



**PLANNING COMMISSION STAFF REPORT
CONDITIONAL USE PERMIT USE2025 0002
HEARING DATE: MARCH 11, 2025**

(907) 586-0715

CDD_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

DATE: February 26, 2025
TO: Mandy Cole, Chair, Planning Commission
BY: Jolene Murphy, Planner I *Jolene Murphy*
THROUGH: Jill Lawhorne, Director, AICP

PROPOSAL: Use two existing church rooms to serve as a preschool for children aged 3-5. Additionally, these rooms can be utilized for Family Promise's rotational sheltering program, various school services independent of church activities, and be a designated Red Cross Emergency Shelter in the event of a disaster.

STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- Two existing, permitted multipurpose rooms are available preschool services and temporary shelter use.

GENERAL INFORMATION	
Property Owner	St. Brendan's Episcopal Church
Applicant	St. Brendan's Episcopal Church
Property Address	4207 Mendenhall Loop Rd.
Legal Description	USS 1529 FR
Parcel Number	5B2401220030
Zoning	D5 (Single-Family/Duplex)
Land Use Designation	Low Density Residential
Lot Size	234,353 square feet; 5.38 acres
Water/Sewer	CBJ / CBJ
Access	Mendenhall Loop Rd
Existing Land Use	Church
Associated Applications	CU-10-87; CU-06-88; PAC24-64

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - 49.15.330
 - 49.25.300
 - 49.40.300(a)(2).
 - 49.80

The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit. A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedures is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES	
North (D5)	Vacant
South (D5)	Duplex
East (D5)	Single-Family Dwelling
West (ROW)	Mendenhall Loop Rd

SITE FEATURES	
Anadromous	None
Flood Zone	None; 02110C1239E
Hazard	None Mapped
Hillside	None
Wetlands	None
Parking District	None
Historic District	N/A
Overlay Districts	None

BACKGROUND INFORMATION

Project Description – The applicant requests a Conditional Use Permit to use two (2) existing classroom spaces for preschool services for up to 12 children aged 3 to 5. These rooms would also be used periodically for rotational sheltering for Family Promise programming. This would be periodic use with the goal of housing up to 3 families for up to a one-month period. In the event of a natural disaster, the applicant requests to use the two existing spaces for Red Cross Emergency Sheltering services as well. One space, Boeser Hall, is a dividable classroom. There is an additional larger room available in Adam’s Hall (**Attachment A**).

School entities using the facility would operate five days a week for either a full or half day. The Family Promise program would operate in the evening hours periodically. The facilities may also be used for community meetings, AA meetings, as a voting center or for occasional overnight high school guests from visiting schools (**Attachment A**).

Background – In 1987, a conditional use permit (CU-10-87) was granted for the construction of a church in a residential district (**Attachment G**). A modification to the structure’s configuration and permit conditions was granted by the commission under CU-06-88. The use of the new structure was not specified (**Attachment H**).

St. Brendan’s was issued a Certificate of Occupancy in 1989 (**Attachment N**). A multipurpose room, Adam’s Hall, was issued a certificate of occupancy in 1991 (**Attachment J**). In 2012, a building permit was approved to extend the south arm of the church. This portion includes the existing classrooms (**Attachment L**).

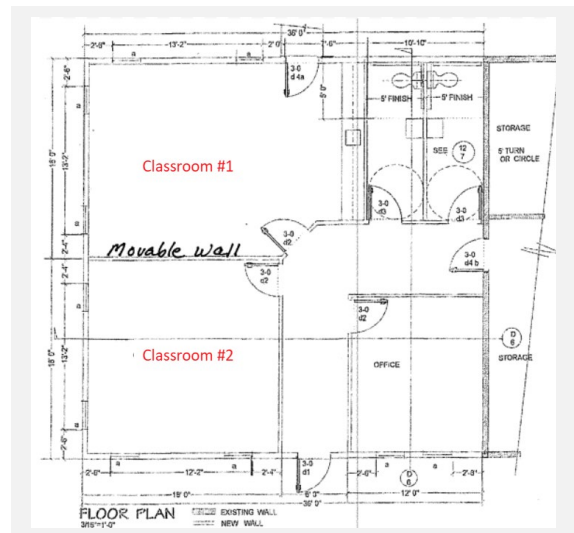
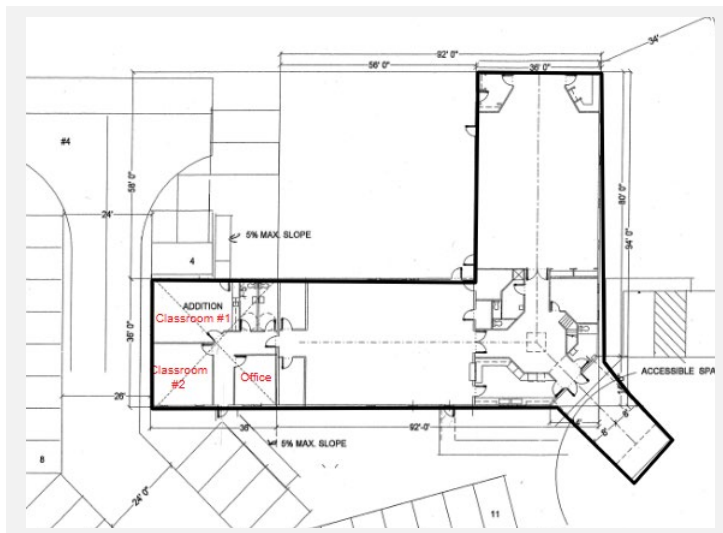
INFORMATION REVIEWED

Date	Item	Summary
1960	Plat	USS 260 (Attachment E).
1971	Plat Resolution	Waiver of platting requirements of FR U.S.S. 1529 & U.S.S. 1799 (Attachment F).
1987	CU-10-87	Allowed for church construction (Attachment G).
1988	CU-06-88	Allowed for modification of site plans granted under CU-10-87 (Attachment H).
1991	As-Built	Parking & Utilities (Attachment I).
1991	CO	For multipurpose room aka Adam's Hall (Attachment J).
2012	BLD2012-211 Plans	Site layout, property setbacks (Attachment K).
2013	CO	Western arm of church extended; this portion includes the 2 classrooms (Attachment L).
2023	Aerial Imagery	Vegetative coverage, lot size (Attachment M).
2024	PAC24-64	Narrative, preliminary requirements (Attachment A).
2025	Assessor Data	Year constructed, lot size (Attachment N).
2025	APP_USE25-2	Revised narrative, proposal, site plan (Attachment A).

ZONING REQUIREMENTS

Standard		Requirement	Existing	Code Reference
Lot	Size	7,000 square feet	234,353 square feet	CBJ 49.25.400
	Width	70 feet	~385 feet	CBJ 49.25.400
Setbacks	Front (NE)	20 feet	37.14 feet	CBJ 49.25.400
	Rear (SW)	20 feet	270.27 feet	CBJ 49.25.400
	Side (S)	5 feet	244 feet	CBJ 49.25.400
	Side (NW)	13 feet	~250 feet	CBJ 49.25.400
Lot Coverage Maximum	Permissible	50%	<1%	CBJ 49.25.400
	Accessory	50%	N/A	CBJ 49.25.400
Vegetative Cover Minimum		20%	~80%	CBJ 49.50.300
Height	Permissible	35 feet	One (1) story, vaulted ceiling	CBJ 49.25.400
	Accessory	25 feet	N/A	CBJ 49.25.400
Maximum Dwelling Units		N/A	N/A	CBJ 49.25.500
Use	Primary	Church	Church	CBJ 49.25.300 paragraph 5.200
	Secondary	-Elementary and secondary schools - Assisted Living	-Elementary and secondary schools - Assisted Living	CBJ 49.25.300 paragraphs 5.110 & 7.200

SITE PLAN



ANALYSIS

Project Site – The site is located on 5.38 acres in a D5 zoning district that is accessed by Mendenhall Loop Rd. Aerial imagery and 2012 site plans confirm that the lot satisfies zoning requirements (**Attachment M & K**). This proposal does not include any changes to the structure or lot.

Project Design – The dividable classroom facilities measure 306 square feet and 396 square feet. Additional space is available in Adam’s Hall, measuring 1,728 square feet. There are no proposed or required design changes as a part of this proposal (**Attachment A**).

Traffic – Traffic is estimated using the Institute of Traffic Engineer’s Trip (ITE) Generation Manual, 9th Edition. Counts for educational preschools are not provided in this volume. The “day care center” use most closely resembles the possible traffic generated. Use as an infrequent shelter via Family Promise and Red Cross is not expected to impact traffic amounts.

Estimated traffic amounts for the connecting classrooms and Adam’s Hall are as follows. The proposed use is estimated to generate fewer than 250 average daily trips and will not require a traffic impact analysis [CBJ 49.40.300(a)(3)].

Use	Total Sq. Ft.	Metric	Approximate	Total AADT
Day Care Center – Students	3:1134	4.38 trips/student	12 students	52.56
			Total (rounded):	53

Vehicle Parking & Circulation – The church was required to provide 43 parking spaces in 1987; accessible parking spaces were not required until 1990 (**Attachment H**). According to 2012 site plans, 47 spaces are provided (**Attachment K**). Parking is shared with the church and provides the required two (2) spaces per classroom. It also meets the zero point four (0.4) spaces per shelter resident requirement, per CBJ 49.40.210.

Use	Unit/Total Sq. Ft.	Spaces Required	Total Spaces
Church (Sanctuary)	1/4 seats	43	47
School, elementary	2/classroom	4	Shared parking available
Assisted Living	0.4/maximum number of residents	6.4	Shared parking available
Total Parking Requirement:			47
ADA Accessible Spaces Required:			2

Condition: Pursuant to CBJ 49.40.22599(a), existing parking spaces must be stripped or demarcated with curb stops. The two required ADA spaces must be designated with signage and meet ADA accessible standards.

Noise – Noise created from additional school services and occasional small-scale, shelter use is not expected to be out of the ordinary with regular church-related activities.

Lighting - No additional lighting is proposed.

Vegetative Cover & Landscaping – A minimum of 20% vegetative cover is required in the D5 zoning district. 2023 GIS Aerial Imagery indicate that this requirement is met, the proposed uses will not decrease coverage.

Habitat – No wetlands are located on the parcels. No anadromous waterbodies are on the subject parcel, or within 50 feet. The nearest anadromous stream is approximately 150 feet from the northwestern lot line.

Drainage and Snow Storage – The applicant is not proposing any grading or drainage changes.

Historic District – The property is not located within the historic district.

Hazard Zones – The lot is not located within a mapped hazard zone.

Public Health, Safety, and Welfare – There is no evidence to suggest that the proposed development will materially endanger the public health, safety and welfare.

Property Value or Neighborhood Harmony – There is no evidence to suggest that the proposed development will be out of character with the existing neighborhood or that it would reduce property values. St. Brendan’s church has been in operation in a residential zoning district since 1987.

AGENCY REVIEW

CDD conducted an agency review comment period between February 12th and February 20th and received the following responses:

Agency	Summary
Building Division	
General Engineering	No concerns from GE

Agency	Summary
Capital Fire Department	The classrooms that are being considered meet all the requirements for the preschool. Also let it be noted that the hours of operation are 8-noon with no more than 12 students, no napping will take place. The building is fully alarmed and has proper egress and EERs in each classroom. The Fire alarm system is due for annual service and the applicant is scheduling the service so it will be complete before the Fire and Life Safety Inspection for licensing takes place.

PUBLIC COMMENTS

CDD conducted a public comment period between January 27th and February 20th. Public notice was mailed to property owners within 500 feet of the proposed development. A public notice sign was also posted on-site two weeks prior to the scheduled hearing. Public comments submitted at time of writing this staff report can be found in Attachment D.

Name	Summary
Dustin Lotz	Concerns about scale of homeless shelter

CONFORMITY WITH ADOPTED PLANS

The proposed development is in general conformity with the 2013 Comprehensive Plan and the 2015 Juneau Economic Development Plan.

PLAN	Chapter	Page No.	Item	Summary
2013 Comprehensive Plan	4	37	4.1-IA7	Facilitate the provision of adaptive housing in residential neighborhoods
	14	218	14.4-SOP2	Support child care providers as needed to ensure adequate supply of quality child care opportunities
2015 Juneau Economic Development Plan	5	65	Action 2-E	Collaborate with pre-K providers to secure appropriate space for pre-K programs

FINDINGS

Conditional Use Permit Criteria – Per CBJ 49.15.330 (e) & (f), Review of Director's & Commission's Determinations, the Director makes the following findings on the proposed development:

1. *Is the application for the requested Conditional Use Permit complete?*

Analysis: No further analysis needed.

Finding: Yes. The application contains the information necessary to conduct a full review of the proposed development. The application submittal by the applicant, including the appropriate fees, substantially conforms to the requirements of CBJ Chapter 49.15.

2. *Is the proposed use appropriate according to the Table of Permissible Uses?*

Analysis: The application is to use existing church space for daycare and occasional assisted living use. These uses are listed at CBJ 49.25.300, Section 5.110 & 7.200 for the D5 zoning district.

Finding: Yes. The requested permit is appropriate according to the Table of Permissible Uses.

3. *Will the proposed development comply with the other requirements of this chapter?*

Analysis: No further analysis needed.

Finding: Yes, with the recommended conditions, the proposed development will comply with Title 49, including parking, lighting and noise requirements.

4. *Will the proposed development materially endanger public health, safety, or welfare?*

Analysis: No further analysis needed.

Finding: No. There is no evidence to suggest that the requested elementary/secondary school and assisted living use, in a D5 zoning district, will materially endanger the public health or safety.

5. *Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?*

Analysis: No further analysis needed.

Finding: No. There is no evidence to suggest that with appropriate conditions, the requested elementary/secondary school and assisted living use, in a D5 will substantially decrease the value or be out of harmony with the property in the neighboring area.

6. *Will the proposed development be in general conformity with the Comprehensive Plan, or other officially adopted plans?*

Analysis: No further analysis needed.

Finding: Yes. The proposed uses 5.110, elementary and secondary schools, and 7.200, assisted living will be in general conformity with the 2013 Comprehensive Plan and 2015 Juneau Economic Development Plan

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow two existing church rooms to serve as a preschool for children aged 3-5 of in a D5 zone. This permit would also allow for occasional, overnight shelter use for 1-3 families in a D5 zone.

The approval is subject to the following conditions:

1. Pursuant to CBJ 49.40.22599(a), existing parking spaces must be stripped or demarcated with curb stops. The two required ADA spaces must be designated with signage and meet ADA accessible standards.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	<i>Application Packet</i>
Attachment B	<i>Abutters Notice and Public Notice Sign Photo</i>
Attachment C	<i>Agency Comments</i>
Attachment D	<i>Public Comments</i>
Attachment E	<i>1960 Plat</i>
Attachment F	<i>1971 Plat Resolution</i>
Attachment G	<i>1987 CU-10-87</i>
Attachment H	<i>1988 CU-06-88</i>
Attachment I	<i>1991 As-Built</i>
Attachment J	<i>1991 Certificate of Occupancy</i>
Attachment K	<i>BLD2012011 Plans</i>
Attachment L	<i>2013 Certificate of Occupancy</i>
Attachment M	<i>2023 Aerial Imagery</i>
Attachment N	<i>2025 Assessor Data</i>



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION														
	Physical Address 4207 Mendenhall Loop Rd.														
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) USS 1529 FR														
	Parcel Number(s) 5B2401220030														
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____														
	LANDOWNER/ LESSEE														
	Property Owner Episcopal Dioceses of Alaska	Contact Person Suzanne Krull													
	Mailing Address canonsk@episcopalak.org	Phone Number(s) 907-452-3040													
	E-mail Address														
	LANDOWNER/ LESSEE CONSENT														
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.															
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.															
<table style="width:100%; border: none;"> <tr> <td style="width:50%; text-align: center;"><u>Suzanne Krull</u></td> <td style="width:50%; text-align: center;"><u>Canon for Finance and Administration</u></td> </tr> <tr> <td style="text-align: center;">Landowner/Lessee (Printed Name)</td> <td style="text-align: center;">Title (e.g.: Landowner, Lessee)</td> </tr> <tr> <td style="text-align: center;">X <u></u></td> <td style="text-align: center;"><u>1/16/2025</u></td> </tr> <tr> <td style="text-align: center;">Landowner/Lessee (Signature)</td> <td style="text-align: center;">Date</td> </tr> <tr> <td style="text-align: center;">Landowner/Lessee (Printed Name)</td> <td style="text-align: center;">Title (e.g.: Landowner, Lessee)</td> </tr> <tr> <td style="text-align: center;">X _____</td> <td style="text-align: center;">_____</td> </tr> <tr> <td style="text-align: center;">Landowner/Lessee (Signature)</td> <td style="text-align: center;">Date</td> </tr> </table>		<u>Suzanne Krull</u>	<u>Canon for Finance and Administration</u>	Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)	X <u></u>	<u>1/16/2025</u>	Landowner/Lessee (Signature)	Date	Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)	X _____	_____	Landowner/Lessee (Signature)	Date
<u>Suzanne Krull</u>	<u>Canon for Finance and Administration</u>														
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)														
X <u></u>	<u>1/16/2025</u>														
Landowner/Lessee (Signature)	Date														
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)														
X _____	_____														
Landowner/Lessee (Signature)	Date														
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.															
APPLICANT If same as LANDOWNER, write "SAME"															
Applicant (Printed Name) St. Brendan's Episcopal Church	Contact Person Dan Hall														
Mailing Address 4207 Mendenhall Loop Rd.	Phone Number(s) Cell-702 374-7475														
E-mail Address sbrendans1985@gmail.com	Phone 907 789-5152														
X <u></u>	<u>1/20/2025</u>														
Applicant's Signature	Date of Application														

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials 	
Case Number USE 25-02	Date Received 1/21/2025



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant	PROJECT SUMMARY <i>Provide space for a preschool (ages 3-5) day care, either full or half days - temporary shelter for families via Family Promise periodically for 2 month and Red Cross Emergency Shelter</i>	
	TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED <input type="radio"/> Accessory Apartment – Accessory Apartment Application (AAP) <input type="radio"/> Use Listed in 49.25.300 – Table of Permissible Uses (USE) Table of Permissible Uses Category: <u>5.110 7.300</u>	
	IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL? <input type="radio"/> YES – Case # _____ <input checked="" type="radio"/> NO	
	UTILITIES PROPOSED WATER: <input type="checkbox"/> Public <input type="checkbox"/> On Site SEWER: <input type="checkbox"/> Public <input type="checkbox"/> On Site	
	SITE AND BUILDING SPECIFICS Total Area of Lot <u>234,353</u> square feet Total Area of Existing Structure(s) <u>6,696</u> square feet Total Area of Proposed Structure(s) <u>N/A</u> square feet	
	EXTERNAL LIGHTING <u>N/A</u> Existing to remain <input type="radio"/> No <input type="radio"/> Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures Proposed <input type="radio"/> No <input type="radio"/> Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures	
ALL REQUIRED DOCUMENTS ATTACHED		
<input type="checkbox"/> Narrative including: <input checked="" type="checkbox"/> Current use of land or building(s) <input checked="" type="checkbox"/> Description of project, project site, circulation, traffic etc. <input type="checkbox"/> Proposed use of land or building(s) <input type="checkbox"/> How the proposed use complies with the Comprehensive Plan		
<input type="checkbox"/> Plans including: <input checked="" type="checkbox"/> Site plan <input checked="" type="checkbox"/> Floor plan(s) <input type="checkbox"/> Elevation view of existing and proposed buildings <input type="checkbox"/> Proposed vegetative cover <input type="checkbox"/> Existing and proposed parking areas and proposed traffic circulation <input type="checkbox"/> Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)		
If this is a modification or extension include: <input type="checkbox"/> Notice of Decision and case number <input type="checkbox"/> Justification for the modification or extension <input type="checkbox"/> Application submitted at least 30 days before expiration date		

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>50</u>			
Pub. Not. Sign Deposit	\$ <u>100</u>			
Total Fee	\$ <u>650</u>			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE25-02</u>	<u>1/21/25</u>



St. Brendan's Episcopal Church

4207 Mendenhall Loop Road

Juneau, Alaska 99801

907 789-5152 sbrendans1985@gmail.com

www.stbrendansjuneau.org

December 16, 2024 (Revised 1/20/2025)

Edward Quinto

City and Borough of Juneau

Community Development

Re: pre-application conference for conditional use permit

St. Brendan's Episcopal Church at 4207 Mendenhall Loop Road would like to use their facility to provide space for a preschool (ages 3-5), daycare, or other school services, temporary shelter via Family Promise periodically for one month and Red Cross emergency shelter.

The spaces St. Brendan's has available are two classrooms (17'X18' and 18'X22') with a movable wall that can be opened to create one larger room. The other space is Adams Hall. It is one large room (36'X48'). St. Brendan's also has a fenced playground with equipment. Restrooms are also available.

The size of the space used will dictate the number of participants.

St. Brendan's will expect any entity using the facility to operate during the day, either full day or half day, five days a week. Evenings will be open to the discretion of St. Brendan's for their use or other religious and community groups, i.e. AA, Girl Scouts, community meetings, Family Promise, periodic overnight guests.

