



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 0, St. Anns Avenue, Douglas Alaska		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) USMS 164 SE FR		
	Parcel Number(s) 2D040T480011		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner Douglas Indian Association	Contact Person Kamal Lindoff or Haifa Foroughi	
	Mailing Address 1021 Glacier Ave	Phone Number(s) 907-364-2916, 907-364-3567	
	E-mail Address klindoff@diataku.com, haifaf@diataku.com		
	LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.		
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
Kamal Lindoff <small>Property Management & Transportation Director</small> Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X Kamal Lindoff <small>Digitally signed by Kamal Lindoff Date: 2023.07.25 10:56:18 -08'00'</small> 7-25-23 Landowner/Lessee (Signature) Date			
Landowner/Lessee (Printed Name) Title (e.g.: Landowner, Lessee)			
X Landowner/Lessee (Signature) Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT If same as LANDOWNER, write "SAME"			
Applicant (Printed Name) Same		Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X Kamal Lindoff <small>Digitally signed by Kamal Lindoff Date: 2023.07.25 10:57:52 -08'00'</small>		7-25-23	
Applicant's Signature		Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

PWP23-003

Intake Initials

EPS

Date Received

8/3/2023



PARKING WAIVER APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant	PROJECT SUMMARY The Douglas Indian Association Cultural Education Center provides learning space for preschool through adult participants, primarily in the area of Tlingit Language Preservation, with space to support traditional and contemporary food preservation, a data archive, and a computer library. The building is on two levels, with the main floor at street level and a daylight basement lower level in the hillside overlooking the adjacent park area. The building is served with an elevator. Site development is constrained, not anticipating any means for future expansion.
	TYPE OF PARKING WAIVER REQUESTED (check one) <div style="display: flex; justify-content: space-around;"> <div> <u>MINOR DEVELOPMENT</u> <input type="radio"/> Parking Waiver Departmental Review (PWD) </div> <div> <u>MAJOR DEVELOPMENT</u> <input checked="" type="radio"/> Parking Waiver Planning Commission Review (PWP) </div> </div>
	DEVELOPMENT FOR WHICH THE PARKING IS REQUIRED (check one) <input type="radio"/> Existing <input checked="" type="radio"/> Proposed – Related Case Number: <u>PAC23-20</u>
	NUMBER OF REQUIRED PARKING SPACES PER CBJ 49.40.210(A) <input type="checkbox"/> For Residential Uses: _____ spaces <input checked="" type="checkbox"/> For Non-Residential Uses: <u>6</u> spaces
	NUMBER OF PARKING SPACES THAT WILL BE PROVIDED <input type="checkbox"/> For Residential Uses: _____ spaces <input checked="" type="checkbox"/> For Non-Residential Uses: <u>5</u> spaces
ALL REQUIRED MATERIALS ATTACHED <input checked="" type="checkbox"/> Complete application per CBJ 49.15 and CBJ 49.40.210(d)(6) <input checked="" type="checkbox"/> Narrative including: <input checked="" type="checkbox"/> Why the parking waiver is being requested? <input checked="" type="checkbox"/> How the requested waiver meets items 1-4 on page 2	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

PARKING WAIVER FEES			
Residential Spaces	_____	Non-Residential Spaces	<u>320</u>
Residential Fee	\$ _____	Non-Residential Fee	\$ _____
Total Residential	\$ _____	Total Non-Residential	\$ _____
Total Fee		\$ <u>320</u>	

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INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number <u>PWP23-003</u>	Date Received <u>8/3/2023</u>
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Parking Waiver Information

Parking waivers are outlined in CBJ 49.40.210(d)(6)

Parking Waivers are pursuant to 49.40.210(d) Exceptions (6) Parking Waivers. The required number of non-accessible parking spaces required by this section may be reduced if the requirements of this subsection are met. The determination of whether these requirements are met, with or without conditions, deemed necessary for consistency with this title, shall be made by the Director of the Community Development Department in the case of minor development; the Planning Commission in the case of major development; and the Planning Commission if the application relates to a series of applications for minor developments that, taken together, constitute major development, as determined by the director.

Any waiver granted under this subsection shall be in writing and shall include the following required findings and any conditions, such as public amenities, imposed by the director or commission that are consistent with the purpose of this title:

- (1) The granting of the waiver would result in more benefits than detriments to the community as a whole as identified by the comprehensive plan;
 - (2) The development is located outside of the PD-1 parking district, PD-2 parking district, and Downtown Fee in Lieu of Parking District Map areas;
 - (3) Granting the waiver will not result in adverse impacts to property in the neighboring area; and
 - (4) The waiver will not materially endanger public health, safety, or welfare.
- Applications for parking waivers shall be on a form specified by the director and shall be accompanied by a one-time fee of \$400. If the application is filed in conjunction with a major development permit, the fee shall be reduced by 20 percent.
- The director shall mail notice of any complete parking waiver application to the owners of record of all property located within a 250 foot radius of the site seeking the waiver. If the parking waiver application is filed in conjunction with a major development permit, notice of both applications shall be made concurrently in accordance with CBJ 49.15.230.

Approved parking waivers shall expire upon a change in use.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED



August 1, 2023

PAC23-20

Anax Yaa Andagan Yé Daakahídi Learning Center
Douglas Indian Association (DIA) and Tribal Government
St Anne's Avenue, Douglas Alaska lot USMS 164 SE FR

RE: Permitting package

Please find with this cover:

- 0) A copy of the pre-application conference report.
- 1) Development permit application, signed (digitally)
- 2) Allowable-Conditional-Use application
- 3) Design Narrative – this will describe purpose, land use items, site development and purpose for phasing of parts to the single project.
- 4) Updated 35% drawing set -this will illustrate building plan details and some site development information.
- 5) Geotechnical memo – this is provided by the structural engineer as a part of the **Hillside Endorsement**.
- 6) Civil site work plans: Civil engineering drawing outline the phase 1 and phase 2 site development scope. These illustrate the topo survey we are working from. This is provided as a part of the **Hillside Endorsement**. Per Civil engineer, Structural Fill shall be installed and meet the requirements of CBJ Standard Specifications for Civil Engineering Projects and Subdivision Improvements December 2003 and Errata 1-16, Section 02202 – Excavation and Embankment, Shot Rock Borrow.

Note: we do not have a Landscape plan developed yet, so please see notation on architectural site plan illustrating extent of vegetated cover. The finish slopes of the phase 2 work will be engineered by the civil engineer and overlain with soil to support plant growth. Non-sloped planting area will be vegetated per landscape architect. Hard scaped areas will have controlled stormwater drainage to established drainage avenues.

- 7) **Parking Waiver:** At 1 space per 600 gsf of building area we have calculated this plan will require a total of 6 parking spaces, one accessible, to serve the limited facility scale. Due to challenges in site development and subsequent cost. We have developed a site plan that accommodated 5 parking spaces and would like to approach a Parking Waiver in two ways:
 - A) The simplest is to reduce the parking count required by one space, allowing this facility to operate with 5 off-street parking spaces consistent with the provided site plans. See Parking exhibit A. A PWD application is attached.

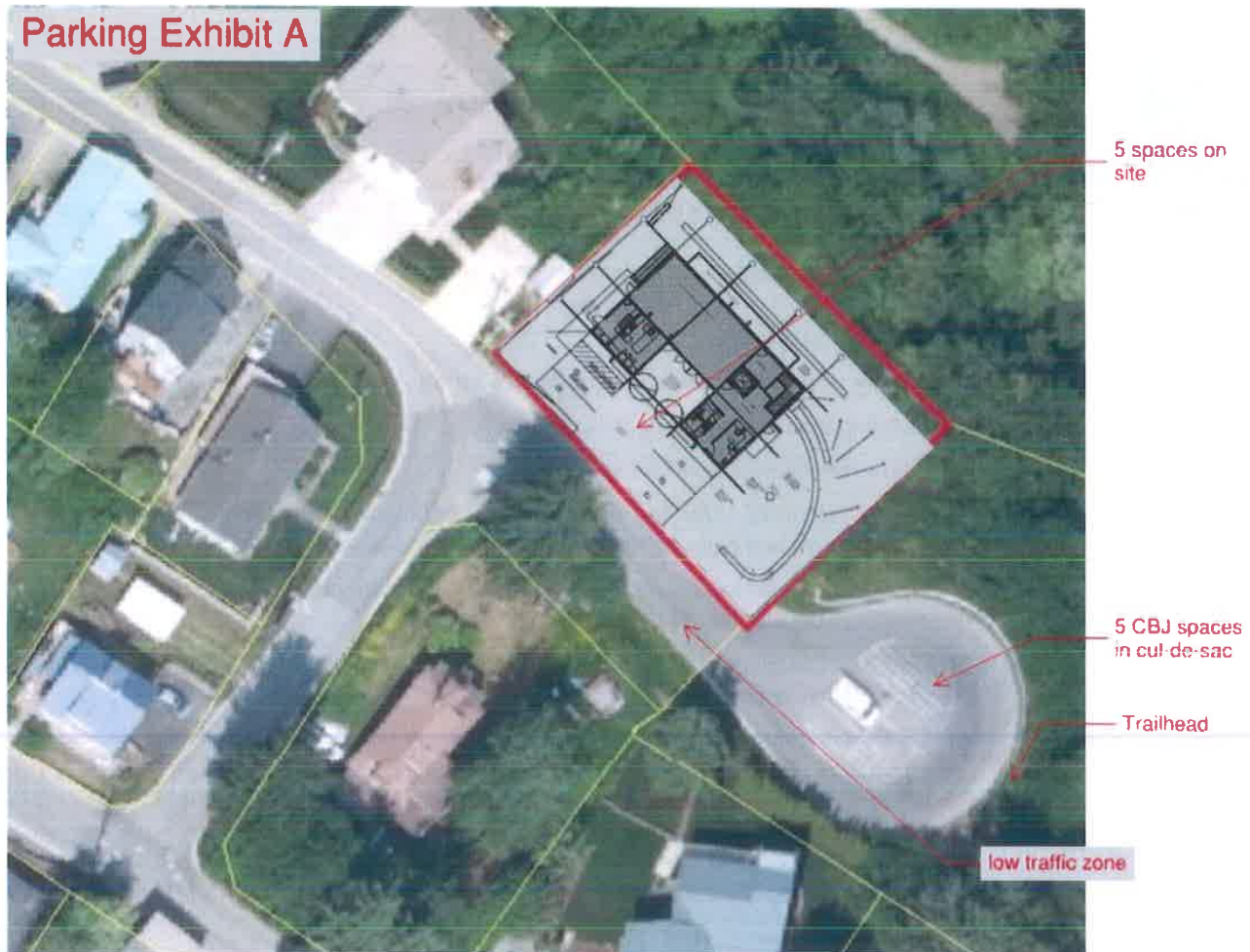
Sean M Boily AIA
Principal Architect

James Bibb AIA
Principal Architect

David Hurley AIA
Principal Architect

126 Seward Street
Juneau, AK 99801

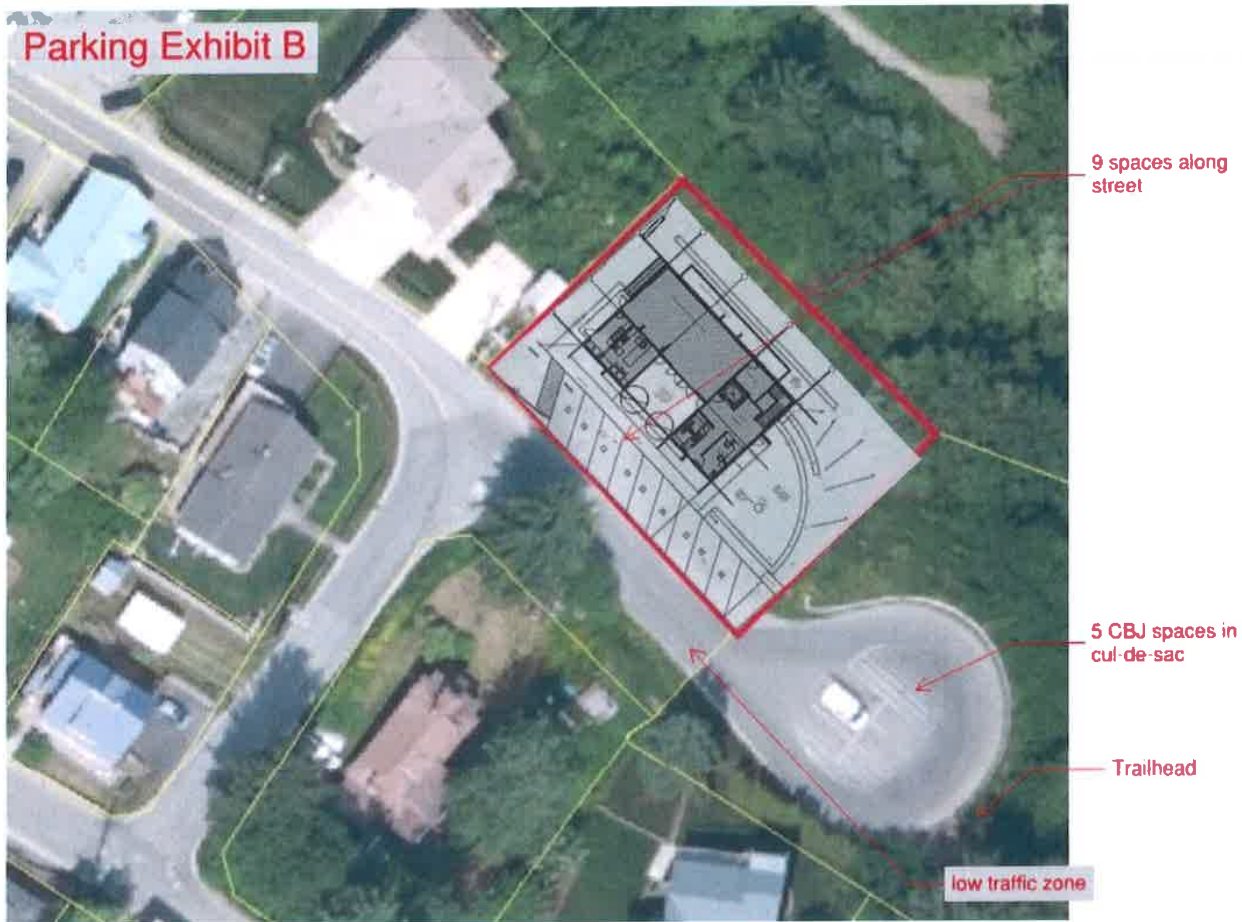
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- B) A more favorable solution is to get a variance that will allow back-out angled parking directly onto the short, low-traffic, section of St. Anns that serves the small cul-de-sac parking area and Treadwell access point. If back-out angled parking not this portion of St Anns is allowed without the 13' wide drive aisle stipulated in the land use code, this site can accommodate 9 spaces. The DIA would consider posting some of these spaces as shared for public use, thereby expanding public access capacity at the trailhead at no cost to the City. Understanding the Planning Department does not find this favorable as it would allow backout parking onto a street, a potentially dangerous condition in high traffic streets, but not uncommon in Juneau in low traffic areas such as this. I believe this will require Planning Commission approval. See Parking Exhibit B.

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Prior to processing the PWD, we would like this second option to be discussed with the Planning Commission. As this is Phase 2 work we feel this may be considered on the Phase 2 development schedule.

- 8) **Site survey with existing conditions:** The finalized topographic survey will be forthcoming (draft provided). We understand the concern over hillside conditions. Please note that the hillside condition is not natural or original to the site, but created by a large quantity of fill deposited on top of an existing hillside that appears to have been at less than an 18% slope. This project is effectively going to remove the hillside condition and build back an engineered fill profile. Draft survey attached. Will be updated with final including slope grade in %.

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NorthWind Architects, LLC
Sean M. Boily, AIA
Architect to Record, Project and Contract Manager



August 1, 2023

Anax Yaa Andagan Yé Daakahidi Learning Center
Douglas Indian Association (DIA) and Tribal Government
St Anne's Avenue, Douglas Alaska lot USMS 164 SE FR

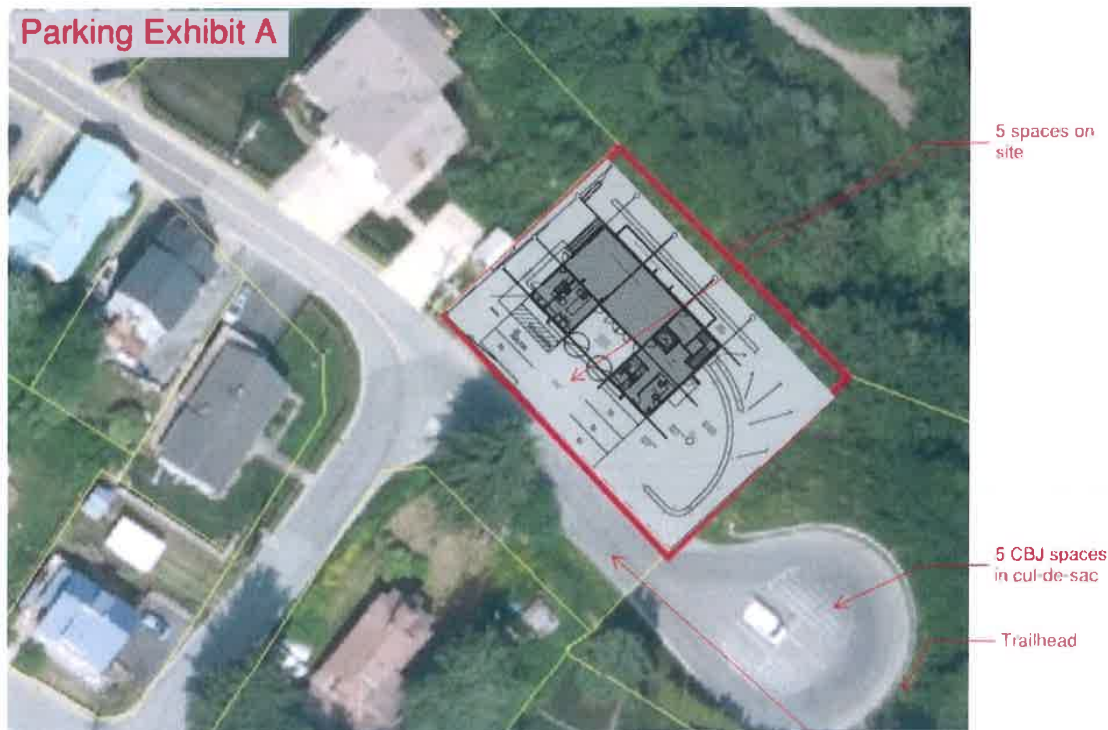
RE: PAC23-20Parking Waiver Application Narrative

Why is waiver being requested?

At 1 space per 600 gsf of building area we have calculated this plan will require a total of 6 parking spaces, one accessible, to serve the limited facility scale.

Due to challenges in site development (located and accessed from the top of a hillside) and subsequent cost of building large earth retainage structures or other accommodations to create flat land for construction, pushing the building further over the edge of the hill to make enough space for additional parking than that shown on the site plan is not feasible. Site dimensions and obstructions do not afford an alternate configuration that accommodates more parking spaces. Further, we cannot sacrifice what little valuable outdoor flat learning space to accommodate additional parking. Granting the waiver will facilitate this project moving forward, which is a benefit to our community. The site is outside PD1&@ and the Downtown Fee in Lieu map. Granting the waiver will not adversely affect the neighborhood. The waiver will not materially damage public health, safety, or welfare.

We have developed a site plan that accommodates 5 parking spaces and would like to approach this Parking Waiver accordingly. We are providing a total of three to four permanent and itinerant staff positions in the building that may necessitate four parking spaces, with a fifth accessible van parking space we are able to accommodate both accessibility and student delivery. Other students and visitors can be dropped off in the low traffic section of St. Anns that serves the Treadwell Park Access cul-de-sac in front of the building. Should additional parking be needed, public car parking is located by Sandy Beach, a short walk-through Treadwell Park from this facility. See Parking Exhibit A.





July 31, 2023

Anax Yaa Andagan Yé Daakahídi Learning Center
Douglas Indian Association (DIA) and Tribal Government
St Anne's Avenue, Douglas

The DIA Cultural Learning Center a new facility on a north-facing hillside site at the end of St. Ann's Avenue in Douglas Alaska (lot USMS 164 SE FR). The proposed structure is to be a wood framed single story over a concrete foundation and daylight basement overlooking the Treadwell Historic site and Gastineau Channel.

The project is a Cultural Learning Center for Preschool through adult programming, with a primary focus on Tlingit language learning and traditional food preservation as a part of the tribal organization's food sovereignty and food source stability program. The vision is to provide a learning space in a comfortable setting that will provide workshop space supporting both Alaska native arts and community sustainability, including fisheries and other educational programming. Situated near T'aaku Kwáan - Sayéik village site with stunning views out over the ruins of the Treadwell mining district (now a park), the setting evokes both the endurance of all *Aan Yátx'u Sáani* - Noble People of the Earth, and of course the powerful nature of the place we live.



Sean M Boily AIA
Principal Architect

James Bibb AIA
Principal Architect

David Hurley AIA
Principal Architect

The primary parts of the project are:

- The gathering space (classroom)
- The spaces that support the gathering space (computer library and teaching kitchen)
- The offices/studios for both operations staff and visiting educators/artists

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- The connecting spaces for both formal and casual interaction
- The outdoor spaces with interpretive material, connection to landscape

The following proposed program list is intended to support the Owner's programmatic needs and the overarching intent of this project:

Name/Function	Program Notes	Covered outdoor area	Building Area Net Square Feet
Lobby/reception	generous circulation lobby		200
Reception	Reception workstation desk associated with Lobby		100
Cultural Communications	Classroom/presentation and larger meeting space		980
Small meeting			140
Kitchen	Support to Education space. Include: Small refrigerator w/ ice and water, microwave, sink w/ disposal, dishwasher, storage, and cooktop with range hood		160
Janitorial			50
Bathroom, Men	Accessible, first floor, Public		60
Bathroom, Women	Accessible, first floor, Public		60
Outdoor covered workshop space	outdoor cover with partial enclosure	600	
Computer Library/Archive	to support education space		120
Wet Work Yard (outside kitchen)	To support traditional foods preparation educations	200	
Facility Administrator			120
Education/studio 1			120
Education/studio 2			120
Workroom	copiers, files etc		120
Janitorial			50
Bathroom, Men	Accessible, second floor, Public		60
Bathroom, Women	Accessible, second floor, Public		60
elevator shaft	in the grossing factor		
storage/security			200
trash/recycling collection	Indoor	80	
Mechanical/Electrical room			150
Parking area (5-6 spaces with	3500 sf paved surface		

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		880	2870
Grossing factor			720
Total Square feet	Outside and inside space	880	3590

Land Use: The lot is approximately 100 feet deep by 133.5 feet wide (parallel to street and is listed as 13,366 square feet with City Water and Sewer on the CBJ Assessor's database. The project concept and land use has been vetted with the City and Borough of Juneau Planning Department. The land is zoned D-18, which would allow educational facilities with a Conditional Use Permit. For construction, we must adhere to a 20-foot setback off St. Ann's, 10- foot setbacks off the back lot lint to the north, and 5-foot setbacks from the side yard lot lines. Parking is required for the new structure, with a preliminary calculation of one space per 600 sf (5-6 spaces, depending on how we calculate that). Our proposed schematic design plan illustrates how we would accommodate this parking on the site. Note that one parking space must be wheelchair accessible.



Accessibility: As this is a commercial property the proposed design is intended to make provisions for Accessibility to all business use areas of the building. This includes an accessible path from the parking lot through the front door and to both the first and second floors.

Existing site conditions: Currently the lot is undeveloped and largely unvegetated. Under prior ownership the site was used to deposit spoils/fill material from a street construction approximately 6 years ago, which has increased the site slope angle and is subject to erosion.

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Proposed site development: Due to the overlay of fill material over native site organics in recent years, the unstable site fill material will be removed down to hardpan/bedrock, with a buildup of engineered fill to building foundation depths. Building foundations will be integrated with the site retainment. The steep embankment will be replaced with a series of retaining structures with controlled drainage. Sloped area will be revegetated with natural and indigenous greenspace. Developed terraces will be hardscaped with planting areas.

New construction: The building shall be comprised of an insulated full height daylight basement supporting a one or two-story wood framed structure, with developed outdoor spaces on the landscape that are both covered and uncovered, supporting the building program.

- Foundation and daylight basement level shall be Insulating form Concrete (IFC), with exterior waterproofing and perimeter drainage. The basement shall have a concrete floor slab and painted gypsum board finishes.
- The main floors shall be 2x6 framed construction with interior gypsum board over a vapor retarder, fiberglass or mineral wool insulation fill, plywood sheathing with weather barrier, a 1.5" layer of rigid outside insulation, pressure equalizing siding and trim. Interior finishes to be painted gypsum board. The exterior finish is proposed to be comprised of sheet metal panels and flame-treated cedar siding for greater longevity in our climate.
- The proposed roof will be a combination of gabled forms, with flat roof canopies, anticipating new metal roofing with snow stops and gutters and high-performance single ply membrane materials.
- The gabled and low sloped roof structures are to be comprised of timber frames and decking with outside rigid insulation (R35 continuous) over vapor retarder. Vented attic spaces are not suitable for the high winds and exposure of this specific site.
- Outdoor covered spaces: the design options include both covered and uncovered outdoor spaces comprised of both concrete paver hardscape surfaces and wood decks on piers, and extended roof coverings. These shall be heavy timber framed with timber decking. Exterior railings to be epoxy coated galvanized steel, stainless steel, and glass panels to afford wind protection.
- Windows and doors: high performance thermal units with painted fiberglass frames and panels, typical. Glazed wall at the classroom and meeting room to be fiberglass storefront with operable glass portions permitting direct connection to outdoor spaces during suitable weather.

Bathrooms: A total of four, single-user bathrooms shall be provided, two on each level. All are configured to be accessible and shall have an adjacent janitorial space.

Kitchen: A small commercial kitchen space is provided in association with the classroom. Shall have: three-well sink, 36" range and Type I range hood, commercial under counter dishwasher, microwave, and refrigerator/freezer.

Elevator: To accommodate the split level and multi-floor nature of the design, we propose a 2-stop commercial elevator (Otis Hydrolift) to serve both levels. The elevator shall provide an accessible means of access.

Electrical: New electrical service and distribution, including extension of three-phase power to the site along St. Anns. LED lighting shall be implemented to the greatest extent possible. Switch mounted occupancy sensors with overrides are to be provided at offices.

Data/Communications: New data and communications equipment and distribution to serve offices and meeting rooms. Teaching and conference rooms shall support large screen installations. The computer archive and library will require a robust data connection and internal network, including wireless. We anticipate the system will be equipped with a battery backup, an uninterrupted power supply (UPS).

Fire Suppression: The building does not require a fire suppression sprinkler system, and the extension of a suitably sized water service is a cost beyond the project budget.

Heating and ventilation: Heating and cooling is proposed to be provided with a ground source heat pump system comprised of a closed system, four or five 350' deep ground contact wells, and interior heat pump unit with in-floor heating/cooling piping and tempering coils in the heat recovery ventilation system. The budget alternative is an air-to-air heat pump system with ducted distribution and heat recovery ventilation. The system will provide MERV 13 filtration. The minimum required fresh air levels will also be accommodated by operable windows throughout.

Site finishing: As previously noted the existing site is a steep hillside that will require significant excavation and reattainment to create a stable building foundation. Approximately 40% of redeveloped site is anticipated to be planted area, with the remaining dedicated to building and hardscape areas. See notation in provided architectural site plan. The landscape shall be developed to encourage casual outdoor gathering with some measure of wind/weather protection and shall utilize plantings indigenous to the area.

Project Phasing: Due to the substantial site work that must occur prior to building construction, the project is intended to advance in two phases. Both phases 1 and 2 are funded, and phasing is intended to expedite the site work and expenditure of allocated grant funding in the current year.

Phase 1 will be comprised of site work, including the removal of inadequate site materials, the construction of lower site retainment structures, adding engineered fill material up to the elevation of the building basement, and the extension of water, sewer, electrical and stormwater utilities. We anticipate addressing the unplatted drainage structures associated with the St. Anns Street construction as a part of this work and are requesting an early site development permit to advance this effort in the late summer of 2023.

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Phase 2 shall be comprised of building construction and site finishing. We anticipate this work will start in the late fall 2023 and extend through spring of 2025.

Project Funding: The Douglas Indian Association has received a substantial education grant for building construction, equipment, and education delivery. A second grant has been received to develop the computer archive and library. A third grant source is available to help mitigate some of the unexpected site development costs. These grants have timelines and deadlines that drive the project schedule. The project design is supported by the work of a professional cost estimator.

NorthWind Architects, LLC
Sean M. Bolly, AIA
Architect to Record, Project and Contract Manager









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Anax̣ Yaa Andagan Yé Daakahídi Learning Center: "Where the Sun Rays Touch First"

DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

35% COORDINATION SET

OWNER	ARCHITECT	MECHANICAL	ELECTRICAL	STRUCTURAL	CIVIL	LANDSCAPE	LAND SURVEY
 Douglas Indian Association 1021 Glacier Ave. Juneau, AK 99801	 NorthWind Architects, LLC 125 Seward St. Juneau, Alaska 99801 Sean Boly, AIA	 Modern Mechanical 11001 Black Bear Road Juneau, AK 99801 (907) 789-8320	 Beranym Engineering 217 2nd St. Juneau, AK 99801 Benny Beranym (907) 586-5800	 Timberline Engineering 11460 Le Anne Way Juneau, AK 99801 Jaha Graves (907) 635-1433	 proHNS LLC 1945 Alex Holden Way #151 Juneau, AK 99801 Lucas M. Chambers, PE (907) 789-4004	 Conus Design 119 Seward St. Unit 15 Juneau, AK 99801 (907) 325-9100	 North 57 Land Surveying 8800 Glacier Hwy Suite 224 1/2 Juneau, AK 99801 (907) 738-5120

PROJECT DESCRIPTION

SCOPE OF WORK DESCRIBED BELOW IS INCLUSIVE OF ALL ASSOCIATED ARCHITECTURAL, MECHANICAL AND ELECTRICAL WORK WITHIN OR REQUIRED TO SUPPORT THE AREAS DELINEATED

THE WORK OF PROJECT IS DEFINED BY THE CONTRACT DOCUMENT DRAWINGS AND SPECIFICATIONS. IS FOR THE CONSTRUCTION OF A NEW BUILDING, BASE BID AND DESIGN ALTERNATES AND CONSISTS OF THE FOLLOWING:

PHASE ONE SITE DEVELOPMENT, REMOVE OVERBURDEN MATERIAL DESCRIBED IN STRUCTURAL DRAWINGS AND PROVIDE ENGINEERED FILL TO DEPTH OF LOWER LEVEL FOUNDATION, EXTEND UTILITIES AS REQUIRED TO COMPLETE THE PHASE 2 WORK, ANTICIPATE MATERIAL REMOVAL 4,800 CUBIC YARDS, ANTICIPATED PHASE 1 ENGINEERED FILL 3,500 CUBIC YARDS, INCLUSIVE WITH PHASE 1 WORK IS PROVISION OF THE LOWER "HANNA BLOCK" SITE RETAINING STRUCTURE AS WELL AS THE ELECTRICAL UTILITY POWER LINE EXTENSION, ANTICIPATING CONSTRUCTION LATE SUMMER 2023

PHASE 2 BUILDING AND SITE CONSTRUCTION: WORK WILL INCLUDE CONSTRUCTION OF 2600 SF, TWO STORY BUILDING AND ALL OTHER FEATURES DEFINED IN THESE DOCUMENTS, INCLUDING CONSTRUCTION OF THE UPPER SITE RETAINAGE, RAMPS, RAILINGS EXTERIOR ACCESS STAIRS, AND INSTALLATION OF HARDSCAPES AND LANDSCAPE FINISHING, ANTICIPATING CONSTRUCTION STARTING FALL 2023, EXTENDING THROUGH 2024 THE FF&E AND MOVE-IN EARLY IN 2025

GENERAL NOTES

SHEET INDEX

A10.0	3D VIEWS
GENERAL	
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G1.0	SITE PLAN
CIVIL	
C1.0	CIVIL SITE PLAN
C2.0	SECTION VIEWS
ARCHITECTURAL	
A0.0	EXTERIOR BUILDING ASSEMBLIES
A0.1	INTERIOR BUILDING ASSEMBLIES
A0.2	SPECIFICATIONS
A2.0	FLOOR PLAN - LEVEL 0
A2.1	FLOOR PLAN - LEVEL 1
A2.4	ROOF PLAN
A2.5	REFLECTED CEILING PLAN - LEVEL 0
A2.6	REFLECTED CEILING PLAN - LEVEL 1
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	ENLARGED SECTIONS
A6.0	ENLARGED PLANS & INTERIOR ELEVATIONS
A6.1	ENLARGED PLANS & INTERIOR ELEVATIONS
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S1	GENERAL NOTES & ABBREVIATIONS
S2	FOUNDATION PLAN
S3	FIRST FLOOR FRAMING PLAN
S4	ROOF FRAMING PLAN
S5	SECTION
S6	SECTION
S7	SECTION
MECHANICAL	
M0.2	SCHEDULES

COVER SHEET

SHEET # G0.0

PLOT DATE: 06/05/2021

ISSUE DATE: 06/05/2021

NorthWind Architects LLC Project Number: NVA 2286

1	board or number	QUR	curtain curtain	GB	grab bar	MLL	mulsion	SR2	resaler
2	ant	QW	curtain wall	GEN	gens	MPG	metal wall panel	SPC	specification
3	existing	QWB	cement board	GFC	government lamp/contract metal	NI	norm	SQ	square
4	relabeled	D	deep, depth	G	galvanized iron	NA	not applicable	SR	slip resistant
5	slab	DBL	double	GL	glass	NFC	not in contact	SS	stainless steel
6	manual	DEB	dry erase board	GND	ground	NO	number	SSK	service size
7	Angle	DEMO	demonstr., demolition	GRD	grade	NOM	normal	SSM	solid surface material
8	metal	DEMT	dormant	GT	glass tile	NBSM	non-structural metal framing	ST	steel
9		DET	detail	GWB	gypsum wall board	NCIS	not to scale	STL	stone
10	air conditioning	DE	drinking fountain	GYP	gypsum	OC	on center	STD	standard
11	anchor bolt, air barrier	DIA	diameter	HDO	water cooler	OD	outside diameter	STL	steel
12	door	DH	down	IB	hose bibb	OFCI	owner lamp/contractor install	STN	stone
13	acoustical	DIV	division	ICB	hollow core	OFOI	owner lamp/owner install	STRUCT	structural
14	acoustical ceiling tile	DOW	down	ICG	not dipped galvanized	OT	other	SUP	suspended
15	area drain	DR	door	ICR	header	OPNG	openable	SVL	vertical
16	adjust	DR	door	KWD	hardwood	OPP	opposite	SVS	system
17	adjustable	DS	downspout	SHOWE	hardware	OPN	open	T	perpendicular
18	architecturally exposed structural steel	DW	ditchwater	RM	redwood metal	ORD	outside roof drain	T&G	terrace and grove
19	sewer finished floor	DWG	drawing	RM	redwood metal	PC	precast	T.O.	top of
20	acoustical glass	DWR	draw	HOLZ	horizontal	PCR	precast cast member	TB	thermal break
21	at times	E	each	HV	hose	PCT	precast tile	TCD	tile to drain tile
22	alumnum	EA	each	HT	height	PCPR	perforated	TBM	back board (modular)
23	anchorage	EF	exhaust fan	HTG	heating	PLG	plumbing	TEL	telescope
24	apertures	EJ	excessure joint	HTR	heater	PL	property line	TEMP	temporary
25	architectural	EL	elevation	HVC	heating/ventilating/cooling	PLAN	plastic laminate	TRF	transition floor finish
26	acoustic resistant gypsum wall board	ELEC	electrical	HWN	hot water heater	PLUM	plumb, plumbing	TG	tempered glass
27	acoustic	ELCV	electrical	IN	inside downspout	PLYWD	plywood	TH	threshold
28	adjust	EM	entry mat	IO	insulated glass	PL	panel	THD	thread
29	average	EMER	emergency	IMR	insulated hollow metal	PL	pan	TIC	top of beam
30	acoustical wood panel	ENCL	enclosure	INCL	include	PREFAB	prefabricated	TOD	top of concrete, top of curb
31	bottom of	EP	electrical panelboard	INSUL	insulation	PREFIN	prefinished	TOP	top of pavement
32	board	EPR	entry	INT	interior	PSF	pounds per square foot	TOS	top of shelf
33	building	ES	equal	IPS	interior paint system	PSI	pounds per square inch	TOW	top of wall
34	block	EQUIP	equipment	JAP	joint	PT	paper towel	TPI	tile per tile
35	blocking	EQH	exhaust	JST	joint	PTD	paper towel dispenser	TSCD	tile set cover dispenser
36	below	EXST	existing	JT	joint	PTDR	paper towel dispenser and wasteplate	TSPH	transparent
37	beam	EXP	exposed	KD	knock down	PTN	partition	TTO	toilet tissue dispenser
38	bottom of deck	EXPAN	expansion	KT	kitchen	PTR	paper towel receptacle	TY	tile-void
39	bottom of landing	EXT	exterior/exterior	KO	knock out	PUWT	pavement	TWF	twofold wall finish
40	bottom	EX	factory finish	LAB	laboratory	Q	quantity	TRF	transition
41	balcony	FA	fire alarm	LAB	laboratory	RCP	radiation curable resin	UL	Underwriters Laboratories, Inc.
42	balcony	FAB	fabric	LAM	laminare	RCP	reflective ceiling plan	UNFIN	unfinished
43	barrier	FAP	fluid applied flooring	LB	lock box (telephone)	RO	roof trim	UNO	unless noted otherwise
44	between	FICT	falling body chipping table	LB	left hand	RE	regarding (see)	URI	uri
45	cabinet	FD	floor finish, fire drawer	LW	load limit	REBAR	reinforcing bar	VB	vapor barrier
46	back hole	FDS	fire department connection	LOK	lock	REFL	reflective	VCT	vinyl composition tile
47	carpet cushion unit	FND	fireproof	LM	limited glass	REFL	reflective	VECT	vertical
48	ceiling	FES	fire extinguisher	LT	light	REFR	refrigerator	VEST	vestibule
49	ceiling tile	FEC	fire extinguisher cabinet	LE	linear wood ceiling	RENF	reinforced (ring)	VF	verify in field
50	contractor lamp/contractor install	FFL	finished floor line	M&E	mechanics and electrical	REQD	required	VR	vapor retarder
51	fixed formed metal framing	FG	floorglass	MACH	machine	RESL	resilient	W	width, width
52	comes apart	GH	tile hydron	MATL	material	RFC	reinforced fire extinguisher cabinet	W	width
53	cast in place concrete	GL	glass	MAX	maximum	RI	right hand	WS	width
54	control panel	FIN	finish	MED	medical waste	RO	rough opening	WC	water closet
55	center line	FLASH	flashing	MC	medicine cabinet	RP	rein panel	WCS	water ceiling system
56	ceiling	FLR	floor	MCP	metal ceiling panel	RHS	resilient rubber sheet	WCV	wall covering
57	closet	FO	face of	MCS	metal ceiling system	RIB	rubber self cover tile	WO	worst
58	closet	FGC	face of controls	MECH	mechanical	RID	metal	WOD	worst grade
59	counter	FPF	face of finish	MECH	mechanical	RIVL	rein water leader	WSP	worst place
60	slair drain out	FSB	face of studs	MET	metal	SA	self-etching	WVN	widow
61	column	FP	finish	MFR	manufacturer	SAW	self-etched sheet waterproofing	WOWT	widow treatment
62	column	FRWG	framing	MGO	magnesium oxide	SB	shear bench	WH	wall hung
63	concrete	RFP	reinforced panels	MH	manhole	SCHED	schedule	WOC	walkoff carpet
64	concrete	RST	reinforced steel	ML	millimeter	SCO	solid core	WOM	worst part
65	concrete	FT	full size	MS	millium	SO	most	WSP	worst place
66	concrete	FSS	finishing shower seat	NBR	neoprene	SOT	static dissipative tile	WR	water resistant/chemical resistant
67	concrete	FT	face, feet	NP	Nipster Plaster's Institute	SED	sealer	WE	widow shade
68	cover	FTG	footing	NR	moisture resistant	SH	shelf	WSTC	widow
69	closet out	PURR	turning	NRGB	moisture resistant gypsum board	SHTG	sheathing	WT	widow treatment
70	concrete	RUT	turn	NVS	moisture resistant gypsum board	BHV	sheet vinyl	WXP	worst with lines
71	concrete	PWS	withstanding with shoring	NUTS	nuts	TRR	thermal	Z	zirconium
72	concrete	GA	galvanize	NUTS	nuts	TRR	thermal		
73	concrete	GALV	galvanized	NUTS	nuts	TRR	thermal		

1 GRID LINE INDICATION
FACE OF TOP OF
CENTER OF

A ROOM IDENTIFICATION
ROOM NAME
ROOM NUMBER

123 INTERIOR ELEVATION
DASH INDICATES NO
ELEVATION

A&L WALL SECTION
SECTION NUMBER
SECTION SHEET

22 DETAIL
DETAIL NUMBER
DETAIL SHEET

A&L DETAIL
DETAIL NUMBER
DETAIL SHEET

X DOOR NUMBER
REFER TO DOOR
SCHEDULE

01 RELITE
REFER TO RELITE
SCHEDULE

X WINDOW NUMBER
REFER TO WINDOW
SCHEDULE

31 WALL AND PARTITION
REFER TO WALL
LEGEND

F1 FLOOR, CEILING TYPE
REFER TO FLOOR, CEIL
LEGEND

1 SHEET NOTE
REFER TO CONSTRUCT
KEYNOTE LEGEND

1 LEVEL HEIGHT MARKER
FINISH CEILING
HEIGHT REFER



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SHEET TITLE
ABBREVIATIONS
LEGEND

CHECKED	Approved
DRAWN	As-built

SHEET 9 **G0.**

ISSUE DATE 06/05

GENERAL NOTES:

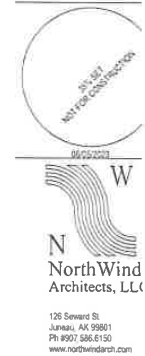
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PARKING NOTES:

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SHEET NOTES:

1.



