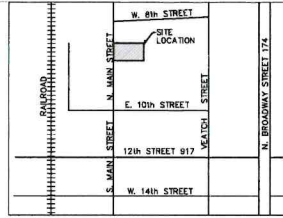


SITE DATA	PROVIDED	PERCENTAGE
TOTAL LOT GROSS SITE AREA	11,247 SQ. FT.	100%
TOTAL BUILDING AREA	5,900 SQ. FT.	51%
TOTAL IMPERVIOUS AREA (WALK WAY)	400 SQ. FT.	4%
TOTAL OPEN SPACE (LANDSCAPED AREA)	5,247 SQ. FT.	45%

**PLANTS SCHEDULE**

QU. LETTER	COMMON AND BOTANICALS NAME	SPACING	CAULIPER PLANTED TO	MIN. HEIGHT	REMARKS
4	A CREPE MYRTLE ( Lagerstroemia Indica)	3'	75"	6'-0"	DECIDUOUS
	B DELETED				
29	C DWARF YAUPOH HOLLY (Ilex vomitoria nana) 1-Gal. Container	36"	2"	32"	EVERGREEN
28	D DWARF NANDINA (Nandina domestica nana compacta) 1-Gal. Container	30"	3"	2'-0"	EVERGREEN
20	E WOOD FERN 1-Gal. Container	18" to 24"	1 1/2"	2'-0"	PERENNIAL

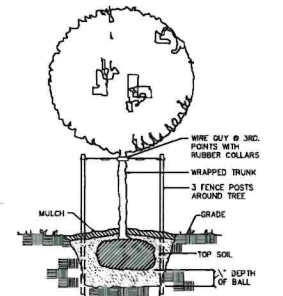
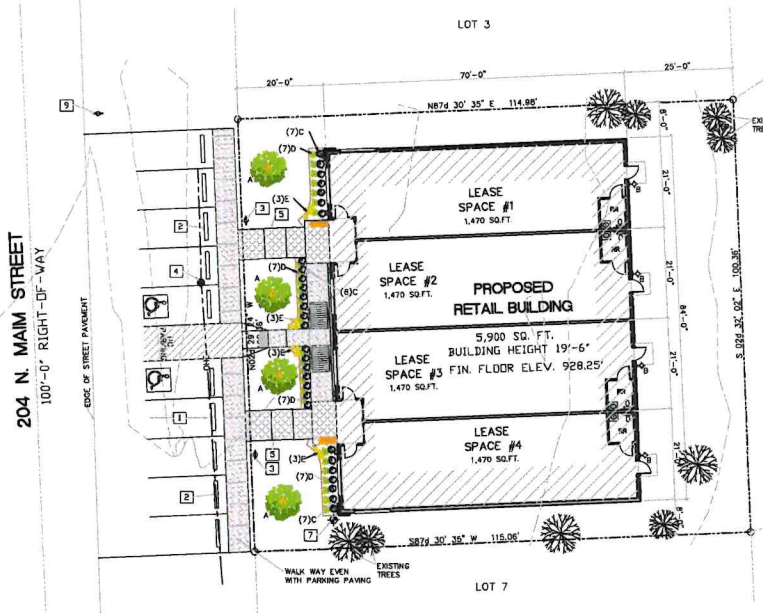


**VICINITY MAP**  
NOT TO SCALE

DATE	
SUBMITTED	MARCH 20, 2024

CONSTRUCTION NOTES	
1	5" THICK CONCRETE PAVING WITH #3 SPACED 18" ON CENTER EACH WAY ON 2" THICK CUSHION SAND RECOMPACTED 6" EXISTING SOIL.
2	CONCRETE WHEEL STOP WITH #3 ANCHOR ROD AT EACH END.
3	HANDICAPPED PARKING SIGN MOUNTED 60" ABOVE GRADE.
4	EXISTING UTILITY POWER POLE.
5	4" THICK CONCRETE WALK WITH #3 SPACED 18" ON CENTER EACH WAY ON 2" THICK CUSHION SAND ON RECOMPACTED EXISTING SOIL. SURFACE SHALL BE STAMP PATTERN RESEMBLE TO BRICK PAVERS.
6	RELOCATE EXISTING GAS METER AND VERIFY (GAS METER SIZE).
7	NEW LOCATION OF GAS METER.
8	VERIFY LOCATION OF UNDERGROUND GAS LINE.
9	RELOCATE SPEED LIMIT SIGN TO THIS LOCATION.

REVISIONS	
DATE	DESCRIPTION
3/28/24	REVISED PER COMMENTS DATED 3/21/2024
4/9/24	REVISED PER COMMENTS DATED 4/15/2024 MOVE PARKING LOT / WALK



**LANDSCAPE PLANTING NOTES:**

GENERAL CONTRACTOR SHALL LOCATE EXISTING AND PROPOSED UTILITIES PRIOR TO DIGGING OR TILING. REFER TO GRADING PLAN, SITE PLAN, UTILITY PLAN AND IRRIGATION PLAN FOR ADDITIONAL.

PREPARED BY:	
JOHN TAYLOR & ASSOCIATES	6800 BRENTWOOD STAIR RD. STE. 201
	FORT WORTH, TEXAS 76112
	(817) 446-1364 OFFICE
	(817) 446-1307 FAX
	E-MAIL: taylor7677@sbccglobal.net

OWNER:	
RUMFIELD PROPERTIES	ROBBIE RUMFIELD, OWNER
	517 NORTH MAIN STREET
	JOSHUA, TEXAS 76058
	(817) 475-1000 OFFICE
	(817) 475-9920 CELL
	E-MAIL: robbie.rumfield@cloud.com

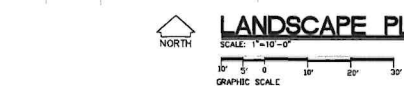
ZONING:	
PROPERTY ZONED	C1 HERITAGE PRESERVATION OVERLAY DISTRICT

PARKING:	
REQUIRED PARKING	9
PARKING PROVIDED	10
1 SPACE / 200 PER SQ. FT.	

LEGAL:	
LOT-3 AND 4	BLOCK-10
ORIGINAL TOWN JOSHUA	126.5534.98889.01170
CITY OF JOSHUA, JOHNSON COUNTY, TEXAS	

PROPOSED RETAIL BUILDING BY **RUMFIELD PROPERTIES**  
517 NORTH MAIN STREET  
JOSHUA, TEXAS

JOB NO.	DATE
2024-03-20	2024-03-20
2024-04-09	2024-04-09



**LANDSCAPE PLAN**

NOTICE: PARKING SHOWN ON THIS SITE PLAN DOES NOT REFLECT THE PARKING REQUIREMENT FOR THE PROJECT.

SHEET NO. **L1.0**  
OF 1