

S:\LIC-DATA\JOB FOLDERS\1060-1060-C08\PROV\FINAL PLAT\COVER SHEET - F1 PRINTED ON: 3/4/2024 3:42 PM

OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, BEING THE OWNERS, AND/OR LIEN HOLDER OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 36 IS ASSUMED TO BEAR SOUTH 89°46'47" WEST, AS MONUMENTED ON THE EAST BY A 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN A MONUMENT BOX AND ON THE WEST BY A 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN A MONUMENT BOX;

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 36; THENCE SOUTH 89°46'47" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 637.21 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE EASTERLY LINE OF HERRERA SUBDIVISION RECORDED OCTOBER 19, 2011, AT RECEPTION NO. 20110063884, IN THE RECORDS OF THE LARIMER COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG SAID SOUTHERLY EXTENSION OF THE EASTERLY LINE AND CONTINUING ALONG THE EASTERLY, NORTHERLY AND WESTERLY LINES OF SAID HERRERA SUBDIVISION, THE FOLLOWING SEVEN (7) COURSES:

1. NORTH 02°08'46" WEST, A DISTANCE OF 387.72 FEET;
2. NORTH 11°38'22" WEST, A DISTANCE OF 190.78 FEET;
3. NORTH 67°47'19"" WEST, A DISTANCE OF 190.49 FEET;
4. SOUTH 89°36'34" WEST, A DISTANCE OF 206.85 FEET;
5. SOUTH 72°19'30" WEST, A DISTANCE OF 176.98 FEET;
6. SOUTH 59°56'08" WEST, A DISTANCE OF 142.24 FEET;
7. SOUTH 00°12'21" EAST, ALONG THE WESTERLY LINE AND THE SOUTHERLY EXTENSION OF SAID LINE A DISTANCE OF 522.70 FEET TO SAID SOUTH LINE;

THENCE SOUTH 89°46'47" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 1,277.82 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 35;

THENCE SOUTH 89°47'38" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 2,641.25 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 35;

THENCE NORTH 00°30'53" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,319.99 FEET TO THE CENTER-SOUTH SIXTEENTH CORER OF SAID SECTION 35;

THENCE N 00°31'37" WEST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,320.01 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 35;

THENCE N 89°40'08" EAST ALONG THE NORTH LINE OF WEST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,313.54 FEET TO THE CENTER-EAST SIXTEENTH CORNER OF SAID SECTION 35;

THENCE NORTH 89°39'02" EAST ALONG THE NORTH LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 35, A DISTANCE OF 1,313.57 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 35, ALSO BEING A POINT ON THE WESTERLY BOUNDARY OF THAT PROPERTY DESCRIBED IN BOOK 214 AT PAGE 583, IN THE RECORDS OF THE LARIMER COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG THE WESTERLY, SOUTHERLY AND EASTERLY BOUNDARIES OF SAID PROPERTY THE FOLLOWING FIVE (5) COURSES:

1. SOUTH 00°49'35" EAST, A DISTANCE OF 59.31 FEET;
2. SOUTH 41°59'06" EAST, A DISTANCE OF 205.98 FEET;
3. NORTH 71°59'38" EAST, A DISTANCE OF 215.04 FEET;
4. NORTH 44°48'07" EAST, A DISTANCE OF 164.98 FEET;
5. NORTH 24°08'49" EAST, A DISTANCE OF 32.73 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 36;

THENCE NORTH 89°52'50" EAST ALONG SAID NORTH LINE, A DISTANCE OF 2,196.57 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 36;

THENCE SOUTH 00°12'51" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER SECTION 36, A DISTANCE OF 2,641.41 FEET TO THE **POINT OF BEGINNING**;

CONTAINING A CALCULATED AREA OF 13,479,981 SQUARE FEET OR 309.458 ACRES, MORE OR LESS, BEING SUBJECT TO ANY EASEMENTS OR RIGHTS-OF-WAY OF RECORD;

HAVE BY THESE PRESETS, CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED INTO LOTS, BLOCKS, OUTLOTS AND STREET RIGHTS-OF-WAY, TO BE KNOWN AS REVERE NORTH FILING NO. 1, AND DO HEREBY DEDICATE TO THE TOWN OF JOHNSTOWN, FOREVER HEREAFTER, THE STREET RIGHTS-OF-WAY AND EASEMENTS AS INDICATED HEREON.

WITNESS OUR HANDS AND SEALS _____, DAY OF _____, 20_____.

OWNER:
FORESTAR (USA) REAL ESTATE GROUP INC., A DELAWARE CORPORATION

BY: _____

TITLE: _____

STATE OF _____)

COUNTY OF _____)

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20_____

BY _____ AS _____ OF FORESTAR (USA) REAL ESTATE GROUP INC., A DELAWARE CORPORATION

TITLE CERTIFICATION

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 20_____ A.D., I EXAMINED THE TITLE TO THE PROPERTY AS DESCRIBED HEREON AND ESTABLISHED THAT THE OWNERS AND PROPRIETORS OF RECORD OF THE SAID PROPERTY AS CONSTRUED IN C.R.S. 1973, 31-23-111, ARE THE SAME AS SHOWN HEREON AS OF SAID DATE.

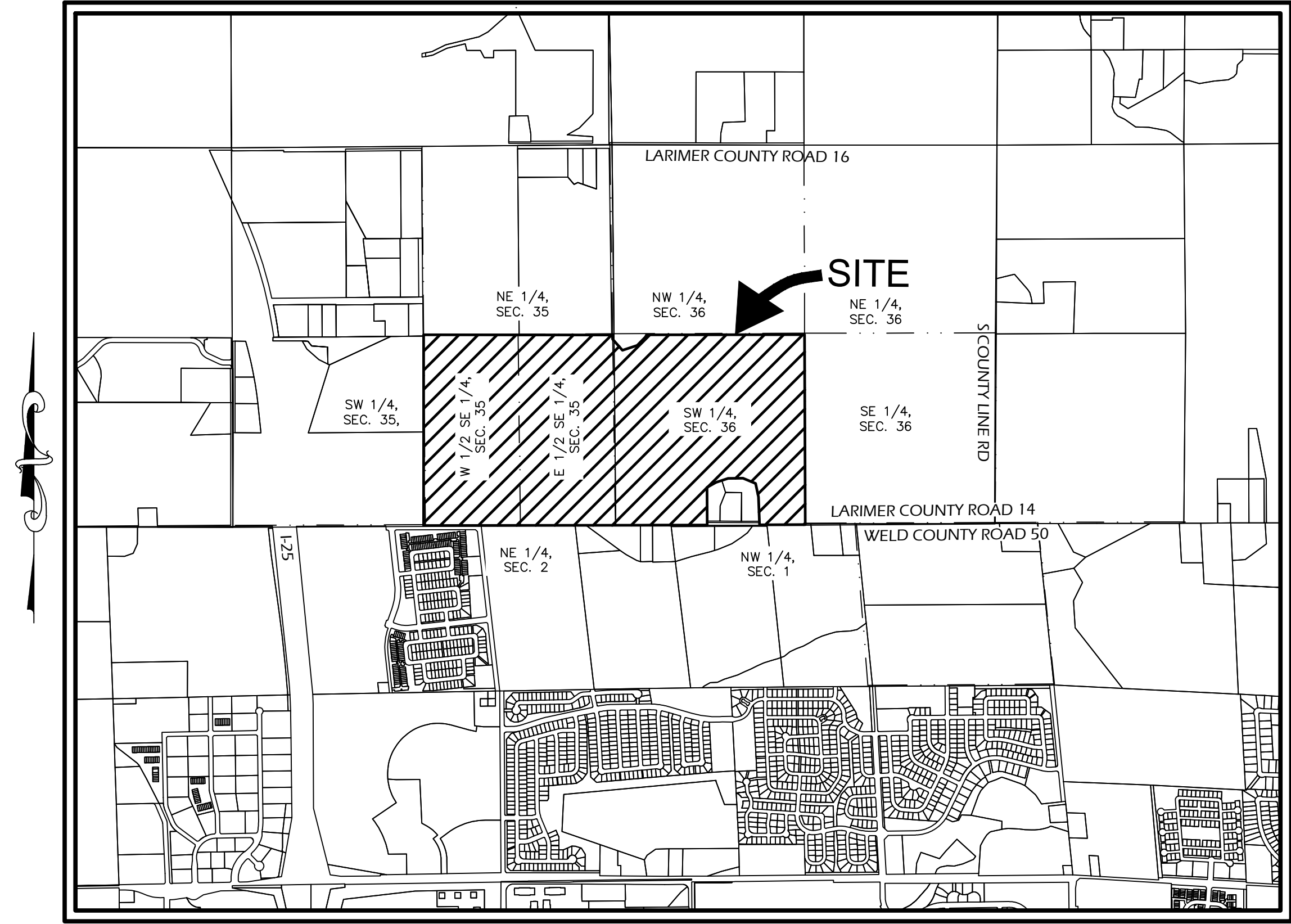
BY: _____ OF STEWART TITLE GUARANTY COMPANY

OUTLOT SUMMARY					
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	15,747	0.362
OUTLOT B	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	53,071	1.218
OUTLOT C	PRIVATE DRIVE/ACCESS, DRAINAGE, UTILITY	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	8,662	0.199
OUTLOT D	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	13,945	0.320
OUTLOT E	DRAINAGE, LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	80,183	1.841
OUTLOT F	PRIVATE DRIVE/ACCESS, DRAINAGE, UTILITY	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	29,754	0.683
OUTLOT G	LANDSCAPE, DRAINAGE,PEDESTRIAN ACCESS,UTILITY	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	5,866	0.135
OUTLOT H	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	2,878	0.066
OUTLOT I	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	7,049	0.162
OUTLOT J	PRIVATE DRIVE/ACCESS, DRAINAGE, UTILITY	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	4,180	0.096
OUTLOT K	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	22,082	0.507
OUTLOT L	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	50,374	1.156
OUTLOT M	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	46,776	1.074
OUTLOT N	DETENTION, DRAINAGE	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	534,498	12.270
OUTLOT O	LANDSCAPE, PARK	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	124,467	2.857
OUTLOT P	DETENTION, DRAINAGE	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	66,026	1.516
OUTLOT Q	LANDSCAPE, PEDESTRIAN ACCESS	METROPOLITAN DISTRICT*	METROPOLITAN DISTRICT*	2,966	0.068
			TOTAL AREA	1,068,525	24.530

[*] = REVERE AT JOHNSTOWN METROPOLITAN DISTRICT NO. 2

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 1500'

DISTRICT ACCEPTANCE

THE UNDERSIGNED REVERE AT JOHNSTOWN METROPOLITAN DISTRICT NO. 2, A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO HEREBY ACKNOWLEDGES AND ACCEPTS THE GRANT OF EASEMENTS TO THE UNDERSIGNED AS DESIGNATED AND SHOWN HEREON FOR MAINTENANCE RESPONSIBILITY AS SPECIFIED HEREON.

REVERE AT JOHNSTOWN METROPOLITAN DISTRICT NO. 2, A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO

BY: _____

NAME: _____

AS: _____

THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME BY _____, AS _____ OF _____

THIS _____ DAY OF _____, 20_____.

