




(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

March 6, 2024

MEMO

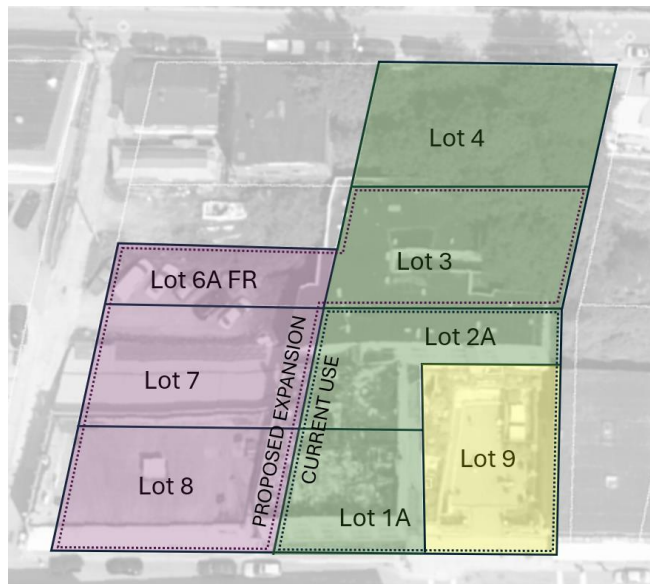
To: Zane Jones, Chair, Historic Resources Advisory Committee (HRAC)

From: Irene Gallion, Senior Planner 

Parcel No.: Multiple (see below)

Legal Description: Juneau Townsite Block 13:

Lot	Parcel	Address	Description
1A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
2A	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
3	1C070A130011	127 S Franklin St.	Gastineau Lodge (demolished)
4	1C070A130011	127 S Franklin St.	Vacant hillside
6A FR	1C070A130030	109 S Franklin St.	Elks Hall (demolished)
7	1C070A130030	109 S Franklin St.	Elks Hall (demolished)
8	1C070A130030	109 S Franklin St.	Elks Hall parking lot
9	1C070A130012	139 S Franklin St.	Gunakadeit Park



Case Number: USE2024 0003: Expansion of Food Court

RE: Review for Conditional Use Permit Process

On April 9, 2024, the Planning Commission will hear an application to expand the Franklin Foods LLC food court onto the former site of the Elks Club.

I am requesting feedback from HRAC by **April 5, 2024, at noon**. My apologies for the quick turn. I am providing the application now so that the committee members have time to review before the next HRAC meeting on April 3, 2024.

Context

HRAC involvement in this development will have two tracts [CBJ 49.70.530(a)(2)]:

- Recommendations for preservation of harmony of scale and sidewalk level use. **This will be done under the Conditional Use Permit process, and is the request of this memo.**
- Recommend architectural style and construction materials for structures. This will be through the building permit process for each structure permitted.

Project

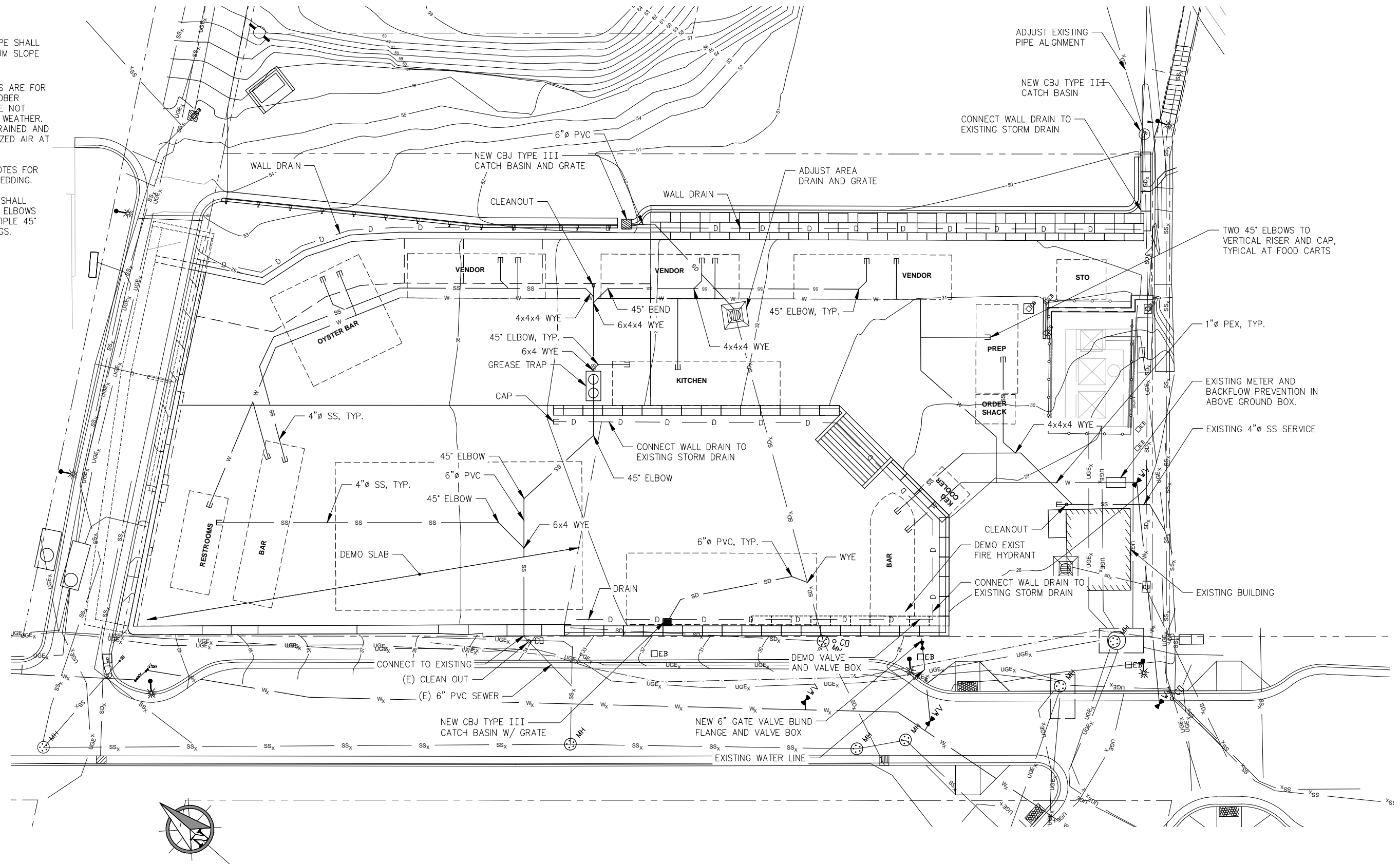
Attached is the application, and an updated site plan. Note that the bar may be reoriented parallel to S. Franklin Street, and may be covered by a tent that is 20x40 feet or 25x40 feet.

- Retaining wall construction has been approved by the Director, as it was required for site stabilization.
- Utilities construction has been approved, and including water, sewer and electric.
- The lots are intended to be consolidated (application pending). Structures cannot cross lot lines.
- Construction of buildings for the expansion cannot begin until the Conditional Use Permit is approved, the lots are consolidated, and building permits have been approved.
- Note that Lot 4 (vacant hillside) is not in the Juneau Downtown Historic District established under Ordinance 2013-01.

If HRAC makes recommendations, please draft them to be measurable and enforceable per the Land Use Code (Title 49).

NOTES:

1. ALL SANITARY WASTE PIPE SHALL BE 4"Ø PVC WITH MINIMUM SLOPE OF 1/8" DROP PER FOOT
2. WATER AND SEWER PIPES ARE FOR MID APRIL TO LATE OCTOBER SEASONAL USE, AND ARE NOT SUITABLE FOR FREEZING WEATHER. WATER LINE IS TO BE DRAINED AND CLEARED WITH PRESSURIZED AIR AT END OF SEASON.
3. SEE SHEET S001 FOR NOTES FOR PIPE, TRENCHING, AND BEDDING.
4. DRAIN AND SEWER PIPE SHALL HAVE NO 90° STANDARD ELBOWS OR TEES, BUT USE MULTIPLE 45° ELBOW OR SWEEP FITTINGS.



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
1	1/08/24	REV 1			
2	2/12/24	REV 2			
3	2/28/24	REV 3			

PND
ENGINEERS, INC.

9360 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com

DESIGN: CMG CHECKED: CMG SCALE: SCALE IN FEET

DRAWN: KLL APPROVED: CMG 0 10 20 FT.



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:

UTILITY PLAN

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

U201



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY

Construct a cast-in-place and stacked concrete block walls at the site of the former Elks Lodge, Gastineau Apartments and Guunakadeit Park, to stabilize conditions. **Also includes expansion of the existing food court.**

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

~~Accessory Use Permit (AUP)~~

Use Listed in 49.25.300 – Table of Permissible Uses (USE)

Table of Permissible Uses Category: **8.300 Seasonal Open-Air Food Service Without a Drive-Through**

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

YES – Case # _____ NO

UTILITIES PROPOSED

WATER: Public On Site

SEWER: Public On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 31,078 square feet Total Area of Existing Structure(s) 220 square feet

Total Area of Proposed Structure(s) 220 square feet No new permanent structures

EXTERNAL LIGHTING

Existing to remain	X No	Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
Proposed	No	Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

If this is a modification or extension include:

Narrative including:

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

Plans including:

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES				
	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500.00</u>	<u>Class II</u>		
Admin. of Guarantee	\$ <u>—</u>			
Adjustment	\$ <u>—</u>			
Pub. Not. Sign Fee	\$ <u>50.00</u>			
Pub. Not. Sign Deposit	\$ <u>100.00</u>			
Total Fee	\$ <u>650.00</u>			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE24-003</u>	<u>1-23-24</u>



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

PROPERTY LOCATION	
Physical Address 109, 127 and 139 South Franklin Street, Juneau Alaska 99801	
Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Juneau Townsite Block 13	
Parcel Number(s) Lots 1A, 2A, 3, 4, 6 Fraction, 7, 8, 9	
<input checked="" type="checkbox"/> This property is located in the downtown historic district <input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which XXXXXX Hazard Zone No longer in a regulated hazard area.	
LANDOWNER/ LESSEE	
Property Owner Franklin Foods, LLC	Contact Person David McCasland
Mailing Address 3294 Pioneer Ave, Juneau AK 99801	Phone Number(s) 907-957-2212
E-mail Address davidmccasland907@gmail.com	
LANDOWNER/ LESSEE CONSENT	
Required for Planning Permits, not needed on Building/ Engineering Permits.	
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.	
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:	
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.	
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.	
David McCasland	Landowner
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
<i>[Signature]</i>	1/23/24
X Landowner/Lessee (Signature)	Date
_____	_____
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
X _____	_____
Landowner/Lessee (Signature)	Date
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.	
APPLICANT If same as LANDOWNER, write "SAME"	
Applicant (Printed Name) PND Engineers	Contact Person Chris Gianotti
Mailing Address 9360 Glacier Highway, St 100, Juneau AK 99801	Phone Number(s) 907=463-7001
E-mail Address cgianotti@pndengineers.com	
X Christopher M Gianotti	2024-01-23
Applicant's Signature	Date of Application

To be completed by Applicant

DEPARTMENT USE ONLY BELOW THIS LINE

Intake Initials
<i>JLS</i>

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<i>USE24-003</i>	<i>1-23-24</i>



ENGINEERS, INC.

January 23, 2024

PND 222070

Mr. David McCasland
Franklin Foods, LLC
3294 Pioneer Avenue
Juneau, Alaska 99801

Re: Franklin Foods Food Court - Grading Permit
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this narrative to accompany the application for the conditional use permit application for the Franklin Foods Food Court. The narrative includes the following:

- Current Use of Land and Proposed Use of the land.
- Description of project, project site, circulation, traffic
- How the Use complies with the Comprehensive Plan

Project Background

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1st Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1st Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20th Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

When demolishing the Elks Club Building the east wall collapsed as it was very poorly constructed. The demolition contractor re-graded the slope to between a 1.5 to 1 to 1 to 1 slope (horizontal to vertical) or 34 to 45 degrees. The slope was covered with a polyethylene tarp to minimize moisture intrusion to help stabilize the slope. This is sloped condition is temporarily stable.

