REVERE AT JOHNSTOWN FILING NO. 1

CERTIFICATE OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT PLATTE LAND & WATER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY;

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE $^{\rm t}$ PRINCIPAL MERIDIAN; TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 2, FROM WHICH THE CENTER QUARTER CORNER OF SAID SECTION 2 BEARS SOUTH 03"12"37" EAST, A DISTANCE OF 2,307.04" WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE SOUTH 06"25'27" EAST, A DISTANCE OF 30.18 FEET TO THE POINT OF BEGINNING, BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 50 AS DEDICATED IN BOOK 86 AT PAGE 273 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER;

THENCE SOUTH 06'25'27" EAST, A DISTANCE OF 2,285.39 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 2;

THENCE SOUTH 88'56'44" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 129.91 FFET TO SAID CENTER QUARTER CORNER OF

THENCE SOUTH 88'59'30" WEST, ALONG THE SOUTH LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 1,262.03 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 2;

THENCE SOUTH 88'57'54" WEST, ALONG THE SOUTH LINE OF THE WEST HALF OF SAID NORTHWEST QUARTER OF SECTION 2, A DISTANCE OF 139.80 FEET:

THENCE THE FOLLOWING ELEVEN (11) COURSES;

- 1. NORTH 06"2'56" WEST, A DISTANCE OF 553.37 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 800.00 FEET:
- 2. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°33'04", AN ARC LENGTH OF 356.76 FEET;
- 3. NORTH 70°39'52" WEST, A DISTANCE OF 40.00 FEET:
- 4. NORTH 19"20'08" EAST, A DISTANCE OF 0.91 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY
- 5. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00". AN ARC LENGTH OF 23.56 FEET:
- 6. NORTH 19'20'08" FAST, A DISTANCE OF 80.00 FFFT TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 19'20'08" EAST;
- 7. NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90'00'00", AN ARC LENGTH OF 23.56 FEET;
- 8. NORTH 19'20'08" EAST, A DISTANCE OF 164.12 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 760.00 FEET;
- 9. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25'32'39", AN ARC LENGTH OF 338.83 FEET;
- NORTH 0612'32" WEST, A DISTANCE OF 738.28 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 25.00 FEET:
- 11. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 83'57'00", AN ARC LENGTH OF 36.63 FEET;

THENCE SOUTH 89°50'28" WEST, A DISTANCE OF 13.99 FEET;

THENCE NORTH 04'42'30" WEST, A DISTANCE OF 30.10 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY OF COUNTY

THENCE NORTH 89'50'17" FAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY, A DISTANCE OF 1.324.79 FFFT TO THE POINT OF

CONTAINING AN AREA OF 73.514 ACRES, (3,202,273 SQUARE FEET), MORE OR LESS, TOGETHER WITH AND SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY EXISTING AND/OR OF PUBLIC RECORD, SUBJECT TO APPROVAL BY THE BOARD OF TRUSTEES OF THE TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.

DO HEREBY SUBDIVIDE THE SAME INTO THE LOTS, BLOCKS, TRACTS, RIGHTS-OF WAY AND EASEMENTS AS SHOWN ON THIS MAP AND DO HEREBY DESIGNATE AND DEDICATE ALL RIGHTS-OF-WAYS AND EASEMENTS AND TRACT A TO THE TOWN OF JOHNSTOWN, UNLESS OTHERWISE NOTED.

OWNER ACKNOWLEDGEMENT

OWNER: PLATTE LAND & WATER, LLC, A DELAWARE LIMITED LIABILITY COMPANY . AUTHORIZED SIGNATORY

STATE OF) SS.
COUNTY OF) SS.
THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME BY, AS AUTHORIZED SIGNATORY OF PLATTE LAND & WATER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS GENERAL PARTNER OF PLATTE LAND & WATER, LLC, A DELAWARE LIMITED LIABILITY COMPANY.
THIS DAY OF, 20,
WITNESS MY HAND AND SEAL:
MY COMMISSION EXPIRES

TITLE CERTIFICATION

NOTARY PUBLIC

THIS IS TO CERTIFY THAT ON THE ___ DAY OF ___ , 20 __ A.D., I EXAMINED THE TITLE TO THE PROPERTY AS DESCRIBED HEREON AND ESTABLISHED THAT THE OWNERS AND PROPRIETORS OF RECORD OF THE SAID PROPERTY AS CONSTRUED IN C.R.S. 1973, 31-23-111, ARE THE SAME AS SHOWN HEREON AS OF SAID DATE.

BY:	OF STEWART TITLE GUARANTY COMPANY

A PORTION OF THE NORTH HALF OF SECTION 2. TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN. TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.

73.514 ACRES, 320 LOTS, 23 OUTLOTS

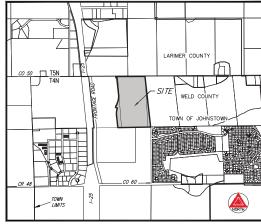
SHEET INDEX

SHEET 1 = COVER SHEET

SHEET 2-3 = OVERALL SHEETS

SHEET 4-13 = LOT DETAIL SHEETS

SHEET 14 = LINE AND CURVE TABLES



VICINITY MAP

SCALE 1" = 2.000

DISTRICT ACCEPTANCE

THE UNDERSIGNED HIGH PLAINS METROPOLITAN DISTRICT #2, A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO HEREBY ACKNOWLEDGES AND ACCEPTS THE GRANT OF EASEMENTS TO THE UNDERSIGNED AS DESIGNATED AND SHOWN HEREON FOR MAINTENANCE RESPONSIBILITY AS SPECIFIED HEREON.

HIGH PLAINS METROPOLITAN DISTRICT #2, A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO

B1:		
NAME:		
TITLE:		
THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS DAY OF	_, 20 BY	AS OF
HIGH PLAINS METROPOLITAN DISTRICT #2, A QUASI-MUNICIPAL CORPORATION AND POLITIC	AL SUBDIVISION OF THE STATE OF (COLORADO.

OUTLOT SUMMARY CHART

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY	PUBLIC		
--------	--------	--	--

MY COMMISSION EXPIRES: _____

		0	UILUI SUMMARY CHARI	
OUTLOT	ACREAGE	OWNERSHIP	MAINTENANCE	USE
Α	1.092	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	ACCESS, DRAINAGE AND UTILITY
В	0.777	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	ACCESS, DRAINAGE AND UTILITY
С	1.482	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	DRAINAGE AND PEDESTRIAN ACCESS
D	2.838	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	DRAINAGE AND PEDESTRIAN ACCESS
Е	2.158	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	DRAINAGE, UTILITY AND PEDESTRIAN ACCESS
F	1.486	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE, DRAINAGE, UTILITY AND PED. ACCESS
G	2.609	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	DRAINAGE AND LANDSCAPE
Н	0.099	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE, DRAINAGE AND PED. ACCESS
1	0.228	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE AND DRAINAGE
J	0.359	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE, DRAINAGE, UTILITY AND PED. ACCESS
K	2.634	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	PARK, LANDSCAPE AND PEDESTRIAN ACCESS
L	0.149	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE
М	0.140	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE
N	0.149	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE
0	0.063	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE
Р	0.049	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE
Q	2.421	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE, DRAINAGE, UTILITY AND PED. ACCESS
R	1.171	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE, DRAINAGE AND PED. ACCESS
S	0.233	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	UTILITY
T	0.101	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE AND PEDESTRIAN ACCESS
U	0.084	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	UTILITY
٧	1.174	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE, DRAINAGE AND PED. ACCESS
W	0.039	HIGH PLAINS METRO DISTRICT #2	HIGH PLAINS METRO DISTRICT #2	LANDSCAPE AND PEDESTRIAN ACCESS
TOTALS	21.535			

LAND S	UMMARY	CHART	
	SQ. FT.	ACRES	%
LOTS (320 TOTAL)	1,361,453	31.255	42.52
RIGHT-OF-WAY	902,758	20.724	28.19
OUTLOTS	938,062	21.535	29.29
TOTALS	3,202,273	73.514	100.00