WITNESS MY HAND AND SEAL: _____

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SHEET INDEX

SHEET NO.	SHEET TITLE
1	COVER
2	OVERALL
3	LOT DETAILS
4	LOT DETAILS
5	LOT DETAILS
6	LOT DETAILS
7	LOT DETAILS
8	LOT DETAILS
9	LOT DETAILS
10	LOT DETAILS
11	EASEMENT DETAILS

LAND USE TABLE				
	LOT NO.	SQ. FT.	ACRES	%
LOT AREA - RESIDENTIAL	199	994,878	22.839	7.4%
LOT AREA - AMENITY SITE (BLK 12 LOT 1)	1	197,989	4.545	1.5%
PUBLIC STREET RIGHT OF WAY AREA		1,489,899	34.203	11.1%
TRACT AREA - FUTURE DEVELOPMENTS (A, B, C, D, E)		9,728,690	223.340	72.2%
OUTLOTS - PRIVATE DRIVES (C, F, J)		42,596	0.978	0.3%
OUTLOTS - DETENTION PONDS (N, P)		600,525	13.786	4.5%
OUTLOTS - OPEN SPACE (A, B, D, E, G, H, I, K, L, M, O, Q)		409,648	9.404	3.0%
TOTALS	200	13,479,981	309.458	100%

GENERAL NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY LJA SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, AND TITLE OF RECORD, LJA SURVEYING RELIED UPON THE TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NUMBER 23000310053, WITH A COMMITMENT DATE OF JULY 11, 2023 AT 5:30 P.M.
4. THE LINEAL UNIT USED IN THE PREPARATION OF THIS SURVEY IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
5. BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5S NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN IS ASSUMED TO BEAR SOUTH 89°46'47" WEST, AS MONUMENTED ON BOTH ENDS BY A NO. 6 REBAR WITH 3.25" ALUMINUM CAP STAMPED, "MANHARD PLS 38361, 2022" IN MONUMENT BOX.
6. FLOODPLAIN: THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE X, OTHER AREAS — DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP (FIRM) — MAP NUMBER 08069C1405G WITH A MAP REVISED DATE OF OF JANUARY 15, 2021.
7. STREET MAINTENANCE: IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY THE TOWN UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF JOHNSTOWN IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED BY THE TOWN ENGINEER, AND PROVIDED THAT CONSTRUCTION OF SAID ROADWAY(S) IS STARTED WITHIN ONE (1) YEAR OF CONSTRUCTION PLAN APPROVAL THE OWNER(S), DEVELOPER(S), AND/OR SUBDIVIDER(S), THEIR SUCCESSORS AND/OR ASSIGNS, IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE AS STATED ABOVE.
8. DRIVES, PARKING AREAS AND UTILITY EASEMENTS MAINTENANCE: THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION, METROPOLITAN DISTRICTS, OR OTHER ENTITY OTHER THAN THE TOWN IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL PRIVATE DRIVES, PARKING AREAS AND EASEMENTS (CROSS—ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
9. LANDSCAPE MAINTENANCE: THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, ADJACENT PROPERTY OWNER(S), HOMEOWNERS' ASSOCIATION, METROPOLITAN DISTRICTS, OR ENTITY OTHER THAN THE TOWN IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING OR WALLS, LANDSCAPING AND LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST OR AN ENTITY OTHER THAN THE TOWN AGREE TO THIS RESPONSIBILITY OF TOWN MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
10. SIGHT DISTANCE EASEMENTS ARE PROVIDED PER LCUASS FIGURE 7-16 WITH TRIANGLES EXTENDING OUTSIDE ROW BEING DESIGNATED WITH SIGHT DISTANCE EASEMENTS HEREIN. THE OWNERS OF SUCH ADJACENT LAND AREAS ARE PROHIBITED FROM ERECTING, GROWING, OR OTHERWISE PERMITTING ANY OBSTRUCTION WITHIN SUCH LAND AREA THAT IS OVER 3 FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY.
11. PUBLIC SAFETY ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS' ASSOCIATION OR METROPOLITAN DISTRICT WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
12. GENERAL OVERLOT DRAINAGE NOTE: LOTS AND TRACTS AS PLATTED HEREIN MAY BE REQUIRED TO CONVEY SURFACE DRAINAGE FROM OTHER LOTS AND TRACTS IN THIS FILING, IN ACCORDANCE WITH TOWN REQUIREMENTS AND THE APPROVED DRAINAGE PLAN FOR THIS FILING. NO ALTERATIONS TO THE GRADING OF THE LOTS AND TRACTS MAY BE MADE THAT WOULD DISRUPT THE APPROVED DRAINAGE PLAN, WITHOUT PRIOR APPROVAL FROM THE TOWN. ALL NATURAL AND IMPROVED DRAINAGE WAYS OR DRAINAGE SYSTEMS IN SAID LOTS AND TRACTS SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER IN ACCORDANCE WITH TOWN CRITERIA. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SUCH FACILITIES THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE OF THE DRAINAGE WAYS OR DRAINAGE SYSTEMS. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.
13. STORM SYSTEM MAINTENANCE: THE TOWN OF JOHNSTOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATION ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVIDERS AGREEMENT. SHOULD THE OWNER FAIL TO TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER
14. A DRAINAGE EASEMENT IS HEREBY GRANTED OVER THE ENTIRETY OF OUTLOT D, OUTLOT E, AND OUTLOT N.
15. EMERGENCY ACCESS EASEMENTS ARE HEREBY GRANTED OVER THE ENTIRETY OF OUTLOT A, OUTLOT B, AND OUTLOT C.
16. PEDESTRIAN ACCESS EASEMENTS SHOWN HEREON ARE HEREBY GRANTED FOR PUBLIC PEDESTRIAN ACCESS.
17. TRACT A; TRACT B; TRACT C; TRACT D ARE RESERVED FOR FUTURE DEVELOPMENT. WATER DEDICATION FOR THESE TRACTS WILL BE SATISFIED CONCURRENT WITH THE RE-PLAT OF EACH RESPECTIVE LOT.
18. THIS FINAL PLAT IS UNDER TOWN OF JOHNSTOWN CASE NUMBER: SUB22-0007.
19. 10-FOOT WALL EASEMENT DEDICATED TO REVERE AT JOHNSTOWN METROPOLITAN DISTRICT NO. 2 FOR CONSTRUCTION, MAINTENANCE AND UPKEEP ACCESS.

TOWN COUNCIL APPROVAL

THIS PLAT, TO BE KNOWN AS REVERE NORTH FILING NO. 1, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY RESOLUTION NUMBER _____ PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO.

HELD ON THE _____ DAY OF _____, 202__.

BY: _____
MAYOR

BY: _____
TOWN CLERK

SURVEYOR'S CERTIFICATE

I DEREK S. BROWN, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON JUNE 20, 2023, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOWN OF JOHNSTOWN PROVISIONS OF CHAPTER 17 - SUBDIVISIONS OF THE TOWN OF JOHNSTOWN MUNICIPAL CODE.

I ATTEST THE ABOVE ON THIS _____ DAY OF _____, 20_____.

DEREK S. BROWN
COLORADO PLS NO. 38064
FOR AND ON BEHALF OF LJA SURVEYING
1765 WEST 121ST AVENUE, SUITE 300,
WESTMINSTER, COLORADO 80234



1765 W. 121st Avenue
Suite 300
Westminster, CO 80234
303-421-4224 • www.lja.com

No.	Rev.	Date:	Revision Type:	Job No.:	Scale:	Horizontal:	Vertical:	Designed:	Prepared:	Approved:
1				1060-08	N/A			DSB	JAV	DSB
2										
3										
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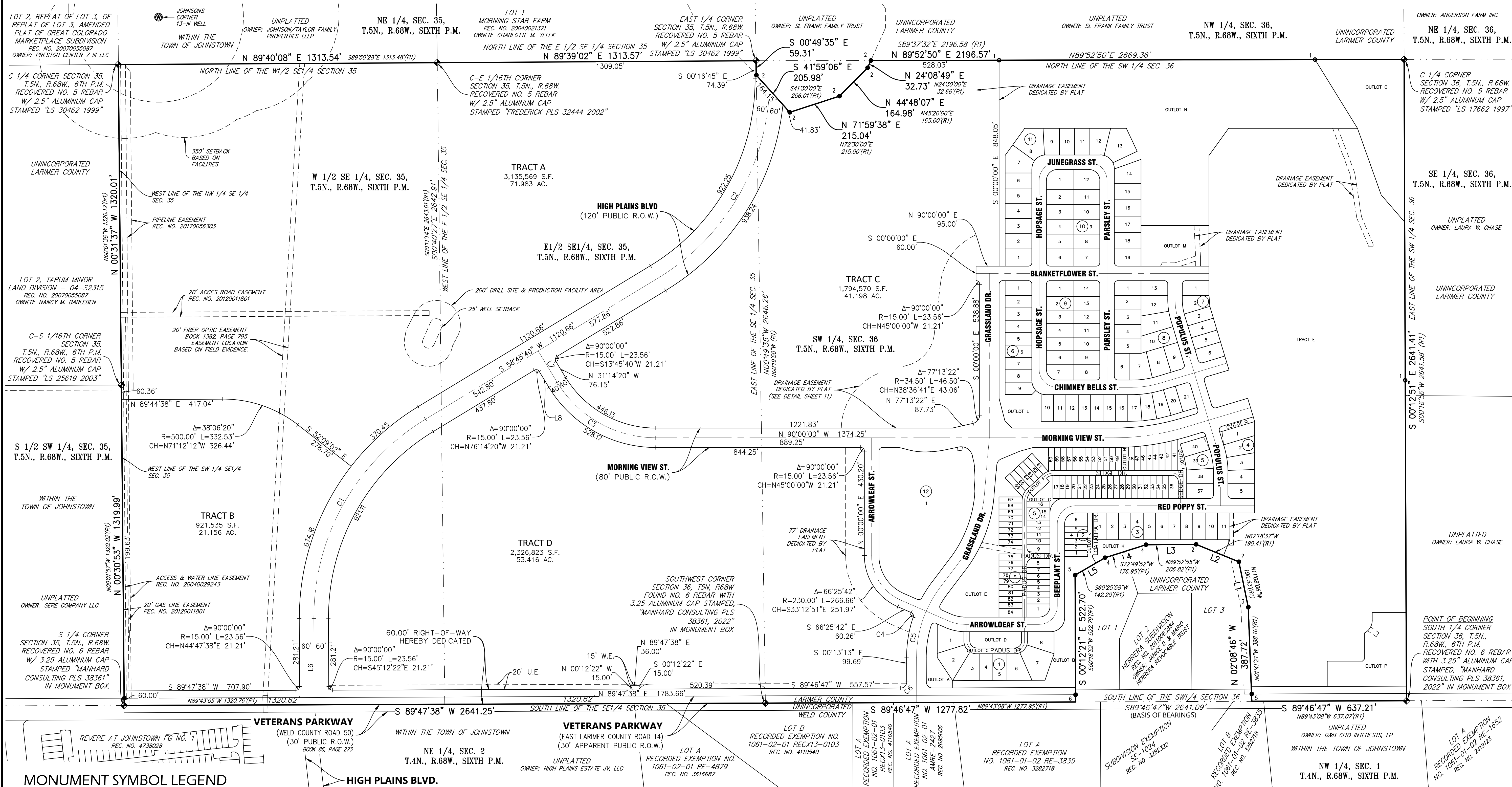
REVERE NORTH - FINAL PLAT

TOWN OF JOHNSTOWN, COLORADO

FINAL PLAT

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



MONUMENT SYMBOL LEGEND

- RECOVERED SECTION CORNER AS NOTED HEREON
- RECOVERED NO. 5 REBAR WITH 1-1/4" RED PLASTIC CAP STAMPED "COLO PLS 16847"
- RECOVERED NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 32444"
- RECOVERED NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPING ILLEGIBLE
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPING ILLEGIBLE
- RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC STAMPED "KARSTEN 37881"
- RECOVERED NO. 5 REBAR WITH NO CAP
- SET 18" LONG NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "LJA PLS 38064" FLUSH WITH GROUND
- RECORDED DIMENSION PER SPECIAL WARRANTY DEED, REC. NO. 20220035689

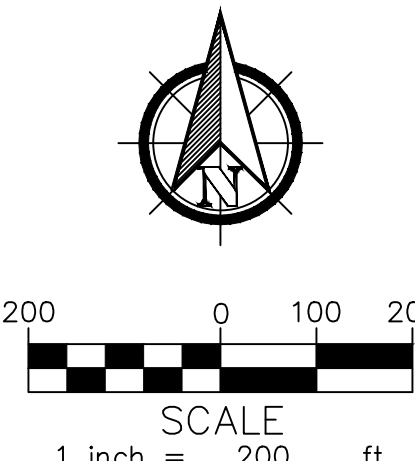
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 11°38'22" W	190.78'
L2	N 67°47'19" W	190.49'
L3	S 89°36'34" W	206.85'
L4	S 72°19'30" W	176.98'
L5	S 59°56'08" W	142.24'
L6	S 00°12'22" E	356.27'
L7	N 31°14'20" W	151.15'
L8	S 31°14'20" E	76.15'

