



Planning Commission

(907) 586-0715

PC_Comments@juneau.gov

www.juneau.org/community-development/planning-commission

155 Heritage Way • Juneau, AK 99801

PLANNING COMMISSION NOTICE OF DECISION

Date: December 19, 2023

File No.: USE2023 0008

Steve Soenksen
PO Box 35854
Juneau, AK 99803

Proposal: Conditional Use Permit and Hillside Endorsement to create a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard Area.

Property Address: Bulger Way

Legal Description: PACIFIC COAST ADDITION BL 2 LT 12, 13, 14

Parcel Code No.: 1C070H020120

Hearing Dates: October 24, 2023
December 12, 2023 (Continuation)

The Planning Commission, at its regular public meeting on December 12, 2023, APPROVED a Conditional Use Permit to construct a six-story, 72-unit multi-family structure as described in the project description and project drawings submitted with the application, and with the following conditions:

1. Prior to issuance of a Temporary Certificate of Occupancy, an exterior, bear-resistant trash receptacle shall be provided.
2. Prior to the issuance of a grading permit or building permit, the applicant shall obtain a right-of-way permit from Engineering and Public Works for improvements within Gastineau Avenue.
3. Prior to the issuance of a Temporary Certificate of Occupancy, wheel stops shall be installed to define parking spaces.
4. Prior to the issuance of a Temporary Certificate of Occupancy, CBJ-approved signage shall be posted for the accessible parking space.
5. Prior to the issuance of a Temporary Certificate of Occupancy, all pavement markings, including directional arrows, parking space stripes, and other markings shown on the project site plan shall be applied to the parking and circulation area.

6. Prior to the issuance of a Temporary Certificate of Occupancy, covered bicycle racks providing spaces for at least twenty-six (26) bicycles shall be provided. The rack(s) shall be permanently affixed to the ground, building, or other permanent fixture, and shall be located so that parked bicycles do not encroach into a pedestrian walkway or vehicle area. Covered bicycle racks shall, at a minimum, be designed in accordance with the standards listed in the JNMTP.
7. Prior to the issuance of a grading permit or building permit, the applicant shall obtain a right-of-way permit from Engineering and Public Works for improvements within Bulger Way. A bond or other financial warranty shall be provided by the applicant according to the provisions of CBJ 49.55.010 prior to construction. The bond shall be administered by Engineering and Public Works.
8. Prior to the issuance of a Temporary Certificate of Occupancy, pedestrian stairway access shall be installed to the project site within the Bulger Way right-of-way and accepted by Engineering and Public Works.
9. Prior to the issuance of a Temporary Certificate of Occupancy, sufficient exterior lighting must be provided along the extension of the Bulger Way stairway to permit safe pedestrian access.
10. All exterior light fixtures shall be of a "full cutoff" design and located to minimize offsite glare.
11. All construction activities which impede or limit reasonable emergency response vehicle access shall be coordinated in advance with Capital City Fire and Rescue (CCFR) for an acceptable plan and timeline.
12. Prior to issuance of a Building Permit, an agreement shall be reached with Capital City Fire and Rescue (CCFR) to satisfy emergency response requirements.

Further, the Commission adopted the Director's Findings 1, 2, and 5 from the staff report dated October 17, 2023, and revised Findings 3, 4, and 6, as stated below:

Finding 3: Will the proposed development comply with the other requirements of this chapter?

Yes. The proposed development will comply with Title 49 regarding traffic, parking, non-motorized transportation, exterior lighting, snow storage, and hillside development. The design of the structure is appropriate for the existing topography, including the difficult slope. The engineering principles applied will provide a safe hillside development. This is an unusual case for a hillside endorsement because the site is zoned MU (Mixed Use), which is the densest zoning in the Borough with 0-foot setbacks, which means there will be relatively little soil remaining on the site. The applicant has met both the intent and the legal requirements of the Hillside Endorsement code. Based upon the new, additional information and discussion during the hearing, the hillside endorsement requirements for vegetative cover and replanting are intended to be met.

Finding 4: Will the proposed development materially endanger the public health, safety, or welfare?

No. Per existing and newly adopted hazard code, this development is appropriate for this site. The code does not require specific additional mitigation for this site, which is not in a severe or moderate avalanche area. Any necessary mitigation would have been addressed through the planning that satisfies the hillside

endorsement. There are no additional, specific mitigating measures required to maintain health and safety. In addition, as conditioned, the development may not occur until all Capital City Fire and Rescue requirements for emergency response are addressed.

Finding 6: Will the proposed development be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans?

Yes. CDD's finding of 'No' was predicated on the idea that the 2013 Comprehensive Plan recommends limiting development in landslide and avalanche hazard areas. As explained above, the existing and newly adopted hazard code allows for this development at this site, and emergency response requirements must be addressed. The proposal would increase affordable housing, which is one of the primary city-wide goals as expressed in adopted plans.

Attachments:

- October 17, 2023, memorandum from Jennifer Shields, Community Development, to the CBJ Planning Commission regarding USE2023 0008.
- December 1, 2023, memorandum with attachments A – D from Jennifer Shields, Community Development, to the CBJ Planning Commission regarding USE2023 0008.
- December 8, 2023, memorandum with Attachments E – F from Jennifer Shields, Community Development, to the CBJ Planning Commission regarding USE2023 0008.

This Notice of Decision does not authorize construction activity. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, December 12, 2023.

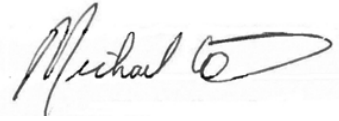
Expiration Date: The permit will expire 18 months after the effective date, or June 12, 2025, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.

Gastineau Lodge Apartments, LLC / Steve Soenksen

File No: USE2023 0008

December 19, 2023

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Michael Levine, Chair
Planning Commission

December 21, 2023

Date



Filed With City Clerk

December 28, 2023

Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



**PLANNING COMMISSION STAFF REPORT
CONDITIONAL USE PERMIT USE2023 0008
HEARING DATE: OCTOBER 24, 2023**

(907) 586-0715

CDD_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

DATE: October 17, 2023

TO: Michael LeVine, Chair, Planning Commission

BY: Jennifer Shields, Planner II *Jennifer L. Shields*

THROUGH: Jill Maclean, Director, AICP

PROPOSAL: Applicant requests a Conditional Use Permit to create a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard Area. A Hillside Endorsement from the Planning Commission is also required.

STAFF RECOMMENDATION: Denial

KEY CONSIDERATIONS FOR REVIEW:

- The applicant has applied for a Lot Consolidation for the project site (SLC2023-0003).
- Hazard map amendments in 2011 and 2013 reclassified the project site from a Severe to Moderate Landslide and Avalanche Hazard Area (AME2011-0005, Attachment K and AME2013-0003, Attachment L).
- In March 2023, the applicant entered into a Loan Agreement with CBJ to provide housing through the Juneau Affordable Housing Fund.

GENERAL INFORMATION	
Property Owner	Douglas Joe Trucano
Applicant	Gastineau Lodge Apts., LLC / Steve Soenksen
Property Address	TBD
Legal Description	PACIFIC COAST ADDITION BL 2 LT 12, 13, 14
Parcel Number	1C070H020120
Zoning	MU (Mixed Use)
Land Use Designation	Traditional Town Center
Lot Size	15,000 square feet (3 lots combined)
Water/Sewer	Public water and sewer
Access	Gastineau Avenue
Existing Land Use	Vacant
Associated Applications	SLC2023-0003 Lot Consolidation

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions or delete or modify the recommended conditions.
2. **Approve:** approve the permit and adopt new findings for items 1-6 below that support the approval.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval.
- Code Provisions:
 - CBJ 49.15.330
 - CBJ 49.25.300
 - CBJ 49.70.200
 - CBJ 49.70.300
 - CBJ 49.80

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (MU)	Bulger Way, Mixed Use
South (MU)	Vacant, Building Debris
East (MU)	Vacant, AJT Mining Debris
West (MU)	South Franklin, Mixed Use

SITE FEATURES	
Anadromous	No
Flood Zone	No
Hazard	Moderate, per AME11-05 and AME13-03
Hillside	Yes
Wetlands	No
Parking District	No Parking Required Area
Historic District	No
Overlay Districts	No

BACKGROUND INFORMATION

Project Description – The applicant is requesting Conditional Use Permit and Hillside Endorsement approval to construct a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard Area on three vacant lots in a MU (Mixed Use) zoning district (Attachment A). Specifically, the following approvals are required from the Planning Commission:

- ❖ According to CBJ 49.25.300 - Table of Permissible Uses, a multi-family structure containing more than 12 dwelling units in a MU (Mixed Use) zoning district requires a Conditional Use Permit.
- ❖ According to CBJ 49.70.300(a)(3), all development greater than a single-family dwelling within a Mapped Landslide and Avalanche Hazard Area requires a Conditional Use Permit.
- ❖ According to CBJ 49.70.200, a Hillside Endorsement for removal of vegetative cover and excavation on slopes in excess of 18% is required from the Commission, as the project does not meet the exceptions outlined in CBJ 49.70.210(b).

In support of this application, the applicant is in the process of consolidating the three lots (Lots 12, 13, and 14 of Block 2, Pacific Coast Addition) into one lot (Lot 12A, SLC2023-0003). Minor subdivisions involving thirteen or fewer lots may be approved by the Director. Lot consolidation will eliminate the proposed structure crossing internal side lot lines.



Artistic rendering, looking uphill (Attachment A).

Background – Historic Uses

The project site was originally platted in 1886 as part of Juneau Townsite (JTS) Blocks O and P. An 1892 JTS plat identifies the unoccupied land directly above the site as a “steep side hill”, and an 1894 JTS plat identifies the same area as “high land unfit for building purposes”. Access to the site was from South Franklin Street.

In 1913, the lots were platted with the Pacific Coast Addition to JTS, Gold Street was extended across the lots for access, and Bulger Way, a four-foot-wide right-of-way (ROW), was created (Attachment B).

Sanborn Maps from the era between 1914 to 1969 show multiple structures, known collectively as the “Windsor Apartments”, spread across the project site and totaling sixteen (16) units. A portion of the Bulger Way stairway off of Gastineau Avenue has been removed; the remaining stairway extends uphill from South Franklin Street but does not connect to the subject property (Attachment C).

In 1972, the City and Borough of Juneau (CBJ) began condemnation proceedings for the apartment structures. The owners then offered to donate the condemned structures and land to CBJ. The Planning Director at that time identified the area as a known geophysical hazard, and recommended that, *“because of preliminary scientific information received from the Geophysical Hazards consultants, the Neighborhood Development Citizens’ Committee in the preparation of the NDP application was of the opinion that land in this general area should eventually be placed in Public Use. Furthermore, it was stated that Public Open Space, i.e. parks and or surface parking would be an ideal land use in the area.”* (Attachment D) Subsequently, a fire impacted two of the structures. A demolition permit was issued, and all remaining structures were torn down (Attachment E).

Gastineau Avenue Reconstruction

In 2001, CBJ initiated the Gastineau Avenue Reconstruction Project between Second Street and Martin Way, encompassing the entire frontage of the project site (Attachment G). As part of the project, three documents were recorded:

- A perpetual road easement on Lot 13, in favor of CBJ, for the purpose of constructing, reconstructing, maintaining, repairing, and improving curb and gutter across, thru, or under the site (Attachment H).
- A perpetual road and retaining wall easement on Lot 14, in favor of CBJ, for the purpose of constructing, reconstructing, maintaining, repairing, and improving a retaining wall and curb and gutter across, thru, or under the site (Attachment I).
- An agreement between CBJ and the two property owners on either side of Bulger Way for monetary compensation for the easements, and for allowing them to cross over the four-foot-wide Bulger Way ROW during future private construction projects (Attachment J).

Pre-Application Conferences

In February 2018, a Pre-Application Conference was held to discuss a six-story, 72-unit multi-family development that mirrors the current proposal (PAC2018-0007, Attachment M). At that time, CBJ 49.40 Parking and Traffic required either fifty (50) on-site parking spaces for the project or a Downtown Fee in Lieu of Parking exceeding \$400,000. The project stalled.

In April 2022, the CBJ Assembly adopted the current parking ordinance (Ordinance 2020-04(b)). The project is sited in a No Parking Required Area (NPRA) [CBJ 49.40.200(a)(2)]. In May 2022, a second Pre-Application Conference for the project was held (PAC2022-0024, Attachment A).

Juneau Affordable Housing Fund (JAHF) Loan

During the 2021 JAHF solicitation, CBJ received a proposal from the applicant for a pre-development loan of \$700,000 for the project. The JAHF Review Committee supported the loan, but only if the loan was collateralized and if adequate documentation of site control could be provided due to the hazard map classification.

In October 2022, the CBJ Assembly approved the appropriation of \$700,000 from the JAHF to fund the project, using the three lots as collateral (Ordinance 2022-06(b)(P), Attachment N). A Loan Contract and Promissory Note Secured by Lien was subsequently signed in March 2023, and includes a phased loan disbursement with benchmarks (Attachment O).

Site Specific Hazard Reports

The applicant has submitted hazard and geotechnical reports from 2010 (Superior Engineering Technologies), 2012 (Baxandall Associates), and 2021 (PND Engineers) involving the project site and nearby area (Attachment A). For a detailed analysis of these reports, see the Hazard Zones Analysis section.

The table below summarizes relevant history for the project site and proposed development.

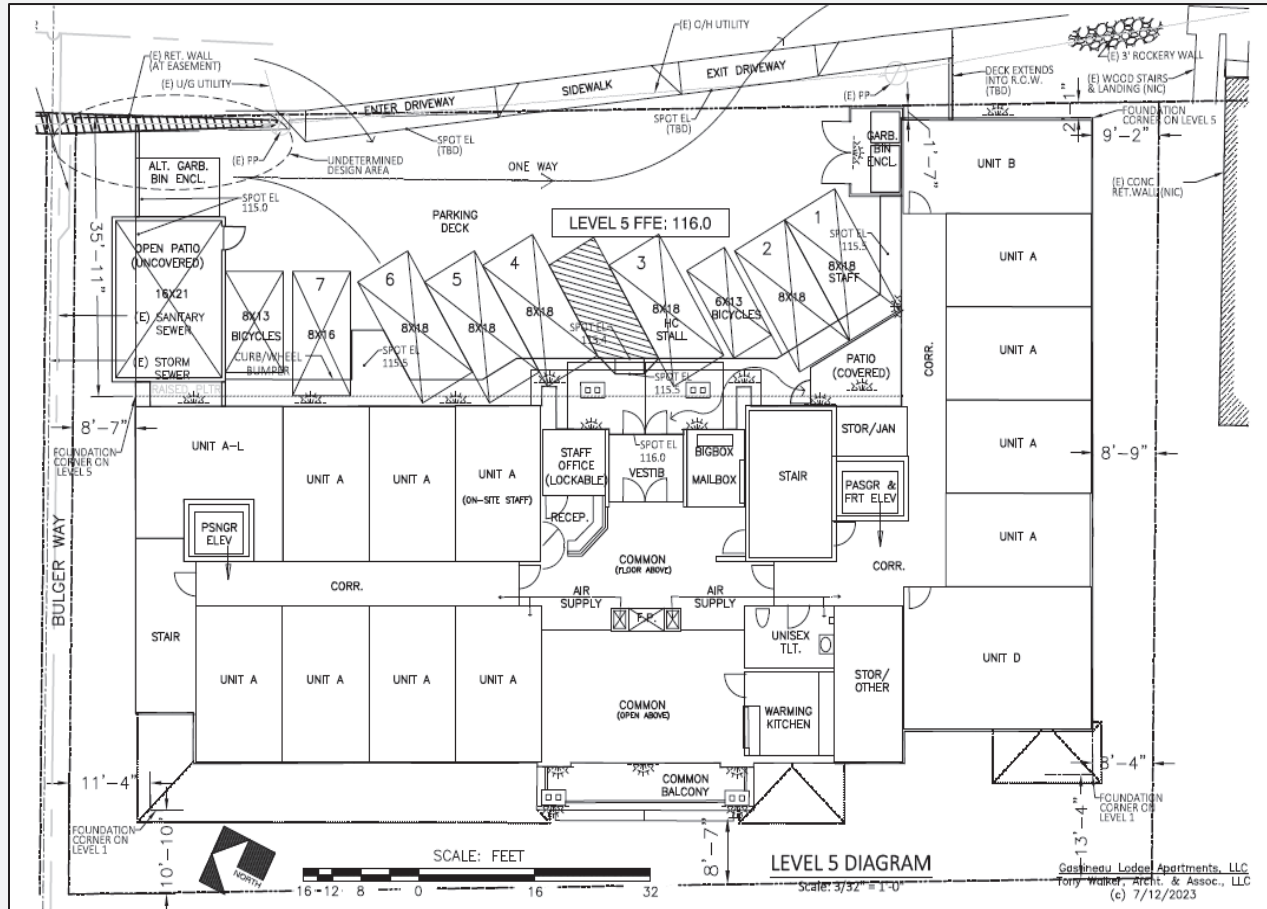
Year	Item	Summary
1913	Plat	Pacific Coast Addition plat shows Lots 12, 13, and 14 (Attachment B).
1969	Sanborn Map	Shows historical building footprints and uses on the property (Attachment C).
1972	Correspondence	1972 CBJ letters discussing condemnation of the Windsor Apartments (Attachment D).
1972	Building Permit	BLD-9079 demolition permit for the Windsor Apartments (Attachment E).
1992	Notice of Decision	Historic Design Review Permit (HDR1992-0003) to construct a five (5) space parking lot on the site in support of a commercial development on the adjacent lot below on Franklin Street (Attachment F).
2001	As-Builts	Gastineau Avenue Reconstruction Project as-built construction drawing sheets R9 and R10 (Attachment G).
2001	Easement	Road Easement on Lot 13, Tramway Building Corporation to CBJ (Attachment H).
2001	Easement	Road and Retaining Wall Easement on Lot 14, Tramway Building Corporation to CBJ (Attachment I).
2001	Agreement	Agreement between CBJ, Tramway Building Corporation, and Keen regarding monetary compensation for easements and use of Bulger Way (Attachment J).
2010	Hazard Report	Superior Engineering Technologies (Baxandall) report regarding hazard potential for nearby Lot 3, Block 2 of the Pacific Coast Addition (Attachment A).
2011	Map Amendment	AME2011-0005 reclassified nearby Lot 3, Block 2 of the Pacific Coast Addition, as well as the project site, from a Severe to Moderate Landslide and Avalanche Hazard Area (Attachment K).
2012	Hazard Report	Baxandall Associates report regarding hazard potential for the project site (Attachment A).

2013	Map Amendment	AME2013-0003 reclassified the project site from a Severe to Moderate Landslide and Avalanche Hazard Area (Attachment L).
2018	Pre-Application Conference	PAC2018-0007 for a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard Area (Attachment M).
2021	Geotechnical Report	PND Engineers geotechnical report and proposal (Attachment A).
2022	Pre-Application Conference	PAC2022-0024 for a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard Area (Attachment A).
2022	Ordinance	Ordinance 2022-06(b)(P) appropriating \$700,000 from the JAHF to fund the project, using the land as collateral (Attachment N).
2023	Loan Agreement	A Loan Contract and Promissory Note Secured by Lien was subsequently signed in March 2023, and includes a phased loan disbursement with benchmarks (Attachment O).

ZONING REQUIREMENTS

Standard		Requirement	Existing	Proposed	Code Reference
Lot	Size	4,000 sf	Lot 12 – 5,000sf Lot 13 – 5,000sf Lot 14 – 5,000sf	15,000sf (Lot 12A)	CBJ 49.25.400
	Width	50 feet	Lot 12 – 50 feet Lot 13 – 50 feet Lot 14 – 50 feet	150.04 feet (Lot 12A)	CBJ 49.25.400
	Depth	N/A	Lot 12 – 100 feet Lot 13 – 100 feet Lot 14 – 100 feet	100 feet (Lot 12A)	CBJ 49.25.400
Setbacks	Front (Gastineau Ave.)	0 feet	N/A	1' 7" (level 5)	CBJ 49.25.400
	Rear (West)	0 feet	N/A	8' 7" (level 1)	CBJ 49.25.400
	Street Side (Bulger Way)	0 feet	N/A	8' 7" (level 5)	CBJ 49.25.400
	Side (South)	0 feet	N/A	8' 4" (level 1)	CBJ 49.25.400
Lot Coverage Maximum		N/A	N/A	~60%	CBJ 49.25.400
Vegetative Cover Minimum		N/A	100%	~10%	CBJ 49.50.300
Height	Permissible	N/A	N/A	~72 feet	CBJ 49.25.400
	Accessory	N/A	N/A	N/A	CBJ 49.25.400
Maximum Dwelling Units		No Maximum	N/A	72	CBJ 49.25.500
Use		Mixed Use	N/A	Res. USE 1.300	CBJ 49.25.300

SITE PLAN



ANALYSIS

Project Site and Design – The proposed development is on three vacant lots on Gastineau Avenue, a dead-end street comprised primarily of residential uses of varying densities. The MU zoning district allows zero-foot setbacks along property lines. No maximum lot coverage or maximum building height are required.

The project site is vegetated and slopes downhill steeply from Gastineau Avenue toward South Franklin Street on the Mount Roberts hillside. The proposed development includes a six-story, 72-unit multi-family structure built into the hillside, with an access and parking deck extending from Gastineau Avenue to the structure at the same elevation.

Sixty-one (61) units will be studio apartments ranging in size from 227 square feet to 389 square feet. Eight (8) units will be 343 square feet and handicapped accessible. The remaining three (3) units will range in size from 432 to 478 square feet. Features for each level include the following, as depicted on floor plans and elevation drawing submitted in the application (Attachment A):

- Level 1 – Lowest level with nine (9) units; pedestrian stairway access/exit via South Franklin Street to Bulger Way; sidewalk, fencing, and block retaining wall running parallel to the rear property line.
- Level 2 – Nine (9) units; pedestrian stairway access/exit via South Franklin Street to Bulger Way; common meeting room.
- Level 3 – Twelve (12) units.
- Level 4 – Fourteen (14) units; access and parking deck extending into the Gastineau Avenue ROW; decommissioned water lines and new 4" water line.
- Level 5 – Fourteen (14) units; Gastineau Avenue level; access/parking deck extending into the Gastineau Avenue ROW; seven on-site, vehicular parking spaces; uncovered patio area; bicycle parking racks; trash enclosure; staff office and reception area.
- Level 6 – Top level with fourteen (14) units; fitness room.

Historic District – N/A

Traffic – Gastineau Avenue Row narrows from approximately 55-feet to 35-feet wide in front of the project site and has limited on-street parking (see photos on next page). Capital City Fire and Rescue (CCFR) and CBJ Engineering and Public Works (E&PW) street maintenance crews have challenges navigating the narrow areas due to on-street parking. E&PW has proposed widening Gastineau Avenue to accommodate additional traffic, provide additional on-street parking, and create an adequate cul-de-sac for emergency access turn-around and street maintenance operations near the end of Gastineau Avenue. The widening project is expected to be completed in Fiscal Year 2028.

It is expected that adding an additional 72 dwelling units to a congested area will have an impact on vehicular traffic. E&PW has recommended that a Traffic Impact Analysis (TIA) be provided for this project (Attachment P). According to CBJ 49.40.300(2), a TIA is not required since the project will generate less than 250 Average Daily Trips. For this application, staff used the Institute of Transportation Engineers' Trip Generation Manual (9th Edition) projections for a Mid-Rise Apartment, based upon the weekday P.M. peak hour generator. This projection represents the highest estimated Average Daily Trips (ADTs) across all categories for Mid-Rise Apartments, described as apartments in rental buildings that have between three and ten levels (floors).

Use	# Dwelling Units	Trips Generated	Total Trips
Mid-Rise Apartment	72	0.44 per dwelling unit	31.68
Total ADT's:			31.68



Looking north in front of the project site.



Looking south in front of the project site.

On September 20, 2023, the applicant submitted a letter regarding a potential secondary access road to the project site for emergency services and construction use (Attachment Q). Currently there is an unimproved Alaska Electric Light & Power (AEL&P) service road that connects the end of Gastineau Avenue, through AJT Mining Properties parcels, to Thane Road. A secondary access road is speculative in nature at this point and is not an adopted Capital Improvement Project (six-year program). Improvements to Gastineau Avenue would require CBJ work in mapped hazards areas.

Condition: None.

Vehicle Parking & Circulation – The project site is within the NPRA and no off-street parking is required according to CBJ 49.40.200(a)(2). The project Site Plan exceeds this standard by including seven off-street parking spaces, including one (1) accessible space as required per the Building Code.

The project site plan also indicates one-way traffic through the parking area via a parking deck extending from Gastineau Avenue to the structure at the same elevation. Per E&PW, a driveway access permit to enter/exit the ROW will be required, but a ROW encroachment will not be permitted due to the narrowing width of Gastineau Avenue.

Non-motorized Transportation – The purpose of the Juneau Non-Motorized Transportation Plan (JNMTP) is, “to promote active transportation by guiding development of a community-wide bicycle and walking network that can be used by all Juneau residents for all types of trips.”

The project site plan shows two (2) bicycle rack areas within the parking lot.

The project site is walkable to public services and amenities Downtown, especially if a pedestrian stairway is extended within the Bulger Way ROW and connected to the project site. The project site plan shows stairway access/exit points off Bulger Way on Levels 1 and 2 of the proposed structure. E&PW supports an extension of the Bulger Way stairway up to Level 5 on Gastineau Avenue, provided that the utilities chase located beneath the stairs remain functional and unharmed. Stairway improvements for the project will be the applicant’s responsibility and maintained by CBJ once accepted by E&PW.

Proximity to Transit – Capital Transit does not operate a route on Gastineau Avenue. The closest transit service to the project site is the Downtown Ride Free Zone which runs along South Franklin Street. The nearest bus stop is next to the Marine Parking Garage and Library.

The shortest pedestrian routes from the project site to the bus stop is via the Decker Way stairs (approximately 900 feet) or the Ewing Way stairs (approximately 700 feet).

Alternatively, if pedestrian stairway access were provided from the project site to the nearest bus stop via Bulger Way as recommended above, nearby access to transit services would be improved.

Noise – Noise is not expected to be out of character with the existing neighborhood.

Exterior Lighting – Per CBJ 49.40.235(d), parking areas must be suitably lit, and lighting fixtures must be "full cutoff" styles that direct light only onto the project site to minimize impacts to adjacent neighbors. Exterior lighting should also be provided along pedestrian pathways and immediately adjacent to the building. There are currently two electric power poles with lights along Gastineau Avenue in front of the project site’s proposed parking area.

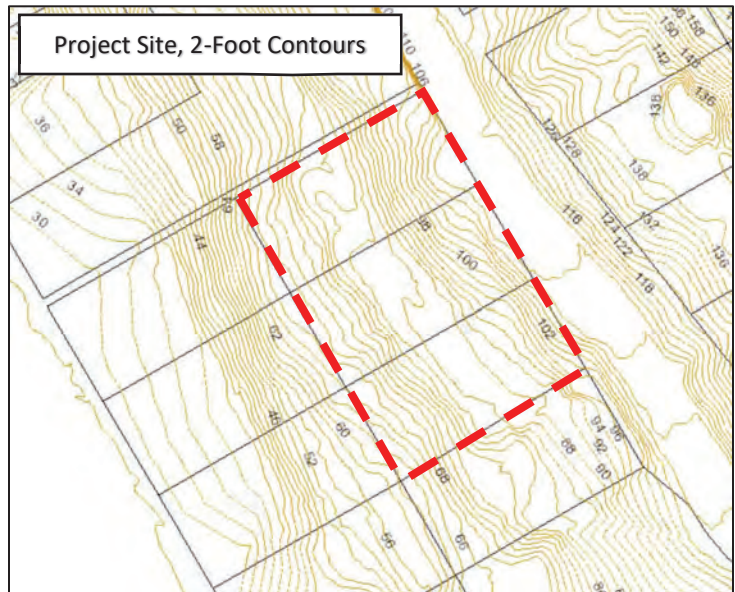
The applicant has submitted floor plans showing exterior light fixtures in various locations for each level of the building, including near the proposed extension of the Bulger Way stairway access/exit on Levels 1 and 2 of the building. The plans do not identify if the exterior light fixtures are of a full cutoff design.

Habitat – No known habitat regulated by Title 49 will be affected by this proposal.

Vegetative Cover & Landscaping – The MU zoning district (CBJ 49.25) does not require vegetative cover and landscaping. However, due to the steepness of the lot and requirements outlined in CBJ 49.70.210, removal of vegetative cover on slopes in excess of 18% will require a Hillside Endorsement Development Permit.

Hillside Development and Drainage – Using 2013 USGS contour data, the overall slope of the project site is approximately 45%. Per CBJ 49.70.200, development of the site requires a Hillside Development Endorsement Permit for excavation of any slope in excess of 18%. The permit must be reviewed by the Commission, as the project does not meet the exceptions outlined in CBJ 49.70.210(b).

Prior to construction, drainage plans will be reviewed for approval by CBJ General Engineering. Drainage plan requirements are outlined in CBJ 49.35.510, and include calculated runoff, demonstration that drainage will terminate in an established channel, and constructed accommodation of increased drainage.



Snow Storage – The project site plan does not identify a location for snow storage on the site. Given the varying widths of Gastineau Avenue and limited snow removal / disposal areas, street maintenance and snow removal will be negatively impacted if not mitigated by the applicant.

Hazards – Landslides and Avalanches

Historic Plans and Reports

A synopsis of historic plans and reports that have identified landslide and avalanche hazards for the project site and the larger Gastineau Avenue area may be found in Attachment S. These documents can be found in their entirety here:

<https://juneau.org/community-development/plans-studies>

1987 Adopted Maps

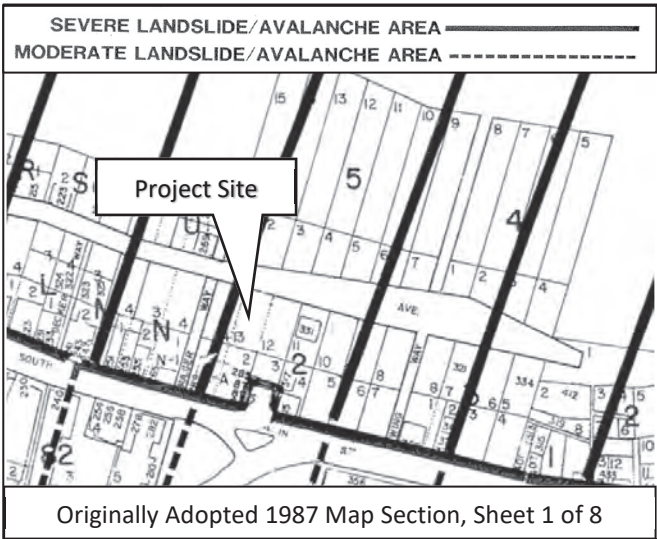
CBJ’s current code and hazard maps, adopted in 1987 for areas between White Subdivision to Thane, are based in part on maps created in the 1970s. These low-resolution maps combined landslide and avalanche areas into two hazard area types: “Severe Landslide / Avalanche” and “Moderate Landslide / Avalanche”. The table below shows how the two hazard scenarios were conflated. Eventually, the 1970’s composite map was broken down into smaller area maps and adopted by the Assembly in 1987.

		Snow Avalanche Hazard Classifications		
		High Hazard	Potential Hazard	No Hazard
Mass Wasting Hazard Classifications	High Hazard	Very High Hazard	High Hazard	High Hazard
	Potential Hazard	High Hazard	Potential Hazard	Potential Hazard
	No Hazard	High Hazard	Potential Hazard	No Hazard

The 1987 maps are cited in CBJ 49.70.300 – Landslide and Avalanche areas. This section of code was adopted by Ordinance 87-49. It was modified in 1990 by repealing a requirement of hazard area recordation and modified again in 2006 to remove a reference to an outdated sensitive areas map.

The 1987 maps originally delineated the project site within the following areas (Attachment T):

- Map Sheet 1: Composite Severe Landslide / Avalanche Hazard Area
- Map Sheet 4: Snow Avalanche – Potential Hazard Area
- Map Sheet 5: Mass Wasting (Landslide) – High Hazard Area
- Map Sheet 7: Composite Severe Landslide / Avalanche Hazard Area



2010 Hazard Report for An Adjacent Lot

In 2010, a Hazard Potential Report by Superior Engineering Technologies evaluated the hazard potential for Lot 3, Block 2 of the Pacific Coast Addition, a lot directly below the project site (Attachment A). The recommendation to reclassify Lot 3 from a severe to moderate hazard zone relied on site visits to the area, analysis of site conditions, and the debris catchment improvements made along Gastineau Avenue. Additionally, the report states:

“The foundation for the old AJ Mining Company store has also served as a debris catchment wall and continues to provide a reasonable amount of protection for any development that lies on the down slope below the foundation's wall.”

It should be noted that the AJ Mining lot is under private ownership and should not be relied upon to provide hazard protection for the project site, especially if the owners decided to develop the lot and/or remove the foundation remnants. The report also states:

“This study is based on a 100-year event and does not recognize the potential for a catastrophic event caused by a combination of excessive heavy rains and seismic activity occurring at the same time.”

2012 Hazard Report for the Project Site

In 2012, a Hazard Classification Report by Baxandall Associates built upon the 2010 report by including the project site (Lots 12, 13, and 14) in an evaluation of potential hazards since it lies directly above Lot 3, Block 2 of the Pacific Coast Addition (Attachment A). The report confirms the reclassification of the site from a severe to moderate hazard zone and discusses the following:

- A 1920 landslide above the project site that removed a significant amount of soil and overburden from the area.
- The placement of rock debris from tunnel excavation material to help stabilize the slope.
- The reforestation of Mount Roberts since historic landslide events.
- The AJ Mining foundation remnants serve as both a slope stabilizer and a debris flow barrier.
- The existing concrete traffic barrier along the downhill side of Gastineau Avenue.

2012 and 2013 Hazard Map Amendments for the Project Site

Based upon the 2010 and 2012 site-specific reports, the Directors of CDD and E&PW approved an amendment to the 1987 adopted maps, reclassifying the project site from a Severe to Moderate Landslide and Avalanche Hazard Zone (AME2011-0005, Attachment K). In a letter commenting on the map reclassification, CBJ's Chief Regulatory Surveyor stated:

“However, it shall be stated that snow avalanches and landslides may occur outside hazard areas in excess of engineering expectations. The location and severity of a specific event may be increased by manmade or natural causes. This letter does not imply that property or structures previously mapped within a potential hazard area will be free from danger or damage. Please note the acceptance of the Baxandall Study and the removal of the above-listed property from the Severe Hazard Zone shall not create liability on the part of the City and Borough of Juneau as stated in CBJ Code 49.70.300(c). The force and extent of avalanches and mass wasting are subjective. Subsequently, future property owners should receive full disclosure as to the content of the Baxandall study and CBJ findings.”

In 2013, the Directors of CDD and E&PW approved a second amendment to the 1987 adopted maps for the project site, maintaining the same classification of a Moderate Landslide and Avalanche Hazard Zone (AME2013-0003, Attachment L).

2021 Geotechnical Report for the Project Site

In 2021, a geotechnical report was prepared by PND Engineers specifically for the project site and the proposed development (Attachment A). This report is based in part on a geotechnical field investigation performed by others. As the report states, *"PND cannot attest to the accuracy of the information provided. The geotechnical field investigation was performed in July 2021. Four test pits were excavated during this investigation."* Information included in the report is the basis for a majority of the hillside development review for this project in the previous analysis. In summary, the report states:

"The existing site geometry and in-situ soils are generally not favorable for supporting typical foundation loads. Global stability analyses yield unsatisfactory factors of safety in the static seismic conditions. The existing overburden at the site is also not suitable for foundation material due to excessive fines content, although it may be re-purposed as fill at depths greater than the published frost depth in Juneau (32 inches). If the in-situ material is used for slope construction, it should not be placed steeper than 2:1, assuming there are no external loads other than seismic."

All Hazards Mitigation Plan (ADOPTED)

The current CBJ All Hazards Mitigation Plan was adopted in 2012. It is considered expired by the Federal Emergency Management Agency (FEMA) according to grant criteria and is still used as a reference by CBJ's Emergency Management Department. Plans for an update are underway.

The 2012 Plan includes an avalanche section based in part by the Swiss Snow Institute Research for Avalanche Technology. The Plan also identifies landslide hazards, further characterizes that the hazard is from mass wasting, and calls out mitigation strategies in close proximity to the project site:

"Landslide-resistant construction. Several buildings in the CBJ have landslide-resistant construction, such as breakaway, sacrificial walls on the lower floors to let landslides pass through (Marine View Building). Other buildings have elevated construction to allow landslides to pass under the bulk of the building."

Specifically, the 2012 maps delineate the project site within the following areas:

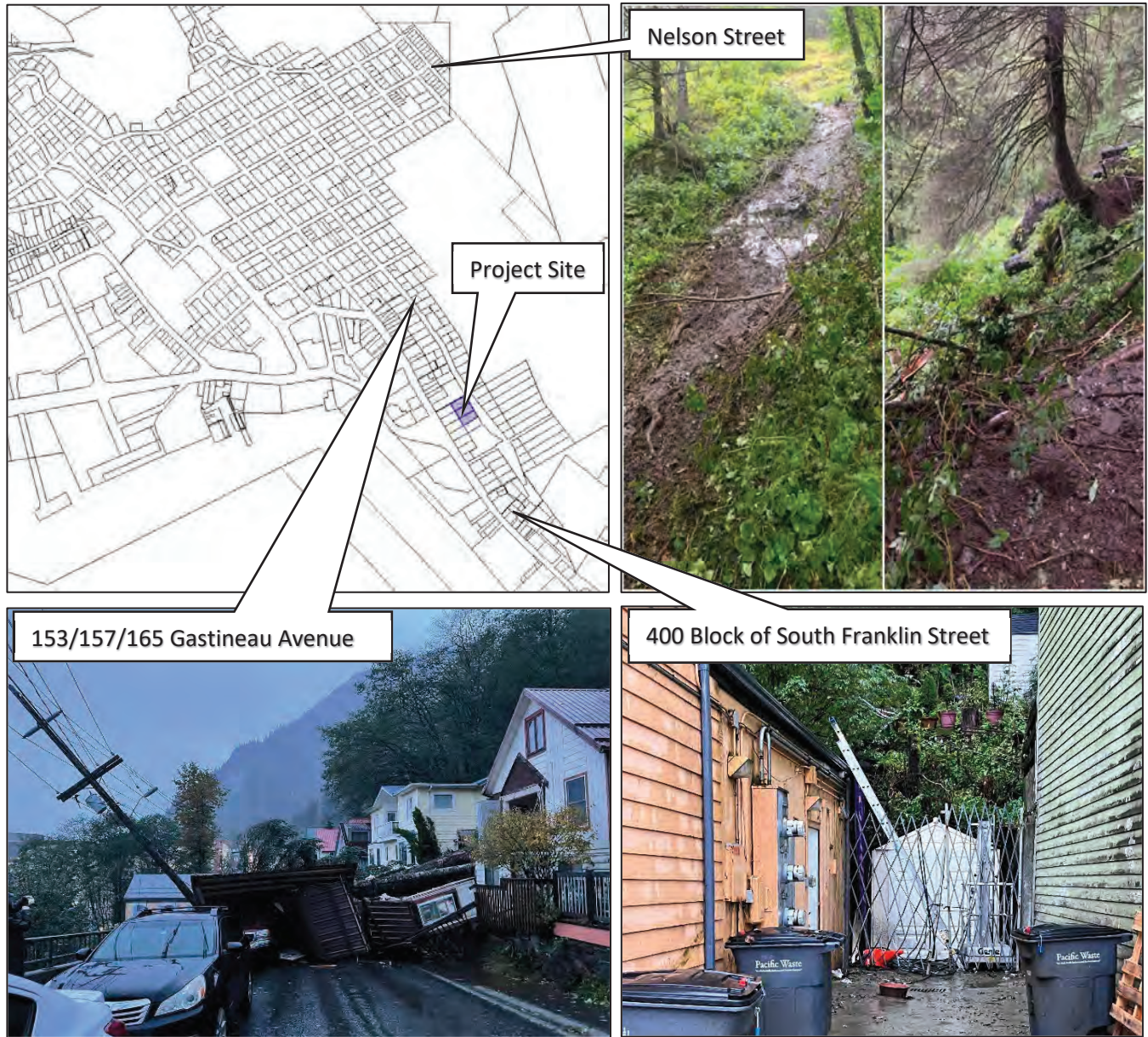
- Map 6/C: Avalanche: Moderate Hazard Area, Map 9/H: Mass Wasting: Severe Hazard Area

Recent Events Near Gastineau Avenue

In September 2022, a tree fall event occurred involving three residential structures located at 153, 157, and 165 Gastineau Avenue. Two of the structures had residents who were not home at the time of the event. The third structure, a single-family dwelling, was not occupied. Property damage was significant, with at least one of the structures a total loss.

In August 2023, a tree fall event occurred in the Starr Hill neighborhood, causing structural damage to one residential structure above Nelson Street.

In September 2023, a mudslide occurred behind buildings near 435-439 South Franklin Street, with no reports of structural damage. The force of the slide sent mud around the buildings and across the street.



CBJ 49.70.300(a)(5) states, *"The Commission may require mitigating measures certified as effective by a professional engineer for development in landslide and avalanche areas. Such measures may include dissipating structures or dams, special structural engineering, or other techniques designed for the site. Mitigating measures may also include reduction in the proposed density."*

Public Health, Safety, and Welfare –

CBJ 49.70.300(a)(1) states: *“Development in all Landslide and Avalanche areas shall minimize the risk of loss of life or property due to landslides and avalanches.”* Staff finds that the following factors, previously addressed in the traffic, hillside, and hazard analysis sections, will cumulatively and negatively impact the public health, safety, and welfare of occupants of the proposed 72 dwelling units and the surrounding neighborhood:

- Traffic: Vehicular traffic along Gastineau Avenue is congested at times due to the narrowing ROW from 55-feet to 35-feet wide and limited on-street parking. Additionally, E&PW has recommended that a TIA be provided for this project (Attachment P).
- Hillside: Per CBJ 49.70.260(2), depletion of existing vegetation shall be minimized. The submitted plans do not specify how much of the existing vegetation will remain post-construction. Proposed building setback distances will leave minimal room for undisturbed land during construction.
- Hillside: Per CBJ 49.70.260(5), the developer shall plant and maintain vegetation for one full growing season after planting. Only 10% to 20% of the project site around the edges will be available for vegetative ground cover post-construction. The remaining portion of the project site will be disturbed with grading or building.
- Hillside: Per CBJ 49.70.260(8), the developer shall minimize excavation on slopes over 30%. The overall slope of the project site is approximately 45%, and the building is to be constructed on approximately 60% of the project site, including slopes exceeding 30%.
- Hazards: Historic landslides on Mount Roberts, and in particular within the Gastineau Avenue and South Franklin Street areas, have resulted in the loss of life of at least 17 people since the Juneau Townsite was first established.
- Hazards: At least three known tree fall and mud slide events have occurred within the Gastineau Avenue and South Franklin Street areas within the last year.
- Hazards: The 2010 Hazard Potential Report for the project site, the basis for reclassifying the site from a Severe to a Moderate Hazard Zone, states: *“This study is based on a 100-year event and does not recognize the potential for a catastrophic event caused by a combination of excessive heavy rains and seismic activity occurring at the same time.”*

Property Value or Neighborhood Harmony – The proposed use is within an existing Mixed Use Residential and Commercial area. A multi-family residential use is consistent with the description of the zoning district. No information has been submitted that suggests the proposed use will negatively affect property values.

AGENCY REVIEW

CDD conducted an agency review comment period between September 15, 2023, and September 29, 2023. Agency comments submitted at the time of writing this staff report can be found in Attachment P.

Agency	Summary
General Engineering	Recommends a Traffic Impact Analysis and extending the Bulger Way stairway to Gastineau Avenue; requests a snow storage plan, grading plan, and easements for any shared use crossing the property line; and provides drainage and utility requirements.
Building	The project will need one accessible parking space per the Building Code.
Fire	Big concern for apparatus accessibility both during construction and post-construction. A secondary access from Thane would eliminate traffic congestion for emergency response. Alternatively, CCFR would like an improved turn around capability for fire apparatus. Heavy equipment blocking the road during

	construction may cause a delay in response. As an absolute minimum, access to the site via Bulger way is needed, although not ideal for transporting medical equipment and patients up and down.
Emergency Management	“As the Emergency Programs Manager part of my job is to help find ways to mitigate hazards in the borough. Especially those hazards that place an increased risk to loss of life. The currently adopted hazard maps place this in a moderate hazard landslide and avalanche zone. The most recent studies show that the area is a high hazard landslide zone. Recognizing this project has the potential to place a great number of people in harm’s way, I cannot support this proposal for a large-scale development in a known hazard zone.”

PUBLIC COMMENTS

CDD conducted a public comment period between September 20, 2023, to October 9, 2023. Public notice was mailed to property owners within 500 feet of the proposed development (Attachment U). A public notice sign was posted on site two weeks prior to the scheduled hearing (Attachment V). Public comments submitted at the time of writing this staff report can be found in Attachment W.

Name	Summary
Mary Jane Tenney	Opposes approval of the Conditional Use Permit due to parking issues.
Nancy Waterman	Questions regarding access, traffic, and parking for the development proposal.

CONFORMITY WITH ADOPTED PLANS

The proposed development is in general conformity with the 2009 Juneau Non-Motorized Transportation Plan.

The proposed development is in general conformity with the 2016 Housing Action Plan.

The proposed development is not in general conformity with the 2013 Comprehensive Plan as it relates to the development of housing in mapped hazard areas. Specifically, the 2013 Comprehensive Plan recommends the following:

- Classifies CBJ-owned buildable land as less than 18% slopes and absence of Class A and B wetlands (page 35).
- Discourages development plans of public facilities that would have the effect of concentrating people in hazard areas (page 97).
- Promotes mitigation measures that respond to the specific hazards of a site in mapped hazard areas (page 98).
- States that development in hazard areas should be prohibited or, if allowed, should be designed and operated in such a way as to ameliorate any adverse impacts associated with the identified hazard (page 146).
- States that residential densities should be kept low in areas designated as within hazard areas in regulatory maps, unless substantial effort to protect residents is made in project design and construction (page 146).
- Recommends limiting development in landslide/avalanche hazard areas and rezoning publicly owned land in those hazard areas as Resource Protection zones (page 185).