Current Use and Proposed Use

Current use of the site is a food court where vendors prepare and sell food and drinks to customers who eat at tables on site or take the food and drink with them elsewhere. There is an existing one-story, wood-framed structure for one vendor which was built under a previous building permit. Other structures are portable and those include a restroom, a bar, a kitchen, a storage building, and seasonal fabric pavilion like tents. The food court operates from May until October 1, when weather

discourages customers to the point that operations are not feasible. The use after the project is complete is the same as what the current use is.

Proposed Project

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. The stacked block wall will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel-surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.

The above-described improvements are needed to stabilize existing conditions and create a more pleasingly aesthetic site for food court operations.

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls. Drain lines will be installed behind the retaining wall to both improve stability of the retained fill and intercept and control water across the food court.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal. The existing soils will be stable if graded to that slope.

Along the Franklin Street sidewalk and south of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along the street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

Circulation and Traffic

Most customers of the food court are pedestrians. Most of the pedestrians are passengers and crew members from cruise ships. Some locals will drive to the site and use on-street parking before walking to the food court to buy and eat foods. All customers will likely go to adjacent and nearby businesses and shops.

The proposed improvements will stabilize the site and increase seating at the site, increase area for customer queuing lines.

The retained fill behind the retaining walls will provide 15 to 20 spaces of parking. This parking will be mainly for the vendor staff and customers that are local or those using cars to get to the site.

January 23, 2024

Franklin Foods Food Court
Grading Permit
Page 3

The new area above the retained fill behind the retaining walls, via access from 1st Street, will also be a spot for a bear-resistant dumpster. It will not block access to Rawn Way or 1st Street. It will not block access to the food court.

Compliance with the Comprehensive Plan

The proposed improvements are to enhance the experience of being in Downtown Juneau by improving aesthetics, enhance tourist experience, offer a better experience for locals dining in downtown. This project will make the existing food court a more-attractive and safer component of the downtown neighborhood. The display of the historic plaque that was on the Elks Building and reuse of the designs cast in the ground level slab of the Elks Building will note the historic character of the site.

Closing

PND appreciates this opportunity to present this narrative for the grading permit to Mr. David McCasland for the Franklin Foods Improvements project. We hope this narrative satisfies the project permit parameters. Please contact us with any questions regarding the contents of this document.

Sincerely,
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.
Senior Engineer



ENGINEERS, INC.

January 9, 2024

PND 222070

Mr. David McCasland
Franklin Foods, LLC
3294 Pioneer Avenue
Juneau, Alaska 99801

Re: Franklin Foods Hillside Endorsement
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this Engineering Geology Report for the Franklin Foods Improvements Project. The purpose of this report is to provide a summary of existing site geology, observed geological processes and engineering data relevant to proposed development. This report is being submitted to satisfy the City and Borough of Juneau (CBJ) Hillside Endorsement section requirements of the Land Use Code for areas with slopes that exceed 18%.

Project Background

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1st Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1st Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20th Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. It will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal.

South of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along Franklin Street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

Site Geology

Limited geotechnical reconnaissance was completed for this project. Three test pits were excavated west of the west foundation wall of the former Gastineau apartments east wing and one test pit was excavated east of the same foundation wall. At each test pit abandoned foundation walls and footings surrounded by gravelly sand was found to a depth of approximately 4 feet below the ground surface. Below the footings test pits revealed a gravel base course underlain with a firm, sandy silty material with shell fragments, which is believed to be native, natural soils.

During site demolition, the excavation contractor further revealed the existing abandoned lowest level slab of the east wing of the Gastineau Apartments and the adjacent retaining walls east of the slab. Backfill around the retaining walls is a loose, very wet, sandy-gravel to gravelly-sand material.

The only likely active geologic process affecting the site is isostatic rebound, and is not expected to have any adverse impacts. There are no substantial indications of slope instability on the hillside.

Recommendations

The retaining walls need to be designed and constructed for global stability as well as internal stability to resist all lateral loads imposed by the retained fill with a surcharge of 50 psf on the fill which is appropriate for a parking area. The walls should be designed and constructed in accordance with the CBJ Building Code. Drains should be installed behind the walls and backfill shall be free-draining.

New excavated slopes should be stable for the soil conditions. For the soils encountered on site, that is sandy gravel to gravelly-sands, man-made fill, the slope of 2:1 (horizontal to vertical) should not be exceeded.

Preventing saturation and minimizing disturbance will be critical in maintaining stability. Rain gutters and other runoff from new development and the adjacent properties should be directed away from slopes or intercepted prior to reaching the excavated slopes. Riprap pads, landscaped vegetation or

January 9, 2024

Franklin Foods Improvements
Engineering Geology Report
Page 3

other techniques to prevent erosion should be utilized when discharging runoff downhill. Previously-vegetated areas disturbed during construction should be stabilized through re-vegetation or other means such as large shot rock gravel or riprap. No slopes, either existing or constructed, should exceed 1.5H:1V unless designed or evaluated by a professional engineer.

Closing

PND appreciates this opportunity to present this Engineering Geology Report to Mr. David McCasland for the Franklin Foods Improvements project. We hope this report satisfies the project parameters. Please contact us with any questions regarding the contents of this report.

Sincerely,
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.
Senior Engineer

GENERAL NOTES

GENERAL NOTES
CRITERIA
CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU
STRUCTURAL RISK CATEGORY: II
LOADS:
SURFACE ON RETAINED EARTH: 50 PSF
WELL BACKFILL
ANGLE OF FRICTION = 26 DEGREE IN NATURAL SOIL 40 DEGREE IN SHOT ROCK BACKFILL
RAILING LOADS:
50 POUNDS PER FOOT OR 200 POUND CONCENTRATED LOAD
50 PSF ON INTERMEDIATE POSTS, WIRES AND RAILS
VEHICLE BARRIER LOAD:
200 POUNDS HORIZONTAL BETWEEN 18 INCHES AND 27 INCHES ABOVE DRIVING SURFACE
STRUCTURES AT ROADWAY AASHTO HL90 HIGHWAY LOADING
FOUNDATION:
FOUNDATION IS DESIGNED FOR A MAXIMUM ALLOWABLE BEARING PRESSURE OF 3,000 PSF.

MATERIALS AND CONSTRUCTION
EXCAVATE TO LIMITS SHOWN ON PLANS IN ACCORDANCE WITH OSHA AND STATE OF ALASKA DEPARTMENT OF LABOR REGULATIONS. VERIFY THAT CONDITIONS AT THE LIMIT OF EXCAVATION ARE FIRM NATIVE MATERIAL FREE OF TRASH, DEBRIS, ORGANICS, SOFT MATERIAL, AND MUCK ON BEDROCK. IF UNSURFACEABLE MATERIAL FROM SITE, NOTIFY ENGINEER REMOVE ANY UNSURFACEABLE MATERIAL FROM SITE. REPORT TO ENGINEER CONDITIONS FOUND AT LIMIT OF EXCAVATION AND FIELD ADJUST BOTTOM OF FOOTING ELEVATION BASED ON CONDITIONS.
PROTECT EXISTING BURIED UTILITIES. LOCATE UTILITIES PRIOR TO EXCAVATION.

BASE COURSE SHALL CONFORM TO SECTION 702-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION, GRADATION C1 OR D1. PLACE IN PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

DRAIN ROCK
DRAIN ROCK SHALL BE UNFORMLY GRADED, WASHED GRAVEL WITH STONE SIZE BETWEEN 1/2 INCH AND 1 INCH PLACED IN LIFTS NOT TO EXCEED 12 INCHES AND TAMP WITH EXCAVATOR BUCKET TO OBTAIN MAXIMUM DENSITY.

TRENCHING
BED PILES IN GRAVELLY SAND WITH NO STONE SIZE GREATER THAN 1.5 INCHES. COMPACT BOTTOM OF TRENCH WITH THE MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR. PLACE BEDDING IN LIFTS NOT TO EXCEED 8 INCHES IN LOSS, THICKNESS AND COMPACT WITH MAXIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.
PLACE WARNING TAPE 12 INCHES ABOVE PIPE. WARNING TAPE SHALL BE 6 INCHES WIDE, 4 MIL THICK POLYETHYLENE WITH BLACK LETTERING ON COLOR APPROPRIATE FOR PIPE TYPE BELOW.

BACKFILL TRENCHES WITH SUITABLE MATERIAL EXCAVATED FROM TRENCH OR IMPORTED, WELL-GRADED SANDY GRAVEL. PLACE IN LIFTS NOT TO EXCEED 8 INCHES IN LOSS THICKNESS. COMPACT EACH LIFT DOWN TO PLACING SUBSEQUENT LIFTS WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

DRAIN PIPE AND SEWER PIPE
DRAIN PIPE SHALL BE EITHER PVC MEETING ASTM D3034 WITH SDR 35 OR CPP MEETING AASHTO M252 TYPE S DRINKED PIPE SHALL BE PERFORATED. PIPE SHALL HAVE BELL AND SPIGOT JOINTS. FITTINGS SHALL BE OF SAME MATERIAL AND COMPATIBLE WITH PIPE. SHIP, STORE, HANDLE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.

CONCRETE
PLACING AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE DETERMINED BY TESTS WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. A MIX DESIGN WITH RECORD CYLINDER TEST RESULTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING CONCRETE EQUIPMENT TO THE SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. CURING SHALL BE WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS. CONCRETE SHALL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60. LAP REINFORCING STEEL 50 BAR DIAMETERS UNLESS OTHERWISE NOTED.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.

PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: ANY CONCRETE CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 2 INCHES.

ABBREVIATIONS

AASHTO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ACI AMERICAN CONCRETE INSTITUTE
AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AIRC AMERICAN INSTITUTE OF TOWER CONSTRUCTION
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA AMERICAN WOOD PRESERVERS ASSOCIATION
AWWA AMERICAN WATER WORKS ASSOCIATION
CIPP CORRUGATED POLYETHYLENE PIPE
(E) EXISTING
(E) EXISTING
(E) EXISTING
EXIST EXISTING
EXIST EXISTING
HDP HIGH DENSITY POLYETHYLENE
IBC INTERNATIONAL BUILDING CODE
INTL INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
KPS 1000 POUNDS
LB POUND
MAX MAXIMUM
MIN MINIMUM
NN NUMBER
ON CENTER
OC ON CENTER
PCF POUNDS PER CUBIC FOOT
PL PLATE
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
PVC POLY VINYL CHLORIDE
SS STAINLESS STEEL
STD STANDARD
TYP TYPICAL

EXTEND HORIZONTAL REINFORCING AT CORNERS OF WALLS AND FOOTINGS WITH A 90 DEGREE BEND AND A DIAMETER LAP OR CORNER BARS WITH 48 BAR DIAMETER LAP AT EACH LEG. MATCH ALL HORIZONTAL BARS.

PRECAST CONCRETE BLOCKS
PRECAST CONCRETE BLOCKS SHALL BE MADE WITH CONCRETE WITH A MINIMUM 28 DAY STRENGTH (c₁) = 3,000 PSI. CONCRETE SHALL BE ENRICHED WITH 8 PERCENT AIR ENTRAINMENT. BLOCKS SHALL HAVE NUBS AND INDENTS AS MANUFACTURED BY ALASKA CONCRETE CASTING INC. OR APPROVED EQUAL. BLOCKS SHALL BE OF THE SIZE INDICATED ON THE PLANS.

STRUCTURAL STEEL
STEEL SHALL CONFORM TO THE FOLLOWING:
W SECTION ASTM A992
PLATES, CHANNELS ANGLES ASTM A 36
ASTM A 572 GRADE B
ASTM A 500 GRADE C
ASTM A 500 GRADE C
ASTM F 1554 GRADE 36
ASTM A 325
HOLLOW TUBES
ANCHOR BOLTS
BOLTS STEEL TO STEEL
ASTM A 325

STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1, STRUCTURAL WELDING CODE.

BOLTS DESIGNATED AS SUP CRITICAL (SC) SHALL BE TENSIONED USING TURN OF THE NUT METHOD.

ALL STEEL SHALL BE GALVANIZED AFTER FABRICATION PER ASTM A 153 AND A 153 AS APPROPRIATE.