CURVE TABLE				
CURVE	RADIUS	DELTA	ARC	CHORD BEARING
C1	955.00'	58°58'02"	982.86'	S 29°16'39" W 940.06'
C2	955.00'	56°19'11"	938.73'	S 30°36'05" E 901.39'
C3	475.00'	58°45'40"	487.15'	S 60°37'10" E 466.08'
C4	15.00'	85°08'19"	22.29'	S 23°51'33" E 20.29'
C5	516.00'	18°55'50"	170.49'	S 09°14'42" W 169.71'
C6	25.00'	90°00'00"	39.27'	S 44°46'47" W 35.36'

REFER TO SHEET 1 FOR OUTLOT AND TRACT TABLE

LEGEND

- ⊙ = BLOCK NUMBER
- A.E. = ACCESS EASEMENT HEREBY GRANTED
- D.E. = DRAINAGE EASEMENT HEREBY GRANTED
- D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
- E.A.E. = EMERGENCY ACCESS EASEMENT HEREBY GRANTED
- I.E. = IRRIGATION EASEMENT
- S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED (SEE GENERAL NOTE 10)
- U.E. = UTILITY EASEMENT HEREBY GRANTED
- W.E. = WATER EASEMENT HEREBY GRANTED



FOR REVIEW ONLY

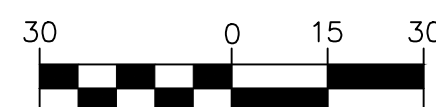
NOTE: ALL DIMENSIONS SHOWN
HEREON ARE MEASURED
UNLESS NOTED OTHERWISE



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Revision Type		Revision	
No.	Rev. Date	Sheet	Date
1		2 of 11	7/5/2023
2			
3			
4			
5			
6			
Designed: DSB		Job No.: 1060-08	Scale Horiz: N/A
Prepared: XXX			
Approved: DSB			

REVERE NORTH - FINAL PLAT
TOWN OF JOHNSTOWN, COLORADO
FINAL PLAT



① = BLOCK NUMBER

A.E. = ACCESS EASEMENT HEREBY GRANTED

D.E. = DRAINAGE EASEMENT HEREBY GRANTED

D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED

E.A.E. = EMERGENCY ACCESS EASEMENT HEREBY GRANTED

I.E. = IRRIGATION EASEMENT

S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED
(SEE GENERAL NOTE 10)

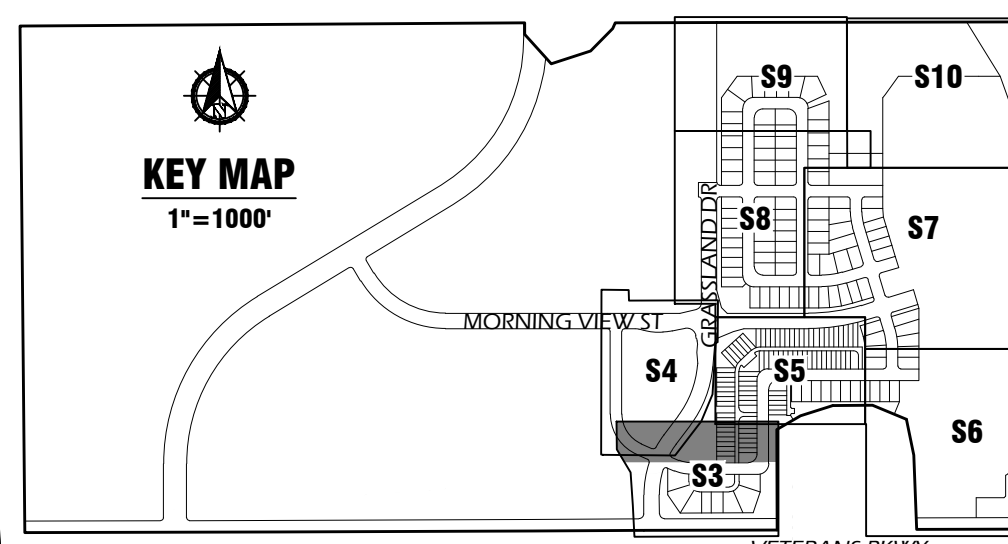
U.E. = UTILITY EASEMENT HEREBY GRANTED

W.E. = WATER EASEMENT HEREBY GRANTED

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



KEY M
1"=100'



1765 W. 121st Avenue
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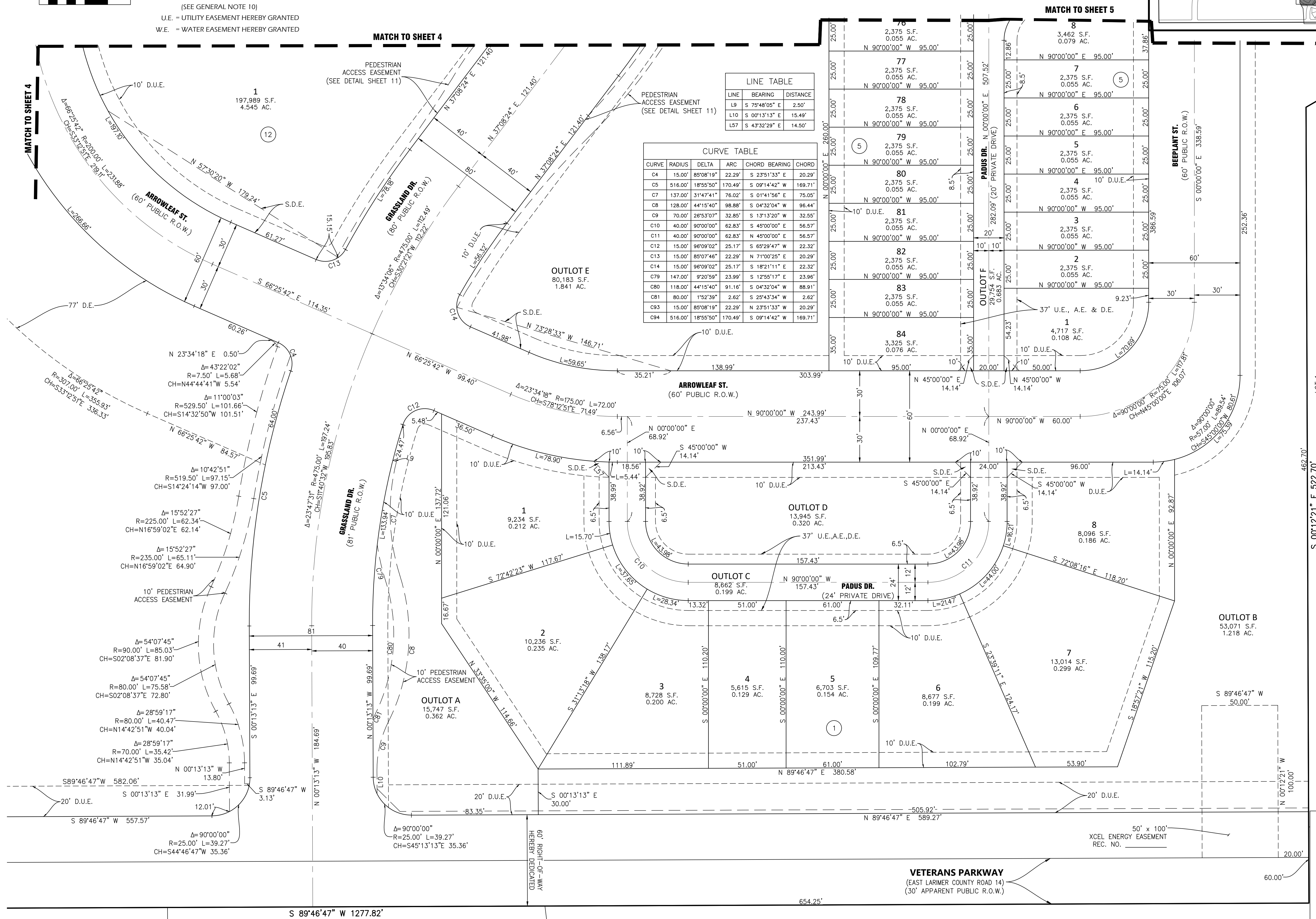
No.	Rev. Date:	Revision Type:
1		
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Designed:	DSB	Job No.: 1060-08
Prepared:	JAV	Scale Horiz: 1" = 30'
		Sheet: 3 of 11
		Date:

REVERE NORTH - FINAL PLAT

Town of Johnstown, Colorado

Final Plat

No.	3 of 11
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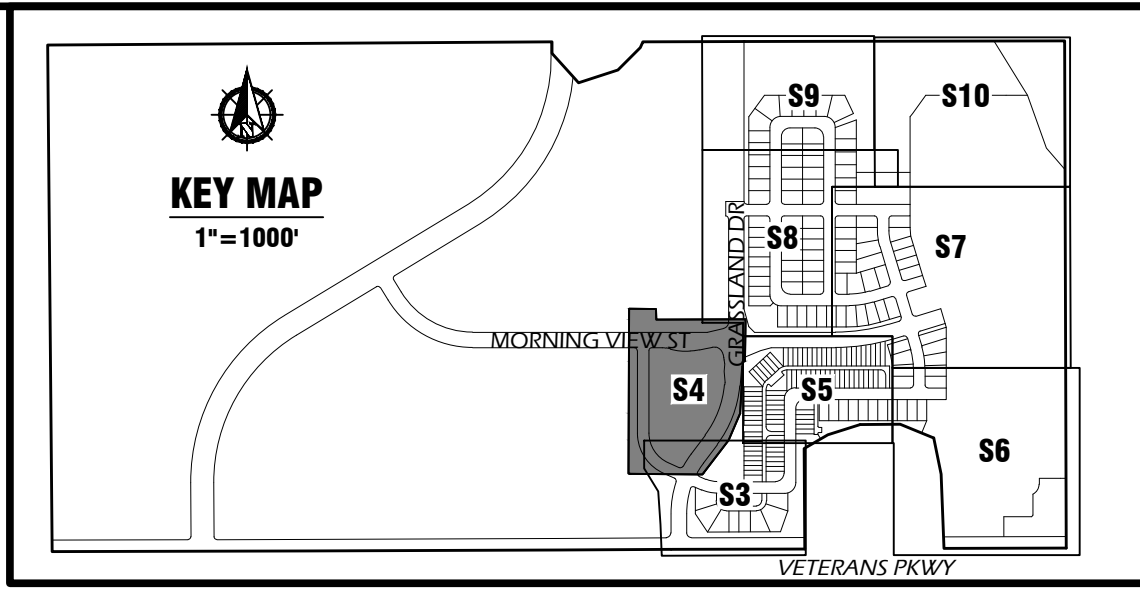
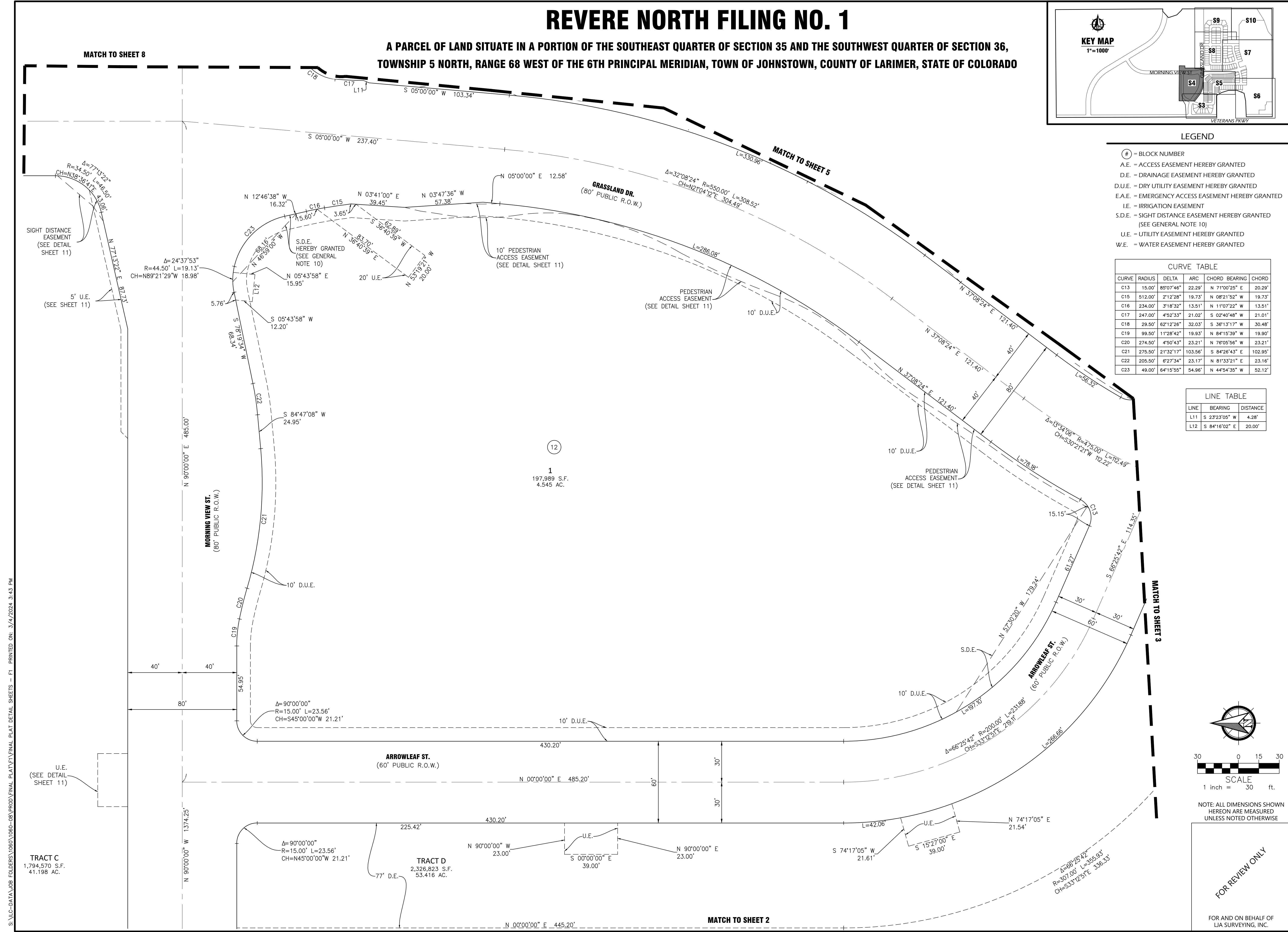
NOTE: ALL DIMENSIONS SHOWN
HEREON ARE MEASURED
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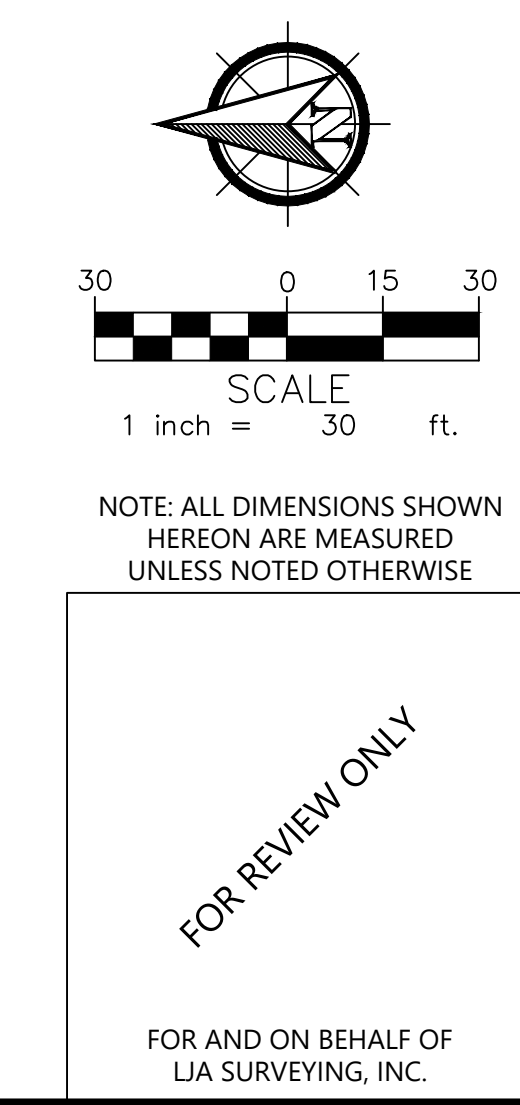


LEGEND

- # = BLOCK NUMBER
- A.E. = ACCESS EASEMENT HEREBY GRANTED
- D.E. = DRAINAGE EASEMENT HEREBY GRANTED
- D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
- E.A.E. = EMERGENCY ACCESS EASEMENT HEREBY GRANTED
- I.E. = IRRIGATION EASEMENT
- S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED (SEE GENERAL NOTE 10)
- U.E. = UTILITY EASEMENT HEREBY GRANTED
- W.E. = WATER EASEMENT HEREBY GRANTED

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C13	15.00'	85°07'46"	22.29'	N 71°00'25" E	20.29'
C15	512.00'	2°12'28"	19.73'	N 08°21'52" W	19.73'
C16	234.00'	3°18'32"	13.51'	N 11°07'22" W	13.51'
C17	247.00'	4°52'33"	21.02'	S 02°40'48" W	21.01'
C18	29.50'	62°12'26"	32.03'	S 36°13'17" W	30.48'
C19	99.50'	11°28'42"	19.93'	N 84°15'39" W	19.90'
C20	274.50'	4°50'43"	23.21'	N 76°05'56" W	23.21'
C21	275.50'	21°32'17"	103.56'	S 84°26'43" E	102.95'
C22	205.50'	6°27'34"	23.17'	N 81°33'21" E	23.16'
C23	49.00'	64°15'55"	54.96'	N 44°54'35" W	52.12'

LINE	BEARING	DISTANCE
L11	S 23°23'05" W	4.28'
L12	S 84°16'02" E	20.00'



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REVERE NORTH - FINAL PLAT

Town of Johnstown, Colorado

Final Plat

No. 4 OF 11

Revision Type: 1 2 3 4 5 6

Rev. Date: 1 2 3 4 5 6

Designated: DSB

Prepared: JAV

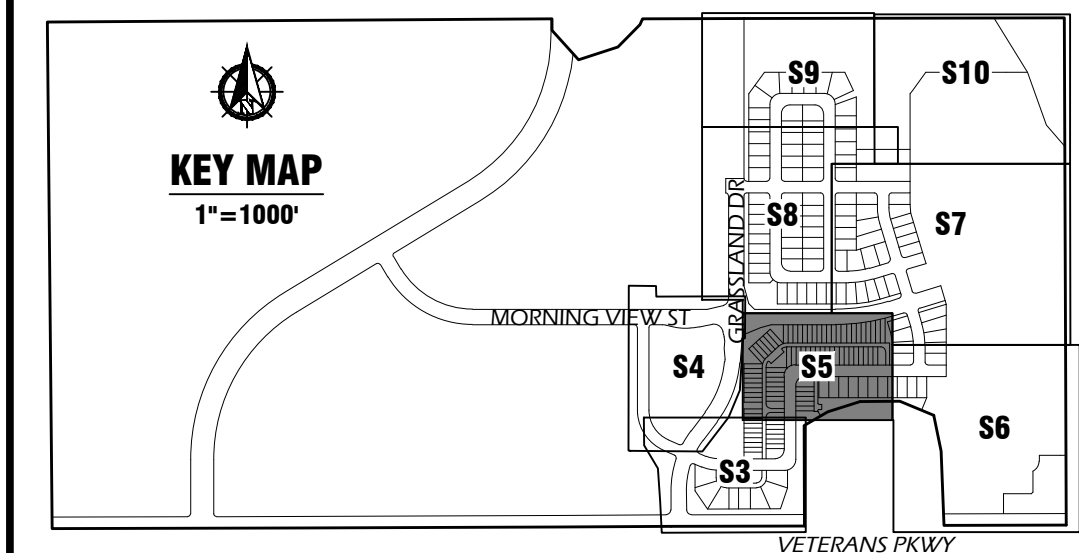
Approved: DSB

Sheet: 4 of 11

Date: February 8, 2023

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO

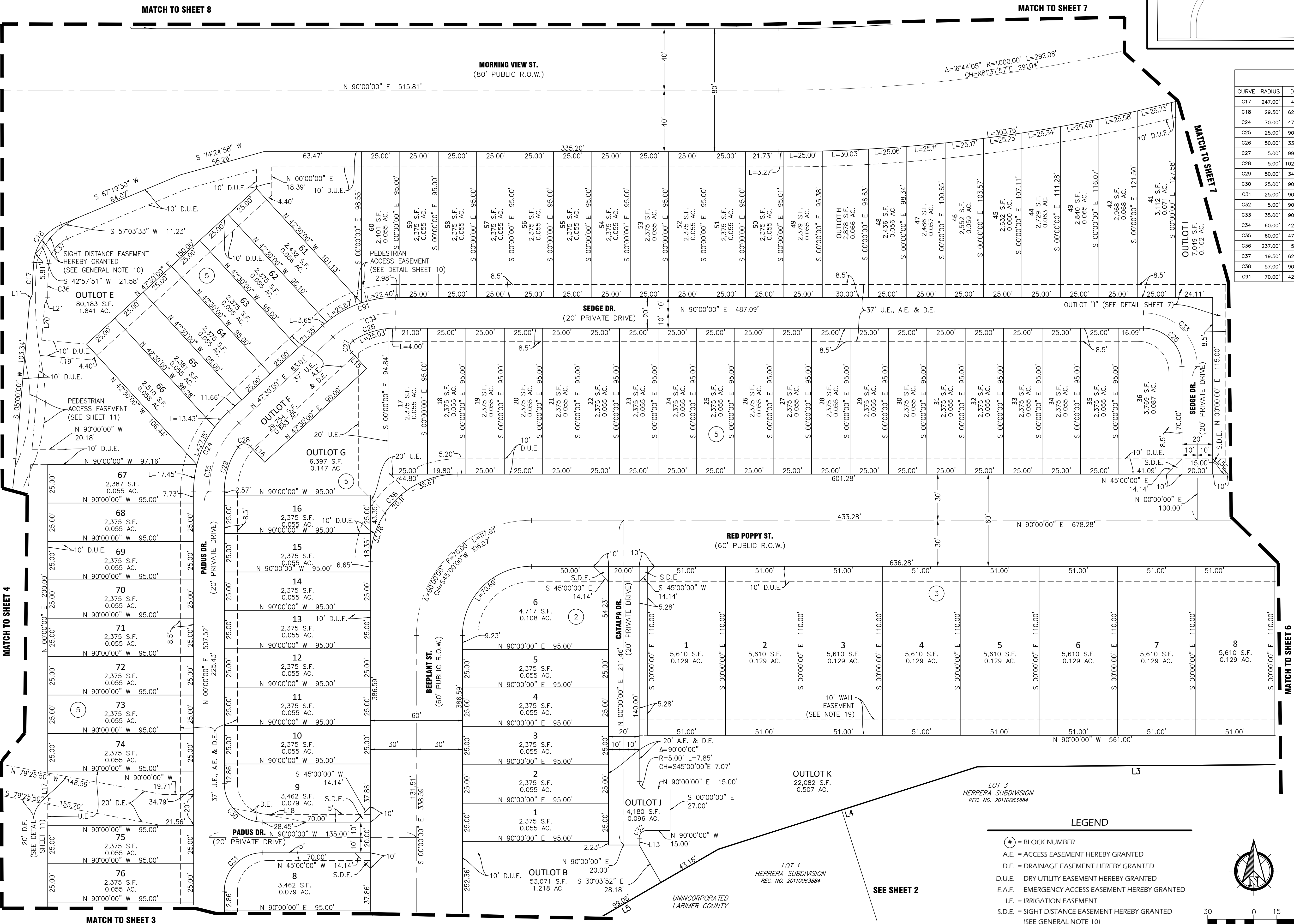


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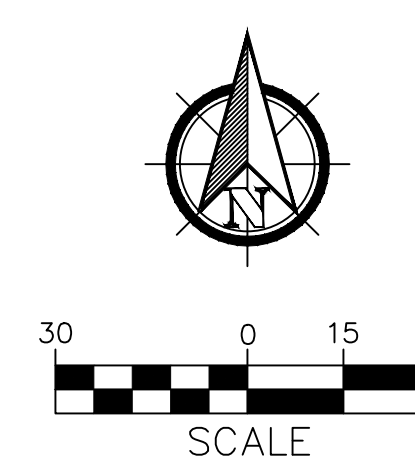
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No.	Rev. Date	No.	Rev. Date	No.	Rev. Date
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4		5		6	
Designed: DSB		Job No.: 1060-08		Sheet: 5 of 11	
Prepared: JAV		Scale Horiz: 1" =		Date: February 8, 2023	
Approved: DSB					