PLAN	Chapter	Page No.	Item	Summary
2009 Juneau Non-Motorized Transportation Plan	Appendix E	97	Goals	Increased access for non-driving population.
2016 Housing Action Plan	1	10-11	Creating a New Framework	The Potential of In-Fill. The potential for new housing development extends far beyond the developable parcels of public land and acquired blighted properties. Several sites served by existing infrastructure and already zoned for denser and/or mixed-use development currently house far fewer than they could. Drilled down neighborhood planning and specific, actionable neighborhood plans can both identify these locations (such as those areas surrounding Downtown, the Nugget Mall, and the hospital) and present clear alternatives for development and growth.
	2	32	JAHF	As is the case in other communities, these funds should be lendable, investable, and recyclable, and allowed to support a range of housing-related objectives, from downtown revitalization to increased housing affordability, to increased housing availability and choice.
	2	36	Develop Housing Choices to Accommodate Juneau's Workforce Needs	Ensuring that companies' involvement continues but that it becomes better coordinated and more explicitly linked to a broader public benefit, such as a greater supply of year-round rental units or a more vibrant downtown, will require some collaboration with and oversight of these efforts by the new Housing Director.
	2	49	Downtown Strategy	The downtown area has a significant opportunity to receive housing development on infill lots or via the redevelopment of some older structures. This would bring added vitality and increased economic activity to this essential part of Juneau.
	2	50	Downtown Strategy	Identify a development project that CBJ can partner in that will catalyze more activity in downtown.
2013 Comprehensive Plan	4	35	CBJ-Owned Land	States that CBJ-owned buildable land is less than 18% slopes and absence of Class A and B wetlands.
	4	37	4.2-SOP3	The CBJ government should seek and facilitate new housing production, for all types, at an annual rate that mimics the growth rate of new households in Juneau, in order to maintain

PLAN	Chapter	Page No.	Item	Summary
				adequate choice of residence type, location, and cost.
	4	37	4.2-SOP4	Explore and develop methods to foster participation by private developers in the creation of affordable and workforce housing.
	4	38	4.2-IA10	Explore and implement methods to expand permanent housing options for “work force” housing.
	5	49	5.5-IA1	Encourage new high-density residential development as in-fill housing above ground-floor commercial space or as adaptive re-use of historic commercial or other non-residential buildings. Encourage development of housing for residents who would not own or need to park automobiles in the downtown area, such as students, elders, and downtown workers. Encourage Single-Room-Occupancy (SRO) units, loft-style housing and live-work space in the downtown area.
	7	97	7.17-DG3	Eliminate from long- and short-range development plans any public facilities that would have the effect of concentrating people in hazard areas; do not preclude roads through hazard areas.
	7	98	7.17-IA4	Provide mitigating standards in the Land Use and/or Building Code for development in Landslide and Avalanche Hazard areas based on the 1972 study. These standards may include dissipating structures or dams, appropriate structural and special engineering, or other techniques that respond to the specific hazards of the site. All development in hazard areas must include mitigating measures that respond to the specific hazards of that site.
	11	146	Hazard Areas (HA)	Hazard Area lands have characteristics that could pose hazards to the general public and, therefore, development therein should be prohibited or, if allowed, should be designed and operated in such a way as to ameliorate any adverse impacts associated with the identified hazard. Examples of hazardous lands include areas with moderate to high potential for avalanche or mass wasting/ landslide events. Lands within Hazard Area designations may be zoned for a mix of zoning districts, most particularly the same district as the surrounding lands. CBJ-owned lands in hazard areas should be retained in CBJ ownership. Hazard

PLAN	Chapter	Page No.	Item	Summary
				areas are overlay land use designations that transcend other land use designation boundaries. Although any zoning district could be overlaid by the HA land use designation, residential densities should be kept low in areas designated as within hazard areas in regulatory maps, unless substantial effort to protect residents is made in project design and construction. The Hazard Areas shown on the Comprehensive Plan Land Use Maps are general in nature; regulatory maps must be based on careful scientific review of site-specific conditions and will be more specific.
	11	185	Subarea 6 Guidelines, #5	Limit development in landslide/avalanche hazard areas; rezone publicly owned land in those hazard areas as Resource Protection zones.

FINDINGS

Conditional Use Permit Criteria – Per CBJ 49.15.330(e) & (f), Review of Director's & Commission's Determinations, the Director makes the following findings on the proposed development:

1. Is the application for the requested Conditional Use Permit complete?

Analysis: No further analysis needed.

Finding: Yes. The application contains the information necessary to conduct a full review of the proposed operations. The application submittal by the applicant, including the appropriate fees, substantially conforms to the requirements of CBJ Chapter 49.15.

2. Is the proposed use appropriate according to the Table of Permissible Uses?

Analysis: The application is for the development of a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard area. The use is listed at CBJ 49.25.300, Section 1.300 for the MU zoning district.

Finding: Yes. The requested permit is appropriate according to the Table of Permissible Uses.

3. Will the proposed development comply with the other requirements of this chapter?

Analysis: Due to existing traffic congestion and limited on-street parking along Gastineau Avenue, E&PW has recommended that a TIA be provided for this project. According to CBJ 49.40.300(2), a TIA is not required since the project will generate less than 250 Average Daily Trips.

Finding: Yes. The proposed development will comply with Title 49 regarding traffic, parking, and non-motorized transportation.

Finding: No. The proposed development does not comply with Title 49 regarding exterior lighting and snow storage.

Analysis: Per CBJ 49.70.260(2), depletion of existing vegetation shall be minimized. The submitted plans do not specify how much of the existing vegetation will remain post-construction, and building setback distances will leave minimal room for undisturbed land during construction. Per CBJ 49.70.260(5), the developer shall plant and maintain vegetation for one full growing season after planting. Only 10% to 20% of the project site around the edges will be available for vegetative ground cover post-construction. The remaining portion of the project site will be disturbed with grading or building. Per CBJ 49.70.260(8), the developer shall minimize excavation on slopes over 30%. The overall slope of the project site is approximately 45%, and the building is to be constructed on approximately 60% of the project site, including slopes exceeding 30%.

Finding: No. The proposed development will not comply with Title 49 regarding hillside development.

4. *Will the proposed development materially endanger the public health, safety, or welfare?*

Analysis: Historic landslides on Mount Roberts, and in particular within the Gastineau Avenue and South Franklin Street areas, have resulted in loss of life of at least 17 people since the Juneau Townsite was first established. More recently, at least three known tree fall and mud slide events have occurred within the Gastineau Avenue and South Franklin Street areas within the last year.

The 2010 Hazard Potential Report for the project site, the basis for reclassifying the site from a Severe to a Moderate Hazard Zone, states: *"This study is based on a 100-year event and does not recognize the potential for a catastrophic event caused by a combination of excessive heavy rains and seismic activity occurring at the same time."* The applicant has not identified specific mitigating measures for siting the development in a hazard zone.

Finding: Yes. There is evidence to suggest that the proposed development, as designed within a Mapped Moderate Landslide and Avalanche Hazard area and without identified mitigating measures for hazards, will materially endanger the public health or safety.

5. *Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?*

Analysis: No further analysis needed.

Finding: No. There is no evidence to suggest that the proposed development will substantially decrease the value of or be out of harmony with the property in the neighboring area.

6. *Will the proposed development be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans?*

Analysis: The 2009 Juneau Non-Motorized Transportation Plan supports increased pedestrian opportunities, including development of the Bulger Way stairway to the project site and housing opportunities that do not rely on vehicular transportation.

The 2016 Housing Plan and the 2013 Comprehensive Plan support additional housing and mixed-use developments in the Downtown.

The 2013 Comprehensive Plan also speaks to the public health, safety, and welfare of the community by discouraging development plans of public facilities that would concentrate people in hazard areas; promotes mitigation measures that respond to the specific hazards of a site in mapped hazard areas; states that development in hazard areas should be prohibited or, if allowed should be designed and operated in such a way as to ameliorate any adverse impacts associated with the identified hazard.

The 2013 Comprehensive Plan states that residential densities should be kept low in areas designated as

within hazard areas in regulatory maps, unless substantial effort to protect residents is made in project design and construction; and recommends limiting development in landslide/avalanche hazard areas.

Finding: No. The proposed development is not in general conformity with the 2013 Comprehensive Plan.

RECOMMENDATION

Staff recommends the Commission adopt the Director's analysis and findings and DENY the requested Conditional Use Permit. The permit would allow for the development of a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide and Avalanche Hazard Area.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	1913 Pacific Coast Addition to the Juneau Townsite Plat
Attachment C	1969 Sanborn Map
Attachment D	1972 Condemnation Letters for Windsor Apartments
Attachment E	1979 BLD-9079 Demolition Permit for Windsor Apartments
Attachment F	1992 HDR92-03 Notice of Decision
Attachment G	2001 Gastineau Avenue Reconstruction As-Built Drawings
Attachment H	2001 Road Easement for Lot 13
Attachment I	2001 Road and Retaining Wall Easement for Lot 14
Attachment J	2001 Agreement for Crossing Bulger Way during Private Construction
Attachment K	2011 AME2011-0005 Reclassifying from Mapped Severe to Moderate Hazard Area
Attachment L	2013 AME2013-0003 Reclassifying from Mapped Severe to Moderate Hazard Area
Attachment M	2018 PAC2018-0007 Final Report
Attachment N	2022 Ordinance 2022-06(b)(P) Appropriating \$700,000 from the JAHF
Attachment O	2023 Loan Contract and Promissory Note Secured by Lien
Attachment P	Agency Comments
Attachment Q	"Thane Road" Secondary Access Letter from Applicant
Attachment R	Hillside Endorsement Summary Review
Attachment S	Synopsis of Historic Hazard Plans and Reports
Attachment T	1987 Hazard Study Map Sheets 1, 4, 5, 7
Attachment U	Abutters Notice
Attachment V	Public Notice Sign Photos
Attachment W	Public Comments



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address <u>Gastineau Avenue</u>		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <u>Pacific Coast Addition Block 2, Lots 12, 13, 14</u>		
	Parcel Number(s) <u>1C070H020120</u>		
	This property located in the downtown historic district		
	This property located in a mapped hazard area, if so, which <u>Moderate</u>		
	LANDOWNER/ LESSEE		
	Property Owner <u>Douglas J. Trucano</u>	Contact Person <u>Doug</u>	
	Mailing Address <u>3560 N. Douglas Hwy Juneau AK. 99801</u>	Phone Number(s) <u>907-586-2444</u>	
	E-mail Address <u>Trucano@Alaskan.com</u>		
LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:			
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.			
B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.			
X	<u>Douglas Trucano</u> Landowner/Lessee Signature	<u>4/19/2023</u> Date	
X	_____ Landowner/Lessee Signature	_____ Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant <u>Gastineau Lodge Apartments LLC</u>	Contact Person <u>Steven Soenksen</u>		
Mailing Address <u>PO Box 35854 Juneau AK. 99803</u>	Phone Number(s) <u>907-209-0709</u>		
E-mail Address <u>ssoenk@yahoo.com</u>			
X	<u>[Signature]</u> Applicant's Signature	<u>4-17-2023</u> Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number
USE23-008

Intake Initials <u>JLS</u>
Date Received <u>5-1-23</u>



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY

New Construction - 72 UNIT APARTMENT BUILDING - Major Development - Moderate Hazard Zone

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

Accessory Apartment - Accessory Apartment Application (AAP)

Use Listed in 49.25.300 - Table of Permissible Uses (USE)

Table of Permissible Uses Category: _____

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

YES - Case # _____

NO

UTILITIES PROPOSED

WATER:

Public

On Site

SEWER:

Public

On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 14,995 square feet

Total Area of Existing Structure(s) 0 square feet

Total Area of Proposed Structure(s) 40,000 square feet

EXTERNAL LIGHTING

Existing to remain

No

Proposed

No

Yes - Provide fixture information, cutoff sheets, and location of lighting fixtures

Yes - Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

Narrative including:

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

If this is a modification or extension include:

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

Plans including:

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES

	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>2,000.00</u>		(CUP-Major \$1,600, CUP-Hazard \$400)	
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>50.00</u>			
Pub. Not. Sign Deposit	\$ <u>100.00</u>			
Total Fee	\$ <u>2,150.00</u>			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

USE23-008

Date Received

5-1-23

Community Development Department

May 01,2023

City and Borough of Juneau

155S Seward St.

Juneau, Alaska 99801

Re: Conditional Use Permit Application, (Major Development)
Conditional Use Permit Application, (Moderate Hazard Zone development)
Hillside Development Endorsement permit, (Slopes exceeding 18%)

Case Number: PAC2022 0024

Applicant: Steven Soenksen, Manager

Owner: Douglas Joe Trucano, Property

Address: Gastineau Avenue & Bulger Way (Pacific Coast Addition Block 2, Lots 12, 13, and 14)

Parcel Code Number: 1C070H020120

Site Size: 14,995 square feet (Lots 12, 13, and 14 combined)

Zoning: MU (Mixed Use)

Greetings:

Per the PAC listed above, we are applying for the above referenced permits for this site. This application is consistent with the PAC meeting notes and 49.15.493.

Project Narrative

No current buildings exist on this site. As you may know, Gastineau Lodge Apartments, LLC is developing this parcel into new Multi-family, multi-story apartment building. This application is the second step in the permitting process. Project site is in the Downtown Juneau area.

The building use will be developed for 72 units (or more) of Workforce housing at 80 to 120% Annual median income. We would like to build a continuation of the pedestrian staircase in Bulger Way, a 4' CBJ easement to access utilities and construct new stairs to connect with South Franklin Street. A 6" storm and sanitary sewer lines are in this area. We will access CBJ water from the uphill side of the lot. There are three-2" water supply valves currently in the right of way.

We will have pedestrian and vehicle access and circulation from Gastineau Avenue on the uphill side. The site will be developed to have 10 units of parking on site. The Comprehensive Plan encourages multi-family apartment construction in the downtown core area.

Enclosed please find:

Site Plan

Floor Plans

Elevation Views

Vegetative Cover (Site Plan)

Parking Areas (Site Plan)

Traffic Circulation (Site Plan)

Pre-Application Conference Report

Site Specific Engineering Study (Baxandall Engineers)

Hillside Development/Hazard Analysis

Engineering Geologic Report,(PND Engineers)

We look forward to your review. Please feel free to contact me if you have additional questions.

Sincerely,



Steven Soenksen, Manager

Gastineau Lodge Apartments, LLC

9072090709

ssoenk@gmail.com



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

Gastineau Lodge Apartments

Case Number: PAC2022 0024

Applicant: Steven Soenksen

Property Owner: Douglas Joe Trucano

Property Address: Gastineau Avenue & Bulger Way (Pacific Coast Addition Block 2, Lots 12, 13, and 14)

Parcel Code Number: 1C070H020120

Site Size: 14,995 square feet (Lots 12, 13, and 14 combined)

Zoning: MU (Mixed Use)

Existing Land Use: Vacant

Conference Date: 5/18/2022

Report Issued: 5/26/2022

DISCLAIMER: Pre-application conferences are conducted for purposes of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application, and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Steven Soenksen	Applicant	ssoenk@yahoo.com
James Bib	Architect, Northwind Architects	james@northwindarch.com
Scott Ciambor	Planning Manager	Scott.Ciambor@juneau.org
Jennifer Shields	Planner II	Jennifer.Shields@juneau.org
David Peterson	Planner II	David.Peterson@juneau.org
Dan Jager	CCFR Fire Marshall	Dan.Jager@juneau.org
Charlie Ford	Building Code Official	Charlie.Ford@juneau.org
Ken Hoganson	General Engineering	Ken.Hoganson@juneau.org
Edward Quinto	Permit Specialist	Edward.Quinto@juneau.org

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

The project was previously presented for PAC2018-0007. The applicant gave an updated Powerpoint presentation on the development of a 72-unit, 6-story apartment building for workforce housing. The site is located in a mapped Moderate Hazard zone, and would be accessed from Gastineau Avenue via decking to the building. The point of access has not yet been determined.

Planning Division

1. **Zoning** – The property is zoned MU (Mixed Use). Per 49.25.300(c)(4), a Conditional Use Permit is required for Major Developments containing more than 12 dwelling units. The standards listed below apply for properties within this Zoning District.
2. **Subdivision** – Per 49.15.403, Subdivision Application would be required for consolidation of the three lots.
3. **Setbacks** – none
4. **Height** – none
5. **Access** – Submitted Concept Plan shows private improvements proposed within the CBJ right-of-way (ROW). Vacation of the ROW, or an Encroachment Permit, would be required prior to any development approvals. In addition, the property includes the following recorded easements:
 - Lot 13: Road Easement from the northeasterly property line to the back of curb and gutter constructed as part of the Gastineau Avenue Reconstruction Project ##01-200 as shown on drawing (Book 0581, Pages 723-725).
 - Lot 14: Road and Retaining Wall Easement from the northeasterly property line to the base of retaining wall, and to the back of curb and gutter constructed as part of the Gastineau Avenue Reconstruction Project ##01-200 as shown on drawing (Book 0581, Pages 726-727).
6. **Parking & Circulation**– Effective May 25, 2022, Ordinance 2022-04 will place the property within a “No Parking Required Area”, thereby eliminating parking requirements for the development (see attached). Applications submitted prior to this date must meet existing parking requirements.
7. **Lot Coverage** – none
8. **Vegetative Coverage** – none
9. **Lighting** – Lighting must be provided and directed downward at door entries and stairs.
10. **Noise** – No comments at this time, though comments may arise during public comment process for a Conditional Use Permit.
11. **Flood** – N/A
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – Landslide and Avalanche Hazard Map Amendments AME11-05 and AME-13-03 both reclassified the property from the Severe Hazard zone to the Moderate Hazard zone. Per 49.70.300(a)(3), a Conditional Use Permit is required for construction in a Moderate Hazard Zone. Also, using USGS contour data, the slope of the development area is ~ 45%. Per 49.70.200, future development of these areas would require a Hillside Development Endorsement

Permit for excavation of any slope in excess of 18%. The permit will be reviewed by the Planning Commission, as the project does not meet the exceptions outlined in 49.70.210(b).

13. **Wetlands** – N/A

14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.

15. **Plat or Covenant Restrictions** – N/A

16. **Traffic** – N/A

17. **Nonconforming situations** – N/A

Building Division

18. **Building** – Fire and Sound separation will be required between units, based on code requirements at time of application for building permit.

19. **Outstanding Permits** - None

General Engineering/Public Works

20. **Engineering – Grading**: Slopes and retaining structures shall be shown on the Grading Plan. The heights and slope ratios shall be quantified.

- a. **Easements**: Site plan (plat) shall include all existing (and proposed) easements for drainage, utility lines, plumbing lines, access, snow storage, trash (dumpster) storage, or any other shared use that requires crossing the property line

21. **Drainage** – Drainage must be directed to pre-approved drainage ways and cannot be directed at neighbors or otherwise cause a nuisance. Drainage shall be shown in the Grading Plan with arrows. Any drainage structure(s) shall be identified and sizes called out.

22. **Utilities** – (water, power, sewer, etc.) Water service shall be provided. A CBJ ROW Permit and Utility Permit will be required. The plans shall include a **Utility Plan that shows** location of buried sewer and water utilities including valve, unions, cleanouts, and **system components**. Sizes and materials shall be called out. Power by others.

- a. **CBJ right-of-way (ROW) permit** - Once the construction plan for the utilities is approved, CBJ will create the ROW permit. The permit will cover the tapping of the water main and road restoration within the right-of-way (if required). Inspection fees, refundable bond amount, and conditions will be determined after review of the proposed construction plan. The extension of the utilities within the property will require further permitting and fee assessments. This process is done separately from the subdivision and typically in conjunction with the building permit application. Utility as-builts shall be submitted to GE prior to return of Bond and closure of permits.
- b. **Water Utility permit** – For the water/fire line to be installed to the new structure: The line sizing is by the engineer. The meter is required to be installed prior to any branches in the plumbing line. The meter location and sizing shall be shown on the mechanical plans. The meter installation and conduit installation is the responsibility of the applicant. A water assessment will need to be paid and will be determined after sizing of meter and domestic line are identified.
- c. **Sewer Utility permit** – For the sewer line to be installed to the new structure, the line sizing is

determined by the engineer. The mechanical plans shall include a drainage fixture unit (DFU) count. The sewer assessment and inspection fees are to be paid and will be determined after review of the DFU's and the configuration of the underground sewer line.

Fire Marshal

1. **Fire Items/Access** – Fire Marshal Jager had questions about Fire and EMS access as the lots do not currently connect to the ROW. Fire Marshal Jager was concerned about potential hazards and/or a potential blockage of Gastineau Ave during construction. The idea of “beefing up” the parking deck was discussed, to allow for the weight of emergency vehicles.

Other Applicable Agency Review

2. N/A

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

- ✓1. Development Permit Application
- ✓2. Subdivision Application (Lot Consolidation)
3. Conditional Use Permit Application (Major Development)
4. Conditional Use Permit Application (Moderate Hazard Zone development) —
5. Hillside Development Endorsement Permit (slopes exceeding 18%) —

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Site specific study by a civil engineer experienced in landslide and avalanche analysis. —
3. Engineering Geologic Report for hillside development.

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Development Permit Application – N/A
2. Subdivision Application (Lot Consolidation): \$185.00
3. Conditional Use Permit Application (Major Development): \$1,600.00 (over 60 residential dwelling units)
4. Conditional Use Permit Application (Moderate Hazard Zone development): \$400.00
5. Hillside Development Endorsement Permit: The fee to the developer is the gross hourly rate of \$60.00 for professional review of the application and for inspection.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/cdd.

Submit your Completed Application

You must submit your application(s) in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

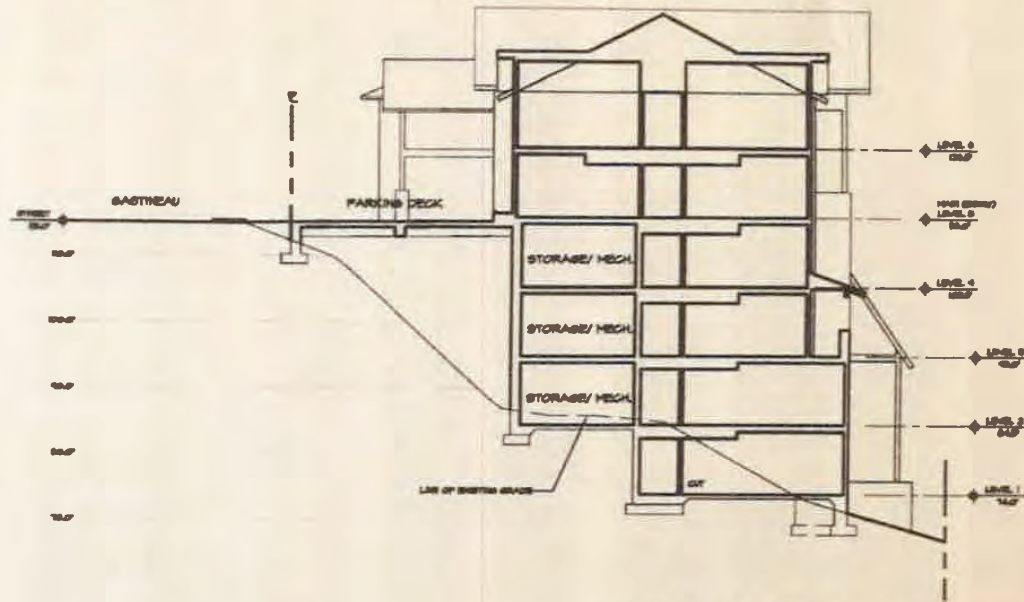
Web: www.juneau.org/cdd

Attachments:

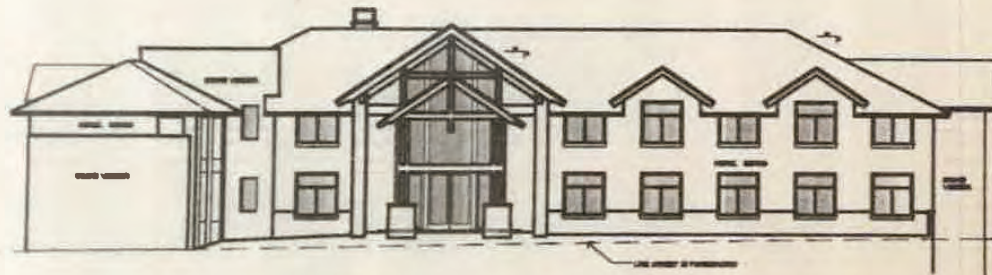
49.15.330 – Conditional Use Permit
49.15.403 – Lot Consolidations
49.70.200 – Hillside Development
49.70.300 – Landslide and Avalanche Areas
Parking Ord. 2022-04(b) and Map – effective May 25, 2022
Development Permit Application
Conditional Use Permit Application
Subdivision Application

Gastineau Lodge Apartments





SITE SECTION A - A



NORTHEAST (FRONT) ELEVATION

EXTERIOR ELEVATION/ SECTION
SC: 1/16" = 1'-0"



**GASTINEAU LODGE
APARTMENTS**

11/12/17

TOM KING
ARCHITECT



11

Gastineau Lodge Apartments, LLC

Tony Walker, Archt. & Assoc., LLC

PROJECT & SHEET INFORMATION

UNIT COUNTS & SIZES*

UNIT	~OA	~SF
A=41	12 x 20	240
A-T= 1	12 x 26	227
A-L=2	17 x 20	277
B=11	12 x 26	312
B-L= 2	12 x 26	294
B-T= 1	18 x 26	389
B-WL1= 2	18 x 26	387
B-WL2= 1	18 x 26	371
C= 2	18 x 23	432
D= 1	18 x 26	478
HC=8	14 x 25	343
UNITS=72		

SYMBOLS



TREE (TBD)



TREE LOCATION
(ABOVE OR BELOW,
FOR REFERENCE)



EXTERIOR LIGHT
FIXTURE



POT PLANTER

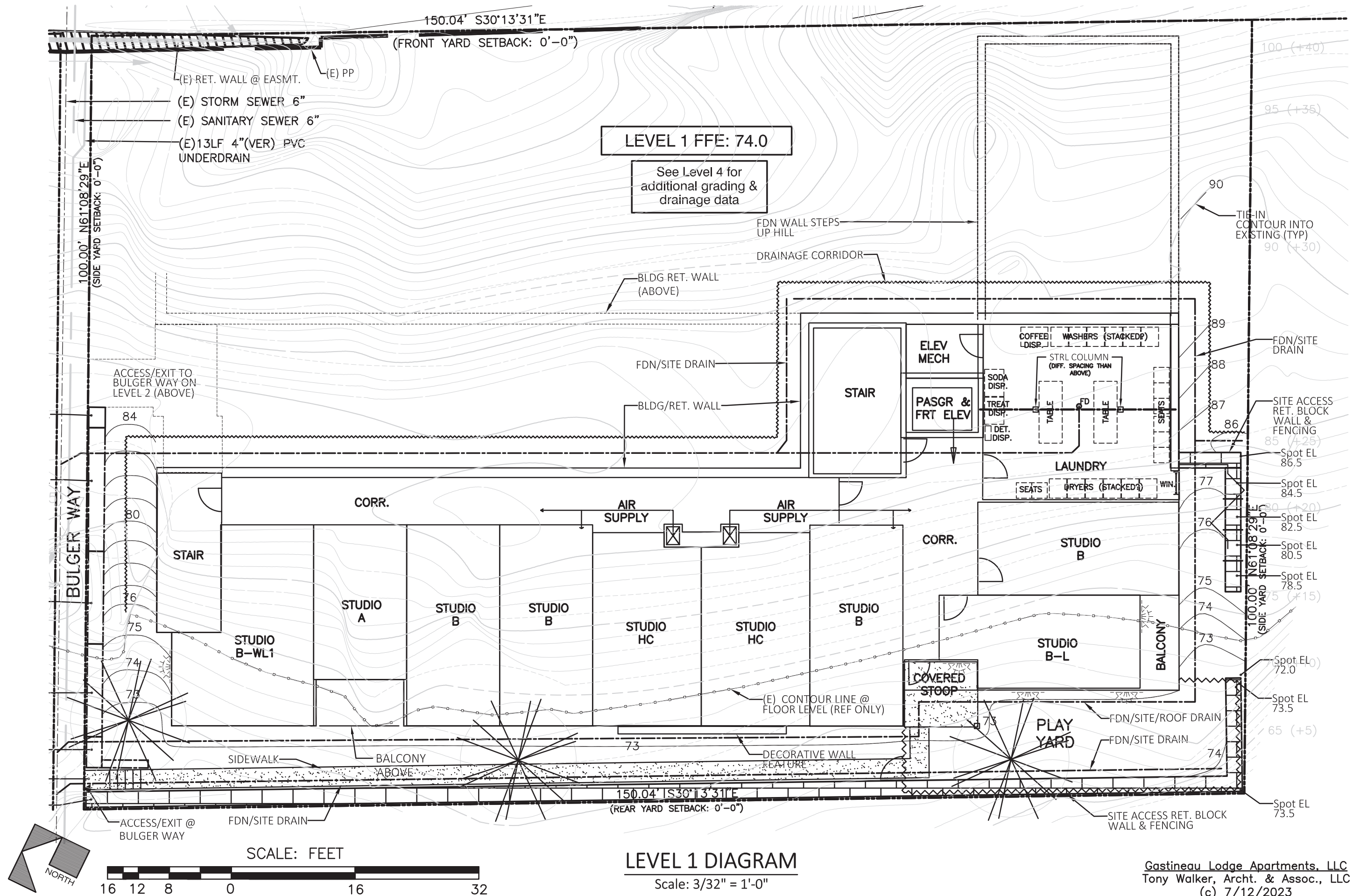
***NOTE:** "OA" INDICATES OVERALL
DIMENSIONS. THERE'S NO
DISTINCTION FOR ODD-SHAPED
AREAS. "SF" (SQUARE FOOT) IS
AN APPROXIMATION OF THE
AREA WITHIN THE SPACE.

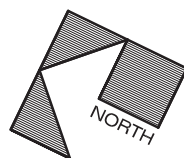
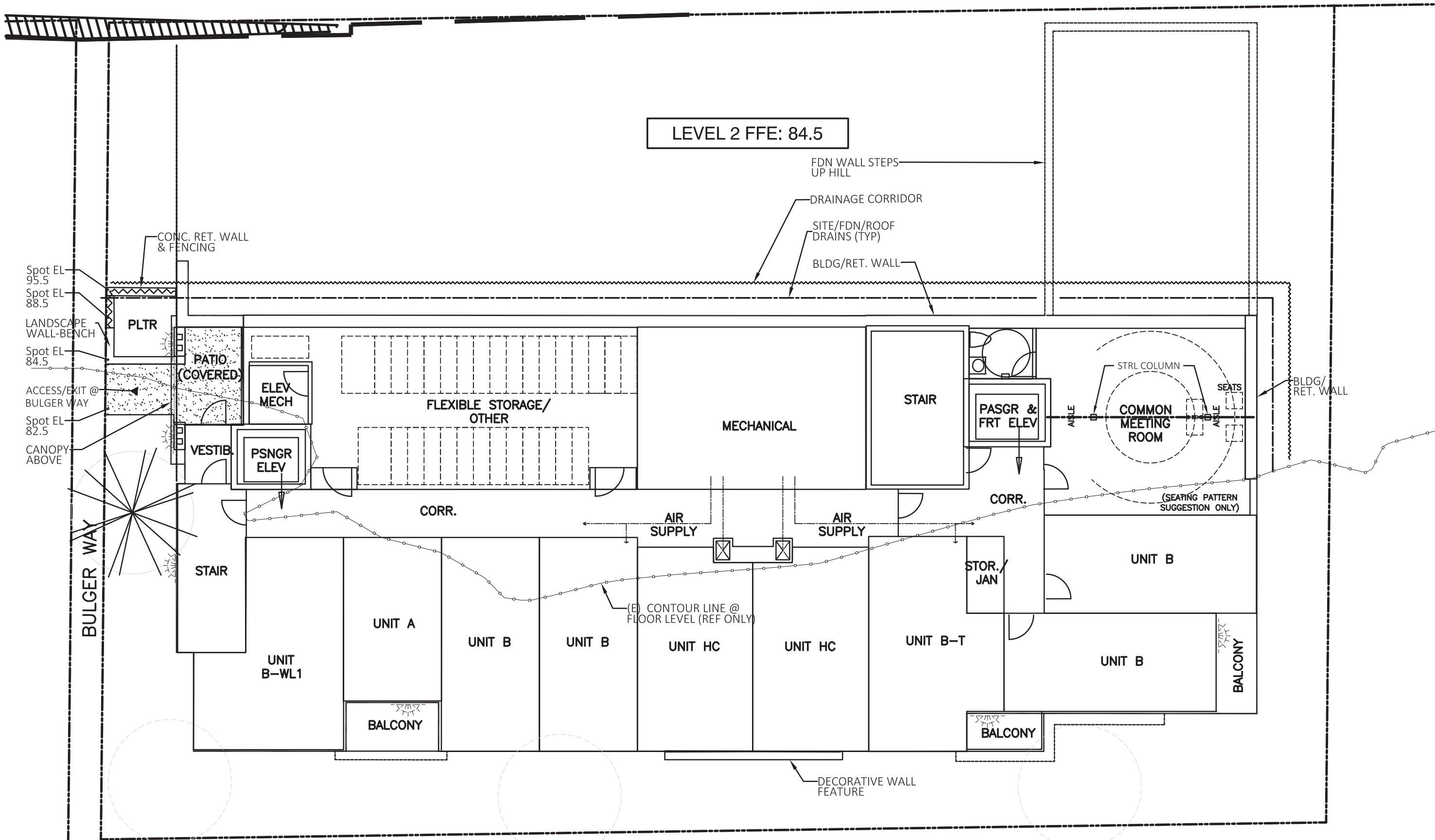
ABBREVIATIONS

ALT	ALTERNATE	NIC	NOT IN CONTRACT
BLDG	BUILDING	O/H	OVERHEAD
CONC	CONCRETE	PLTR	PLANTER
CORR	CORRIDOR	PP	POWER POLE
ENCL	ENCLOSURE	PSNGR	PASSENGER
ELEV	ELEVATOR	PVC	POLY VINYL CHLORIDE
EL	ELEVATION	RECEP	RECEPTION(IST)
E	EXISTING	RET	RETAINING
FT	FOOT/FEET	ROW	RIGHT OF WAY
FP	FIREPLACE	STRL	STRUCTURAL
FFE	FINISH FLOOR ELEVATION	STOR	STORAGE
FRT	FREIGHT	TLT	TOILET
FDN	FOUNDATION	TBD	TO BE DETERMINED
GARB	GARBAGE	U/G	UNDERGROUND
HC	HANDICAP	VESTIB	VESTIBULE
JAN	JANITOR	VER	VERIFY
		WWW	BUSINESS/COMPUTER

UNIT DESCRIPTIONS

A	STUDIO
A-T	STUDIO, T-SHAPE
A-L	STUDIO, L-SHAPE (DISCOUNTING HALL ENTRY)
B	LONG STUDIO
B-L	LONG STUDIO, L-SHAPE
B-T	LONG STUDIO, T-SHAPE
B-WL1	LONG STUDIO, WIDE, L-SHAPE-1
B-WL2	LONG STUDIO, WIDE, L-SHAPE-2
C	LARGE
D	EXTRA LARGE



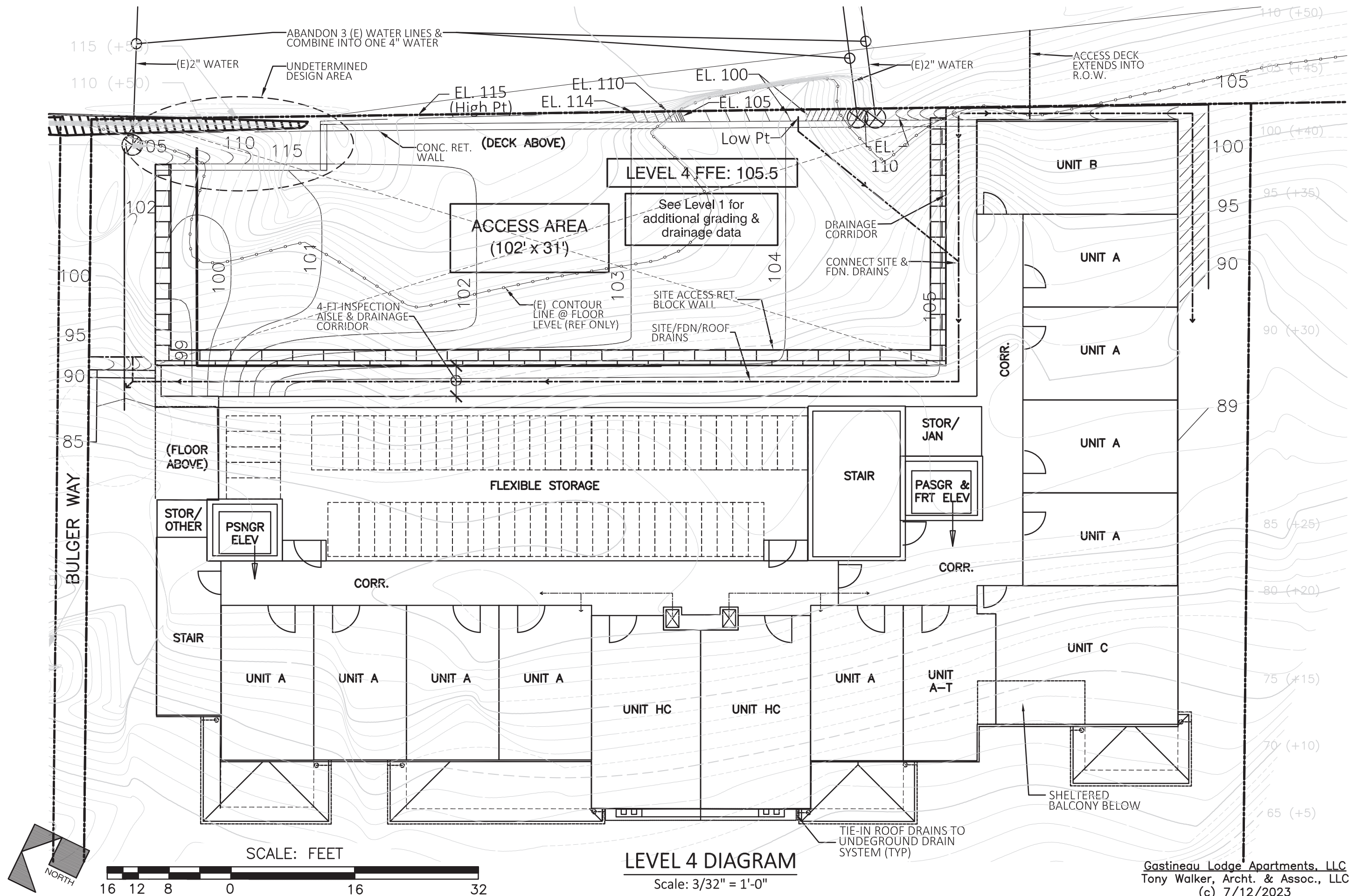


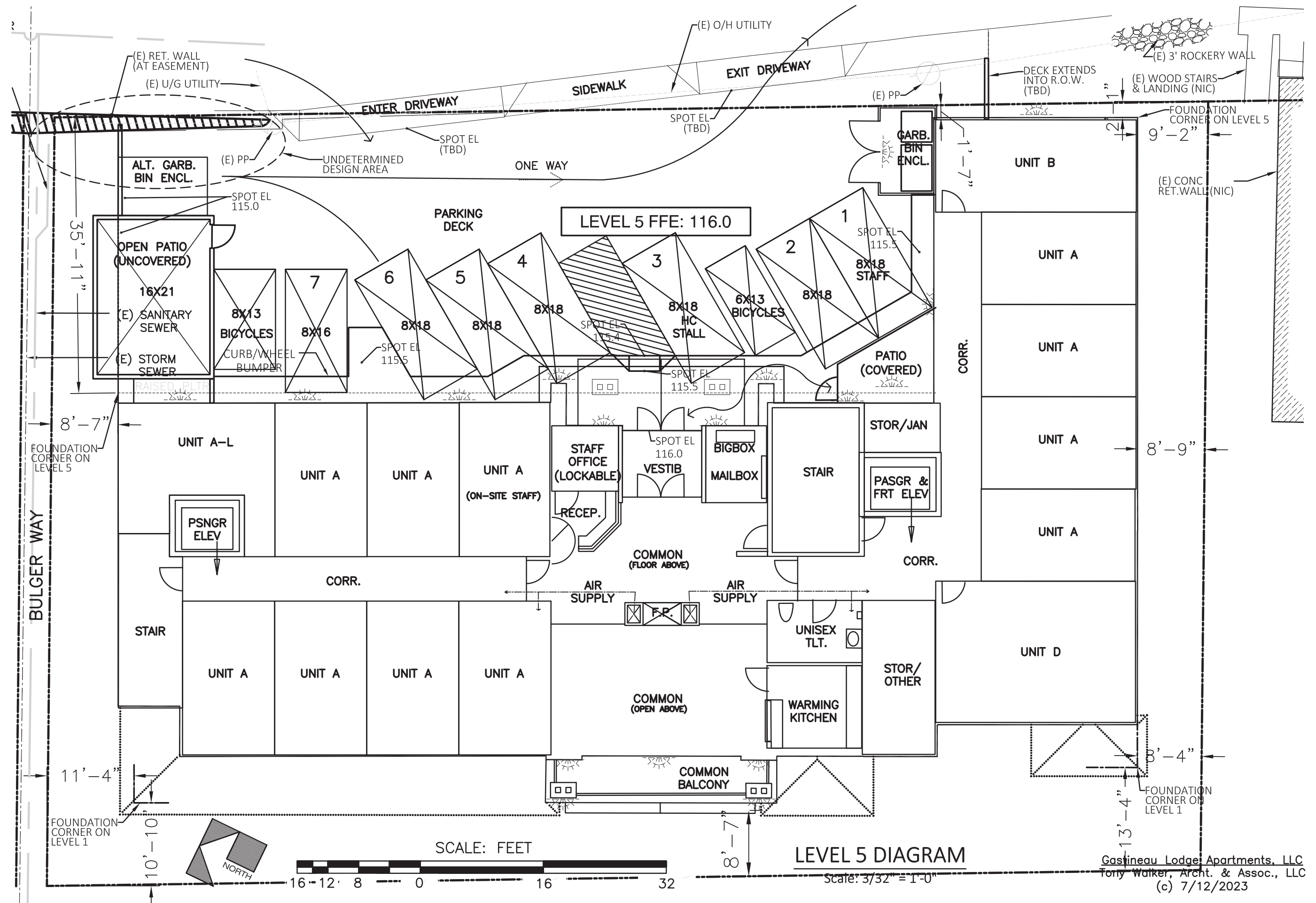
LEVEL 2 DIAGRAM

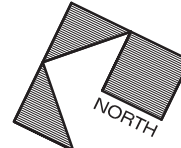
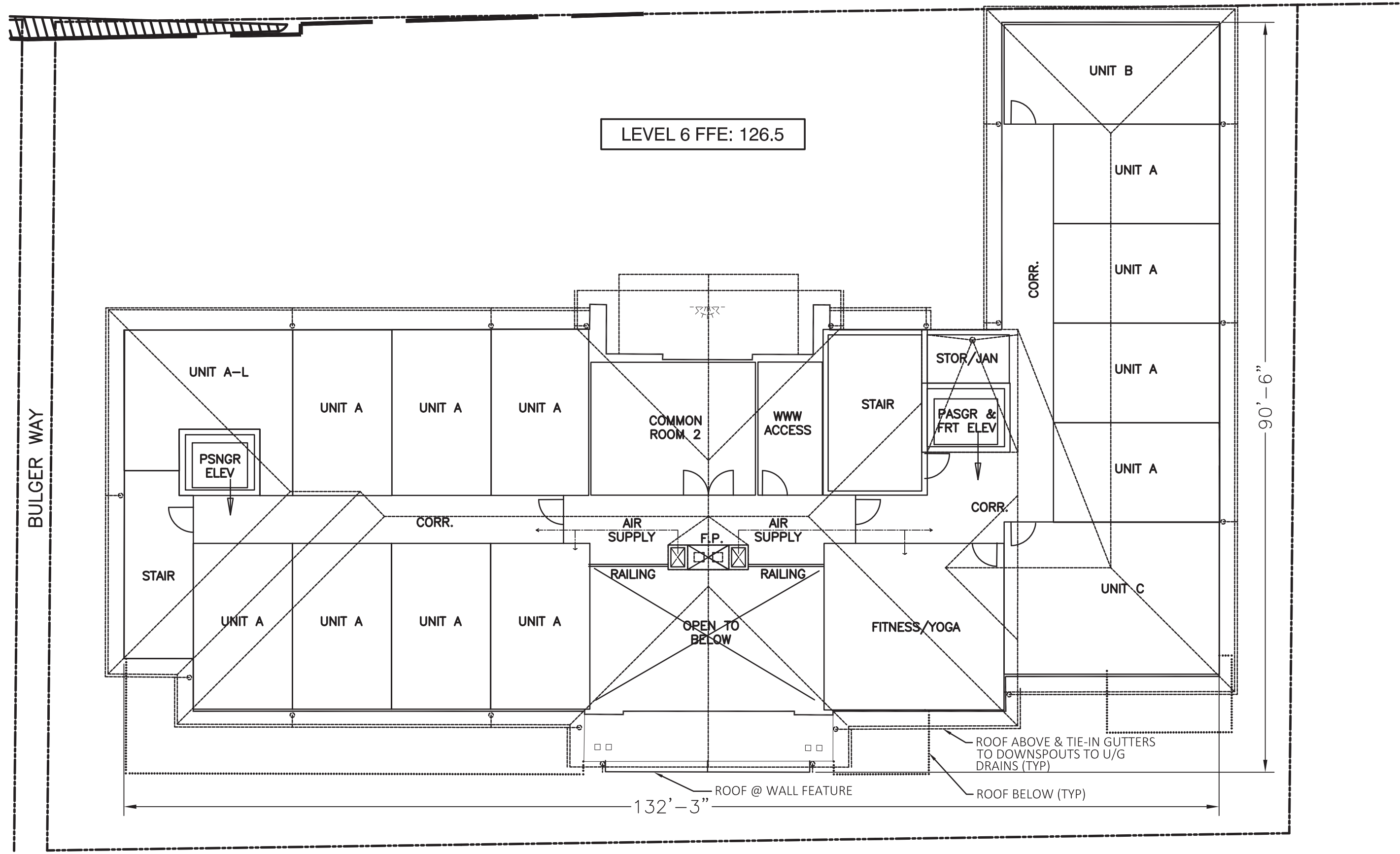
Scale: 3/32" = 1'-0"

Attachment A- Application Packet

Gastineau Lodge Apartments, LLC
Tony Walker, Archt. & Assoc., LLC
(c) 7/12/2023







LEVEL 6 DIAGRAM

Scale: 3/32" = 1'-0"

Attachment A- Application Packet

Gastineau Lodge Apartments, LLC
 Tony Walker, Archt. & Assoc., LLC
 (c) 7/12/2023

Engineering Geologic Report,(PND Engineers)



November 28, 2021

PND 212040

Mr. Steven Soenksen
Verde Infrastructure Partners
P.O. Box 35854
Juneau, Alaska 99803-5854

Re: Gastineau Lodge Apartments
Draft Geotechnical Report

Dear Mr. Soenksen:

This letter report presents the results of a geotechnical field investigation, performed by others, and design recommendations developed by PND Engineers, Inc. (PND) in support of the proposed Gastineau Lodge Apartments development in Juneau, Alaska. The report has been prepared by PND and describes geotechnical data gathered during the field investigation, laboratory results from testing performed on selected retained soil samples, geotechnical design recommendations and construction considerations.

PND performed the work in general accordance with the proposal *Bulger Way Apartments – Geotechnical Investigation Fee Proposal (Revised)*, dated January 21, 2021. Notable deviations from the proposal include that the investigation was performed by others.

Project Background and Description

Description

The project site is located on Gastineau Avenue at its intersection with Bulger Way (a narrow stairwell corridor) in downtown Juneau, Alaska. The site consists of three individual lots with no street address. The legal address is listed as Pacific Coast Addition, Block 2, Lots 12, 13 and 14. We understand that the client intends to construct one or more multi-unit residential structures with associated parking.

Error! Reference source not found. shows a project vicinity map.

Existing Site Conditions

The site is currently undeveloped, although structures were once located at the site and some foundation elements remain. There is an access road from Gastineau Avenue to a relatively flat bench approximately midway downhill



Figure 1: Project Vicinity and Site Map

on the property. Above and below this intermediate bench are vegetated slopes ranging in steepness from approximately 1.5:1 (horizontal:vertical) to 2:1. The intermediate bench is approximately 20 feet lower than Gastineau Avenue, and approximately 30 feet above the downhill property line. The slope continues downhill beyond the property line to structures located on South Franklin Street, approximately 60 feet below the intermediate bench. Topographic descriptions are based on survey information provided by others.

Regional and Local Geology, and Geologic Hazards

General geologic information for the local Juneau area is thoroughly discussed by Miller (1972), Gehrels (2000), and McClelland (1992). The following geologic summary has been developed on these referenced documents.

Overburden at the site can be generally described as colluvium, debris flow or mass wasting material originating from the Mt. Roberts hillside, on the opposite side of Gastineau Avenue immediately to the northeast of the project site. This overburden can consist of soil, rock, and organic matter, originally situated on the hillside. Trees and boulder-sized debris are not uncommon. Visually, soil samples retained during this investigation agree with historical surface mapping information.

Bedrock in the immediate vicinity of the investigation site includes various volcanic and sedimentary units that have undergone varying degrees of metamorphism. The site borders a region where the bedrock increases in metamorphic grade from little to no metamorphism on Douglas Island to increasingly higher metamorphic grades to the northeast of Juneau. The primary rock types mapped on the slopes of the immediate vicinity include metavolcanic and metasedimentary rocks that range in metamorphic grade from slate to phyllite to greenschist. In addition, commonly found intruding the metamorphic rocks are igneous mafic dikes. Both ductile and brittle forms of structural deformation have been locally imposed on the bedrock.

