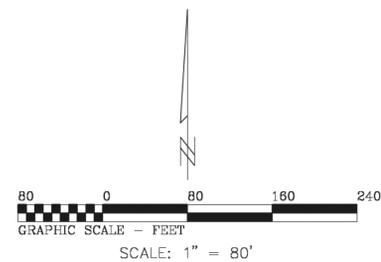


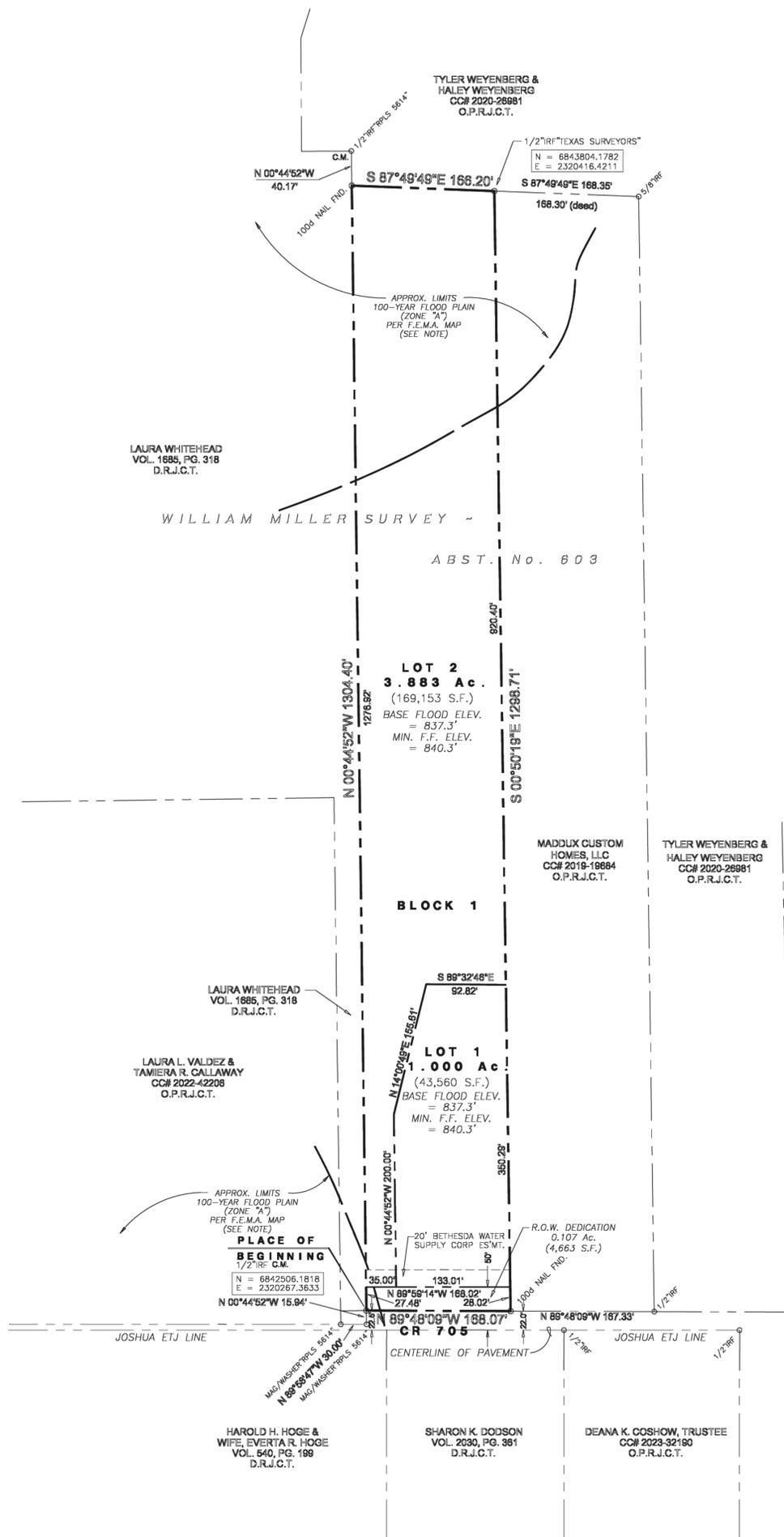
VICINITY MAP NOT TO SCALE

**\* LEGEND \***

- C.M. CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IRS IRON ROD SET w/ORANGE PLASTIC CAP STAMPED "R. W. COOMBS RPLS 5294" CLERK'S FILE NUMBER
- CC# VOL. & PG. DEED RECORDS, JOHNSON COUNTY, TEXAS
- D.R.J.C.T. DEED RECORDS, JOHNSON COUNTY, TEXAS
- O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS



CITY CASE No. FP25-06



**\* NOTES \***

1. BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NORTH CENTRAL TEXAS ZONE 4202. COORDINATES SHOWN HEREON ARE GRID COORDINATES.
2. SELLING A PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY SERVICES AND BUILDING PERMITS.
3. THIS PLAT DOES NOT REMOVE OR ALTER ANY DEED RESTRICTIONS, IF ANY, THAT MAY AFFECT THE SUBJECT PROPERTY.
4. ANY PUBLIC UTILITY, INCLUDING THE CITY OF JOSHUA, SHALL HAVE THE RIGHT TO REMOVE ALL OR PART OF ANY BUILDING, FENCES, TREES, SHRUBS, OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THE EASEMENTS SHOWN ON THE PLAT; AND ANY PUBLIC UTILITY, INCLUDING THE CITY OF JOSHUA, SHALL HAVE THE RIGHT AT ALL TIMES OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTION, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING OR PART OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.
5. NO STRUCTURE, OBJECT OR PLANT OF ANY TYPE MAY OBSTRUCT VISION FROM A HEIGHT OF THIRTY INCHES (30) TO A HEIGHT OF TEN FEET (10) ABOVE THE TOP OF CURB, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, WALKS, SIGNS, TREES, SHRUBS, CARS, TRUCKS, ETC. IN THE PUBLIC OPEN SPACE EASEMENTS, IF ANY, SHOWN ON THE PLAT.
6. THE CITY OF JOSHUA IS NOT RESPONSIBLE FOR ANY CLAIM FOR DAMAGES AGAINST THE CITY OCCASIONED BY THE ESTABLISHMENT OF GRADES OR THE ALTERATION OF THE SURFACE OF ANY PORTION OF EXISTING STREETS AND ALLEYS TO CONFORM TO THE GRADES ESTABLISHED IN THE SUBDIVISION.
7. WATER PROVIDER: BETHESDA WATER SUPPLY CORPORATION
8. THIS PROPERTY IS WITHIN THE CITY OF JOSHUA ETJ AND ALL SETBACK LINES ARE TO BE OBTAINED FROM THE CITY OF JOSHUA.
9. THE PURPOSE OF THIS PLAT IS TO CREATE TWO LEGAL LOTS FOR RESIDENTIAL HOME CONSTRUCTION.
10. THERE ARE NO LIENS AGAINST THE PROPERTY.