NUMBER OF DWELLINGS: 320

GENERAL NOTES

- 1. PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET, ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY"
- 2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, OF THE COLORADO REVISED STATUTES.
- 3 BASIS OF BEARING: THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 2 TOWNSHIP 4 NORTH RANGE 68 WEST OF HE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AS SHOWN HEREON AND HAVING A BEARING OF SOUTH 03"2'37" EAST,
- 4. THE SUBJECT PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08069C1405F, MAP REVISED DECEMBER 19, 2006.
- 5. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN STEWART TITLE GUARANTY COMPANY FILE NO. 20000310449, WITH AN EFFECTIVE DATE OF APRIL 29, 2020, AT 5:30 P.M. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT
- 6. LOTS AND TRACTS AS PLATTED HEREIN MAY BE REQUIRED TO CONVEY SURFACE DRAINAGE FROM OTHER LOTS AND TRACTS IN THIS FILING. IN ACCORDANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS FILING, NO ALTERATIONS TO THE GRADING OF THE LOTS AND TRACTS MAY BE MADE THAT WOULD DISRUPT THE APPROVED DRAINAGE PLAN WITHOUT PRIOR APPROVAL FROM THE TOWN OF JOHNSTOWN. ALL NATURAL AND IMPROVED DRAINAGE WAYS OR DRAINAGE SYSTEMS IN SAID LOTS AND TRACTS SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER IN ACCORDANCE WITH TOWN CRITERIA. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN OF JOHNSTOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE OF THE DRAINAGE WAYS OR DRAINAGE SYSTEMS. ALL SUCH OPERATION AND/OR MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER(S).
- 7. THE EXISTING GAS PIPELINE EASEMENT RECORDED IN BOOK 1199 AT PAGE 377, AS SHOWN HEREON, WILL BE SUBJECT TO A PARTIAL RELEASE AND GRANT OF RIGHT-OF-WAY EASEMENT TO BE RECORDED BY SEPARATE DOCUMENT.
- 8. THE EXISTING IRRIGATION PIPELINE EASEMENT RECORDED UNDER RECEPTION NUMBER 1455615, AS SHOWN HEREON, WILL BE SUBJECT TO AN AMENDMENT AND RELOCATION OF IRRIGATION EASEMENT AGREEMENT TO BE RECORDED BY SEPARATE DOCUMENT.

PLANNING AND ZONING COMMISSION APPROVALS

THIS PLAT, TO BE KNOWN AS REVERE AT JOHNSTOWN FILING NO. 1, WAS APPROVED BY ACTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF JOHNSTOWN, COLORADO AT A REGULAR MEETING HELD ON THE ______ DAY OF

BY:						
	CHAIR.	PLANNING	AND	ZONING	COMMISSION	_

EASEMENT APPROVAL

UTILITY EASEMENTS ARE ADEQUATE AS SHOWN AND ARE HEREBY APPROVED. AND OR VACATED AS SHOWN ON THIS PLAT

DITCH COMPANY	PUBLIC WORKS DEPARTMENT

TOWN COUNCIL

THIS PLAT, TO BE KNOWN AS REVERE AT JOHNSTOWN FILING NO. 1, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY RESOLUTION NUMBER _____, PASSED MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO , PASSED AND ADOPTED ON FINAL READING AT A REGULAR

HELD ON	THE DAY OF	, 20
BY:	MAYOR	_
ATTEST:		_
	TOWN CLERK	

SURVEYOR'S STATEMENT

I, JAMES E. LYNCH, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A FIELD SURVEY MADE ON MARCH 17, 2020, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE TOWN OF JOHNSTOWN.

I ATTEST THE ABOVE ON THIS

DAY OF

20

I ATTEST THE ABOVE ON THIS _____DAY OF

JAMES E. LYNCH, PLS NO 37933 JAMES E. L'NICH, PLS NO 3/933 COLORADO LICENSED PROFESSIONAL LAND SURVEYOR FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC. 300 EAST MINERAL AVENUE, SUITE 1, LITTLETON, CO 80122

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

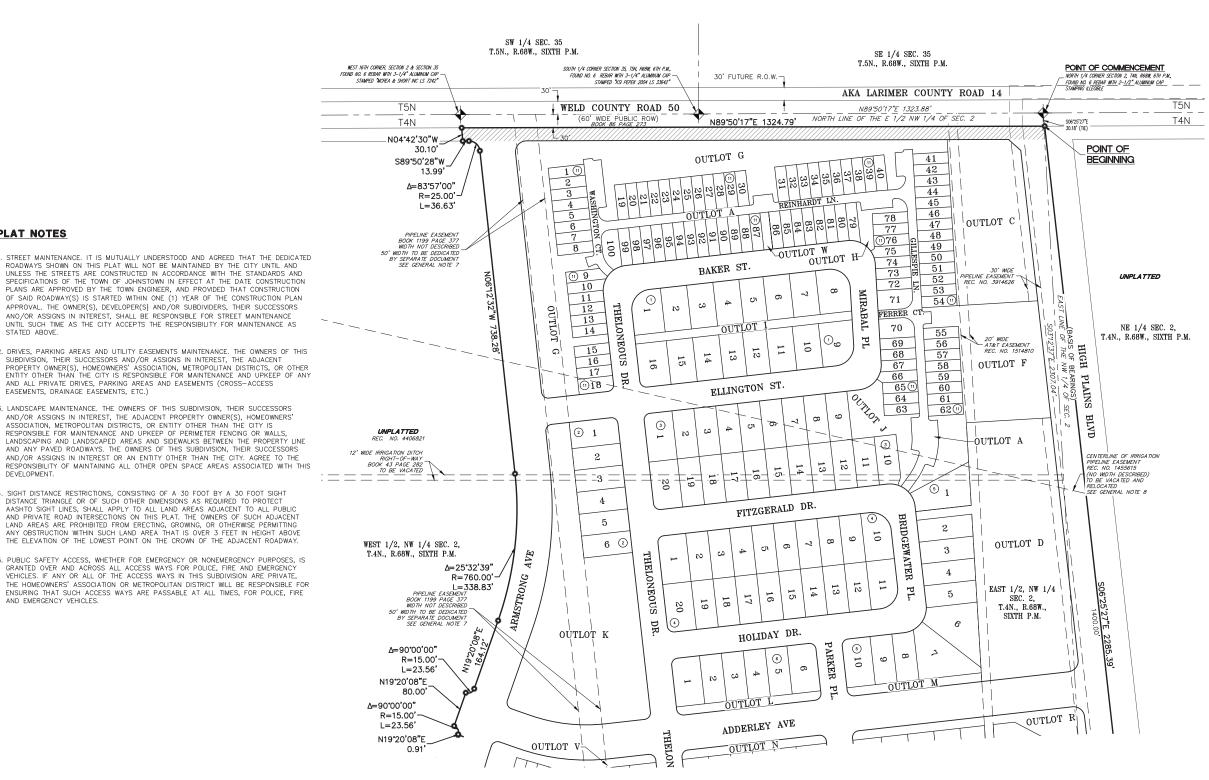
NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.



N/A

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO. 73.514 ACRES, 320 LOTS, 23 OUTLOTS



PLAT NOTES

EASEMENTS, DRAINAGE EASEMENTS, ETC.)

RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING OR WALLS

. SIGHT DISTANCE RESTRICTIONS, CONSISTING OF A 30 FOOT BY A 30 FOOT SIGHT

LEGEND

RIGHT-OF-WAY ____ _ CENTERLINE EXISTING EASEMENT — — — — — EASEMENT BEING DEDICATED ADDITION TO EXISTING RIGHT-OF-WAY

BOUNDARY

UTILITY EASEMENT BEING DEDICATED BY THIS PLAT U.E.

DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT



MONUMENT SYMBOL LEGEND

- SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP
- FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57"26'20"E 0.98' FROM CALCULATED POSITION
- FOUND SECTION CORNER AS SHOWN HEREON

SEE SHEET 14 FOR LINE AND **CURVE TABLES**

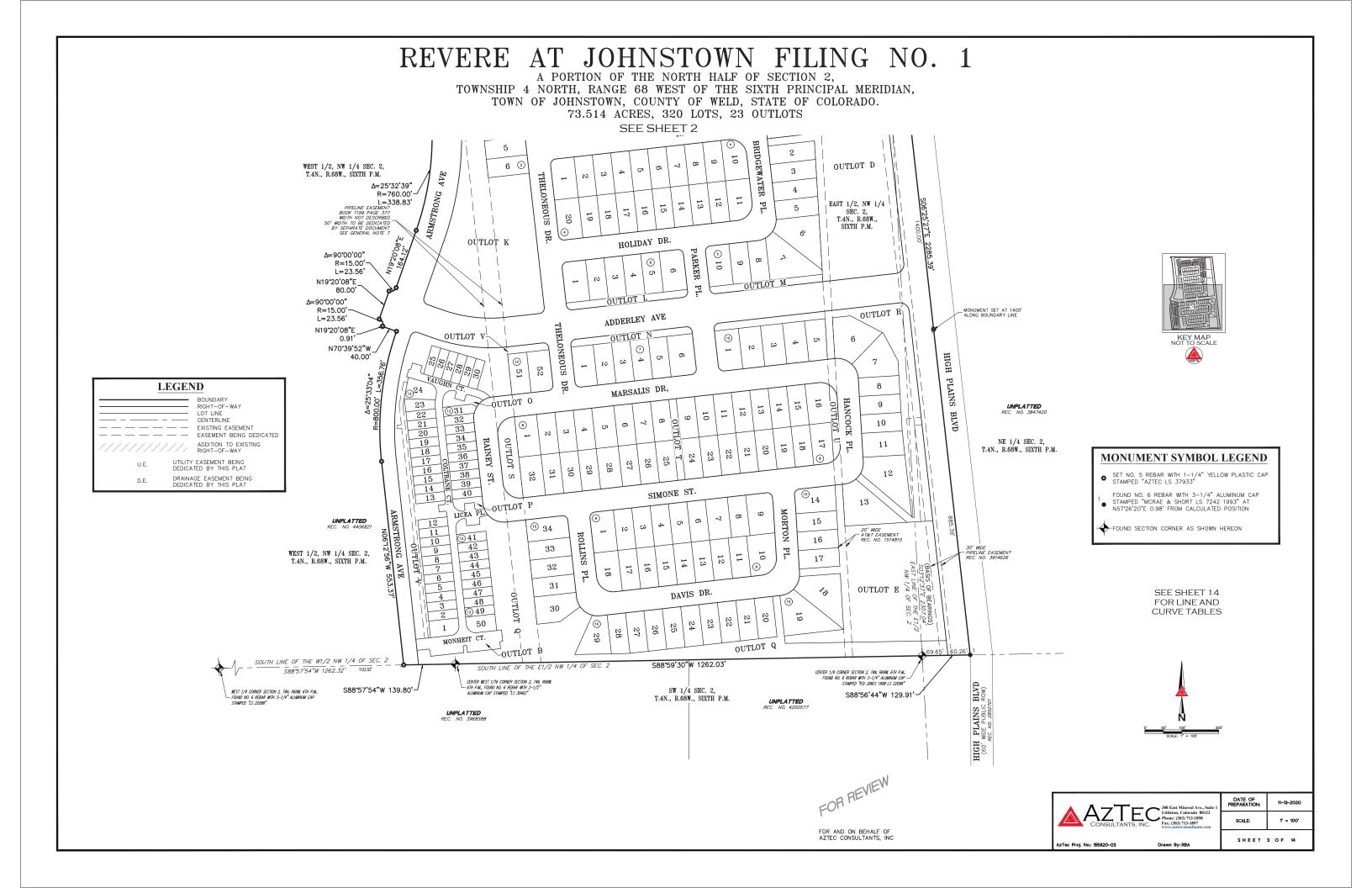




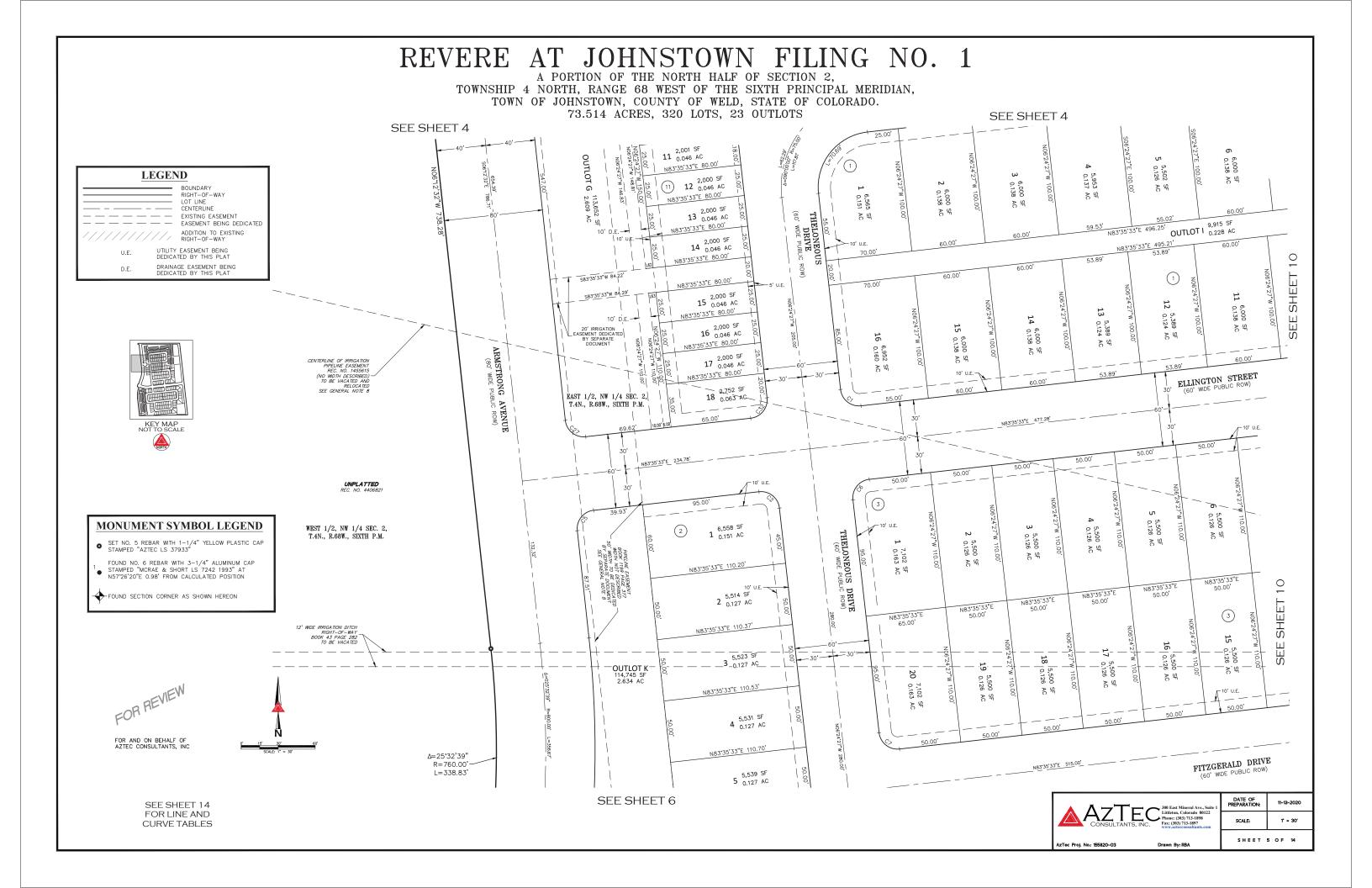
T = 100'

