



**PLANNING COMMISSION STAFF REPORT  
CONDITIONAL USE PERMIT USE2024 0015  
HEARING DATE: AUGUST 13, 2024**

(907) 586-0715

CDD\_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

**DATE:** August 5, 2024  
**TO:** Mandy Cole, Chair, Planning Commission  
**BY:** Ilsa Lund, Planner I *Ilsa Lund*  
**THROUGH:** Jill Lawhorne, Director, AICP

**PROPOSAL:** The Applicant proposes a residential building consisting of 51 Single-Room Occupancy units with private facilities on a 5-acre lot in a General Commercial zone.

**STAFF RECOMMENDATION:** Approval with conditions.

**KEY CONSIDERATIONS FOR REVIEW:**

- Density for General Commercial allows for up to 50 units per acre.
- CBJ 49.25.510(j)(2) specifies that each single-room occupancy with private facilities shall count as one-half of a dwelling unit for purposes of calculating density.
- Units are less than 400 square feet and meet the criteria for Single-Room Occupancies with private facilities.

**ALTERNATIVE ACTIONS:**

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

**ASSEMBLY ACTION REQUIRED:**

Assembly action is not required for this permit.

**STANDARD OF REVIEW:**

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
  - 49.15.330
  - 49.25.510(j)
  - 49.80

GENERAL INFORMATION	
Property Owner	Gastineau Human Services Corporation
Applicant	Gastineau Human Services Corporation
Property Address	5617 Aisek Street
Legal Description	HORN LT 1
Parcel Number	5B1201040060
Zoning	GC- General Commercial
Land Use Designation	Commercial
Lot Size	218,671 sq. ft./ 5.02 acres
Water/Sewer	City and Borough of Juneau
Access	Aisek Street
Existing Land Use	Vacant
Associated Applications	N/A

**The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit.** A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

**SITE FEATURES AND ZONING**



SURROUNDING ZONING AND LAND USES	
North (RR)	Lemon Creek (the water body)
South (GC)	Commercial
East (I)	CCTHITA
West (GC)	Storage Rentals

SITE FEATURES	
Anadromous	Yes, Lemon Creek
Flood Zone	Yes, Zone AE
Hazard	None
Hillside	No
Wetlands	Yes, Riverine
Parking District	No
Historic District	No
Overlay Districts	Mining & Exploration Surface Activities Exclusion District, Urban/ Rural Mining District

**BACKGROUND INFORMATION**

**Project Description** – The applicant is requesting a Conditional Use Permit to construct a 51-unit Single Room Occupancy with Private Facilities (SRO/PF) apartment building. This proposed development is in the Lemon Flats neighborhood of Lemon Creek. This is Phase I of a multi-phase development on a five (5) acre lot in a General Commercial (GC) zoning district.

This development is designed for individuals experiencing a combination of income disparities, recovery, and reentry challenges. This new facility is located adjacent to the existing Gastineau Human Services Corporation (GHS) campus where other GHS services and housing are provided allowing for continuity of care for this vulnerable population group. SRO/PF count as one-half dwelling unit [CBJ 49.25.510(j)(2)]. An SRO/PF is defined as a dwelling unit composed of a private bathroom and a combined kitchen, living, and sleeping area, designed for occupancy by a single person. (CBJ 49.80).

**Background** – According to CBJ Assessor’s Office records, a manufactured home was placed on the lot in 1977 (Attachment B); however, the Horn Tract was originally subdivided in 1982 from a fraction of U.S. Mineral Survey 609 (Attachment C). The tract was a total of 3.77 acres. In 1989, a subdivision was platted creating the Horn Subdivision, adding an additional 1.25 acres to the lot making it the 5.02 acres it is today (Attachment D).

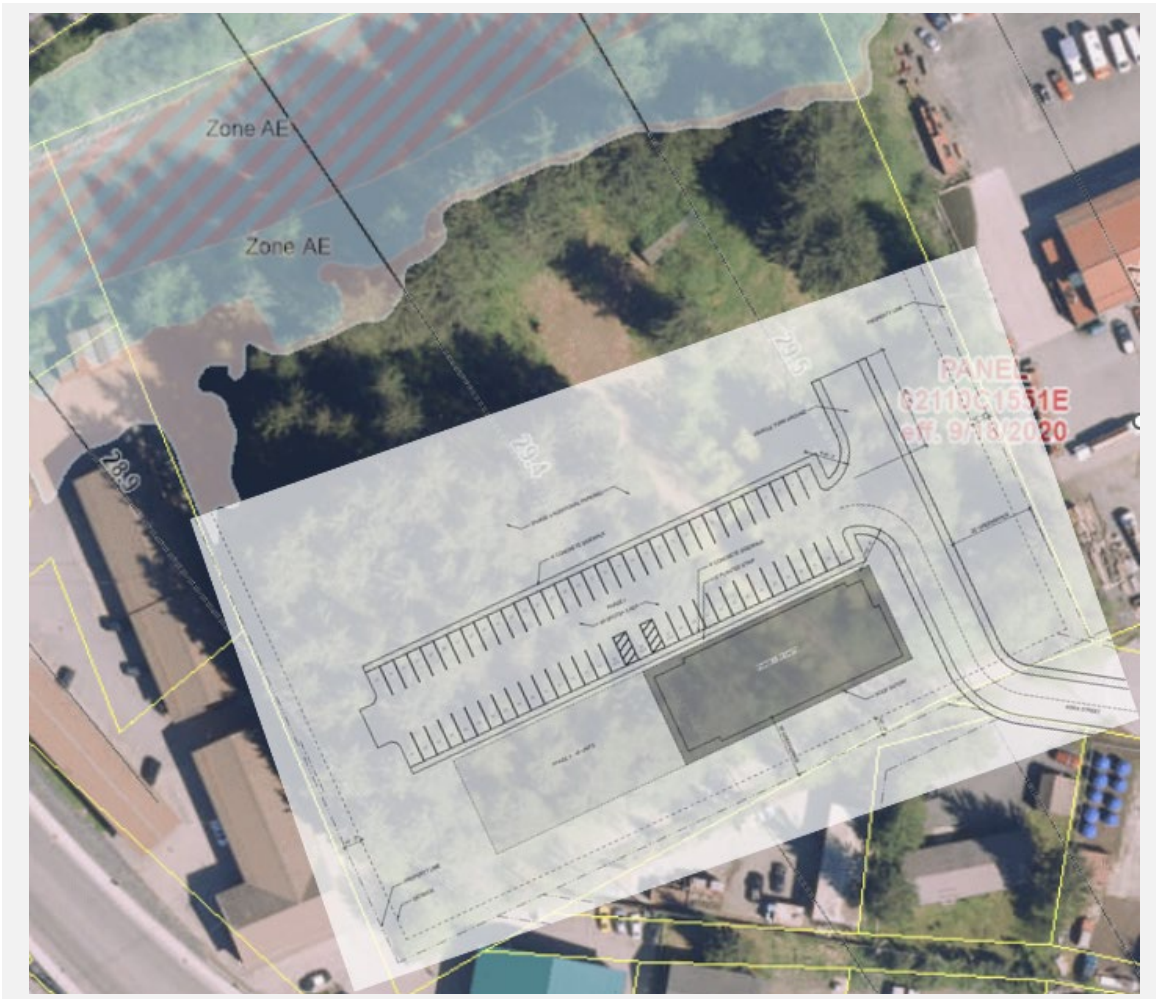
The single-family modular home burned down in 2013 and later that year, GHS acquired the lot and were granted a demolition permit to clear the remnants from the fire (Attachments E, F). The lot has remained vacant, though Assessor’s Office photos from 2016 and aerial imagery from 2023 show that accessory structures remain on the lot (Attachment G).

Date	Item	Summary
1977	File	CBJ Assessor’s Records (Attachment B).
1982	Plat	Original Subdivision of Horn Tract from U.S.M.S. No. 609 (Attachment C).
1989	Plat	Horn Subdivision platted (Attachment D).
2013	Deed	Statutory Warranty Deed from Thomas J. Horn Living Trust to Gastineau Human Services, Corporation (Attachment E).
2013	Permit	Demolition Permit issued to GHS (Attachment F).
2016	Photos	Assessor’s photos showing accessory structures existing on lot (Attachment G).

**ZONING REQUIREMENTS**

Standard		Requirement	Existing	Proposed (Phase I)	Code Reference
<b>Lot</b>	Size	2,000 sq. ft.	218,671 sq. ft.	No change	CBJ 49.25.400
	Width	20 ft.	~436 ft.	No change	CBJ 49.25.400
<b>Setbacks</b>	Front	10 ft.	N/A	35 ft.	CBJ 49.25.400
	Rear	10 ft.	N/A	~412 ft.	CBJ 49.25.400
	Side	10 ft.	N/A	189 ft (W); 96 ft. (E)	CBJ 49.25.400
	Street Side	10 ft.	N/A	N/A	CBJ 49.25.400
<b>Lot Coverage Maximum</b>		N/A	N/A	.004 %	CBJ 49.25.400
<b>Vegetative Cover Minimum</b>		10%	~78 %	>10%	CBJ 49.50.300
<b>Height</b>	Permissible	55 ft.	N/A	3-story	CBJ 49.25.400
	Accessory	45 ft.	N/A	N/A	CBJ 49.25.400
<b>Maximum Dwelling Units (50/Acre)</b>		251 (maximum)	0	26	CBJ 49.25.500/ CBJ 49.25.510(j)(2)
<b>Use</b>		Commercial	Vacant	Residential	CBJ 49.50.300
<b>Parking</b>		N/A	N/A	63	CBJ 49.40.210(a)

**SITE PLAN**



**ANALYSIS**

**Project Site** –The lot is located in Midtown on the bank of Lemon Creek, an anadromous waterbody. The northern lot line extends past the southern riverbank, so approximately 13% of the parcel is Lemon Creek. In accordance with CBJ 49. 70.330(a)-(c), no development is allowed within 50 feet of an anadromous stream except for docks, bridges, culverts, public structures that allow access to or crossing of the waterbody, or a use that must be adjacent to the stream to function. The applicant intends to develop the southern end of the lot closest to where Aisek St. currently terminates, so the anadromous stream restrictions are not foreseen to impact the development proposed under this permit.

**Condition: None.**

**Project Design** – As explained in the project narrative, “the design will utilize trauma-informed design principles, such as removing environmental stresses, supporting self-reliance, providing daylight and connection to nature, providing personal privacy, reinforcing a sense of personal identity, and promoting the opportunity for choice while balancing the needs and safety of others.” Secure bicycle racks will be provided in a covered area, and

security systems will be monitored off-site from a nearby GHS facility. There will be a small workstation in the entrance lobby that will be staffed by GHS employees during certain times of day or occasions.

**Condition: None.**

**Traffic** – Traffic is not expected to be significantly impacted by this development. According to the Institute of Transportation Engineers Trip Generation Manual (9<sup>th</sup> Edition) (ITE Manual), the estimated number of daily trips on a weekday for an apartment building is relatively high (see table below); however, the ITE Manual does not offer “single room occupancy” as a land use. The ITE Manual does state for the land use category “apartments” there is a wide variation in the number of trips generated and that larger dwelling units and more expensive units had a higher rate of trip generation. Given the size of these units and low cost one can assume they would generate fewer trips than the average rates identified in the ITE Manual.

CBJ 49.40.300 states that a traffic impact analysis may be required when a development is projected to generate between than 250 and 500 average trips in a day if the Director determines one is needed because of the type of development, its location, the likelihood of future expansion or other factors found relevant by the Director. Based on the above information and that the site is zoned General Commercial, which allows for diverse and intense uses, the Director determined that a Traffic Impact Analysis is not required.

Use	Total # of Units	Trips Generated	Total Trips
Residential (Apartment)	51	6.65	339.15
<b>Total ADTs:</b>			<b>339</b>

The Lemon Flats neighborhood is relatively walkable, and pedestrian infrastructure has improved significantly since Alaska Department of Transportation and Public Facilities redeveloped Glacier Highway through Midtown by adding bike lanes, roundabouts, and pedestrian crossings with concrete medians (Attachment H). This development is also located within walking distance of multiple bus stops served by the Mendenhall Valley Counterclockwise, Mendenhall Valley Clockwise, and Lemon Creek Commuter routes.

**Condition: None.**

**Vehicle Parking & Circulation** – CBJ 49.40.210 –Table of Minimum Parking Standards requires one (1) parking space per SRO/PF unit and one (1) additional space for every four (4) units, which equates 1.25 parking spaces per unit. For this proposal, 63 parking spaces are required. Of the required 63 parking spaces, three (3) must be ADA accessible, one (1) of which must be ADA van-accessible with an access isle with a width of at least eight (8) feet. The site plan shows 64 parking spaces, three (3) of which are accessible parking spaces.

The site plan indicates that four (4) foot concrete sidewalk between the parking area and the building. In accordance with CBJ 49.40.235(b)(4), wheel stops permanently anchored to the ground must be provided in order to prevent vehicles from overhanging or extending over the sidewalk area. Alternately, expanding the sidewalk to a width of six (6) feet would negate the requirement for wheel stops.

Use	Units	Spaces Required	Total Spaces
Single-Room Occupancy with Private Facilities	51	63	63
<b>Total Parking Requirement:</b>			<b>63</b>
<b>Off-Street Loading Spaces Required:</b>			<b>0</b>
<b>ADA Accessible Spaces Required:</b>			<b>3</b>

**Condition:** Prior to the issuance of a Temporary Certificate of Occupancy, all pavement markings, including directional arrows, wheel stops, parking space stripes, and other markings shown on the project site plan shall be applied to the parking and circulation area as shown on the site plan in a medium designed for such purposes.

**Condition:** Prior to the issuance of a Temporary Certificate of Occupancy, CBJ-approved signage shall be posted for the accessible parking space.

**Noise** – Surrounding development is a mix of commercial, and industrial. The proposed development may be impacted by noise from the surrounding area. At the same time, the proposed development is not expected to create noise impacts to the neighborhood beyond those expected in the general commercial zone.

**Condition: None.**

**Lighting** - Per CBJ 49.40.235(d), parking areas must be suitably lit, and lighting fixtures must be "full cutoff" styles that direct light only onto the project site to minimize impacts to adjacent neighbors. Exterior lighting should also be provided along pedestrian pathways and immediately adjacent to the building. Submitted lighting specifications show full-cutoff lighting. Lighting will be reviewed with a building permit application.

**Condition:** Prior to issuance of a building permit, the applicant shall submit a lighting plan illustrating the location and type of exterior lighting proposed for the development. Exterior lighting shall be designed and located to minimize offsite glare. Approval of the plan shall at the discretion of the Community Development Department, according to the requirements at CBJ 49.40.230(d).

**Vegetative Cover & Landscaping** – The General Commercial district requires 10% of the lot to be maintained with live vegetative cover (CBJ 49.50.300). This equates to roughly 23,709 square feet. Phases I and II of this development will be constructed on the southwestern third of the lot farthest away from Lemon Creek with the remainder of the lot remaining undeveloped for the time being. Additionally, on the latest site plan submitted, there will be a 35 foot greenspace on the southwestern lot line between the adjacent lots and the building, as well as a 28 foot greenspace on the northeastern lot line.

**Condition: None.**

**Habitat** – This lot encompasses approximately 28,744 sq. ft. of Lemon Creek, an anadromous stream. In the 2013 Comprehensive Plan, Lemon Creek is one of the waterbodies listed as impaired within CBJ. Per CBJ 49.70.300, development within 50 feet from the ordinary high water mark (OHWM) is prohibited. Additionally, there is a no-disturbance zone within 25 feet of the OHWM.

**Condition: None.**

**Drainage and Snow Storage** – The project narrative identifies several options for drainage. The narrative details that there is an existing underground storm drain system located at the west end of Aisek St., a distance of approximately 300 feet. Topographic mapping will be conducted to determine if the site is of an adequate elevation to convey storm water by gravity to this existing infrastructure. Alternatively, the parking lot could be graded to allow water to flow onto the undeveloped portion of the lot where it would percolate into the soil.

Snow storage is not addressed in any of the documentation submitted for this application.

General Engineering will evaluate the drainage plan submitted with the building permit.

**Condition: Prior to issuance of a building permit, the applicant must submit a snow removal plan to CDD for approval.**

**Historic District** – This lot is not located within the Historic District.

**Condition: N/A**

**Hazard Zones** – Phases I and II of this development are outside of mapped hazard areas.

The northwest property line extends into Lemon Creek and is in the Special Flood Hazard Area. No development is permitted in the floodway per FEMA regulations. A Flood Zone Development Permit would be required for any development within Zone AE.

**Condition: None.**

**Public Health, Safety, and Welfare** – The proposed development promotes public health, safety, and welfare by providing housing for individuals experiencing income disparities, recovery, and reentry challenges. Additionally, recommended conditions protect the public health, safety, and welfare by ensuring the development complies with the Land Use Code and development standards. The structure meets zoning requirements for height and setbacks and will meet all applicable building code requirements for fire safety. No information has been submitted that suggests the proposal will materially endanger the public health, safety, or welfare.

**Condition: Prior to issuance of a building permit, fire suppression system plans must be submitted.**

**Suppression system design cannot be deferred and should be included in the building permit application.**

**Property Value or Neighborhood Harmony** – The project site is zoned General Commercial. The surrounding areas are zoned Industrial, Rural Reserve, General Commercial, D5, and D15. The surrounding uses are other GHS facilities, commercial, residential, and industrial. The proposed SRO/PF building is in harmony with the existing neighborhood. No information has been submitted that suggests the proposal will reduce property values in the surrounding area.

**Condition: None.**

**AGENCY REVIEW**

CDD conducted an agency review comment period between July 15, 2024, and August 5, 2024. No comments were received.

<b>Agency</b>	<b>Summary</b>
Building Division	No comment received.
General Engineering	No comment received.
Capital City Fire	No comment received.

**PUBLIC COMMENTS**

CDD conducted a public comment period between July 12, 2024, and August 9, 2024. Public notice was mailed to property owners within 500 feet of the proposed development. A public notice sign was also posted on-site two weeks prior to the scheduled hearing. No public comments had been submitted at time of writing this staff report.

**CONFORMITY WITH ADOPTED PLANS**

The proposed development is in general conformity with the 2013 Comprehensive Plan, 2015 Juneau Economic Development Plan, and the 2018 Lemon Creek Area Plan.

<b>PLAN</b>	<b>Chapter</b>	<b>Page No.</b>	<b>Item</b>	<b>Summary</b>
2013 Comprehensive Plan	4	36	Policy 4.1	To facilitate the provision and maintenance of safe, sanitary and affordable housing for its residents.
	4	37	Policy 4.2	To facilitate the provision of an adequate supply of various housing types and sizes to accommodate present and future housing needs for all economic groups.
	4	40	Policy 4.6	To facilitate and assist in the development of affordable housing.
	10	130	Policy 10.2	To allow flexibility and a wide range of creative solutions in residential and mixed use land development of affordable housing within the Urban Service Area.
	10	131	Policy 10.3	To facilitate residential development of various types and densities that are appropriately located in relation to site conditions, surrounding lands uses, and capacity of public facilities and transportation systems.