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C17	247.00'	4°52'33"	21.02'	S 02°40'48" W	21.01'
C18	29.50'	62°12'26"	32.03'	S 36°13'17" W	30.48'
C24	70.00'	47°30'00"	58.03'	S 23°45'00" W	56.38'
C25	25.00'	90°00'00"	39.27'	N 45°00'00" W	35.36'
C26	50.00'	33°16'06"	29.03'	S 73°21'57" W	28.63'
C27	5.00'	99°13'54"	8.66'	S 07°06'57" W	7.62'
C28	5.00'	102°32'49"	8.95'	S 86°13'36" W	7.80'
C29	50.00'	34°57'11"	30.50'	S 17°28'36" W	30.03'
C30	25.00'	90°00'00"	39.27'	S 45°00'00" E	35.36'
C31	25.00'	90°00'00"	39.27'	S 45°00'00" W	35.36'
C32	5.00'	90°00'00"	7.85'	S 45°00'00" W	7.07'
C33	35.00'	90°00'00"	54.98'	N 45°00'00" W	49.50'
C34	80.00'	42°30'00"	44.51'	S 68°45'00" W	43.49'
C35	60.00'	47°30'00"	49.74'	S 23°45'00" W	48.33'
C36	237.00'	52°15'58"	22.20'	S 02°26'05" W	22.19'
C37	19.50'	62°12'26"	21.17'	S 36°13'17" W	20.15'
C38	57.00'	90°00'00"	89.54'	S 45°00'00" W	80.61'
C91	70.00'	42°30'00"	51.92'	N 68°45'00" E	50.74'

LINE TABLE		
LINE	BEARING	DISTANCE
L3	S 89°36'34" W	206.85'
L4	S 72°19'30" W	176.98'
L5	S 59°56'08" W	142.24'
L11	S 23°23'05" W	4.28'
L13	S 00°00'00" W	4.46'
L15	N 42°30'00" W	14.42'
L16	S 42°30'00" E	13.93'
L17	N 00°00'00" E	34.79'
L18	S 79°25'50" E	46.37'
L19	N 85°00'00" W	33.74'
L20	S 05°00'00" W	23.35'
L21	S 23°23'05" W	4.74'
L56	N 45°00'00" W	14.14'



LEGEND	
(#)	= BLOCK NUMBER
A.E.	= ACCESS EASEMENT HEREBY GRANTED
D.E.	= DRAINAGE EASEMENT HEREBY GRANTED
D.U.E.	= DRY UTILITY EASEMENT HEREBY GRANTED
E.A.E.	= EMERGENCY ACCESS EASEMENT HEREBY GRANTED
I.E.	= IRRIGATION EASEMENT
S.D.E.	= SIGHT DISTANCE EASEMENT HEREBY GRANTED
(SEE GENERAL NOTE 10)	
U.E.	= UTILITY EASEMENT HEREBY GRANTED
W.E.	= WATER EASEMENT HEREBY GRANTED



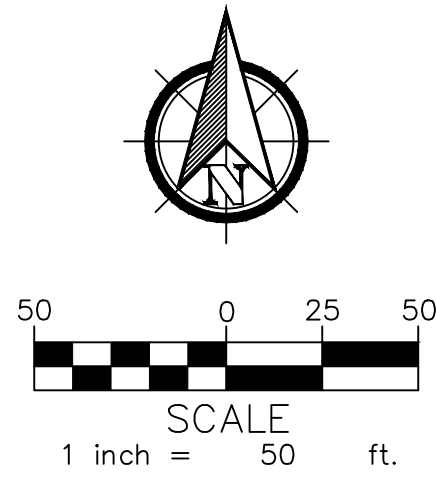
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LJA SURVEYING, INC.

REVERE NORTH - FINAL PLAT
Town of Johnstown, Colorado
Final Plat

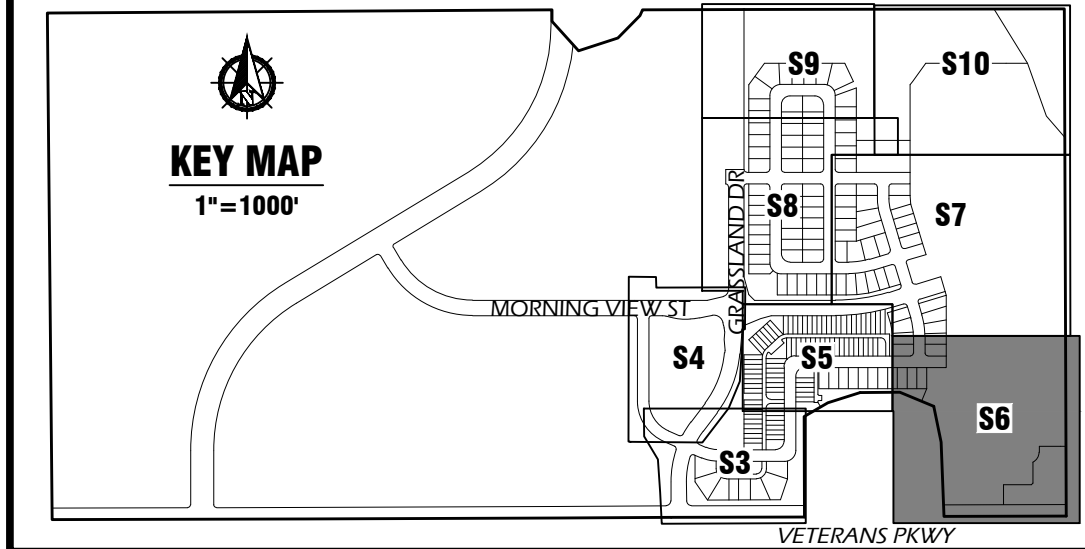
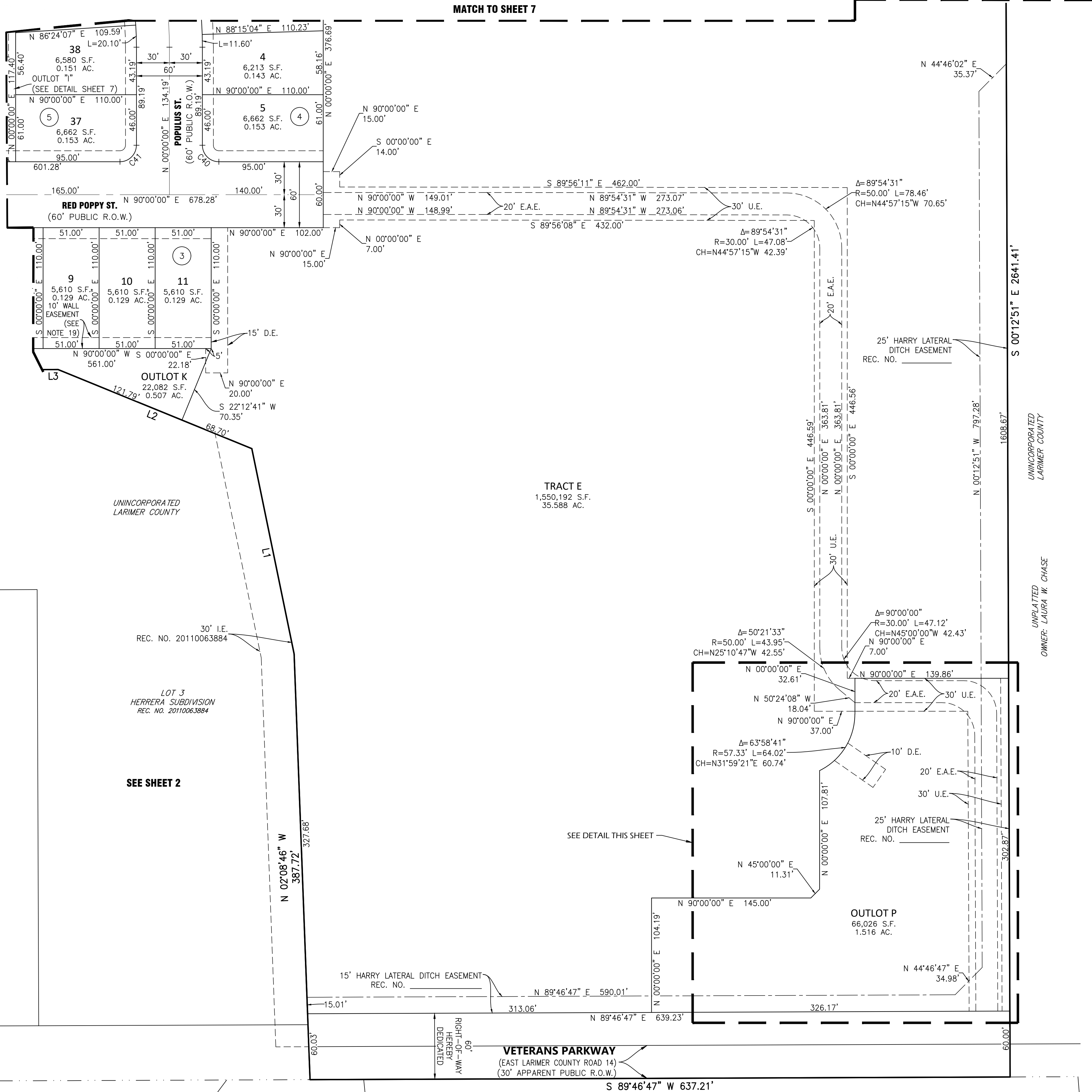
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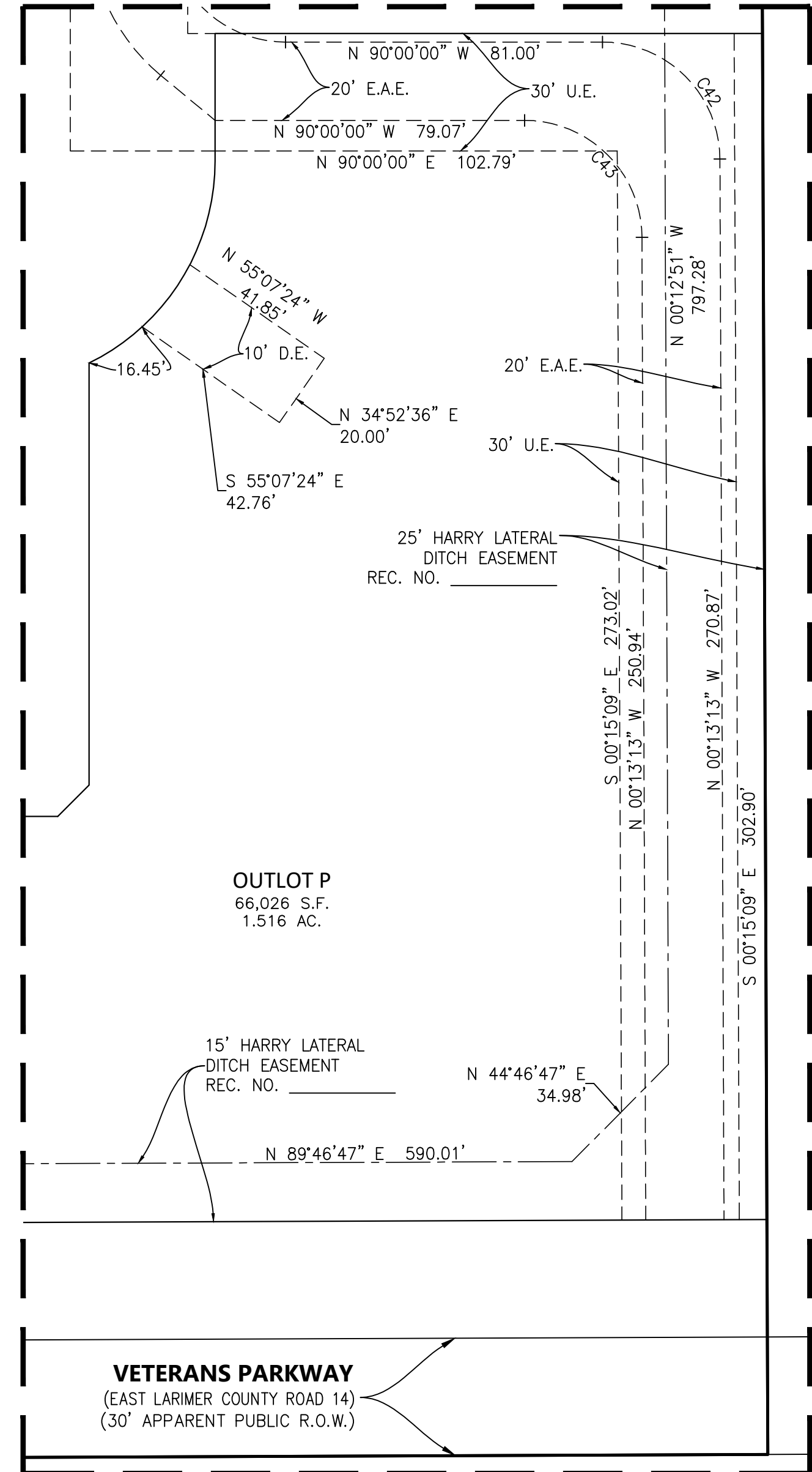
REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO

MATCH TO SHEET 5



DETAIL



LEGEND

- # = BLOCK NUMBER
- A.E. = ACCESS EASEMENT HEREBY GRANTED
- D.E. = DRAINAGE EASEMENT HEREBY GRANTED
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- S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED
- U.E. = UTILITY EASEMENT HEREBY GRANTED
- W.E. = WATER EASEMENT HEREBY GRANTED

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C40	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C41	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C42	30.00'	89°46'47"	47.01'	N 45°06'37" W	42.34'
C43	30.00'	89°46'47"	47.01'	N 45°06'37" W	42.34'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 11°38'22" W	190.78'
L2	N 67°47'19" W	190.49'

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Revision Type		Revision Type	
No.	Rev. Date	No.	Rev. Date
1		2	
3		4	
5		6	
Designed: DSB		Job No.: 1060-08	
Prepared: JAV		Scale Horiz: N/A	
Approved: DSB		Sheet: 6 of 11	
		Date: 7/7/2023	

REVERE NORTH - FINAL PLAT

TOWN OF JOHNSTOWN, COLORADO

FINAL PLAT

**A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO**

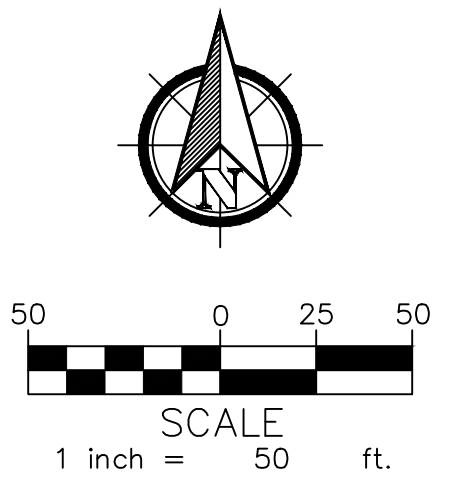


CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C44	15.00'	90°00'00"	23.56'	N 61°44'05" E	W 21.21'
C45	15.00'	90°00'00"	23.56'	N 28°15'55" E	E 21.21'
C46	15.00'	90°00'00"	23.56'	S 61°44'05" E	E 21.21'
C47	15.00'	90°00'00"	23.56'	S 28°15'55" W	W 21.21'
C48	15.00'	90°00'00"	23.56'	S 61°44'05" E	E 21.21'
C49	15.00'	90°00'00"	23.56'	S 28°15'55" W	W 21.21'
C50	15.00'	90°00'00"	23.56'	N 61°44'05" W	E 21.21'
C51	15.00'	90°00'00"	23.56'	N 28°15'55" E	E 21.21'
C52	15.00'	90°00'00"	23.56'	S 45°00'00" W	W 21.21'
C53	15.00'	90°00'00"	23.56'	N 45°00'00" W	W 21.21'
C54	15.00'	90°00'00"	23.56'	S 45°00'00" W	W 21.21'
C55	15.00'	90°00'00"	23.56'	S 49°00'00" E	E 21.21'
C56	15.00'	90°00'00"	23.56'	S 45°00'00" E	E 21.21'
C57	250.00'	164°44'05"	73.02'	S 08°22'03" E	72.76'
C58	250.00'	164°44'05"	102.23'	N 08°22'03" E	101.86'

LINE TABLE		
LINE	BEARING	DISTANCE
L25	N 71°40'30" E	89.21'
L26	S 71°40'30" W	65.51'
L27	N 00°00'00" E	20.60'
L28	S 00°00'00" E	34.69'
L58	S 06°28'08" E	56.11'
L59	S 26°44'11" E	57.58'
L60	S 16°52'54" E	92.90'

LEGEND

- ① = BLOCK NUMBER
- A.E. = ACCESS EASEMENT HEREBY GRANTED
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- D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
- E.A.E. = EMERGENCY ACCESS EASEMENT HEREBY GRANTED
- I.E. = IRRIGATION EASEMENT
- S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED
(SEE GENERAL NOTE 10)
- U.E. = UTILITY EASEMENT HEREBY GRANTED
- W.E. = WATER EASEMENT HEREBY GRANTED



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No.	Revision Type:
1	
2	
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Designed:	Job No.: 1060-08
Prepared:	Scale Horiz: N/A
Approved:	Sheet: 7 of 11
	Date: 7/7/2023

REVERE NORTH - FINAL PLAY

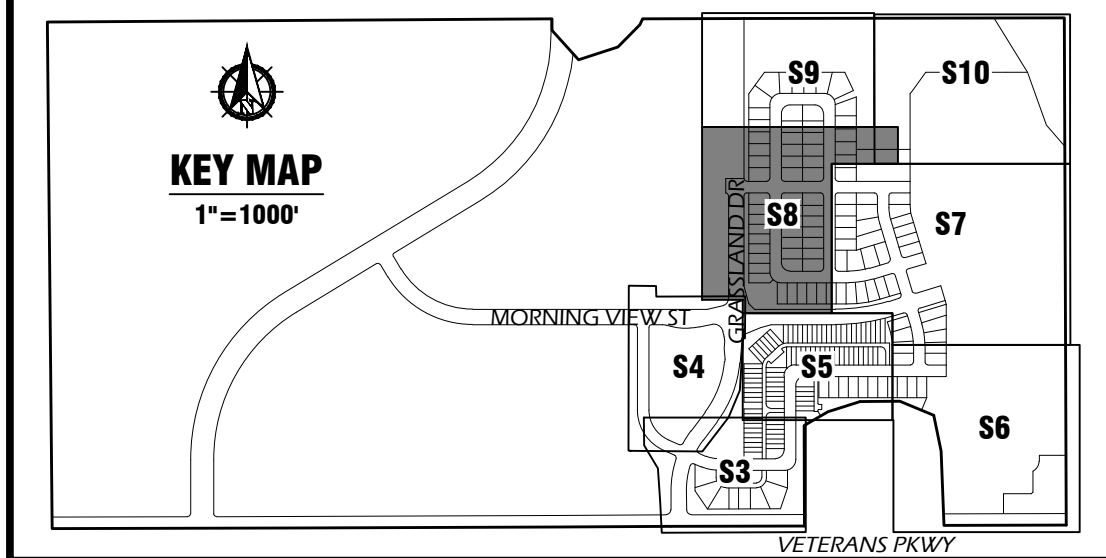
TOWN OF JOHNSTOWN, COLORADO

FINAL PLAI

7 of 11

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

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(SEE GENERAL NOTE 10)
U.E. = UTILITY EASEMENT HEREBY GRANTED
W.E. = WATER EASEMENT HEREBY GRANTED

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C53	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C54	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C55	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C58	15.00'	90°00'00"	23.56'	S 45°00'00" E	21.21'
C59	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C60	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C61	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C62	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C63	15.00'	90°00'00"	23.56'	N 45°00'00" W	21.21'
C64	15.00'	90°00'00"	23.56'	S 45°00'00" W	21.21'
C65	57.33'	90°00'00"	90.05'	S 45°00'00" E	81.08'
C66	15.00'	90°00'00"	23.56'	N 45°00'00" E	21.21'
C67	39.50'	30°15'27"	20.88'	N 29°52'17" W	20.62'
C68	39.50'	45°00'00"	31.02'	N 67°30'00" W	30.23'

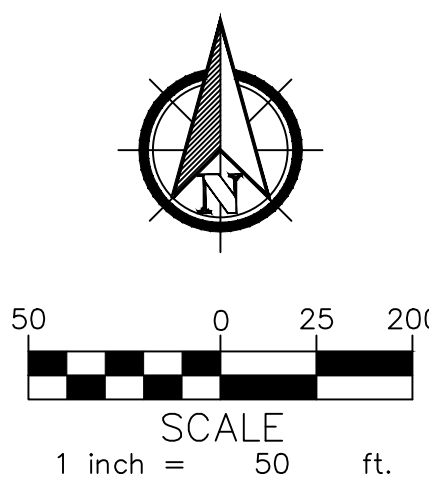


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Revision Type:					
No.	Rev. Date:				
1					
2					
3					
4					
5					
6					
Designed: DSB		Job No.: 1060-08		Sheet:	
Prepared: JAV		Scale Horiz: N/A			

REVERE NORTH - FINAL PLAT
TOWN OF JOHNSTOWN, COLORADO
FINAL PLAT

No. 8 of 11



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SEE SHEET 2

MATCH TO SHEET 9

MORNING VIEW ST.
(80' PUBLIC R.O.W.)