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE AND ITS EXACTLY, THE DRAWING WILL HAVE BEEN BALANCE REDUCED, AFFECTING ALL LABEL, B/C

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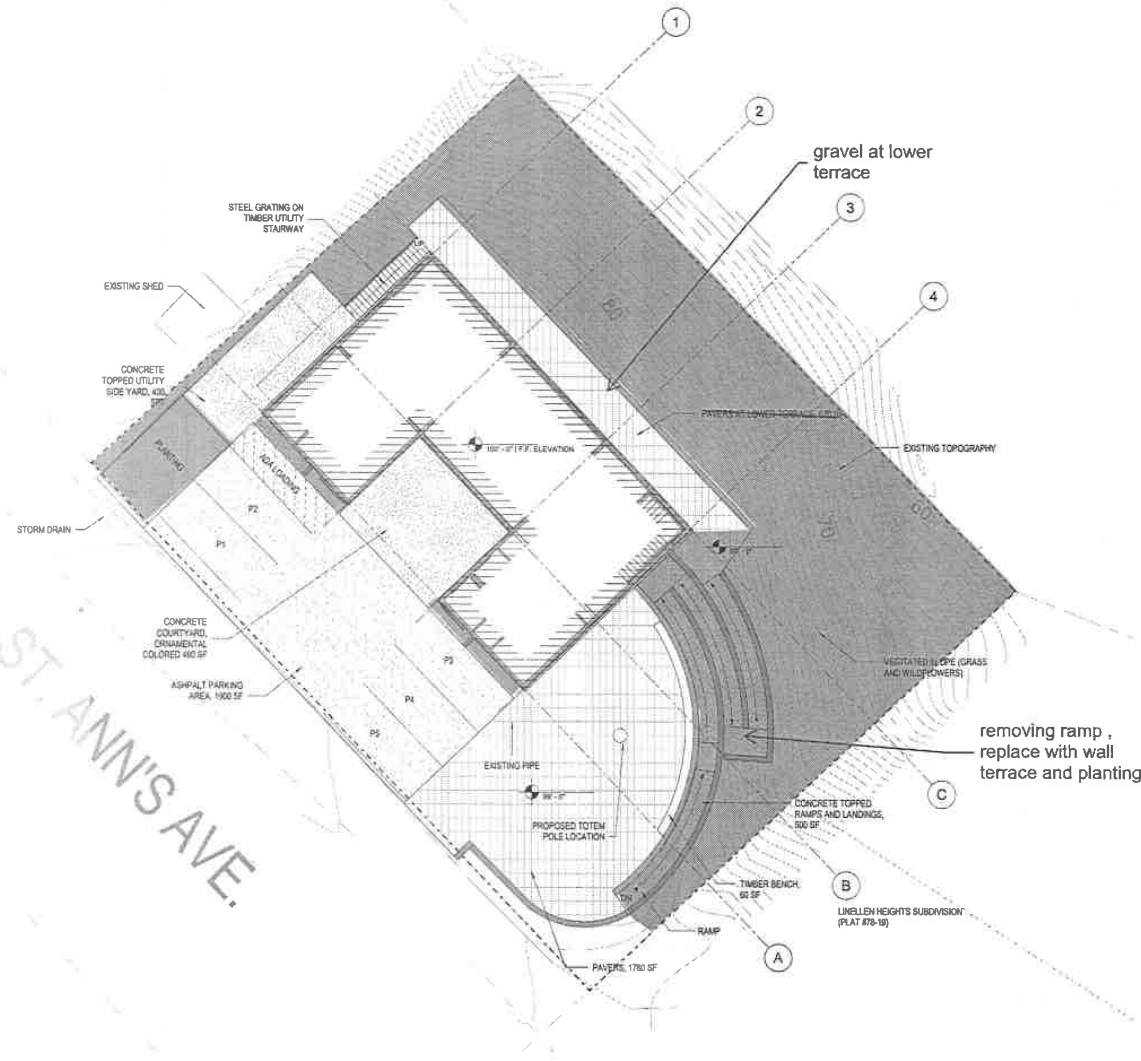
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SHEET TITLE:
SITE PLAN

CHECKED	
DRAWN	N/A
DATE	06/05/2016

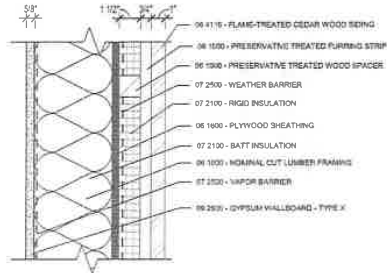
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ISSUE DATE 06/05/2016

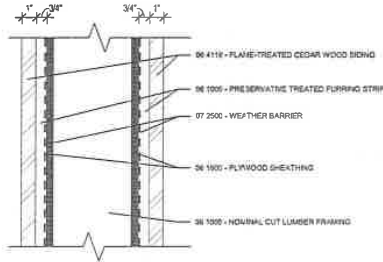


1 SITE PLAN
1" = 10'-0"

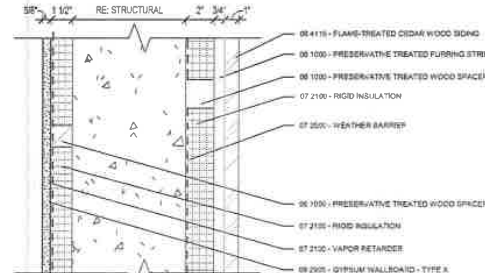




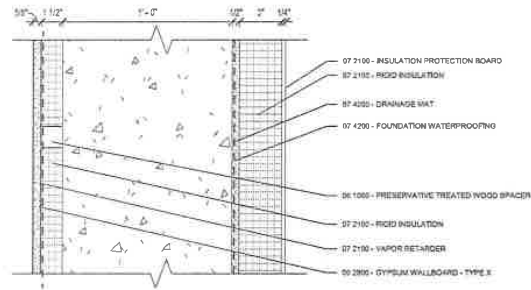
1 WS_WD1 - EXTERIOR WOOD CLAD WALL SYSTEM
3" = 1'-0"



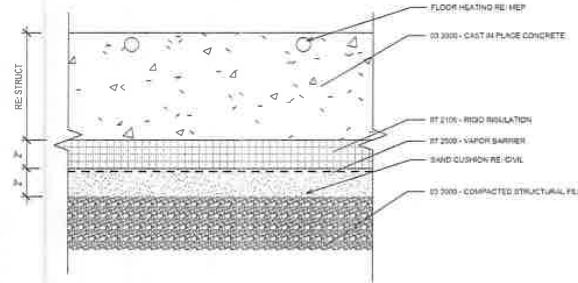
5 WS_WD2 - EXTERIOR WOOD CLAD FIN WALL SYSTEM
3" = 1'-0"



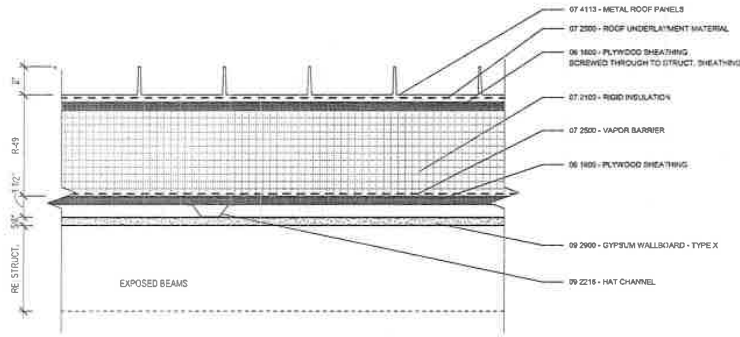
7 WS_CONC1 - CONCRETE FOUNDATION WALL
3" = 1'-0"



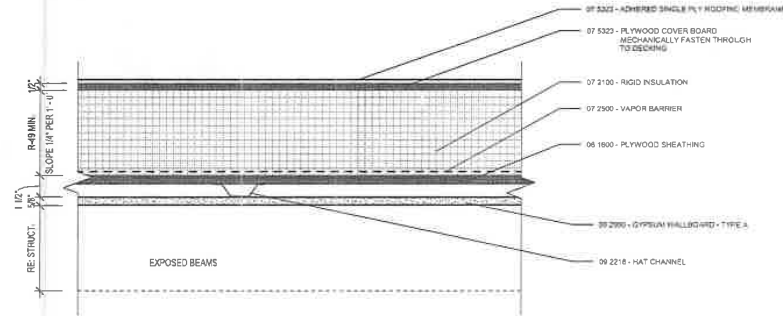
3 FWS_CONC1 - CONCRETE FOUNDATION WALL
3" = 1'-0"



6 FS_CONC2 - SLAB ON GRADE CONCRETE FLOOR SYSTEM
3" = 1'-0"



2 RS_MET1 - METAL PANEL ROOF SYSTEM
3" = 1'-0"



4 RS_EPDM1 - EPDM ROOF SYSTEM
3" = 1'-0"

GENERAL NOTES:

- IT IS THE INTENT OF THESE DOCUMENTS TO DESCRIBE A FULLY AIR/WATER TIGHT ENVELOPE SYSTEM COMPRISED PRIMARILY OF THE 074200 EXTERIOR WALL ASSEMBLY AND 075320 ROOF ASSEMBLY SYSTEMS. THE AIR/WATER TIGHTNESS OF THE SYSTEM SHALL BE FIELD TESTED BY THE CONTRACTOR DURING CONSTRUCTION USING IN-PLACE MOCK-UPS, AND BY THE OWNER AS A PART OF COMMISSIONING. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- IT IS THE INTENT OF THESE DOCUMENTS TO DESCRIBE 1HR AND 2HR RATED ASSEMBLIES DESIGNED TO FULLY PROTECT THE 051200 STRUCTURAL STEEL FRAME AND 053000 STEEL DECK SYSTEMS, AND AT REQUIRED LOCATIONS TO PREVENT THE SPREAD OF FIRE AND SMOKE BETWEEN SPACES. ALL RATED ASSEMBLIES SHALL BE INSPECTED BY THE OWNER'S AGENT PRIOR TO COVER. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL JOINTS AND PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE FIRE STOPPED UTILIZING DELEGATED DESIGN FIRESTOPPING DETAILS IN ACCORDANCE WITH 076443 "PENETRATION AND JOINT FIRESTOPPING".
- ALL WALL ASSEMBLIES IN EXCESS OF 10' IN HEIGHT SHALL BE FIRE BLOCKED.
- SEE PLANS, SECTIONS AND ELEVATIONS FOR FLOOR/CEILING AND WALL TYPE LOCATIONS.
- SEE DETAILS FOR LOCATION-SPECIFIC INFORMATION.

LEGEND:

STRUCTURAL FRAMING -
SEE STRUCT.



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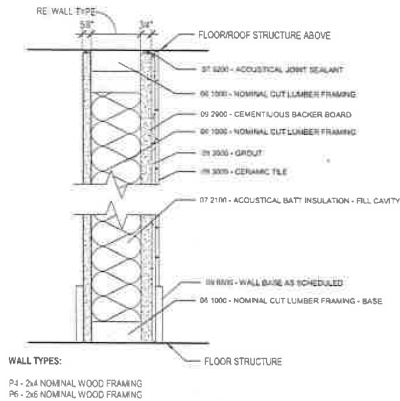
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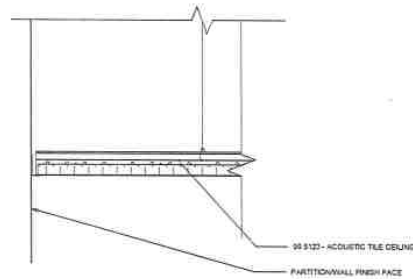
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CHECKED: Approved
DRAWN: Author
issue date revision

SHEET # A0.

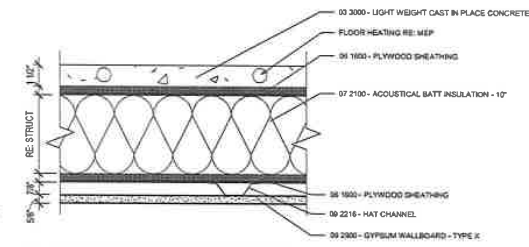
ISSUE DATE 06/05/2020



4 PL-CT - INTERIOR WOOD FRAMED PARTITION WITH CERAMIC TILE
3" = 1'-0"



5 CL-CT1 - ACOUSTIC TILE CEILING
3" = 1'-0"



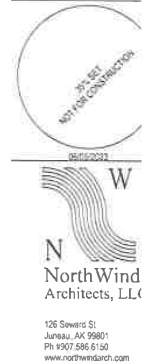
6 FS-CONC1 - CONCRETE FLOOR & CEILING SYSTEM
3" = 1'-0"

GENERAL NOTES:

- IT IS THE INTENT OF THESE DOCUMENTS TO DESCRIBE A FULLY AIR/WATER TIGHT ENVELOPE SYSTEM COMPRISED PRIMARILY OF THE 074200 EXTERIOR WALL ASSEMBLY AND 075200 ROOF ASSEMBLY SYSTEMS. THE AIR/WATER TIGHTNESS OF THE SYSTEM SHALL BE FIELD TESTED BY THE CONTRACTOR DURING CONSTRUCTION USING IN-PLACE MOCK-UPS, AND BY THE OWNER AS A PART OF COMMISSIONING. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
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- ALL JOINTS AND PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE FIRE STOPPED UTILIZING DELEGATED DESIGN FIRE STOPPING DETAILS IN ACCORDANCE WITH 078443 "PENETRATION AND JOINT FIRE STOPPING".
- ALL WALL ASSEMBLIES IN EXCESS OF 10' IN HEIGHT SHALL BE FIRE BLOCKED.
- SEE PLANS, SECTIONS AND ELEVATIONS FOR FLOOR/CEILING AND WALL TYPE LOCATIONS.
- SEE DETAILS FOR LOCATION-SPECIFIC INFORMATION.

LEGEND:

- STRUCTURAL FRAMING - SEE STRUCT



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SHEET TITLE:
INTERIOR BUILDING ASSEMBLIES

CHECKED Approver
DRAWN Author
Issue date description

SHEET # A0.

ISSUE DATE 06/05/2021

ARCHITECTURAL SPECIFICATIONS:

DIVISION 01 - GENERAL REQUIREMENTS

- SUBMITTALS: PROVIDE SUBMITTALS, INCLUDING SHOP DRAWINGS, PRODUCT LITERATURE, COLOR/PATTERN SELECTIONS AND PROPOSED SUBSTITUTION FOR CONSULTANT AND CLIENT REVIEW AND APPROVE PRIOR TO PROCUREMENT. DIGITAL SUBMITTALS FORMATTED TO STREAMLINE REVIEW PREFERRED. ANTICIPATE 10 DAY SUBMITTAL TURNAROUND BY A/E TEAM.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND ASSEMBLY OF ALL COMPONENTS OF THE WORK.

DIVISION 03 - CONCRETE

SEE STRUCTURAL AND CIVIL SPECIFICATION

DIVISION 05 - METALS

SEE ALSO STRUCTURAL SPECIFICATION

- SECTION 05 00 00 - METAL FABRICATIONS
- OPEN FRAMING OF INTERIOR STAIRWAY (PAINTED)
 - GUARDRAIL ASSEMBLIES AT INTERIOR STAIRWAY
 - STAINLESS STEEL PIPE HANDRAILS AT INTERIOR STAIRWAYS
 - HOT DIPPED GALVANIZED GUARDRAIL ASSEMBLY AT LANDSCAPE RAMP
 - HOT DIPPED GALVANIZED GUARDRAIL ASSEMBLY AT LANDSCAPE RAMP AND STAIR
 - GUARNIZED STEEL GRATING STR TRENDS AT LANDSCAPE STAIRWAY
 - 316 ALLOY STAINLESS STEEL CABLE NET INFILL PANELS AT LANDSCAPE RAMP RAILING
 - STEEL PIVOT POSTS FOR WOOD PANELS IN COURTYARD (PAINTED)
 - HOT DIPPED GALVANIZED STEEL TOTEMPOLE BASE ARMATURE IN COURTYARD

DIVISION 06 - WOOD, PLASTICS & COMPOSITES

SECTION 06 10 00 - ROUGH CARPENTRY

SEE ALSO STRUCTURAL SPECIFICATION

- DIMENSION FRAMING LUMBER, WOOD BLOCKING AND NAILERS - FOR MISG FRAMING
- PLYWOOD
- INTERIOR MISCELLANEOUS BACKING USE: LOCATIONS AND THICKNESS PER DRAWINGS, GRADE A/C

SECTION 06 20 00 - INTERIOR FINISH CARPENTRY

- INTERIOR WOOD TRIM
 - INTERIOR TRIM FOR TRANSPARENT FINISH
 - SOLID SAWN WOOD, PREMIUM, HEMLOCK, 3" MINIMUM
 - INTERIOR FRAMES AND JAMBS FOR TRANSPARENT FINISH
 - SOLID SAWN WOOD, PREMIUM, CNG, HEMLOCK, 3" MINIMUM
- EXTERIOR WOOD PANELS
 - 2" THICK CEDAR SLABS GANGED TOGETHER IN TWO 12" X 10" CARVABLE PANELS - 10'S STRAIGHT LUMBER SUPPLIED (HONAH)
 - SOLID 2" CEDAR MILLING FOR VESTIBULE AS CURBED SITE BENCH ALONG RETAINING WALL (SEE SITE PLAN), APPROXIMATE 30 LF X 10" DEEP MOUNTED TO CAST CONCRETE SITE WALL.

SECTION 06 41 14 - PLASTIC LAMINATE FACED ARCHITECTURAL CABINETS

- ARCHITECTURAL CABINETS
 - GRADE: PREMIUM
 - TYPE OF CONSTRUCTION: FRAMELESS
 - DOOR AND DRAWER-FRONT STYLE: 1/2" REVEAL OVERLAY
 - DOOR KNEE SPACE AT VESTIBULE SINK IN TEACHING KITCHEN, AND AT WASH SINK IN STAFF KITCHENETTE
 - LAMINATE CLADDING: HIGH-PRESSURE DECORATIVE LAMINATE: SEMI D3
 - BASIS OF DESIGN: MANUFACTURER: FORMICA
 - COLOR: BLOND CEDAR 8096
 - SOLID SURFACE COUNTERTOPS
 - SSA-1, FORMICA - BIANCO MINERAL 758
 - STAINLESS STEEL COUNTERTOP AT KITCHEN, CUSTOM-FORMED 16GA 16 ALLOY WITH SQUARE EDGE AND WELDED CORNERS
 - ISLAND TOP INTEGRATES STAINLESS STEEL VEGETABLE WASH SINK, FINISHED ON 4 SIDES
 - TOPS FLANKING RANGE FINISHED ON 2 SIDES, WITH INTEGRAL 6" TALL STAINLESS STEEL BACKSPLASH

07 - THERMAL AND MOISTURE PROTECTION

SECTION 07 01 00 - INSULATION

- ACOUSTIC INSULATION
 - PARTITION AND FLOOR ASSEMBLIES: GLASS FIBER BLANKET INSULATION
 - UNFACED: TYPE I ASTM G05, WITH MAXIMUM FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF 25 AND 50, RESPECTIVELY PER ASTM E84, PASSING ASTM E 263 FOR COMBUSTION CHARACTERISTICS, THICKNESS AS INDICATED ON DRAWINGS
 - RIGID INSULATION #1: ROXUL, 1 1/2" MINERAL WOOL BOARD, MEDIUM DENSITY, FOR USE UNDER WOOD SIKING
 - RIGID INSULATION #2: TYPE XX EPS FOR USE IN ROOF ASSEMBLY AND ON WARM SIDE OF CONCRETE STRUCTURE
 - RIGID INSULATION TYPE #3: TYPE XXX XPS FOR SUBGRADE USE, UNDER CONCRETE SLABS AND EXTERIOR SIDE OF FOUNDATION WALLS
 - FIBERGLASS BATT WALL INSULATION
 - MINERAL WOOL BOARD INSULATION
 - ACCESSORY INSULATION FOR MISCELLANEOUS VOIDS: MINERAL FIBER AND SPRAY FOAM INSULATION AS REQUIRED

072500 WEATHER BARRIERS:

- AT EXTERIOR WALLS
 - WRB-1: SELF-ADHERING, VAPOR PERMEABLE, WATER RESISTIVE AIR BARRIER
 - VAPOR-SHIELD - WALL/SHIELD SA (GREEN)
 - FLEXIBLE FLASHING AND PRE-FORMED FLEXIBLE FLASHING INSIDE AND OUTSIDE CORNERS AND 90 DEGREE
 - BUTYL RUBBER FLASHING: COMPOSITE, SELF-ADHESIVE, FLASHING PRODUCT CONSISTING OF A PLIABLE BUTYL RUBBER COMPOUND, BONDED TO A MEMBRANE POLYETHYLENE FILM, ALUMINUM FOIL, OR SPUNBONDED POLYURETHAN
- WEATHER BARRIER TAPE: USE WRB-1 WEATHER BARRIER TAPE AS FLEXIBLE FLASHING FOR ALL INSTANCES WHERE FLEXIBLE FLASHING IS INDICATED TO SEAL WRB-1 AND WRB-2 TO ITSELF OR TO ANY OTHER SUBSTRATE.

072600 VAPOR BARRIERS:

- AT INSIDE FACE OF STUDS, UNDER FLOOR SLAB, OVER GRADE EXISTING CRAWLSPACE
 - 1/8" HIGH DENSITY POLYETHYLENE SHEET VAPOR BARRIER
 - W/ MIN. MINIMUM, CLEAR
 - SEAL ALL LAPS AND PERIMETERS
- AT UNDERSIDE OF ROOF INSULATION, SLOPED AND FLAT ROOFS
 - 1/8" V-BE LAMINATE WOVEN POLYETHYLENE, NONSLIP, UV-PROTECTED BACKING LAYER ON 100% BUTYL RUBBER, SELF-ADHERING BASE LAYER SUITABLE FOR APPLICATION IN FULLY ADHERED ROOFING SYSTEM:
 - 30 MIL MINIMUM, 250 PSI, D5 PERMS

075410 SINGLE-PLY MEMBRANE ROOFING:

- AT ROOF: 90 MILS HEAT WELDED PVC, FULLY ADHERED, LIGHT GREY
 - COVERBOARD PLYWOOD W/ FULL ADHESION TO UPLIFT, DESIGN BY ROOFING MANUFACTURER
 - MECHANICALLY FASTENED POLYSTYRENE INSULATION + TAPERED EPS INSULATION KIT FOR 1" X 1" SLOPE TO DRAIN
 - VAPOR RETARDER: ICE AND WATER-SHEDD APPLIED TO FLAT STRUCTURAL DECK TO SERVE AS TEMPORARY WEATHER PROTECTION PRIOR TO INSTALLATION OF TAPER KIT AND ROOFING ASSEMBLY
 - ROOF DRAINS COMMERCIAL ROOF AND OVERFLOW DRAIN WITH DIBENS SCREENS, SIZE FOR ROOF AREA, INSULATE ALL ROOF DRAIN LINES
 - AT DECK/VALLEY DRAIN: HEAT WELDED PVC TEXTURED TRAFFIC MEMBRANE, FULLY ADHERED; DURADECK ULTRA SURFCEAL GREY, CONTACT: DURADECK NORTHWEST 1-800-442-9215
 - CONVENTIONAL COVERBOARD PLYWOOD W/ FASTENERS TO UPLIFT, DESIGN BY ROOFING MANUFACTURER, TRIM FRAMING TO SLOPE 1/4" AWAY FROM BUILDING TO RAINING.

075500 EXTERIOR WALL AND ROOF ASSEMBLIES:

- WOOD CLADDING AND JOISTS:
 - SOING BOARDS: VERTICALLY ORIENTED FLAME-CHAR TREATED CNG CEDAR
 - ALTERATING 5/4" X 8" AND 5/4" FLUSH T&G
 - PENETRATING SEALER ON ALL FACES AND CUT ENDS
 - NO SPLICING OR SCARPING IN AN INSTALLED COURSE, ALIGN COURSING, INTER OUTSIDE CORNERS
 - FASTENERS: INSTALL VERTICAL PLANK SIDING WITH STAINLESS STEEL 8D RING SHANK NAILS, EVENLY SPACED OVER HORIZONTAL 5/4" X 3-1/2" PRESERVATIVE TREATED OR CEDAR FURNISH STRIPS, SPACES 16" O.C.
- METAL ROOFING:
 - STANDING SEAM, CONCEALED FASTENER 24 GA PVDF COATED METAL ROOF PANELS
 - BASIS OF DESIGN: MBS BATTLEDOLK HS 12" PAN FORMED METAL ROOF, CHARCOAL GREY
 - PROVIDE CLAMP RAILING TYPE SNOW STOPS AT ALL EAVES

075600 SHEET METAL FLASHING, COPING, GUTTERS:

- ACCESSORY SHEET METAL TO MATCH: SLOPED ROOF FASCIA WRAP, ROOFING PERIMETER FLASHINGS, GUTTERS AND DOWNSPOUTS, FLASHINGS AT PENETRATION
- COPINGS AND FLASHINGS: 24GA PVDF COATED STEEL SHEET METAL, COLOR:
 - AT RENOVATE BUILDING THE EAVES AND RAKE WRAPS AND GUTTERS TO BE WHITE, FLASHINGS AT PENETRATIONS TO BE SELECTED BY ARCHITECT.

DIVISION 08 - OPENINGS:

- 082200 FIBERGLASS WINDOWS, DOORS, STOREFRONTS:
- WINDOWS: BASIS OF DESIGN: MANUFACTURER: CASCADA
 - BASIS OF DESIGN PRODUCTS:
 - FIXED AND AWNING WINDOWS: UNIVERSAL SERIES
 - STOREFRONT: UNIVERSAL SERIES STOREFRONT
 - ENTRY/EXIT DOORS, SWINGING AND SLIDING: UNIVERSAL SERIES PATIO DOORS WITH FRAMES INTEGRATED INTO STOREFRONT
 - GLAZING, FINISHES AND HARDWARE
 - GLAZING: LOW-E COATED, INSULATED GLAZING UNITS (DOUBLE GLAZED)
 - FIX A INTERIOR FRAME FINISH CHARCOAL GREY
 - HARDWARE: CORROSION RESISTANT FINISH ON HINGE COMPONENTS AND STAINLESS STEEL MULTI-POINT LOCK BACK, STAINLESS STEEL LOCKING KEYPERS, AND STAINLESS STEEL ROTARY CRANK OPERATOR WITH FOLDING HANDLE

082400 INTERIOR DOORS AND FRAMES:

- DOORS: FACTORY CLEAR FINISHED FIVE OR SEVEN PLY LUMBER CORE WOOD DOORS:
 - THICKNESS: 1-3/4"
 - FACING SELECTION: PLAIN SUCED, BOOK MATCH
 - FACE SPECIES: TBD BY ARCHITECT
 - STYLE AND NAILS ARE BONDED TO CORE, THEN ENTIRE UNIT IS ABRASIVE PLANED BEFORE VENEERING.
- FRAMES AND TRIM
 - SOLID SAWN LUMBER, CLEAR FINISH TO MATCH DOOR FACES
 - LITE OPENINGS
 - FRAME: SOLID SAWN LUMBER
 - GLAZING: FACTORY INSTALLED GLAZING IN DOORS INDICATED TO BE FACTORY FINISHED, COMPLY WITH REQUIREMENTS IN SECTION 080000 "GLAZING"
- SPECIAL DOOR - BETWEEN TEACHING KITCHEN AND EDUCATION SPACE, WE WILL HAVE A 12 WIDE X 8 TALL WANA WALL 4 PANELS WITH ONE PANEL CONFIGURED AS A SWING DOOR FOR DAILY USE WHEN THE OTHERS ARE CLOSED. THIS SYSTEM WILL BE COPIED TO THE TEACHING KITCHEN ISLAND COUNTERTOP AND WILL BE WEATHER SEALED TO SEPARATE SOUND AND KITCHEN SMELLS AND SOUNDS FROM THE EDUCATION SPACE. FINISHES TO MATCH OTHER DOOR AND FINISHES IN FACILITY
- DOOR HARDWARE:
 - STANLEY 48ST OR ALISA ALLOY COMMERCIAL HARDWARE
 - SHOCKLE BALL-BEARING HINGES, NIO LESS THAN THREE HINGES, ALL DOORS
 - CYLINDRICAL LOCKSETS WITH ADA COMPLIANT LEVERS, ALL DOORS
 - CALL OR FLOOR STOPS, HOLDERS AT ALL DOORS
 - ADA CLOSERS WITH CONCEALED OVERHEAD STOPS ON EXTERIOR DOORS, PROVIDE PARALLEL ARMS FOR ALL OVERHEAD CLOSERS, UOLN
 - PROTECTION PLATES: ROCKWOOD
 - SIZES: FABRICATE PROTECTION PLATES (ARMOR, ROCK OR MOUNT) NOT MORE THAN 2" LESS THAN DOOR FOR DAILY USE TOP SIDE AND NOT MORE THAN 1" LESS THAN BOTTOM WITH ON PULL SIDE, AT THE HEIGHT INDICATED
 - METAL PLATES: STAINLESS STEEL, 16 GAUGE (0.050) TACK, SATIN FINISH (J532D, 630), BEVELED FOUR EDGES (B4E)
 - GASKETS AND SWEEPS: PEMKO
 - PROVIDE CONTINUOUS WEATHERSTRIPPING AT EACH EDGE OF EVERY EXTERIOR DOOR LEAF
 - SLIDERS AT INTERIOR DOORS: TIMELY
 - BRUSHED CHROME HARDWARE FINISH

SECTION 080000 - GLAZING

- PRODUCTS:
 - EXTERIOR: COORDINATE WITH EXTERIOR FENESTRATION SUPPLIER, TRANSPARENT INSULATING GLASS, TEmPIPED WHERE REQUIRED
 - INTERIOR: TRANSPARENT GLAZING
 - CLEAR SAFETY GLASS
 - OVERALL THICKNESS: 3/8" NOMINAL

DIVISION 08 - FINISHES:

- 082300 GYPSUM BOARDS:
- 5/8" TYPE X, ASTM C1396/C1398M AT WALLS, CEILINGS
 - EXPANSION JOINTS:
 - PROVIDE ALL DRYWALL MUDS AND TAPES, TEXTURES TO MATCH EXISTING, PAINT OUT AS REQUIRED TO BLEND WITH SURROUNDING
 - MOISTURE RATED GYPSUM BOARD ASTM D3272 AT BATHROOM, CEMENT BOARD BEHIND CERAMIC/PORCELAIN TILE

082600 TILE:

- BATHROOM FLOORS: LARGE FORMAT SLIP RESISTANT CERAMIC TILE, THIN SET OVER UNDERLAYMENT
- PROVIDE 1/8" MARBLE THRESHOLDS AT OPENINGS, CENTERED UNDER DOORS
- PROVIDE CERAMIC TILE BASE
 - BASIS OF DESIGN: MSI SURFACES GRAPHITE PORCELAIN TILE, 12X24
- BATHROOM WALLS: WET WALLS: CERAMIC TILE W/ASCOT TO 5" AFF. ALL OTHERS: SCRUBBABLE WALL PAINT

085100 ACOUSTIC CEILING TILE AND GRID:

- ACT 1 - BASIS OF DESIGN: ARMSTRONG ULTIMA 2X2X1 15"16" BEVELED TEGULAR GRID 20"X20"16" REVEAL WHITE
- SPECIAL SUBMITTAL: SEISMIC BRACING BY MANUFACTURER