TIMBER FRAMING
SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE DOUG FIR OR GRADED IN ACCORDANCE WITH THE WESTERN WOOD PRESERVATION ASSOCIATION, LATEST GRADING RULES. ALL SAWM FRAMING SHALL BE STAMPED WITH LUMBERS SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. HOLES SHALL BE DRILLED AND BE ENLARGED TO FIT AND BE ENLARGED TO FIT. HOLES OR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. BOLTS WITH HEADS UNDER THE HEAD AND NUTS. ALL WAILED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

TIMBER AND LUMBER NOTED AS TREATED SHALL BE PRESERVE PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA C2 FOR IN GROUND CONTACT USING PRESERVATIVE APPROVED BY THE ENGINEER. THIS TREAT ALL DAMAGE TO PRESSURE TREATED ENDS AND SURFACES IN ACCORDANCE WITH AWPA M-4 USING 2 COATS OF COPPER NAPHTHANATE SOLUTION AT DAMAGE, CUTS, HOLES, CHAMFERS, DAPS, COUNTERSINKS, ETC.

PRECAST CONCRETE BLOCKS
PRECAST CONCRETE BLOCKS SHALL BE MADE OF CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI, MADE FROM A MIX IN COMPLIANCE WITH ACI 318, WITH A MINIMUM CEMENT CONTENT OF 5.5 BAGS OF CEMENT PER CUBIC YARD, USING AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF 3/4 INCHES AND BE AIR ENTRAINED SO AIR CONTENT IS BETWEEN 5 AND 8 PERCENT. BLOCKS SHALL BE INTERLOCKING, WITH A VERTICAL OFFSET OF 2 INCHES IN 2 VERTICAL FEET. BE STACKED IN A RUNNING BOND AND OF THE SIZE INDICATED. ANY DAMAGE TO THE EXPOSED FACE SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER AND ENGINEER APPROVAL.

REINFORCING GRID
STACKED CONCRETE BLOCK WALL REINFORCING GRID SHALL BE MRAGRID 5XT AS MANUFACTURED BY MIRIF TENCAT, OR APPROVED EQUAL. ANY SUBMITTAL FOR SUBSTITUTION SHALL INCLUDE THE TECHNICAL DATA SHEET WHICH INCLUDES STRENGTH AND DURABILITY CHARACTERISTICS. REINFORCING GRID SHALL BE OVERLAPPED 12 INCHES AND TIED WITH #4 WIRE. ANY DAMAGED OR MISSING REINFORCING SHALL BE REPLACED WITHOUT ANY BONDING OR TEARS OR DAMAGE. THE SUBSEQUENT BLOCK SHALL BE PLACED AND THE GRID PLACED TO A TAUT CONDITION AND SECURED WITH STAKES, GALVANIZED STAPLES OR ANOTHER APPROVED METHOD PRIOR TO PLACING ADDITIONAL LIFTS OF BACKFILL.

STACKED BLOCK WALL BACKFILL
BACKFILL BETWEEN GEORGRIDS AT GEORGRID REINFORCED STACKED BLOCK WALL SHALL COMPLY WITH 2 INCH MINUS SHOT ROCK WITH THE GRADATION MEETING SUBBASE GRADING A, AS DEFINED IN CBI STANDARD SPECIFICATION FOR CIVIL ENGINEERING AND SUBDIVISION IMPROVEMENTS, SECTION 2202, PARAGRAPHS 2.8 AND 2.4, RESPECTIVELY. PLACE SHOT ROCK BACKFILL PER SECTION 3.2 OF CBI STANDARD SPECIFICATION 02202.
BACKFILL BEHIND UN-REINFORCED STACKED CONCRETE BLOCK WALLS SHALL BE WELL GRADED SANDY GRAVEL WITH NO MORE THAN 6 PERCENT PASSING THE NO 200 SIEVE. SUBMIT GRADATION OF MATERIAL PROPOSED TO BE USED FOR REVIEW AND APPROVAL.

PLACE BACKFILL FOR CONCRETE BLOCK WALLS IN LOOSE LIFTS NO GREATER THAN 12 INCHES IN LOOSE THICKNESS. COMPACT WITH A MINIMAL LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY PLATE OR VIBRATORY DOUBLE DRUM ROLLER WITH THE MINIMUM FORCE LEVEL RATING OF 10,000 POUNDS. SUBMIT TECHNICAL DATA ON COMPACTION EQUIPMENT FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING COMPACTION EQUIPMENT TO THE SITE.

REVISIONS		
REV.	DATE	DESCRIPTION
A	1/09/24	REV 1

10500 Chelwin Highway Ste. 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pnengineers.com

PN ENGINEERS, INC.

DESIGNER	CHK	CHECKED	CMG
DRAWN	KLL	APPROVED	CMG

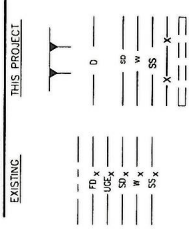
JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

STATE OF ALASKA
SECTION 12-14209

SHEET TITLE
STRUCTURAL GENERAL NOTES

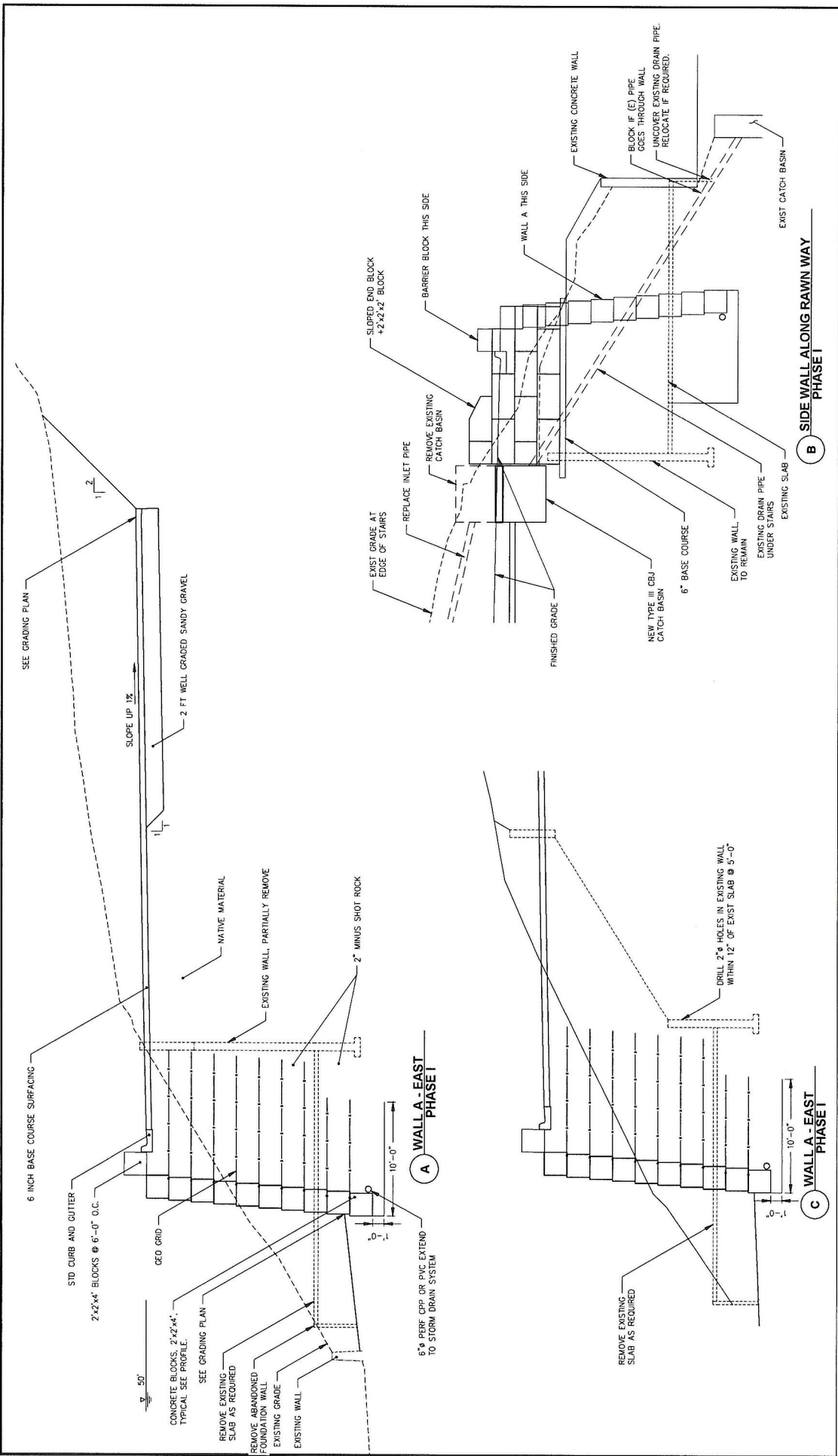
NO. PROJECT NO.: 222070 | PLAN NO.: REC0250
DATE: 12/17/2023

S001



THIS PROJECT

OUT OR TILL SLOPE
PROPERTY LINE
FOUNDATION DRAIN
UNDERGROUND ELECTRICAL
STORM DRAIN LINE
SANITARY SEWER LINE
GEOTEKSTILE FABRIC
FOOD CART / MOBILE STRUCTURE



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

3500 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.franklinfoods.com

ENGINEERS, INC.

DATE: 12/18/2023

SCALE: 1" = 8' FT.

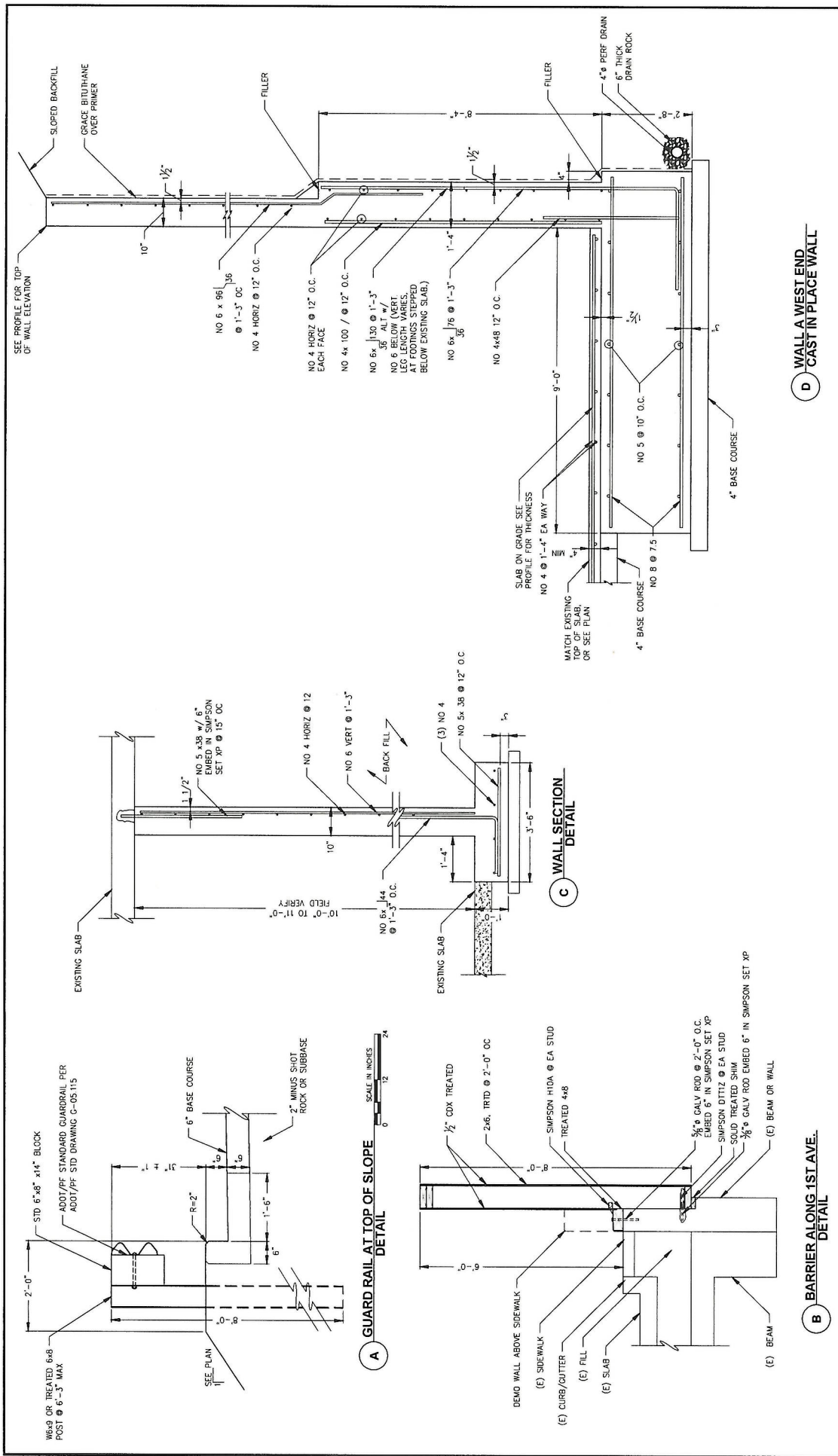
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 DRAWN: KLL
 APPROVED: CMC