The currently-adopted City and Borough of Juneau (CBJ) landslide and avalanche hazard maps places the project site in a "Severe" hazard zone. Reportedly, a site-specific hazard assessment has been conducted (by others) and the site has been downgraded to a "Moderate" hazard zone. PND has not confirmed this, however. It should be noted that revised hazard maps are being considered by CBJ, but are not yet adopted. These revised maps also place the project site in a "Severe" hazard zone with regard to mass wasting. The project site appears to be in a "Low" risk hazard zone with regard to avalanches per the revised maps. No site-specific hazard assessment has been performed as part of this investigation.

Regional Seismicity and Seismic Hazards

The regional seismicity of the Juneau area is primarily defined by four known major faults: the Queen Charlotte-Fairweather Fault, Chatham Strait Fault, Denali Fault, and the Transition Fault. These four known faults surrounding Juneau all contribute to the seismic hazard of the project site. Wesson et al., (2007) found that these four faults would yield maximum moment magnitude (M_w) earthquakes of 7.8 to 8.2 for return intervals of 2% in 50 years. These ranges are consistent with the larger historic earthquakes that have previously been documented or recorded in the Juneau area (Brockman et al., 1988). Earthquakes of M_w 5.0 or less are common to Southeast Alaska, although they present low hazard to the project site.

The primary potential seismic-induced hazards for Juneau and the surrounding region include strong ground shaking, slope failure, liquefaction and landsliding. Both the seismic setting and glacially-scoured over-steepened terrain of the region contribute to the potential for both land-based and submarine landslides caused by earthquake-induced ground shaking or other triggering events, and are most likely to occur in saturated sediments and in unstable rock debris on steep slopes.

Additionally, large damaging ocean waves (tsunamis) generated either directly from local land displacement or due to earthquake-induced landslides have the potential to inflict damage to the region. Offshore tsunami generation and propagation in the vicinity of Juneau, however, is considered to be low due to the strike-slip nature of nearby faults; strike-slip faulting characteristically propagates horizontal land displacement motion,

rather than the vertical displacement that is typically responsible for generating tsunami events (Combellick and Long, 1983):

Regional Climate

The Juneau region experiences temperate rainforest/maritime climate conditions typical to Southeast Alaska. The average monthly temperatures recorded in Juneau range from 25°F to 56°F. Daily extreme temperatures have been recorded from (-)22°F to 90°F. Average annual precipitation is 62 inches.

Field Investigation

Geotechnical Exploration

The geotechnical investigation was performed by others and was not observed by PND. Videos, photographs, soil samples, and a hand-sketch test pit map were provided to PND after the investigation for use in developing this report. The investigation summary described herein is based on information provided to PND, and PND cannot attest to the accuracy of the information provided.

The geotechnical field investigation was performed in July 2021. Four test pits were excavated during this investigation. The test pit locations were selected prior to the investigation and distributed across the site with consideration given to equipment access. The test pits were reportedly excavated to refusal on bedrock using a Deere 135G track-mounted excavator. Soil samples were collected near the bottom of each excavation. The samples were placed in plastic containers. Photographic and video documentation of the investigation was performed.

All soil samples were provided to PND in sealed and unsealed plastic containers. The samples were delivered to PDC Engineers' laboratory in Juneau for testing.

Historical Explorations

PND conducted a geotechnical drilling investigation in Gastineau Avenue in 1999. Several boreholes were located immediately adjacent to the project site. The investigation showed overburden consisting generally of silty sand with gravel. Groundwater was noted at depths of 15 to 22 feet below ground surface (bgs). Bedrock was encountered at a depth of 40 feet bgs in one location. It was not encountered in other borings which extended to depths of 51 feet bgs.

Investigation Results

A test pit summary is provided in Table 1. Figure 2 shows a test pit map, provided by others.

Table 1: Test Pit Summary

Test Hole Designation	Collar Elevation (ft)*	Depth to Bedrock (ft bgs)	Termination Depth (ft bgs)
Test Hole 1	90	7	7
Test Hole 2	86	1	1
Test Hole 3	75	7	7
Test Hole 4	69	8	10

*Elevation estimated from topographic information provided by others, datum unknown.

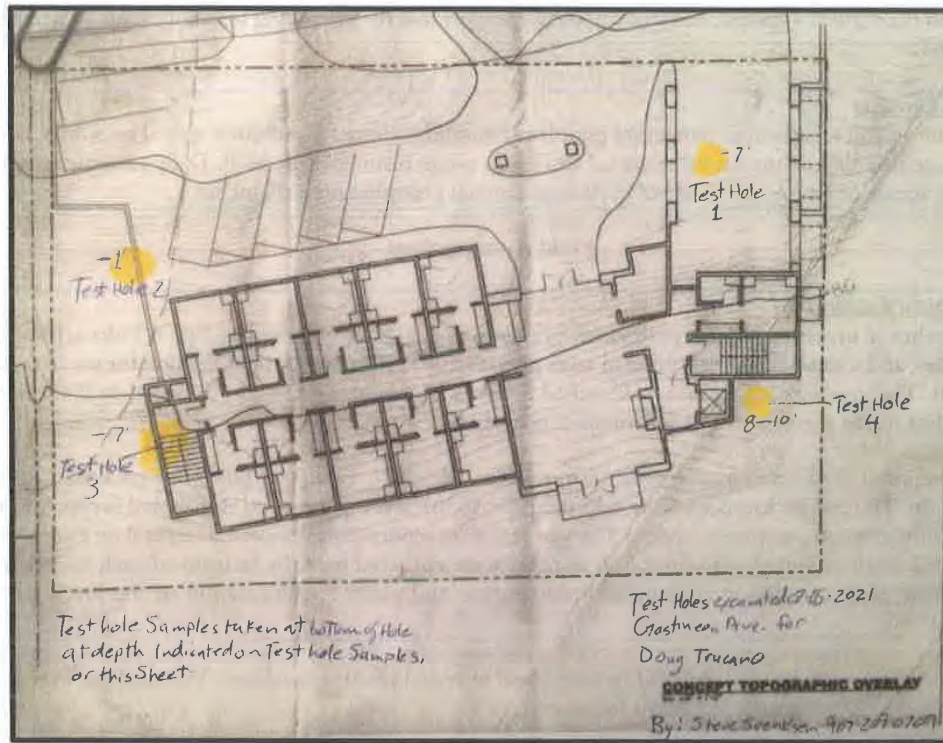


Figure 2: Test Pit Map with Site Plan and Topographic Overlay

Soil Lithology and Composition

Overburden at the project site generally consists of brown silty sand with gravel. Cobbles are noted in provided photographs.

Bedrock

Bedrock was reportedly encountered in all test pits, at depths ranging from 1 foot to 8 feet bgs. At Test Hole 4 the excavator was able to dig several feet into bedrock. The bedrock was described as “shaley” indicating a laminated or foliated structure that readily breaks along discontinuities.

Groundwater

Groundwater was not observed during the investigation. The 1999 PND geotechnical information in Gastineau Avenue encountered groundwater between 15 and 22 feet bgs. Groundwater at the project site may fluctuate seasonally or may travel along the overburden/bedrock interface.



Figure 3: Excavator and in-situ silty sand with gravel

Laboratory Testing

Selected soil samples were subjected to laboratory tests to evaluate soil index properties. All testing was performed at PDC Engineers' Juneau laboratory. Soil index tests included determination of grain size distribution and moisture content. All individual laboratory test results can be found in Appendix C.

Geotechnical Analysis and Design Recommendations

Summary

The existing site geometry and in-situ soils are generally not favorable for supporting typical building foundation loads. Global stability analyses yield unsatisfactory factors of safety in the static seismic conditions. The existing overburden at the site is also not suitable for foundation material due to excessive fines content, although it may be re-purposed as fill at depths greater than the published frost depth in Juneau (32 inches). If the in-situ material is used for slope construction, it should not be placed steeper than 2:1, assuming there are no external loads other than seismic. Building foundations or retaining structures should be founded on the shallow bedrock encountered at the site. Alternatively, the in-situ material could be replaced with structural fill as necessary to achieve satisfactory factors of safety for global stability. Deep foundations are not recommended, as they are not expected to be an economical solution.

Soil Design Parameters

Table 2 presents the generalized soil design properties for the project site. Values for future Structural Fill are estimated based on experience with this material. Values for the in-situ material are based on conservative estimates within typical ranges for the material encountered per sources such as Das (2007) and Coduto (1999). Global stability limit equilibrium analyses were also used to back-calculate parameters for the in-situ material, given the lack of known failures and stability observed during the test pit investigation.

Table 2: Generalized Soil Design Properties

Soil Type	Buoyant Unit Weight (pcf) ¹	Effective Friction Angle, ϕ (degrees)	Effective Cohesion, c (psf)	Elastic Modulus, E (ksf)
Structural Fill (Future)	73	42	0	3,500
Silty Sand with Gravel	63	38	0	400

¹ Buoyant unit weight is based on a unit weight of displaced water of 62.4 pcf.

Structural Fill, as described in Table 2, is inclusive of all imported material as defined in subsequent sections of this report.

Seismic Design Parameters

Structures in Juneau shall be designed to resist seismic loads in accordance with the appropriate design codes. Ground motions associated with the Maximum Considered Earthquake (MCE) have a probability of exceedance of 2% in a 50-year timeframe, which correlates to an average return period of 2,475 years. This seismic event is mandated by the International Building Code (IBC) and ASCE 7 for buildings, building-related structures and certain non-building facilities.

Site class was determined based on the soil conditions from this investigation and those at the nearest borehole from an historical investigation. Risk category was determined based on planned use of the proposed improvements (apartment buildings). Moment magnitude was obtained from the United States Geological Survey (USGS) online Unified Hazard Tool. All other parameters were obtained from the Applied Technology Council (ATC) Hazards by Location online utility, with the 2012 IBC as the reference code. All seismic parameters are given in Table 3.

Table 3: Seismic Design Parameters

Seismic Event (Return Period, Probability of Exceedance):	MCE (2,475 years, 2% in 50 years)
Site Class:	C
Risk Category:	II
Peak Ground Acceleration (PGA):	0.207g
S_s (0.2 sec period acceleration):	0.528g
S_1 (1.0 sec period acceleration):	0.356g
F_{PGA} :	1.193
F_w :	1.189
F_v :	1.444
S_{GS} :	0.418g
S_{G1} :	0.342g
Site-Adjusted Peak Ground Acceleration (PGA_{adj}):	0.247g
Moment Magnitude (M_w):	7.9

Fault Rupture

The nearest significant fault (the Denali Fault) is located approximately 21 miles from the project site. Based on the absence of mapped faults across the proposed project area, the risk of fault displacement resulting in ground rupture is low.

Liquefaction

Liquefaction occurs when excess pore water pressure develops in saturated soils, typically as a result of vibrations or ground shaking such as earthquakes, which results in a loss of shear strength in the soil. Detrimental effects of liquefaction include ground settlement due to densification of the liquefiable soils, and slope instability, lateral spreading, and reduced bearing capacity due to loss of shear strength. Typically, liquefiable soils are very loose to medium-dense, clean to moderately silty sands, and some silts below the water table. Other soils may experience liquefaction depending on factors such as the duration of ground shaking. Gravels and soil with a high fines content (greater than approximately 35%) which exhibits clay-like behavior (Plasticity Index ≥ 7) are unlikely to liquefy (Boulanger and Idriss, 2006). Soils below a certain depth, often estimated at a maximum of 50 feet, may not liquefy due to high confining pressures (Day, 2002). This depth is based on site-specific conditions and engineering judgement, and should not be assumed for all cases.

A liquefaction analysis is beyond the scope of this investigation and the field data collected is insufficient to conduct such an analysis. The absence of observed groundwater during this investigation suggests that liquefaction may not be a real concern at the site. However, groundwater may have significant influence on certain analyses, including liquefaction, lateral spreading and global stability.

Foundations and Retaining Structures

Design of shallow foundations must consider the bearing capacity of the underlying soil as well as the potential for settlement and the effects of seasonal frost action. In general, foundation design should be consistent with the current edition of the IBC with any local amendments or requirements.

The following subsections will discuss allowable bearing pressure determinations with respect to bearing capacity, elastic settlement, and long-term settlement for perimeter strip footings. The existing in-situ silty sand is unlikely to be able to adequately support typical foundation loads in a sloped geometry. Excavation and replacement with structural fill, or constructing foundations directly on bedrock, is necessary to support building loads.

Bearing Capacity and Elastic Settlement

At present, shallow foundations and retaining structures are recommended to bear on bedrock. The 2012 version of the IBC permits a presumptive allowable bearing pressure of 4,000 pounds per square foot for sedimentary and foliated rock. This value assumes that the foundation will bear evenly on a flat rock surface. Elastic, or immediate, settlement is not expected to have a controlling influence for foundations bearing on rock.

The allowable bearing pressure for foundations bearing on structural fill over bedrock may be calculated using the values in Table 2. Alternatively, a presumptive allowable bearing capacity of 3,000 pounds per square foot may be used per the 2012 version of the IBC. Consideration must be given to proximity to nearby slopes. If slopes are within the foundation zone of influence, the bearing capacity will be reduced. Many geotechnical texts provide guidance on determining bearing capacity for foundations near slopes, which is reliant on slope angle, distance from slope and other factors currently unknown. As design progresses the allowable bearing pressure should be re-calculated based on site geometry.

Allowable bearing pressure is typically calculated by applying a factor of safety of 3 to the computed ultimate bearing pressure. The allowable value may be increased by 33% when considering short-term transient loads, such as wind and seismic forces.

Primary Consolidation and Secondary Compression Settlement

Long-term settlement occurs when soil consolidates over time due to an induced load, such as building foundation loads. Two types of long-term settlement are typically considered: primary consolidation and secondary compression. Both are typically attributed to compressible soils such as saturated silts and clays. No compressible soils were encountered during the investigation and therefore long-term settlement is not expected to be an issue for this project.

Lateral Load Resistance

Lateral loads on footings will be resisted by passive earth pressures developed against the footing block and frictional resistance against the base of the footing. A passive resistance (equivalent fluid pressure) of 250 pcf, which includes a factor of safety of 2, is recommended for structural fill. A coefficient of friction of 0.5 is recommended to be used for resistance of footings to lateral sliding, assuming concrete footings are cast directly against sand and crushed gravel (structural fill). Precast footings should use a coefficient of friction of 0.30. Footings cast direction on clean, sound bedrock may use a coefficient of 0.7. The passive resistance and sliding coefficient are permitted to be used together with no reduction.

Uplift Resistance

Uplift loads may manifest in some foundation elements due to overturning moments that occur as a result of wind and seismic forces. For sump structures at the project site extending below the groundwater elevation, uplift may also result from buoyancy effects of groundwater on the structure. Uplift loads may be resisted by the weight of the footing and soil within the limits of a truncated pyramid above the top of the footing. The shape of the truncated pyramid will vary with material type and density. For the material expected at this project site, the pyramid is defined by a 30-degree angle from vertical extending upward from the top of the footing.

Retaining Walls

All retaining walls must be designed to resist lateral pressures including lateral earth pressures, surcharge or surface loads, hydrostatic pressures, and seismic forces. We recommend the use of clean, angular, free-draining coarse grained soil to prevent the buildup of hydrostatic forces. Any retaining walls should be designed following the current edition of the IBC including any location amendments.

The magnitude of lateral earth pressure is a function of the type and density of the soil behind the wall and the allowable movement of the structure with respect to the backfill. For walls allowed to deflect laterally or rotate an amount equal to about 0.001 times the height of the wall, an active earth pressure condition under static

loading would prevail. If movement is restricted, the lateral earth pressure should be designed for an at-rest condition.

Use of the soil strength parameters for imported Structural Fill, provided in Table 2, is recommended for any retaining wall design provided that Structural Fill is used during construction. These parameters allow for the computation of lateral earth pressure "K" coefficient for the design soil-structure state of either active (K_A), at-rest (K_0), or passive (K_P) conditions. Additionally, the lateral earth pressure should consider the angle of the soil behind and in front of the retaining wall, any surcharge, distributed, or point loads, and wall-to-soil interface friction. Engineering judgment should be exercised as to which state the wall is in when calculating driving and resisting forces from the soil for external stability. Consideration should also be given to any compaction-induced lateral earth pressure. For walls retaining level backfill, an equivalent fluid pressure of 25 pcf may be used for the active condition; an equivalent fluid pressure of 45 pcf may be used for the at-rest condition.

Seismic forces will also impart short-term transient loads on retaining structures. There are several methods for estimating the earthquake load, P_E , on retaining walls such as the following proposed by Seed and Whitman (1970):

$$P_E = \frac{3}{8} K_H (H)^2 \gamma$$

where: P_E = earthquake load, in pounds force per foot of wall
 K_H = horizontal seismic coefficient, typically the site-adjusted PGA
 H = height of the retaining wall
 γ = effective unit weight of retained soil

This method recommends that the earthquake load be applied at a height of 0.6H above the base of the wall.

The external stability of sliding and overturning should have minimum factors of safety of 1.5 and 2.0, respectively, under static conditions. The allowable bearing capacity should consider eccentric loads on the footing and should have a minimum factor of safety of 3 under static conditions. Factors of safety may be reduced under certain short-term transient loading conditions such as seismic forces.

Global Stability

A global stability analysis was performed based on the existing site geometry, the soil lithology encountered in this investigation, and historical borehole logs from the 1999 PND investigation on Gastineau Avenue. The software program Slide2, by Rocscience, was used to conduct the stability analyses. Two site typical sections analyzed: Section A (based on Test Holes 2 and 3) and Section B (based on Test Holes 1 and 4). The sections are depicted in Figure 4.

The analyses considered two load cases: static (long-term) and pseudo-static/seismic (short-term with seismic accelerations). The pseudo-static analysis was further examined in two scenarios, one with the in-situ silty sand remaining and one assuming that the silty sand had been replaced with structural fill. These two pseudo-static scenarios were analyzed to determine if foundations bearing on structural fill was viable or if foundations must bear on bedrock. Geometry beyond the property lines was modeled, but the analysis boundaries were truncated at the property lines. Slopes above and below the project site may need to be considered in the overall analysis as design progresses.

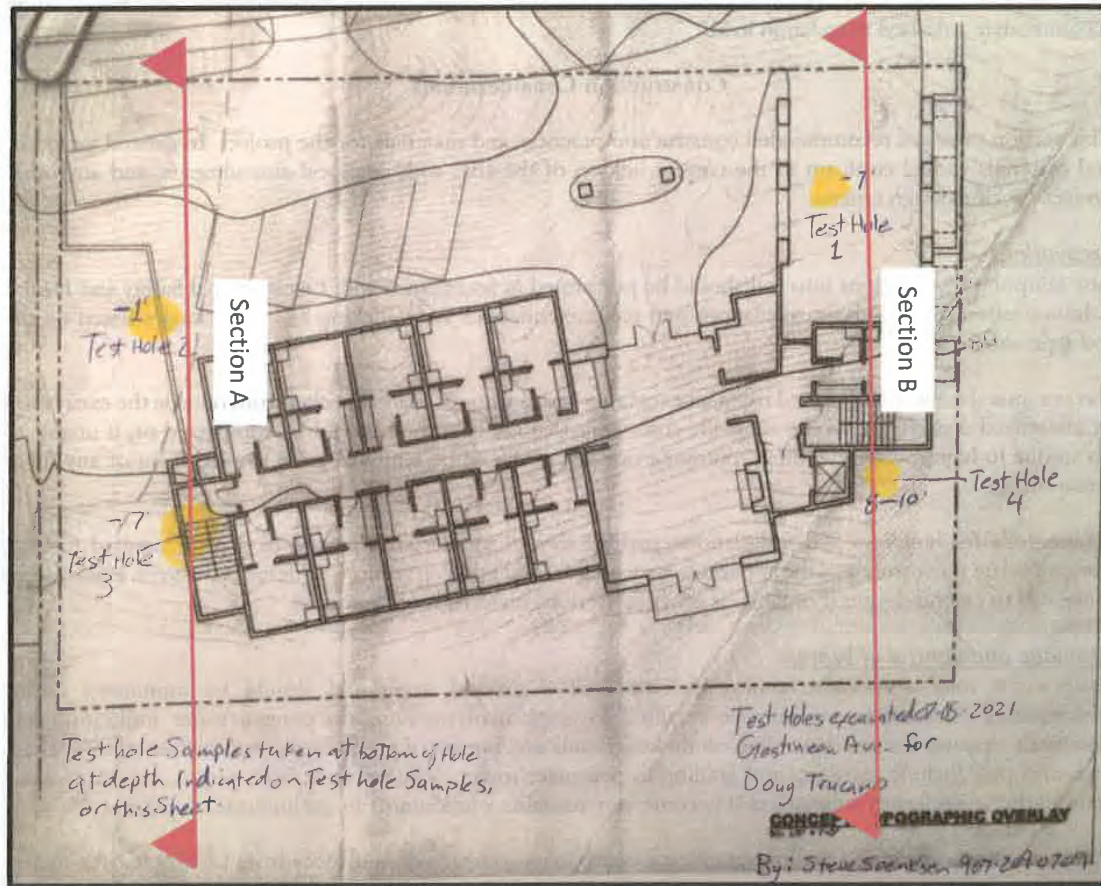


Figure 4: Site Map and Sections

The static long-term load case models the existing soil in terms of effective stress (drained state). The pseudo-static (seismic) load case subjects the soil to short-term seismic loads. The seismic loads are applied in terms of horizontal seismic coefficients, typically PGA as a percentage of gravity. Geotechnical texts (Day, 2002) and design codes (AASHTO, 2017; NCHRP, 2008) suggest a design horizontal seismic coefficient equal to one half of the site-adjusted peak ground acceleration (PGA_M), provided in Table 3, for earthen slopes that are considered non-rigid or yielding (i.e., allowed to move). Implementation of this reduced seismic coefficient assumes that some deformation, on the order of inches, is allowed to occur during the design seismic event which is anticipated to be acceptable for this project. Therefore, a horizontal seismic acceleration of 0.13g was used for all seismic analyses.

The static analysis with in-situ soil produced failure surfaces with unsatisfactory factors of safety (less than 1.5) although all surfaces were generally minor “unraveling” type failures (for practical purposes, this in-situ soil is likely stable without external building loads at slopes not exceeding 2:1). An arbitrary distributed load of 500 pounds per square foot was then applied to the existing bench, which resulted in failure surfaces below the applied load with unsatisfactory factors of safety. It is therefore unlikely that the sloped in-situ soils could support typical foundation loads with adequate factors of safety in either the static or pseudo-static scenario.

The stability analysis with structural fill replacing the in-situ soil yielded more favorable results considering the aforementioned distributed load under both static and pseudo-static situations. An iterative analysis would be

necessary to establish what slope or retaining structure geometry, and excavation/replacement fill limits, could accommodate a desired foundation load.

Construction Considerations

This section provides recommended construction practices and materials for the project. In general, practices and materials should conform to the current edition of the IBC with any local amendments, and any other project-specific design criteria.

Excavation

Any temporary excavations into soil should be performed in accordance with Occupational Safety and Health Administration (OSHA) laws, regulations and recommendations for trenching and slope angles based on the soil type encountered.

Excavations should be performed using an excavator with a smooth-bladed bucket from outside the excavation to minimized disturbance of the subgrade soils. Soils that are disturbed should be compacted or, if unable to do so due to high moisture content, pumping or rutting, should be removed prior to placement of any fill as recommended.

Excavations for buildings and foundations, parking lots, at utilities shall extend to depths required to both accommodate the feature and the applicable structural fill and bedding sections as described herein. Excavations may need to extend deeper if organic or other deleterious material is encountered.

Drainage and Control of Water

Excavations may experience seepage due to shallow ground water and should be monitored during construction. The contractor may be required to implement measures to control water infiltration and effectively dewater the site depending on the magnitude and impact of groundwater and surface runoff. These measures may include installing and grading to perimeter trenches, sump wells with pumps, etc. Excavation walls in the in-situ sandy subgrade will become very unstable when runoff or groundwater is present.

Parking areas should have a positive gradient toward drainage structures and away from buildings. Site grading should be established to provide drainage of surface water or roof drainage away from proposed and existing buildings and toward suitable drainage structures.

The ground immediately adjacent to any building foundation or retaining wall should slope away (minimum 3% for gravel surfacing, 2% for pavement surfacing) for a minimum distance of 10 ft measuring perpendicular to the face of the wall. Grading should be designed to prevent ponding of surface water except where retention ponds, or similar devices, are intended. Freely-draining soils should be used as backfill around foundations and retaining structures.

Perimeter foundation drains should be installed at or below the same elevation as the bottom of the exterior footings. Foundation drains should daylight into drainage ditches or connect to an underground storm drain system. Discharging storm water directly onto downhill slopes is not recommended as it may cause erosion.

Construction Materials and Compaction

This section will provide general recommendations for the use of imported aggregate fill to be used during construction. All aggregate fill should be angular, clean, sound, durable, and free of any frozen clumps, ice or any deleterious material prior to placement and follow all project specifications. Fill should be a well-graded mixture of non-frost susceptible (NFS) sand and gravel. All fill material should be protected from freezing during construction. No frozen soil should be used as fill, nor should any fill be placed over frozen soil. Any frozen soil should be removed, replaced, or thawed prior to fill placement.

Moisture control of materials should be implemented when stockpiling and placing fill material. Such measures may include tarping during wet weather. Additional moistening or drying of fill material may be required in order to obtain the optimum moisture content for maximum compaction.

No hauling or grading equipment should be used in lieu of appropriate compaction equipment. Any loosening of fill material by hauling or other equipment should be repaired by re-compacting as needed. The number of passes required to meet the compaction requirement will depend on the size of the compaction equipment used.

Base Course

Base course material should have a maximum particle size of 1 inch and less than 6% passing the No. 200 sieve size. Base course shall be placed in lifts not exceeding 8 inches in loose thickness and shall be compacted to 95% of the maximum density as determined by a control strip test, such as Alaska Test Method (ATM) 309 Relative Standard Density of Soils by the Control Strip Method.

Structural Fill

Structural fill material should have a maximum particle size of 6 inches and less than 6% passing the No. 200 sieve size. Structural fill shall be placed in lifts not exceeding 12 inches in loose thickness. Compaction of structural fill shall be achieved by performing a minimum level of effort consisting of six complete passes with a 15-ton vibratory steel drum roller. In areas of any structural fill that are too small to accommodate a roller, compaction shall be accomplished by a minimum level of effort of six complete passes with a vibratory plate compactor with a minimum rated centrifugal force of 15,000 lbs.

Structural Foundations, Parking Lot, and Utility Recommendations

Structural Foundations and Slabs

All footings and slabs should be constructed over, at a minimum, a 6-inch thick lift of base course or clean, sound bedrock. When constructing footings, the base course and structural fill should extend a minimum of 1 ft beyond the footing perimeter. Exterior footings should be buried a minimum of 32 inches for protection against frost action.

Parking Lots

Paved surfaces for light vehicle traffic should be constructed as follows, at a minimum: 2 inches of asphalt concrete pavement; 4 inches of base course; 26 inches of structural fill. The intent is to create a minimum 32-inch thick structural section in general accordance with CBJ Standard Details. A thicker section may be warranted if subgrade conditions vary from those described herein. If heavy vehicle loading is anticipated, a specific pavement design should be performed.

Buried Utilities

Buried utilities, including storm sewer, sanitary sewer and water conduits and utility structures, should bear on a minimum 6-inch thick lift of base course or comparable material that will not damage the utility component. The utility should be bedded on all sides with appropriate bedding material per CBJ Standard Details. Any remaining open excavation for utilities with the building/road/parking lot footprint should be backfilled with structural fill to the appropriate grade. Utilities outside the building footprint or any travel way may be backfilled with approved, inorganic granular excavated material. Reused excavated material should be compacted in a manner identical to that of structural fill. Sub-excavation and backfill with structural fill should be performed if poor subgrade conditions are encountered.

Sanitary sewer lines shall have a minimum cover of 4 feet; water lines shall have a minimum cover of 5 feet. Lines shall be insulated if the specified minimum cover cannot be achieved. Utility crossings shall be addressed in accordance with CBJ Standard Details.

Limitations and Closure

The information submitted in this report is based on data from a field and lab geotechnical investigation conducted for this project and other sources discussed in this report. Effort was made to obtain information that is representative of the actual conditions at the site. However, actual subsurface conditions will vary and additional information may be discovered. If conditions significantly different from those indicated in this report are encountered by subsequent investigations or during construction, such conditions should be reviewed by PND.

This report was prepared by PND Engineers, Inc., for use on this project only, and may not be used in any manner that would constitute a detriment to PND. PND is not responsible for conclusions, opinions, or recommendations made by others based on data presented in this report.

Included in Appendix C of the previous report is a copy of the Geoprofessional Business Association (GBA) publication "Important Information about Your Geotechnical-Engineering Report." The publication is included in this report to help the Owner, Contractor, and others who read this document understand the limitations described above and the additional limitations contained in the publication and made a part of this report. This document should be read carefully. If in the opinion of Contractors bidding this project, sufficient information has not been made available to satisfactorily bid the project then the Contractor should perform additional geotechnical investigations as necessary to satisfy themselves as to site conditions.



Sean Sjostedt, P.E.
Senior Geotechnical Engineer
November 28, 2021



Dick Somerville, P.E.
Principal
November 28, 2021

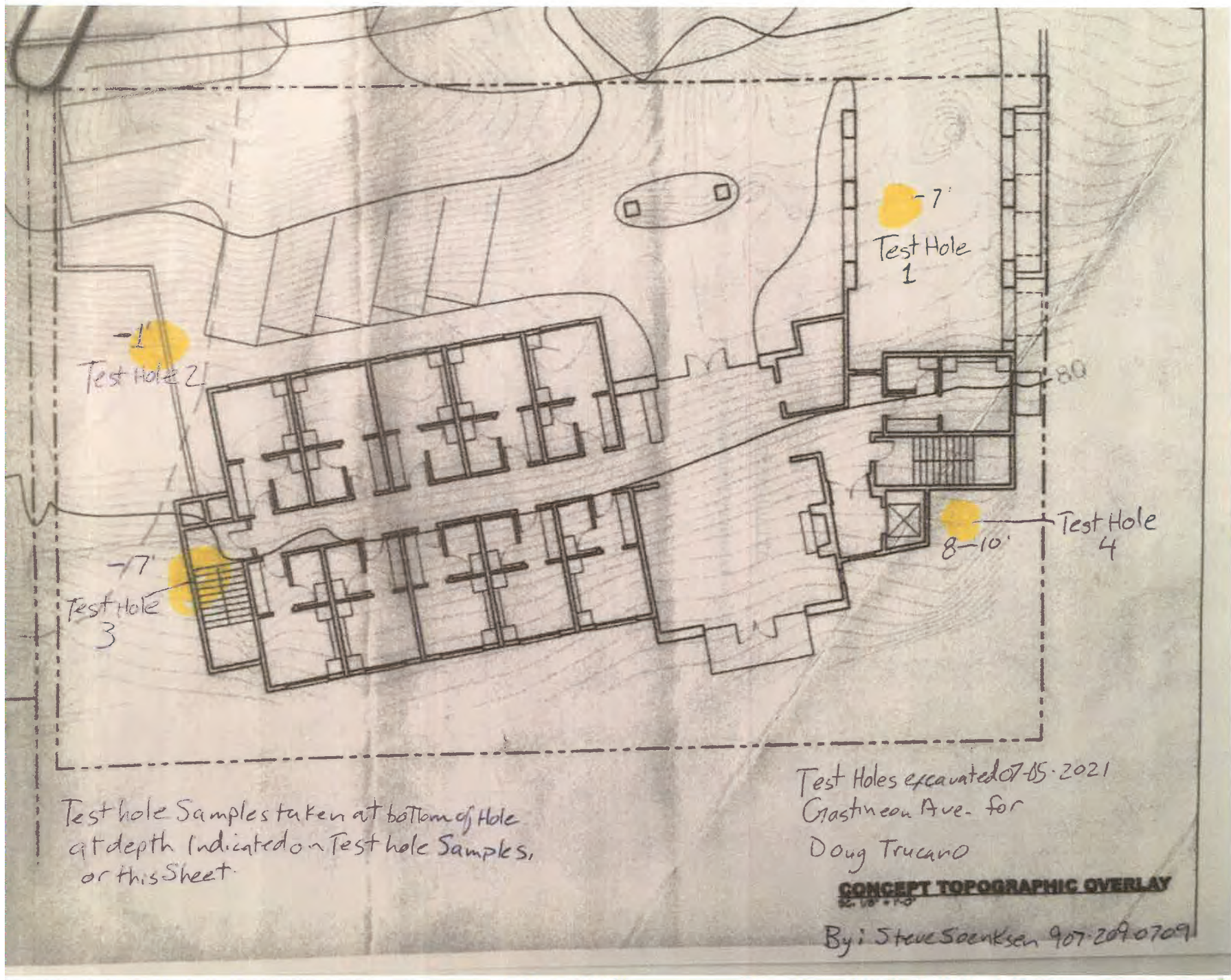
Attachments: Appendix A – Site Map with Test Pit Locations
Appendix B – Laboratory Test Results
Appendix C – GBA Publication: *Important Information about Your Geotechnical Engineering Report*

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ATTACHMENT A

Site Map with Test Pit Locations



Attachment A- Application Packet

ATTACHMENT B

Laboratory Test Results



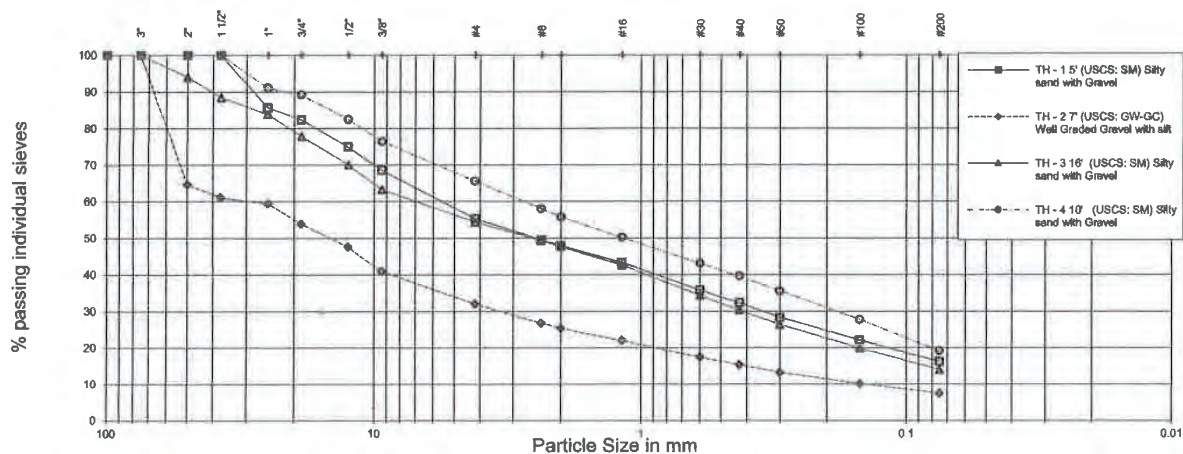
9109 MENDENHALL MALL ROAD, SUITE 4, JUNEAU, ALASKA 99801

Sieve Analysis AASHTO T 27 / T 11

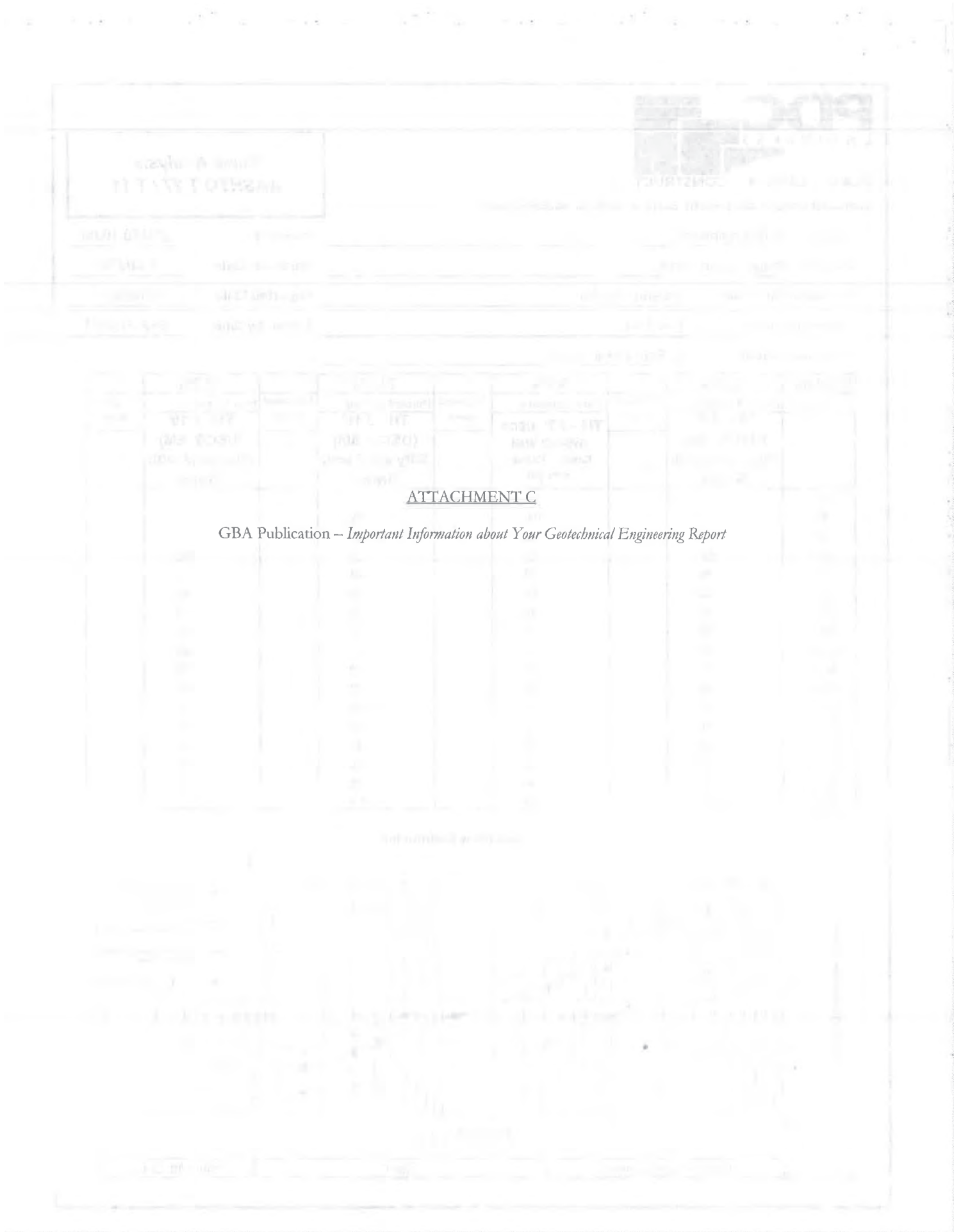
Client <u>PND Engineers</u>	Project # <u>21MT0.19JM</u>
Project <u>Bulger Apartments</u>	Received Date <u>7/14/2021</u>
Location Sta/Offset <u>Juneau, Alaska</u>	Reported Date <u>7/19/2021</u>
Material/Source <u>Test Pits</u>	Tested by/date <u>SRA 7/15/21</u>
Sampled by/date <u>S. Soenksen/ 7-7-21</u>	

Moisture	18.4%		9.9%		21.1%		17.3%	
SIEVE SIZE	Percent passing	Required specs	Percent passing	Required specs	Percent passing	Required specs	Percent passing	Required specs
	TH - 1 5' (USCS: SM) Silty sand with Gravel		TH - 2 7' (USCS: GW-GC) Well Graded Gravel with silt		TH - 3 16' (USCS: SM) Silty sand with Gravel		TH - 4 10' (USCS: SM) Silty sand with Gravel	
4 "								
3 "			100		100			
2 "			65		94			
1 1/2 "	100		61		88		100	
1 "	86		59		84		91	
3/4 "	82		54		78		89	
1/2 "	75		48		70		82	
3/8 "	69		41		63		76	
No 4	55		32		54		66	
No 8	49		27		49		58	
No 10	48		25		48		56	
No 16	43		22		42		50	
No 30	36		17		34		43	
No 40	32		15		30		40	
No 50	28		13		26		36	
No 100	22		10		20		28	
No 200	16.3		7.4		14.0		19.1	

Grain Size Distribution



N:\Projects\21MT0.19JM\Material Testing\21MT0.19JM-PND-Bulger\Material Testing\210716-Grain Size Test Notes - Copy



ATTACHMENT C

GBA Publication – *Important Information about Your Geotechnical Engineering Report*

Important Information about This Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

The Geoprofessional Business Association (GBA) has prepared this advisory to help you – assumedly a client representative – interpret and apply this geotechnical-engineering report as effectively as possible. In that way, clients can benefit from a lowered exposure to the subsurface problems that, for decades, have been a principal cause of construction delays, cost overruns, claims, and disputes. If you have questions or want more information about any of the issues discussed below, contact your GBA-member geotechnical engineer. Active involvement in the Geoprofessional Business Association exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project.

Geotechnical-Engineering Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical-engineering study conducted for a given civil engineer will not likely meet the needs of a civil-works constructor or even a different civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared solely for the client. *Those who rely on a geotechnical-engineering report prepared for a different client can be seriously misled.* No one except authorized client representatives should rely on this geotechnical-engineering report without first conferring with the geotechnical engineer who prepared it. *And no one – not even you – should apply this report for any purpose or project except the one originally contemplated.*

Read this Report in Full

Costly problems have occurred because those relying on a geotechnical-engineering report did not read it *in its entirety*. Do not rely on an executive summary. Do not read selected elements only. *Read this report in full.*

You Need to Inform Your Geotechnical Engineer about Change

Your geotechnical engineer considered unique, project-specific factors when designing the study behind this report and developing the confirmation-dependent recommendations the report conveys. A few typical factors include:

- the client's goals, objectives, budget, schedule, and risk-management preferences;
- the general nature of the structure involved, its size, configuration, and performance criteria;
- the structure's location and orientation on the site; and
- other planned or existing site improvements, such as retaining walls, access roads, parking lots, and underground utilities.

Typical changes that could erode the reliability of this report include those that affect:

- the site's size or shape;
- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light-industrial plant to a refrigerated warehouse;
- the elevation, configuration, location, orientation, or weight of the proposed structure;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes – even minor ones – and request an assessment of their impact. *The geotechnical engineer who prepared this report cannot accept responsibility or liability for problems that arise because the geotechnical engineer was not informed about developments the engineer otherwise would have considered.*

This Report May Not Be Reliable

Do not rely on this report if your geotechnical engineer prepared it:

- for a different client;
- for a different project;
- for a different site (that may or may not include all or a portion of the original site); or
- before important events occurred at the site or adjacent to it; e.g., man-made events like construction or environmental remediation, or natural events like floods, droughts, earthquakes, or groundwater fluctuations.

Note, too, that it could be unwise to rely on a geotechnical-engineering report whose reliability may have been affected by the passage of time, because of factors like changed subsurface conditions; new or modified codes, standards, or regulations; or new techniques or tools. *If your geotechnical engineer has not indicated an "apply-by" date on the report, ask what it should be, and, in general, if you are the least bit uncertain about the continued reliability of this report, contact your geotechnical engineer before applying it.* A minor amount of additional testing or analysis – if any is required at all – could prevent major problems.

Most of the "Findings" Related in This Report Are Professional Opinions

Before construction begins, geotechnical engineers explore a site's subsurface through various sampling and testing procedures. *Geotechnical engineers can observe actual subsurface conditions only at those specific locations where sampling and testing were performed.* The data derived from that sampling and testing were reviewed by your geotechnical engineer, who then applied professional judgment to form opinions about subsurface conditions throughout the site. Actual site-wide-subsurface conditions may differ – maybe significantly – from those indicated in this report. Confront that risk by retaining your geotechnical engineer to serve on the design team from project start to project finish, so the individual can provide informed guidance quickly, whenever needed.

This Report's Recommendations Are Confirmation-Dependent

The recommendations included in this report – including any options or alternatives – are confirmation-dependent. In other words, *they are not final*, because the geotechnical engineer who developed them relied heavily on judgment and opinion to do so. Your geotechnical engineer can finalize the recommendations *only after observing actual subsurface conditions* revealed during construction. If through observation your geotechnical engineer confirms that the conditions assumed to exist actually do exist, the recommendations can be relied upon, assuming no other changes have occurred. *The geotechnical engineer who prepared this report cannot assume responsibility or liability for confirmation-dependent recommendations if you fail to retain that engineer to perform construction observation.*

This Report Could Be Misinterpreted

Other design professionals' misinterpretation of geotechnical-engineering reports has resulted in costly problems. Confront that risk by having your geotechnical engineer serve as a full-time member of the design team, to:

- confer with other design-team members,
- help develop specifications,
- review pertinent elements of other design professionals' plans and specifications, and
- be on hand quickly whenever geotechnical-engineering guidance is needed.

You should also confront the risk of constructors misinterpreting this report. Do so by retaining your geotechnical engineer to participate in prebid and preconstruction conferences and to perform construction observation.

Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can shift unanticipated-subsurface-conditions liability to constructors by limiting the information they provide for bid preparation. To help prevent the costly, contentious problems this practice has caused, include the complete geotechnical-engineering report, along with any attachments or appendices, with your contract documents, *but be certain to note conspicuously that you've included the material for informational purposes only*. To avoid misunderstanding, you may also want to note that "informational purposes" means constructors have no right to rely on the interpretations, opinions, conclusions, or recommendations in the report, but they may rely on the factual data relative to the specific times, locations, and depths/elevations referenced. Be certain that constructors know they may learn about specific project requirements, including options selected from the report, *only from the design drawings and specifications*. Remind constructors that they may

perform their own studies if they want to, and *be sure to allow enough time* to permit them to do so. Only then might you be in a position to give constructors the information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions. Conducting prebid and preconstruction conferences can also be valuable in this respect.

Read Responsibility Provisions Closely

Some client representatives, design professionals, and constructors do not realize that geotechnical engineering is far less exact than other engineering disciplines. That lack of understanding has nurtured unrealistic expectations that have resulted in disappointments, delays, cost overruns, claims, and disputes. To confront that risk, geotechnical engineers commonly include explanatory provisions in their reports. Sometimes labeled "limitations," many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely*. Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The personnel, equipment, and techniques used to perform an environmental study – e.g., a "phase-one" or "phase-two" environmental site assessment – differ significantly from those used to perform a geotechnical-engineering study. For that reason, a geotechnical-engineering report does not usually relate any environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated subsurface environmental problems have led to project failures*. If you have not yet obtained your own environmental information, ask your geotechnical consultant for risk-management guidance. As a general rule, *do not rely on an environmental report prepared for a different client, site, or project, or that is more than six months old*.

Obtain Professional Assistance to Deal with Moisture Infiltration and Mold

While your geotechnical engineer may have addressed groundwater, water infiltration, or similar issues in this report, none of the engineer's services were designed, conducted, or intended to prevent uncontrolled migration of moisture – including water vapor – from the soil through building slabs and walls and into the building interior, where it can cause mold growth and material-performance deficiencies. Accordingly, *proper implementation of the geotechnical engineer's recommendations will not of itself be sufficient to prevent moisture infiltration*. Confront the risk of moisture infiltration by including building-envelope or mold specialists on the design team. *Geotechnical engineers are not building-envelope or mold specialists*.



**GEOPROFESSIONAL
BUSINESS
ASSOCIATION**

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January 21, 2021

PND 17J131

Mr. Steven Soenksen
Verde Infrastructure Partners
P.O. Box 35854
Juneau, Alaska 99803-5854

Re: Bulger Way Apartments
Geotechnical Investigation Fee Proposal (Revised)

Dear Mr. Soenksen:

PND Engineers, Inc. (PND) appreciates the opportunity to provide geotechnical investigation and reporting services to Verde Infrastructure Partners on the Bulger Way Apartments project. We understand that you would like to construct a multi-level apartment building on Gastineau Avenue near the Bulger Way right-of-way. The site is on the downhill side of Gastineau Avenue and is steep. The site is classified as a site subject to mass wasting, according to the Geophysical Hazards Investigation by DMJM in 1972 for the City and Borough of Juneau (CBJ). From work on adjacent property you have indicated that bedrock depth varies but could be as shallow as 8 feet. You have asked PND to perform a geotechnical investigation and prepare a foundation feasibility study.