<b>PLAN</b>	<b>Chapter</b>	<b>Page No.</b>	<b>Item</b>	<b>Summary</b>
	10	140	Policy 10.13	To provide for and encourage mixed use development that integrates residential, retail and office use in downtown areas, shopping centers, along transit corridors and in other suitable areas.
2015 Economic Development Plan	Executive Summary	4	Economic Development Priorities	Promote housing affordability and availability. Support transportation infrastructure-related developments that provide access to developable land.
	5	97	Promote Housing Affordability and Availability	As of 2010, there were only 1,020 affordable housing units. Affordable housing units have been shown to generate jobs and revenue.
	5	98	Housing for the Homeless, Low-Income, and Special Needs Populations	Understanding the housing options available for this population in the community (emergency shelter, transitional housing, permanent supportive housing, and housing choice vouchers) as well as the gaps in the system is vital to community well-being.
2018 Lemon Creek Area Plan	Executive Summary	xviii	Housing	Between 2010 and 2016, the housing stock in Lemon Creek increased by 220 units. The housing stock in this area makes up approximately 9% of CBJ's total dwelling units. Lemon Creek has a slightly lower percentage of vacant dwelling units than CBJ as a whole.
	3	15	Zoning Districts	General Commercial zoning district in Lemon Creek encompass a total of 90 acres. Residential densities ranging from 18 to 60 units per acre are appropriate in this area.
	3	21	Goal 3	Promote a mixed-use environment to ensure a vibrant community and quality neighborhoods.

**FINDINGS**

**Conditional Use Permit Criteria** – Per CBJ 49.15.330 (e) & (f), Review of Director's & Commission's Determinations, the Director makes the following findings on the proposed development:

**1. Is the application for the requested Conditional Use Permit complete?**

**Analysis:** No further analysis required.

**Finding: Yes.** The application is complete.

**2. Is the proposed use appropriate according to the Table of Permissible Uses?**

**Analysis:** No further analysis required.

**Finding: Yes.** The use is appropriate according to Paragraph 1.630 of the Table of Permissible Uses.

**3. Will the proposed development comply with the other requirements of this chapter?**

**Analysis:** No further analysis required.

**Finding: Yes.** With the recommended conditions, the proposed development will comply with Title 49, including parking, lighting, vegetative cover, noise, and habitat protection.

**4. Will the proposed development materially endanger the public health, safety, or welfare?**

**Analysis:** No further analysis required.

**Finding: No.** There is no evidence to suggest that with appropriate conditions, the requested 51-unit SRO/PF building, in a GC zoning district, will materially endanger the public health or safety.

**5. Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?**

**Analysis:** No further analysis required.

**Finding: No.** There is no evidence to suggest that with appropriate conditions, the requested 51-unit SRO/PF building, in a GC zoning district will substantially decrease the value or be out of harmony with the property in the neighboring area.

**6. Will the proposed development be in general conformity with the Land Use Plan, Thoroughfare Plan, or other officially adopted plans?**

**Analysis:** No further analysis required.

**Finding: Yes.** The proposed 51-unit SRO/PF building, with the recommended conditions, will be in general conformity with the 2013 Comprehensive Plan, the 2016 Housing Action Plan, and the 2018 Lemon Creek Area Plan.

**RECOMMENDATION**

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow the development of a 51-unit Single-Room Occupancy with Private Facilities building in a GC zone.

The approval is subject to the following conditions:

1. Prior to the issuance of a Temporary Certificate of Occupancy, all pavement markings, including directional arrows, wheel stops, parking space stripes, and other markings shown on the project site plan shall be applied to the parking and circulation area as shown on the site plan in a medium designed for such purposes.
2. Prior to the issuance of a Temporary Certificate of Occupancy, CBJ-approved signage shall be posted for the accessible parking space.
3. Prior to issuance of a building permit, the applicant shall submit a lighting plan illustrating the location and type of exterior lighting proposed for the development. Exterior lighting shall be designed and located to minimize offsite glare. Approval of the plan shall at the discretion of the Community Development Department, according to the requirements at CBJ 49.40.230(d).
4. Prior to issuance of a building permit, the applicant must submit a snow removal plan to CDD for approval.
5. Prior to issuance of a building permit, fire suppression system plans must be submitted. Suppression system design cannot be deferred and should be included in the building permit application.

**STAFF REPORT ATTACHMENTS**

<b>Item</b>	<b>Description</b>
<b>Attachment A</b>	Application Packet
<b>Attachment B</b>	Assessor’s Records
<b>Attachment C</b>	1982 Plat- HORN TRACT
<b>Attachment D</b>	1989 Plat- Horn Subdivision
<b>Attachment E</b>	2013 Statutory Warranty Deed- Thomas J. Horn Living Trust to GHS
<b>Attachment F</b>	2013 Demolition Permit issued to GHS
<b>Attachment G</b>	2016 Assessor’s Photos
<b>Attachment H</b>	AK DOT&PF Glacier Highway through Lemon Creek Plans
<b>Attachment I</b>	Public Notice Sign Photo and Abutters



# DEVELOPMENT PERMIT APPLICATION

**NOTE:** Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address <b>5617 Aisek St</b>		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <b>HORN LT 1</b>		
	Parcel Number(s) <b>5B1201040060</b>		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER/ LESSEE</b>		
	Property Owner	<b>Gastineau Human Services Corp</b>	Contact Person <b>Jonathan Swinton</b>
	Mailing Address	<b>5597 Aisek St, Juneau AK 99801</b>	Phone Number(s) <b>9077803025</b>
	E-mail Address	<b>jonathan_swinton@ghscorp.org</b>	
	<b>LANDOWNER/ LESSEE CONSENT</b>		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
<b>Jonathan Swinton, Executive Director Landowner</b> _____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ <b>4.3.24</b> Landowner/Lessee (Signature) Date			
_____ Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X _____ Landowner/Lessee (Signature) Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
<b>APPLICANT</b>			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)	<b>SAME</b>		
Mailing Address	Contact Person		
E-mail Address	Phone Number(s)		
X _____ <b>4.3.24</b> Applicant's Signature Date of Application			

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

Intake Initials 
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**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number <b>USE24-015</b>	Date Received <b>7/2/24</b>
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# ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

## PROJECT SUMMARY

We own a 5-acre property that is undeveloped (5617 Aisek St), it currently has no structures on it, just vegetation. We propose to build a 51-unit apartment building designed for those experiencing a combination income disparities, recovery, and reentry challenges. We have the conceptual designs completed and need to get a conditional use permit to move forward with the requirements of some time-sensitive federal and state funding applications for the project. It will be accessible at the end of Aisek Street which leads right to the property, it will naturally fit with our strategic plans to offer a continuum of care for those coming through recovery and reentry programs that we offer who currently lack available affordable permanent housing options. This project advances the housing element of the CBJ Comprehensive Plan, including: 4.1: permanent supportive housing, affordable housing, new rental housing, special needs and adaptive housing and supportive services.

## TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

- Accessory Apartment – Accessory Apartment Application (AAP)  
 Use Listed in 49.25.300 – Table of Permissible Uses (USE)  
 Table of Permissible Uses Category: 1.920

## IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

YES – Case # \_\_\_\_\_  NO

## UTILITIES PROPOSED

WATER:  Public  On Site SEWER:  Public  On Site

## SITE AND BUILDING SPECIFICS

Total Area of Lot 224,622 square feet Total Area of Existing Structure(s) NA square feet  
 Total Area of Proposed Structure(s) 18,072 square feet

## EXTERNAL LIGHTING

Existing to remain  No  Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures  
 Proposed  No  Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

## ALL REQUIRED DOCUMENTS ATTACHED

### Narrative including:

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

*If this is a modification or extension include:*

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

### Plans including:

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

To be completed by Applicant

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES				
	Fees	Check No.	Receipt	Date
Application Fees	\$ 1,600.00			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ 50.00			
Pub. Not. Sign Deposit	\$ 100.00			
<b>Total Fee</b>	<b>\$ 1,750.00</b>			

This form and all documents associated with it are public record once submitted.

### INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
USE24-015	7/2/24

## Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

**Pre-Application Conference:** A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at [permits@juneau.org](mailto:permits@juneau.org).

**Application:** An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
  - A. Site plan, floor plan and elevation views of existing and proposed structures
  - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
  - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
  - D. Existing and proposed lighting (including cut sheets for each type of lighting)
  - E. Existing and proposed vegetation with location, area, height and type of plantings
  - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

**Document Format:** All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

**Application Review & Hearing Procedure:** Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

**Review:** As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

**Hearing:** All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

**Public Notice Responsibilities:** Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

**The Community Development Department** will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

**The Applicant** will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

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**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Project: Gastineau Human Services Permanent Supportive Housing  
Subject: Planning and Design Narrative  
By: Zane Jones AIA; Paul Voelckers AIA  
Date: Rev June 28, 2024

MRV 2408

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## PLANNING AND DESIGN NARRATIVE

MRV Architects has completed Schematic design documents for the Gastineau Human Services (GHS) Permanent Supportive Housing project. Current architectural drawings, including site plan and building plans by floor, are attached with this package. The Owner intends to begin construction late in the fall of 2024, if remaining grant funds are secured. Dawson Construction has been selected as the Contractor.

### OVERVIEW OF NEW BUILDING

The proposed design includes 51 residential SRO (single resident) units in a three-story building. Support spaces include the entry lobby, elevator, tenant storage space, janitor's closet, laundry room, data/IT room, and mechanical space. The new facility is located adjacent to the existing GHS campus, where other GHS services and housing are provided.

The residents of the facility will be those in substance abuse recovery. The design will utilize trauma-informed design principles, such as removing environmental stresses, supporting self-reliance, providing daylight and connection to nature, providing personal privacy, reinforcing a sense of personal identity, and promoting the opportunity for choice while balancing the needs and safety of others. These principles will be addressed through construction details controlling sound transmission, provisions of views, and comfortable site features and buffers.

Access to the facility will utilize one primary entrance with a second emergency egress located off a stairwell at the building end. Video security systems covering both exterior and interior spaces will be monitored by GHS staff from a nearby facility. The building will include a small workstation for staff inside the main entrance, allowing the potential for staff control at certain times of operation.

The exterior of the building will include metal siding and fiberglass windows. Visual emphasis will focus on the entry, which incorporates covered protection from the elements. Space for secure bike racks will be in this covered area. The entry vestibule interior space will have walk-off mats, tackboard for messaging, and secure mailboxes.

## PROPERTY AND SITE CONDITIONS

The new building site is accessed off of Aisek Street with a street extension. The site parcel is Horn Lot 1, 5617 Aisek St, Juneau AK 99801. The site measures 218,671 sq.ft., or 5.02 acres.

The property is currently undeveloped with attractive stands of mature spruce, hemlock, and alder forest. It is abutted on the northern side by Lemon Creek, the west side by unrelated commercial development, the east side by new Tlingit/Haida commercial facilities including kitchen, and on the south side by existing GHS buildings and parking development.

## CDD PLANNING AND DESIGN REQUIREMENTS

The zoning for the site is GC (General Commercial). The lot size substantially exceeds the minimum dimensional standards of 2,000 sq.ft. GC zoning standards require a minimum setback on development of 10' on all sides, and a maximum height of 55'. These requirements are comfortably met with the building and site as illustrated.

Per CBJ 49.25.500, housing unit density allowed for GC is 50 units per acre. Per footnote J-2, SRO units count as one half of a dwelling unit for density calculations. Phase I dwelling units would therefore calculate as 26 units, on a parcel sized for (50x5.02) or 251 units.

Per CBJ 49.400.210, parking required for SRO development is one per unit, plus 1 additional for each four SRO units. For 51 units, the calculated parking would be 51+13 or 64 units. The phase I parking lot contains 64 striped vehicle stalls with three accessible vehicle stalls, one with an 8' van aisle. For fire truck and emergency vehicles, a T-style emergency vehicle turn around is provided.

5' wide concrete sidewalks will be constructed on each side of the 24' wide paved access road accessing the new GHS housing project. The new sidewalks would connect to the existing sidewalks located on Aisek Street.

A projected Phase II expansion is also illustrated on the site plan and should be evaluated as part of the current review and application process. Phase II expansions would add an additional 48 SRO units. The Phase II plan has been coordinated to work with the Phase I entry, elevator, and access control.

The extension of Aisek Street onto the new property will be a private driveway after crossing the property line. However, it will be constructed to meet CBJ standards for both dimensions and construction details. Future development of the remainder of Horn Lot 1 beyond Phase I and Phase II housing is uncertain. If it happens, that will likely involve the subdivision of the current large parcel into two or more future lots, accessed by a street which is then converted to CBJ ROW, and made otherwise compliant with CBJ subdivision requirements.

## BUILDING and PARKING LOT SITE PREPARATION

The finish floor of the structure will be located above the Lemon Creek flood zone AE elevation of 29.50'. Site geotechnical analysis will be performed to confirm the bearing



capacities of the underlying soils. It is assumed that building foundations will utilize a first floor slab on grade with deepened perimeter edge.

#### **SITE CIVIL/MECHANICAL AND ELECTRICAL UTILITIES**

CBJ public sanitary sewer, domestic/fire water, and storm sewer underground utilities currently exist at the west end of Aisek Street. It is assumed that this project will connect to the existing CBJ underground utilities in Aisek Street with appropriate buried services as detailed following.

Power, telephone, television cable and fiber optic lines exist near Aisek Street in above ground and underground configurations.

#### **WATER SUPPLY**

An existing CBJ 8" DIP water main is in Aisek Street, capped just outside of the existing cul-de-sac. A new tee fitting with 6" gate valve with transition fittings will be connected to the existing 8" ductile iron water main at the end of Aisek Street. New 8" HDPE water line with transition fittings will provide domestic water and fire protection water to the new GHS Support Housing is recommended. The distance of new 8" HDPE water line will be approximately 275'.

#### **SANITARY SEWER**

Collection of wastewater from the new GHS Support Hosing building will discharge by gravity sewer methods from the southeast corner of the building. An existing sanitary sewer manhole structure is located at the end of Aisek Street. A new 6" PVC sanitary sewer service with sewer cleanouts spaced at 100' intervals would then connect to the existing sanitary sewer manhole. Approximately 270 lineal feet of 6" PVC sanitary sewer, SDR 35 pipe is required to make the connection from the new building to the existing sanitary sewer manhole. A 6" diameter sanitary sewer cleanout will be located 5' from the building wall. Once the wastewater enters the existing sanitary sewer mainline pipe it flows by gravity to Anka Street and then to the CBJ Lemon Creek lift station and eventually to the CBJ Thane wastewater treatment plant where the waste will be treated.

#### **STORM SEWER**

An existing underground storm drain system is located at the west end of Aisek Street which, until topographic mapping is complete, it is not known if there will be adequate elevation drop to convey the storm water by gravity methods. The existing storm drain pipes at the end of Aisek Street are conveyed through an existing 18" CPP outfall pipe that discharges to Lemon Creek. The parking lot could be graded to allow the storm water to sheet flow off the parking lot into the existing undeveloped area where it would percolate into the existing sand/gravel soils. Roof gutter downspouts from the building would be collected in a perimeter 6" diameter PVC drain and routed to the existing underground storm drain system on Aisek Street, a distance of approximately 300'. All storm drain structures and pipes will be installed per current CBJ Engineering Department Standard Specifications and Details.

## SITE LIGHTING

All exterior lighting for the project will include fixtures designed for carefully controlled cut-off illumination which avoids meaningful light spill into adjoining properties. Code-required illumination levels for walkways and parking will be met, with attractive and obvious lighting emphasis at entry areas.

## POTENTIAL SITEWORK PERMITS

The following is a list of potential development permits that may be required for this project:  
State of Alaska Permits:

1. Alaska Department of Environmental Conservation (ADEC) for Storm Water Pollution Prevention Plan (SWPPP). Environmental Protection Agency (EPA), Section 402/40 CFR 125, National Pollutant Discharge Elimination System (NPDES) Nationwide Permit Compliance. (Storm Water Pollution Prevention Plan, Notice of Intent, Notice of Termination).
2. ADEC Storm Water Pollution Prevention Plan (SWPPP) as area of disturbance is anticipated to be greater than 1 acre.

CBJ: The following is a list of development permits that most likely will be required from the City and Borough of Juneau:

- CBJ Conditional Use Permit
- CBJ Allowable Use Permit
- CBJ Grading and Drainage Permit
- CBJ Building Permit
- Flood Plain Elevation Certificate

## ENERGY EFFICIENCY

The project is detailed for high energy efficiency. The building will be designed to achieve 6-star BEES certification for substantial energy savings. The 6-star envelope will utilize an insulated 2x6 stud wall in combination with 4" of rigid exterior insulation. The wall system will achieve approximately R30 insulation value. Roofing will be a fully adhered membrane over TJI joists. The joists will have full 12" batt insulation with an additional 2" foil-faced PIC rigid board insulation on the interior. The hot roof will achieve R55 roof insulation value. The slab on grade will meet an R20 minimum value, with 4" EPS below the concrete slab. All these values surpass code minimums for the region. Windows and glazed openings will be upgraded to high performance tripled glazing with fiberglass frames. The building will be wrapped in corrugated metal siding for durability. Dawson construction may substitute an exterior insulated metal panel system over the stud walls, depending on best installed pricing.

## NOISE TRANSMISSION

Shared walls and floors will surpass IBC building code requirements and meet all federal guidelines with a target STC and ITC rating of at least 50. Corridors will utilize acoustic ceilings to mitigate sound reverberation. Doors and openings will include commercial seals

and sweeps which improve sound control. Ducting will be controlled and isolated to avoid "cross-talk" between units.

#### UNIVERSAL DESIGN & ADA

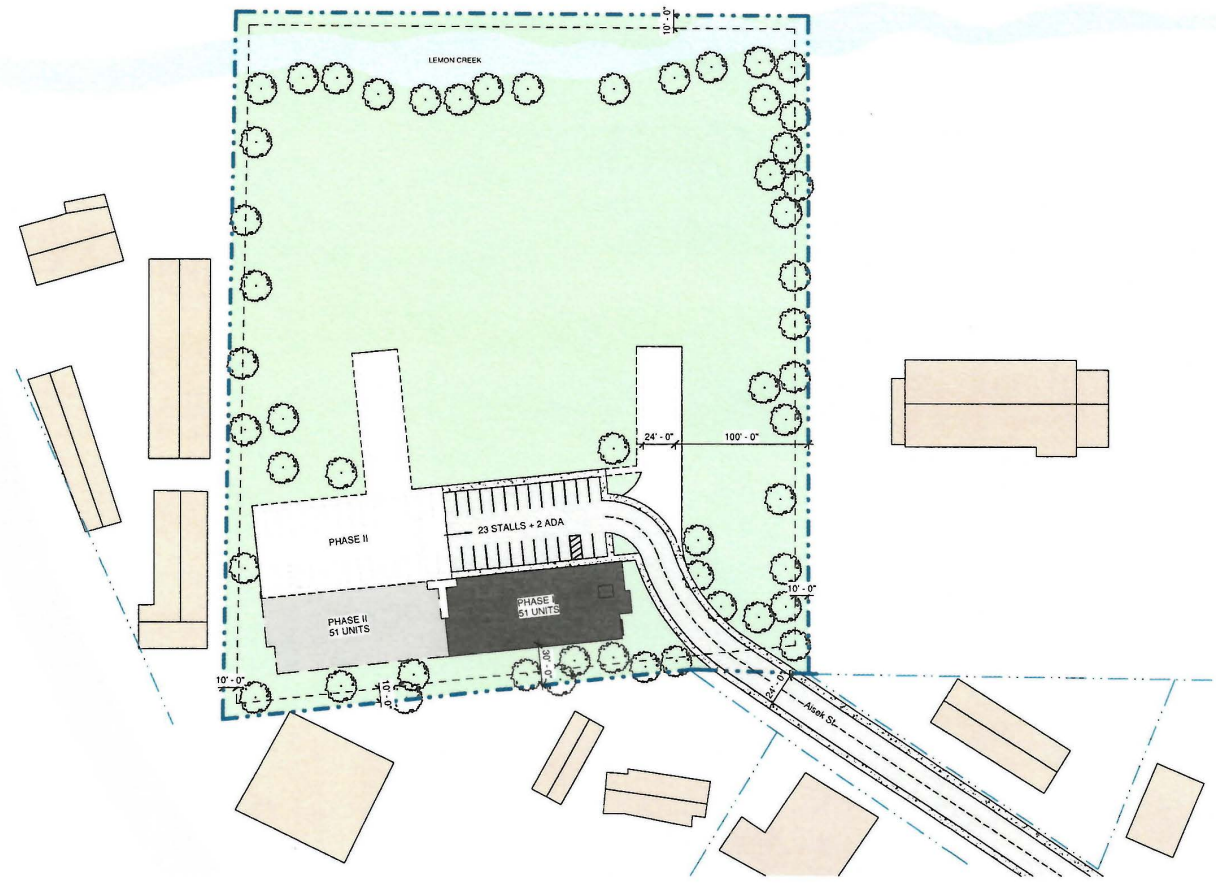
All resident units in the building will be designed to meet ADA guidelines and ICC/ANSI A117.1 for accessibility and universal design in layout. A minimum of 25% of the units will be further improved to provide ADA "equipped units." In addition to meeting ADA guidelines, these equipped units will include grab bars, roll-under counters, bathrooms with roll-in or seated shower stalls or tubs, and other applicable equipment for persons with hearing or vision disabilities.

