




**DATE:** September 16, 2024  
**TO:** Mandy Cole, Chair, Planning Commission  
**BY:** David M Peterson, Planner II   
**THROUGH:** Scott Ciambor, Planning Manager  
**PROPOSAL:** Final Plat approval for the ten (10) lot Silver Acres Subdivision in accordance with the conditions outlined in SMP2024-0002.

**STAFF RECOMMENDATION:** Approval

**KEY CONSIDERATIONS FOR REVIEW:**

- Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
- Applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.
- Applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.
- CDD will work with the developer to develop a plat note that will care for public access along the existing utility easement.
- Plat notes added per SMP2024-0002, Notice of Decision (NOD), dated August 5, 2024.

**ALTERNATIVE ACTIONS:**

1. **Amend:** amend the approval to require conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-3 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

**ASSEMBLY ACTION REQUIRED:**

Assembly action is not required for this permit.

**STANDARD OF REVIEW:**

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
  - CBJ 49.15.402
  - CBJ 49.15.412
  - CBJ 49.35.140
  - CBJ 49.55.010
  - CBJ 49.80

GENERAL INFORMATION	
Property Owner	Shawn Kantola
Applicant	Shawn Kantola
Property Address	Silver Street
Legal Description	BLACK BEAR LT 3
Parcel Number	4B2601020043
Zoning	D3
Lot Size	435,600 square feet/10.00 acres
Water/Sewer	CBJ water/sewer provided
Access	Silver Street
Existing Land Use	Vacant
Associated Applications	None

**SITE FEATURES AND ZONING**



SURROUNDING ZONING AND LAND USES	
North (D3)	Residential
South (D1)	Vacant
East (D1)	Vacant
West (D1)	Vacant

SITE FEATURES	
Anadromous	N/A
Flood Zone	N/A, Per Panel 02110C110C1238E
Hazard	N/A
Hillside	N/A
Wetlands	N/A
Parking District	N/A
Historic District	N/A
Overlay Districts	Mining and Exploration Surface Activities Exclusion District.

**The Commission shall hear and decide the case per CBJ 49.15.400(a) - Purpose and applicability.** The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.

**And per CBJ49.15.402(a) - A major subdivision permit is required for subdivisions resulting in 14 or more lots.**

**BACKGROUND INFORMATION**

**Project Description** – The applicant has requested approval for the Final Plat of the Silver Acres Subdivision. This review addresses the final plat for the subdivision. Property taxes and bonding for required improvements are still pending. The revised final plat complies with all other conditions outlined in the Notice of Decision for SMP2024-0002.

The Preliminary Plat was approved with conditions under the Notice of Decision for case SMP2024-0002, signed by Chairperson Mandy Cole on August 5, 2024.

**Background -**

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
NOD SMP2024-0002	The Notice of Decision, approving the Silver Acres Subdivision, with conditions, was approved on August 5, 2024, and signed by Chairperson, Mandy Cole. <b>(Attachment E)</b>
SMP2024-0002	A preliminary plat for the Silver Acres Subdivision, proposing ten (10) lots, was submitted to the Planning Commission on May 14, 2024. The development includes three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 and 10 may be further subdivided into private shared access subdivisions in the future. <b>(Attachment F)</b>
PAC2024-0006	A Pre-Application Conference was held on January 31, 2024. It was determined that the proposed subdivision would be part of a phased development, potentially yielding sixteen (16) or more lots, and should therefore be considered a Major Subdivision. <b>(Attachment A pg.11)</b>

**ANALYSIS**

**Compliance with Title 49** - The revised final plat meets the requirements of 49.15.402 for Major Subdivisions as well as the requirements set forth in 49.15.412 for the Final Plat requirements.

**Preliminary Plat Conditions of Approval -**

Condition	Status	Summary
Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Certification from the CBJ Treasurer has been received <b>(Attachment G)</b> .
Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	A full set of construction plans for the development of the Silver Street cul-de-sac and utilities, along with a drainage report

Condition	Status	Summary
review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.		prepared by Pro HNS LLC has been submitted ( <b>Attachments C &amp; D</b> ).
Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Applicant has provided a financial guarantee in accordance with CBJ 49.55.010, with bond number: XXXXXXXXXX ( <b>Attachment XXXX</b> )
Prior to approval of final plat, CDD will work with the developer to develop a plat note that will care for public access along the existing utility easement.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	A plat note was approved by the City and Borough of Juneau Legal department that ensures public access along the existing utility easement ( <b>See note 17 of Attachment B</b> ).
Plat Notes to be included from Notice of Decision.	<input checked="" type="checkbox"/> Met <input type="checkbox"/> Unmet <input type="checkbox"/> On-going	Plat notes added per SMP2024-0002, Notice of Decision, dated August 5, 2024, have been added to the Final Plat for SMF20204-0002 ( <b>See Notes 10-16 in Attachment B</b> ).

**AGENCY REVIEW**

CDD conducted an agency review comment period between August 6, 2024 – August 20, 2024. The agencies consulted were: CBJ General Engineering, CBJ Cartography, CBJ Zoning, and Capital City Fire and Rescue. None of the agencies expressed any concerns with the final plat or construction drawings.

**PUBLIC COMMENTS**

CDD conducted a public comment period between August 23, 2024 – September 10, 2024. Public notice was mailed to property owners within 500 feet of the subject parcel. A public notice sign was also posted on-site two weeks prior to the scheduled hearing. The Southeast Alaska Land Trust (SEALT) submitted concerns regarding the proposed development proximity to the Montana Creek Wetlands mitigation site. See **Attachment J**.

**FINDINGS**

**Final plat approval criteria** - Per CBJ 49.15.402(f)(3) the Director makes the following findings:

**1. *Has the applicant complied with any conditions or plat notes as required in the notice of decision approving the preliminary plat?***

**Analysis:** The Applicant has bonded for the improvements as outlined in the construction plans, has paid the property taxes for the calendar year, and made the requested revisions to the final plat.

**Finding: Yes.** All conditions of preliminary plat approval have been met.

**2. *Has the applicant constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010?***

**Analysis:** Per Title 49 the major subdivision would require paving the Silver Street spur and new cul-de-sac, with appropriate water and sewer improvements.

**Finding: Yes.** The applicant has provided a financial guarantee.

**3. *Does the final plat meet the standards set forth in CBJ 49.15.412 for final plats?***

**Analysis:** Capital City Fire and Rescue, Cartography, Zoning, General Engineering, and Streets have all reviewed and approved the proposed Final Plat (**Attachment B**).

**Finding: Yes.** The final plat complies with CBJ 49.15.415 Final Plat Standards.

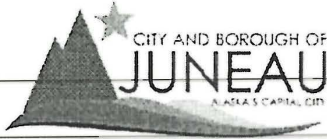
**RECOMMENDATION**

Staff recommends APPROVAL of the Final Plat, with the conditions that full payment of property taxes, and the construction of, or establishment of bonding for improvements prior to final plat recording. The permit would allow for recording of the Final Plat for the Silver Acres subdivision that will create ten (10) lots. The subdivision includes three (3) panhandle lots and one (1) private shared access serving four (4) lots. The purpose of the Final Plat Review is to ensure that the plat has been revised to comply with the conditions outlined in the Notice of Decision (NOD) for SMP2024-0002. (**Attachment E**)

**STAFF REPORT ATTACHMENTS**

Item	Description
Attachment A	Application Packet
Attachment B	Final Plat
Attachment C	Construction Plans
Attachment D	Final Drainage Report
Attachment E	SMP2024 0002 Preliminary Plat Notice of Decision
Attachment F	Staff Report for SMP2024 0002 Preliminary Plat
Attachment G	2024 Certificate of Taxes Paid

Item	Description
Attachment H	Abutters Notice
Attachment I	Image of Public Notice Sign
Attachment J	Public Comments
Attachment L	Agency Comments



# DEVELOPMENT PERMIT APPLICATION


**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address <b>NHN Silver St.</b>		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <b>Lot 3 Black Bear Subdivision</b>		
	Parcel Number(s) <b>4B2601020043</b>		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER/ LESSEE</b>		
	Property Owner <b>Shawn Kantola</b>	Contact Person <b>Shawn Kantola</b>	
	Mailing Address <b>8287C Garnet St.</b>	Phone Number(s) <b>907-209-3900</b>	
	E-mail Address <b>shawnkantola@yahoo.com</b>		
	<b>LANDOWNER/ LESSEE CONSENT</b>		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
<b>Shawn Kantola</b> Landowner/Lessee (Printed Name)		<b>Landowner</b> Title (e.g.: Landowner, Lessee)	
X  Landowner/Lessee (Signature)		<b>03/13/2024</b> Date	
_____ Landowner/Lessee (Printed Name)		_____ Title (e.g.: Landowner, Lessee)	
X _____ Landowner/Lessee (Signature)		_____ Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
<b>APPLICANT</b>			
Applicant (Printed Name) <b>SAME</b>		Contact Person _____	
Mailing Address _____		Phone Number(s) _____	
E-mail Address _____			
X  Applicant's Signature		_____ Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number <b>SMF24-02</b>	Intake Initials 
Date Received <b>7/29/24</b>	



# SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

COMMUNITY DEVELOPMENT

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

**PROJECT SUMMARY**  
Finish the Silver St. stub st and add a Cul-de-sac to access 10 new residential lots.

Number of Existing Parcels 1      Total Land Area 10 Acres      Number of Resulting Parcels 10

**HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS**

NO       YES Case Number \_\_\_\_\_

**TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED**

**MINOR DEVELOPMENT**  
(changing or creating 13 or fewer lots)

Preliminary Plat (MIP)

Final Plat (MIF)

Panhandle Subdivision

Accretion Survey

Boundary Adjustment

Lot Consolidation (SLC)

Bungalow Lot Subdivision

Common Wall/Zero Lot Subdivision

Other \_\_\_\_\_

**MAJOR DEVELOPMENT**  
(changing or creating 14 or more lots)

Preliminary Plat (SMP) *SMP24-02*

Final Plat (SMF)

Preliminary Development Plan – PUD (PDP)

Final Development Plan – PUD (PDF) Preliminary

Development Plan – ARS (ARP) Final

Development Plan – ARS (ARF)

Bungalow Lot Subdivision

Common Wall/Zero Lot Subdivision

Other \_\_\_\_\_

**ALL REQUIRED DOCUMENTS ATTACHED**

Pre-application conference notes ✓

Narrative including: ✓

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist ✓

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>700<sup>00</sup></u>		<i>70 per lot, 49.89.100(4)</i>	
Admin. of Guarantee	\$ _____			
Adjustment	\$ <u>150</u>		<i>public notice sign</i>	
<b>Total Fee</b>	\$ _____			

For assistance filling out this form, contact the Permit Center at 586-0770.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Case Number <i>SMF24-02</i>	Date Received <i>7/29/24</i>
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CBJ Permit Department

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03/13/2024

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Preliminary Plat Application for a Major Subdivision:

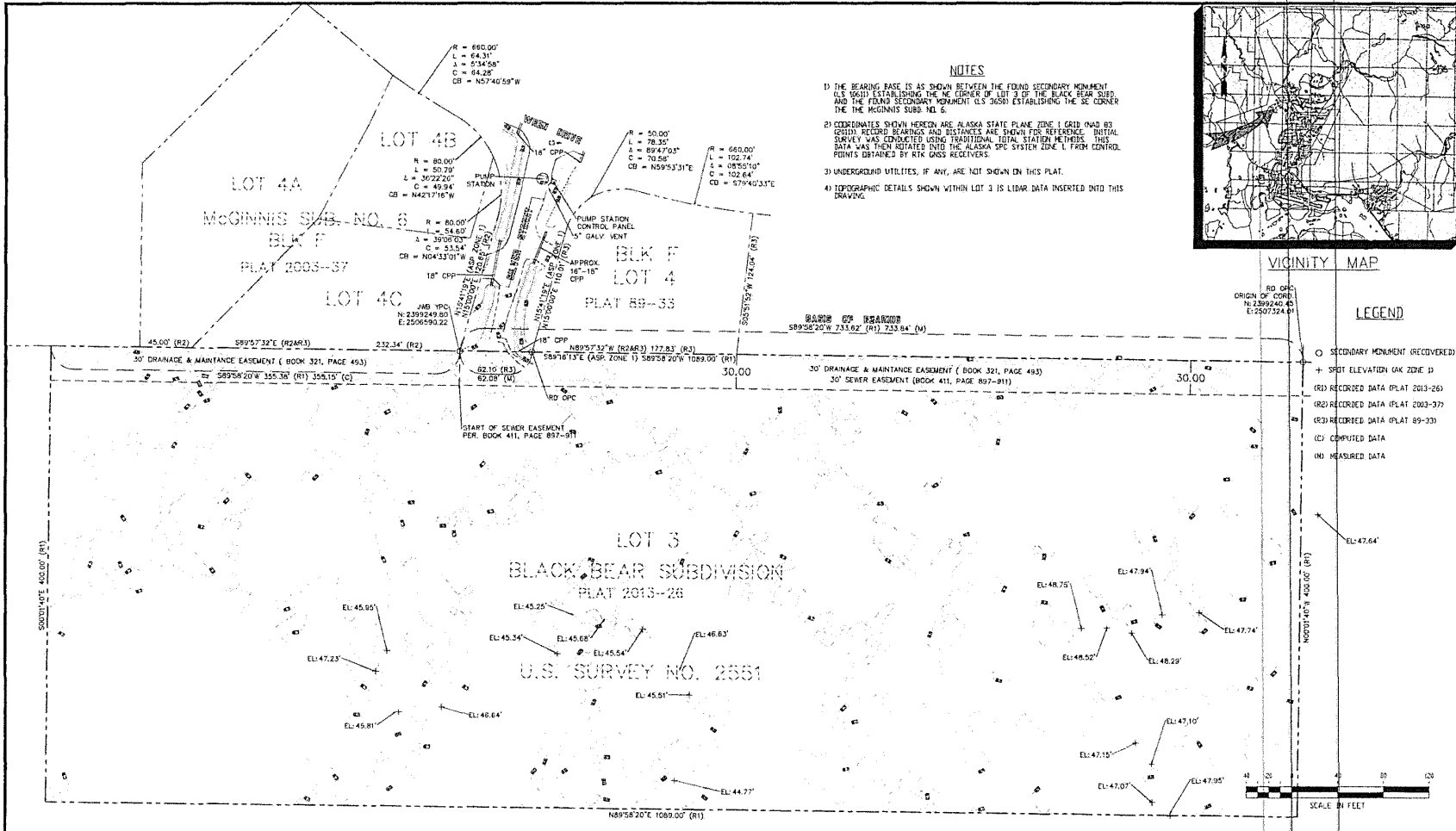
I am the owner of the property located at NHN Silver St. parcel #4B2601020043. Legal description: lot 3, Black Bear Subdivision. The site is currently vacant with no improvements (except the drainage and sewer easement shown in the plat). The property is zoned D-3 and is currently accessed by the Silver St. stub. With this subdivision I am proposing to bring the stub street up to city standards, and build a small public ROW cul-de-sac onto this lot. The proposed subdivision would result in a total of ten lots (four of them would be accessed via a private shared access). Lots 9 & 10 are large enough to potentially later subdivided into Private Shared access subdivisions.

There are public water and sewer available at Wren Dr/Silver St. and I would extend both onto this parcel and provide services to each of the proposed lots.

Please let me know if there are any questions or if there is any additional information needed.

Shawn Kantola

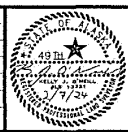
907-209-3900



**NORTH 57\***  
**LAND SURVEYING LLC**  
0927 747-6700 215-F SMITH STREET, SITKA, AK  
8800 GLACIER HWY, SUITE 224 1/2, JUNEAU, AK 99801  
MAILING ADDRESS - 2007 CASCADE CREEK ROAD, SITKA, AK 99825  
EMAIL: north57landsurveying@yahoo.com

NO.	DATE	BY	DESCRIPTION OF CHANGE
10	1/24/24	H1	INCLUSION OF LIBAR DATA AND EASEMENT UPDATE
11		CEV	DESCRIPTION OF CHANGE

RECORD OF REVISIONS



DESIGNED & DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
DATE OF PLAT: JUL 11, 2013 1:32:43  
SCALE: 1" = 40'  
DRAWING NAME: 40497-01  
PROJECT NO: 40497-01-00

**SURVEYOR'S CERTIFICATE**  
I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT ON July 2023, A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

2/7/24  
[Signature]  
S.D.

**AS-BUILT / TOPO SURVEY**  
LOT 3 OF THE BLACK BEAR SUBDIVISION AND PART OF THE SILVER STREET ROW.  
JUNEAU, AK 99801  
CLIENT: SHAWN KENTOLA



## PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: Silver Acres Subdivision

The following items must be included with the initial submittal of a Preliminary Plat:

- Application, filled out completely
- Application fee (see fee schedule)
- Project Narrative
- Five (5) – 24" by 36" Copies
- Pre-application Conference Report
- Lot Closure Report
- Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.



Applicant or Surveyor - Signature

3-13-24

Date

Shawn Kantola

Applicant or Surveyor - Print Name

### GENERAL REQUIREMENTS

- The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- The preliminary plat shall be oriented with north toward the top of the sheet.
- A vicinity map shall be located in the upper right-hand corner of the sheet
- The vicinity map shall be oriented in the same direction as the plat
- A suitable north arrow shall be shown for the plat and vicinity map
- All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

### GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

**Title block** - An enclosed title block in the lower right-hand corner containing the following information:

- The proposed name of the subdivision
- The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- "City and Borough of Juneau, Alaska"
- "State Recorder's Office at Juneau"
- The date the preliminary plat was prepared and revised
- The horizontal scale
- The name and address of the owner of record
- The name, address, and telephone number of the surveyor preparing the preliminary plat

**Lot, block, and street information:**

- The area of each lot
- The dimensions in feet and hundredths of a foot
- An identifying number and letter for lots and blocks
- Lots numbered consecutively, commencing with the number "1," with no omissions or duplications
- If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- Abutting properties shall be shown with dashed lines, numbers, and/or letters
- For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
  - The minimum data shown for each curve shall be as follows:
    - Length
    - Central angle
    - Radius
    - Bearing and distance of long chord
  - Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

**Boundary lines:**

- All boundary lines of the subdivision with bearings and distances described
- All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

**Monumentation:**

- The monuments used to establish the basis of bearing
- Each monument found or set shall be identified on the plat by a symbol
- A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- A legend showing the symbols for all the types of monuments
- The identification, description location, elevation, and datum of the benchmark used to establish vertical control

**Site access, circulation, and utilities:**

- The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- Proposed rights-of-way, including their widths and proposed names
- The grades of existing and proposed streets within these rights-of-way
- The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- The width, ownership, and use of all proposed easements

Preliminary Plat Checklist

Updated 1/2018

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- All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- Proposed trails or pathways and widths of their rights-of-way
- If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

**Topographic information:**

- For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- For slopes between five percent and ten percent, show two foot contour lines
- For slopes greater than ten percent, show five foot contour lines
- Every fifth elevation contour shall be distinctive and clearly labeled
- Dashed lines shall represent existing contours
- Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
  - Pad elevations and drainage patterns for each lot
  - Tops and toes of all manufactured slopes, including daylight lines
  - Existing and proposed retaining wall locations and heights
- For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

**Sewer and water:**

- Existing sewer and water mains within the tract with pipe sizes and grades
- A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

**Multisheet plats:**

- When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
  - North arrow
  - Legend
  - Surveyor's seal and signature
  - Title block
  - Sheet \_\_\_\_\_ of \_\_\_\_\_
  - Scale
  - All plat notes
  - Vicinity map

I:\FORMS\PLANFORM\Subdivision Preliminary Plat Checklist to accompany application 2018.docx

~~**ADDITIONAL MAPPING OR REPORTS-** At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted:~~

**Hazard and Special Habitat Areas:**

- Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

**Soils report:**

- A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
  - Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
  - The location and size of drain fields for each lot
  - The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
  - If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
  - The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

**Drainage report:**

- A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
  - A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
  - How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
  - An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
  - All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

**Water:**

- For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
  - If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

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A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III

A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands

This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.

The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

**Erosion control:**

A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

**Traffic study:**

A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

**Shadow plats:**

For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

**NOTES**

- 1 THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1/10,000
- 2 ALL DIMENSIONS ARE MEASURED IN U.S. SURVEY FEET
- 3 SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD
- 4 DOMESTIC WATER AND SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES
- 5 THIS SUBDIVISION IS WITHIN THE CITY AND BOROUGH OF JUNEAU AND IS SUBJECT TO TAXATION AT THE TIME OF THE SURVEY
- 6 RECORD INFORMATION FOR THIS SUBDIVISION IS DERIVED FROM THE OFFICIAL PLAT OF THE BLACK BEAR SUBDIVISION PLAT NO. 2013-25 JRD - A PLAT OF BLACK BEAR SUBDIVISION, BETWEEN RECOVERED US GENERAL LAND OFFICE BRASS CAP MONUMENTS MARKING A PORTION OF THE NORTHERLY BOUNDARY OF U.S. SURVEY 2551.
- 7 RECORD DIMENSIONS ARE IN PARENTHESES AND REFERENCED TO RECORD PLAT (R), WHERE RECORD AND MEASURED MATCH, NO PARENTHESES ARE SHOWN
- 8 THE PRIVATE SHARED ACCESS, DRAINAGE AND UTILITY EASEMENT CREATED WITH THIS PLAT IS FOR THE BENEFIT OF LOTS 4, 5, 6 AND 7 OF THIS SUBDIVISION. THIS EASEMENT IS INTENDED TO DEPART FROM THE SILVER STREET ROW AS SHOWN WITH 5' SOUTHWAY OF, AND BE PARALLEL TO THE NORTHERLY PROPERTY LINE OF LOTS 4, 5, 6 AND 7.
- 9 SEE RECORD BOOK NO. 321 (K) 433 JRD REGARDING THE 30' DRAINAGE AND MAINTENANCE EASEMENT ACROSS THE NORTHERLY LINE OF U.S. SURVEY 2551. THE PORTION OF DRAINAGE EASEMENT LOCATED WITHIN THE NEARLY DEDICATED PORTION OF SILVER STREET IS RELINQUISHED.
- 10 SEE RECORD BOOK NO. 411 (K) 497 REGARDING THE 30' PUBLIC SEWER EASEMENT THAT IS CONJUNCTIVE WITH THE 30' DRAINAGE EASEMENT DESCRIBED IN NOTE 7. THIS PLAT THE PORTION OF SEWER EASEMENT LOCATED WITHIN THE SILVER STREET ROW DEDICATED THIS PLAT IS RELINQUISHED.

**OWNERSHIP CERTIFICATE**

I/VE HEREBY CERTIFY THAT WE ARE THE OWNERS OF LOT 3 BLACK BEAR SUBDIVISION (SHOWN AND DESCRIBED HEREON, AND THAT I/VE HEREBY ADOPTED THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC USE PRIVATE USE AS NOTED.

DATE: \_\_\_\_\_ 2024 DATE: \_\_\_\_\_ 2024  
 DUVAN KANTOLA HEIDI KANTOLA

**NOTARY ACKNOWLEDGEMENT**  
 UNITED STATES OF AMERICA  
 STATE OF ALASKA

THIS IS TO CERTIFY THAT ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2024, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED DUVAN KANTOLA, HEIDI KANTOLA, TO ME KNOWN TO BE THE PEOPLE DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED, WITH MY HAND AND OFFICIAL SEAL THIS DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA  
 MY COMMISSION EXPIRES \_\_\_\_\_

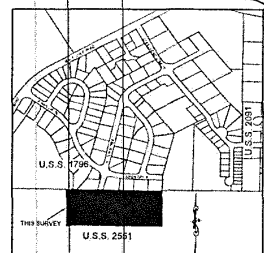
**BASIS OF BEARING**

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF N 89°58'20" E AS SHOWN ON PLAT NO. 2013-25 JRD - A PLAT OF BLACK BEAR SUBDIVISION, BETWEEN RECOVERED US GENERAL LAND OFFICE BRASS CAP MONUMENTS MARKING A PORTION OF THE NORTHERLY BOUNDARY OF U.S. SURVEY 2551.

**COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL**

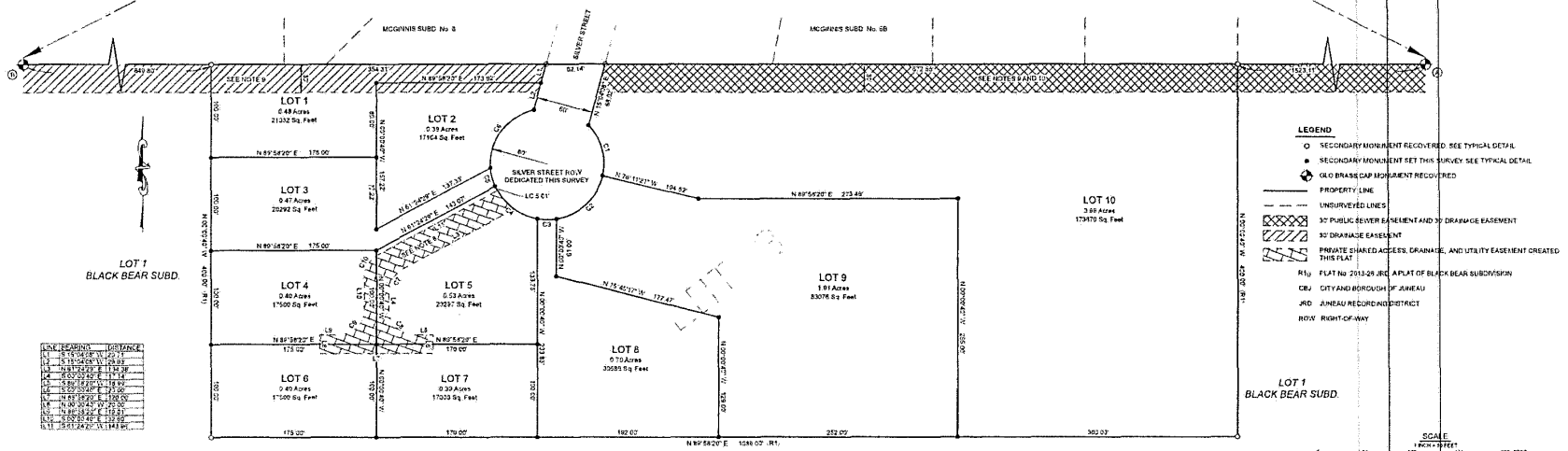
I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO CONFORM WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATE: \_\_\_\_\_ 2024  
 JILL LAPHORNE, DIRECTOR  
 CITY & BOROUGH OF JUNEAU  
 DEPARTMENT OF COMMUNITY DEVELOPMENT  
 ATTEST  
 MUNICIPAL CLERK  
 CITY AND BOROUGH OF JUNEAU



VICINITY MAP - JUNEAU, ALASKA  
 SOURCE: CITY AND BOROUGH OF JUNEAU GIS  
 NOT TO SCALE

BASIS OF BEARING N 89°58'20" E 3261.90' (R1)

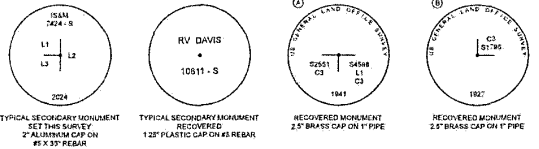


LINE	BEARING	DISTANCE
L1	N 89°58'20" E	3261.90
L2	S 89°58'20" W	173.00
L3	N 89°58'20" E	173.00
L4	S 89°58'20" W	173.00
L5	N 89°58'20" E	173.00
L6	S 89°58'20" W	173.00
L7	N 89°58'20" E	173.00
L8	S 89°58'20" W	173.00
L9	N 89°58'20" E	173.00
L10	S 89°58'20" W	173.00

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 89°58'20" E	3261.90	L11	N 89°58'20" E	3261.90
L2	S 89°58'20" W	173.00	L12	S 89°58'20" W	173.00
L3	N 89°58'20" E	173.00	L13	N 89°58'20" E	173.00
L4	S 89°58'20" W	173.00	L14	S 89°58'20" W	173.00
L5	N 89°58'20" E	173.00	L15	N 89°58'20" E	173.00
L6	S 89°58'20" W	173.00	L16	S 89°58'20" W	173.00
L7	N 89°58'20" E	173.00	L17	N 89°58'20" E	173.00
L8	S 89°58'20" W	173.00	L18	S 89°58'20" W	173.00
L9	N 89°58'20" E	173.00	L19	N 89°58'20" E	173.00
L10	S 89°58'20" W	173.00	L20	S 89°58'20" W	173.00

- LEGEND**
- SECONDARY MONUMENT RECOVERED - SEE TYPICAL DETAIL
  - SECONDARY MONUMENT SET THIS SURVEY - SEE TYPICAL DETAIL
  - ⊙ BRASS CAP MONUMENT RECOVERED
  - PROPERTY LINE
  - UNSURVEYED LINES
  - 30' PUBLIC SEWER EASEMENT AND 30' DRAINAGE EASEMENT
  - 30' DRAINAGE EASEMENT
  - PRIVATE SHARED ACCESS, DRAINAGE, AND UTILITY EASEMENT CREATED WITH THIS PLAT
  - R1U PLAT NO. 2013-25 JRD - A PLAT OF BLACK BEAR SUBDIVISION
  - CBU CITY AND BOROUGH OF JUNEAU
  - JRD JUNEAU RECORDING DISTRICT
  - ROW RIGHT-OF-WAY

**MONUMENT DETAILS**  
 NOT TO SCALE



**SURVEYOR'S CERTIFICATE**

I, TIMOTHY S. VENEZIO, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THE PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, AND THAT TO THE BEST OF MY KNOWLEDGE ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: \_\_\_\_\_



A PLAT OF  
**SILVER ACRES SUBDIVISION**  
 A SUBDIVISION OF  
 LOT 3 BLACK BEAR SUBDIVISION  
 RECORD PLAT NO. 2013-25 JRD  
 WITHIN U.S. SURVEY NO. 2551  
 LOCATED WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
 JUNEAU RECORDING DISTRICT  
 STATE RECORDERS OF DEEDS AT ANCHORAGE -  
 CBU CASE NUMBER: M2024-1950

DESIGNED BY: DUVAN KANTOLA  
 PLAT NUMBER: 2024-1950  
 CHECKED BY: HEIDI KANTOLA  
 DATE: 05/23/2024

DRAWN BY: TRV DATE: 05/23/2024 SHEET: 1 OF 1





(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

**Silver St. Subdivision**

Case Number: PAC2024 0006  
 Applicant: Shawn Kantola  
 Property Owner: Shawn Kantola  
 Property Address: TBD/Silver Street  
 Parcel Code Number: 4B2601020043  
 Site Size: 435,000 square feet/10.00 acres  
 Zoning: D3 – Single Family/Duplex  
 Existing Land Use: Vacant

Conference Date: January 31, 2024  
 Report Issued: February 28, 2024  
**DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.**

**List of Attendees**

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Shawn Kantola	Applicant	<a href="mailto:ShawnKantola@yahoo.com">ShawnKantola@yahoo.com</a>
David Peterson	Planning	<a href="mailto:David.Peterson@juneau.gov">David.Peterson@juneau.gov</a>
Sydney Hawkins	Permitting	<a href="mailto:Sydney.Hawkins@juneau.gov">Sydney.Hawkins@juneau.gov</a>
Bridget LaPenter	General Engineering	<a href="mailto:Bridget.LaPenter@juneau.gov">Bridget.LaPenter@juneau.gov</a>
Jill Lawhorne	CDD Director	<a href="mailto:Jill.Lawhorne@juneau.gov">Jill.Lawhorne@juneau.gov</a>

## Conference Summary

What will the improvement requirements be? i.e. Sidewalks, water/sewer, etc...

What type of development would this be considered?

Would the director approve the substandard lot width for the Lots on the cul-de-sac based on the wetness of the lot?

## Project Overview

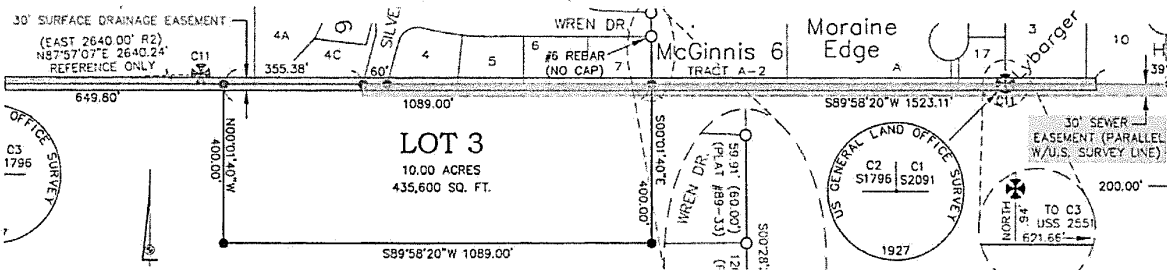
The owner of the property located at NHN Silver Street, Parcel #4B2601020043 is proposing changes to the original proposal outlined in PAC2023-0039. The proposal includes finishing the stub street (Silver Street) and creating a public Right of Way (ROW) complete with cul-de-sac. The plan involves eight lots in total, with future plans to subdivide lots 7 and 8 into Private Shared access subdivisions.