MATCH TO SHEET 4

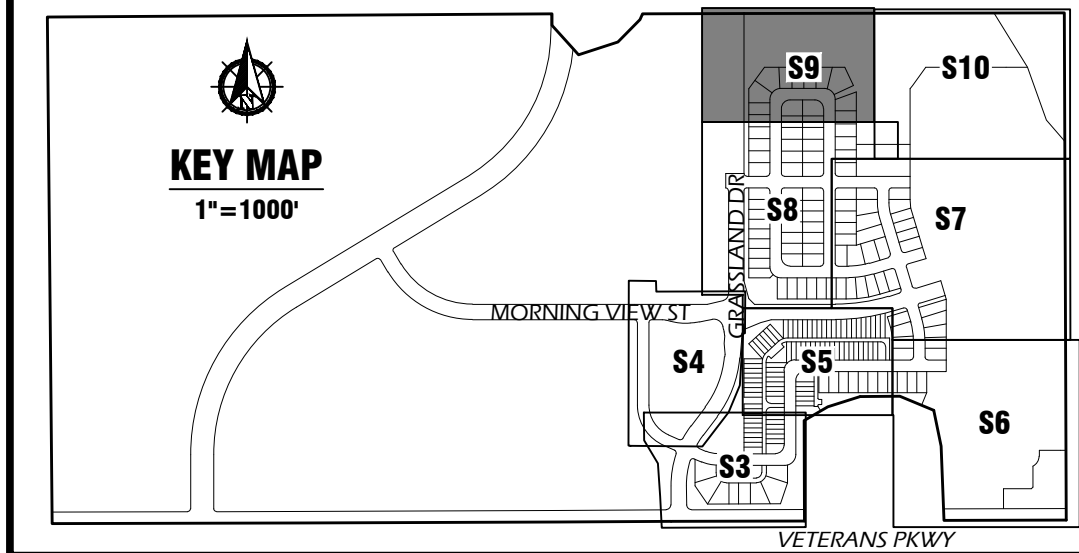
MATCH TO SHEET 5

MATCH TO SHEET 7

MATCH TO SHEET 7

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



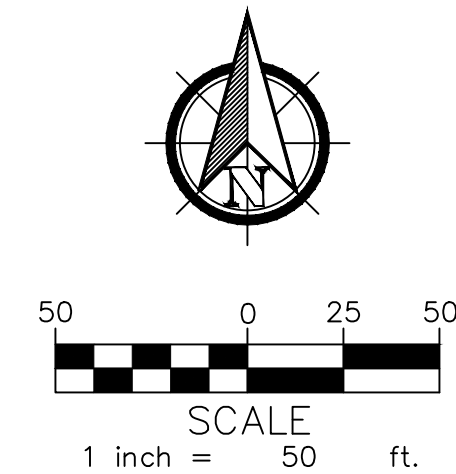
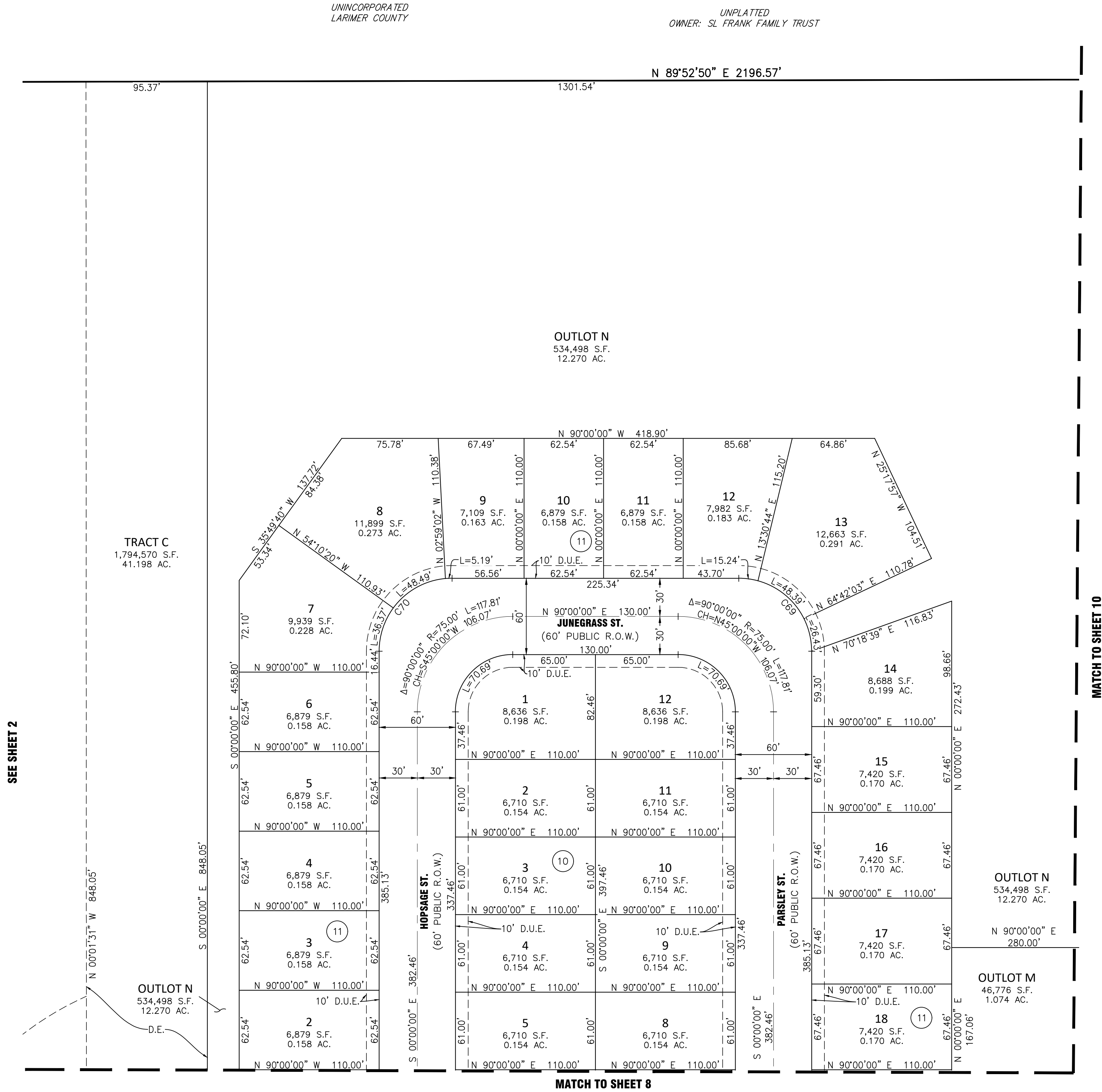
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LEGEND

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- S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED (SEE GENERAL NOTE 10)
- U.E. = UTILITY EASEMENT HEREBY GRANTED
- W.E. = WATER EASEMENT HEREBY GRANTED

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHORD	BEARING	CHORD
C69	57.33'	90°00'00"	90.05'	N 45°00'00" W	81.08'	
C70	57.33'	90°00'00"	90.05'	S 45°00'00" W	81.08'	



NOTE: ALL DIMENSIONS SHOWN
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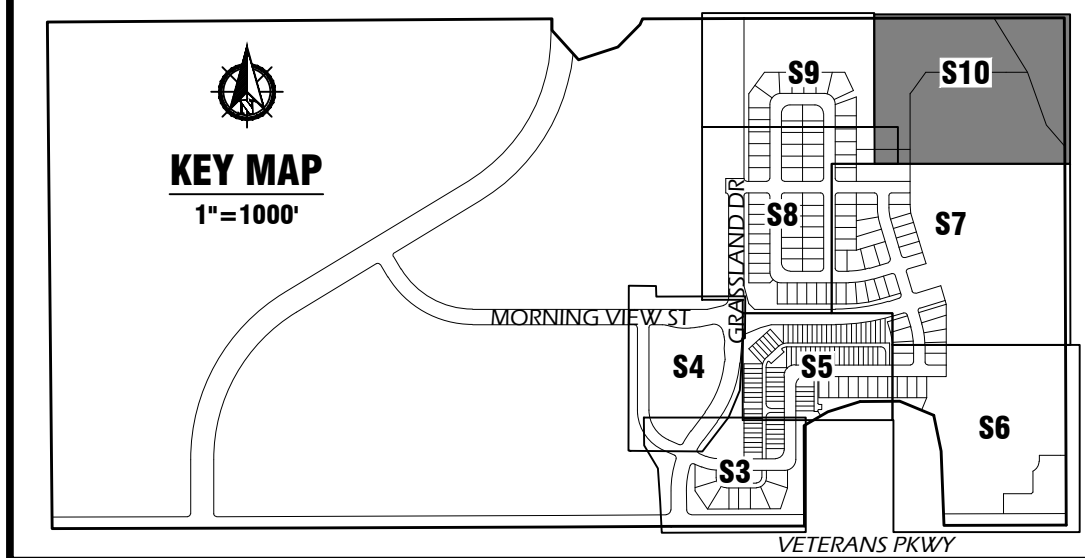
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REVERE NORTH - FINAL PLAT
TOWN OF JOHNSTOWN, COLORADO
FINAL PLAT

No. 9 of 11

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 36 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO



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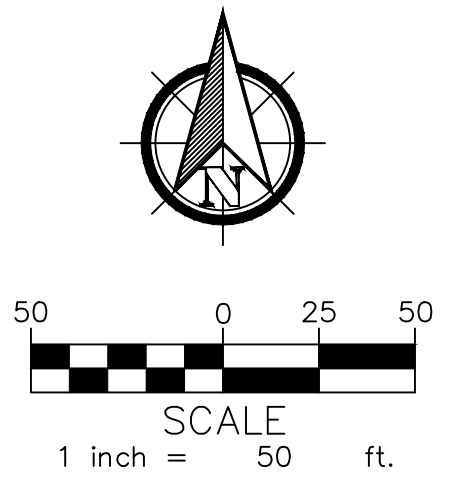
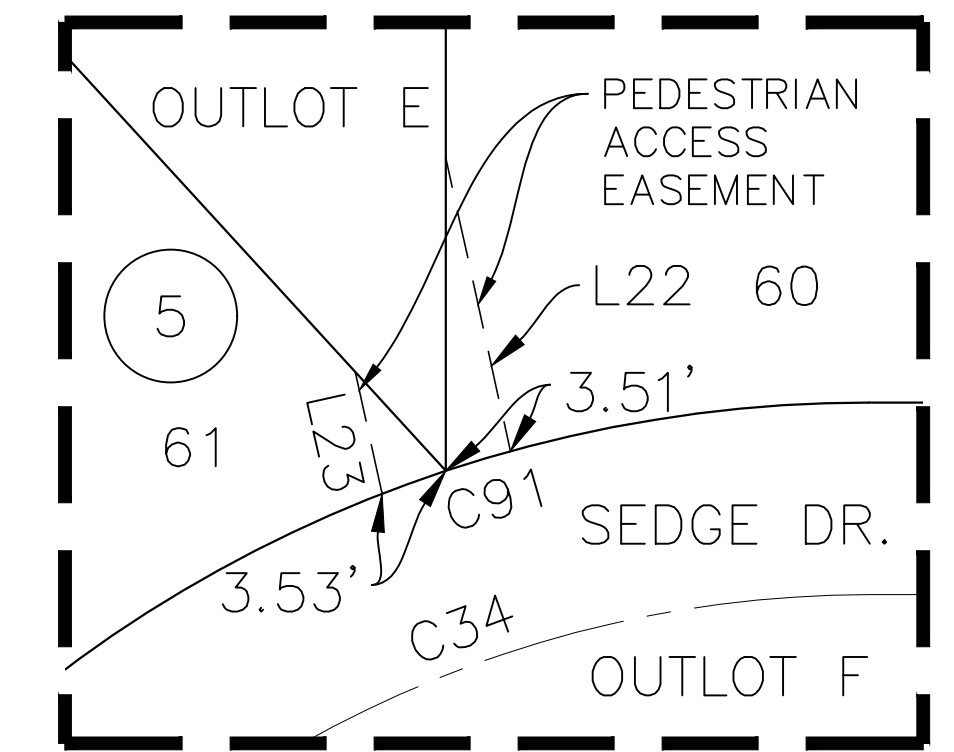
Revision Type:		Revision Type:		Revision Type:	
No.	Rev. Date:	No.	Rev. Date:	No.	Rev. Date:
1		2		3	
4		5		6	
Designed: DSB		Job No.: 1060-08		Sheet: 10 of 11	
Prepared: JAV		Scale Horiz: N/A		Date: 7/7/2023	
Approved: DSB					

LEGEND					
#	=	BLOCK NUMBER			
A.E.	=	ACCESS EASEMENT HEREBY GRANTED			
D.E.	=	DRAINAGE EASEMENT HEREBY GRANTED			
D.U.E.	=	DRY UTILITY EASEMENT HEREBY GRANTED			
E.A.E.	=	EMERGENCY ACCESS EASEMENT HEREBY GRANTED			
I.E.	=	IRRIGATION EASEMENT			
S.D.E.	=	SIGHT DISTANCE EASEMENT HEREBY GRANTED (SEE GENERAL NOTE 10)			
U.E.	=	UTILITY EASEMENT HEREBY GRANTED			
W.E.	=	WATER EASEMENT HEREBY GRANTED			

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C82	402.50'	22°19'52"	156.88'	S 16°56'43" E	155.88'
C83	332.50'	25°09'02"	145.95'	S 18°21'18" E	144.79'
C84	323.39'	7°22'39"	41.64'	S 34°33'32" E	41.61'
C85	152.37'	51°21'19"	136.57'	S 19°52'32" E	132.04'
C86	137.37'	47°55'36"	114.90'	N 17°45'50" W	111.58'
C87	338.39'	7°27'08"	44.01'	N 34°35'51" W	43.98'
C88	347.50'	25°08'58"	152.53'	N 18°21'15" W	151.31'
C89	387.50'	23°31'22"	159.09'	N 17°32'27" W	157.97'

LINE TABLE		
LINE	BEARING	DISTANCE
L22	N 12°24'34" W	15.63'
L23	N 12°24'34" W	6.49'

DETAIL (PEDESTRIAN ACCESS EASEMENT - SHEET 5)



NOTE: ALL DIMENSIONS SHOWN
HEREON ARE MEASURED
UNLESS NOTED OTHERWISE

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LJA SURVEYING, INC.