Thank you for your consideration,

Daniel Hall

Office/Building Manager

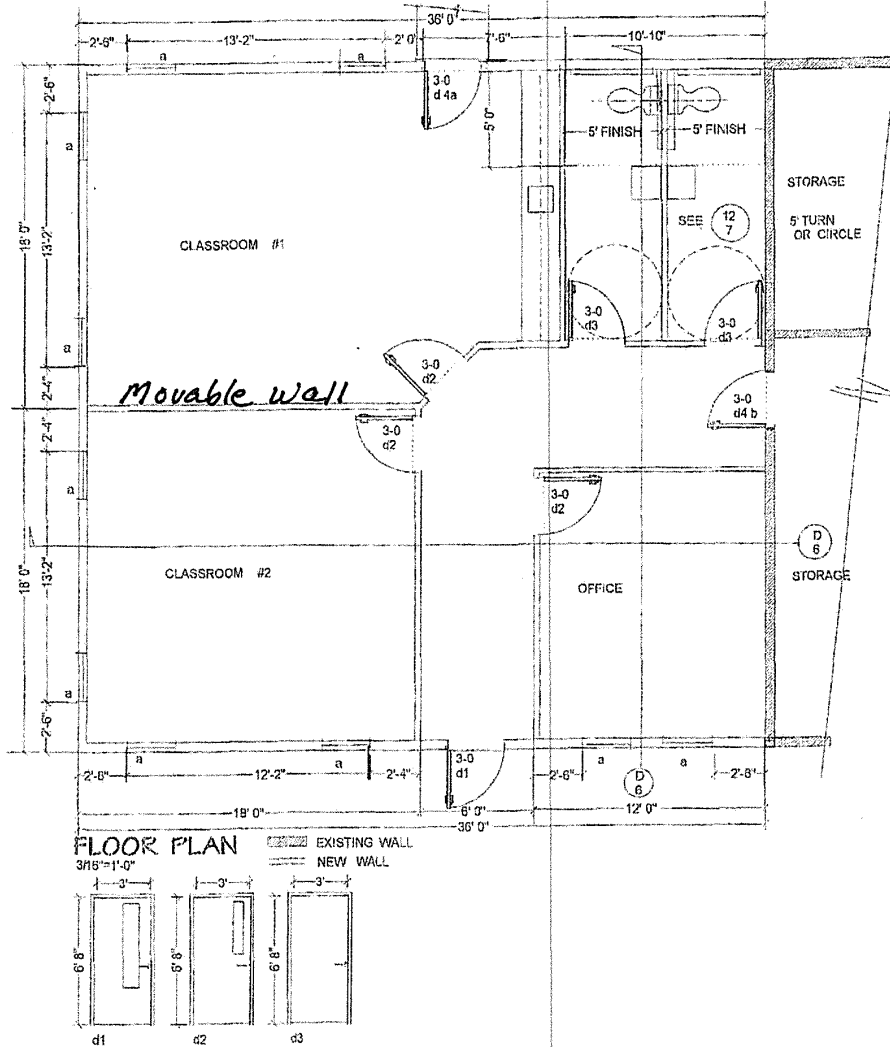
St. Brendan's Episcopal Church

4207 Mendenhall Loop Rd.

Juneau, AK 99801

Cell: 702 374-7475

*Classrooms #1 and #2 for preschool/daycare
and shelter use either individually
or as one large room by opening movable wall*



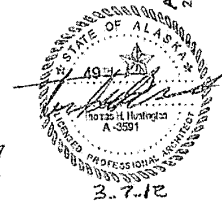
DOOR SCHEDULE

- d1. METAL INSL. DOOR, WOOD JAMB, EXT WALL, LEVER KEY LOCK MASTER KEY, ADA THRESHOLD INSULATED SAFETY GLAZING, ADA CLOSER, BALL BEARING BUTTS
- d2. SOLID CORE L DOOR, WOOD JAMB, EXT WALL, LEVER KEY LOCK MASTER KEY, WALL STOP, SAFETY GLAZING 5"x20" VISION PANEL
- d3. SAME AS d2, EXCEPT NO VISION PANEL, PRIVACY LEVER LOCK
- d4a. EXISTING DOOR, RELOCATE TO CLASSROOM 1 EXTERIOR DOOR. (OPTION ADD NEW DOOR)
- d4b. NEW DOOR-EXISTING OPENING, (d4a), WITH LEVER PASSAGE SET & WITH LEVER LOCK WALL STOP, SAFETY GLAZING 5"x20"

WINDOW SCHEDULE

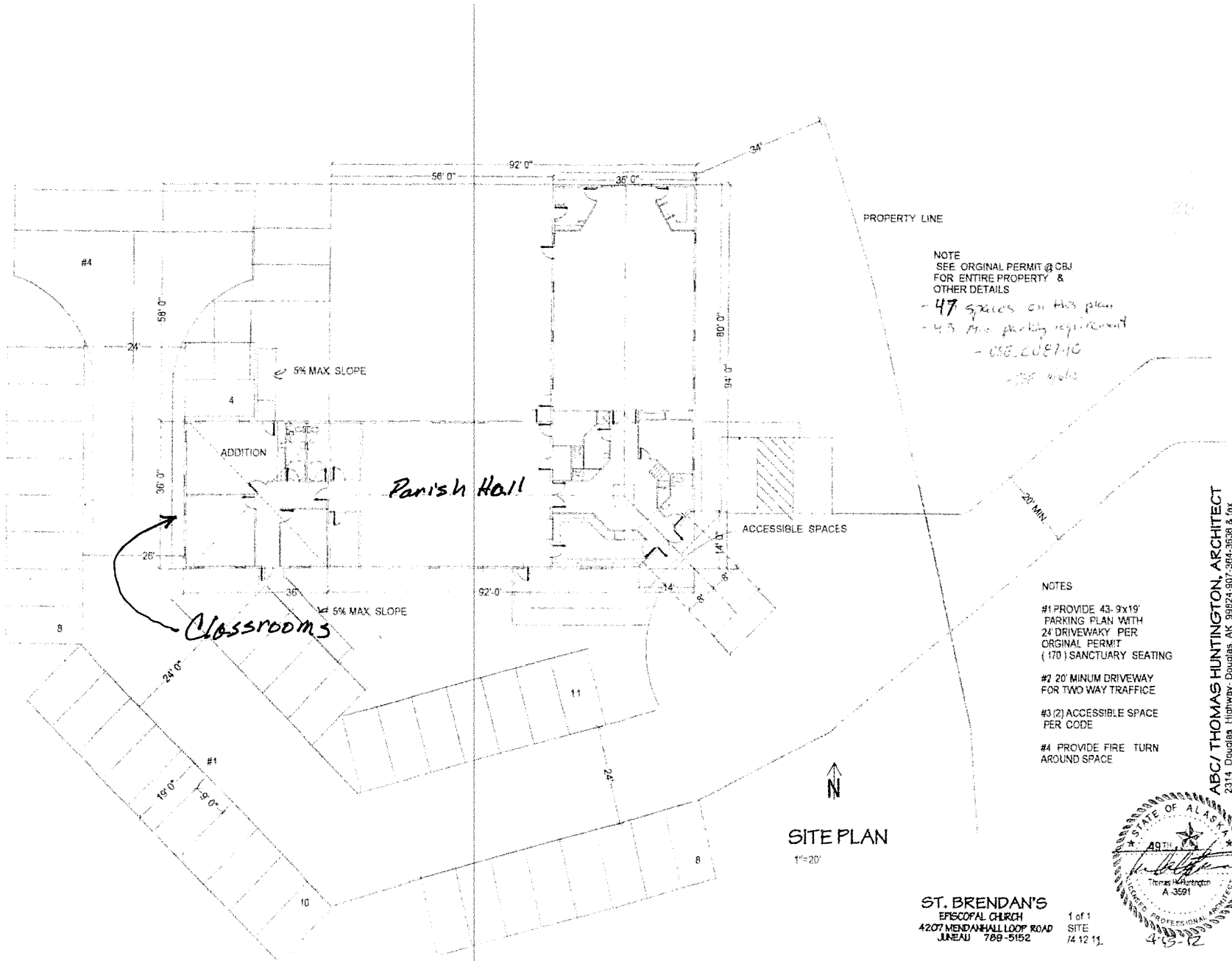
- A Window. MATCH EXISTING ANDERSON OR APPROVED CASEMENT. PROVIDE SCREEN SAFETY GLASS /CODE, INSULATED

ABC/ THOMAS HUNTINGTON, ARCHITECT
2314 Douglas Highway, Douglas, AK 99822-507-354-3538 & fax



ST. BRENDAN'S
EPISCOPAL CHURCH
4207 MENDANHALL LOOP ROAD
JUNEAU 99801-5152

3 of 7
3.7.12



NOTE
 SEE ORIGINAL PERMIT @ CBJ
 FOR ENTIRE PROPERTY &
 OTHER DETAILS
 - 47 spaces on this plan
 - 43 min parking requirement
 - 016-208740
 - 1/28/14

- NOTES
- #1 PROVIDE 43-9x19' PARKING PLAN WITH 24' DRIVEWAY PER ORIGINAL PERMIT (170) SANCTUARY SEATING
 - #2 20' MINUM DRIVEWAY FOR TWO WAY TRAFFICE
 - #3 (2) ACCESSIBLE SPACE PER CODE
 - #4 PROVIDE FIRE TURN AROUND SPACE

ABC/ THOMAS HUNTINGTON, ARCHITECT
 2314 Douglas Highway, Douglas, AK 99824-907-364-3636 & fax



ST. BRENDAN'S
 EPISCOPAL CHURCH
 4207 MENDENHALL LOOP ROAD
 JUNEAU 789-5152

1 of 1
 SITE
 14.12.14
 4-13-12

SITE PLAN
 1"=20'



(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

St. Brendan’s Preschool

Case Number: PAC2024 0064
 Applicant: St. Brendan’s Episcopal Church
 Property Owner: St. Brendan’s Episcopal Church
 Property Address: 4207 Mendenhall Loop Rd
 Parcel Code Number: 5B2401220030
 Legal Description: USS 1529 FR
 Site Size: 234,353 square feet
 Zoning: D5
 Existing Land Use: Church

Conference Date: December 31, 2024
 Report Issued: January 8, 2025
DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Daniel G. Hall	Applicant	SBrendans1985@gmail.com
Jolene Murphy	Planning	Jolene.Murphy@juneau.gov
Irene Gallion	Planning	Irene.Gallion@juneau.gov
Jeff Hedges	Building	Jeffrey.Hedges@juneau.gov
Theresa Ross	Fire Marshal, CCFR	Theresa.Ross@juneau.gov
Sydney Hawkins	Permit Center	Sydney.Hawkins@juneau.gov

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.
The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

The applicant wishes to use 2 existing church rooms as a preschool for children ages 3-5, rotational sheltering for Family Promise, and other school services unrelated to existing church services.



A conditional use permit is **not required** for the following identified social uses:

- AA meetings, Girl Scouts, Parkinsons support group, voting center, radio club, Petersburg high school occasional lodging, etc.

A conditional use permit is **required** for:

- The proposed preschool per 49.25.300 paragraph 5110.
- Use as a temporary shelter for families via the Family Promise program periodically for 1-month periods and Red Cross Emergency Shelter per 49.25.300 paragraph 7.300.

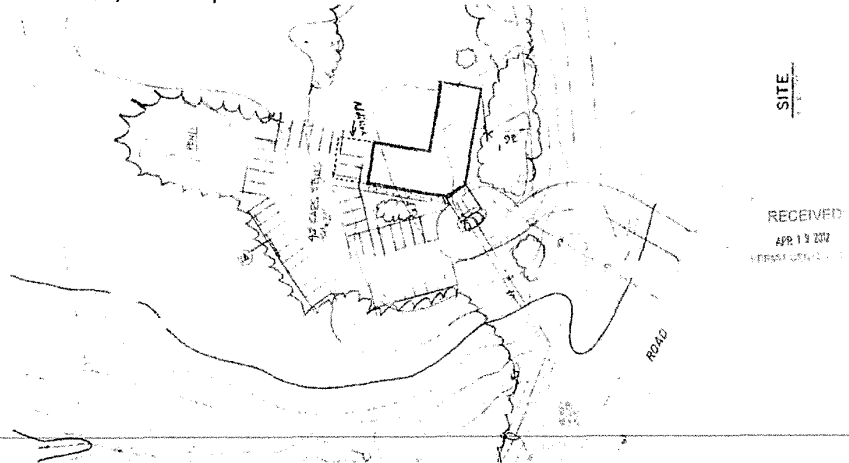
St. Brendan's has two available spaces for school and occasional shelter services. One space, Boesser Hall, is a dividable classroom, measuring 17'x18' and 18' x 22' respectively. There is an additional 36'x48' space in Adams Hall.

School entities using the facility would operate 5 days a week for either a full or half day. The facilities may also be used for community meetings, AA meetings, Family Promise or for periodic overnight guests in the evenings. Per CBJ 49.25.300 paragraph 5.400, social uses do not require a conditional use permit in the D5 zoning district.

Site Background

In 1987, a conditional use permit (CU-10-87) was granted for the construction of a church in a residential district. A modification to the structure's configuration and permit conditions was granted by the commission under CU-06-88. No details were specified as to the use of the modified structure space.

St. Brendan's completed constructed in 1989. A multipurpose room, Adam's Hall, was issued a certificate of occupancy in 1991. In 2012, a building permit was approved to extend the south arm of the church. This portion includes the 2 classrooms, the site plan is included below.



Summary of the Conditional Use Permit Process

- Submit the application and back-up materials (listed on ten back of the application).
 - Electronic submissions accepted at Permits@juneau.gov. Note that the permit center will call you for payment when the application is processed. Applications are submitted in the order in which they are received, and it may be a few days before you get a call.
- The project will be assigned to a planner. They will review submitted materials, and coordinate where necessary. When the planner assesses the file is complete, they will schedule a hearing before the Planning Commission.
 - A notice will be sent to property owners within 500 feet of the project.
 - There will be two newspaper ads for the case.
 - The Applicant is required to post a Public Notice sign, which will be provided by CDD. The sign must be posted two weeks before the hearing.
 - Staff will prepare a report analyzing the project and make a recommendation to the Commission. The report will be publicly available the week before the hearing.
- At the Planning Commission meeting, the project can be:
 - On the Consent Agenda, where it will be passed without discussion.
 - On the Regular Agenda:
 - The Director will briefly describe the project.
 - The Applicant has 15 minutes to describe the project.
 - The public has the opportunity to comment. There is usually a time limit of two to three minutes.
 - The Applicant has time to respond to issues raised.
 - Public comment is closed and there is no additional opportunity to participate.
- The Planning Commission will:
 - Approve the project
 - Approve the project with conditions (the most common outcome)
 - Deny the project
 - Continue the project – if more information is required or if the Commission runs out of time.

- The decision can be appealed for 20 days after the Notice of Decision is filed with the City Clerk. If the decision is appealed, the Applicant can continue with their project at their own risk.

Videos of the Planning Commission activities are posted on Assembly's Minutes and Agendas site.
<https://juneau-ak.municodemeetings.com/>

Planning Division

1. **Zoning:** D5 Single family/duplex
2. **Table of Permissible Uses:**
 - a. **Primary use:** Paragraph 5.200: Churches, synagogues and temples.
 - b. **Secondary uses:** Paragraph 5.110: Elementary and secondary schools including associated grounds and other facilities. Paragraph 7.300: Assisted Living.
3. **Subdivision** – If new construction is proposed across lot lines, lot consolidation will be required.
4. **Setbacks:**

 - a. Front: 20 feet
 - b. Rear yard: 20 feet
 - c. Side yard: 5 feet
 - d. Street side: 13 feet
5. **Height:**
 - a. Permissible: 35 feet
 - b. Accessory: 25 feet
6. **Access:** Mendenhall Loop Rd
7. **Parking & Circulation:** According to a 1991 as-built, 43 parking spaces are provided. In conversation with the applicant, the number of daily students expected is between 10-15 and should not generate traffic levels outside of those typically associated with church related activities. The number of expected students should be confirmed prior to the issuance of a conditional use permit. Shared-parking with the church is available and satisfies the two (2) space per classroom parking requirement. 0.4 spaces are required per maximum number of shelter residents, shared-parking with the church meets this requirement [CBJ 49.40.210]
8. **Lot Coverage:**
 - a. Permissible – 50%
 - b. Conditional – 50%
9. **Vegetative Coverage:** 20%
1. **Lighting:** Exterior lighting may not shed light or glare above the roofline of the building or beyond the property line of the site. Industrial and exterior lighting shall not be used in a manner that produces glare on public highways or neighboring property.
10. **Noise** – Noise created from additional school services and occasional small-scale, shelter use is not expected to be out of the ordinary of regular church-related activities.
11. **Flood** – The development is not within a floodplain (Zone X, Panel 02110C1239E).

- 12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The development is not in a mapped landslide or avalanche area.
- 13. **Wetlands** – No wetland are located on the parcels.
- 14. **Habitat** – No anadromous waterbodies are on the subject parcel, or within 50 feet. The nearest anadromous stream roughly 150 feet from northwestern lot.
- 15. **Plat:** None noted by staff.
- 16. **Traffic:** Traffic is estimated using the Institute of Traffic Engineer’s Trip Generation Manual, 9th Edition (ITE). Counts for educational preschools are not provided in this volume. The “day care center” use most closely resembles the possible traffic generated. Use as an occasional shelter via Family Promise and Red Cross is not expected to impact traffic amounts.

Estimated traffic amounts for the connecting classrooms and Adam’s Hall are as follows. The proposed use is estimated to generate fewer than 250 average daily trips and will not require a traffic impact analysis [CBJ 49.40.300(a)(3)].

Use	Volume/Page	Metric	Approximate	Total AADT
Day Care Center – Students	3:1134	4.38 trips/student	12 students	52.56
Total (rounded)				52.56

- 17. **Nonconforming situations:** No nonconforming situations have been identified.

Building Division

- 18. **Building** – Apologies, after a closer look, a change of use/occupancy permit is required. It is a \$54 permit and will include the Fire Marshal’s inspection. If after the inspection it is found that any changes are required, either a modification can be made to the change of use/occupancy permit or a separate permit can be pulled to address the changes.
- 19. **Open Permits** – There are no open building permits on this property

General Engineering/Public Works

- 20. **Engineering** – N/A
- 21. **Drainage** – N/A
- 22. **Utilities** – N/A

Fire Marshal

- 23. **Fire Items/Access** – The classrooms that are being considered meet all the requirements for the pre-school. Also let it be noted that the hours of operation are 8-noon with no more than 12 students, no napping will take place. The building is fully alarmed and has proper egress and EEROs in each classroom. The Fire alarm system is due for annual service and the applicant is scheduling the service so it will be complete before the Fire and Life Safety Inspection for licensing takes place.

Other Applicable Agency Review

- 24. None

List of required applications

Pre-Application Conference Final Report

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application
2. Allowable/Conditional use Permit Application
3. Building Permit for change of Use

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. 12/16/2024 Narrative

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Conditional Use Permit, Class II: \$500.00
2. Public Notice Sign: \$150, with \$100 refunded if the sign is returned by Monday following the Planning Commission meeting.
3. Building Permit, Change of Use: \$54

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

49.15.330 – Conditional Use Permit

Development Permit Application
Conditional Use Permit Application

49.15.330 Conditional use permit.

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
- (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
 - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with section 49.15.230.
 - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)–(1)(C) of subsection (e) of this section.
 - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
 - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of the application if it is found that the development:
 - (A) Will materially endanger the public health or safety;
 - (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
 - (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.
- (e) *Review of director's determinations.*
- (1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:
 - (A) Whether the proposed use is appropriate according to the table of permissible uses;

-
- (B) Whether the application is complete; and
 - (C) Whether the development as proposed will comply with the other requirements of this title.
- (2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.
- (f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:
- (1) Materially endanger the public health or safety;
 - (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
 - (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.
- (g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:
-
- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
 - (2) *Use.* Use of the development may be restricted to that indicated in the application.
 - (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
 - (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
 - (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
 - (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
 - (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
 - (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
 - (9) *Landslide and avalanche areas.* Development in landslide and avalanche areas, designated on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by assembly ordinance, shall minimize the risk to life and property.
 - (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:

(A) Developments in wetlands and intertidal areas.

- (11) *Sound.* Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation.* Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access.* Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening.* The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.
- (15) *Lot size or development size.* Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage.* Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting.* Conditions may be imposed to control the type and extent of illumination.

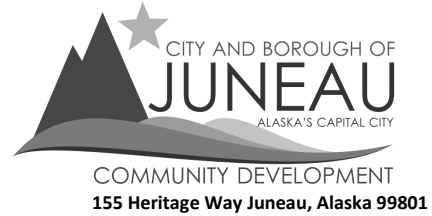
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- (18) *Other conditions.* Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015 ; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018)

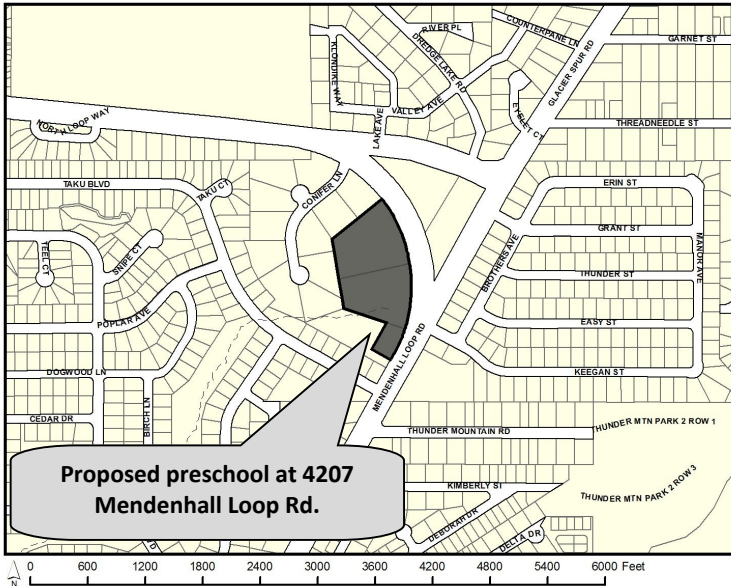
Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



TO



A Conditional Use Permit has been submitted for consideration and public hearing by the Planning Commission for the **use of two existing church rooms to serve as a preschool, rotational sheltering program, various school services, and emergency sheltering facilities at 4207 Mendenhall Loop Road** in a **D5** zone.