The following scope of services is contingent on test pits yielding adequate results to perform a foundation feasibility study. Borehole logs from the 1999 Gastineau Avenue street improvement investigation indicate that soft and loose soils of significant depth may exist and a more involved geotechnical investigation may be warranted. Immediately upon completion of the proposed test pit investigation PND will inform you of our preliminary findings and if alternate course of action should be considered.

PND proposes to the following Scope of Services:

- 1) Site Investigation: PND will coordinate with you to develop a test pit investigation plan and then mobilize a geotechnical engineer to the site. PND's geotechnical engineer will collect samples and log the test pits. The excavator and operator will be provided by others. We anticipate between 16 and 24 hours on site.
- 2) Sample Testing and Analysis: PND will take samples to either a local lab or to PND's lab in Anchorage and perform testing. The type of testing will depend on the nature of the samples.

Based on findings of the site investigation PND will perform the following analyses:

- Allowable bearing pressures for shallow foundations
- Slope stability; this analysis will be conducted using topographic information provided by you which is assumed to be current and accurate
- Perform a site hazard analysis for mass wasting at the site.

- 3) Reporting: PND will develop a written report that includes a description of the site investigation, logs of test pits, findings from our analyses and general recommendations and considerations for foundation design. The report will be a letter-form report sufficient for the basis of foundation design and suitable to submit to the CBJ Building Department as part of the building permit application.

Should the test pits not provide adequate information, PND can mobilize a drill rig to the site. There is currently a small track rig in Juneau, although it is unknown how long the rig will be here.

PND proposes to perform the above outlined test pit investigation, analysis and reporting services on a time and expenses basis. We estimate our budget for these services to be [REDACTED]. Expenses will be billed at cost plus 10%. A detailed breakdown of this fee is attached for your review. Invoices will be issued monthly (payment due within 30 days of receipt of the invoice).

Hopefully this proposal suits your needs. If you have questions or need additional information, please feel free to contact me. If you find this proposal acceptable please provide written authorization to proceed. We look forward to working with you on this project.

Sincerely
PND Engineers | Juneau Office



Chris Gianotti, P.E.
Senior Engineer, Vice President

Enclosures: Fee Breakdown

Site Specific Engineering Study (Baxandall Engineers)

Hillside Development/Hazard Analysis

BAXANDALL ASSOCIATES
CIVIL AND ENVIRONMENTAL ENGINEERING

1107 NORTH ELEVATION STREET
HANCOCK, MICHIGAN 49930
TELEPHONE (906) 483-2372
fwbaxand@mtu.edu

3 August 2012

Eric Feldt
Department Planning and Community Development
City & Borough of Juneau
155 South Seward Street
Juneau, Alaska 99801

Dear Mr. Feldt:

We have been asked to do a further review of the potential hazard classification for Lot 3, Block 2, Pacific Coast Addition to the City of Juneau, the property being located at 307 South Franklin Street. The review also includes Lots 12, 13, & 14 of Block 2 which abut on Gastineau Avenue.

The hazard potential for Lots 3, 12, 13, & 14 of Block 2 of the Pacific Coast Addition has changed from that as shown in the Geophysical Hazards Investigation for the City & Borough of Juneau that was done in 1972.



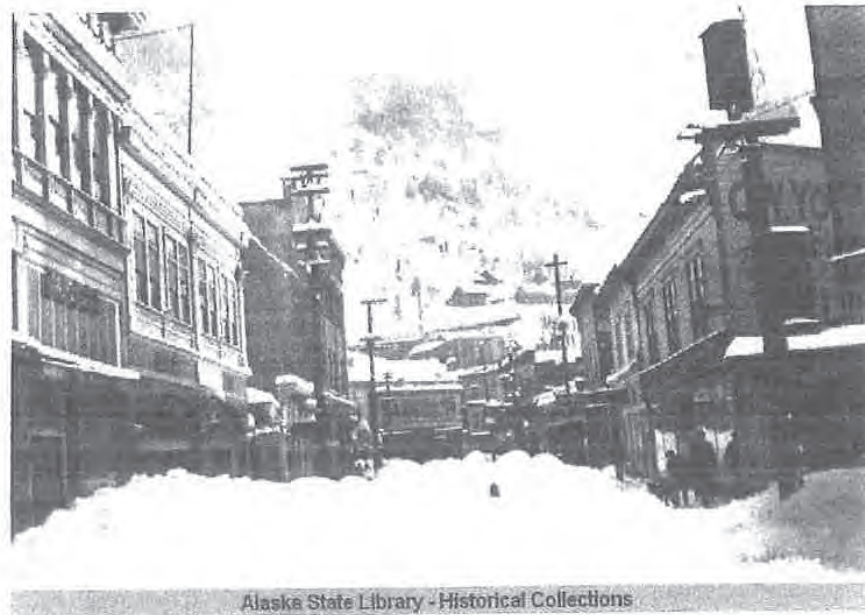
Alaska State Library - Historical Collections

The above picture is of the slide that occurred on January 7, 1920. The top of the slide is at approximately 250 ft. of elevation, which is the top level of the old beach deposits. The slide

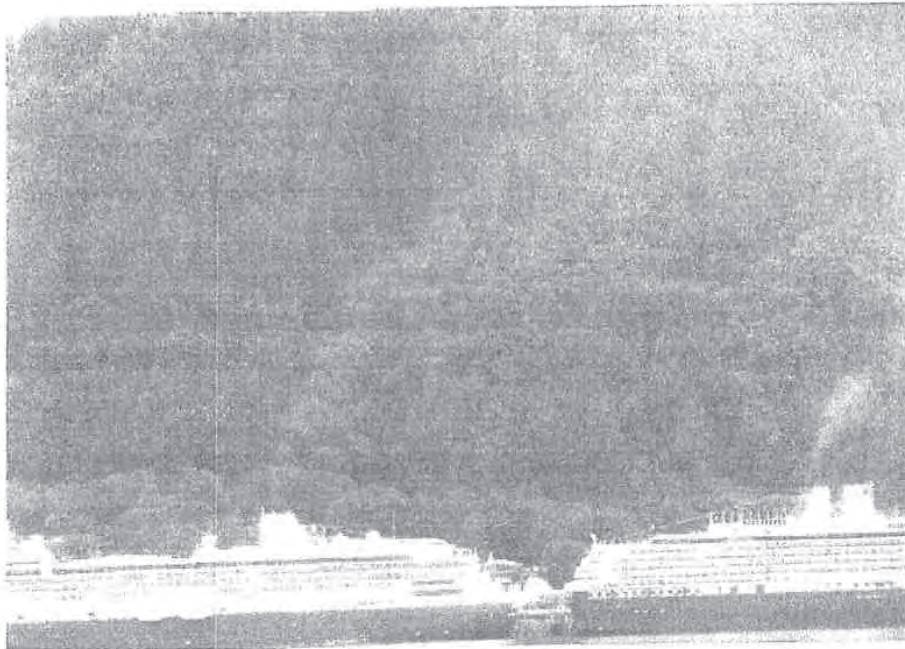
Page two, Lots 3,12,13,&14 Block 2, Hazard Study, 8/03/12

resulted in removal of most of the soil and overburden from that area. The minor slide that occurred on November 14, 2009 followed the same path as the water flow that is shown on the left side of the of the slide path. As stated in the 1972 study regarding this event, "It was apparently triggered by rapid addition of water to an already saturated soil mass due to overflow of the A.J. water flume on January 1, 1920."

The interesting thing is that Gastineau Avenue was on a trestle in that area at that time. This explains why there were no deposits along the base of the old stone wall that was present prior to the reconstruction of Gastineau Avenue in 2004. The other interesting thing is that when they constructed the tunnel that ran through Mt. Roberts to the Gold Creek basin, they dumped the rock removed from the tunnel construction on the slope below the tram tracks. This has stabilized the slope and explains why there have been no debris flows occurring in that area.



What is interesting is the re-growth of the timber on the slopes of Mt. Roberts as shown in the above picture. As best as can be determined, this picture was taken in the winter of 1918. The picture below is from 2011 and the entire slope has been re-forested. It leads one to believe that the age of much of the present tree cover is younger than what was believed.



August 2011 photo

Picture below is the existing AJ Mining Company building foundation. This foundation is evident in pictures that go back to 1917. The structure has served as both a slope stabilizer as well as a debris flow barrier. It has protected lots 12 & 3 of Block 2 since it was constructed.



August 2011 photo

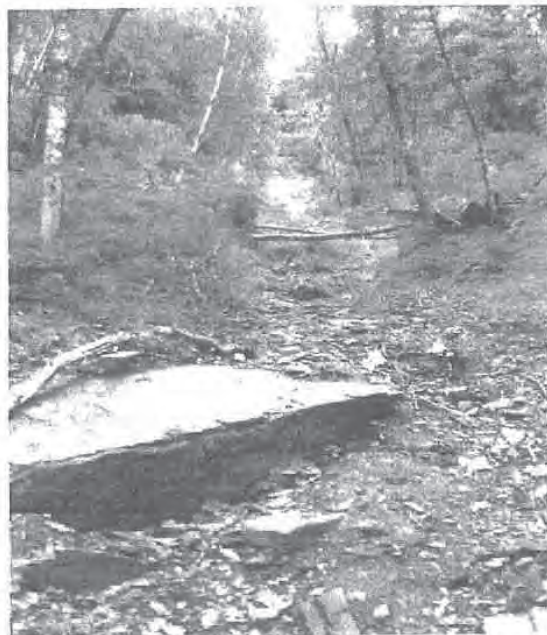
Page four, Lots 3,12,13,&14 Block 2, Hazard Study, 8/03/12

This photo shows the starting point for the minor slide that occurred on November 14, 2009. It is interesting as to how quickly the slope has re-vegetated.



August 2011 Photo

Lower end of the slide showing a small debris deposit that could possibly move further down the slope during another major rain storm. The volume of debris present is less than 50 cubic yards. The existing rock deflection wall adjacent to the Housing First building would deflect the minor flow away from the building. The existing concrete traffic barrier along the downhill side of Gastineau would keep this flow from continuing down the slope.



August 2011 Photo



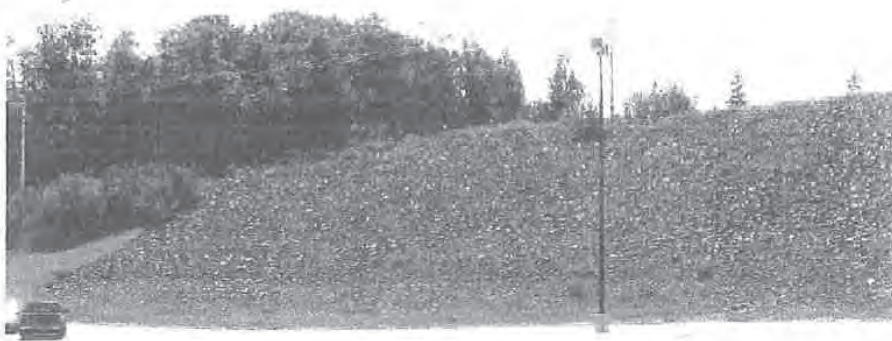
Juneau Empire Photo

The vehicles parked on the uphill side of Gastineau Avenue basically stopped the flow and most likely caused the sideward movement of the debris flow that impacted the side of the Housing First building. The flow velocity was slowed enough to allow the vehicles to keep the debris flow from reaching the concrete traffic barrier wall on the downhill side of the street. Past inspection of the various small slide paths along Gastineau Avenue showed that it takes from 80 to 100 years for sufficient material to build up in the "V" notches to pose a threat of debris flow that would impact the street. The flow that occurred in 2009 was 89 years after the 1920 event. The cubic yardage of this debris flow is what we observed in our study of this path that was done in the late 1980's.

There are several factors we have observed that determined the request to remove the Lots 12, 13, & 14 of Block 2, Pacific Coast Addition from the severe hazard zone. As Lot 3 of Block is directly downhill from Lot 12, it would be included due to its location.

The first consideration is that the major landslide that occurred on January 7, 1920 removed the majority of the marine and beach deposits subject to sliding from the area above the subject properties. This slide was attributed to a major overflow the A J flume which no longer exists. The volume of the debris material remaining, should a future slide occur, would be stopped by the concrete traffic barrier along the downhill side of Gastineau Avenue.

The placement of the tunnel excavation material, which is composed of angular rock, has played a major role in stabilizing the slope below the tram. Placement of rock debris of this size on slopes of this degree is used as a standard method for steep slope stabilization.



This picture shows a typical use of fractured rock that provides slope protection from landslides. The picture is of a local slope here in Houghton that is of the same rock size and slope angle as that below the tunnel entrance above Gastineau Avenue.

Attached is a copy of CBJ's hazard area map, B0-6 Hazard, showing the subject properties location and requested boundary adjustment for the severe hazard zone as these properties should be considered as being within the moderate hazard zone. We request that the hazard map for this area be adjusted from severe hazard to moderate hazard placing Lots 3, 12, 13, & 14 of Block 2, Pacific Coast Addition into the moderate hazard zone.

Should you have any questions regarding our request, please let us know.

Sincerely;

Bill Baxandall

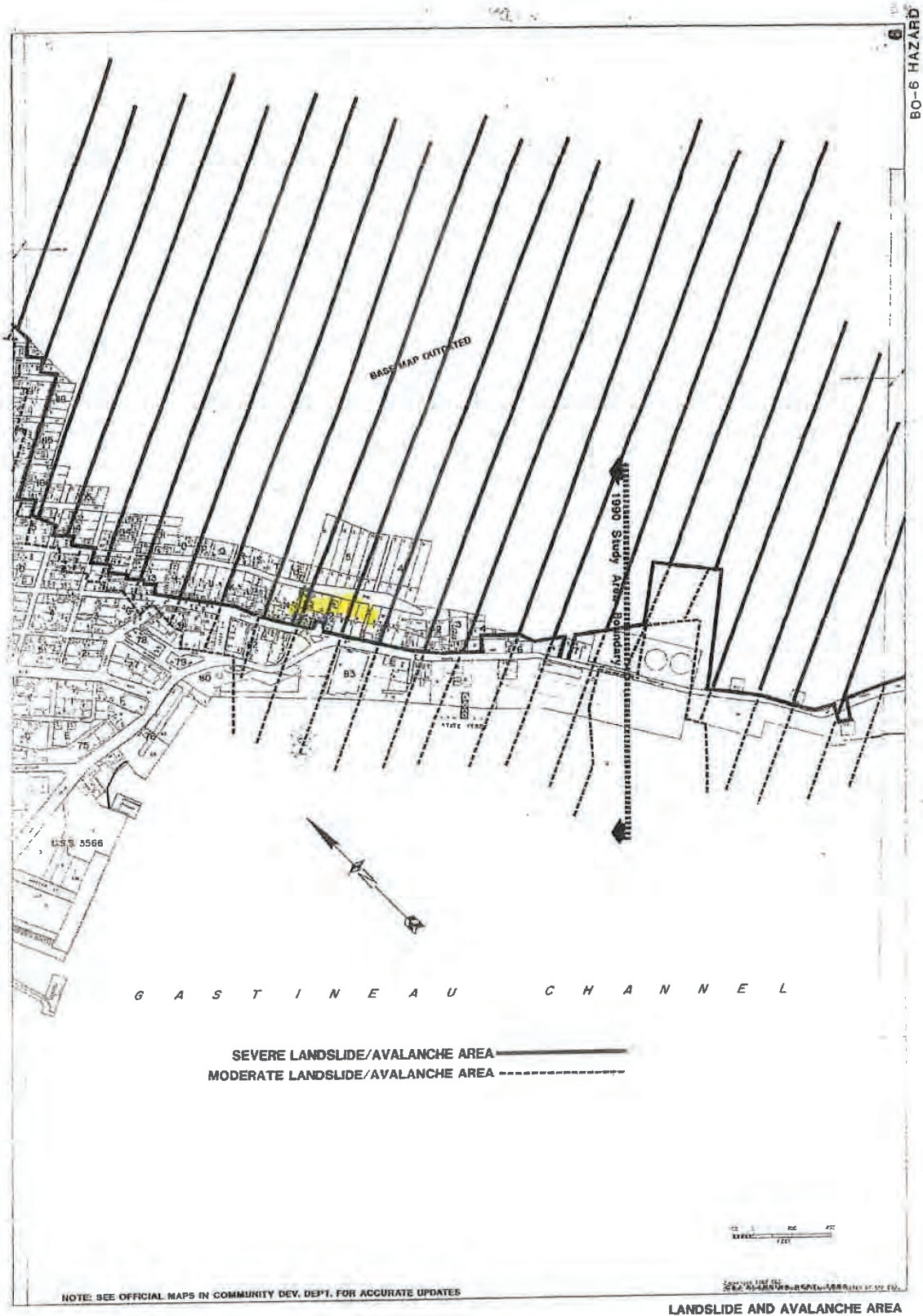
F.W. "Bill" Baxandall, P.E.
Principal

Attachment

Cc: Doug Trucano, Trucano Construction
Rich Conneen, Architect



8/13/2012



PAGE 7, LOTS 3, 12, 13 & 14 HAZARD STUDY, 8/03/2012

DOUGLAS N. SWANSTON
CONSULTING ENGINEERING GEOLOGIST
10121 SILVER STREET
JUNEAU, ALASKA 99801

December 13, 1989

Bax:

The lot we inspected immediately above the small "pocket park" along Gastineau Avenue and northwest of the proposed tram right-of-way is situated directly at the mouth of a known debris flow gulley identified in the 1972 Geophysical Hazards Investigation for the City and Borough of Juneau.

At the present time, this gulley is clear of significant quantities of debris and is partially stabilized by a substantial cover of 50+ year-old alder. While the supply of debris for a large-scale debris flow from this gulley is limited, the steep gradient of the gulley, the presence of a small mass of debris stored along the north bank, and the presence of rock cliffs at its head indicate a potential for damage to unprotected structures on the property.

I estimate a maximum flow velocity of about 6.24 m/s (20.5 ft/s) obtainable in this gulley using the generalized Poiseuille equation for flow and field assumptions as follows:

$$V = \frac{\gamma \sin \theta H^3}{3\tau}$$

where: V = velocity in m/s (ft/s)
 γ = assumed unit weight of 20 KN/m³ (127 lbs/ft³)
 θ = channel gradient estimated at 34°
 H = flow height estimated from apparent trim-line of most recent flow occurrence at 1.8 m (6.0 ft)
 τ = apparent dynamic viscosity estimated at 2 kPa.s or 2x10 poise (41.7 lbs/ft²)

At the densities and viscosities which normally occur in such flow masses (conservative estimates based on personal knowledge and data from debris flow analyses in British Columbia), impact loads on any structure in the flow path was estimated using the Momentum Equation of fluid dynamics where:

$$P = \rho V^2 \sin \alpha$$

where: P = impact force in Pascals (lbs/ft²)
 ρ = estimate bulk density of the flow mass at 2000 kg/m³ (124.9 lbs/ft³)
 α = angle of movement against the structure assumed at 90°
 V = flow velocity at 6.24 m/s (20.5 ft/s)

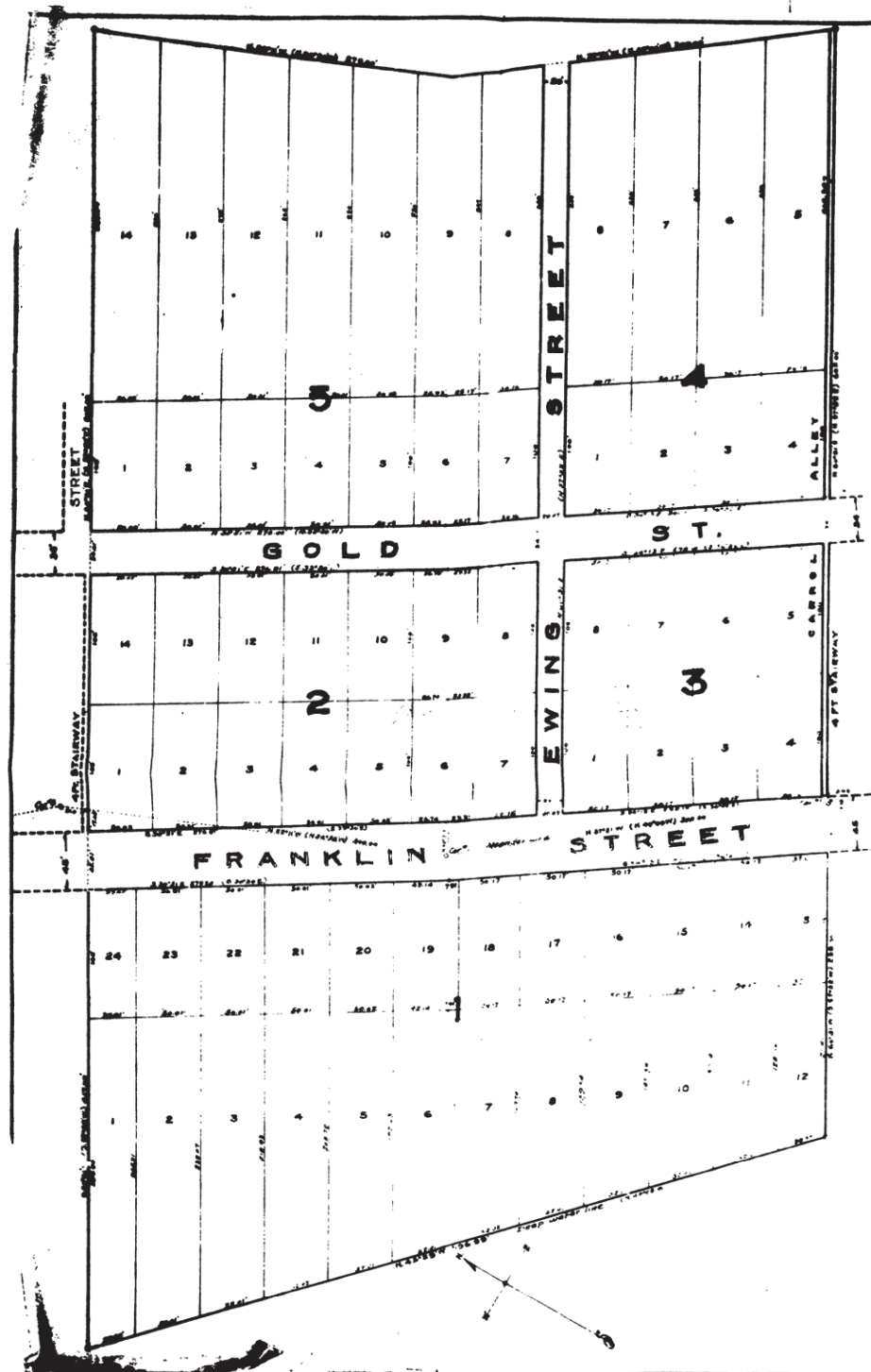
Thus, the impact force on any channel structure perpendicular to the flow would be about 77.9 kPa (1628.5 lbs/ft²) or about 8 metric tones-force/m² (0.8 british tons-force/ft²). To this should be added the triangular hydrostatic pressure of piled-up debris flow material behind the structure. Point forces produced by impacts from logs and boulders could be 2 to 3 times higher. As you can see, inclined deflection walls can significantly reduce impact loads, but care needs to be taken to avoid damage to adjacent properties.

I hope these comments will be of some assistance to you. If you have any additional questions, give me a call.

Sincerely,

Ray Swanton





DEDICATION

State of Washington
County of King

Know all men by these presents that The Pacific Coast Co., a corporation existing under the laws of the State of New Jersey and having its principal office in the City of New Jersey, do hereby declare this plat and do hereby dedicate to the use of the public forever all the streets and alleys shown thereon.

In witness whereof the said The Pacific Coast Company has caused its corporate name to be hereunto subscribed by its Vice President and Chief Secretary and has caused its corporate seal to be hereunto affixed, this 12th day of February A.D. 1913.

The Pacific Coast Co.
By its President
and Chief Secretary
[Signature]

ACKNOWLEDGMENT

State of Washington
County of King

On this 12th day of February 1913 before me personally appeared [Signature] known to me to be the Vice President and Chief Secretary of The Pacific Coast Company a New Jersey Corporation, the Corporation then executed the foregoing instrument and severally acknowledged said said instrument to be the free and voluntary act and deed of said Corporation for the uses and purposes therein mentioned and as such severally attested that he was duly qualified to execute said instrument and that he was duly qualified to be the corporate seal of said Corporation.

In witness whereof I have to a unto set my hand and affixed my official seal the day and year first above written.

[Signature]
Notary Public and for the
State of Washington residing at
Seattle

THE PACIFIC COAST ADDITION JUNEAU, ALASKA

Scale One inch = 50 ft

February 28th 1913

DESCRIPTION

THE PACIFIC COAST ADDITION, an addition to the Town of Juneau, Alaska, is a subdivision or replat of that portion of the said town designated on the official map as the CARROL AND MURRY WHARF SITE, and the lands fronting thereon, and this plat is referred to that official map as the exterior boundaries hereon. Courses shown are from the true meridian, the corresponding courses as given on the Official map being shown in parentheses. All street, block and lot dimensions are as shown on face of plat. The exterior boundary is particularly described as follows: Beginning at meander corner number One, as shown on the official map, thence N 40° 31' E, 605.0 feet, thence N 37° 21' W, 300.0 feet, thence N 22° 11' W, 279.0 feet, thence S 60° 31' W, 1022.0 feet, thence S 45° 29' E, 596.0 feet, thence N 60° 31' E, 258.0 feet to the point of beginning.

[Signature]

Received at the County Clerk's Office of the County of King, State of Washington, this 28th day of February, 1913, A.D. the foregoing plat and declaration of dedication to the Town of Juneau, Alaska, as shown on the official map as the Pacific Coast Addition to the Town of Juneau is hereby accepted as the official plat thereof.

Attest:

CLERK

Passed and approved this 28th day of February, 1913, A.D.

Mayor

MEMORANDUM

THE CITY AND BOROUGH OF JUNEAU

CAPITAL OF ALASKA

155 SOUTH SEWARD ST. JUNEAU, ALASKA 99801

TO:

Ronald L. Usher
Manager

DATE: 31 October 1972

FILE NO.

SUBJECT:

Windsor Apartments

FROM:

Arthur H. Hartenberger
Planning Director

Mr. and Mrs. Val A. Poor wish to donate their property, the Windsor Apartments and the lands appertaining thereto to the City and Borough of Juneau for Public Use. See attached correspondence of October 26, 1972.

The property is located on Gastineau Avenue above the Dreamland Club in an area of known geophysical hazard. See attached map.

The structures on the site have been condemned by the Building Official and presently are vacant.

A number of factors must be considered if the City-Borough is interested in receiving this donation. It has been estimated by a local contractor that demolition costs would be in the neighborhood of \$15,000 and require 4 to 5 working days to complete after power lines have been removed. The moving or relocation of these power lines could be undertaken by Alaska Electric Light and Power Company at a guaranteed cost not to exceed \$10,000 with any savings reflecting back to the City-Borough.

Because of preliminary scientific information received from the Geophysical Hazards consultants, the Neighborhood Development Citizens' Committee in the preparation of the NDP application was of the opinion that land in this general area should eventually be placed in Public Use. Furthermore, it was stated that Public Open Space, i. e., parks and or surface parking would be an ideal land use in the area.

The Planning Staff concurs with these observations and is of the opinion that the City-Borough should accept the donation and initiate

Douglas, Alaska 99824

October 26, 1972

The City and Borough of Juneau
155 S. Seward St.
Juneau, Alaska 99801

Mr. Arthur H. Hartenberger
Planning Director

Dear Mr. Hartenberger:

In response to your communication of Oct. 11, 1972 and previous discussions with your office, I submit the following:

Mrs. Poor and I, wish to donate the property comprising the Windsor Apartments and lands appertaining there-to, to the City and Borough of Juneau, for public use.

It is our desire that this donation be completed prior to Jan. 1, 1973.

Please submit this proposal to the City Borough Assembly for their consideration at your earliest convenience.

Thank you,

Val A. Poor
Mrs. Val A. Poor

Mr. and Mrs. Val A. Poor
Douglas, Alaska 99824

RECEIVED OCT 27 1972

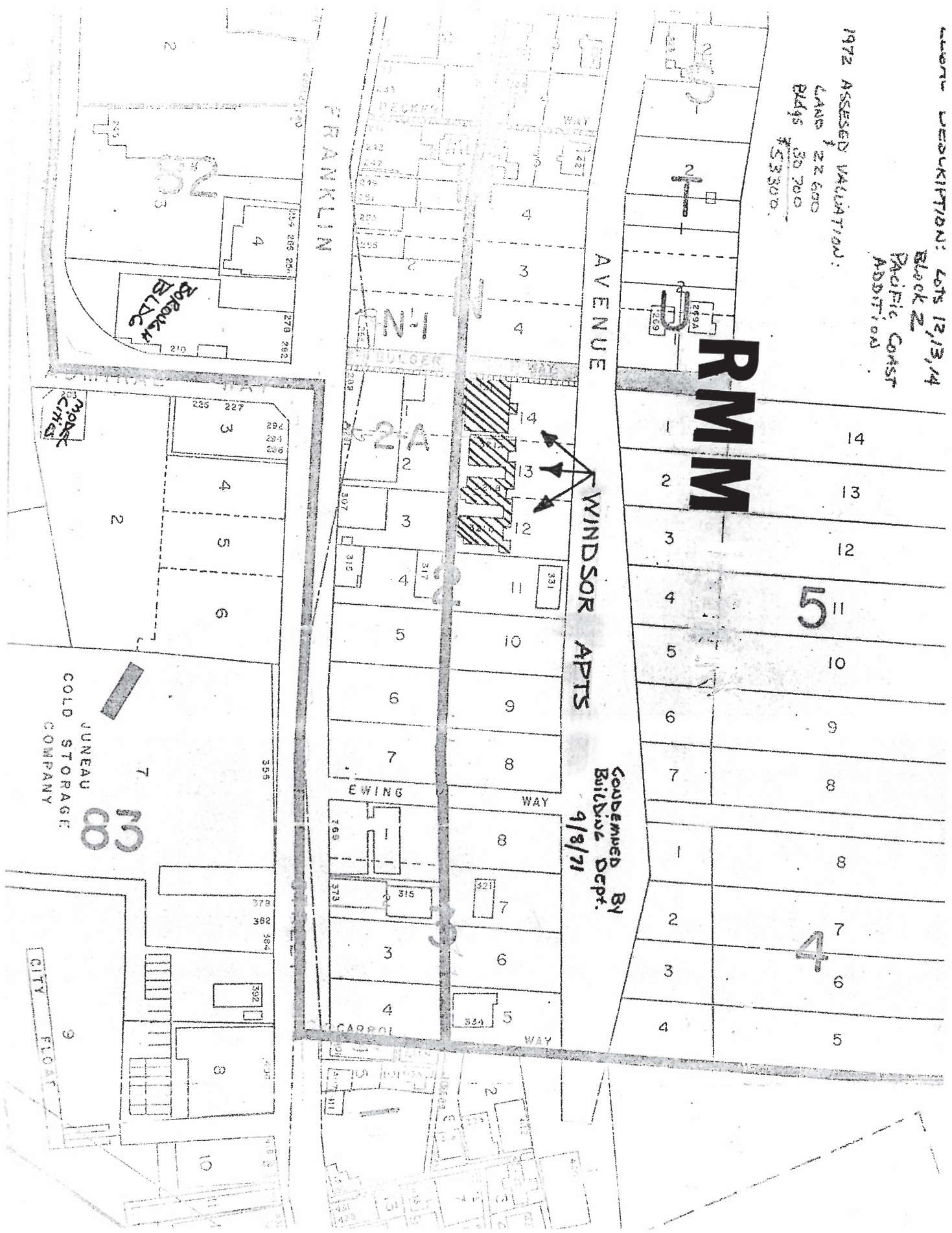
GENERAL DESCRIPTION: Lots 12, 13, 14
Block 2
Pacific Coast
Addition

1972 ASSESSED VALUATION:
LAND 22,600
Bldgs 30,700
\$53,300

RMM

AVENUE
WINDSOR APTS

Condemned By
Building Dept.
9/8/71



Attachment D- 1972 Condemnation Letters for Windsor Apartments

DATE: October 27, 1972

FILE NO.

SUBJECT: Windsor Apartments

Mr. & Mrs. Val A. Poor
1204-4th Street
Douglas, Alaska 99824

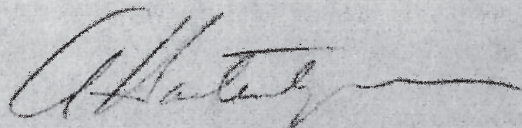
Dear Mr. & Mrs. Poor:

Thank you for your letter of October 26, 1972 concerning your desire to donate the Windsor Apartments and related lands to the City-Borough public use.

I will immediately begin processing this request so that this matter can be completed prior to January 1, 1973.

We will keep you posted on our progress.

Sincerely,

A handwritten signature in dark ink, appearing to read 'A. Hartenberger', with a long horizontal flourish extending to the right.

Arthur H. Hartenberger
Planning Director

DATE: 11 October 1972

FILE NO.

SUBJECT:

Windsor Apartments

Mr. Val Poor
P.O. Box 536
Douglas, Alaska 99824

Dear Val:

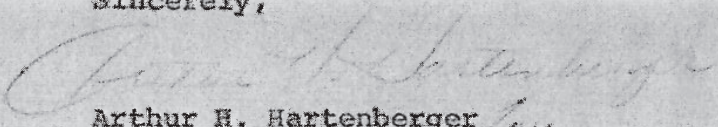
This letter serves as a follow-up to our visit of October 10, 1972 concerning the Windsor Apartments.

I have concluded that it would now be appropriate for you to specifically inform, by letter, the City and Borough of your desire to donate the property for public use.

Upon receiving your letter we will immediately initiate the procedures that will enable the Assembly to make its determination.

Please let me know if I can be of further assistance.

Sincerely,


Arthur H. Hartenberger
Planning Director

MEMORANDUM

THE CITY AND BOROUGH OF JUNEAU

CAPITAL OF ALASKA

155 SOUTH SEWARD ST. JUNEAU, ALASKA 99801

TO: Art Hartenberger
Planning Director

DATE: October 10, 1972

FILE NO.

SUBJECT: Windsor Apartments

FROM: Bud Forrest
Building Official

This is to advise you the Windsor Apartments have been evacuated and are now ready for demolition.

The buildings are in even more decrepit condition than previously noted and are being partially demolished by persons unknown.

We have noted on several occasions person occupying some of the rooms. The police have been notified and the persons have left. However, these apartments are structurally, mechanically and electrically dangerous and do constitute an attractive nuisance.

It is my advise that the City and Borough Public Works Department be notified that the apartments are ready for demolition and for them to prepare a contract for this work as soon as possible.

1-H-010-002-124

CITY AND BOROUGH OF JUNEAU, ALASKA
APPLICATION FOR BUILDING PERMIT

1C0704020120

Douglas ☐ Juneau ☒ Rural ☐

VALUATION N.A.

PERMIT NO. 9079

DATE RECEIVED 11-27-72

BY James A. Foreman

APPLICANT TO FILL IN BETWEEN HEAVY LINES.
TWO SETS OF PLANS MUST BE FURNISHED WITH APPLICATION.

Building Address		COVERING			
APPLICANT OWNER	Name <u>City Borough of Juneau</u>	Ext. Walls			
	Mail Address	Int. Walls			
	City	Roof			
	Tel. No.	Re-Roof			
ARCHITECT ENGINEER	Name	FLUES			
	Mail Address	F. Place	Flr. Furn.	Other	
	City	Furnace	H. Water <input type="checkbox"/> H. Air <input type="checkbox"/>	Steam <input type="checkbox"/> Elec. <input type="checkbox"/>	Oil <input type="checkbox"/> Gas <input type="checkbox"/>
	Tel. No.	Kitchen			
CONTRACTOR or OWNER BUILDER	Name <u>Hansen + Mann</u>	UTILITIES			
	Mail Address <u>Box 396</u>	Sewage System City			
	Tel. No. <u>6-2106</u>	S. Tank			
	State License No.	Bldg. Main			
LEGAL DESCRIPTION	Subdivision	Sewer Outlet Size			
	Lot No. Bl. No.	Water Meter Size			
	<u>Windsor Apts</u>	Water Service Size			
		Exist. Road			
		Curb & Gutter <input type="checkbox"/> Drain Ditch <input type="checkbox"/>			
		Driveway Width			
		Ft.			
		Off-Street Parking			
		Estimated Cost			
		Special Information			
CLASS OF WORK					
New	Repair				
Addition	Demolish <input checked="" type="checkbox"/>				
Alteration	Move				
Use Of Bldg.					
Size Of Bldg.					
Height Of Bldg.					
Area Of Lot					
SPECIFICATIONS					
FOUNDATIONS					
Material	Exterior	Piers			
Width Of Top					
Width Of Bottom					
Depth In Ground					
Plate (Sill)	Size	Space	Span		
Girders					
Joists (1st Fl.)					
" " (2nd Fl.)					
" " (Clg.)					
Studs (Ext.)					
" " (Int.)					
Roof Rafters					
Bearing Walls					
Other					
WORK NOT MENTIONED IS NOT INCLUDED IN PERMIT					
I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all state laws, and codes and ordinances of The Greater Juneau Borough, applicable to building construction.					
Signature Of Owner					
Applicant <u>George W. Mann</u>					

DEMOLITION ✓

MEMORANDUM

THE CITY AND BOROUGH OF JUNEAU

CAPITAL OF ALASKA

155 SOUTH SEWARD ST. JUNEAU, ALASKA 99801

TO:

Ronald L. Usher
Manager

DATE: 13 November 1972

FILE NO.

SUBJECT:

Windsor Apartments

FROM:

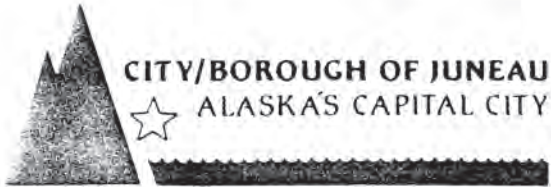
Linn A. Forrest, Building Official
Doug Boddy, Coordinating Fire Chief

Early this morning several people were requested to leave the subject premises which has been condemned and vacated for some time. Shortly after this a fire broke out in the second building and spread to the upper floor of the large (first) building. Before the blaze could be extinguished, the entire top floors of the two buildings were gutted leaving very few structural supports holding up the roofs. The roofs are made of corrugated aluminum and with no support or fastenings are subject to blowing off in the slightest wind.

In addition, probably because of the weight and washing action of the water used to fight the fire, both buildings have shifted farther out of plumb and the large building has slipped further downhill.

We consider these apartments to be extremely dangerous to life safety and a hazard to adjacent properties.

We recommend these structures along with the remaining structures constituting the Windsor Apartments be demolished and removed with utmost dispatch.



**Design Review Board
Notice of Decision
File No.: HDR-03-92**

April 15, 1992

Chuck Keen for
JMK and Mt. Juneau
P.O. Box 33741
Juneau, Alaska 99803

Application For: Design Review Permit

Legal Description: Building: Lot 1; Block N; Juneau Townsite
Parking: Lots 12, 13, 14; Block 2; Juneau Townsite

Parcel Number: Building: 1-CO7-0-B0N-001-0
Parking: 1-CO7-0-H02-012-0

Date Submitted: April 7, 1992

Hearing Date: April 14, 1992

The Design Review Board at their April 14, 1992, special public meeting approved your application for a design review permit to construct a commercial development in the Downtown Historic District subject to the following conditions:

1. The Applicant shall submit to, Staff for final review and approval, a parking plan which meets the dimensional standards as established by the CBJ zoning code.
2. The Applicant shall submit to Staff, for final review and approval, a color scheme for the building which meets the standards of the Downtown Historic District.
3. The Applicant shall submit to Staff, for final review and approval, a building design which features a horizontal canopy element or appears visually to appear horizontal.
4. The Applicant shall submit to Staff, for final review and approval, a building design which features a consistent storefront design which could be a false wall on the left side to reflect the right side.
5. The Applicant shall submit to Staff, for final review and approval, a building design which features cornices and details consistent with those established in the Downtown Historic District.

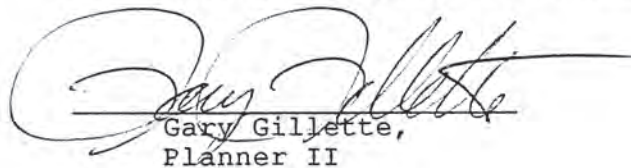
Chuck Keen
File No. HDR-03-92
Page 2

6. The Applicant shall obtain all necessary permits as required by the CBJ Building Department.

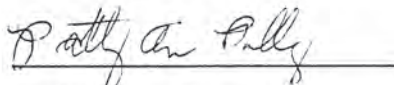
Effective Date: May 6, 1992

Expiration Date: This permit shall expire if no Building Permit is issued prior to November 6, 1993.

Project Planner:


Gary Gillette,
Planner II

RECEIVED BY CITY CLERK


H-15-92

cc: Debra Purves, Zoning Inspector

MEMORANDUM

CITY/BOROUGH OF JUNEAU
155 South Seward Street, Juneau, Alaska 99801

DATE: April 13, 1992
TO: Design Review Board
FROM: Gary Gillette, Planner II
Community Development
SUBJECT: Design Review Permit
FILE: HDR-03-92
HEARING DATE: April 14, 1992

GENERAL INFORMATION

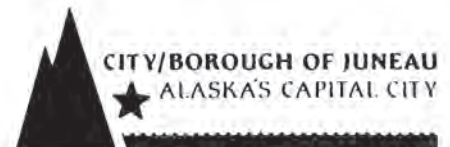
Applicant: Chuck Keen for JMK and Mt. Juneau
Property Owner: Chuck Keen
Requested Action: Design Review Permit
Purpose: To construct a commercial retail development in the Downtown Historic District.
Legal Description: Building: Lot 1; Block N; Juneau Townsite
Parking: Lots 12, 13, 14; Block 2; Juneau Townsite
Parcel No.: Building: 1-CO7-0-B0N-001-0
Parking: 1-CO7-0-H02-012-0
Existing Land Use: Vacant
Surrounding Land Use: North: Commercial
South: Commercial
East: Vacant
West: Commercial
Zoning: MU - Mixed Use
Utilities: Public

BACKGROUND

General - The Applicant proposes to construct a 1, 994 +/- square foot wood framed building for use as a retail/commercial development.

Parking and Circulation - The Applicant proposes to construct a five (5) space parking lot located on adjacent property owned by the Applicant. Access for the lot will be off Gastineau Avenue.

Building Design - The Applicant proposes a "U" shaped building design as shown on the submitted drawings. It features a sloping roof and canopy, horizontal T&G wood siding, "false front" and open guardrails. No paint colors have been submitted at this time.



Landscaping - The Applicant proposes landscaping as shown on the submitted drawings to include planter boxes and potted evergreens. A log bench is included in the "U" of the building.

Lighting - The Applicant has not proposed any exterior site lighting.

Signs - The Applicant proposes to install one freestanding sign as indicated on the submitted drawings.

ANALYSIS

General - The proposed use of the building is allowed in the MU - Mixed Use zone with CDD Staff review only. The proposed development does not meet CDD Regulations 4 CBJAC 080.050 (b) Setback Standard. The standard states that front and side setbacks for new construction or additions shall maintain the visual continuity of the streetscape. The building does meet the standard on the left side (facing the building). A fire hydrant is located on the Applicant's property on the right side which restricts the setback in this area. The center portion of the "U" does not continue the established setback.

Parking and Circulation - The required number of parking spaces for the proposed development is as follows:

Restaurant: 1 space per 150 sq. ft.	
or 1 space per 4 seats	
whichever is greater	= 5
Retail: 1 space per 200 sq. ft.	= 5
Subtotal	= 10
PD1 reduction X.4	= 4

The Applicant proposes five (5) spaces which exceeds the requirements for number of spaces. However, the parking lot design as shown on the submitted drawings does not meet the dimensional standards as established by the zoning code. The required parking space size is nineteen (19) feet by nine (9) feet and a two way traffic aisle width of twenty (20) feet is required for 30° angled parking.

Building Design - The proposed does not meet the CDD Regulations in a couple of areas and would better fit the historic district theme with some minor embellishments. The following discussion addresses specific items to be considered:

- (1) Canopy Standard: The CDD Regulations stipulate that canopys shall be horizontal to maintain the historic character established in the district. Sloping canopys or roofs can be used if a false front or horizontal fascia are used to give a visual appearance of being horizontal from the street.
- (2) Architectural Standard: The CDD Regulations refer to architectural details such as cornices, mouldings, and brackets to be constructed in the historic architectural character in new construction. The details shall be suitable to the building and shall conform to the dimension and detail established by precedents found on comparable buildings or within the district. The proposed design shows cornice applicaitons on some of the walls but not others, this should be consistent throughout the project.

- (3) Color Standard: All colors and the placement of color on the building should preserve or emphasize the architectural detailing. No color schemes have been submitted by the Applicant at this time.
- (4) Front Facades: New construction on a major street shall utilize the elements and proportions of a typical storefront facade at street level. The typical storefront in downtown Juneau is large plate glass windows on the first floor and double hung windows on the upper floors. The proposed building has double hung windows on one side and an open railing on the other.

Landscaping - The planters and potted plants generally meets the landscaping requirements of the CDD Regulations.

Lighting - No exterior lighting is required and none proposed.

Signs - The allowable signs for this project is as follows:

	<u>No. Signs</u>	<u>Allowable Area</u>
	1 for building = 1	45 Square feet = 45
	1 per tenant	10 Sq. Ft. per tenant
	X 6 = 6	X 6 = 60
Total	7 Signs	115 Sq. Ft.