086000 FLOORING SPECIALTIES - RUBBER BASE, START NOBING AND TRANSITIONS:

- BASIS OF DESIGN: THERMOSET RUBBER BY ROPE OR JOHNSONITE, 4" COVE BASE AND WALKING SURFACE TRANSITIONS COLOR TO BE COORDINATED WITH FLOORING SELECTION. RUBBER BASE INSTALL LOCATIONS AS SCHEDULED

086300 LUXURY VINYL TILE (LVT) FLOORING:

- LVT: UPSTAIRS EDUCATION SPACE, DOWNSTAIR CIRCULATION SPACE, AND UPSTAIRS LOBBY
 - GLUE-DOWN TYPE, 30-ARY BY ARMSTRONG

086510 - RESILIENT SHEET FLOORING

- RESILIENT FLOORING, KITCHEN AND UTILITY SPACES
 - MANUFACTURER: TARKETT
 - STYLE: OPTIMA
 - COLOR: SILVER BELLS 0872

086600 COMMERCIAL CARPET:

- WALK OFF CARPET TILE: 6'X6" IN FRONT OF EACH UPSTAIRS LOBBY AND DOWNSTAIRS LOBBY DOORS
 - BASIS OF DESIGN: STEP IN STYLE II BY MOHAWK GROUP
 - BROADLOOM CARPET IN OFFICES, SMALL MEETING ROOM
 - BASIS OF DESIGN: GOOD WILL - SC528 BY MOHAWK GROUP

089123 INTERIOR PAINTING:

- INTERIOR: DESIGN-BUILD COORDINATION WITH OWNER:
 - AT INTERIOR GYPSUM WALLBOARD SURFACES PREP AND PAINT WITH ONE COAT PA-PRIMER AND COATS REQUIRED TO COVER OF EGGSHELL LATEX PAINT
 - PAINT OR CLEAR FINISH ALL INTERIOR WOOD DOORS, FRAM AND TRIM THAT IS A PART OF THE WORK

SECTION 08 71 13 - ACQUISITIONAL FABRIC WRAPPED PANELS

- PRODUCTS:
 - FRAMED FABRIC WRAPPED PANELS, DOWNSTAIRS HALLWAY, LOUNG AND KITCHEN, UPSTAIRS BETWEEN BEAMS IN CLASSROOM
 - MANUFACTURER: FABRITRACK
 - STYLE: GEX TRAX SYSTEM
 - SYSTEM: TERRACORE POLY
 - THICKNESS: 1"
 - FABRIC: TO BE SELECTED BY ARCHITECT

DIVISION 10 - SPECIALTIES

- SECTION 10 20 00 - TOILET, BATH, AND LAUNDRY ACCESSORIES
- PRODUCTS: BASIS OF DESIGN:
 - GARGENT HOOK (GH): BOBRICK B-882, STAINLESS STEEL SATIN FINISH
 - TOILET PAPER DISPENSER (TPD): BOBRICK B-940, STAINLESS STEEL SATIN FINISH
 - GRAB BAR (GB): BOBRICK B-580E, STAINLESS STEEL SATIN FINISH, DIMENSIONS PER DRAWINGS
 - DIAPER-CHANGING STATION (DCS): BOBRICK KB310-SSRE, STAINLESS STEEL PAPER TOWEL DISPENSER (PTD): OFCI
 - PAPER TOWEL DISPENSER/WASTE RECEPTACLE (PTDR): BOBRICK B-3690, STAINLESS STEEL SATIN FINISH
 - LIQUID-SOAP DISPENSER (SD): OFCI
 - HAND SANITIZER DISPENSER (HSD): OFCI
 - MIRROR UNIT (MU): BOBRICK B-165 2430, STAINLESS STEEL SATIN FINISH

SECTION 10 41 23 - ROOM - IDENTIFICATION PANEL SIGNAGE

- SECTION 10 40 00 - FIRE PROTECTION SPECIALTIES
 - FIRE PROTECTION EXTINGUISHERS & CABINETS
 - BASIS OF DESIGN: AL INDUSTRIES 2033F100
 - SURFACE MOUNTED
 - UP TO 20 LB FIRE EXTINGUISHERS
 - M STAINLESS STEEL
 - FULL GLASS DOOR - CLEAR ACRYLIC GLAZING W/ FIRE EXTINGUISHER DECAL
 - DIE CAST "FIRE" HANDLE

DIVISION 11 - EQUIPMENT

SECTION 112000 - RESIDENTIAL APPLIANCES

- DISHWASHER
 - BASIS OF DESIGN:
 - ADA COMPLAINT
 - FINGERPRINT - RESISTANT STAINLESS STEEL
 - 35 3/4" X 19 3/4" X 25 3/8"
 - MICROWAVE
 - BASIS OF DESIGN:
 - 30 CU FT, 1500W
 - STAINLESS STEEL FACE
 - REFRIGERATOR WITH FREEZER AND ICE MAKER
 - BASIS OF DESIGN: GE CXX0
 - CLEANSTEEL STAINLESS STEEL
 - 33 7/8" X 19 3/4" X 21 1/4"

SECTION 11400 - COMMERCIAL KITCHEN EQUIPMENT AND APPLIANCES

- EQUIPMENT, WILL BE COORDINATED WITH MECHANICAL
 - 48" WIDE SUBURNER COMMERCIAL RANGE WITH INTEGRATED OVEN
 - TYPE 1 RANGE HOOD AND SUPPORTING EQUIPMENT
 - HIGH TEMPERATURE UNDERCOUNTER DISHWASHER
 - UPRIGHT SINK BY SIDE COMMERCIAL REFRIGERATOR AND FREEZER, TOP MOUNTED COMPRESSORS
 - STAINLESS STEEL WORK COUNTER ON STAINLESS STEEL LEGS, UNDERSHLF
 - HANGING PAN RACK OVE WORK COUNTER
 - WELL COMMERCIAL SINK ON STAINLESS STEEL LEGS W/ WASHER HOSE AND DRAINING SIDE APRONS, FLOOR MOUNTED GREASE INTERCEPTOR

DIVISION 12 - FURNISHINGS

SECTION 125413 - ROLLER WINDOW SHADES

- SUBMITTALS: PRODUCT DATA
- PRODUCTS:
 - ROLLER WINDOW SHADE, RS-1:
 - MANUFACTURER: PRIMER
 - STYLE: SHEERWEAVE
 - COLOR: WHITE PLATINUM
 - VALANCE: CLEAR ANODIZED ALUMINUM FASCIA
 - ROLLER WINDOW SHADE, RS-2:
 - MANUFACTURER: MECO SHADE
 - STYLE: CHELSEA BLACKOUT
 - COLOR: TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS
 - VALANCE: CLEAR ANODIZED ALUMINUM FASCIA

DIVISION 21-25 - MECHANICAL/HVAC/PLUMBING

- REFER TO MECHANICAL AND PLUMBING DRAWINGS AND SHEET SPECIFICATIONS

DIVISION 26-28 - ELECTRICAL

- REFER TO ELECTRICAL DRAWINGS AND SHEET SPECIFICATIONS

DIVISION 31 - EARTHWORK

- COORDINATE WITH CIVIL AND LANDSCAPE DRAWINGS, AS REQUIRED TO COMPLETE THE WORK, REPAIR SOILS AND PLANTING IN AREAS OF SITE DISTURBANCE, ALL FINISH GRADE SURFACES TO DRAIN AWAY FROM BUILDING
- COORDINATE WITH ARCHITECTURAL SITE PLANS AND LANDSCAPE DRAWINGS AND SPECIFICATIONS

DIVISION 32 - HARDSCAPE - COORDINATE WITH CIVIL DRAWINGS

SECTION 321210 ASPHALT PAVING

- ASPHALT PAVING OVER COMPACTED D1 BASE AND COMPACTED NSF SUB-BASE, PROVIDE PAINTED PARKING AND ACCESSIBILITY STRIPING

SECTION 321313 CONCRETE PAVING

- REINFORCED CONCRETE SIDEWALKS OVER COMPACTED D1 BASE, PROVIDE CONTROL JOINTS AT NO MORE THAN 6' CENTERS, WASHED AGGREGATE SURFACE FINISH

SECTION 321410 UNIT PAVERS

- LINEAR PRECAST CONCRETE UNIT PAVERS, 4"X4"X 24" TYP, BASKET WEAVE PATTERN OVER COMPACTED D1 BASE, 8000 PSI MINIMUM CONCRETE, SAND/BLASTED FINISH - WWW.MODERNPAVERS.NET

PROVIDE METAL POST MOUNTED ACCESSIBLE VARY PARKING SIGNAGE PER LOCAL REQUIREMENTS.

PROVIDE BUILDING ADDRESS NUMBERS 6" TALL CAST ALUMINUM "1021"

PROVIDE OWNER ORGANIZATION SIGNAGE PRINTED ON 2" TALL X 5" WIDE 16" THICK ALUMINUM SHEET ON TWO 2"X2" ALUMINUM TUBES SET INTO LANDSCAPE WHERE INDICATED, COORDINATE SIGNAGE LED SITE LIGHTING AS NOTED ON ELECTRICAL DRAWINGS, BACK OF SIGN AND SUPPORT TUBES TO BE PAINTED DARK BROWN, COORDINATE SIGNAGE DESIGN WITH ARCHITECT AND OWNER.



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IF THE ABOVE INFORMATION IS NOT
MEASURING THE PROJECT, THE
GENERAL CONTRACTOR SHALL
REDUCE THE PROJECT TO ALL LEVELS

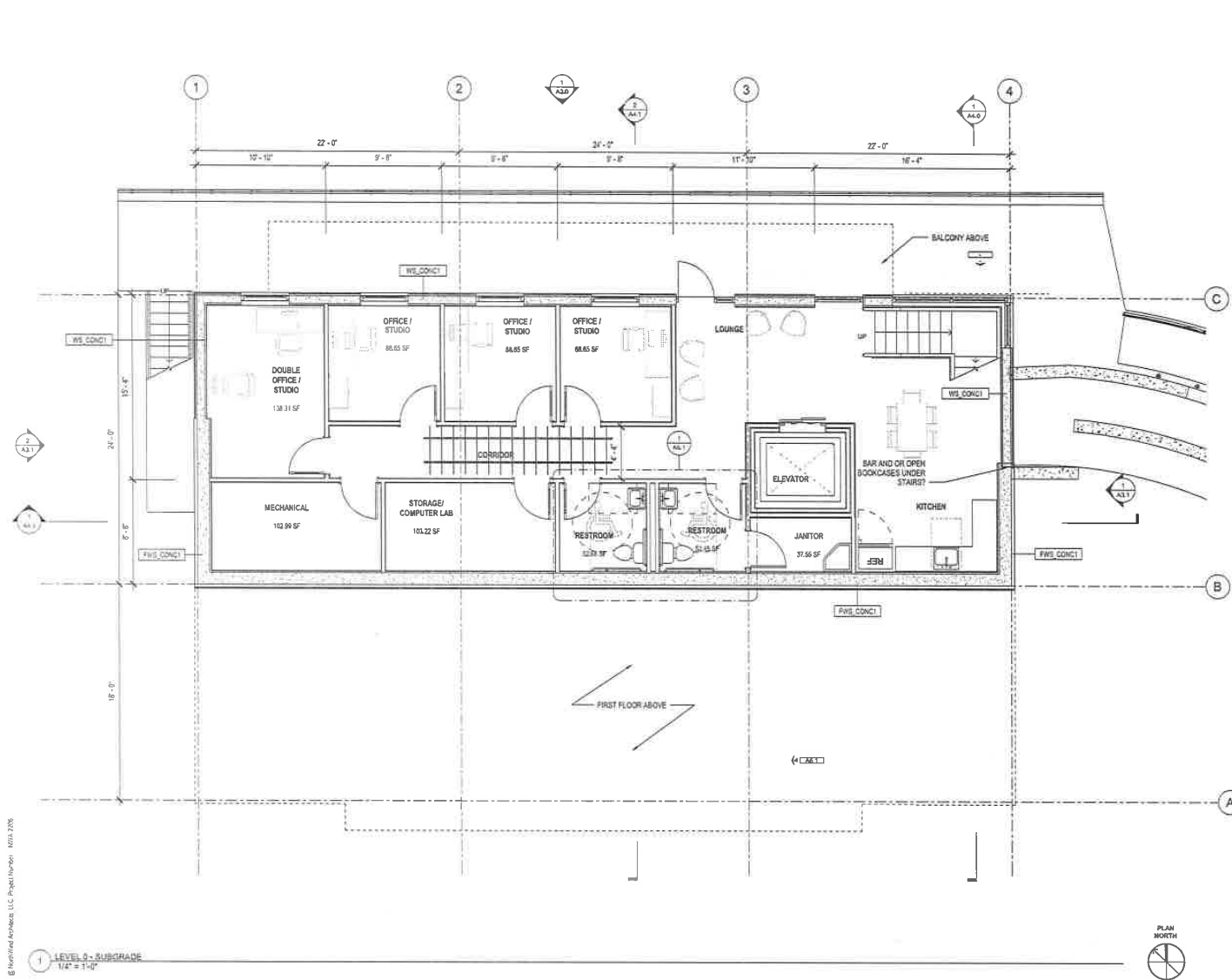
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ST. JAMES AVENUE

SHEET TITLE
SPECIFICATIONS

CHECKED
DRAWN
DATE
PROJECT

SHEET #
A0.

ISSUE DATE
06/05



- GENERAL NOTES:**
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 - DO NOT SCALE OFF OF DRAWINGS.
 - DIMENSIONS ARE TO GRIDLINE, FACE OR CENTER OF FRAMING UNO.
 - STRUCTURAL ELEMENTS SHOWN IN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.
 - ALL PARTITIONS ARE TYPE P-4, UNO.
 - WHERE DOOR OPENINGS ARE NOT DIMENSIONED, LOCATE DOOR OPENINGS TO ENSURE 3" MIN JAMB FRAMING.
 - DIMENSIONS LOCATING OPENINGS ARE TO CENTERLINE OF OPENING, UNO.
 - SEE ENLARGED PLANS FOR INFORMATION NOT SHOWN HERE.
 - THE MAJORITY OF ALL FFE ITEMS ARE OTOI AND ARE NOT IN CONTRACT. HOWEVER LIMITED ITEMS ARE SHOWN IN DRAWINGS FOR COORDINATION PURPOSES. SEE FFE SHEETS FOR GENERAL FFE INFORMATION AND FFE SHEETS AND PROJECT MANUAL FOR CFCI FFE INFORMATION.

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IF THE ABOVE DIMENSION DOES NOT MEASURE CORRECTLY, IT IS EXACTLY THE DRAWING WILL HAVE BEEN ENLARGED, REDUCED, OR RECTIFIED ALL LABEL, SO

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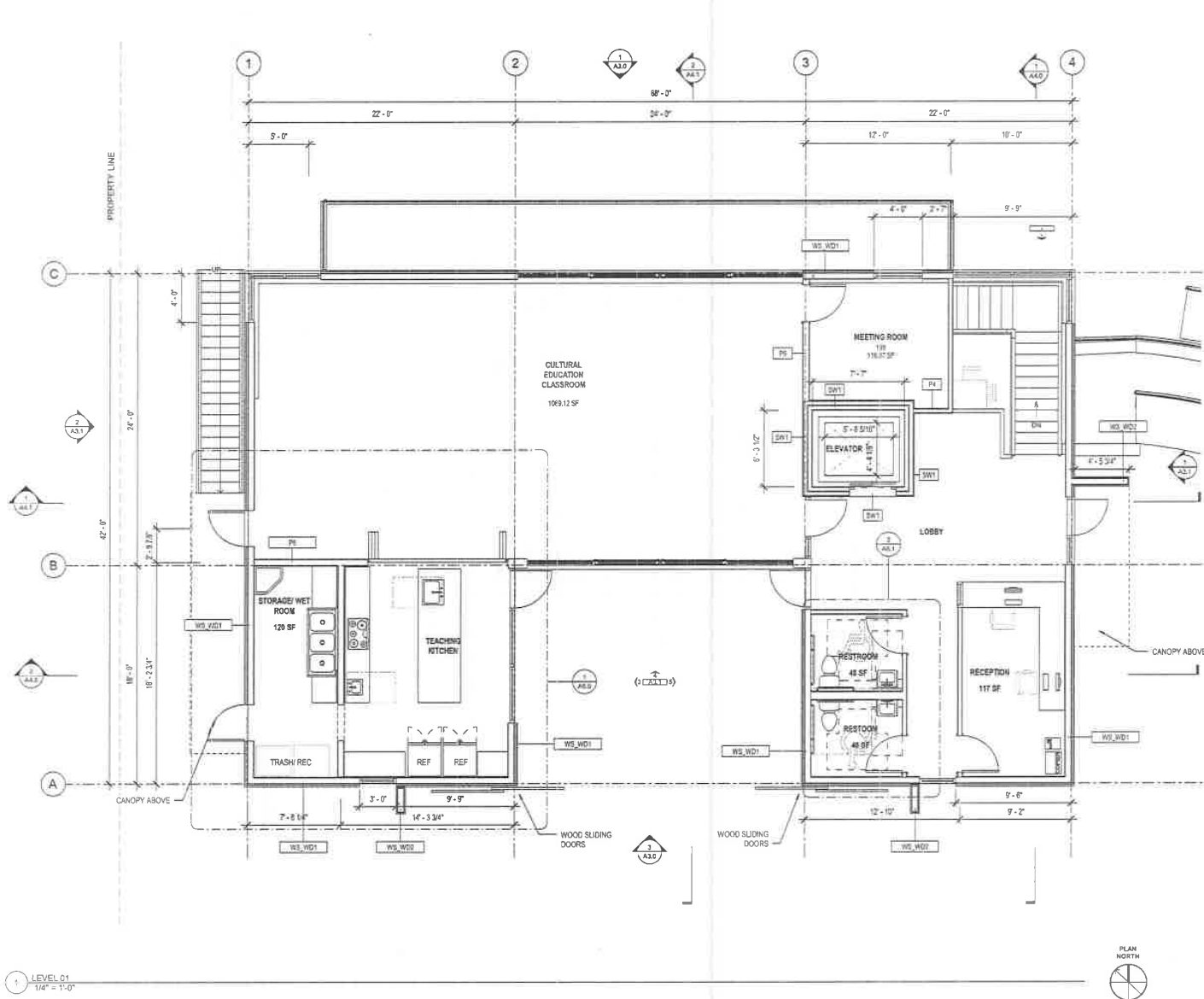
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SHEET TITLE:
FLOOR PLAN - LEVEL 0

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DRAWN	AUTHOR
DATE	DATE

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A2.

ISSUE DATE
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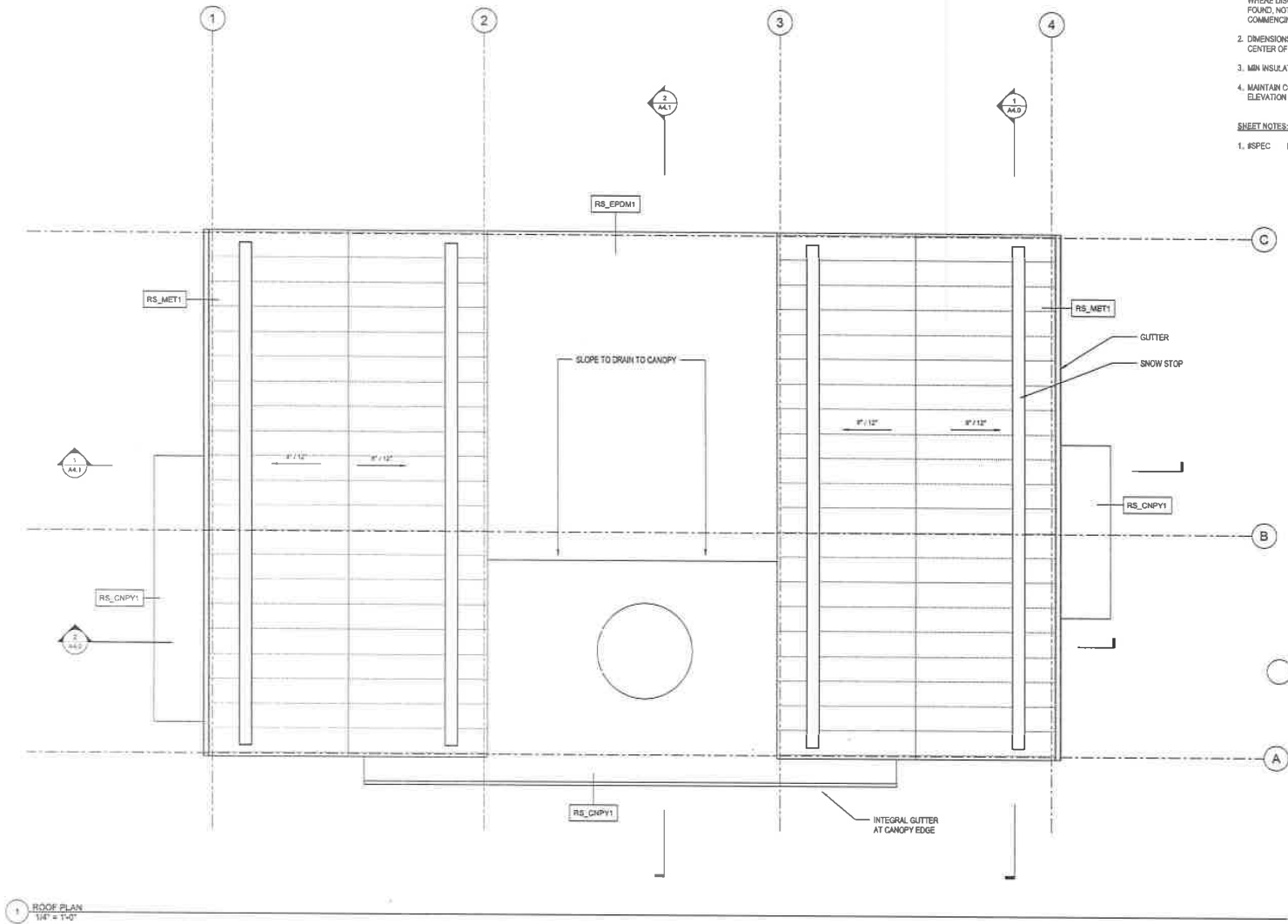
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FLOOR PLAN - LEVEL 1

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SHEET # **A2.**

ISSUE DATE: 09/05/2016

NorthWind Architects, LLC Project Number: 12259-2206



- GENERAL NOTES:**
1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS. WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
 2. DIMENSIONS ARE TO GRIDLINE, FACE OR CENTER OF FRAMING UNO.
 3. MIN INSULATION THICKNESS AT ROOF DRAINS 8"
 4. MAINTAIN CONSTANT TOP OF INSULATION ELEVATION AT ROOF PERIMETER

- SHEET NOTES:**
- | 1. #SPEC | DESCRIPTION |
|----------|-------------|
|----------|-------------|

30% SEE NOT FOR CONSTRUCTION

09/12/2023

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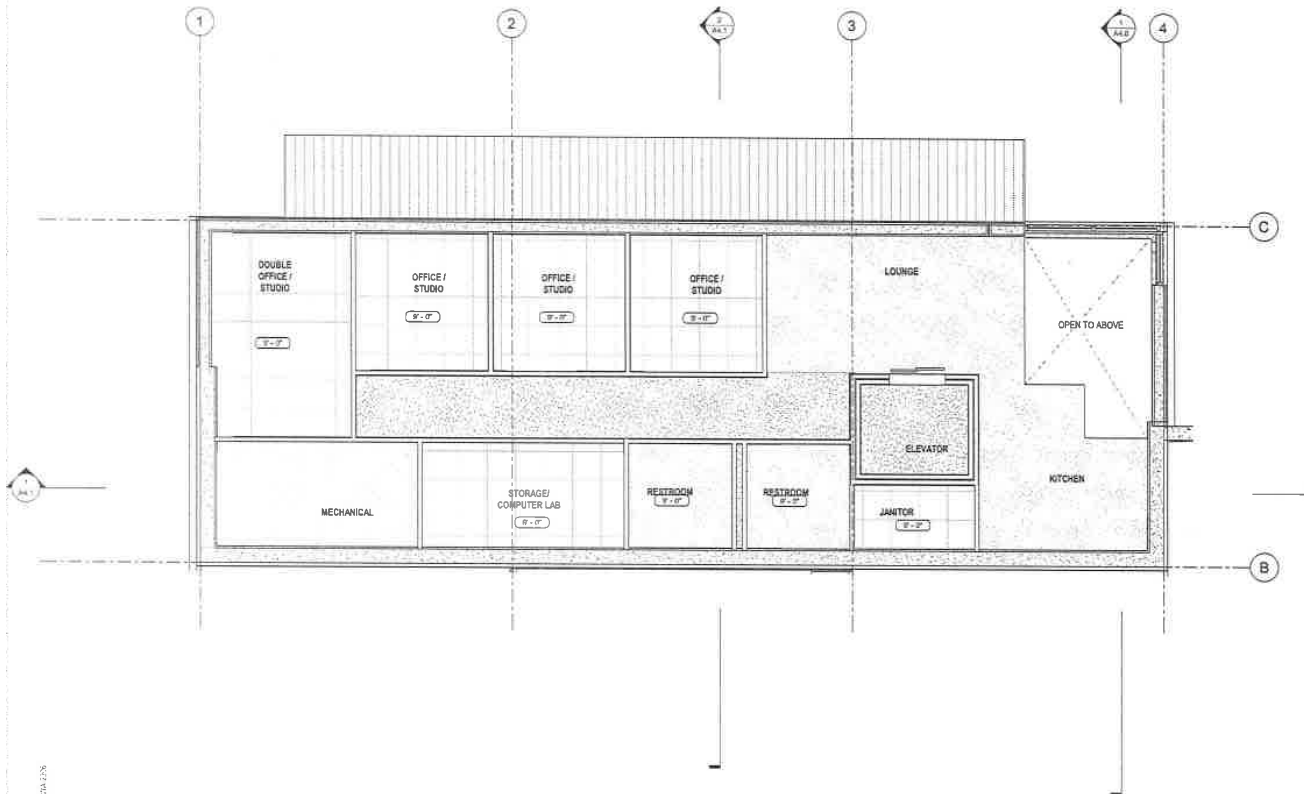
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SHEET TITLE:
ROOF PLAN

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DRAWN	Author	
Issue	Date	Description

SHEET # **A2.**

ISSUE DATE 06/05/23



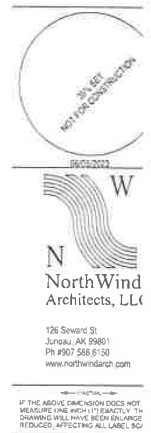
GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS, WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
2. DO NOT SCALE OFF OF DRAWINGS
3. ALL CEILING HEIGHTS ARE 9' - 0" AFF. UNO.
4. COORDINATE LOCATION OF ALL MEP ITEMS WITH MEP.
5. CENTER MEP ITEMS INCLUDING SPRINKLER HEADS IN CEILING TILES
6. LINEWORK DEPICTING CEILING TILES IS TO SHOW EXTENT ONLY. POSITION GRID SUCH THAT NO EDGE TILES IS LESS THAN 6" IN WIDTH. CENTER GRID IN SPACES WHEREVER POSSIBLE.
7. LINEWORK DEPICTING CEILING PENETRATIONS ARE SHOWN FOR REFERENCE ONLY. SEE MEP.

SHEET NOTES:

- | 1. #SPEC | DESCRIPTION |
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LEGEND:



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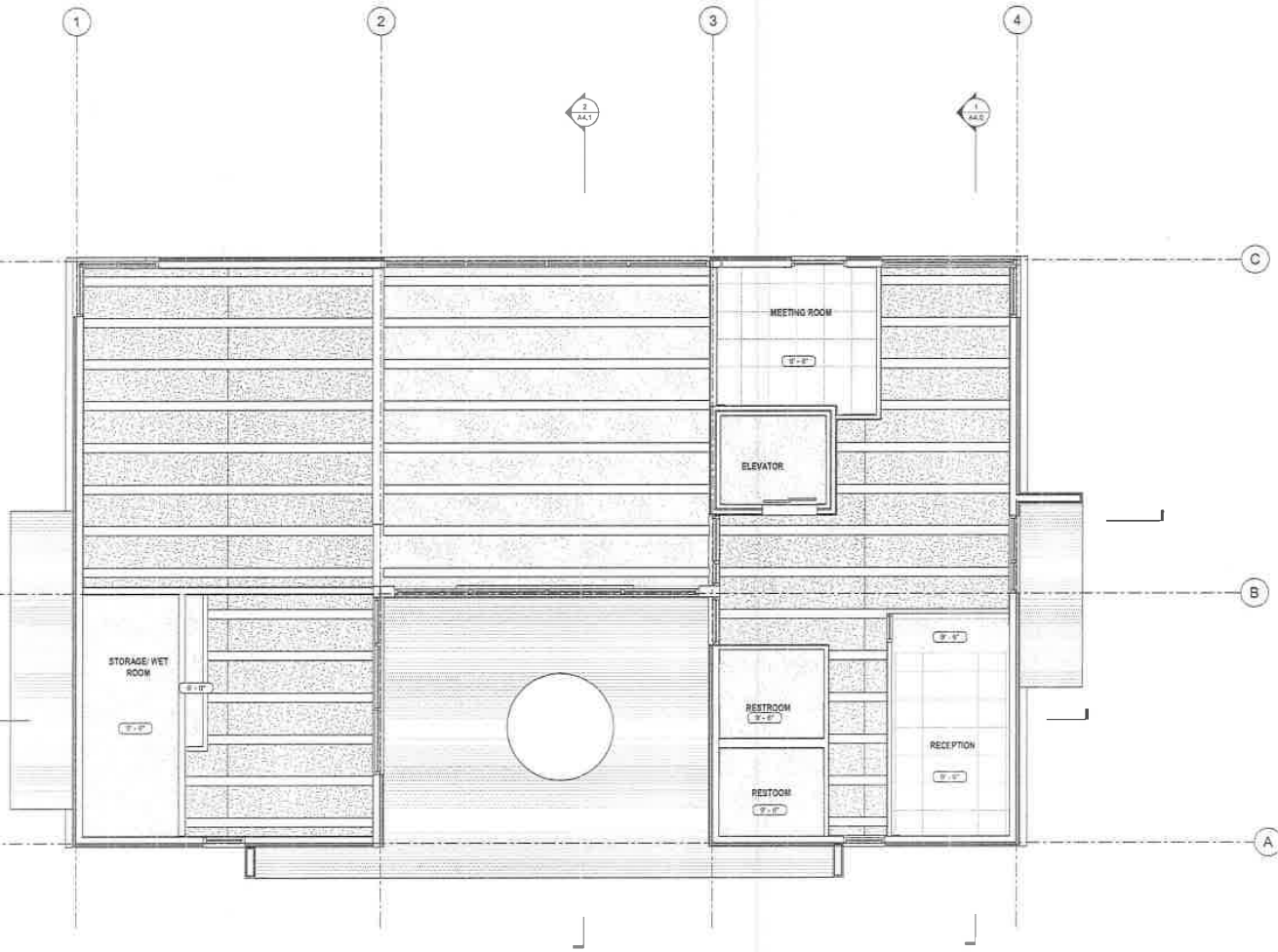
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SHEET TITLE	
REFLECTED CEILING PLAN - LEVEL 0	
CHECKED	Approver
DRAWN	Author
DATE	DATE

SHEET # **A2.**

ISSUE DATE

NorthWind Architects, LLC Project Number: 1441-076



1 REFLECTED CEILING PLAN - LEVEL 01
1/4" = 1'-0"

GENERAL NOTES:

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7. LINEWORK DEPICTING CEILING PENETRATIONS ARE SHOWN FOR REFERENCE ONLY. SEE MEP

SHEET NOTES:

1. #SPEC DESCRIPTION

LEGEND:

20-01-01
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06/26/2023

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Attachment A- Application Packet

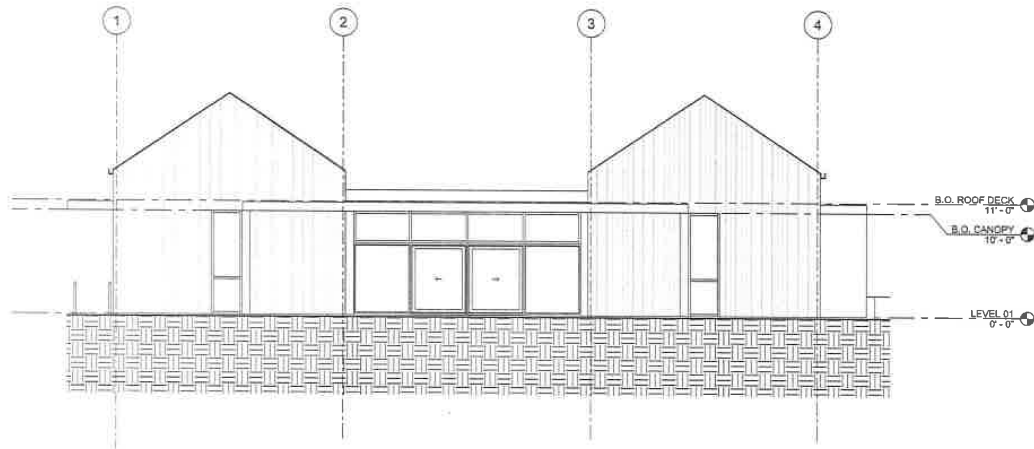
SHEET TITLE	
REFLECTED CEILING PLAN - LEVEL 1	
CHECKED	Approver
DRAWN	Author
13/06	06/06 05/07/2023

SHEET # **A2.**

ISSUE DATE 06/06



1 ELEVATION NORTH
3'10" x 1'-0"



3 ELEVATION SOUTH
3'10" x 1'-0"

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GENERAL NOTES:

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5. SECTION DRAWINGS FOR REFERENCE ONLY. IDENTIFY DATUM AND DETAILS. NOT FOR CONSTRUCTION.
6. TAPERED INSULATION SLOPES NOT SHOWN FOR CLARITY.