PROJECT INFORMATION:

Project Information can be found at:
<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **Monday, March 3, 2025** at
<https://juneau.org/community-development/planning-commission>
 Find hearing results, meeting minutes, and more here, as well.

Now through Feb. 20	Feb. 21 — noon, March 7	HEARING DATE & TIME: 6:00 pm, March 11, 2025	March 12
Comments received during this period will be sent to the Planner, Jolene Murphy , to be included as an attachment in the staff report.	Comments received during this period will be sent to Commissioners to read in preparation for the hearing.	This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting https://juneau.zoom.us/j/85421744892 and use the Webinar ID: 854 2174 4892 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above). You may also participate in person in City Hall Assembly Chambers, 155 Heritage Way Juneau, Alaska.	The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4131
 Email: pc_comments@juneau.gov or Jolene.murphy@juneau.gov
 Mail: Community Development, 155 Heritage Way, Juneau AK 99801

Case No.: USE2025 0002
Parcel No.: 5B2401220030
CBJ Parcel Viewer: <http://epv.juneau.org>

From: [Daniel Hall](#)
To: [Jolene Murphy](#)
Subject: CUP sign St. Brendan's
Date: Thursday, February 13, 2025 1:48:07 PM

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hello Jolene,
Photo of CUP sign
Dan Hall



Sent from my iPhone

From: [Theresa Ross](#)
To: [Jolene Murphy](#)
Subject: RE: USE25-02: St Brendan's For Agency Review
Date: Wednesday, February 12, 2025 8:26:53 AM
Attachments: [image002.png](#)

My notes on the pre-app cover what we need as far as fire.

Thank you,

Theresa Ross, Fire Marshal
Capital City Fire Rescue
820 Glacier Avenue
Juneau AK 99801
907-586-5322 ext. 4323
<https://www.juneau.org/fire>



From: Jolene Murphy <Jolene.Murphy@juneau.gov>
Sent: Wednesday, February 12, 2025 8:23 AM
To: Theresa Ross <Theresa.Ross@juneau.gov>; General Engineering <General_Engineering@juneau.gov>; Jeffrey Hedges <Jeffrey.Hedges@juneau.gov>
Subject: USE25-02: St Brendan's For Agency Review

Good morning,

We recently received an application to use existing church property at St. Brendan's for childcare and Family Promise occasional shelter use. I've attached the application and pre-application report to this email. If you have any questions or concerns, please reach out to me by February 24th. Apologies for the quick deadline. Let me know if you need an extension.

Thank you!

Jolene Murphy | Planner I

[Community Development Department](#) | City & Borough of Juneau, AK
Location: 230 S. Franklin Street | 4th Floor Marine View Building
Office: 907.586.0753 x4131



Fostering excellence in development for this generation and the next.

From: [Bridget LaPenter](#)
To: [Jolene Murphy](#); [Theresa Ross](#); [General Engineering](#); [Jeffrey Hedges](#)
Subject: RE: USE25-02: St Brendan's For Agency Review
Date: Wednesday, February 12, 2025 9:21:03 AM

GE has no concerns with this request.

Bridget LaPenter, P.E. | Chief GE Engineer
General Engineering Department | City & Borough of Juneau, AK
Location: 230 S. Franklin Street, 4th Floor Marine View Building
Office: 907.586.0800 ext. 4187 Cell: 907.500.4170

From: Jolene Murphy <Jolene.Murphy@juneau.gov>
Sent: Wednesday, February 12, 2025 8:23 AM
To: Theresa Ross <Theresa.Ross@juneau.gov>; General Engineering <General_Engineering@juneau.gov>; Jeffrey Hedges <Jeffrey.Hedges@juneau.gov>
Subject: USE25-02: St Brendan's For Agency Review

Good morning,

We recently received an application to use existing church property at St. Brendan's for childcare and Family Promise occasional shelter use. I've attached the application and pre-application report to this email. If you have any questions or concerns, please reach out to me by February 24th. Apologies for the quick deadline. Let me know if you need an extension.

Thank you!

Jolene Murphy | Planner I
[Community Development Department](#) | City & Borough of Juneau, AK
Location: 230 S. Franklin Street | 4th Floor Marine View Building
Office: 907.586.0753 x4131



Fostering excellence in development for this generation and the next.

From: [Dustin Lotz](#)
To: [PC Comments](#); [Jolene Murphy](#)
Subject: Case: USE2025 002
Date: Saturday, February 1, 2025 4:01:44 PM

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Good afternoon,

I recently received the invitation to comment on the conditional use permit application for 4207 Mendenhall Loop Rd. I see that the permit seeks to allow the use of the space for a preschool, rotational sheltering programs, various school services, and emergency sheltering facilities.

I have some questions, as I cannot find further details on the community development site.

While the preschool and school services seem straightforward, I am unclear about the rotational sheltering programs and emergency sheltering facilities.

Is the intent to provide homeless sheltering in this space? If so, I must express my strong opposition to this permit. The Mendenhall Valley is already facing significant challenges with homeless individuals entering our neighborhoods, and I do not want to see them gathering even closer to my community. I believe my stance on this matter is clear.

If the sheltering is aimed at assisting families displaced by emergencies (such as floods or fires), I can understand that intention. Additionally, providing a safe space for victims of domestic abuse is a commendable initiative. I would support programs of this nature within our community.

Thank you for your attention to this matter. I look forward to your clarification.

Very Respectfully

Dustin Lotz
Taku blvd. Juneau, ak 99801

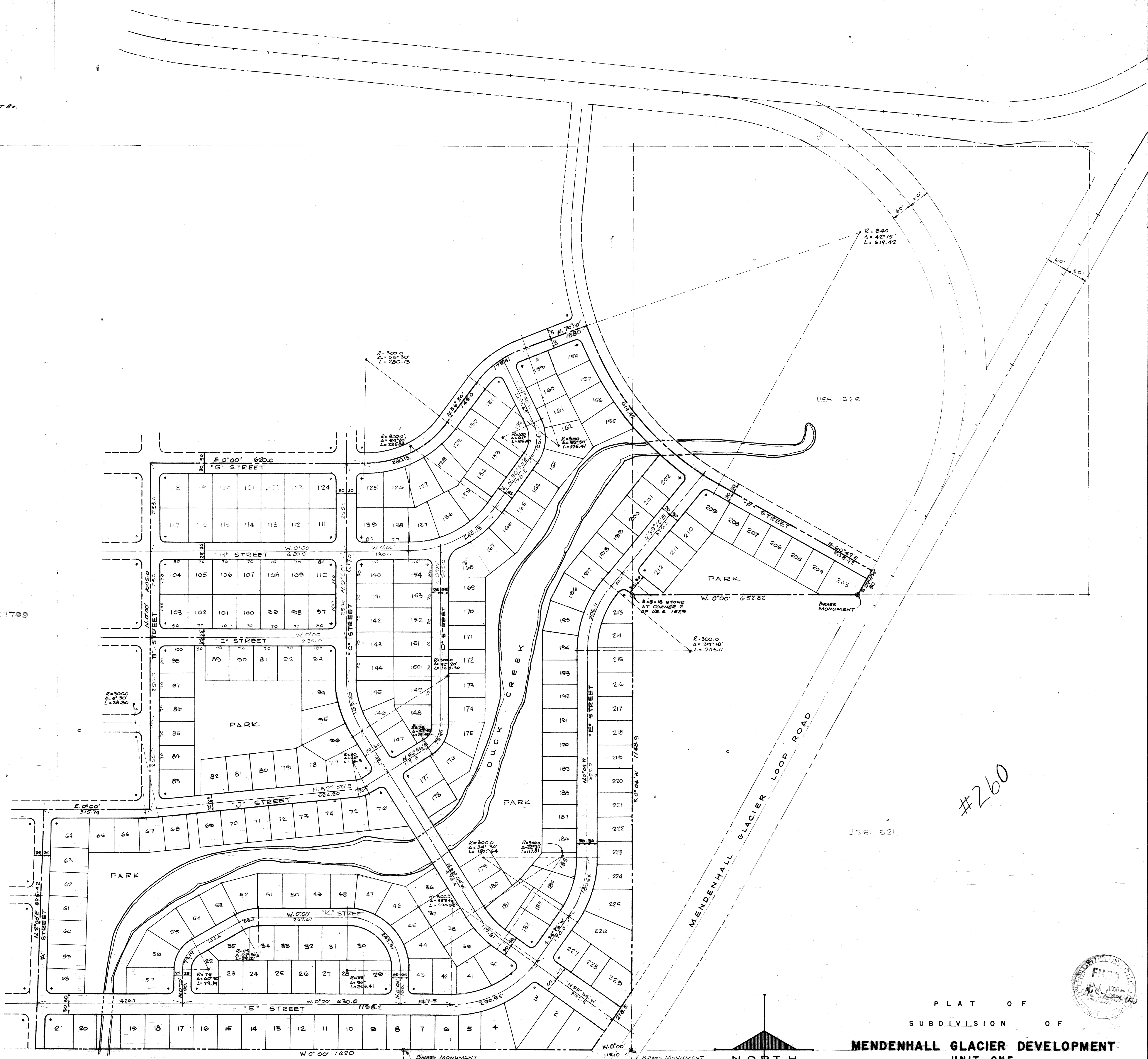
CERTIFICATE OF OWNERSHIP AND DEDICATION
 We hereby certify that we are the owners of the property shown and described herein and that we hereby adopt this plan of subdivision with our free consent, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.
 June 30, 1960

Witnessed by:
[Signature] *J. J. Rainey*
[Signature] *J. J. Rainey*
 Witness
 Co-Owner

CERTIFICATE OF REGISTERED ENGINEER OR SURVEYOR
 I hereby certify that I am a registered professional civil engineer and that this Plat represents the survey made by me or under my direct supervision, and that all dimensions and other details are correct.
 June 28, 1960
[Signature]
 Registered engineer or surveyor

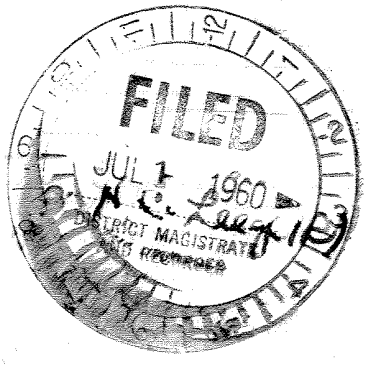
CERTIFICATION OF APPROVAL BY THE BOARD
 I hereby certify that the Subdivision Plat shown herein has been found to comply with the Subdivision Regulations of the Juneau-Douglas District Platting Board, and that said Plat has been approved by the Board by Plat Resolution No. 57, dated June 28, 1960, and that the Plat shown herein has been approved for recording in the office of the United States Commissioner, ex officio Recorder, Juneau.
 June 28, 1960
[Signature]
 Chairman
 Juneau-Douglas District Platting Board

ATTEST:
[Signature]
 Clerk



NOTES:
 1. TYPICAL STREET CORNER RADIUS = 15.0
 2. TYPICAL CORNER LOT 50.0 X 100.0
 3. TYPICAL INTERIOR LOT 70.0 X 100.0
 4. TYPICAL SETBACK LINE = 20.0

RECORDED AT 2:40 PM 7/1/60
 VOL. *[Signature]*
 DISTRICT MAGISTRATE AND RECORDER



PLAT OF
 SUBDIVISION OF
MENDENHALL GLACIER DEVELOPMENT
 UNIT ONE
 ON
 MENDENHALL GLACIER LOOP ROAD
 NEAR JUNEAU, ALASKA
 FRACTION OF U.S. SURVEYS 1799 & 1529

RECORDED AT 8:40 AM 7/1/60
 VOL. *[Signature]*
 DISTRICT MAGISTRATE AND RECORDER
 #260
 SCALE 1"=100 FEET
 LOUIS D. RAINERY
 CONSULTING ENGINEER
 JUNEAU, ALASKA
 DATE: JUNE 27, 1960

Refer to Plat # 271

#260

CITY AND BOROUGH OF JUNEAU, ALASKA

PLATTING RESOLUTION NO. 229

WHEREAS, Gastineau Area Development Corporation
(Applicant(s))

c/o Frank Doogan

has applied to the City and Borough of Juneau Planning Commission in proper form for a waiver of plat and recording requirements of the subdivision of the following described real property:

Fraction of U.S.S. 1529 and U.S.S. 1799

according to the attached plat, sketch or diagram.

WHEREAS, the Commission finds that the proposed conveyance (a) is not being made for the purpose of or in connection with a present or projected subdivision development, (b) is an isolated transaction which does not fall within the general intent of Title 40, Chapter 15, Alaska Statutes, and (c) does not involve or require any dedication of a street, alley, thoroughfare, park or other public area.

BE IT RESOLVED BY THE CITY AND BOROUGH PLANNING COMMISSION AS THE PLATTING AUTHORITY FOR THE CITY AND BOROUGH OF JUNEAU, ALASKA:

That the said application for a statutory waiver of plat and recording requirements to a proposed conveyance of the above described property is hereby granted.

Dated 4-12-71

CITY & BOROUGH OF JUNEAU, ALASKA
PLANNING COMMISSION

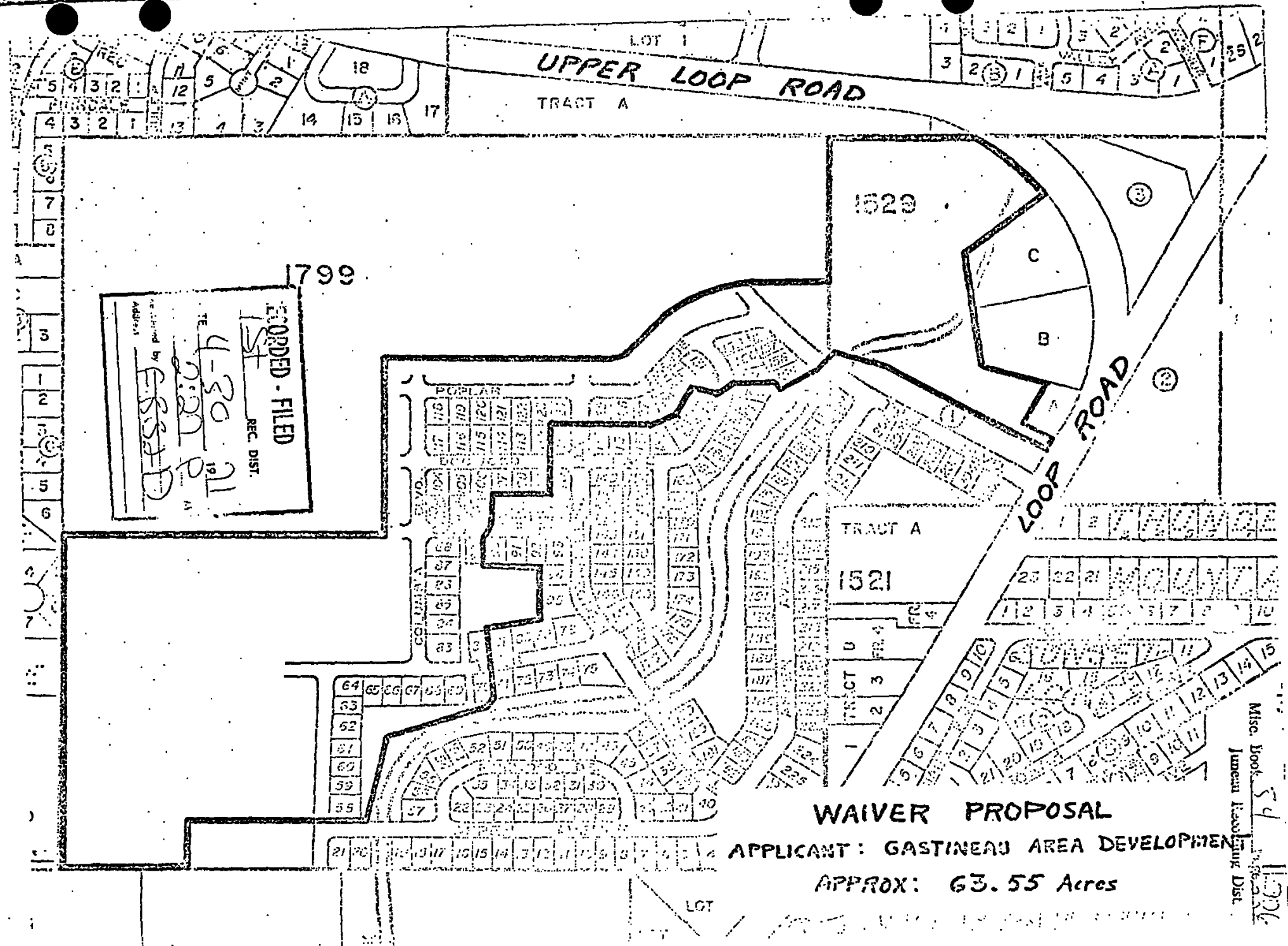
By

Thomas E. [Signature]
Chairman

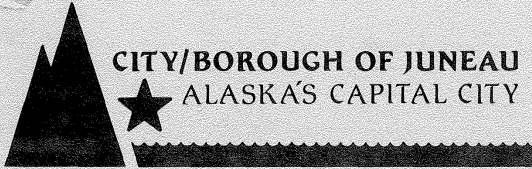
Attest:

Shirley J. [Signature]
Clerk

JUNEAU
Serial No. 71-970



Attachment F – 1971 Plat Resolution



PLANNING COMMISSION
NOTICE OF DECISION
May 26, 1987

File No. CU-10-87

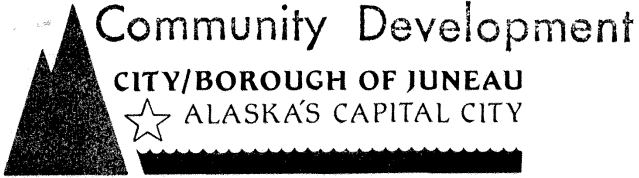
Saint Brendan's Episcopal Church
P.O. Box 210628
Anchorage, AK 99521

Application for: Conditional Use Permit
Legal Description: Tracts A, B and C, U.S. Survey 1529
Parcel Number: S-824-0-122-003-0
Date Submitted: April 15, 1987
Hearing Date: May 26, 1987

The Planning Commission at their May 26, 1987, regular public meeting, approved the application for a conditional use permit to allow the construction of a church on the subject property with the following conditions:

1. Only Phase I, as identified on the site plan, is approved with this permit. Any future development plans must first be reviewed and approved by the Planning Commission as an amendment to the permit.
2. The applicant shall submit a letter from Department of Transportation and Public Facilities to the Department of Community Development that authorizes the use of the unused state right-of-way property for a driveway from Conifer Lane to the church site.
3. The applicant shall submit a revised parking lot plan to the Department of Community Development for approval. The plan shall include the following items:
 - a. A minimum of 43 parking spaces;
 - b. Each space to be 9 feet by 19 feet;
 - c. Aisle width to be at least 24 feet;
 - d. Information on parking lot perimeter control;
 - e. Information on mid-lot parking barrier;
 - f. Placement of directional lighting.
4. The applicant shall submit a landscaping plan to the Department of Community Development for approval. The plan shall include the extent of necessary tree cutting for the project and how the parking lot is to be screened. Department staff may require additional landscaping depending upon the extent of the necessary tree clearing activity.

155 South Seward Street, Juneau, Alaska 99801



PLANNING COMMISSION
NOTICE OF DECISION
April 27, 1988

File No. CU-06-88

Saint Brendan's Episcopal Church
325 Gold Street
Juneau, AK 99801

Application for: Conditional Use Permit Modification
Legal Description: Tracts A, B, and C, U.S. Survey 1529
Parcel Number: 5-B24-0-122-003-0
Date Submitted: April 6, 1988
Hearing Date: April 26, 1988

The Planning Commission at their April 26, 1988, regular public meeting, approved the application for a conditional use permit modification to allow the church to relocate the driveway access from Conifer Lane to the Mendenhall Loop Road subject to the following conditions:

1. The applicant shall submit a revised site plan to the Department of Community Development for review and approval. It shall include the following changes:
 - a. Indicate where directional lights for the illumination of the driveway and parking lot areas are to be located.
 - b. Redesign of certain areas of the parking lot to avoid potential parking problems. (Staff to provide specific instructions.)
2. Final approval of the permit modification is contingent upon the applicant receiving Airspace and Driveway permits from the Alaska Department of Transportation for the subject driveway construction. The applicant shall provide to the Department of Community Development written verification from the State that the aforementioned permits have been obtained.