Equipped units will comply with the design requirements noted in Section 504 of the Rehabilitation Act of 1973's Uniform Federal Accessibility Standards (UFAS). In addition to equipped units, one unit on each floor will surpass standard ADA design and will follow the US Fair Housing Act Design Manual and meet the requirements of the "U.S. Department of Housing & Urban Development Office Of Fair Housing & Equal Opportunity UFAS Accessibility Checklist" as required.

END OF NARRATIVE

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**1 SITE PLAN**  
 1" = 40'-0"  
 0' 2' 4' 8'



MRV ARCHITECTS  
 1420 GLACIER AVE #101  
 LUNEAU, AK 99861  
 907-586-1371  
 FAX 907-461-3544  
 mrv@mrvarchitects.com

MRV # 2408

SCHEMATIC DESIGN  
**GHS SUPPORTIVE HOUSING**  
 GASTINEAU HUMAN SERVICES

No.	Description	Date

SHEET TITLE:  
**SITE PLAN**

DATE: 04.29.2024  
 DRAWN: MRV  
 CHECKED: PV

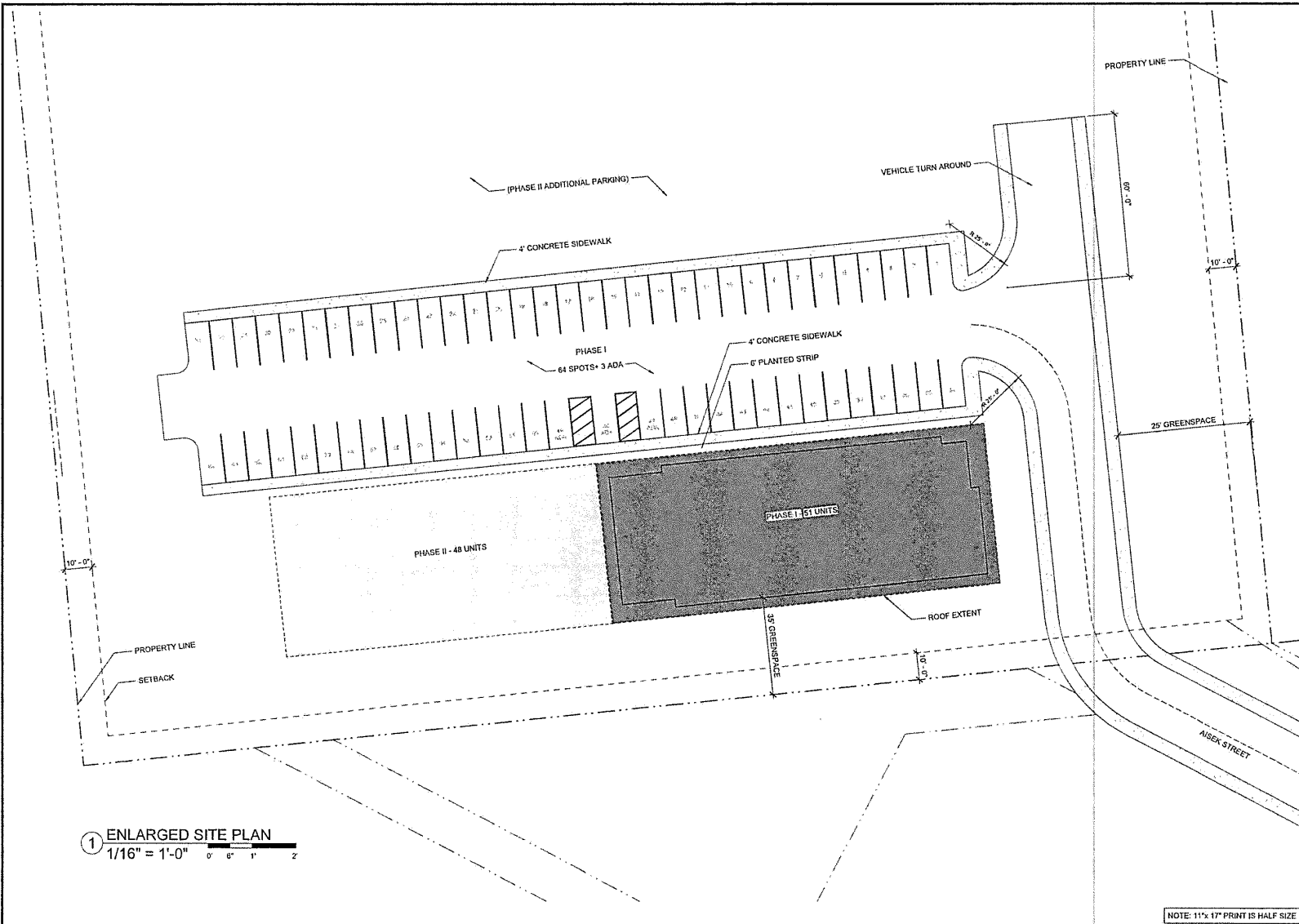
SHEET NO.

**A100**

NOTE: 11x 17" PRINT IS HALF SIZE

Attachment A - Application Packet

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① ENLARGED SITE PLAN  
1/16" = 1'-0"

NOTE: 11"x 17" PRINT IS HALF SIZE



**MRV ARCHITECTS**  
ARCHITECTS

MRV ARCHITECTS  
1420 CLAYTON AVE. #101  
JUNEAU, AK 99801  
907-586-1371  
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mrv@mrvarchitect.com

MRV #241K

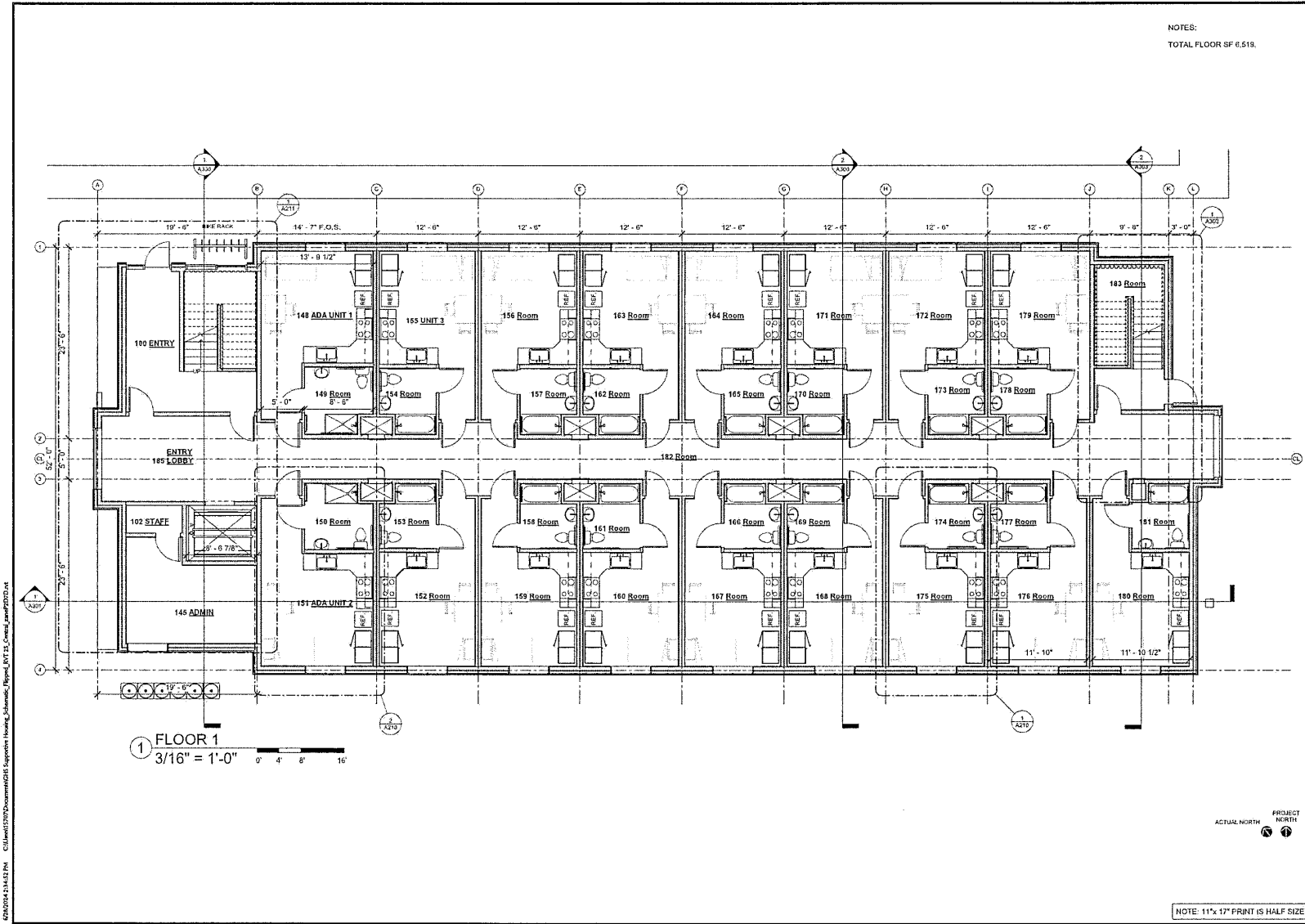
SCHEMATIC DESIGN  
**GHS SUPPORTIVE HOUSING**  
GASTINEAU HUMAN SERVICES

No.	Description	Date

SHEET TITLE:  
ENLARGED SITE PLAN

DATE: 04.29.2024  
DRAWN: MRV  
CHECKED: RV

SHEET NO.  
**A101**



NOTES:  
TOTAL FLOOR SF 6,519.



**MRV**  
ARCHITECTS  
INC.

MRV ARCHITECTS  
1420 CALMOR AVE. #101  
JUNEAU AK 99901  
907-586-1371  
FAX 907-463-5544  
mrv@mrvarchitect.com

MRV # 2108

SCHMATIC DESIGN  
**GHS SUPPORTIVE  
HOUSING**  
GASTINEAU HUMAN SERVICES

No.	Description	Date

SHEET TITLE:  
FLOOR PLAN 1

DATE: 04.29.2024

DRAWN: MRV

CHECKED: PV

SHEET NO.

**A201**

NOTE: 11"x 17" PRINT IS HALF SIZE

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(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

## GHS Apartments

Case Number: PAC2024 0033  
 Applicant: Jonathan Swinton  
 Property Owner: Gastineau Human Services Corporation  
 Property Address: 5617 Aisek Street  
 Parcel Code Number: 5B1201040060  
 Site Size: 218,671 sq. ft./ 5.02 acres  
 Zoning: General Commercial (GC)  
 Existing Land Use: Vacant

Conference Date: May 30, 2024  
 Report Issued: June 7, 2024

**DISCLAIMER:** Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

## List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Ryan Kauzlarich Jonathan Swinton Colter Nubson Paul Voelckers	Applicant	<a href="mailto:Ryan.Kauzlarich@ghscorp.org">Ryan.Kauzlarich@ghscorp.org</a> <a href="mailto:Jonathan.Swinton@ghscorp.org">Jonathan.Swinton@ghscorp.org</a> <a href="mailto:Colter@mrvarchitects.com">Colter@mrvarchitects.com</a> <a href="mailto:Paul@mrvarchitects.com">Paul@mrvarchitects.com</a>
Ilsa Lund Joseph Meyers	Planning	<a href="mailto:Ilsa.Lund@juneau.gov">Ilsa.Lund@juneau.gov</a> <a href="mailto:Joseph.Meyers@juneau.gov">Joseph.Meyers@juneau.gov</a>
Jeff Hedges	Building	<a href="mailto:Jeffrey.Hedges@juneau.gov">Jeffrey.Hedges@juneau.gov</a>
Paul Beck	General Engineering	<a href="mailto:Paul.Beck@juneau.gov">Paul.Beck@juneau.gov</a>
Theresa Ross	CCFR – Fire Marshal	<a href="mailto:Theresa.Ross@juneau.gov">Theresa.Ross@juneau.gov</a>
Sydney Hawkins	Permitting	<a href="mailto:Sydney.Hawkins@juneau.gov">Sydney.Hawkins@juneau.gov</a>

Revised 5/07/2021

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## Conference Summary

### Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

### Project Overview

The applicant proposes a phased development of two (2) single room occupancy (SRO/PF), three-story buildings on a five (5) acre lot in a General Commercial zoning district. Each proposed building has a total of 51 units, for an overall development of 102 new SROs.

### Planning Division

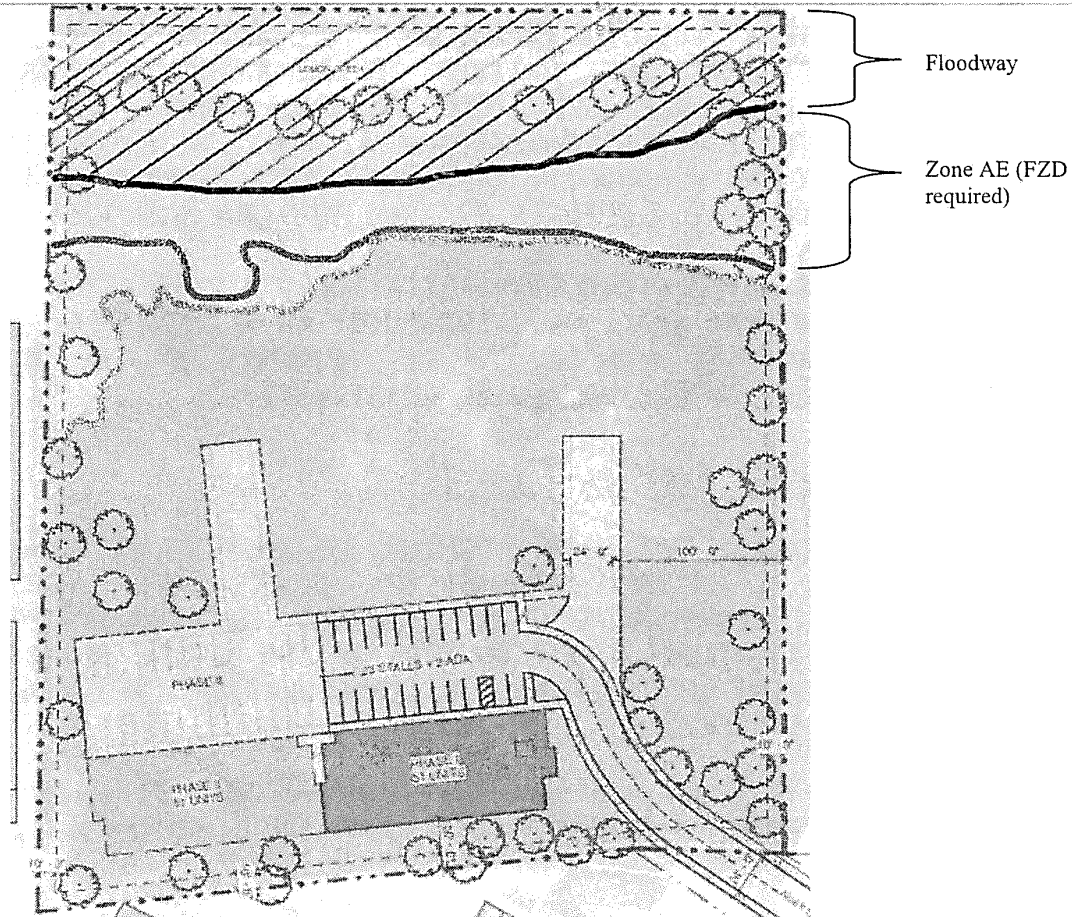
1. **Zoning** – General Commercial (GC)
2. **Table of Permissible Uses** – 1.630- Single room occupancies with private facilities. (1,3)  
Because this is a phased development proposing a total of 102 SROs with private facilities, this project is considered a major development and a Conditional Use Permit will be required.
3. **Subdivision** – N/A for this proposal. For possible future subdivisions, please note the floodway and anadromous stream setback requirements.
4. **Setbacks** – GC zoning district requires a 10-foot setback on all sides; however, in accordance with CBJ 49.70.330, a 50-foot setback from the ordinary high water mark of an anadromous stream is required.
5. **Height** – 55-foot maximum
6. **Access** – Extension/ private driveway built to CBJ standards of Aisek St.
7. **Parking & Circulation** – 64 parking spaces are required for the first phase of development; 128 parking spaces are required for full build-out. However, the applicant has indicated that a Parking Waiver will be pursued to reduce parking to one space per two units for a total of 26 spaces per phase, and 52 spaces at full project build-out.
8. **Lot Coverage** – N/A for GC
9. **Vegetative Coverage** – 10% of 218,671 sq. ft = 21,867 sq. ft. of vegetative cover required.
10. **Lighting** – Exterior lighting may not shed light or glare above the roofline of the building or beyond the property line of the site. Industrial and exterior lighting shall not be used in a manner that produces glare on public highways or neighboring property.  
  
Prior to issuance of a building permit, the applicant shall submit a lighting plan illustrating the location and type of exterior lighting proposed for the development. Exterior lighting shall be designed and located to minimize offsite glare. Approval of the plan shall at the discretion of the Community Development Department, according to the requirements at §49.40.230(d).  
  
All exterior lighting fixtures shall be of a “full cutoff” design.
11. **Noise** – Noise is anticipated to be in keeping with General Commercial zoning.
12. **Flood** – The northwest (rear) property line extends to the opposite bank of Lemon Creek, so this lot encompasses approximately 31,370 square feet of the creek. Per FEMA regulations, no development is

permitted in the floodway. Flood zone AE would require a Flood Plain Development (FZD) permit application; however, anadromous stream setbacks would also apply. See "Habitat" section below.

13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – N/A

14. **Wetlands** – N/A

15. **Habitat** – Lemon Creek is an anadromous stream, which requires a 50 foot no-disturbance development buffer. While this proposed development will be well outside of the mandatory setback, lot subdivision was mentioned in the project narrative.



Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.

16. **Plat or Covenant Restrictions** – From Plat 89-45 for HORN SUBDIVISION:

3. ALL FUTURE CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CITY AND BOROUGH OF JUNEAU CODES AND OTHER REGULATIONS PERTAINING TO REQUIRED SETBACKS RELATIVE TO LEMON CREEK FOR DISTURBANCE AND CONSTRUCTION ACTIVITIES ALONG WITH NECESSARY FINISHED FLOOR ELEVATIONS WITHIN A FLOOD HAZARD BOUNDARY.
4. PORTIONS OF THIS PROPERTY APPEAR TO BE WITHIN THE AREA OF 100-YEAR FLOOD AS SHOWN ON PANEL 885 OF 1050, FLOOD INSURANCE RATE MAP, NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 4, 1981, AS PREPARED FOR THE CITY AND BOROUGH OF JUNEAU, ALASKA. THE BASE FLOOD ELEVATION VARIES BETWEEN 27' AND 30' (M.L.L.W.).
5. PRIOR TO ANY CONSTRUCTION ACTIVITIES, A WASTEWATER FACILITY PLAN SHALL BE PREPARED BY AN ALASKAN REGISTERED CIVIL ENGINEER AND SAID PLANS APPROVED BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

A. WASTEWATER DISPOSAL - LOT 1

NO SEWAGE TREATMENT OR DISPOSAL SYSTEM SHALL BE PERMITTED ON LOT 1 OF THIS SUBDIVISION UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THESE SYSTEMS.