SHEET NOTES:

1. #SPEC DESCRIPTION



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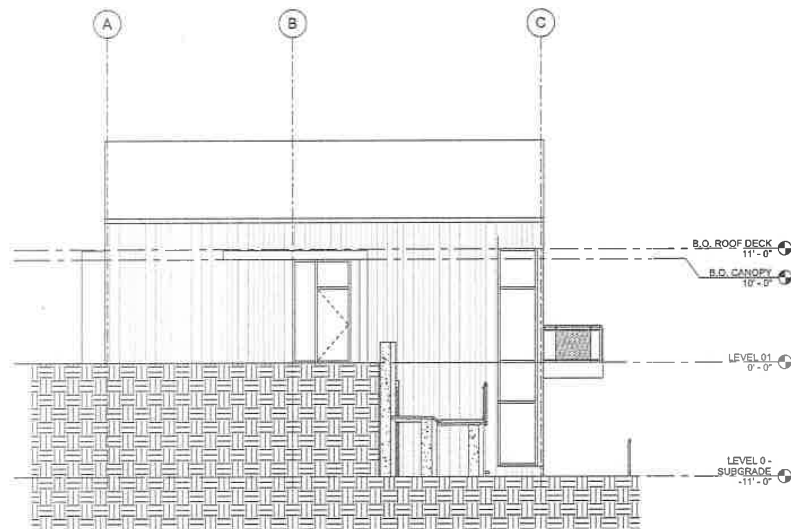
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SHEET TITLE
EXTERIOR ELEVATIONS

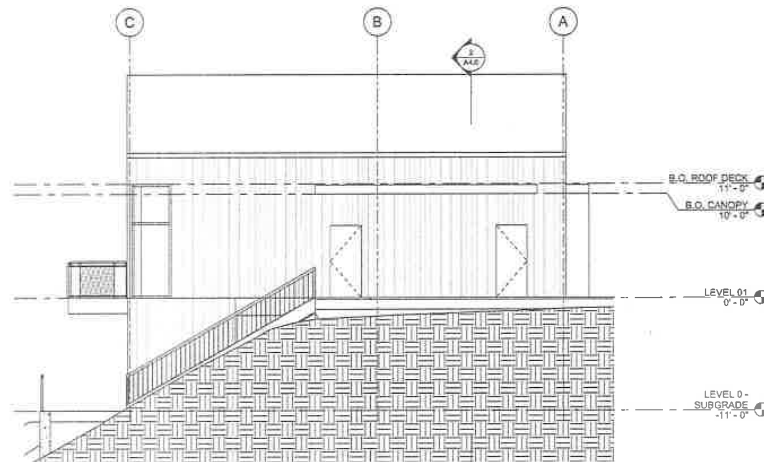
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DATE	DATE

SHEET # **A3.**

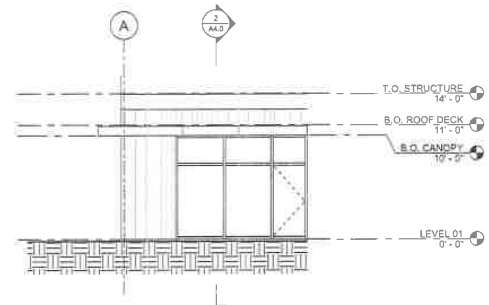
ISSUE DATE 06/05/



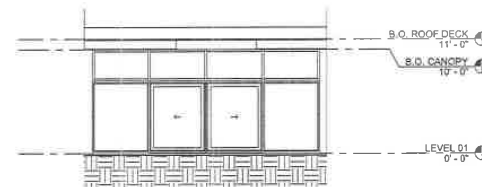
1 ELEVATION EAST
3/16" = 1'-0"



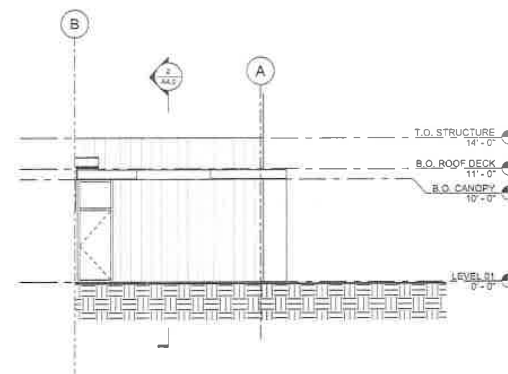
2 ELEVATION WEST
3/16" = 1'-0"



3 ELEVATION - EAST COURTYARD
3/16" = 1'-0"



4 ELEVATION - SOUTH COURTYARD
3/16" = 1'-0"



5 ELEVATION - WEST COURTYARD
3/16" = 1'-0"

GENERAL NOTES:

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SHEET NOTES:

1. #SPEC DESCRIPTION



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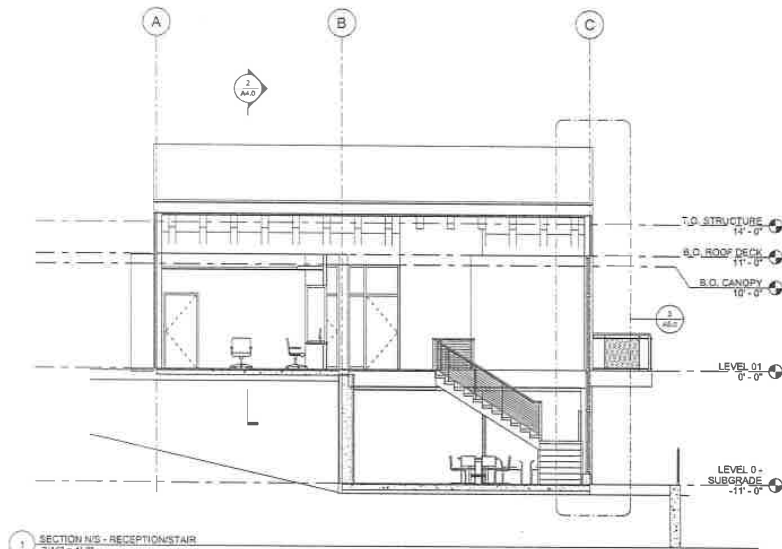
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SHEET TITLE
**EXTERIOR
ELEVATIONS**

CHECKED: _____ Approved: _____
DRAWN: _____ Author: _____
Issue: _____ Date: 02/25/2020

SHEET # **A3.**

ISSUE DATE: _____ On/BS: _____

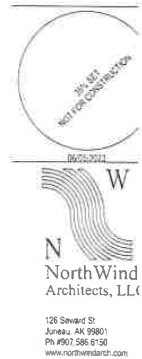


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6. TAPERED INSULATION SLOPES NOT SHOWN FOR CLARITY.

SHEET NOTES:

1. #SPEC DESCRIPTION



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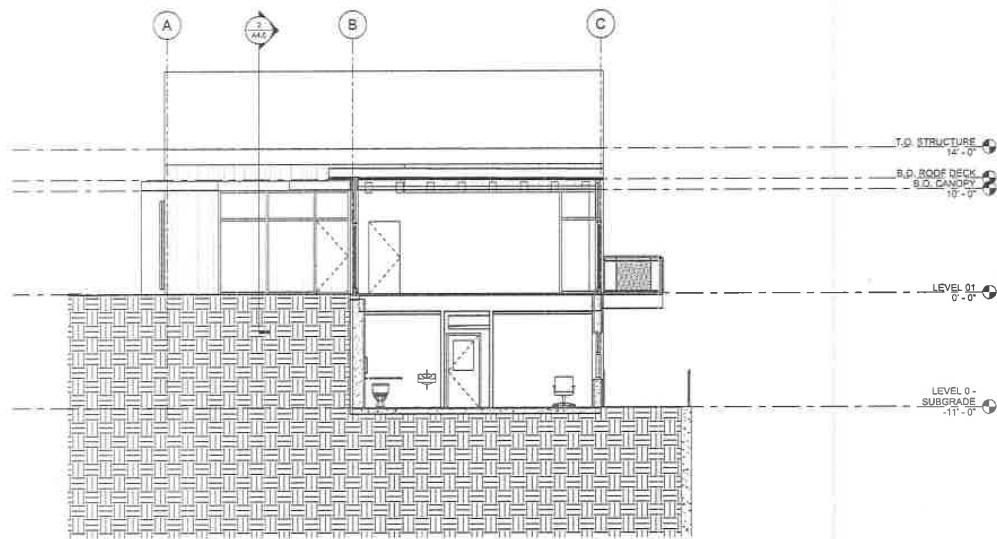
ST. ANNE AVENUE

SHEET TITLE: BUILDING SECTIONS

CHECKED: Approver
DRAWN: Author
DATE: 06/05/2017

SHEET # **A4.**

ISSUE DATE 06/05/2017



2 SECTION N/S - COURTYARD
3/16" = 1'-0"



1 SECTION E/W - CLASSROOM LOWER LEVEL
3/16" = 1'-0"

GENERAL NOTES:

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SHEET NOTES:

1. #SPEC DESCRIPTION



06/02/2023



128 Seward St.
Juneau, AK 99801
PH 907.586.6150
www.northwindarch.com

IF THE ARCHITECT/ENGINEER DOES NOT MEASURE THE DRAWING, THE ARCHITECT/ENGINEER WILL BE RESPONSIBLE FOR ANY REDUCED AFFECTING ALL LABELS.

AYAYD Learning Center
DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

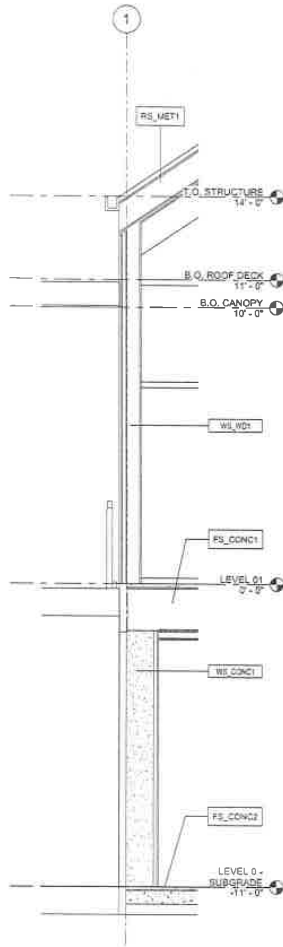
ST. JAMES AVENUE

SHEET TITLE
BUILDING SECTIONS

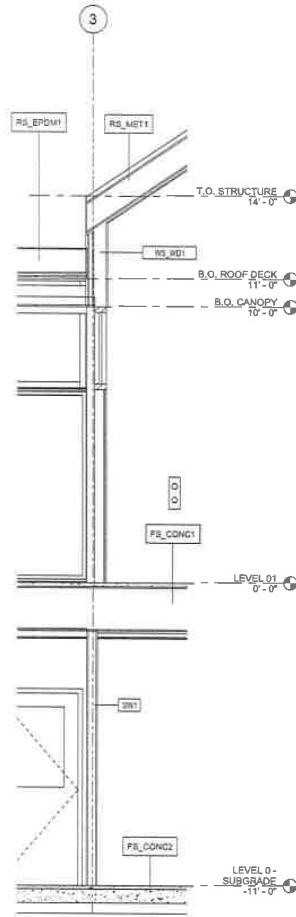
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DRAWN: _____ AUTH: _____
DATE: _____ DATE: _____ DATE: 06/01/2023

SHEET # **A4.**

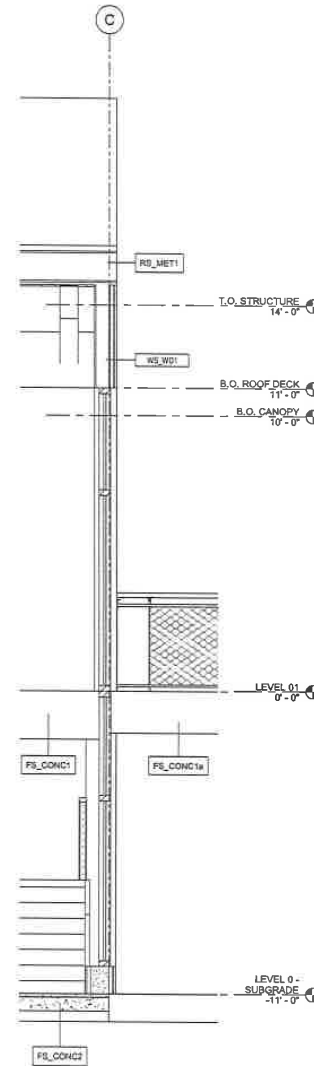
ISSUE DATE: _____ DATE: _____



1 WALL SECTION FOUNDATION WALL TO EXTERIOR WALL SECTION TYP.
1/2" = 1'-0"



2 WALL SECTION INTERIOR WALL AT GABLED ROOF TYP.
1/2" = 1'-0"



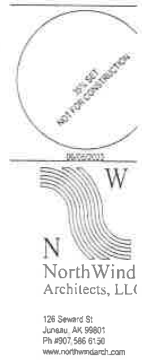
3 WALL SECTION DECK AT DAYLIGHT BASEMENT
1/2" = 1'-0"

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS. WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
2. DO NOT SCALE OFF OF DRAWINGS.
3. DIMENSIONS ARE TO GRIDLINE, FACE OR CENTER OF FRAMING UNLESS NOTED OTHERWISE.
4. STRUCTURAL ELEMENTS SHOWN IN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.
5. SECTION DRAWINGS FOR REFERENCE ONLY. IDENTIFY DATUM AND DETAILS. NOT FOR CONSTRUCTION.
6. TAPERED INSULATION SLOPES NOT SHOWN FOR CLARITY.

SHEET NOTES:

- | 1. #SPEC | DESCRIPTION |
|----------|-------------|
| | |



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THE DRAWING WILL HAVE BEEN ENLARGED REDUCED AFFECTING ALL LABELS.

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DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

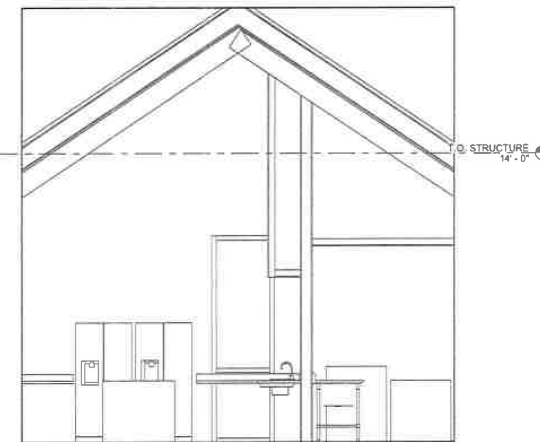
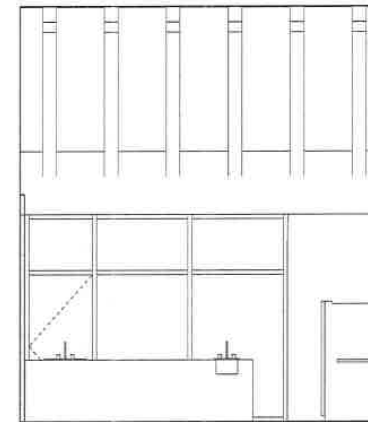
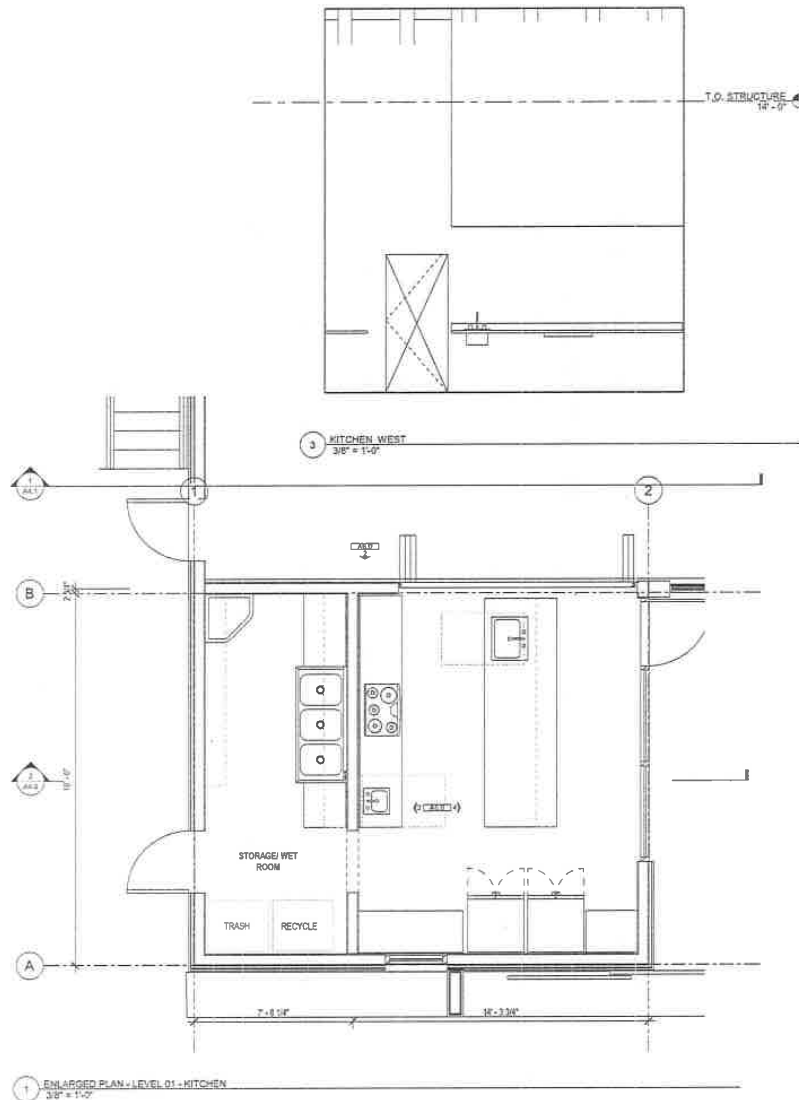
ST. ANNS AVENUE

SHEET TITLE:
ENLARGED SECTIONS

CHECKED	APPROVER
DRAWN	AUTHOR
DATE	DATE

SHEET # **A5.**

ISSUE DATE 06/05/2025



GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS. WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
2. DO NOT SCALE OFF OF DRAWINGS
3. COORDINATE WIRE GROMMET LOCATIONS WITH OWNER IN FIELD.
4. COUNTER BRACKET SPACING NOT TO EXCEED 48" O.C. COORDINATE EXACT LOCATION WITH OWNERS EQUIPMENT, KEYBOARD, TRAYS AND ACCESSORY PLACEMENT. ALL COUNTER BRACKETS TO HAVE CONTINUOUS BACKING
5. CORNER GUARDS AND WALL PROTECTION NOT SHOWN FOR EVERY LOCATION. SEE FINISH PLANS AND ELEVATIONS FOR LOCATIONS.
6. THE MAJORITY OF ALL FFE ITEMS ARE OTO AND ARE NOT IN CONTRACT, HOWEVER LIMITED ITEMS ARE SHOWN IN DRAWINGS FOR COORDINATION PURPOSES. SEE FFE SHEETS FOR GENERAL FFE INFORMATION AND FFE SHEETS AND PROJECT MANUAL FOR CFCI FFE INFORMATION

SHEET NOTES:

- | 1. #SPEC | DESCRIPTION |
|----------|-------------|
| | |



NorthWind Architects, LLC

128 Seward St.
Juneau, AK 99801
Tel: 907.586.6150
www.northwindarch.com

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THE DIMENSIONS WILL HAVE BEEN DRAWN TO REDUCED AFFECTING ALL LABELS.

AYAYD Learning Center
DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

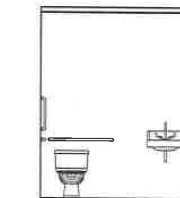
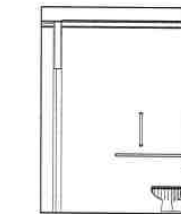
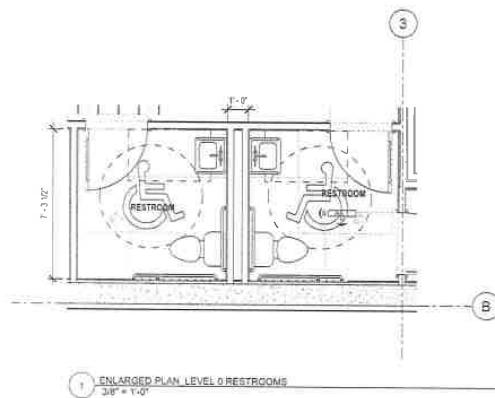
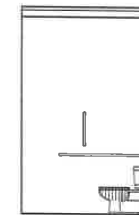
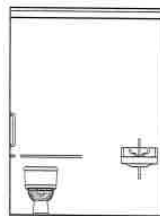
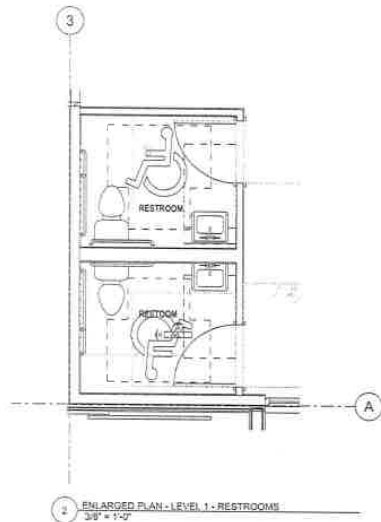
ST. JAMES AVENUE

SHEET TITLE
ENLARGED PLAN & INTERIOR ELEVATIONS

CHECKED	Apprver
DRAWN	Author

SHEET # **A6.**

ISSUE DATE 06/05/2022

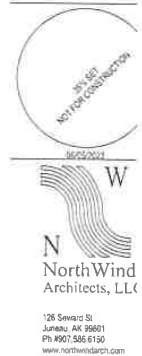


GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ACTUAL BUILDING CONDITIONS AND DIMENSIONS. WHERE DISCREPANCIES OR CONFLICTS ARE FOUND, NOTIFY ARCHITECT PRIOR TO COMMENCING WORK.
2. DO NOT SCALE OFF OF DRAWINGS
3. COORDINATE WIRE GROMMET LOCATIONS WITH OWNER IN FIELD.
4. COUNTER BRACKET SPACING NOT TO EXCEED 4\"/>

SHEET NOTES:

- | 1. NSPEC | DESCRIPTION |
|----------|-------------|
| | |



AYAYD Learning Center
DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

ST. ANNE'S AVENUE

SHEET TITLE:
ENLARGED PLAN & INTERIOR ELEVATIONS

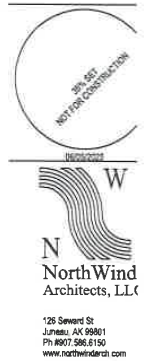
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DRAWN	Author
DATE	DATE

SHEET # **A6.**

ISSUE DATE 06/05/



© NorthWind Architects, LLC Project Number: NW-2008



IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY THE DRAWING WILL HAVE BEEN ENLARGED REDUCED, AFFECTING ALL LABEL, SIZE

AYAYD Learning Center

DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

ST. ANNE'S AVENUE

SHEET TITLE
3D VIEWS

CHECKED	Approver	
DRAWN	Author	
Issue	Date	Description

SHEET # **A10.**

ISSUE DATE 06/05/



Timberline Engineering LLC
Juneau, Alaska
907-635-1433
timberlineengineering@outlook.com

Geotech Memo: DIA Learning Center
0 St. Ann's Ave., Juneau, AK

July 31, 2023

Site Description:

The project site is located just north of the Treadwell Mine on Douglas Island, Alaska, and is on the northeast side of St. Ann's Ave. The site is relatively level near the road grade for a distance of ~60-feet, then slopes down ~40-feet at the northeast property line at an angle of 45°-52°.

Site Investigation:

In February 2023, Glacier State Contractors, Inc. excavated three test holes. A steel pipe was used as a probe in the bottom of one test hole. The pipe was pushed to refusal to determine the depth of bedrock. In early June 2023, Juneau Excavation installed (and removed) five helical piers across the site to further identify the depth and gradient of the bedrock layer.

Based on the results of these investigations, it was determined that the site has been filled in overtime with sand, gravel and organics from local projects. The fill material is uncompacted and poorly-graded, and ranges from 8'-20' in depth. Below the fill layer, the native ground surface slopes at an approximate angle of 3.5:1 and consists of a ~4'-thick layer of moist, marine-deposited glacial silt over the top of hardpan or bedrock.

Recommendations:

It is recommended to remove the fill materials and native silt layer on site to reach a firm and consistent bearing layer on native hardpan or bedrock. Non-woven geotextile fabric should be placed at all edges of excavation. Imported fill should consist of 6"-minus shot rock placed and compacted in 12" vertical lifts. 2"-minus shot rock is recommended within 24" of foundations and base course, grading D-1, is recommended within 6" of foundations. Compactive effort should be that required to prevent settlement. Disturbed soils around the work perimeter should be seeded to prevent erosion. During excavation and fill placement, surface runoff should be directed to the existing drainage channel on the north end of the site.

All work shall be done by qualified individuals in accordance with locally-adopted codes and best management practices. Attached are the test hole logs and location map.

If you have any questions, please do not hesitate to contact me.

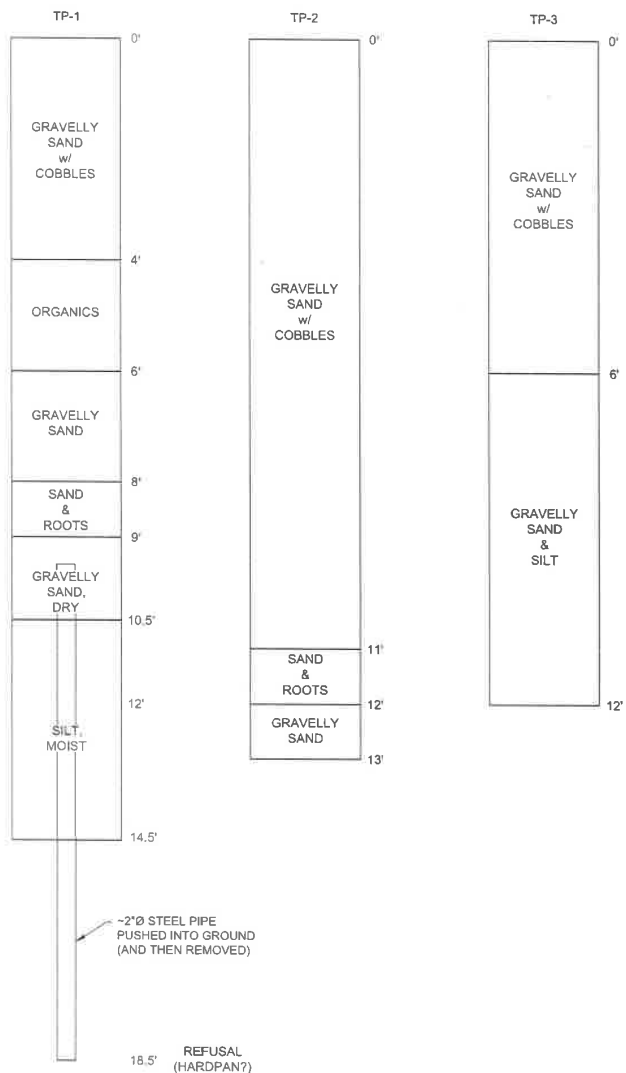
Sincerely,

Jacob Graves, P.E.

Timberline Engineering LLC
Bus. Lic. #2093069
P. Lic. #110473



7-31-2023



1 TEST PIT SECTIONS
1/2" = 1'-0"

TP-A		
DEPTH	TORQUE (FT-LBS)	NOTES
0' - 10'	500	LOOSE SAND & GRAVEL
10' - 17'	700	LOOSE SAND & GRAVEL
17' - 20'	700	SOFT SILT
20' - 23.5'	1800	HARDPAN
23.5'	-	TORQUED OUT IN HARDPAN

TP-B		
DEPTH	TORQUE (FT-LBS)	NOTES
0' - 10'	500	LOOSE SAND & GRAVEL
10' - 14'	1000	SILT w/ COBBLES
14' - 16'	1500	HARDPAN
16'	-	TORQUED OUT IN HARDPAN

TP-C		
DEPTH	TORQUE (FT-LBS)	NOTES
0' - 7'	900	SAND, GRAVEL, ROCKS
7' - 16'	500	LOOSE SAND & GRAVEL
16' - 21'	800	SILT w/ COBBLES
21' - 23'	1800	HARDPAN
23'	-	TORQUED OUT IN HARDPAN

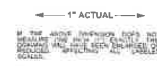
TP-D		
DEPTH	TORQUE (FT-LBS)	NOTES
0' - 17'	500	LOOSE SAND & GRAVEL
17' - 21'	900	SILT w/ COBBLES
21' - 25'	1800	SILT TO HARDPAN
25'	1800	TORQUED OUT IN HARDPAN

TP-E		
DEPTH	TORQUE (FT-LBS)	NOTES
0' - 15'	500	LOOSE SAND & GRAVEL
15'	-	LOCKED UP, BEDROCK

2 TEST PIER LOGS



JUNEAU, ALASKA
907-635-1433
JACRAVES77@GMAIL.COM



DIA LEARNING CENTER

0 ST. ANN'S AVENUE
JUNEAU, AK

SHEET TITLE
TEST PIT SECTIONS
& TEST PIER LOGS

DRAWN BY JC

SHEET #

C1

SCALE AS NOTED
DATE 6/4/2023

FULL SIZE: 11" x 17"



JUNEAU, ALASKA
907-635-1433
JACRAVES77@GMAIL.COM

1" ACTUAL
IF THE ABOVE DIMENSIONS DO NOT
REQUIRE THE USE OF A SCALE, THE
DIMENSIONS SHALL BE MEASURED BY
SUNDS

DIA LEARNING CENTER

0 ST. ANN'S AVENUE
JUNEAU, AK

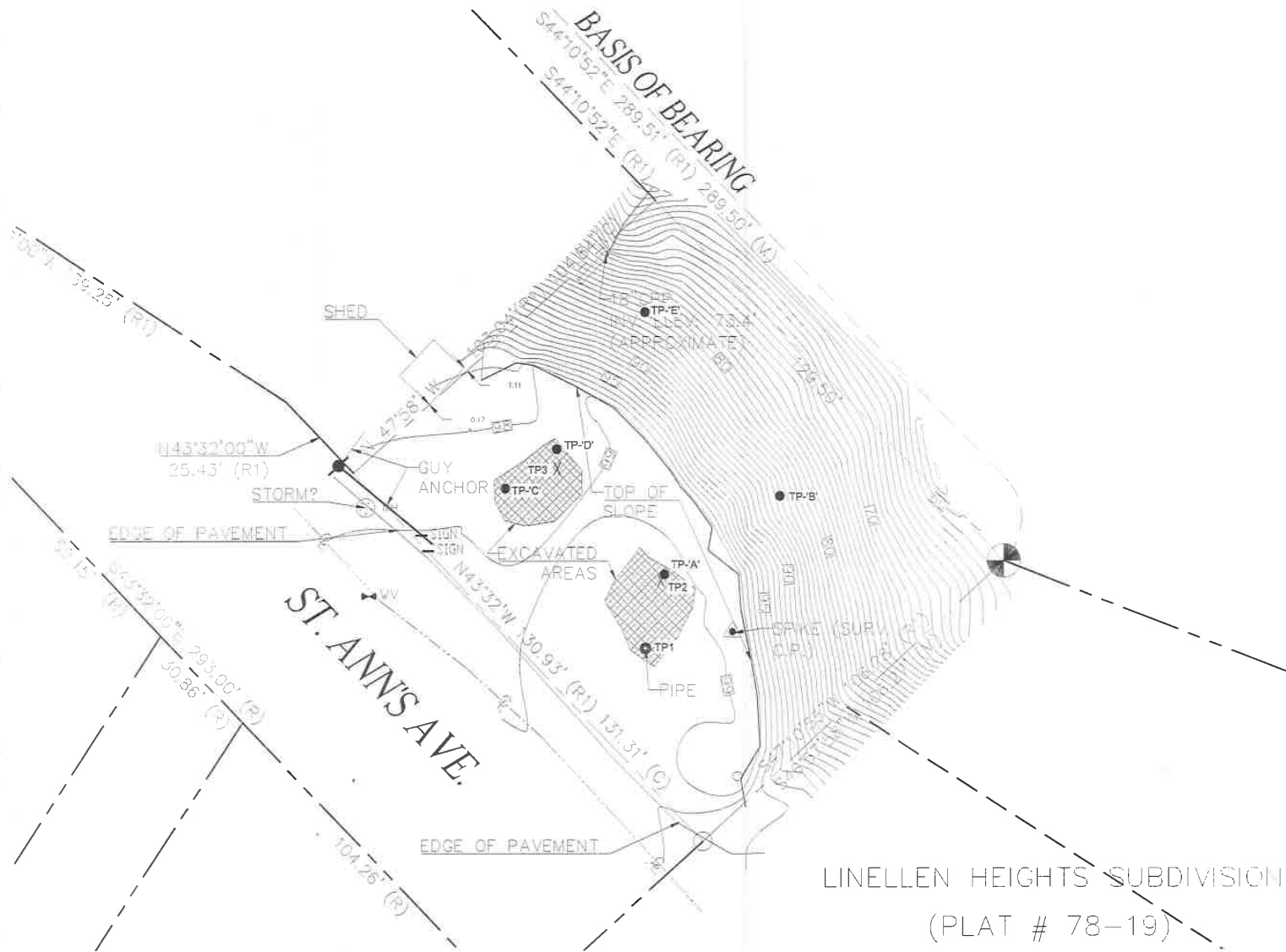
TEST PIT
LOCATIONS

JG

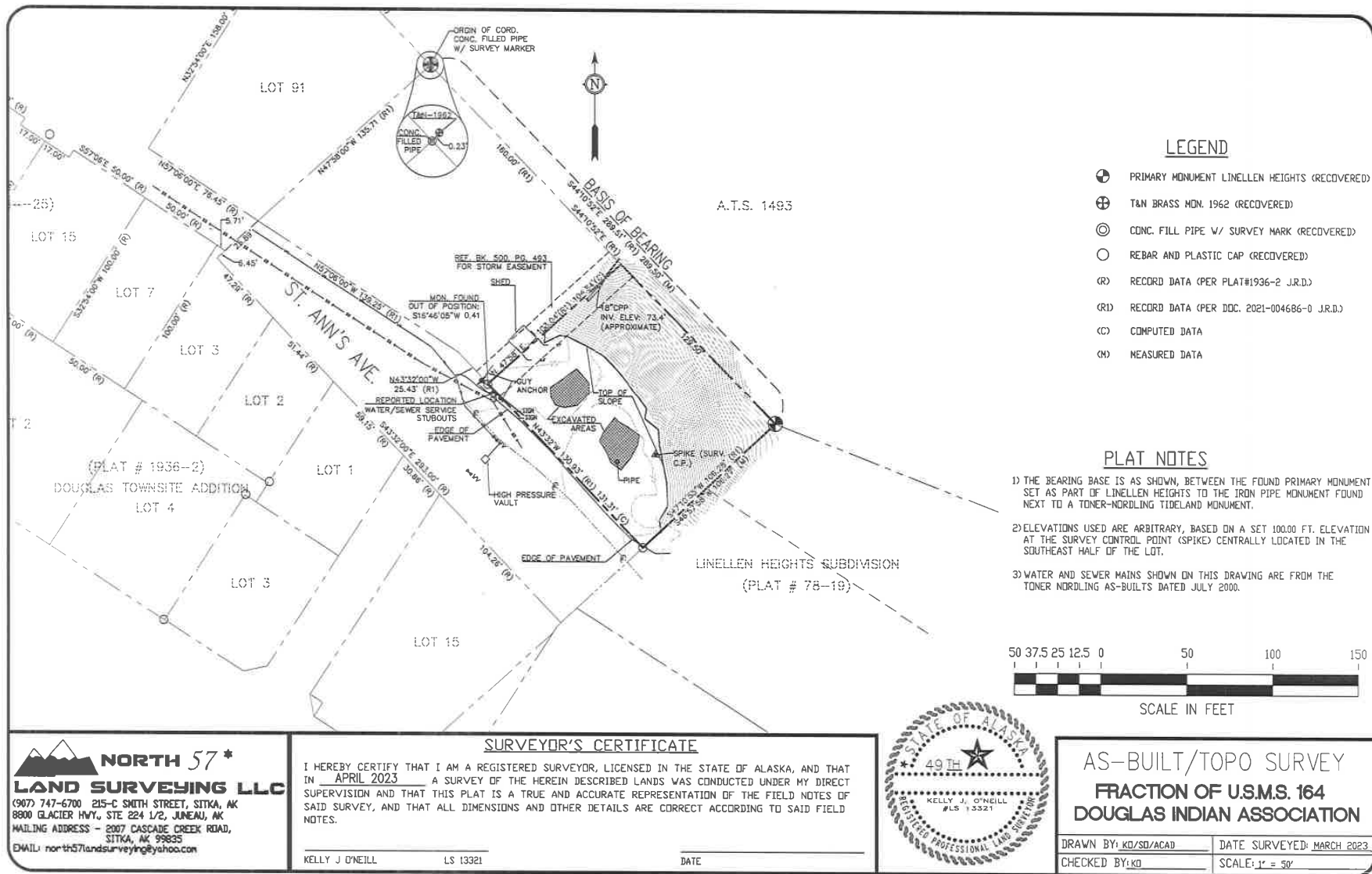
C2

SCALE AS NOTED
DATE 6/4/2023

FULL SIZE: 11"X17"



TEST PIT LOCATIONS
N.T.S.