S003

WALL A PHASE I

SHEET TITLE: WALL A PHASE I
 PROJ. NO.: 222070
 C.A.N. NO.: AEC0250

REV.	DATE	DESCRIPTION	DWN.	CHKD.	APP.
1	1/08/24	REV 1			



REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			

REVISIONS

PNI ENGINEERS, INC.
 9300 Chena Highway Ste. 100
 Juneau, Alaska 99801
 Phone: 907.586.2093
 Fax: 907.586.3099
 www.pniengineers.com

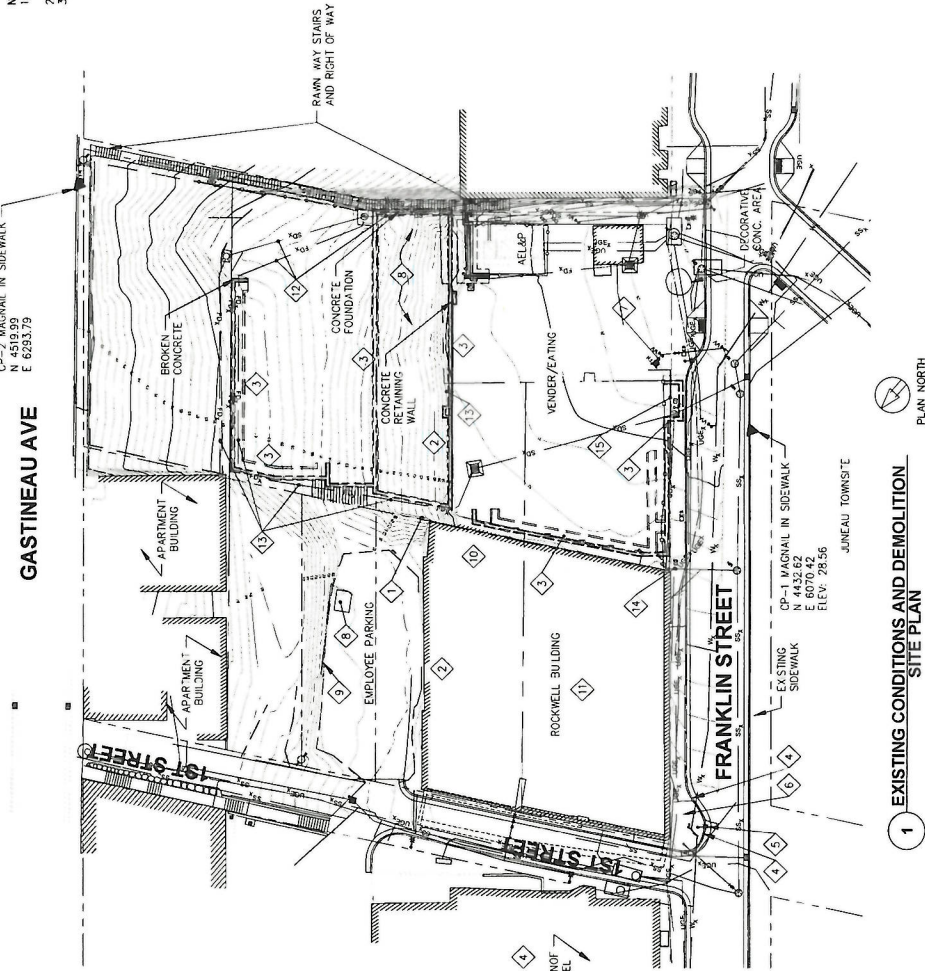
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 SCALE IN FEET
 DRAWN: CMG
 CHECKED: CMG
 APPROVED: CMG
 KILL: CMG

JUNEAU, ALASKA
 FRANKLIN FOODS LLC IMPROVEMENTS
 SHEET TITLE
 TYPICAL DETAILS
 S002
 SHEET NO.: 222070
 C.A.N. NO.: AEC0250

DATE: 12/17/2023
 DATE: 12/17/2023

DEMOLITION NOTES:

- 1 REMOVE SHEET PILE WALL
- 2 REMOVE EXISTING RETAINING WALL
- 3 REMOVE REMAINING FOUNDATION WALLS, AS REQUIRED
- 4 REMOVE CURB AND GUTTER (PHASE II)
- 5 REMOVE LIGHT POLE SALVAGE FOR REINSTALLATION (PHASE II)
- 6 REMOVE SIDEWALK (PHASE II)
- 7 REMOVE HYDRANT AND CAP WATERLINE AT PROPERTY LINE
- 8 REMOVE SLAB, AS REQUIRED
- 9 REMOVE CONCRETE BARRIERS (PHASE II)
- 10 DEMO SLAB FOR NEW RAMP
- 11 DEMOLISH BUILDING
- 12 REMOVE EXPOSE EXISTING DRAIN PIPE, RE-ALIGN AS REQUIRED
- 13 EXISTING ABANDONED FOUNDATION REMOVED AS REQUIRED
- 14 RELOCATE SS CLEANOUT
- 15 REMOVE INFORMATIONAL SIGN



PLAN NORTH

1 EXISTING CONDITIONS AND DEMOLITION SITE PLAN

- NOTES:**
1. BURIED UTILITIES SHOWN ARE FROM AVAILABLE AS-BUILT INFORMATION. VERIFY LOCATIONS PRIOR TO EXCAVATION.
 2. BURIED UTILITIES SHOWN ARE FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.
 3. BURIED FOUNDATIONS FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			

P | N | D
ENGINEERS, INC.

9900 Chena Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907.586.2093
 Fax: 907.586.2095
 www.pndengineers.com

SCALE: SCALE IN FEET
 0 20 40 FT

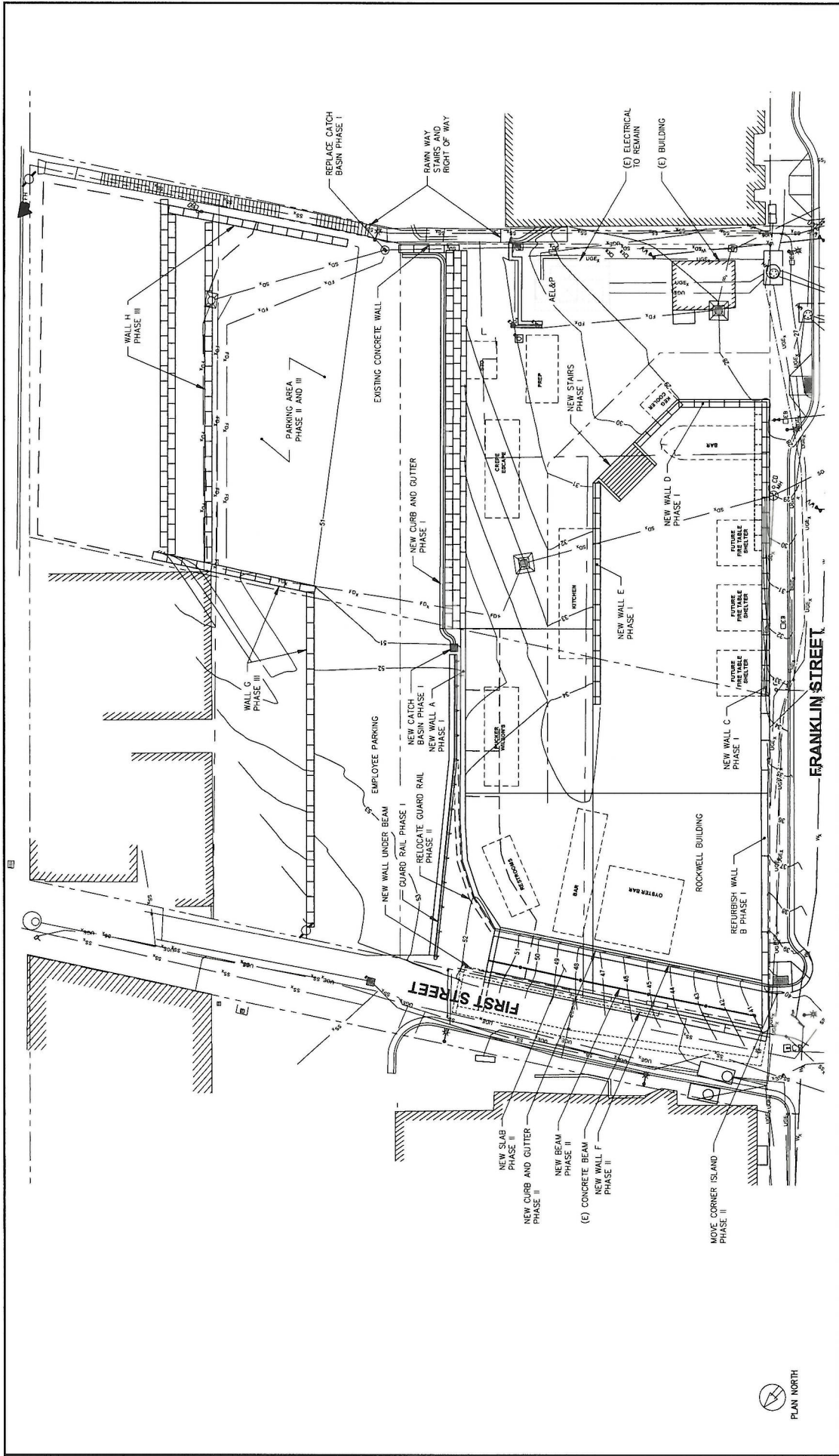
DESIGN: CMG
 CHECKED: CMG
 APPROVED: CMG



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE
EXISTING CONDITIONS AND DEMOLITION SITE PLAN

NO. PROJECT NO.: 222070 | SCALE NO.: ACC0250
\$100



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: **OVERALL SITE PLAN**
 SHEET NO.: **S101**