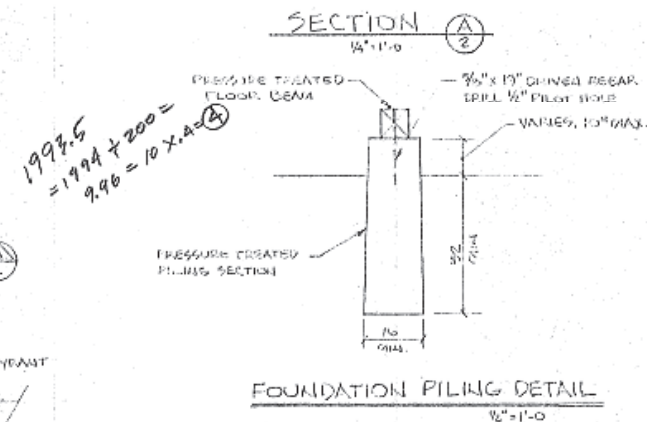
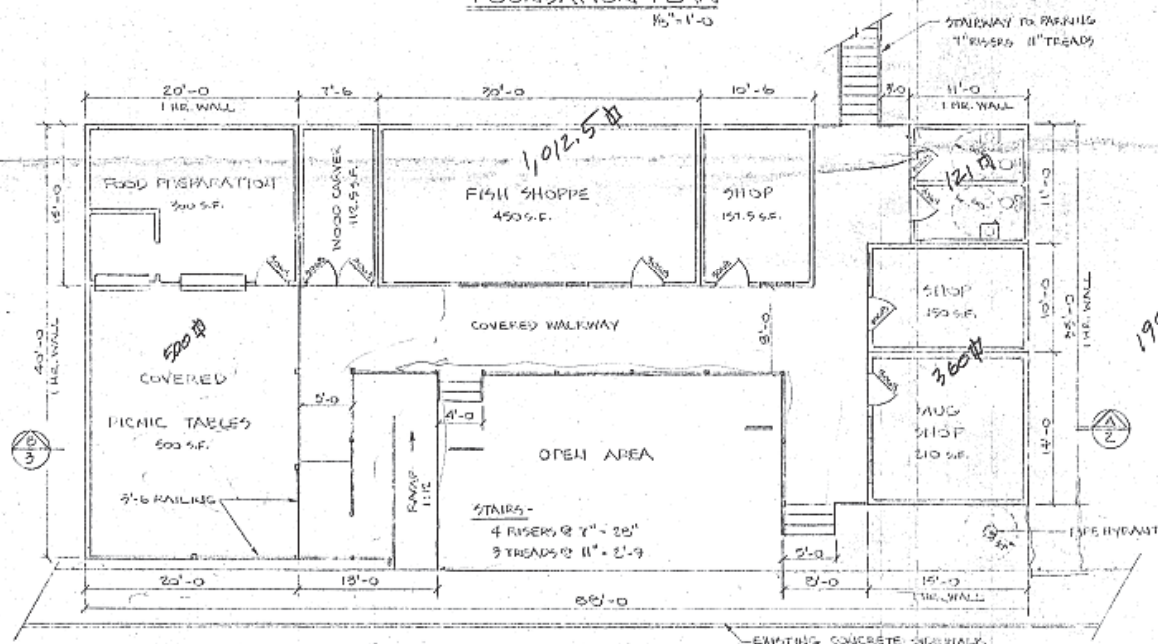
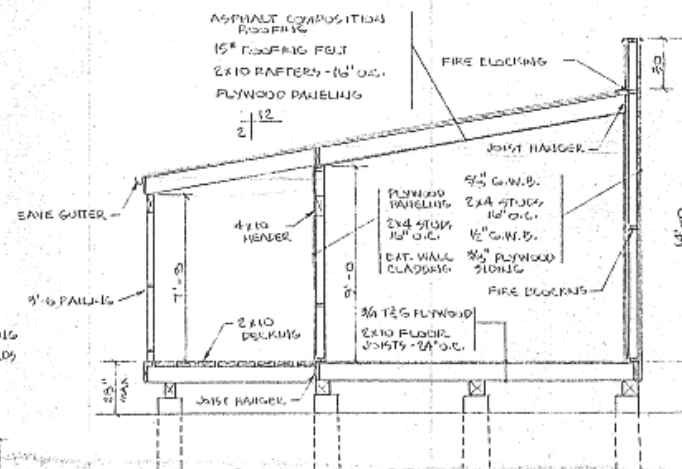
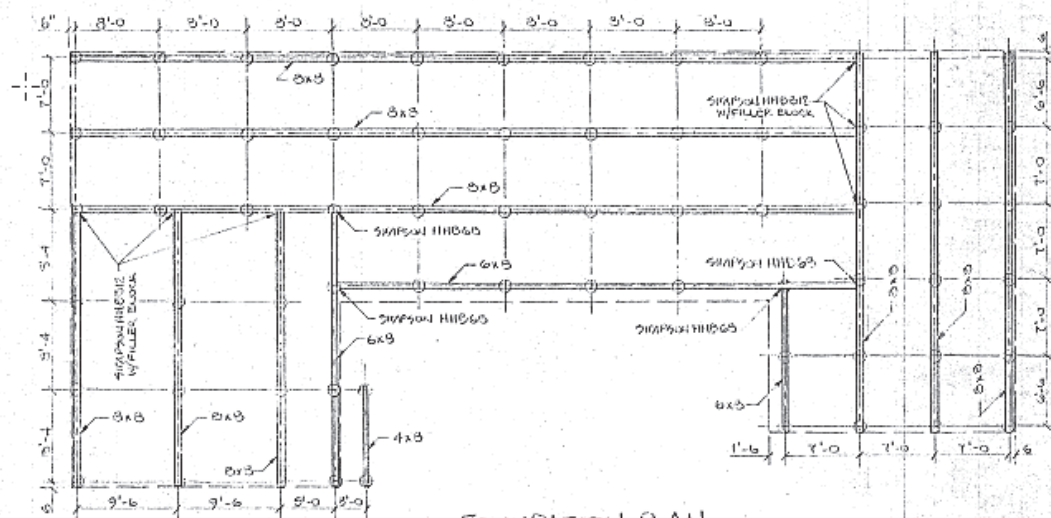
The proposed sign meets the current sign ordinance.

STAFF RECOMMENDATION - Approval - Conditionally

Staff recommends approval of the proposed project subject to the following conditions:

1. The Applicant shall submit to Staff for final review and approval a parking plan which meets the dimensional standards as established by the CBJ zoning code.
2. The Applicant shall submit to Staff for final review and approval a color scheme for the building which meets the standards of the Downtown Historic District.
3. The Applicant shall submit to Staff for final review and approval a building design which features a horizontal canopy element or appears visually to be horizontal.
4. The Applicant shall submit to Staff for final review and approval a building design which features a consistent storefront design which could be a false wall on the left side to reflect the right side.
5. The Applicant shall submit to Staff for final review and approval a building design which features cornices and details consistent with those established in the Downtown Historic District.
6. The Applicant shall obtain all necessary permits as required by the CBJ Building Department.

Doc: HDR0392.GG



BUILDING CODE DATA:

B-2 OCCUPANCY	75 PSF FLOOR LINE LOAD
N.R. TYPE V CONSTRUCTION	40 PSF ROOF LINE LOAD
1501 S.F. ENCLOSED AREA	30 PSF WIND LOAD
1224 S.F. COVERED AREA	

75 PSF FLOOR LINE LOAD
40 PSF ROOF LINE LOAD
20 PSF WIND LOAD

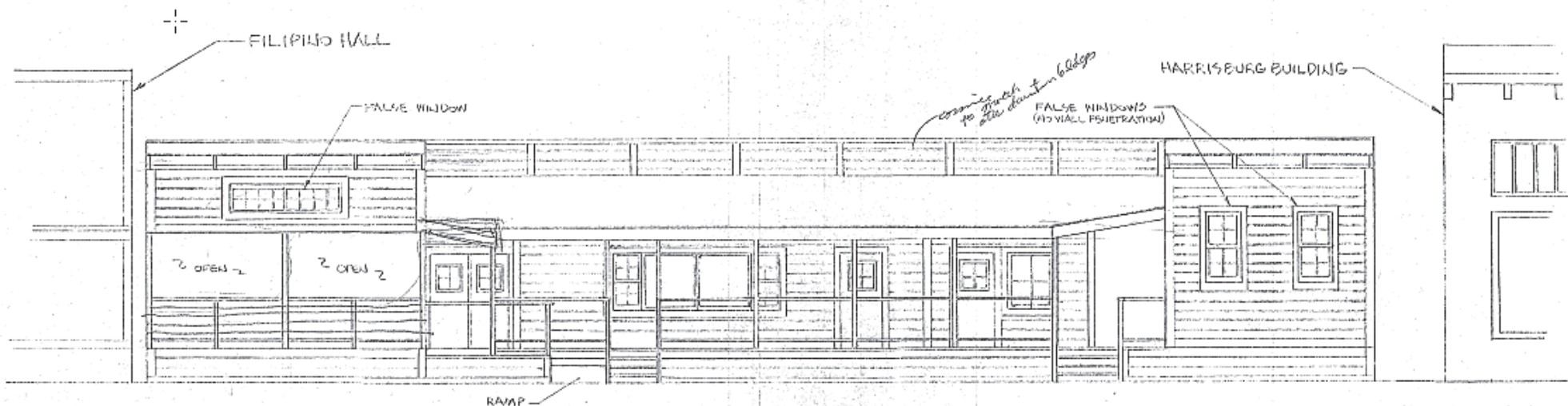
SOUTH FRANKLIN STREET SHOPS

LOT 1, BLOCK N, JONEAU TOWNSITE

(MT. JULIEN) ENTERPRISES, INC.

P.O. Box 93741 - JAMEZ, N.M. 87508

SCALE - AS SHOWN
DRAWN - FWD
SHEET 2 OF 3

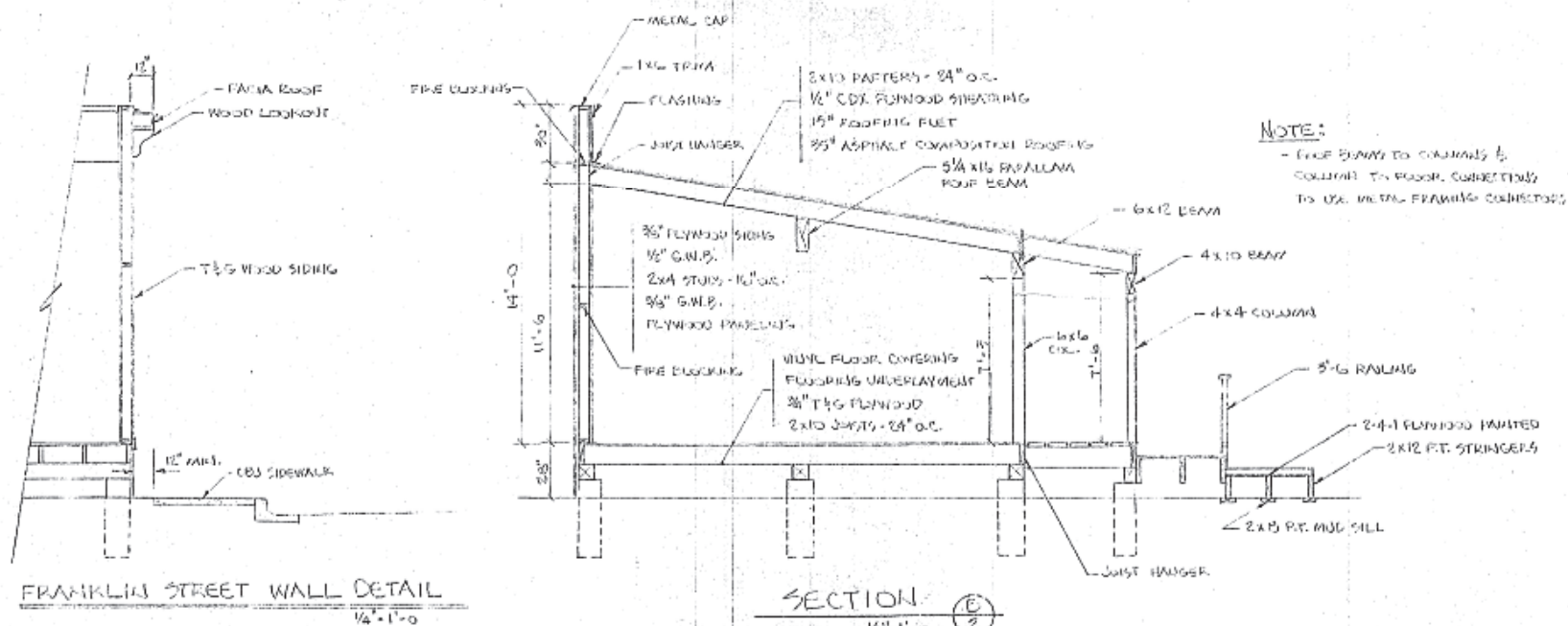


NOTE:

OPEN RAILINGS AS FLOOR & WALKWAY
ELEVATION LESS THAN 30' ABOVE GROUND.

SOUTH FRANKLIN ELEVATION

3/16" = 1'-0"



NOTE:

- FACE BRUNN TO CORNERS &
COLLUM TO BRUNN CONNECTIONS
TO USE METAL FRAMING CONNECTIONS

SCALE - AS SHOWN
DRAWN - FNB

SHEET 3 of 3

SOUTH FRANKLIN STREET SHOPS

LOT 1, BLOCK 11, JUNEAU TOWNSITE

MT. JOHNSON ENTERPRISES, INC.
525 FOX STREET JUNEAU ALASKA 99801

ROAD EASEMENT

BOOK 0581 PAGE 723

In consideration of the benefits derived therefrom, the GRANTOR(S): TRAMWAY BUILDING CORPORATION, whose address is P.O. Box 33741, Juneau, Alaska 99803, conveys and quitclaims to the GRANTEE: THE CITY AND BOROUGH OF JUNEAU, a municipal corporation whose office is located at 155 South Seward Street Juneau, Alaska 99801, a perpetual road easement for the purpose of constructing, reconstructing, maintaining, repairing, and improving curb and gutter across, through, or under any or all of the following described property within the Juneau Alaska Recording District:

That portion of: PACIFIC COAST BLOCK 2 LOT 13 from the northeasterly property line to the back of curb and gutter constructed as part of the Gastineau Avenue Reconstruction project, CBJ Contract #E01-200 as shown on Attachment A.

SEE ATTACHMENT A

The GRANTOR hereby agrees not to construct or have constructed any structures on the easement described herein.

Dated this 21st day of Sept. 2001.

By: Jim Michael Keen
Jim Michael Keen (GRANTOR)
For Tramway Building Corporation

ACKNOWLEDGEMENT

STATE OF ALASKA)
 : ss
FIRST JUDICIAL DISTRICT)

Juneau Recording District

This is to certify that on the 21st day of Sept 2001, before the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, appeared Jim Michael Keen, on behalf of the Tramway Building Corporation, to me known and known to me to be the GRANTOR in the foregoing easement, acknowledged to me that he executed the same freely and voluntarily, being fully authorized to do so.

Witness my hand and official seal on the day and year in this certificate first above written.

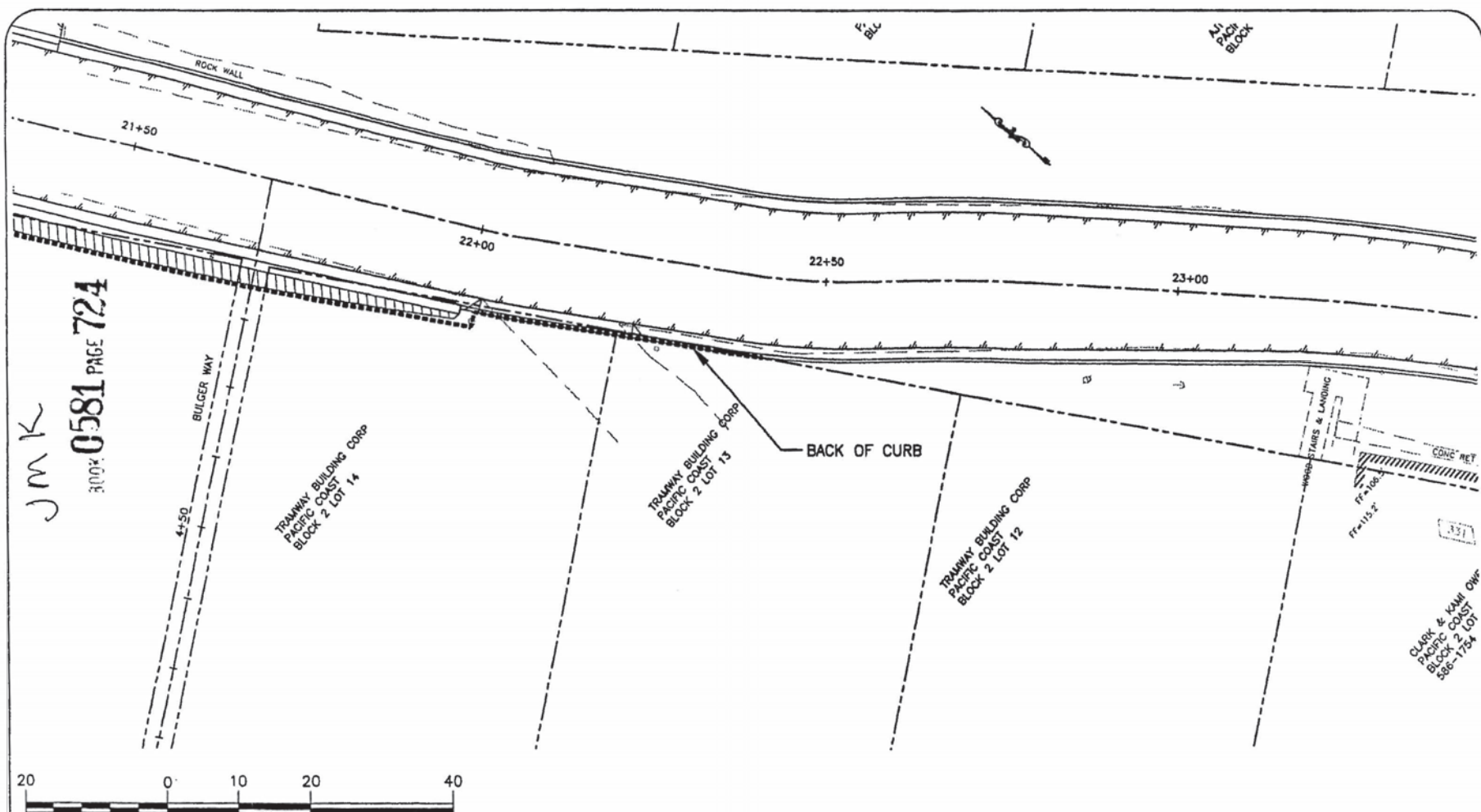
Janet B. Sanbei, Notary Public

My commission expires: 6.7.2004

Return to:

Tina Brown
CITY AND BOROUGH OF JUNEAU
ENGINEER
155 SOUTH SEWARD ST.
JUNEAU AK 99801





Property Location:
PACIFIC COAST
Block 2, Lot 13

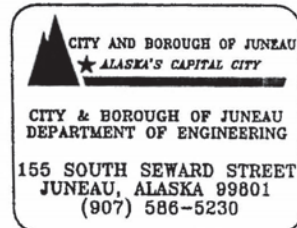
Assessor's Parcel:
1C070H020120

Owner:
TRAMWAY BUILDING CORP
Owner:

Mailing Address:
BOX 33741
JUNEAU ALASKA 99803

ATTACHMENT A GASTINEAU AVENUE RECONSTRUCTION PERPETUAL EASEMENT SKETCH

PERPETUAL EASEMENT DESCRIPTION:
FROM THE BACK OF THE CURB
AND GUTTER TO THE NORTHEASTERLY
PROPERTY LINE.



PERMANENT EASEMENT:

0581 PAGE 725

010050
JUNEAU 18.0
RECORDING DISTRICT

2001 OCT 19 A 11:13

REQUESTED BY CBJ

100704020120

BOOK 0581 PAGE 726

ROAD and RETAINING WALL EASEMENT

In consideration of the benefits derived therefrom, the GRANTOR(S): TRAMWAY BUILDING CORPORATION, whose address is P.O. Box 33741, Juneau, Alaska 99803, conveys and quitclaims to the GRANTEE: THE CITY AND BOROUGH OF JUNEAU, a municipal corporation whose office is located at 155 South Seward Street Juneau, Alaska 99801, a perpetual road and retaining wall easement for the purpose of constructing, reconstructing, maintaining, repairing, and improving a retaining wall and curb and gutter across, through, or under any or all of the following described property within the Juneau Alaska Recording District:

That portion of: PACIFIC COAST BLOCK 2 LOT 14 from the northeasterly property line to the base of retaining wall, and to the back of curb and gutter constructed as part of the Gastineau Avenue Reconstruction project, CBJ Contract #E01-200 as shown on Attachment A.

SEE ATTACHMENT A

The GRANTOR hereby agrees not to construct or have constructed any structures on the easement described herein.

Dated this 21st day of Sept 2001.

By: Jim Michael Keen
Jim Michael Keen (GRANTOR)
For Tramway Building Corporation

ACKNOWLEDGEMENT

STATE OF ALASKA)
 : ss
FIRST JUDICIAL DISTRICT)

Juneau Recording District

This is to certify that on the 21st day of Sept 2001, before the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, appeared Jim Michael Keen, on behalf of Tramway Building Corporation, to me known and known to me to be the GRANTOR in the foregoing easement, acknowledged to me that he executed the same freely and voluntarily, being fully authorized to do so.

Witness my hand and official seal on the day and year in this certificate first above written.

Janet B. Sanbei, Notary Public

My commission expires: 10/3 6.7.2004

Return to:
Tina Brown
CITY AND BOROUGH OF JUNEAU
ENGINEERING DEPARTMENT
155 SOUTH SEWARD ST



010051
JUNEAU 1800
RECORDING DISTRICT

2001 OCT 19 A 11:14
REQUESTED BY *CBJ*

BULGER WAY

3+50

4+00

4+50

21+50

RETAINING WALL

BACK OF CURB

TRAMWAY BUILDING CORP
PACIFIC COAST
BLOCK 2 LOT 14

TRAMWAY BUILDING CORP
PACIFIC COAST
BLOCK 2 LOT 13

ROCK WALL

CONC RET WALL

CONC WALL

ROCK DRAIN

300' 0581 PAGE 727

L & PATRICIA LEE HICKORY
COAST LOT 1

JMK

TERRY L. L.



ATTACHMENT A GASTINEAU AVENUE RECONSTRUCTION PERPETUAL EASEMENT SKETCH

Property Location:
PACIFIC COAST
Block 2, Lot 14

Assessor's Parcel:
1C070H020120

Owner:

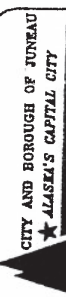
TRAMWAY BUILDING CORP

Mailing Address:
BOX 33741
JUNEAU ALASKA 99803

PERMANENT EASEMENT:

PERPETUAL EASEMENT DESCRIPTION:

FROM THE BASE OF RETAINING WALL
AND ALONG BACK OF CURB AND GUTTER,
TO NORTHEASTERLY PROPERTY LINE.



CITY & BOROUGH OF JUNEAU
DEPARTMENT OF ENGINEERING
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801
(907) 586-5230

TRMWAY1

Agreement between Tramway Building Corp., Jim Michael Keen, and the City & Borough of Juneau, Alaska.

Pursuant to a perpetual retaining wall easement and a temporary construction easement granted by Jim Michael Keen, (Grantor) whose property is Juneau Townsite Block N Tract B; and pursuant to a perpetual retaining wall and road easement, a perpetual road easement, and temporary construction easement granted by Tramway Building Corporation (Grantor), whose property is Pacific Coast Block 2 Lots 12, 13, and 14, to the City & Borough of Juneau (Grantee), 115 South Seward Street, Juneau, Alaska 99801, the Grantors agree to accept monetary compensations in separate lump-sum amounts, in addition to the planned improvements to said Grantor's property in accordance with CBJ Contract E01-200 Gastineau Avenue Reconstruction project, as full compensation in consideration for granting said easements to the Grantee. The City and Borough of Juneau, as Grantee, agrees to provide said lump-sum amounts in separate payments to Grantors payable ~~no later than 90 days from acceptance of~~ ^{upon signing} this agreement, which shall be calculated based on the following formula:

Payment to Jim Michael Keen:

Block N Tract B

Retaining Wall Easement	\$50/psf x 164sf	=	\$8,200
Temporary Construction Easement	\$50/psf x 2,128sf x 9% x .25yrs.	=	2,394
Total Compensation Amount			\$10,594

Payment To Tramway Building Corporation:

Block 2 Lots 12, 13, & 14

Retaining Wall & Roadway Easement	\$50/psf x 113sf	=	\$5,650
Temporary Construction Easement	\$50/psf x 3,303sf x 9% x .25yrs.	=	3,716
Total Compensation Amount			\$9,366

The Grantor shall retain all established air rights above said perpetual easements and retain all original property setbacks for said lots.

The Grantor may cross over the four foot wide Bulger Way right-of-way between Tract B Block N and Lot 14 Block 2 during future private construction projects.

Jim Michael Keen and Tramway Building Corporation hereby warrant that they have title and authority to grant this land use to CBJ and that they will indemnify, defend, and hold CBJ harmless from any challenge to title or authority to grant CBJ this property for the purposes stated herein and the accompanying easement documents.

This agreement shall enure to the benefit of, and shall be binding upon the successors, executors, administrators, heirs, and assigns of the respective parties hereto.

IN WITNESS WHEREOF, the parties hereto have executed this agreement as of the 17th day of September, 2001.

GRANTOR(S)

Jim Michael Keen 9/21/01
Jim Michael Keen Date
GRANTOR

Jim Michael Keen 9/21/01
Jim Michael Keen For Date
Tramway Building Corp.
GRANTOR(S)

GRANTEE
CITY AND BOROUGH OF JUNEAU

John Stone SEP 17, 2001
John Stone Date
Engineering Director

ACKNOWLEDGEMENT

Juneau Recording District

THIS CERTIFIES that on this 17th day of Sept., 2001, before me, the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, personally appeared Jim Michael Keen to me known and known to me to be the person described in and who executed the within and foregoing instrument, and they acknowledged to me that they signed the same freely and voluntarily for the uses and purposes therein mentioned.

WITNESS my hand and official seal the day and year in this certificate first above written.



Janet B. Sanbei
Notary Public for Alaska
6-7-2004
My commission expires:

ACKNOWLEDGEMENT

THIS CERTIFIES that on this 21st day of Sept., 2001, before me, the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, personally appeared Jim Michael Keen on behalf of Tramway Building Corporation to me known and known to me to be the person described in and who executed the within and foregoing instrument, and they acknowledged to me that they signed the same freely and voluntarily for the uses and purposes therein mentioned.

WITNESS my hand and official seal the day and year in this certificate first above written.



Janet B. Sanbei
Notary Public for Alaska
6-7-2004
My commission expires:

ACKNOWLEDGEMENT

THIS CERTIFIES that on this 12th day of Sept., 2001, before me, the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, personally appeared John Stone on behalf of the City & Borough of Juneau to me known and known to me to be the person described in and who executed the within and foregoing instrument, and they acknowledged to me that they signed the same freely and voluntarily for the uses and purposes therein mentioned.

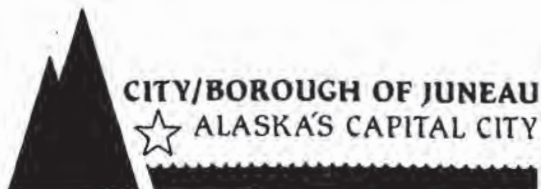
WITNESS my hand and official seal the day and year in this certificate first above written.



Janet B. Sanbei
Notary Public for Alaska
June 7, 2004
My commission expires:

Return to:
Tina Brown
CITY AND BOROUGH OF JUNEAU
ENGINEERING DEPARTMENT
155 SOUTH SEWARD ST.
JUNEAU, AK 99801

010053
JUNEAU/B.O.D.
RECORDING DISTRICT
2001 OCT 19 A 11:14
REQUESTED BY C&T



**COMMUNITY DEVELOPMENT
NOTICE OF DECISION**

Date: August 22nd, 2012

File No.: AME2011-0005

Rich Conneen, Architects
7081 North Douglas Hwy
Juneau, AK 99801

Proposal: Amend the official Avalanche/ Landslide Hazard Map to reclassify the applicant's property from the mapped Severe Hazard zone to Moderate zone.

Legal Descriptions: Lots 3, and 12 – 14, Pacific Coast Sub

Property Address: 307 South Franklin Street

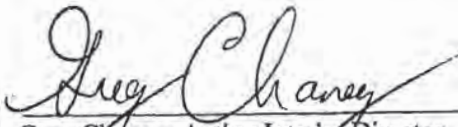
Parcel Code No.: 1C070H020020

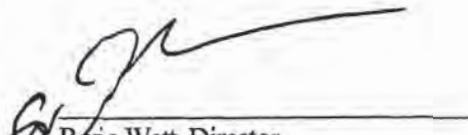
The Directors of the Engineering and Community Development Departments have granted your hazard map amendment to reclassify the subject properties from Severe to Moderate Hazard Zone as described in the site specific studies submitted with the application.

This Notice of Decision does not authorize any construction activity. Prior to starting any development project, it is the applicant's responsibility to obtain any required permits.

This Notice of Decision constitutes a final decision of the Directors of the Engineering and Community Development Departments. Appeals must be brought to the Planning Commission in accordance with CBJ 49.20.110. Appeals must be filed with the Community Development Department by 4:30 P.M. on the day twenty days from the date of the decision.

If you have any questions regarding your project or anticipate any changes to your plans, please call the Community Development Department at (907) 586-0715.


Greg Chaney, Acting Interim Director
Community Development Department


Ronie Watt, Director
Engineering Development

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



August 16, 2012

FILE: AME2011-05

SUB: Hazard Boundary Reassessment
Lot 3, 12, 13 & 14, Pacific Coast Sub

Rich Conneen, Architects
7081 North Douglas Hwy
Juneau, AK 99801

Dear Mr. Conneen:

As stated in CBJ Code 49.70.300 (4) an owner/developer may seek departmental relocation of the hazard boundary as presented in the CBJ 1972 Hazard Study. The CBJ will allow relocation based on a site-specific study by an engineer experienced in avalanche and landslide analysis.

The CBJ Engineering Department has received two reports from Baxandall Associates, Civil & Environmental Engineering prepared by Bill Baxandall, P.E. Mr. Baxandall is recognized as a "Local Expert" in the area of avalanche/landslide analysis. After review of the report sealed 8-13-2012, and a previously submitted report sealed 7-18-2010, by Mr. Baxandall, the CBJ Engineering Department has no objection to reclassifying the subject properties Lots 3, 12, 13 & 14 Pacific Coast Addition from Severe Hazard Zone to Moderate Hazard Zone.

However, it shall be stated, snow avalanches and landslides may occur outside hazard areas in excess of engineering expectations. The location and severity of a specific event may be increased by manmade or natural causes. This letter does not imply that property or structures previously mapped within a potential hazard area will be free from danger or damage. Please note the acceptance of the Baxandall Study and the removal of the above listed property from the Severe Hazard Zone shall not create liability on the part of the City and Borough of Juneau as stated in CBJ Code 49.70.300 (c).

The force and extent of avalanches and mass wasting are subjective. Subsequently, future property owners should receive full disclosure as to the content of the Baxandall study and CBJ findings.

Sincerely,

Ron King, PLS. Chief Regulatory Surveyor
CBJ General Engineering Department

Scan cc: John Bohan, P.E., Acting Engineering Director CBJ Engineering Department
Eric Feldt, Planner - CBJ Community Development Department

COMMUNITY DEVELOPMENT
NOTICE OF DECISION

Date: February 11, 2013

File No.: AME2013 0003

Steve Soenksen
P.O. Box 35854
Juneau, AK 99803

Application For: Amendment of the official Avalanche/Landslide Hazard Map to reclassify the subject properties from severe to moderate hazard zone.

Legal Description: PACIFIC COAST ADDITION BL 2 LT 12, 13, 14

Property Address: Bulger Way

Parcel Code No.: 1-C07-0-H02-012-0

The Directors of the Engineering and Community Development Department have granted your hazard map amendment to reclassify the subject properties from Severe to Moderate Hazard Zone as described in the site-specific studies submitted with the application.

This Notice of Decision does not authorize any construction activity. Prior to starting any development project, it is the applicant's responsibility to obtain any required permits.

This Notice of Decision constitutes a final decision of the Directors of the Engineering and Community Development Departments. Appeals must be brought to the Planning Commission in accordance with CBJ 49.20.110. Appeals must be filed with the Community Development Department by 4:30 PM on the day twenty days from the date of this decision.

If you have any questions regarding your project or anticipate any changes to your plans, please call the Community Development Department at (907) 586-0715.



Hal Hart, Director
Community Development Department



Rorie Watt, Director
Engineering Department

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this recommended map change. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.

DEVELOPMENT PERMIT APPLICATION

Project Number AME20130003	CITY and BOROUGH of JUNEAU	Date Received: 1/28/13
Project Name (City Staff to Assign Name)		

PROJECT / APPLICANT INFORMATION	Project Description Amend the official Avalanche / Landslide Hazard Map to Reclassify from Severe to Moderate hazard zone		
	PROPERTY LOCATION		
	Street Address Bulger Way	City/Zip Juneau, AK	
	Legal Description(s) of Parcel(s) (Subdivision, Survey, Block, Tract, Lot) Lots 12, 13, 14 Pacific Coast Subdivision		
	Assessor's Parcel Number(s) 1C070H020120		
	LANDOWNER/LESSEE		
	Property Owner's Name Douglas J Trucano	Contact Person: Douglas Trucano	Work Phone:
	Mailing Address PO Box 20870 Juneau AK 99802	Home Phone: 907-586-2444	Fax Number:
	E-mail Address	Other Contact Phone Number(s): 907-957-7550	
	LANDOWNER/LESSEE CONSENT		
<p>I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent, as follows:</p> <p>A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.</p> <p>B. (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.</p> <p>X <u>Douglas Trucano</u> 1/25/13 Landowner/Lessee Signature Date</p> <p>X _____ Landowner/Lessee Signature Date</p> <p>NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.</p>			
APPLICANT INFORMATION			
Applicant's Name Steve Soenksen	Contact Person: Steve	Work Phone: 907-957-7550	
Mailing Address PO Box 35854 Juneau AK 99803	Home Phone: 907-957-7550	Fax Number:	
E-mail Address SsoenK@yahoo.com	Other Contact Phone Number(s):		
X <u>[Signature]</u> 1/28/2013 Applicant's Signature Date of Application			

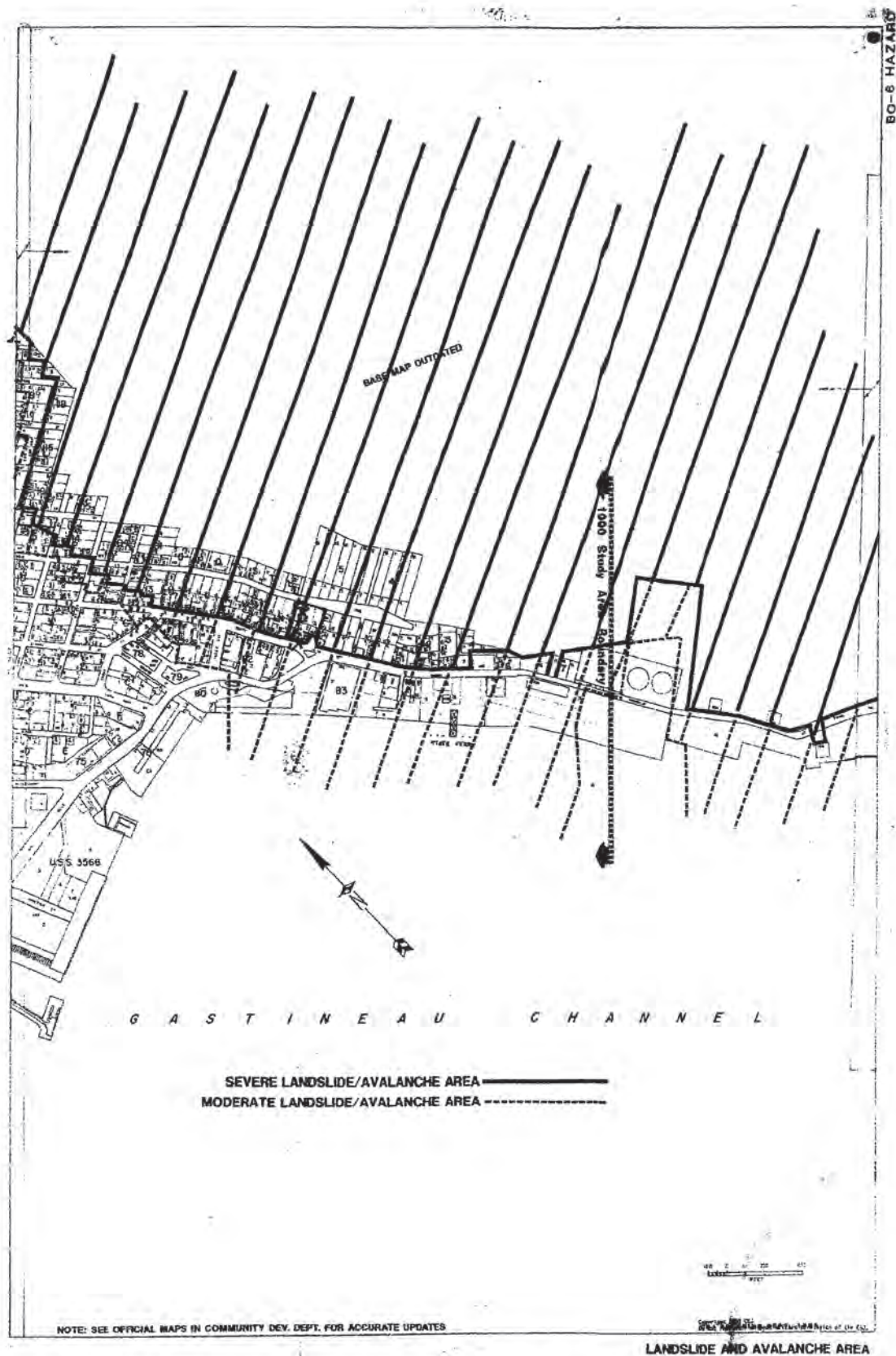
STAFF APPROVALS	OFFICE USE ONLY BELOW THIS LINE		
	<input checked="" type="checkbox"/>	Building/Grading Permit	
	<input type="checkbox"/>	City/State Project Review and City Land Action	
	<input type="checkbox"/>	Inquiry Case (Fee In Lieu, Letter of ZC, Use Not Listed)	
	<input type="checkbox"/>	Mining Case (Small, Large, Rural, Extraction, Exploration)	
	<input type="checkbox"/>	Sign Approval (If more than one, fill in all applicable permit #'s)	
	<input type="checkbox"/>	Subdivision (Minor, Major, PUD, St. Vacation, St. Name Change)	
	<input type="checkbox"/>	Use Approval (Allowable, Conditional, Cottage Housing, Mobile Home Parks, Accessory Apartment)	
	<input type="checkbox"/>	Variance Case (De Minimis and all other Variance case types)	
	<input type="checkbox"/>	Wetlands Permits	
<input checked="" type="checkbox"/>	Zone Change Application - Hazard Map Amendment	NO	1/28/13
<input type="checkbox"/>	Other (Describe)		
Comments:			Permit/Make Initials

NOTE: DEVELOPMENT PERMIT APPLICATION FORMS MUST ACCOMPANY ALL OTHER COMMUNITY DEVELOPMENT DEPARTMENT APPLICATIONS
Revised November 2009
I:\FORMS\2010 Applications

ZONE CHANGE APPLICATION

Project Number AME20130003	Project Name (15 characters)	Case Number AME	Date Received 1/28/13		
LEGAL DESCRIPTION(S) AND LIMITS OF PROPERTY TO BE REZONED:					
LOTS 12-14 Pacific Coast Subdivision					
IS THIS AN EXPANSION OF AN EXISTING ZONE? <input type="checkbox"/> Yes <input type="checkbox"/> No					
Total Land Area of Proposed Change High Hazard Zone <small>acres</small>		Comp Plan Designation _____			
Current Zone(s) _____ to Moderate Hazard Zone		Comp Plan Map _____			
New Zone Requested _____					
TYPE OF ZONE CHANGE REQUESTED:					
<input type="checkbox"/> Regular <input type="checkbox"/> Transition					
HAS THIS OR A SIMILAR ZONE CHANGE BEEN REQUESTED IN THE PREVIOUS 12 MONTHS?					
<input checked="" type="checkbox"/> Yes FILE No. AME 2011-005 <input type="checkbox"/> No					
UTILITIES AVAILABLE:					
WATER: <input checked="" type="checkbox"/> Public <input type="checkbox"/> On Site		SEWER: <input checked="" type="checkbox"/> Public <input type="checkbox"/> On Site			
PURPOSE OF THE REQUESTED ZONE CHANGE:					
IS THERE A PROPOSED USE OF THE LAND? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
PROPOSED BUFFERS TO ADJACENT ZONES? <input type="checkbox"/> Yes <input type="checkbox"/> No					
DESCRIBE (INCLUDING TYPE AND DENSITY OF PROPOSED DEVELOPMENT):					
- Multi-Family buildings					
DESCRIBE ANY POTENTIAL IMPACTS TO PUBLIC INFRASTRUCTURE:					
STREETS:					
WATER:					
SEWER:					
For more information regarding the permitting process and the submittals required for a complete application, please see the reverse side. If you need any assistance filling out this form, please contact the Permit Center at 586-0770.	ZONE CHANGE FEES				
		Fees	Check No.	Receipt	Date
	Application Fees	\$ 600	_____	_____	_____
	Admin. of Guarantee	\$ _____	_____	_____	_____
	Adjustment	\$ _____	_____	_____	_____
	Pub. Not. Sign Fee	\$ -	_____	_____	_____
	Pub. Not. Sign Deposit	\$ -	_____	_____	_____
	Total Fee	\$ 600	1070	21252	1/28/13

NOTE: MUST BE ACCOMPANIED BY DEVELOPMENT PERMIT APPLICATION FORM





(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

Gastineau Lodge

Case Number: PAC20180007

Applicant: Steve Soenksen

Property Owner: Douglas Trucano

Property Address: Gastineau Ave

Parcel Code Number: 1C070H020120

Site Size: 14,995 sq ft

Zoning: MU

Existing Land Use: Vacant

Conference Date: 2/5/18

Report Issued: 2/15/2018

List of attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Steve Soenksen	Applicant	ssoenk@yahoo.com
Rob Steedle	CDD Director	Rob.Steedle@juneau.org
Amy Liu	Planner	Amy.Liu@juneau.org
Laura Boyce		Laura.Boyce@juneau.org
Dan Jager	Fire Marshal	Dan.Jager@juneau.org
Charlie Ford	Building Official	Charlie.Ford@juneau.org
John Young	Plans Examiner	John.Young@juneau.org
Mark Millay	General Engineering	Mark.Millay@juneau.org
Autumn Sapp		Autumn.Sapp@juneau.org
Eddie Quinto	Permit Specialist	Edward.Quinto@juneau.org

Conference Summary

Questions/issues/agreements identified at the conference that were not already identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Planning Division:

1. **Zoning** – 49.25.300(c)(4), Conditional Use Permit is required for construction of 72 units. 49.70.300(a)(3), Conditional Use Permit is required for construction in a moderate hazard zone. 49.70.210, Hillside Development Permit is required for excavation of any slope in excess of 18%. 49.25.430, Minor Subdivision Application is required for lot consolidation.
2. **Setbacks** – None
3. **Height** –None
4. **Access** – N/A
5. **Parking** – Given 72 single room occupancies/single bedrooms and 30% parking reduction for location in PD-2, the project is required to provide 50 parking spaces. Site plan currently shows 9 parking spaces, and applicant has expressed that there are no plans to include more onsite parking. Upon further research, the only other mechanism for offsetting required spaces would be Downtown Fee in Lieu of Parking. The FY16 rate, which is the most recent available rate, is \$10,438.00 per commercial parking space. Note that the applicant must provide information to support findings that the proposed development will not have significant adverse impacts on nearby on-street parking, subject to the approval of the Planning Commission.
6. **Lot Coverage** – None
7. **Vegetative Coverage** – None
8. **Lighting** – Lighting must be provided and directed downward at door entries and stairs.
9. **Noise** – No comments at this time, though comments may arise during public comment process for a Conditional Use Permit
10. **Flood** – N/A
11. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – Site is in a moderate landslide and avalanche zone and thus requires a Hillside Endorsement Permit. The permit will be reviewed by the Planning Commission, as the project does not meet the exceptions outlined in 49.70.210(b).
12. **Wetlands** – N/A
13. **Habitat** – N/A
14. **Plat or Covenant Restrictions** – N/A

Building Division:

15. **Building** – Building does not have any additional input at this time. Once the information is expanded we may have comments.
16. **Outstanding Permits** - None

General Engineering/Public Works:

17. **Engineering** – Driveway, as proposed regarding planters, parking and trash storage-pickup will need to be reconfigured and approved through Engineering/Public Works. Hillside site plan will need to be designed by an Alaska licensed Engineer. Hillside site work will need special inspection.
18. **Drainage** – The drainage from the development can be collected and sent to the drainage infrastructure piping in the Bulger Way ROW.
19. **Utilities** – (water, power, sewer, etc.) - The three 1" water services located within the Gastineau Ave. ROW will have to be decommissioned. A fireline and domestic water line will need to be sized and configured for supply. Sewer is available and will need to be sized for drain fixture discharge.

Connection cost for the water: \$750.00 for fireline connection or actual cost of connection/ inspection, whichever is greater. Domestic water connection cost is based on line size at \$750.00 per each ½ inch line size rounded up to the ½ inch. Sewer connection cost: \$1,000.00 for the first 20 fixture units, or a fraction thereof, and \$500.00 for each additional 20 fixture units, or a fraction thereof.

Fire Marshal:

20. **Fire Items/Access** – N/A

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit
2. Conditional Use (Major Development)
3. Conditional Use (Moderate hazard zone development)
4. Hillside endorsement permit
5. Minor subdivision / lot consolidation

Additional submittal requirements:

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.

Exceptions to submittal requirements:

Submittal requirements staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. None

Fee estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Development Permit; \$0.00

2. Conditional Use Permit (major development); \$750.00
3. Conditional Use Permit (moderate hazard zone development); \$400.00
4. Hillside Endorsement Permit; \$23,7912.00

Initial deposit is 1% of project's value, which equals [livable space][dollar coefficient specific to building's structural designation]*0.01. For this project, that is equation is $22330 * 106.4 * 0.01$. The fee to the developer is the gross hourly rate for professional review of the application and for inspection. The difference between this charge and the initial deposit will be returned to the developer.

5. Minor Subdivision; \$185.00

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/cdd.

Submit your completed application

You must submit your application(s) in person with payment to:

City/Borough of Juneau
Permit Center
230 S. Franklin Street,
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715
Fax: (907) 586-4529
Web: www.juneau.org/cdd

City and Borough of Juneau
Community Development Department
155 S Seward St.
Juneau, Alaska 99801

January 4, 2018

Attn: Zoning and Building Division

Re: Community Development Permit – Pre-Application review process for
Gastineau Lodge Apartments

We would like to request your consideration of our concept plans for Gastineau Lodge Apartments. This 72 unit apartment building is intended for affordable housing facility for workforce needs, and to specifically address local housing needs for short and long term residential apartments in downtown Juneau.

Due to the siting, location and needs of potential renters, most will not have or need a private automobile. The siting is designed to allow easy access for pedestrians and cyclists to meet their needs as a higher priority than the private auto. An adjacent apartment building shows less than 30% utilization of their built parking lot, per parking requirement.

We would like to request a description of permits and jurisdictional review elements that may be necessary to approve this project for building permits. Either a letter response could be helpful to us in planning for the final permit submittal, or comments on this letter, would be appreciated. We will use this for the basis of our continued planning to deliver the project.

ZONING

Zoning is still under review, per Amy, but it appears that a Conditional Use Permit application will be needed for the multi-family dwelling. Zoning codes and setback concerns can be addressed or can be shown already in compliance. Parking requirements will be addressed through the permit review process.

Previously this property had planning commission action on Hazard Zone review and amending the city map to be in the “Moderate Hazard zone”. This should be located in your files.

BUILDING PERMIT

We received a preliminary estimate today based upon square footage from Charlie Ford, Senior Building Official of \$15,000 for the Building Permit and \$10,000 in plan review fee. This would give a total estimated cost of \$25,000 for the Building Permit. The concept drawings are based upon code compliance and acceptable local building best practices.