17. **Traffic** – The applicant does not believe that traffic will be greatly impacted and expect the majority of the residents to utilize the public transit system and intend to pursue a parking waiver thusly. The nearest public transit stop is located approximately 230 feet from the property.
18. **Nonconforming situations** – N/A
19. **Building** – For Building Permit, supply plans designed by Alaska licensed design professionals for all trades.
20. **Outstanding Permits** – No outstanding permits.

**General Engineering/Public Works**

21. **Engineering** – No comments at this time.
22. **Drainage** – If possible, the applicant shall direct drainage away from Lemon Creek. If this cannot be avoided, mitigation shall be required.

23. **Utilities** – A site plan showing plans for cul-de-sac and underground utilities are required for submission and review.

#### **Fire Marshal**

24. **Fire Items/Access** – Suppression system plans must be submitted with the building permit application. Suppression system design cannot be deferred.

Fire Department access- IFC 2021 503- this is the requirement to provide emergency services access and leads into the two points of access- (IFC 2021 D106) (100 units drives the two points of access, an approved turn around with under 100 units (D102). I would strongly recommend looking at the two points of access for future expansion.

Hydrant locations- fire flow requirements IFC 2021 B105, hydrant location and spacing IFC 2021 C102 & C103 table C102., there must be a hydrant located within the required spacing which looks like would be at the top of their new driveway. However during design, they need to review IFC 2021 requirements for fire flow and hydrant location and spacing and provide this information on the site plan.

Sprinkler system- IFC 2021 903.2.8 (13R 903.3.1.2) this system is required based on the occupancy type and needs to be submitted for review and approval, this is a required system therefor cannot be a deferred submittal.

Fire Alarm system- IFC 2021 907.2.9 this system is required based on the occupancy type and needs to be submitted for review and approval, this is a required system therefor cannot be a deferred submittal.

Portable fire extinguishers- IFC 2021 906.1- one 10 ABC minimum required in each unit.

Knox Box IFC 2021 506- needs to be provided and in an approved location.

#### **Other Applicable Agency Review**

25. Possibly DNR / USF&W / F&G

#### **List of required applications**

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application for each application submitted
2. Conditional Use Permit
3. Parking Waiver Permit

#### **Additional Submittal Requirements**

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.

#### **Exceptions to Submittal Requirements**

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

### **Fee Estimates**

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Development Permit Application (for each application submitted) – N/A
2. Parking Waiver Permit (\$400 reduced by 20% per CBJ 49.85.100(21)) – \$320
3. Conditional Use Permit (Class V- Residential Structures over 60 dwelling units) – \$1,600
4. Public Notice Sign Preparation fee – \$50
5. Public Notice Sign Deposit – \$100 (Refundable if returned in a timely manner, exact date will depend on the hearing date)

For informational handouts with submittal requirements for development applications, please visit our website at [www.juneau.org/community-development](http://www.juneau.org/community-development).

### **Submit your Completed Application**

You may submit your application(s) online via email to [permits@juneau.gov](mailto:permits@juneau.gov)

OR in person with payment made to:

City & Borough of Juneau, Permit Center  
230 South Franklin Street  
Fourth Floor Marine View Center  
Juneau, AK 99801

Phone: (907) 586-0715

Web: [www.juneau.org/community-development](http://www.juneau.org/community-development)

### **Attachments:**

- 49.70 Article IV – Flood Hazard Areas
- 49.15.330 – Conditional Use Permit

### **Applications:**

- Development Permit Application
- Conditional Use Permit Application
- Parking Waiver Application

**ARTICLE IV. FLOOD HAZARD AREAS\***

**49.70.400 Floodplain.**

(a) *Purpose.* The purpose of this article is to promote the public health, safety, and general welfare and to minimize public and private losses due to flood conditions in specific areas. Other purposes are to:

(1) Reserved;

*\*Cross reference—*Building regulations, tit. 19.

- (2) Prevent the erection of structures in areas unfit for human usage by reason of danger from flooding, unsanitary conditions, or other hazards;
- (3) Minimize danger to public health by protecting the water supply and promoting safe and sanitary drainage;
- (4) Reduce the financial burdens imposed on the community, its governmental units, and its individuals by frequent and periodic floods and overflow of lands;
- (5) Reserved;
- (6) Ensure that potential buyers are notified that property is in a special flood hazard area; and
- (7) Ensure that those who occupy the special flood hazard area assume financial responsibility for their development.

(b) *Interpretation.*

- (1) In the interpretation and application of this article, all provisions are considered minimum requirements and are liberally construed in favor of the governing body.
- (2) This article is not intended to repeal, abrogate, or impair any existing easements, covenants, or deed restrictions. Where the provisions of this article and another ordinance conflict or overlap, whichever imposes the more stringent restrictions shall prevail.
- (3) This article shall apply to all areas of special flood hazard areas (SFHAs) within the jurisdiction of the City and Borough of Juneau.
- (4) The special flood hazard areas identified by the Federal Insurance Administrator (FIA) in a scientific and engineering report entitled the "Flood Insurance Study" (FIS) and the flood insurance rate maps (FIRMs) dated September 18, 2020 for the City and Borough of Juneau, Alaska are adopted. The FIS and FIRMs shall be on file with the community development department and available to the public at 155 South Seward Street, Juneau, Alaska.

(c) *Implementation.* The director is responsible for administering and implementing the provisions of this chapter and is responsible for maintaining for public use and inspection appropriate records and information relevant to implementation of this chapter. Such records and information must include:

- (1) Actual elevations, in relation to mean lower low water, of the lowest floor, including basement, of all new or substantially improved structures located in the special flood hazard area (SFHA), and whether or not such structures have basements;
- (2) Actual elevations, in relation to mean lower low water, of all new and substantially improved floodproofed structures and the required floodproofing certifications;
- (3) Flood insurance studies (FISs);



- (4) Flood insurance rate maps (FIRMs);
- (5) Any reports or studies on flood hazards in the community, such as written reports by the U.S. Army Corps of Engineers, U.S. Geological Survey, or private firms provided to the director; and
- (6) A file of all floodplain permit applications, permits, exceptions, and supporting documentation.
- (d) *Enforcement.* Enforcement of this chapter is per CBJ 49.10.600—49.10.660.
- (e) *Floodplain development permit required.* A floodplain development permit is required for any development or industrial uses located within a special flood hazard area, including placement of manufactured homes. The director must:
- (1) Review all floodplain development permit applications for development in the special flood hazard area for compliance with the provisions of this chapter, and to determine if other permits may be necessary from local, state, or federal governmental agencies.
  - (2) Interpret the location of the special flood hazard area boundaries and regulatory floodway. If there appears to be a conflict between a mapped boundary and actual field conditions, the director must determine and interpret the documents. When base flood elevation data has not been provided, the director shall obtain, review, and reasonably utilize base flood elevation and floodway data available from any federal, state, municipal, or any other source to implement the provisions of this chapter.
  - (3) If the director determines that a proposed development is within a special flood hazard area, a permit fee must be collected and the following information must be provided before processing a floodplain development permit:
    - (A) Elevation of the lowest floor, including a basement, of all structures;
    - (B) Elevation to which any structure has been floodproofed;
    - (C) Certification by an engineer or architect that the floodproofing methods for any nonresidential structure meet generally accepted floodproofing standards;
    - (D) Description of the extent to which any watercourse will be altered or relocated as a result of proposed development;
    - (E) Description of the plan for maintenance of the altered or relocated portion of the watercourse so that the flood-carrying capacity is not diminished; and
    - (F) When base flood elevation data have not been provided, the director shall obtain, review and reasonably apply any base flood elevation and floodway data available from federal, state or other sources.
- (f) *Methods of reducing losses.* In order to accomplish its purpose, this article includes methods and provisions to:
- (1) Restrict or prohibit uses that are dangerous to health, safety, and property due to water or erosion hazards, or that result in damaging increases in erosion or flood heights or velocities;
  - (2) Require that uses vulnerable to floods, including facilities that serve such uses, be protected against flood damage at the time of initial construction;
  - (3) Control the alteration of natural floodplains, stream channels, and natural protective barriers, which help accommodate or channel floodwaters;
  - (4) Control filling, grading, dredging, and other development that may increase flood damage; and
  - (5) Prevent or regulate the construction of flood barriers that will unnaturally divert floodwaters or that may increase flood hazards in other areas.

(g) *General standards for flood hazard protection.* In special flood hazard areas the following standards apply:

(1) *Anchoring.*

- (A) Design, modify, and anchor new construction and substantial improvements to prevent flotation, collapse, or lateral movement of the structure(s).
- (B) A manufactured home must be anchored to prevent flotation, collapse, or lateral movement and be installed using methods and practices that minimize flood damage. Anchoring methods may include, but are not limited to, use of over-the-top or frame ties to ground anchors.
- (C) An alternative method of anchoring may be used if the system is designed to withstand a wind force of 90 miles per hour or greater. Certification must be provided to the director that this standard is met.

(2) *Construction materials and methods.*

- (A) Construct new construction and substantial improvements with materials and utility equipment resistant to flood damage.
- (B) Use methods and practices that minimize flood damage for new construction and substantial improvements.
- (C) Design or locate electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities so as to prevent water from entering or accumulating within the components during conditions of flooding.
- (D) Require adequate drainage paths around structures on slopes to guide floodwaters away from existing and proposed structures for new construction and substantial improvements within zones AH and AO.

(3) *Utilities.*

- (A) Design new and replacement water supply systems to minimize or eliminate infiltration of floodwaters into the system.
- (B) Design new and replacement sanitary sewage systems to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters.
- (C) Locate on-site waste disposal systems to avoid impairment to them or contamination from them during flooding.

(4) *[Subdivision and development proposal criteria.]* Subdivision and development proposals must meet the following criteria:

- (A) Be designed to minimize flood damage;
- (B) Locate and construct utilities and facilities, such as sewer, gas, electrical, and water systems to minimize flood damage;
- (C) Provide adequate drainage to reduce exposure to flood damage; and
- (D) Include base flood elevation data if the development consists of at least 50 lots or five acres, whichever is the lesser. If base flood elevation data is not available, the proposal must provide the data and backup information for how the base flood elevation data was generated for the proposal.

(5) *[Floodplain development permit requirements.]* Review of floodplain development permits must include:

- (A) Review of the flood insurance rate map and flood insurance study for flood zone determinations for new or substantially improved structures;
- (B) For new or substantially improved structures:
  - (i) Submittal of the proposed and finished lowest floor elevations in zones A, AE, AO, and AH.

- (ii) Submittal of the proposed and finished bottom elevation of the lowest horizontal structural member of the lowest floor and its distance from the mean lower low water mark in zones V and VE; and
  - (iii) Submittal of specific requirements for zones V and VE as set forth in subsection 49.70.400(i).
- (C) In zones A and V, where elevation data are not available through the flood insurance study or from another authoritative source, applications for floodplain development permit shall be reviewed to ensure that proposed construction will be reasonably safe from flooding. The test of reasonableness is a local judgment and may be based on historical data, high water marks, photographs of past flooding, and other similar or relevant data. Failure to elevate construction at least two feet above grade in these zones may result in higher insurance rates.
- (D) Provision of an elevation certificate to demonstrate that the lowest floor of a structure is at or above base flood elevation. The certification must be provided on a form approved by the National Flood Insurance Program and prepared by a registered land surveyor or professional engineer who is licensed in the State of Alaska and authorized to certify such information. This requirement may be waived by the director if an approved record elevation demonstrates that the lowest floor is substantially above the base flood elevation due to natural ground level.
- (6) *Other permits.* The applicant must certify that all other necessary permits have been obtained from any federal or state governmental agencies.
- (7) *[Maintaining watercourse.]* Maintain altered or relocated portions of a special flood hazard area mapped watercourse so that the flood-carrying capacity is not diminished. The department must notify the state coordinating agency, if any, and the Federal Emergency Management Agency prior to issuance of a floodplain development permit that seeks to alter or relocate any watercourse within a special flood hazard area.
- (h) *Specific standards for flood hazards protection.* In special flood hazard areas where base flood elevation data is provided, the following provisions are required:
- (1) *New structures or substantial improvements.* Fully enclosed areas below the lowest floor of new construction or substantial improvements, that are useable solely for parking of vehicles, building access, or storage in an area other than a basement, must automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect licensed in the State of Alaska or must meet or exceed the following minimum criteria:
    - (A) Provide a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
    - (B) Height of the bottom of all openings must be no higher than one foot above grade; and
    - (C) Openings may be equipped with screens, louvers, or other coverings or devices provided that the automatic entry and exit of floodwaters is allowed.
  - (2) *Residential construction.* New construction and substantial improvement of any residential structure:
    - (A) Construct the lowest floor, including basement, elevated to or above the base flood elevation within zones A, AE, or AH; or

- (B) Construct the lowest floor elevated to the base flood depth number specified on the flood insurance rate map, or higher, or if no depth number is specified, at least two feet above the highest adjacent natural grade within zone AO.
- (3) *Manufactured homes.* New or substantially improved manufactured homes must:
- (A) Be placed at or above, the base flood elevation, within zones A, AH, or AE, and shall be elevated to, or above, the base flood elevation, and comply with subsection (g); or
- (B) Elevate the lowest floor to the depth number specified on the flood insurance rate map, or higher, or if no depth number is specified, at least two feet above the highest adjacent natural grade within zone AO; and meet the provisions of subsection (g)(1).
- (4) *Recreational vehicles.* Recreational vehicles placed within any special flood hazard area must be:
- (A) Situated on the site for fewer than 180 consecutive days;
- (B) Fully licensed, operational, and approved for road use; or
- (C) Meet the requirements of subsection (h)(3).
- (5) *Nonresidential construction.* New construction or substantial improvement of any nonresidential structure must:
- (A) Elevate the lowest floor, including basement, to or above the base flood elevation within zones A, AE, and AH;
- (B) Elevate the lowest floor to the depth number specified on the flood insurance rate map, or higher, or if no depth number is specified, at least two feet above the highest adjacent natural grade within zone AO; or
- (C) Floodproof the area below the base flood elevation within zones A, AE, AH, and AO, so that:
- (i) The structure and utility and sanitary facilities are watertight with walls substantially impermeable to the passage of water;
- (ii) Structural components shall have the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy;
- (D) A floodproof structure must be designed by an engineer or architect licensed in the State of Alaska, certifying that the design and methods of construction are in accordance with accepted standards of practice for meeting provisions of this subsection based on the engineer's or architect's development or review of the structural design, specifications, and plans. Certification must be provided to the director;
- (E) Applicants proposing to floodproof nonresidential buildings must be notified at the time of floodplain development permit application that flood insurance premiums are based on rates that are one foot below the floodproofed level.
- (6) *Industrial uses.* Industrial uses within the special flood hazard area are subject to the following provisions:
- (A) Sand and gravel operations, recreation activities, open space, and parking lots may be allowed in 100-year floodplains if the use does not increase the flood hazard.
- (B) Industrial equipment and raw materials stored in 100-year floodplains must be adequately bermed or otherwise protected.
- (C) Disposal of hazardous materials in 100-year floodplains is prohibited. No new development that involves

storage of hazardous materials will be permitted in the 100-year floodplain unless there is no feasible and prudent alternative and adequate safety measures are provided to prevent accidental discharge.

(D) Establishment of sanitary landfills in floodplains is prohibited.

(7) *Increasing water surface elevation in special flood hazard area mapped watercourses where floodways are not mapped.* Notwithstanding any other provisions of this article, development in zones A, AE, and AH may increase the water surface elevation of the base flood:

(A) Up to one foot with the submittal of an analysis completed by an engineer licensed in the State of Alaska demonstrating the cumulative effects of the proposed, existing and anticipated, development to the base flood; or

(B) By more than one foot only after a conditional letter of map revision and final letter of map revision is approved by the Federal Emergency Management Agency flood insurance administrator.

(i) *Additional provisions in floodways.*

(1) Residential and nonresidential structures are prohibited in floodways, no exceptions apply. Culverts and bridges are not subject to this prohibition.

(2) Encroachments, including fill, new construction, and other development, except subdivisions, within a floodway are prohibited unless an engineer licensed in the State of Alaska submits a hydrologic and hydraulic analyses to the director indicating that the encroachment would not result in any increase in flood levels during the occurrence of the base flood discharge. The hydrologic and hydraulic analyses must be performed in accordance

with standard engineering practice acceptable by the Federal Emergency Management Agency.

(3) Development along a floodway cannot increase the water surface elevation unless a conditional letter of map revision and final letter of map revision that revises the floodway are approved by the Federal Emergency Management Agency.

(j) *Additional provisions in zones VE and V.*

(1) New construction and substantial improvements in zones V and VE must be elevated on pilings and columns so that:

(A) The bottom of the lowest horizontal structural member of the lowest floor, excluding the pilings or columns, is elevated to or above the base flood elevation; and

(B) The pile or column foundation and structure attached thereto is anchored to resist flotation, collapse and lateral movement due to the effects of wind and water loads acting simultaneously on all building components. Wind and water loading values must each have a one percent chance of being equaled or exceeded in any given year (100-year mean recurrence interval). Wind loading values used are those required by applicable state statute and local code. A registered professional engineer or architect licensed in the State of Alaska must develop or review the structural design, specifications, and plans for the construction and must certify that the design and methods of construction to be used are in accordance with accepted standards of practice for meeting the provisions of subsections (j)(1)(A) and (B) of this section.

(C) The use of fill for structural support of buildings is prohibited.

- (2) In zones VE and V, new habitable construction must be located landward of the reach of mean high tide.
- (3) In zones VE and V, new construction and substantial improvements must have the space below the lowest floor either free of obstruction or constructed with nonsupporting breakaway walls, open wood latticework, or insect screening intended to collapse under wind and water loads without causing collapse, displacement, or other structural damage to the elevated portion of the building or supporting foundation system.
- (4) Breakaway walls must have a design safe loading resistance of not less than ten pounds per square foot and no more than 20 pounds per square foot. Use of breakaway walls that exceed a design safe loading resistance of 20 pounds per square foot (either by design or when so required by local or state codes) may be permitted only if a registered professional engineer or architect licensed in the State of Alaska certifies that the designs proposed meet the following conditions:
- (A) Breakaway wall collapse must result from a water load less than that which would occur during the base flood; and
- (B) The elevated portion of the building and supporting foundation system must not be subject to collapse, displacement, or other structural damage due to the effects of wind and water loads acting simultaneously on all building components (structural and nonstructural). Maximum wind and water loading values to be used in this determination must each have a one percent chance of being equaled or exceeded in any given year (100-year mean recurrence interval). Wind loading values used shall be those required by applicable state statute and local code.

- (C) Enclosed space within breakaway walls are limited to parking of vehicles, building access, or storage. Such space must not be used for human habitation.

