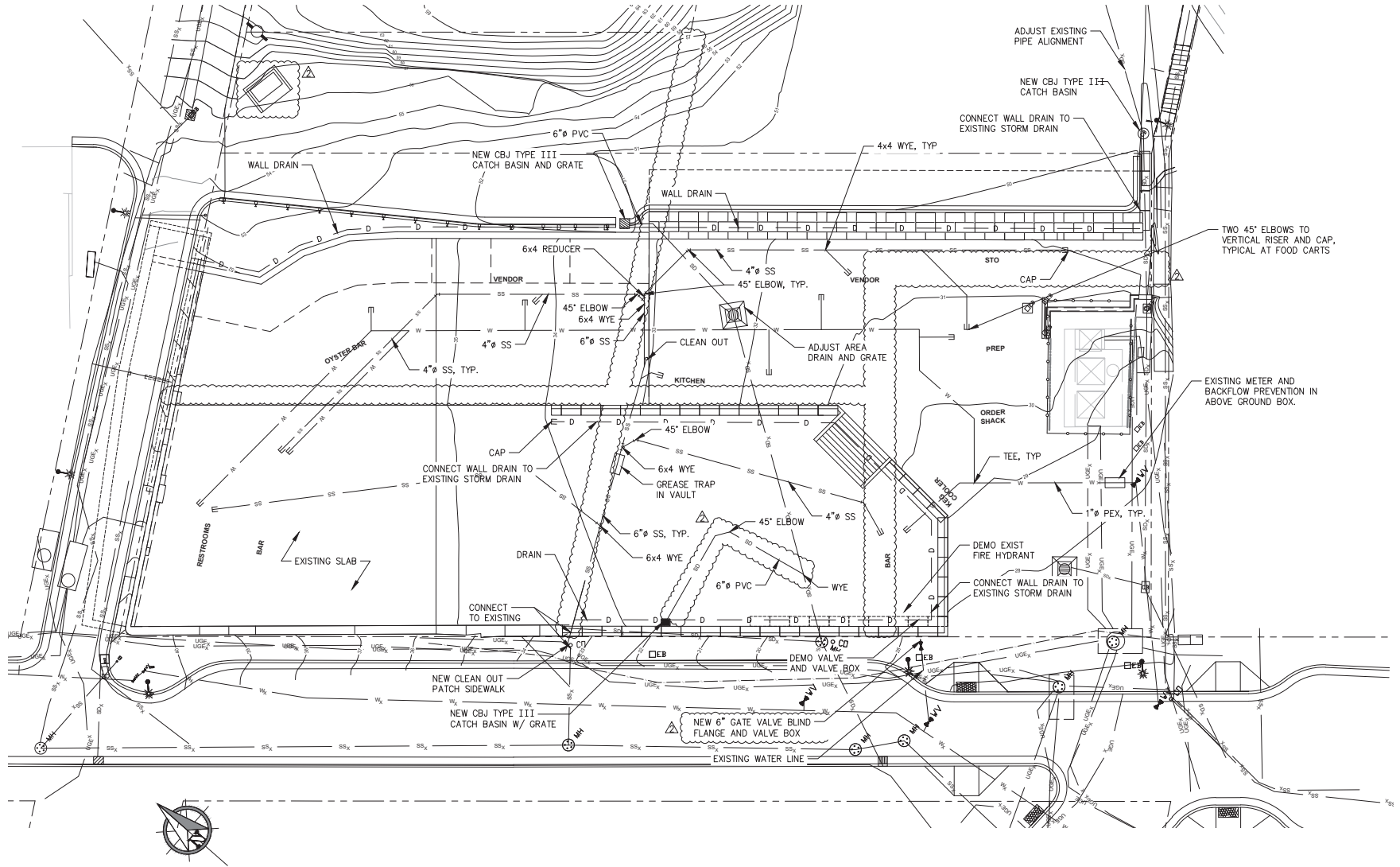


JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS


SHEET TITLE: **SITE PLAN PHASE I**

PROJECT NO: 222070 CAN. NO: AECC250

S102



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			


PND
 ENGINEERS, INC.

9360 Glacier Highway Ste 100
 Juneau, Alaska 99801
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pndengineers.com

DESIGN: CMG CHECKED: CMG SCALE: SCALE IN FEET
 DRAWN: KLL APPROVED: CMG 0 10 20 FT.