Please note that the following actions were taken in regard to the original conditional use permit CU-10-87:

1. That conditions 1, 2, and 3 be deleted.

155 South Seward Street, Juneau, Alaska 99801

Notice of Decision
CU-06-88
Page No. 2

2. That condition 5 be modified to refer to the Mendenhall Loop Road instead of Conifer Lane.

Effective Date: May 17, 1988

Expiration Date: November 26, 1988 (Same as original permit CU-10-87)

Project Planner:

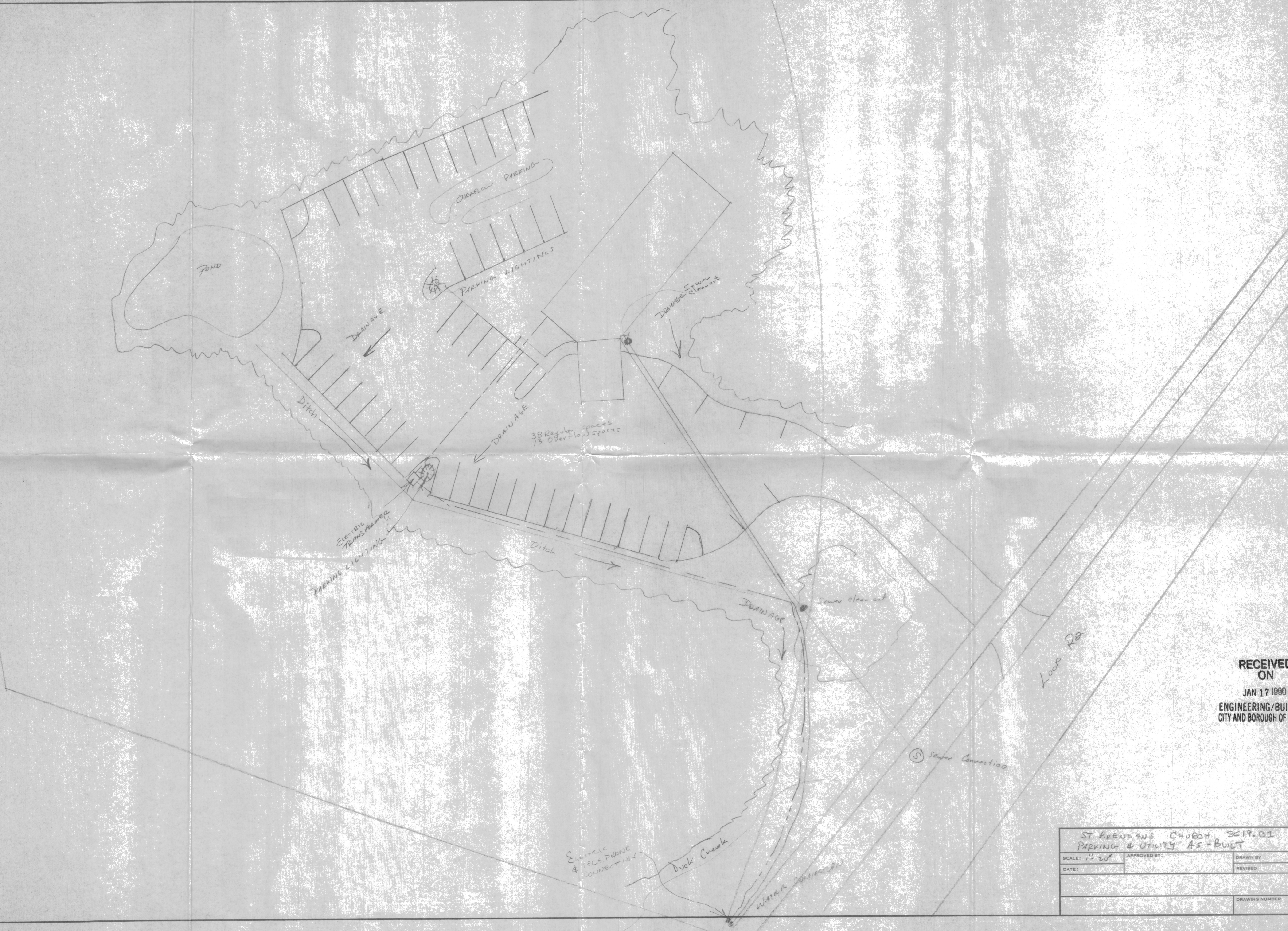
Patricia L. Parr
for David Goade
Planner II

RECEIVED BY CITY CLERK

Patty A. Polley
4-29-88

cc: Joe Cottingham

1310/4/DG/dls



RECEIVED
ON
JAN 17 1990
ENGINEERING/BUILDING
CITY AND BOROUGH OF JUNEAU

ST BRENDAN'S CHURCH SC17-01 PARKING & UTILITY AS-BUILT		
SCALE: 1/2" = 20'	APPROVED BY:	DRAWN BY:
DATE:		REVISED:
		DRAWING NUMBER:

Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate issued pursuant to the requirements of Section 306 of the Uniform Building Code, as amended, certifying that at the time of issuance this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following:

Use Classification Multipurpose Room Bldg. Permit No. 6001.01

Occupancy Group A-3 Construction Type V-N

Owner of Building St. Brendan's Episcopal Church Owner Address P.O. Box 33563 Juneau, AK 99803

Building Address 4207 Mendenhall Loop Rd. Juneau, AK 99801

Legal Description of Building Lot Lot 3, Block A-B

USS 1529


Christian T. Roust
Building Official

File No. 5-B24-0-122-003-0 Date September 26, 1991

Post this Certificate and all identified attachments in a conspicuous place.

ST. BRENDAN'S EPISCOPAL CHURCH

BLD12-211
approve bas notes
John
5/25/12

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Architectural Drawing Index
a1 COVER/
a2 SITE PLAN
a3 FIRST FLOOR PLAN
a4 ROOF PLAN
a5 ELEVATIONS
a6 BUILDING SECTIONS
a7 ACCESSIBILITY

Structural Drawing Index
s1 GENERAL NOTES
s2 FOUNDATION PLAN &
FIRST FLOOR FRAMING
s3 ROOF FRAMING PLAN & FIRST
FLOOR SEAR

Name of project.. SAINT BRENDANS
Date... 3.7.12
Legal Address...LOT 14 & 15 MCKINLEY SD , BLOCK 32,
Owner... ST. BENDAN'S EPISCOPAL CHURCH
4207 MENDENHALL LOOP ROAD , 789-5152
Contractor...
Architect...ABC / THOMAS HUNTINGTON, ARCHITECT
2314 DOUGLAS HIGHWAY, DOUGLAS AK 99824,
364-03636 & FAX
Contact Person.....
Project-new, remodel, addition, or alteration. ADDITION
Existing building label all spaces.. SEE PLAN
Proposed uses-label all spaces... SEE PLAN
Number of dwelling units...0 UNITS
Occupancy.. A3
Construction type required....TYPE VB
Construction type provided...TYPE VB
Fire sprinkled-yes no.....NO
Allowable area/Stories..... 6,000SF (BASIC AREA) /1
Actual first floor area & occupant load.
sf gross
First Floor 4549 sf
Addition 1,296 sf = 5845sf

GENERAL REQUIREMENTS THE OWNER AGREES TO THE
CONDITIONS BY ACCEPTANCE OR USE OF THESE PLANS.

Codes... CONSTRUCTION SHALL MEET ALL APPLICABLE CODES &
OTHER APPLICABLE REGULATIONS AS ADOPTED BY CITY /STATE

Contractor/ Builder...SHALL BE RESPONSIBLE FOR ALL REQUIRED
SAFETY REQUIREMENTS, SUCH AS SHORING, PROTECTION OF PUBLIC,
PRIVATE PROPERTY AND INDIVIDUALS. VERIFY SITE CONDITIONS
ON SITE, VERIFY QUALITY AND FINISHES OF MATERIAL WITH
OWNER. INSTALLATION OF ALL MATERIALS, FINISHES SHALL BE
IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS &
REQUIREMENTS, BE RESPONSIBLE FOR REQUIRED SUBMITALS &
SCHEDULE, BUILDING PERMIT INSPECTIONS, AND VERIFY
DIMENSIONS AND NOTIFY ARCHITECT IN CASE OF CONFLICT,
DO NOT SCALE DRAWINGS.

Drawings Scope... THESE DRAWINGS ARE NOT COMPLETE AND
DO NOT ATTEMPT TO SHOW ALL CONDITIONS. THE OWNER'S
CONTRACTOR SHALL REVIEW THE DRAWINGS PRIOR TO THE
BUILDING PERMIT BEING ISSUED, TO INCLUDE OR BRING TO
ATTENTIONS ADDITIONAL ITEMS THAT ARE REQUIRED OR
ERROR & OMISSIONS. ARCHITECT LIABILITY IS LIMITED TO
REDRAWING OR REDESIGN THE ABOVE ITEMS WITHOUT
CHARGE. NOTE IF THERE IS CHANGE OF SCOPE OF WORK
THE ARCHITECT SHALL APPROVED THE THIS OTHERWISE
THE CONTRACTOR/OWNER ASSUME FULL RESPONSIBILITY
FOR ANY CHANGES.

Additional Services...THE OWNER/CONTRACTOR MAY ELECT
TO HAVE MORE COMPLETE SERVICES WHICH ARE
ADDITIONAL SERVICES AND MAY INCLUDE MECHANICAL,
ELECTRICAL, STRUCTURAL ENGINEERING, IN DEPTH ADA
SERVICE. THESE DRAWING DO NOT
INCLUDE WORK BEYOND SHOWING THE ARCHITECTURAL
CONCEPT. & GENERAL SCOPE OF WORK AND THE OTHER
CONSULTANTS SHALL FOLLOW THE ARCHITECTURAL
CONCEPT.

Copyright.. THESE PLAN ARE LIMITED TO THIS ONE JOB AND
MAY NOT BE REUSE WITHOUT WRITTEN CONSENT OF THE
ALASKA BUILDING CONSULTANTS.

THESE PLAN AND SPECIFICATIONS ARE TO BE
CONSIDERED ONLY AS A GUIDE, AND THEY DO
NOT ATTEMPT TO DEPICT EVERY COMPONENT
NECESSARY FOR THE COMPLETION OF THE
PROJECT.

BEFORE CONSTRUCTION BEGINS, A BUILDING
PERMIT IS APPLIED FOR, OR MATERIALS ARE
ORDERED, THE BUILDING CONTRACTOR AS
DESIGNATED BYTHE OWNER, SHALL REVIEW
THE PLANS WITH ABC. ABC LIABILITY DUE TO
ERRORS OR OMISSIONS CONTAINED WITHIN
THESE DRAWING SHALL BE LIMITED TO THE
REDRAWING OR REDESIGNING OF THE PLANS
TO CORRECT THE SITUATION.

THE OWNER AGREES TO THE AFOREMENTION
CONDITIONS BY ACCEPTANCE OF THESE PLANS.

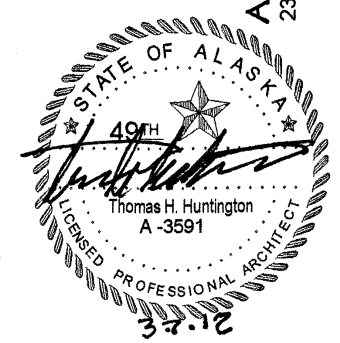
NOTE THE CITY & BOROUGH OF JUNEAU, &
STATE OF ALASKA DOES NOT EFFORCE THE
ADA STANDARDS, AND THESE PLANS WILL
DO LIKEWISE UNLESS OTHERWISE DIRECTED
IN WRITING.

NOTE THE OWNER HAS CONTRACTED SEPARATELY
VARIOUS ENGINEERING, ARCHITECTURAL AND
ASSUME THE RESPONSIBLE FOR INTERGATION
OF VARIOUS CONSULTANTS.

ABC/ THOMAS HUNTINGTON, ARCHITECT
2314 Douglas Highway- Douglas, AK 99824-907-364-3636 & fax

ST. BRENDAN'S
EPISCOPAL CHURCH
4207 MENDANHALL LOOP ROAD
JUNEAU 789-5152

1 of 7
3.7.12



ABC/ THOMAS HUNTINGINGTON, architect
 2314 Douglas Highway
 Douglas AK 99824 907-364-3636 & fax

TO JOHN YOUNG, Plan Reviewer
 Community Development Department
 155.SOUTH Seward St. Juneau, AK 99801

Subject St. Brendan's Church Addition

Ref. May, 23, 2012

Item #1

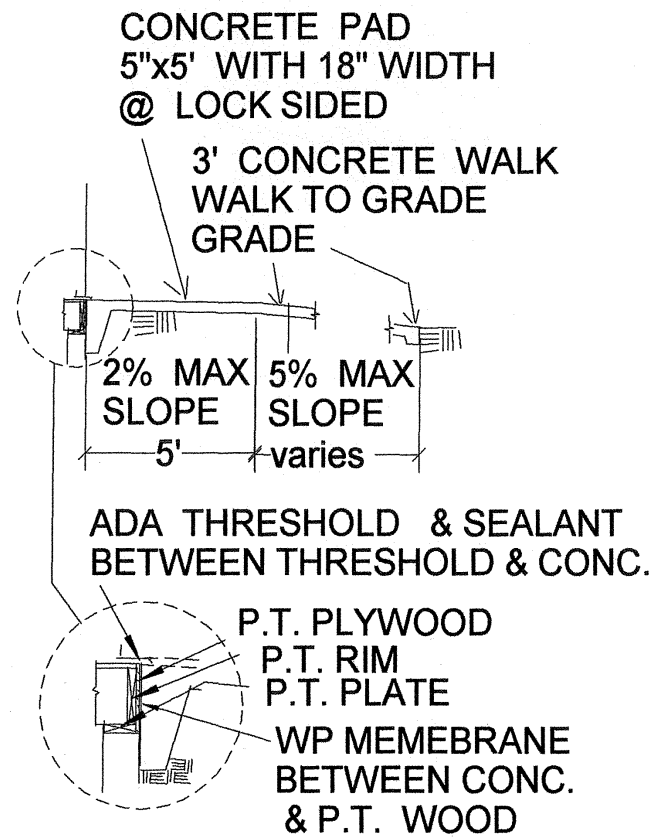
WALL ASSEMBLY

Exterior Wall A
 Vertical Siding, match existing
 Tyvek & tape joints
 1/2" 15/32" sheathing
 R 21 Insulation
 2x6 @ 16" o.c.
 .06 poly V.R.
 1/2" G.W.B.

Interior new walls B
 1/2" G.W.B. Each Side
 2x4 Studs @ 16" o.c

Existing Common Wall C
 1/2" G.W.B. OVER Existing Siding
 (option remove siding)
 Existing Tyvek
 Existing Sheathing
 Existing 2x6 Stud @ 16" o.c.
 Existing Fiber Glass Ins.
 Existing V.r.
 Existing 1/2" G.W.B.

ITEM #2 STOOP & RAMP DETAILS



○ STOOP & WALKWAY

ITEM #3 ADD THE NOTE SHEET 2 of 7
 AND 1 OF 1 SEE SHEET 3 of 7
 FOR CORRECT FLOOR PLAN

ITEM #4 RESOLVED NO SPRINKLER SYSTEM

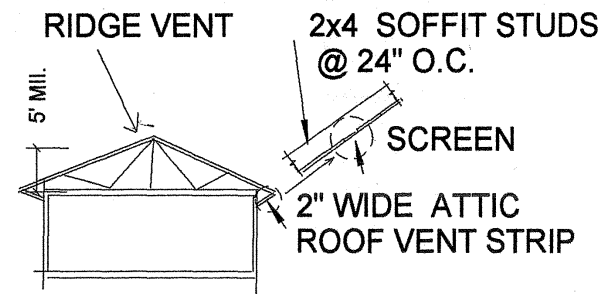
ITEM #5 DOOR & HARDWARE SCHEDULE
 (RATED DOORS)

DOORS ARE NOT RATED,
 NOTE DOORS HARDWARE
 LEVER KEY LOCK EXCEPT
 @ TOILETS PRIVACY,
 EXTERIOR DOOR WEATHERSTRIP
 & ADA THRESHOLD, SAFETY
 GLAZING ALL DOORS,

ITEM #6 SOFFIT & ROOF DETAILS

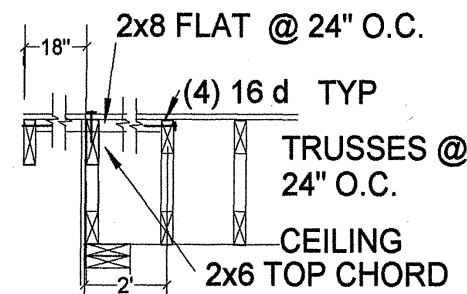
1,476SF ROOF AREA MIN. REQUIRED VENT
 1/300 4.92 SF
 LOCATE MIN 2.5 SF @ RIDGE VENT
 & REMAINDER @ SOFFIT VENT. MIN
 5' LOWER THAN RIDGE VENT

NOTE NET FREE AREA REQUIRED
 INCREASE AREAS PER MFG #



ITEM #7 FLOOR SPACE ACCESS BE
 PROVIDE 18" x 24" hi OPENING THRU
 THE COMMON WALL. USE EXISTING
 ACCESS IN THE ORIGINAL PERMIT

ITEM #8 OVERHANG DETAIL

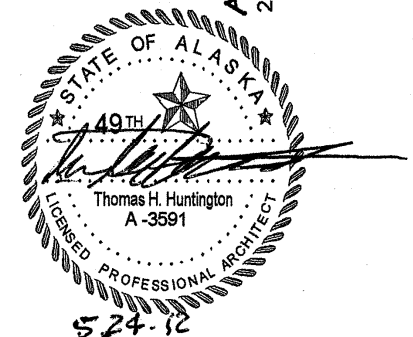


○ OVERHANG
 3/8"=1'-0"

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ABC/ THOMAS HUNTINGINGTON, ARCHITECT
 2314 Douglas Highway-Douglas, AK 99824-907-364-3636 & fax

ST. BRENDAN'S
 EPISCOPAL CHURCH
 4207 MENDANHALL LOOP ROAD
 JUNEAU 789-5152



ABC/ THOMAS HUNTINGINGTON, architect
 2314 Douglas Highway
 Douglas AK 99824 907-364-3636 & fax

TO JOHN YOUNG. Plan Reviewer
 Community Development Department
 155.SOUTH Seward St. Juneau, AK 99801

Subject St. Brendan's Church Addition

Ref. May, 23, 2012

Item #1

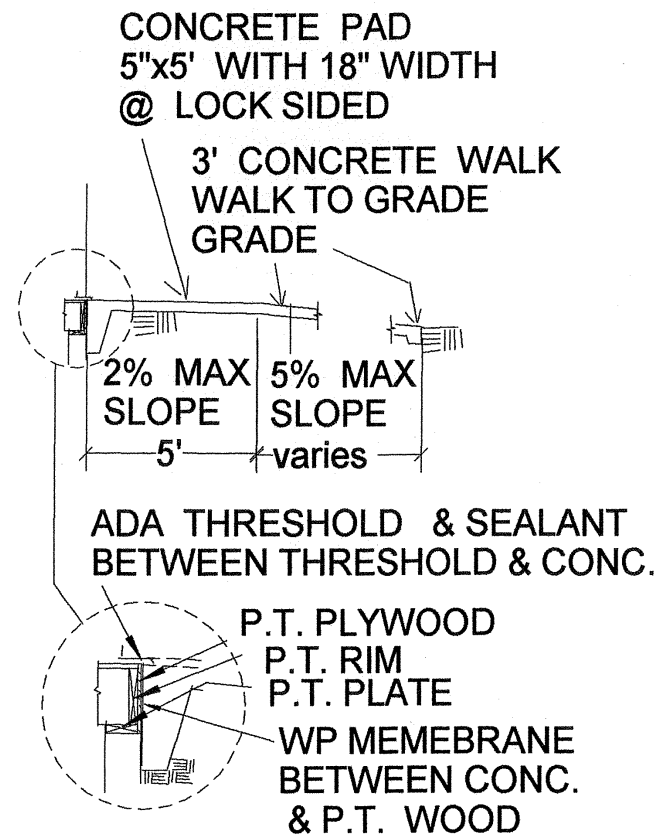
WALL ASSEMBLY

Exterior Wall A
 Vertical Siding, match existing
 Tyvek & tape joints
 1/2" 15/32" sheathing
 R 21 Insulation
 2x6 @ 16" o.c.
 .06 poly V.R.
 1/2" G.W.B.