(k) *Warning and disclaimer of liability.* The degree of flood protection required by this article is intended for minimum regulatory purposes only and is based on general scientific and engineering principles. Floods larger than expected, can and will occur. Flood heights may be increased by human or natural causes. This article does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. This article shall not create liability on the part of the City and Borough, any officer or employee thereof for any flood damages that result from reliance on this article or any administrative decision made thereunder. (Serial No. 87-49, § 2, 1987; Serial No. 90-46, §§ 2—9, 1990; Serial No. 2013-19(b), § 2, 7-15-2013; Serial No. 2020-42, § 2, 8-24-2020, eff. 9-23-2020; Serial No. 2021-06, § 2, 4-26-2021, eff. 5-26-2021)

#### 49.70.410 Exceptions.

(a) The planning commission shall hear all applications for an exception from the provisions of this article, and are limited to the powers granted in this article and those necessarily implied to ensure due process and to implement the policies of this article.

(b) In passing upon such application, the planning commission must consider all technical evaluations, relevant factors, standards specified in other sections of this article, and:

- (1) The danger that materials may be swept onto other lands and cause injury to other persons or property;
- (2) The danger to life and property due to flooding or erosion damage;
- (3) The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;

- (4) The importance of the services provided by the proposed facility to the community;
- (5) The necessity to the facility of a waterfront location, where applicable;
- (6) The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;
- (7) The compatibility of the proposed use with existing and anticipated development;
- (8) The relationship of the proposed use to the comprehensive plan and floodplain management program for that area;
- (9) The safety of access to the property in times of flood for ordinary and emergency vehicles;
- (10) The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and
- (11) The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.
- (c) Exceptions may be issued for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing subsections (b)(1)—(b)(11) of this section have been fully considered. As the lot size increases beyond the one-half acre, the technical justification required for issuing the exception increases.
- (d) Upon consideration of the factors of subsection (b) of this section and the purposes of this article, the commission may deny or grant the application and may attach such conditions to the grant of an exception as it deems necessary to further the purposes of this article.
- (e) Exceptions may be issued for the reconstruction, rehabilitation or restoration of structures listed on the National Register of Historic Places or the state inventory of historic places, without regard to the procedures set forth in the remainder of this section.
- (f) Exceptions must not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.
- (g) Exceptions must only be issued upon a determination that the exception is the minimum necessary, considering the flood hazard, to afford relief.
- (h) Exceptions must only be issued upon:
- (1) A showing of good and sufficient cause;
  - (2) A determination that failure to grant the exception would result in exceptional hardship to the applicant; and
  - (3) A determination that the granting of an exception will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances or conflict with existing local laws or ordinances.
- (i) Reserved.
- (j) Warning and disclaimer of liability. The degree of flood protection required by this article is intended for minimum regulatory purposes only and is based on general scientific and engineering principles. Floods larger than expected, can and will occur. Flood heights may be increased by manmade or natural causes. This article does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. This article shall not create liability on the part of the City and Borough, any officer or employee thereof, or the Federal Insurance Administration for any flood damages that result from reliance on this article or any administrative decision lawfully made thereunder. (Serial No. 87-49, § 2, 1987; Serial No. 90-46, § 10, 1990; Serial No. 2021-06, § 3, 4-26-2021, eff. 5-24-2021)

**49.15.330 Conditional use permit.**

(a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

(b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary informa-



tion only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.

(c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.

(d) *Director's review procedure.*

- (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
- (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with section 49.15.230.
- (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)—(1)(C) of subsection (e) of this section.
- (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
- (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of the application if it is found that the development:
  - (A) Will materially endanger the public health or safety;

- (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
- (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.

(e) *Review of director's determinations.*

- (1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:
  - (A) Whether the proposed use is appropriate according to the table of permissible uses;
  - (B) Whether the application is complete; and
  - (C) Whether the development as proposed will comply with the other requirements of this title.
- (2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.

(f) *Commission determinations; standards.*

Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:

- (1) Materially endanger the public health or safety;
- (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
- (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.

(g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:

- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
- (2) *Use.* Use of the development may be restricted to that indicated in the application.
- (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
- (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
- (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
- (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
- (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
- (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
- (9) *Landslide and avalanche areas.* Development in landslide and avalanche areas, designated on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by assembly ordinance, shall minimize the risk to life and property.
- (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:
  - (A) Developments in wetlands and intertidal areas.
- (11) *Sound.* Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation.* Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access.* Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening.* The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.
- (15) *Lot size or development size.* Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.

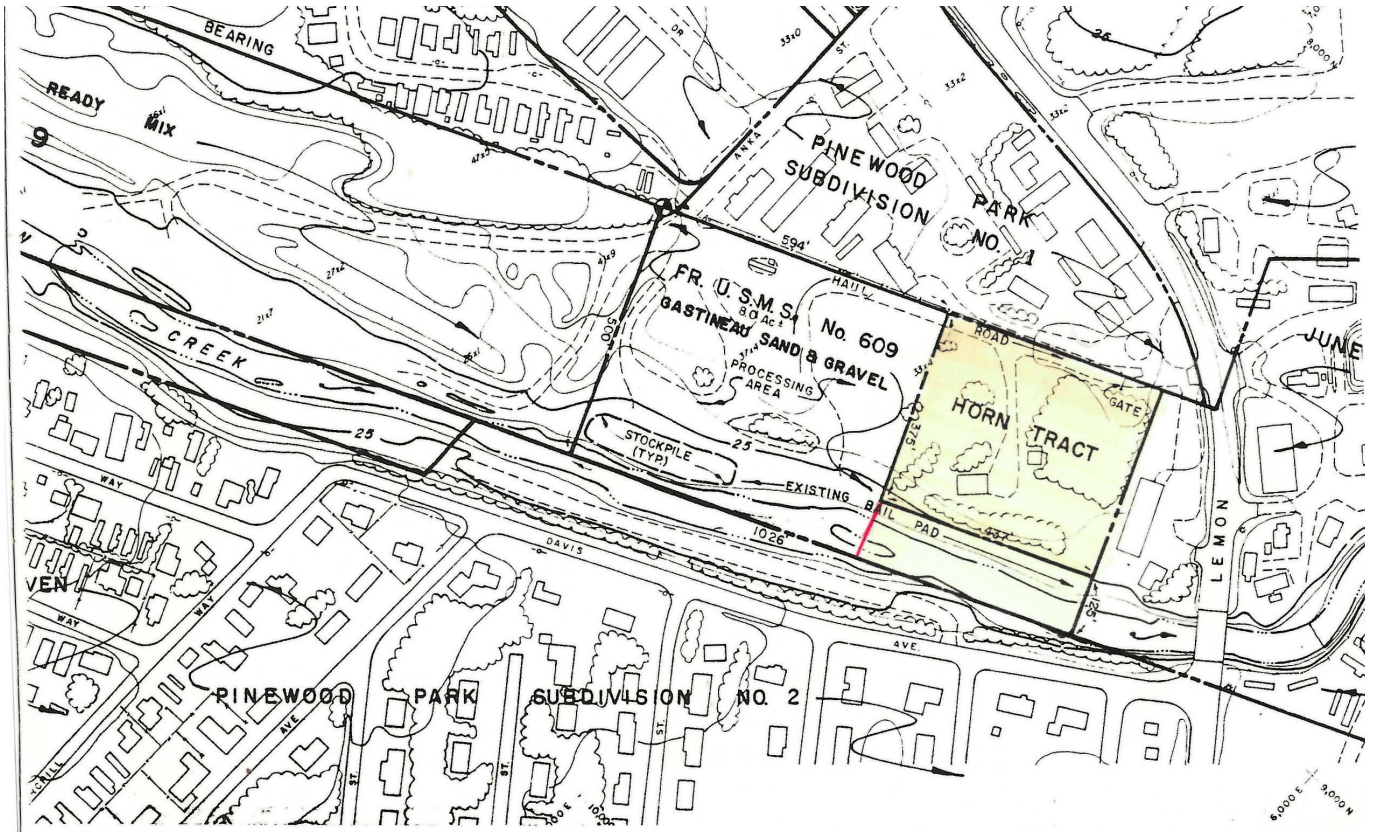
(16) *Drainage.* Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.

(17) *Lighting.* Conditions may be imposed to control the type and extent of illumination.

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(18) *Other conditions.* Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018)



**PLAN VIEW**

SCALE: 1" = 200'



COMPUTATION

Appraiser & Date		1993		1994							
Item No.	Area or Prop.	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
1972	Barvington 7440 <sup>sq</sup>		26335	26 <sup>00</sup>	37440						
	Shed 132 <sup>sq</sup> x 7.25 / 30 <sup>sq</sup>		315		315						
	Carport 1056 <sup>sq</sup> x 15 x 50%		792		792						
	Cov Porch 679 <sup>sq</sup> x 12.6 x .5		4278		4278						
					<del>42825</del>						
Total Replacement Cost											
Cost Conversion Factor											
Adjusted Replacement Cost											
Effective Age/Depreciation											
Total Depreciation											
Final Net Condition											
Principal Building Total											
Other Buildings											
Total Building Appraisal			31720								

16,792                      65,653

Attachment B - Assessor's Records

Parcel No. S-1-265-HRN-TRA-0609

1-190 5.027 AC = 218956 A

Use Code: RMHL

Size:

Area: 3.7698 AC 164,216.250

Use Zone: RML

General Land Description:

Land Use:

GC

Appraisal Year	19__		19__		19__		19__		19__	
	PLUS	MINUS	PLUS	MINUS	PLUS	MINUS	PLUS	MINUS	PLUS	MINUS
Depth										
Topography	USABLE Area		340 X	437.91 =	148,889 $\Phi$					
Size	Residual land				70,067					
Site Prep.										
Drainage										
Physical Barriers										
Access										
Corner										
Water										
Sewer										
Paving										
Other										
TOTAL										
Net (-)										

SITE VALUE COMPUTATIONS											
APPRAISAL YEAR	2005		20__		20__		20__		20__		
	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	UNIT COST	TOTAL	
BASE LOT VALUE											
USABLE land											
148,889	\$ 3.00	446,667									
Residual											
70,067	\$ .50	35,033									
NET ADJUSTMENT											
ADJUSTED SITE VALUE		481,700									
NET ADJUSTMENT											
ADJUSTED LAND VALUE			164,140		391,752		165,176				

ASSESSED VALUATION					
Year	Owner	Site	Buildings	Total	Reason for Change
02	103-01	165,500	66,500	226,000	IC
2005		1,742,400	60,500	1,802,900	
2005	406	481,700	50,000	531,700	Per Appraisal

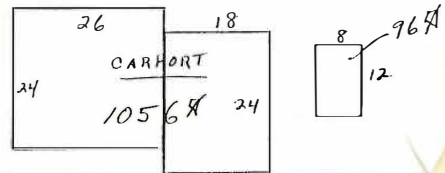
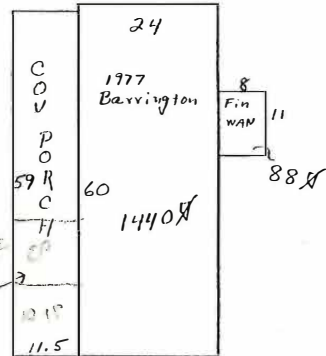
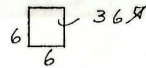
1-1-03: HORN TRACT DIVIDED OUT  
 1-1-90 corrected # per plat 89-45  
 EM-1404 4/9/06 2004 For Sale = \$1,000,000

PLACE PICTURE HERE



BUILDING AREA CALCULATION

WELL SHED



Attachment B - Assessor's Records

**Itemized Property Costs- based on Marshall & Swift**

From Table: MAIN Section 1

Record # 5556

<b>Property ID:</b>	5B1201040060	<b>Building Type:</b>	No Data
<b>Owner Name:</b>	GASTINEAU HUMAN SERVICES,	<b>Quality:</b>	0.00
<b>Parcel Address:</b>	AISEK ST	<b>Construction:</b>	No Data
<b>Year Built:</b>	0	<b>Style:</b>	No Data
<b>Effective Age:</b>	0	<b>Total Area:</b>	0
<b>Bedrooms:</b>	0	<b>Total Rooms:</b>	0

Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
<b>ADJUSTED BASE COST</b>					
<b>Subtotal</b>					
<b>REPLACEMENT COST NEW</b>					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					
<b>LAND PRICES</b>	Calc Method	Size	Grade	Adj. Rate	
Standard		5.00	481.70	481,700.00	481,700
No Data	No Data	No Data			
<b>OUTBUILDINGS</b>					
Carport		Gtype			3,000
		RC!			
<b>TOTAL PROPERTY VALUE</b>					484,700

**NOTES**

LOT 1;08/30/01 modify owner name per quit claim dee dtd 07/31/01;

2/27/04 per ltd warr deed dtd 12/23/2003;

4/30/9ChgMailAddrPerKimHornOfficeVisit/tlu;

02/23/12 F/I per area canvas, updated file, sketch & photo, revalue. dw

1/9/13 - Parcel 5B1201040060 - Statutory Warranty Deed 2012-008390-0 REC 12/31/2012 (apparently to clear title) from Phil E. Godfrey, listed as Grantor to Horn Subdivision on original Plat REC 12/18/1989 (Grantor), to Thomas J. Horn, sole Trustee under the Thomas J. Horn Living Trust (Grantee) / pplumb;

1/30/2013 PARCEL # 5B1201040060 WARRANTY DEED REC 1/15/2013 THOMAS J HORN LIVING TRUST OR HIS SUCCESSORS IN TRUST (GRANTOR) GASTINEAU HUMAN SERVICES, CORPORATION (GRANTEE) /JG

6/18/13 Sale price per appraiser. jcs

10/22/13 F/I per BP for DEMO fire damaged dwelling. M/H removed, carport remains, photo (by jcs) updated data and cost data in Micro Solve. dw



5B1201040060



2004-000122-0

Recording Dist: 101 - Juneau  
1/8/2004 3:30 PM Pages: 1 of 2

A  
L  
A  
S  
K  
A



CC

### LIMITED WARRANTY DEED

The Grantor, **THOMAS J. HORN**, of P.O. Box 34317, Juneau, Alaska, 99803, for and in consideration of one dollar (\$1.00) and other valuable consideration, in hand paid, hereby bargains, grants, and conveys to **Thomas J. Horn**, sole Trustee, or his successors in trust, under the **THOMAS J. HORN LIVING TRUST**, dated December 23, 2003, and any amendments thereto, Grantee, of P.O. Box 34317, Juneau, Alaska, 99803, any and all interest in the following described real estate, located in the Juneau Recording District, First Judicial District, State of Alaska:

The Horn Tract, according to Plat 82-4, Juneau Recording District, First Judicial District, State of Alaska, described as:

BEGINNING at the southerly most corner of this (HORN) tract, said corner being on a line which is common to the boundary of Pinewood Park Subdivision No. 1, and being S 66 degrees 19' 00" W 1,004.96 feet from a G.L.O. monument on U.S.M.S. 609 and U.S.S. No. 2487; thence departing said corner the following courses: N 23 degrees 05' 00" W 375.00 feet to the southeasterly most corner of this description; thence S 60 degrees 19' 00" W 437.91 feet to the southwesterly most corner which is the true point and place of beginning.

The warranty in this deed is limited in this matter to: (1) the coverage the Grantor has under any policy of title insurance or damages of \$10.00 (whichever is greater) and (2) the application of the doctrine of estoppel with respect to after acquired title. GRANTOR in this deed is the TRUST MAKER of the above revocable trust.

The legal description and stated title owner contained herein were supplied by the parties, and the draftsman assumes no responsibility for the correctness thereof. This document is used

for trust funding and may be over inclusive in its description to attempt to include all property owned in the trust.

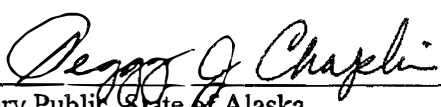
Dated this 23<sup>rd</sup> day of December 2003.

  
Thomas J. Horn

STATE OF ALASKA                    )  
  ) ss.  
FIRST JUDICIAL DISTRICT        )

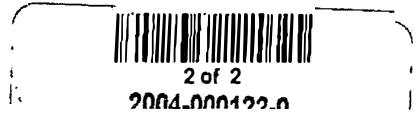
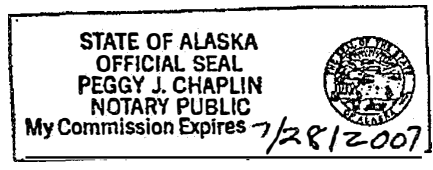
THIS IS TO CERTIFY that on this 23<sup>rd</sup> day of December 2003, before me, the undersigned, a notary public in and for the State of Alaska, duly commissioned and sworn, personally appeared **THOMAS JUDSON HORN**, to me known and known to me to be the person named in and who executed the within and foregoing instrument, and he acknowledged to me that he signed the same freely and voluntarily for the uses and purposes therein mentioned.

WITNESS my hand and official seal the day and year in this certificate first above written.

  
\_\_\_\_\_  
Notary Public, State of Alaska  
My commission expires:

After recording, return to:

Baxter Bruce & Sullivan P.C.  
P.O. Box 32819  
Juneau, AK 99803



Itemized Property Costs- based on Marshall & Swift					
From Table: MAIN Section 1			Record # 5556		
<b>Property ID:</b>	5B1201040060	<b>Building Type:</b>	Mobile		
<b>Owner Name:</b>	HORN THOMAS J LIVING TRUST	<b>Quality:</b>	2.00	FAIR	
<b>Parcel Address:</b>	AISEK ST	<b>Construction:</b>	Studded		
<b>Year Built:</b>	1977	<b>Style:</b>	1 Story		
<b>Effective Age:</b>	63	<b>Total Area:</b>	1438		
<b>Bedrooms:</b>	0	<b>Total Rooms:</b>	0		
Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	T-111 / Ht=8	100.00		34.89	
<b>ADJUSTMENTS</b>					
Roof #1:	Mtl-Sms	100.00			
Floor cover #1:	Allowance	100.00		1.64	
Heat/cooling #1:	ForcAir	100.00			
Energy Adjustment	Average				
<b>ADJUSTED BASE COST</b>			1,438.00	36.53	52,530
<b>ADDITIONAL FEATURES</b>					
Fixtures (beyond allowance of 6)			2.00	385.00	770
Roughins (beyond allowance of 1)				140.00	
Porch #1:	WoodDck/No Data/Cov		115.00	31.29	3,598
Porch #2:	WoodDck/No Data/Cov		425.00	31.11	13,222
Porch #3:	WoodDck/Solid/Cov		138.00	31.24	4,311
Porch #4:	WoodDck/Solid/Cov		88.00	31.38	2,761
Foundation	No Data		168.00	9.29	1,561
Skirting	Low cost		168.00	6.90	1,159
<b>Subtotal</b>					79,912
Local multiplier		1.41			
Current multiplier		1.01			
<b>REPLACEMENT COST NEW</b>					113,803
<b>Condition</b>	Average	<b>Percent</b>			
Physical depreciation		63.00			-71,696
Functional depreciation					
Economic depreciation					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					42,100
<b>LAND PRICES</b>	Calc Method	Size	Grade	Adj. Rate	
Standard		5.00	481.70	481,700.00	481,700
No Data	No Data	No Data			
<b>OUTBUILDINGS</b>		<b>Gtype</b>			
Carport		RC!			3,000
<b>TOTAL PROPERTY VALUE</b>					526,800
<b>NOTES</b>					
LOT 1;08/30/01 modify owner name per quit claim dee dtd 07/31/01;					
2/27/04 per ltd warr deed dtd 12/23/2003;					
4/30/9ChgMailAddrPerKimHornOfficeVisit/tlu;					
02/23/12 F/I per area canvas, updated file, sketch & photo, revalue. dw					