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
UTILITY PLAN

U201

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

Attachment Q - Utility plan showing drainage.



(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

March 6, 2024

MEMO

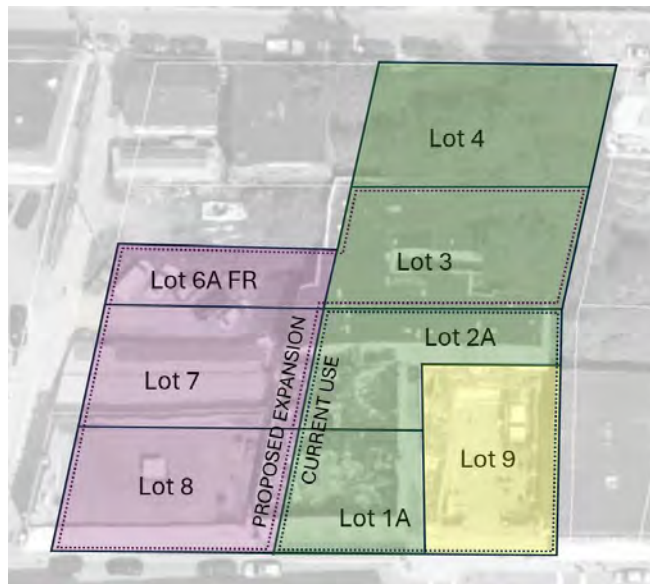
To: Zane Jones, Chair, Historic Resources Advisory Committee (HRAC)

From: Irene Gallion, Senior Planner

Parcel No.: Multiple (see below)

Legal Description: Juneau Townsite Block 13:

Lot	Parcel	Address	Description
1A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
2A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
3	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
4	1C070A130011	127 S Franklin St.	Vacant hillside
6A FR	1C070A130030	109 S Franklin St.	Elks Hall (demolished)
7	1C070A130030	109 S Franklin St.	Elks Hall (demolished)
8	1C070A130030	109 S Franklin St.	Elks Hall parking lot
9	1C070A130012	139 S Franklin St.	Gunakadeit Park



Attachment R - Request to HRAC to review the site plan (plan pages removed).

Case Number: USE2024 0003: Expansion of Food Court

RE: Review for Conditional Use Permit Process

On April 9, 2024, the Planning Commission will hear an application to expand the Franklin Foods LLC food court onto the former site of the Elks Club.

I am requesting feedback from HRAC by **April 5, 2024, at noon**. My apologies for the quick turn. I am providing the application now so that the committee members have time to review before the next HRAC meeting on April 3, 2024.

Context

HRAC involvement in this development will have two tracts [CBJ 49.70.530(a)(2)]:

- Recommendations for preservation of harmony of scale and sidewalk level use. **This will be done under the Conditional Use Permit process, and is the request of this memo.**
- Recommend architectural style and construction materials for structures. This will be through the building permit process for each structure permitted.

Project

Attached is the application, and an updated site plan. Note that the bar may be reoriented parallel to S. Franklin Street, and may be covered by a tent that is 20x40 feet or 25x40 feet.

- Retaining wall construction has been approved by the Director, as it was required for site stabilization.
- Utilities construction has been approved, and including water, sewer and electric.
- The lots are intended to be consolidated (application pending). Structures cannot cross lot lines.
- Construction of buildings for the expansion cannot begin until the Conditional Use Permit is approved, the lots are consolidated, and building permits have been approved.
- Note that Lot 4 (vacant hillside) is not in the Juneau Downtown Historic District established under Ordinance 2013-01.

If HRAC makes recommendations, please draft them to be measurable and enforceable per the Land Use Code (Title 49).