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 1/2" G.W.B. Each Side
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 1/2" G.W.B. OVER Existing Siding
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ITEM #2 STOOP & RAMP DETAILS



○ STOOP & WALKWAY

ITEM #3 ADD THE NOTE SHEET 2 of 7
 AND 1 OF 1 SEE SHEET 3 of 7
 FOR CORRECT FLOOR PLAN

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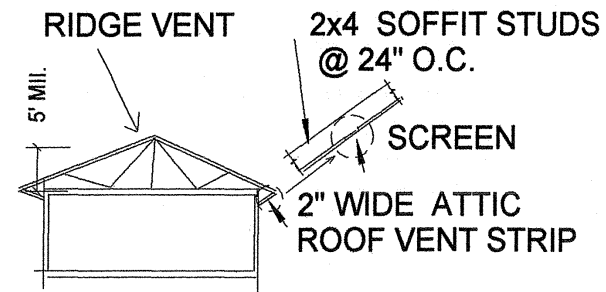
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 EXTERIOR DOOR WEATHERSTRIP
 & ADA THRESHOLD, SAFETY
 GLAZING ALL DOORS,

ITEM #6 SOFFIT & ROOF DETAILS

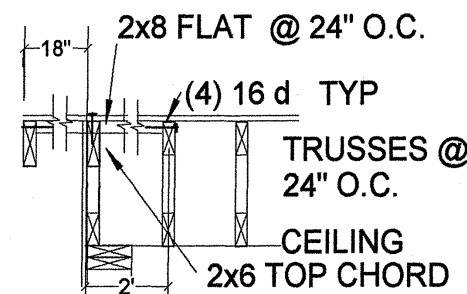
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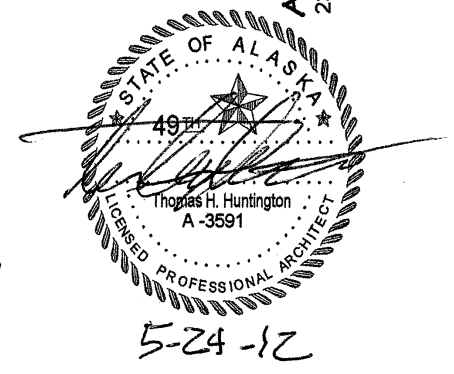


○ OVERHANG
 3/8"=1'-0"

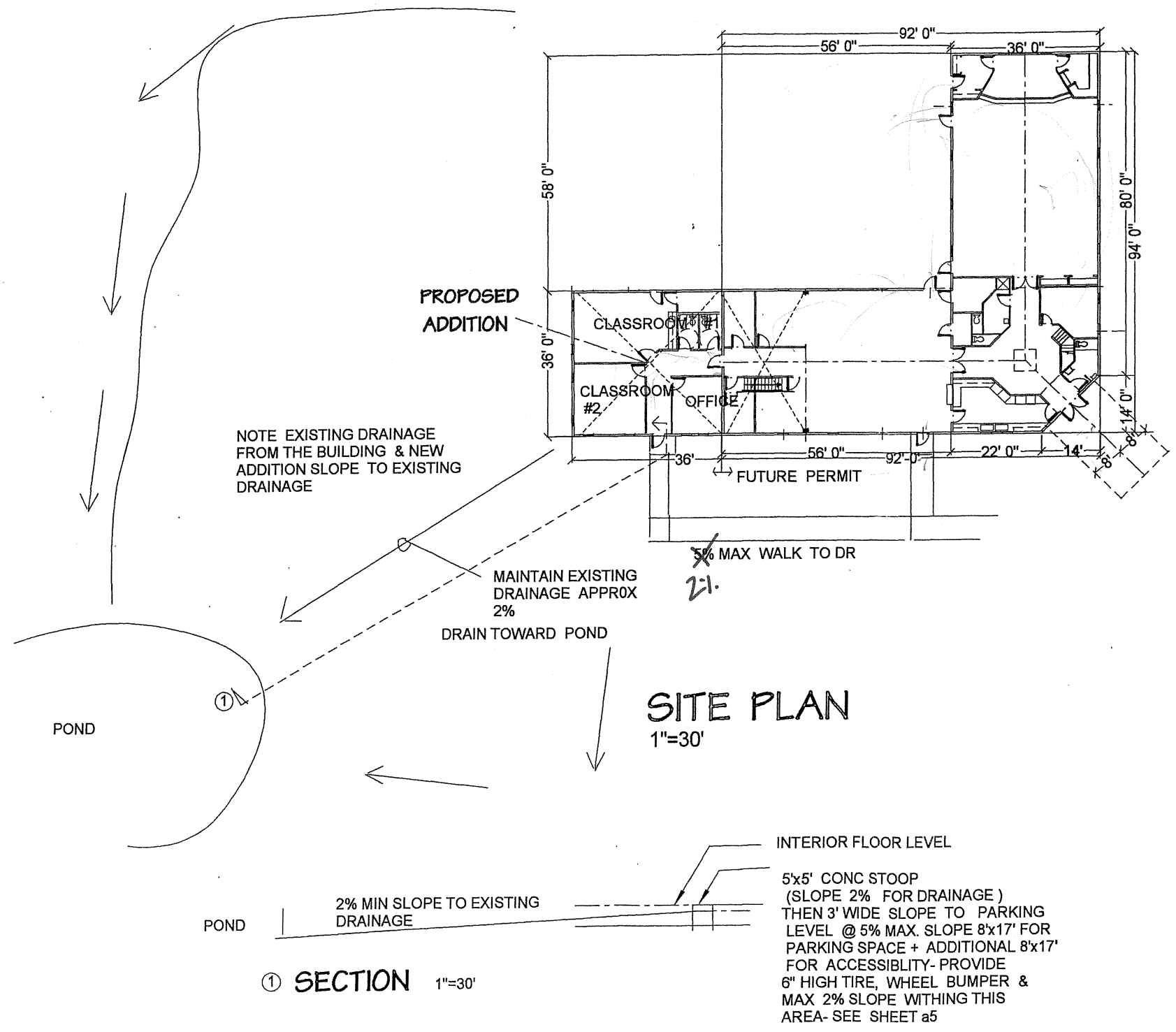
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ST. BRENDAN'S
 EPISCOPAL CHURCH
 4207 MENDANHALL LOOP ROAD
 JUNEAU 789-5152



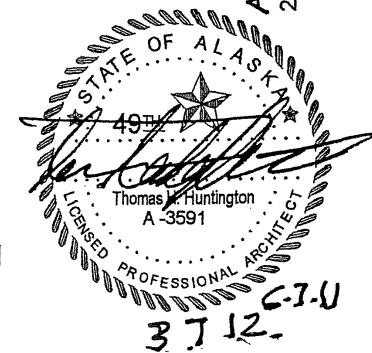
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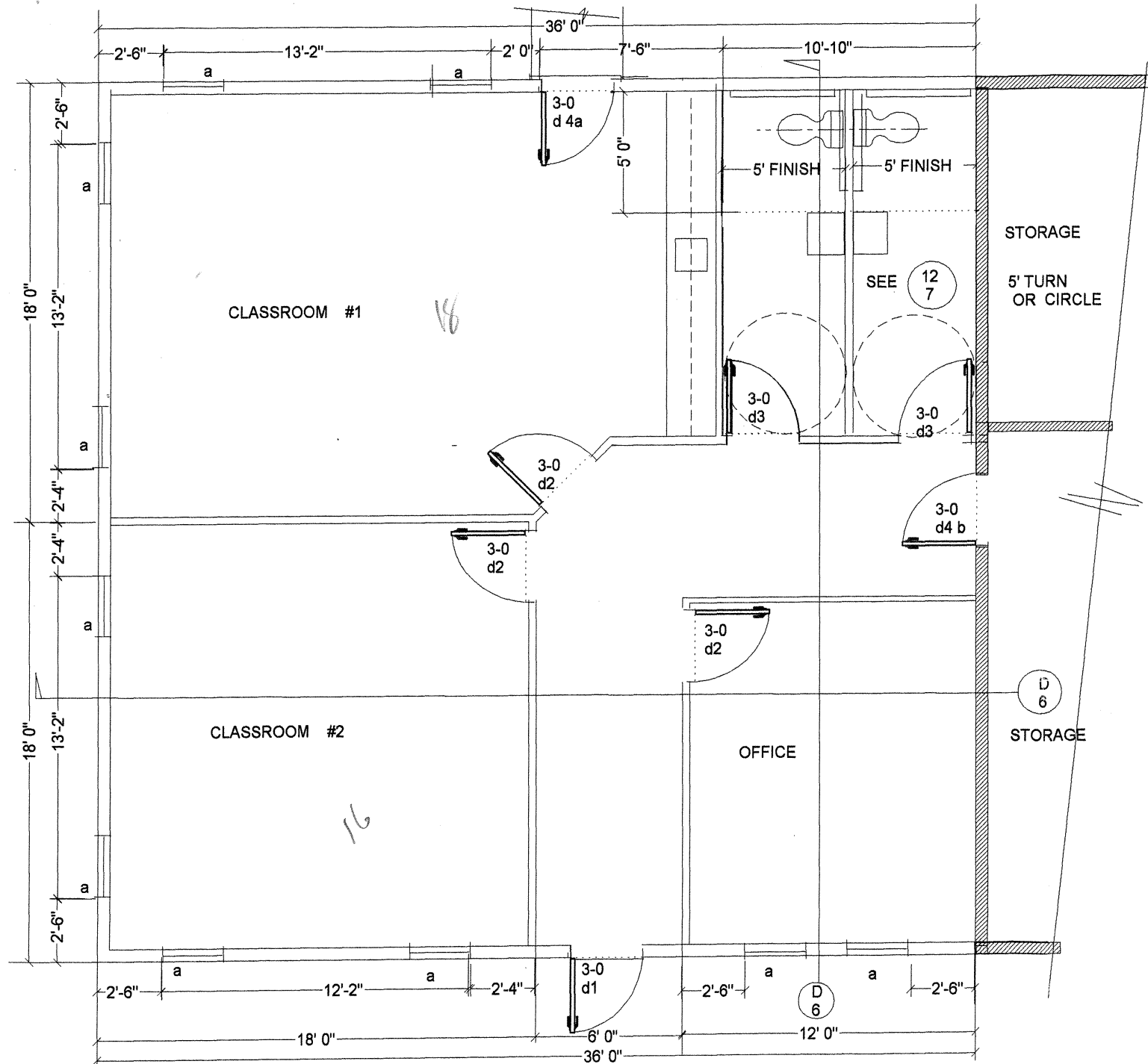
- Sidewalk grades are to be 2% cross slope maximum.

Approved for ENG
 4/27/12 AAL

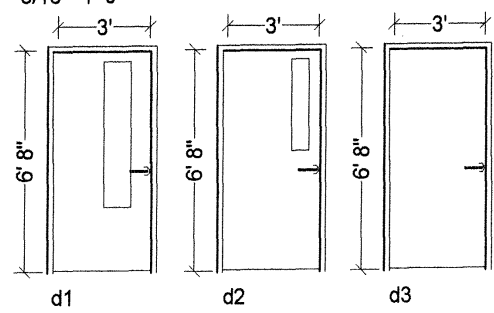
ST. BRENDAN'S 2 of 7
 EPISCOPAL CHURCH 6.05.11
 4207 MENDANHALL LOOP ROAD
 JUNEAU 789-5152



ABC/ THOMAS HUNTINGTON, ARCHITECT
 2314 Douglas Highway- Douglas, AK 99824-907-364-3636 & fax



FLOOR PLAN
 3/16"=1'-0"
 [Hatched line] EXISTING WALL
 [Solid line] NEW WALL



DOOR SCHEDULE

- d1..METAL INSL DOOR, WOOD JAMB, EXT WALL, LEVER KEY LOCK MASTER KEY, ADA THRESHOLD INSULATED SAFETY GLAZING, ADA CLOSER, BALL BEARING BUTTS
- d2..SOLID CORE L DOOR, WOOD JAMB, EXT WALL, LEVER KEY LOCK MASTER KEY, WALL STOP, SAFETY GLAZING 5" x20" VISON PANEL
- d3..SAME AS d2., EXCEPT NO VISON PANEL, PRIVACY LEVER LOCK,
- d4a..EXISTING DOOR, RELOCATE TO CLASSROOM 1 EXTERIOR DOOR, (OPTION ADD NEW DOOR)
- d4b..NEW DOOR-EXISTING OPENING, (d4a), WITH LEVER PASSAGE SET & WITH LEVER LOCK) WALL STOP, SAFETY GLAZING 5"x20,"

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WINDOW SCHEDULE

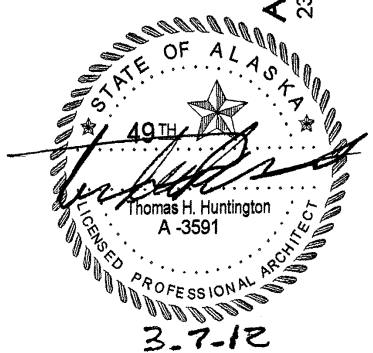
- A..Window.. MATCH EXISTING ANDERSON OR APPROVED, CASEMENT, PROVIDE SCREEN ,SAFETY GLASS /CODE, INSULATED

Baths shown on Architects drawings for St. Brendans church are to be un-sex Bathrooms

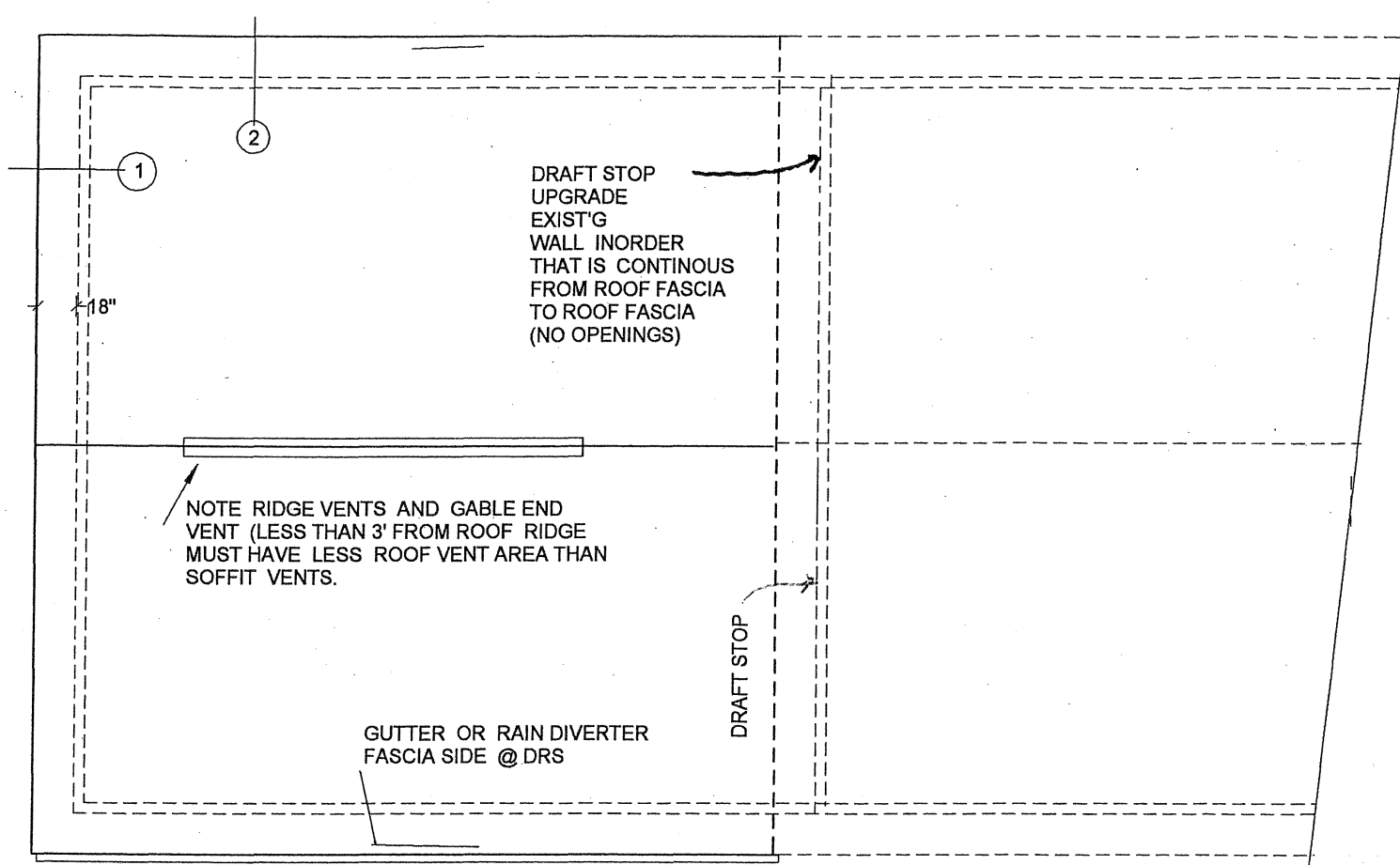
W. [Signature]
 (contractor)

ST. BRENDAN'S
 EPISCOPAL CHURCH
 4207 MENDANHALL LOOP ROAD
 JUNEAU 789-5152

3 of 7
 3.7.12



ABC/ THOMAS HUNTINGTON, ARCHITECT
 2314 Douglas Highway- Douglas, AK 99824-907-364-3636 & fax



ROOF PLAN 1/8"=1'-0"

Roof Schedule

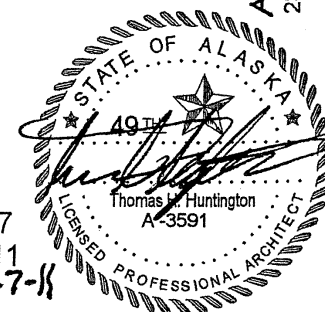
1. Rating CLASS B OR A, & JUNEAU WINDS
2. Shingles -MALARKEY, 30 YEARS, SIMILAR TO EXISTING
3. Sub base.. UNDERLAYMENT...PER ROOF MFG,
4. Ice & Water.. MENBRANE.. PROVIDE FROM ROOF FASCIA TO 1' BEYOND WALL LINE
5. Drip Edges ROOF EDGE @ SHEATING ..ALUM DRIP EDGE
6. Roof Penetrations.. LIMIT OPENING, SEAL PER ROOF ACCESSORIES MFG & ROOF MFG.
7. Flashing.. PROVIE AT DRIP EDGE AND GABLE SIDES AND STEP FLASHING AS REQUIRED,
8. ROOF SHEATING.. 5/8 CDX, 4x8, OFFSET JOINTS TYP. 4'
9. Attic Ventilation... VENT ATTIC, MIN 1/300, WITH 54% LOCATED AT EAVES, SCREEN, PROVIDE AIR BAFFLE TO MAINTAIN ATTIC VENT,
10. Attic Draft Stop... LOCATE AS INDICATED, NOTE MAX 3000sf or 60' SPACING- WHICHEVER IS LESS, 1/2" SHT'G OR G.B. COMPLETE ATTIC SEPARTION DRAFT STOP ACCESS MUST BE SELF CLOSING WITH POSITIVE LATCH

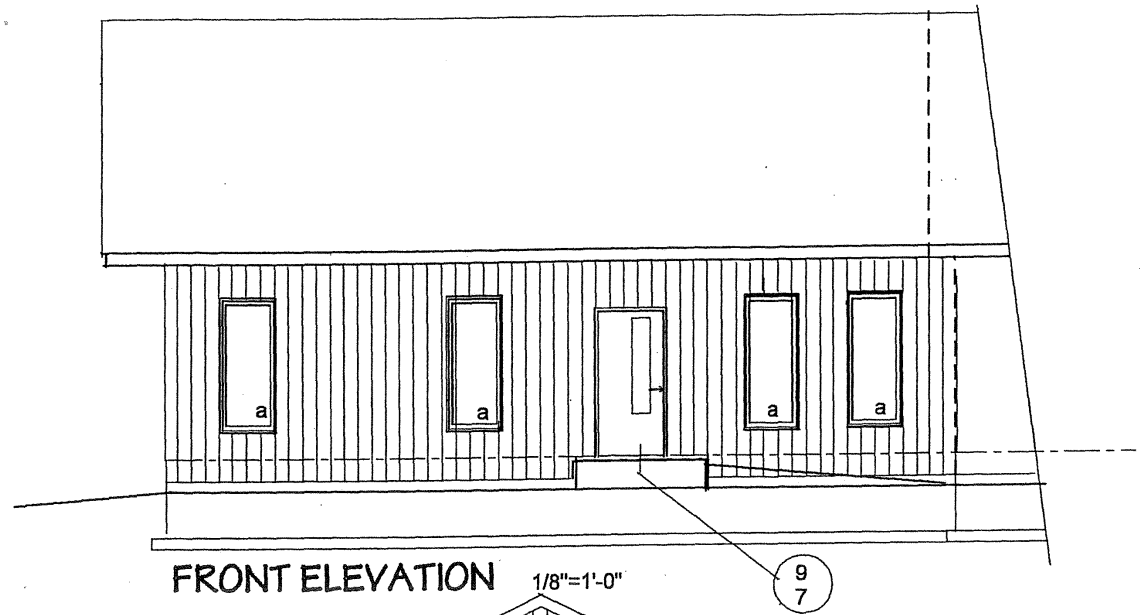
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2314 Douglas Highway- Douglas, AK 99824-907-364-3636 & fax

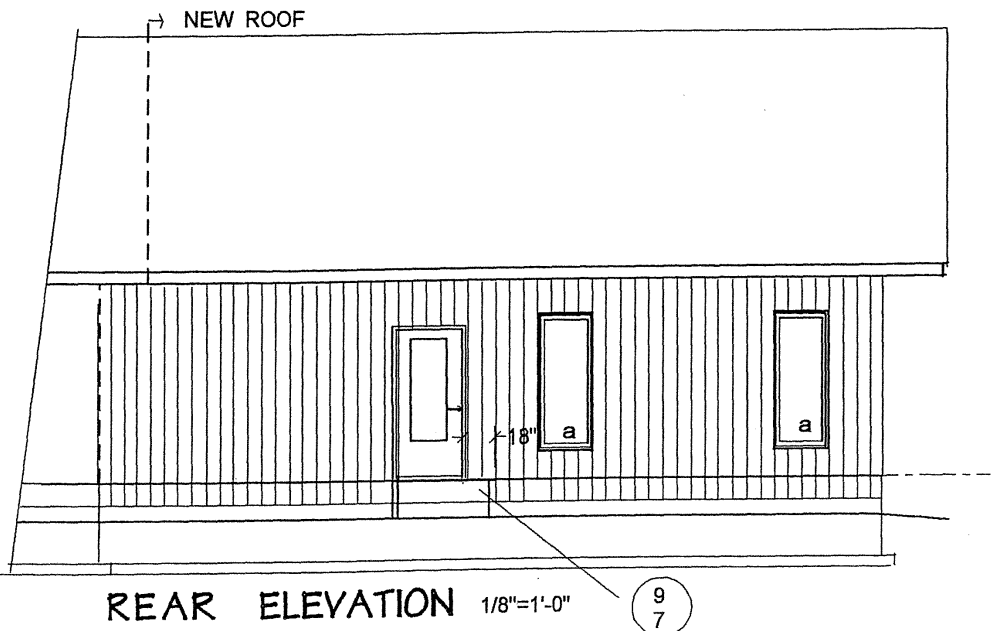
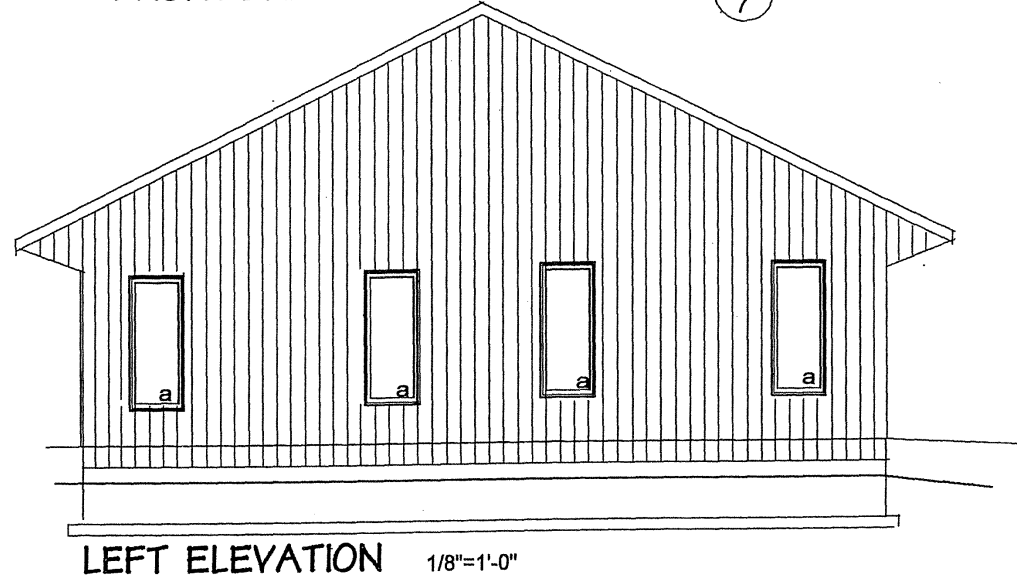
ST. BRENDAN'S
EPISCOPAL CHURCH
4207 MENDANHALL LOOP ROAD
JUNEAU 789-5152