11. NO CONSTRUCTION OR FILLING SHALL BE ALLOWED WITHIN A DRAINAGE EASEMENT OR A FLOOD PLAIN EASEMENT WITHOUT THE WRITTEN APPROVAL OF THE CITY OF JOSHUA, AND THEN ONLY AFTER DETAILED ENGINEERING PLANS AND STUDYS SHOW THAT NO FLOODING WILL RESULT, THAT NO OBSTRUCTION TO THE NATURAL FLOW OF WATER WILL RESULT; AND SUBJECT TO ALL OWNERS OF THE PROPERTY AFFECTED BY SUCH CONSTRUCTION BECOMING A PARTY TO THE REQUEST. WHERE CONSTRUCTION IS PERMITTED, ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 1 FOOT (1') ABOVE THE 100-YEAR FLOOD ELEVATION.
12. BASE FLOOD ELEVATIONS SHOWN HEREON WERE TAKEN FROM THE FEMA ESTIMATED BASE FLOOD ELEVATION VIEWER FOR JOHNSON COUNTY, TEXAS.
13. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR JOHNSON COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY PANEL No. 48251C0190 J, EFFECTIVE DATE DECEMBER 4, 2012, THIS PROPERTY IS LOCATED IN ZONE "A" (SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION (BFE)) AND ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD). THE ABOVE REFERENCED FEMA FLOOD INSURANCE RATE MAP IS FOR USE IN ADMINISTERING THE "NFIP". IT DOES NOT NECESSARILY SHOW ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL SOURCES OF SMALL SIZE, WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACES OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".
14. BLOCKING THE FLOW OF WATER OR CONSTRUCTING IMPROVEMENTS IN THE DRAINAGE EASEMENTS, AND FILLING OR OBSTRUCTION OF THE FLOODWAY IS PROHIBITED.
15. THE EXISTING CREEKS OR DRAINAGE CHANNELS TRAVERSING ALONG OR ACROSS THIS ADDITION WILL REMAIN AS OPEN CHANNELS AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO DRAINAGE COURSES ALONG OR ACROSS SAID LOTS.
16. JOHNSON COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF SAID DRAINAGE WAYS OR FOR THE CONTROL OF EROSION.
17. JOHNSON COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE, PERSONAL INJURY OR LOSS OF LIFE OR PROPERTY OCCASIONED BY FLOODING OR FLOOD CONDITIONS.
18. JOHNSON COUNTY HAS THE RIGHT BUT NOT A DUTY TO ENTER ONTO PROPERTY AND CLEAR ANY OBSTRUCTION INCLUDING BUT NOT LIMITED TO TREES, PLANTS, DIRT, OR BUILDINGS, WHICH OBSTRUCT THE FLOW OF WATER THROUGH DRAINAGE EASEMENTS.