REVERE NORTH - FINAL PLAT
TOWN OF JOHNSTOWN, COLORADO
FINAL PLAT

No. 10 of 11

S:\LIC-DATA\JOB FOLDERS\1060\1060-08\PROD\FINAL PLAT\FINAL PLAT DETAIL SHEETS - F1 PRINTED ON: 3/4/2024 3:44 PM

MATCH TO SHEET 9

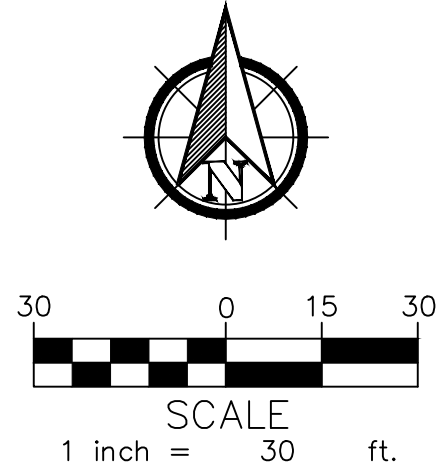
MATCH TO SHEET 7

REVERE NORTH FILING NO. 1

A PARCEL OF LAND SITUATE IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35 AND THE SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF LARIMER, STATE OF COLORADO

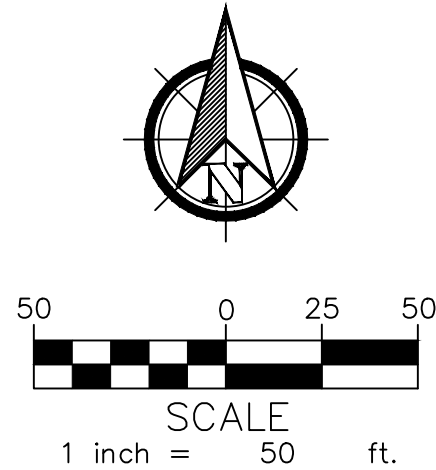
DETAIL (PEDESTRIAN ACCESS EASEMENTS - SHEETS 4 & 5)

DETAIL (DRAINAGE EASEMENT - SHEETS 2 & 8)



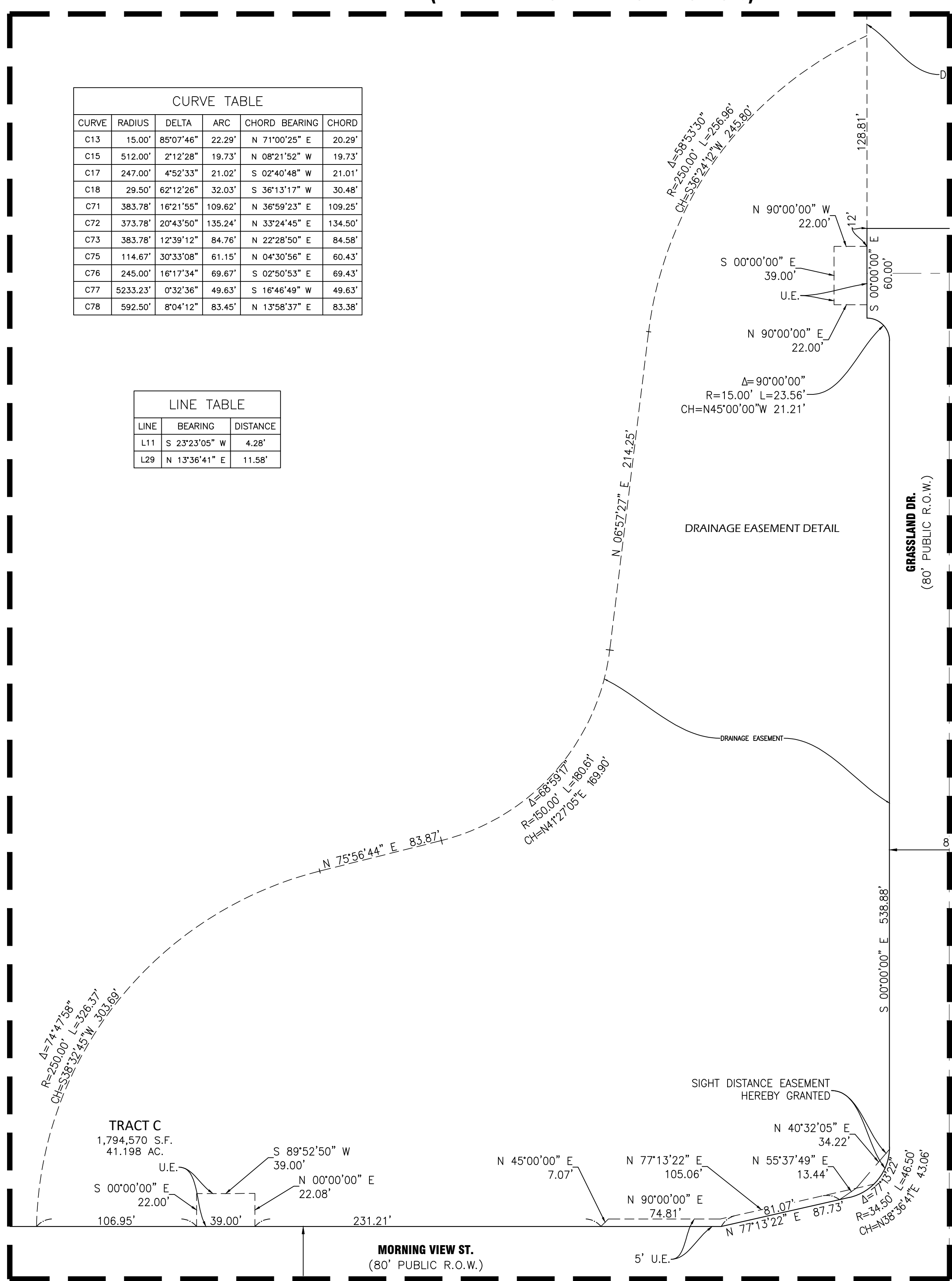
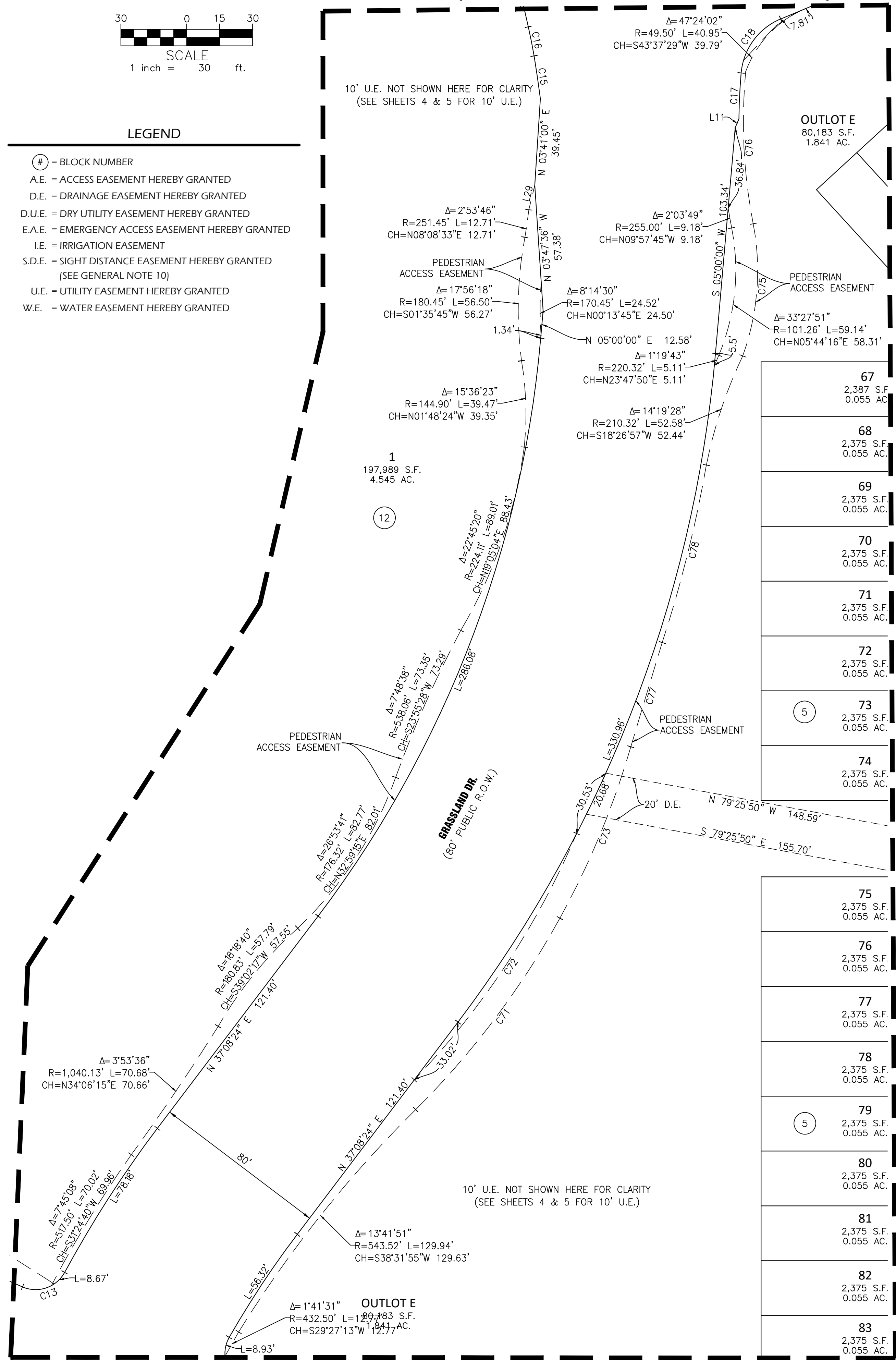
LEGEND

- # = BLOCK NUMBER
A.E. = ACCESS EASEMENT HEREBY GRANTED
D.E. = DRAINAGE EASEMENT HEREBY GRANTED
D.U.E. = DRY UTILITY EASEMENT HEREBY GRANTED
E.A.E. = EMERGENCY ACCESS EASEMENT HEREBY GRANTED
I.E. = IRRIGATION EASEMENT
S.D.E. = SIGHT DISTANCE EASEMENT HEREBY GRANTED
(SEE GENERAL NOTE 10)
U.E. = UTILITY EASEMENT HEREBY GRANTED
W.E. = WATER EASEMENT HEREBY GRANTED



CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C13	15.00'	85°07'46"	22.29'	N 71°00'25" E	20.29'
C15	512.00'	2°12'28"	19.73'	N 08°21'52" W	19.73'
C17	247.00'	4°52'33"	21.02'	S 02°40'48" W	21.01'
C18	29.50'	62°12'26"	32.03'	S 36°13'17" W	30.48'
C71	383.78'	16°21'55"	109.62'	N 36°59'23" E	109.25'
C72	373.78'	20°43'50"	135.24'	N 33°24'45" E	134.50'
C73	383.78'	12°39'12"	84.76'	N 22°28'50" E	84.58'
C75	114.67'	30°33'08"	61.15'	N 04°30'56" E	60.43'
C76	245.00'	16°17'34"	69.67'	S 02°50'53" E	69.43'
C77	5233.23'	0°32'36"	49.63'	S 16°46'49" W	49.63'
C78	592.50'	8°04'12"	83.45'	N 13°58'37" E	83.38'

LINE TABLE		
LINE	BEARING	DISTANCE
L11	S 23°23'05" W	4.28'
L29	N 13°36'41" E	11.58'



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Revision Type:		Revision Date:		Revision No.:		Revision Description:	
1							
2							
3							
4							
5							
6							
Designed: DSB		Job No.: 1060-08		Sheet: 11 of 11		Date: 7/7/2023	
Prepared: JAV		Scale Horiz: N/A		Scale Vert: N/A		Approved: DSB	

REVERE NORTH - FINAL PLAT
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