Per 49.15.220(1) - Unless otherwise specified in this title, minor development shall require department approval. If the director determines that a series of applications for minor developments, taken together, constitute a major development, the applications shall be subject to the appropriate major development permit procedures and standards.

Per 49.15.402(a) – A major subdivision permit is required for subdivisions resulting in 14 or more lots.

The Director is classifying this as a major subdivision as the endgame of the subdivision would be a potential phased development of 14 lots, or more depending on the future requirements of Division 2, 49.35.260 - Private Shared Access code.

NOTE: There is a Surface Drainage Easement that was incorrectly platted per Book 321 page 493 which refers to the easement as being south of the common boundary. Plat 2013-26 shows it straddling the property line, in error. Per plat 2013-26, a 30' surface drainage easement was recorded on the plat, but the property owners did not authorize the easement (Lots 4A, 4C, 4, 5, 6, and 7).



## Planning Division

### 1. Zoning – Lot 3 is zoned D3.

- a. Per Title 49, Table of Dimensional Standards: 49.25.400 - D3 zoning requirements include:
  - i. Standard lot size = 12,000 square feet; Bungalow lot size = 6,000 square feet.  
Duplex lot size = 18,000 square feet.
  - ii. Lot Width = Standard = 100 feet; Bungalow = 50 feet.
  - iii. Maximum Lot Coverage: Permissible/Conditional = 35%.

### 2. Table of Permissible Uses –

- a. Per Title 49, Table of Permissible Uses, 49.25.300, and the Table of Dimensional Standards, 49.25.400, a D3 Zoned area is allowed:
  - i. Up to two (2) dwellings per lot with a 1,000 square foot (or 50% of the primary dwelling

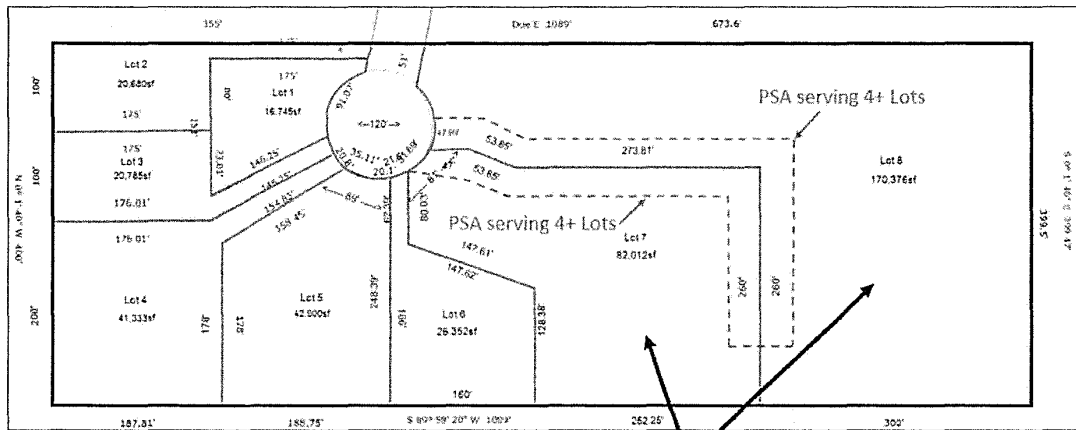
unit's net floor area) accessory apartments are permitted when lot is 250% of the minimum required lot size (30,000 square feet).

ii. Up to two (2) dwellings per lot without accessory apartments are permitted when lot is 200% of the minimum required lot size (24,000 square feet).

iii. A single-family detached dwelling with a 1,000 square foot apartment (or 50% of the primary dwelling unit's net floor area) accessory apartment when lot is 125% of the minimum lot size (15,000 square feet).

iv. A single-family detached dwelling with an accessory apartment of with a net square footage of 600 square feet will need to be 100% of the minimum lot size (12,000 square feet).

**3. Subdivision –**



Lots to be subdivided into 4 (or more) lots

4. **Setbacks** – Per 49.25.400, Note 3, of the Table of Dimensional Standards: Where one district abuts another, the greater of the two setbacks is required for both uses on the common property line. The lot is bound by another lot that is zoned D1, and the D1 setbacks apply along these shared lot lines.

Standard		Requirement D3 Zoning	Requirement D1 Zoning
Setbacks	Front	25 ft.	25 ft.
	Rear	25 ft.	25 ft.
	Side	10 ft.	15 ft.
	Side	10 ft.	15 ft.
	Street Side	17 ft.	17 t.

5. **Height** – Permissible uses 35 feet: Accessory/Bungalow uses 25 feet.

**6. Access –**

a. Per T49 section 49.35.250(a) – Access – Principal access to the subdivision. The department shall designate one right-of-way as principal access to the entire subdivision. Such Access, if not already accepted for public maintenance, shall be improved to the applicable standards for public acceptance and maintenance. It shall be the responsibility of the Subdivider to pay the cost of the right-of-way improvements.

- b. 49.35.250(b) – Access – All Lots must satisfy the minimum frontage requirement and have direct and practical access to the right-of-way through the frontage. The minimum frontage requirement on a right-of-way is 30 feet or the minimum lot width for the zoning district or use as provided in CBJ T49 49.25.400.
- (1) Dedication of a new right-of-way with construction of the street to public standards. This street must connect to an existing publicly maintained street;
  - (2) Use of an existing publicly maintained street;
  - (3) Upgrading the roadway within an existing right-of-way to public street standards. This existing right-of-way must be connected to another publicly maintained street; or
  - (4) A combination of the above.
- b. Silver Street stub is not a maintained CBJ ROW and will need to be improved to CBJ right-of-way Standards. It will then need to be accepted as a CBJ ROW in order to be considered acceptable direct and practical access that is required for the subdivision per 49.35.250(b).

Per the table in T49 49.35.240, improvements would require a paved 22-foot travel way and **streetlights** in order to be considered a publicly maintained ROW.

**Per the 2016 LID-62, was formed by the Assembly in June of 2015 through Ordinance 2015-28 to waive the installation of srteet lighting in the McGinnis Subdivision.**

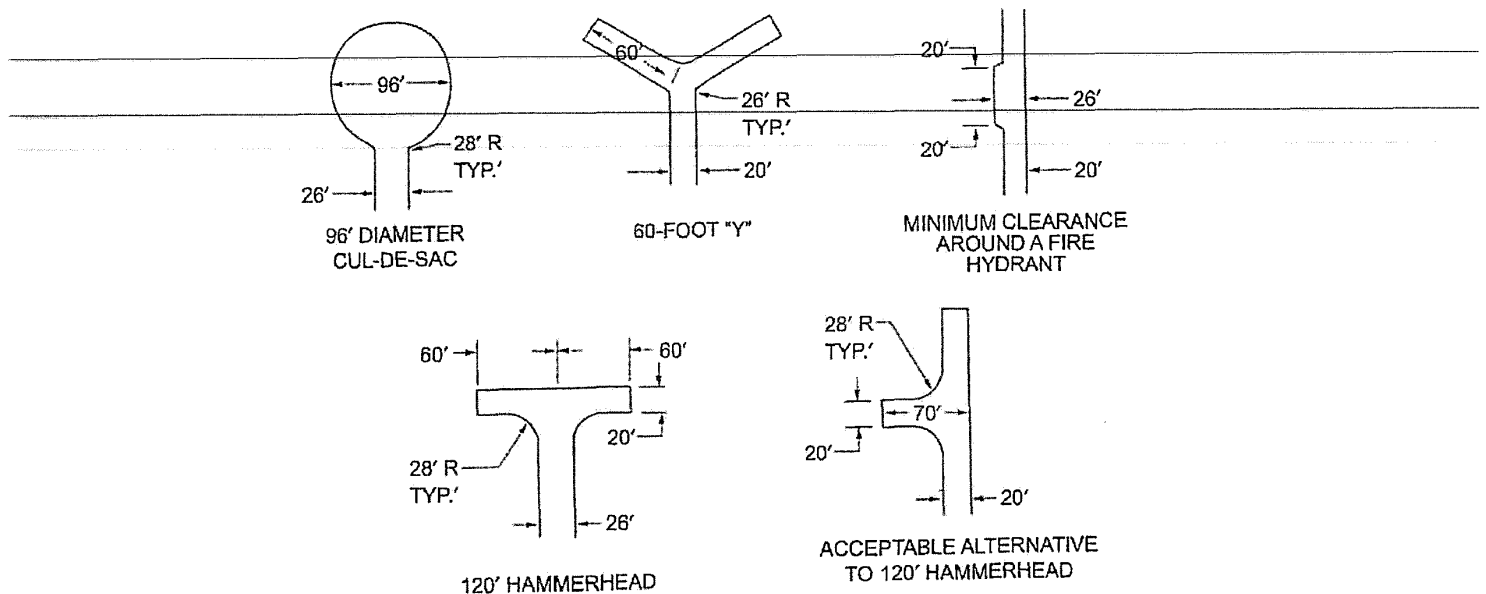
Per 49.35.240(b)(2) – The Director may reduce minimum right-of-way width requirements for streets with fewer than 500 average daily trips may reduce the platted ROW width by up to 25 feet.

Per 49.35.240(i)(2) – *Street waivers* may apply if criteria are met.

**7. Parking & Circulation – Reference T49 - 49.40.210**

- a. Single family / duplex – two (2) off-street parking spaces per dwelling unit.
- b. Accessory apartments – one (1) off-street parking space per unit.

Reference D103.4 Dead Ends. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with width and tur around provisions in accordance with Table D103.4.



8. **Lot Coverage** – Permissible/Conditional = 35%
9. **Vegetative Coverage** – Per 49.50.300, Minimum Vegetative cover for D3 = 20%
10. **Lighting** – N/A
11. **Noise** – 49.20.095(c): *Disturbing the Peace: Construction of buildings and projects.* It is unlawful to operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or similar heavy construction equipment, before 7:00 a.m. or after 10:00 p.m., Monday through Friday, or before 9:00 a.m. or after 10:00 p.m., Saturday and Sunday, unless a permit shall first be obtained from the City and Borough building official. Such a permit shall be issued by the building official only upon a determination that such operation during hours not otherwise permitted under this section is necessary and will not result in unreasonable disturbance to surrounding residents. The building official may revoke any noise permit after making written findings that the construction activity has resulted in unreasonable disturbance to surrounding residents or that operation during hours not otherwise permitted is not necessary.
12. **Flood** – Per panel 02110C1238E eff. 9/18/2020 – N/A
13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – No recorded hazards in CBJ record.
14. **Wetlands** – Per panel 02110C1238E eff. 9/18/2020. If wetlands are discovered on parts of the proposed development, special regulations may apply. Please include a plat note that states: THIS SITE CONTAINS MAPPED WETLANDS.
15. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No known anadromous waterbodies are on the subject parcel, or within 50 feet.
16. **Plat or Covenant Restrictions** – There is a Surface Drainage Easement that was improperly conveyed in the 2013 plat (plat 2013-26). The easement was established in Book 321, Page 493, and refers to the easement as being south of the common boundary. The easement will need to be shown as completely on the Lot 3 subdivision area.

Should the Surface Drainage easement, or Sewer easement on the northern boundary of Lot 3 need to be relocated/rerouted, the Developer would need to address all concerns of CBJ General Engineering department.

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17. **Traffic** – No traffic impact analysis required.

18. **Nonconforming situations** – No nonconforming situations known at the time of Pre-Application Conference (PAC)

**Building Division**

19. **Building** – N/A

20. **Outstanding Permits** – None.

**General Engineering/Public Works**

21. **Engineering** – Utility and access easements must be identified on preliminary plat.

22. **Drainage** – An engineered drainage plan must be submitted with preliminary plat application.

23. **Utilities** – (water, power, sewer, etc.) A detailed utility plan is required at time of preliminary plat.

CBJ Wastewater Utility offers two options for tie-in to the city sewer:

- Option 1 (preferred). Run the “new mainline” from the subdivision to the manhole on Wren Dr. If that proves feasible, it would be the easiest option.

- Option 2. Add a manhole just outside the lift station and make a penetration into the lift station wet well. This method would require an additional manhole installed plus a bar screen added to the interior of the wet well to catch large debris from going into the pumps. (see photos, below) If this is engineered properly, going straight into the wet well may be acceptable in this case.



Image 1. Proposed Options 1 and 2

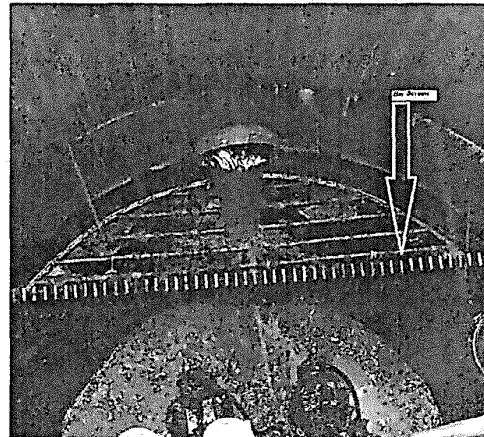


Image 2. Typical Bar Screen

### Fire Marshal

24. Fire Items/Access – No comments at this time.

### Other Applicable Agency Review

25. N/A

### List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application – (DPA)
2. Subdivision Application (Major)

### Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. Required applications (DPA/Subdivision App.)
2. Project Narrative
3. A copy of this pre-application conference report.
4. A 24x36 pdf. of the preliminary plat submitted individually
5. Closure Report
6. As-built/Construction Drawing

### Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

### Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. 49.85.100(2)(A) Subdivision creating additional lots, \$400.00 plus \$25 for each resulting lot.
2. 49.15.401(f)(2) The applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

For informational handouts with submittal requirements for development applications, please visit our website at [www.juneau.org/community-development](http://www.juneau.org/community-development).

### Submit your Completed Application

You may submit your application(s) online via email to [permits@juneau.gov](mailto:permits@juneau.gov)

OR in person with payment made to:

Pre-Application Conference Final Report

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City & Borough of Juneau, Permit Center  
230 South Franklin Street  
Fourth Floor Marine View Center  
Juneau, AK 99801

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Phone: (907) 586-0715

Web: [www.juneau.org/community-development](http://www.juneau.org/community-development)

Attachments:

Development Permit Application

Subdivision Application

Subdivision Preliminary Plat Checklist





# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)		
	Parcel Number(s)		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER/ LESSEE</b>		
	Property Owner	Contact Person	
	Mailing Address	Phone Number(s)	
	E-mail Address		
	<b>LANDOWNER/ LESSEE CONSENT</b>		
	Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.		
	I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.		
	_____		_____
	Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)	
	X _____	_____	_____
Landowner/Lessee (Signature)	Date		
_____		_____	
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)		
X _____	_____	_____	
Landowner/Lessee (Signature)	Date		
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
<b>APPLICANT</b>			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)	Contact Person		
Mailing Address	Phone Number(s)		
E-mail Address			
X _____	_____	_____	
Applicant's Signature	Date of Application		

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

	Intake Initials
Case Number	Date Received



# SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

COMMUNITY DEVELOPMENT **NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

**PROJECT SUMMARY**

Number of Existing Parcels \_\_\_\_\_ Total Land Area \_\_\_\_\_ Number of Resulting Parcels \_\_\_\_\_

**HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS**

NO       YES Case Number \_\_\_\_\_

**TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED**

<p style="text-align: center;"><b>MINOR DEVELOPMENT</b> (changing or creating 13 or fewer lots)</p> <p><input type="radio"/> Preliminary Plat (MIP)</p> <p><input type="radio"/> Final Plat (MIF)</p> <p><input type="radio"/> Panhandle Subdivision</p> <p><input type="radio"/> Accretion Survey</p> <p><input type="radio"/> Boundary Adjustment</p> <p><input type="radio"/> Lot Consolidation (SLC)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>	<p style="text-align: center;"><b>MAJOR DEVELOPMENT</b> (changing or creating 14 or more lots)</p> <p><input type="radio"/> Preliminary Plat (SMP)</p> <p><input type="radio"/> Final Plat (SMF)</p> <p><input type="radio"/> Preliminary Development Plan – PUD (PDP)</p> <p><input type="radio"/> Final Development Plan – PUD (PDF) Preliminary</p> <p><input type="radio"/> Development Plan – ARS (ARP) Final</p> <p><input type="radio"/> Development Plan – ARS (ARF)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>
---	---

**ALL REQUIRED DOCUMENTS ATTACHED**

Pre-application conference notes

Narrative including:

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist

To be completed by Applicant

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
<b>Total Fee</b>	<b>\$ _____</b>			

For assistance filling out this form, contact the Permit Center at 586-0770.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Case Number	Date Received
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## PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: \_\_\_\_\_

The following items must be included with the initial submittal of a Preliminary Plat:

- Application, filled out completely
- Project Narrative
- Pre-application Conference Report
- Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.
- Application fee (see fee schedule)
- Five (5) – 24" by 36" Copies
- Lot Closure Report

\_\_\_\_\_  
Applicant or Surveyor - Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant or Surveyor - Print Name

### GENERAL REQUIREMENTS

- The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- The preliminary plat shall be oriented with north toward the top of the sheet.
- A vicinity map shall be located in the upper right-hand corner of the sheet
- The vicinity map shall be oriented in the same direction as the plat
- A suitable north arrow shall be shown for the plat and vicinity map
- All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

**GRAPHIC REQUIREMENTS** - A preliminary plat shall contain the following information:

**Title block** - An enclosed title block in the lower right-hand corner containing the following information:

- The proposed name of the subdivision
- The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- "City and Borough of Juneau, Alaska"
- "State Recorder's Office at Juneau"
- The date the preliminary plat was prepared and revised
- The horizontal scale
- The name and address of the owner of record
- The name, address, and telephone number of the surveyor preparing the preliminary plat

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**Lot, block, and street information:**

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- The area of each lot
- The dimensions in feet and hundredths of a foot
- An identifying number and letter for lots and blocks
- Lots numbered consecutively, commencing with the number "1," with no omissions or duplications
- If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- Abutting properties shall be shown with dashed lines, numbers, and/or letters
- For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
  - The minimum data shown for each curve shall be as follows:
    - Length
    - Central angle
    - Radius
    - Bearing and distance of long chord
  - Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

**Boundary lines:**

- All boundary lines of the subdivision with bearings and distances described
- All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

**Monumentation:**

- The monuments used to establish the basis of bearing
- Each monument found or set shall be identified on the plat by a symbol
- A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- A legend showing the symbols for all the types of monuments
- The identification, description location, elevation, and datum of the benchmark used to establish vertical control

**Site access, circulation, and utilities:**

- The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- Proposed rights-of-way, including their widths and proposed names
- The grades of existing and proposed streets within these rights-of-way
- The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- The width, ownership, and use of all proposed easements

- 
- All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground

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  - Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
  - Proposed trails or pathways and widths of their rights-of-way
  - If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
  - The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

**Topographic information:**

- For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- For slopes between five percent and ten percent, show two foot contour lines
- For slopes greater than ten percent, show five foot contour lines
- Every fifth elevation contour shall be distinctive and clearly labeled
- Dashed lines shall represent existing contours
- Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
  - Pad elevations and drainage patterns for each lot
  - Tops and toes of all manufactured slopes, including daylight lines
  - Existing and proposed retaining wall locations and heights
- For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

**Sewer and water:**

- Existing sewer and water mains within the tract with pipe sizes and grades
- A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

**Multisheet plats:**

- When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
  - North arrow
  - Legend
  - Surveyor's seal and signature
  - Title block
  - Sheet \_\_\_\_\_ of \_\_\_\_\_
  - Scale
  - All plat notes
  - Vicinity map

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***ADDITIONAL MAPPING OR REPORTS-*** *At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted.*

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**Hazard and Special Habitat Areas:**

- Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

**Soils report:**

- A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
  - Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
  - The location and size of drain fields for each lot
  - The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
  - If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
  - The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

**Drainage report:**

- A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
  - A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
  - How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
  - An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
  - All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

**Water:**

- For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
  - If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

Preliminary Plat Checklist

Updated 1/2018

Page 5 of 5

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A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III

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A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands

This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.

The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

**Erosion control:**

A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

**Traffic study:**

A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

**Shadow plats:**

For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

Silver Acres Preliminary Plat Lot Closure Reports

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Lot 1 Polyline Report

Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6493.837	3697.606		
		S 00°00'40" E	100.000

6393.837	3697.625		
		N 89°58'20" E	175.000

6393.922	3872.625		
		N 00°00'40" W	80.000

6473.922	3872.610		
		N 89°58'20" E	173.918

6474.006	4046.528		
		N 15°04'08" E	20.714

6494.008	4051.913		
		S 89°58'20" W	354.307

6493.837	3697.606		
----------	----------	--	--

Closure Error Distance> 0.00000

Total Distance> 903.940

Polyline Area: 21032 sq ft, 0.48 acres



Lot 2 Polyline Report

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Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6382.416 3993.219

Radius: 60.000 Chord: 77.481 Degree: 95°29'35" Dir: Right

Length: 84.228 Delta: 80°25'55" Tangent: 50.733

Chord BRG: N 35°59'17" E Rad-In: N 85°46'20" E Rad-Out: S 13°47'45" E

Radius Point: 6386.840,4053.056

6445.109 4038.748

N 15°04'08" E 29.926

6474.006 4046.528

S 89°58'20" W 173.918

6473.922 3872.610

S 00°00'40" E 80.000

6393.922 3872.625

S 00°00'40" E 77.225

6316.697 3872.640

N 61°24'29" E 137.325

6382.416 3993.219

Closure Error Distance > 0.00000

Total Distance > 582.623

Polyline Area: 17104 sq ft, 0.39 acres

lot 3 Polyline Report

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Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6362.388	3998.264		
----------	----------	--	--

Radius: 60.000 Chord: 20.654 Degree: 95°29'35" Dir: Right

Length: 20.757 Delta: 19°49'17" Tangent: 10.483

Chord BRG: N 14°08'19" W Rad-In: N 65°57'02" E Rad-Out: N 85°46'20" E

Radius Point: 6386.840,4053.056

6382.416	3993.219		
----------	----------	--	--

N 90°00'00" E 0.000

6382.416	3993.219		
----------	----------	--	--

S 61°24'29" W 137.325

6316.697	3872.640		
----------	----------	--	--

N 00°00'40" W 77.225

6393.922	3872.625		
----------	----------	--	--

S 89°58'20" W 175.000

6393.837	3697.625		
----------	----------	--	--

S 00°00'40" E 100.000

6293.837	3697.645		
----------	----------	--	--

N 89°58'20" E 175.000

6293.922	3872.645		
----------	----------	--	--

N 61°24'29" E 143.066

6362.388	3998.264		
----------	----------	--	--

Closure Error Distance> 0.00000

Total Distance> 828.373

Polyline Area: 20292 sq ft, 0.47 acres

Lot 4 Polyline Report

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Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6293.837	3697.645	S 00°00'40" E	100.000
----------	----------	---------------	---------

6193.837	3697.664	N 89°58'20" E	175.000
----------	----------	---------------	---------

6193.922	3872.664	N 00°00'40" W	100.000
----------	----------	---------------	---------

6293.922	3872.645	S 89°58'20" W	175.000
----------	----------	---------------	---------

6293.837	3697.645		
----------	----------	--	--

Closure Error Distance > 0.00000

Total Distance > 550.000

Polyline Area: 17500 sq ft, 0.40 acres

Lot 5 Polyline Report

---

Northing    Easting    Bearing    Distance

6327.751    4042.638

Radius: 60.000    Chord: 56.292    Degree: 95°29'35"    Dir: Right

Length: 58.593    Delta: 55°57'07"    Tangent: 31.870

Chord BRG: N 52°01'31" W    Rad-In: N 09°59'55" E    Rad-Out: N 65°57'02" E

Radius Point: 6386.840,4053.056

6362.388    3998.264

                  S 61°24'29" W 143.066

6293.922    3872.645

                  S 00°00'40" E 100.000

6193.922    3872.664

                  N 89°58'20" E 170.000

6194.004    4042.664

                  N 00°00'40" W 133.747

6327.751    4042.638

Closure Error Distance > 0.00000

Total Distance > 605.406

Polyline Area: 23297 sq ft, 0.53 acres

Lot 6 Polyline Report

---

Northing	Easting	Bearing	Distance
6193.837	3697.664		
		S 00°00'40" E	100.000
6093.837	3697.684		
		N 89°58'20" E	175.000
6093.922	3872.684		
		N 00°00'40" W	100.000
6193.922	3872.664		
		S 89°58'20" W	175.000
6193.837	3697.664		

Closure Error Distance > 0.00000

Total Distance > 550.000

Polyline Area: 17500 sq ft, 0.40 acres

Lot 7 Polyline Report

---

Northing	Easting	Bearing	Distance
6193.922	3872.664		
		S 00°00'40" E	100.000
6093.922	3872.684		
		N 89°58'20" E	170.000
6094.004	4042.684		
		N 00°00'40" W	100.000
6194.004	4042.664		
		S 89°58'20" W	170.000
6193.922	3872.664		

Closure Error Distance> 0.00000

Total Distance> 540.000

Polyline Area: 17000 sq ft, 0.39 acres

Lot 8 Polyline Report

---

Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6327.610 4062.638

Radius: 60.000 Chord: 20.001 Degree: 95°29'35" Dir: Right

Length: 20.094 Delta: 19°11'19" Tangent: 10.142

Chord BRG: N 89°35'44" W Rad-In: N 09°11'24" W Rad-Out: N 09°59'55" E

Radius Point: 6386.840,4053.056

6327.751 4042.638

N 90°00'00" E 0.000

6327.751 4042.638

S 00°00'40" E 233.747

6094.004 4042.684

S 89°58'52" E 192.000

6093.941 4234.684

N 00°00'40" W 129.000

6222.941 4234.659

N 75°45'17" W 177.465

6266.610 4062.650

N 00°00'40" W 61.000

6327.610 4062.638

Closure Error Distance > 0.00000

Total Distance > 813.307

Polyline Area: 30601 sq ft, 0.70 acres

Lot 9 Polyline Report

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Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6374.037 4111.674

Radius: 60.000 Chord: 67.528 Degree: 95°29'35" Dir: Right

Length: 71.722 Delta: 68°29'24" Tangent: 40.845

Chord BRG: S 46°33'54" W Rad-In: N 77°40'47" W Rad-Out: N 09°11'24" W

Radius Point: 6386.840,4053.056

6327.610 4062.638

S 00°00'40" E 61.000

6266.610 4062.650

S 75°45'17" E 177.465

6222.941 4234.659

S 00°00'40" E 129.000

6093.941 4234.684

N 89°56'12" E 252.000

6094.219 4486.683

N 00°00'40" W 255.000

6349.219 4486.634

S 89°58'20" W 273.461

6349.087 4213.173

N 76°11'21" W 104.521

6374.037 4111.674

Closure Error Distance> 0.00000

Total Distance> 1324.170

Polyline Area: 83096 sq ft, 1.91 acres



Lot 10 Polyline Report

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Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6428.355 4096.374

Radius: 60.000 Chord: 56.432 Degree: 95°29'35" Dir: Right

Length: 58.751 Delta: 56°06'10" Tangent: 31.972

Chord BRG: S 15°43'53" E Rad-In: S 46°13'02" W Rad-Out: N 77°40'47" W

Radius Point: 6386.840,4053.056

6374.037 4111.674

N 90°00'00" E 0.000

6374.037 4111.674

S 76°11'21" E 104.521

6349.087 4213.173

N 89°58'20" E 273.461

6349.219 4486.634

S 00°00'40" E 255.000

6094.219 4486.683

N 89°58'20" E 300.000

6094.365 4786.683

N 00°00'40" W 399.999

6494.363 4786.606

S 89°58'20" W 672.548

6494.039 4114.058

S 15°04'08" W 68.022

6428.355 4096.374

Closure Error Distance> 0.00000

Total Distance> 2132.301

Polyline Area: 173669 sq ft, 3.99 acres

Silver Street right-of-way Polyline Report

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Northing	Easting	Bearing	Distance
----------	---------	---------	----------

6445.109	4038.748		
----------	----------	--	--

Radius: 60.000 Chord: 60.012 Degree: 95°29'35" Dir: Left

Length: 314.146 Delta: 299°59'13" Tangent: 34.650

Chord BRG: S 73°47'21" E Rad-In: S 13°47'45" E Rad-Out: S 46°13'02" W

Radius Point: 6386.840,4053.056

6428.355	4096.374		
----------	----------	--	--

N 15°04'08" E 68.022

6494.039	4114.058		
----------	----------	--	--

S 89°58'18" W 62.145

6494.008	4051.913		
----------	----------	--	--

S 15°04'08" W 50.640

6445.109	4038.748		
----------	----------	--	--

Closure Error Distance > 0.00000

Total Distance > 494.953

Polyline Area: 14543 sq ft, 0.33 acres



# SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

COMMUNITY DEVELOPMENT

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

**PROJECT SUMMARY**  
Subdivide a 10 acre parcel into 10 lots which include a private shared access subdivision with four lots fronting the private shared access.