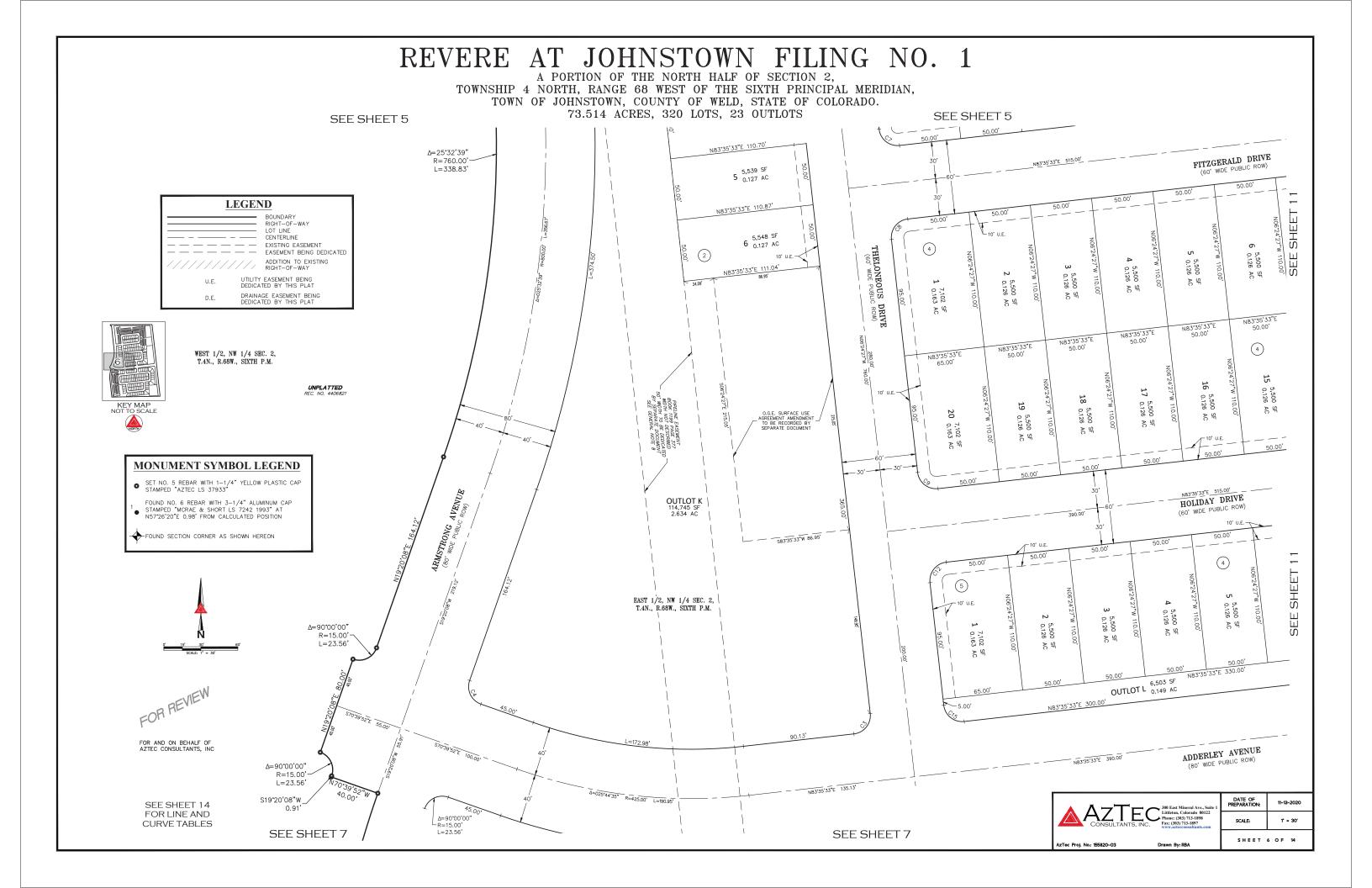
SEE SHEET 3

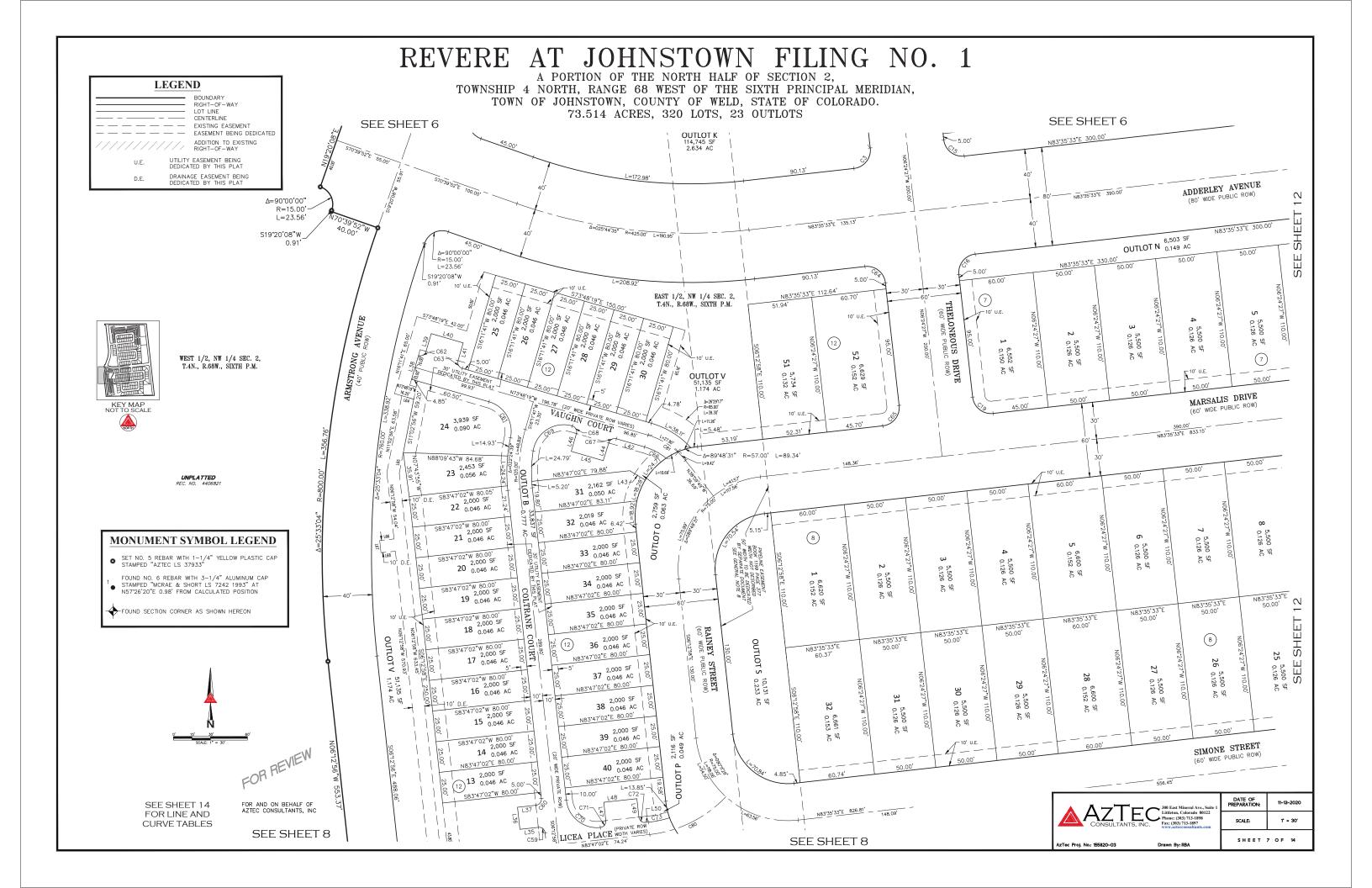


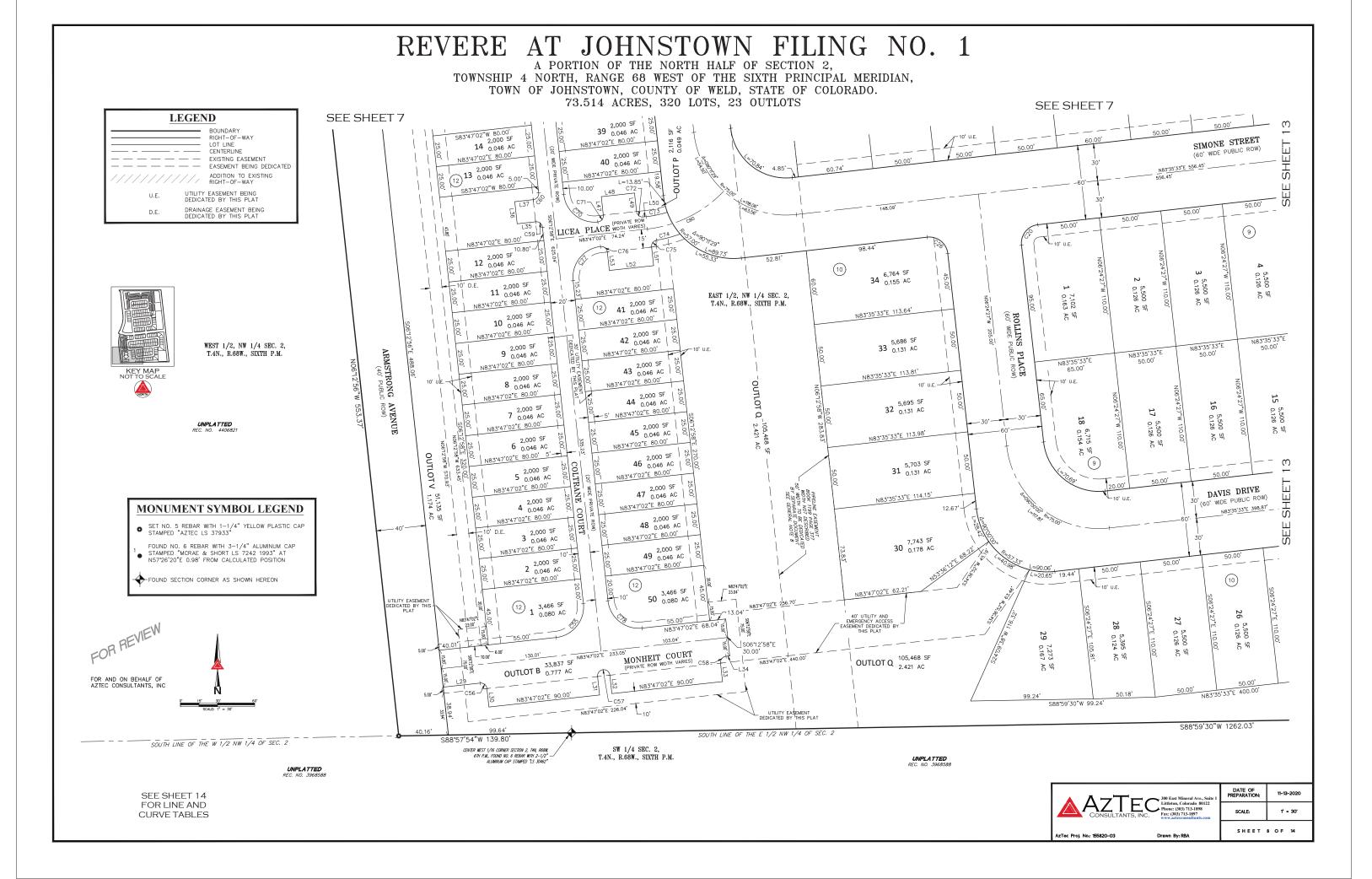


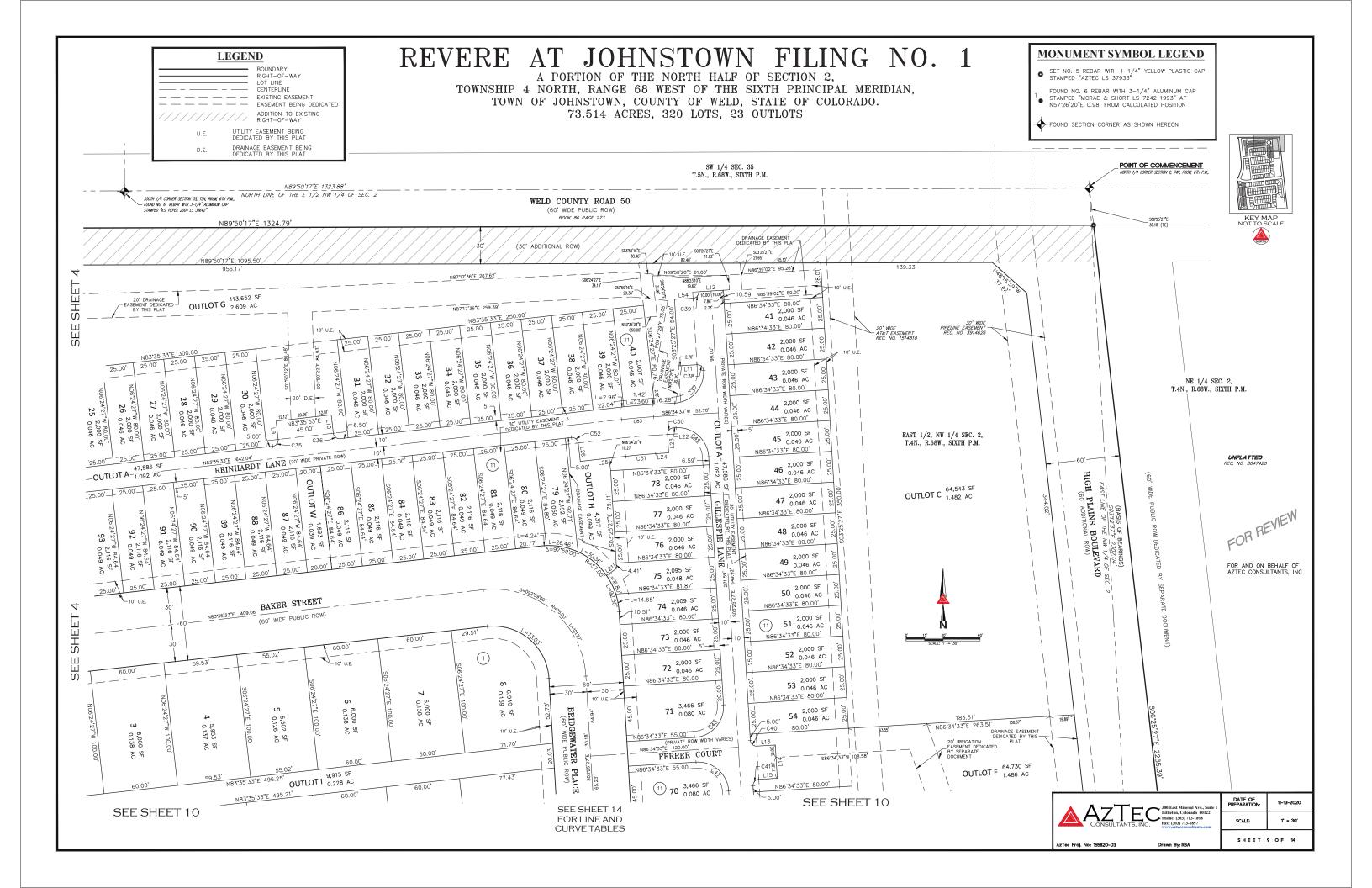
REVERE AT JOHNSTOWN FILING NO. 1 A PORTION OF THE NORTH HALF OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO. 73.514 ACRES, 320 LOTS, 23 OUTLOTS MEST 16TH CORNER, SECTION 2 & SECTION 35 - FOUND NO. 6 REBAR MITH 3-1/4" ALUMINUM CAF STAMPED "MCREA & SHORT INC LS 7242" SW 1/4 SEC. 35 T.5N., R.68W., SIXTH P.M. NORTH LINE OF THE E 1/2 NW 1/4 OF SEC. 2 NORTH LINE OF THE W 1/2 NW 1/4 OF SEC. 2 SOUTH 1/4 CORNER SECTION 35, T5N, R68W, 6TH P.M., - FOUND NO. 6 REBUR WITH 3-1/4" ALUMINUM CAP STAMPED "KSI PEPEK 2004 LS 33642" WELD COUNTY ROAD 50 (60' WIDE PUBLIC ROW) N89°50'17"E 1324.79' N04°42'30"W_ (30' WIDE ADDITIONAL ROW) SHEE - L=20.41" N89°50'28"E N83'35'33"E 65.00 13.99 N83*35'33"E_45.00' 113,652 SF Δ=83*57'00" S81*57'28"E_58.08' ____ C84 -OUTLOT G 2.609 AC R=25.00'-SE L=36.63' EAST 1/2, NW 1/4 SEC. 2, 1 0.047 AC T.4N., R.68W., SIXTH P.M. 2,046 SF 32 10' D.E. 2 0.047 AC S83°35'33"W 81.86' 2,046 SF KEY MAP NOT TO SCALE 3 0.047 AC 19 20 N83°35'33"E 45.00' -6.50 5.00 4 0.047 AC REINHARDT LANE (20' WIDE PRIVATE ROW) ARMSTRONG