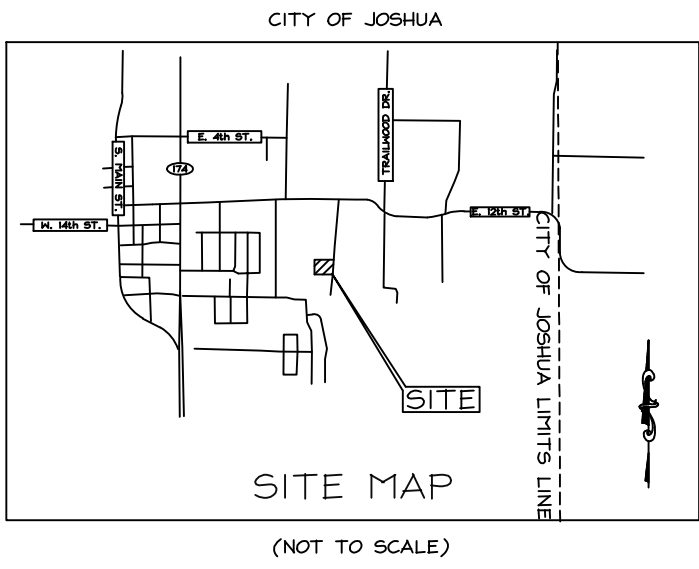
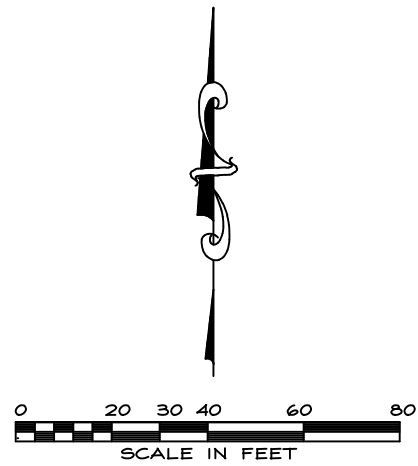


LEGEND OF ABBREVIATIONS AND SYMBOLS			
B.C. B.L. D.E. D/W E.T. F.P. I.P.F. I.R.F. I.R.S. I.L.E.	= Brick Column = Building Line = Drainage Easement = Driveway = Electric Transformer = Fence Post = Iron Pipe Found = Iron Rod Found = Iron Rod Set = Maintenance Easement	P.A.E. P.O.S.E. R.O.W. R.W. S.E. U.E. X.T.R.W. O.H.E.	= Public Access Easement = Public Open Space Easement = Right of Way = Retaining Wall = Sight Easement = Utility Easement = Railroad Tie Retaining Wall = Overhead Electric
	////= Wood Fence -o- = Chain Link Fence -□- = Iron Fence -X- = Wire Fence () = Record Data ⊠ = Bearing Bases ⊞ = Covered porch, Entrance or Deck		
			Concrete Gravel Wood Deck, Porch Brick Stone or Rock

Scale: 1"=40'



1.1 HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF LYRA MEADOWS ADDITION TO THE CITY OF JOSHUA, TEXAS, WAS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF JOSHUA ON THE _____ DAY OF _____

2025.

THIS APPROVED PLAT SHALL REMAIN VALID FOR A PERIOD OF TWO (2) YEARS FROM APPROVAL BY THE PLANNING AND ZONING COMMISSION DURING WHICH TIME IT SHALL BE RECORDED IN THE OFFICE OF THE COUNTY CLERK OF JOHNSON, COUNTY, TEXAS. FAILURE TO RECORD THIS PLAT WITHIN TWO (2) YEARS FROM SAID DATE OF FINAL APPROVAL SHALL RENDER THE PLAT INVALID. THIS PLAT SHALL BE SUBJECT TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF JOSHUA.

WITNESS OUR HAND, THIS _____ DAY OF _____ 2025.

CITY SECRETARY, CITY OF JOSHUA

BETTY L. WINKLEMAN
INST. NO. 2024-33039
D.R.J.C.T.

BRENDA CHITTM
INST. NO. 2023-30819
D.R.J.C.T.

WILLIAM E. VANDEVENDER
VOL. 3117, PG. 372
D.R.J.C.T.

C.R. 800A
(PROPOSED 50' R.O.W.)

TRUSTEE WIMM REVOCABLE LIVING TRUST
BARBARA J WIMM
INST. NO. 16649
D.R.J.C.T.

MELINDA WOLFF
INST. NO. 11629
D.R.J.C.T.