Number of Existing Parcels 1      Total Land Area 10 acres      Number of Resulting Parcels 10

**HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS**

NO       YES Case Number \_\_\_\_\_

**TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED**

<p style="text-align: center;"><b>MINOR DEVELOPMENT</b> (changing or creating 13 or fewer lots)</p> <p><input type="radio"/> Preliminary Plat (MIP)</p> <p><input type="radio"/> Final Plat (MIF)</p> <p><input type="radio"/> Panhandle Subdivision</p> <p><input type="radio"/> Accretion Survey</p> <p><input type="radio"/> Boundary Adjustment</p> <p><input type="radio"/> Lot Consolidation (SLC)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>	<p style="text-align: center;"><b>MAJOR DEVELOPMENT</b> (changing or creating 14 or more lots)</p> <p><input checked="" type="radio"/> Preliminary Plat (SMP)</p> <p><input type="radio"/> Final Plat (SMF)</p> <p><input type="radio"/> Preliminary Development Plan – PUD (PDP)</p> <p><input type="radio"/> Final Development Plan – PUD (PDF) Preliminary</p> <p><input type="radio"/> Development Plan – ARS (ARP) Final</p> <p><input type="radio"/> Development Plan – ARS (ARF)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>
---	--

**ALL REQUIRED DOCUMENTS ATTACHED**

Pre-application conference notes

Narrative including:

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
<b>Total Fee</b>	<b>\$ _____</b>			

For assistance filling out this form, contact the Permit Center at 586-0770.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

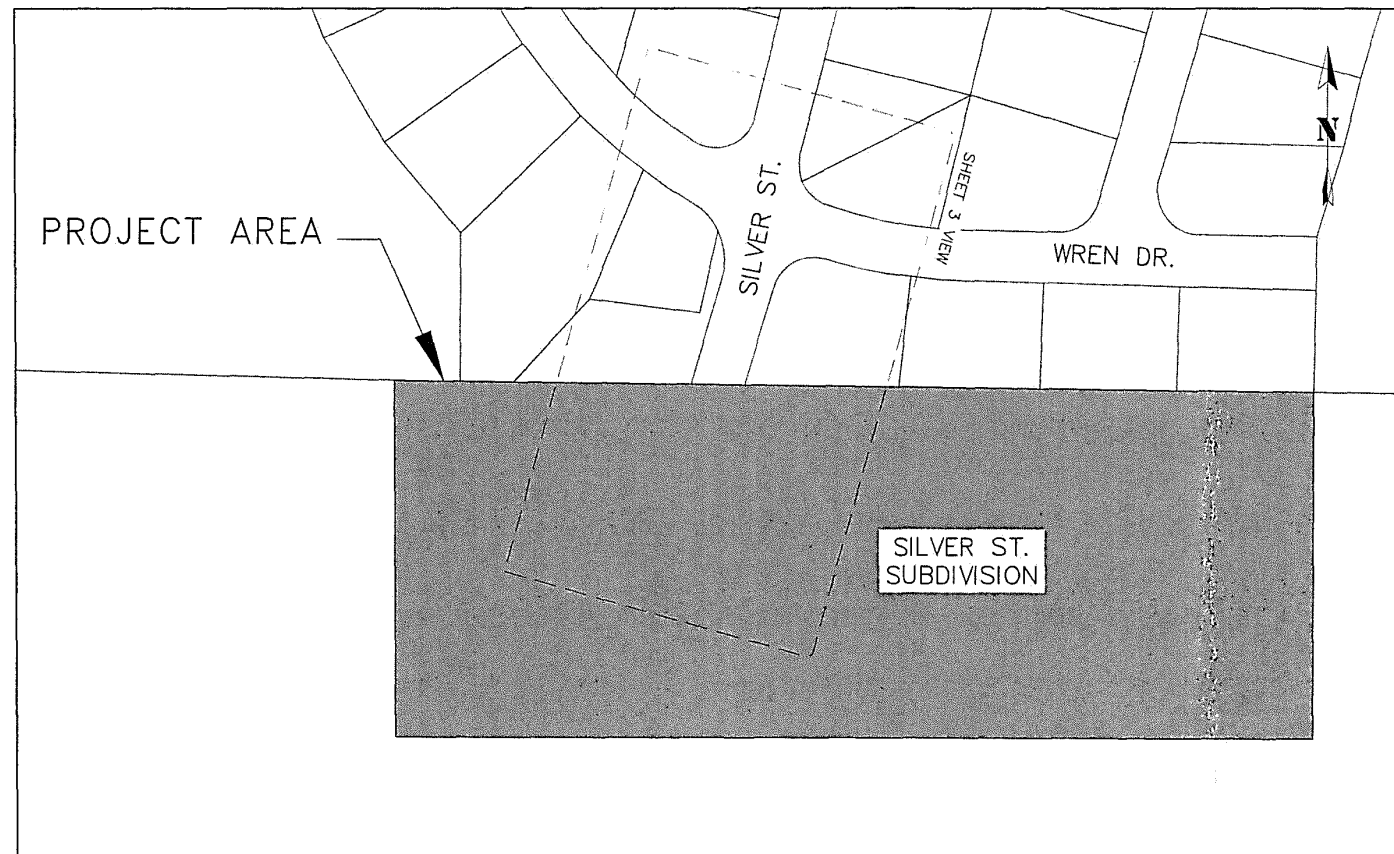
Case Number	Date Received
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# SILVER ST. SUBDIVISION

## JUNEAU, AK

PREPARED FOR:  
SOUTHEAST ENDEAVORS, LLC


SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	LEGEND, ABBREVIATIONS & GENERAL NOTES
3	DRAFT UTILITY PLAN



**PROJECT LOCATION MAP**  
NTS



**VICINITY MAP**  
NTS

<table border="1"> <thead> <tr> <th colspan="4">RECORD OF REVISIONS</th> </tr> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				RECORD OF REVISIONS				No.	DATE	DESCRIPTION	BY					 CERTIFICATE OF AUTHORIZATION #100962 1945 ALEX HOLDEN WAY #101 JUNEAU, AK 99901 (907) 780-4004 solutions@proHNS.com www.proHNS.com		DRAWN BY: E. ROEMELING DESIGNED BY: E. ROEMELING CHECKED BY: L. CHAMBERS CBJ REVIEW APPROVED: _____ DATE: _____ SOUTHEAST ENDEAVORS LLC, SHAWN KANTOLA		SILVER STREET SUBDIVISION COVER SHEET		SHEET NUMBER 1 OF 3	
RECORD OF REVISIONS																							
No.	DATE	DESCRIPTION	BY																				

C:\Users\EthanRoemeling\proHNS Dropbox\Projects\Juneau\Silver St Subdivision\C3D Silver Sub\Sheets\Silver St.Sub\_Title.dwg March 13, 2024

### LEGEND

DESCRIPTION	EXISTING	PROPOSED
BUILDING		
BENCHMARK		
DITCH FLOW LINE		
EASEMENT LINE		
FIRE HYDRANT		
PROPERTY LINE		
ROAD ASPHALT		
SANITARY SEWER CLEANOUT		
SANITARY SEWER PIPE		
SANITARY SEWER MANHOLE		
SAWCUT & MTE LIMITS		
WATER LINE PIPE		
WATER VALVE BOX		

### ABBREVIATIONS

ACS	ALASKA COMMUNICATIONS SYSTEMS
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
CBJ	CITY & BOROUGH OF JUNEAU
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
DIP	DUCTILE IRON PIPE
DWG	DRAWING
ELEV	ELEVATION
FT	FEET
GCI	GENERAL COMMUNICATION INC.
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LT	LEFT
MIN	MINIMUM
MTE	MATCH TO EXISTING
NO	NUMBER
NTS	NOT TO SCALE
PERF	PERFORATED
P/L	PROPERTY LINE
POLY	POLYETHYLENE PLASTIC PIPE
PVC	POLYVINYL CHLORIDE PIPE
RT	RIGHT
SQFT	SQUARE FEET
STA	STATION
STD	STANDARD
TYP	TYPICAL

#### RECORD OF REVISIONS

No.	DATE	DESCRIPTION	BY



CERTIFICATE OF AUTHORIZATION  
#100662

DRAWN BY: E. ROEMELING  
DESIGNED BY: E. ROEMELING  
CHECKED BY: L. CHAMBERS

1945 ALEX HOLDEN WAY #101  
JUNEAU, AK 99801  
(907) 760-4004

solutions@proHNS.com  
www.proHNS.com

CBJ REVIEW

APPROVED: \_\_\_\_\_

DATE: \_\_\_\_\_

SILVER STREET  
SUBDIVISION

SOUTHEAST ENDEAVORS LLC, SHAWN KANTOLA

LEGEND,  
ABBREVIATIONS &  
GENERAL NOTES

SHEET NUMBER

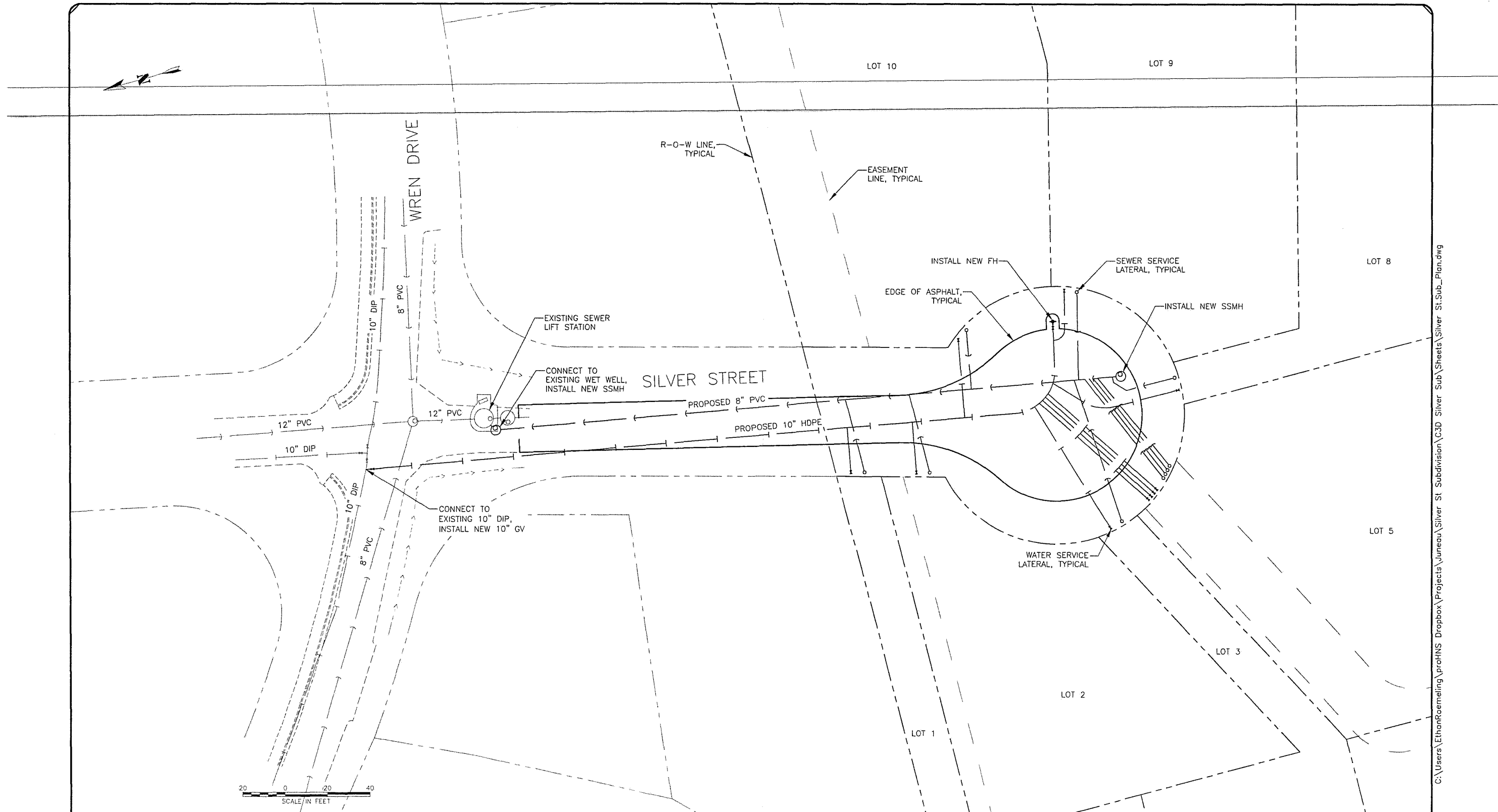
2

OF

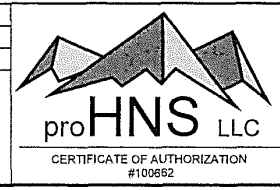
3

March 13, 2024

C:\Users\EthanRoemeling\proHNS Dropbox\Projects\Juneau\Silver St Subdivision\C3D Silver Sub\Sheets\Silver St\Sub\_Legend.dwg



RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: E. ROEMELING  
 DESIGNED BY: E. ROEMELING  
 CHECKED BY: L. CHAMBERS  
 1945 ALEX HOLDEN WAY #101  
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**CBJ REVIEW**  
 APPROVED: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**SILVER STREET SUBDIVISION**  
 SOUTHEAST ENDEAVORS LLC, SHAWN KANTOLA

**DRAFT UTILITY PLAN**

SHEET NUMBER	3
OF	3

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**NOTES**

- THE ERROR OF CLOSURE OF THIS SURVEY DOES NOT EXCEED 1:5,000.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- DOMESTIC WATER AND SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- THIS SUBDIVISION IS WITHIN THE CITY AND BOROUGH OF JUNEAU AND IS SUBJECT TO TAXATION AT THE TIME OF THE SURVEY.
- RECORD INFORMATION FOR THIS SUBDIVISION IS DERIVED FROM THE OFFICIAL PLAT OF THE BLACK BEAR SUBDIVISION, PLAT No. 2013-26 JUNEAU RECORDING DISTRICT, RECORDED ON SEPTEMBER 13, 2013.
- RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS AND REFERENCED TO A RECORD PLAT (R#). WHERE RECORD AND MEASURED MATCH, NO PARENTHESIS ARE SHOWN.
- SEE RECORD BOOK No. 321 PAGE 493 JRD REGARDING THE 30' DRAINAGE AND MAINTENANCE EASEMENT ACROSS THE NORTHERLY LINE OF U.S. SURVEY 2551. THE PORTION OF DRAINAGE EASEMENT LOCATED WITHIN THE NEWLY DEDICATED PORTION OF SILVER STREET IS RELINQUISHED.
- SEE RECORD BOOK No. 411 PAGE 897 REGARDING THE 30' PUBLIC SEWER EASEMENT THAT IS COINCIDENT WITH THE 30' DRAINAGE EASEMENT DESCRIBED IN NOTE 7 THIS PLAT. THE PORTION OF SEWER EASEMENT LOCATED WITHIN THE SILVER STREET ROW DEDICATED THIS PLAT IS RELINQUISHED.
- LOTS 6, 7, 8, 9 AND 10 OF THIS SUBDIVISION MUST HAVE A 15 FOOT SIDE YARD SETBACK FOR SIDE YARDS ABUTTING BLACK BEAR SUBDIVISION LOT 1.
- WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
- ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOT 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
- LOTS 1, 2 AND 3 ARE A PANHANDLE SUBDIVISION. AT THE TIME OF PLAT RECORDING, FURTHER SUBDIVISION OF LOTS 1, 2, AND 3 IS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
- ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS 4, 5, 6 AND 7 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
- AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
- THE ON - LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.
- A PORTION THE CBJ DRAINAGE AND SEWER EASEMENTS ALONG THE NORTHERLY PROPERTY LINE OF LOT 10 PROVIDES PEDESTRIAN ACCESS WITHIN THE EASEMENTS TO NEARBY TRAILS. PUBLIC PEDESTRIAN ACCESS WITHIN THE EASEMENTS WILL CONTINUE TO BE AVAILABLE UNLESS A SUITABLE AND COMPARABLE ALTERNATIVE IS CREATED. NO STRUCTURES/BARRICADES ARE PERMITTED WITHIN THE EASEMENTS THAT WOULD BLOCK PEDESTRIAN ACCESS.

**OWNERSHIP CERTIFICATE**

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF LOT 3 BLACK BEAR SUBDIVISION, SHOWN AND DESCRIBED HEREON, AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH OUR FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: \_\_\_\_\_, 2024 DATE: \_\_\_\_\_, 2024

SHAWN KANTOLA HEIDI KANTOLA

**NOTARY ACKNOWLEDGEMENT**

UNITED STATES OF AMERICA )  
 ) SS  
STATE OF ALASKA )

THIS IS TO CERTIFY THAT ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED SHAWN AND HEIDI KANTOLA, TO ME KNOWN TO BE THE PEOPLE DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**BASIS OF BEARING**

THE BASIS OF BEARING FOR THIS PLAT IS THE RECORD BEARING OF N 89°58'20" E AS SHOWN ON PLAT No. 2013-26 JRD - A PLAT OF BLACK BEAR SUBDIVISION, BETWEEN RECOVERED US GENERAL LAND OFFICE BRASS CAP MONUMENTS MARKING A PORTION OF THE NORTHERLY BOUNDARY OF U.S. SURVEY 2551.

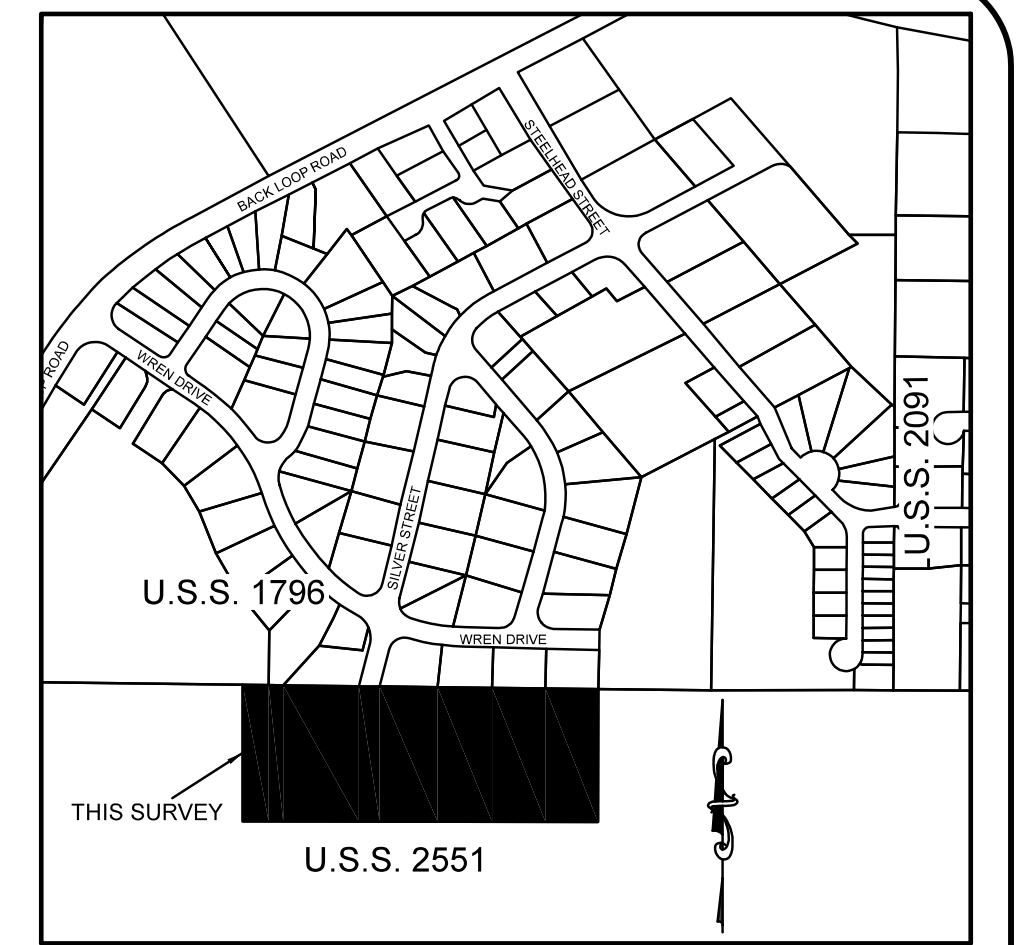
**COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL**

I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATE: \_\_\_\_\_, 2024

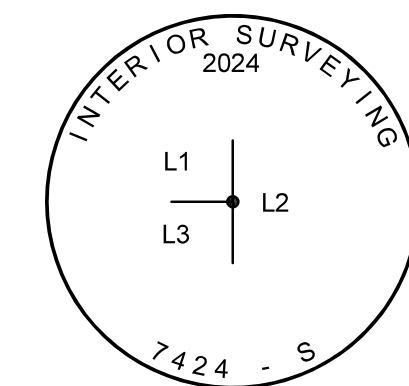
JILL LAWHORNE, DIRECTOR  
CITY & BOROUGH OF JUNEAU  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
ATTEST:

MUNICIPAL CLERK  
CITY AND BOROUGH OF JUNEAU

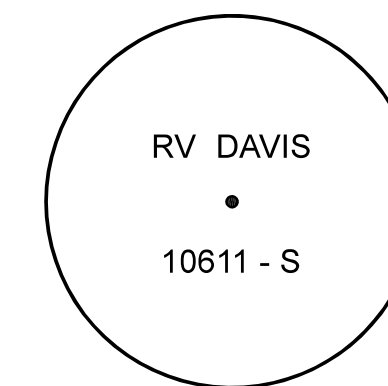


VICINITY MAP - JUNEAU, ALASKA  
SOURCE: CITY AND BOROUGH OF JUNEAU GIS  
NOT TO SCALE

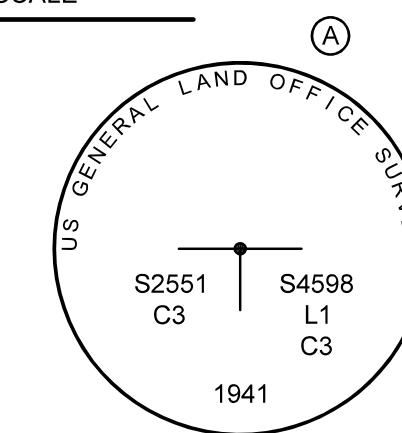
**MONUMENT DETAILS**  
NOT TO SCALE



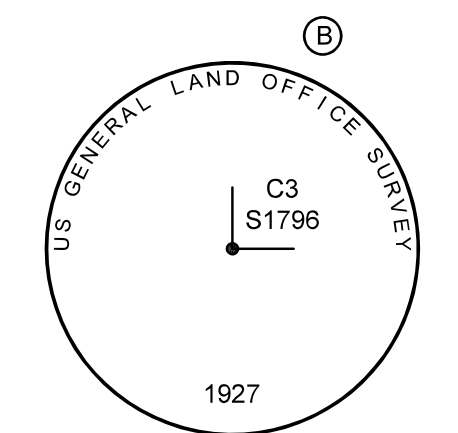
TYPICAL SECONDARY MONUMENT  
SET THIS SURVEY  
2" ALUMINUM CAP ON #5 X 30" REBAR



TYPICAL SECONDARY MONUMENT  
RECOVERED  
1.25" ORANGE CAP ON #5 REBAR

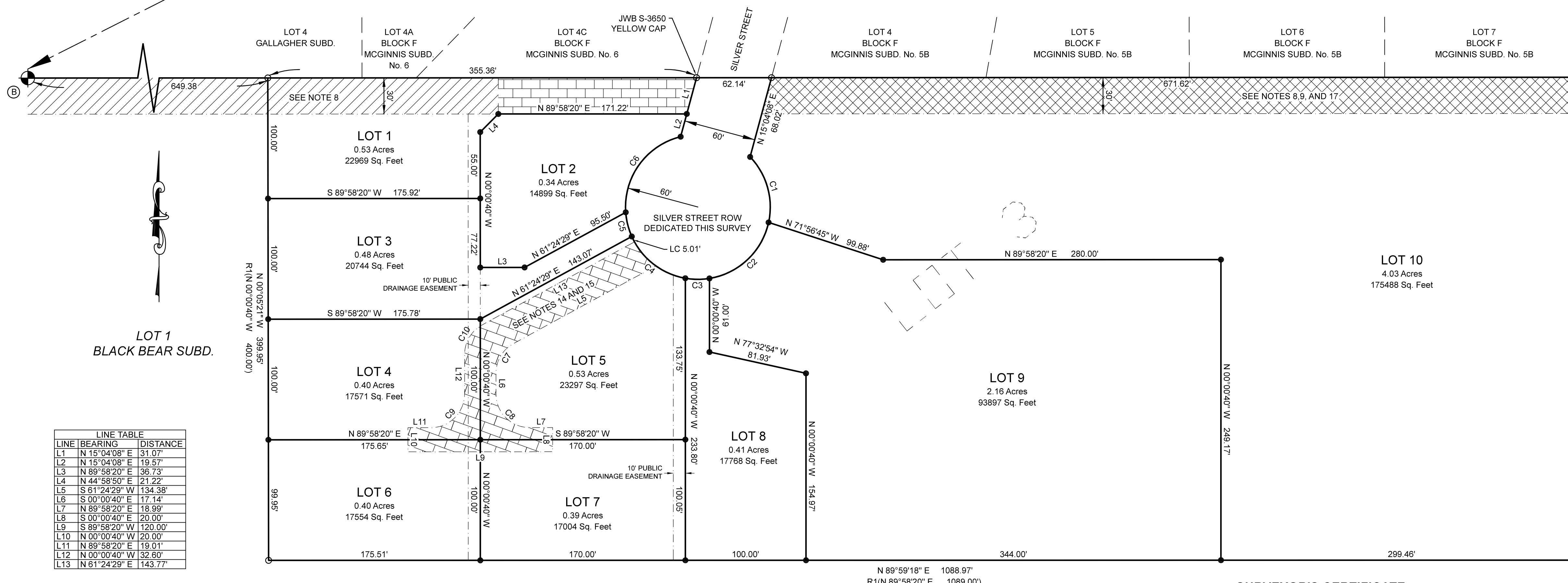


RECOVERED MONUMENT  
2.5" BRASS CAP ON IRON PIPE



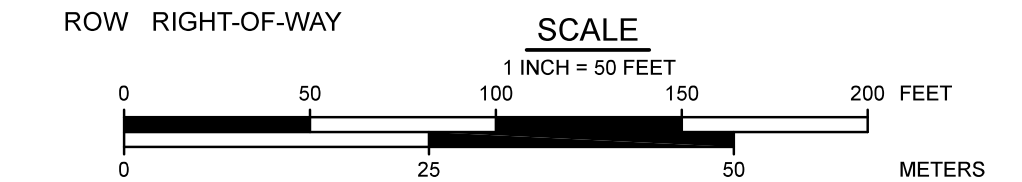
RECOVERED MONUMENT  
2.5" BRASS CAP ON 1" PIPE

--- BASIS OF BEARING N 89°58'20" E 3261.49' R1(3261.90') ---



**LEGEND**

- SECONDARY MONUMENT RECOVERED, SEE TYPICAL DETAIL
- SECONDARY MONUMENT SET THIS SURVEY, SEE TYPICAL DETAIL
- ⊕ GLO BRASS CAP MONUMENT RECOVERED
- PROPERTY LINE
- - - UNSURVEYED LINES
- - - EASEMENT LINE
- [Hatched] EXISTING 30' PUBLIC SEWER EASEMENT AND 30' DRAINAGE EASEMENT
- [Hatched] EXISTING 30' DRAINAGE EASEMENT
- [Hatched] PRIVATE SHARED ACCESS, DRAINAGE, AND UTILITY EASEMENT CREATED THIS PLAT
- [Hatched] PRIVATE SHARED ACCESS EASEMENT CREATED THIS PLAT, ACROSS LOT 1 IN FAVOR OF LOT 2 THIS SURVEY, PUBLIC DRAINAGE EASEMENT REMAINS
- R1) PLAT No. 2013-26 JRD, A PLAT OF BLACK BEAR SUBDIVISION
- CBJ CITY AND BOROUGH OF JUNEAU
- JRD JUNEAU RECORDING DISTRICT
- ROW RIGHT-OF-WAY



A PLAT OF  
**SILVER ACRES SUBDIVISION**  
A SUBDIVISION OF  
LOT 3, BLACK BEAR SUBDIVISION  
RECORD PLAT No. 2013-26 JRD

WITHIN U.S. SURVEY No. 2551  
LOCATED WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
JUNEAU RECORDING DISTRICT  
- STATE RECORDERS OFFICE AT ANCHORAGE -  
CBJ CDD CASE NUMBER: SMP2024-0002

OWNERS: SHAWN AND HEIDI KANTOLA  
6287C GARNET STREET  
JUNEAU, AK 99801

SURVEYOR: INTERIOR SURVEYING AND MAPPING  
TIMOTHY S. VENECHUK, PLS  
PO BOX 338  
HEALY, AK 99743

DRAWN BY: TSV DATE: 07/02/2024 SHEET: 1 OF 1

LINE	BEARING	DISTANCE
L1	N 15°04'08" E	31.07'
L2	N 15°04'08" E	19.57'
L3	N 89°58'20" E	36.73'
L4	N 44°58'50" E	21.22'
L5	S 61°24'29" W	134.38'
L6	S 00°00'40" E	17.14'
L7	N 89°58'20" E	18.99'
L8	S 00°00'40" E	20.00'
L9	S 89°58'20" W	120.00'
L10	N 00°00'40" W	20.00'
L11	N 89°58'20" E	19.01'
L12	N 00°00'40" W	32.60'
L13	N 61°24'29" E	143.77'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.75'	60.00'	56°08'10"	N 15°43'53" W	59.43'
C2	71.72'	60.00'	69°29'24"	N 48°33'54" E	67.53'
C3	20.09'	60.00'	19°11'19"	N 89°35'44" W	20.00'
C4	58.59'	60.00'	55°57'07"	N 52°01'31" W	56.29'
C5	20.76'	60.00'	19°49'17"	N 14°08'19" W	20.65'
C6	84.23'	60.00'	80°25'56"	N 35°59'17" E	77.48'
C7	30.02'	28.00'	61°25'09"	N 30°41'55" E	28.60'
C8	43.99'	28.00'	90°01'00"	N 45°01'10" W	39.60'
C9	43.97'	28.00'	89°59'00"	N 44°58'50" E	39.59'
C10	30.02'	28.00'	61°25'09"	N 30°41'55" E	28.60'

LOT 1  
BLACK BEAR SUBD.



**SURVEYOR'S CERTIFICATE**

I, TIMOTHY S. VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, AND THAT TO THE BEST OF MY KNOWLEDGE ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: \_\_\_\_\_

# SILVER STREET SUBDIVISION JUNEAU, AK

PREPARED FOR:  
SOUTHEAST ENDEAVORS, LLC



PROJECT LOCATION MAP  
NTS

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	LEGEND, ABBREVIATIONS & GENERAL NOTES
3	TYPICAL SECTIONS
4-7	DETAILS
8	SILVER ST ROW PLAN OVERVIEW
9-10	SILVER ST ROW PLAN
11	SILVER ST ROW PROFILE
12-13	SILVER ST GRADING PLAN
14	SUBDIVISION PLAN OVERVIEW
15	SURVEY CONTROL SHEET

CBJ STANDARD DRAWINGS	
NO.	DESCRIPTION
103A	DRIVEWAY FOR STREETS WITHOUT CURB & GUTTER
104B	CULVERT HEADWALL WITHOUT HINGED TRASH RACK
107	LOCAL ACCESS STREET CUL-DE-SAC
110	GUARDRAIL
116	CANTILEVERED SINGLE MAILBOX
117	CANTILEVERED DOUBLE MAILBOX
125	PAVEMENT RESURFACING AND TRENCH DETAIL
203	SANITARY SEWER MANHOLE TYPE I&II
204	SANITARY SEWER DROP MANHOLE
205	MANHOLE HEIGHTS
206A	STANDARD MANHOLE COVER & FRAME
209	MANHOLE CONNECTION DETAILS
213	SANITARY SEWER SERVICE LATERAL
215	SANITARY SEWER CROSSING
304B	TYPE IV CATCH BASIN
310	AREA DRAIN DETAIL
403	FIRE HYDRANT (REVISED PER DETAIL 1 SHEET 5)
404	HYDRANT GUARD POSTS
405	HYDRANT PAD
406A	WATER SERVICE (REVISED PER DETAIL 2 SHEET 5)
412	RIGID INSULATION



VICINITY MAP  
NTS

DRAFT  
FOR REVIEW ONLY

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: R. CIECKO  
DESIGNED BY: L. CH-MBERS  
CHECKED BY: G. GL-DSJO  
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JUNEAU, AK 99801  
(907) 780-4004  
solutions@proHNS.com  
www.proHNS.com

CBJ REVIEW  
APPROVED: \_\_\_\_\_  
DATE: \_\_\_\_\_

SILVER STREET  
SUBDIVISION  
SHAWN KANTOLA

COVER SHEET

SHEET NUMBER
1
OF
15



## LEGEND

## ABBREVIATIONS

## GENERAL NOTES

DESCRIPTION	EXISTING	REMOVE	PROPOSED
ASPHALT	EDGE OF ASPHALT -----		HATCHED AREA [Hatched Box]
BOLLARDS	● ●		● ●
CONCRETE			[Stippled Box]
CURB & GUTTER	=====		=====
CUT (TOP)	-----		-----
DITCH/DRAINAGE CHANNEL CENTERLINE	--- > --- > ---	--- > --- > ---	--- > --- > ---
EDGE GRAVEL			-----
FENCE	* * * * *		
FILL (TOE)			.....
FIRE HYDRANT	[Hydrant Symbol]		[Hydrant Symbol]
PROPERTY EASEMENT LINE	- . - . - . - . - . - . -		- . - . - . - . - . - . -
PROPERTY LINE	-----		-----
SANITARY SEWER CLEANOUT	○		○
SANITARY SEWER PIPE	} PIPE SIZE & TYPE }	} PIPE SIZE & TYPE }	} PIPE SIZE & TYPE }
SANITARY SEWER MANHOLE	[Manhole Symbol]		[Manhole Symbol] (SS-1)
SIDEWALK RAMP			[Ramp Symbol]
SAWCUT & MTE LIMITS			- . - . - . - . - . - . -
SIGN	[Sign Symbol]		[Sign Symbol]
STORM DRAIN CATCH BASIN	[Catch Basin Symbol]		[Catch Basin Symbol] (S-1)
STORM DRAIN PIPE	} PIPE SIZE & TYPE } SD	} PIPE SIZE & TYPE } SD	} PIPE SIZE & TYPE } SD (P-1) SD
STORM DRAIN MANHOLE, GRATE	[Manhole Symbol]		[Manhole Symbol] (S-1)
STORM DRAIN UNDERDRAIN	--- UD --- UD --- UD ---		--- UD --- UD --- UD ---
TREES	[Tree Symbols]		
UNDERGROUND PIPE CAP	[ ]	[ ]	[ ]
UTILITY POLE	○		
UTILITY POLE WITH LUMINAIRE	○ [Luminaire]		
WATER LINE PIPE	} PIPE SIZE & TYPE }		} PIPE SIZE & TYPE }
HIGH PRESSURE WATERLINE PIPE	} PIPE SIZE & TYPE } HP		} PIPE SIZE & TYPE } HP
WATER VALVE BOX	[Valve Box Symbol]		[Valve Box Symbol]

AC	ASPHALT CONCRETE
ACP	ASBESTOS CEMENT PIPE
BOP	BEGINNING OF PROJECT
BTM	BOTTOM
BVC	BEGIN VERTICAL CURVE
CB	CATCH BASIN
CBJ	CITY & BOROUGH OF JUNEAU
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CONC	CONCRETE
CTE	CONNECT TO EXISTING
DI	DUCTILE IRON
DIA	DIAMETER
EL	ELEVATION
EOP	END OF PROJECT
EP	EDGE OF PAVEMENT
EVC	END VERTICAL CURVE
EX	EXISTING
FG	FINISHED GRADE
GP	GRADE POINT
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LG	LIP OF GUTTER
LP	LOW POINT
LT	LEFT
MH	MANHOLE
MIN	MINIMUM
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RP	RADIUS POINT
RT	RIGHT
ROW	RIGHT-OF-WAY
STA	STATION
STD	STANDARD
TBC	TOP BACK OF CURB
TBG	TOP BACK OF GUTTER
TP	TOP OF PAVEMENT
TYP	TYPICAL
VPC	VERTICAL POINT OF CURVATURE
VPT	VERTICAL POINT OF TANGENCY