AVENUE -C33 S83'35'33"W 81.86' 2,046 SF 5 0.047 AC WEST 1/2, NW 1/4 SEC. 2, 47,586 SF _OUTLOT A-1.092 AC OUTLOT W 84 6 0.047 AC 28 87 UNPLATTED REC. NO. 4406821 \$83°35'33"W 81.86' 89 90 -10' U.E. 7 0.047 AC 92 94 95 97 0 98 MONUMENT SYMBOL LEGEND 100 SHEET 2,046 SF 8 0.047 AC • SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933" NB3'35'33"E 409.96' BAKER STREET 5.00' FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57"26'20"E 0.98' FROM CALCULATED POSITION ∟L=8.17 SEE (60' WIDE PUBLIC ROW) N83'35'33"E 77.93' 2,162 SF 9 0.050 AC L6 N83*35'33"E 89.83' **LEGEND** 10 0.048 AC N83*35'33"E 80.43' RIGHT-OF-WAY LOT LINE CENTERLINE 2,001 SF OUTLOT G 11 0.046 AC — — — FXISTING FASEMENT 6,000 0.138 N83°35'33"E 80.00 EASEMENT BEING DEDICATED 5,502 0.126 ADDITION TO EXISTING RIGHT-OF-WAY 12 2,000 SF 0.046 AC 5,953 0.137 6,000 0.138 S SF UTILITY EASEMENT BEING DEDICATED BY THIS PLAT 6,000 0.138 N83'35'33"E 80.00' AS SE DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT S SF 13 0.046 AC N83'35'33"E 496.25" OUTLOT I 9,915 SF N83'35'33"E 80.00' 2,000 SF N83'35'33"E 495.21' 14 0.046 AC SEE SHEET 14 SEE SHEET 5 11-13-2020 FOR LINE AND SEE SHEET 5 **CURVE TABLES** 1" = 30" SCALE: SHEET 4 OF 14