PROJ. NO.: 222070
 C.A.M. NO.: AEC2250



9340 Glacier Highway Ste. 100
 Juneau, Alaska 99801
 Phone: 907 586 2093
 Fax: 907 586 2099
 www.pindingers.com

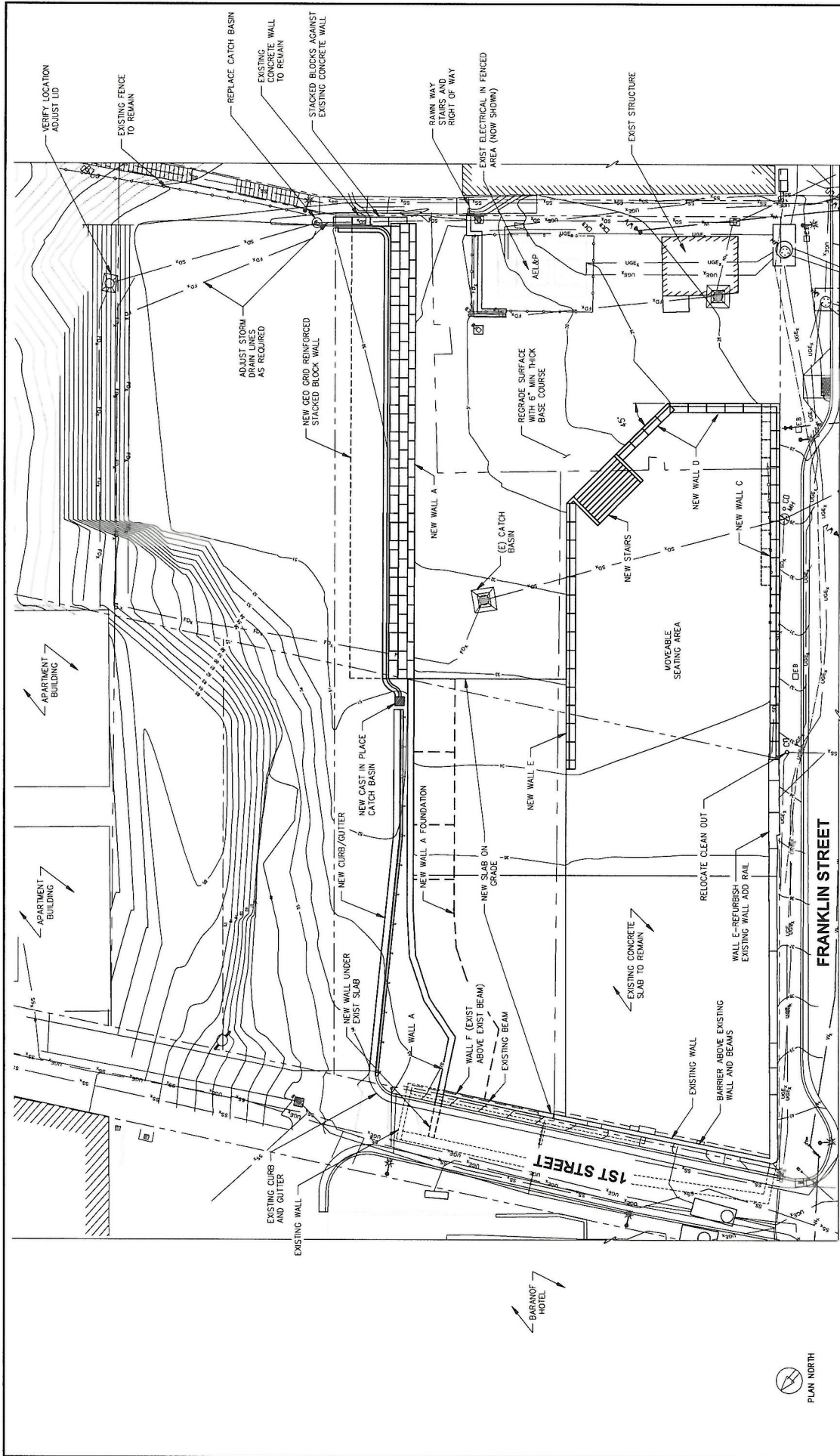
P I N D I N G E R S, I N C.
 ENGINEERS, INC.

DESIGN: CMG
 CHECKED: CMG
 APPROVED: CMG

SCALE IN FEET: 0 12 24

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/05/24	REV 1			

REVISIONS



REV **DATE** **DESCRIPTION** **DWN** **CHK** **APP**

1	1/05/24	REV 1			

REVISIONS

FRANKLIN ENGINEERS, INC.
 19400 Glacier Highway, Ste. 100
 Juneau, Alaska 99901
 Phone: 907.586.2093
 Fax: 907.586.2099
 www.franklinengineers.com

SCALE IN FEET
 0 10 20 FT

PERSON: **CMC** **CMC** **CMC**
 DRAWN: **KLL** **APPROVED: CMC**

OF ALASKA
 PROFESSIONAL ENGINEER
 No. 14209

DATE 12/17/2023
PROJECT NO. 222070
SHEET TITLE SITE PLAN PHASE I
SHEET NO. S102
CLIENT FRANKLIN FOODS LLC IMPROVEMENTS
CAD NO. AEC2250

APARTMENT BUILDING (pointing left)

APARTMENT BUILDING (pointing left)

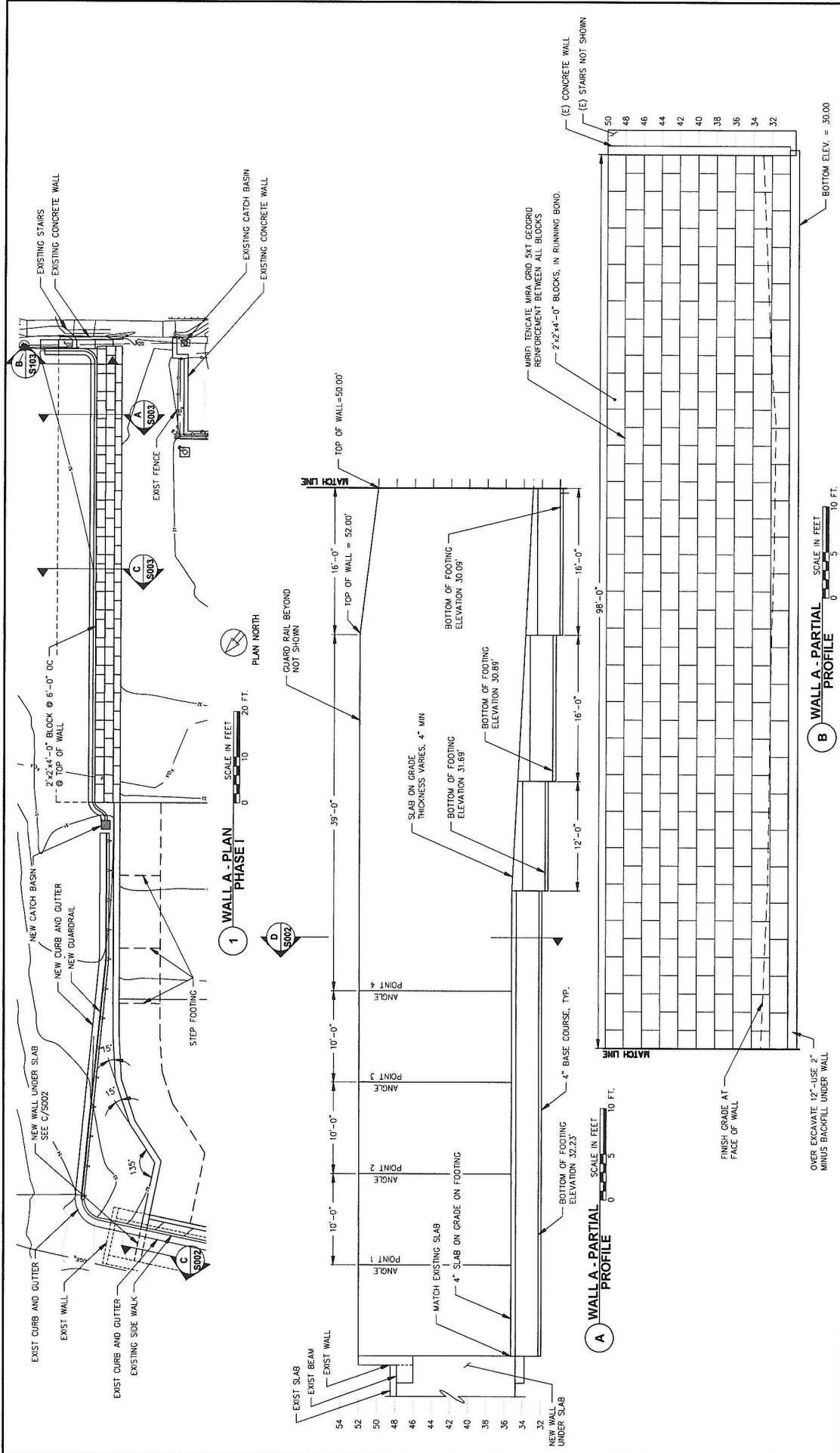
BARANOF HOTEL (pointing down)

FRANKLIN STREET (along bottom edge)

1ST STREET (along bottom edge)

FRANKLIN STREET (along right edge)

PLAN NORTH (with north arrow)



1 WALL A - PLAN PHASE I
SCALE IN FEET: 0 10 20 FT.
PLAN NORTH

A WALL A - PARTIAL PROFILE
SCALE IN FEET: 0 5 10 FT.

B WALL A - PARTIAL PROFILE
SCALE IN FEET: 0 5 10 FT.

OVER EXCAVATE 12" - USE 2" MINUS BACKFILL UNDER WALL

REVISIONS

REV	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/05/24	REV 1			

PERSON: CMG
DESIGN: KLL
CHECKED: CMG
APPROVED: CMG

SCALE: AS SHOWN

**9240 Chert Highway, Ste. 100
Healy, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com**

P N D ENGINEERS, INC.

STATE OF ALASKA
Professional Engineer Seal
No. 14289
Exp. 12/31/2023

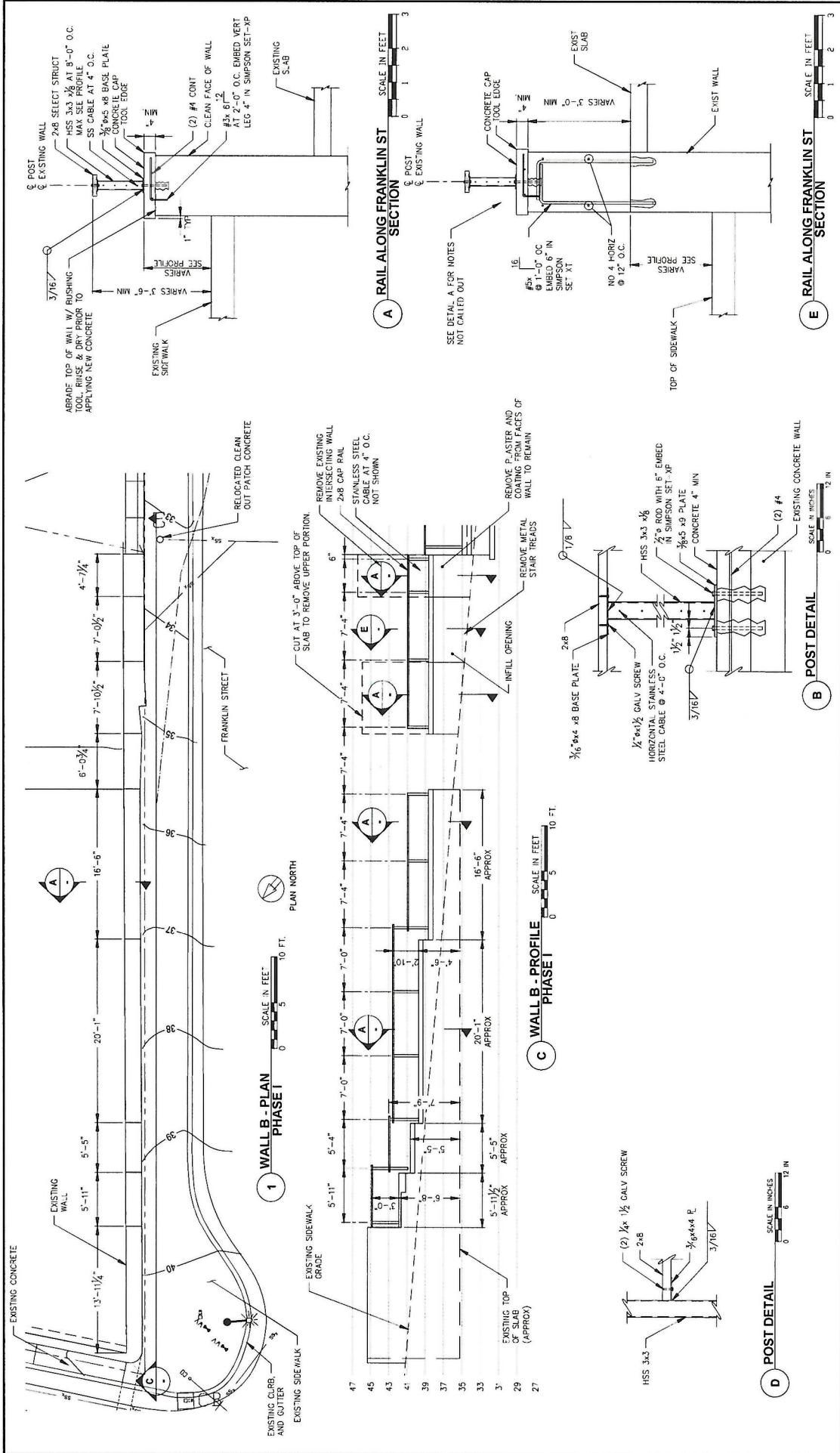
**JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS**

**SHEET TITLE:
WALL A PHASE I**

S103

PND PROJECT NO. 222070

CAN. NO. AEC230



REV. DATE DESCRIPTION

1	1/08/24	REV 1
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REVISIONS

DWN.	CHK.	APP.
------	------	------

ENGINEERS, INC.