1. CBJ ENGINEERING STANDARD DETAILS BOOK FOR CIVIL ENGINEERING PROJECTS AND SUBDIVISION IMPROVEMENTS FOURTH ADDITION DATED AUGUST, 2011 AND CBJ ENGINEERING STANDARD SPECIFICATIONS DATED DECEMBER, 2003 ARE MADE A PART OF THIS CONTRACT, INCLUDING ALL ERRATA (NOS. 1-16) AND CURRENT REVISIONS AS APPLICABLE.
2. CALL 586-1333 BEFORE YOU DIG FOR UNDERGROUND POWER, TELEPHONE AND CABLE. CALL 811 ALASKA DIGLINE BEFORE YOU DIG FOR UNDERGROUND ACS & GCI. LOCATIONS AND ELEVATION OF EXISTING UNDERGROUND WATER, SEWER, POWER, TELEPHONE AND CABLE TELEVISION SHOWN ON THE PLANS WERE DERIVED FROM CBJ AS-BUILTS AND FIELD LOCATES. THE ACTUAL LOCATION OF UTILITIES MAY VARY FROM THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING THE UTILITIES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. ANY DAMAGE TO THE UNDERGROUND UTILITIES DURING CONSTRUCTION SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
3. THE ESTIMATED TOTAL AREA OF DISTURBANCE RESULTING FROM THESE IMPROVEMENTS WILL BE OVER 1.00 ACRE. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS SPECIFIED IN THE PROJECT SPECIFIC SWPPP.
4. FINISHED GRADE AND ALIGNMENT ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER. LOCATION OF PROPOSED WATER, SEWER AND STORM DRAINAGE FACILITIES ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER.
5. THE CONTRACTOR SHALL PERFORM A CLOSED LEVEL LOOP THROUGH ALL TBM'S AS LISTED HEREON TO VERIFY ELEVATIONS PRIOR TO BEGINNING ANY WORK.
6. CONTRACTOR SHALL REFERENCE ALL EXISTING PROPERTY CORNER MONUMENTS (I.E. BRASS CAP MONUMENTS, REBARS, CONCRETE NAILS, CHISELED X'S) PRIOR TO CONSTRUCTION AND REMONUMENT AFTER SURFACING IS REPLACED. EXISTING SURVEY MONUMENTS MAY NOT BE SHOWN ON THE DRAWINGS. ALL WORK SHALL BE DONE BY, OR UNDER THE DIRECTION OF, AN ALASKA REGISTERED LAND SURVEYOR.
7. THE CONTRACTOR SHALL NOTIFY CBJ WATER UTILITIES (LONI VANKIRK AT 723-4975) OF PROPOSED WATER SERVICE INTERRUPTION AND SUBMIT THE "WATER SYSTEM SPECIAL USE PERMIT" TO CBJ WATER UTILITIES SUPERINTENDENT FOR APPROVAL AT LEAST 48 HOURS PRIOR TO SHUTDOWN OR FLUSHING OF MAINLINE WATER PIPE. NO WATER SERVICE INTERRUPTION MAY PROCEED UNTIL THIS APPROVAL IS OBTAINED. THE CONTRACTOR CANNOT SHUT OFF WATER SUPPLY TO SERVICES FOR MORE THAN 4 HOURS AT ONE TIME.
8. ALL MATERIALS PROPOSED FOR THE WATER SYSTEM THAT COME IN DIRECT CONTACT WITH THE WATER SHALL BE CERTIFIED BY AN ANSI ACCREDITED ORGANIZATION TO CONFORM WITH ANSI/NSF STANDARD 61 OR AN ANSI/NSF STANDARD WITH EQUIVALENT HEALTH REQUIREMENTS.
9. THE MATERIALS USED FOR THIS PROJECT SHALL COMPLY WITH THE NEW LEAD FREE REQUIREMENTS INCLUDING NOT MORE THAN 0.2% WHEN USED WITH RESPECT TO SOLDER AND FLUX AND NOT MORE THAN A WEIGHTED AVERAGE OF 0.25% LEAD WHEN USED WITH RESPECT TO THE WETTED SURFACES OF PIPES, PIPE FITTINGS, PLUMBING FITTINGS AND FIXTURES.
10. ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS.
11. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE, EXCEPT AS NOTED IN THE CONTRACT DOCUMENTS.
12. PROVIDE KNOCKOUTS IN PRECAST STORM DRAIN STRUCTURES FOR ALL PIPES SHOWN ON THE PLANS.
13. "JUMPING JACK", OR SIMILAR TYPE COMPACTORS SHALL BE USED FOR COMPACTION WITHIN 18-INCHES OF THE OUTSIDE SURFACE OF ALL WATER VALVE BOXES, CATCH BASINS AND MANHOLES.
14. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING WATER AND SEWER PIPES, INCLUDING ALL SERVICES ALONG THE STORM DRAIN AND WATER PIPE ALIGNMENTS TO DETERMINE PIPE INSULATION LOCATIONS AND TO ENSURE DAMAGE DOES NOT OCCUR TO THE PIPES.
15. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF BURIED ELECTRICAL AND COMMUNICATION CONDUITS & CABLES PRIOR TO INSTALLATION OF NEW STORM DRAIN AND SANITARY SEWER PIPES.

DRAFT  
FOR REVIEW ONLY

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY

**proHNS LLC**  
CERTIFICATE OF AUTHORIZATION #100662

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(907) 780-4004

solutions@proHNS.com  
www.proHNS.com

CBJ REVIEW

APPROVED: \_\_\_\_\_

DATE: \_\_\_\_\_

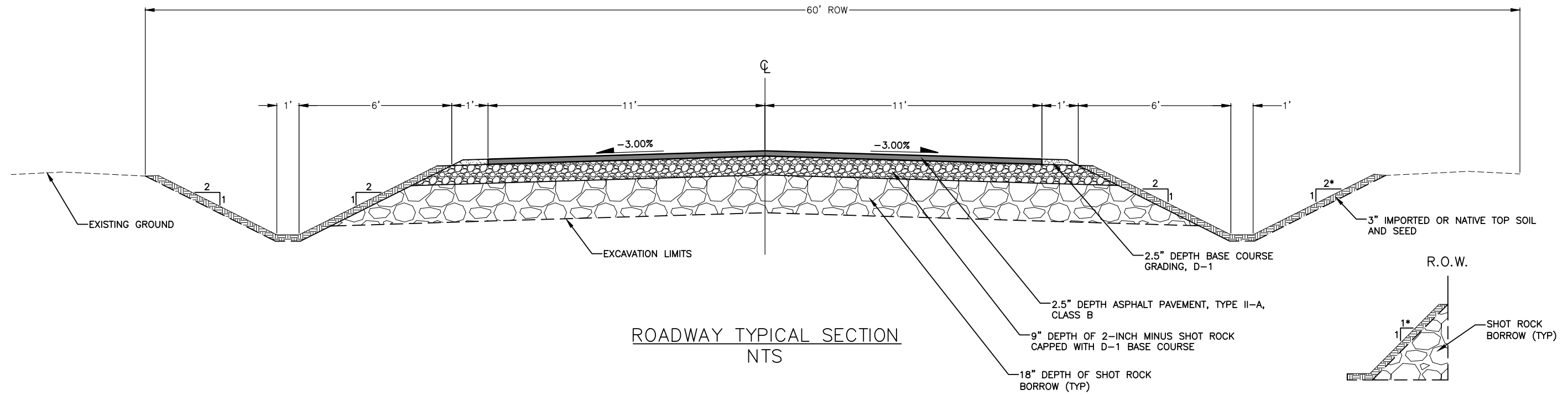
SILVER STREET  
SUBDIVISION

SHAWN KANTOLA

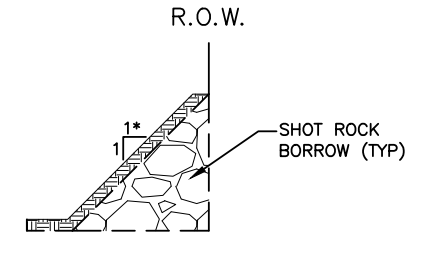
LEGEND,  
ABBREVIATIONS AND  
GENERAL NOTES

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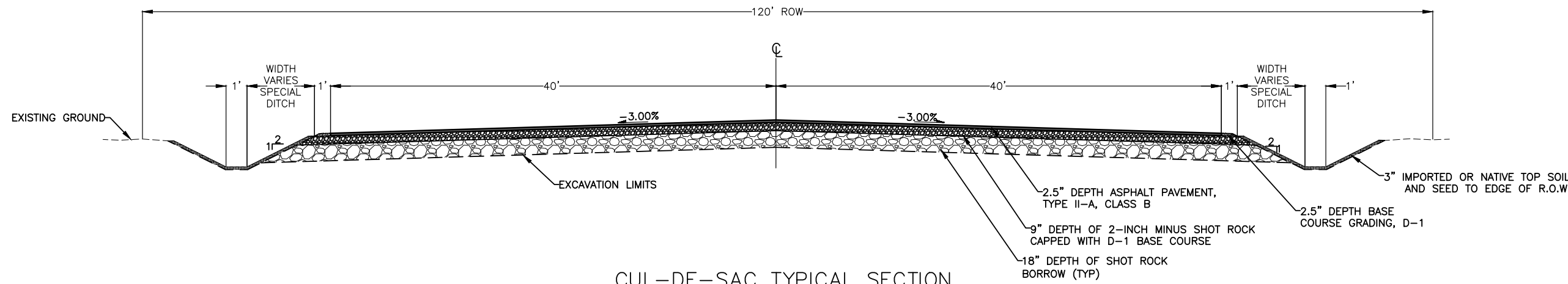


ROADWAY TYPICAL SECTION  
NTS



STEEP DITCH SLOPE  
NTS

- \* 1:1 STA 2+05 - 2+30
- \* 1:1.25 STA 2+30 - 2+50
- \* 1:1.5 STA 2+50 - 3+05



CUL-DE-SAC TYPICAL SECTION  
NTS

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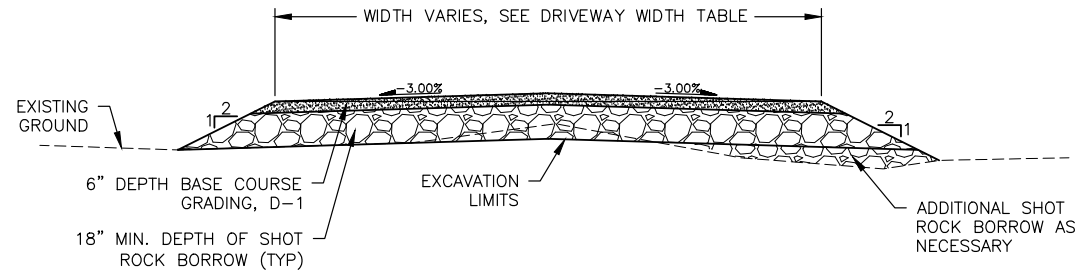
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TYPICAL SECTIONS

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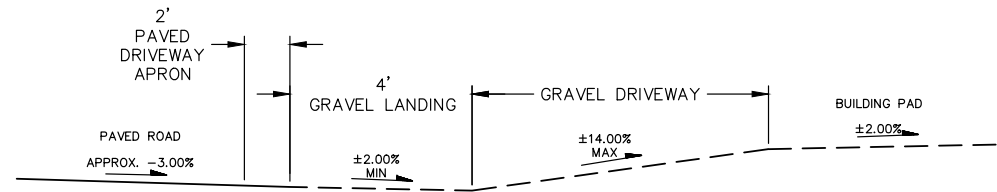
July 12, 2024



1 DRIVEWAY TYPICAL SECTION  
SCALE: NOT TO SCALE

DETAIL 1/4 NOTES:

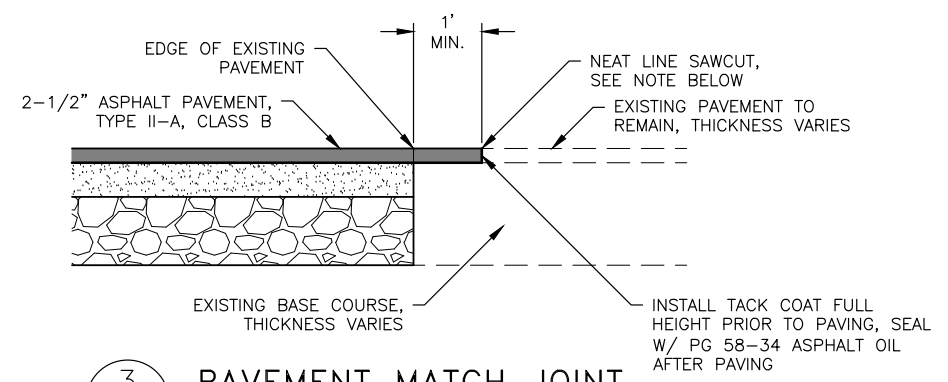
1. CLEAR AND GRUB PRIOR TO PLACING FILL MATERIAL.
2. SHOT ROCK BORROW CAN BE SUBSTITUTED WITH USABLE EXCAVATION.
3. ADDITIONAL SHOT ROCK FILL MAY BE REQUIRED TO MEET PLAN GRADES.
4. ADDITIONAL EXCAVATION BELOW THE NEATLINE SUBCUT LEVEL MAY BE REQUIRED IF ORGANIC OR OTHER UNSUITABLE MATERIALS ARE ENCOUNTERED. EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIALS SHALL BE APPROVED BY THE ENGINEER.
5. IF SUBGRADE BELOW EXCAVATION LIMITS IS CLAY INSTALL FILTER FABRIC, TYPE C PER CBJ STANDARD SPECIFICATION SECTION 02714 - FILTER CLOTH AT LOCATIONS AS DIRECTED BY THE ENGINEER.
6. LARGE BOULDERS, HARDPAN, STUMPS, LOGS, ORGANICS AND GROUND WATER MAY BE ENCOUNTERED AT VARIOUS DEPTHS DURING TRENCHING, DITCHING AND ROADWAY EXCAVATION OPERATIONS. THESE MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY THE ENGINEER.
7. ALL CUT AND FILL SLOPES NOT STABILIZED WITH SHOT ROCK SHALL BE TOPPED W/ NATIVE SOIL AND SEEDED.



2 DRIVEWAY PROFILE FOR PRIVATE LOTS  
SCALE: NOT TO SCALE

DETAIL 1/4 NOTES:

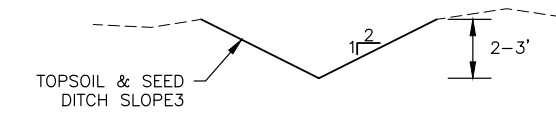
1. SEE CBJ STD. DWG. 103A FOR ADDITIONAL DETAILS.
2. PROVIDE A SMOOTH TRANSITION BETWEEN GRADE BREAKS.
3. THIS DETAIL SHOW MIN & MAX ALLOWABLE SLOPES. SEE GRADING PLAN FOR DRIVEWAY SPECIFIC SLOPES.



3 PAVEMENT MATCH JOINT  
SCALE: NOT TO SCALE

DETAIL 1/4 NOTES:

1. FINAL SAWCUT OF EXISTING ASPHALT SHALL NOT BE MADE UNTIL 24 HOURS PRIOR TO PAVING.



4 INDEPENDENT DRIANGE DITCH  
SCALE: NOT TO SCALE

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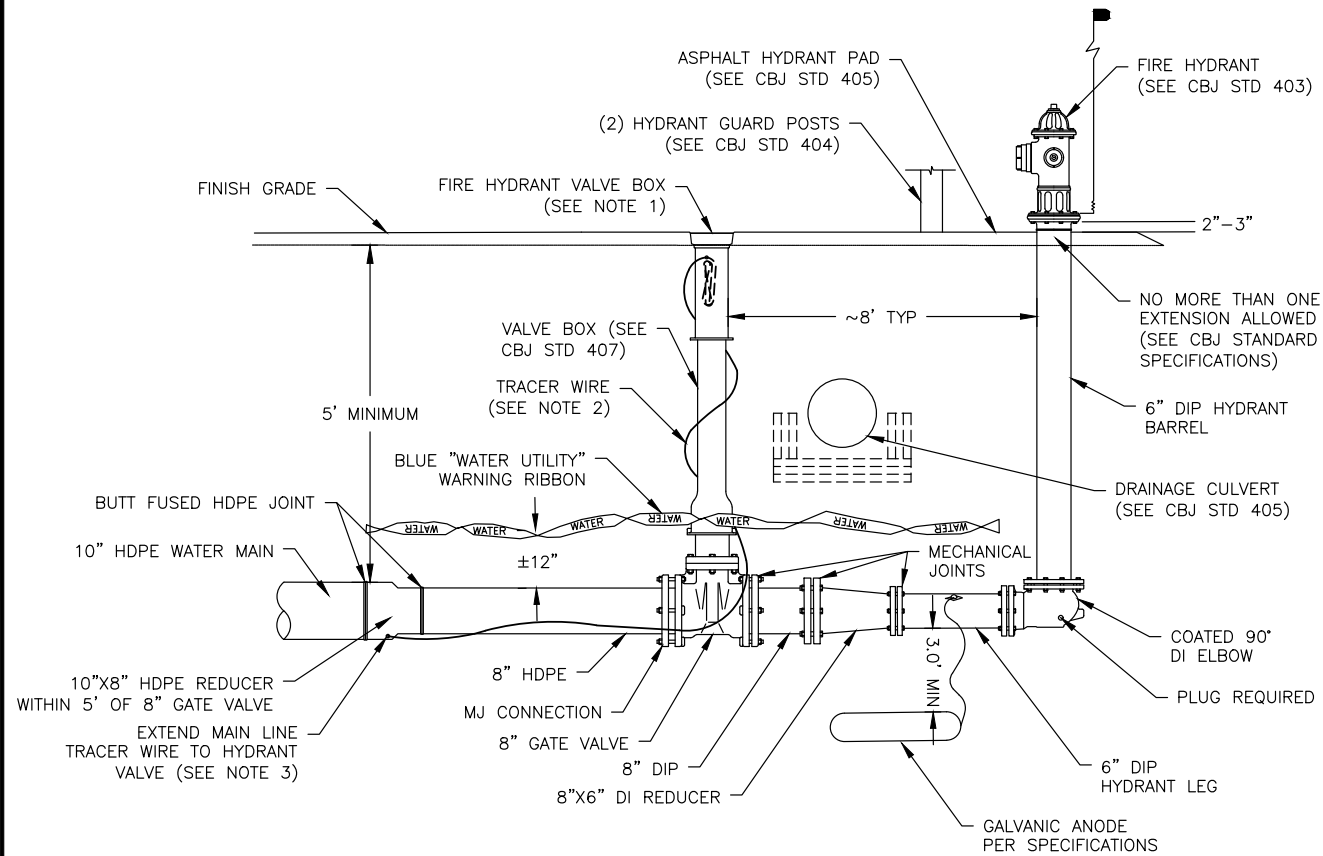
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SILVER STREET SUBDIVISION  
SHAWN KANTOLA

CONSTRUCTION DETAILS - 1

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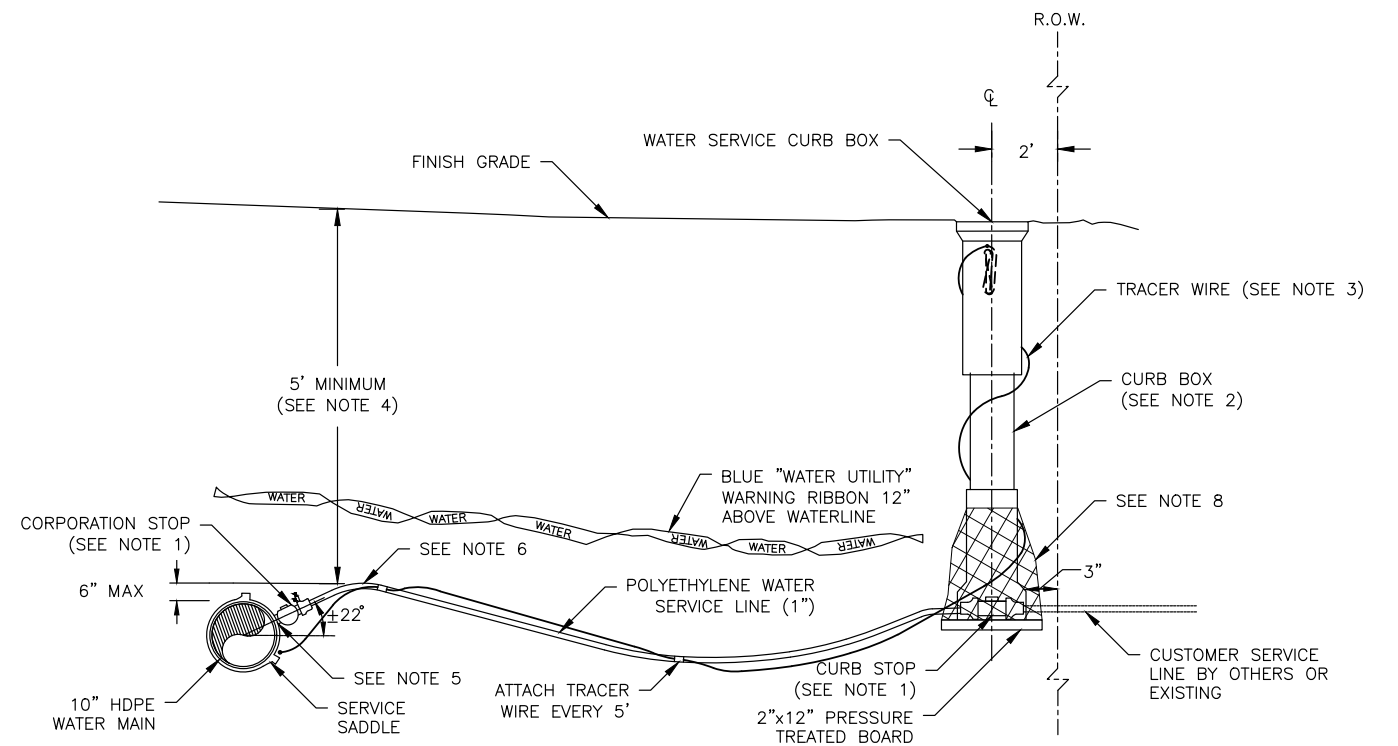
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**1** MODIFIED FIRE HYDRANT ASSEMBLY DETAIL  
 5 SCALE: NOT TO SCALE

**DETAIL 1/5 NOTES:**

- FIRE HYDRANT VALVE BOX TO BE INSTALLED SO THAT THE LID IS A MINIMUM OF 3/8", MAXIMUM OF 5/8" BELOW FINISHED PAVEMENT, SEE CBJ STANDARD DETAIL 407.
- TRACER WIRE SHALL BE NO.10 AWG HIGH-STRENGTH COPPER CLAD STEEL WITH BLUE HDPE INSULATION JACKET. MAIN LINE TRACER WIRE SHALL NOT BE SPLICED AND SHALL BE CONTINUOUS BETWEEN VALVE BOXES. SERVICE AND HYDRANT LEGS SHALL USE WATERPROOF DIRECT BURY SPLICE CONNECTION LUGS. TRACER WIRE SHALL BE CONNECTED TO THE BOTTOM QUADRANT OF THE HDPE WATER PIPE. EACH END OF TRACER WIRE SHALL BE TERMINATED AT A VALVE BOX, TRACER WIRE SHALL RUN OUTSIDE THE VALVE BOX AND BE INSERTED INTO THE VALVE BOX THROUGH A 3/4" DRILLED HOLE WITHIN 9"-12" OF THE TOP. 5' OF ADDITIONAL TRACER WIRE SHALL BE NEATLY COILED WITHIN THE VALVE BOX.
- TRACER SPLICE CONNECTION ARE TO BE CONSTRUCTED USING DRYCONN WATERPROOF DIRECT BURY LUGS AS MANUFACTURED BY KING INNOVATION OR APPROVED EQUAL.
- HYDRANT BARREL AND VALVE BOX SHALL BE PLUMB.
- GROUND COVER SHALL BE 5' MINIMUM. ADDITIONAL COVER (MORE THAN 5') MAY BE REQUIRED BY THE ENGINEER.
- ALL HYDRANTS SHALL BE PAINTED CATERPILLAR YELLOW, AND THE NUMBER OF FEET TO THE VALVE SHALL BE PRINTED IN BLACK 1/2" BLOCK LETTERS JUST BELOW THE TOP BONNET. PORT CAPS SHALL BE COLOR CODED PER NFPA STANDARD 291 AS DIRECTED BY THE CBJ WATER UTILITIES DEPARTMENT.
- HYDRANT SHALL BE MUELLER CENTURION 200 OR 250 WITH INTEGRAL STORZ PUMPER CONNECTION OR APPROVED EQUAL. CLOW F2500 SERIES HYDRANTS ARE NO LONGER ACCEPTED BY CBJ.
- ALL BOLTS TO HAVE THREADED ZINC ANODE CAP, SEE DETAIL 3 SHEET 6.



**2** POLYETHYLENE WATER SERVICE DETAIL  
 5 SCALE: NOT TO SCALE

**DETAIL 2/5 NOTES:**

- USE MUELLER CORPORATION STOP NO. B25025, FORD CORPORATION STOP NO. FB700-4, OR APPROVED EQUAL. USE MUELLER CURB STOP NO. H15201, OR NO. H15204, FORD CURB STOP B22-444 OR APPROVED EQUAL.
- CURB BOX SHALL BE KEJRIWAL PACIFIC 145R 49"-62" LID, TOP, MIDDLE AND BOTTOM OR APPROVED EQUIVALENT.
- TRACER WIRE SHALL BE NO.10 AWG HIGH-STRENGTH COPPER CLAD STEEL WITH BLUE HDPE INSULATION JACKET. MAIN LINE TRACER WIRE SHALL NOT BE SPLICED AND SHALL BE CONTINUOUS BETWEEN VALVE BOXES. SERVICES SHALL USE WATERPROOF DIRECT BURY SPLICE CONNECTION LUGS. TRACER WIRE SHALL BE CONNECTED TO THE BOTTOM QUADRANT OF THE HDPE WATER PIPE. EACH END OF TRACER WIRE SHALL BE TERMINATED AT A VALVE BOX, TRACER WIRE SHALL RUN OUTSIDE THE VALVE BOX AND BE INSERTED INTO THE VALVE BOX THROUGH A 3/4" DRILLED HOLE WITHIN 9"-12" OF THE TOP. 5' OF ADDITIONAL TRACER WIRE SHALL BE NEATLY COILED WITHIN THE VALVE BOX.
- ALL SERVICES MUST HAVE A MINIMUM OF 5' OF COVER BELOW EXISTING CULVERTS AND DITCHES. ADDITIONAL DEPTH MAY BE REQUIRED BY THE ENGINEER. INSULATE SERVICE LINES PER CBJ STD 412 WHERE NEEDED.
- HOLE DRILLED IN THE MAIN FOR THE CORPORATION STOP SHALL BE THE SAME DIAMETER AS THE SERVICE PIPE.
- PROVIDE AN ADDITIONAL 12" OF SERVICE PIPE BEYOND STRAIGHT LINE LENGTH REQUIRED. LOOP AS SHOWN AT THE CORP STOP. MAINTAIN 5' MINIMUM BURIAL AT HIGH POINT OF SERVICE LINE.
- MAINTAIN A MINIMUM OF 18" OF SEPARATION BETWEEN VALVE BOXES, AND BETWEEN VALVE BOXES AND OTHER STRUCTURES.
- WRAP BOTTOM OF CURB BOX WITH FABRIC OR PLASTIC PRIOR TO BACKFILLING TO KEEP MATERIAL FROM INFILTRATING THE BOX.
- SERVICE BOXES SHALL BE LOCATED 2 FEET INSIDE OF THE RIGHT-OF-WAY LINE.
- CONTRACTOR TO SUPPLY ALL NECESSARY PARTS AND FITTINGS TO CONNECT THE PROPOSED 1" WATER SERVICES TO THE EXISTING WATER SERVICES AFTER THE CURB STOP.