LEGEND		
DESCRIPTION	EXISTING	PROPOSED
PRIMARY MONUMENT		
SECONDARY MONUMENT		
TEST PIT/PIER LOCATION		
PROPERTY LINE		
ALIGNMENT/GRIDLINES		
TOP OF BANK		
TOE OF SLOPE		
EXCAVATION LIMITS		
ASPHALT		
BUILDING		
CONCRETE		
VALLEY GUTTER		
WATER LINE PIPE		
WATER VALVE BOX		
SANITARY SEWER PIPE		
SANITARY SEWER MANHOLE		
STORM DRAIN PIPE		
UTILITY POLE WITH LUMINAIRE		
SIGN		

ABBREVIATIONS	
AC	ASPHALT CONCRETE
BOP	BEGINNING OF PROJECT
BOW	BOTTOM OF WALL
BTM	BOTTOM
CB	CATCH BASIN
CBJ	CITY & BOROUGH OF JUNEAU
C	CENTERLINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CONC	CONCRETE
CTE	CONNECT TO EXISTING
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
EL	ELEVATION
EOP	END OF PROJECT
EX	EXISTING
FG	FINISHED GRADE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LT	LEFT
LVC	MANHOLE
MH	MINIMUM
MIN	MATCH TO EXISTING
MTE	NOT IN CONTRACT
NIC	NUMBER
NO	NOT TO SCALE
NTS	POUNDS PER SQUARE INCH
PSI	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
RP	RADIUS POINT
RT	RIGHT
ROW	RIGHT-OF-WAY
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
STA	STATION
STD	STANDARD
TBC	TOP BACK OF CURB
TBG	TOP BACK OF GUTTER
TBM	TEMPORARY BENCHMARK
TOW	TOP OF WALL
TP	TOP OF PAVEMENT
TYP	TYPICAL
UD	UNDERDRAIN

- ### GENERAL NOTES
1. CBJ ENGINEERING STANDARD DETAILS BOOK FOR CIVIL ENGINEERING PROJECTS AND SUBDIVISION IMPROVEMENTS FOURTH ADDITION DATED AUGUST, 2011 AND CBJ ENGINEERING STANDARD SPECIFICATIONS DATED DECEMBER, 2003 ARE MADE A PART OF THIS CONTRACT, INCLUDING ALL ERRATA (NOS. 1-16) AND CURRENT REVISIONS AS APPLICABLE. DETAILS CONTAINED WITHIN THIS PLAN SET SUPERSEDE THOSE IN THE CBJ STANDARDS UNLESS APPROVED BY THE ENGINEER.
 2. CALL 386-1333 BEFORE YOU DIG FOR UNDERGROUND POWER, TELEPHONE AND CABLE. CALL 811 ALASKA DIGLINE BEFORE YOU DIG FOR UNDERGROUND GAS & OIL LOCATIONS AND ELEVATION OF EXISTING UNDERGROUND WATER, SEWER, POWER, TELEPHONE AND CABLE TELEVISION SHOWN ON THE PLANS WERE DERIVED FROM CBJ AS-BUILTS AND FIELD LOCATES. THE ACTUAL LOCATION OF UTILITIES MAY VARY FROM THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING THE UTILITIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. ANY DAMAGE TO THE UNDERGROUND UTILITIES DURING CONSTRUCTION SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
 3. THE ESTIMATED TOTAL AREA OF DISTURBANCE RESULTING FROM THESE IMPROVEMENTS IS APPROXIMATELY 0.27 ACRES.
 4. THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) HAS IDENTIFIED A CONTAMINATED SITES WITHIN 1,500 FEET OF THE PROJECT LIMITS THAT IS CURRENTLY IN "ACTIVE" STATUS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT DEC AND OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK.
 5. EXCAVATION LIMITS AND FILL LIMITS ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER.
 6. PROPERTY LINE LOCATIONS USED IN THESE PLANS ARE DERIVED FROM RECORD PLATS AND DO NOT REPRESENT BOUNDARY SURVEY.
 7. THE CONTRACTOR SHALL PERFORM A CLOSED LEVEL LOOP THROUGH ALL TBM'S TO VERIFY ELEVATIONS PRIOR TO BEGINNING ANY WORK.
 8. CONTRACTOR SHALL REFERENCE ALL EXISTING PROPERTY CORNER MONUMENTS (I.E. BRASS CAP MONUMENTS, REBARS, CONCRETE NAILS, CHISELED X'S) PRIOR TO CONSTRUCTION AND REMONUMENT AFTER SURFACING IS REPLACED. EXISTING SURVEY MONUMENTS MAY NOT BE SHOWN ON THE DRAWINGS. ALL WORK SHALL BE DONE BY, OR UNDER THE DIRECTION OF, AN ALASKA REGISTERED LAND SURVEYOR. FOR ANY RESET MONUMENTS PROVIDE COPIES OF RECORD OF MONUMENTS TO THE ENGINEER.
 9. THE CONTRACTOR SHALL NOT STORE MATERIALS OR EQUIPMENT, OR OPERATE EQUIPMENT WITH ITS TRACKS OR WHEELS PLACED ON PRIVATE PROPERTY, WITHOUT THE WRITTEN APPROVAL OF THE PROPERTY OWNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CBJ RIGHT-OF-WAY PERMIT AS NECESSARY TO PERFORM THE WORK.
 10. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE, EXCEPT AS NOTED IN THE CONTRACT DOCUMENTS.
 11. ALL OTHER MATERIALS TO BE REMOVED AND DISPOSED OF SHALL BECOME THE PROPERTY OF THE CONTRACTOR, INCLUDING CONCRETE, UNSUITABLE SOILS, WATER PIPE, SEWER PIPE, CULVERT, STORM AND SEWER STRUCTURES, SIGN POSTS AND ETC.

100%
DRAFT
SUBMITTAL



AYAYD Cultural Center
Site Work

DOUGLAS WILSON ASSOCIATION AND TRIBAL GOVERNMENT

SANITARY AVENUE
DOUGLAS, ALASKA

SHEET TITLE
LEGEND,
ABBREVIATIONS,
GENERAL NOTES

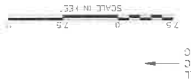
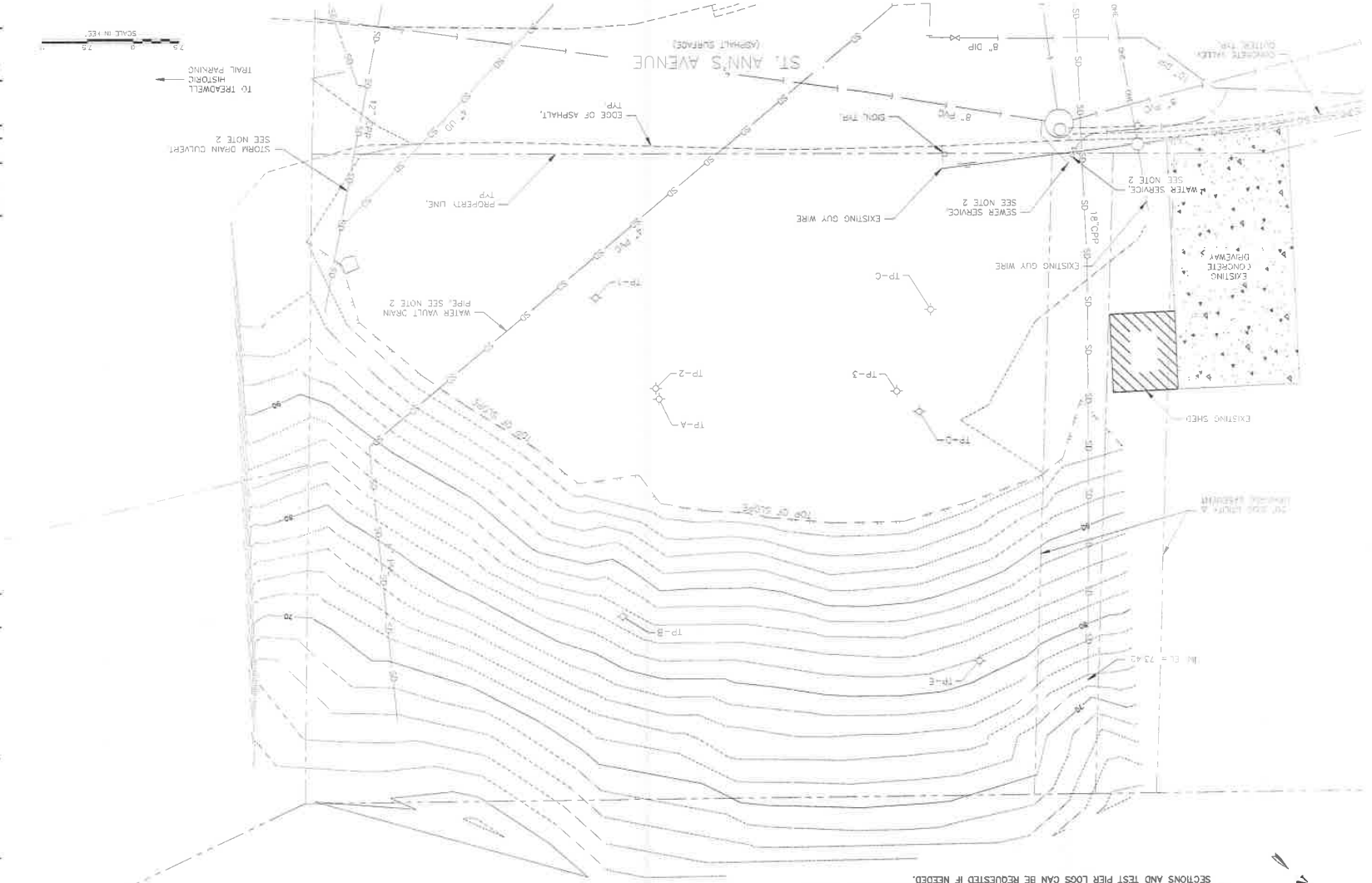
CHECKED L. CHAMBERS
DRAWN E. ROEMELING

Issue Date Date/Time

SHEET # C0.0

ISSUE DATE 07/14/23

- SHEET NOTES:**
1. AS-BUILT/TOPOGRAPHIC SURVEY WAS PERFORMED BY NORTH 57 LAND SURVEYING.
 2. SITE FEATURE NOT FIELD LOCATED DURING SURVEY. LOCATION BASED ON AS-BUILT INFORMATION. CONTRACTOR TO FIELD VERIFY.
 3. TEST PIT AND TEST PIER DATA WAS COLLECTED BY TIMBERLINE ENGINEERING. TEST PIT SECTIONS AND TEST PIER LOGS CAN BE REQUESTED IF NEEDED.



SHEET TITLE:
EXISTING SITE CONDITIONS

CHECKED: L. CHAMBERS
DRAWN: E. ROEMELING

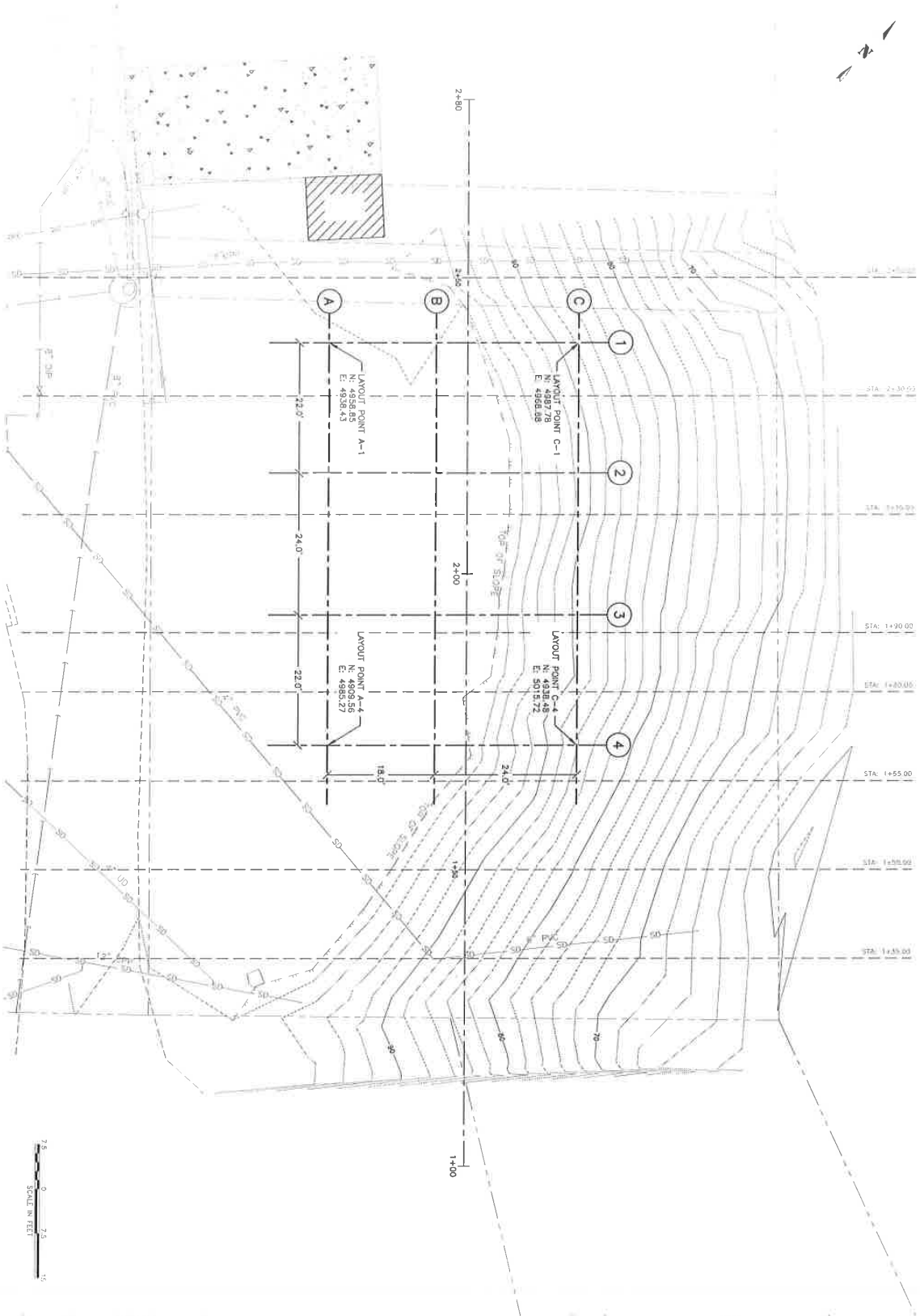
DATE: 07/14/22
ISSUE DATE: 07/14/22

AYAYB Cultural Center
Site Work

OWNERS: AYAYB ASSOCIATION AND TRIBAL GOVERNMENT
CAMP ANNE LIGURE
DORCAS, ALASKA

pro HNS LLC
1945 ALEX HOLDEN WAY #101
JUNEAU, AK 99801
(907)-780-4004

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SHEET #
C1.1

ISSUE DATE
07/14/23

**AYAYD Cultural Center
Site Work**

DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

SANIT ANNS AVENUE
DOUGLAS, ALASKA



1945 ALEX HOLDEN WAY #101
JUNEAU, AK 99801
(907)-780-4004

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SUBMITTAL

SHEET NOTES:

1. CONTRACTOR TO PROTECT AND MAINTAIN EXISTING STORM DRAIN PIPES DURING EXCAVATION.
2. TYPICAL CUT SLOPES TO BE 1:1. AREAS EXIST ALONG NORTHWEST AND SOUTHWEST PROPERTY LINES WHERE CUT SLOPES STEEPER THAN 1:1 WILL BE REQUIRED. CONTRACTOR TO PROVIDE NECESSARY SHORING TO ADEQUATELY SUPPORT SLOPES AS NEEDED.
3. EXISTING SHED LOCATED AT TOP OF EXCAVATION LIMITS. CONTRACTOR TO WORK WITH ADJACENT PROPERTY OWNER TO PROTECT/RELOCATE SHED DURING CONSTRUCTION.
4. AREA WITHIN THE TOE OF CUT SLOPE LIMITS TO BE EXCAVATED TO HARDPAN AND ALLOW FOR 1:1 FILL SLOPES TO BUILDING FOUNDATION PAD.
5. EXCAVATION LIMITS AND QUANTITIES MAY VARY DEPENDING ON THE ACTUAL DEPTH TO HARDPAN.

100%
DRAFT
SUBMITTAL



**AYAYD Cultural Center
Site Work**

DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

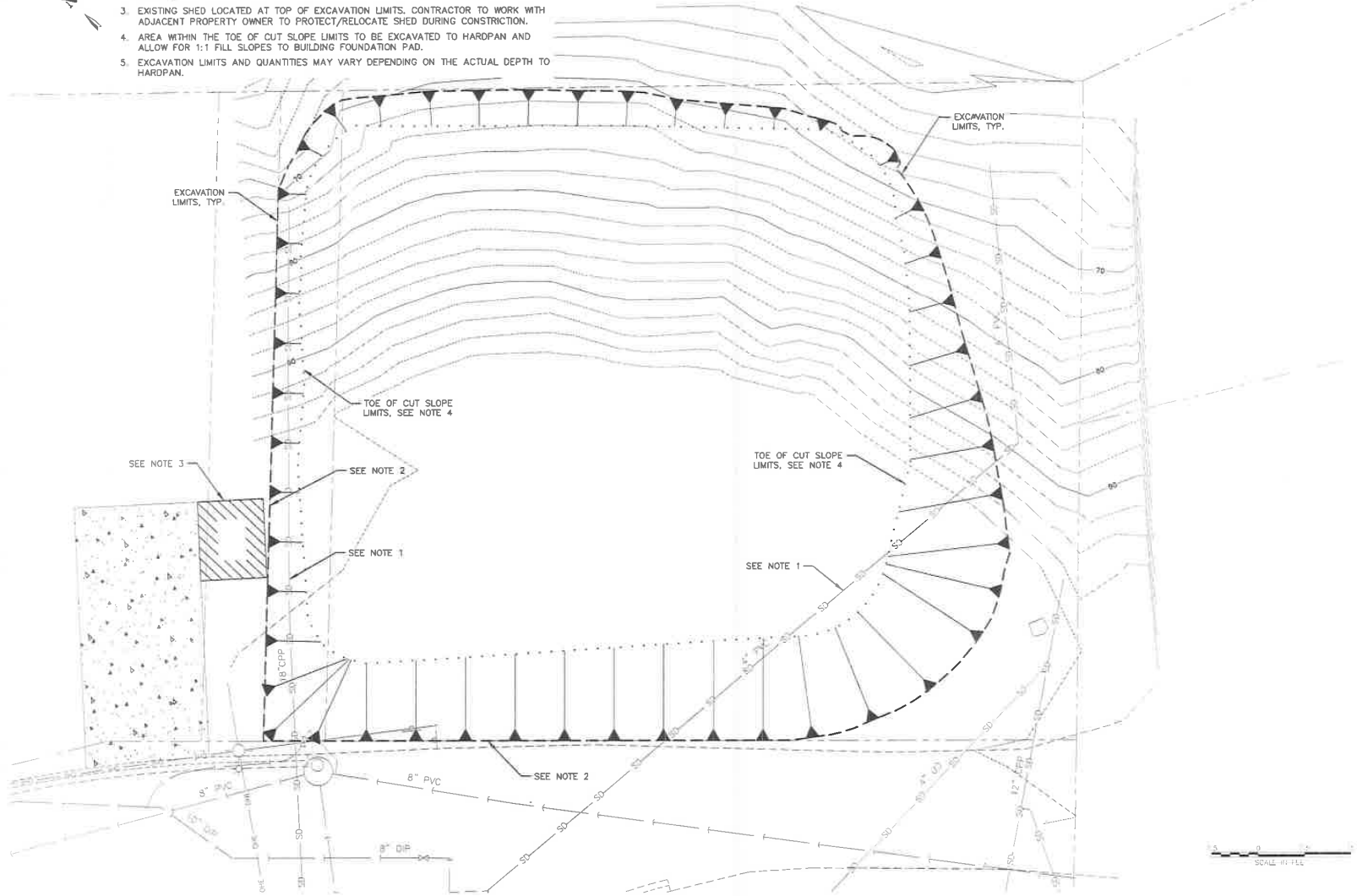
SANIT JAMES AVENUE
DOUGLAS, ALASKA

SHEET TITLE:
**SITE EXCAVATION
PLAN**

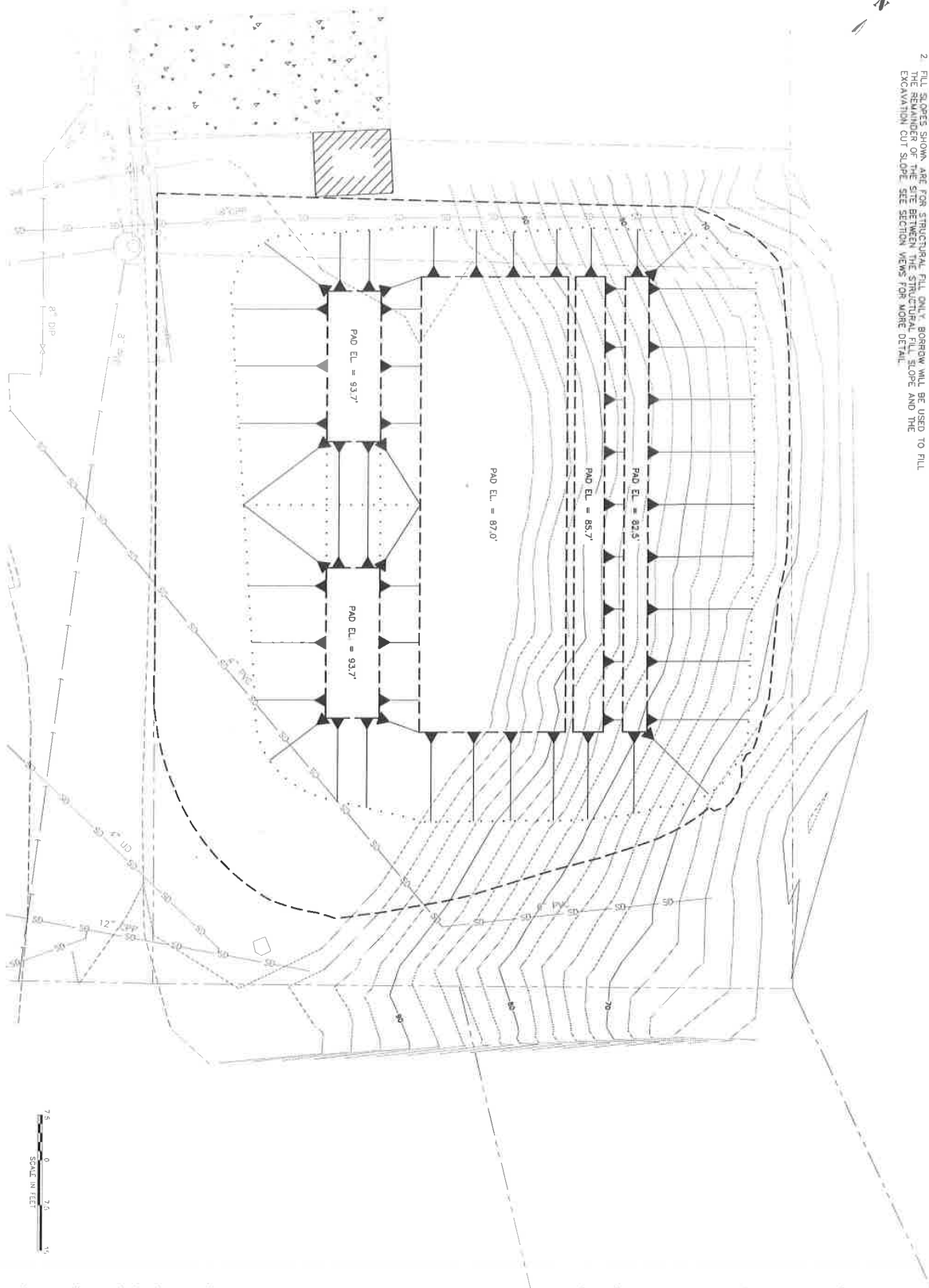
CHECKED L. CHAMBERS
DRAWN E. ROEMELING

SHEET # **C1.2**

ISSUE DATE 07/14/23



- SHEET NOTES:**
1. ALL FILL SLOPES ARE TO BE A MAXIMUM OF 1:1.
 2. FILL SLOPES SHOWN ARE FOR STRUCTURAL FILL ONLY. BORROW WILL BE USED TO FILL THE REMAINDER OF THE SITE BETWEEN THE STRUCTURAL FILL SLOPE AND THE EXCAVATION CUT SLOPE. SEE SECTION VIEWS FOR MORE DETAIL.



7.5
0
7.5
SCALE IN FEET

SHEET #
C1.3
ISSUE DATE
07/14/23

CHECKED
LOANERS
DRAWN
E. BOERLING

SHEET TITLE
SITE FILL PLAN

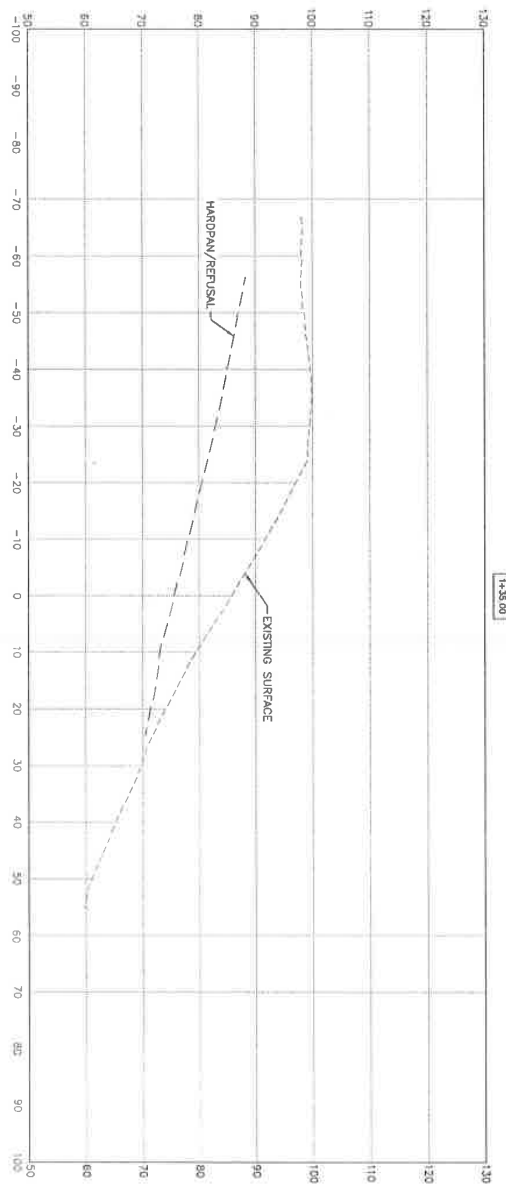
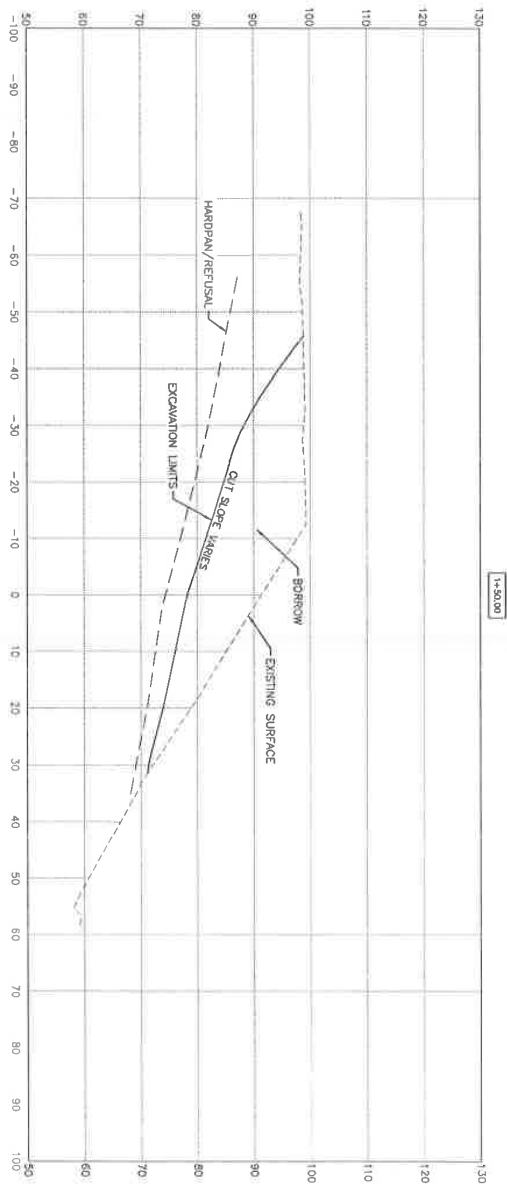
AYAYD Cultural Center Site Work

DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

SANIT ANNIS AVENUE
DOUGLAS, ALASKA

proHNS LLC
1945 ALEX HOLDEN WAY #101
JUNEAU, AK 99801
(907)-780-4004

100%
DRAFT
SUBMITTAL



SHEET # **C2.0**
 ISSUE DATE 07/14/20
 DESIGNED: L. CHAMBERS
 DRAWN: E. REIDLING
 CHECKED: M. REIDLING
 APPROVED: M. REIDLING

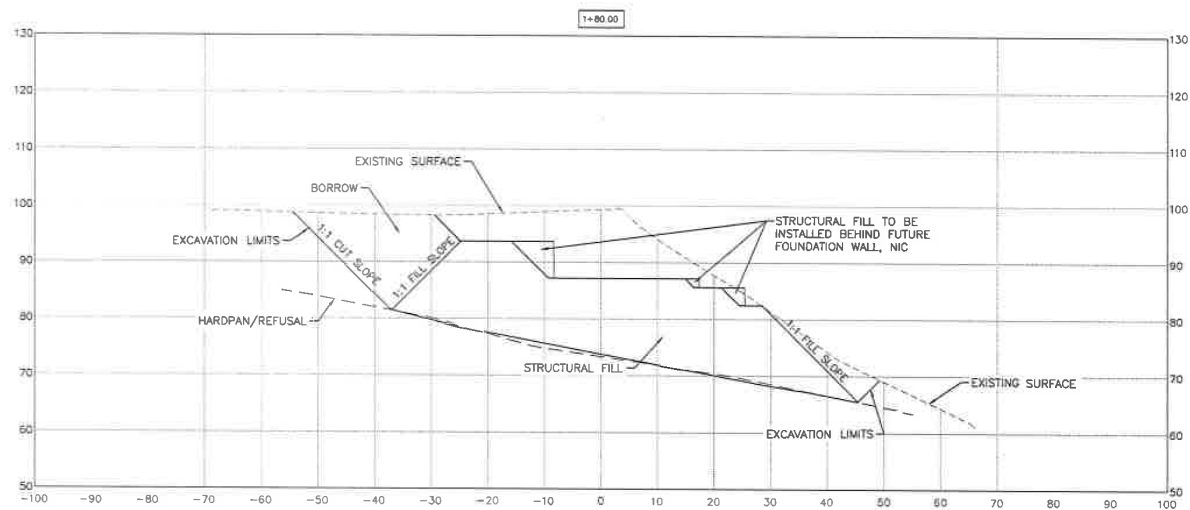
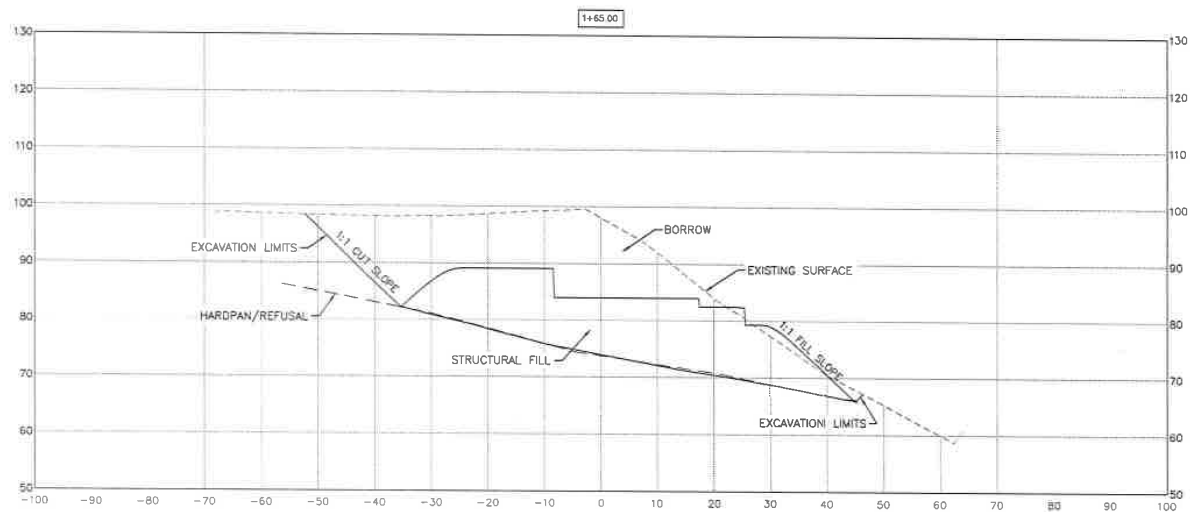
SHEET TITLE
 SECTION VIEWS

**AYAYD Cultural Center
 Site Work**
 DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

SAINT ANNS AVENUE
 DOUGLAS, ALASKA


 1945 ALEX HOLDEN WAY #101
 JUNEAU, AK 99801
 (907)-780-4004

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**AYAYD Cultural Center
Site Work**

UNIVERSITY OF ALASKA AND TRIBAL GOVERNMENT

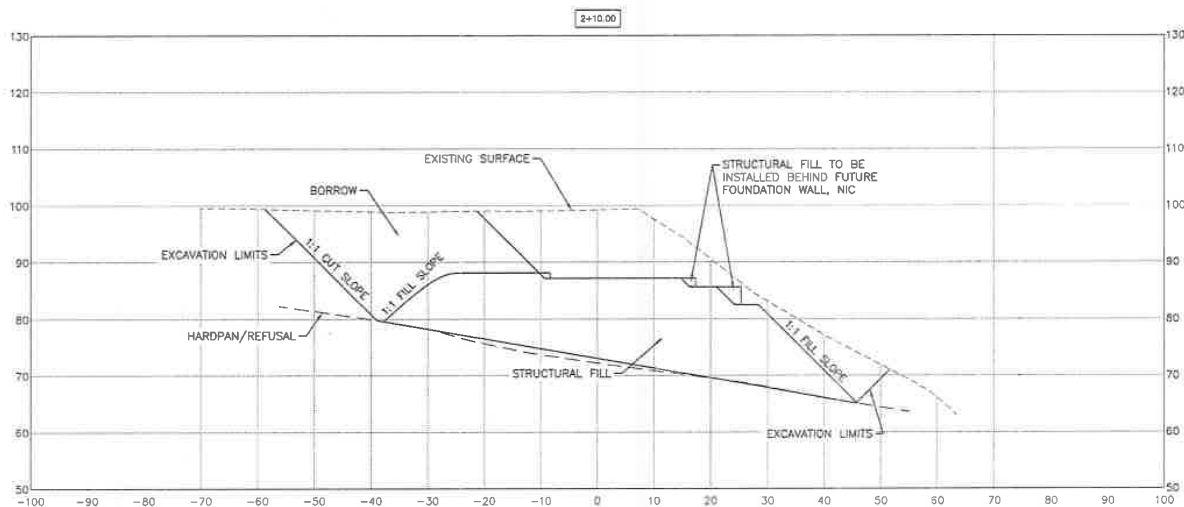
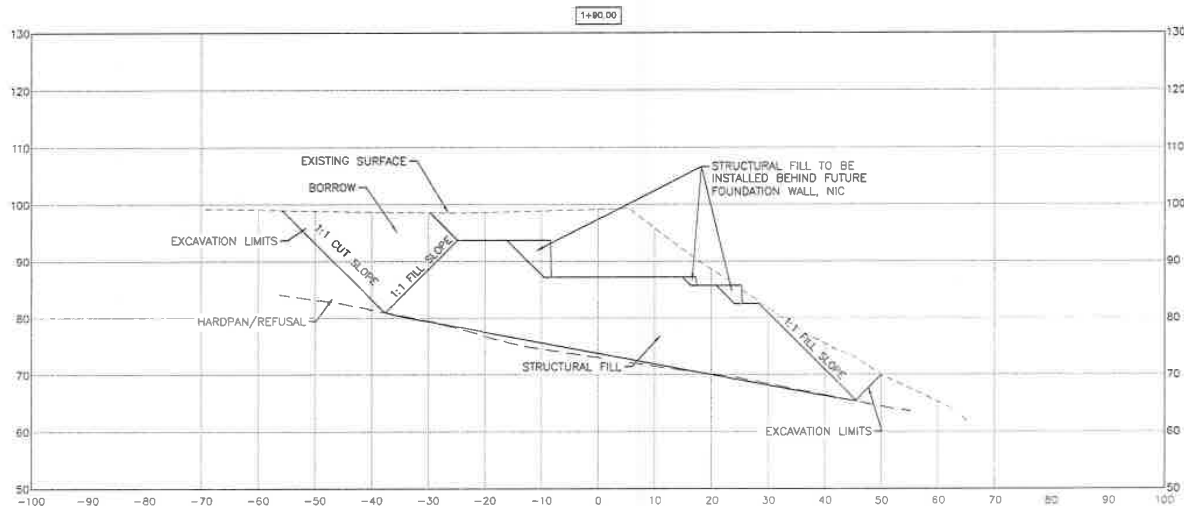
SAINT ANNE AVENUE
DOUGLAS, ALASKA

SHEET TITLE:
SECTION VIEWS

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SHEET # **C2.1**

ISSUE DATE 07/14/23



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**AYAYD Cultural Center
Site Work**