19500 Glenn Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907.586.2093
 Fax: 907.586.3099
 www.engineersinc.com

AS SHOWN

SCALE: **1" = 12"**

CHECKED: **DMC**
 APPROVED: **DMG**

FRANKLIN FOODS LLC IMPROVEMENTS

WALL B PHASE I

SHEET TITLE

S104

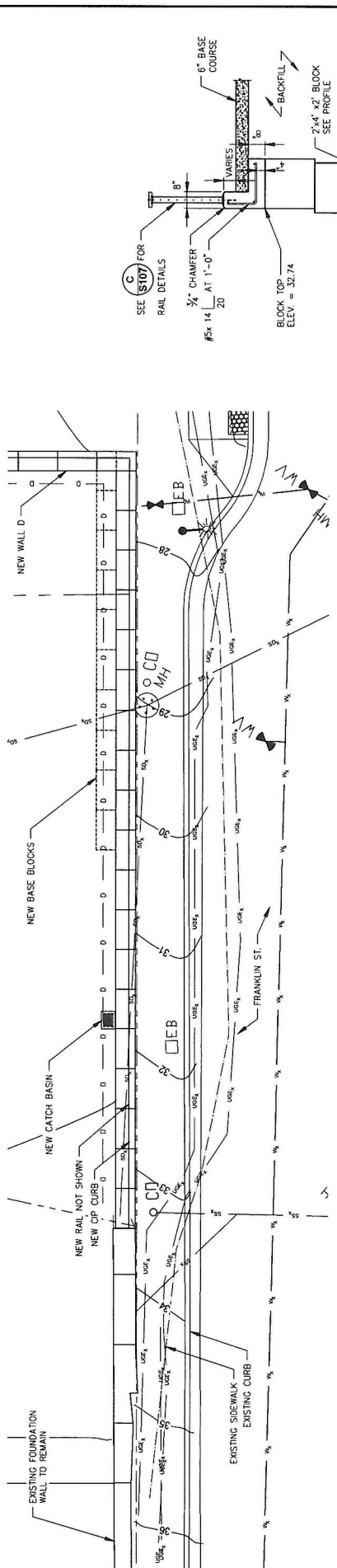
PROJ. NO. 222070 | C.A.N. NO. AEGC250

STATE OF ALASKA

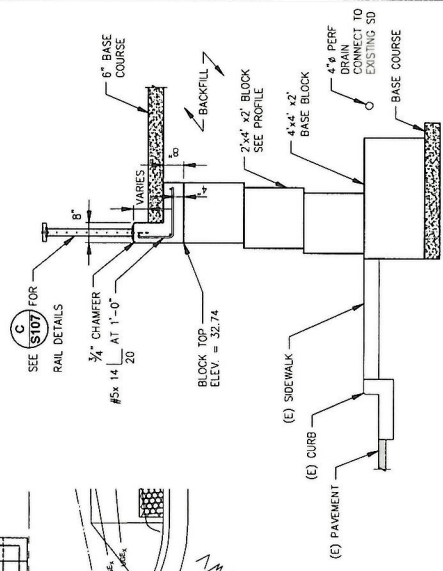
DEPARTMENT OF TRANSPORTATION

DATE: 12/18/2023

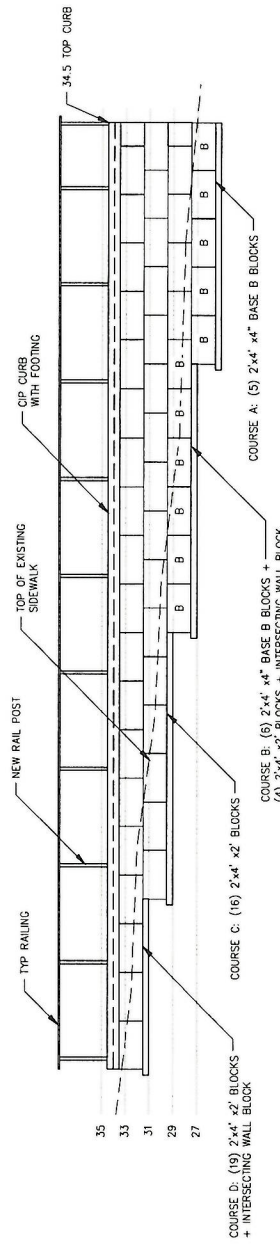
19500 Glenn Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907.586.2093
 Fax: 907.586.3099
 www.engineersinc.com



1 WALL C - PLAN SCALE IN FEET 0 5 10 FT. PLAN NORTH



B WALL C SECTION SCALE IN FEET 0 2 4



A WALL C - PROFILE SCALE IN FEET 0 5 10 FT.

REV.	DATE	DESCRIPTION	DWN	CHKD.	APP.
1	1/09/24	REV 1			



9560 Glacier Highway Ste 100
Juneau, Alaska 99901
Phone: 907-586-2093
Fax: 907-586-2099
www.pnengineers.com

P N D ENGINEERS, INC.

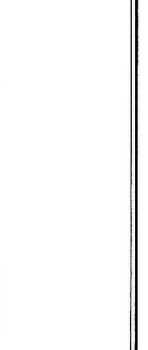
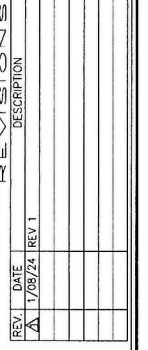
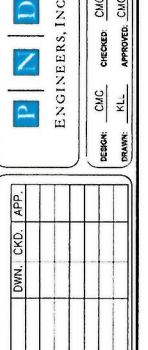
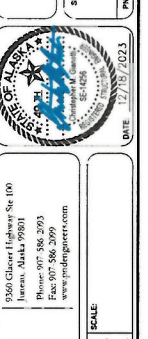
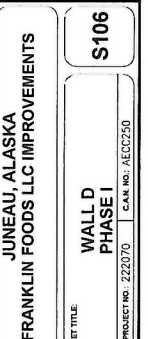
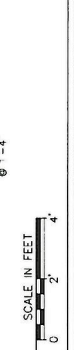
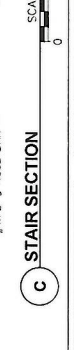
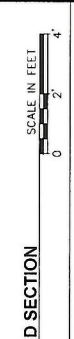
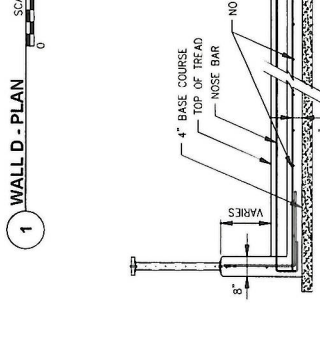
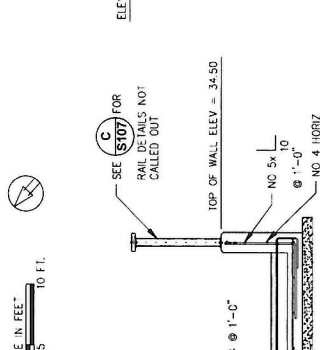
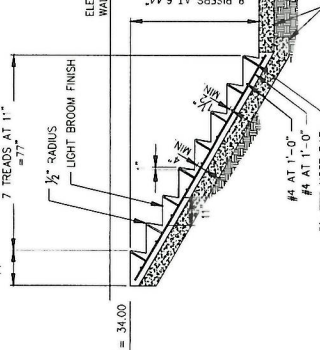
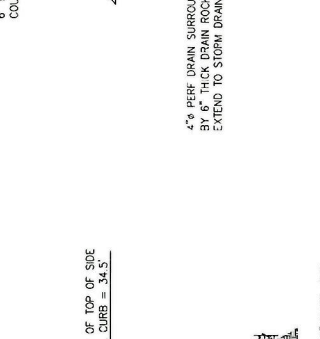
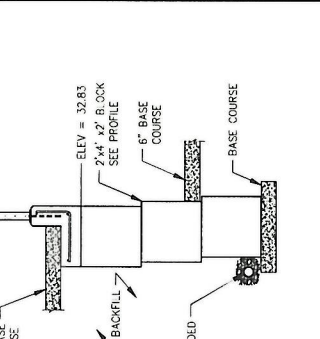
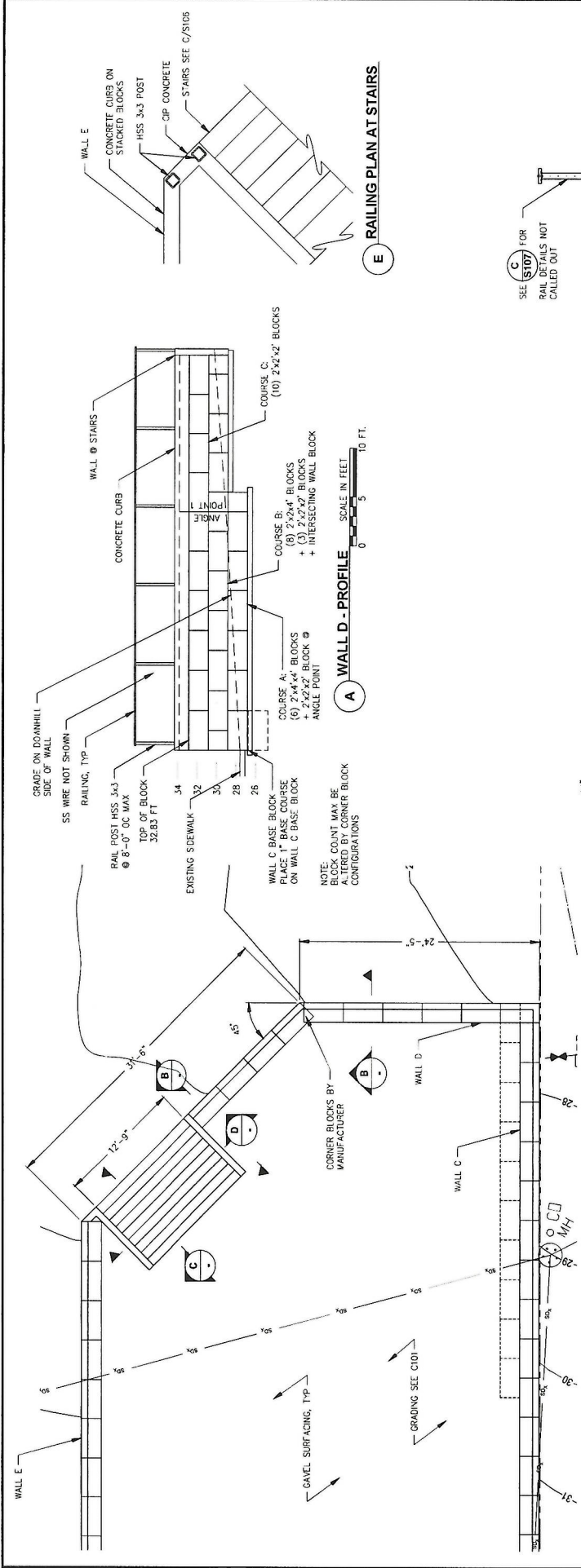
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DRAWN: KLL APPROVED: CMC

JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

WALL C
PHASE I

SHEET TITLE:
PROJECT NO.: 222070 | DRAWING NO.: AEC250

S105



REV.	DATE	DESCRIPTION
A	1/09/24	REV 1

JUNEAU, ALASKA
 FRANKLIN FOODS LLC IMPROVEMENTS
 WALL D
 PHASE I
 SHEET TITLE
 PROJECT NO. 222070
 CAN. NO. AEC0250
 S106

ENGINEERS, INC.
 9360 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pindesigners.com