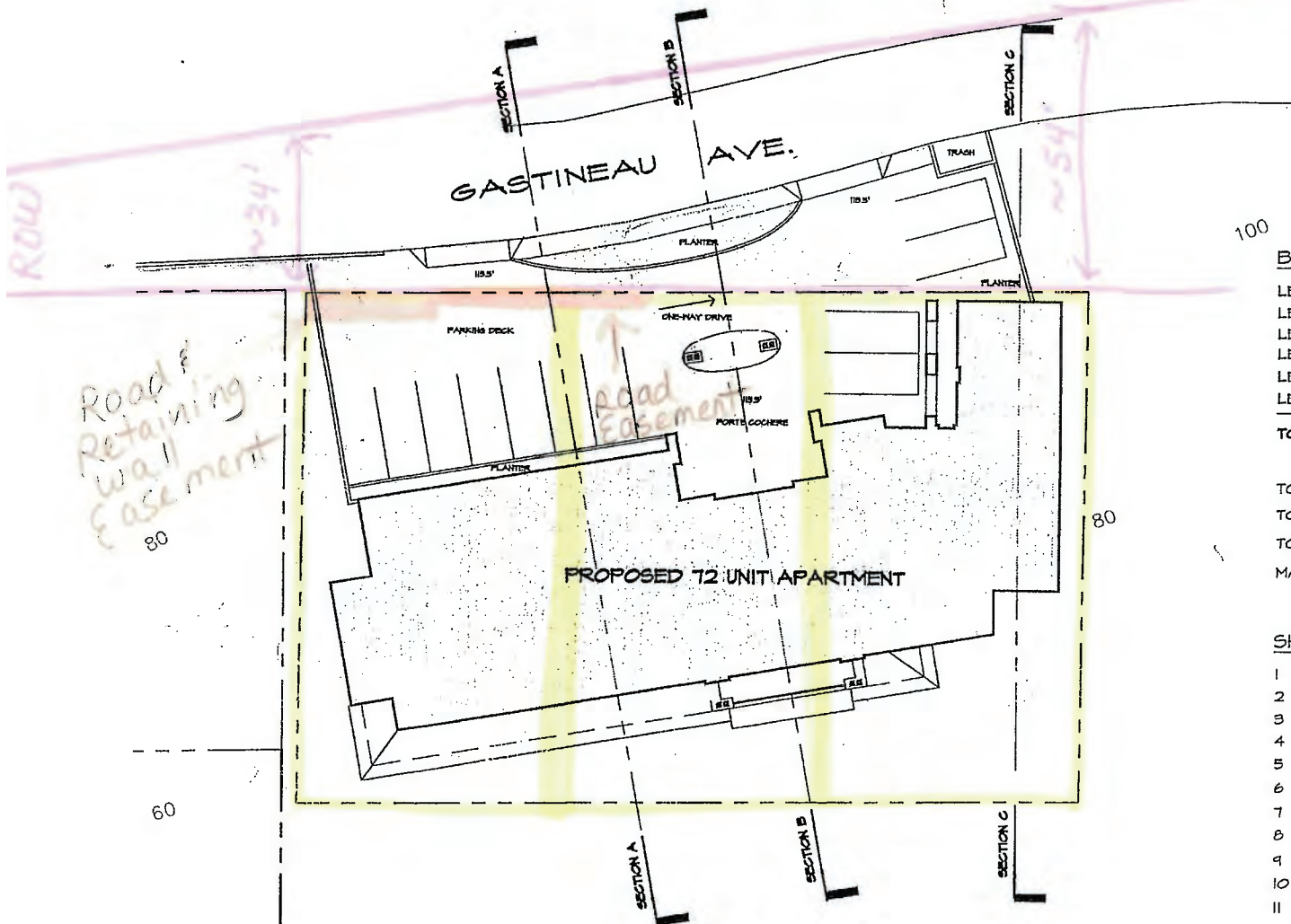
Please let us know of any other issues we may need to know, going forward.
Assuming the issues known at this time, can be simply and reasonably solved, we hope to be able to deliver this project in the next year and available for early 2019 occupancy.

Thank you for your Pre-Application Review and we look forward to working with you on development of this much needed housing solution for downtown Juneau.

Sincerely.

<SIGNED>

Steven Soenksen,
907-209-0709
ssoenk@yahoo.com



BUILDING AREA:

LEVEL 1:	4,280 S.F.	(9 UNIT)
LEVEL 2:	7,895 S.F.	(12 UNITS)
LEVEL 3:	7,460 S.F.	(12 UNITS)
LEVEL 4:	7,460 S.F.	(14 UNITS)
LEVEL 5:	6,220 S.F.	(15 UNITS + MANAGER)
LEVEL 6:	6,075 S.F.	(10 UNITS)

TOTAL GROSS: 39,390 S.F.

TOTAL RESIDENTIAL:	22,090 S.F.
TOTAL STOR. / COMMERCIAL:	5,165 S.F.
TOTAL COMMON / CIRCULATION:	11,895 S.F.
MANAGER'S:	240 S.F.

SHEET INDEX

- 1 CONCEPT SITE PLAN
- 2 TYPICAL UNIT PLANS
- 3 5TH (STREET) LEVEL PLAN
- 4 6TH LEVEL PLAN
- 5 4TH LEVEL PLAN
- 6 3RD LEVEL PLAN
- 7 2ND LEVEL PLAN
- 8 1ST LEVEL PLAN
- 9 PICTORIAL ROOF PLAN
- 10 EXTERIOR ELEVATIONS
- 11 ELEVATION / SECTION

CONCEPT SITE PLAN
W/ TOPOGRAPHIC OVERLAY

SC: 1" = 20'-0"



GASTINEAU LODGE APARTMENTS

11.12.17

TOM KING
ARCHITECTURAL DESIGN & CONSULTING

1

Presented by: The Manager
Presented: 09/12/2022
Drafted by: R. Palmer III

ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA

Serial No. 2022-06(b)(P)

An Ordinance Appropriating \$700,000 to the Manager for a Pre-Development Loan to the Gastineau Lodge Apartments, LLC; Funding Provided by the Affordable Housing Fund.

WHEREAS, during the 2021 Affordable Housing Fund solicitation, the City and Borough of Juneau (CBJ) received a proposal from a private development group for a pre-development loan of \$700,000 for a 72-unit apartment building in Downtown Juneau; and

WHEREAS, the scoring team (including a banker and a developer) supported a loan to the private development group only if the loan was collateralized; and

WHEREAS, the developer (Gastineau Lodge Apartments, LLC, a partnership between Verde Infrastructure Partners, LLC and Douglas Trucano) has proposed that CBJ accept the property as collateral for the loan, it is three separate buildable lots, each about 5,000 square feet, for a total of 14,995 square feet of property that is zoned Mixed Use – the CBJ zoning district with the fewest development restrictions; and

WHEREAS, the assessor has the property valued at \$134,100 and a recently provided appraisal has the property valued at \$795,000. Given these very different values, if CBJ accepts the land as collateral for a \$700,000 loan, then CBJ needs confidence in the appraisal; and

WHEREAS, given the high demand for housing and the potential reward for the community if this housing project is fully developed, the following appropriation terms and conditions are in the best interest of the community.

BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

Section 1. Classification. This ordinance is a noncode ordinance.

Section 2. Appropriation. There is appropriated to the Manager the sum of seven hundred thousand dollars (\$700,000) for a loan to Gastineau Lodge Apartments, LLC.

Section 3. Source of Funds.

Affordable Housing Fund	\$700,000
-------------------------	-----------

Section 4. Loan Purpose and Terms. The Manager is authorized to negotiate a financing agreement with the following essential terms, in addition to other reasonably necessary contractual and financing provisions deemed necessary by the Manager to protect the City and Borough of Juneau:

- (a) **Intent.** Housing, especially workforce housing in downtown Juneau, is in high demand. The purpose of this loan is to provide an injection of capital, secured by liens, to jumpstart the development of a 72-unit apartment building in downtown Juneau. Given the disparity between the assessed value (\$134,000) and the developer's appraised valuation (\$795,000) and the risks of pre-construction loans, a phased loan disbursement with benchmarks and private match is reasonable.
- (b) **Borrower.** The developer and borrower is Gastineau Lodge Apartments, LLC, represented by Steven Soenksen and Douglas Trucano.
- (c) **Real Property ("Property").** This appropriation is for a 72-unit apartment building on the following real property:

Lots 12, 13, and 14 in Block 2, Pacific Coast Addition to the Townsite of Juneau, Juneau Recording District, First Judicial District, State of Alaska, as recorded April 22, 1913 in the "Trustee's Deed Book," Page 684, in the District Recorder's Office Juneau, Alaska.
- (d) **Payment Term.** The term of a loan shall not exceed five years.
- (e) **Interest Rate and Calculation.** The balance of a loan shall bear interest at the rate estimated by the finance director to be the average rate the City and Borough of Juneau earned or will earn on its certificates of deposit over the applicable period with interest computed on an annual basis; principal and interest on the balance shall be repaid to the City and Borough of Juneau.
- (f) **Loan amounts.** A total of \$700,000 is available as follows:
 - (1) **Pre-permitting loan.** A loan of up to \$350,000 is available for new invoiced expenditures for design, permitting, mobilization and ordering of long-lead retaining wall materials that are reasonably necessary for the 72-unit apartment development.
 - (2) **Post-permitting loan.** An additional loan of up to \$350,000 is available—after grading, drainage, and all necessary permits have been received from the City and Borough of Juneau departments (i.e. Community Development, Engineering and Public Works, etc.) as determined by the Manager—for fifty percent (50%) of invoiced work that improves the property (i.e. utilities, grading, drainage, retaining walls, etc.); the remaining fifty percent (50%) must be provided by the private developer as match.

- (g) **Security.** The Borrower and real property owner must agree that in exchange for the City and Borough of Juneau providing the loans, the City and Borough of Juneau is authorized to secure each loan with a lien against the real property. In addition, the Borrower must agree to authorize the City and Borough of Juneau to secure each loan with liens on any materials purchased with the loaned money; the City and Borough of Juneau must release the materials liens either upon the Borrower completing repayment or upon permanently installing the materials onto or into the Property.
- (h) **Additional Loan Terms.** The Manager may add additional terms consistent with the intent of this ordinance.


Section 5. Effective Date. This ordinance shall be effective 30 days after its adoption.

Adopted this 24th day of October, 2022.



Beth A. Weldon, Mayor

Attest:



Elizabeth J. McEwen, Municipal Clerk

**LOAN CONTRACT & PROMISSORY NOTE SECURED BY LIEN BETWEEN
THE CITY & BOROUGH OF JUNEAU and GASTINEAU LODGE APARTMENTS LLC**

PART I: PARTIES

This Loan Contract & Promissory Note Secured by Lien (hereafter "Contract") is between the City & Borough of Juneau, Alaska, a municipal corporation in the State of Alaska (hereafter "Lender") and Gastineau Lodge Apartments LLC, a limited liability company organized under the laws of the State of Alaska (with its principal place of business at 9950 Stephen Richards Drive, No. 130, Juneau, Alaska 99801), and licensed to do business in the State of Alaska (hereafter "Borrower").

PART II: LOAN CONTRACT ADMINISTRATION

All communications concerning this Contract shall be directed as follows, and any reliance on a communication with a person other than those listed below is at the party's own risk. Notices required under this Contract must be in writing and personally delivered or sent to the address shown below and will be effective upon receipt.

City & Borough of Juneau:

Attn: Scott Ciambor, Planning Manager
Community Development Dept.
City & Borough of Juneau
155 South Seward Street
Juneau, Alaska 99801
Telephone: 907-586-5215
E-mail: scott.ciambor@juneau.org

Borrower:

Attn: Steven Soenksen
Manager
Gastineau Lodge Apartments LLC
PO Box 35854
Juneau, Alaska 99803
Telephone: 907-209-0709
E-mail: ssoenk@yahoo.com

PART III: LOAN CONTRACT & PROMISSORY NOTE DESCRIPTION

This Contract is identified as Loan Contract & Promissory Note Secured by Lien between the City & Borough of Juneau and Gastineau Lodge Apartments LLC. The following Appendices are attached and are considered a part of this Contract, as well as any exhibits or attachments incorporated by reference or attached to those Appendices.

Appendix A: Purpose of Loan, Term of Loan, Security & Repayment

Appendix B: Notice & Acknowledgment of Lien

Appendix C: Standard Provisions


Appendix D: Insurance

If in conflict, the order of precedence shall be: this document, Appendix A, B, C, and then D.


PART IV: LOAN CONTRACT & PROMISSORY NOTE EXECUTION

Lender and Borrower agree and sign below. This Contract is not effective until signed by Lender. Borrower represents that the person signing below on its behalf has the authority to do so and that it is a valid and binding contract and promissory note enforceable in accordance with its terms.

Lender:

by: 
Duncan Rorie Watt, City Manager
City & Borough of Juneau
date: MARCH 7, 2023

Borrower:

by: 
Steven Soenksen, Manager
Gastineau Lodge Apartments LLC
date: _____

Content Approved by: scott ciambor Scott Ciambor, Planning Manager
Risk Management Review: Chelsea Swick 03/02/2023 Chelsea Swick, Risk Manager
Form Approved by: Benjamin Brown 2 March 2023 Benjamin Brown, Law Department

APPENDIX A: PURPOSE OF LOAN, TERMS OF LOAN & REPAYMENT, AND SECURITY

1. PURPOSE & SOURCE OF LOAN

Purpose. Housing, especially workforce housing in downtown Juneau, is in high demand. The purpose of the loan made by this Contract is to provide an injection of capital, secured by liens, to provide for pre-construction costs related to the development of a seventy-two (72) unit apartment building in downtown Juneau.

Source. The source of the funds for this loan is the Juneau Affordable Housing Fund (JAHF).

2. TERMS OF LOAN & REPAYMENT

- a. **Loan disbursement.** Lender shall loan to Borrower funds not to exceed seven hundred thousand dollars (\$700,000) in two separate phases.
 - (i) A pre-permitting loan of three hundred fifty thousand dollars (\$350,000) is available to Borrower for new invoiced expenditures for design, permitting, mobilization and ordering of long-lead retaining wall materials that are reasonably necessary for the 72-unit apartment development.
 - (ii) A post-permitting loan of \$350,000 is available to Borrower after grading, drainage, and all necessary permits have been issued by the City and Borough of Juneau ("CBJ") Community Development Department and Engineering and Public Works Department, and any other CBJ departments as determined by the Manager for fifty *per cent* (50%) of invoiced work that improves the property (*i.e.*, utilities, grading, drainage, retaining walls, etc.); the remaining 50% must be provided by Borrower as matching funds.
- b. **Interest rate.** The pre-permitting and post-permitting loans shall bear interest at a rate of four and twenty-seven hundredths *per cent* (4.27%) for the life of the loan.
- c. **Payments.** Borrower shall repay to Lender the Principal Amount of \$700,000 plus interest. Payment shall begin as soon as Borrower is able to begin repayment, and will be paid in installments at Borrower's discretion. The entire Principal Amount plus interest must be repaid no later than five (5) years after the effective date of this Contract. Borrower may repay Lender the outstanding balance of the Principal Amount and accrued interest at any time prior to the schedule provided for in this paragraph with no penalty and in full satisfaction of this Contract.
- d. **Prevailing party attorney's fees.** If any suit or action is instituted to collect pursuant to this Contract or any part hereof, Gastineau Lodge Apartments LLC promises and agrees to pay in addition to the disbursements, interest, and costs provided for in this

Contract and all applicable laws and statutes, a reasonable sum as attorney's fees and costs in such action or suit.

3. SECURITY

- a. **Liens.** Borrower and Lender agree that in exchange for Lender loaning funds to Borrower, Lender is authorized to secure the Principal Amount plus interest, and any costs or attorney's fees arising from this Contract, with a Lien against the real property on which the 72-unit apartment building is to be constructed. In addition, Borrower agrees and authorizes Lender to secure the loan with liens on any materials purchased with the loaned money. Lender agrees to release the materials liens either upon Borrower completing repayment or upon permanently installing the materials onto or into the Property.
- b. **Real property.** This Contract and Promissory Note shall be secured by a Lien on the real property commonly known as **Lots 13, 14 & 15 Block 2, Pacific Coast Addition to the Townsite of Juneau, Juneau Recording District, Juneau, Alaska 99801**, which Lien is attached to this Contract as Exhibit B.
- c. **Property value.** The assessed value of the property on which Borrower proposes to build the apartment is one hundred thirty-four thousand, one hundred dollars (\$134,100). Borrower's appraised value is seven hundred ninety-five thousand dollars (\$795,000). The disparity between these figures is six-hundred sixty thousand, nine hundred dollars (\$660,900).
- d. **Restrain on alienation.** Until the loan made under this Contract is paid in full, Borrower further agrees not to sell, convey, transfer, or dispose of the subject real property described above, or agree to do so without the written consent of the Lender/Holder of this Note being first obtained, and should the Borrower do any of the foregoing without such written consent, the Lender/Holder of this Note shall have the right, at Lender's option, to declare all sums secured hereby forthwith due and payable. Consent to one such transaction shall not be deemed to be a waiver of the right to require such consent to future or successive transactions.
- e. **Waiver of rights.** Borrower hereby (i) waives any homestead or exemption right against this Contract & Promissory Note and/or the Principal Amount; (ii) waives demand, protest, and non-payment; and (iii) expressly agrees that this Note or any payment under this Note may be extended from time to time all without in any way affecting or diminishing the liability of Gastineau Lodge Apartments LLC.

)

SS.

)

Gastineau Lodge Apartments LLC, Borrower & Grantor
City & Borough of Juneau, Lienholder, Lender & Grantee

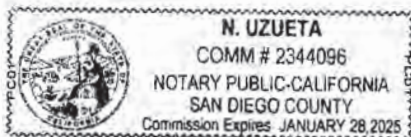
Notice is hereby given that Gastineau Lodge Apartments LLC hereby grants this Lien on Real Property to the City & Borough of Juneau on the real property commonly known as **Lot 13, 14 & 15 Block 2, Pacific Coast Addition to the Townsite of Juneau, Juneau Recording District, Juneau, Alaska 99801** as security for a loan in the amount of seven hundred thousand dollars (\$700,000).

I, Steve Soenksen, being first duly sworn on oath say: That I am Manager of Gastineau Lodge Apartments LLC named in the foregoing Notice & Acknowledgment of Lien on Real Property, that I have read the same and know the contents thereof and believe the same to be true.

Steve Soenksen, Manager

Gastineau Lodge Apartments LLC

Subscribed and sworn to before me this 23 day of February 2023.



Notary Public in and for ~~Alaska~~ California

My Commission Expires: 01/28/2025

I, Jeff Rogers, being first duly sworn on oath say: That I am Finance Director for the City & Borough of Juneau named in the foregoing Notice & Acknowledgment of Lien on Real Property, that I have read the same and know the contents thereof and believe the same to be true.

Jeff Rogers, Finance Director

City & Borough of Juneau

Subscribed and sworn to before me this 12th day of March 2023.

Susan B. Phillips

Notary Public in and for Alaska

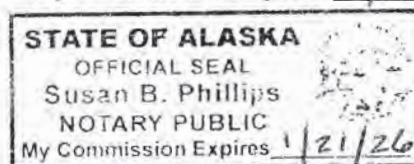
My Commission Expires: 1/21/26

After recordation return to:

CITY & BOROUGH OF JUNEAU

155 South Seward Street

Juneau, AK 99801



APPENDIX C: STANDARD PROVISIONS

1. BORROWER QUALIFICATIONS. Borrower warrants that it is fully qualified and is licensed under all applicable local, state, and federal laws to perform the construction work for which the loan is being made under this Contract.

2. INSURANCE REQUIREMENTS. Borrower has secured and agrees to keep and maintain in full force and effect, at its own expense, the insurance approved by Lender's Risk Management Department as outlined in Appendix D. At least 30 days prior to the cancellation, non-renewal or reduction in the amount of coverage, Borrower shall provide written notice to Lender's Risk Management Department. Borrower's insurance shall be primary and any insurance maintained by Lender shall be non-contributory. If Borrower maintains higher limits than shown below, Lender shall be entitled to coverage for the higher limits maintained by the Borrower.

a. Deductibles and Self-Insured Retentions. Any deductibles and self-insured retentions must be declared to and approved by Lender. Lender may require Borrower to provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention.

b. Claims-Made Policies. If any of the required policies provide coverage on a claims-made basis:

1. The retroactive date must be declared and must be before the date of the Contract or the beginning of the contract work.
2. Insurance must be maintained and evidence of insurance must be provided for at least one (1) year after completion of the Contract work.
3. If coverage is canceled or non-renewed, and not replaced with another claims-made policy form with the retroactive date prior to the Contract's effective date, Borrower must purchase "extended reporting" coverage for a minimum of one (1) year after completion of the Contract work.

3. NO ASSIGNMENT OR DELEGATION. Borrower may not assign or delegate any interest in this Contract without the prior written consent of Lender.

4. SAFETY. Borrower will comply with all applicable federal, state and local laws and regulations and will be solely responsible for its own compliance and that of its subcontractors or other designated third party agents, with all applicable federal, state and local laws and regulations, including without limitation applicable occupational health and safety laws. Borrower will be solely liable for, and shall independently undertake to defend, any and all unfair labor practice charges, grievances, judicial action or other employee or union claims, as well as general liability and personal liability, related in any way to Borrower's performance hereunder. Borrower agrees to comply with all federal, state, and local procedures and restrictions related to COVID-19 mitigation and all other public health directives. Borrower acknowledges that these procedures

and restrictions may change after the effective date of the contract, and agrees to comply with the procedures following any such changes.

5. INSPECTION & RETENTION OF RECORDS. Lender may inspect, in the manner and at reasonable times it considers appropriate, all of Borrower's facilities, records and activities having any relevance to this Contract. Borrower shall retain financial and other records relating to the performance of this Contract for a period of six years, or until the resolution of any audit findings, claims or litigation related to this Contract.

6. REPORTING REQUIREMENTS. Borrower will submit annual reports to Lender during the period of time beginning with the disbursement of the loan until it is fully repaid pursuant to this Contract. The annual reports will include overall project budgets and expenditures, verification that the affordable housing terms required by this Contract are being followed, and any pertinent information on the repayment of the loan. Reports will cover the preceding calendar year and are due by March 31 annually. Upon completion of construction, Borrower will submit a final report within ninety (90) days.

7. EQUAL EMPLOYMENT OPPORTUNITY. Borrower will not discriminate against any employee, applicant for employment, or subcontractor on the basis of race, religion, color, sex, age, disability, familial status, sexual orientation, gender identity, gender expression, political affiliation, or national origin. Borrower shall include these provisions in any agreement relating to the work performed under this agreement with third-party agents or subcontractors.

8. CHOICE OF LAW, JURISDICTION. The Superior Court for the State of Alaska, First Judicial District at Juneau, Alaska, shall be the exclusive jurisdiction for any action of any kind and any nature arising out of or related to this Contract. Venue for trial in any action shall be in Juneau, Alaska. The laws of the State of Alaska shall govern the rights and obligations of the Parties. Borrower specifically waives any right or opportunity to request a change of venue for trial pursuant to AS 22.10.040.

9. COMPLIANCE WITH LAWS & REGULATIONS. Borrower shall, at Borrower's sole cost and expense, comply with all applicable requirements of federal, state, and local laws, ordinances and regulations now in force, including safety, environmental, immigration, and security enactments, or which may be subsequently enacted. Borrower warrants that it has obtained and is in full compliance with all required licenses, permits, and registrations regulating the conduct of business within the State of Alaska and Lender, and shall maintain such compliance during the effective term of this agreement.

10. PAYMENT OF TAXES & OBLIGATIONS TO LENDER. As a condition of this Contract, Borrower shall pay all federal, state, and local taxes incurred by Borrower and shall require their payment by any subcontractor or any other persons in the performance of this Contract. Borrower shall not be delinquent in the payment of taxes, or any other obligation, to Lender during the performance of this Contract. Satisfactory performance of this paragraph is a condition precedent to disbursement of funds by Lender under this Contract.

11. CONFLICT OF INTEREST. Borrower warrants that no employee or officer of Lender

has violated the conflict of interest provisions of City & Borough of Juneau Code in any way relating to this Contract. Borrower also warrants that it has not solicited or received any prohibited action, favor, or benefit from any employee or officer of Lender, and that it will not do so as a condition of this Contract. If Borrower learns of any such conflict of interest, Borrower shall without delay inform the CBJ Municipal Attorney and Lender's representative for this Contract.

12. INDEMNIFICATION. Borrower agrees to defend, indemnify, and hold harmless Lender, its employees, volunteers, consultants, and insurers, with respect to any action, claim, or lawsuit arising out of or related to Borrower's performance pursuant this Contract, without limitation as to the amount of fees, and without limitation as to any damages, cost, or expense resulting from settlement, judgment, or verdict, including the award of any attorney's fees even if in excess of the provisions of Alaska Rule of Civil Procedure 82. This indemnification agreement applies to the fullest extent permitted by law and is in full force and effect whenever and wherever any action, claim, or lawsuit is initiated, filed, or otherwise brought against Lender relating to this Contract. The obligations of Borrower arise immediately upon actual or constructive notice of any action, claim, or lawsuit. Lender shall notify Borrower in a timely manner of the need for indemnification, but such notice is not a condition precedent to Borrower's obligations and is waived where Borrower has actual notice.

Any and all of Borrower's subcontractors shall indemnify, defend, and hold harmless Lender and its shareholders, partners, members, directors, officers, managers, affiliates, employees and agents (the "Contractor Indemnified Parties") for, from and against any and all claims, actions, proceedings, costs, fines, assessments, penalties, damages, liabilities and expenses, including reasonable attorney's fees (collectively, "Losses"), suffered or incurred by any of the Contractor Indemnified Parties arising out of (i) any breach of a representation, warranty or covenant of any subcontractor under this Contract, or (ii) any act or omission of subcontractor in the performance of the services or work from and after the date of this Contract. This indemnification agreement applies to the fullest extent permitted by law and is in full force and effect whenever and wherever any action, claim, or lawsuit is initiated, filed, or otherwise brought against Lender relating to this Contract. The obligations of Borrower and its subcontractors arise immediately upon actual or constructive notice of any action, claim, or lawsuit. Lender shall notify Borrower in a timely manner of the need for indemnification, but such notice is not a condition precedent to Borrower's obligations and is waived where Borrower has actual notice.

13. APPLICABILITY OF ALASKA PUBLIC RECORDS ACT. Borrower acknowledges and understands that Lender is subject to CBJ Code 01.70.010 (Public Records) and to the Alaska Public Records Act (AS 40.25.120) and that all documents received, owned, or controlled by Lender in relation to this Contract must be made available for the public to inspect upon request, unless a specific exception applies. It is Borrower's sole responsibility clearly to identify any documents Borrower believes are exempt from disclosure under the Public Records Act by clearly marking such documents "Confidential." Should Lender receive a request for records under CBJ Code or the Alaska Public Records Act applicable to any document marked "Confidential" by Borrower, Lender will notify Borrower as soon as practicable prior to making any disclosure. Borrower acknowledges it has five (5) calendar days after receipt of notice to notify Lender of its objection to any disclosure, and to file any action in the Superior Court for the State of Alaska in Juneau as Borrower deems necessary in order to protect its interests. Should Borrower fail to

notify Lender of its objection or to file suit, Borrower shall hold Lender harmless of any damages incurred by Borrower as a result of the Lender disclosing any of Borrower's documents in Lender's possession. Additionally, Borrower may not promise confidentiality to any third party on behalf of Lender, without first obtaining express written approval by Lender.

14. FISCAL FUNDING. The Parties acknowledge and agree that Lender is legally prohibited from encumbering funds that have not been duly appropriated, pursuant to the City & Borough of Juneau Charter 9.13. Funding for this agreement beyond fiscal year 2023 is therefore subject to an appropriation of funds by, and at the sole discretion of, the City & Borough of Juneau Assembly. The Parties acknowledge and agree that in the event the Assembly fails to appropriate sufficient funds for this Contract, Borrower will remain legally obligated for repayment of all disbursements made up to that point in time, and Lender will have no further liability or obligation under this Contract.

15. ENTIRE AGREEMENT. This Contract, which includes all Appendices, Exhibits, and Attachments, constitutes the entire agreement of the Parties regarding the subject matter of the Contract and supersedes all previous agreements, proposals, and understandings, whether written or oral, relating to this subject matter.

16. SEVERABILITY. If a court of competent jurisdiction renders any part of this Contract invalid or unenforceable, that part will be severed and the remainder of this Contract will continue in full force and effect.

17. WAIVER. Failure or delay by Lender to exercise a right or power under this Contract will not be a waiver of the right or power. For a waiver of a right or power to be effective, it must be in a writing signed by Lender. An effective waiver of a right or power will not be construed as either a future or continuing waiver of that same right or power, or the waiver of any other right or power.

APPENDIX D: INSURANCE

INSURANCE REQUIREMENTS. Borrower has provided certification of proper insurance coverage, including certificate(s) of insurance and amendatory endorsements or copies of the applicable policy language affecting coverage required in this agreement to Lender, copies of which are attached to this Appendix. Failure of Lender to demand such certificate(s) or other evidence of full compliance with these insurance requirements or failure of Lender to identify a deficiency from certificate(s) or evidence provided shall not be construed as a waiver of the obligation of Borrower to maintain the insurance required by this contract.

Borrower agrees to maintain insurance as follows at all times while this contract is in effect, including during any periods of renewal.

Commercial General Liability Insurance. Borrower must maintain Commercial General Liability Insurance in an amount it deems reasonably sufficient to cover any suit that may be brought against Borrower. This amount must be at least one million dollars (\$1,000,000.00) per occurrence, and two million dollars (\$2,000,000) aggregate. **This insurance policy is to contain, or be endorsed to contain, additional insured status for Lender, its officers, officials, employees, and volunteers.** If Additional insured status is provided in the form of an endorsement to Borrower's insurance, the endorsement shall be at least as broad as ISO Form CG 20 10 11 85 or **both** CG 20 10, CG 20 26, CG 20 33, or CG 20 38; **and** CG 20 37 forms if later revisions used).

Workers Compensation Insurance. If required by Alaska Statute (*see* AS 23.30), Borrower must maintain Workers Compensation Insurance to protect Borrower from any claims or damages for any bodily or personal injury or death which may arise from services performed under this contract. This requirement applies to Borrower's firm, Borrower's subcontractors and assignees, and anyone directly or indirectly employed to perform work under this contract. Borrower must notify Lender as well as the State of Alaska Division of Workers Compensation immediately when changes in Borrower's business operation affect Borrower's insurance status. Statutory limits apply to Workers Compensation Insurance. The policy must include employer's liability coverage of one million dollars (\$1,000,000) per injury and illness, and one million dollars (\$1,000,000) policy limits. Borrower also agrees to provide evidence of Longshore and Harbor Worker's Insurance and Jones Act coverage if applicable to the work required. **If Borrower is exempt from Alaska Statutory Requirements, Borrower must provide written confirmation of this status in order for Lender to waive this requirement. Borrower grants a waiver of any right to subrogation against Lender by virtue of the payment of any loss under such insurance.** This provision applies regardless of whether or not Lender has received a waiver of subrogation endorsement from the insurer.

Comprehensive Automobile Liability Insurance. Borrower must maintain Comprehensive Automobile Liability Insurance, which coverage shall apply to all owned, hired, and non-owned vehicles, with one million dollars (\$1,000,000) combined single limit coverage.

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

On Feb. 23, 2023 before me, N. UZUETA (NOTARY PUBLIC)
(insert name and title of the officer)

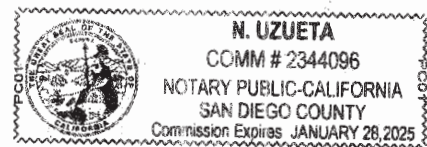
personally appeared Steven Soenksen
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(Seal)



COMMUNITY DEVELOPMENT DEPARTMENT - REQUEST FOR AGENCY COMMENT

DEPARTMENT: GENERAL ENGINEERING

STAFF PERSON/TITLE: BRIDGET LAPENTER, P.E. - CHIEF

DATE: 09/29/2023

APPLICANT: Gastineau Lodge Apartments, LLC (Steve Soenksen)

TYPE OF APPLICATION: USE23-08 Conditional Use Permit

PROJECT DESCRIPTION: The applicant is proposing to develop a six-story, 72-unit apartment building. The site is located in a mapped Moderate Hazard zone, and would be accessed by vehicular traffic from Gastineau Avenue and pedestrian traffic via South Franklin Street/Bulger Way.

LEGAL DESCRIPTION: PACIFIC COAST ADDITION BL 2 LT 12, 13, 14

PARCEL NUMBER(S): 1C070H020120

PHYSICAL ADDRESS: TBD

SPECIFIC QUESTIONS FROM PLANNER:

AGENCY COMMENTS:

ACCESS

Safety and accessibility are critical elements of this project, particularly with respect to the number of units proposed, current limited access to the site and landslide hazards as was demonstrated during the tree fall/landslide event on Gastineau Avenue in Fall of 2022.

- Parking. There is no parking requirement for this project with the applicant's expectation that residents will primarily travel on foot or by means other than vehicular travel.

- Gastineau Ave. Gastineau Avenue is a narrow, dead-end street serving approximately 18 single-family homes, 2 or 3 condominium complexes, and the (22-unit) Channel View Apartments. It is expected that 72 dwelling units will have impact on vehicular traffic on Gastineau Avenue regardless of the intent of the developer. Channel View Apartments were required to provide a Traffic Impact Analysis. CBJ has proposed widening Gastineau Avenue to accommodate additional traffic and provide an adequate cul-de-sac for fire apparatus turn-around. This is not expected to be completed until FY28.

Recommended: Traffic Impact Analysis should be provided for this project.

- Public Stairs

- Bulger Way. Historically, the Bulger Way staircase once extended from South Franklin Street to Gastineau Avenue. Presently, the Bulger Way staircase culminates at 300 Bulger Way and does not meet the parcel under consideration. The GE department does not have any issue with extension of the Bulger Way stairs access provided the utilities chase located beneath the stairs remain functional and unharmed. Staircase improvements for the project would be expected to be paid for by the applicant and, once accepted by the Department, maintained by CBJ. Streets and Capital Improvement Projects would need to agree to this arrangement prior to moving forward. From a practical standpoint, if the stairway is to be adopted by the CBJ, the stairway would need to be available for public use.

Recommended: stairway to be extended to an access easement on the Gastineau Street level of the parking area of the project to allow for public access between Gastineau Ave. and South Franklin Street.

- Decker Way. If Bulger Way is not extended to the project, Decker Way could be used as an alternative point of access to South Franklin Street from the Project.

SNOW STORAGE

- Please provide accommodation or a plan for snow storage on the site.

GRADING

- Slopes and retaining structures shall be shown on the Grading Plan. The heights and slope ratios shall be quantified.
- Easements: Site plan (plat) shall include all existing (and proposed) easements for drainage, utility lines, plumbing lines, access, snow storage, trash (dumpster) storage, or any other shared use that requires crossing the property line

DRAINAGE

- All hard surfaces must be drained to existing or pre-approved storm drainage systems. Drainage must not be directed at neighbors or otherwise cause a nuisance. Drainage, catchment, and conveyance must be indicated on the grading plan and the grading plan must include arrows indicating flow direction.

UTILITIES

The construction documents must include a Utility Plan that shows location of buried sewer and water utilities including valve, unions, cleanouts, and system components. Sizes and materials shall be called out.

- Water

Once the lot consolidation has been completed, there may be only one water service to the site. As all 3 current services are undersized, the applicant must decommission all services and add a new appropriately sized service for domestic water and fire suppression. Line sizing must be evaluated by the engineer. A water meter is required. The meter is required to be installed prior to any branches in the plumbing line. The meter location and sizing shall be shown on the mechanical plans. The meter installation and conduit installation is the responsibility of the applicant. A water assessment (fee) will need to be paid and will be determined after sizing of meter and domestic line are identified.

- Sewer

The project engineer must size the sewer line. The mechanical plans shall include a drainage fixture unit (DFU) count. The sewer assessment (fee) and inspection fees are to be paid and will be determined after review of the DFU's and the configuration of the underground sewer line.

- Electrical

Power by others.

PERMITS REQUIRED

Below constitutes a list of known required permits for this project. There may be other permits required to be determined after the Department has the opportunity to evaluate the construction documents.

- CBJ Right of Way (ROW) Permit
- Water Utility Permit
- Sewer Utility Permit

Jennifer Shields

From: Dan Jager
Sent: Monday, October 16, 2023 9:25 AM
To: Jill Maclean
Cc: Rich Etheridge; Jennifer Shields
Subject: RE: Gastineau Lodges 72 Units Housing - Hazard Zone

Good morning. As mentioned in the pre-app meeting earlier this year, the big concern for the fire department is accessibility for apparatus not only during construction but afterwards with another large housing structure on this very small and narrow street.

It has been discussed by the applicant that there was a possibility of getting approval from AEL&P and a private property owner to maybe see about making Gastineau Avenue a one way street and have it continue on past where the current dead end is to Franklin Street. That would be a help as it would eliminate traffic congestion for emergency response and a one way street being used as a two way street.

If this option is not available then we would like to have something in place to maybe provide improved turn around capability for our apparatus prior to the work site. IFC Appendix D has the specifications to choose an option.

I think the big unknown with all of this is how many calls we may get at the same time the applicant is moving construction materials and that will cause delay in response due to heavy equipment blocking the road completely.

At an absolute minimum, we would have access to the work site via Bulger way which is a long stair case from Franklin Street, which is not idea for transporting medical equipment and patients up and down.

Please let me know if this adequate or if I need to clarify anything? Sorry for the delay.

Daniel Jager | Assistant Chief
Capital City Fire Rescue | 820 Glacier Avenue
Office: 907-586-5322
<https://www.juneau.org/fire>



Gastineau Lodge Apartments, LLC
Steven Soenksen, Manager
Po box 35854
Juneau, Alaska 99803
ssoenk@yahoo.com
09/20/2023

TO: City and Borough of Juneau,
Community Development Department
Jennifer Shields, Planner

RE: Gastineau lodge apartments, Lot consolidation and Conditional Use Permits, etc
-Second access corridor issue

Dear Jennifer:

This letter is to provide information and additional support for the idea of Gastineau Avenue extension. I have tested the idea and reached out to others that may have interest in this project. We find it is a very strong idea that clearly needs to be pursued and developed. You will find signatures of support at the end of this letter.

Background

This alignment was used as a "haul road" in ^{2001?}2006 by contractors for the city project to reconstruct and improve portions of Gastineau Avenue. Incidentally, the Manager told us that it was used at that time and then closed to access. There had been consideration, at that time of the importance of "second access" for emergency services delivery and construction use.

We would like to explore this possibility and pursue limited access at this point for our project construction, for aggregates and materials hauling. This route would ultimately be a community asset for many purposes.

A larger public safety issue exists and the need for second exit from Gastineau Avenue. Recent events amplify the need. This could serve and facilitate emergency services delivery and as a second access route to the city. Currently, Franklin street is the only open access to downtown Juneau. If it were blocked, many properties and people would be inaccessible.

Coordination and cooperation among landowners and interested parties may be necessary and funding secured for the improvements. Due to the nature and quality of AJ Rock, some of this resource could be sold to pay for the access route construction and maintenance costs.

We were told that the city currently has funding available to re-construct part of the "turnaround". This location could be considered as a terminus for the road and improvements could support vehicular access beyond. Perhaps this project scope could be expanded to

include a terminus for the access road, (and gates) for a "pioneer road" extension to connect to the existing driveway across the former mine site.

Personnel from AEL&P engineering and I walked the current corridor and clearly, some drainage improvements are needed and approximately $\frac{3}{4}$ to $\frac{1}{2}$ mile of roadway improvements. If AJ Rock stockpiles in the area could be sold for construction aggregates to the public, funds could be generated to pay for the access road improvements and maintenance.

Considering this access road as a new opportunity, it could be designed and developed in such a way as to make additional high density zoned land available for much needed downtown housing. We believe the current zoning overlay map is a significant barrier to any downtown housing project, design, construction, permitting, and development. It should be removed from current ordinance as proven to be unworkable. Instead, we could approach a strategy of "mitigation and monitoring" as a city policy instead. Thereby bring focus to managing the risk, not "designation and regulation" of a potential hazard. Those exist on former mining property or the mt Roberts slope that was clearcut and developed during mining operations since settlement of the downtown area until 1944. No mitigation has ever happened, thereby resulting in the concept of the "hazard".

The "Hazard zone" is another consideration and continuing barrier to downtown housing. As it is a different and larger issue from this access proposal, we will address this in more detail separately. This area has the potential for many apartment units. But it is constrained by access, emergency services delivery, the hazard zone overlay map, and the ability to move materials and resources and construct much needed housing.

Recommendation

We would suggest a collaborative team of appropriate attendees, could begin to study and address this access issue. Team members might include AJT properties, (land owners), CBJ staff, (as appropriate), AEL&P and other affected parties. We would be happy to participate in the discussion and help develop implementation strategies for a completed project. A Reconnaissance study by the team, could identify issues and solutions to improve access and move this area of downtown forward.

A reconnaissance study is likely needed to plan corridor features and access points as well as alignment with existing right of way corridors and platted access. Consent among the parties would likely be needed through an appropriate "use or access agreement" document.

Please let us know how we can assist the city in this project. Improving access is a most important public service and community concern. Additional housing is a community priority and this project could add resources to that. Access to emergency services can be vital and lifesaving, if people and equipment can make it to the site. It is in everyone's best interests to work out a access solution for the community vitality and for future residents of downtown Juneau housing.

Please let us know how we can assist to pursue this access idea and support downtown housing opportunities.

Sincerely,



Steven Soenksen, Manager
Gastineau Lodge Apartments, Ilc
9072090709
ssoenk@yahoo.com

Additional support and comments.

Imagery date: June 2013 This is not a survey.
Property lines are approximate.
Map date: 7/17/2023



Attachment Q- "Thane Road" Secondary Access Letter from Applicant

HILLSIDE ENDORSEMENT CHECKLIST
USE2023-0008 – Gastineau Lodge Apartments

CBJ 49.70	Item	Description
CBJ 49.70.240 Application		
240(1)	Vicinity map including scale, roads, place, and street names	See Attachment A, 2021 PND Report
Map(s) Showing:		
240(2)(A)	Extending 50 feet in all directions beyond development. <i>In practice, mapping can be limited to the lot and 25 feet beyond.</i>	See Attachment A, 2021 PND Report
240(2)(A)	Two-foot contours for flat terrain or five-foot contours for steep terrain.	See Attachment A, Floor Level Plans, Level 1 Diagram
240(2)(A)	12 percent line, 30 percent line;	Not submitted
240(2)(A)	Existing improvements on the site and adjacent lots, including structures, roads, driveways and utility lines.	See Attachment A, Floor Level Plans
240(2)(B)	Water bodies, tidelands and drainage ways from the development site to accepting natural waterbody.	N/A
240(2)(C)	Lot boundaries and easements for the site and adjacent lots.	See Attachment A, Floor Level Plans
240(3)(D)	The location of improvements including structures, roads, driveways, utility lines, culverts, walls and cribbing.	See Attachment A, Floor Level Plans
240(3)(E)	Clearing limits of existing vegetative cover.	Not submitted
240(3)(F)	A cross-section of the development site.	See Attachment A, Site Section
Engineered Plans, Including:		
240(4)	Roads, driveways, parking areas, including elevations.	See Attachment A, Floor Level Plans and Site Section
240(4)	Structural improvements and foundations.	
240(4)	Off-site stormwater runoff systems.	
240(4)	Development cross-sections.	
Landscape Plans, Including:		
240(6)	Trees to be retained, by species and location.	Not Submitted
240(6)	Temporary slope protection measures.	
240(6)	Erosion and siltration control measures.	
240(6)	Seeding and sodding materials.	
240(6)	Planting and maintenance system.	
240(6)	Methods for stabilizing and protecting bare slopes.	
Geologic Memo, Including:		
240(7)	Summary of the relevant surface and bedrock geology of the site.	See Attachment A, 2021 PND Geotechnical Report
240(7)	Discussion of active geologic processes with conclusions and recommendations regarding the effect of geologic factors on the proposed development.	
240(7)	Data regarding the nature, distribution and relevant parameters of existing soils.	
240(7)	Recommendations for grading procedures.	

240(7)	Design criteria for corrective measures as necessary.	
240(7)	Recommendations covering the suitability of the site for the proposed development.	
Other:		
240(5)	A description of the source and type of any off-site fill.	No source identified
240(5)	The site for depositing excess fill.	No source identified
240(9)	A work schedule, by phase.	Not submitted
CBJ 49.70.250 Standards for Approval		
250(1)	New road standards, width, and grade.	N/A
250(2)	Weather. The engineer may prohibit a developer from earthmoving during periods of very wet soil conditions, in which case the permit shall be extended by a like period.	The project is scheduled to begin as soon as permits are secured. Should site construction activities extend into a heavy rainy season, construction may be halted at the discretion of E&PW if erosion and sediment discharge become a problem.
250(3)	Sediment. The developer shall not allow any increase in sediment to flow off-site during or after construction if such would be likely to cause an adverse impact on a down slope lot or waterbody.	See Attachment A, 2021 PND Report
250(4)	Peak discharge. The developer shall ensure that during and after construction of major development, the peak discharge of all streams and natural drainage ways at the down slope boundary shall be no greater than that occurring prior to excavation.	See Attachment A, Floor Level Plans. Peak discharge information was not submitted with the application. Runoff from the proposed development will be piped directly into the 6” public storm drain system within Bulger Way.
CBJ 49.70.260 Criteria		
260(1)	Soil erosion. Soil disturbance and soil erosion shall be minimized and the effects thereof mitigated.	See Attachment A, Floor Level Plans. The lower portion of the development will be constructed of a terraced fill and will be subject to erosion until covered with matting or vegetation. Sediment barriers will be required to be installed and maintained along the lower edge of the fill until adequate vegetation is established.
260(2)	Existing vegetation. Depletion of existing vegetation shall be minimized.	The submitted plans do not specify how much of the existing vegetation will remain post-construction. Proposed building setback distances range from 1’ 7” in the front yard (level 5) to 8’ 7” in the rear yard (level 1), leaving minimal room for undisturbed land during construction.
260(3)	Contours. The developer shall recontour the finished grade to natural-appearing contours which are at or below 30 percent or the natural angle of repose for the soil type, whichever is lower, and which will hold vegetation.	See Attachment A, 2021 PND Geotechnical Report
260(4)	Time of exposure and soil retention. The developer shall minimize the period of time that soil is exposed and shall employ mats, silt	The grading permit and building permit will include conditions to assure disturbed soil and fill slopes are protected as soon as they are completed or if

	blocks or other retention features to maximize soil retention.	uncompleted slopes will be exposed for longer than two weeks. Sediment barriers will control sediment runoff during the construction period when disturbed soils are exposed to the weather. The grading permit and building permit will require routine maintenance of these devices.
260(5)	Replanting. The developer shall mat, where necessary, and plant all exposed soil in grass or other soil-retaining vegetation and shall maintain the vegetation for one full growing season after planting.	Approximately 10% to 20% of the project site around the edges will be available for vegetative ground cover post-construction. The remaining portion of the project site will be disturbed with grading or building. All disturbed slopes must be seeded with a CBJ-approved mix and fertilized as soon as possible after site grading is completed. All seeded areas must be covered with a jute mat or similar surface blanket to help promote soil stability and seed germination. All plantings shall be complete within no more than one calendar year after the date of issuance of any grading permit or building permit for the subject project.
260(6)	Drainage. The developer shall minimize disturbance to the natural course of streams and drainage ways. Where disturbance is unavoidable, the developer shall provide a drainage system or structures which will minimize the possibility of sedimentation and soil erosion on-site and downstream and which will maintain or enhance the general stream characteristics, spawning quality, and other habitat features of the stream and its receiving waters. Where possible, development shall be designed so lot lines follow natural drainage ways.	See Attachment A, 2021 PND Geotechnical Report and Floor Level Plans. Site grading should be established to provide drainage of surface water or roof drainage away from proposed and existing buildings and toward suitable drainage structures. All hard surfaces (i.e. roof and parking deck) will be drained to the storm drain in Bulger Way. The slope in front of the building will be graded to drain to an area drain which is also piped into the Bulger Way storm drain.
260(7)	Foundations. The developer shall ensure that buildings will be constructed on geologically safe terrain.	See Attachment A, 2021 PND Geotechnical Report
260(8)	Very steep slopes. The developer shall minimize excavation on slopes over 30 percent.	See Attachment A, 2021 PND Geotechnical Report. Using 2013 USGS contour data, the overall slope of the project site is approximately 45%. The building is to be constructed on approximately 60% of the project site, from between the Gastineau Avenue right-of-way to within 8'7" from the South Franklin Streets downhill. Construction will require careful site preparation including cutting a keyway at the toe of slope to stabilize the fill. It is unclear if the applicant has minimized excavation to that necessary to accommodate the proposed development.
260(9)	Soil retention features. The developer shall minimize the use of constructed retention features. Where used, their visual impact shall be minimized through the use of natural aggregate or wood, variation of facade, replanted terraces, and the like.	See Attachment A, 2021 PND Geotechnical Report. Overburden at the project site generally consists of brown silty sand with gravel. Retaining walls must be designed to resist lateral pressures including lateral earth pressures, surcharge or surface loads, hydrostatic pressures, and seismic forces. The report

Attachment R- Hillside Endorsement Summary Review

		recommends the use of clean, angular, free-draining coarse grained soil to prevent the buildup of hydrostatic forces.
260(10)	Wet weather periods. The developer shall minimize exposure of soil during the periods of September 1—November 30 and March 1—May 1.	The applicant has indicated that construction will occur as soon as all permits are obtained. Any site work to stabilize the soil would need to be done after November 30th to avoid working during wet weather periods. Issuance of a grading permit will require the applicant to include a construction schedule. E&PW will have the discretion to halt the work if soil exposure becomes a problem during wet weather periods.