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF OMENSON ACRES, AN ADDITION TO THE ETJ OF THE CITY OF JOSHUA, JOHNSON COUNTY, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF JOSHUA ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

THIS APPROVED PLAT SHALL REMAIN VALID FOR A PERIOD OF TWO (2) YEARS FROM APPROVAL BY THE PLANNING AND ZONING COMMISSION DURING WHICH TIME IT SHALL BE RECORDED IN THE OFFICE OF THE COUNTY CLERK OF JOHNSON COUNTY, TEXAS. FAILURE TO RECORD THIS PLAT WITHIN TWO (2) YEARS FROM SAID DATE OF APPROVAL SHALL RENDER THE PLAT INVALID. THIS PLAT SHALL BE SUBJECT TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF JOSHUA.

WITNESS MY HAND, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2026

CITY SECRETARY, CITY OF JOSHUA \_\_\_\_\_

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

PLANNING AND ZONING COMMISSION \_\_\_\_\_

ATTEST: \_\_\_\_\_

CITY SECRETARY, CITY OF JOSHUA \_\_\_\_\_ DATE \_\_\_\_\_

PLAT FILED \_\_\_\_\_, 2026

INSTRUMENT # \_\_\_\_\_

DRAWER \_\_\_\_\_ SLIDE \_\_\_\_\_

APRIL LONG, JOHNSON COUNTY CLERK

BY \_\_\_\_\_, DEPUTY CLERK

BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE (NAD83) AS DETERMINED BY GPS OBSERVATION.

IRF DENOTES IRON ROD FOUND

IRS DENOTES IRON ROD SET w/ORANGE PLASTIC CAP STAMPED "R. W. COOMBS RPLS 5294"

C.M. DENOTES CONTROLLING MONUMENT



**Coombs Land Surveying, Inc.**  
 P.O. Box 6160 Fort Worth Texas 76115  
 (817) 920-7600  
 T.B.P.L.S. FIRM No. 1011800  
 C.L.S. JOB No. 25-0076  
 GF No. NONE