5B1201040060\_1\_02232012



5B1201040060\_2\_02232012



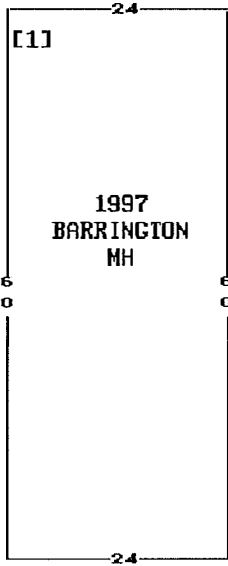
5B1201040060\_3\_02232012

MICROSOLVE CAMA SYSTEM

SKETCH OF PROPERTY: 5B1201040060

RECORD NUMBER: 5144

DATE PRINTED: 06-12-2000

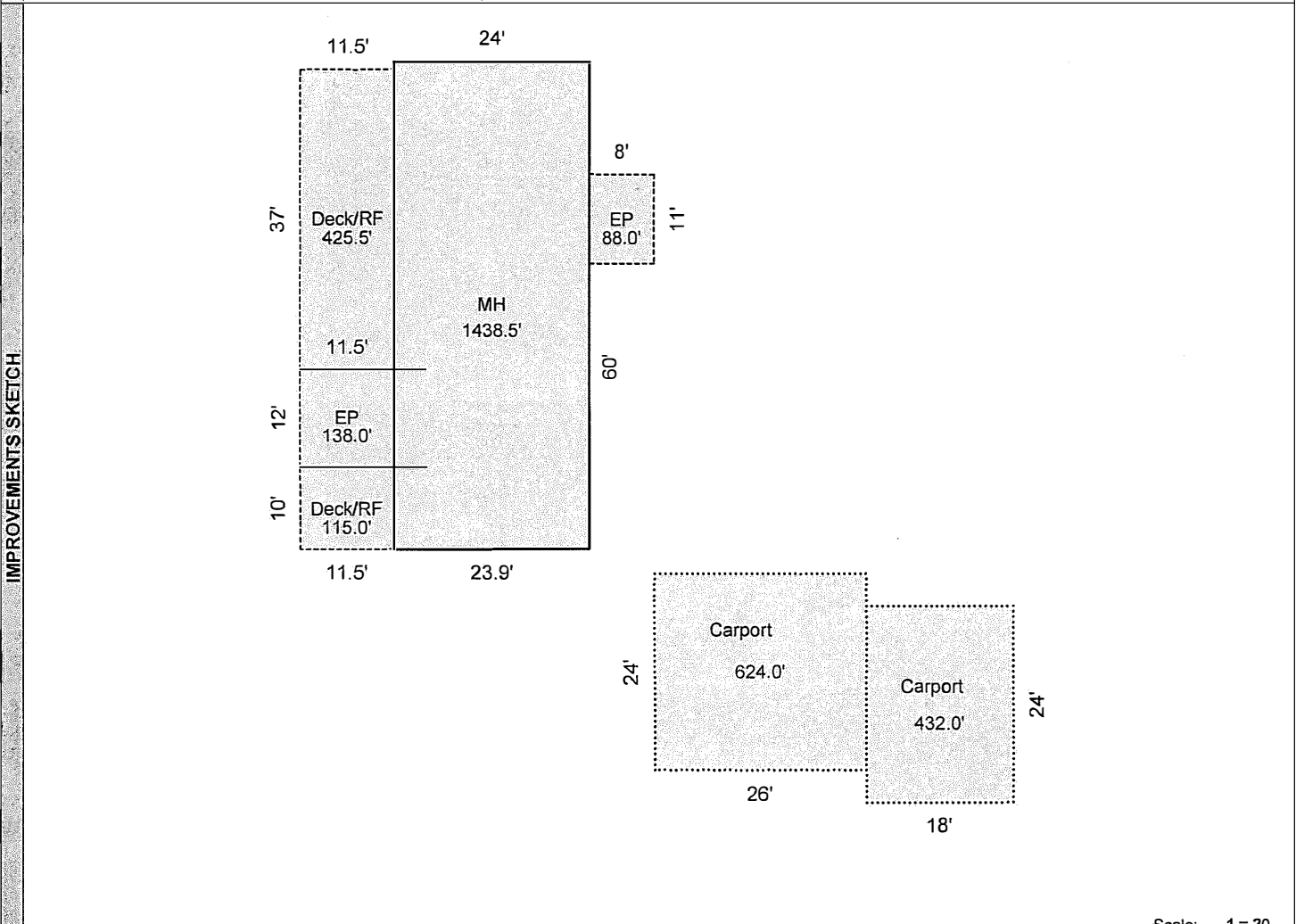


AREA 1 : 1440  
PERIMETER 1 : 168

# SKETCH/AREA TABLE ADDENDUM

Parcel No 5B1201040060

SUBJECT	Property Address <b>5617Aisek St</b>		
	City	State	Zip
	Owner		
	Client		
	Appraiser Name		



Scale: 1 = 20

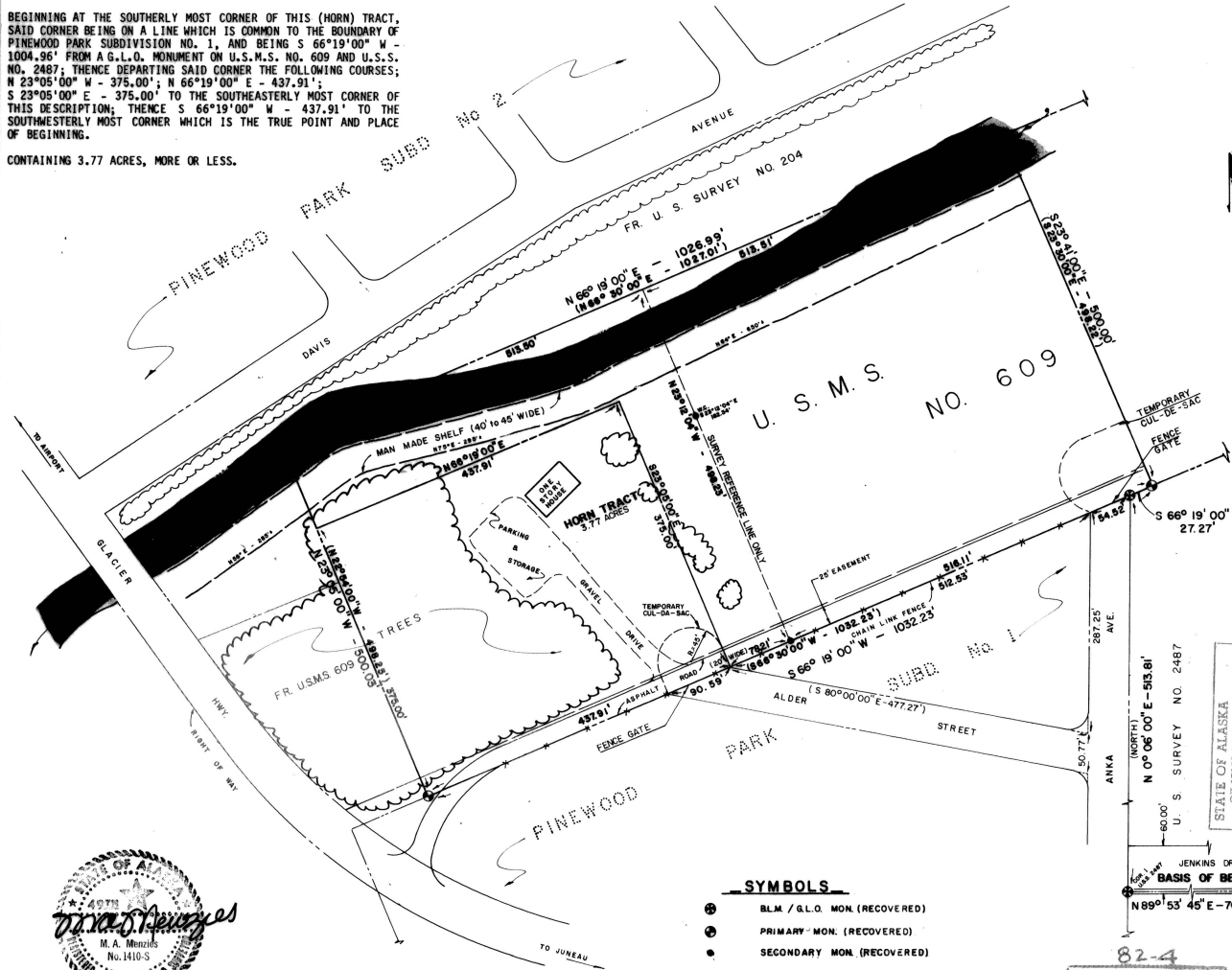
AREA CALCULATIONS

AREA CALCULATIONS SUMMARY					
Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA5	MH	1.00	1438.5	168.0	1438.5
P/P2	Deck/RF	1.00	115.0	43.0	
	Deck/RF	1.00	425.5	97.0	540.5
P/P3	EP	1.00	88.0	38.0	
	EP	1.00	138.0	47.0	226.0
Net LIVABLE Area (rounded w/ factors)					1439

**LEGAL DESCRIPTION HORN TRACT**  
 A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATE WITHIN PROTRACTED SECTION 34, T.40S., R.66E., C.R.M., BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS;

BEGINNING AT THE SOUTHERLY MOST CORNER OF THIS (HORN) TRACT, SAID CORNER BEING ON A LINE WHICH IS COMMON TO THE BOUNDARY OF PINWOOD PARK SUBDIVISION NO. 1, AND BEING S 66°19'00" W - 1004.96' FROM A G.L.O. MONUMENT ON U.S.M.S. NO. 609 AND U.S.S. NO. 2487; THENCE DEPARTING SAID CORNER THE FOLLOWING COURSES; N 23°05'00" W - 375.00'; N 66°19'00" E - 437.91'; S 23°05'00" E - 375.00' TO THE SOUTHEASTERLY MOST CORNER OF THIS DESCRIPTION; THENCE S 66°19'00" W - 437.91' TO THE SOUTHWESTERLY MOST CORNER WHICH IS THE TRUE POINT AND PLACE OF BEGINNING.

CONTAINING 3.77 ACRES, MORE OR LESS.

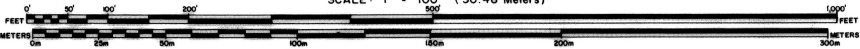


**SURVEYOR'S CERTIFICATE**

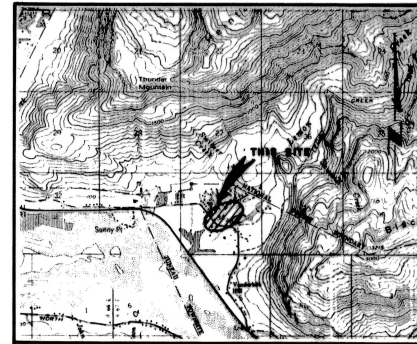
I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT.

**SUBDIVISION PLAT  
 HORN TRACT  
 A FRACTION OF U.S. MINERAL SURVEY NO 609  
 LEMON CREEK VALLEY  
 CITY & BOROUGH OF JUNEAU ALASKA**

SCALE: 1" = 100' (30.48 Meters)



- SYMBOLS**
- ⊙ BLM / G.L.O. MON. (RECOVERED)
  - ⊙ PRIMARY MON. (RECOVERED)
  - SECONDARY MON. (RECOVERED)



**VICINITY MAP**  
 SOURCE: U.S.G.S. QUADRANGLE JUNEAU (B-2), ALASKA  
 DATE: 1962 SCALE: 1" = 1 mile REV: 1966

**CERTIFICATE OF APPROVAL BY THE BOARD**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLATTING BOARD BY PLAT RESOLUTION NO. 833 DATED SEPTEMBER 8, 1981 AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, JUNEAU, ALASKA

DATED November 4, 1981  
*[Signature]*  
 CHAIRMAN  
 CITY AND BOROUGH OF JUNEAU  
 PLATTING BOARD

ATTEST:  
*[Signature]*  
 CLERK  
 CITY AND BOROUGH OF JUNEAU  
 PLATTING BOARD

**NOTARY'S ACKNOWLEDGEMENT**  
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 1st DAY OF December, 1981.  
*[Signature]* MY COMMISSION EXPIRES 10/30/82  
 NOTARY FOR ALASKA

**OWNERSHIP CERTIFICATE**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

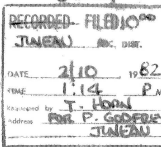
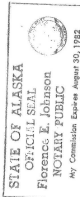
DATED October 1, 1981  
*[Signature]* WITNESS  
*[Signature]* OWNER

WITNESS  
 SUBDIVISION PLAT  
**HORN TRACT**  
 A FRACTION OF U.S. MINERAL SURVEY NO 609  
 LEMON CREEK VALLEY  
 C. & B. of Juneau Alaska

OWNER:  
 GODFREY DEVELOPMENT CO.  
 P.O. BOX 68000  
 JUNEAU, ALASKA 99801

SURVEYOR:  
 R & M CONSULTANTS, INC.  
 P.O. BOX 1798  
 JUNEAU, ALASKA 99802

SHEET 1 OF 1  
 DATE: MAY 1981 SCALE: 1" = 100' R & M NO 137104



Attachment C - 1982 Plat - HORN TRACT

82-4

CITY AND BOROUGH OF JUNEAU, ALASKA

PLANNING COMMISSION

Platting Resolution, Serial No. 833

WHEREAS, PHIL GODFREY

has applied to the City and Borough Planning Commission in proper form for approval of the following described subdivision:

HORN TRACT

FRACTION OF U.S.M.S. 609

WHEREAS, the Commission finds that the proposed subdivision complies with the subdivision regulations of the City and Borough of Juneau, Alaska.

BE IT RESOLVED BY THE CITY AND BOROUGH PLATTING COMMISSION AS THE PLATTING AUTHORITY FOR THE CITY AND BOROUGH OF JUNEAU, ALASKA:

That the said application for a subdivision plat of the above described property is hereby granted.

DATED September 8, 1981

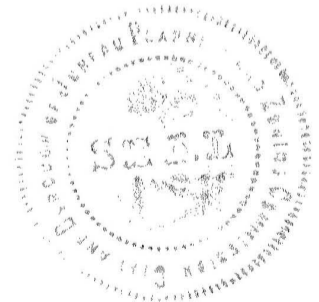
CITY AND BOROUGH OF JUNEAU,  
ALASKA PLANNING COMMISSION

By

Kathleen H. Mitchell  
Chairman

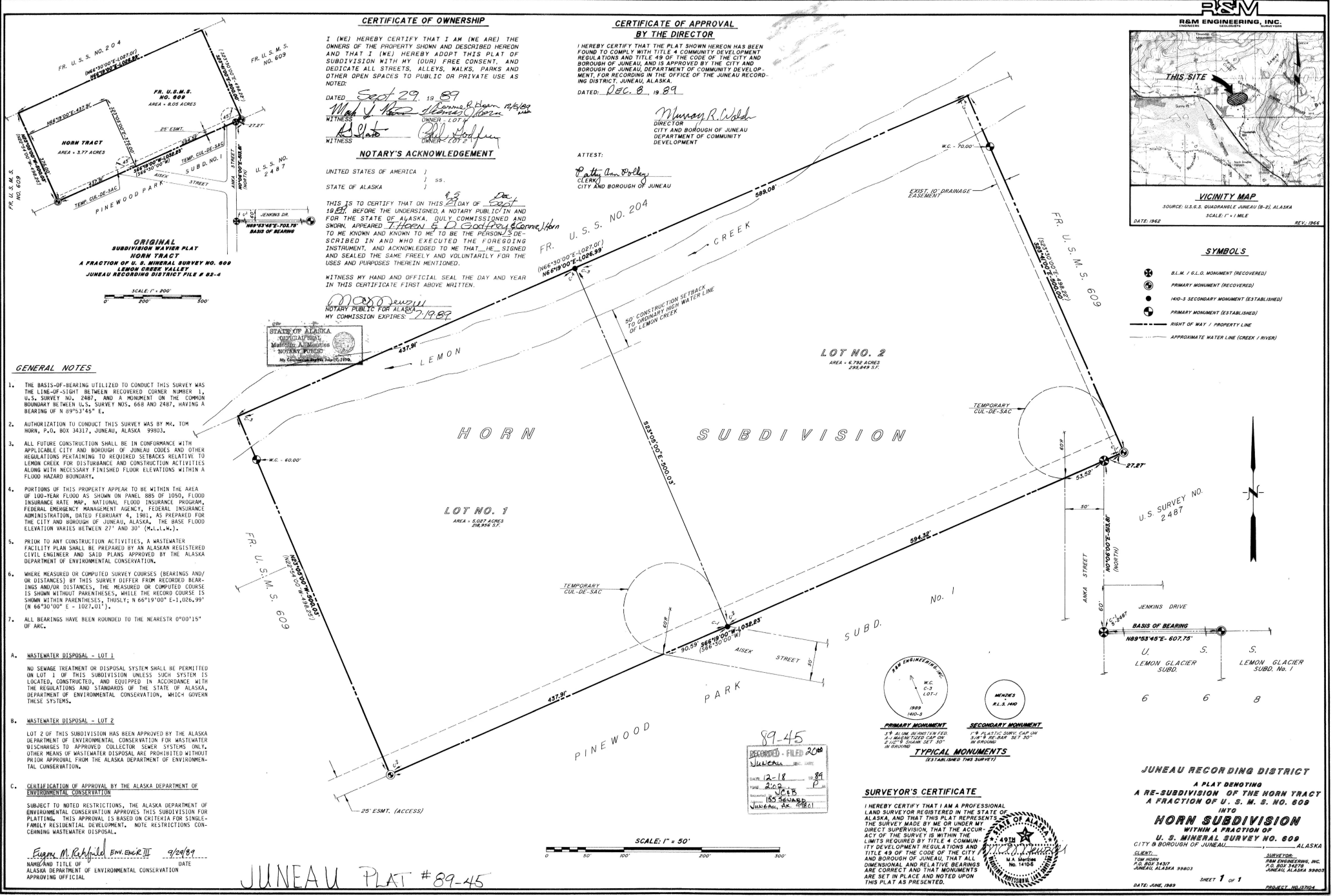
Attest:

[Signature]  
Clerk



82-0812  
1000  
FILED  
REC.  
DISTRICT  
FEB 10 1 14 PM '82  
REQUESTED BY  
ADDRESS GODFREY  
JUNEAU





**CERTIFICATE OF OWNERSHIP**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

DATED Sept. 29, 1989

Mal J. Horn OWNER LOT 1  
Thomas J. Horn OWNER LOT 2

WITNESS R. Lab OWNER LOT 1  
Ch. Godfrey OWNER LOT 2

**NOTARY'S ACKNOWLEDGEMENT**

UNITED STATES OF AMERICA )  
 STATE OF ALASKA ) ss.

THIS IS TO CERTIFY THAT ON THIS 29 DAY OF Sept 1989, BEFORE THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, APPEARED Thomas J. Horn & Mal J. Horn TO ME KNOWN AND KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE, SHE, AND SEALS THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Mal J. Horn  
 NOTARY PUBLIC FOR ALASKA  
 MY COMMISSION EXPIRES: 7/1987

**CERTIFICATE OF APPROVAL BY THE DIRECTOR**

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 4 COMMUNITY DEVELOPMENT REGULATIONS AND TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, JUNEAU, ALASKA.