ESTATES OF CHRISTINE M. FULLER
INST. NO. 2024-20680
D.R.J.C.T.

POINT OF BEGINNING

PLAT RECORDED IN INSTRUMENT # _____, YEAR _____

DRAWER _____, SLIDE _____

DATE _____

COUNTY CLERK, JOHNSON COUNTY, TEXAS

DEPUTY _____

SURVEYOR:
FULLER LAND SURVEYING
2411 GARDEN PARK CT
ARLINGTON, TEXAS 76013
ORDERS@FLDSURVEY.COM

OWNER:
CINDY PUTMAN
513 FOREST EDGE STREET
BURLESON TEXAS 76028
817-805-3167

STATE OF TEXAS
COUNTY OF JOHNSON

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the LYRA MEADOWS addition to the City of Joshua, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all rights-of-way, streets, alleys, parks, water courses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the LYRA MEADOWS addition have been notified and signed this plat.

I (we) further acknowledge that the dedications and / or exactions made herein are proportional to the impact of the subdivision upon the public services required.

Owner for LYRA MEADOWS

CASE NO. FP25-04

STATE OF TEXAS
COUNTY OF JOHNSON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CINDY PUTMAN OF WJP & CGP INVESTMENTS, LLC, A CORPORATION KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF _____, 2025

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

NOTES:

1. ANY PUBLIC UTILITY, INCLUDING THE CITY OF JOSHUA SHALL HAVE THE RIGHT TO MOVE AND KEEP MOVED ALL OR PART OF ANY BUILDING, FENCES, TRESS, SHURBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON ANY OF THE EASEMENTS SHOWN ON THE PLAT. ANY FRANCHISED PUBLIC UTILITY INCLUDING THE CITY OF JOSHUA, SHALL HAVE HE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SUCH EASEMENTS FOR THE PURPOSES OF CONSTRUCTING, RECONSTRUCTING, INSPECTION, PATROL, MAINTAINING AND ADDING TO OR REMOVING ALL OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

2. THIS REPLAT DOES NOT VACATE THE PREVIOUS "PLAT OF RECORD" GOVERNING THE REMAINDER OF THE SUBDIVISION, NOR DOES IT AMEND OR REMOVE ANY DEED COVENANTS OR RESTRICTIONS.

3.ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL NO. 48251C0160 J, DATED DECEMBER 04, 2012, THIS TRACT IS IN ZONE X, WHICH IS NOT IN THE 1% ANNUAL CHANCE FLOOD.

4. THE PURPOSE OF THIS PLAT IS TO CREATE 1 LOT AND 1 BLOCK.

5. ALL BUILDING LINES ARE TO BE OBTAINED FROM THE CITY OF JOSHUA.

6. SELLING A PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY SERVICES AND BUILDING PERMITS.

7. NO CONSTRUCTION OR FILLING SHALL BE ALLOWED WITHIN A DRAINAGE EASEMENT OR A FLOODPLAIN EASEMENT WITHOUT THE WRITTEN APPROVAL OF THE CITY OF JOSHUA, AND THEN ONLY AFTER DETAILED ENGINEERING PLANS AND STUDIES SHOW THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT; AND SUBJECT TO ALL OWNERS OF THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF ONE FOOT (1') ABOVE THE 100-YEAR FLOOD ELEVATION.

8. WAIVER OF CLAIM FOR THE CITY OF JOSHUA FOR DAMAGES AGAINST THE CITY OCCASIONED BY THE ESTABLISHMENT OF GRADES OR THE ALTERATION OF THE SURFACE OF ANY PORTION OF EXISTING STREETS AND ALLEYS TO CONFORM TO THE GRADES ESTABLISHED IN THE SUBDIVISION.

9. NOTES:

THIS LOT IS SUBJECT TO THE FOLLOWING EASEMENTS/AGREEMENTS:
CF# 19599085309, CF# 19649079515, CF# 197209211493, CF# 20170019804, CF# 20190026376
CF# 2019-26376, CF# 2017-19804, O.P.R.J.C.T.

THERE ARE NO LIENS AGAINST THE PROPERTY.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT CINDY PUTMAN BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, ACTING AS THE DULY AUTHORIZED AGENT FOR WJP & CGP INVESTMENTS, LLC, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS LOT 3R BLOCK 4 LYRA MEADOWS, AN ADDITION TO THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS AND I DO HEREBY DEDICATE TO RIGHTS OF WAY AND EASEMENTS SHOWN HEREON TO THE PUBLICS USE UNLESS OTHERWISE NOTED.