DOUGLAS' BODIN ASSOCIATES AND TRIBAL GOVERNMENT

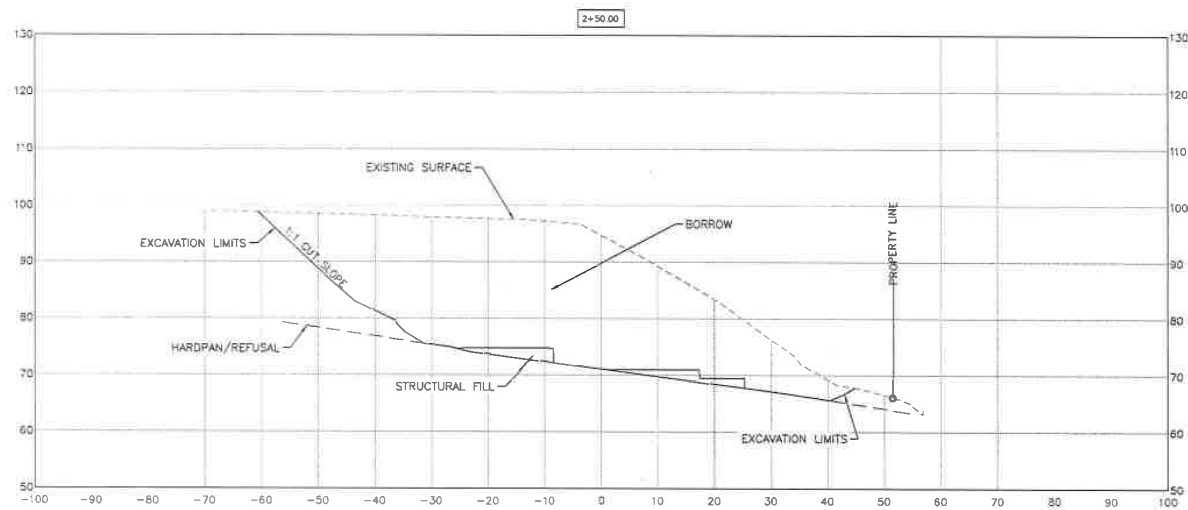
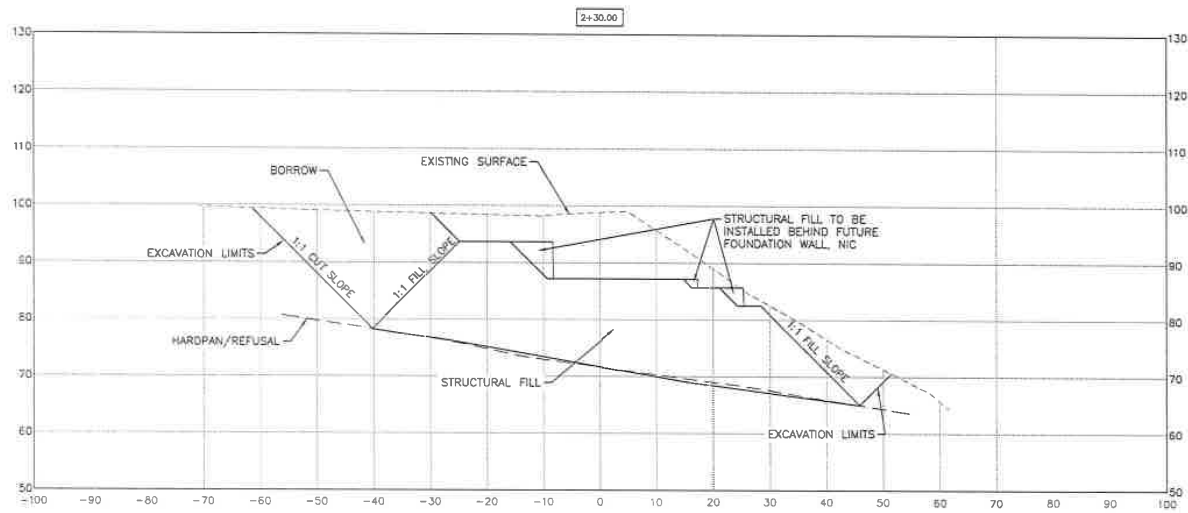
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SHEET TITLE
SECTION VIEWS

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SHEET # **C2.2**

ISSUE DATE 07/14/23



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AYAYD Cultural Center
Site Work

DOUGLAS INDIAN ASSOCIATION AND TRIBAL GOVERNMENT

SAINT ANNIS AVENUE
DOUGLAS, ALASKA

SHEET TITLE:
SECTION VIEWS

CHECKED: L. CHAMBERS
DRAWN: E. ROEMELING

SHEET # C2.3

ISSUE DATE 07/14/23



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

DIA Cultural Center

Case Number: PAC2023 0020
 Applicant: Sean Boily – Northwind Architects
 Property Owner: Douglas Indian Association
 Property Address: 0 Street St. Ann's Avenue/USMS 164 SE FR
 Parcel Code Number: 2D040T480011
 Site Size: 13,366 square feet/.31 acres
 Zoning: D18 Multi-family
 Existing Land Use: Vacant

Conference Date: July 5, 2023

Report Issued: July 18, 2023

DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Haifa Foroughi	Applicant	HaifaF@diataku.com
David Matthew Peterson	Planning	David.Peterson@juneau.gov
David Sevdý	Permitting	David.Sevdý@juneau.gov
Bridget Lapenter	Engineering	Bridget.Lapenter@juneau.gov
Elizabeth Jurgeleit	Designer	Lizzy@northwindarch.com
Sean Boily	Architect	Sean@northwindarch.com

Revised 5/07/2021

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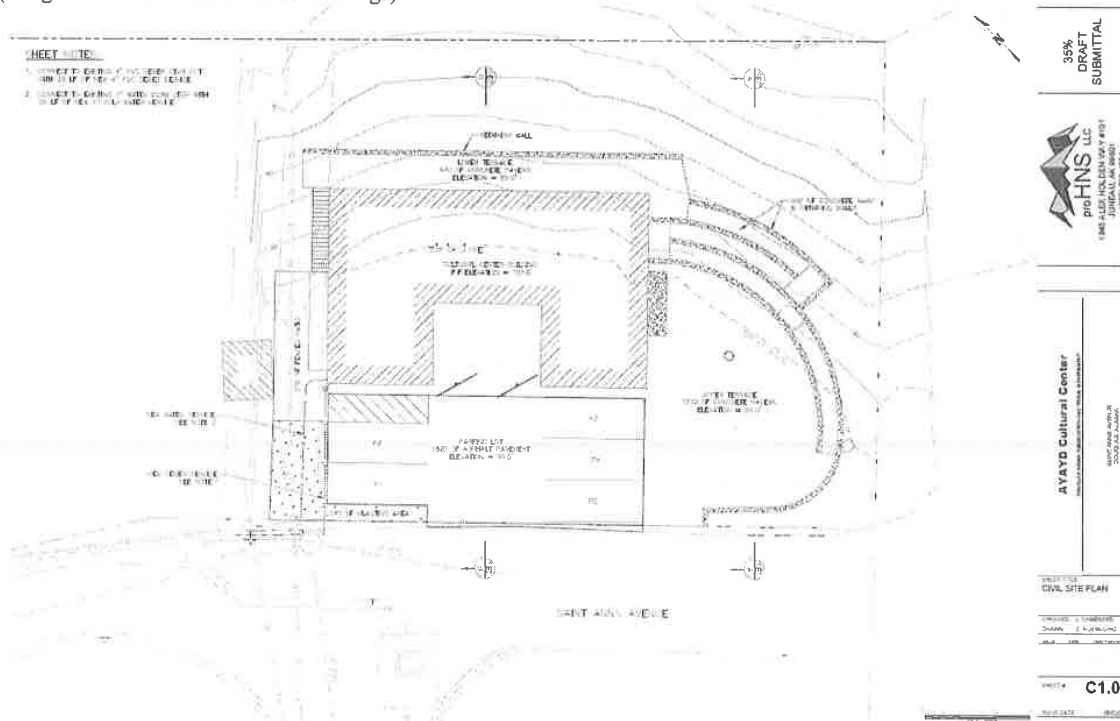
Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.
The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

Douglas Indian Association (DIA) is proposing a ~3,488 square foot Cultural Education Center at 0 St. Ann's Ave.

(Image from DIA AYAYD 35% drawings)



Materials Received 6/26/23:

- a. 35% Drawings
- b. Land use summary
- c. Concept drawings
- d. Site plan
- e. Email Correspondence

Per 49.25.300 - Section 5.000 - Educational, Cultural, Religious, Philanthropic, Social, Fraternal Uses will require a Conditional Use Permit with Planning Commission approval.

49.40.220 – Parking Waivers. (a) The effect of granting a waiver would result in more benefits than detriments to the neighboring area and community as a whole as identified by the comprehensive plan; and; (b) The effect of granting a waiver will not materially endanger public health, safety, or welfare.

49.70.210 – Hillside Endorsement. Excavation or Creation of any slopes in excess of 18% require a Hillside Endorsement. Requires a letter from Civil Engineer speaking to how slop will be safely addressed.

Planning Division

1. **Zoning** – D18 – Multi-Family. Minimum lot size: 5,000sqft. Requires 50ft lot width. Subject property is 13,366sqft per CBJ GIS records.
2. **Subdivision** – N/A
3. **Setbacks** – Front (SW/St. Ann's Ave): 20ft ; Rear (NE/Gastineau Chanel): 25ft ; Side 1 (SE): 10ft ; Side 2 (NW): 5ft.

49.25.400 Note 3: Where one zoning district abuts another, the greater of the two setbacks is required for both uses on the common property line.



NOTE: There is a 10-foot storm drain easement that exists on the property

4. **Height** – Maximum Height for permissible uses: 35ft ; Accessory/Bungalow uses: 25ft. For height calculation on a slope, see Attachment 49.25.420.
5. **Access** – Lot has direct and practical access/frontage to Saint Ann's Avenue.
6. **Parking & Circulation**– Library/Museum uses require 1 parking space per 600 square feet of gross floor area. School/Elementary School uses require 2 parking spaces per classroom.

7. **Lot Coverage** – For both Permissible and Conditional uses, the maximum lot coverage is 50%. Based on the drawings submitted the current building footprint (@ 2,523.13sqft) to the lot size (@ 13,366sqft) has a ratio of 19% lot coverage.
8. **Vegetative Coverage** – The minimum requirement for vegetative coverage in D18 zones is 30%.
9. **Lighting** – Lighting will be considered during the building permit review process. Downward cast, not to impact neighbors.
10. **Noise** – Per 42.20.095(c) It is unlawful to operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or similar heavy construction equipment, before 7:00 a.m. or after 10:00 p.m., Monday through Friday, or before 9:00 a.m. or after 10:00 p.m., Saturday and Sunday, unless a permit shall first be obtained from the City and Borough building official.
11. **Flood** – Site does not appear to be in a mapped flood zone. See Panel 02110C1569E eff. 9/18/2020.



12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – Per 49.70.210(a)(2)/(3) - Hillside endorsement is required for building sites with 18% or greater slopes on building site. Hillside endorsement may be required for subject property. Please have the surveyor make a slope calculation note on the site plan.



13. **Wetlands** – N/A
14. **Habitat** - Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.

15. **Plat or Covenant Restrictions** – N/A

16. **Traffic** – If a development projected to generate 500 or more average daily trips (ADT's) shall be required to have a traffic impact analysis. Per 49.40.300(a)(1).

Per 1,000sqft of gross floor area, guest ADTs are estimated at .66 ADT; Employee ADTs estimated at 2.11 ADT.

17. **Nonconforming situations** – N/A

Building Division

1. **Building** – Submittal requirements shall be determined during the permitting process.
2. **Outstanding Permits** – NONE

General Engineering/Public Works

3. **Engineering** – Building permit will cover geothermal, should the applicant choose geothermal as a heating source.
4. **Drainage** – Existing culverts must be maintained by the applicant. A grading plan will be required for your
5. **Utilities** – (water, power, sewer, etc.) Please contact CBJ General Engineering for verification of and location of utilities.

Fire Marshal

6. **Fire Items/Access** – No comments at this time

Other Applicable Agency Review

7. **USF&W** – Eagle's Nests

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. **Conditional Use Permit (USE)** – (For allowing a Cultural, Educational facility in D18 zone)
2. **Building Permit** – (Permit for structure itself)
3. **Parking Waiver (PWD)** – (To apply for parking reduction).
4. **Development Permit Application (DPA)**

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. (Add any necessary supporting documents required in the application forms OR that may be useful supporting information)

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

Pre-Application Conference Final Report

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Building Permit - Fee based on project valuation.
2. Parking Waiver - \$400/\$320 (reduced by 20% when associated with major development).
3. Conditional Use Permit – Class II = \$500.00
 - a. Public Notice sign - \$150.00 (\$100 reimbursement if sign is returned the Monday following the meeting).

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715
Web: www.juneau.org/community-development

Attachments:

49.15.330 – Conditional Use Permit process
49.25.300 – Table of Permissible Uses
49.25.400 – Table of Dimensional Standards
49.25.420 – Measuring Building Height
49.40.210 – Parking requirements
49.50.300 – Vegetative Coverage
Article II – Hillside Development
Article II – Variances
Article III – Traffic
Chapter 49.85 – Application Fees
19.01.108.8 – Building Permit Fees
Parking and Loading

Applications:

Building Permit
Development Permit Application
Parking Waiver Application
Conditional Use Application

49.15.330 Conditional use permit.

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
 - (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
 - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with section 49.15.230.
 - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)—(1)(C) of subsection (e) of this section.
 - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
 - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of the application if it is found that the development:
 - (A) Will materially endanger the public health or safety;
 - (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
 - (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.
- (e) *Review of director's determinations.*
 - (1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:
 - (A) Whether the proposed use is appropriate according to the table of permissible uses;

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(Supp. No. 149)

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- (B) Whether the application is complete; and
 - (C) Whether the development as proposed will comply with the other requirements of this title.
 - (2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.
 - (f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:
 - (1) Materially endanger the public health or safety;
 - (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
 - (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.
 - (g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:
 - (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
 - (2) *Use.* Use of the development may be restricted to that indicated in the application.
 - (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
 - (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
 - (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
 - (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
 - (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
 - (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
 - (9) *Landslide and avalanche areas.* Development in landslide and avalanche areas, designated on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by assembly ordinance, shall minimize the risk to life and property.
 - (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:

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(A) Developments in wetlands and intertidal areas.

- (11) *Sound.* Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation.* Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access.* Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening.* The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.
- (15) *Lot size or development size.* Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage.* Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting.* Conditions may be imposed to control the type and extent of illumination.
- (18) *Other conditions.* Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015 ; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018)

49.25.300 Determining uses.

- (a) (1) *Listed uses.* There is adopted the table of permissible uses, table 49.25.300. The uses permitted in a zoning area shall be determined through the table of permissible uses by locating the intersection of a horizontal, or use axis and a vertical, or zone axis. The conditions and procedures applicable to the use in the zone thus located shall be as indicated thereat by the digits "1," "2," or "3" as more fully set out in this section and by letters of the alphabet as more fully set out by footnotes in the table. The absence of a digit at the intersection of use and zone axes means that the identified use is not permitted in the identified zone.
- (2) *Unlisted uses.* The permissibility of a use not listed shall be determined pursuant to section 49.20.320.
- (3) *Uses listed more than once.* Where a use might be classified under more than one category, the more specific shall control. If equally specific, the more restrictive shall control.
- (4) *Accessory uses.* Uses constituting an incidental or insubstantial part of a permissible use and commonly associated with the permissible use may be allowed as an accessory use.
- (5) *Nonconforming uses.* Nonconforming uses, including nonconforming residential densities, are subject to chapter 49.30.
- (b) (1) When used in conjunction with a particular use in the table of permissible uses, the number "1" indicates that the use requires department approval pursuant to chapter 49.15, article III, in conjunction with the issuance of a building permit. The use is allowed in the district, but limited conditions may be attached to the approval.
- (2) The number "2" indicates the use requires an allowable use permit from the planning commission. Such uses are allowed in the district, but specified conditions may be attached to the allowable use permit by the commission. The permit procedure is outlined in chapter 49.15, article I.
- (3) The number "3" indicates the use requires a conditional use permit from the commission. The use may or may not be allowed at a particular location, depending on a determination of its compatibility with surrounding or proposed land uses. The planning commission may attach any condition to ensure the compatibility of the proposed use. The conditional use permit procedure is outlined in chapter 49.15, article I.
- (c) A combination of digits such as "1, 3" or "2, 3" indicates that the approval procedure for the identified use in the identified zone will vary depending on whether the project is a major or minor development.
- (1) If the project is a minor development the first number of the combination shall indicate the applicable procedure.
- (2) If the project is a major development the second number shall indicate the applicable procedure.
- (3) Minor development means development which is classified by zoning district as follows:
- (A) *Rural reserve district:* A residential development containing two or fewer dwelling units, two or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 10,000 square feet or using less than one acre of land in total.
- (B) *Single-family residential districts:* A residential development containing two or fewer dwelling units, two or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 5,000 square feet or using less than 10,000 square feet of land in total.
- (C) *Multifamily residential districts:* A residential development containing eight or fewer dwelling units, eight or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 5,000 square feet or using less than 10,000 square feet of land in total.

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- (D) *Commercial and mixed use districts:* A residential development containing 12 or fewer dwelling units, 12 or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 10,000 square feet or using less than one-half acre of land in total.
- (E) *Industrial districts:* Non-residential buildings totaling 15,000 square feet or using less than one acre of land in total.
- (4) Major development means all development activity that is not a minor development.
- (5) Exceptions. Exceptions to the use of minor and major development classifications as a method of determining the applicable approval procedure shall be as noted in the table of permissible uses.

(Serial No. 87-49, § 2, 1987; Serial No. 89-01, § 2, 1989; Serial No. 89-14, § 2, 1989; Serial No. 89-16, § 2, 1989; Serial No. 89-20, § 2, 1989; Serial No. 89-28, § 2, 1989; Serial No. 89-29, § 2, 1989; Serial No. 89-30, § 2, 1989; Serial No. 89-31, § 2, 1989; Serial No. 90-21, § 2, 1990; Serial No. 90-52, § 3, 1990; Serial No. 90-54, §§ 2, 3, 1991; Serial No. 91-01, § 3, 1991; Serial No. 91-36, § 2, 1991; Serial No. 92-09, § 3, 1992; Serial No. 93-05, § 2, 1993; Serial No. 93-46, §§ 2—4(Exh. A) and (Exh. B), 1993; Serial No. 94-07, §§ 2, 3(Exh. A) and (Exh. B), 1994; Serial No. 94-40, § 2(Exh. A), 1994; Serial No. 95-09, §§ 2, 3(Exh. A) and (Exh. B), 1995; Serial No. 97-10, § 2(Exh. A), 1997; Serial No. 97-19, § 2(Exh. A), 1997; Serial No. 97-47, §§ 2, 3(Exh. A), 1997; Serial No. 98-09, § 4(Exh. A), 1998; Serial No. 98-39, §§ 2—4(Exh. A), 1998; Serial No. 98-40, § 2(Exh. A), 1999; Serial No. 99-22, § 7, 1999; Serial No. 2000-46, § 2(Exh. A), 11-20-2000; Serial No. 2001-12, § 2(Exh. A), 4-02-2001; Serial No. 2010-22, §§ 2, 3(Exh. A), 7-19-2010; Serial No. 2015-07(b)(am), § 2, 2-23-2015, eff. 3-26-2015 ; Serial No. 2015-03(c)(am), § 18, 8-31-2015 ; Serial No. 2019-37, § 2, 3-16-2020, eff. 4-16-2020)

TABLE OF PERMISSIBLE USES - CBJ 49.25.300

			Zones																
	Use Description		RR	D-1	D-3	D-5	D-10 SF	D-10	D-15	D-18	LC	GC	MU	MU2	MU3	NC	WC	WI	I
1.000	Residential																		
	1.100	Single-family dwellings																	
	1.110	Single-family detached, one dwelling per lot	1	1	1	1	1	1	1	1	1	1	1	1			1	1A	1A
	1.120	Single-family detached, two dwellings per lot	1	1	1														
	1.130	Single-family detached, accessory apartment ^x	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			1, 3		
	1.140	Single-family detached, two dwellings per lot, accessory apartments ^x	1, 3	1, 3	1, 3														
1.200	Duplex		1	1	1	1		1	1	1	1	1	1	1			1		
1.300	Multifamily dwellings							1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	3		
1.500	Child and Day care homes																		
	1.510	Child; 12 or fewer children under the age of 12	1	1	1	1	1	1	1	1	1	1	1	1	1	1			
	1.520	Reserved																	
	1.530	Adult; 12 or fewer people, 12 years and older	1	1	1	1	1	1	1	1	1	1	1	1	1	1			
	1.540	Reserved																	
	1.550	Child care residence, 6 to 9 children under 18 years of age		3	3	3	3	3	3	3	3	3	3	3	3	3			
1.600	Miscellaneous, rooms for rent situations																		
	1.610	Rooming, boarding houses, bed and breakfasts, single room occupancies with shared facilities, transitional housing, and temporary residences.	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1	1	1, 3	1, 3	3 ^N		

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		Owner or manager must live on site.																
	1.620	Hotels, motels	3							1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	3 ^N	3 ^N
	1.630	Single room occupancies with private facilities					1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3		
1.700	Home occupations		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
1.800	Mobile homes																	
	1.810	Residential mobile homes on individual lots ^E	3	3	3													
	1.815	Caretakers mobile homes on individual lots ^E	3	3	3	3	3	3	3	3	3	3	3			3	3	3
	1.820	Mobile home parks ^E				3	3	3	3	3	3							
	1.830	Mobile home subdivision ^E				3	3	3	3	3	3							
	1.840	Recreational vehicle parks ^F	3 ^F	3 ^F	3 ^F													
1.900	Common wall development																	
	1.910	Two dwelling units				1	1	1	1	1								
	1.911	Accessory apartments ^X	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3		
	1.920	Three or more dwelling units				1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			
	1.930	Two dwelling unit structures allowed under special density considerations, subsections 49.25.510(h)			3	3	3	3	3	3			3					
2.000	Sales and Rental Goods, Merchandise or Equipment ^G																	
2.100	With less than 5,000 square feet and less than 20 percent of the gross floor area of outside merchandising of goods																	
	2.110	Reserved																
	2.120	Miscellaneous								1	1	1	1	1	1	3 ^N	3 ^N	3
	2.130	Marine merchandise and equipment	3 ^T							1, 3	1, 3	1, 3	1, 3	1	1	1, 3	3 ^N	3
2.200	Storage and display of goods with greater or equal to 5,000 square feet									1, 3	1, 3	1, 3	1, 3			3 ^N	3 ^N	3

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	and/or 20 percent of the gross floor area of outside merchandising of goods																	
2.300	Marijuana retail store	3								3	3	3	3	3	3	3	3	3
3.000	Professional Office, Clerical, Research, Real Estate, Other Office Services⁶																	
3.050	Offices of not more than 1,000 square feet		3	3	3	3	3	3	3	1	1	1	1	1	1	1 ^N		
3.100	Offices greater than 1,000 but not more than 2,500 square feet						3	3	3	1	1	1	1	1	1	3 ^N		
3.200	Reserved																	
3.300	Research, laboratory uses	3 ^T								1, 3	1, 3	1, 3	1, 3	1, 3		1 ^N , 3 ^N	1 ^N , 3 ^N	1, 3
3.400	Offices greater than 2,500 square feet									1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N		3 ^S
3.500	Marijuana testing facility	3								3	3	3	3					3
4.000	Manufacturing, Processing, Creating, Repairing, Renovating, Painting, Cleaning, Assembling of Goods⁶																	
4.050	Light manufacturing	3 ^T						3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N	1 ^N , 3 ^N	1, 3
4.070	Medium manufacturing	3 ^T									3	3	3			3 ^N	1 ^N , 3 ^N	1, 3
4.100	Heavy manufacturing	3 ^T	3 ^Q														3 ^N	3
4.150	Rock crusher	3 ^T	1 ^Q	1 ^Q													3 ^N	3
4.200	Storage of explosives and ammunition	3															3 ^N	3
4.210	Seafood processing	3 ^T														3	1, 3	1, 3
4.220	Marijuana product manufacturing facility	3 ^{AC}									3	3						3
5.000	Educational, Cultural, Religious, Philanthropic, Social, Fraternal Uses																	
5.100	Schools																	
	5.110 Elementary and secondary schools including associated grounds and other facilities		3	3	3	3	3	3	3	3	3	3	3	3	3			
	5.120 Trade, vocational schools, commercial schools	3 ^T								3	3	3	3	3		3 ^N	3 ^N	3
	5.130 Colleges, universities	3 ^T	3	3	3	3	3	3	3	3	3	3	3	3	3	3 ^N	3 ^N	3
5.200	Churches, synagogues, temples	3 ^T	3	3	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	3	3	1 ^N , 3 ^N	3 ^N	1, 3

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5.300	Libraries, museums, art galleries	3 ^T	3	3	3	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	3 ^N		
5.400	Social, fraternal clubs, lodges, union halls, yacht clubs	3 ^T									1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N	3 ^N	1, 3
6.000	Recreation, Amusement, Entertainment																		
6.100	Indoor activity conducted entirely within building or substantial structure																		
	6.110 Bowling alleys, billiard, pool halls										1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			3
	6.120 Tennis, racquetball, squash courts, skating rinks, exercise facilities, swimming pools, archery ranges				3	3	3	3	3		1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			3
	6.130 Theaters seating for 200 or fewer	3 ^T							3	3	1	1	1	1	1, 3	1, 3	3 ^N		3
	6.135 Theaters seating from 201 to 1,000										3	1	1	1	1, 3	1, 3	3 ^N		3
	6.140 Coliseums, stadiums, and other facilities in the 6.100 classification seating more than 1,000 people											3	3	3			3 ^N		
	6.150 Indoor shooting range	1, 3										3							3
6.200	Outdoor activity conducted outside enclosed buildings or structures																		
	6.210 Recreational facilities such as golf, country clubs, swimming, tennis courts not constructed pursuant to a permit authorizing the construction of a school	3	3	3	3	3	3	3	3	3	1, 3				1, 3	1, 3	3 ^N		3
	6.220 Miniature golf courses, skateboard parks, water slides, batting cages	3	3	3	3	3	3	3	3	3	1, 3	3	3	1, 3	1, 3	3 ^N			3
	6.240 Automobile, motorcycle racing tracks; off-highway vehicle parks	3									3								3
	6.250 Reserved																		

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	6.260	Open space	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
	6.262	Parks with improved facilities, not approved in conjunction with a major subdivision																
	6.264	Capacity for up to 20 people ^W	1 ^T	1	1	1	1	1	1	1	1	1	1	1	1	1	3 ^N	
	6.266	Capacity for more than 20 people ^W	3 ^T	3	3	3	3	3	3	3	3	3	3	3	3	3 ^N	3 ^N	
	6.270	Aerial conveyances and appurtenant facilities	3	3	3	3	3	3	3	3	3	3	3	3	3	3 ^N	3 ^N	3
	6.280	Shooting ranges	3															3
7.000	Institutional Day or Residential Care, Health Care Facilities, Correctional Facilities																	
	7.100	Hospital									3	3	3	3				
	7.150	Health care clinics, other medical treatment facilities providing out-patient care						3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			
	7.200	Assisted living		3	3	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3		
	7.300	Day care centers						3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3		
	7.310	Child care centers	3	3	3	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3		
	7.500	Correctional facilities	3	3	3	3	3	3	3	3	3	3	3					
	7.600	Sobering centers									3	3	3	3				
8.000	Restaurants, Bars, Nightclubs																	
	8.050	Small restaurants, less than 1,000 ft ² without drive through service	3 ^T					3	3	3	1	1	1	1	1	1	1 ^N	3
	8.100	Restaurants, bars without drive through service	3 ^T								1, 3	1	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N	3 ^N 3
	8.200	Restaurants, coffee stands with drive through service									1, 3	1		3			1 ^N , 3 ^N	3 ^N 3
	8.300	Seasonal open air food service without drive through	3								1, 3	1	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N	3 ^N
9.000	Boat or Motor Vehicle, Sales and Service Operations																	

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	9.050	Motor vehicle, mobile home sale or rental									1, 3	1, 3	3	3					1, 3
9.100		Motor vehicle repair and maintenance, including body work									3								1
9.200		Automotive fuel station	3 ^T								3	1							1
9.300		Car wash									3	1							1
9.400		Boat sales or rental	3 ^T								3	1					1	1	1
9.450		Boat repairs and maintenance	3 ^T									3					1	1	1
9.500		Marine fuel, water sanitation	3 ^T														1, 3	1, 3	1, 3
9.600		Marine commercial facilities including fisheries support, commercial freight, passenger traffic	3														3	3	
10.000	Storage, Parking, Moorage																		
10.100		Automobile parking garages or parking lots not related to a principal use on the lot									3	1	1, 3	1, 3	1, 3	1, 3			1
10.200		Storage and handling of goods not related to sale or use of those goods on the same lot on which they are stored																	
	10.210	All storage within completely enclosed structures	1, 3	3							3	1	1 ^U , 3 ^U	1 ^U , 3 ^U			1 ^N , 3 ^N	1 ^N	1
	10.220	General storage inside or outside enclosed structures	1, 3	3								1, 3					1 ^N , 3 ^N	1 ^N	1
	10.230	Snow storage basin																	
	10.232	Neighborhood, less than ½ acre	3	3	3 ^Z	3 ^Z	3 ^Z	3 ^Z	3 ^Z	3 ^Z	3 ^Z	1			3 ^Z	3 ^Z	3 ^Z	1	1
	10.235	Regional, ½ to 1 acre	3	3	3 ^Z						3 ^Z	3					3 ^Z	1	1
	10.237	Area wide, over 1 acre	3	3 ^Z	3 ^Z							3 ^Z						3	3
10.300		Parking of vehicles or storage of equipment outside enclosed structures where they are owned and used by the user of the lot and parking and storage is more than a minor and incidental use of the lot	1, 3	3								1, 3					1 ^N , 3 ^N	1 ^N , 3 ^N	1

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10.40C	Temporary contractor's storage connected with construction project off-site for a specified period of time	1, 3	3	3	3	3	3	3	3	3	1, 3	3	3	3	3	3	1N	1
10.50C	Moorage																	
	10.510 Public, commercial	3	3	3						3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3
	10.520 Private	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3
10.600	Floating structures supporting seasonal, commercial recreation	3	3	3										3	3	3	3	
11.000	Materials Salvage Yards, Waste Management																	
11.100	Recycling operations																	
	11.110 Enclosed collection structures ⁹ of less than 80 square feet total and less than six feet in height	1 ^P	1 ^P	1 ^P	1 ^P	1 ^P	1 ^P	1 ^P	1 ^P	1	1	1 ^P	1 ^P	1 ^P	1 ^P	1	1	1
	11.120 Enclosed structures for recyclable materials collection	1 ^P , 3	1 ^P , 3	1 ^P , 3	1 ^P , 3	1 ^P , 3	1 ^P , 3	1 ^P , 3	1 ^P , 3	1 ^P , 3 ^P	1 ^P , 3 ^P	3	3	3 ^P	3 ^P	1	1	1 ^P
	11.130 Sorting, storage, preparation for shipment occurring outside an enclosed structure																1 ^N	1
11.200	Reclamation landfill not associated with a specific use	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			3 ^N	3 ^N	1, 3
11.300	Sanitary landfill	3																3
12.000	Services and Enterprises Related to Animals																	
12.100	Veterinary clinic	3	3	3						3	1, 3	3	3	3	3	1 ^N , 3 ^N	1 ^N , 3 ^N	1
12.200	Kennel	3	3							3	3							1, 3
12.250	Day animal services, grooming, walking, day care	3	3	3	3	3				3	3	3	3	1, 3	1, 3			1, 3
12.300	Zoos, aquaria, or wild animal rehabilitation facilities with a visitor component	3	3							3	3		3			3 ^N		3
12.310	Wild animal rehabilitation facilities without a visitor component	3	3	3	3					3	3					3 ^N		3

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12.400	Horseback riding stables, dog team yards	3	3							3	3							3
13.000	Emergency Services																	
13.100	Fire, police, ambulance	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3 ^N	3 ^N	1, 3
14.000	Aquaculture, Agriculture, Silviculture, Mining, Quarrying Operations, Spring Water Bottling																	
14.100	Aquaculture	3	3	3						3	3	3	3	1, 3	1, 3	1	1	3
14.150	Weirs, channels, and other fisheries enhancement	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3			1	1	1
14.200	Commercial agricultural operations																	
	14.210 Excluding farm animals	1, 3	1, 3	3	3	3	3	3	3	3	3			3	3			1, 3
	14.220 Including farm animals ^M	1, 3	3															1, 3
	14.230 Stabling of farm animals ^M	3	3	3	3					3	3							1, 3
	14.240 Marijuana cultivation (500 square feet or more under cultivation)	3								3	3							3
	14.245 Marijuana cultivation (fewer than 500 square feet under cultivation)	3	3 ^{AB}							3	3							3
14.250	Personal use agriculture																	
	14.253 Hens, 6 maximum	1	1	1	1	1	1	3	3	1	1	3	3	1	1	1	1	1
14.300	Silviculture and timber harvesting ^J	3	3															3
14.400	Mining operations	2, 3 ^K	3	3												3 ^N	3 ^N	2
14.500	Sand and gravel operations ^I	3	3	3						3	3					3 ^N	3 ^N	3
14.800	Spring water bottling	3	3			3	3	3	3	3	3				3			1, 3
15.000	Miscellaneous Public and Semipublic Facilities																	
15.100	Post office	3	3	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	3 ^N	3 ^N	1, 3
15.200	Airport	3																1, 3

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15.400	Military reserve, National Guard centers	3	3	3						3	3					3 ^N	3 ^N	3
15.500	Heliports, helipads	3									3					3 ^N	3 ^N	3
15.600	Transit facilities																	
	15.610 Transit center			3	3	3	3	3	3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	3		1, 3
	15.620 Transit station		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
	15.630 Park and ride not associated with transit station	3	3	3	3	3	3	3	3	1	1	3	3		3			1
15.700	Public works facility	3	3	3	3					3	3							1, 3
16.000	Dry Cleaner, Laundromat																	
16.100	Drop off and pickup only, no onsite laundry or dry cleaning process								1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N	1 ^N , 3 ^N	1, 3
16.200	Full service onsite laundry and/or dry cleaning									3	1, 3	3	3	1, 3	1, 3	3 ^N	1 ^N , 3 ^N	1, 3
17.000	Utility Facilities																	
17.100	Minor	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
17.150	Intermediate	3	3	3	3	3	3	3	3	3	1, 3	3	3	3	3	1, 3	1	1
17.200	Major	3	3	3	3	3	3	3	3	3	3			3	3	3	3	3
17.300	Driveways and private roads																	
18.000	Towers and Related Structures																	
18.100 ^{AA}	Towers and antennas 35 feet or less	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
18.200 ^{AA}	Towers and antennas 35 to 50 feet	1	3	3	3	3	3	3	3	1	1	1	1	3	3	1	1	1
18.300 ^{AA}	Towers and antennas more than 50 feet in height	3	3	3	3	3	3	3	3	3	3	3	3			3	3	1
18.400	Amateur (ham) radio towers and antennas more than 35 feet in height ^a	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
18.500	Wireless Communication Facilities																	
		See CBJ 49.65, Wireless Communication Facilities																
19.000	Open Air Markets, Nurseries, Greenhouses																	
19.100	Open air markets (farm, craft, flea, and produce)	1, 3	1, 3							1, 3	1	1, 3	1, 3	1, 3	1, 3	1 ^N , 3 ^N	1 ^N , 3 ^N	1, 3
19.200	Nurseries, commercial greenhouses																	
	19.210 Retail sales	3	3	3	3	3	3	3	3	1, 3	1	1 ^V	1 ^V	1, 3	1, 3			1

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	19.220	Nonretail sales	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1, 3	1	1 ^V	1 ^V					1
	19.230	Marijuana cultivation (500 square feet or more under cultivation)	3								3	3							3
	19.240	Marijuana cultivation (fewer than 500 square feet under cultivation)	3	3 ^{AB}							3	3							3
20.000	Cemetery, Crematorium, Mortuary																		
20.100	Cemetery		1, 3	3	3	3	3	3	3	3	3	3							
20.200	Crematorium		3																1, 3
20.300	Funeral home		3	3	3	3	3	3			1, 3	1	3	3	1, 3	1, 3			
21.000	Visitor-Oriented, Recreational Facilities																		
21.100	Resort, lodge		3	3															
21.200	Campgrounds		1, 3	3															
21.300	Visitor, cultural facilities related to features of the site		3	3							3	3	3	3	3	3	3 ^N		
22.000	Temporary Structures Associated With Onsite Construction																		
22.100	Temporary structures used in connection with construction		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1

Key:

1. Department approval requires the department of community development approval only.
- 1, 3. Department approval required if minor development, conditional use permit required if major development.
2. Allowable use permit requires planning commission approval.
3. Conditional use permit requires planning commission approval.
- 2, 3. Allowable use permit required if minor development, conditional use permit required if major development.

Notes:

- A. A single-family residence is allowed as an owner or caretaker residence that is accessory to an existing permitted use in the industrial zone.
- B. Reserved.