Irene Gallion

From: Charlie Ford
Sent: Monday, March 4, 2024 11:22 AM
To: Irene Gallion; General Engineering; Theresa Ross
Cc: Jeffrey Hedges; Dan Jager
Subject: RE: USE24-03: Deckhand Dave's Expansion

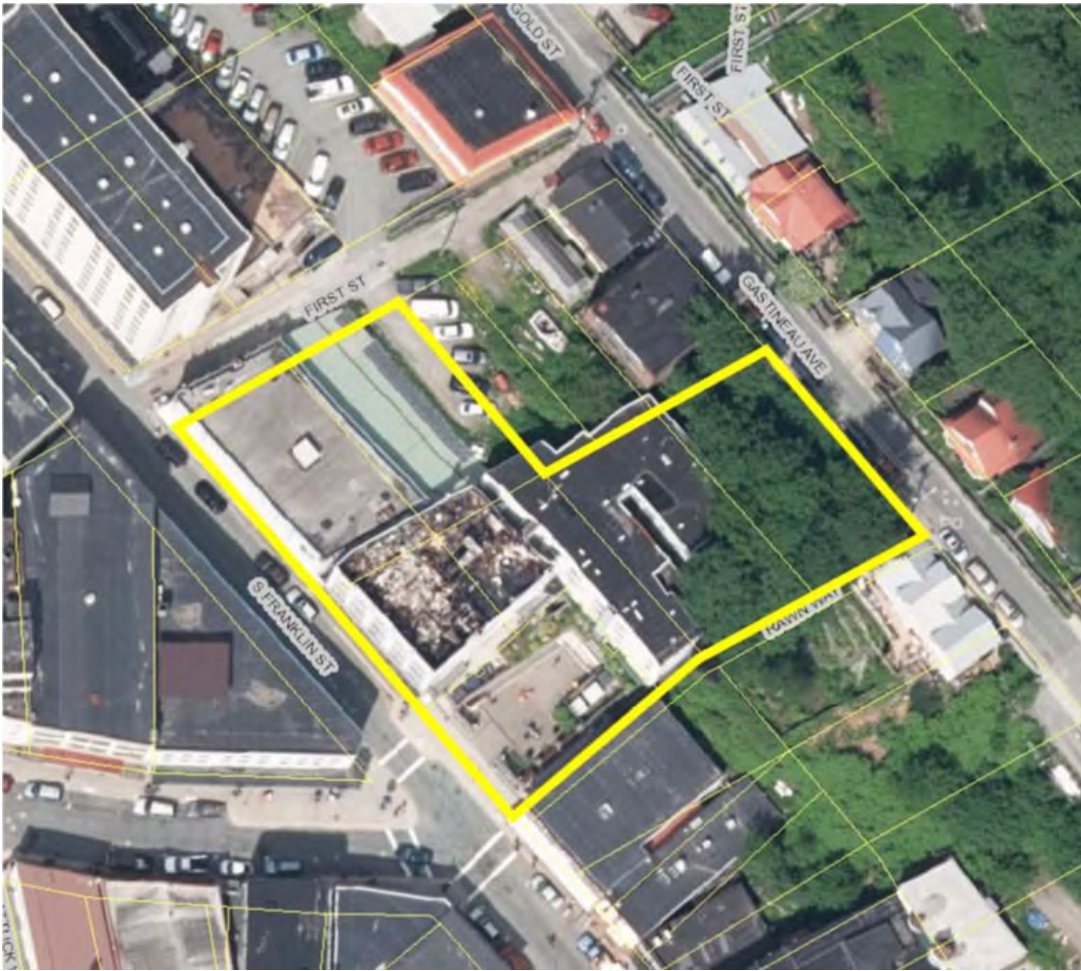
Hi Irene,

Buildings has no issues with this project at this time.

From: Irene Gallion <Irene.Gallion@juneau.gov>
Sent: Friday, March 1, 2024 2:42 PM
To: Charlie Ford <Charlie.Ford@juneau.gov>; General Engineering <General_Engineering@juneau.gov>; Theresa Ross <Theresa.Ross@juneau.gov>
Cc: Jeffrey Hedges <Jeffrey.Hedges@juneau.gov>; Dan Jager <Dan.Jager@juneau.gov>; Irene Gallion <Irene.Gallion@juneau.gov>
Subject: USE24-03: Deckhand Dave's Expansion

Hello Team,

Deckhand Dave is requesting an expansion of his food court operation on Franklin Street (page 13 of the packet gives a good overview). Please have any comments to me by March 8, 2024. If you need additional time let me know and we'll work something out. Thanks!