WITNESS MY HAND THIS THE _____ DAY OF _____ 2025

CINDY PUTMAN

OWNERS CERTIFICATE

STATE OF TEXAS –
COUNTY OF JOHNSON –

WHEREAS, WJP & CGO INVESTMENTS, LLC; ACTING BY AND THROUGH THE UNDER SIGNED, ITS DULY AUTHORIZED AGENT, IS THE OWNERS OF A TRACT OF LAND SITUATED IN THE J.H. COOPER SURVEY, ABSTRACT NO. 145, JOHNSON COUNTY, TEXAS AND INCLUDING LOTS 3 AND 4 EASTHILL SUBDIVISION AS RECORDED VOLUME 426, PG. 643, DEED RECORDS OF JOHNSON COUNTY, TEXAS AND A PORTION OF JOSHUA BOULEVARD CLOSED BY INSTRUMENT RECORDED IN VOLUME 470, PG. 643, DEED RECORDS OF JOHNSON COUNTY, TEXAS, ALSO BEING A TRACT OF LAND CONVEYED TO WJP & CGP INVESTMENTS LLC, RECORDED IN INST. NO. 2024-22473, DEED RECORDS OF JOHNSON COUNTY, TEXAS, (DRJCT), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8 IRON ROD FOUND FOR THE SOUTHWEST CORNER OF HEREIN TRACT OF LAND AND THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ESTATES OF CHRISTINE M. FULLER, RECORDED IN INST. NO. 2024-20680, DRJCT, SAID IRON ROD ALSO BEING IN THE NORTH LINE OF A TRACT OF LAND CONVEYED TO TEODORO & BLANCA ESTEL DE QUIRINO, RECORDED IN INST. NO. 2025-3072, DRJCT;

THENCE N 11°38'11" W (BEARING BASIS), 223.14 FEET WITH THE EAST LINE OF SAID FULLER TRACT TO A 1/2 INCH IRON PIPE FOUND FOR THE NORTHWEST CORNER OF HEREIN TRACT AND THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO BETTY L. WINKLEMAN, RECORDED IN INST. NO. 2024-33039, DRJCT;

THENCE N 89°26'03" E, 459.56 FEET WITH SAID SOUTH LINE OF WINKLEMAN TRACT TO A PK NAIL SET FOR THE NORTHEAST CORNER OF HEREIN TRACT AND THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO BRENDA CHITTM, RECORDED IN INST. NO. 2023-30819, DRJCT, ALSO BEING IN C.R. 800A (VARIABLE WIDTH ROW);

THENCE S 04°00'00" W, 233.46 FEET WITH SAID CR 800A TO A PK NAIL SET FOR THE SOUTHEAST CORNER OF HEREIN TRACT AND THE NORTHEAST CORNER OF SAID QUIRINO TRACT;

THENCE WEST, AT A DISTANCE OF 46.22 FEET PASSING A 1/2 INCH IRON ROD FOUND FOR REFERENCE AND CONTINUING IN ALL A TOTAL DISTANCE OF 396.23 FEET (DEED- 395.55 FEET) TO THE POINT OF BEGINNING AND CONTAINING 2.266 ACRES (98,712 SQUARE FEET) OF LAND.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I, ROBERT L. POUND, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PREPARED THIS PLAT OF THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND; AND THAT ALL MONUMENTS FOR LOT CORNERS, ANGLE POINT, AN POINTS OF CURVATURE SHOWN THEREON AS "SET" WERE PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF JOSHUA.

ROBERT L. POUND
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 1976
TBPELS FIRM REG. NO. 10091800
DATED 04/26/25

FINAL PLAT SHOWING
LOT 3R, BLOCK 4
LYRA MEADOWS

AN ADDITION TO THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS AND BEING SITUATED IN THE J.H. COOPER SURVEY, ABSTRACT NO. 145, JOHNSON COUNTY, TEXAS & BEING A REPLAT OF LOTS 3 AND 4, BLOCK 4, EASTHILL SUBDIVISION AS RECORDED IN VOL. 426, PG. 643 AND A PORTION OF JOSHUA ROAD ABANDONMENT AS RECORDED IN VOL. 470, PG. 643, JOHNSON COUNTY TEXAS AND CONTAINING 2.266 ACRES/98,712 SQ. FT OF LAND
1 RESIDENTIAL LOT
DATE OF PREPARATION - 4/26/25