DATED: Dec. 8, 1989

Murray R. Leibel  
 DIRECTOR  
 CITY AND BOROUGH OF JUNEAU  
 DEPARTMENT OF COMMUNITY DEVELOPMENT

ATTEST:  
Patty Ann Peckley  
 CLERK  
 CITY AND BOROUGH OF JUNEAU

**GENERAL NOTES**

1. THE BASIS-OF-BEARING UTILIZED TO CONDUCT THIS SURVEY WAS THE LINE-OF-SIGHT BETWEEN RECOVERED CORNER NUMBER 1, U.S. SURVEY NO. 2487, AND A MONUMENT ON THE COMMON BOUNDARY BETWEEN U.S. SURVEY NOS. 608 AND 2487, HAVING A BEARING OF N 89°53'45" E.
2. AUTHORIZATION TO CONDUCT THIS SURVEY WAS BY MR. TOM HORN, P.O. BOX 34317, JUNEAU, ALASKA 99803.
3. ALL FUTURE CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CITY AND BOROUGH OF JUNEAU CODES AND OTHER REGULATIONS PERTAINING TO REQUIRED SETBACKS RELATIVE TO LEMON CREEK FOR DISTURBANCE AND CONSTRUCTION ACTIVITIES ALONG WITH NECESSARY FINISHED FLOOR ELEVATIONS WITHIN A FLOOD HAZARD BOUNDARY.
4. PORTIONS OF THIS PROPERTY APPEAR TO BE WITHIN THE AREA OF 100-YEAR FLOOD AS SHOWN ON PANEL 885 OF 1050, FLOOD INSURANCE RATE MAP, NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 4, 1981, AS PREPARED FOR THE CITY AND BOROUGH OF JUNEAU, ALASKA. THE BASE FLOOD ELEVATION VARIES BETWEEN 27' AND 30' (M.A.S.L.).
5. PRIOR TO ANY CONSTRUCTION ACTIVITIES, A WASTEWATER FACILITY PLAN SHALL BE PREPARED BY AN ALASKAN REGISTERED CIVIL ENGINEER AND SAID PLANS APPROVED BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
6. WHERE MEASURED OR COMPUTED SURVEY COURSES (BEARINGS AND/OR DISTANCES) BY THIS SURVEY DIFFER FROM RECORDED BEARINGS AND/OR DISTANCES, THE MEASURED OR COMPUTED COURSE IS SHOWN WITHOUT PARENTHESES, WHILE THE RECORDED COURSE IS SHOWN WITHIN PARENTHESES, THUSLY; N 66°19'00" E-1,026.99' (N 66°30'00" E - 1027.01').
7. ALL BEARINGS HAVE BEEN ROUNDED TO THE NEAREST 0°00'15" OF ARC.

**A. WASTEWATER DISPOSAL - LOT 1**

NO SEWAGE TREATMENT OR DISPOSAL SYSTEM SHALL BE PERMITTED ON LOT 1 OF THIS SUBDIVISION UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED, AND EQUIPPED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THESE SYSTEMS.

**B. WASTEWATER DISPOSAL - LOT 2**

LOT 2 OF THIS SUBDIVISION HAS BEEN APPROVED BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION FOR WASTEWATER DISCHARGES TO APPROVED COLLECTOR SEWER SYSTEMS ONLY. OTHER MEANS OF WASTEWATER DISPOSAL ARE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

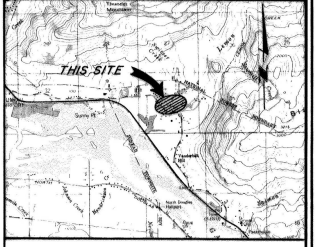
**C. CERTIFICATION OF APPROVAL BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION**

SUBJECT TO NOTED RESTRICTIONS, THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION APPROVES THIS SUBDIVISION FOR PLATTING. THIS APPROVAL IS BASED ON CRITERIA FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. NOTE RESTRICTIONS CONCERNING WASTEWATER DISPOSAL.

Eugene M. Raphael ENV. ENGR. III 9/29/89  
 NAME AND TITLE DATE  
 ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
 APPROVING OFFICIAL

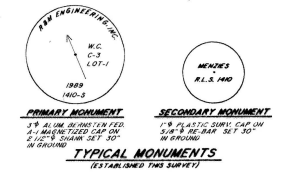
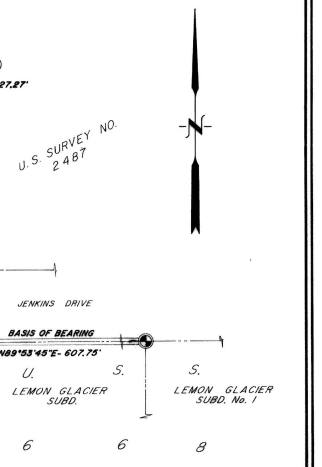
JUNEAU PLAT # 89-45

SCALE: 1" = 50'



**VICINITY MAP**  
 SOURCE: U.S.S. QUADRANGLE JUNEAU (B-D), ALASKA  
 SCALE: 1" = 1 MILE  
 DATE: 1962 REV: 1966

- SYMBOLS**
- ⊕ B.L.M. / G.L.O. MONUMENT (RECOVERED)
  - ⊙ PRIMARY MONUMENT (RECOVERED)
  - ⊙ 140-S SECONDARY MONUMENT (ESTABLISHED)
  - ⊙ PRIMARY MONUMENT (ESTABLISHED)
  - RIGHT OF WAY / PROPERTY LINE
  - - - APPROXIMATE WATER LINE (CREEK / RIVER)



**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 4 COMMUNITY DEVELOPMENT REGULATIONS AND TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

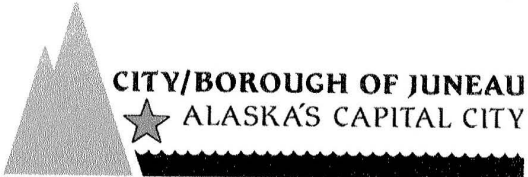


JUNEAU RECORDING DISTRICT  
 A PLAT DENOTING  
 A RE-SUBDIVISION OF THE HORN TRACT  
 A FRACTION OF U. S. M. S. NO. 609  
 INTO  
**HORN SUBDIVISION**  
 WITHIN A FRACTION OF  
 U. S. MINERAL SURVEY NO. 609  
 CITY & BOROUGH OF JUNEAU, ALASKA

DATE: JUNE, 1989 SHEET 1 OF 1 PROJECT NO. 87054

Juneau Plat 89-45

Attachment D - 1989 Plat - Horn Subdivision



#89-45 JUNEAU

CERTIFICATION OF PAYMENT OF TAXES  
AND SPECIAL ASSESSMENTS

I, the undersigned, being duly appointed, qualified Treasurer or Deputy Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described property is carried on the tax records in the name of:

Thomas J. and Connie R. Horn


Description

Horn Tract

Parcel Code Number

5-B12-0-104-006-0

and that, according to the records in my possession, all taxes and special assessments assessed against said lands and in favor of the City and Borough of Juneau are paid in full; that current taxes of the year 1990 will be due on or before September 30, 1990.

  
Deputy Treasurer or Treasurer  
City and Borough of Juneau

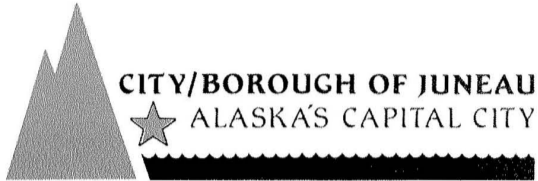
12-8-89  
Date

1/1 to 7/1 Authorization to Split Attached

89-45  
RECORDED - FILED 2000  
JUNEAU REC. DIST.  
DATE 12-18 19 89  
TIME 2:02 P.M.  
Requested by UCEB  
Address 155 S. SEWARD  
JUNEAU, AK 99801

488/20

155 South Seward Street, Juneau, Alaska 99801



#89-45 JUNEAU

CERTIFICATION OF PAYMENT OF TAXES  
AND SPECIAL ASSESSMENTS

I, the undersigned, being duly appointed, qualified Treasurer or Deputy Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described property is carried on the tax records in the name of:

Phil E. Godfrey

Description

Fr. U.S. M.S. 609

Parcel Code Number

5-B12-0-104-005-0

and that, according to the records in my possession, all taxes and special assessments assessed against said lands and in favor of the City and Borough of Juneau are paid in full; that current taxes of the year 1990 will be due on or before September 30, 1990.

[Signature]  
Deputy Treasurer or Treasurer  
City and Borough of Juneau

12-8-89  
Date

1/1 to 7/1 Authorization to Split Attached

488/20

89-45

RECORDED - FILED		2000
JUNEAU REC. DIST.		
DATE	12-18	19 89
TIME	2:02	P M
Requested by	JCEB	
Address	1555 SEWARD	
	JUNEAU, AK	99801

155 South Seward Street, Juneau, Alaska 99801

CC

A  
L  
A  
S  
K  
A

2013-000443-0

Recording Dist: 101 - Juneau

1/15/2013 2:46 PM Pages: 1 of 2



File for Record at Request of:

**First American Title Insurance Company**

AFTER RECORDING MAIL TO:

Name: Gastineau Human Services, Corporation

Address: 5597 Aisek Street

Juneau, AK 99801

File No.: **0231-1977932 (JV)**

---

### STATUTORY WARRANTY DEED

THE GRANTOR, **Thomas J. Horn, sole Trustee, or his successors in trust, under the Thomas J. Horn Living Trust, dated December 23, 2003 and any amendments thereof,** whose mailing address is **P.O. Box 33472, Juneau, AK 99803,** for and in consideration of **TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION,** in hand paid, conveys and warrants to **Gastineau Human Services, Corporation,** residing at **5597 Aisek Street, Juneau, AK 99801,** the following described real estate, situated in the **Juneau Recording District, First Judicial District, State of Alaska:**

**Lot 1, HORN SUBDIVISION, according to the official plat thereof, filed under Plat Number 89-45, Records of the Juneau Recording District, First Judicial District, State of Alaska.**

SUBJECT TO reservations, exceptions, easements, covenants, conditions and restrictions of record, if any.

Dated: 12-31, 2012.

Thomas J. Horn, sole Trustee, or his  
successors in trust, under the Thomas J.  
Horn Living Trust, dated December 23, 2003  
and any amendments thereof

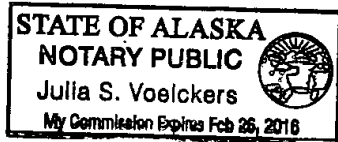
Kimberly Kay Horn  
Kimberly Kay Horn, Trustee

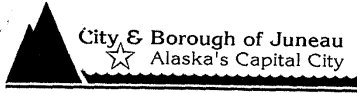
STATE OF Alaska )  
 )ss.  
County of Juneau )

This instrument was acknowledged before me on this 31<sup>st</sup> day of December, 2012  
by Kimberly Kay Horn as Trustee of Thomas J. Horn, sole Trustee, or his successors in trust, under the  
Thomas J. Horn Living Trust, dated December 23, 2003 and any amendments thereof, on behalf of the  
Thomas J. Horn Living Trust, dated December 23, 2003.

Julia S. Voelckers

Julia S. Voelckers  
Notary Public for Alaska  
My commission expires: 02/26/2016





# BUILDING PERMIT

Permit No.  
DMO20130015

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

**Your special attention is called to the following:**

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

**Inspections**

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: [www.juneau.org/permits/inspect\\_request.php](http://www.juneau.org/permits/inspect_request.php).

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:30 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: <b>5617 AISEK ST</b>	Issued Date : <b>05/31/2013</b>
Permit Number: <b>DMO20130015</b>	Parcel No: <b>5B1201040060</b>
Project Description: <b>Demo Fire Damaged Dwelling</b>	

Parcel Information : HORN LT 1

Setbacks:	Zone: :
Front: 10.00 Ft.	Side 1: 10.00 Ft.
Rear: 10.00 Ft.	Side 2: 10.00 Ft.
Street Side: 10.00 Ft.	
Comments:	

Owner :	GASTINEAU HUMAN SERVICES CORPOR. 5597 AISEK ST JUNEAU AK 99801
---------	--

Applicant :	GASTINEAU HUMAN SERVICES CORPORAT 5597 AISEK ST JUNEAU AK 99801
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Fee Type	Date	Receipt	Amount Paid
Total Fees Paid:			

Valuation for Permit Fee Calculations:			
S.F.	Type	Rate	Amount
Total Valuation:			\$0.00

Project Conditions and Holds:  
None.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.  
 B-Demo Electric Safed Off      B-Demo Sewer/Water Capped      B-Demolition Final

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
 Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: [permits@ci.juneau.ak.us](mailto:permits@ci.juneau.ak.us)  
 Web Site: [www.juneau.org/permits](http://www.juneau.org/permits)

# Staff Review Sheet

Planner

Permit Intake Initials: \_\_\_\_\_

FIRE ZONE ENG WAT SEW ARCH STRUC PLUM MECH ELEC ACCESS SPEC/INSP

5/31/2013

Case No: **DMO20130015**

Site Address: 5617 AISEK ST  
 Desc: Demo Fire Damaged Dwelling

Parcel No: 5B1201040060

Residential \_\_\_\_\_ New Dwelling Units: 0  
 FCC Code: 645 Existing Dwelling Units: 1  
 Type of Construction: VB Occupancy Class: \_\_\_\_\_  
 Sprinkler Substitute for Type A Construction: YES NO  
 Sprinkler System: FULL PARTIAL NONE Required: YES NO  
 Alarm System: FULL PARTIAL NONE Required: YES NO  
 Code Edition: JRC 2006 Code Review by: Jay Date: 5/31/13

**Valuation for Permit Fee Calculations:**

S.F. Type Rate Amount

Total Valuation: \_\_\_\_\_

**LAND USE**  
 ZONE/UNITS GC / 1  
 WETLAND \_\_\_\_\_  
 FLOOD ELEV 25.50  
 FIRM ZONE AB  
 FIRM MAP \_\_\_\_\_  
 LOT SIZE 218,671 SF  
5.0ACRES  
 SETBACKS  
 Front 10  
 Rear 10  
 Side 10  
 Other \_\_\_\_\_  
 PARKING \_\_\_\_\_  
 ANADROMOUS \_\_\_\_\_  
 EAGLES NEST \_\_\_\_\_

**ENGINEERING/PUB WORKS**  
 Dwelling Units: \_\_\_\_\_  
 CITY WATER:  
 Permit #: \_\_\_\_\_  
 Use: \_\_\_\_\_  
 Assessment: \_\_\_\_\_  
 Service Size: \_\_\_\_\_  
 Line Size: \_\_\_\_\_  
 Meter Size: \_\_\_\_\_  
 CITY SEWER:  
 Permit #: \_\_\_\_\_  
 Use: \_\_\_\_\_  
 Assessment: \_\_\_\_\_  
 Fixture Units: \_\_\_\_\_

**PLAN REVIEW APPROVALS**

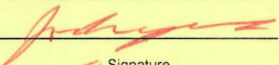
	Initials	Date
Fire	_____	_____
Zoning	_____	_____
Engineering	_____	_____
Water	_____	_____
Sewer	_____	_____
Architectural	_____	_____
Structural	_____	_____
Plumbing	_____	_____
Mechanical	_____	_____
Electrical	_____	_____
Access	_____	_____
Spcl Insp Form	_____	_____

**PERMIT ISSUANCE FEES**

Grading Plan Review Fee	\$ _____
Adjusted Plan Review Fee	\$ _____
Fast Track Fee	\$ _____
Early Start Fee	\$ _____
Building Permit Fee	\$ _____
Water Assessment Fee	\$ _____
Sewer Assessment Fee	\$ _____
Sewer Inspection Fee	\$ _____
Grading Permit Fee	\$ _____
Driveway Permit Fee	\$ _____
Bond for _____	\$ _____
Other _____	\$ _____
<b>Total Issuance Fees</b>	\$ _____

ADR Case #: \_\_\_\_\_  
**LAND USE PERMITS**

**WATER CONNECTION PERMITS**  
 I hereby acknowledge receipt of  
 a \_\_\_\_\_ inch meter yoke.  
 X \_\_\_\_\_  
 Date \_\_\_\_\_

**APPROVED FOR ISSUANCE**  
  
 Signature \_\_\_\_\_  
 Date 5/31/13

**PERMIT ISSUANCE PAYMENTS**

Date	Receipt	Check	Amount
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

**Parcel Tags:**  
 1/23/04 KJB. See attached document DEED 20040108.

CONDITIONS AND HOLDS ON PERMIT: (Continued on back of sheet)

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Application Date: May 31, 2013

# BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Case No: **DMO20130015**

Case Description: Demo Fire Damaged Dwelling

Site Address: **5617 AISEK ST**

Check No. of Existing Dwelling Units:

Parcel No: 5B1201040060

No. of New Dwelling Units:

Legal Description: HORN LT 1

No. of Removed Dwelling Units:

**Applicant :** GASTINEAU HUMAN SERVICES CORPORATION  
5597 AISEK ST  
JUNEAU AK 99801

**Owner:** GASTINEAU HUMAN SERVICES CORPORATION  
5597 AISEK ST  
JUNEAU AK 99801

**Contractor:** SOUND CONSTRUCTION LLC  
9214 EMILY WAY  
JUNEAU AK 99801

PH: \_\_\_\_\_ FAX \_\_\_\_\_

**Valuation for Permit Fee Calculations:**

S.F. Type Rate Amount

Total Valuation: \_\_\_\_\_

**Associated Cases:**

None.

**Parcel Tags:**

1/23/04 KJB. See attached document DEED 20040108.