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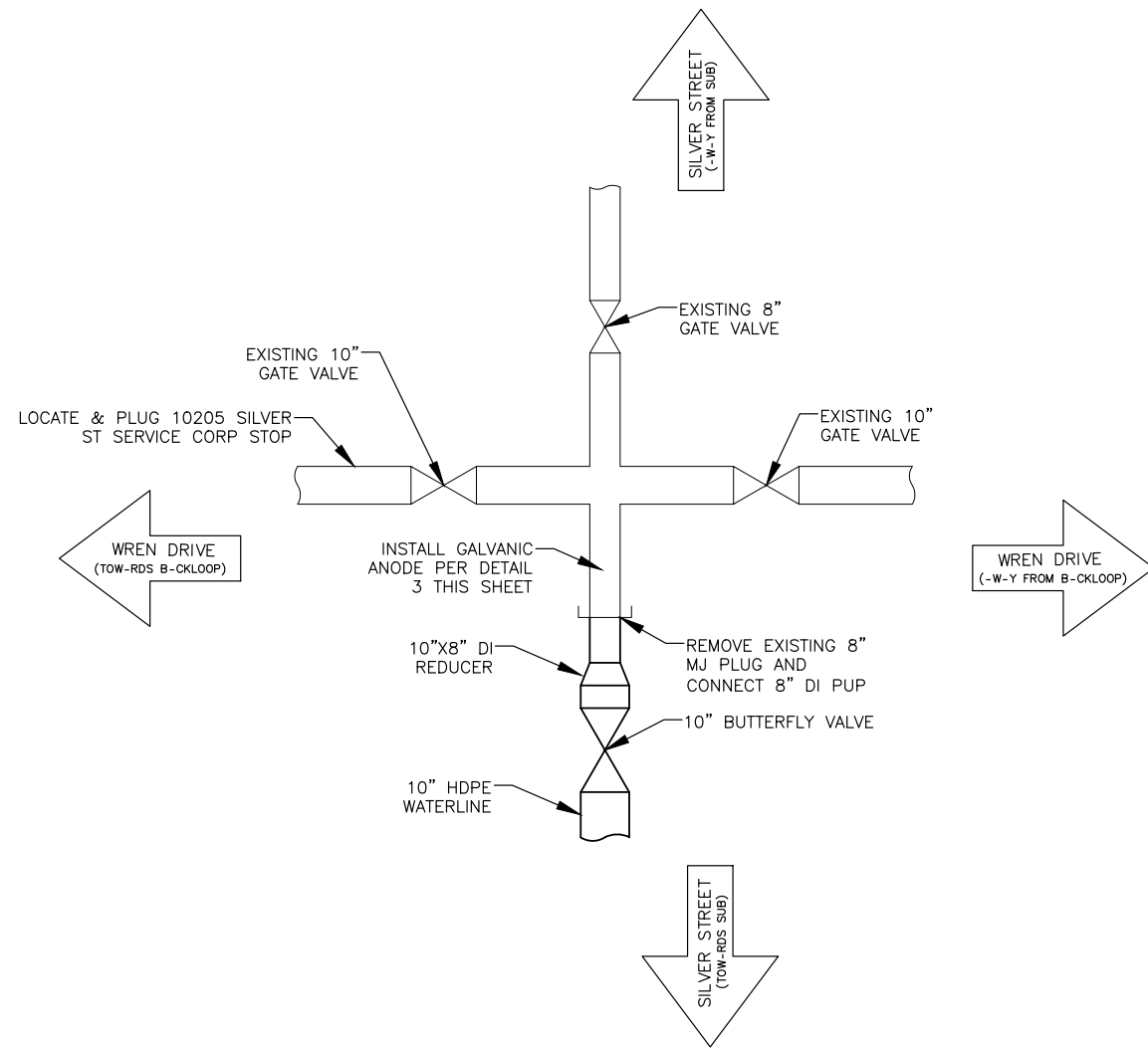
DRAWN BY: R. CIECKO  
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**SILVER STREET SUBDIVISION**  
 SHAWN KANTOLA

**CONSTRUCTION DETAILS - 2**

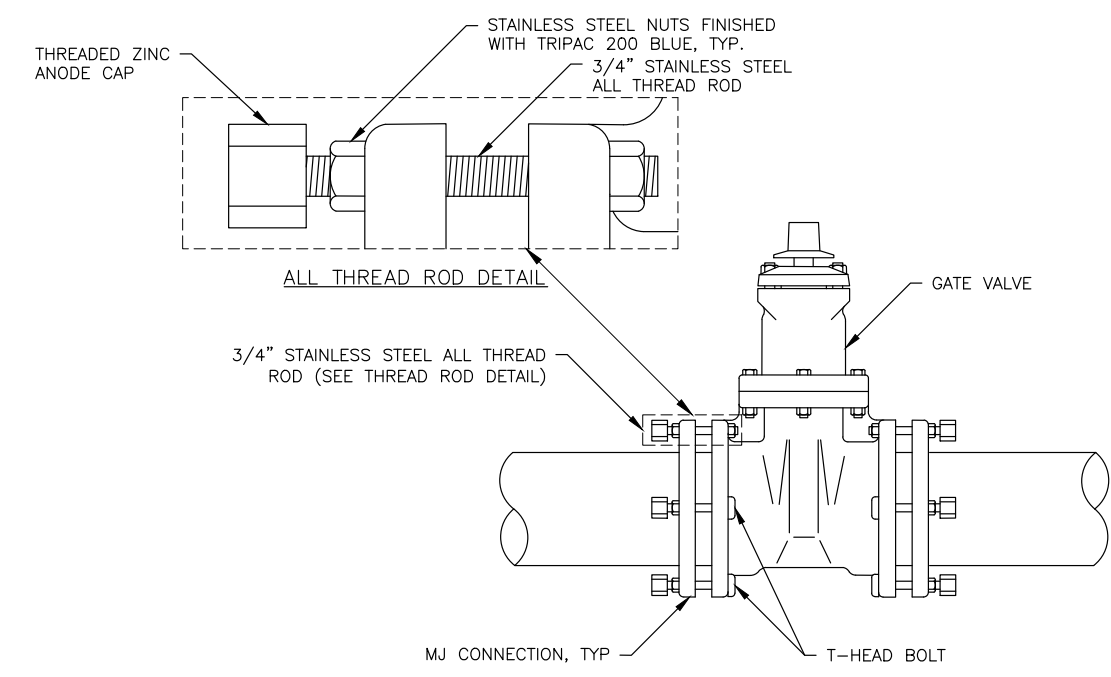
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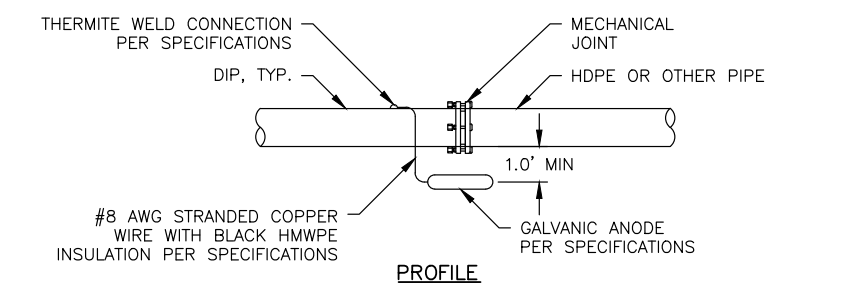
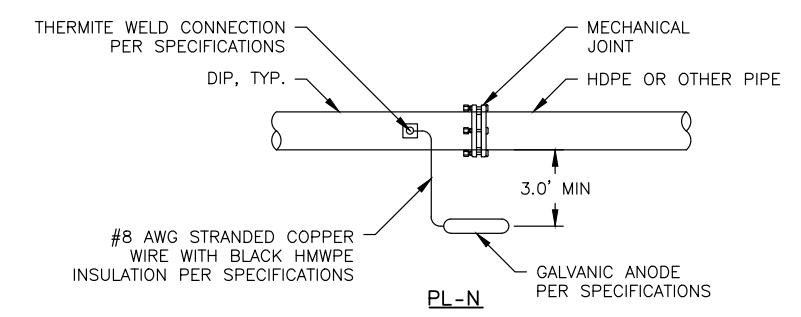
**1**  
6  
**WATERLINE CONNECTION INTERSECTION SILVER ST & WREN DR**  
SCALE: NOT TO SCALE

**DETAIL 1/6 NOTES:**

1. ADDITIONAL PARTS MAY BE NECESSARY FOR CONNECTION. CONTRACTOR TO PROVIDE ALL PARTS AND FITTINGS TO MAKE CONNECTION.
2. THE BUTT FUSION WELD SHALL BE PERFORMED IN OR ABOVE THE TRENCH. THE USE OF ELECTROFUSION COUPLERS WILL NOT BE ALLOWED.
3. FIELD LOCATES INDICATE BENDS AND/OR DEFLECTION IN EXISTING WATERLINE. CONTRACTOR TO PROVIDE HDPE BENDS/FITTINGS OR SWEEPS, AS NECESSARY, FOR NEW WATERLINE CONNECTION.
4. TERMINATE TRACER WIRE IN NEW 10" VALVE BOX.



**2**  
6  
**VALVE BOLT CONNECTION DETAIL**  
SCALE: NOT TO SCALE



**3**  
6  
**GALVANIC ANODE INSTALLATION FOR PIPE MATERIAL TRANSITION DETAIL**  
SCALE: NOT TO SCALE

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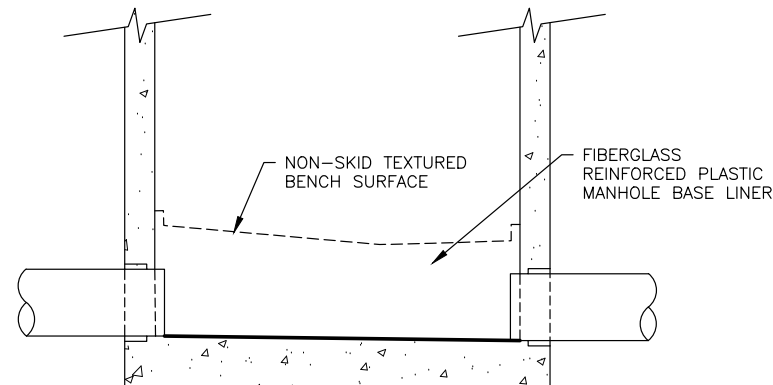
DRAWN BY: R. CIECKO  
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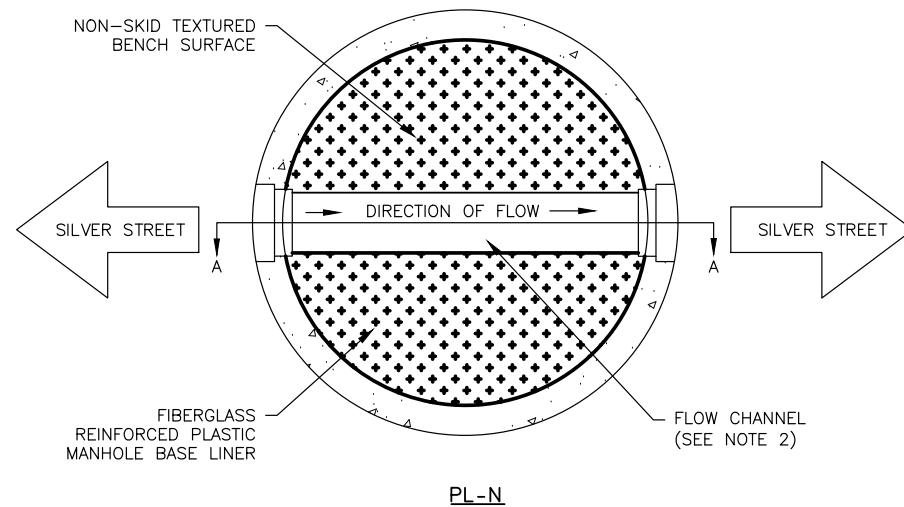
**SILVER STREET SUBDIVISION**  
SHAWN KANTOLA

**CONSTRUCITON DETAILS - 3**

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OF  
**15**



SECTION ---



PL-N

**PRECAST MANHOLE WITH FIBERGLASS REINFORCED PLASTIC BASE LINER DETAIL**

1  
7  
SCALE: NOT TO SCALE

**DETAIL 1/7 NOTES:**

1. THE MANHOLE BASE LINER SHALL BE FIBERGLASS REINFORCED PLASTIC (FRP) OR APPROVED EQUAL.
2. FRP BASE LINER SHALL HAVE A MINIMUM DROP OF 0.05' BETWEEN INLET AND OUTLET PIPES.
3. FRP BASE LINER SHALL BE PRE MANUFACTURED TO MATCH THE PIPE SIZES, ANGLES, SLOPES AND INVERTS AS SHOWN IN THE DESIGN DRAWINGS.
4. FIBERGLASS REINFORCED PLASTIC BASE LINERS SHALL USE FLEXIBLE SEAL ADAPTER FOR ALL PIPES.
5. NOTES AND REQUIREMENTS IN CBJ DETAIL 203 FOR STANDARD SANITARY SEWER MANHOLE TYPE I & II APPLY TO THIS DETAIL.

WATER SERVICE SUMMARY		
LOT #	STATION & OFFSET	SIZE/TYPE/NOTES
1	SILVER: STA: 3+60.61, OFF: 25.019 RT	1" SIDR7 POLY
2	SILVER: STA: 4+24.76, OFF: 51.201 RT	1" SIDR7 POLY
3	SILVER: STA: 4+77.76, OFF: 54.074 RT	1" SIDR7 POLY
4	SILVER: STA: 4+95.94, OFF: 41.41 RT	1" SIDR7 POLY
5	SILVER: STA: 4+97.32, OFF: 39.945 RT	1" SIDR7 POLY
6	SILVER: STA: 4+98.64, OFF: 38.427 RT	1" SIDR7 POLY
7	SILVER: STA: 4+99.92, OFF: 36.856 RT	1" SIDR7 POLY
8	SILVER: STA: 5+11.44, OFF: 13.780 LT	1" SIDR7 POLY
9	SILVER: STA: 4+82.27, OFF: 51.829 LT	1" SIDR7 POLY
10	SILVER: STA: 3+61.43, OFF: 33.489 LT	1" SIDR7 POLY
10205 SILVER	SILVER: STA: 2+55.76, OFF: 22.121 RT	1" SIDR7 POLY

- NOTES:
1. TRACER WIRE SHALL BE NO.10 AWG HIGH-STRENGTH COPPER CLAD STEEL WITH BLUE HDPE INSULATION JACKET. MAIN LINE TRACER WIRE SHALL NOT BE SPLICED AND SHALL BE CONTINUOUS BETWEEN VALVE BOXES. SERVICES SHALL USE WATERPROOF DIRECT BURY SPLICE CONNECTION LUGS. TRACER WIRE SHALL BE CONNECTED TO THE BOTTOM QUADRANT OF THE HDPE WATER PIPE. EACH END OF TRACER WIRE SHALL BE TERMINATED AT A VALVE BOX, TRACER WIRE SHALL RUN OUTSIDE THE VALVE BOX AND BE INSTERTED INTO THE VALVE BOX THROUGH A 3/4" DRILLED HOLE WITHIN 9"-12" OF THE TOP 0.5' OF ADDITIONAL TRACER WIRE SHALL BE NEATLY COILED WITHIN THE VALVE BOX.
  2. SPLICE TRACER WIRE TO MAIN WITH DRYCONN WATERPROFF DIRECT BURY LUGS.
  3. ATTACH TRACER WIRE TO SERVICE EVERY 5 FEET.
  4. INSULATE WATER SERVICES PER STD 412 AT STORM DRAIN OR DITCH CROSSINGS WHERE 5 FEET OF COVER/SEPARATION CANNOT BE OBTAINED.

SEWER SERVICE SUMMARY		
LOT #	STATION & OFFSET	SIZE/TYPE/NOTES
1	SILVER: STA: 3+63.22, OFF: 25.09 RT	4" SDR 35 PVC
2	SILVER: STA: 4+27.40, OFF: 52.628 RT	4" SDR 35 PVC
3	SILVER: STA: 4+37.40, OFF: 53.638 RT	4" SDR 35 PVC
4	SILVER: STA: 5+03.47, OFF: 31.814 RT	4" SDR 35 PVC
5	SILVER: STA: 5+04.55, OFF: 30.019 RT	4" SDR 35 PVC
6	SILVER: STA: 5+05.57, OFF: 28.163 RT	4" SDR 35 PVC
7	SILVER: STA: 5+06.54, OFF: 26.245 RT	4" SDR 35 PVC
8	SILVER: STA: 5+10.73, OFF: 16.492 LT	4" SDR 35 PVC
9	SILVER: STA: 4+84.52, OFF: 50.539 LT	4" SDR 35 PVC
10	SILVER: STA: 3+58.83, OFF: 33.579 LT	4" SDR 35 PVC
0205 SILVER S	SILVER: STA: 2+57.79, OFF: 22.178 RT	4" SDR 35 PVC

- NOTES:
1. ADJUST SEWER SERVICE SLOPES TO PROVIDE MAXIMUM SEPARATION UTILITY CORSSINGS. INTSLAL SWEEPS AS REQUIRED UPON APPROVAL OF THE ENGINEER.
  2. CONSTRUCT NEW 6" PVC SEWER SERVICE AND INSTALL NEW CLEANOUT NEAR PROPERTY LINE PER CBJ STANDARD DETIAL 213 AND CONNECT TO EXISTING SEWER SERVICE.
  3. SEWER SERVICE CLEAN-OUTS TO HAVE METAL COVERS.

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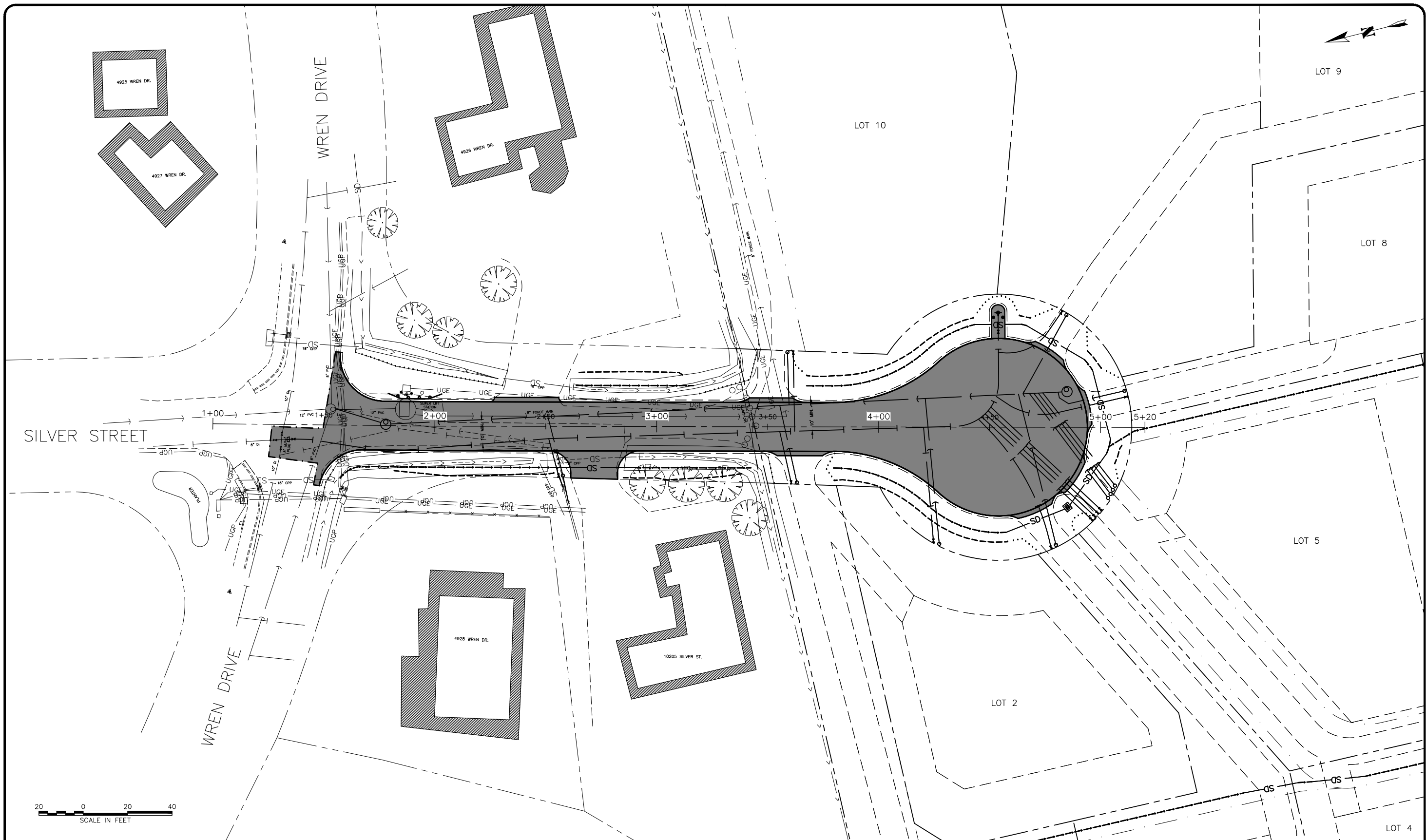
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 DESIGNED BY: L. CH-MBERS  
 CHECKED BY: G. GL-DSJO

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**SILVER STREET SUBDIVISION**  
 SHAWN KANTOLA


**CONSTRUCTION DETAILS & SUMMARIES**  
 - 4

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**SILVER STREET SUBDIVISION**

SHAWN KANTOLA

**SILVER ST ROW PLAN OVERVIEW**

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**15**

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Attachment C - Construction Plans

STORM DRAIN PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	START STATION/OFFSET
P-1	18"	36.18	CPP	-0.50%	46.49	46.31	STA: 2+53.79, 18.50 RT

SEWER PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	NOTES
SP-EX-1	8"	-	PVC	-	-	39.22	*DROP CONNECTION
SP-EX-2	12"	-	PVC	-	-	39.35	*DROP CONNECTION
SP-EX-3	8"	-	PVC	-	-	37.80	
SP-EX-4	12"	33.85	PVC	1.52%	37.54	37.025	*OUTFALL INTO LIFT STATION

SEWER PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
SP-1	8"	25.80	PVC	-4.87%	43.26	42.00
SP-2	8"	307.34	PVC	-0.50%	44.89	43.36

4926 WREN DR

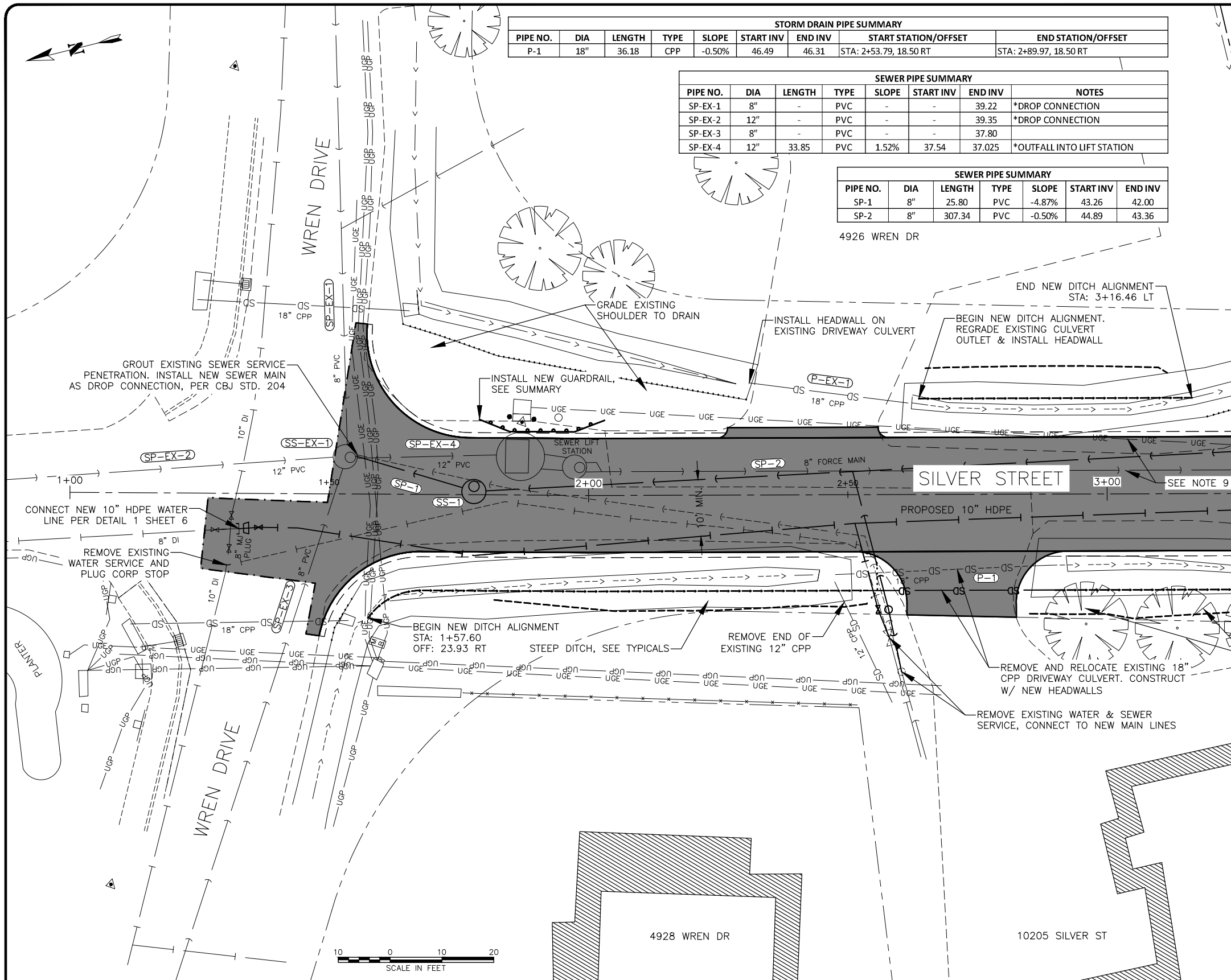
**SHEET NOTES:**

- ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS.
- THE PLAN DRAWINGS DO NOT SHOW ALL PLANTINGS, AND OTHER LANDSCAPING THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO PLANTINGS OR LANDSCAPING ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES.
- PROVIDE ALL PIPE EXTENSIONS, ADAPTERS, ELBOWS AND OTHER FITTINGS NECESSARY TO CONNECT TO DISSIMILAR PIPE SIZES, MATERIALS, AND DEPTHS.
- INSTALL NEW WATER SERVICE PER CBJ STD 406A. WHERE WATER SERVICE CROSSES UNDER STORM DRAIN PIPE, INSULATE PER CBJ STD 412.
- INSTALL NEW SEWER SERVICE AND CLEAN-OUT PER CBJ STD 213..
- MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN PROPOSED WATER PIPE AND ALL STORM AND SEWER CROSSINGS, SEE STD DETAIL 215.
- INSTALL NEW CULVERT HEADWALLS PER CBJ STD. 104B
- EXACT LOCATION OF SEWER FORCE MAIN AND LIFT STATION POWER UNKNOWN. USE EXTREME CAUTION WHEN EXCAVATING IN THIS AREA.

GUARDRAIL SUMMARY		
STATION	OFFSET	NOTE
1+78.86	14.50 LT	END SECTION, TYPE I
1+84.64	12.25 LT	ANGLE POINT
1+97.14	12.25 LT	ANGLE POINT
2+03.27	14.50 LT	END SECTION, TYPE 2

SS-1	SSMH, TYPE- I*
STA: 1+77.89	OFF: 0.59 LT
FRAME EL=	50.13
SP-1	43.26
SP-2	43.36
*INSTALL W/ FIBERGLASS BASELINER	

SS-EX-1	EX SSMH
STA: 1+52.98	OFF: 7.24 LT
FRAME EL=	49.89
SP-1	42.00
SP-EX-1	39.22
SP-EX-2	39.35
SP-EX-3	37.80
SP-EX-4	37.54



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**SILVER STREET SUBDIVISION**  
 SHAWN KANTOLA

**SILVER ST PLAN - 1+00 TO 3+25**

SHEET NUMBER  
**9**  
 OF  
**15**

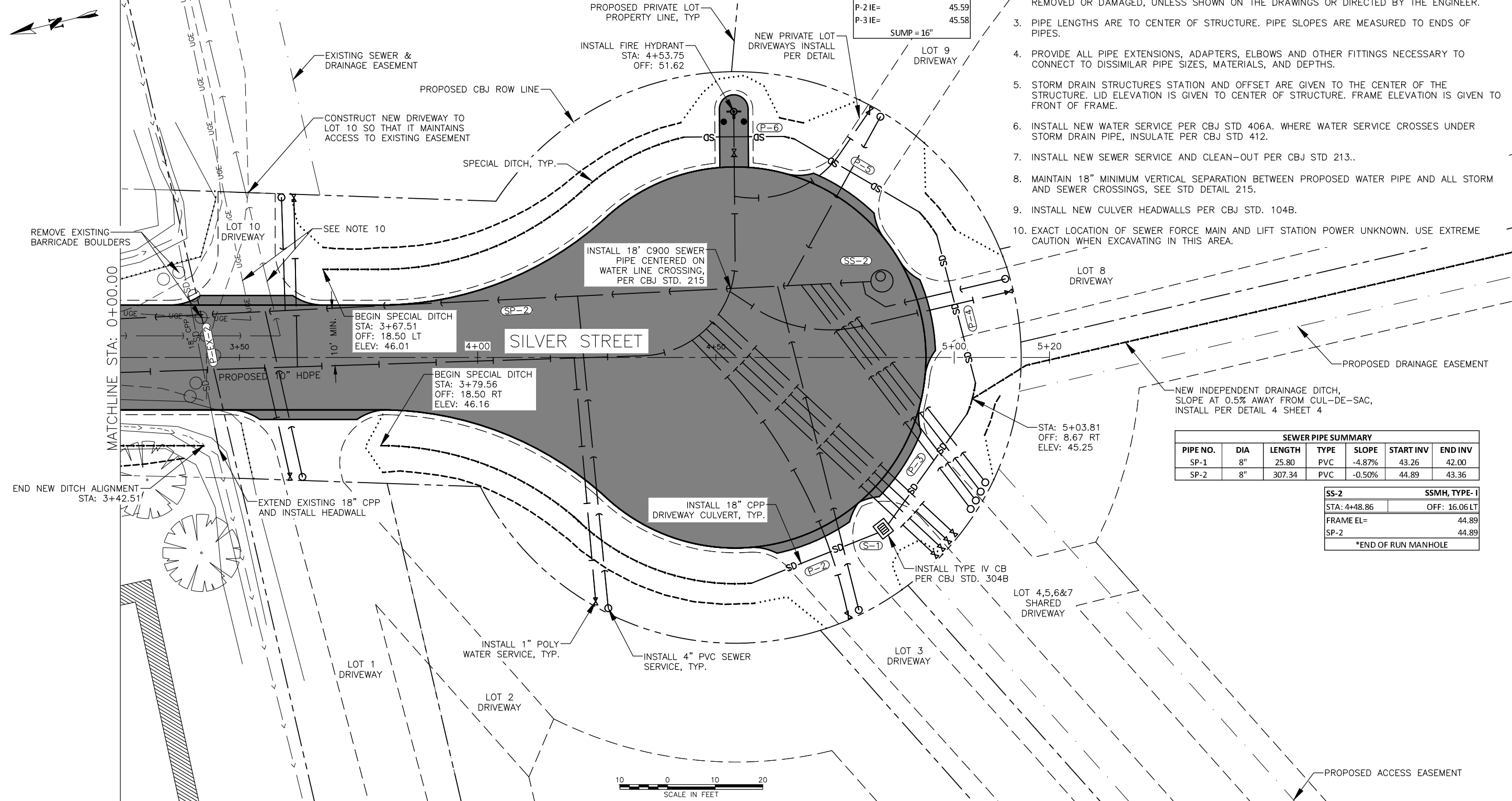


STORM DRAIN PIPE SUMMARY							
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV	START STATION/OFFSET
P-2	18"	28.52	CPP	-0.51%	45.73	45.59	STA: 4+57.51, 47.38 RT
P-3	18"	28.43	CPP	-0.97%	45.58	45.30	STRUCTURE S1
P-4	18"	32.1	CPP	-0.25%	45.38	45.30	STA: 4+96.34, 25.71 LT
P-5	18"	30.3	CPP	-0.50%	45.57	45.42	STA: 4+66.53, 45.84 LT
P-6	18"	21	CPP	-0.50%	45.68	45.58	STA: 4+43.29, 46.26 LT

STORM DRAIN PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
P-EX-2	18"	39.09	CPP	-0.59%	45.85	45.62

S-1	TYPE IV CB
STA: 4+85.12	OFF: 35.95 RT
FRAME EL=	48.60
P-2 IE=	45.59
P-3 IE=	45.58
SUMP = 16"	

- SHEET NOTES:**
- ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS.
  - THE PLAN DRAWINGS DO NOT SHOW ALL PLANTINGS, AND OTHER LANDSCAPING THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO PLANTINGS OR LANDSCAPING ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
  - PIPE LENGTHS ARE TO CENTER OF STRUCTURE. PIPE SLOPES ARE MEASURED TO ENDS OF PIPES.
  - PROVIDE ALL PIPE EXTENSIONS, ADAPTERS, ELBOWS AND OTHER FITTINGS NECESSARY TO CONNECT TO DISSIMILAR PIPE SIZES, MATERIALS, AND DEPTHS.
  - STORM DRAIN STRUCTURES STATION AND OFFSET ARE GIVEN TO THE CENTER OF THE STRUCTURE. LID ELEVATION IS GIVEN TO CENTER OF STRUCTURE. FRAME ELEVATION IS GIVEN TO FRONT OF FRAME.
  - INSTALL NEW WATER SERVICE PER CBJ STD 406A. WHERE WATER SERVICE CROSSES UNDER STORM DRAIN PIPE, INSULATE PER CBJ STD 412.
  - INSTALL NEW SEWER SERVICE AND CLEAN-OUT PER CBJ STD 213..
  - MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN PROPOSED WATER PIPE AND ALL STORM AND SEWER CROSSINGS, SEE STD DETAIL 215.
  - INSTALL NEW CULVER HEADWALLS PER CBJ STD. 104B.
  - EXACT LOCATION OF SEWER FORCE MAIN AND LIFT STATION POWER UNKNOWN. USE EXTREME CAUTION WHEN EXCAVATING IN THIS AREA.