4 of 7
6.05.11
6-7-11

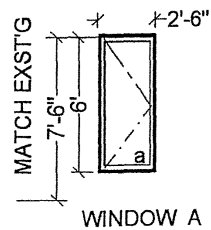




- Elevation Schedule
- e1 SIDING.. MATCH EXISTING
 - e2 DRAINAGE MATRIX
 - e4 Overhangs...FASCIA 1 1/4" CEDAR WITH BUTT JOINTS@ CORNERS, & CHAMFER @ RUNNING
 - e5..Trim.. CEDAR MATCH EXISTING, OR APPROVED EQUAL
 - e6. Grade..PROVIDE MIN. 6" FROM WOOD TO EARTH USED CEDAR OR P.T.
 - e7 Swale.. SLOPE GROUND FROM BUILDING EDGES AWAY FROM BUILDING MIN. 5' @ MIN. 2% SLOPE,
 - e8 Doors... PROVIDE ACCESS PER ADA DETAILS.
 - e9 Opening water tight.. ICE /WATER SHIELD STRIPS AT DOORS, WINDOW, AND OTHER OPENINGS/
 - e10 Attic Ventilation- MATCH EXISTING VENTILATION STRIP AT TRUSS SOFFIT



- WINDOW SCHEDULE
- A..Window.. MATCH EXISTING ANDERSON OR APPROVED, CASEMENT, PROVIDE SCREEN, SAFETY GLASS /CODE, INSULATED



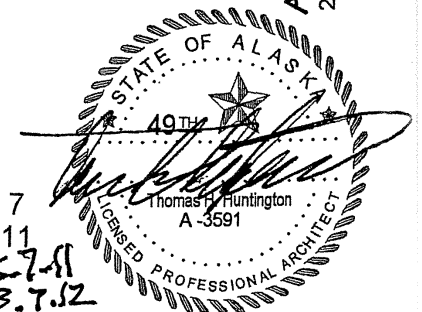
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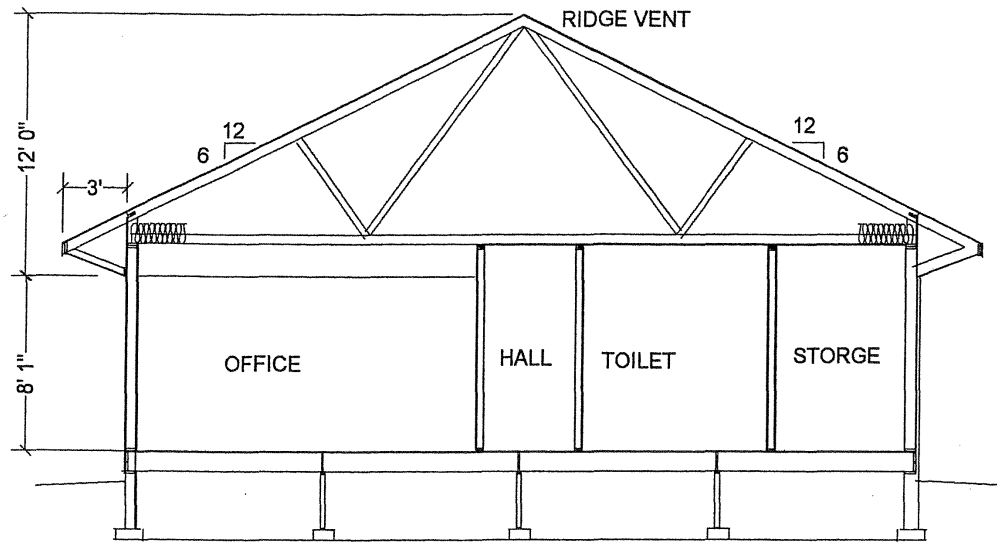
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5 of 7
6.05.11

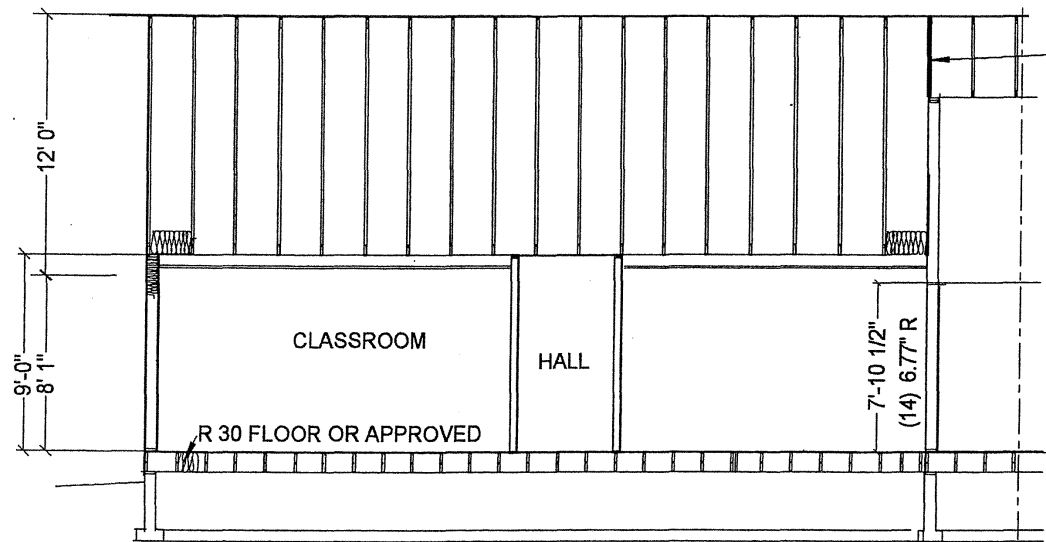
6-7-11
3.7.12





Ⓑ BUILDING SECTION 1/8"=1'-0"

- Roof/Floor Schedule
- r1 ROOF, CLASS A OR B
 ASPHALT SHINGLES, MAX. EXISTING, SUBBASE PER SHINGLES MFG, 15/32" SHTG, TRUSSES @ 24" o.c., ATTIC VENTILATION -SEE ROOF PLAN, R50 INSL, .06 POLY V.R. (SEAL EDGES OVER SOLID BACKING WITH ACCOUSTICAL CAULK, CEILING 5/8" G.B. UNLESS NOTED OTHERWISE.
 - f2.. FLOOR SCHEDULE. NON RATED CARPET (UNLESS NOTED OTHERWISE) MATCH EXISTING, 3/4" T&G PLYWOOD, GLUE, 2x10 JOIST @16" O.C., SEE FOUNDATION PLAN
 NOTE TOILET ROOM TO HAVE SHEET VINYL WITH 6" HI BASE, STORAGE ROOM TO HAVE SHEET VINYL OR APPROVED
 - f3.. CRAWL SPACE
 VENTILATED SPACE, P.T. WOOD NEXT TO CONC. AND OR EARTH, .06 POLY V.R. SEAL WITH ACCOUSTICAL CAULK @ OPERABLE VENT, P.T. WOOD RIM JOIST,



Ⓓ BUILDING SECTION 1/8"=1'-0"

DRAFT STOP

ADDITION EXISTING

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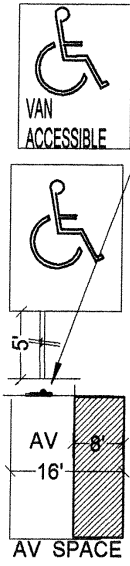
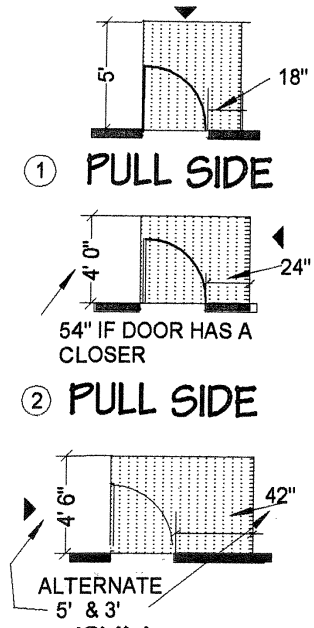
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 JUNEAU 789-5152

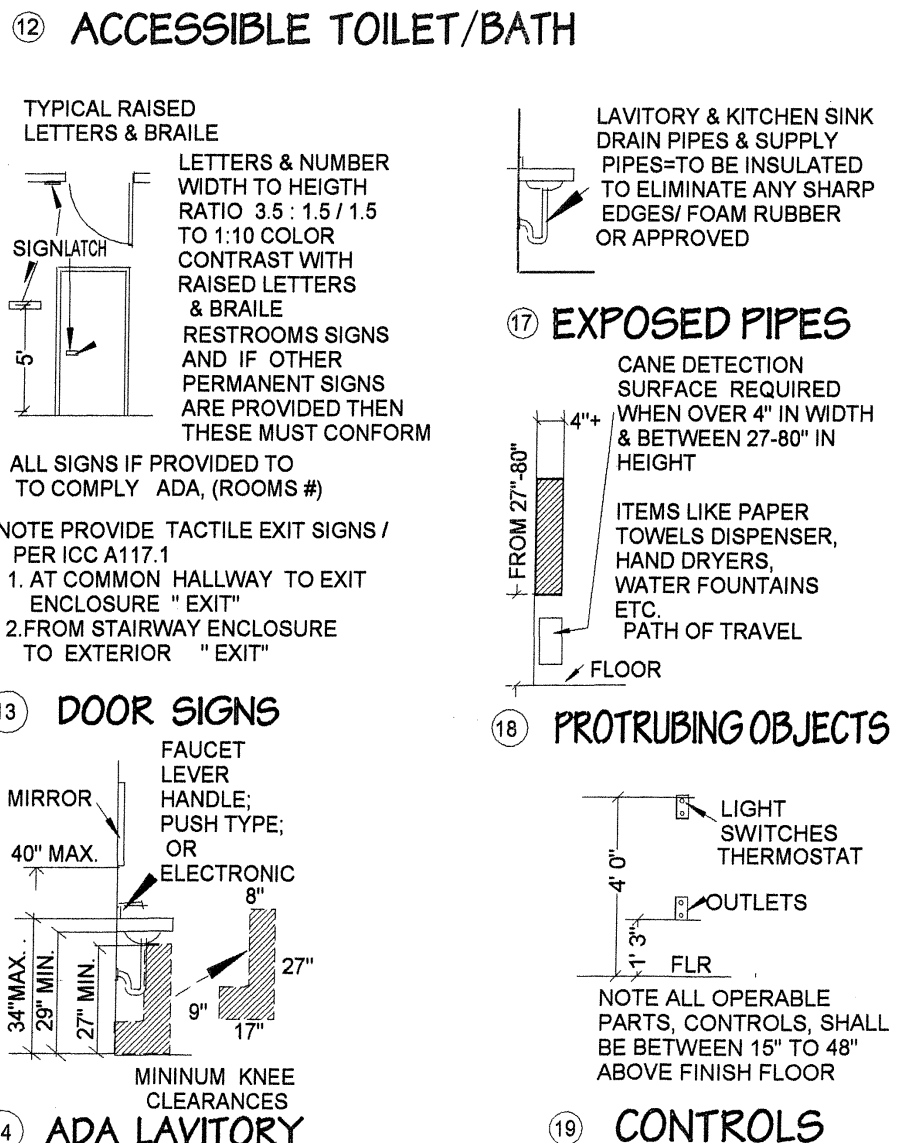
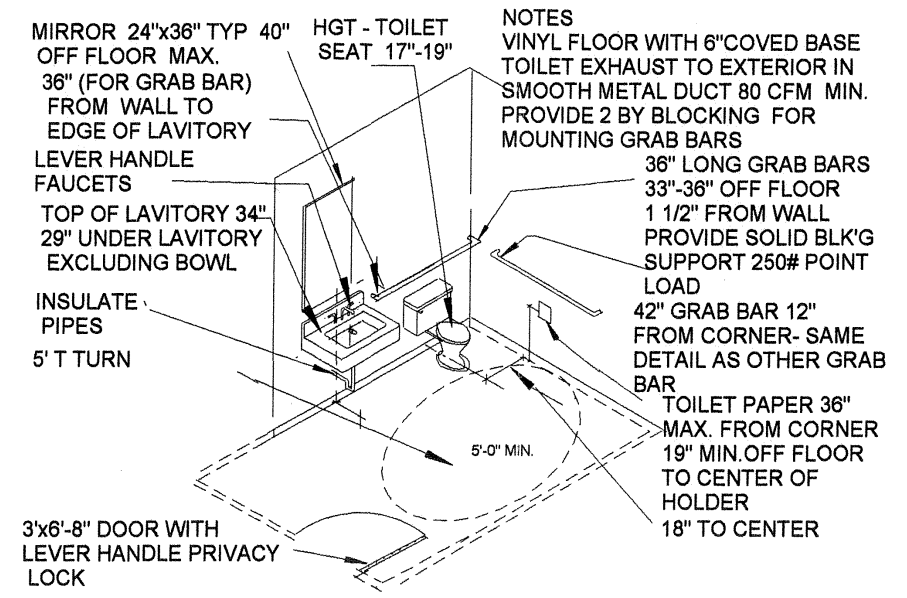
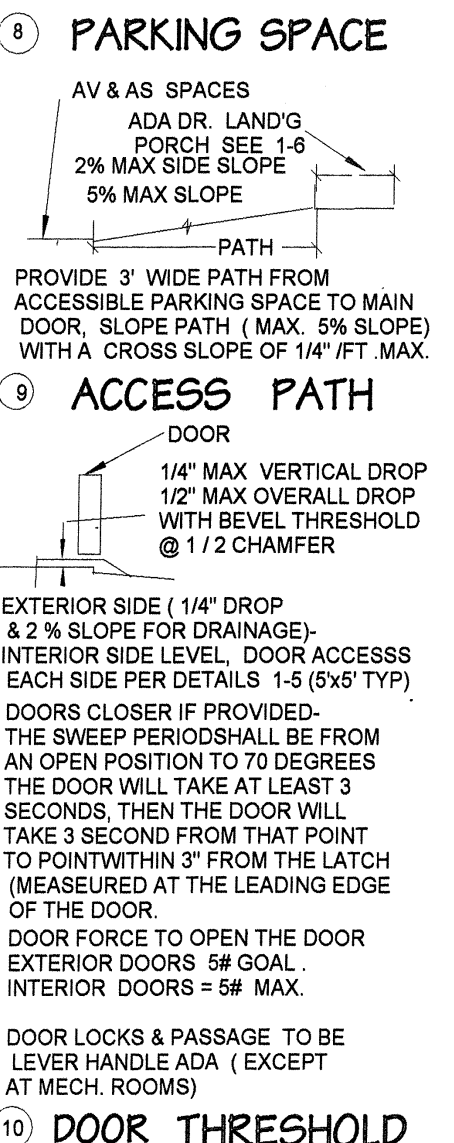
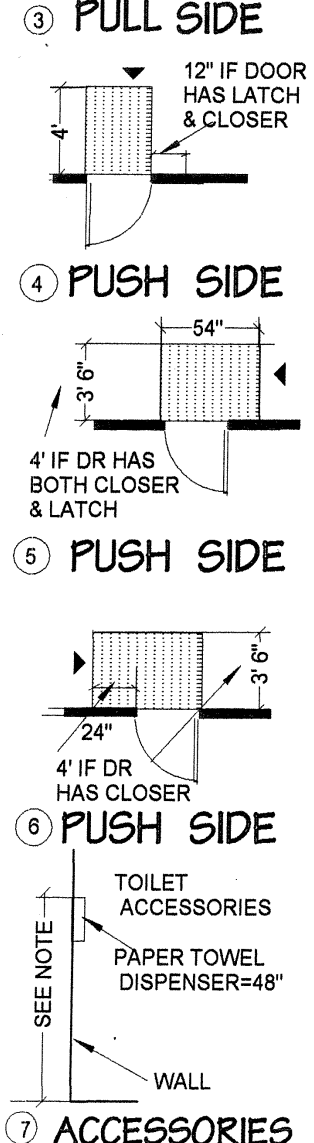
6 of 7
 6.05.11

6-7-11
 3.7.12

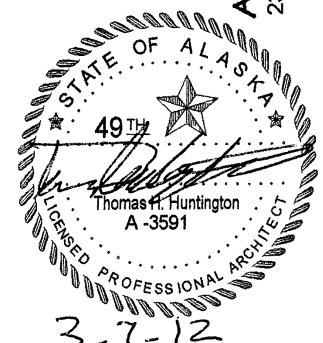




⑩ DOOR THRESHOLD
EXTERIOR SIDE (1/4" DROP & 2% SLOPE FOR DRAINAGE)-
INTERIOR SIDE LEVEL, DOOR ACCESS EACH SIDE PER DETAILS 1-5 (5'x5' TYP)
DOORS CLOSER IF PROVIDED- THE SWEEP PERIOD SHALL BE FROM AN OPEN POSITION TO 70 DEGREES THE DOOR WILL TAKE AT LEAST 3 SECONDS, THEN THE DOOR WILL TAKE 3 SECOND FROM THAT POINT TO POINT WITHIN 3" FROM THE LATCH (MEASURED AT THE LEADING EDGE OF THE DOOR.
DOOR FORCE TO OPEN THE DOOR EXTERIOR DOORS 5# GOAL. INTERIOR DOORS = 5# MAX.
DOOR LOCKS & PASSAGE TO BE LEVER HANDLE ADA (EXCEPT AT MECH. ROOMS)



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7 of 7
3.7.12

3-7-12

ABC/ THOMAS HUNTINGTON, ARCHITECT
2314 Douglas Highway- Douglas, AK 99824-907-364-3636 & fax

- s1 GENERAL NOTES
- s2 FOUNDATION PLAN
- s3 ROOF FRAMING PLAN & FLOOR WALLS

All Plumbing work must comply with the requirements of the,
2009 Uniform Plumbing Code
 as modified by CBJ Title 19

CONSTRUCTION NOTES

CODE REQUIREMENTS

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO INTERNATIONAL BUILDING CODE, 2009 EDITION, *as modified by Title 19.*

GENERAL

IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.

DESIGN LOADS:

LIVE LOADS: ROOF-50PSF (SNOW),
 S2 STORAGE 125 PSF, EXITS 100 PSF
 (1/360 FLOOR DEFLECTION),
 WIND V_{s3} 110 MPH, EXPOSURE C
 EARTHQUAKE: SITE CLASS C
 S_s= 0.85
 C_s=10%

FOUNDATIONS:

SOIL BEARING ASSUMED 2,500 PSF CAPACITY. ALL FOUNDATIONS SUBJECT TO FROST SHALL BEAR ON UNDISTURBED SOIL AT LEAST 32" BELOW LOWEST ADJACENT FINISHED GRADE OR APPROVED.

SAWN LUMBER:

SAWN LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WWPA GRADING RULES. SEASONED S4S HF#2 UNLESS NOTED OTHERWISE. COLUMNS SHALL BE SELECT STRUCTURAL. MAXIMUM MOISTURE CONTENT SHALL BE 19 PERCENT. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL WOOD LEDGERS, PLATES, SILLS AND NAILERS IN CONTACT WITH EARTH OR WITHIN 6 INCHES OF EARTH SHALL BE QPS FDN (AND SO STAMPED). WOOD EXPOSED TO WEATHER SHALL BE CEDAR OR PRESSURE TREATED. CONNECTORS SHALL BE GALVANIZED.

FRAMING:

FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE AS MANUFACTURED BY SIMPSON COMPANY (OR APPROVED EQUAL). ATTACH JOISTS TO FLUSH HEADERS AND BEAMS WITH SIMPSON SERIES JOIST HANGERS TO SUIT THE JOIST SIZE. ATTACH EVERY ROOF ELEMENT WITH SIMPSON COMPANY H10 TIES. NAILS SHALL BE COMMON. NAILING NOT SHOWN SHALL BE PER TABLE 2304.9.1 2003 IBC. PROVIDE SOLID BLOCKING AT BEARING POINTS. TIMBER CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND WHERE CONNECTORS STRAP TWO MEMBERS TOGETHER, PLACE ONE HALF OF THE NAILS OR BOLTS IN EACH MEMBER. PROVIDE WASHERS UNDER ALL BOLT HEADS AND NUTS WITH WOOD CONTACT. NAILS IN PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL EXCEPT USE GALVANIZED NAILS WITH GALVANIZED FRAMING ACCESSORIES.