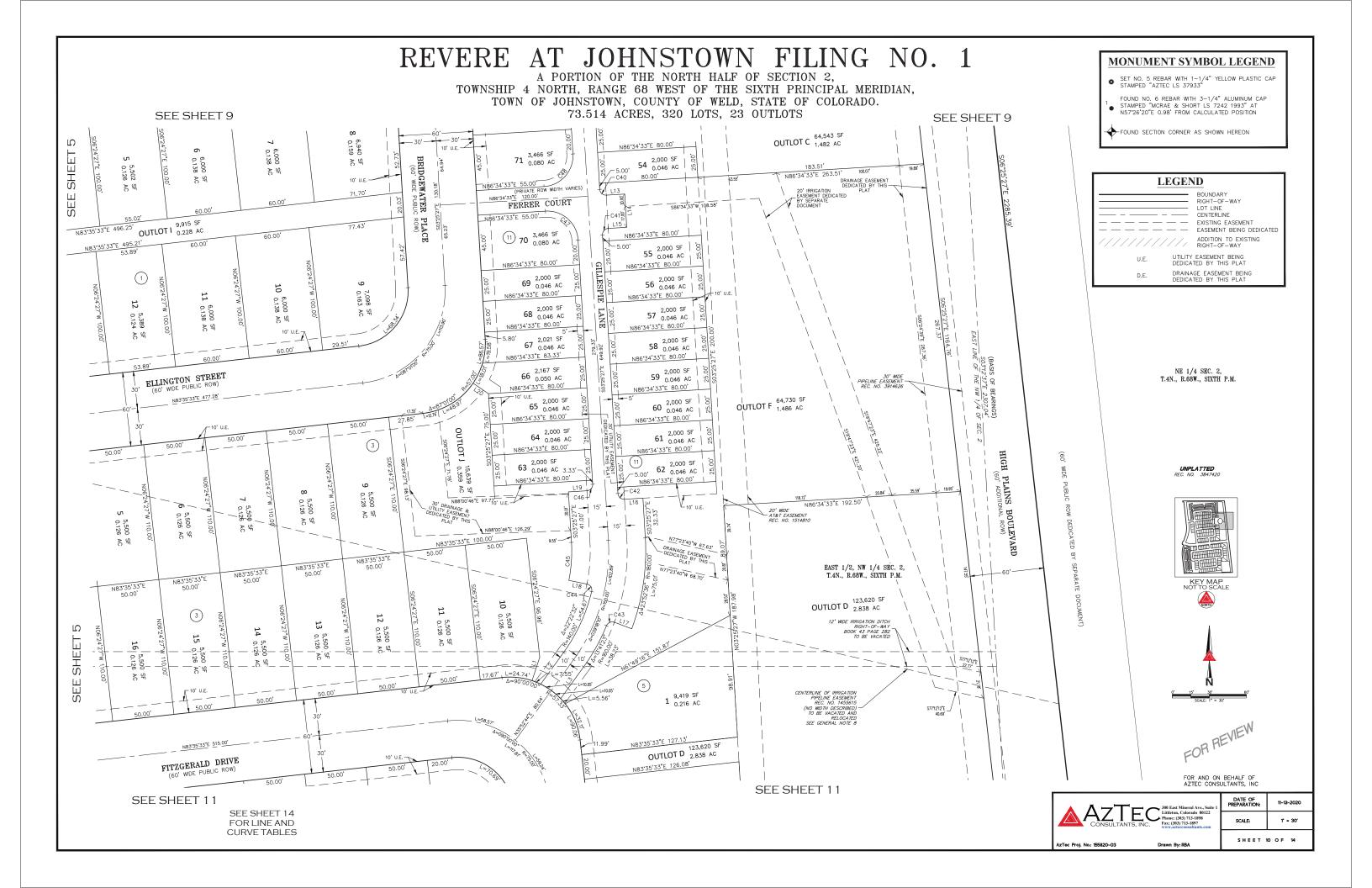


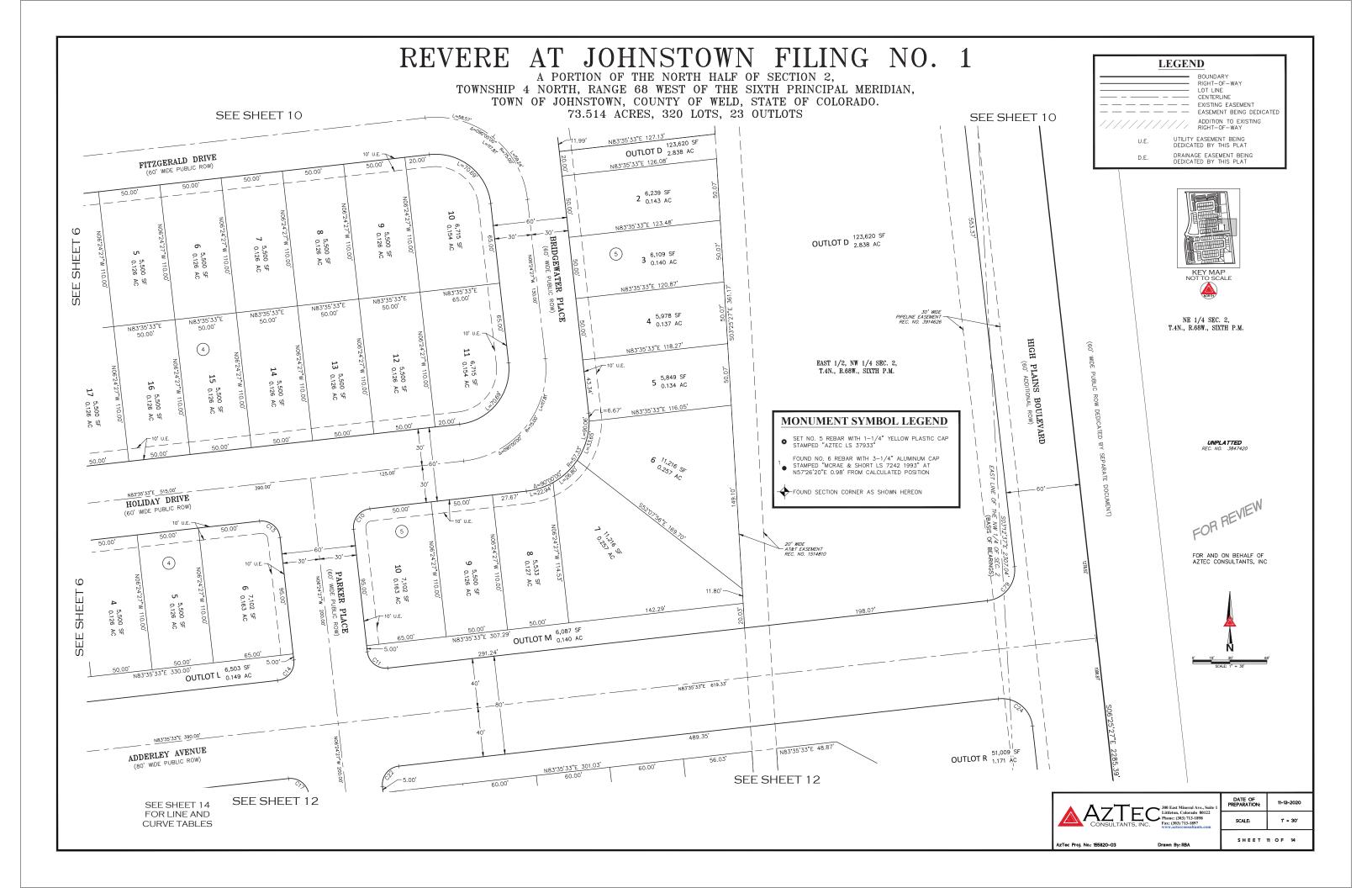


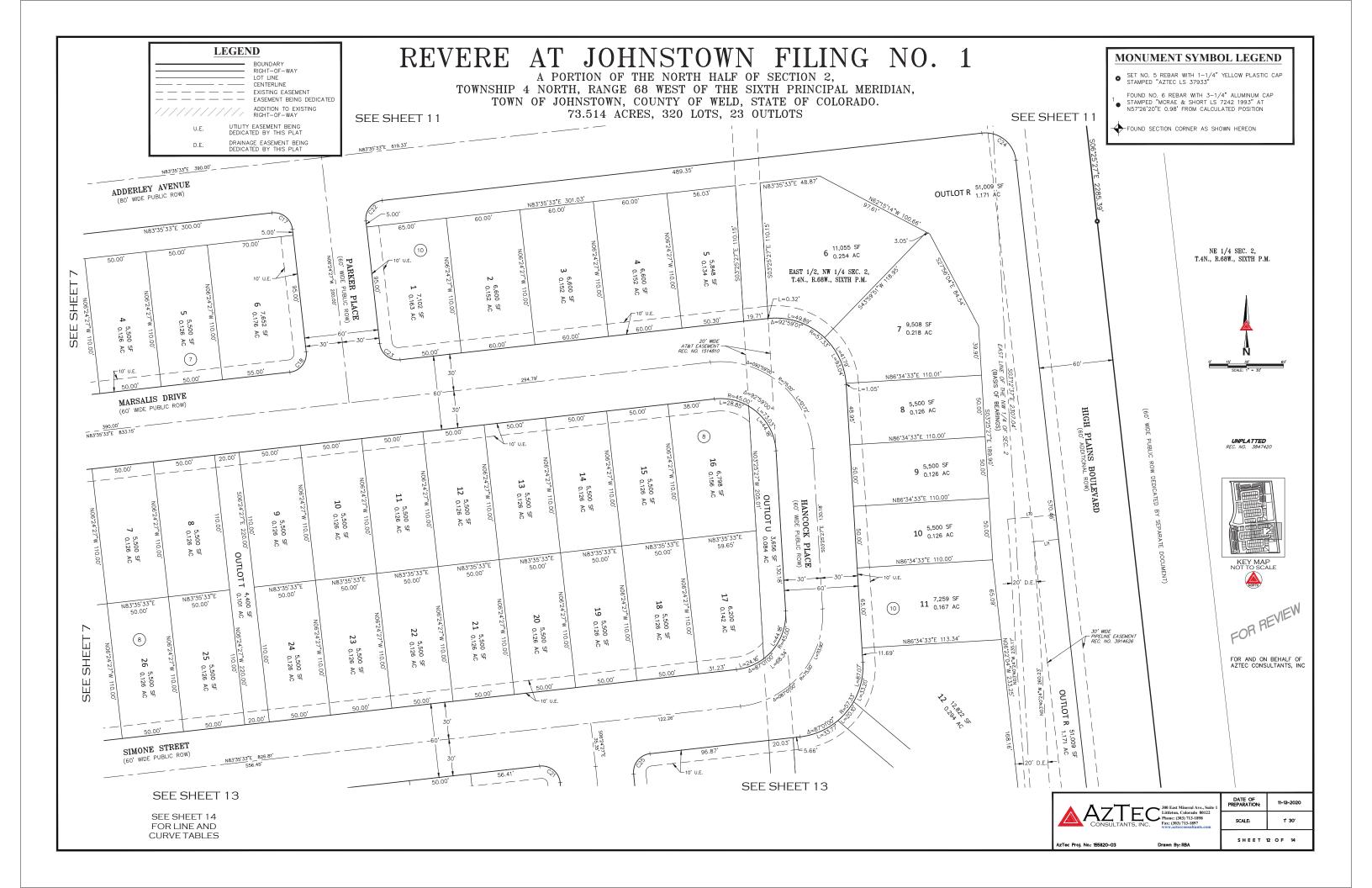


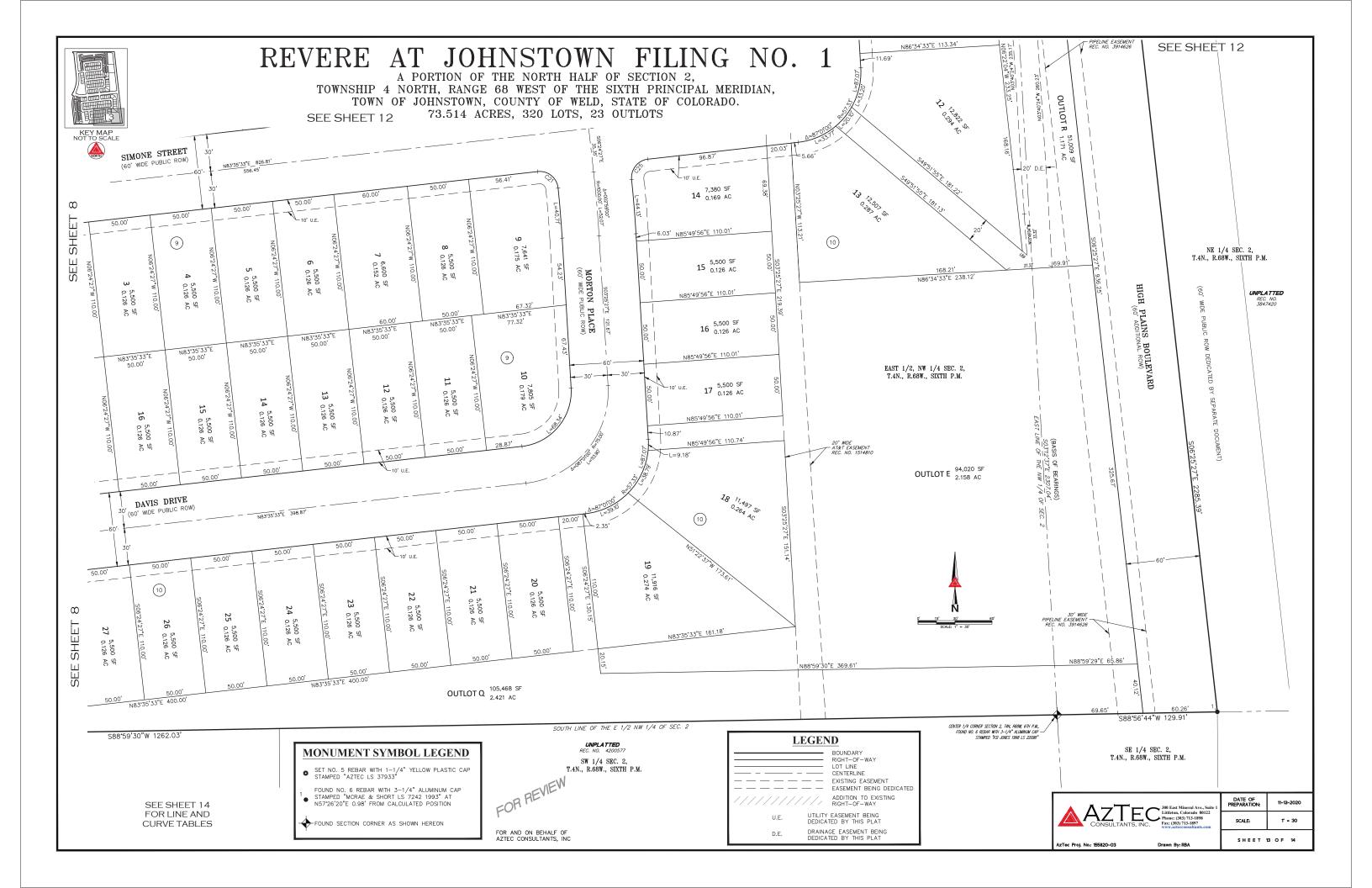












REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,

TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO. 73.514 ACRES, 320 LOTS, 23 OUTLOTS