SEWER PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
SP-1	8"	25.80	PVC	-4.87%	43.26	42.00
SP-2	8"	307.34	PVC	-0.50%	44.89	43.36

SS-2	SSMH, TYPE-1
STA: 4+48.86	OFF: 16.06 LT
FRAME EL=	44.89
SP-2	44.89
*END OF RUN MANHOLE	

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**proHNS LLC**  
ENGINEERING & PUBLIC WORKS

CERTIFICATE OF AUTHORIZATION #100662

2201 DUNN STREET, STE 2  
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**CITY AND BOROUGH OF JUNEAU**  
ALASKA'S CAPITAL CITY

ENGINEERING & PUBLIC WORKS

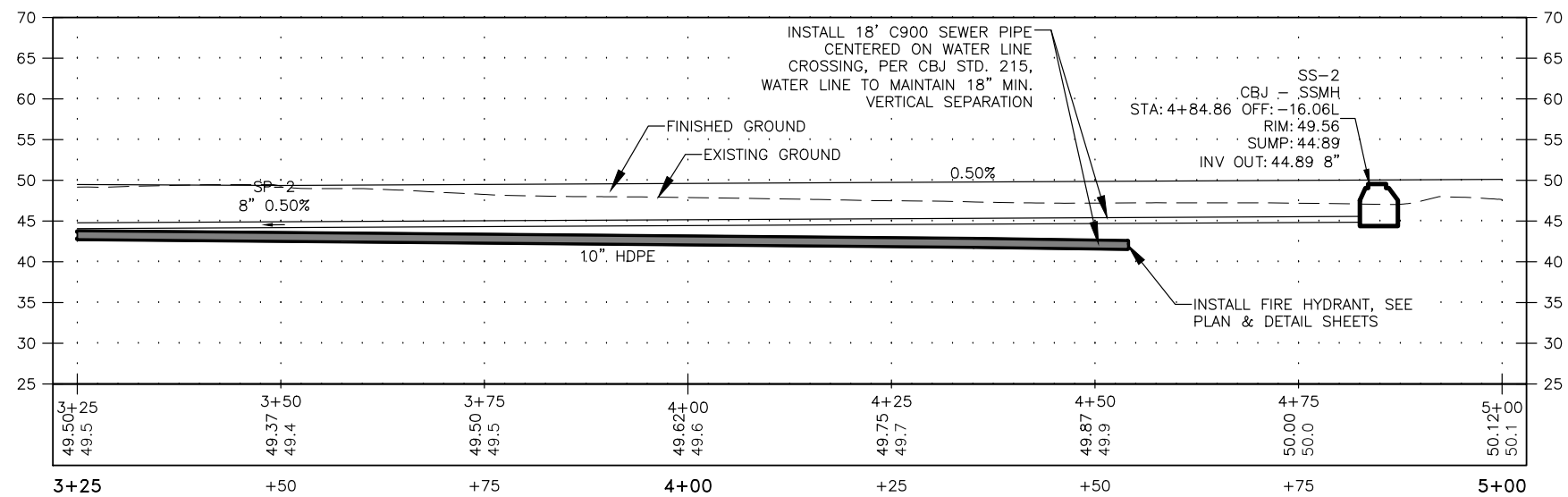
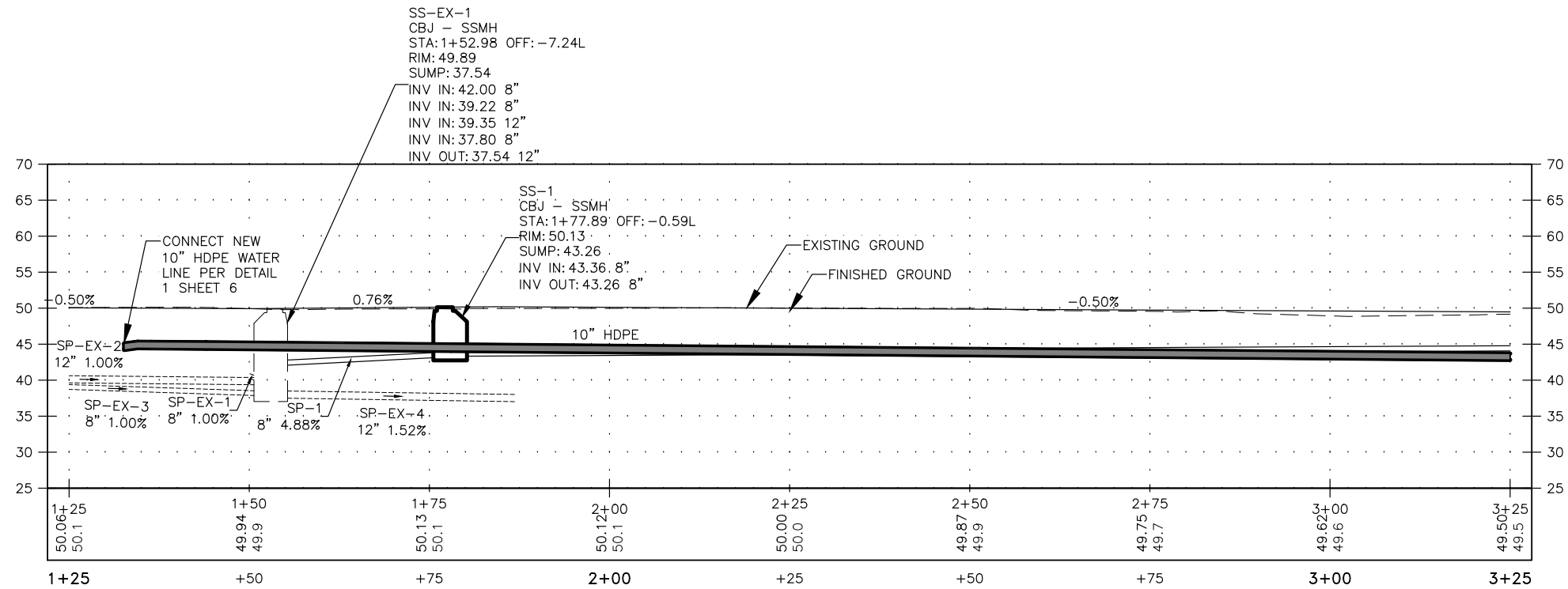
**SILVER STREET SUBDIVISION**

SHAWN KANTOLA

**SILVER ST PLAN - 3+25 TO 5+20**

SHEET NUMBER
10
OF
15

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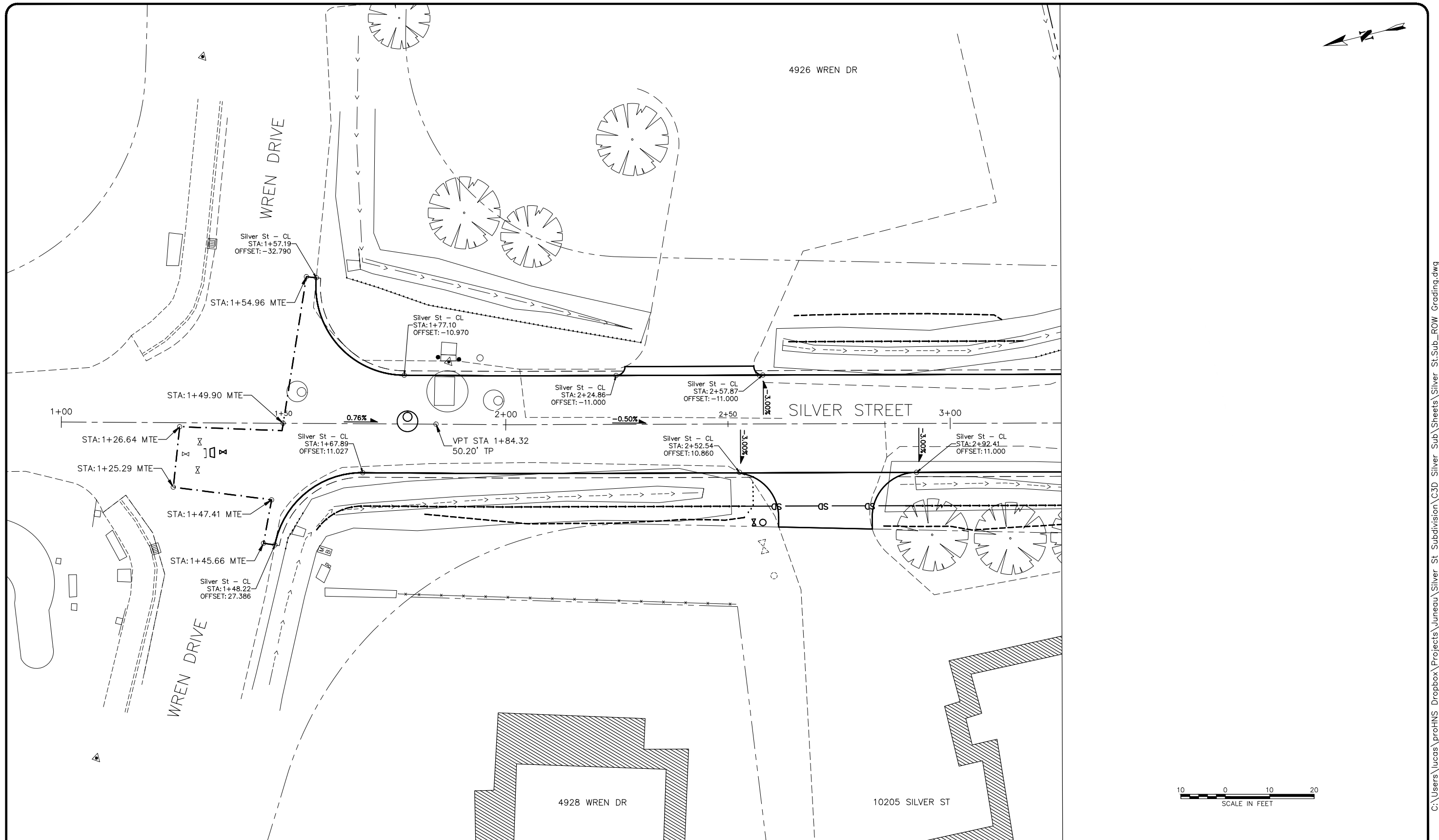
DRAWN BY: R. CIECKO  
 DESIGNED BY: L. CH-MBERS  
 CHECKED BY: G. GL-DSJO  
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 APPROVED: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**SILVER STREET  
 SUBDIVISION**  
 SHAWN KANTOLA

**SILVER ST PROFILE**

SHEET NUMBER  
 11  
 OF  
 15



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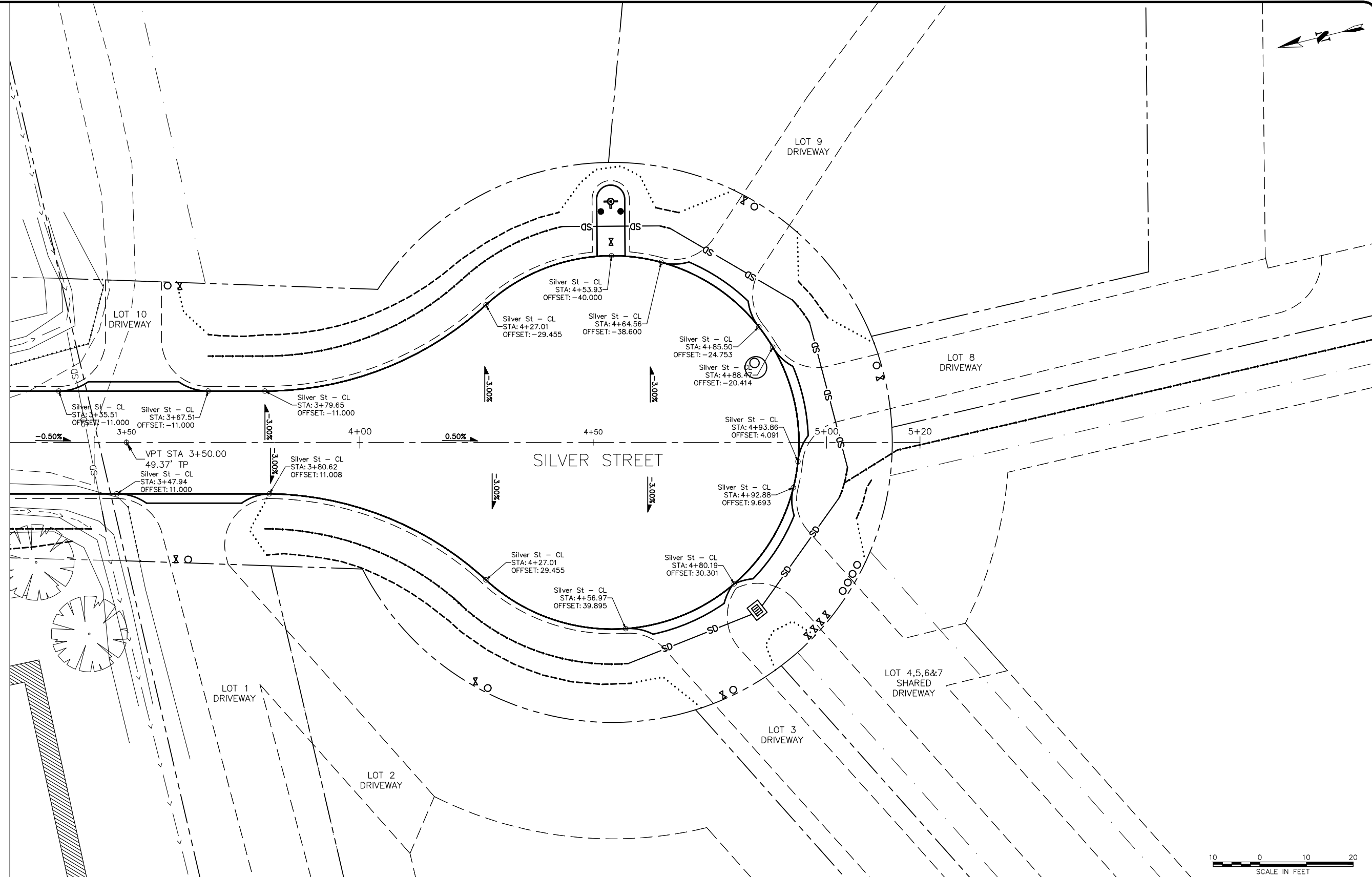
**CBJ REVIEW**  
 APPROVED: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**SILVER STREET SUBDIVISION**  
 SHAWN KANTOLA

**GRADING PLAN - STA 1+00 TO 3+25**

SHEET NUMBER  
**12**  
 OF  
**15**

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**CITY AND BOROUGH OF JUNEAU**  
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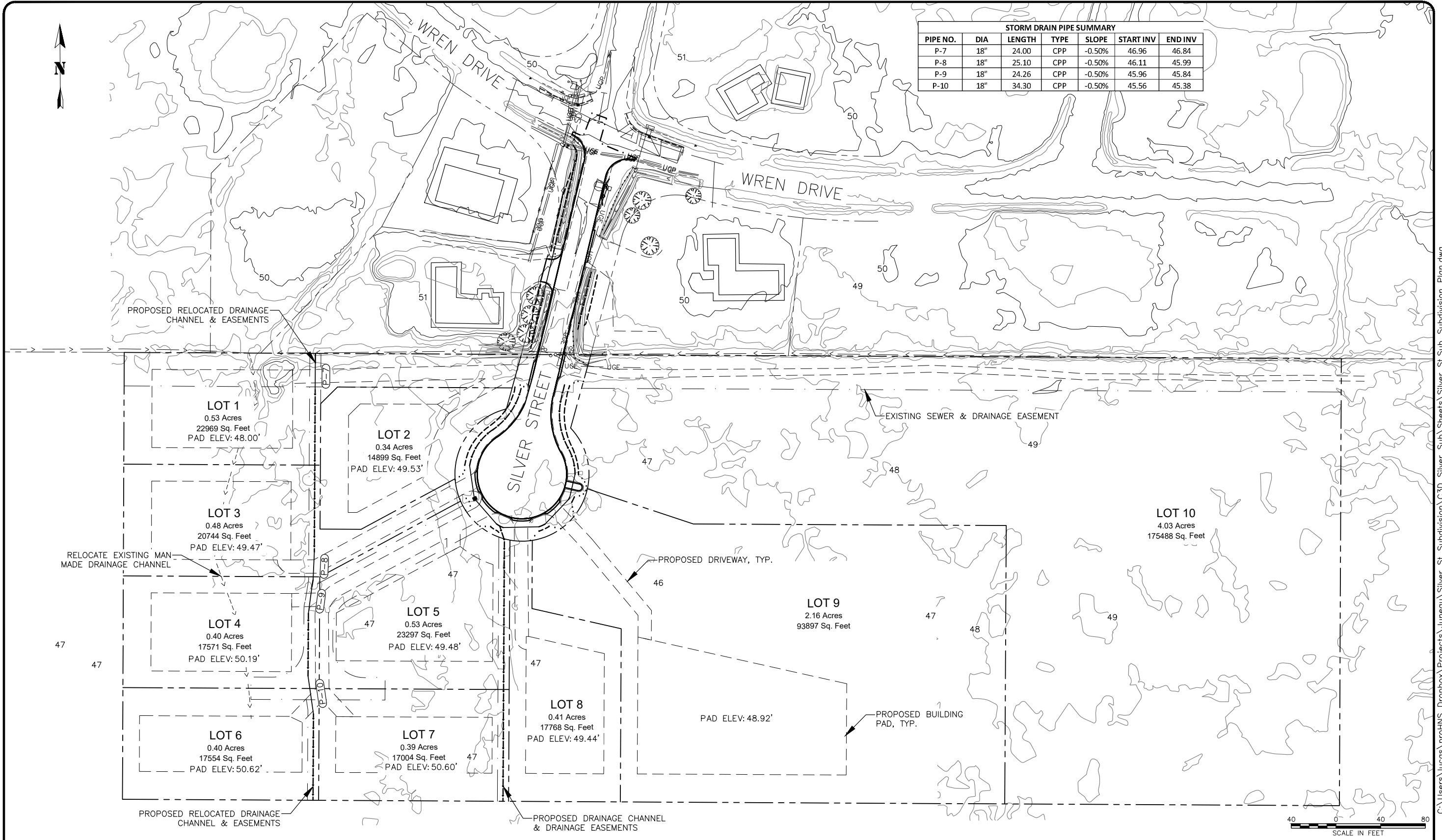
**SILVER STREET SUBDIVISION**  
SHAWN KANTOLA

**GRADING PLAN - STA 3+25 TO 5+20**

SHEET NUMBER
13
OF
15

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STORM DRAIN PIPE SUMMARY						
PIPE NO.	DIA	LENGTH	TYPE	SLOPE	START INV	END INV
P-7	18"	24.00	CPP	-0.50%	46.96	46.84
P-8	18"	25.10	CPP	-0.50%	46.11	45.99
P-9	18"	24.26	CPP	-0.50%	45.96	45.84
P-10	18"	34.30	CPP	-0.50%	45.56	45.38



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**proHNS LLC**  
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 CHECKED BY: G. GLADYSJO  
**CBJ REVIEW**  
 APPROVED: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**SILVER STREET SUBDIVISION**  
 SHAWN KANTOLA

**SUBDIVISION PLAN OVERVIEW**

SHEET NUMBER  
**14**  
 OF  
**15**

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August 12, 2024

Shawn Kantola  
Southeast Endeavors, LLC  
907-209-3900  
shalwnkantola@yahoo.com

**RE: Silver Acres Subdivision – Final Drainage Report**

To Whom It May Concern,

The following Drainage Plan has been prepared for the Silver Acres Subdivision in Juneau, AK, a proposed major subdivision on a 10-acre site at adjacent to the Silver Street and Wren Drive intersection. This drainage report addresses the development of the single parcel into 10 new residential lots. Improvements include the extension of Silver Street through the existing CBJ right-of-way and the construction and dedication of a new cul-de-sac including the extension of public water and sewer utilities. Individual lots will be graded, shot rock base and ditches for private driveways and building pads will be constructed, and services for water and sewer utilities will be installed to the right-of-way for each new lot. The 2010 CBJ Manual of Stormwater Best Management Practices was used to evaluate if the proposed and existing drainage features could convey runoff during the anticipated return period.

Attached sheets depict topographic data, existing and proposed drainage paths, proposed right-of-way improvements, calculations and rainfall data used for the drainage analysis for this subdivision.

\*NOTE\* The intent of this report is to show that the increased runoff due to the development of the proposed subdivision can be handled by the existing drainage system. This document is the revised and updated report for the preliminary report dated April 10, 2024.

### **Site Runoff Calculation Method:**

For this project the drainage basin analyzed was the area draining through the existing Silver Street road culvert and discharging into the existing wetlands located directly south of the proposed subdivision. A total of six sub-basins were identified and analyzed. The first sub-basin was the area discharging via the west side of Silver Street. The second subbasin was the area discharging via the east side of Silver Street. The third was the predeveloped area of the proposed Silver Acres Subdivision, this sub-basin is primarily sheet flowing with no concentrated discharge location. The fourth was the west side of the post developed area of the proposed Silver Acres Subdivision. The fifth was the center of the post developed area of the proposed Silver Acres Subdivision. The final sub-basin was the east side of the post developed area of the proposed Silver Acres Subdivision, this sub-basin is primarily sheet flowing with no concentrated discharge location. The drainage basin and sub-basins were determined using as-built drawings, LiDAR data and aerial photos with the use of AutoCAD C3D software. These determinations were verified by several site visits. A delineation of the basin and sub-basin catchment areas can be found in Appendix A.

The rational method was selected to calculate site runoff. The rational method is appropriate for evaluating drainage basins with relatively small catchment areas. Appendix D of the “2010 CBJ Manual of Stormwater Best Management Practices” was utilized as a guide<sup>1</sup>. Calculations for the rational method can be found in Appendix B of this Report.

---

<sup>1</sup> There are no current municipal code requirements dictating adherence with the “2010 CBJ Manual of Stormwater Best Management Practices” when preparing a drainage plan that complies with 49.35.510. Regardless, we have elected to utilize portions of this Manual as a guide in the preparation of this Drainage Plan for the proposed development.



**Anticipated Site Runoff (Q):**

Using the rational method, the amount of stormwater runoff during the anticipated design storm event per catchment area was determined. Table 1.1 shows the runoff generated by each drainage sub-basin.

**Tabel 1.1 Sub-Basin Runoff**

Drainage Sub-Basin	Q(cfs)
West Silver Street Sub-Basin (existing)	4.0
East Silver Street Sub-Basin (existing)	6.0
West Silver Acres Sub-Basin (post developed)	0.9
Center Silver Acres Sub-Basin (post developed)	0.8

The Silver Acres Subdivision is located on the south side of the Black Bear Subdivision drainage ditch. The natural slope of this property falls away from the ditch to the south towards Montana Creek. Therefore only a small area of the subdivision along the northern property line that is directly adjacent to the drainage ditch currently enters the conveyance system. The remainder of the property sheet flows to the south into the undeveloped wetlands.

The new section of roadway and cul-de-sac included in the proposed development of the Silver Acres Subdivision will be designed such that all storm water within the right-of-way is directed towards the proposed drainage easement between lots 5 and 7 and lot 8, ultimately discharging to the south into the undeveloped wetlands. The east half of lots 2, 5 and 7 and all of lot 8 including driveways, and building pads will also drain into this proposed drainage easement.

An existing man-made drainage channel located along the west side of the proposed subdivision will be relocated between lots 1, 3, 4, 6 and lots 2, 5, 7, ultimately discharging to the south into the undeveloped wetlands. The west half of lots 2, 5, and 7 and all of lots 1, 3, 4, 6 including driveways, and building pads and will drain into this proposed drainage easement.

Lot 9 and 10 of the proposed subdivision will sheet drain to the south into the undeveloped wetlands.

**Conveyance/Discharge Structure Capacities**

The capacity of the existing and proposed drainage system was calculated to determine if the anticipated storm event (100-year for roadway culverts, 25-year for driveway culverts and side ditches) flows could be conveyed. The most vulnerable points of the drainage network along the analyzed flow path were evaluated. Table 1.2 shows the results, the calculations can be found in Appendix F.

**Tabel 1.2 Conveyance Capacities**

Drainage Sub-Basin	Q(cfs)
Silver Street Road Culvert (18" CPP)	7.54
Silver Acres West Driveway Culverts (24" CPP)	14.81
Silver Acres West Drainage Ditch	28.29
Silver Acres Center Drainage Ditch	54.19

**Summary**

Table 1.3 compares the anticipated runoff of the proposed development to the available hydraulic capacity of the existing conveyance system.



**Table 1.3 Hydraulic Capacity Check**

Drainage Sub-Basin	Conveyance Structure	Anticipated Runoff Q (cfs)	Capacity Check	Available Capacity Q (cfs)
East Silver Street Sub-Basin (post developed)	Roadway Culvert	6.0	<	7.54
West Silver Street Sub-Basin + East Silver Street Sub-Basin + West Silver Acres Sub-Basin (post developed)	Driveway Culvert	10.9	<	14.81
Center Silver Acres Sub-Basin (post development)	Side Ditch	0.8	<	54.19
West Silver Street Sub-Basin + East Silver Street Sub-Basin + West Silver Acres Sub-Basin (post developed)	Side Ditch	10.9	<	28.29

Our analysis shows that the existing 18" CPP cross culvert at the Silver Street cul-de-sac will provide the required capacity for the system. The analysis also shows that the proposed driveway culverts and side ditches have adequate capacity to handle flows from the altered drainage patterns as a result of the proposed Silver Acres Subdivision development.

Respectfully,

Lucas Chambers, P.E. #106593  
 Principal Engineer – proHNS LLC Juneau

Appendixes:

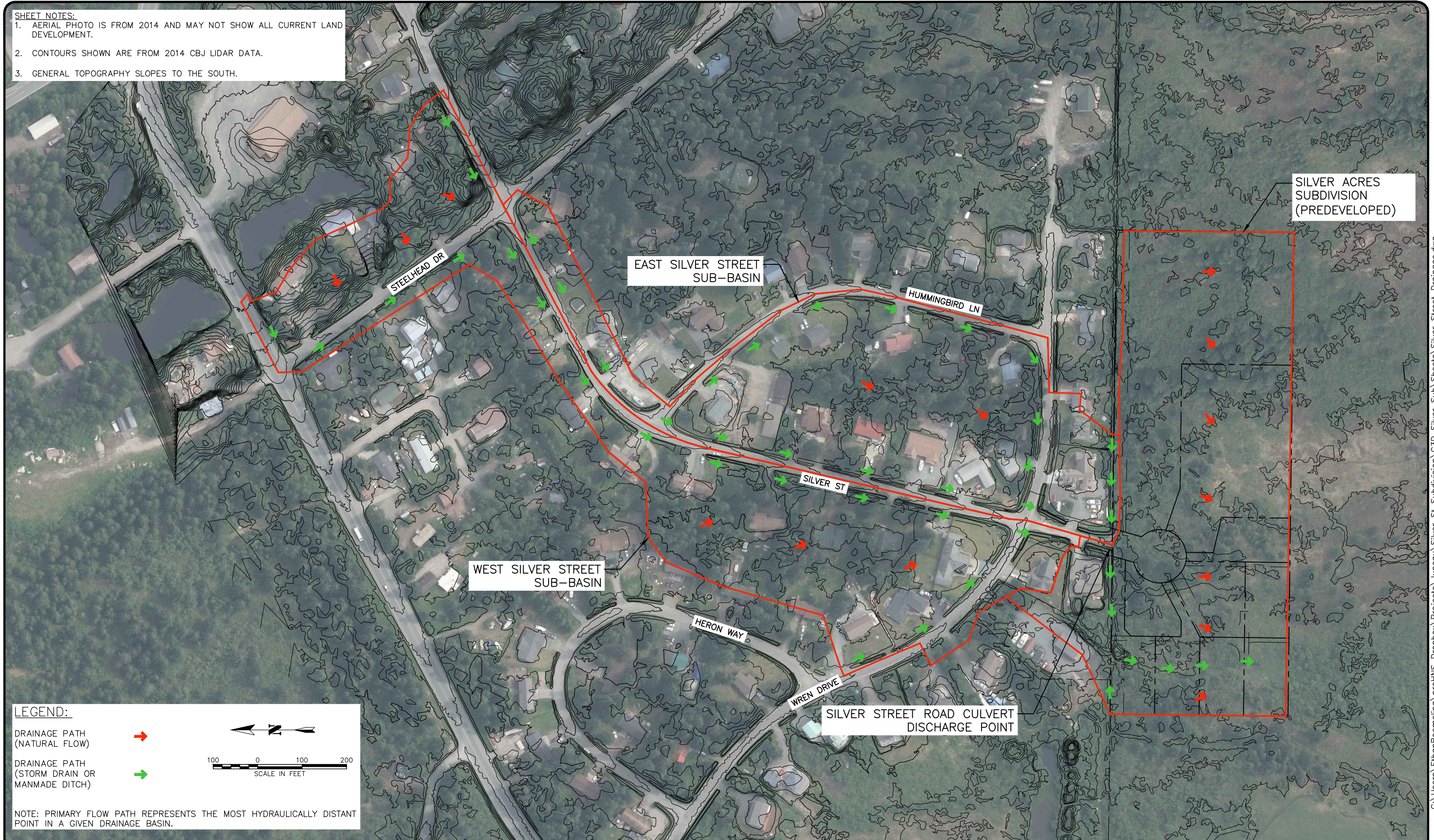
- A – Catchment Areas
- B – Rational Method
- C – Runoff Coefficient
- D – Time of Concentration
- E – Rainfall Intensity Data
- F – Conveyance Capacity



# **Appendix A**

# **Catchment Areas**

**SHEET NOTES:**  
 1. AERIAL PHOTO IS FROM 2014 AND MAY NOT SHOW ALL CURRENT LAND DEVELOPMENT.  
 2. CONTOURS SHOWN ARE FROM 2014 CBJ LIDAR DATA.  
 3. GENERAL TOPOGRAPHY SLOPES TO THE SOUTH.



**LEGEND:**


DRAINAGE PATH (NATURAL FLOW) ➔

DRAINAGE PATH (STORM DRAIN OR MANMADE DITCH) ➔

NOTE: PRIMARY FLOW PATH REPRESENTS THE MOST HYDRAULICALLY DISTANT POINT IN A GIVEN DRAINAGE BASIN.

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No.	DATE	DESCRIPTION	BY



**proHNS LLC**  
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DRAWN BY: E. ROEMELING  
 DESIGNED BY: E. ROEMELING  
 CHECKED BY: L. CHAMBERS

1945 ALEX HOLDEN WAY #101  
 JUNEAU, AK 99801

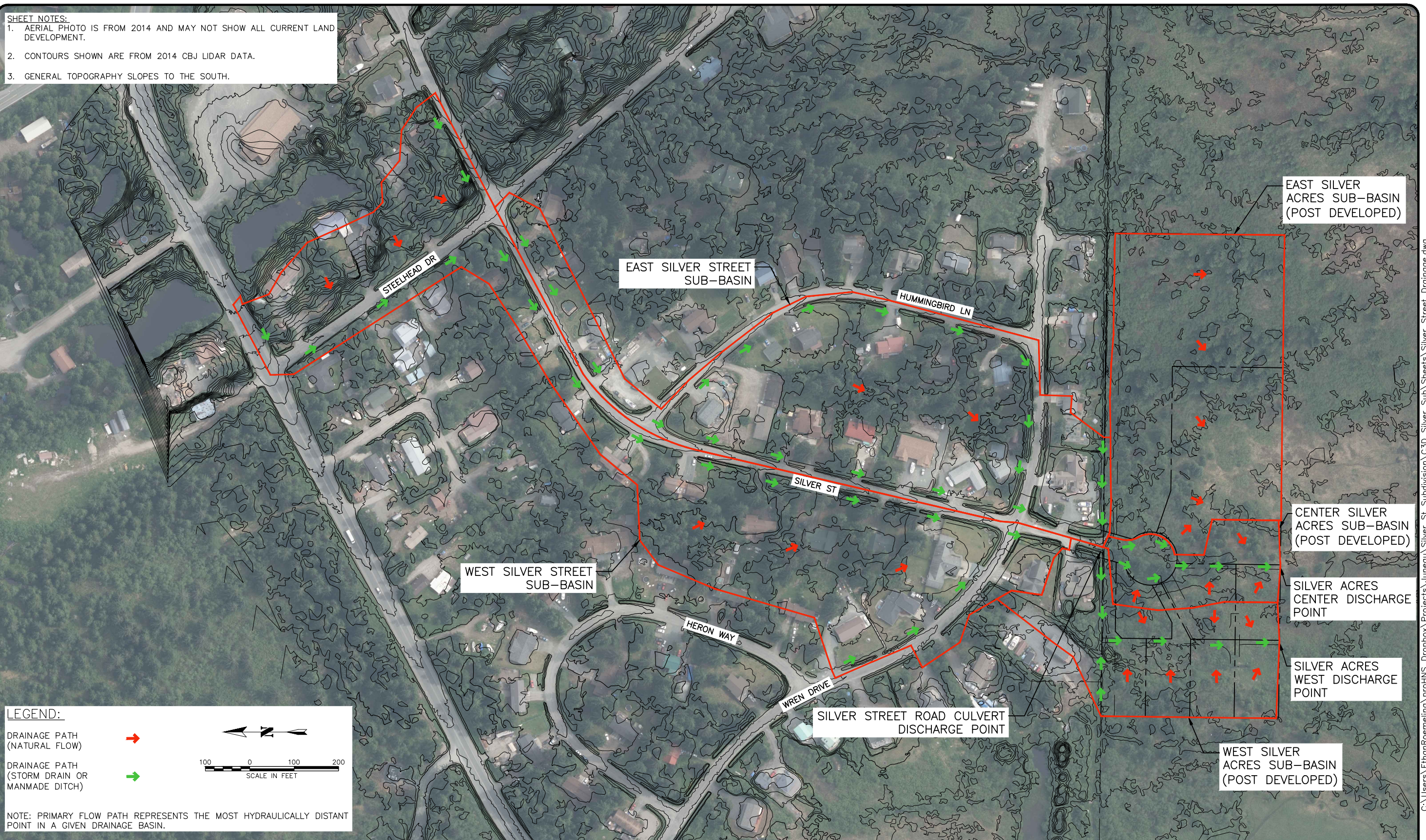
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**SILVER ACRES SUBDIVISION**  
 SOUTHEAST ENDEAVORS, LLC

**PRE-DEVELOPED DRAINAGE MAP**

SHEET NUMBER	1
OF	2

**SHEET NOTES:**  
 1. AERIAL PHOTO IS FROM 2014 AND MAY NOT SHOW ALL CURRENT LAND DEVELOPMENT.  
 2. CONTOURS SHOWN ARE FROM 2014 CBJ LIDAR DATA.  
 3. GENERAL TOPOGRAPHY SLOPES TO THE SOUTH.