PLYWOOD:

PLYWOOD PANELS SHALL HAVE APA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD SHALL BE C-D INT APA WITH EXTERIOR GLUE (CDX) OR ORIENTED STRAND BOARD OF THE SAME THICKNESS AND RATINGS. ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED FACE GRAIN PERPENDICULAR TO SUPPORTS AND IN A STAGGERED PATTERN OR AS INDICATED ON DRAWING.

PREFABRICATED WOOD JOISTS:

SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS MANUFACTURED BY TRUS-JOIST CORP OR APPROVED EQUAL.

CONCRETE:

CONCRETE SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE STANDARD 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" AN AIR ENTRAINING ADMIXTURE CONFORMING TO 2003 IBC SHALL BE ADDED TO ALL CONCRETE EXPOSED TO EARTH OR WEATHER. PROVIDE 5% PLUS/ MINUS 1% ENTRAINED AIR. 2,500PSI (USE 3,000 PSI MIX HOWEVER) CONCRETE SHALL BE USED FOR SLABS ON GRADE, WALLS, & RETAINING WALLS. EXTERIOR SIDEWALK REQUIRED (4,500PSI FOR WEATHER) OR CBJ SIDEWALK MIX 3 INCH MAXIMUM SLUMP 3" MAXIMUM SLUMP BEFORE ADMIXTURES; 3/4 INCH MAXIMUM AGGREGATE SIZE. THE USE OF WATER-SOLUBLE CHORINE ION SHALL NOT BE USED AS AN ALTERNATIVE TO THE ABOVE, THE CONTRATOR MAY SUBMIT A CONCRETE MIX DESIGN FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE ALTERNATE MIX DESIGN SHALL BE REVIEWED FOR CONFORMANCE.

REINFORCING:

ASTM A-815 GRADE 60 (FY=80 KSI) DEFORMED BARS. ASTM A-185 (FY=75 KSI) FOR SMOOTH WELDED WIRE FABRIC. REINFORCEMENT FOR SLABS ON GRADE SHALL BE W.W.M. 8X8 W1.4x1.4 UNLESS NOTED OTHERWISE. DETAILS PER ACI MANUAL OF "STANDARD PRACTICE FOR DETAILING OF REINFORCED CONCRETE STRUCTURES". WALLS, COLUMNS, AND FOOTINGS SHALL BE REINFORCED AS SHOWN ON PLANS. MINIMUM CONCRETE COVER SHALL BE:

CONCRETE CAST AGAINST EARTH	3"
FORMED SURFACE EXPOSED TO EARTH OR WEATHER	2"
CONCRETE NOT EXPOSED TO WEATHER OR EARTH	3/4"

STEEL:

MATERIALS SHALL BE ASTM A36 HOT ROLLED STRUCTURAL STEEL, OR A500 G.R.D.B TUBE STEEL. WELDING SHALL BE PERFORMED WITH 80XX OR 70 XX ELECTRODES. (SMAW) ACCORDING TO AWS D1.1. PROVIDE TEMPORARY BRACING AS REQUIRED FOR SAFE BUILDING ASSEMBLY. SHOP AND FIELD WELDS SHALL BE IN ACCORDANCE WITH AISC AND AWS AND BE PERFORMED BY CERTIFIED WELDERS. FIELD WELDING SHALL NOT BE PERFORMED WHEN THE AMBIENT TEMPERATURE IS BELOW ZERO DEGREES F. AFTER ERECTION CLEAN, GRIND AND WIRE BRUSH PRIME WELDS, ABRASIONS, AND SURFACES NOT SHOP PRIMED AND TOUCH UP PRIMER AS SPECIFIED FOR SHOP PRIMER.

DIMENSIONS:

DIMENSIONS SHALL BE TO FACE OF FRAMING OF FACE OF CONCRETE UNLESS OTHERWISE INDICATED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWING SCALE. DO NOT SCALE DRAWINGS.

GENERAL:

THESE PLANS ARE ONLY A GUIDE, AND DO NOT PURPORT TO SHOW EVERY ASPECT OF THE WORK REQUIRED FOR COMPLETION. IT SHALL BE THE BUILDER'S SOLE RESPONSIBILITY TO:

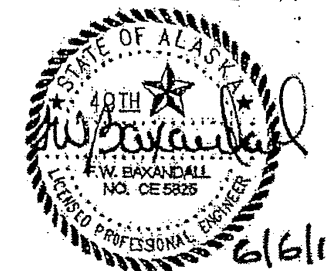
1. VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE PROCEEDING.
2. NOTIFY ENGINEER OF ANY DISCREPANCIES, OBTAIN APPROVAL FROM ENGINEER FOR PROPOSED FIELD CHANGES PRIOR TO CONSTRUCTION OF MODIFICATION.
3. CONTACT "DIAL BEFORE YOU DIG" FOR UTILITY LOCATES. BURIED UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE BUILDER IS RESPONSIBLE FOR SUCH UTILITY LOCATES AS MAY BE NECESSARY.
4. NOTIFY THE LOCAL BUILDING OFFICIAL AT CONSTRUCTION STAGES REQUIRING INSPECTION AND OBTAIN NECESSARY APPROVAL PRIOR TO COMMENCEMENT/CONTINUATION OF THE WORK.
5. PERFORM ALL CONSTRUCTION WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY.
6. PROVIDE ADEQUATE SHORING, BRACING, AND FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
7. MAKE ALL PRECAUTION INSURE JOBSITE SAFETY.

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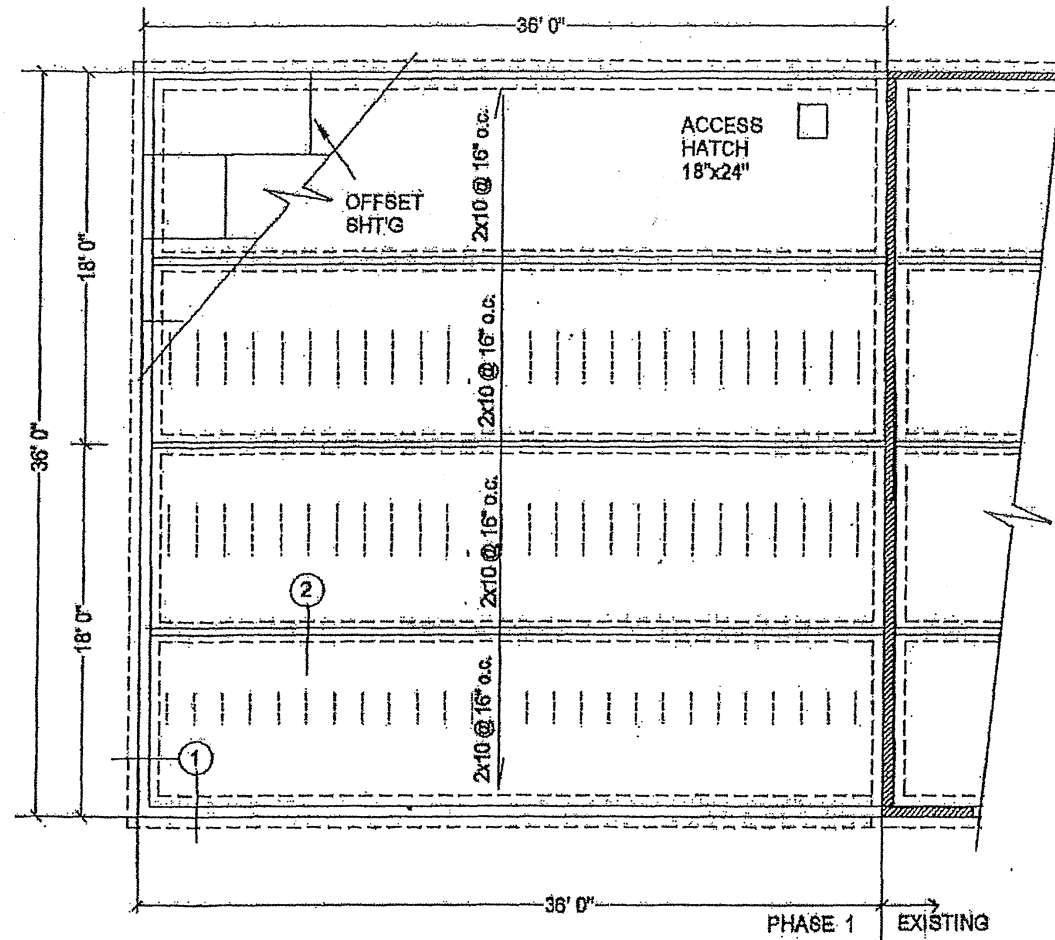
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BAXANDALL ASSOCIATES
 Civil & Structural Engineering
 1107 North Elevation Street
 Hancock, Michigan 49920

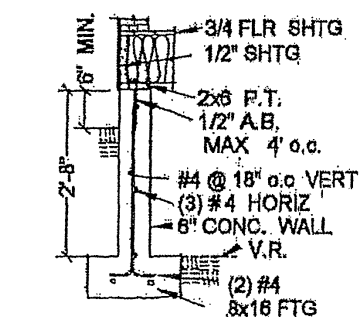


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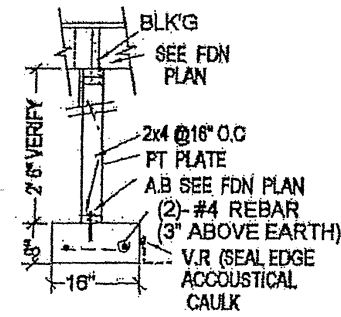
1 of 3
 6-0-11



FOUNDATION PLAN 1/8"=1'-0"



① STEM WALL 3/8"=1'-0"



① INTERIOR WALL 3/8"=1'-0"

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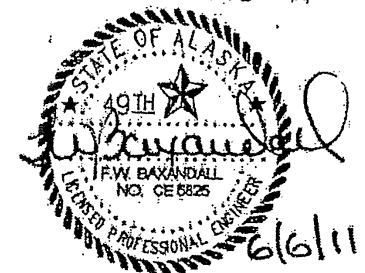
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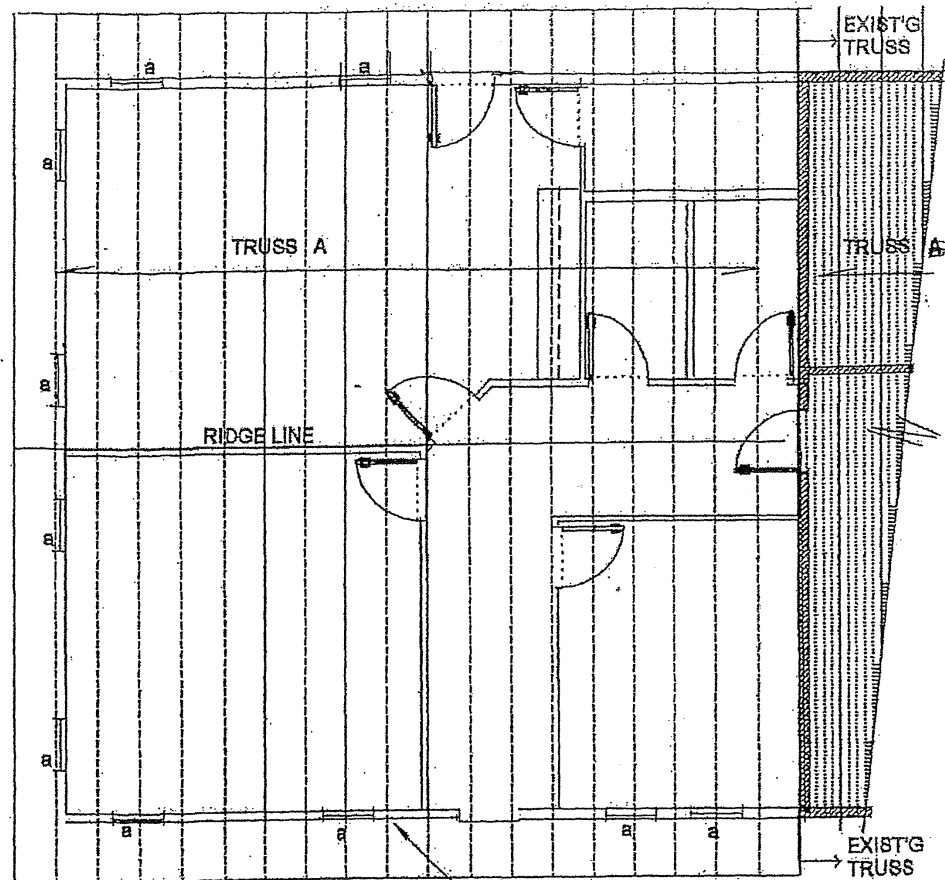
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 1107 North Elevation Street
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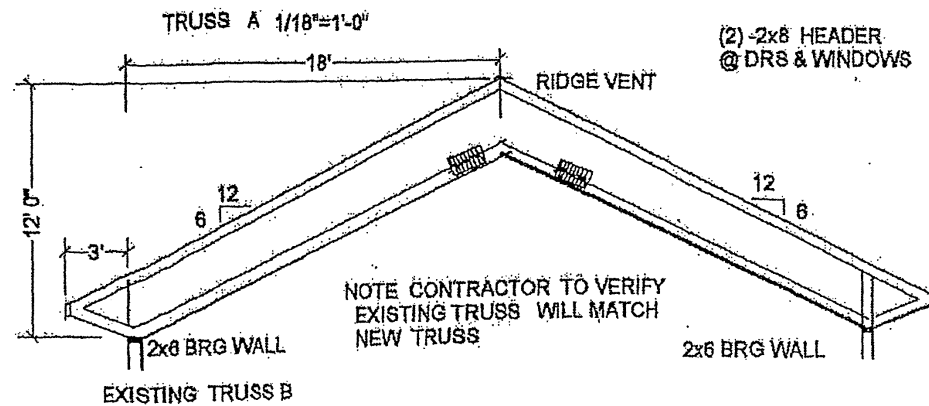
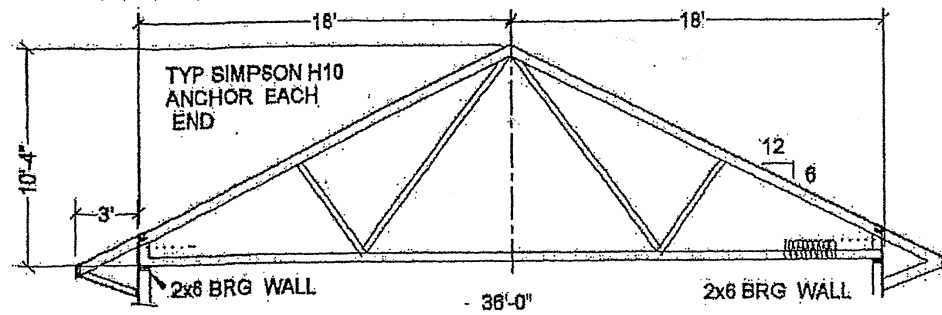
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2 of 3
 6-0-11





ROOF FRAMING PLAN & FIRST FLOOR SHEAR 1/8"=1'-0"



EXTERIOR SHEAR WALL
 1/2" CDX w/8d NAILS @ 6" o.c. @
 PANEL EDGES, 12" o.c. FIELD
 MUD SILL ANCHORS @ 4' O.C. AND
 ADDITIONAL ANCHOR 1' FROM
 EACH CORNER

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 Civil & Structural Engineering
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 Hancock, Michigan 49920



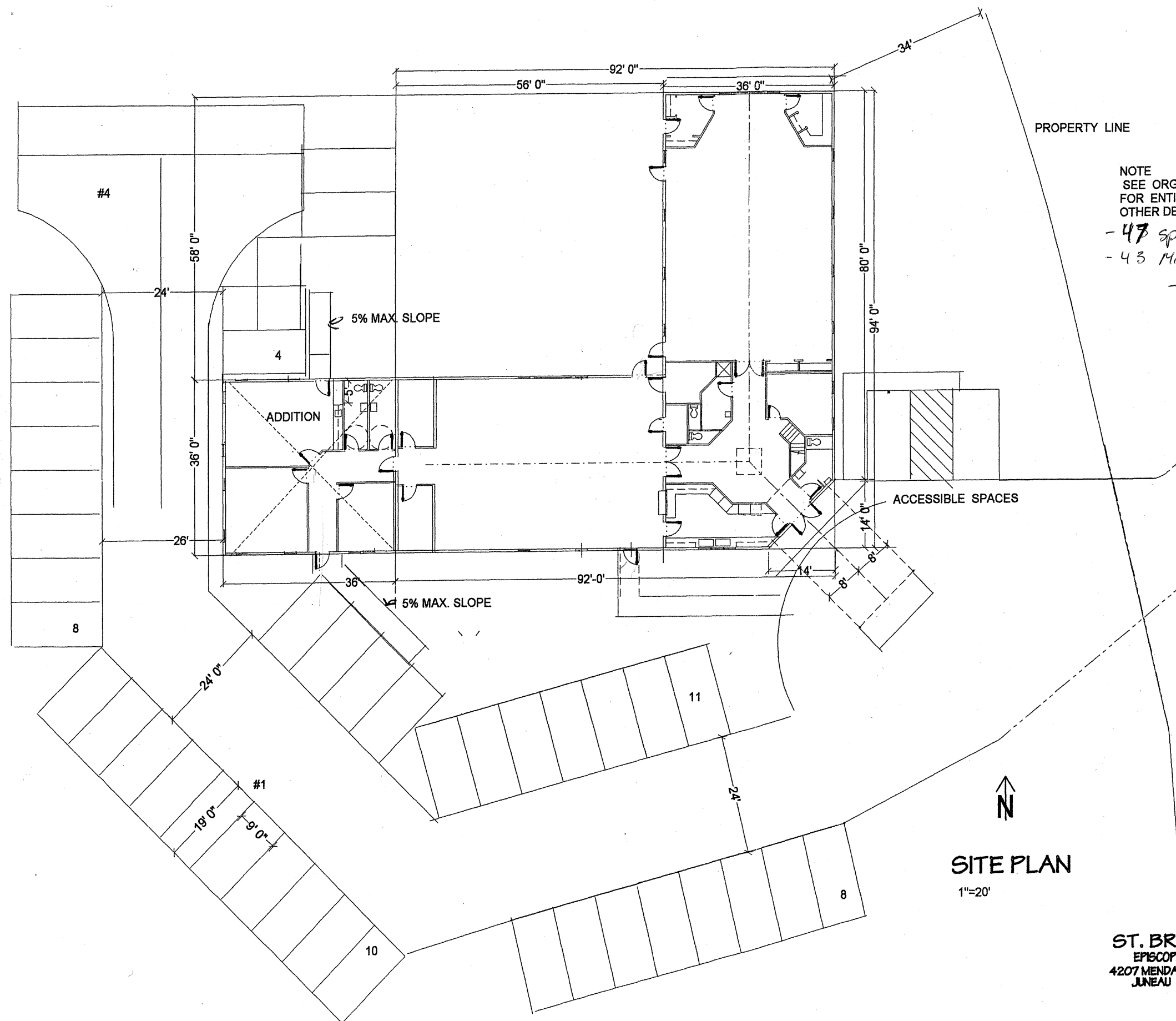
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PROPERTY LINE

NOTE
 SEE ORIGINAL PERMIT @ CBJ
 FOR ENTIRE PROPERTY &
 OTHER DETAILS
 - 47 spaces on this plan
 - 43 Min. parking requirement
 - USE CU87-10
 - ESE 4/16/12

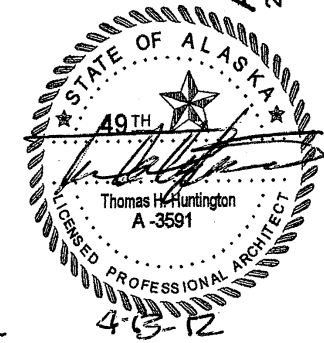


ACCESSIBLE SPACES

- NOTES
- #1. PROVIDE 43-9'x19' PARKING PLAN WITH 24' DRIVEWAY PER ORIGINAL PERMIT (170) SANCTUARY SEATING
 - #2 20' MINUM DRIVEWAY FOR TWO WAY TRAFFICE
 - #3 (2) ACCESSIBLE SPACE PER CODE
 - #4. PROVIDE FIRE TURN AROUND SPACE

↑ N
 SITE PLAN
 1"=20'

ABC/ THOMAS HUNTINGTON, ARCHITECT
 2314 Douglas Highway- Douglas, AK 99824-907-364-3636 & fax