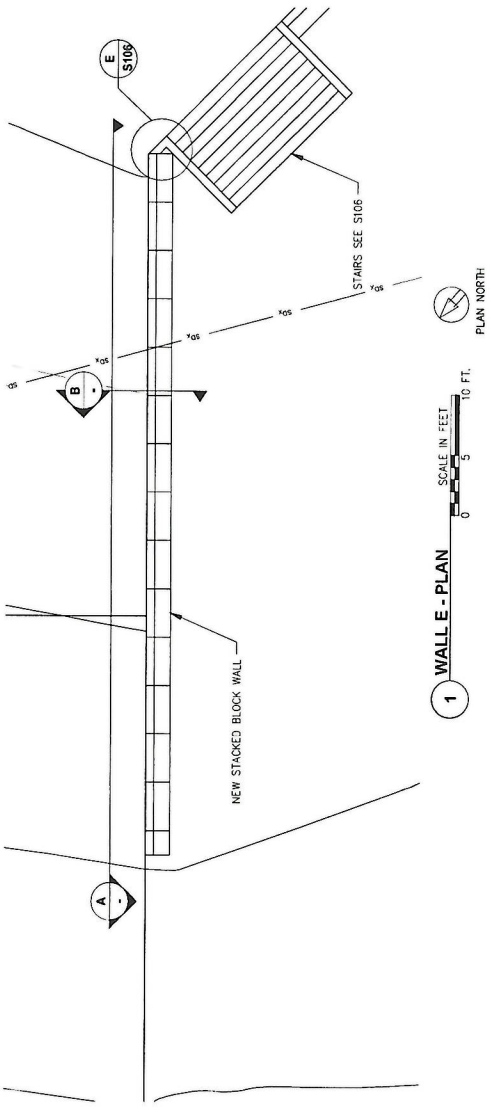
ENGINEERS, INC.
 9360 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pindesigners.com

ENGINEERS, INC.
 9360 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pindesigners.com

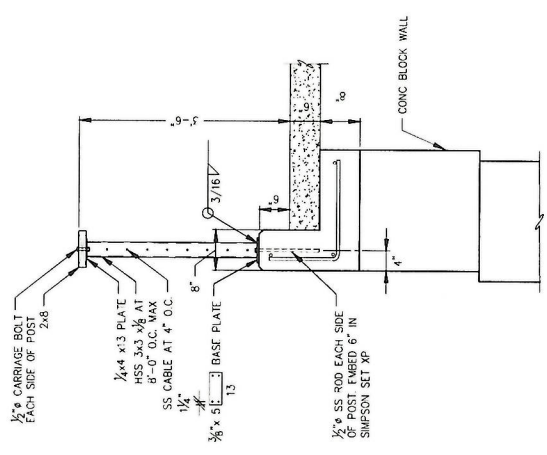
ENGINEERS, INC.
 9360 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pindesigners.com

ENGINEERS, INC.
 9360 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pindesigners.com

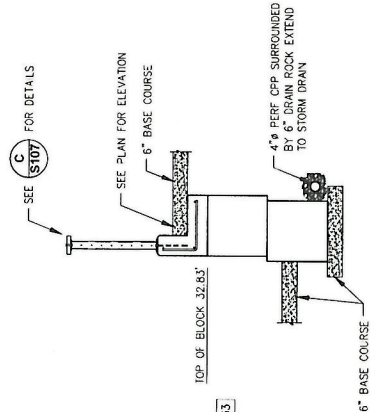
ENGINEERS, INC.
 9360 Glacier Highway Ste 100
 Juneau, Alaska 99901
 Phone: 907-586-2093
 Fax: 907-586-2099
 www.pindesigners.com



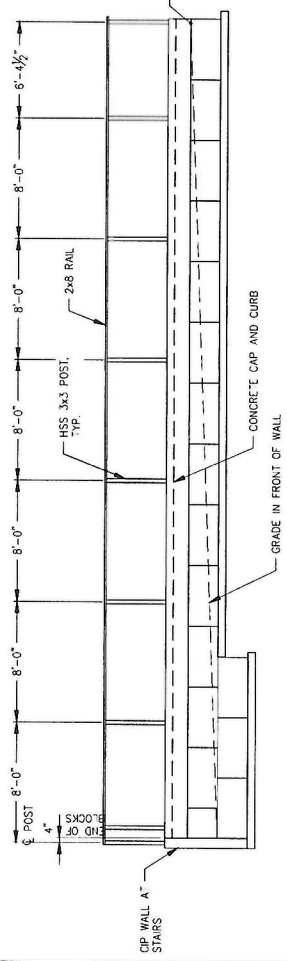
1 WALL E - PLAN SCALE IN FEET 0 5 10 FT. PLAN NORTH



C WALL RAILING TYPICAL SECTION SCALE IN INCHES 0 12 24



B WALL E - SECTION SCALE IN FEET 0 2 4



A WALL E - ELEVATION SCALE IN FEET 0 4 8 FT.

JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS



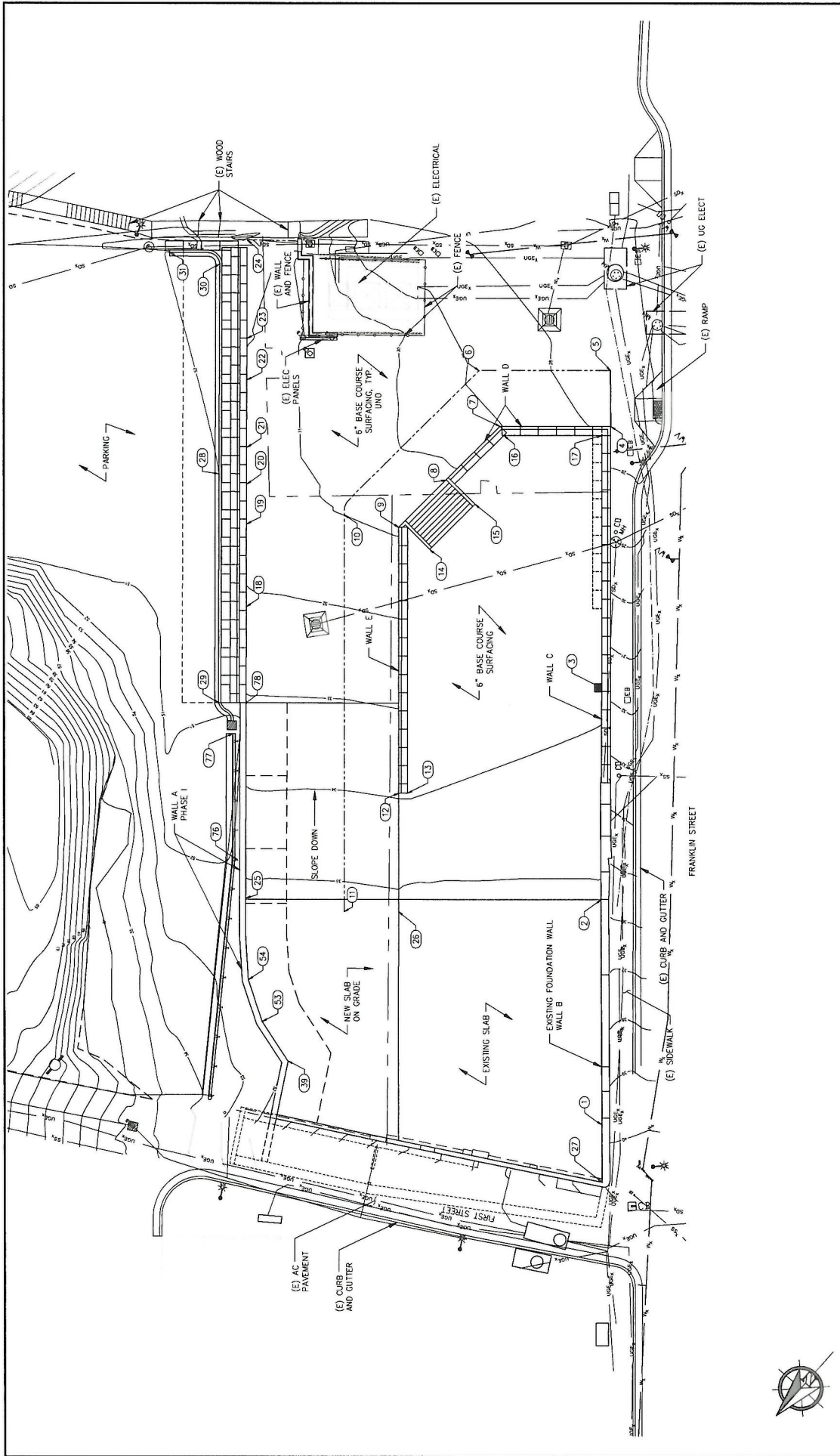
2460 Glenn Highway Ste 100
Juneau, Alaska 99801
Phone 907.586.2093
Fax 907.586.2099
www.palng.com

P N D
ENGINEERS, INC.

DESIGN: CMG CHECKED: CMG SCALE:
DRAWN: KLL APPROVED: CMG

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
A	1/09/24	REV 1			

SHEET TITLE: **WALL E PHASE I**
SHEET NO.: **S107**
PROJ. NO.: 222070
CAN. NO.: ASCC250



JUNEAU, ALASKA
 FRANKLIN FOODS LLC IMPROVEMENTS
 SHEET TITLE
**SITE AND PHASE I
 GRADING PLAN**
 PND PROJECT NO. 222070 | C.A.N. NO. - AEC250



3500 Glenn Highway Ste. 100
 Juneau, Alaska 99801
 Phone: 907.586.2093
 Fax: 907.586.2099
 www.pnengineers.com

P | N | D
ENGINEERS, INC.

DESIGN: CMC
 CHECKED: CMC
 APPROVED: CMC
 DRAWN: KLL

SCALE IN FEET
 0 10 20 FT

DATE: 12/18/2023

REV.	DATE	DESCRIPTION	DWN	CHK.	APP.
1	1/08/24	REV 1			

REVISIONS

POINT TABLE					POINT TABLE				
POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION	POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION
1	4543.1766	6013.3769	35.23	GRADE AT WALL	21	4483.4303	6169.9917	31.45	GRADE AT WALL
2	4506.2200	6045.9873	35.23	ME. SLAB EDGE	22	4472.1462	6179.8565	31.50	GRADE AT WALL
3	4471.2269	6076.6659	33.91	CB	23	4465.2063	6185.9234	32.13	GRADE AT WALL
4	4426.9281	6112.7934	27.58	GRADE AT WALL	24	4448.9214	6200.1599	33.00	GRADE AT WALL
5	4417.6864	6121.0084	27.34	MATCH EXISTING	25	4557.7025	6105.0618	35.23	GRADE AT WALL
6	4436.8007	6142.7785	28.79	CB	26	4537.5903	6077.7851	35.23	CB
7	4443.0569	6131.1599	28.03	GRADE AT WALL	27	4552.5955	6005.0643	41.46	GRADE AT WALL
8	4459.7516	6132.2443	30.27	GRADE AT WALL	28	4491.7925	6170.6991	50.00	CB
9	4474.4714	6133.2003	30.89	GRADE AT WALL	29	4529.4088	6137.8144	49.98	CB
10	4480.7931	6144.0578	30.99	CB	30	4458.8517	6201.2512	49.98	CB
11	4545.5068	6086.7997	35.23	CB	31	4462.1955	6211.1344	49.98	CB
12	4516.8558	6094.9329	33.94	GRADE AT WALL	39	4576.3557	6074.6888	35.23	GRADE AT WALL
13	4516.7323	6093.4267	34.00	GRADE AT WALL	53	4575.6302	6084.5373	35.23	GRADE AT WALL
14	4473.5995	6124.8053	34.00	TOP OF STAIRS	54	4570.7613	6092.8636	35.23	GRADE AT WALL
15	4459.5608	6123.9226	34.00	TOP OF STAIRS	76	4552.5777	6112.0217	52.00	GRADE AT GUARD RAIL
16	4444.0133	6120.2175	34.00	GRADE AT WALL	77	4532.3757	6130.9558	51.92	GRADE AT GUARD RAIL
17	4429.8024	6113.0321	34.00	GRADE AT WALL	78	4525.4353	6133.2703	33.09	GRADE AT WALL
18	4508.7198	6147.0090	32.20	GRADE AT WALL					
19	4486.1327	6158.8870	31.43	GRADE AT WALL					
20	4489.5321	6164.6574	31.45	GRADE AT WALL					

REV	DATE	DESCRIPTION	DWN	CHKD	APP.
1	1/06/24				

REVIEWS

9360 Chevre Highway Ste. 100
Juneau, Alaska 99801
Phone: 907-586-2793
Fax: 907-586-2899
www.pnengineering.com

P N D
ENGINEERS, INC.