**LEGEND:**

DRAINAGE PATH (NATURAL FLOW) →

DRAINAGE PATH (STORM DRAIN OR MANMADE DITCH) →

NOTE: PRIMARY FLOW PATH REPRESENTS THE MOST HYDRAULICALLY DISTANT POINT IN A GIVEN DRAINAGE BASIN.

SCALE IN FEET: 0, 100, 200

RECORD OF REVISIONS			
No.	DATE	DESCRIPTION	BY



DRAWN BY: E. ROEMELING  
 DESIGNED BY: E. ROEMELING  
 CHECKED BY: L. CHAMBERS

SILVER ACRES  
 SUBDIVISION  
 SOUTHEAST ENDEAVORS, LLC

POSTDEVELOPED  
 DRAINAGE MAP

SHEET NUMBER	2
OF	2

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# **Appendix B**

## **Rational Method**

### Site Runoff - Rational Method

<b>Project:</b>	Silver Acres Subdivision	
<b>Owner:</b>	Southeast Endeavors, LLC	
<b>Date:</b>	8/7/2024	
<b>Prepared By:</b>	Ethan Roemeling	
<b>Checked By:</b>	Lucas Chambers	

$$Q = CIA$$

*Q = peak flow in cubic feet per second (cfs)*

*C = runoff coefficient (See Appendix C for Calculations)*

*I = rainfall intensity (in/hr)(See Appendix D for Time of Concentration Calculations and Appendix E for Rainfall Intensity data)*

*A = catchment area (acres)*

<b>West Silver Street Sub-Basin (existing)</b>			
Q (cfs)	Cc	I	A
4.0	0.33	1.09	11.05

Notes:

1. Subbasin drains through driveway culverts. Design return period is 25 years.

<b>East Silver Street Sub-Basin (existing)</b>			
Q (cfs)	C	I	A
6.0	0.35	1.84	9.25

Notes:

1. Subbasin drains through silver street road culvert. Design return period is 100 years.

<b>West Silver Acres Sub-Basin (post development)</b>			
Q (cfs)	C	I	A
0.9	0.24	1.09	3.27

Notes:

1. Subbasin drains through driveway culverts. Design return period is 25 years.

<b>Center Silver Acres Sub-Basin (post development)</b>			
Q (cfs)	C	I	A
0.8	0.27	2.11	1.41

Notes:


1. Subbasin drains through driveway culverts. Design return period is 25 years.

Per CBJ Manual of Storm Water BMP 2010, Table 5-1, page. 5-1, design event frequencies are specified. For side ditch, a 25-year storm event is the required design return period. For road culverts, a 100-year storm event is the required design return period. We will base our analysis on a 25-year design return period for catchment areas flowing directly into the blackbear subdivision drainage ditch, and we will base our analysis on a 100-year design return period for catchment areas flowing into the Silver Street Road Culvert. Per CBJ Manual of Storm Water BMP 2010, page. D-9, Basins with a time and concentration 10 minutes or less shall use the 10 minute intensity. Basins with a time of concentration greater than 10 minutes and less than 30 minutes shall interpolate between the 10 and 30 minute values. Rainfall intensity for the site was sourced from the NOAA Atlas 14, Point Precipitation Frequency Estimates, see Appendix E.

\*The area currently contributing runoff was delineated in AutoCAD from aerial photos and 2014 Lidar Data provided by CBJ.

# **Appendix C**

## **Runoff Coefficient**

Runoff Coefficient				
Project:	Silver Acres Subdivision			
Owner:	Southeast Endeavors, LLC			
Date:	8/7/2024			
Prepared By:	Ethan Roemeling			
Checked By:	Lucas Chambers			

$$C_c = (C_1A_1 + C_2A_2)/A_t$$

$C_c$  = composite runoff coefficient

$C_{1,2}$  = runoff coefficient for each area land cover type

$A_t$  = total area (acres)

$A_{1,2}$  = areas of land cover types (acres)

\*CBI manual of Storm Water BMP 2010, Table D-4, pg D-9

West Silver Street Sub-Basin (existing)				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	11.05	2.52	1.08	7.45
Runoff Coefficient	<b>0.33</b>	0.9	0.25	0.15

East Silver Street Sub-Basin (existing)				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	9.25	2.24	1.43	5.58
Runoff Coefficient	<b>0.35</b>	0.9	0.25	0.15

West Silver Acres Sub-Basin (post development)☒				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	3.27	0.36	0.18	2.73
Runoff Coefficient	<b>0.24</b>	0.9	0.25	0.15

Center Silver Acres Sub-Basin (post development)☒				
Catchment Area	Total Basin	Pavement/ Roof	Lawn	Forest
Area (Acres)	1.41	0.21	0.10	1.10
Runoff Coefficient	<b>0.27</b>	0.9	0.25	0.15

# **Appendix D**

## **Time of Concentration**



### Time of Concentration

<b>Project:</b>	Silver Acres Subdivision	
<b>Owner:</b>	Southeast Endeavors, LLC	
<b>Date:</b>	8/7/2024	
<b>Prepared By:</b>	Ethan Roemeling	
<b>Checked By:</b>	Lucas Chambers	



$$T_c = T_1 + T_2 + \dots + T_n$$

$$T_t = L/60V$$

$T_c$  = time of concentration (min)

$T_t$  = travel time (min)

$T_{1,2}$  = travel time across separate flow path segments (min)

$L$  = the distance of flow across a given segment (feet)

$T_c$  = See Appendix D for calculations

$V = k_R \text{ Sqrt}(S_0)$  = average velocity (feet/sec) across land cover

$k_R$  = time of concentration velocity factor

$S_0$  = slope of flow path (feet/feet)

\*CBJ Manual of Storm Water BMP 2010, Table D-5, PG. D-10

West Silver Street Sub-Basin (existing)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
DW culvert	24.4	20.0	0.005	1.41	0.29
Ditch	102.8	15.0	0.008	1.34	1.28
S-29	34.5	20.0	0.005	1.41	0.41
S-30	10.6	20.0	0.014	2.37	0.07
Ditch	132.4	15.0	0.008	1.34	1.64
S-2	33.5	20.0	0.008	1.79	0.31
Ditch	19.6	15.0	0.008	1.34	0.24
S-3	18.6	20.0	0.008	1.79	0.17
Ditch	59.5	15.0	0.010	1.50	0.66
S-5	34.7	20.0	0.010	2.00	0.29
Ditch	103.3	15.0	0.009	1.42	1.21
S-7	34.3	20.0	0.010	2.00	0.29
Ditch	103.1	15.0	0.014	1.77	0.97
S-10	33.6	20.0	0.014	2.37	0.24
Ditch	127.8	15.0	0.007	1.25	1.70
S-12	45.6	20.0	0.007	1.67	0.45
Ditch	82.6	15.0	0.005	1.06	1.30
S-15	44.5	20.0	0.005	1.41	0.52
Ditch	99.5	15.0	0.005	1.06	1.56
S-16	43.7	20.0	0.005	1.41	0.52
Ditch	103.2	15.0	0.005	1.06	1.62
S-19	36.4	20.0	0.005	1.41	0.43
Ditch	32.2	15.0	0.008	1.34	0.40
S-20	33.1	20.0	0.006	1.55	0.36
Ditch	213.9	15.0	0.007	1.25	2.84
S-10	14.5	20.0	0.004	1.26	0.19
Ditch	69.3	15.0	0.005	1.06	1.09
S-8	28.3	20.0	0.004	1.26	0.37
Ditch	106.9	15.0	0.005	1.06	1.68
S-7	28.6	20.0	0.004	1.26	0.38
Ditch	83.5	15.0	0.005	1.06	1.31
S-4	28.2	20.0	0.004	1.26	0.37
Ditch	26.8	15.0	0.005	1.06	0.42
S-2	27.6	20.0	0.004	1.26	0.36
Ditch	145.8	15.0	0.010	1.50	1.62
Rd Culvert	39.3	20.0	0.024	3.10	0.21
Surface Flow (forest)	151.93	2.5	0.110	0.83	3.05
<b>Tc=</b>					<b>30.83</b>

East Silver Street Sub-Basin (existing)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
DW culvert	34.3	20.0	0.005	1.41	0.40
Ditch	61.3	15.0	0.006	1.16	0.88
S-31	35.5	20.0	0.004	1.26	0.47
S-32	11.1	20.0	0.016	2.53	0.07
Ditch	115.3	15.0	0.014	1.77	1.08
S-1	37.2	20.0	0.014	2.37	0.26
Ditch	82.4	15.0	0.010	1.50	0.92
S-4	40.9	20.0	0.012	2.19	0.31
Ditch	68.3	15.0	0.009	1.42	0.80
S-6	33.4	20.0	0.009	1.90	0.29
Ditch	80.15	15.0	0.010	1.50	0.89
S-8	34.6	20.0	0.008	1.79	0.32
Ditch	25.2	15.0	0.008	1.34	0.31
S-9	34.2	20.0	0.008	1.79	0.32
Ditch	145.0	15.0	0.007	1.25	1.93
S-11	10.0	20.0	0.007	1.67	0.10
Ditch	126.6	15.0	0.007	1.25	1.68
S-14	38.3	20.0	0.007	1.67	0.38
Ditch	129.5	15.0	0.006	1.16	1.86
S-17	38.3	20.0	0.005	1.41	0.45
Ditch	48.9	15.0	0.006	1.16	0.70
S-18	40.4	20.0	0.005	1.41	0.48
Ditch	138.2	15.0	0.006	1.16	1.98
S-21	32.6	20.0	0.011	2.10	0.26
Ditch	54.5	15.0	0.008	1.34	0.68
S-22	32.7	20.0	0.010	2.00	0.27
Ditch	94.0	15.0	0.016	1.90	0.83
Surface Flow (lawn)	37.6	7.0	0.017	0.91	0.69
<b>Tc=</b>					<b>19.61</b>

West Silver Acres Sub-Basin (post development)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
Surface Flow (forest/meadow)	253.36	2.5	0.005	0.18	23.89
Driveway Culvert	32.61	20.0	0.005	1.41	0.38
Ditch	145.27	15.0	0.005	1.06	2.28
Driveway Culvert	25.1	20.0	0.005	1.41	0.30
Ditch	3.64	15.0	0.005	1.06	0.06
Driveway Culvert	28.72	20.0	0.005	1.41	0.34
Ditch	51.88	15.0	0.005	1.06	0.82
Driveway Culvert	46.67	20.0	0.005	1.41	0.55
Ditch	68.12	15.0	0.005	1.06	1.07
<b>Tc=</b>					<b>29.68</b>

Center Silver Acres Sub-Basin (post development)					
Description	Length (ft)	Kg	So (ft/ft)	V(ft/sec)	Tt (min)
Paved Area	146.50	20.0	0.03	3.46	0.70
Ditch	83.01	15.0	0.005	1.06	1.30
Driveway Culvert	21.00	20.0	0.005	1.41	0.25
Ditch	2.31	15.0	0.005	1.06	0.04
Driveway Culvert	30.30	20.0	0.005	1.41	0.36
Ditch	6.05	15.0	0.005	1.06	0.10
Driveway Culvert	32.10	20.0	0.005	1.41	0.38
Ditch	245.05	15.0	0.005	1.06	3.85
				<b>Tc=</b>	<b>6.97</b>

# **Appendix E**

## **Rainfall Intensity Data**



**NOAA Atlas 14, Volume 7, Version 2**  
**Location name: Juneau, Alaska, USA\***  
**Latitude: 58.3992°, Longitude: -134.6015°**  
**Elevation: 50 ft\*\***  
 \* source: ESRI Maps  
 \*\* source: USGS



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Douglas Kane, Sarah Dietz, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Svetlana Stuefer, Amy Tidwell, Carl Trypaluk, Dale Unruh, Michael Yekta, Erica Betts, Geoffrey Bonnin, Sarah Heim, Lillian Hiner, Elizabeth Lilly, Jayashree Narayanan, Fenglin Yan, Tan Zhao

NOAA, National Weather Service, Silver Spring, Maryland  
 and  
 University of Alaska Fairbanks, Water and Environmental Research Center

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps\\_&\\_aerials](#)

**PF tabular**

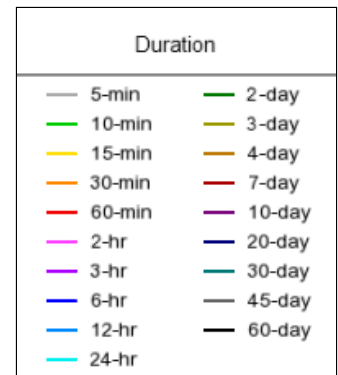
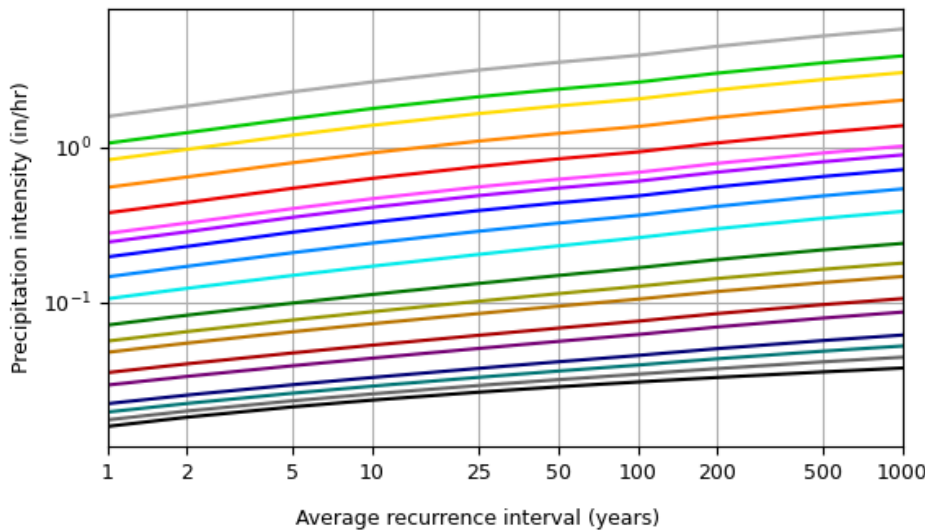
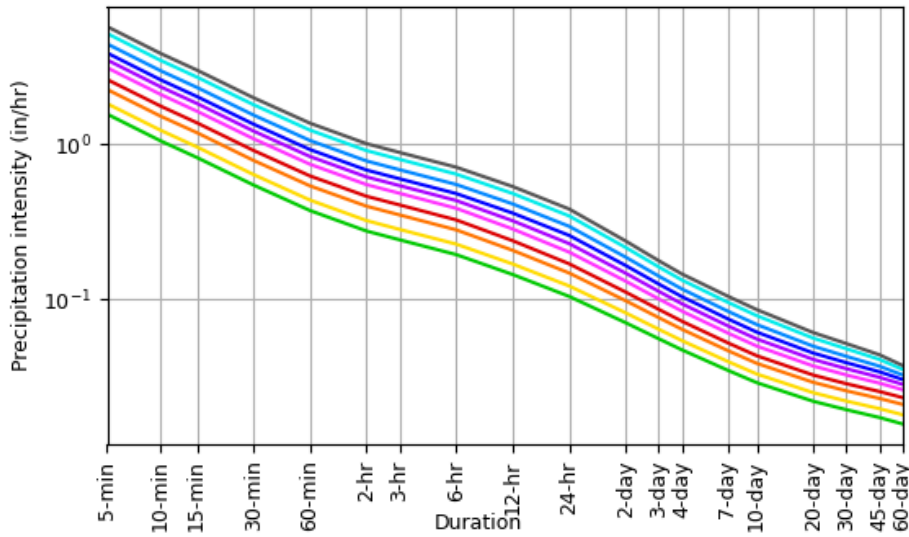
<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	1.57 (0.834-1.37)	1.84 (1.43-2.41)	2.27 (1.73-3.05)	2.63 (1.96-3.60)	3.13 (2.28-4.40)	3.52 (2.51-5.04)	3.90 (2.72-5.70)	4.46 (3.06-6.65)	5.21 (3.48-7.94)	5.77 (3.79-8.96)
10-min	1.06 (0.834-1.37)	1.24 (0.960-1.63)	1.52 (1.16-2.05)	1.77 (1.32-2.43)	2.11 (1.53-2.96)	2.36 (1.68-3.38)	2.62 (1.83-3.82)	2.99 (2.05-4.46)	3.49 (2.33-5.33)	3.87 (2.54-6.01)
15-min	0.824 (0.652-1.07)	0.964 (0.748-1.27)	1.19 (0.904-1.60)	1.38 (1.03-1.89)	1.64 (1.19-2.31)	1.84 (1.31-2.64)	2.04 (1.42-2.98)	2.34 (1.60-3.48)	2.72 (1.82-4.16)	3.02 (1.98-4.69)
30-min	0.548 (0.432-0.710)	0.640 (0.498-0.842)	0.790 (0.600-1.06)	0.916 (0.682-1.26)	1.09 (0.792-1.53)	1.22 (0.870-1.75)	1.35 (0.946-1.98)	1.55 (1.06-2.31)	1.81 (1.21-2.76)	2.00 (1.32-3.11)
60-min	0.375 (0.296-0.486)	0.438 (0.341-0.576)	0.541 (0.411-0.728)	0.627 (0.467-0.860)	0.746 (0.542-1.05)	0.837 (0.596-1.20)	0.928 (0.649-1.36)	1.06 (0.728-1.58)	1.24 (0.829-1.89)	1.37 (0.902-2.13)
2-hr	0.276 (0.218-0.358)	0.323 (0.251-0.424)	0.400 (0.304-0.538)	0.463 (0.345-0.635)	0.551 (0.400-0.775)	0.618 (0.440-0.886)	0.684 (0.478-1.00)	0.783 (0.537-1.17)	0.914 (0.611-1.39)	1.01 (0.666-1.57)
3-hr	0.242 (0.191-0.314)	0.283 (0.220-0.372)	0.351 (0.266-0.472)	0.407 (0.303-0.558)	0.484 (0.351-0.681)	0.543 (0.386-0.778)	0.601 (0.419-0.878)	0.687 (0.471-1.02)	0.802 (0.537-1.22)	0.889 (0.584-1.38)
6-hr	0.194 (0.153-0.252)	0.227 (0.177-0.299)	0.281 (0.213-0.378)	0.326 (0.243-0.447)	0.387 (0.281-0.545)	0.435 (0.310-0.624)	0.482 (0.337-0.705)	0.552 (0.378-0.822)	0.644 (0.431-0.983)	0.714 (0.469-1.11)
12-hr	0.145 (0.114-0.187)	0.169 (0.131-0.222)	0.207 (0.157-0.279)	0.239 (0.178-0.328)	0.285 (0.207-0.401)	0.322 (0.229-0.462)	0.361 (0.252-0.527)	0.413 (0.283-0.616)	0.483 (0.323-0.737)	0.536 (0.352-0.832)
24-hr	0.104 (0.093-0.118)	0.122 (0.107-0.140)	0.148 (0.127-0.173)	0.169 (0.144-0.202)	0.202 (0.167-0.246)	0.229 (0.186-0.285)	0.259 (0.207-0.327)	0.296 (0.233-0.381)	0.346 (0.266-0.454)	0.383 (0.290-0.512)
2-day	0.070 (0.063-0.080)	0.082 (0.072-0.094)	0.098 (0.084-0.115)	0.111 (0.094-0.133)	0.131 (0.108-0.160)	0.147 (0.120-0.183)	0.165 (0.132-0.209)	0.187 (0.147-0.241)	0.216 (0.166-0.284)	0.238 (0.180-0.318)
3-day	0.055 (0.049-0.063)	0.064 (0.056-0.073)	0.076 (0.065-0.089)	0.086 (0.073-0.103)	0.100 (0.083-0.123)	0.112 (0.091-0.140)	0.125 (0.100-0.159)	0.141 (0.111-0.181)	0.162 (0.125-0.213)	0.178 (0.134-0.237)
4-day	0.047 (0.042-0.053)	0.054 (0.047-0.062)	0.064 (0.055-0.075)	0.072 (0.061-0.086)	0.084 (0.069-0.102)	0.093 (0.076-0.116)	0.104 (0.083-0.131)	0.116 (0.091-0.149)	0.133 (0.102-0.175)	0.145 (0.110-0.194)
7-day	0.034 (0.031-0.039)	0.039 (0.035-0.045)	0.046 (0.040-0.054)	0.052 (0.044-0.062)	0.060 (0.050-0.074)	0.067 (0.055-0.084)	0.075 (0.060-0.094)	0.084 (0.066-0.108)	0.095 (0.073-0.126)	0.105 (0.079-0.140)
10-day	0.029 (0.025-0.032)	0.033 (0.029-0.037)	0.038 (0.033-0.045)	0.043 (0.036-0.051)	0.050 (0.041-0.061)	0.055 (0.045-0.069)	0.061 (0.049-0.077)	0.068 (0.054-0.088)	0.078 (0.060-0.103)	0.085 (0.065-0.114)
20-day	0.022 (0.019-0.024)	0.025 (0.022-0.028)	0.029 (0.025-0.034)	0.032 (0.027-0.038)	0.037 (0.030-0.045)	0.041 (0.033-0.050)	0.045 (0.036-0.056)	0.049 (0.039-0.064)	0.056 (0.043-0.073)	0.061 (0.046-0.081)
30-day	0.019 (0.017-0.022)	0.022 (0.019-0.025)	0.025 (0.022-0.030)	0.028 (0.024-0.034)	0.032 (0.026-0.039)	0.035 (0.029-0.044)	0.039 (0.031-0.049)	0.042 (0.033-0.055)	0.048 (0.037-0.063)	0.051 (0.039-0.069)
45-day	0.017 (0.015-0.019)	0.019 (0.017-0.022)	0.022 (0.019-0.026)	0.025 (0.021-0.030)	0.028 (0.023-0.035)	0.031 (0.025-0.039)	0.034 (0.027-0.043)	0.037 (0.029-0.047)	0.041 (0.031-0.053)	0.043 (0.033-0.058)
60-day	0.015 (0.014-0.017)	0.018 (0.015-0.020)	0.021 (0.018-0.024)	0.023 (0.019-0.027)	0.026 (0.021-0.031)	0.028 (0.023-0.035)	0.030 (0.024-0.038)	0.032 (0.025-0.041)	0.035 (0.027-0.046)	0.037 (0.028-0.049)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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**PF graphical**

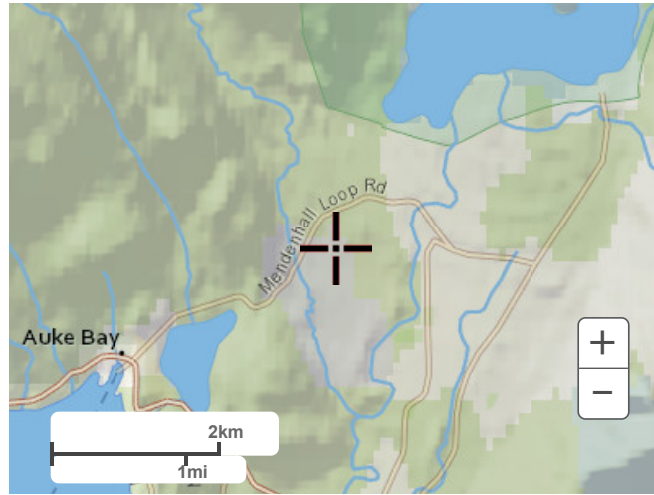
PDS-based intensity-duration-frequency (IDF) curves  
Latitude: 58.3992°, Longitude: -134.6015°



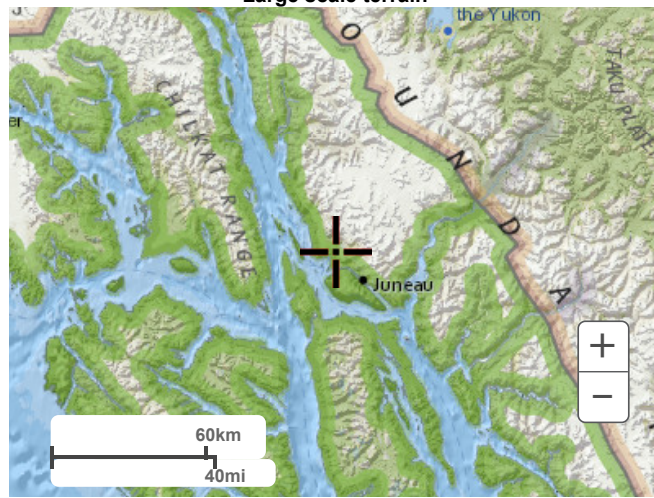
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**Maps & aerials**

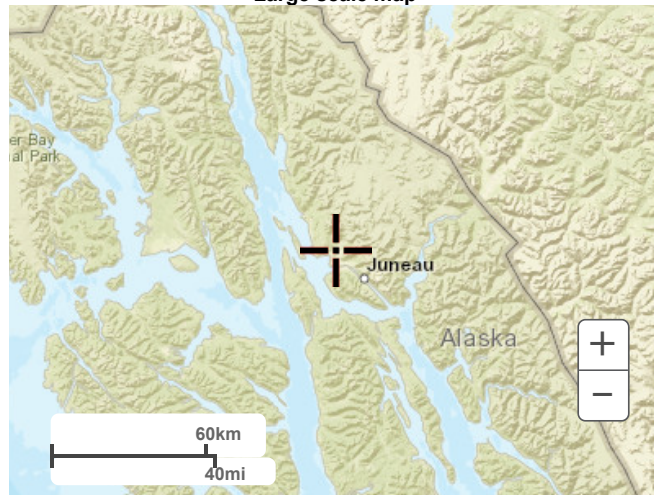
Small scale terrain



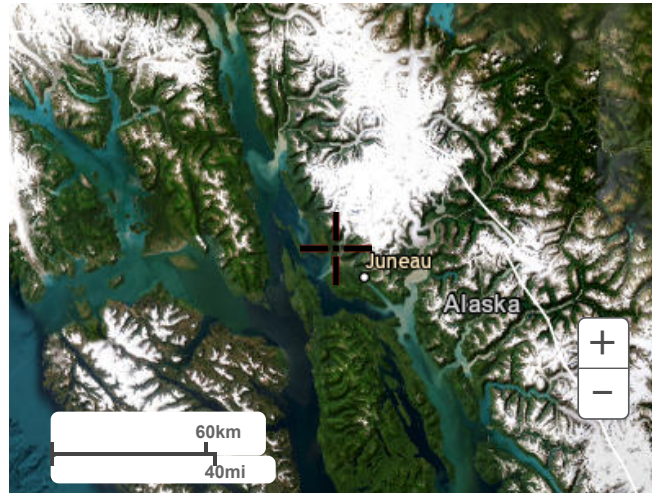
Large scale terrain



Large scale map



Large scale aerial



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[US Department of Commerce](#)  
[National Oceanic and Atmospheric Administration](#)  
[National Weather Service](#)  
[National Water Center](#)  
1325 East West Highway  
Silver Spring, MD 20910  
Questions?: [HDSC.Questions@noaa.gov](mailto:HDSC.Questions@noaa.gov)


[Disclaimer](#)



# **Appendix F**

## **Conveyance Capacity**

Existing Conveyance Capacities		
<b>Project:</b>	Silver Acres Subdivision	
<b>Owner:</b>	Southeast Endeavors, LLC	
<b>Date:</b>	8/8/2024	
<b>Prepared By:</b>	Ethan Roemeling	
<b>Checked By:</b>	Lucas Chambers	



The following equation was used to calculate the capacity of the existing Mendenhall Loop uphill roadside ditch and were obtained from "Urban Drainage Design Manual: Hydraulic Engineering Circular No. 22, Third Edition". Coefficients were sublimented from the CBJ Stormwater Manual to refelct local standards.

$$Q = (K/n) \times A \times R^{0.67} \times S^{0.5}$$

*Q = discharge rate in ft<sup>3</sup> /sec*

*K = coefficient for English units (1.486)*

*n = Manning's coefficient of roughness, obtained from Table D-10, Page D-19, of the CBJ Stormwater Manual*

*A = cross sectional area in ft<sup>2</sup>, from design surface*

*R = hydraulic radius, from design surface*

*S = slope, from design surface*

**Silver Street Road Culvert (18" CPP)**

	<b>K</b>	<b>n</b>	<b>A</b>	<b>R</b>	<b>S</b>	=	
<b>Q (cfs)</b>	1.486	0.014	1.77	0.375	0.006	=	7.54

Existing Cross Culvert; Slope = 0.60%, n = 0.014. The Manning's n value of 0.014 comes from Table 5-3 (A), slope assumed minimum flow.

**Silver Acres West Driveway Culverts (24" CPP)**

	<b>K</b>	<b>n</b>	<b>A</b>	<b>R</b>	<b>S</b>	=	
<b>Q (cfs)</b>	1.486	0.014	3.14	0.5	0.005	=	14.81

Existing Drainage Ditch; Slope = 0.50%, n = 0.014. The Manning's n value of 0.014 comes from Table 5-3 (A), slope assumed minimum flow.

**Silver Acres West Drainage Ditch**

	<b>K</b>	<b>n</b>	<b>A</b>	<b>R</b>	<b>S</b>	=	
<b>Q (cfs)</b>	1.486	0.027	7.86	0.89	0.005	=	28.29

Existing Drainage Ditch; Slope = 0.5%, n = 0.027. The Manning's n value of 0.027 comes from Table D-10 (A.a.3), slope assumed minimum flow.

**Silver Acres Center Drainage Ditch**

	<b>K</b>	<b>n</b>	<b>A</b>	<b>R</b>	<b>S</b>	=	
<b>Q (cfs)</b>	1.486	0.027	12.83	1.13	0.005	=	54.19

Existing Drainage Ditch; Slope = 0.5%, n = 0.027. The Manning's n value of 0.027 comes from Table D-10 (A.a.3), slope assumed minimum flow.



## Planning Commission

(907) 586-0715

PC\_Comments@juneau.gov

www.juneau.org/community-development/planning-commission

155 Heritage Way • Juneau, AK 99801

### PLANNING COMMISSION

#### NOTICE OF DECISION

Date: August 5, 2024

File No.: SMP2024 0002

Shawn Kantola

8287C Garnet Street

Juneau AK, 99801

[shawnkantola@yahoo.com](mailto:shawnkantola@yahoo.com)

Proposal: Preliminary plat review for a subdivision that will result in ten (10) lots. The lots will consist of three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 & 10 may be further subdivided into private shared access subdivisions in the future.

Property Address: Silver Street

Legal Description: BLACK BEAR LT 3

Parcel Code No.: 4B2601020043

Hearing Date: May 28<sup>th</sup>, 2024

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated May 29, 2024, and approved this preliminary plat with the following conditions and plat notes:

#### Conditions:

1. Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
2. Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.
3. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.
4. Prior to approval of final plat, CDD will work with the developer to develop a plat note that will care for public access along the existing utility easement.

Plat notes:

1. LOTS 6, 7, 8, 9 AND 10 MUST HAVE A 15 FOOT SIDE YARD SETBACK FOR SIDE YARDS ABUTTING BLACK BEAR LOT 1.
2. WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
3. ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOTS 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
4. LOTS 1, 3 AND 8 ARE A PANHANDLE SUBDIVISION. AT THE TIME OF PLAT RECORDING, FURTHER SUBDIVISION OF LOTS 1, 3 AND 8 IS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
5. ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS' REQUIREMENTS. ACCESS TO LOTS 4, 5, 6 AND 7 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
6. AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
7. THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

Attachment: May 29, 2024 memorandum from David Peterson, Community Development, to the CBJ Planning Commission regarding SMP2024 0002.

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

Shawn Kantola  
File No.: SMP2024 0002  
August 5, 2024  
Page 3 of 3

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

**Effective Date:** The permit is effective upon approval by the Commission, May 28, 2024.

**Expiration Date:** The permit will expire five (5) years after the effective date, or May 28, 2029 if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the subdivision permit was authorized or no final plat has been approved. Application for permit extension must be submitted thirty days prior to the expiration date.

*mandy cole*  
Mandy Cole, Chair  
Planning Commission

8/5/2024

Date

*Nicoletta Chappell*

Filed With City Clerk

8/8/2024

Date

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



**DATE:** May 20, 2024  
**TO:** Mandy Cole, Chair, Planning Commission  
**BY:** David Matthew Peterson, Planner II *[Signature]*  
**THROUGH:** Jill Lawhorne, Director, AICP

**PROPOSAL:** Applicant requests a preliminary plat review for a subdivision that will result in ten (10) lots. The lots will consist of three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 & 10 may be further subdivided into private shared access subdivisions in the future.

**STAFF RECOMMENDATION:** Approval with conditions

**KEY CONSIDERATIONS FOR REVIEW:**

- Considered Major Subdivision due to future phases.
- Lots 9 & 10 intended to be Private Shared Access (PSA) Subdivisions at later date.
- Silver Street will be extended and a cul-de-sac constructed.