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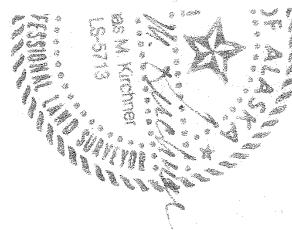
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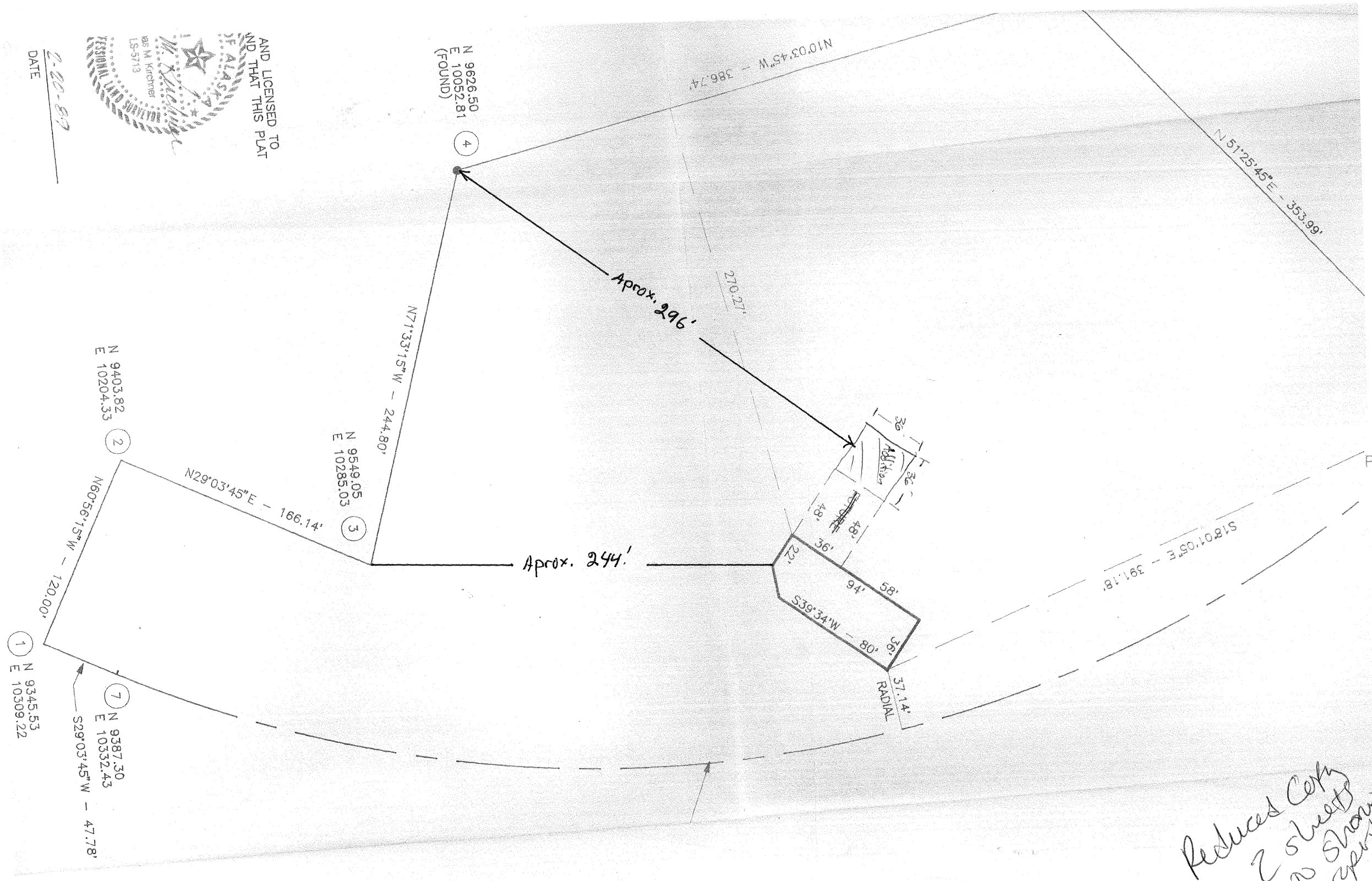
SITE
SCALE: 1" = 50'

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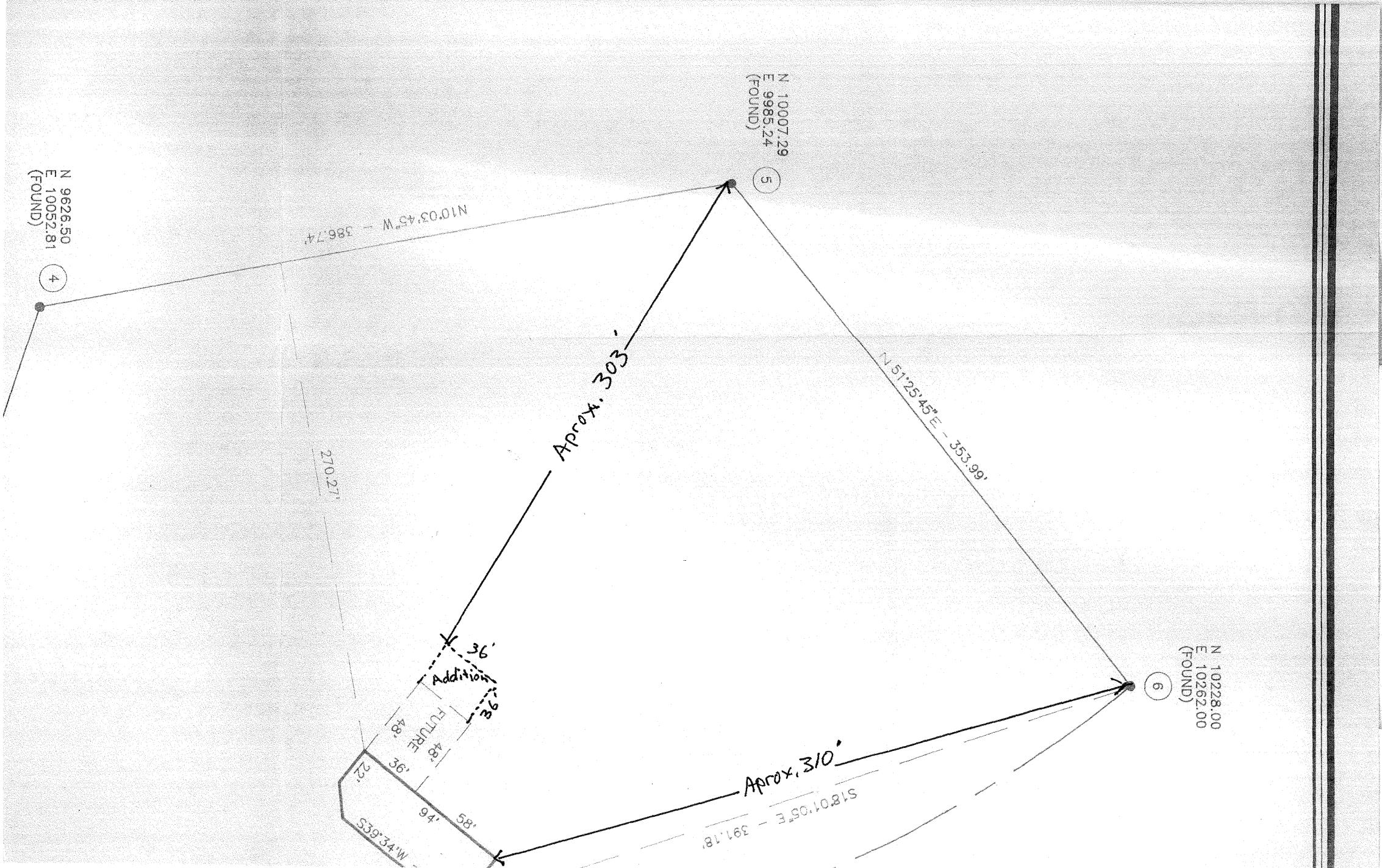
AND LICENSED TO
AND THAT THIS PLAT

DATE 2-20-89



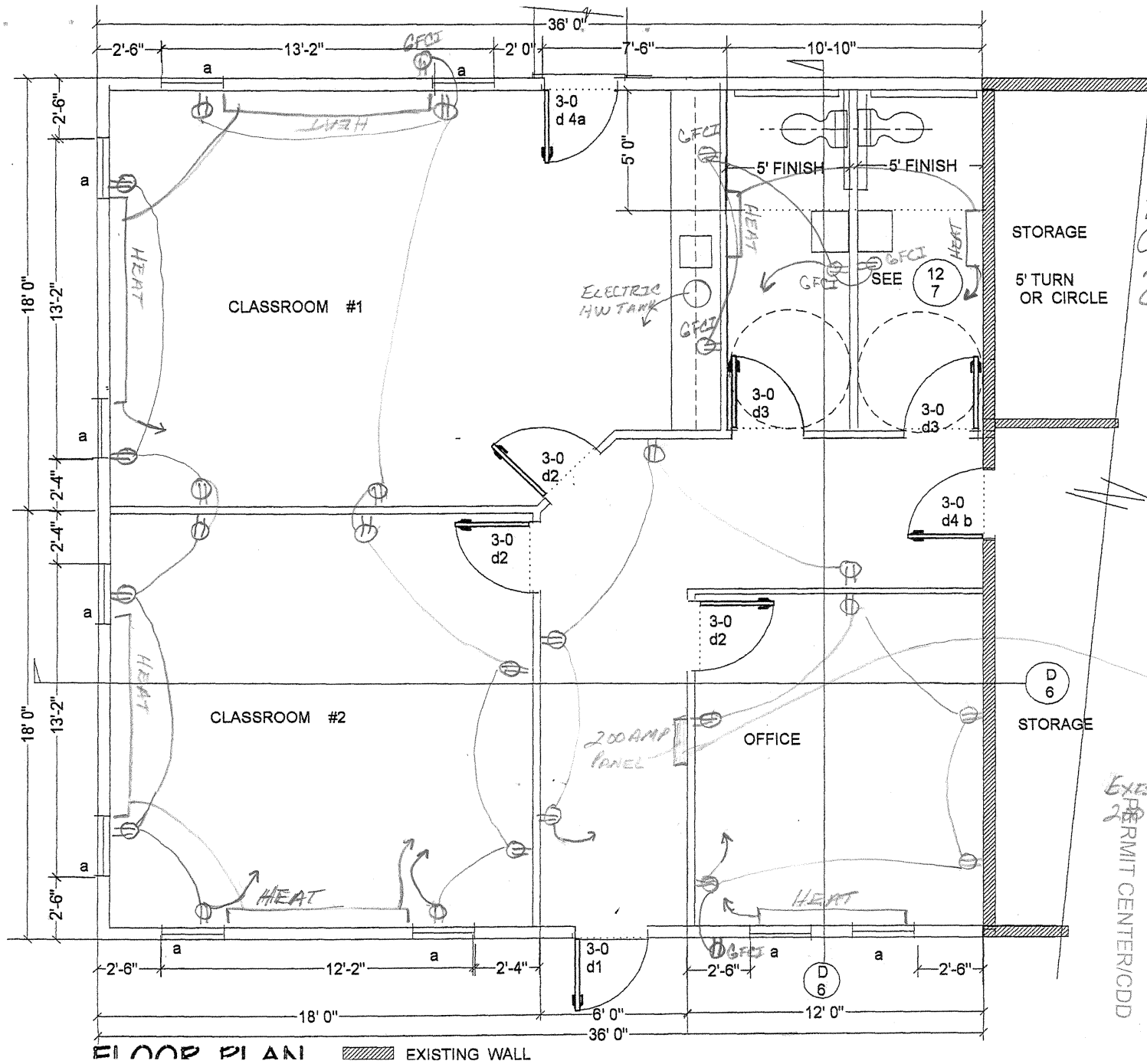
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*Reduced Copy
2 sheets
to show all
property corners
(Bme)
3-27-12*



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Attachment K - BLD2012011 Plans



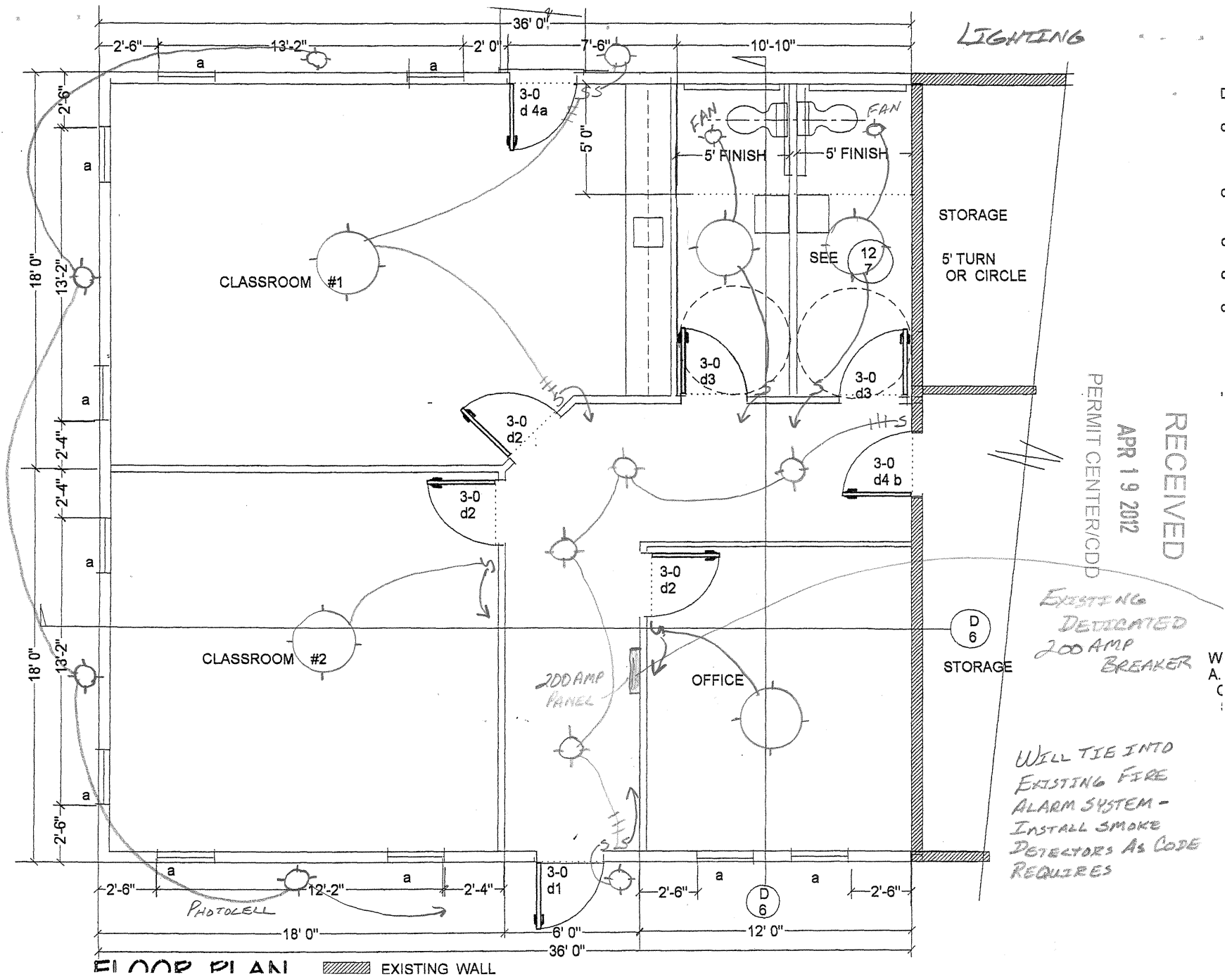
ALL ELECTRICAL
WILL MEET
CURRENT
ELECTRICAL
CODES

EXISTING DEDICATED
200 AMP BREAKER

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W
A.
C

Attachment K – BLD2012011 Plans



Attachment K – BLD2012011 Plans

3" vent to Roofline

Outside Hose Bib w/Vacuum Breaker

electric Hotwater Tank

- 01. METAL
- 02. LEVER KE
- 03. INSULATE
- 04. BALL BEAL
- 05. SOLID C
- 06. LEVER KE
- 07. SAFETY G
- 08. SAME AS
- 09. PRIVACY I
- 10. EXISTIN
- 11. EXTERIO
- 12. NEW D
- 13. LEVER PA
- 14. WALL STC

3" sewer

1/4" per foot

Fall to existing Building Sewer w/ Required Clean-out

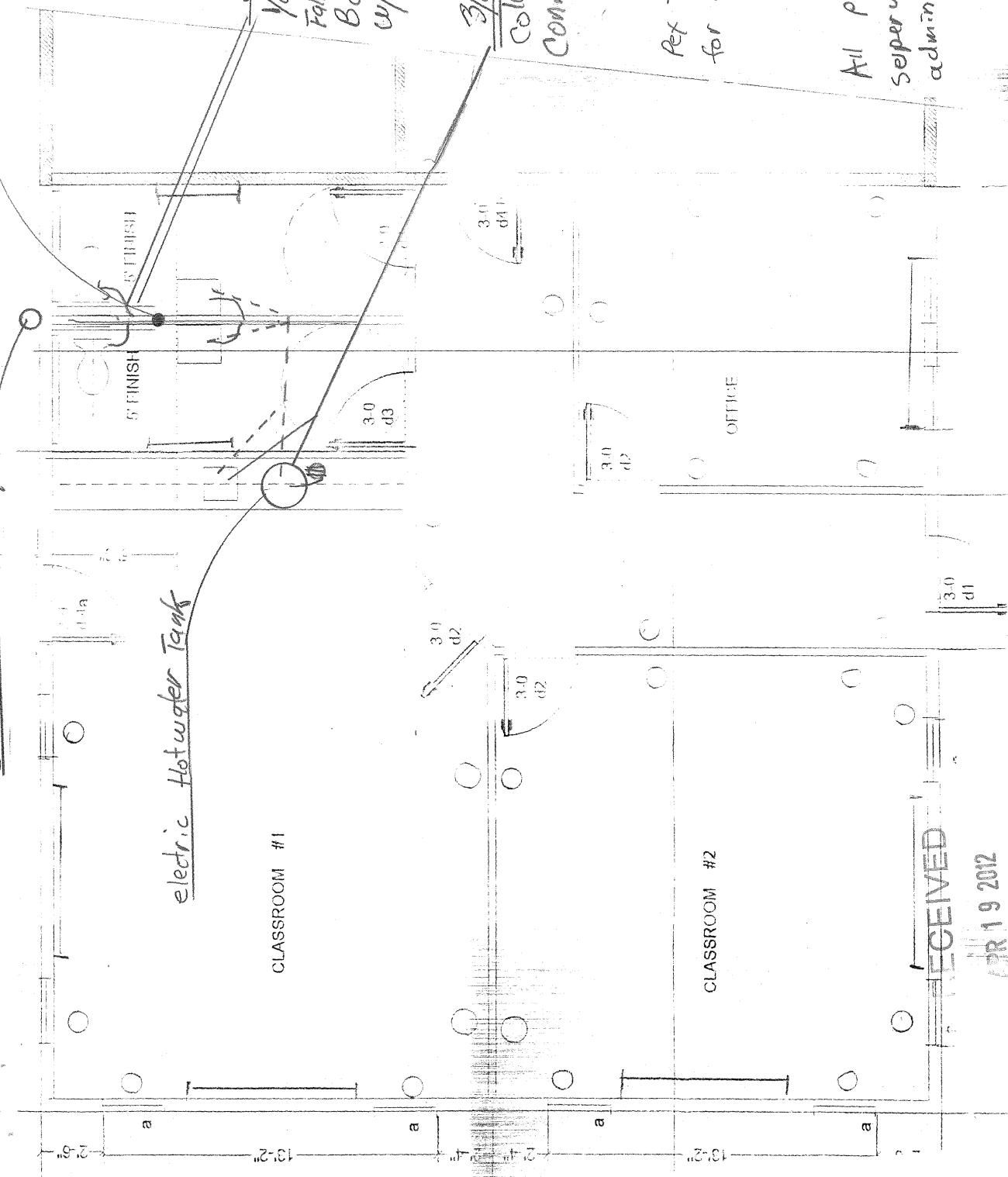
3/4" flex tubing

Cold water supply connected to existing

Copper

flex tubing Branches for hot + cold supply

All plumbing to be supervised by licensed administrator



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Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

St. Brendans church addition

Building Address: 4207 MENDENHALL LOOP RD

Occupancy Group: A-3*

Owner of Building: ST BRENDAN'S EPISCOPAL CHURCH
4207 MENDENHALL LOOP RD
JUNEAU AK 99801

Building Permit No. BLD20120211

Construction Type:

Code Edition: 2006 IBC

Occupant Load:

Sprinklers: Required Yes

Provided Yes

Legal Description of Building Lot:

USS 1529 FR

Building Official: Charlie Ford, BO



Signature

Parcel No: 5-B24-0-122-003-0

Date of Issuance: November 6, 2013

Post this Certificate in a conspicuous place for the duration of the stated occupancy.

CHECKLIST FOR

- CERTIFICATE OF OCCUPANCY
- TEMPORARY CERTIFICATE OF OCCUPANCY

Circle One: 30 Day TCO 60 Day TCO Other _____
 Requested By (Inspector/Staff) JSS

Date: 11/4/13

Building Permit : BLD20120211

Site Address: 4207 MENDENHALL LOOP RD

APN: 5B2401220030

Owner's Name: ST BRENDAN'S EPISCOPAL CHURCH

Project Description: St. Brendans church addition

Buildings: Date: 11-4-13 Initials: JSS Comments:
OK Per CO

Engineering: Date: 11/5/13 Initials: MRM Comments:
 AS BUILT APPROVED FOR FORM BY ENGINEERING Date: _____ Initials: _____
OK For C.O.

Zoning: Date: 11/5/13 Initials: ESF Comments:
Good for CO.

Fire - Approval by JSS per Sean Pearson



Attachment M – 2023 Aerial Imagery



Assessor's Database

Current Owner

ST BRENDAN'S EPISCOPAL CHURCH

4207 MENDENHALL LOOP RD, JUNEAU AK 99801

Parcel #: 5B2401220030 ([Map](#))

Address: 4207 MENDENHALL LOOP RD

Legal Desc. 1: USS 1529 FR

Legal Desc. 2:

Prev. Owner:

Site Value: \$562115.00

Building PV: \$0.00

Total PV: \$562115.00

Use Code: Church

Exempt: Religious Non-Profit

Zoning: -Single Family and Duplex -7,000 sq.ft minimum lot size -5 units per acre

Tax Year: 2024

No. of Units: 000

Year Built: 1989

Gross Liv. Area: 000000 sqft

Garage: No

Garage Area: 000000

Lot Size: 5.38

Last Trans: 00000000

City Water: Yes

City Sewer: Yes

Exempt Land: 562115

Exempt Building: 0

Exempt Total: 562115

Road/No Road: Roaded

Search the Database

Search the database using the search box below. The field accepts any search parameter (owner's name, address, parcel number, year built, etc.).