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
 COUNTY OF JOHNSON

WHEREAS, AMY PATTON, is the sole owner of a tract of land located in the WILLIAM MILLER SURVEY, ABSTRACT No. 603, Johnson County, Texas according to the deed recorded in Clerk's File No. No. 2025-28530 of the Official Public Record of Johnson County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found at the Southwest corner of said Patton Tract, being the Southeast corner of that certain tract of land described in deed to Laura Whitehead, recorded in Volume 1685, Page 318 of the Deed Records of Johnson County, Texas, lying in the North right-of-way line of County Road 705 and lying N 00° 44' 52" W, 15.94 feet from a MAG nail with washer stamped "RPLS 5614" in the asphalt pavement for said County Road;

THENCE N 00° 44' 52" W, 1304.40 feet along the common boundary line between said Patton Tract and said Whitehead Tract to a 1000 nail found at the Northwest corner of said Patton Tract, lying in the Northerly Southwest boundary line of that certain tract of land described in deed to Tyler Weyenberg and Haley Weyenberg, recorded in Clerk's File No. 2020-26981 of the Official Public Records of Johnson County, Texas and from which a 1/2-inch iron rod found with plastic stamped "RPLS 5614" bears N 00° 44' 52" W, 40.17 feet;

THENCE S 87° 49' 49" E, 166.20 feet along the common boundary line between said Patton Tract and said Weyenberg Tract to a 1/2-inch iron rod found with orange plastic cap stamped "TEXAS SURVEYORS" at the Northwest corner of said Patton Tract, being the Northwest corner of that certain tract of land described in deed to Maddux Custom Homes, LLC, recorded in Clerk's File No. 2019-19684 of the Official Public Records of Johnson County, Texas, from which a 5/8-inch iron rod found at the Northeast corner of said Maddux Tract bears S 87° 49' 49" E, 168.35 feet;

THENCE S 00° 50' 19" E, 1298.71 feet along the common boundary line between said Patton Tract and said Maddux Tract to a 1000 nail found at the Southeast corner of said Patton Tract, lying in the aforesaid North right-of-way line of County Road 705 and lying N 89° 48' 09" W, 167.33 feet along said right-of-way line from a 1/2-inch iron rod found at the Southeast corner of said Maddux Tract;

THENCE N 89° 48' 09" W, 168.07 feet along the South boundary line of said Patton Tract with the said North right-of-way line of County Road 705 to the PLACE OF BEGINNING, containing 4.989 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That AMY PATTON, does hereby adopt this plat designating the hereinabove described property as LOTS 1 AND 2, BLOCK 1, OMENSON ACRES, an addition to the ETJ of the City of Joshua, Johnson County, Texas, and does hereby dedicate the rights-of-way, alleys, parks and easements shown thereon to the public's use unless otherwise noted.

AMY PATTON

STATE OF TEXAS  
 COUNTY OF JOHNSON

BEFORE me, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared AMY PATTON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that she executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 2026

NOTARY PUBLIC  
 STATE OF TEXAS

My commission expires: \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

THAT I, RONALD W. COOMBS, Registered Professional Land Surveyor Number 5294, State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Joshua, Texas.

EXECUTED this the \_\_\_\_ day of \_\_\_\_\_, 2026.

RONALD W. COOMBS  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 TEXAS REGISTRATION No. 5294



**FINAL PLAT**  
**LOTS 1 AND 2, BLOCK 1**  
**OMENSON ACRES**

LOCATED IN THE ETJ OF THE CITY OF JOSHUA  
 BEING 4.989 ACRES OF LAND LOCATED IN THE  
 WILLIAM MILLER SURVEY, ABSTRACT No. 603,  
 JOHNSON COUNTY, TEXAS

SURVEYOR:  
 COOMBS LAND SURVEYING, INC.  
 P.O. BOX 6160  
 FORT WORTH, TEXAS 76115  
 (817) 920-7600  
 ron.coombs@sbcbglobal.net

OWNER:  
 AMY PATTON

CITY CASE No. FP25-06

2 LOTS 4.989 Ac. FEBRUARY 2, 2026