PERSON: CMC CHECKER: CMC SCALE:
DRAWN: KLL APPROVED: CMC

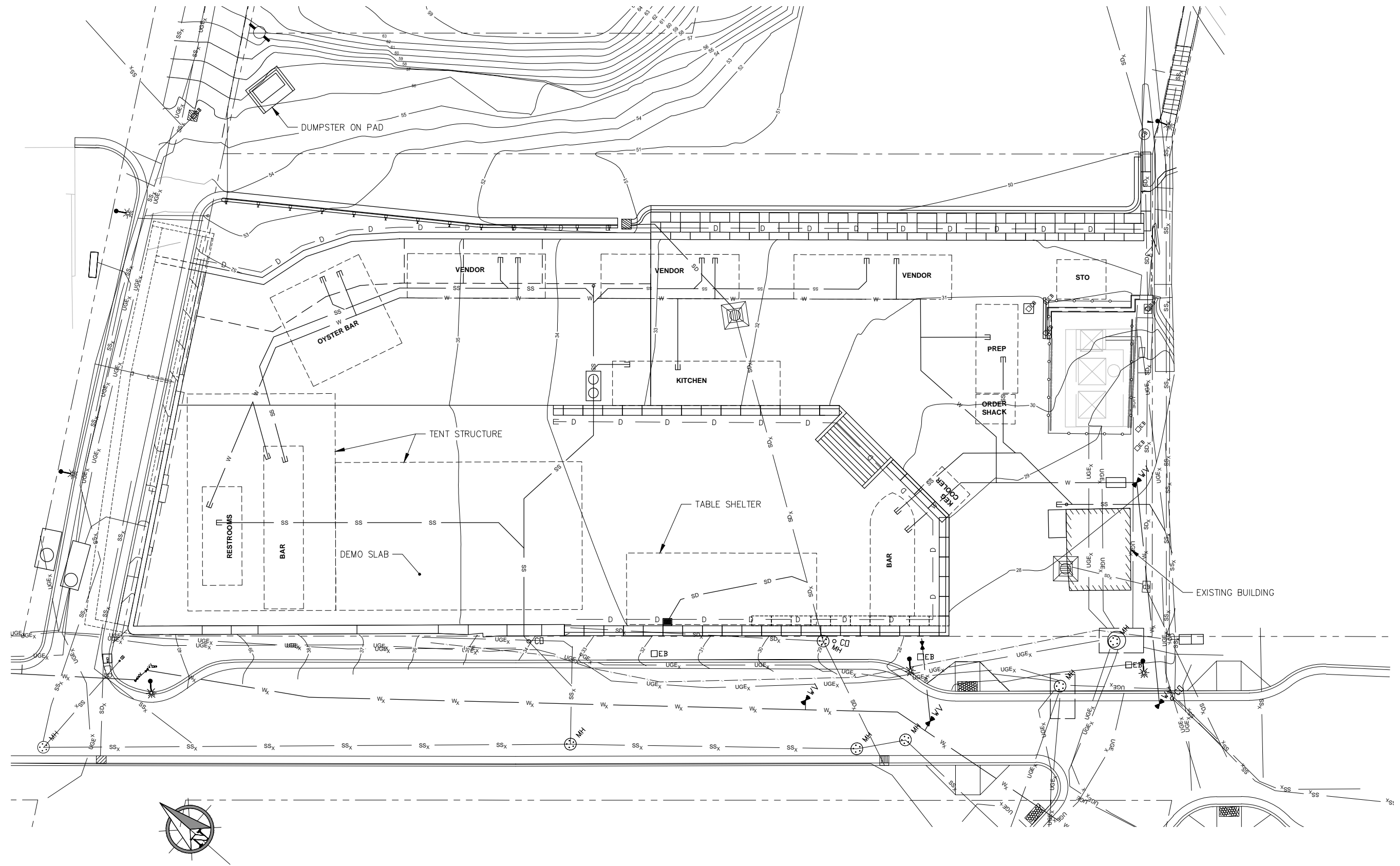
SHEET TITLE: **LAYOUT TABLE**
PROJECT NO: 222070 | C.A.N. NO.: AEC0250

STATE OF ALASKA
Department of Transportation
SEAL

DATE: 12/19/2023

JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

C202



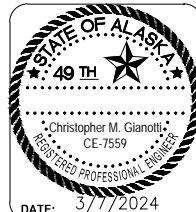
REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.
▲	1/08/24	REV 1			
▲	2/12/24	REV 2			
▲	2/28/24	REV 3			
▲	3/7/24	REV 4			

P | N | D
ENGINEERS, INC.

9360 Glacier Highway Ste 100
Juneau, Alaska 99801
Phone: 907-586-2093
Fax: 907-586-2099
www.pndengineers.com

DESIGN: CMG CHECKED: CMG
DRAWN: KLL APPROVED: CMG

SCALE: SCALE IN FEET
0 10 20 FT.



JUNEAU, ALASKA
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE:
SITE PLAN

PND PROJECT NO.: 222070 C.A.N. NO.: AECC250

S102

DATE: 3/7/2024



Salace
THEATRE

MR. WILKS & LITTLE - EVERYTHING

Front Street, ...

...

...



Salace
THE STORE

FRANK'S A LITTLE EVERYTHING

Front Street, ...

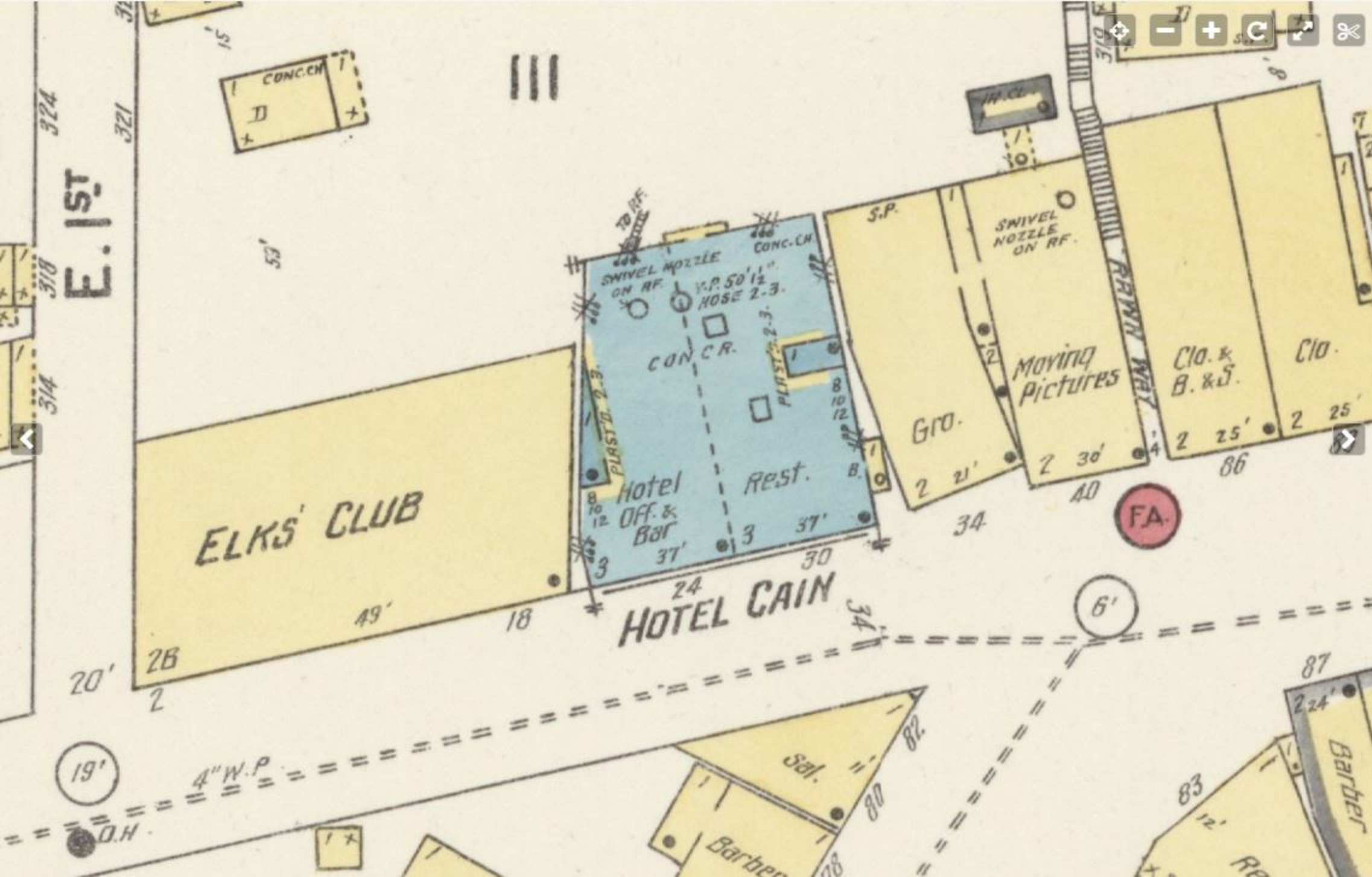
...

...

Elks Hall and Gastineau Hotel, Franklin St., Juneau, Alaska.









- ← Sealaska Heritage
- ← State Capitol
- ← Juneau-Douglas City Museum
- ← Governor's Mansion
- ← Cope Park

DANGER
KEEP OUT

NOTICE
HARD HATS
REQUIRED
IN THIS AREA

NOTICE 590715
DECKHAND DAVE'S
CASE: USE 2024 0003
CONDITIONAL USE PERMIT
FOR EXPANSION OF EXISTING
FOOD COURT.
HEARING DATE: 4/09/2024





Historic Resources Advisory Committee

(907) 586-0715
HRAC@juneau.org
www.juneau.org/history/advcomm.php
155 S. Seward Street • Juneau, AK 99801

August 30, 2021

Dave McCasland, Franklin Food Court
James Bibb, Northwind Architects
126 Seward Street
Juneau, AK 99801

Re: Franklin Food Court

Dear Mr. McCasland,

The members of Juneau's Historic Resources Advisory Committee (HRAC) would like to thank you for bringing your upgrade ideas for the Franklin Food Court to our meeting on June 16, 2021.

The Franklin Food Court has been a delicious addition to the Downtown Historic District attracting hungry locals and tourists since 2019. In 2018 you brought the food court idea to the Committee and headed many of the recommendations. Since then other businesses have added to the food court area bringing more and more people into Juneau's Downtown Historic District.

The upgrade ideas that were discussed in June 2021 include a permanent two-story eating area with room for an outdoor performance space and restrooms. The drawings that were presented as concepts and the final design of the project will be determined in the near future. HRAC was assured that any future design plans for this project will be brought to the committee for review. HRAC reviewed the concepts and looks forward to seeing further development and ways to maintain our historic district with this exciting new project.

Thank you for allowing HRAC the opportunity to provide our support. Should you have any questions please do not hesitate to reach out.

Sincerely,

Zane Jones, Chair of HRAC

City and Borough of Juneau
Historic Resources Advisory Committee
Regular Meeting – June 16, 2021
Zoom Webinar Meeting
Draft Minutes

Members:

Zane Jones (Chair)	P Don Harris (Vice Chair)	P Shauna McMahon (Recorder)
P Sarah Hieb	P Gary Gillette	P Dorene Lorenz
Olivia Lihou	P Chuck Smythe	P Shannon Crossley

Staff:

P Allison Eddins (CDD)	Beth McKibben (CDD)	Niko Sanguinetti (JDCM)
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- I. Call to Order
 - Mr. Harris called the meeting to order at 5:06 pm.
 - II. Approval of Agenda
 - Agenda was amended to move the review of the food court master plan ahead of the review of the 2020 Annual Report.
 - Agenda was approved with this amendment.
 - III. Approval of Minutes
 - Unanimous approval of May minutes.
 - IV. Public Comment
 - No public comment.
 - V. Outdoor Food Court Master Plan
 - Shannon Crossley recused herself from the discussion since the architectural firm that she works for, Northwind, is representing the applicant.
 - The Committee accepted Ms. Crossley's recusal.
 - The applicant, Dave McCasland, and architect James Bibb presented the concept for a permanent two-story cover seating area with room for an outdoor performance space.
 - In general the Committee agreed that the design drawings needed some revisions in order to comply with the Downtown Historic District Design Standards and Guidelines but they approved of the concept.
 - The Committee agreed to write a letter of support for the project concept.
 - VI. Review of the 2020 Annual Report
 - Ms. Crossley rejoined the discussion.
 - Staff presented the report to the Committee.
 - The report was approved with amendments to the membership description for Ms. Hieb, Ms. Lihou and Ms. Lorenz.
 - VII. Committee Comments
 - No additional committee comments.
- Meeting adjourned at 6:25 pm

DRAFT