Irene Gallion | Senior Planner

Community Development Department | City & Borough of Juneau, AK
Location: 230 S. Franklin Street | 4th Floor Marine View Building
Office: 907.586.0753 x4130



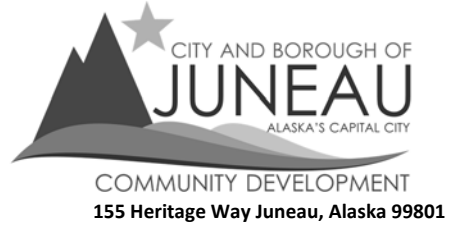
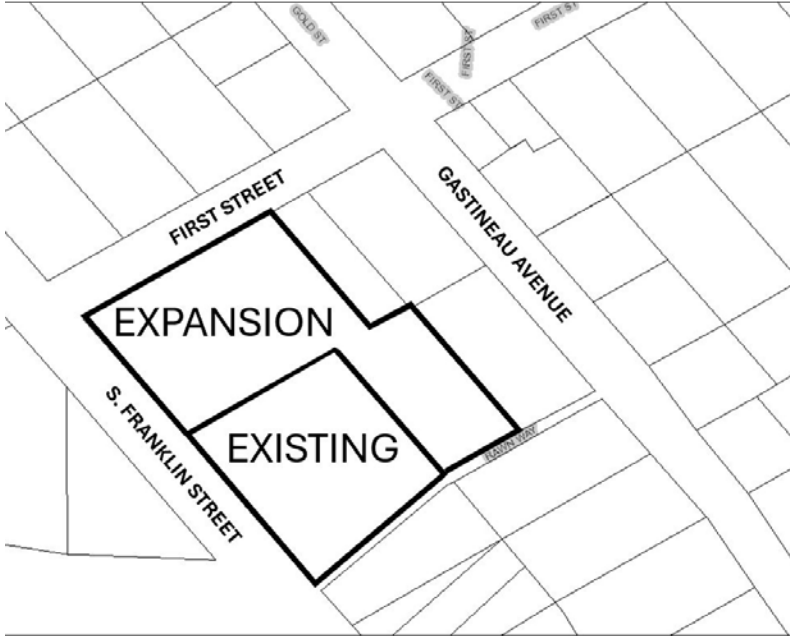
Fostering excellence in development for this generation and the next.

How are we doing? Provide feedback here: <https://juneau.org/community-development/how-are-we-doing>

Invitation to Comment

On Food Court Expansion

Your Community, Your Voice



TO

A Conditional Use Permit has been submitted for consideration and public hearing by the Planning Commission for **the expansion of the existing food court at S. Franklin Street** in a **Mixed Use (MU)** zoning district.

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **April 1, 2024** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

Now through March 18

Comments received during this period will be sent to the Planner, **Irene Gallion**, to be included as an attachment in the staff report.

March 19— noon, April 5

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, April 9, 2024

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/88922837421> and use the Webinar ID: 889 2283 7421 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 Heritage Way Juneau, Alaska.

April 10

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4130

Email: pc_comments@juneau.gov or irene.gallion@juneau.gov

Mail: Community Development, 155 Heritage Way, Juneau AK 99801

Printed March 6, 2024

Case No.: USE2024 0003

Parcel No.: 1C070A130030

CBJ Parcel Viewer: <http://epv.juneau.org>

Irene Gallion

From: David McCasland <davidmccasland907@gmail.com>
Sent: Monday, March 18, 2024 5:40 PM
To: Irene Gallion; Irene Gallion
Subject: Photo!

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS



Irene Gallion

From: Claire Geldhof <clairegeldhof@gmail.com>
Sent: Friday, March 8, 2024 8:12 AM
To: Irene Gallion
Subject: Comments Case No. USE2024 0003 "Downtown Food Court"

Good Morning!

Hope this finds you well!

I am submitting a comment for the expansion project of the existing food court at S. Franklin St., Parcel No.: 1C070A130030.

As a downtown resident that lives up the hillside, my greatest concern is the ambient noise that travels up the neighborhood from this location. In the past, sometimes late night music or ongoing activities can be quite loud and the sound can really amplify as it bounces around the buildings and surrounding concrete.

Overall Dave and his operation are very courteous and do a nice job keeping the space clean and clear.

Thank you for your time compiling comments for this project period.

Sincerely,
-Claire Suzanne Geldhof
907-723-9951 (cell)

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Do good. Be great.