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- C. Reserved.
 - D. Reserved.
 - E. See special use regulations for mobile homes, chapter 49.65, article III.
 - F. See special use regulations for recreational vehicles, chapter 49.65, article IV. This use allowed by service area designation not zoning district.
 - G. All uses subject to additional performance standards, chapter 49.65, article VIII.
 - H. Reserved.
 - I. Reserved.
 - J. Applies to over 2 acres of harvest area.
 - K. See special use regulations, chapter 49.65, article I. Mining operations are a conditional use in the urban mining district and an allowable use in the rural mining district.
 - L. See special use regulations, chapter 49.65.200, article II.
 - M. Only applicable to the commercial or private stabling of more than three farm animals, or where the running or stabling area is closer than 100 feet to the nearest residence other than the owner for any number of farm animals.
 - N. Use must be water-dependent, water-related, or water-oriented.
 - O. Standards for collection structures: containers must be well maintained and allow no spillage of contents; a specific person or group must be responsible for maintenance of the structure and that person or group shall have a contact telephone number posted on the collection structure; collection structure must be situated so as to not affect traffic or parking; directional signs shall be limited to six square feet and identification signs shall be limited to 24 square feet; such signs will not be included in total sign area allowed for a complex; and the structure shall not exceed a height of six feet. Identification is to be in the following format: greater prominence, the City and Borough recycling logo and the recyclable material identification; lesser prominence, the sponsor name and the contact phone number.
 - P. Preexisting allowable or conditional use permit: If recycling activity is determined by the director to be an accessory use to a use previously permitted under either an allowable or a conditional use permit, the activity may be approved by the department. Other conditions may be required before recycling activity is permitted.
 - Q. Must be in conjunction with an approved state or municipal public road construction project, and must be discontinued at the completion of the project. Road construction by private parties for subdivision development is excluded except as provided in this title. Rock crushed on-site must be used on-site. Crushing shall be limited to 8:00 a.m.—5:00 p.m. unless the director authorizes otherwise.
 - R. Towers shall: be for amateur use only; meet the setback requirements of the zoning district; be unlit except as required by the Federal Aviation Administration. Towers shall be installed in conformance with a valid building permit, application for which shall include a copy of the applicant's amateur station license.
 - S. Limited to lots directly fronting on Glacier Highway West of Industrial Boulevard.
 - T. Must be associated with a unique site specific feature in order to function. Example: Glacier research station - Juneau Icefield location.
 - U. No storage permitted on the first floor of a building.
 - V. Primarily intended for rooftop locations in urban areas.
 - W. The capacity of a park shall be determined by the Director of the Community Development Department or designee in consultation with the Director of the Parks and Recreation Department.
 - X. Special requirements apply to accessory apartment applications. See CBJ § 49.25.510(k).

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- Z. Snow storage may be permitted for a maximum of five years. After five years a new application must be filed.
 - AA. Does not apply to wireless communication facilities.
 - AB. Use is prohibited in the urban service area but allowed outside the urban service area. An owner or manager must live on site.
 - AC. Use is prohibited within 1,000 feet of recognized neighborhood association established in accordance with CBJ chapter 11.35.

(Serial No. 2002-14, § 2, 4-1-5-2002; Serial No. 2002-29, § 2, 11-4-2002; Serial No. 2003-27am, § 5, 6-16-2003; Serial No. 2003-41, § 2, 9-22-2003; Serial No. 2003-41, § 2, 9-8-2003; Serial No. 2004-09, § 2, 4-12-2004; Serial No. 2006-07, § 2, 4-3-2006; Serial No. 2007-39, § 8, 6-25-2007; Serial No. 2009-22(b), § 2, 10-12-2009; Serial No. 2010-22, § 3(Exh. A), 7-19-2010; 2014-32(e)am, §§ 6—8, 9-29-2014, eff. 10-29-2014 ; Serial No. 2015-07(b)(am), §§ 2—4, 2-23-2015, eff. 3-26-2015 ; Serial No. 2015-34(am), § 2, 7-20-2015, eff. 8-20-2015 ; Serial No. 2015-03(c)(am), § 19, 8-31-2015 ; Serial No. 2015-32, §§ 2, 3, 8-10-2015 ; Serial No. 2015-38(b)(am), § 6, 5-2-2016, eff. 6-2-2016 ; Serial No. 2015-39(am), §§ 2—7, 11-9-2015 ; Ord. No. 2018-31, § 2, 6-4-2018, eff. 7-5-2018 ; Serial No. 2021-35(am), § 3(Exh. A), 2-7-2022, eff. 3-10-2022)

49.25.400 Minimum dimensional standards.

There is adopted the table of minimum dimensional standards, table 49.25.400. Minimum dimensional standards for all zoning districts shall be according to the table of minimum dimensional standards, subject to the limitations of the following sections and as otherwise specifically noted in the special area or use sections, chapters 49.65 and 49.70.

(Serial No. 87-49, § 2, 1987; Serial No. 89-32, § 2, 1989; Serial No. 98-09, § 5(Exh. B), 1998; Serial No. 98-20, § 2(Exh. A), 1998; Serial No. 2004-13, § 2, 9-27-2004; Serial No. 2006-13, § 2, 5-15-2006; Serial No. 2007-13, § 2, 4-2-2007; Serial No. 2012-24, § 3, 5-14-2012, eff. 6-14-2012 ; Serial No. 2021-28 , § 4, 8-23-2021, eff. 9-22-2021)

TABLE 49.25.400

TABLE OF DIMENSIONAL STANDARDS

Zoning Regulations	RR	D-1	D-3	D-5	D-10 SF	D-10	D-15	D-18	MU	MU2	MU3	NC	LC	GC	WC	WI	I
Minimum Lot Size ¹																	
Permissible Uses	36,000	36,000	12,000	7,000	3,600 ¹⁰	6,000	5,000	5,000	4,000	4,000	3,000	3,000	2,000	2,000	2,000	2,000	2,000
Bungalow ⁹		18,000	6,000	3,500	2,500	3,000	3,000	2,500									
Duplex	54,000	54,000	18,000	10,500													
Common Wall Dwelling				7,000	3,600 ¹⁰	5,000	3,500	2,500		2,500							
Single-family detached, two dwellings per lot	72,000	72,000	24,000														
Minimum lot width	150'	150'	100'	70'	40'	50'	50'	50'	50'	50'	40'	40'	20'	20'	20'	20'	20'
Bungalow ⁹		75'	50'	35'	25'	25'	25'	25'									
Common wall dwelling				60'	40'	40'	30'	20'		20'							
Maximum lot coverage																	
Permissible uses	10%	10%	35%	50%	50%	50%	50%	50%	None	80%	75%	None	None	None	None	None	None
Conditional uses	20%	20%	35%	50%	50%	50%	50%	50%	None	80%			None	None	None	None	None

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Maximum height permissible uses	45'	35'	35'	35'	35'	35'	35'	35'	35'	None	45' ⁴	35'	35'	45'	55'	35' ⁴	45' ⁴	None
Accessory	45'	25'	25'	25'	25'	25'	25'	25'	25'	None	35'	25'	25'	35'	45'	35' ⁴	45' ⁴	None
Bungalow ⁹		25'	25'	25'	25'	25'	25'	25'	25'									
Minimum front yard setback ³	25'	25'	25'	20'	20' ¹⁰	20'	20'	20'	20'	0'	5'5,8	0'	0'	25'	10'	10'	10'	10'
Maximum front yard setback												20'	15'					
Minimum street side yard setback	17'	17'	17'	13'	10'	13'	13'	13'	13'	0'	5'	0'	0'	17'	10'	10'	10'	10'
Maximum street side yard setback												15'	10'					
Minimum rear yard setback ³	25' ²	25'	25'	20'	10'	20'	15'	10'	10'	0'	5'	5'	0'11	10'	10'	10'	10'	10'
Minimum side yard setback ³	15' ²	15'	10'	5'	3'	5'	5'	5'	5'	0'	5'	0'	0'11	10'	10'	10'	10'	0'
Common wall dwelling				10' ⁶	3'	5' ⁷	5' ⁷	5' ⁷	5' ⁷		5' ⁷							

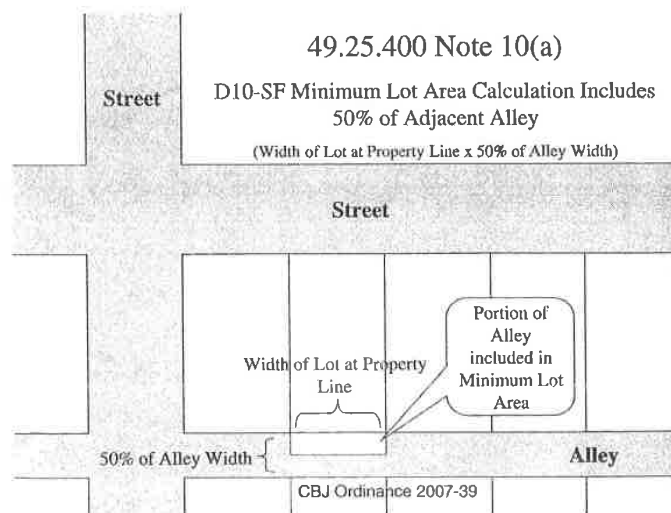
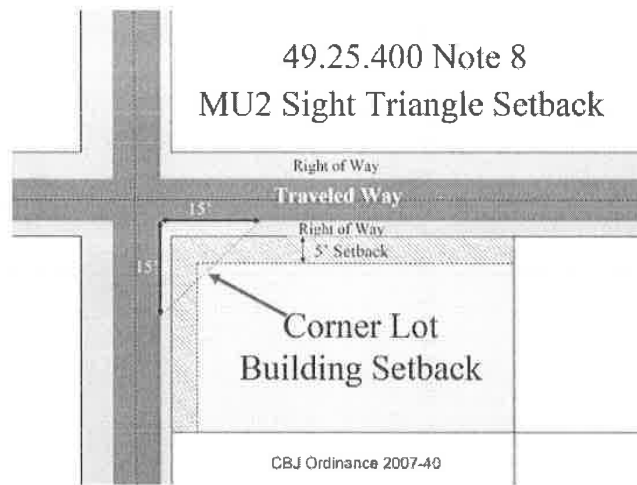
Notes:

1. Minimum lot size is existing lot or area shown on chart in square feet.
2. Sixty feet between nonresidential and designated or actual residential site; 80 feet between industrial, extractive and other uses.
3. Where one district abuts another the greater of the two setbacks is required for both uses on the common property line.
4. (Height Bonus) Reserved.

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5. (Pedestrian Amenities Bonus) Reserved.
 6. Zero-foot setback for the portion of the dwelling with a common wall, five-foot setback or five-foot wide easement for the portion of the dwelling at the common lot line without a common wall, and ten-foot setback for the remaining side yards of the lot.
 7. Zero-foot setback for the portion of the dwelling with a common wall, five-foot setback or five-foot wide easement for the portion of the dwelling at the common lot line without a common wall, and five-foot setback for the remaining side yards of the lot.
 8. On corner lots, buildings shall be set back 15 feet from a street intersection. The area in which buildings shall be prohibited shall be determined by extending the edge of the traveled ways to a point of intersection, then measuring back 15 feet, then connecting the points.
 9. Special restrictions apply to construction on bungalow lots. See special use provisions 49.65.600.
 10. For lots adjacent to an alley, the following reductions to the dimensional standards apply:
 - (a) Minimal lot area includes 50% of adjacent alley (see graphic).
 - (b) Reserved.
 - (c) Minimum front yard setback of ten feet.
 11. Additional setbacks apply when lot abuts a multi-family or single-family residential zoning district.
- (Serial No. 2008-04, § 2, 2-25-2008, eff. 3-27-2008; Serial No. 2012-24, § 3, 5-14-2012, eff. 6-14-2012 ; Serial No. 2021-28 , § 4, 8-23-2021, eff. 9-22-2021; Serial No. 2021-35(am), § 4(Exh. B), 2-7-2022, eff. 3-10-2022)



(Serial No. 2007-39, § 9, 6-25-2007; Serial No. 2007-40, § 2, 6-25-2007)

Measuring or Calculating Building Height: CBJ 49.25.420

(a) The height of a building is the vertical distance above a reference datum measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. Roofs with slopes greater than 75 percent shall be regarded as walls. The height of a stepped or terraced building is the height of the highest segment thereof.

(b) The reference datum shall be whichever of the following yields the greater height of building:

(1) The highest point within a horizontal distance of five feet from the exterior wall of the building, when such point is not more than ten feet above the lowest point within said five-foot radius.

(2) An elevation ten feet higher than the lowest point, when the highest point described in subsection (b)(1) of this section is more than ten feet above the lowest point.

Note that the complete text of this section is not reproduced here—as always, refer to the full text of the current edition of the Code!

The graphic below is taken from the 1997 UBC Code Applications Manual. It is not adopted as part of CBJ Code, but it does show graphically what the adopted text says:

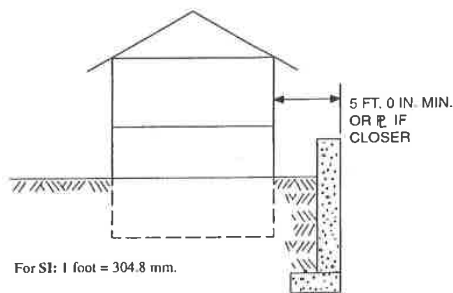


FIGURE 2-1

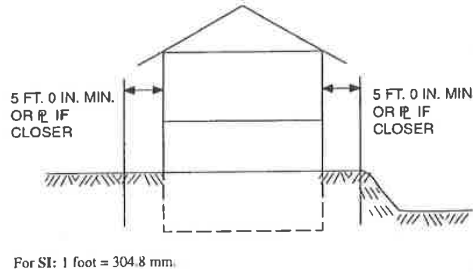


FIGURE 2-2

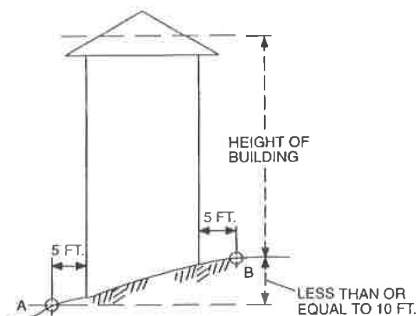


FIGURE 2-3

For SI: 1 foot = 304.8 mm.

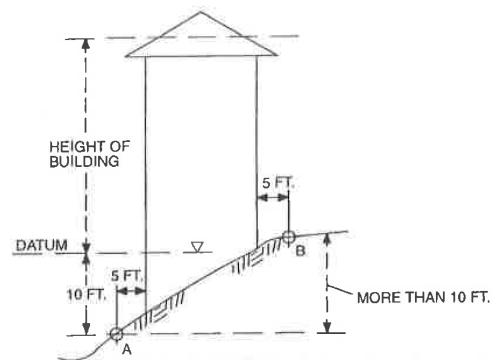


FIGURE 2-4

DETERMINATION OF BUILDING HEIGHT IN FEET

49.40.210 Number of off-street parking spaces required.

- (a) *General.* The minimum number of off-street parking spaces required must be as set forth in the following table. The number of spaces must be calculated and rounded down to the nearest whole number:

Use	Spaces Required in All Other Areas	Spaces Required in Town Center Parking Area
Single-family and duplex	2 per each dwelling unit	1 per each dwelling unit
Multifamily units	1 per one bedroom unit	0.4 per one bedroom unit
	1.5 per two-bedroom unit	0.6 per two-bedroom unit
	2.0 per three- or more bedroom unit	0.8 per three- or more bedroom unit
Rooming house, boardinghouse, single-room occupancies with shared facilities, bed and breakfast, halfway house, and group home	1 per 2 bedrooms	1 per 5 bedrooms
Single-room occupancies with private facilities	1 per each single-room occupancy plus 1 additional per each increment of four single-room occupancies with private facilities	1 per 5 single-room occupancies, plus 1 per each increment of ten single-room occupancies with private facilities.
Accessory apartment	1 per each unit	0 per each unit
Motel	1 per each unit in the motel	1 per each 12 units in the motel
Hotel	1 per each four units	1 per each 12 units
Hospital and nursing home	2 per bed OR one per 400 square feet of gross floor area	2 per bed OR one per 400 square feet of gross floor area
Senior housing	0.6 parking spaces per dwelling unit	0.3 spaces per dwelling unit
Assisted living facility	0.4 parking spaces per maximum number of residents	0.4 parking spaces per maximum number of residents
Sobering center	1 parking space per 12 beds	2 parking spaces
Theater	1 for each four seats	1 for each 10 seats
Church, auditorium, and similar enclosed places of assembly	1 for each four seats in the auditorium	1 for each 10 seats in the auditorium
Bowling alley	3 per alley	1.2 per alley
Bank, office, retail commercial, salon and spa	1 per 300 square feet of gross floor area	1 per 750 square feet of gross floor area
Medical or dental clinic	1 per 200 square feet of gross floor area	1 per 400 square feet of gross floor area
Funeral Home	1 per six seats based on maximum seating capacity in main auditorium	1 per 15 seats based on maximum seating capacity in main auditorium
Warehouse, storage, and wholesale businesses	1 per 1,000 square feet of gross floor area	1 per 2,500 square feet of gross floor area
Restaurant and alcoholic beverage dispensary	1 per 200 square feet of gross floor area	1 per 750 square feet of gross floor area
Swimming pool serving general public	1 per four persons based on pool capacity	1 per 10 persons based on pool capacity

Shopping center and mall	1 per 300 square feet of gross leasable floor area	1 per 750 square feet of gross floor area
Convenience store	49.65 Article V	1 per 750 square feet of gross floor area
Watercraft moorage	1 per three moorage stalls	2 per 15 moorage stalls
Manufacturing uses; research, testing and processing, assembling, industry	1 per 1,000 square feet gross floor area except that office space must provide parking as required for offices	1 per 2,500 square feet gross floor area except that office space must provide parking as provided for offices
Library and museum	1 per 600 square feet gross floor area	1 per 1,500 square feet of gross floor area
School, elementary	2 per classroom	2 per classroom
Middle school or junior high	1.5 per classroom	1.5 per classroom
High school	A minimum of 15 spaces per school; where auditorium or general assembly area is available, one per four seats; one additional space per classroom	A minimum of 15 spaces per school; where auditorium or general assembly area is available, one per four seats; one additional space per classroom
College, main campus	1 per 500 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater	1 per 500 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater
College, satellite facilities	1 per 300 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater	1 per 300 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater
Repair/service station	5 spaces per bay. For facilities with two or more bays, up to 60 percent of the required non-accessible parking spaces may be in a stacked parking configuration.	3 spaces per bay. All but two of the required non-accessible parking spaces may be in a stacked configuration
Post office	1 per 200 square feet gross floor area	1 per 500 square feet of floor area
Childcare Home	49.65 Article X, cannot be varied or FIL	49.65 Article X, cannot be varied or FIL
Childcare Center	49.65 Article X, cannot be varied or FIL	49.65 Article X, cannot be varied or FIL
Indoor sports facilities, gyms	1 per 300 square feet gross floor area	1 per 750 square feet gross floor area
Mobile Food Vendors	No parking requirement	No parking requirement
Open air food service (TPU 8.3)	1 per 400 square feet of gross floor area.	Zero

- (b) *Accessible parking spaces.* Accessible parking spaces must be provided as part of the required off-street parking spaces, according to the following table (Table 49.40.210(b)). Except, Accessible parking spaces are not required for residential uses that require fewer than ten parking spaces and there are no visitor parking spaces.

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Table 49.40.210(b)	
Total Parking Spaces in Lot	Required Minimum Number of Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2 percent of total spaces
1,001 and over	20 plus 1 space for each 100 spaces over 1,100 total spaces in lot

- (c) *Facility loading spaces.* In addition to the required off-street parking requirements, a development must provide loading spaces as set forth in the following table:

Use	Gross Floor Area in Square Feet		Loading Space Required
	All other areas	Town Center Parking District	
Motels and hotels	5,000—29,999	6,000—60,000	1
	30,000—60,000		2
	Each additional 30,000	Each additional 30,000	1
Commercial	5,000—24,999	6,000—50,000	1
	25,000—50,000		2
	Each additional 30,000	Each additional 30,000	1
Industrial, manufacturing, warehousing, storage, and processing	5,000—24,999	6,000—50,000	1
	25,000—50,000		2
	Each additional 30,000	Each additional 30,000	1
Hospital	5,000—40,000	6,000—40,000	1
	Each additional 40,000	Each additional 40,000	1
School	For every two school buses		1
Home for the aged, convalescent home, correctional institution	More than 25 beds		1

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.50.300 Minimum vegetative cover.

A minimum percent by area of each development site shall be maintained with live vegetative cover according to the following table. In the event of a conflict between district and area standards, the greater shall apply.

Zoning District	Percentage of Lot in Vegetation
D-1, D-3, and D-5, residential districts	20
D-10 SF residential districts	15
D-10, D-15, and D-18 multifamily residential districts	30
MU2, mixed use district	5
MU3, mixed use district	10
NC, neighborhood commercial district	25
LC, light commercial district	15
GC, general commercial district	10
WC, waterfront commercial district	10
WI, waterfront industrial district	5
I, industrial district	5
Convenience store, outside a commercial district	20

(Serial No. 87-49, § 2, 1987; Serial No. 96-20, § 2, 1996; Serial No. 98-09, § 7, 1998; Serial No. 98-20, § 3, 1998; Serial No. 2007-39, § 12, 6-25-2007; Serial No. 2013-03, § 2, 1-28-2013, eff. 2-28-2013 ; Serial No. 2021-35(am), § 7, 2-7-2022, eff. 3-10-2022)

PART II - CODE OF ORDINANCES
TITLE 49 - LAND USE
Chapter 49.70 - SPECIFIED AREA PROVISIONS
ARTICLE II. HILLSIDE DEVELOPMENT

ARTICLE II. HILLSIDE DEVELOPMENT

49.70.200 Purposes.

The purposes of this article are to:

- (1) Ensure that hillside development provides erosion and drainage control to protect adjoining parcels;
- (2) Protect waterways from sedimentation and pollution;
- (3) Minimize injury or damage to people or property from natural or artificial hazards in hillside development; and
- (4) Minimize any adverse aesthetic impact of hillside development.

(Serial No. 87-49, § 2, 1987)

49.70.210 Applicability and scope.

- (a) This article applies to all development on hillsides in the City and Borough that involves the following:
 - (1) Removal of vegetative cover;
 - (2) Excavation of any slope in excess of 18 percent;
 - (3) Creation of a new slope in excess of 18 percent for a vertical distance of at least five feet; or
 - (4) Any hazard area identified on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by the assembly by ordinance or any other areas determined to be susceptible to geophysical hazards.
- (b) All hillside development endorsement applications shall be reviewed by the planning commission, except the following may be reviewed by the director:
 - (1) An excavation below finished grade for basements and footings of a building, a retaining wall or other structure authorized by a building permit, provided that this shall not exempt any fill made with the material from such excavation nor any excavation having an unsupported height greater than two feet after the completion of the associated structure.
 - (2) Graves.
 - (3) Mining, quarrying, excavating, processing, or stockpiling of rock, sand, gravel, aggregate or clay provided such operations do not affect the location or peak volume of runoff, the location or amount of standing water, or the lateral support for, the stresses in, or the pressure upon, any adjacent or contiguous property.
 - (4) Exploratory excavations less than 200 square feet in area and under the direction of a civil engineer with knowledge and experience in the application of geology in the design of civil work.
 - (5) An excavation which:
 - (A) Is less than two feet in depth and covers less than 200 square feet; or

-
- (B) Does not create a cut slope greater than five feet in height or steeper than one and one-half horizontal to one vertical.
 - (6) A fill less than one foot in depth and intended to support structures which fill is placed on natural terrain with a slope flatter than five horizontal to one vertical, which does not exceed 20 cubic yards on any one lot and which does not obstruct a drainage course.
 - (7) A fill less than three feet in depth and not intended to support structures which fill is placed on natural terrain on a slope flatter than five horizontal to one vertical, which does not exceed 50 cubic yards on any one lot and which does not obstruct a drainage course.
 - (8) Minor development.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 22, 6-5-2006; Serial No. 2015-03(c)(am), § 51, 8-31-2015)

49.70.220 Hillside development endorsement application.

- (a) All development on hillsides shall be pursuant to a hillside development endorsement.
- (b) The developer shall apply for and obtain a hillside development endorsement prior to any site work other than land and engineering surveys and soils exploration.

(Serial No. 87-49, § 2, 1987; Serial No. 2015-03(c)(am), § 52, 8-31-2015)

49.70.230 Fees.

The City and Borough shall charge the developer the gross hourly rate for professional review of the application and for inspection. The developer shall deposit one percent of the value of the site development, excluding that portion of the site determined by the engineer to be subject to a public transmission facility permit, in a specially designated reserve account, against which the City and Borough may bill its documented time and expenses. The developer shall promptly replenish this amount when requested, and no endorsement may be issued if there is any deficiency in the developer's reserve account. All unexpended funds in the reserve account shall be returned to the developer upon final approval of development or when the engineer is satisfied that the work under the hillside development endorsement has been completed and the requirements of this chapter have been met.

(Serial No. 87-49, § 2, 1987)

49.70.240 Application.

The application shall be accompanied by the following materials, which shall be signed and stamped by a civil engineer, architect, geologist or land surveyor licensed in the State of Alaska:

- (1) A vicinity map, at a clear and legible scale, showing roads, place and street names and natural waterbodies.
- (2) Site maps, showing the present condition of the site at a clear and legible scale compatible with the size of the development and including:
 - (A) Two-foot contours for flat terrain or five-foot contours for steep terrain and extending 50 feet in all directions beyond the development site; 12 percent line, 30 percent line;
 - (B) Water bodies, tidelands and drainage ways from the development site to accepting natural waterbody;

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- (C) Lot boundaries and easements for the site and adjacent lots; and
 - (D) Existing improvements on the site and adjacent lots, including structures, roads, driveways and utility lines.
- (3) The application shall include a finished proposed site plan at a clear and legible scale that includes the following information:
- (A) Finished grade at two-foot contours for flat terrain or five-foot contours for steep terrain and extending 50 feet in all directions beyond the development site; 12 percent line, 30 percent line.
 - (B) Water bodies, tidelands and drainage ways, and temporary and permanent drainage systems from the development site to the accepting natural waterbody.
 - (C) Lot boundaries, easements and setback lines.
 - (D) The location of improvements including structures, roads, driveways, utility lines, culverts, walls and cribbing.
 - (E) Clearing limits of existing vegetative cover.
 - (F) A cross section of the development site.
- (4) The application shall include detailed engineering drawings of roads, driveways, parking areas, structural improvements for foundations, off-site stormwater runoff systems; cross sections and road elevations.
- (5) A description of the source and type of any off-site fill, and the site for depositing excess fill.
- (6) A landscaping plan, including all trees to be retained in excavation areas, all plant species and locations; temporary slope protection measures; erosion and siltation control measures; seeding or sodding materials, a planting and maintenance program; and methods of stabilization and protection of bare slopes.
- (7) An engineering geologic report, including a summary of the relevant surface and bedrock geology of the site, a discussion of active geologic processes with conclusions and recommendations regarding the effect of geologic factors on the proposed development; data regarding the nature, distribution and relevant parameters of existing soils, recommendations for grading procedures; design criteria for corrective measures as necessary, and recommendations covering the suitability of the site for the proposed development.
- (8) A work schedule, by phase.
- (9) Such other different or more detailed submissions as may be required.

(Serial No. 87-49, § 2, 1987; Serial No. 2015-03(c)(am), § 54, 8-31-2015)

49.70.250 Standards for approval.

Hillside development shall meet the following minimum standards:

- (1) *Roads.* The City and Borough road standards shall apply to hillside development, except that:
 - (A) *Modification of standards.* The engineer or planning commission may modify road standards as identified in subsections (1)(B) and (C) of this section, if:
 - (i) The developer's traffic analysis and circulation, land ownership, and development patterns indicate future use of the roadway at less than collector street levels;

-
- (ii) The modification would enable the development to meet, or more closely approximate, the criteria set forth in section 49.70.260; and either
 - (iii) The proposed road or access in question would result in a permanent cul-de-sac; or
 - (iv) A secondary access to the proposed development exists or will be developed as a part of the project.
- (B) *Road width.* The width of a section of residential roadway may be narrowed to 20 feet, with a single four-foot pedestrian way and underground storm drain system, if:
- (i) The section is not more than 200 feet in length, and is separated from other such sections by at least 100 feet of standard roadway;
 - (ii) No entrances, intersections or parking are allowed in the section;
 - (iii) Guard rails, if any, are designed to permit the passage of plowed snow;
 - (iv) There is at least a 200-foot line of sight along the centerline of the section;
 - (v) The section enables the development to meet, or more closely approximate, the criteria set forth in section 49.70.260;
 - (vi) Grouped off-street parking spaces are provided at the entry to the section; and
 - (vii) Adequate provision is made for storage of snow.
- (C) *Road grade.* The grade of a section of residential roadway may be increased to a maximum of 15 percent if:
- (i) The section is not more than 200 feet in length and separated from other such sections by at least 100 feet of roadway;
 - (ii) No entrances or intersections are allowed in the section;
 - (iii) Through intersections at the end of the section have approaches at least 50 feet long measured from the edge of the traveled way of the crossroad and are at a grade of eight percent or less; intersections requiring a full stop have approaches no less than 20 feet long at a grade of two percent or less, or no less than 50 feet long at a grade between two and six percent;
 - (iv) Any guard rails are designed to permit the passage of plowed snow;
 - (v) All sight distances conform to standards of the American Association of State Highway and Transportation Officials; and
 - (vi) The section enables the development to meet, or more closely approximate, the criteria set forth in section 49.70.260.
- (2) *Weather.* The engineer may prohibit a developer from earthmoving during periods of very wet soil conditions, in which case the permit shall be extended by a like period.
- (3) *Sediment.* The developer shall not allow any increase in sediment to flow off-site during or after construction if such would be likely to cause an adverse impact on a down slope lot or waterbody.
- (4) *Peak discharge.* The developer shall ensure that during and after construction of major development, the peak discharge of all streams and natural drainage ways at the down slope boundary shall be no greater than that occurring prior to excavation.

(Serial No. 87-49, § 2, 1987)

49.70.260 Criteria.

The commission or director shall consider the extent to which the development meets the following criteria:

- (1) *Soil erosion.* Soil disturbance and soil erosion shall be minimized and the effects thereof mitigated.
- (2) *Existing vegetation.* Depletion of existing vegetation shall be minimized.
- (3) *Contours.* The developer shall recontour the finished grade to natural-appearing contours which are at or below 30 percent or the natural angle of repose for the soil type, whichever is lower, and which will hold vegetation.
- (4) *Time of exposure and soil retention.* The developer shall minimize the period of time that soil is exposed and shall employ mats, silt blocks or other retention features to maximize soil retention.
- (5) *Replanting.* The developer shall mat, where necessary, and plant all exposed soil in grass or other soil-retaining vegetation and shall maintain the vegetation for one full growing season after planting.
- (6) *Drainage.* The developer shall minimize disturbance to the natural course of streams and drainage ways. Where disturbance is unavoidable, the developer shall provide a drainage system or structures which will minimize the possibility of sedimentation and soil erosion on-site and downstream and which will maintain or enhance the general stream characteristics, spawning quality, and other habitat features of the stream and its receiving waters. Where possible, development shall be designed so lot lines follow natural drainage ways.
- (7) *Foundations.* The developer shall ensure that buildings will be constructed on geologically safe terrain.
- (8) *Very steep slopes.* The developer shall minimize excavation on slopes over 30 percent.
- (9) *Soil retention features.* The developer shall minimize the use of constructed retention features. Where used, their visual impact shall be minimized through the use of natural aggregate or wood, variation of facade, replanted terraces, and the like.
- (10) *Wet weather periods.* The developer shall minimize exposure of soil during the periods of September 1—November 30 and March 1—May 1.

(Serial No. 87-49, § 2, 1987; Serial No. 2015-03(c)(am), § 54, 8-31-2015)

49.70.270 Conditions on approval.

The commission or director may place conditions upon a hillside development endorsement as necessary or desirable to ensure that the spirit of this chapter will be implemented in the manner indicated in the application. Fulfillment of conditions shall be certified by the engineer. The conditions may consist of one or more of the following:

- (1) *Development schedule.* The commission or director may place a reasonable time limit on or require phasing of construction activity associated with the development or any portion thereof, in order to minimize construction-related disruption to traffic and neighbors or to ensure that the development is not used or occupied prior to substantial completion of required improvements.
- (2) *Dedications.* The commission or director may require conveyances of title or other legal or equitable interests to public entities, public utilities, a homeowner's association, or other common entities. The developer may be required to construct any public facilities, such as drainage retention areas, to City and Borough standards prior to dedication.

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- (3) *Construction guarantees.* The commission or director may require the posting of a bond or other surety or collateral providing for whole or partial releases, in order to ensure that all required improvements are constructed as specified in the approved plans.
 - (4) *Lot size.* If justified by site topography, the commission or director may require larger lot areas than prescribed by zoning requirements.

(Serial No. 87-49, § 2, 1987; Serial No. 2015-03(c)(am), § 55, 8-31-2015)

PART II - CODE OF ORDINANCES
TITLE 49 - LAND USE
Chapter 49.20 - APPEALS, VARIANCES AND INTERPRETATIONS
ARTICLE II. VARIANCES

ARTICLE II. VARIANCES¹

49.20.200 Variance.

Pursuant to this article, a variance may be granted to provide an applicant relief from the requirements of this title. A variance is prohibited from varying any requirement or regulation of this title concerning the use of land or structures, housing density, lot area, requirements in chapter 49.35, or requirements in chapter 49.65. Applications for prohibited variances shall not be accepted for filing or shall be rejected by the director.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018)

49.20.210 Submittal.

Except as provided in this article for an administrative variance, an application for a variance shall be submitted to the planning commission through the department.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018 ; Serial No. 2021-19, § 4, 8-2-2021, eff. 9-1-2021)

49.20.220 Scheduling and fee.

- (a) An application for an administrative variance shall be administered by the department.
- (b) If the director determines that the request is not for an administrative variance and the application is complete, it shall be scheduled for public hearing. If the application is filed in conjunction with a major development permit, a separate public notice shall not be required and the variance fee shall be reduced by 20 percent. For separate variance applications, a fee and public notice according to section 49.20.230 shall be required.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018)

49.20.230 Public notice.

- (a) Upon determination that the administrative variance application is complete, the director shall mail notice of the application to the immediately adjoining property owners, as determined by the director, and provide at least 14 days to submit written comments before issuing a decision.
- (b) For variances other than administrative, public notice according to section 49.15.230 shall be given prior to a hearing on the application by the planning commission.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018 ; Serial No. 2021-19, § 4, 8-2-2021, eff. 9-1-2021)

¹Editor's note(s)—Sec. 2 of Serial No. 2018-04(b) , adopted May 14, 2018, amended art. II in its entirety to read as herein set out. Former art. II pertained to the same subject matter, and derived from Serial No. 87-49, 1987; Serial No. 95-33, 1995; and Serial No. 2010-15(c), adopted May 19, 2010.

49.20.240 Planning commission action.

The planning commission shall hear all variance requests except administrative variances, and shall either approve, conditionally approve, modify, or deny the request based on the criteria in section 49.20.250(b).

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018 ; Serial No. 2021-19, § 4, 8-2-2021, eff. 9-1-2021)

49.20.250 Variance standards.

(a) *Administrative variances.*

- (1) An administrative variance may be granted to allow projections not to exceed 25 percent of the yard setback requirements of this title or two feet, whichever is less, upon the director determining the following:
 - (A) Enforcement of the setback ordinance would result in an unreasonable hardship;
 - (B) The grant of the variance is not detrimental to public health, safety, or welfare; and
 - (C) The grant of the variance is narrowly tailored to relieve the hardship.
- (2) An administrative variance decision by the director may be appealed if a notice of appeal is filed within 20 days of the date the decision is signed by the director, in accordance with section 49.15.239.

(b) *Non-administrative variances.*

- (1) A variance may be granted to provide an applicant relief from requirements of this title after the prescribed hearing and after the planning commission has determined that:
 - (A) Enforcement of the ordinance would create an undue hardship resulting from the unusual or special conditions of the property;
 - (B) The unusual or special conditions of the property are not caused by the person seeking the variance;
 - (C) The grant of the variance is not detrimental to public health, safety, or welfare; and
 - (D) The grant of the variance is narrowly tailored to relieve the hardship.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018 ; Serial No. 2021-19, § 4, 8-2-2021, eff. 9-1-2021)

49.20.260 Conditions of approval.

The planning commission may attach to a variance conditions regarding the location, character, and other features of the proposed structures or uses as it finds necessary to carry out the intent of this title and to protect the public interest.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018 ; Serial No. 2021-19, § 4, 8-2-2021, eff. 9-1-2021)

49.20.270 Expiration and extensions of approval.

Expiration and extensions of variances shall be governed by the procedures and standards established for development permits in chapter 49.15, article II.

(Serial No. 2018-04(b), § 2, 5-14-2018, eff. 6-14-2018)

PART II - CODE OF ORDINANCES
TITLE 49 - LAND USE
Chapter 49.40 - PARKING AND TRAFFIC
ARTICLE III. TRAFFIC

ARTICLE III. TRAFFIC¹

49.40.300 Applicability.

- (a) A traffic impact analysis (TIA) shall be required as follows:
- (1) A development projected to generate 500 or more average daily trips (ADT) shall be required to have a traffic impact analysis.
 - (2) A development projected to generate fewer than 250 ADT shall not be required to have a traffic impact analysis.
 - (3) A development projected to generate more than 250 ADT but fewer than 500 ADT shall be required to have a traffic impact analysis if the Community Development Department Director determines that an analysis is necessary based on the type of development, its location, the likelihood of future expansion, and other factors found relevant by the director.
 - (4) The applicant shall provide the traffic projections for the project, and the department will review and approve the final figures.
 - (5) A TIA must be prepared by a licensed engineer, or a transportation planner, with traffic analysis experience, approved by the director.
- (b) The department shall require the applicant to contact the Alaska Department of Transportation and Public Facilities to determine whether a state permit or TIA will be required.