GENERAL INFORMATION	
<b>Property Owner</b>	Shawn Kantola
<b>Applicant</b>	Shawn Kantola
<b>Property Address</b>	Silver Street
<b>Legal Description</b>	BLACK BEAR LT 3
<b>Parcel Number</b>	4B2601020043
<b>Zoning</b>	D3
<b>Lot Size</b>	435,600 square feet/10.00 acres
<b>Water/Sewer</b>	CBJ water/sewer provided
<b>Access</b>	Silver Street
<b>Existing Land Use</b>	Vacant
<b>Associated Applications</b>	None

**ALTERNATIVE ACTIONS:**

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

**ASSEMBLY ACTION REQUIRED:**

Assembly action is not required for this permit.

**STANDARD OF REVIEW:**

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
  - CBJ 49.15.402
  - CBJ 49.15.411
  - CBJ 49.35
  - CBJ 49.80

**SITE FEATURES AND ZONING**



SURROUNDING ZONING AND LAND USES	
North (D3)	Residential
South (D1)	Vacant
East (D1)	Vacant
West (D1)	Vacant

SITE FEATURES	
Anadromous	N/A
Flood Zone	N/A, 02110C110C1238E
Hazard	N/A
Hillside	N/A
Wetlands	N/A
Parking District	N/A
Historic District	N/A
Overlay Districts	Mining & Exploration Surface Activities Exclusion District.

**BACKGROUND INFORMATION**

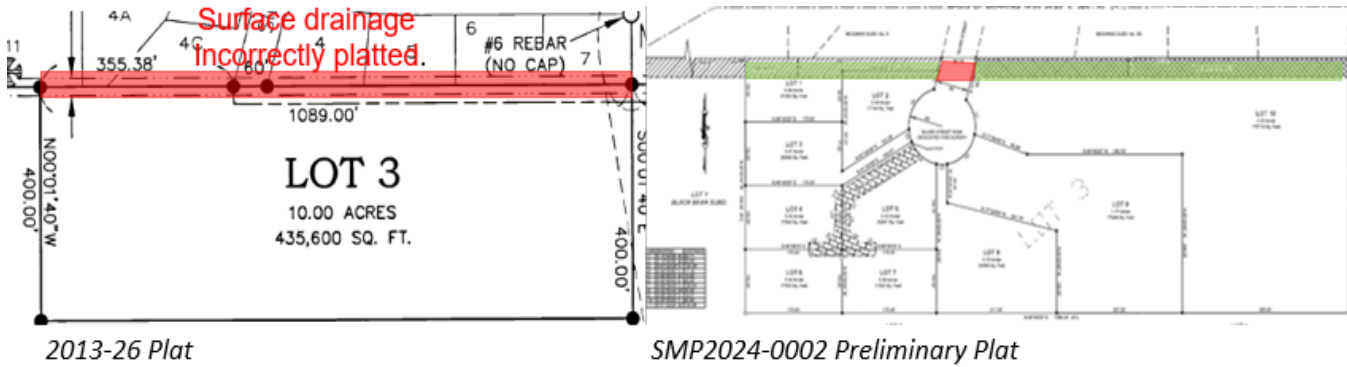
**Project Description** – The applicant is proposing a subdivision that will result in ten (10) lots. The lots will consist of three (3) panhandle lots and one (1) private shared access serving four (4) lots. Additionally, Lots 9 & 10 may be further subdivided into private shared access subdivisions in the future.

The Director is classifying this as a major subdivision due to phasing as the subdivision would result in a potential 16 lots, or more.

A surface drainage easement was incorrectly platted. Per Book 321 page 493 refers to the easement as being south of the common boundary. Plat 2013-26 shows it as straddling the property line, in error (image below, left). However, property owners did not authorize the easement (Lots 4A, 4C, 4, 5, 6, and 7). On the submitted Preliminary Plat, the surface drainage easement has been relocated to be entirely on the Silver Acres Subdivision, while a portion that would otherwise go through the Silver Street ROW has been vacated.

NOTE 1: Developer will need to address how Lot 1 will maintain access through the surface drainage easement.

NOTE 2: There is a CBJ trail for the purposes of providing access to a pump station. This is not a Parks and Recreation owned trail. The neighbors in the area use the trail to access wetland areas beyond. Neighbors have expressed concern over the trail being preserved for their continued use.



**Background –**

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
2023 – Warranty Deed	Warranty Deed which transferred Lot 3, Black Bear Subdivision from the Grantor, Southeast Alaska Regional Health Consortium, to Shawn Kantola and Heidi Kantola.
2014 - Zoning Ordinance	An Ordinance Amending the Official Zoning Map of the City and Borough to change the Zoning of Black Bear, Lot 3, Located at the South End of Silver Street in the Northwest Mendendhall Valley, from D1 to D3.
2013 - Plat	A subdivision of the Homestead of Bill Sakieff into 3 lots creating the Black Bear Subdivision. This plat has the incorrectly conveyed 30-foot surface drainage easement.
2006 – Zoning Map	Zoning map designating the Lot as D1.
1989 – Surface Drainage Easement	Access easement describing a 30-foot strip of land immediately adjacent, South of and parallel to the common property line.
1945 US Survey No. 2551	Plat establishing the Homestead of Bill Sakieff. This would later become the lot that would be subdivided to create Lot 3.

**ANALYSIS**

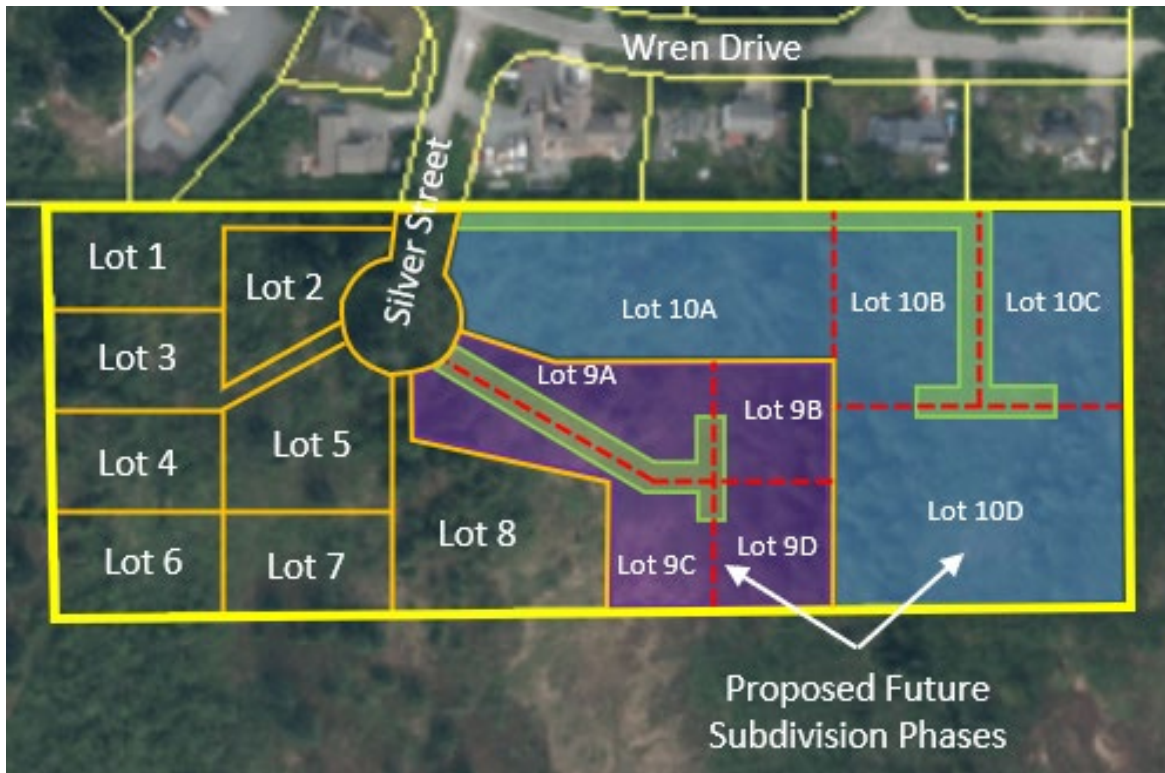
**Phasing –** Lot 3 was rezoned in October of 2014 from D1 to D3 with Zoning Ordinance 2014-46 (**Attachment I**). The D3 minimum lot size is 12,000 square feet. New Lots, 9 and 10, would have ample space to be subdivided into four (4) or more lots. The Developer intends to subdivide Lots 9 and 10 in the future. Proposed Lot 9 has 77,246 square feet/1.77 acres, and Lot 10 has 175,716 square feet/4.03 acres (**Attachment E**).

***The Commission shall hear and decide the case per CBJ 49.15.400(a) – Purpose and applicability.** The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.*

***And per CBJ 49.15.402(a)** - A major subdivision permit is required for subdivisions resulting in 14 or more lots.*



It should be noted that the proposed sketch plat found in **Attachment E** will require revision and is only demonstrates that enough land is present to further subdivide. Additionally, it is being recommended that the Commission consider advising the developer to relocate the Private Shared Access (PSA) for future Lots 10A, B, C, and D onto the developer's property instead of planning a road directly behind existing housing.



**Minimum Lot Dimensions** – The proposed lots as shown on the preliminary plat meet or exceed the dimensional standards listed in CBJ 49.25.400. The CBJ 49.25.400 Dimensional Standards are listed below.

Dimensional Standard	Requirement	Met?
Minimum Lot Size, Square Feet	12,000	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met
Minimum Lot Width, Lineal Feet	100	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met

Access to the proposed subdivision will be through a new cul-de-sac at the end of the existing Silver Street stub. Per 49.15.421, if a proposed lot fronts on a cul-de-sac or a similar sharply curved right-of-way and the commission for major subdivisions makes a determination that meeting minimum lot width at the front building line in accordance with the table of dimensional standards in CBJ 49.25.400 is impractical, the minimum width may be reduced as necessary to achieve a reasonable lot configuration.

It should be noted that in D3 zoning typically has four to five (4-5) lots fronting a cul-de-sac. There are two instances where nine (9) lots are fronting a cul-de-sac in a D5 zoned neighborhood. This cul-de-sac will have the greatest number of lots to be accessed by a cul-de-sac.

Lot #	Lot Type	Lot Frontage in Linear Feet	Lot Size in Square Feet
1	Panhandle	20.71	21,032
2	Standard	114.16	17,104
3	Panhandle	20.76	20,292
4	Private Shared Access	N/A	17,500
5	Standard	58.59	23,297
6	Private Shared Access	N/A	17,500
7	Private Shared Access	N/A	17,000
8	Panhandle	20.09	34,369
9	Standard	71.72	77,246
10	Standard	114.16	175,716

**Setbacks** – Per 49.25.400, Note 3, of the Table of Dimensional Standards: Where one district abuts another, the greater of the two setbacks is required for both uses on the common property line.

Lot 3, zoned D3, is bound on three (3) sides by a property that is zoned D1, and the D1 setbacks apply along these shared lot lines. The only difference between D3 and D1 zoning applies to the side yard setbacks which are 15 feet for D1 zoning versus 10 feet in D3 zones.



**Condition:** N/A

**PLAT NOTE:** N/A

**Density** – The table below demonstrates how many dwelling units each lot can accommodate after the proposed subdivision has been completed.

All lots exceed 125 percent of the minimum lot size for the zoning district, so each single-family home built on these lots could have an Accessory Apartment.

Lot Number	Lot Square Footage	Applicable Square Footage	Maximum Number of Dwelling Units
1	21,032	175%	One (1) Duplex, or One (1) Single Family Detached Dwelling with an Accessory Apartment not to exceed 600 square feet.
2	17,104	143%	One (1) Single Family Detached Dwelling with an Accessory Apartment not to exceed 600 square feet.
3	20,292	169%	One (1) Duplex, or one (1) Single Family Detached Dwelling with an Accessory Apartment not to exceed 600 square feet.
4	17,500	146%	One (1) Single Family Detached Dwelling While Lot 4 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
5	23,297	194%	One (1) Single Family Detached Dwelling While Lot 5 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
6	17,500	146%	One (1) Single Family Detached Dwelling While Lot 6 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
7	17,000	142%	One (1) Single Family Detached Dwelling While Lot 7 has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
8	34,369	286%	One (1) Duplex, or two (2) Single Family Detached Dwellings each with an Accessory Apartment not to exceed 1,000 square feet or 50% of the main dwelling square footage.

Lot Number	Lot Square Footage	Applicable Square Footage	Maximum Number of Dwelling Units
9	77,246	644%	One (1) Duplex, or two (2) Single Family Detached Dwellings each with an Accessory Apartment not to exceed 1,000 square feet or 50% of the main dwelling square footage.
9A	23,249	194%	One (1) Single Family Detached Dwelling While Lot 9A has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
9B	13,632	114%	One (1) Single Family Detached Dwelling.
9C	25,726	214%	One (1) Single Family Detached Dwelling While Lot 9C has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
9D	14,638	122%	One (1) Single Family Detached Dwelling.
10	175,716	1,464%	One (1) Duplex, or two (2) Single Family Detached Dwellings each with an Accessory Apartment not to exceed 1,000 square feet or 50% of the main dwelling square footage.
10A	55,713	464%	One (1) Single Family Detached Dwelling While Lot 10A has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
10B	29,988	250%	One (1) Single Family Detached Dwelling While Lot 10B has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
10C	30,003	250%	One (1) Single Family Detached Dwelling While Lot 10C has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-family structure and an accessory apartment.
10D	60,013	500%	One (1) Single Family Detached Dwelling While Lot 10D has the lot square footage to accommodate a duplex, private shared access subdivisions limit lots to a single-

Lot Number	Lot Square Footage	Applicable Square Footage	Maximum Number of Dwelling Units
			family structure and an accessory apartment.

Under the current private shared access subdivision code, lots 9 and 10 could be subdivided and create six more lots accommodating single-family structures, each with an ADU.

**Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No known anadromous waterbodies are on the subject parcel, or within 50 feet.

**Condition:** N/A

**Plat Note:** WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.

**Hazard Zones** – No recorded hazards in CBJ record.

**Condition:** N/A

**Plat Note:** N/A

**LOT DESIGN**

**Panhandle Lots** – Proposed Lots 1, 3, and 8 will be panhandle lots. All panhandle lots adhere to the requirements set forth in Title 49, Section 49.15.423.

Standard	Requirement	Met?	Conditions and Plat Notes
<b>CBJ 49.15.423(a)(1)(A)</b> Dimensional Requirements	The front and panhandle lots must meet all dimensional and area requirements.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(1)(B)</b> Panhandle Width	No part of the panhandle shall be less than 20 feet in width.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(1)(C)</b> Panhandle Length	The panhandle portion of the lot shall not be longer than 300 feet in D1 zones, and one and one-half times the minimum lot depth in other residential zoning districts.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(1)(D)</b> Structures Prohibited	No buildings are allowed within the panhandle portion of the lot.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(1)(E)</b> Lot Depth	In a D1 zoning district, 30 feet of the width of the	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	Not applicable.

Standard	Requirement	Met?	Conditions and Plat Notes
	panhandle of the rear lot may be used in determining the width of the front lot.		
<b>CBJ 49.15.423(a)(1)(F)</b> Lot Width	The lot width for the panhandle lot shall be the distance between its side lot lines measured behind the back lot line of the front lot.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(3)(A)</b> Shared Driveway	Access for the lots shall be located in the panhandle. A lot fronting a right-of-way may have a separate and additional access if approved by the government entity that controls rights-of-way. Access to each lot shall be designated on the plat in the form of an easement.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(3)(C)/(D)</b> Parking	A parking plan is required showing the feasibility of off-street parking – no back-out parking is allowed unless approved by the Director.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(3)(E)</b> Easement and Maintenance Agreement	The applicant has provided an easement for all common access and parking areas and a maintenance agreement will be recorded with the final plat.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.15.423(a)(3)(F)</b>	The applicant has demonstrated that any portion of the driveway not located in a public right-of-way can comply with emergency service access requirements. A profile of the proposed driveway was included with the application.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	

Standard	Requirement	Met?	Conditions and Plat Notes
<b>CBJ 49.15.423(a)(3)(H)</b>	The portion of the panhandle in the right-of-way, or the first 20 feet from the edge of the public roadway, has been paved, whichever length is greater.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	

**TRAFFIC**

**Traffic** – According to CBJ 49.40.300(2) a traffic impact analysis IS NOT required.

Use	Average Daily Trips (ADT)	Number of Possible Dwellings	Total ADT
<b>Single Family Residential (210)</b>	9.52	19	180.88
<b>Apartment (220)</b>	6.65	4	26.6
<b>Total ADTs:</b>			<b>207.48</b>

**ACCESS AND PUBLIC IMPROVEMENTS**

**Access** – Per CBJ 49.35.250(a), staff has determined that the primary access to the subdivision is Silver Street. The applicant has demonstrated that Lots 1, 2, 3, 4, 8,9, and 10 will have direct and practical access to a new cul-de-sac public right-of-way through the frontage of the lot, as required by CBJ 49.35.250(b). Lots 4, 5, 6, and 7 will have a Private Shared Access to Silver Street per the standards outlined in 49.35.262.

Lot Number	Primary access
<b>1</b>	Silver Street
<b>2</b>	Silver Street
<b>3</b>	Silver Street
<b>4</b>	Private Shared Access to Silver Street
<b>5</b>	Private Shared Access to Silver Street
<b>6</b>	Private Shared Access to Silver Street
<b>7</b>	Private Shared Access to Silver Street
<b>8</b>	Silver Street
<b>9</b>	Silver Street
<b>10</b>	Silver Street

**Conditions:** N/A

**Plat notes:**

**ACCESS SUBJECT TO CBJ 49.15.423 ‘PANHANDLE LOTS’. ACCESS TO LOTS 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.**

**LOTS 1, 2 AND 3 ARE A PANHANDLE SUBDIVISION. AT THE TIME OF PLAT RECORDING, FURTHER SUBDIVISION OF LOTS 4A and 4B IS SUBJECT TO CBJ 49.15.423 ‘PANHANDLE LOTS’. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.**

**ACCESS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II ‘PRIVATE SHARED ACCESS’ REQUIREMENTS. ACCESS TO LOTS 4, 5, 6 AND 7 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY IN THE SHARED ACCESS EASEMENT. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.**

**AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II ‘PRIVATE SHARED ACCESS’. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.**

**CBJ 49.35.240 Table of Roadway Construction Standards –**

**Condition:** Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

**Plat Note:** N/A

<b>ADTs</b>	<b>TIA</b>	<b>Sidewalks</b>	<b>Travel Way Width</b>	<b>Street Lights</b>	<b>ROW Width</b>	<b>Paved</b>	<b>Publicly Maintained</b>
207.48	No	No	22 foot	No	60 foot	Yes	Yes



**Drainage** – An Engineered Drainage Report has been submitted and is being reviewed by CBJ’s General Engineering Department. (**Attachment D**).

**Condition: NA**

**Plat Note:**

**THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.**

**AGENCY REVIEW**

CDD conducted an agency review comment period between April 10, 2024 – April 24, 2024. Agency review comments can be found in **Attachment G**.

<b>Agency</b>	<b>Summary</b>
Capital City Fire and Rescue	All comments addressed through initial review.
Cartography	All comments addressed through initial review.
General Engineering	Bonding requirements are being created.
Zoning	All comments addressed through initial review.

**PUBLIC COMMENTS**

CDD conducted a public comment period between April 4, 2024 – May 20,2024. Public notice was mailed to property owners within 500 feet of the subject parcel (**See Attachment F**). A public notice sign was also posted on-site two weeks prior to the scheduled hearing (**Attachment K**). Public comments submitted at time of writing this staff report can be found in **Attachment H**.

<b>Name</b>	<b>Summary</b>
Tina and Josh Martin	<ol style="list-style-type: none"><li>1. Preservation of a trail that is present on the existing Lot 10.</li><li>2. Drainage concerns along the property line between the subdivision. Who maintains it? Who will have access to it?</li></ol>
Raymond Pastorino	<ol style="list-style-type: none"><li>1. Preservation of a trail that is present on the existing Lot 10.</li></ol>
Margaret Custer	<ol style="list-style-type: none"><li>1. Concerns over development impacts to abutting wetland habitats.</li></ol>
Sheryl Weinberg	<ol style="list-style-type: none"><li>1. Question regarding building pad locations</li><li>2. Are there any CC&amp;R’s?</li></ol>
Ren Scott	<ol style="list-style-type: none"><li>1. Preservation of a trail that is present on the existing Lot 10.</li></ol>

## **FINDINGS**

**Major Subdivision Preliminary Plat Approval Criteria** - Per CBJ 49.15.402(c)(4), the Director makes the following findings on the proposed development:

**1. *Does the preliminary plat comply with CBJ 49.15.411?***

**Analysis:** No additional analysis needed.

**Finding: Yes.** With recommended conditions, the preliminary plat complies with preliminary plating requirements listed in CBJ 49.15.411.

**2. *Will applicable subdivision development standards be met, or can reasonably be met with conditions?***

**Analysis:** The applicant is required to plat a 60 foot Right-of-way, and install a paved 44 foot wide street with a 96 foot diameter cul-de-sac, and provide water and sewer to all lots.

**Finding: Yes.** With recommended conditions, all applicable subdivision development standards can be reasonably met.

**3. *Will the proposed subdivision provide suitable building sites for the zoning district?***

**Analysis:** Lots created through this subdivision will not have the adequate frontage along the right-of-way, though the commission may allow for the proposed configuration per 49.15.421 where lots that front on a cul-de-sac the commission for major subdivisions makes a determination that meeting the minimum lot width at the front of the building line in accordance with the table of dimensional standards is impractical, the minimum lot width may be reduced as necessary to achieve a reasonable lot configuration.

**Finding: Yes.** The proposed subdivision does not meet the lot frontage requirements at the cul-de-sac but would meet the required frontage when measured from the front of the building line.

**4. *Will the proposed street names be unique or continuations of existing streets?***

**Analysis:** The street will be an extension of an existing street (Silver Street).

**Finding: Yes.** Proposed street names are unique or are extensions of existing streets.

**5. *Has the director of Engineering and Public Works reviewed the application and determined that:***

***(i) The subdivision can be constructed to conform to applicable drainage and water quality requirements;***

***(ii) The streets, pioneer paths, and pedestrian ways as proposed accommodate anticipated traffic, align with, and, where appropriate, connect with streets and pedestrian ways serving adjacent properties;***

***(iii) Any proposed improvements conform to the requirements of this Title 49 and can be feasibly constructed; and,***

**Analysis:** No further analysis needed.

**Finding: Yes.** Engineering and Public Works has reviewed the proposed subdivision application and

supplemental materials and believes the above criteria can be met.

### **RECOMMENDATION**

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested preliminary plat for the Silver Acres Subdivision. This permit would allow the applicant to submit for the final plat application.

This approval is subject to the following conditions:

1. Prior to approval of the final plat, Certification from the CBJ Treasurer is required showing that all real property taxes and special assessments levied against the property for the year of recording have been paid.
2. Prior to approval of a final plat, the applicant shall submit a complete set of construction plans for all required improvements to the Community Development Department for review by the director of Engineering & Public Works for compliance with CBJ 49.35.140.
3. Prior to approval of the final plat, the applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010.

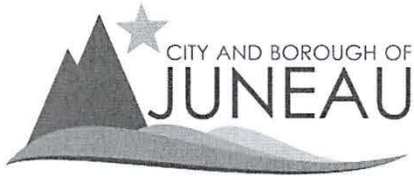
Plat notes:

1. LOTS 6, 7, 8, 9 AND 10 MUST HAVE A 15 FOOT SIDE YARD SETBACK FOR SIDE YARDS ABUTTING BLACK BEAR LOT 1.
2. WETLANDS MAY EXIST ON PARTS OF THIS SUBDIVISION. SPECIAL REGULATIONS MAY APPLY.
3. ACCESS SUBJECT TO CBJ 49.15.423 'PANHANDLE LOTS'. ACCESS TO LOTS 2 SHALL BE RESTRICTED TO A SINGLE DRIVEWAY APRON IN THE RIGHT OF WAY SHARED WITH LOT 1 OR LOT 3, UNLESS A SECOND DRIVEWAY TO LOT 2 IS APPROVED BY CBJ. USE OF THE ACCESS EASEMENT DELINEATED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN THE COMMON DRIVEWAY ACCESS, JOINT USE AND HOLD HARMLESS AGREEMENT RECORDED WITH THIS SUBDIVISION.
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6. AT THE TIME OF PLAT RECORDING, DEVELOPMENT, INCLUDING FURTHER SUBDIVISION OR USE, OF LOTS 4, 5, 6 AND 7 IN THIS SUBDIVISION IS SUBJECT TO CBJ 49.35 ARTICLE II DIVISION II 'PRIVATE SHARED ACCESS'. SEE THE CITY AND BOROUGH OF JUNEAU LAND USE CODE FOR CURRENT REGULATIONS.
7. THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

Shawn Kantola  
File No: SMP2024 0002  
May 20, 2024  
Page 15 of 15

**STAFF REPORT ATTACHMENTS**

<b>Item</b>	<b>Description</b>
<b>Attachment A</b>	Application Packet
<b>Attachment B</b>	Preliminary Plat
<b>Attachment C</b>	Closure Report
<b>Attachment D</b>	Preliminary Drainage Report
<b>Attachment E</b>	Sketch Plat
<b>Attachment F</b>	Abutters Notice with Mailing List Sent 4/3/24
<b>Attachment G</b>	Agency review comments
<b>Attachment H</b>	Public comment
<b>Attachment I</b>	Ordinance 2014-46
<b>Attachment J</b>	Public Notice Sign



Treasury Division  
155 S Seward St  
Juneau AK 99801  
907.586.5215 x4907 Phone  
907.586.5367 Fax

### CERTIFICATION OF TAXES AND ASSESSMENTS PAID

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

SHAWN KANTOLA, HEIDI KANTOLA

Current Owner

BLACK BEAR LT 3

Legal Description

4B2601020043

Parcel Code Number

and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is on deposit with the Treasury Department an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2023.

  
Ruth Kostik

September 13, 2024

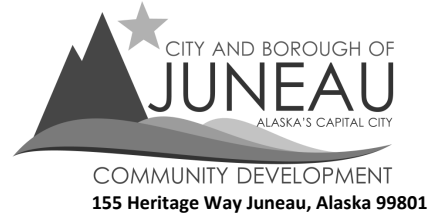
Date

This Certification of Payment of Taxes is valid through December 31, 2024

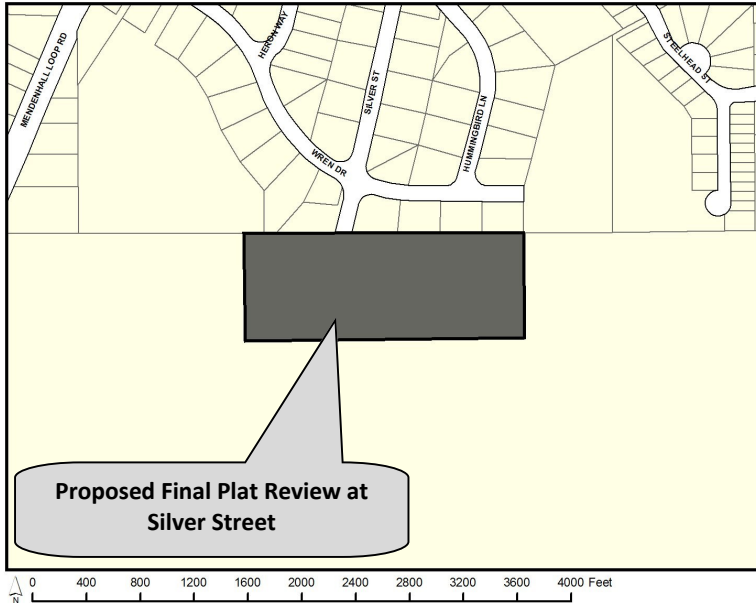
# Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

*Your Community, Your Voice*



TO



**Final Plat Review** has been submitted for consideration and public hearing by the Planning Commission for **ten (10) lot Silver Acres Subdivision** at **Silver Street** in a **D3(T)D18** zone.

**PROJECT INFORMATION:**

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

**PLANNING COMMISSION DOCUMENTS:**

Staff Report expected to be posted **September 16** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

Now through Sept. 9	Sept. 10 — noon, Sept. 20	HEARING DATE & TIME: 7:00 pm, September 24	Sept. 25
Comments received during this period will be sent to the Planner, <b>David Peterson</b> , to be included as an attachment in the staff report.	Comments received during this period will be sent to Commissioners to read in preparation for the hearing.	This meeting will be held by remote participation. For remote participation: join the Webinar by visiting <a href="https://juneau.zoom.us/j/82256333971">https://juneau.zoom.us/j/82256333971</a> and use the Webinar ID: 822 5633 3971 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).	The results of the hearing will be posted online.

**FOR DETAILS OR QUESTIONS,**

Phone: (907)586-0753 ext. 4132

Email: [pc\\_comments@juneau.gov](mailto:pc_comments@juneau.gov) or [david.peterson@juneau.gov](mailto:david.peterson@juneau.gov)

Mail: Community Development, 155 Heritage Way, Juneau AK 99801

Case No.: SMF2024 0002  
 Parcel No.: 4B2601020043  
 CBJ Parcel Viewer: <http://epv.juneau.org>



Attachment I - Image of Public Notice Sign

September 9, 2024

RE: Final Plat Review for Silver Acres Subdivision on Silver Street  
Case Number: SMF2024 0002

To Whom It May Concern,

The Southeast Alaska Land Trust (SEALT) received notice that an application for a Final Plat Review has been submitted for consideration and public hearing by the City & Borough of Juneau (CBJ) Community Development Planning Commission. The Case Number for this application is SMF2024 0002.

The proposed project is located directly adjacent to SEALT's Montana Creek Wetlands mitigation site (Black Bear Lot 1; CBJ Tax ID 4B2601020041). This mitigation site provides compensatory mitigation for seven Department of the Army permits, overseen by the US Army Corps of Engineers (USACE), and included a significant portion of the mitigation required for the 2009 Juneau International Airport improvements project (USACE permit: POA-1981-320-M22).

As described in SEALT's management plan for the Montana Creek Wetlands property, the purpose of its conservation is to preserve "wetland habitat for wildlife, open space for public enjoyment, and outdoor recreation and education opportunities for the general public." The property is open to the public for uses such as hiking, walking, skiing, snowshoeing, wildlife viewing, picnicking, berry picking, fishing, hunting, and educational programs. Additionally, the property contains approximately 113 acres of high-functioning palustrine wetlands.

Black Bear Lot 3 (the parcel in question for the proposed Silver Acres subdivision) is likewise classified as palustrine wetlands under the National Wetlands Inventory and makes up part of the greater wetlands complex containing the Montana Creek Wetlands mitigation site. Among other important functions, the extent and healthy functioning of these wetlands provide flood attenuation and protection to surrounding residential areas, particularly significant due to the nearby Mendenhall River and its associated floodplain which have been impacted in the last 12 years by glacial outburst flooding. Notably, the frequency and severity of glacial outburst flooding has risen in recent years and remains an ongoing concern for properties in close proximity to the Mendenhall River, including Black Bear Lot 3 and surrounding parcels. Incremental and cumulative developments in the area



have filled wetland areas that would otherwise provide flood mitigation in periods of rising water.

SEALT therefore recommends that the Planning Commission exercise special caution in considering the additional fill and fragmentation of wetlands and streams in a residential area that is already highly vulnerable to flooding, and which could expose the newly developed area and homes in the surrounding area to preventable flooding.

Under the proposed subdivision plan, eight of the ten resulting plots would directly border SEALT's mitigation site, with the applicant noting a potential intent to further subdivide lots 9 and 10 into additional lots in the future. Increased development adjacent to the mitigation site poses a direct threat to the property and its conservation values and may create additional management responsibilities for the land trust. The proposed subdivision would also, importantly, require wetland mitigation of its own for unavoidable impacts to aquatic resources.

In addition to construction-related impacts such as sediment runoff and risk of pollutant contamination, a substantial increase in the number of privately-owned lots abutting the mitigation site permanently increases the threat of future encroachments and impacts to the property. An increase in nearby development can change the character of the conservation property and its capacity as a mitigation site.

SEALT requests that the Planning Commission thoroughly review and discuss potential effects to the adjacent wetland mitigation site, the flood attenuation provided by the wetlands under consideration for fill and development, and the habitat that would be impacted when evaluating the application and proposed subdivision.

If you have any questions, please contact the Southeast Alaska Land Trust at (907) 586-3100 or [info@sealt.org](mailto:info@sealt.org).

Sincerely,



Margaret Custer  
Executive Director