Hazards – Landslides and Avalanches

Following is a synopsis of historic plans and reports that have identified landslide and avalanche hazards for the project site and the larger Gastineau Avenue area. These documents can be found in their entirety here:

<https://juneau.org/community-development/plans-studies>

- ❖ 1972 Geophysical Hazards Investigation for the City and Borough of Juneau, Alaska: A Summary Report. Daniel, Mann, Johnson and Mendenhall. Portland, OR. October 1972. (ADOPTED)
- ❖ 1972 Geophysical Hazards Investigation for the City and Borough of Juneau, Alaska: Technical Supplement. Daniel, Mann, Johnson and Mendenhall. Portland, OR. October 1972. (ADOPTED)

The 1972 Summary Report and Technical Supplement formed a foundation for the eventual adoption of the 1987 maps and Title 49 code in use today. Specifically, the 1972 Summary Report maps delineated the project site within the following areas:

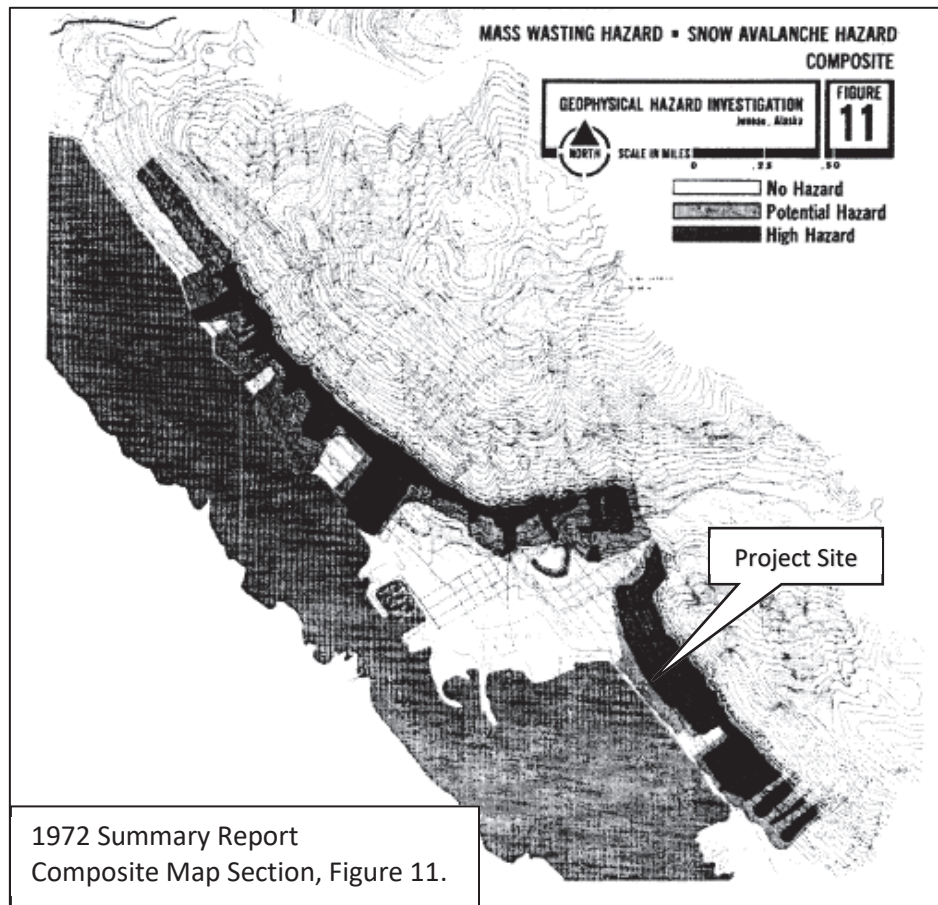
- Map Figure 6: Mass Wasting – High Hazard Area
- Map Figure 10: Snow Avalanche – Potential Hazard Area
- Map Figure 11: Composite: Mass Wasting / Snow Avalanche – High Hazard Area (see next page)

Page 51 of the Summary Report states that the purpose of the Composite Mass Wasting and Snow Avalanche hazard rating system was to, *“Identify areas wherein the aggregate, life and property are exposed to high, moderate and low hazards [and] to provide a basis for prioritizing collective and preventative measures.”* Furthermore, the report states:

“Each category of hazard - mass wasting and snow avalanche – identifies three degrees of hazard. Aggregating the two systems, nine combinations of hazards are possible. Practically speaking, nine classifications is an unworkable number. However, it is logical to group several combinations under common headings. If a geographic area is known to be vulnerable to both a high snow avalanche hazard and a potential mass wasting hazard, then the known higher level of hazard should govern, and the resulting composite hazard class is High Hazard. Similarly, two high hazard ratings constitute a Very High Hazard.”

The table below shows how the two hazard scenarios were conflated. Eventually, the composite map (see next page) was broken down into smaller area maps and adopted by the Assembly in 1987.

		Snow Avalanche Hazard Classifications		
		High Hazard	Potential Hazard	No Hazard
Mass Wasting Hazard Classifications	High Hazard	Very High Hazard	High Hazard	High Hazard
	Potential Hazard	High Hazard	Potential Hazard	Potential Hazard
	No Hazard	High Hazard	Potential Hazard	No Hazard



The 1972 Technical Supplement goes into detail regarding the sub-area delineated as the “Mt. Roberts Slopes”:

Page 31: *“By far the most hazardous area in terms of potential destruction of property and loss of life from landslides is that area at the base of the Mt. Roberts slope extending from the corner of 3rd and Harris Streets to the beginning of Thane Road. Eleven major debris avalanche-debris flow deposits have been identified and mapped on its slope. Three of these are massive in size and occurred before Juneau settlement. The remaining eight were smaller but still destructive in size. All are identifiable on the ground and the eight post-settlement slides were well documented by local newspapers at the time of their occurrence (Appendix X).”*

Page 36: *“The eight major landslides which have occurred since Juneau was settled are expressed as linear ridges near the base of the slope or as bulked deposits above Gastineau Avenue and South Franklin Street. Five of these reached South Franklin Street but did little damage on the beach side of the street (side nearest the harbor) since most of their energy was dissipated by damage and destruction above South Franklin. Three terminated on Gastineau Avenue.”*

Page 36: *“In summary, 21 gullies have been mapped on the Mt. Roberts slope above the city; 15 identified as having a high debris avalanche-debris flow hazard. Considering the extremely steep slopes, unstable bedrock and soil conditions, numerous high hazard gullies extending directly into the urban area and its past history of land-sliding, most of the Mt. Roberts slope above South Franklin Street and Gastineau Avenue must be considered as highly hazardous in terms of damage and potential loss of life from landslides.”*

❖ 1987 Landslide and Avalanche Hazard Maps (ADOPTED) and CBJ 49.70.300 - Landslide and Avalanche Areas

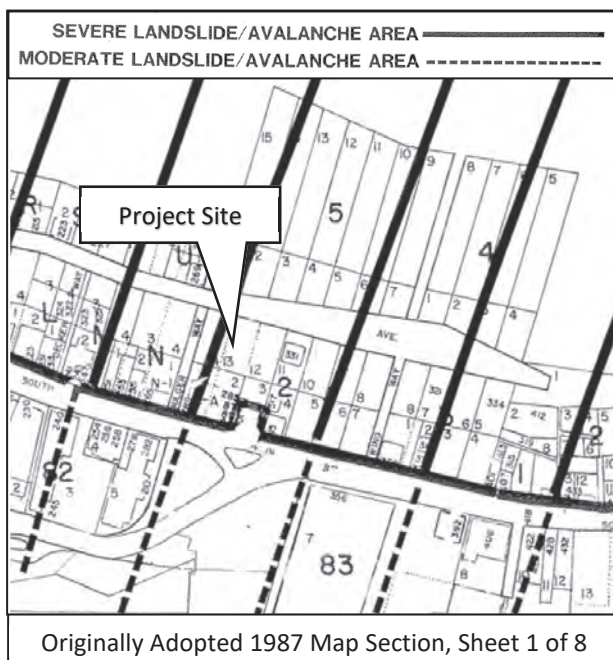
CBJ's current code and hazard maps, adopted in 1987 for areas between White Subdivision to Thane, are based in part on the maps created in the 1970s. These low-resolution maps combine landslide and avalanche areas into two hazard area types: "Severe Landslide / Avalanche" and "Moderate Landslide / Avalanche".

The 1987 maps delineated the project site within the following areas:

- Map Sheet 1: Composite Severe Landslide / Avalanche Hazard Area (see map below)
- Map Sheet 4: Snow Avalanche – Potential Hazard Area
- Map Sheet 5: Mass Wasting (landslide) – High Hazard Area
- Map Sheet 7: Composite Severe Landslide / Avalanche Hazard Area

The 1987 maps are cited in CBJ 49.70.300 – Landslide and Avalanche areas. This section of code was adopted by Ordinance 87-49. It was modified in 1990 by repealing a requirement of hazard area recordation and modified again in 2006 to remove a reference to an outdated sensitive areas map.

The colored map to the right is not an adopted CBJ map; the information on this map is a compilation of the adopted 1987 Map Sheets 1-8 for illustrative purposes only.

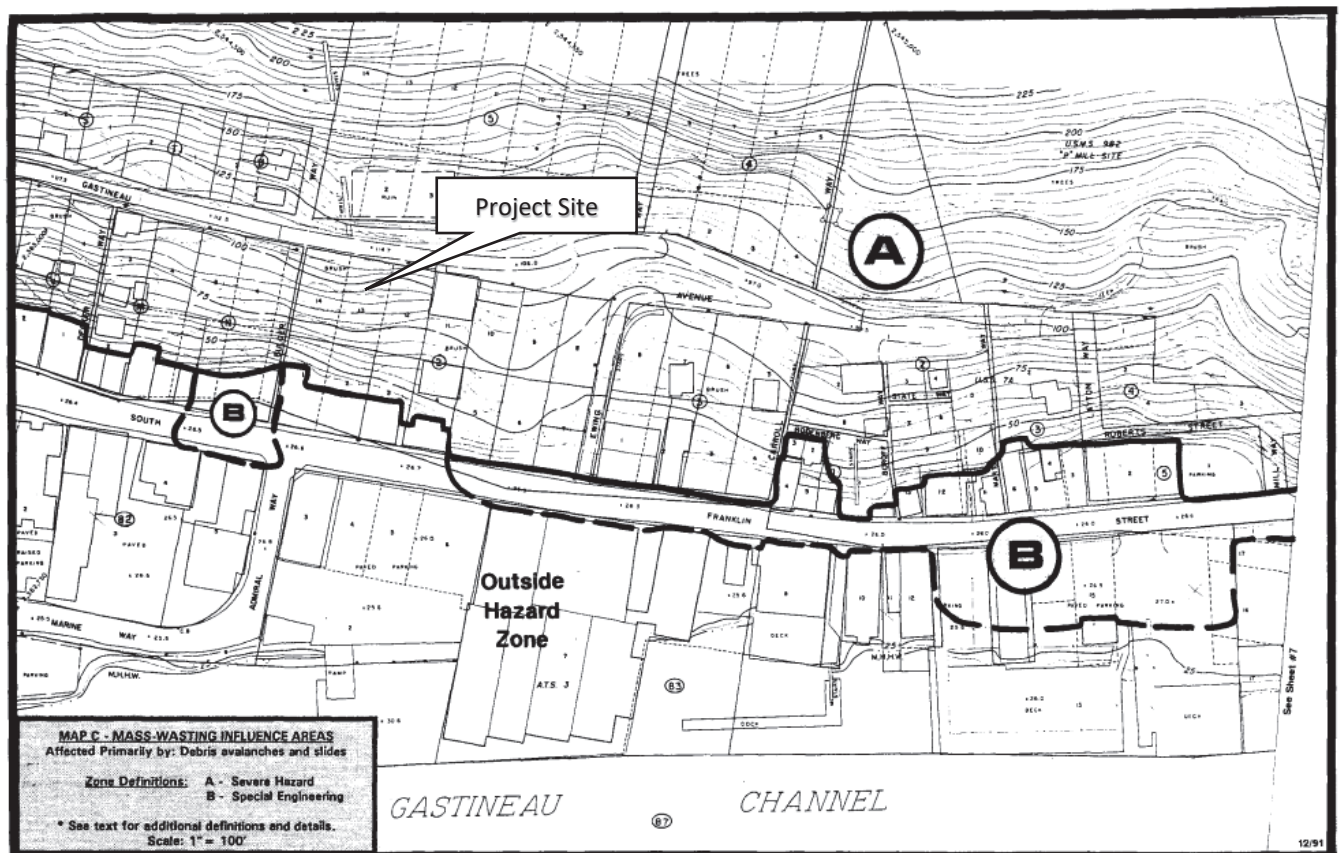


- ❖ 1992 Juneau Area Mass-Wasting & Snow Avalanche Hazard Analysis. Mears, Art; Fessler, Doug; and Fredson, Jill. Gunnison, CO and Anchorage, AK. February 1992. (NOT ADOPTED)

While not an adopted plan, the 1992 Hazard Analysis included a re-evaluation of and updated mapping for mass wasting and snow avalanche areas in Juneau at a 1 inch = 100 feet scale. It emphasized that a site-specific analysis should be required to define the physical processes and constraints to development at each site, and that the study and accompanying maps could not be used for this purpose.

The Analysis also made suggestions for modifications to CBJ 49.70.300. Interestingly, it did not suggest changes to CBJ section 49.70.300(a)(3) regarding developments greater than a single-family dwelling requiring a Conditional Use Permit, or CBJ section 49.70.300(b)(1) regarding no development within a severe Avalanche area increasing the density of that parcel.

Specifically, the Analysis included three photos of destructive landslides between Gastineau Avenue and South Franklin Street from January 1920, October 1936, and November 1936, and delineates the project site within a Mass Wasting Severe Hazard area, as shown on the map below.



❖ 2012 City and Borough of Juneau All Hazards Mitigation Plan (ADOPTED)

The 2012 All Hazards Mitigation Plan was adopted by CBJ but is now considered expired by the Federal Emergency Management Agency (FEMA) according to grant criteria. It is still used as a reference by CBJ's Emergency Management Department and plans for an update are underway.

The 2012 Plan includes an avalanche section based in part by the Swiss Snow Institute Research for Avalanche Technology. The study provides options for the community to take to mitigate avalanche hazards. The Swiss Snow Institute was chosen to perform the study because they have the most current computer modeling techniques, and the Swiss wrote the standards for artificial release and hazard mitigation protection in urban avalanche environments. This study is not a new hazard map for the community, but a feasibility of cost and mitigation options.

The goal of the study was to provide reasonable mitigation measures – both active and passive – for long range protection of the environment. The study reviewed historic avalanche events, with an emphasis on the Behrends Avenue and White avalanche paths, although it briefly mentions an unmapped avalanche paths above Gastineau Avenue and South Franklin Street. The Plan also references historic studies previously done in 1967, 1968, 1972, 1992, and includes new computer modeling analysis. Mitigation strategies include prohibiting new construction in avalanche zones and utilizing appropriate methods of structural avalanche control.

The 2012 Plan also identifies landslide hazards, further characterizes that the hazard is from mass wasting, and calls out mitigation strategies for two areas in close proximity to the project site:

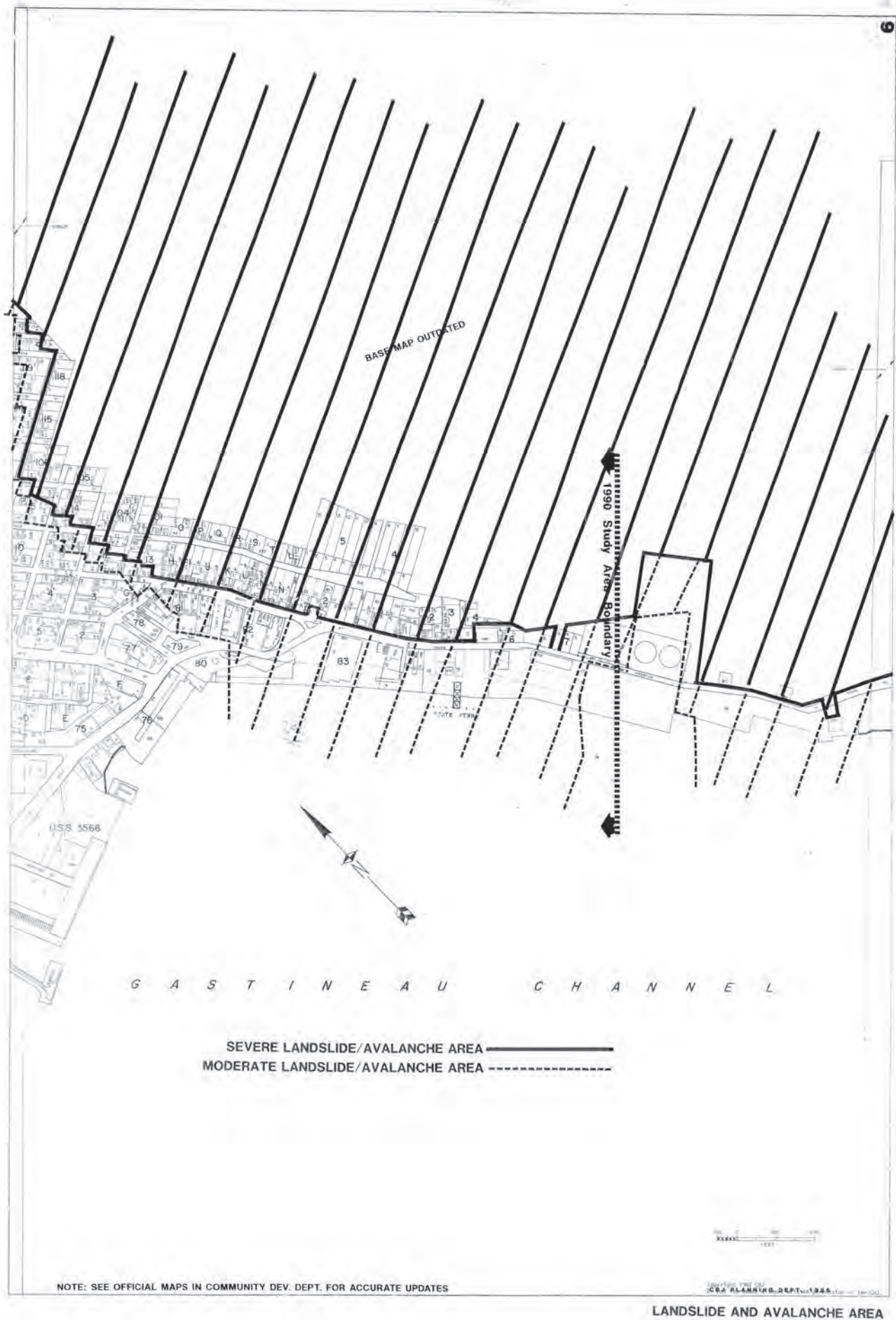
- *Landslide-resistant construction. Several buildings in the CBJ have landslide-resistant construction, such as breakaway, sacrificial walls on the lower floors to let landslides pass through (Marine View Building). Other buildings have elevated construction to allow landslides to pass under the bulk of the building (page 57).*
- *Maintain existing drainage system above Gastineau Avenue. A drainage system above Gastineau Avenue currently exists, but there has been some disparity in determining who is responsible for maintaining it. If the system is adequate, it would benefit the CBJ to maintain the system to a useable standard (page 57).*

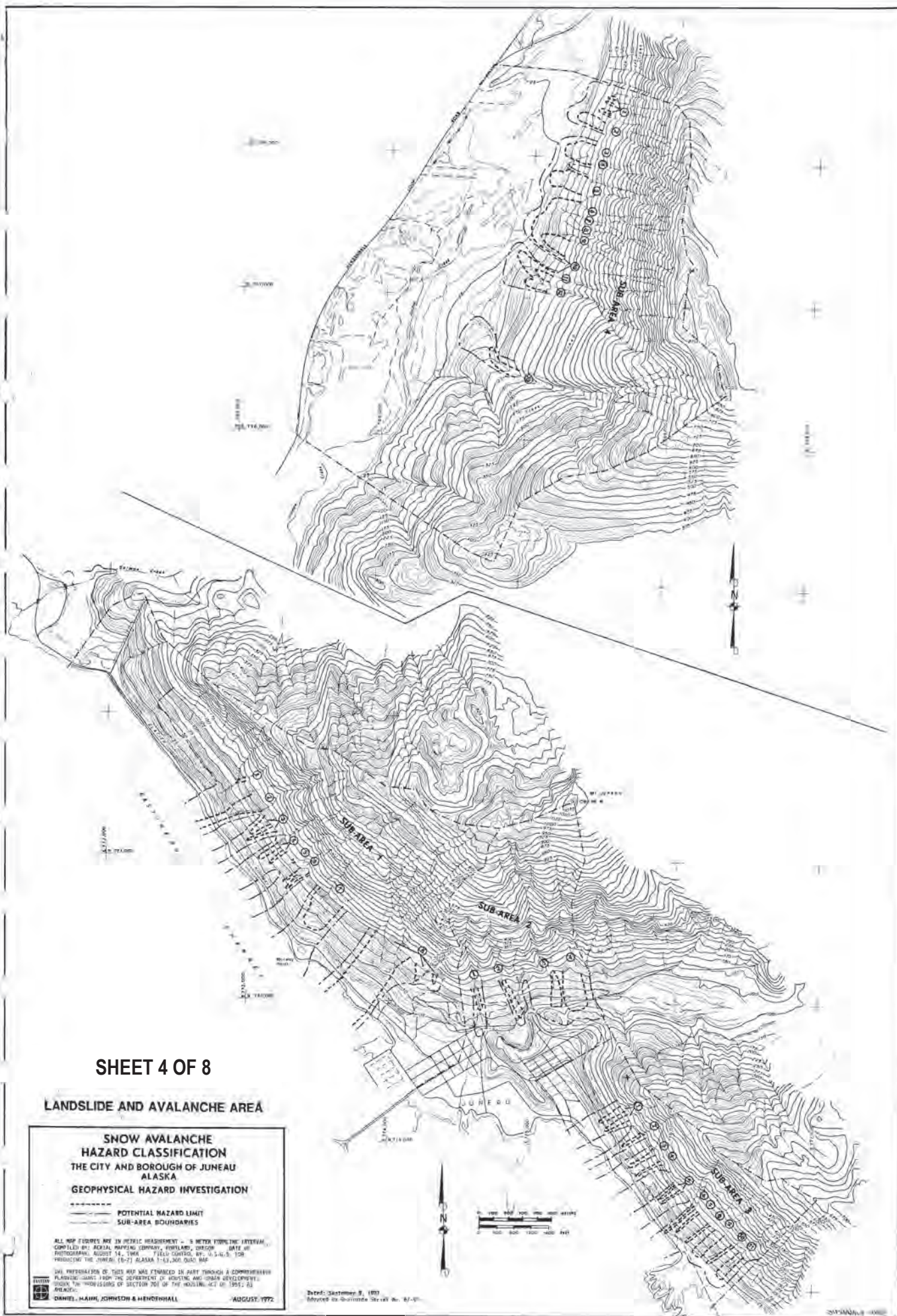
Specifically, the 2012 maps delineate the project site within the following areas:

- Map 6/C: Avalanche:
Moderate Hazard Area
- Map 9/H: Mass Wasting:
Severe Hazard Area

As stated on page 42 of the Plan, *“Thus, existing land use codes and management plans discourage future development in Avalanche Hazard areas. If future development were to occur within these zones, estimates of vulnerable community assets and population loss would likely increase.”*



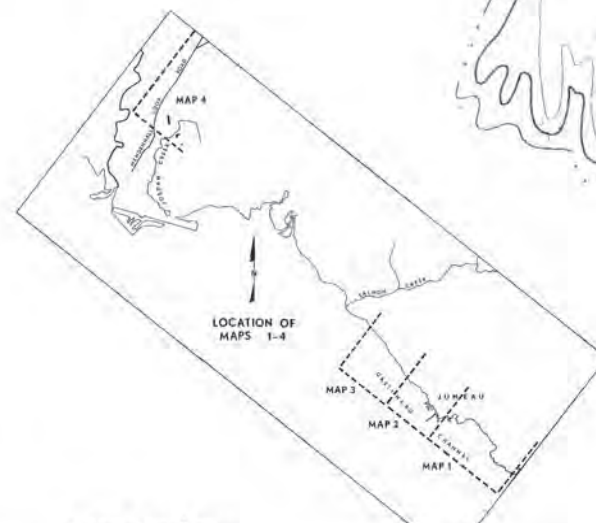
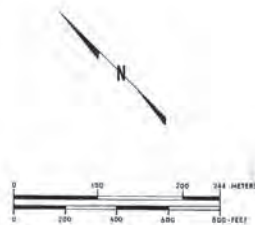
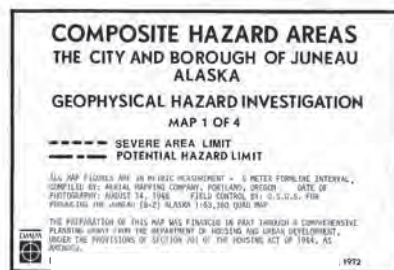




Attachment T- 1987 Hazard Study Map Sheets 1, 4, 5, 7



LANDSLIDE AND AVALANCHE AREAS

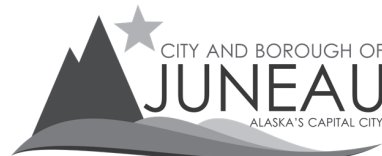
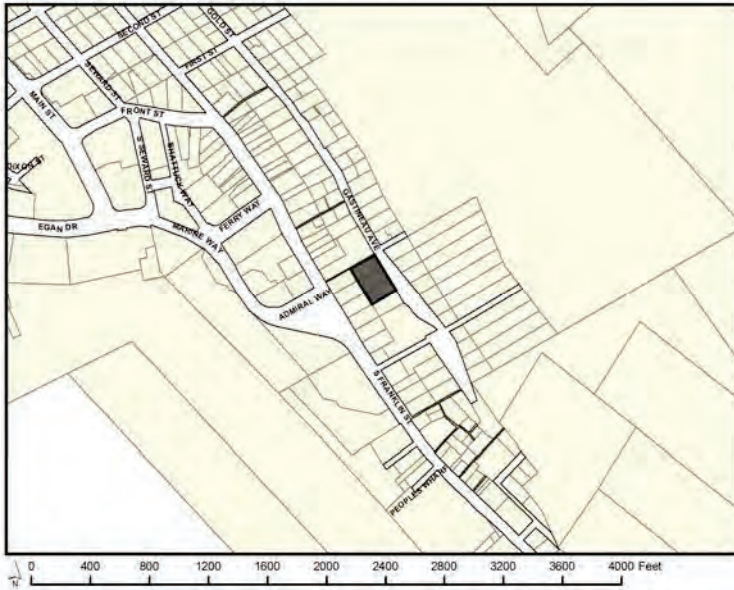


SHEET 7 OF 8

Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



COMMUNITY DEVELOPMENT

155 S. Seward Street Juneau, Alaska 99801

TO:

A **Conditional Use Permit** has been submitted for consideration and public hearing by the Planning Commission **to create a six-story, 72-unit multi-family structure in a Mapped Moderate Landslide & Avalanche Hazard Area on Gastineau Avenue in a MU zone.**

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **October 16, 2023** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

Now through Oct. 02

Comments received during this period will be sent to the Planner, **Jennifer Shields**, to be included as an attachment in the staff report.

Oct. 03 — noon, Oct. 20,

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, Oct. 24, 2023

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/83224510650> and use the Webinar ID: 832 2451 0650 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.

Oct. 25

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4139

Email: pc_comments@juneau.gov

Mail: Community Development, 155 S. Seward Street, Juneau AK 99801

Printed September 20, 2023

Case No.: **USE2023 0008**

Parcel No.: **1C070H020120**

CBJ Parcel Viewer: <http://epv.juneau.org>



Attachment V- Public Notice Sign Photos



Attachment V- Public Notice Sign Photos

From: Mary Jane Tenney <maryjane.tenney@gmail.com>
Sent: Monday, September 25, 2023 8:08 AM
To: PC_Comments
Subject: Gastineau Lodges apartments

Hello, I am writing concerning
Case No. : USE2023 008
parcel No. : 1C070H020120

or --the proposed Gastineau Lodges apartments

I am very concerned that so few parking spaces--10 to be exact, are included in this project. This was stated in a letter dated May 1, 2023 from Steve Soenksen to the Community Development Department of Juneau regarding the Conditional Use Permit Application for this project. These 10 parking spaces are for a 72 unit (or more) multifamily apartment building that will be placed in a neighborhood that already has significant parking challenges. Even though this project and parking scenario is currently legal, it is not considerate--or neighborly. Some people who work downtown already regularly park on Gastineau Ave. Service vehicles are already challenged given the one lane road with cars parked along the road. I understand the need for housing, but feel that currently the parking designed for the building is totally inadequate.

Thank you for sharing my concern.

Mary Jane Tenney

From: weighty@ptialaska.net
To: [Jennifer Shields](#)
Subject: Conditional Use Permit, Case#USE202 0008
Date: Sunday, October 8, 2023 5:54:23 PM

Hello Jennifer,

The site, although in a Moderate Landslide area, offers safety and other desirable attributes for building a multi-family structure.

Please follow-up with the Fire Chief:

1. Determine emergency Fire and other vehicle access to the site in the event of a landslide along Gastineau Ave. Can the building be reached from South Franklin St.?

What development of Bulgar Way will be planned? Should CBJ consider extending Gastineau Ave to Thane Rd., if only for emergency vehicle access, concurrent with this development?

2. Calculate structural requirements for the parking area, its size, and whether it is adequate for a staging area for vehicles in the event of a fire.

Gastineau Ave is a two-way street, one-way at a time:

How will the Gastineau Ave. on-street parking management be improved, anticipating an increased demand?

Are there traffic flow modifications being considered? (Winter, Summer)

Thank you for inviting public comment.
Nancy Waterman

Lily Hagerup

From: Kami Clark <kami.clark@yahoo.com>
Sent: Tuesday, October 17, 2023 5:18 PM
To: PC_Comments
Subject: 72-unit multi-family structure comments

I think that 10 parking spaces for a 72 unit is unacceptable. I believe each unit should have 2 spaces. Currently almost all homes and apartments on Gastineau Ave have to park on both sides of the street which only allows one car going either direction. I feel like this is a safety issue. If there were an emergency many tenants would be trapped in their homes and could not flee via a vehicle. With all the current vehicles on both sides of the street it makes it difficult to plow and causes cars to be plowed in and can't be moved. This contradicts itself but the 72 unit needs more parking but the street is already congested. Where will the tenants park almost every family has one vehicle.

Gastineau Ave needs to be able to allow a fire truck, ambulance, police, garbage truck the ability to maneuver on this street.

I disagree with the 10 parking spaces it's not enough.



(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

December 1, 2023

MEMO

From: Jennifer Shields, Planner II

To: Michael Levine, Chair, Planning Commission

Through: Jill Maclean, AICP, Director of Community Development

Parcel No.: 1C070H020120

Legal Description: PACIFIC COAST ADDITION BL 2 LT 12, 13, 14

Case Number: USE2023 0008 – Gastineau Lodge Apartments

Re: Additional Materials

The Planning Commission, at its regular public meeting on October 24, 2023, continued the hearing on USE 2023 0008 and requested additional information from CDD staff and the applicant. Since that meeting, the following additional materials have been submitted regarding the project:

- 1) Agency Comments from Chief Rich Etheridge, Capital City Fire and Rescue (CCFR), regarding public safety concerns (Attachment A).
- 2) Agency Comments from Scott Gray, Streets and Fleet Superintendent, regarding snow removal and spring clean-up (Attachment B).
- 3) Public Notice Sign pictures, re-posted to include the continuation meeting date (Attachment C).
- 4) Public Comments not submitted by the original October meeting deadline (Attachment D).

Additional materials received by December 8, 2023, at Noon will be forwarded to the Commission in an additional materials packet.



CAPITAL CITY FIRE/RESCUE

*820 Glacier Ave
Juneau, Alaska 99801*

Date: Tuesday, November 07, 2023

To: Jill Maclean, Community Development Director

From: Rich Etheridge, Fire Chief

Re: Gastineau Lodge Access

Capital City Fire Rescue (CCFR) has completed its review of the preliminary project proposal for the large apartment complex located at the end of Gastineau Avenue. We appreciate the efforts in presenting this project; however, several critical public safety concerns have emerged that compel us to make the difficult decision not to support the proposed development. Our primary concern is the potential exacerbation of existing public safety challenges on Gastineau Avenue, which we cannot overlook.

According to fire and life safety code, areas with more than 100 dwellings necessitate a secondary access point to ensure the safety of residents and first responders. As it stands, Gastineau Avenue already hosts approximately 90 dwellings, and the proposed project would nearly double this occupancy. This significant increase in population would inevitably lead to a higher frequency of emergency medical calls on this road, which is already plagued by challenges related to parking and fire service turnarounds.

The challenges related to access on Gastineau Avenue, both during the summer months due to vehicle congestion and in the winter due to snow berms, present significant obstacles for emergency services. During medical emergencies, our crews currently face the inefficient and time-consuming task of leaving the fire engine on Franklin Street and resorting to climbing stairs with what emergency equipment they can carry, or "carpooling" in the ambulance to reach the residences.

Another primary concern is the inadequate space on Gastineau Avenue for a proper turnaround, which is further exacerbated by frequent occurrences of parking issues and abandoned items or vehicles in this area. Using parking lots for turnarounds is unreliable, as these lots are frequently at full capacity in the evenings and on weekends.

Pertinent Fire Code Sections:

International Fire Code (IFC) 503.1 stipulates that fire access roads should provide a clear and maintained driving surface of at least 20 feet. The current proposal does not meet this requirement.

IFC 503.2.5 mandates the provision of turnarounds for roads exceeding 150 feet. Regrettably, there is no adequate fire apparatus turnaround on Gastineau Avenue as per the project proposal.

IFC D106.1 and IFC D104.1 require a second access point when a project exceeds 100 dwelling units. In addition, a second access is required for buildings over 30' in height. This condition necessitates a second access road, which the current proposal lacks. Moreover, it is essential to note that the building cannot be reached from Franklin Street, further complicating the issue.

Given the serious concerns raised above and in adherence to safety regulations, CCFR is unable to support the proposed development project on Gastineau Avenue. We remain committed to public safety and urge you to consider alternative options that address these concerns and provide for the safety and well-being of all residents.

Should you have any questions or require further clarification, please do not hesitate to reach out to us. We appreciate your understanding of our decision in this matter.

From: [Scott Gray](#)
To: [Jennifer Shields](#)
Cc: [Denise Koch](#)
Subject: RE: USE23-08 Gastineau Lodge Apartments - Additional Comments Requested
Date: Friday, November 3, 2023 2:39:46 PM

Hi Jennifer,

Thanks for sharing all the information. I probably gave you too much information. If you need me to explain or if you want something different, please let me know.

1. Please provide any additional information/comments that you might have on the project.

For Streets, the Gastineau Ave winter maintenance and our spring cleanup will be impacted the most. The project site plan does not have a plan for snow removal or in our world an Ice and Snow Control Plan. A plan would need to explain the plan for snow storage, the capacity of snow storage, and the snow removal plan. Because the roads downtown are so narrow, the impacts would include; CBJ Streets schedules downtown area-wide winter snow removal and springtime clean-up events where we post the road for No Parking, and all vehicles that are not moved by the deadline are towed and placed at a designated area for the owners to reclaim their vehicles. During the area-wide winter snow removal event CBJ pulls and blows the whole road using graders, large loader-mounted blowers, and 10-yard trucks to haul the snow away. For the Spring clean-up events sweepers and the vacuum truck are using the same the process. Even if 10 more vehicles are added to the list of vehicles parked and need to be towed off Gastineau Ave,. With only 6 parking spots and a 72-unit multi-family building, the odds of having half of the residents owning vehicles is probably a low estimate (was there a study for this). Depending on the winter CBJ Streets could have a few snow removal events, This could cost the City thousands of dollars per winter snow clean-up, or spring cleanup event. How many added vehicles would be towed if this building was built is unknown. I cannot see this happening due to the safety concerns that are outlined in the staff report.

2. Please provide any conditions of approval that you feel are appropriate based upon the comments that you have submitted, or upon particular code sections under your purview.

A winter snow storage and capacity and snow removal plan. A realistic number of added vehicles that will impact parking and traffic on Gastineau Ave year-round is something we need to know.

Scott



Scott Gray
Superintendent
Public Works Streets & Fleet
907-586-5256



Attachment C - Public Notice Signs updated meeting date

From: Reed Stoops <reedstoops@aol.com>
Sent: Monday, October 23, 2023 4:09 PM
To: PC_Comments <PC_Comments@juneau.gov>
Cc: Steven <verdeinpar40@gmail.com>
Subject: Gastineau Lodge

This is in support of the Gastineau Lodge conditional use permit. The current hazard zone map is preventing lost of good housing projects in Juneau and is unnecessary. The hazard zone maps are not accurate. Private insurance and mitigation is the better way to handle any risk. Sitka adopted and then repealed its hazard maps for the same reason. Juneau has a housing problem. Gastineau Lodge is a good project in a good location. Let it go forward.

Thank you.

Reed Stoops
1703 Willow Drive
Juneau, Ak 99801

From: [Micaela Bauer](#)
To: [Jennifer Shields](#)
Subject: Gastineau ave Lodge
Date: Tuesday, October 24, 2023 5:52:13 PM

Dear assembly, planning commission and who it may concern,

My little family live at 269 Gastineau ave. Juneau 99891. We rent our home from my parents, Mary Jane and Bruce Tenney who live out North Douglas. I am unable to attend the meeting in person because of family colds and I am aware that this may not be read at the meeting because of its late entry but I wanted to make sure that I put a couple word's somewhere.

We have lived in our little house ten years now some of my concerns for the proposed apartment building are safety can the land hold such a large building and not affect what is above and below? The number of units and people on a small street with fairy limited parking, made extra limited in the summer when people come to work verifies jobs in down town. Ten parking spaces seems not enough. And 72 living units seems to many. Our street is a glorified one way and I'm not looking forward to extra congestion. As well what kind of disturbances may be made while under construction.

In my quick looking up of the plans I wasn't sure if these are one or multiple bedrooms or just efficiency units. Will there be a verity of unit make ups or all the same? It's early to know but would there be occupancy cap to each unit.

I am all for more affordable housing in Juneau. Being land locked we have no way of commuting from other towns. I don't like the idea of people telling people what to do white their own land and property as long as they do no harm. I hate feeling priced out in my home town and really do want change. These were just a few of my concerns and am interested to hear more as this develops as this project will be happen at my door steps.

Thank you for your time,
Sincerely
Micaela Bauer

Sent from my iPhone



(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

December 8, 2023

MEMO

From: Jennifer Shields, Planner II

To: Michael Levine, Chair, Planning Commission

Through: Jill Maclean, AICP, Director of Community Development

Parcel No.: 1C070H020120

Legal Description: PACIFIC COAST ADDITION BL 2 LT 12, 13, 14

Case Number: USE2023 0008 – Gastineau Lodge Apartments

Re: Additional Materials

The Planning Commission, at its regular public meeting on October 24, 2023, continued the hearing on USE 2023 0008 and requested additional information from CDD staff and the applicant. In addition to materials submitted with a memo dated December 1, 2023 (Attachments A-D), the following additional materials have been submitted regarding the project:

- 1) Public Comment by Nancy Waterman on December 6, 2023 (Attachment E).
- 2) Letters, elevation drawings, and site level diagrams submitted by the applicant, Steve Soenksen, on December 8, 2023 (Attachment F).

From: weighty@ptialaska.net
To: [Jennifer Shields](#)
Subject: Public Comment USE2023-0008, Planning Commission Meeting December 12, 2023
Date: Wednesday, December 6, 2023 1:23:02 PM
Attachments: [2023December 6 letter to Plan. Commission 72 apt development.docx](#)

Hello Jennifer,
I will not be able to attend the 12December, 2023 Planning Commission Meeting.
Thanks for accepting the attached comments and passing them along to the
Commissioners.
Nancy

December 6, 2023

From: Nancy Waterman, Public Comment for Planning Commission

To: Jennifer Shields for Dec 12 Planning Commission Meeting

Parcel No.: 1C070H020120

Legal Description: PACIFIC COAST ADDITION BL 2 LT 12, 13, 14

Case Number: USE2023 0008 – Gastineau Lodge Apartments


Thank you for the Additional Materials regarding USE2023 0008 – Gastineau Apartments

1. The Fire Chief's letter of November 7, 2023 answers my original questions about emergency services access and public safety now, and in regard to the proposed development under consideration. Specifically, Mr Etheridge's Pertinent Fire Code Section and his conclusion: "...unable to support the proposed development project..."
2. The analysis of Public Works Streets & Fleets also supports staffs findings and recommendation of denial: "A realistic number of added vehicles that will impact parking and traffic on Gastineau Ave year-round is something we need to know." Specifically, Mr. Scott says: "I cannot see this happening due to the safety concerns that are outlined in the staff report."
3. A. I support staff's suggestion that a Traffic Impact Study on the dead-end, varying-width Gastineau Ave be done.
B. I support following the CIP (2028 project) for an adequate turn-around at the south-end of Gastineau Ave. After completion of A. and B. above, please give consideration/study to potential access projects that would improve public safety, and then potential residential development with access from Gastineau Ave./Thane Rd, or the stairway connections from Gastineau Ave to South Franklin St.
4. Please accept staff's analysis and findings and deny Conditional Use Permit USE2023 0008.

Sincere appreciation for your work.

Nancy Waterman

227 Gastineau Ave Juneau, AK 99802

Gastineau Lodge Apartments
Steven Soenksen, Manager 
Planning Commission Comments - notes
Written response to questions.
11-29-2023

Consideration of Hillside endorsement and Conditional Use Permit

What are the factors and criteria necessary for granting a hillside endorsement and conditional use permit? Address public safety through building and site design.

List below includes information items requested by the Planning Commission at October 24, 2023 meeting and preparation before December 12, 2023 meeting, (Dec 8 deadline for submittals)

1. ** Pedestrian access to South Franklin from Bulger way. Construction of stairway could be incorporated into the project and provide second access to the site. This can serve for emergency and normal egress (Northwind/PND/Verde). We would like two access points to Bulger way, one at the first floor level and another at level 2. We would install a key card reader to allow tenant access the site/building.

Project narrative and conceptual sketch of how and where this connection will be made. See level 1 and level 2 diagram.

"We agree to construct this improvement in (the public) Bulger way to CBJ specifications and standards. We understand after these improvements are made and approved, CBJ will agree to maintain the stairs for public use." Gastineau Lodge Apartments, LLC

2. Stability Mitigation measures - site stability strategy (Northwind/PND/Verde)

Superblock and site drainage (Tony conceptual pre-design elevations)

First two levels of building assist in site slope stability (pre-design engineering)

Professional civil/structural/architectural to develop design concept and include a letter regarding the specific measures that will contribute to site and slope stability.

Architects letter.

Engineers letter

3. Address Slope stability_ - (Northwind/PND/Verde)

Include site visit and analysis. Include a letter of findings regarding the specific measures by this project that will contribute to site and slope stability. Include drainage strategy, base floors 1 and 2 supported by bedrock. Include the benefit to CBJ by backfilling to Gastineau Avenue as the street is failing and there is no edge or rail on that side. We will improve public safety by completing our property connection through the edge of the traveled way. Perform Contextual Analysis per professional standards.

4. ****Potential extension of Gastineau Avenue (Northwind/PND/Verde)**

- a. Project narrative: Possible: foot path, Evacuation Route
haul road for construction, and
emergency services access to Thane
Letters of interest and consent, verbal non-objection.

5. **Lighting plan (Tony Walker/ Northwind/Verde)**

- See Layout of Building – Lighting Design by Diagram level

6. **Snow removal plan (Tony Walker/Northwind/Verde)**

- Snow removal will be completed by pushing snow up to the north side of the parking area to stockpile. When Stockpile gets too large, a snow removal contract will remove accumulated snow from the site.

7. ****Additional Parking potential - (Verde) - Project is considering getting 4 smart cars for tenant rentals. These would fit in two parking spaces if parked in tandem**

The site is Less than 500' away is CBJ Parking garage, (approx. 235'). This facility sits mostly empty in the evenings and vacant on weekends. If project development permits are approved, we will enter into a cooperative agreement for parking space rental for up to 10 spaces.

**** Involves negotiation and agreements between Gastineau Lodge Apartments, LLC and City and Borough of Juneau.**



CBJ Community Development Department
230 S. Franklin Street
Juneau, Alaska. 99801

Re: USE2023 0008 Conditional Use Permit for a new (6) story, 72 Unit Multi-Family Housing Development

Community Development Staff and Planning Commission Members:

The purpose of this Architectural Letter is support the request for supplemental information brought forth during our primary Planning Commission hearing to address a number of items informing your review and decision.

Following is an overview of our project delivery providing a description of the design, permitting, and construction process.

There is a supplemental note addressing general hillside stability noting that building is almost the entirety of the site whereas it will by nature, be a stabilizing mechanism. Surface water drainage and runoff will go into pipes and be controlled away from others' properties and retaining wall structures will be design by licensed professionals for all loads applicable by code per the following project design team and process described as follows:

Project Design and Design Build Team:

Pre-design and Conditional Use permitting is being managed and coordinated by Gastineau Lodge Apartments with support from both by local design consultants NorthWind Architects and PN&D Engineering, Inc.

As soon as the preliminary permitting has been issued, our project delivery will be structured around a design-build format where the General Contractor provides over-all project management responsibilities ensuring that the project meets both budget and schedule requirements.

Our team represents sound local knowledge of both the permitting, design and construction process. The team on the whole provides capability to make sure this project is successful meaning that it will be our responsibility to conform to all permit conditions imposed during this review process. There will be control and execution of site development, protection of adjacent properties and successful completion of the project.

Following is our proposed Team:

General Contractor - Dawson Construction, Inc.

Dawson Construction has been selected for the General Contractor overseeing both the Phase 1 and Phase 2 project management and construction. Dawson Construction will coordinate with the with the design team and CBJ Community Development review for of over-all project delivery and ensure that the project meets design criteria including conformance to conditional-use requirements and to ensure a successful project completion.

Design Team Lead, Architectural Lead - NorthWind Architects LLC

NorthWind Architects will be responsible for the coordination of the design team including Site Civil, Architectural, Structural, Mechanical, and Electrical consultants. NorthWind will be responsible for pre-design permitting follow through, permitting and over-all design team coordination and performance.

PN&D Engineering Inc. here in Juneau will provide site civil, structural engineering. The mechanical and electrical team members have not been selected however they will consists of local design firms.

Sean M Boily AIA
Principal Architect

James FS Bibb AIA
Principal Architect

E. David Hurley AIA
Principal Architect

126 Seward Street
Juneau, AK 99801

p.907.586.6150
f.907.586.6181

Project Process

A project of this scale requires a lengthy pre-design, permitting and design process and therefore, we have split the project into two distinct phases; phase 1 Sitework and Phase 2 Building Construction.

Phase 1 Sitework –

Phase 1 Sitework will concentrate on the site preparation including removal and development of the sub-surface material in preparation for site foundations and retaining walls. During this process, efforts to control site erosion will be a primary concern as well as ensuring that the existing properties including Gastineau Avenue is secure and protected.

During this process, sub-surface utilities will be prepared and primary site retaining walls will be constructed to support future building substructure and the upper Gastineau Avenue driveway and parking pad. Circulation easements will be developed for Bulger Way during this phase with careful coordination with CBJ Community Development and the CBJ Engineering Department. We expect this phase of construction to take 6 months.

Phase 2 Building Construction -

The Phase 2 Building Construction Phase will proceed from Phase 1 work where final substructure and building superstructure will be constructed. This phase will extend to final completion and final occupancy. We expect this phase to take approximately 18 months.

Project Schedule

Design Schedule –

The design schedule for this project will be from December 2023 through June 2024 with Phase 1 Sitework design submitted for permit by April 1, 2024. The Phase 2 Permitting will start along with the Phase 1 Sitework effort where we will require a 35% completed building design package to inform the Phase 1 Sitework site retaining, site utilities and preparation for the building substructure footings.

Phase 1 Design:

December 2023 – April 1, 2024

Phase 2 Design:

April 1, 2023 – June 30, 2024

Construction Schedule –

The Sitework phase 1 construction will start as soon as permits are received.