**Notes and Conditions:**



**Applicant's Signature**  
(Owner, Contractor or Authorized Agent)

5/31/13

**Date**

Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us  
Web Page: HTTP://WWW.JUNEAU.ORG/PERMITS





5B1201040060\_1\_02192016



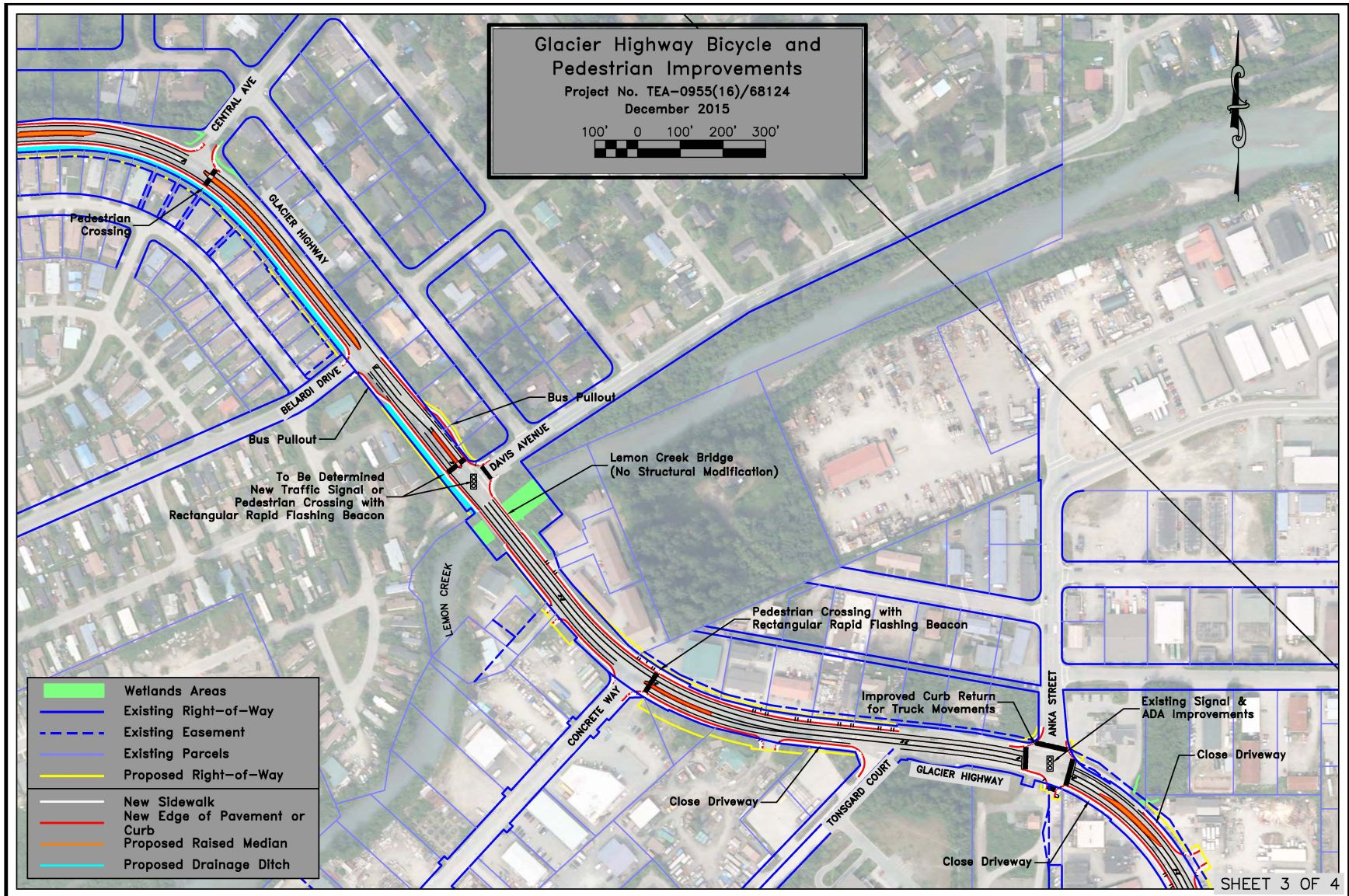
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5B1201040060\_3\_02192016



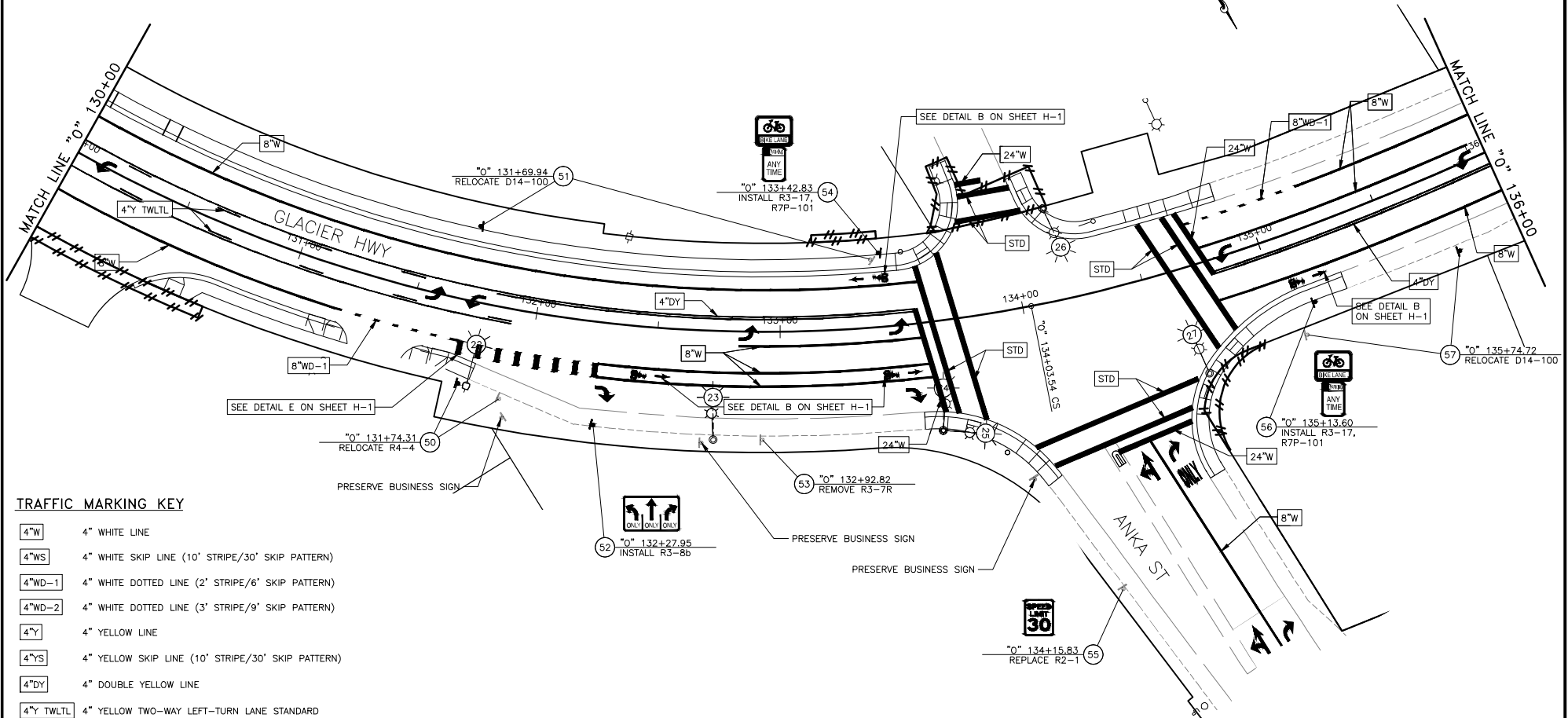
5B1201040060\_4\_02192016



Attachment H - AK DOT&PF Glacier Highway through Lemon Creek Plans

STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
ALASKA	TEA-0955(016)/Z68124	2017	H-7	##

SEE SIGNAL SHEET H-24 FOR TRAFFIC SIGNAL SIGNING



**TRAFFIC MARKING KEY**

- 4"W 4" WHITE LINE
- 4"WS 4" WHITE SKIP LINE (10' STRIPE/30' SKIP PATTERN)
- 4"WD-1 4" WHITE DOTTED LINE (2' STRIPE/6" SKIP PATTERN)
- 4"WD-2 4" WHITE DOTTED LINE (3' STRIPE/9" SKIP PATTERN)
- 4"Y 4" YELLOW LINE
- 4"YS 4" YELLOW SKIP LINE (10' STRIPE/30' SKIP PATTERN)
- 4"DY 4" DOUBLE YELLOW LINE
- 4"Y TWLTL 4" YELLOW TWO-WAY LEFT-TURN LANE STANDARD
- 8"W 8" WHITE LINE
- 8"WD-1 8" WHITE WIDE DOTTED LINE (2' STRIPE/4' SKIP PATTERN)
- 8"WD-2 8" WHITE WIDE DOTTED LINE (3' STRIPE/9' SKIP PATTERN)
- 12"WD 12" WHITE WIDE DOTTED LINE (2' STRIPE/2' SKIP PATTERN)
- 12"WRE 12" WHITE ROUNDABOUT ENTRY (2' STRIPE/6' SKIP PATTERN)
- 24"W 24" WHITE LINE
- STD SEE STANDARD DRAWING

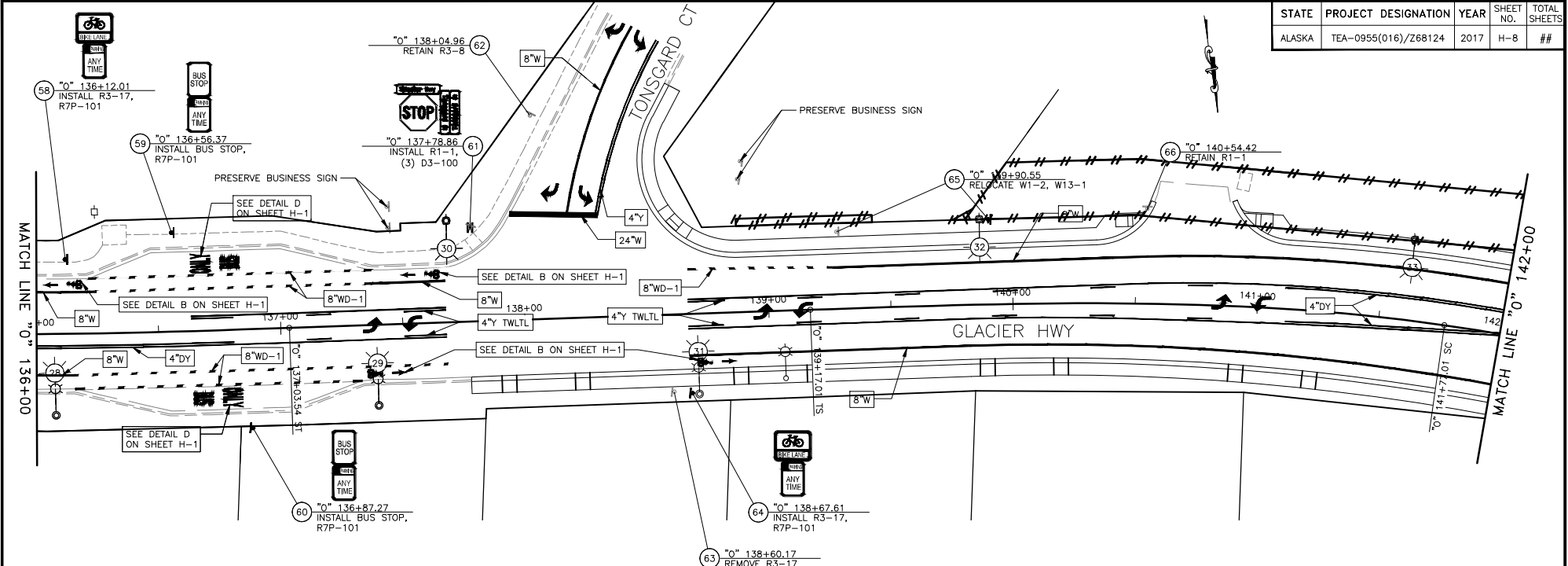
**NOTE:**  
DIMENSIONS ARE TO CENTER OF STRIPE OR STRIPE GROUP.

SIGNING AND STRIPING PLAN 6



H:\2017\20487 - Glacier Highway - Juneau Traffic Design\design\CD\68124\_H\_SIGNSTRIPING-H-7\_Mid\_May/24/17\_1134am

STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
ALASKA	TEA-0955(016)/Z68124	2017	H-8	##

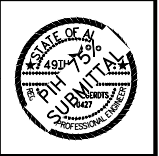


**TRAFFIC MARKING KEY**

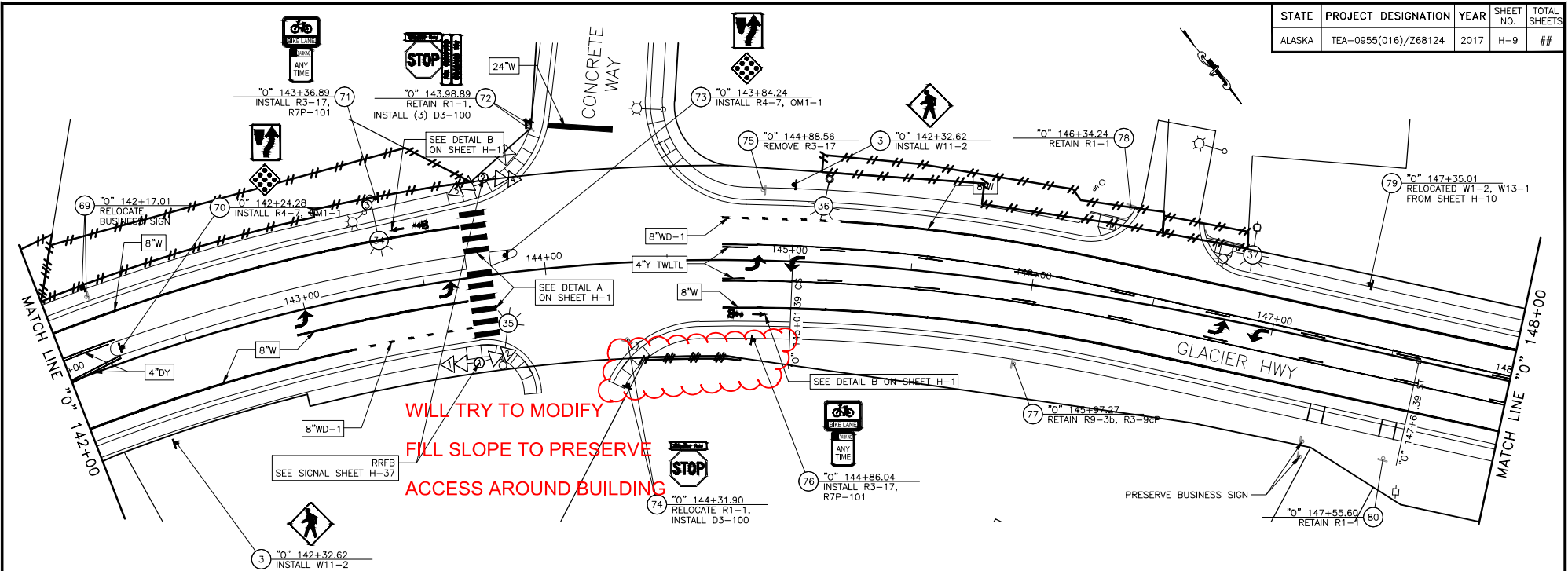
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- 4"Y TWLTL 4" YELLOW TWO-WAY LEFT-TURN LANE STANDARD
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- 12"WRE 12" WHITE ROUNDABOUT ENTRY (2' STRIPE/6' SKIP PATTERN)
- 24"W 24" WHITE LINE
- STD SEE STANDARD DRAWING

**NOTE:**  
DIMENSIONS ARE TO CENTER OF STRIPE OR STRIPE GROUP.

SIGNING AND  
STRIPING PLAN 7



STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
ALASKA	TEA-0955(016)/Z68124	2017	H-9	##



WILL TRY TO MODIFY  
 FILL SLOPE TO PRESERVE  
 ACCESS AROUND BUILDING

**TRAFFIC MARKING KEY**

- 4"W 4" WHITE LINE
- 4"WS 4" WHITE SKIP LINE (10' STRIPE/30' SKIP PATTERN)
- 4"WD-1 4" WHITE DOTTED LINE (2' STRIPE/6' SKIP PATTERN)
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- 12"WRE 12" WHITE ROUNDABOUT ENTRY (2' STRIPE/6' SKIP PATTERN)
- 24"W 24" WHITE LINE
- STD SEE STANDARD DRAWING

**NOTE:**  
 DIMENSIONS ARE TO CENTER OF STRIPE OR STRIPE GROUP.

SIGNING AND STRIPING PLAN 8



H:\20120487 - Glacier Highway - Juneau Traffic Design\Design\_CD\88124\_H\_SIGNSTRIP-H-9\_Wed\_May/24/17 1:33:40m

## Ilsa Lund

---

**From:** Robert Pearson <robert\_pearson@ghscorp.org>  
**Sent:** Friday, July 26, 2024 1:32 PM  
**To:** Ilsa Lund  
**Cc:** Ryan Kauzlarich; Jonathan Swinton; Mariya Lovishchuk; Neal Shull  
**Subject:** Gastineau Human Services Conditional Use Permit 2024 0015  
**Attachments:** GHS Permit July 26 2024.jpg

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS**

Hi Ilsa,

Per your email (below) of July 23, attached is a photo of the Gastineau Human Services Conditional Use Permit 2024 0015 in place.

Good morning,

Part of the Conditional Use Permit process is posting of a large, red Public Notice sign at the site of the proposed development. The sign is in out Permit Center (4<sup>th</sup> floor of the Marine View, 230 S. Franklin St.) and is ready for pickup. The sign will need to be **posted no later than July 29<sup>th</sup>, 2024**. It should be visible from the right-of-way. A photo of the posted sign will need to be emailed to me. The email will be used to date-and-time stamp the installation of the sign. Please contact Permit Center staff before taking the sign. Please note, if the sign is returned to the Permit Center by the Monday following the Planning Commission meeting, the \$100 sign deposit fee will be refunded.

Thank you,

Robert Pearson, Grants and Contracts Specialist (He/Him)  
Phone: (907) 780-3015  
Fax: (907) 780-3032  
Work Schedule: 8:00 am -5:00 pm M-F



This email, including attachments, is intended for the use of the person or entity to which it is addressed. This message may contain CONFIDENTIAL or privileged information that is protected by federal and state regulation. If the reader of this email is not the intended recipient or his or her agent, the reader is notified that any dissemination, distribution or copying of this email is prohibited. If you think you have received this email in error, please advise the sender with a reply email and delete this message immediately. Thank you!



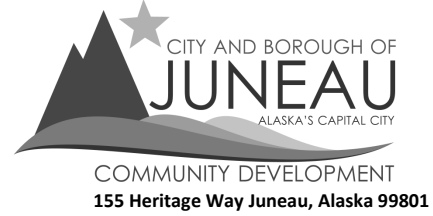
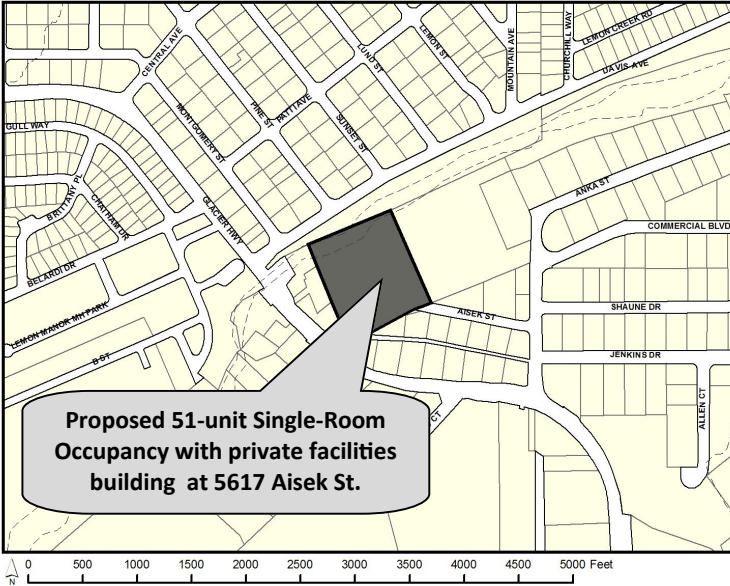
NO  
PARKING  
ANY  
TIME

**NOTICE** 586-0715  
CONDITIONAL USE PERMIT  
CASE: USE 2024 0015  
APPLICATION TO  
CONSTRUCT 51 SINGLE-  
ROOM OCCUPANCIES  
WITH PRIVATE FACILITIES  
IN A GC ZONE.  
HEARING DATE: 8/13/2024

# Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

*Your Community, Your Voice*



TO

An application for a **Conditional Use Permit** has been submitted for consideration and public hearing by the Planning Commission for a **51-unit Single-Room Occupancy with private facilities apartment building** at **5617 Aisek St.** in a **General Commercial (GC) zone.**

**PROJECT INFORMATION:**

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

**PLANNING COMMISSION DOCUMENTS:**

Staff Report expected to be posted **August 5, 2024** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

<p><b>Now through July 29</b></p>	<p><b>July 30— noon, August 9</b></p>	<p><b>HEARING DATE &amp; TIME: 7:00 pm, August 13,2024</b></p>	<p><b>August 14</b></p>
<p>Comments received during this period will be sent to the Planner, <b>Ilsa Lund</b>, to be included as an attachment in the staff report.</p>	<p>Comments received during this period will be sent to Commissioners to read in preparation for the hearing.</p>	<p>This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <a href="https://juneau.zoom.us/j/84261423650">https://juneau.zoom.us/j/84261423650</a> and use the Webinar ID: 842 6142 3650 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).  You may also participate in person in City Hall Assembly Chambers, 155 Heritage Way Juneau, Alaska.</p>	<p>The results of the hearing will be posted online.</p>

**FOR DETAILS OR QUESTIONS,**

Phone: (907)586-0753 ext. 4128

Email: [pc\\_comments@juneau.gov](mailto:pc_comments@juneau.gov) or [ilsa.lund@juneau.gov](mailto:ilsa.lund@juneau.gov)

Mail: Community Development, 155 Heritage Way, Juneau AK 99801

**Case No.: USE2024 0015**  
**Parcel No.: 5B1201040060**  
**CBJ Parcel Viewer: <http://epv.juneau.org>**