(Serial No. 2008-01, § 2, 1-28-08)

49.40.305 Traffic impact analysis (TIA) requirements.

- (a) A TIA prepared under this section must identify and assess the impacts of the proposed development on all affected transportation systems. The TIA shall identify any effective development design or operational measures that would mitigate impacts of a development on transportation systems. The study area for the TIA shall be that area in which it is anticipated that the proposed development will increase ADT by five percent or more.
- (b) A TIA must forecast traffic generated by a development in accordance with the most recent edition of Institute of Traffic Transportation Engineers' Trip Generation Handbook.
- (c) A TIA must address the following items:
- (1) Intersections and segments of roadways where the ADT on any approach to an intersection is anticipated to increase by five percent or more due to the proposed development;

¹Editor's note(s)—Serial No. 2008-01, § 2, adopted January 28, 2008, effective February 28, 2008, repealed former Art. III, §§ 49.40.300, 49.40.310 and enacted provisions designated as a new Art. III to read as herein set out.

Cross reference(s)—Traffic, CBJ Code tit. 72.

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- (2) Each driveway or approach road that will allow egress from or ingress to the proposed development;
 - (3) Existing and proposed pedestrian and bicycle facilities, if any, within the proposed development, and existing and proposed pedestrian and bicycle facilities to be used for access to the proposed development;
 - (4) Projected traffic at the development's anticipated opening date, and at full build out, both with and without the traffic generated by the development;
 - (5) Locations where road improvements are necessary to mitigate traffic impacts due to the development at the opening date, or where improvements are necessary to prevent the level of service (LOS) from deteriorating further at the opening date without the development;
 - (6) Road improvement alternatives or other measures that will achieve an acceptable LOS or minimize degradation of service below an already unacceptable LOS according to section 49.40.310 Traffic; minimum standards;
 - (7) Internal circulation and parking plans; and
 - (8) An accident analysis that contains the following elements:
 - (A) An accident diagram showing accidents over the most recent three years of accident data, at all intersections or roadway segments identified as being impacted by the development, using the State of Alaska Department of Transportation's accident database, if available.
 - (B) An analysis of the type of accidents.
 - (C) An analysis of the accidents to determine if any pattern exists, and whether the accident pattern will be impacted by the development.
 - (D) If an accident pattern exists that will be exacerbated by the development, a determination whether there is a cost-effective solution which would mitigate the problem and how it can be implemented.
 - (d) Level of service (LOS) and operational analysis for a traffic impact analysis prepared under this section must be performed in accordance with the most recent edition of the Transportation Research Board's publication Special Report 209, Highway Capacity Manual.

(Serial No. 2008-01, § 2, 1-28-08)

49.40.310 Traffic; minimum standards.

- (a) The minimum acceptable LOS for a roadway segment or intersection within the area affected by the development, on the projected opening date of the development, or full build out of the development, is LOS D.
- (b) If an intersection or roadway segment affected by the development has a pattern of accidents resulting in personal injuries, and the development will aggravate this accident pattern, then mitigation shall be required, regardless of the projected LOS.

(Serial No. 2008-01, § 2, 1-28-08)

49.40.320 Traffic impact analysis review.

- (a) The department will review the traffic impact analysis prepared under this section.

(Supp. No. 148)

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- (b) Mitigation measures may be subject to financial guarantee pursuant to Chapter 49.55, if appropriate considering safety and scheduling.

(Serial No. 2008-01, § 2, 1-28-08)

49.40.330 Traffic impact mitigation.

- (a) Except as provided in 49.40.340, an applicant shall make improvements to a roadway or intersection to achieve or maintain an acceptable LOS if a roadway or intersection has an:
- (1) LOS D without traffic generated by the development; and would drop below LOS D with traffic generated by the development at the opening date of the development or full build out;
 - (2) If a roadway has an LOS below D without traffic generated by the development at the opening date of the development; or
 - (3) If the intersection or roadway segment has a pattern of accidents resulting in personal injuries, and the development would aggravate this accident pattern, then mitigation shall be required regardless of the LOS.
- (b) An applicant for a project for which a traffic impact analysis report has been prepared and mitigation required, shall install signs and markings on approaches to roadways within the development that conform to the Manual on Uniform Traffic Control Devices and the Alaska Traffic Manual, 2003, described in 17 AAC 20.950(1), as it may be amended from time to time.
- (c) Internal circulation and parking layout must provide sufficient queuing distance within the development between the roadway and internal restrictions to ensure that no traffic backs up onto a roadway, including bicycle or pedestrian facilities (See Section 49.40.230 Parking and circulation standards).
- (d) If a traffic impact analysis discloses impacts to pedestrian or bicycle traffic, an applicant shall make the necessary improvements to mitigate the impact.

(Serial No. 2008-01, § 2, 1-28-08)

49.40.340 Mitigation waiver.

- (a) The planning commission or community development department director may, in their discretion, waive or partially waive the requirements for mitigation under this section if the planning commission finds at a public hearing, or the director finds in writing after reviewing a permit which does not require planning commission approval, that either of the following circumstances is true:
- (1) (A) Existing roadway facilities are only marginally achieving an LOS D without the traffic generated by the development, and would likely fall below LOS D within five years;
(B) Traffic generated by the development would result in an LOS below D without mitigation; and
(C) The costs of mitigating the impacts outweighs the benefits; or
 - (2) (A) If the LOS is below D. before the development's opening date;
(B) If the operation of the roadway or intersection, within the affected area, would not deteriorate more than five percent in terms of delay time, a minimum LOS, LOS E may be acceptable;
(C) Does not result in an LOS below E; and
(D) The costs of mitigating the impacts outweighs the benefits.

(Supp. No. 148)

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(Serial No. 2008-01, § 2, 1-28-08)

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PART II - CODE OF ORDINANCES
TITLE 49 - LAND USE
Chapter 49.85 FEES FOR LAND USE ACTIONS

Chapter 49.85 FEES FOR LAND USE ACTIONS

49.85.100 Generally.

Processing fees are established for each development, platting and other land use action in accordance with the following schedule:

- (1) Minor development.
 - (A) Reserved;
 - (B) Staff review, no charge if a building permit is required;
 - (C) Sign permit, \$50.00 for the first two signs, and \$20.00 for each additional sign.
- (2) Minor subdivision or consolidation.
 - (A) Subdivision creating additional lots, \$400.00 plus \$25.00 for each resulting lot;
 - (B) Subdivision creating no additional lots, \$110.00 plus \$25.00 for each lot changed.
- (3) Major development, conditional use permits or modifications, allowable use permits, and wetlands permits. The fees for these land use actions are based on classes of uses, and shall be paid upon application for permit issuance or modification as set forth in subsections (3)(A)—(E) of this section. The fee for an extension of a permit shall be \$250.00 for any class of use.
 - (A) Class I uses, \$350.00. Class I uses are:
 - (i) Mobile homes on single lots;
 - (ii) Agricultural uses of under 50,000 square feet;
 - (iii) Residential structures, four or fewer units;
 - (iv) Transient structures, 12 or fewer rooms for rent;
 - (v) Day care and child care homes;
 - (vi) Accessory or incidental recycling activities under section 49.25.300, category 11.120 uses;
 - (B) Class II uses, \$500.00. Class II uses are:
 - (i) Commercial, mixed use or enclosed industrial uses with less than 10,000 square feet of building space and using less than one acre of land;
 - (ii) Agricultural uses of 50,000 or more square feet;
 - (iii) Residential structures, five to ten dwelling units;
 - (iv) Transient structures, 13 to 30 rooms for rent;
 - (v) Day care and child care centers;
 - (vi) Floating residences and floating structures under 2,500 square feet;
 - (vii) Churches, schools, and additions thereto;
 - (C) Class III uses, \$750.00. Class III uses are:

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- (i) Commercial, mixed use or enclosed industrial uses with 10,000 to 20,000 square feet of building space or using one to three acres of land;
 - (ii) Residential structures, 11 to 30 dwelling units;
 - (iii) Transient structures, 31 to 90 rooms for rent;
 - (iv) Floating structures, 2,500 to 10,000 square feet;
 - (D) Class IV uses, \$1,000.00. Class IV uses are:
 - (i) Commercial, mixed use or enclosed industrial uses with 20,001 to 40,000 square feet of building space or using more than three but less than six acres of land;
 - (ii) Residential structures, 31 to 60 dwelling units;
 - (iii) Transient structures, 91 to 180 rooms for rent;
 - (iv) Unenclosed industrial uses using less than three acres of land (e.g., batch plants, quarries, sand and gravel operations, junkyards, heliports, and outside storage);
 - (v) Floating structures over 10,000 square feet.
 - (E) Class V uses, \$1,600.00. Class V uses are:
 - (i) Commercial, mixed use or enclosed industrial uses with more than 40,000 square feet of building space or using six or more acres of land;
 - (ii) Unenclosed industrial uses using three or more acres of land;
 - (iii) Residential structures, over 60 dwelling units;
 - (iv) Transient structures, over 180 rooms for rent;
 - (v) City and state projects with estimated project cost over \$2,500,000.00.
 - (4) Major subdivisions, including mobile home subdivisions.
 - (A) Preliminary plat, \$110.00 per lot;
 - (B) Final plat, \$70.00 per lot;
 - (C) Reserved;
 - (D) Plat amendment, \$110.00 plus \$25.00 per lot.
 - (5) Street vacation, \$500.00.
 - (6) Administration of developer's subdivision improvement guaranty.
 - (A) Performance bond, \$50.00;
 - (B) Deposit in escrow, \$140.00;
 - (C) Deed of trust, reconveyance, agreement or substitution of trust and reconveyance lots, \$140.00 for first lot, plus \$25.00 for each additional lot.
 - (7) Access driveways in rights-of-way, \$400.00.
 - (8) Special use or area.
 - (A) Mining.
 - (i) Exploration approval, \$200.00;
 - (ii) Small mine permit and amendment, \$1,200.00;

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- (iii) Large mine permit and amendment, \$3,600.00, plus any special fee established pursuant to section 49.65.130;
 - (iv) Technical revision \$500.00;
 - (v) Ownership transfer requests \$500.00;
 - (vi) Summary approval. The fees for a summary approval action shall be based on the classes of uses as established in 49.85.100(3).
- (B) Mobile home parks.
 - (i) Preliminary review, \$90.00 per lot or \$250.00, whichever is greater;
 - (ii) Final review, \$60.00 per lot or \$250.00, whichever is greater.
 - (C) Recreational vehicle parks, conditional use permit, \$400.00.
 - (D) Hillside development endorsement. Gross hourly rate for professional review and inspection, \$60.00.
 - (E) Planned Unit Development (PUD) and Cottage Housing.
 - (i) Preliminary plan application approval, \$400.00 plus \$80.00 per residential unit;
 - (ii) Final plan approval, \$300.00 plus \$60.00 per residential unit.
 - (F) Development in landslide or avalanche hazard area conditional use, \$400.00.
 - (G) Alternative residential subdivisions.
 - (i) Preliminary plan application review, \$400.00 plus \$80.00 per residential unit;
 - (ii) Final plan review, \$300.00 plus \$60.00 per residential unit.
 - (H) Floodplain development permit.
 - (i) Minor development, no building permit required, \$45.00.
 - (ii) Major development, building permit required, \$100.00.
 - (iii) Exception, \$400.00.
- (9) Zone changes and comprehensive plan amendments, \$600.00.
 - (10) *Variances and alternative development permits.*
 - (A) Administrative variance, \$120.00;
 - (B) Non-administrative variance, \$400.00.
 - (11) Street name change, \$400.00.
 - (12) Preparation of deed restrictions, certificates of common ownership, and similar documents, \$100.00.
 - (13) Sidewalk obstruction permit under CBJ 62.10.010: \$100.00.
 - (14) Certification of zoning compliance letters, \$150.00.
 - (15) Appeal of director's decision, refundable if applicant prevails, \$200.00.
 - (16) Fee not listed. The processing fee for any development, platting, or other land use action not specifically listed in this section shall be the fee established for the most similar action listed, as determined by the community development director.

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- (17) Fee cancellation. The director may authorize the refunding of a portion of the fee paid for a land use action when the permit application is cancelled before completion of the land use review process. The director may estimate the amount of work not completed and set the amount of the refund at that amount, less ten percent of the fee.
- (18) Wireless communication facility application fees.
- (A) Application fees required by subsection 49.65.940(b): \$350.00.
 - (B) Additional fee required for special use permit applications required by subsection 49.65.970(b)(1): \$500.00.
 - (C) Any actual costs incurred for technical expert review, publication and mailings.
- (19) Marijuana license fee, \$250.00.
- (20) Certification of nonconforming status, \$150.00; fee is waived if applied for in conjunction with a development permit.
- (21) Parking waiver, \$400.00. If the application is filed in conjunction with a major development permit the fee shall be reduced by 20 percent.
- (22) Fee in lieu, \$10,000.00 per off-street parking space required.

(Serial No. 87-49, § 2, 1987; Serial No. 91-02, § 2, 1991; Serial No. 91-42, § 2, 1991; Serial No. 92-42, § 4, 1992; Serial No. 94-24, § 2, 1994; Serial No. 95-33, § 10, 1995; Serial No. 95-40, § 5, 1996; Serial No. 96-30, § 8, 1996; Serial No. 97-04, § 2, 1997; Serial No. 97-12, § 3, 1997; Serial No. 2000-38, § 2, 10-16-2000; Serial No. 2003-07(am), § 7, 5-12-2003; Serial No. 2010-15(c), § 3, 5-19-2010; Serial No. 2014-32(e)am, § 4, 9-29-2014, eff. 10-29-2014; Serial No. 2015-03(c)(am), § 61, 8-31-2015; Serial No. 2015-38(b)(am), § 2 5-2-2016, eff. 6-2-2016; Serial No. 2017-16, § 3, 6-26-2017, eff. 7-27-2017; Serial No. 2018-04(b), § 3, 5-14-2018, eff. 6-14-2018; Serial No. 2018-41(c), § 4, 12-17-2018, eff. 1-17-2019; Serial No. 2019-37, § 8, 3-16-2020, eff. 4-16-2020; Serial No. 2021-06, § 7, 4-26-2021, eff. 5-26-2021; Serial No. 2021-19, § 10, 8-2-2021, eff. 9-1-2021; Serial No. 2022-04(b), § 5, 4-25-2022, eff. 5-26-2022; Serial No. 2021-36, § 4, 9-12-2022, eff. 10-13-2022)

49.85.110 Amendment of rates.

The manager may adjust the rates in this chapter from time to time to reflect changes in the cost of providing municipal services generally.

(Serial No. 87-49, § 2, 1987)

49.85.130 Payment of fees.

No application, petition, request or appeal for which a fee is established under this title shall be complete unless accompanied by the required fee and shall be returned unless accompanied by such fee. All fees shall be nonrefundable except, if the appellant prevails in an appeal to the assembly or if the appeal is withdrawn prior to commencement of the hearing, the appeal fee shall be refunded less \$25.00 and hearing officer expenses incurred to withdrawal.

(Serial No. 87-49, § 2, 1987)

49.85.140 Development, work, or use commencing before permit application or issuance.

- (a) Any development, work, or use for which a permit is required under this title, but for which no permit is applied for and issued prior to the commencement of the development, work, or use requiring the permit, shall be subject to processing fees in an amount double that specified in section 49.85.100 for the permit.
- (b) The director may waive processing fees in excess of those listed in section 49.85.100 upon a finding that processing the permit application will not require staff time and/or materials in excess of what would have been required to process the permit application if it had been applied for prior to commencing the development, work, or use.

(Serial No. 2009-04, § 2, 6-8-2009)

19.01.108.8 Building permit fees.

TOTAL VALUATION	FEE
\$1.00 to \$500.00	\$54.00
\$501.00 to \$2,000.00	\$54.00 for the first \$500.00 plus \$2.64 for each additional \$100.00 or fraction thereof, to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$93.60 for the first \$2,000.00 plus \$11.88 for each additional \$1,000.00 or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$366.84 for the first \$25,000.00 plus \$8.58 for each additional \$1,000.00 or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$581.34 for the first \$50,000.00 plus \$5.94 for each additional \$1,000.00 or fraction thereof, to and including \$100,000.00
\$100,001.00 to \$500,000.00	\$878.34 for the first \$100,000.00 plus \$4.62 for each additional \$1,000.00 or fraction thereof, to and including \$500,000.00
\$500,001.00 to \$1,000,000.00	\$2726.34 for the first \$500,000.00 plus \$3.96 for each additional \$1,000.00 or fraction thereof, to and including \$1,000,000.00
\$1,000,000.00 and up	\$4706.34 for the first \$1,000,000.00 plus \$2.64 for each additional \$1,000.00 or fraction thereof

(Serial No. 2009-16(b), § 2, 9-21-2009)

PART II - CODE OF ORDINANCES
TITLE 49 - LAND USE
Chapter 49.40 - PARKING AND TRAFFIC
ARTICLE II. PARKING AND LOADING

ARTICLE II. PARKING AND LOADING¹

49.40.200 General applicability.

Developers must provide off-street parking spaces for automobiles in accordance with the requirements set forth in this chapter at the time any structure is erected, expanded, or when there is a change in the principal use.

- (a) *Special parking areas.*
 - (1) *Town center parking area.* The town center parking area, as depicted in Ordinance 2022-04(b) is adopted. The town center parking area consists of the lots within the area bound by West Tenth Street, Egan Drive, West Twelfth Street, D Street, West Ninth Street, C Street and its projection, West Eight Street and its projection, the rear lot lines of property between 370 through Distin Avenue, Sixth Street and its projection, Harris Street, projection of Third Street, projection of East Street, projection of Second Street, projection of Harris Street, the rear lot lines of property between 143 and 400 Gastineau Avenue, the rear lot lines of property between 511 and 889 South Franklin Street, and Gastineau Channel.
 - (2) *No parking required area.* The no parking required area, as depicted in Ordinance 2022-04(b) is adopted. The lots within the area bound by Gastineau Avenue, Fourth Street, Seward Street, Gastineau Channel, 490 South Franklin Street, and Layton Way are excluded from the parking requirements of this chapter. No additional parking is required for development in this area.
- (b) *Conforming parking.* The requirements, alternatives and reductions of this chapter can be combined to meet parking requirements of a development.
- (c) *Developer responsibility.* Developer must submit documentation to demonstrate that applicable parking code requirements have been met, in conformance with this chapter.
- (d) *Owner/occupant responsibility.* The provision and maintenance of off-street parking and loading spaces required in this chapter is a continuing obligation and joint responsibility of the owner and occupants.
- (e) *Determination.* The determination of whether the parking requirements of this chapter are satisfied, with or without conditions, and deemed necessary for consistency with this title, must be made by:
 - (1) The director for minor development;
 - (2) The commission for major development; or

¹Sec. 2 of Serial No. 2022-04(b) , adopted April 25, 2022, repealed and reenacted art. II in its entirety to read as herein set out. Former art. II pertained to the same subject matter, consisted of §§ 49.40.200—49.40.230, and derived from Serial No. 87-49, 1987; Serial No. 89-05, 1989; Serial No. 89-33, 1989; Serial No. 92-11, 1992; Serial No. 97-49, 1997; Serial No. 2006-14(b), adopted May 15, 2006; Serial No. 2006-15, adopted June 5, 2006; Serial No. 2006-33am, adopted October 30, 2006; Serial No. 2007-18, adopted April 23, 2007; Serial No. 2009-22(b), adopted October 12, 2009; Serial No. 2010-22, adopted July 19, 2010 ; Serial No. 2015-07(b)(am), adopted February 13, 2015; Serial No. 2015-32 , adopted August 10, 2015; Serial No. 2016-14 , adopted May 2, 2016; Serial No. 2016-46 , adopted March 6, 2017; Serial No. 2018-31 , adopted June 4, 2018; and Serial No. 2019-37 , adopted March 16, 2020.

- (3) The commission if the development application relates to a series of applications for minor developments that, taken together, constitute major development, as determined by the director.
- (f) *Expansion.* In cases of expansion of a structure on or after the effective date of Ordinance 2022-04(b) :
 - (1) The number of additional off-street parking spaces required must be based on the gross floor area added.
 - (2) No additional parking spaces are required if the additional spaces would amount to less than ten percent of the total required for the development and amount to two or less spaces.
 - (3) For phased expansion, the required off-street parking spaces is the amount required for the completed development, as determined by the director.
- (g) *Change in use.* In cases of a change in use on or after the effective date of Ordinance 2022-04(b) , the number of spaces required will be based on this chapter.
- (h) *Replacement and reconstruction of certain nonconforming structures.* Off-street parking requirements for the replacement and reconstruction of certain nonconforming structures in residential districts must be governed by chapter 49.30.
- (i) *Mixed occupancy.* Mixed occupancy is when two or more of the parking uses in section 49.40.210 share the same lot(s). For mixed occupancy, the total requirement for off-street parking facilities is the sum of the requirements for the uses computed separately.
- (j) *Uses not specified.* The requirements for off-street parking in section 49.20.320 are based on the requirements for the most comparable use specified, as determined by the director for minor development or by the commission for major development.
- (k) *Location.* Off-street parking facilities must be located as provided in this chapter. If a distance is specified, such distance is the walking distance measured from the building being served to the parking provision. Off-street parking facilities for:
 - (1) Single-family dwellings and duplexes must be on the same lot as the building served;
 - (2) Multifamily dwellings may not be more than 100 feet distant, unless compliant with section 49.40.215; and
 - (3) Uses other than those specified above, may be not more than 500 feet distant, unless compliant with section 49.40.215.
- (l) *Off-street parking requirements for a lot accessible by air or water only.* Off-street parking requirements do not apply to a lot if it is accessible only by air or water. If the director determines that public access by automobile to the lot later becomes available, the owner of the property must be given notice and within one year must provide the required off-street parking.

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.40.210 Number of off-street parking spaces required.

- (a) *General.* The minimum number of off-street parking spaces required must be as set forth in the following table. The number of spaces must be calculated and rounded down to the nearest whole number:

Use	Spaces Required in All Other Areas	Spaces Required in Town Center Parking Area
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Single-family and duplex	2 per each dwelling unit	1 per each dwelling unit
Multifamily units	1 per one bedroom unit	0.4 per one bedroom unit
	1.5 per two-bedroom unit	0.6 per two-bedroom unit
	2.0 per three- or more bedroom unit	0.8 per three- or more bedroom unit
Rooming house, boardinghouse, single-room occupancies with shared facilities, bed and breakfast, halfway house, and group home	1 per 2 bedrooms	1 per 5 bedrooms
Single-room occupancies with private facilities	1 per each single-room occupancy plus 1 additional per each increment of four single-room occupancies with private facilities	1 per 5 single-room occupancies, plus 1 per each increment of ten single-room occupancies with private facilities.
Accessory apartment	1 per each unit	0 per each unit
Motel	1 per each unit in the motel	1 per each 12 units in the motel
Hotel	1 per each four units	1 per each 12 units
Hospital and nursing home	2 per bed OR one per 400 square feet of gross floor area	2 per bed OR one per 400 square feet of gross floor area
Senior housing	0.6 parking spaces per dwelling unit	0.3 spaces per dwelling unit
Assisted living facility	0.4 parking spaces per maximum number of residents	0.4 parking spaces per maximum number of residents
Sobering center	1 parking space per 12 beds	2 parking spaces
Theater	1 for each four seats	1 for each 10 seats
Church, auditorium, and similar enclosed places of assembly	1 for each four seats in the auditorium	1 for each 10 seats in the auditorium
Bowling alley	3 per alley	1.2 per alley
Bank, office, retail commercial, salon and spa	1 per 300 square feet of gross floor area	1 per 750 square feet of gross floor area
Medical or dental clinic	1 per 200 square feet of gross floor area	1 per 400 square feet of gross floor area
Funeral Home	1 per six seats based on maximum seating capacity in main auditorium	1 per 15 seats based on maximum seating capacity in main auditorium
Warehouse, storage, and wholesale businesses	1 per 1,000 square feet of gross floor area	1 per 2,500 square feet of gross floor area
Restaurant and alcoholic beverage dispensary	1 per 200 square feet of gross floor area	1 per 750 square feet of gross floor area
Swimming pool serving general public	1 per four persons based on pool capacity	1 per 10 persons based on pool capacity
Shopping center and mall	1 per 300 square feet of gross leasable floor area	1 per 750 square feet of gross floor area
Convenience store	49.65 Article V	1 per 750 square feet of gross floor area
Watercraft moorage	1 per three moorage stalls	2 per 15 moorage stalls
Manufacturing uses; research, testing and	1 per 1,000 square feet gross floor area except that office space must	1 per 2,500 square feet gross floor area except that office space must provide parking as provided for offices

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processing, assembling, industry	provide parking as required for offices	
Library and museum	1 per 600 square feet gross floor area	1 per 1,500 square feet of gross floor area
School, elementary	2 per classroom	2 per classroom
Middle school or junior high	1.5 per classroom	1.5 per classroom
High school	A minimum of 15 spaces per school; where auditorium or general assembly area is available, one per four seats; one additional space per classroom	A minimum of 15 spaces per school; where auditorium or general assembly area is available, one per four seats; one additional space per classroom
College, main campus	1 per 500 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater	1 per 500 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater
College, satellite facilities	1 per 300 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater	1 per 300 square feet of gross floor area of an enclosed area, or, where auditorium or general assembly area is available, one per four seats, whichever is greater
Repair/service station	5 spaces per bay. For facilities with two or more bays, up to 60 percent of the required non-accessible parking spaces may be in a stacked parking configuration.	3 spaces per bay. All but two of the required non-accessible parking spaces may be in a stacked configuration
Post office	1 per 200 square feet gross floor area	1 per 500 square feet of floor area
Childcare Home	49.65 Article X, cannot be varied or FIL	49.65 Article X, cannot be varied or FIL
Childcare Center	49.65 Article X, cannot be varied or FIL	49.65 Article X, cannot be varied or FIL
Indoor sports facilities, gyms	1 per 300 square feet gross floor area	1 per 750 square feet gross floor area
Mobile Food Vendors	No parking requirement	No parking requirement
Open air food service (TPU 8.3)	1 per 400 square feet of gross floor area.	Zero

- (b) *Accessible parking spaces.* Accessible parking spaces must be provided as part of the required off-street parking spaces, according to the following table (Table 49.40.210(b)). Except, Accessible parking spaces are not required for residential uses that require fewer than ten parking spaces and there are no visitor parking spaces.

Table 49.40.210(b)	
Total Parking Spaces in Lot	Required Minimum Number of Accessible Parking Spaces
1 to 25	1
26 to 50	2

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51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2 percent of total spaces
1,001 and over	20 plus 1 space for each 100 spaces over 1,100 total spaces in lot

- (c) *Facility loading spaces.* In addition to the required off-street parking requirements, a development must provide loading spaces as set forth in the following table:

Use	Gross Floor Area in Square Feet		Loading Space Required
	All other areas	Town Center Parking District	
Motels and hotels	5,000—29,999	6,000—60,000	1
	30,000—60,000		2
	Each additional 30,000	Each additional 30,000	1
Commercial	5,000—24,999	6,000—50,000	1
	25,000—50,000		2
	Each additional 30,000	Each additional 30,000	1
Industrial, manufacturing, warehousing, storage, and processing	5,000—24,999	6,000—50,000	1
	25,000—50,000		2
	Each additional 30,000	Each additional 30,000	1
Hospital	5,000—40,000	6,000—40,000	1
	Each additional 40,000	Each additional 40,000	1
School	For every two school buses		1
Home for the aged, convalescent home, correctional institution	More than 25 beds		1

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.40.215 Parking alternatives.

Parking alternatives are methods of accommodating required parking without building parking on site. A developer may apply for one or more parking alternatives. Parking alternatives may be combined with approved reductions.

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- (a) *Joint use.* Joint use occurs when the same off-street parking space is used to meet the parking requirement of different uses at different times. Joint use of off-street parking spaces may be authorized when the developer demonstrates there is no substantial conflict in the principal operating hours of the structures and uses involved and subject to the following requirements:

- (1) Any structure or use sharing the off-street parking facilities of another structure or use must be located within 500 feet of such parking facilities, unless a lesser radius is identified in this chapter. A developer may apply to provide off-street parking in an area greater than 500 feet distant, if approved by the commission.
- (2) The developer demonstrates with appropriate analysis or data that there is no substantial conflict in the principal operating hours of the structures or users for which joint use of off-street parking facilities is proposed.

The developer must present to the director a written instrument, proposed by the parties concerned, providing for joint use of off-street parking facilities. Upon approval by the director, such instrument must be recorded by the developer and documentation of recording provided to the director.

- (b) *Loading spaces off-site.* The required loading space(s) may be met by an alternative private off-site loading parking space, if the alternate space is determined by the director of adequate capacity and proximity. In no case will the distance exceed standards established in subsection 49.40.200(k).

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.40.220 Parking reductions.

A parking reduction reduces the required off-street parking spaces for a development. A developer may apply for one or more parking reductions. Accessible parking spaces must not be reduced and must be provided in accordance with subsection 49.40.210(b). Loading spaces must not be reduced and must be provided in accordance with subsection 49.40.210(c).

- (a) *Parking waivers.* The required number of parking spaces required by this chapter may be reduced if the requirements of this section are met.
- (1) *Standards.* Any waiver granted under this section must be in writing and must include the following required findings and any conditions, such as public amenities, imposed by the director or commission that are consistent with the purpose of this title:
 - (A) The effect of granting a waiver would result in more benefits than detriments to the neighboring area and community as a whole as identified by the comprehensive plan; and
 - (B) The effect of granting a waiver will not materially endanger public health, safety, or welfare.
 - (2) *Relevant information.* The following information may be relevant for the director or commission's review:
 - (A) Analysis or data relevant to the intended use and related parking demands.
 - (B) Provision for alternative transportation.
 - (C) Traffic mitigation measures supported by industry standards.
 - (D) Bicycle and pedestrian amenities.
 - (3) *Applications.* Applications for parking waivers must be on a form specified by the director and must be accompanied by a one-time fee as provided in chapter 49.85.

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- (4) *Public notice.* The director must mail notice of any complete parking waiver application to the owners of record of property located within a 250-foot radius of the site seeking the waiver. If the parking waiver application is filed in conjunction with a major development permit, notice of both applications should be made concurrently in accordance with CBJ 49.15.230.
 - (5) *Expiration.* An approved parking waiver expires upon a change in use.
 - (b) *Town center parking area, fee-in-lieu of off-street parking spaces.* In the town center parking area, a developer may pay a one-time fee in lieu of providing off-street parking spaces to satisfy the minimum parking requirements of this chapter. Fee in lieu can be used in any combination with other parking provisions of this chapter. Any fee in lieu due must be paid in full prior to the issuance of a temporary certificate of occupancy.

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.40.225 Dimensions and signage for required off-street parking spaces.

- (a) *Standard spaces.*
 - (1) Except as provided in this section, each standard parking space must consist of a generally rectangular area at least eight and one-half feet by 17 feet. Lines demarcating parking spaces may be drawn at any angle to curbs or aisles so long as the parking spaces so created contain within them the rectangular area required by this section.
 - (2) Spaces parallel to the curb must be no less than 22 feet by six and one-half feet.
- (b) *Accessible spaces.*
 - (1) Each accessible parking space must consist of a generally rectangular area at least 13 feet by 17 feet, including an access aisle of at least five feet by 17 feet. Two accessible parking spaces may share a common access aisle.
 - (2) One in every eight accessible parking spaces, but not less than one, must be served by an access aisle with a width of at least eight feet and must be designated "van-accessible."
 - (3) Accessible parking spaces must be designated as reserved by a sign showing the symbol of accessibility. "Van-accessible" parking spaces must have an additional sign designating the parking space as "van-accessible" mounted below the symbol of accessibility. A sign must be located so it cannot be obscured by a vehicle parked in the space.
 - (4) Access aisles for accessible parking spaces must be located on the shortest accessible route of travel from parking area to an accessible entrance.
- (c) *Facility loading spaces.*
 - (1) Each off-street loading space must be not less than 30 feet by 12 feet, must have an unobstructed height of 14 feet six inches, and must be permanently available for loading.

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.40.230 Parking area and site circulation review procedures.

- (a) *Purpose.* The purpose of these review procedures is to ensure that proposed parking and related site access areas provide for adequate vehicular and pedestrian access and circulation; that parking spaces are usable, safe, and conveniently arranged; that sufficient consideration has been given to off-street loading and unloading; and that the parking area will be properly drained, lighted, and landscaped.

- (b) *Plan submittal.* Development applications must include plans for parking and loading spaces. Major development applications must include plans prepared by a professional engineer or architect. These plans may be part of a plan submission prepared in conjunction with the required review of another aspect of the proposed development.

(1) *Contents.* The plans must contain the following information:

- (A) Parking and loading space plans drawn to scale and adequate to show clearly the circulation pattern and parking area function;
- (B) Existing and proposed parking and loading spaces with dimensions, traffic patterns, access aisles, and curb radii;
- (C) Improvements including roads, curbs, bumpers and sidewalks indicated with cross sections, designs, details, and dimensions;
- (D) A parking schedule indicating the number of parking spaces required, the number provided, and how such calculations were determined;
- (E) Topography showing existing and proposed contour intervals; and
- (F) Landscaping, lighting and sign details, if not provided in conjunction with the required review of another aspect of the proposed development.

(2) *Waiver of information.* The director may waive submission of any required exhibits.

- (c) *Review procedure.* Plans must be reviewed and approved according to the procedures of this chapter and chapter 49.15.
- (d) *Public improvements required.* As a condition of plan approval, the department may require a bond approved as to form by the municipal attorney for the purpose of ensuring the installation of off-site public improvements. As a condition of plan approval, the applicant is required to pay the cost of providing reasonable and necessary public improvements located outside the property limits of the development but necessitated by construction or improvements within such development.

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

49.40.235 Parking and circulation standards.

- (a) *Purpose.* Provisions for pedestrian and vehicular traffic movement within and adjacent to the site must address layout of parking areas, off-street loading and unloading needs, and the movement of people, goods, and vehicles from access roads, within the site, and between buildings and vehicles. Parking areas must be landscaped and must feature safely arranged parking spaces.

(b) *Off-street parking and loading spaces; design standards.*

- (1) *Access.* There must be adequate ingress and egress from parking spaces. The required width of access drives for driveways must be determined as part of plan review depending on use, topography and similar considerations.
- (2) *Size of aisles.* The width of aisles providing direct access to individual parking stalls must be in accordance with the following table. Other angles may be approved by the director that satisfy the needs of this chapter.

Parking Angle	0°	30°	45°	60°	90°
One-way traffic aisle width	13'	11'	13'	18'	24'

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Two-way traffic aisle width	19'	20'	21'	23'	24'
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- (3) *Location in different zones.* No access drive, driveway or other means of ingress or egress may be located in any residential zone if it provides access to uses other than those permitted in such residential zone.
- (4) *Sidewalks and curbing.* Sidewalks must be provided with a minimum width of four feet of passable area and must be raised six inches or more above the parking area except when crossing streets or driveways. Guardrails and wheel stops permanently anchored to the ground must be provided in appropriate locations. Parked vehicles must not overhang or extend over sidewalk areas, unless an additional sidewalk width of two feet is provided to accommodate such overhang.
- (5) *Stacked parking.* Stacked parking spaces may only be counted as required parking spaces for single-family residences, duplexes, and as otherwise specified for specific uses. In the case of single-family residences and duplexes with or without accessory uses and child care homes in a residential district, only a single parking space per dwelling unit may be a stacked parking space.
- (6) *Back-out parking.* Parking space aisles must provide adequate space for turning and maneuvering on-site to prevent back-out parking onto a right-of-way. If the director or the commission, when the commission has authority, determines back-out parking would not unreasonably interfere with the public health and safety of the parking space aisles and adjacent right-of-way traffic, back-out parking is allowed in the following circumstance:
 - (A) In the case of single-family dwellings and duplexes with or without accessory uses located in residential and rural reserve zoning districts;
 - (B) Where the right-of-way is an alley; or
 - (C) In the case of a child care home in a residential district.
- (c) *Drainage.*
 - (1) Parking areas must be suitably drained.
 - (2) Off-site drainage facilities and structures requiring expansion, modification, or reconstruction in part or in whole as the result of the proposed development must be subject to off-site improvement requirements and standards as established by the city.
- (d) *Lighting.* Parking areas must be suitably lighted. Lighting fixtures must be "full cutoff" styles that direct light only onto the subject parcel.
- (e) *Markings and access.* Parking stalls, driveways, aisles and emergency access areas and routes must be clearly marked.
- (f) *General circulation and parking design.*
 - (1) Parking space allocations must be oriented to specific buildings. Parking areas must be linked by walkways to the buildings they serve.
 - (2) Where pedestrians must cross service roads or access roads to reach parking areas, crosswalks must be clearly designated by pavement markings or signs. Crosswalk surfaces must be raised slightly to designate them to drivers, unless drainage problems would result.

(Serial No. 2022-04(b) , § 2, 4-25-2022, eff. 5-26-2022)

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