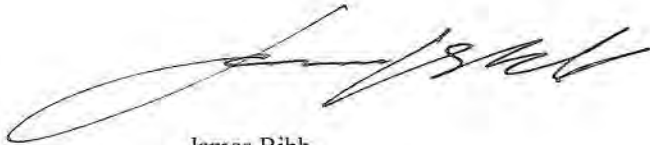
Phase 1 Sitework:

April 30, 2023 - October 30, 2024

Phase 1 Building Construction:

November 1, 2024 – May 30, 2025

Thank you,



James Bibb

NorthWind Architects

119A 2nd Street
Juneau, AK 99801

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f.907.586.6181



ENGINEERS, INC.

MEMORANDUM

PROJECT NO. N/A

DATE: DECEMBER 8, 2023

PROJECT: Gastineau Lodge Apartments

TO: Steve Soenksen

CC: James Bibb, AIA

FROM: Sean Sjostedt, P.E.

SUBJECT: Gastineau Lodge Apartments – Summary of Site Investigations

This memorandum summarizes the findings of three investigations that have bearing on the proposed project ("Project"). This is not an endorsement or verification of the investigation findings or recommendations. The reports are discussed chronologically in the order that they were prepared, starting with the earliest. All reports in their entirety are included with the application packet.

Report by Douglas N. Swanston, dated December 3, 1989

This report summarizes an inspection conducted by Mr. Swanston and, presumably, the consultant to which the letter was addressed (Bill Baxandall). The report notes that a gulley near the Project is "clear of significant quantities of debris and is partially stabilized by a substantial cover of 50+ year-old alder." The report also notes that, despite the lack of substantial debris, characteristics of the slope and limited remaining debris may still pose a threat to unprotected structures below. The report goes on to detail debris flow velocity, impact force, and pressure calculations should the limited debris observed mobilize.

Report by Baxandall Associates, dated August 3, 2012

This report can be described as a site-specific hazard assessment and summarizes a review of hazard classifications at the time of the report for several properties including the property on which the Project is located. The report ultimately requests that the properties in question be removed from the "Severe" hazard zone and incorporated into the "Moderate" hazard zone. The report cites the following factors as reasons for the hazard zone reassignment:

- apparent patterns in debris flow based on debris accumulation time (roughly 100-year cycles with the last occurring in 2009);
- lack of significant overburden since the large slide in 1920;
- inactive prior contributing factors such as the overflowing A.J. water flume which reportedly was a significant cause of the 1920 slide;
- re-forestation of the hillside;
- the remnants of the A.J. Mining Company building foundation on the uphill side of Gastineau Avenue which acts as both stabilization and a barrier.

Report by PND Engineers, dated November 28, 2021

This report can be described as an engineering geology report and summarizes the findings of a geotechnical investigation at the Project site and general design recommendations for the Project, based on known scope at the time. The report provides criteria for successfully building on the site. In general, building foundations should be founded on bedrock and anchored to rock when necessary, as determined by project designers. Alternatively, the existing overburden could be removed and replaced with structural fill pending favorable engineering analyses. The report further details the importance of drainage and control of water for both construction and long-term site stabilization. Recommendations and criteria are provided for parking lots, utilities, retaining structures, and various construction materials. The report stipulates that all designs shall follow standards of practice and local, state, and federal codes and laws.

Gastineau Lodge Apartments, LLC

Tony Walker, Archt. & Assoc., LLC

PROJECT & SHEET INFORMATION

UNIT COUNTS & SIZES*

UNIT	*OA	*SF
A=41	12 x 20	240
A-T=1	12 x 26	227
A-L=2	17 x 20	277
B=11	12 x 26	312
B-L=2	12 x 26	294
B-T=1	18 x 26	389
B-WL1=2	18 x 26	387
B-WL2=1	18 x 26	371
C=2	18 x 23	432
D=1	18 x 26	478
HC=8	14 x 25	343
UNITS=72		

SYMBOLS



TREE (TBD)

TREE LOCATION
(ABOVE OR BELOW,
FOR REFERENCE)



EXTERIOR LIGHT
FIXTURE

POT PLANTER

*NOTE: "OA" INDICATES OVERALL
DIMENSIONS. THERE'S NO
DISTINCTION FOR ODD-SHAPED
AREAS. "SF" (SQUARE FOOT) IS
AN APPROXIMATION OF THE
AREA WITHIN THE SPACE.

UNIT DESCRIPTIONS

A	STUDIO
A-T	STUDIO, T-SHAPE
A-L	STUDIO, L-SHAPE (DISCOUNTING HALL ENTRY)
B	LONG STUDIO
B-L	LONG STUDIO, L-SHAPE
B-T	LONG STUDIO, T-SHAPE
B-WL1	LONG STUDIO, WIDE, L-SHAPE-1
B-WL2	LONG STUDIO, WIDE, L-SHAPE-2
C	LARGE
D	EXTRA LARGE

ABBREVIATIONS

ALT	ALTERNATE	NIC	NOT IN CONTRACT
BLDG	BUILDING	O/H	OVERHEAD
CONC	CONCRETE	PLTR	PLANTER
CORR	CORRIDOR	PP	POWER POLE
ENCL	ENCLOSURE	PSNGR	PASSENGER
ELEV	ELEVATOR	PVC	POLY VINYL CHLORIDE
EL	ELEVATION	RECEP	RECEPTION (IST)
E	EXISTING	RET	RETAINING
FT	FOOT/FEET	ROW	RIGHT OF WAY
FP	FIREPLACE	STRL	STRUCTURAL
FFE	FINISH FLOOR ELEVATION	STOR	STORAGE
FRT	FREIGHT	TLT	TOILET
FDN	FOUNDATION	TBD	TO BE DETERMINED
GARB	GARBAGE	U/G	UNDERGROUND
HC	HANDICAP	VER	VERIFY
JAN	JANITOR	WWW	BUSINESS/COMPUTER

GENERAL NOTES

1. All development on hillsides shall be pursuant to a hillside development endorsement. (49.70.220, (a)).
2. The developer shall apply for and obtain a hillside development endorsement prior to any site work other than land and engineering surveys and soils exploration. (49.70.220, (b)).
3. The application shall include detailed engineering drawings of roads, driveways, parking areas, structural improvements for foundations, off-site stormwater runoff systems, cross sections, and road elevations (49.70.240, (4)).
4. A description of the source and type of any off-site fill and the site for depositing excess fill. (49.70.240, (5)).
5. A landscaping plan, including all trees to be retained in excavation areas, all plant species and locations, temporary slope protection measures, erosion and siltation control measures; seeding or sodding materials, a planting and maintenance program; and methods of stabilization and protection of bare slopes. (49.70.240, (6)).
6. An engineering geology report, including summary of the relevant surface and bedrock geology of the site, a discussion of the active geologic processes with conclusions and recommendations regarding the effect of geologic factors on the proposed development; data regarding the nature, distribution and relevant parameters of existing soils, recommendations for grading procedures, design criteria for corrective measures, as necessary, and recommendations covering the suitability of the site for the proposed development. (49.70.240, (7)).

Standards for Approval

7. A work schedule by phase. (49.70.240, (8)).

--- This project will be permitted and constructed in two phases. Phase 1 will include all sitework, grading and drainage, and phase 2 will be for the construction of the building.

8. A secondary access to the proposed development exists or will be developed as part of the project. (49.70.250, (a), (v)).

--- This project proposes provide secondary access to the site for pedestrians to connect to Bulger way for pedestrian access and parking garage access within 200' of the site.

--- This project will seek to obtain permission for secondary access to the site through AEL&P, AJT and CBJ lands for the right-of-way.

9. Weather. The engineer may prohibit a developer from earthmoving during periods of very wet soil conditions, in which case shall be extended by a like period. (49.70.250, (2)) Sediment. The developer shall not allow any increase in sediment to flow off-site during or after construction if such would be likely to cause an adverse impact on a down slope lot or waterbody. (49.70.250, (3))

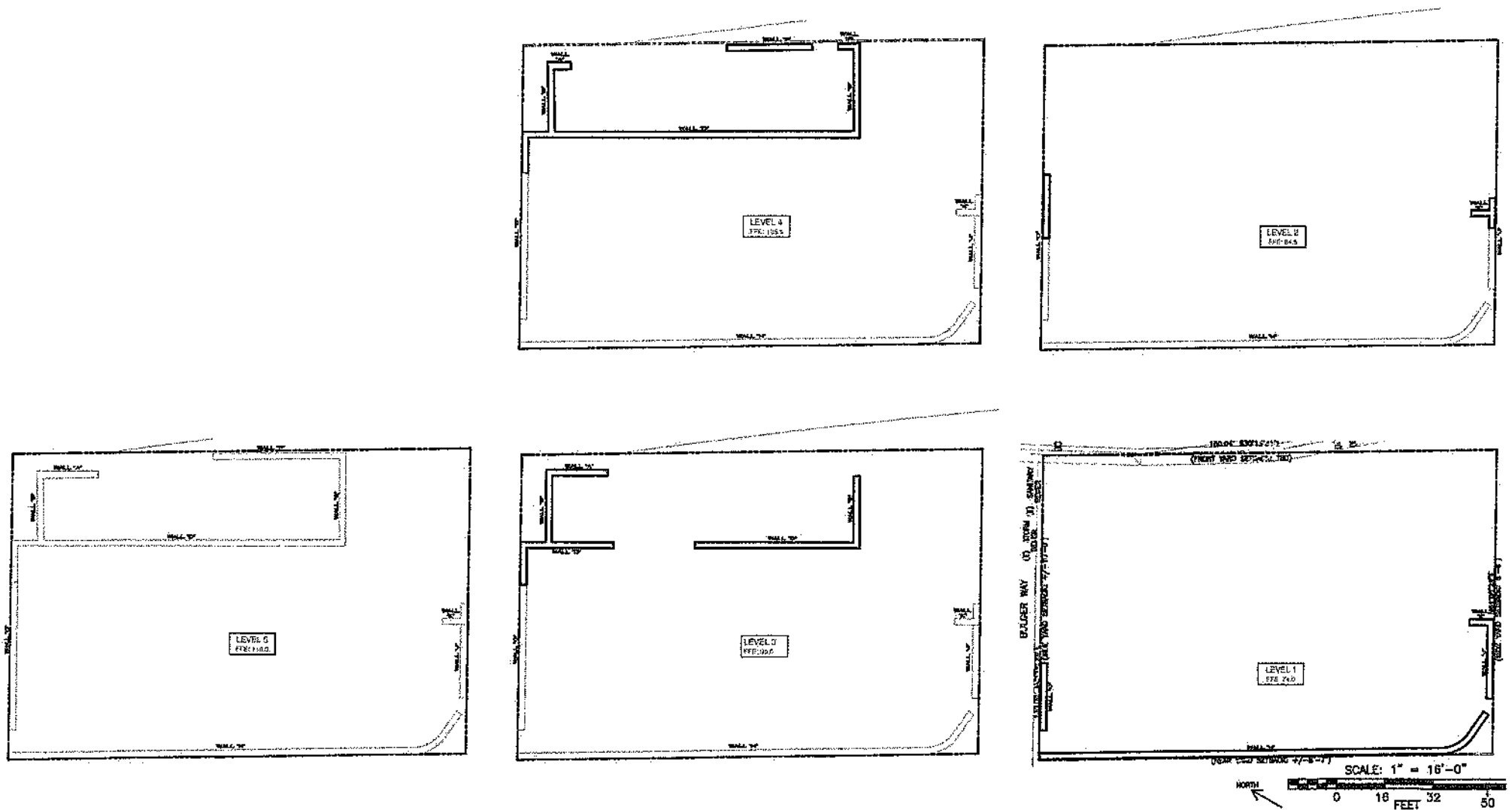
10. Peak discharge. The developer shall ensure that during and after construction of major development, the peak discharge of all streams and natural drainage ways at the down slope boundary shall be no greater than that occurring prior to excavation. (49.70.250, (4)).

Criteria

11. Soil Erosion. Soil disturbance and soil erosion shall be minimized and the effects thereof mitigated. (49.70.260, (1)).
12. Existing vegetation. Depletion of existing vegetation shall be minimized. (49.70.260, (2)).
13. Contours. The developer shall re-contour the finish grade to natural-appearing contours which are at or below 50 percent, or the natural angle of repose for the soil type, whichever is lower, and which will hold vegetation. (49.70.260, (3)).
14. Time of exposure and soils retention. The developer shall minimize the period of time that soil is exposed and shall employ mats, silt blocks or other retention features to maximize soil retention. (49.70.260, (4)).
15. Replanting. The developer shall not, where necessary, and plant all exposed soil in grass or other soil retaining vegetation and shall maintain the vegetation for one full growing season after planting. (49.70.260, (5)).
16. Drainage. The developer shall minimize disturbances to the natural course of streams and drainage ways, where disturbances is unavoidable, the developer shall provide a drainage system or structures which will minimize the possibility of sedimentation and soil erosion on-site and downstream and which will maintain and enhance the general stream characteristics, spawning quality, and other habitat features of the stream and its receiving waters. Where possible, development shall be designed so lot lines follow natural drainage ways. (49.70.260, (6)).
17. Foundations. The developer shall ensure that buildings will be constructed on geologically safe terrain. (49.70.260, (7)).
18. Very steep slopes. The developer shall minimize excavation on slopes over 30%. (49.70.260, (8)).
19. Soil Retention features. The developer shall minimize the use of constructed retention features. Where used, their visual impact shall be minimized through the use of natural aggregate or wood, variation of façade, replanted terraces and the like. (49.70.260, (9)).
20. Wet weather periods. The developer shall minimize exposure of soil during the periods of September 1-November 30, and March 1-May 1. (49.70.260, (10)).

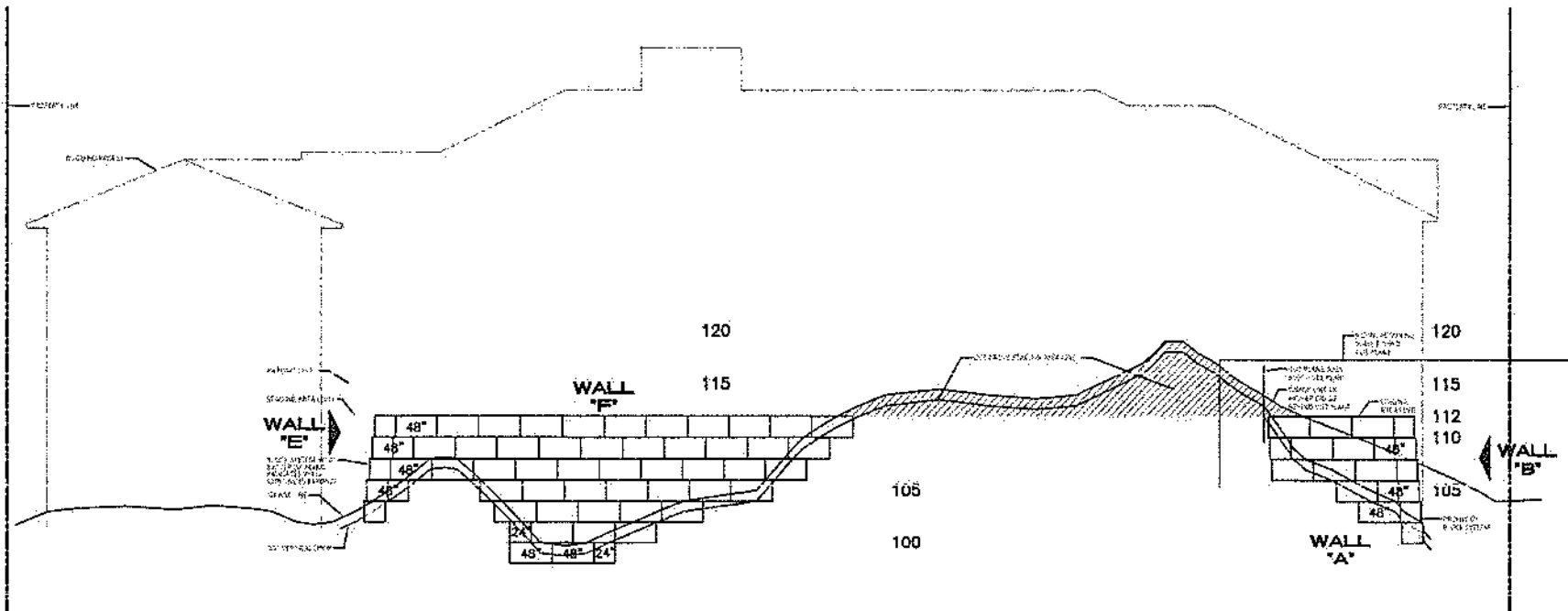
Conditions on Approval

21. Development Schedule. The commission or director may place a reasonable time limit on or require phasing of construction activity associated with the development or any portion thereof, in order to minimize construction-related disruption to traffic and neighbors or to ensure that the development is not used or occupied prior to substantial completion or required improvements. (49.70.270, (1)).



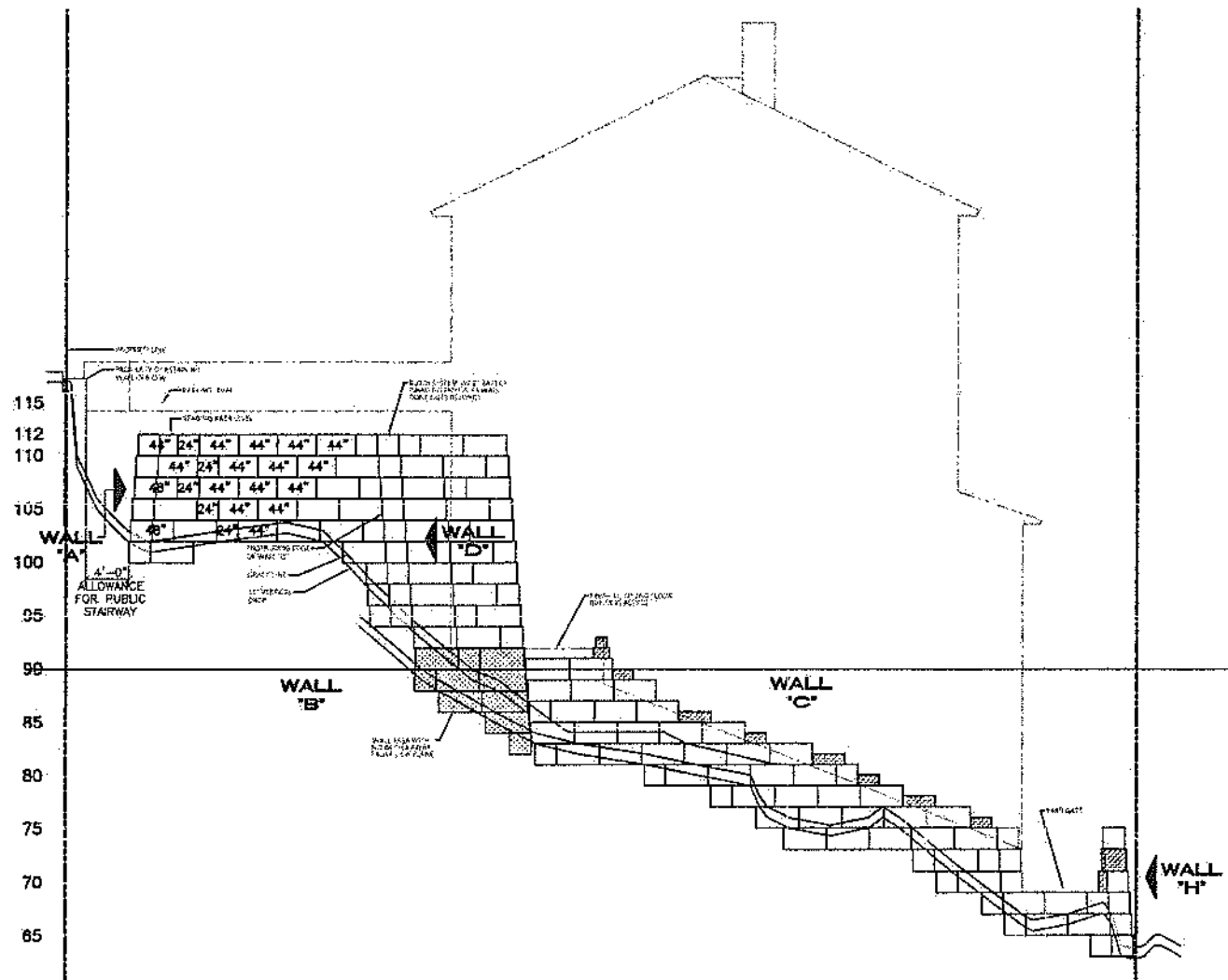
WORLDBLOCK WALL - PLAN VIEW PER FLOOR LEVEL
scale: 1" = 30'-0"

Gastineau Lodge
Apartments, LLC
TWA (c) 11/27/2023



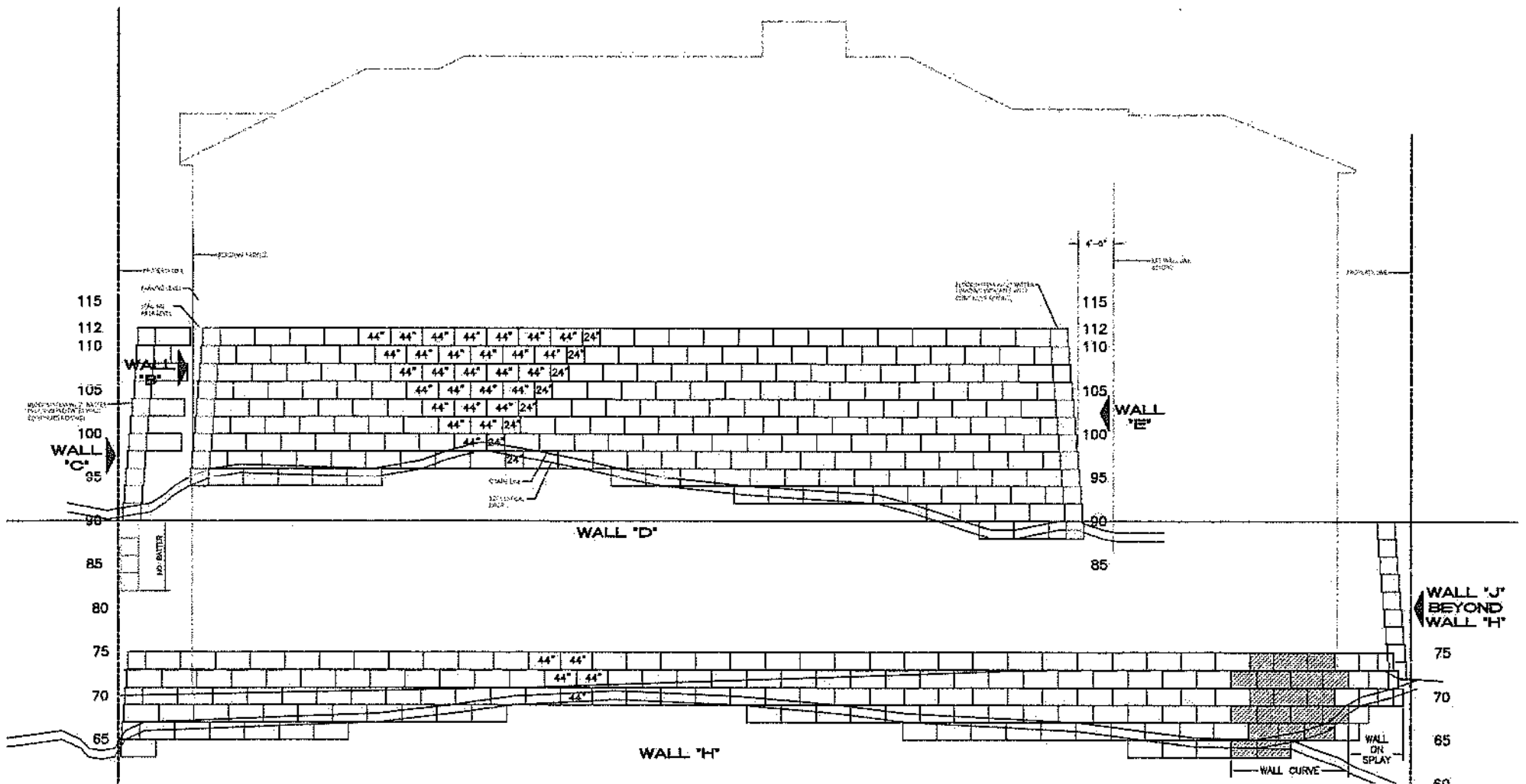
WORLD BLOCK WALL - EAST (STREETSIDE) ELEVATION
scale: 3/32" = 1'-0"

Gastineau Lodge
Apartments, LLC
TWA (c) 11/28/2023



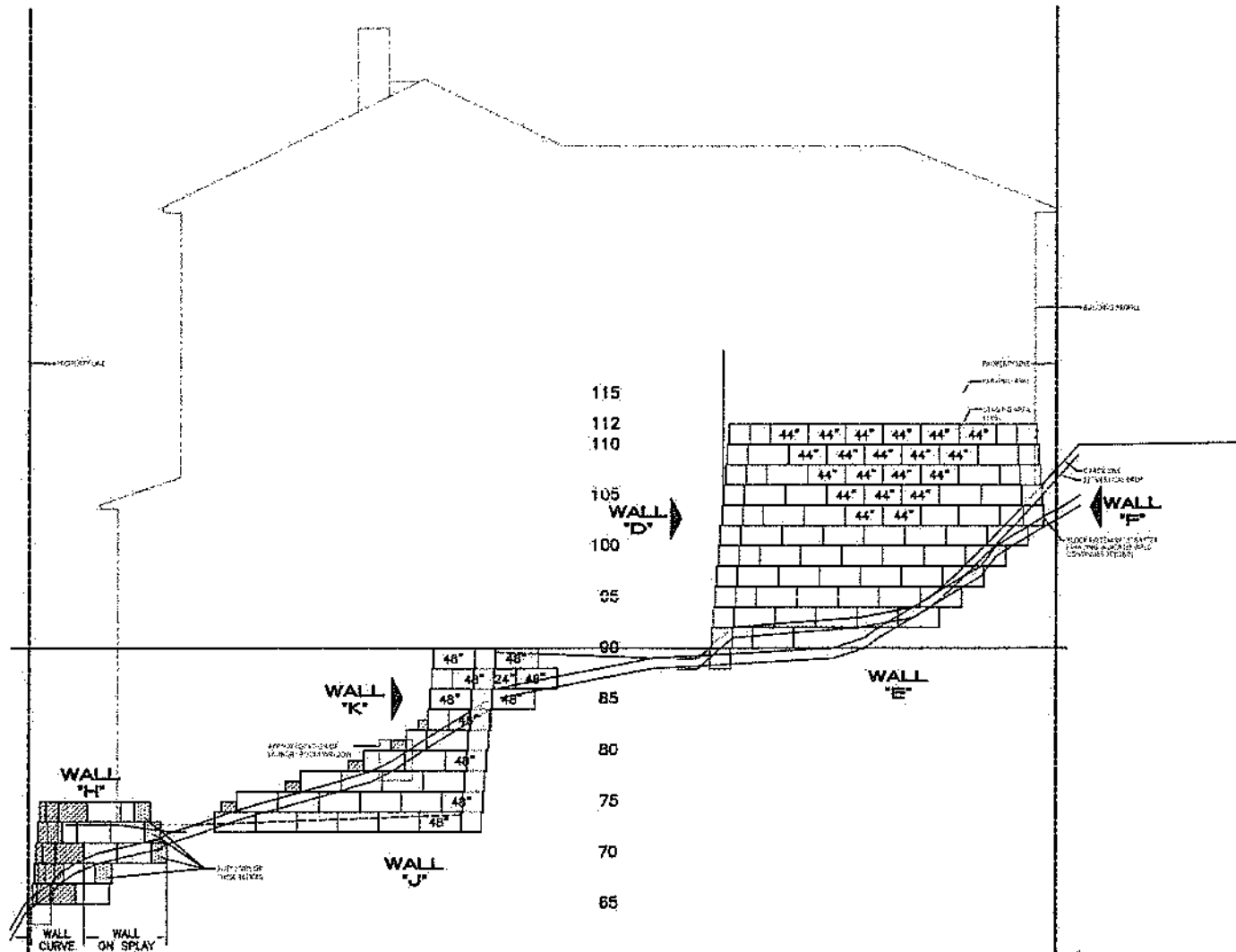
WORLDBLOCK WALL - NORTH ELEVATION
scale: 3/32" = 1'-0"

Gastineau Lodge
Apartments, LLC
TWA (c) 11/28/2023

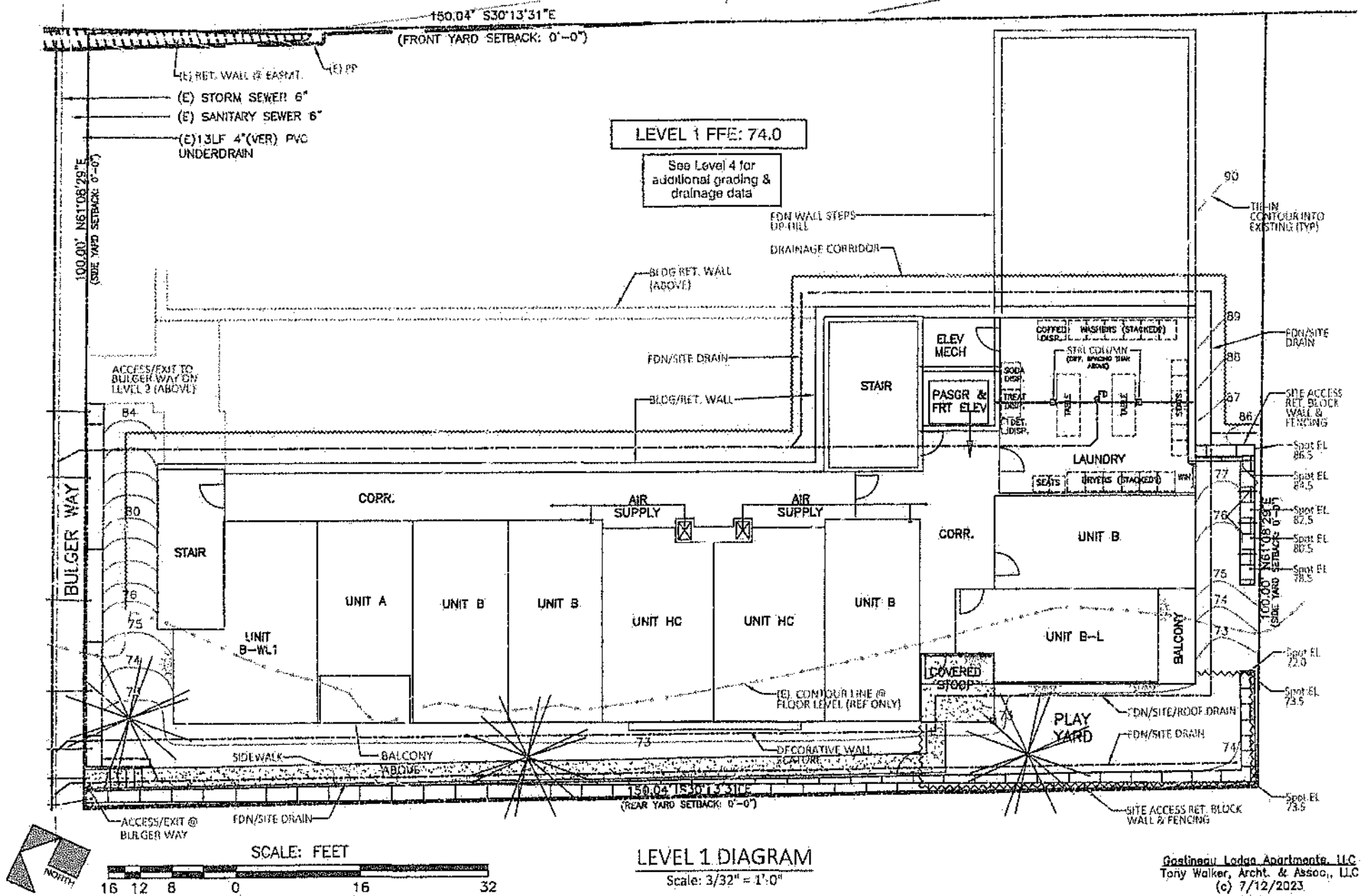


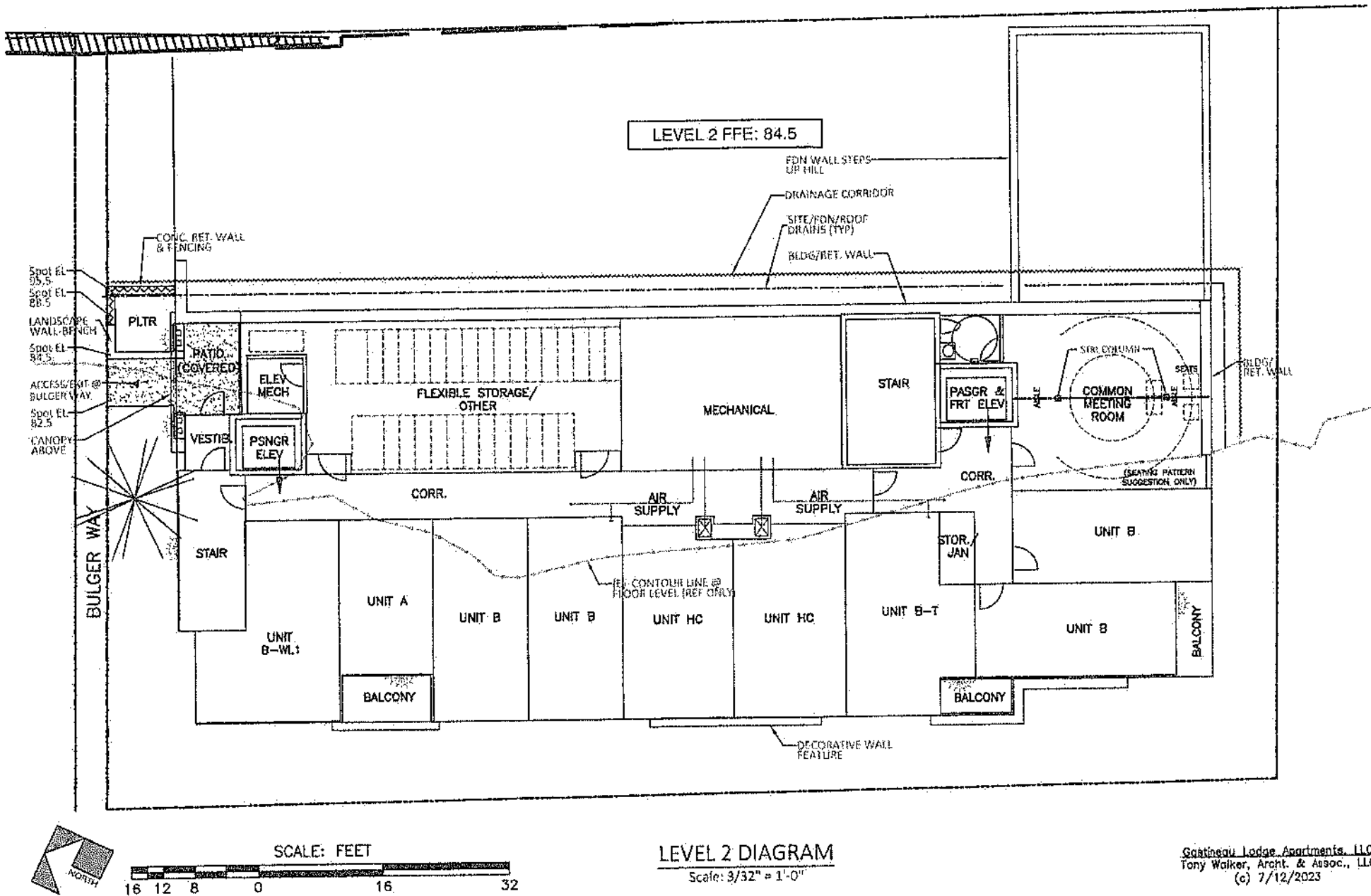
WORLDBLOCK WALL - WEST (OCEANSIDE) ELEVATION
scale: 3/32" = 1'-0"

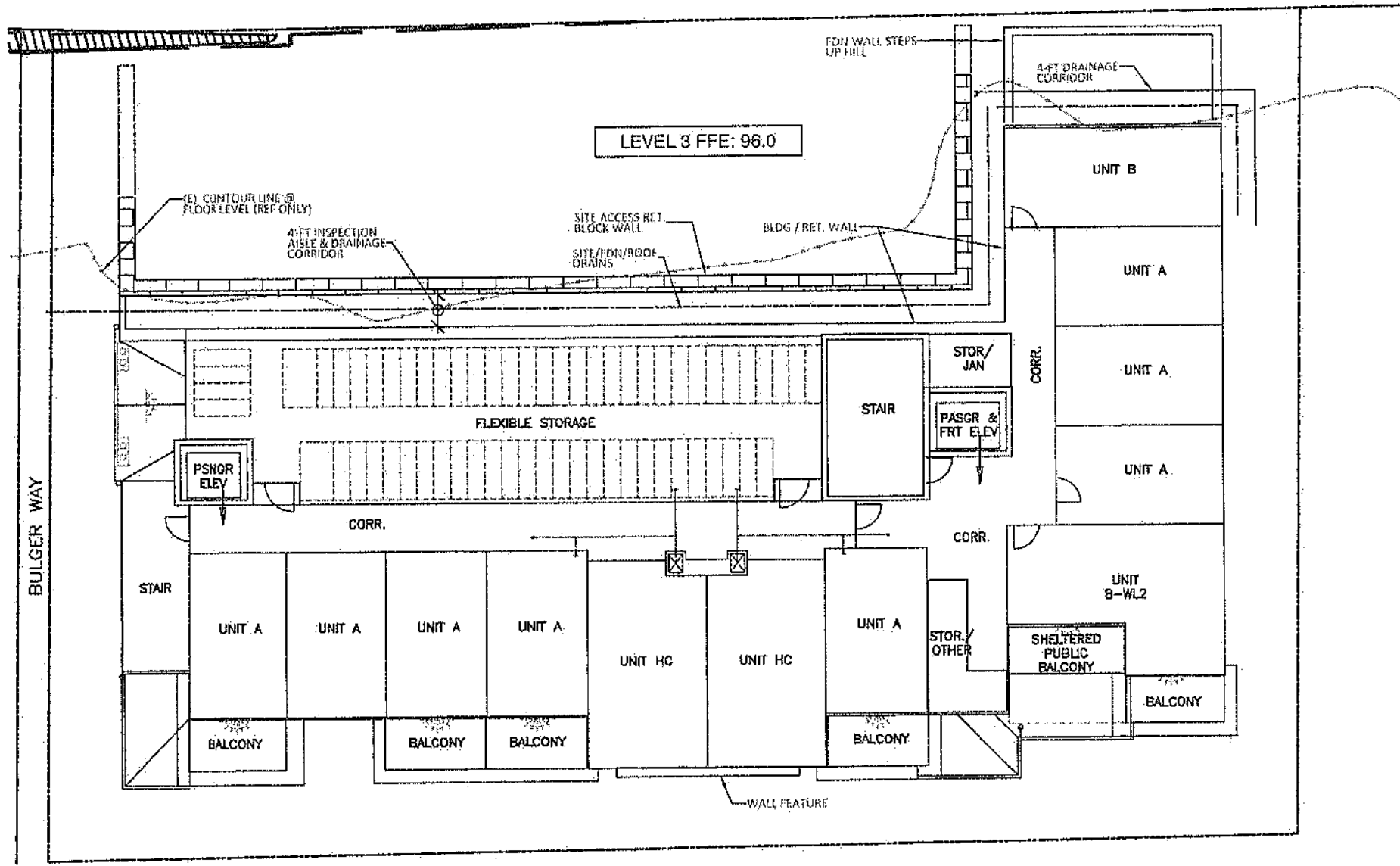
Costineau Lodge
Apartments, LLC
TWA (c) 11/28/2023



WORLDBLOCK WALL - SOUTH ELEVATION
scale: 3/32" = 1'-0"



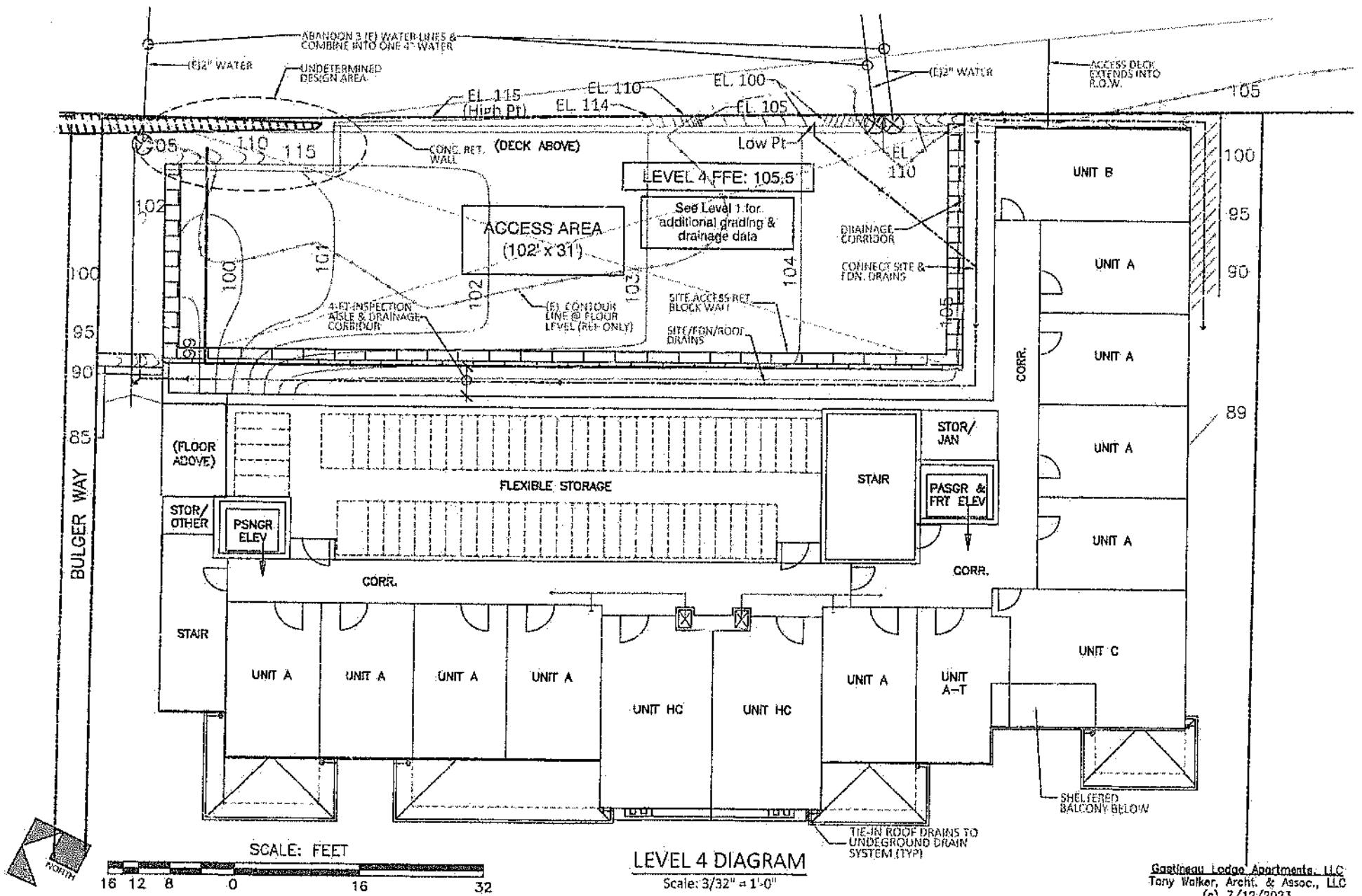




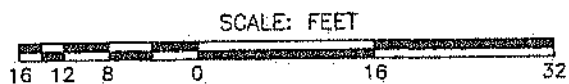
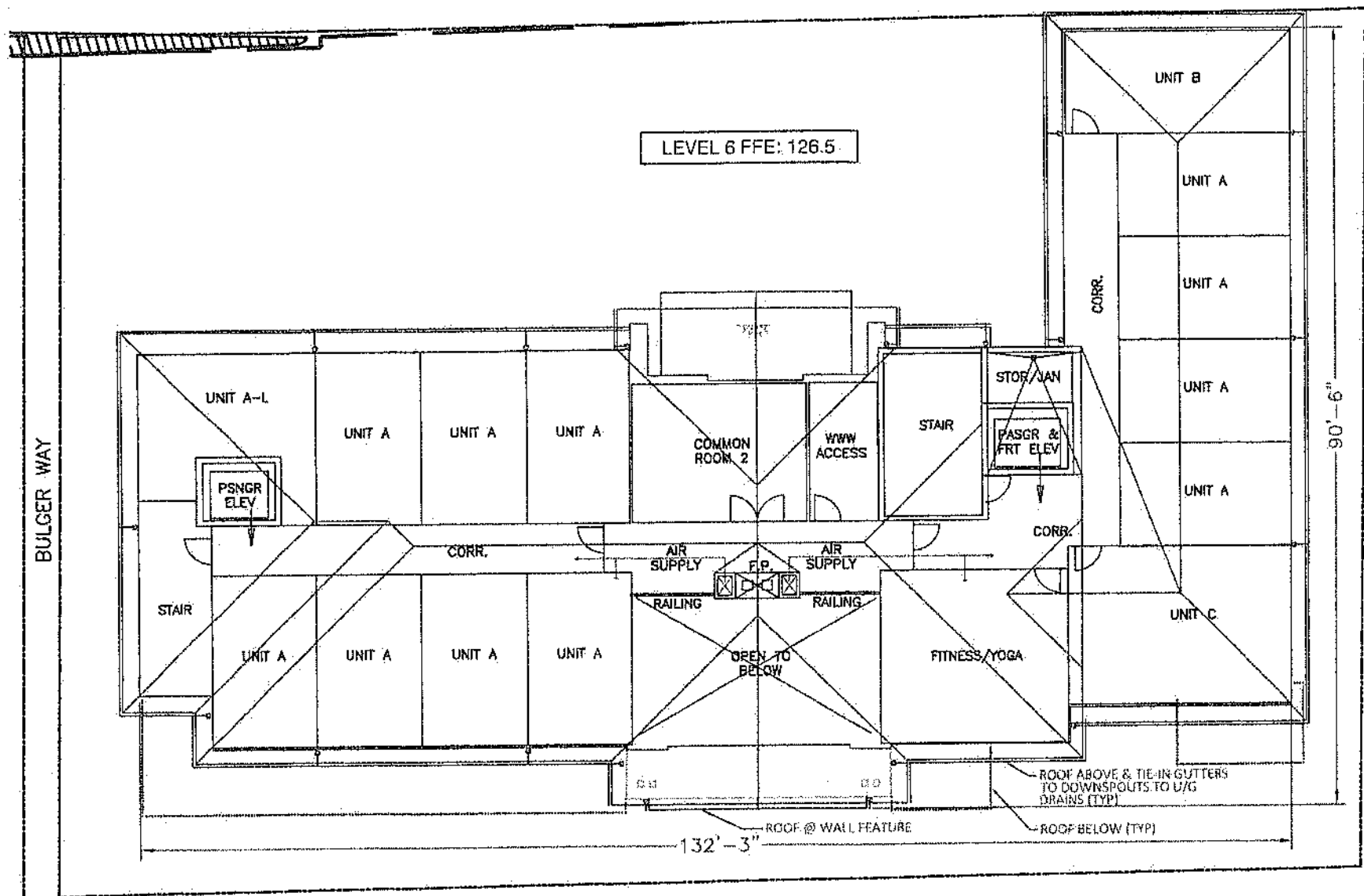
LEVEL 3 DIAGRAM

Scale: 3/32" = 1'-0"

Gastineau Lodge Apartments, LLC
 Tony Walker, Archt. & Assoc., LLC
 (c) 7/12/2023



Gastineau Lodge Apartments, LLC
Tony Walker, Archt. & Assoc., LLC
(c) 7/12/2023



LEVEL 6 DIAGRAM

Scale: 3/32" = 1'-0"

Gastineau Lodge Apartments, LLC
 Tony Walker, Archt. & Assoc., LLC
 (c) 7/12/2023