	LINE TABLE	
LINE	BEARING	LENGTH
L1	S18*08'55"W	20.11
L2	N35*52'44"E	31.77
L3	N35*52'44"E	31.78'
L4	S79*46'12"W	15.17
L5	S65*01'36"W	15.17
L6	N48*49'10"W	9.70'
L7	N83*35'33"E	15.00'
L8	S06*24'27"E	7.75'
L9	N06*24'27"W	15.00'
L10	N06*24'27"W	15.00'
L11	S86*34'33"W	15.00'
L12	N86*34'33"E	20.00'
L13	N86*34'33"E	15.00'
L14	S03*25'27"E	27.00'
L15	N86*34'33"E	15.00'
L16	N86*34'33"E	15.00'
L17	S69*32'51"E	15.08'
L18	S78*37'10"E	14.91'
L19	N86*34'33"E	15.00'
L20	N55*37'54"W	15.13'
L21	S54*57'41"W	9.93'
L22	S86*34'33"W	2.21'
L23	S03*25'27"E	15.00'
L24	S86*34'33"W	10.49'
L25	S83*35'33"W	37.04

LINE TABLE				
۱E	BEARING	LENGTH		
26	S06°24'27"E	15.00'		
27	N06*24'27"W	30.17		
28	N48*49'10"W	10.80'		
29	N83*47'02"E	30.01		
50	S0612'58"E	15.00'		
31	S0612'58"E	15.00'		
52	S0612'58"E	15.00'		
3	S0612'58"E	15.00'		
54	N83*47'02"E	3.04'		
55	S83*47'02"W	15.00'		
56	S06*12'58"E	18.00'		
57	S83*47'02"W	15.00'		
8	N16*11'41"E	20.00'		
59	N16°11'41"E	15.00'		
10	S73*48'19"E	27.00'		
11	S16*11'41"W	15.00'		
12	N73*48'19"W	23.76'		
13	S58*49'06"E	14.75'		
4	N17*26'31"E	15.11'		
15	N73*48'19"W	27.00'		
16	N16*11'41"E	15.00'		
17	N0612'58"W	15.00'		
18	N83*47'02"E	27.00'		
19	N0612'58"W	15.00'		
60	N83*47'02"E	2.24'		

LINE TABLE			
LINE	BEARING	LENGTH	
L51	S0612'58"E	15.20'	
L52	N83*47'02"E	36.00'	
L53	S0612'58"E	15.00'	
L54	S86*34'33"W	15.00'	
L55	N83*35'33"E	20.00'	
L56	N83*35'33"E	15.00'	
L57	N07*59'12"E	6.09'	
L58	N07*59'12"E	4.82'	
L59	S06*24'27"E	29.47'	
L60	N83*35'33"E	13.00'	
L61	N06*24'27"W	10.00'	
L62	S83*35'33"W	6.00'	
L63	S83*35'33"W	6.00'	
L64	S73*48'19"E	10.04	
L65	N11*02'56"E	17.02'	
L66	N83*47'02"E	11.71	
L67	S06"12'58"E	10.00'	
L68	N83*47'02"E	11.71'	
L69	N49*51'55"W	4.82'	
L70	N84*58'05"E	39.21	
L71	N84*58'05"E	20.16	

	CURVE	TABLE		CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH	CURVE	DELTA	RADIUS	LENGTH
C1	90*00'00"	15.00'	23.56'	C23	90'00'00"	15.00'	23.56'
C2	90*00'00"	15.00'	23.56'	C24	89*59'00"	25.00'	39.26'
C3	90*00'00"	15.00'	23.56'	C25	89*28'16"	15.00'	23.42'
C4	90*00'00"	15.00'	23.56'	C26	90*00'00"	15.00'	23.56'
C5	89*48'05"	15.00'	23.51	C27	90*11'55"	15.00'	23.61'
C6	90*00'00"	15.00'	23.56'	C28	96*02'48"	25.00'	41.91'
C7	90*00'00"	15.00'	23.56'	C29	8610'39"	5.00'	7.52'
C8	90*00'00"	15.00'	23.56'	C30	14*44'36"	90.00'	23.16'
C9	90*00'00"	15.00'	23.56'	C31	8610'39"	5.00'	7.52'
C10	90*00'00"	15.00'	23.56'	C32	90*00'00"	15.00'	23.56'
C11	90*00'00"	15.00'	23.56'	C33	90'00'00"	5.00'	7.85'
C12	90*00'00"	15.00'	23.56'	C34	90'00'00"	20.00'	31.42'
C13	90*00'00"	15.00'	23.56'	C35	90'00'00"	5.00'	7.85'
C14	90*00'00"	15.00'	23.56'	C36	90'00'00"	5.00'	7.85'
C15	90*00'00"	15.00'	23.56'	C37	90*00'00"	25.00'	39.27
C16	90*00'00"	15.00'	23.56'	C38	90*00'00"	5.00'	7.85'
C17	90*00'00"	15.00'	23.56'	C39	90*00'00"	5.00'	7.85'
C18	90*00'00"	15.00'	23.56'	C40	90*00'00"	5.00'	7.85'
C19	90°00'00"	15.00'	23.56	C41	90*00'00"	5.00'	7.85
C20	90°00'00"	15.00'	23.56	C42	90*00'00"	5.00'	7.85
C21	90°34'43"	15.00'	23.71	C43	8815'49"	5.00'	7.70'
C22	90*00'00"	15.00'	23.56'	C44	92'07'21"	5.00'	8.04'

	CURVE	TABLE	
CURVE	DELTA	RADIUS	LENGTH
C45	14*48'17"	120.00'	31.01'
C46	90'00'00"	5.00'	7.85'
C47	90'00'00"	25.00'	39.27
C48	90'00'00"	25.00'	39.27
C49	90°00'00"	25.00'	39.27
C50	90°00'00"	5.00'	7.85
C51	2*59'00"	470.00'	24.47
C52	90°00'00"	5.00'	7.85'
C53	90'00'00"	20.00'	31.42'
C54	42*24'43"	50.00'	37.01
C55	90'00'00"	25.00'	39.27
C56	90'00'00"	5.00'	7.85'
C57	180°00'01"	5.00'	15.71'
C58	90'00'00"	5.00'	7.85'
C59	90'00'00"	5.00'	7.85'
C60	90°00'00"	5.00'	7.85'
C61	85*48'27"	25.00'	37.44
C62	90°00'00"	5.00'	7.85
C63	90°00'00"	5.00'	7.85
C64	90°00'00"	15.00'	23.56'
C65	90°00'00"	15.00'	23.56'
C66	22*45'14"	50.00'	19.86'

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH		
C67	88*45'10"	5.00'	7.75		
C68	90'00'00"	5.00'	7.85		
C69	97*28'04"	25.00'	42.53		
C70	90*00'00"	25.00'	39.27		
C71	90*00'00"	5.00'	7.85		
C72	90*00'00"	5.00'	7.85		
C73	11"10'13"	90.00'	17.55		
C74	1012'35"	110.00'	19.60'		
C75	86*37'48"	5.00'	7.56'		
C76	90'00'00"	5.00'	7.85		
C77	90'00'00"	25.00'	39.27		
C78	90'00'00"	25.00'	39.27		
C79	90*01'00"	25.00'	39.28		
C80	40*19'11"	100.00'	70.37		
C81	35*38'30"	60.00'	37.32		
C82	42*24'43"	60.00'	44.41		
C83	2*59'00"	500.00'	26.04		
C84	90*00'00"	5.00'	7.85		
C85	12*54'41"	70.00'	15.77		



N/A



PROJECT INTENT

THIS SUBDIVISION IS DESIGNED TO MEET THE INTENT OF THE GREAT PLAINS VILLAGE ODP. FILING NO. 1 INCLUDES A MIX OF SMALLER SINGLE-FAMILY DETACHED LOTS (50' x 110') AND ALLEY-LOADED DUPLEX LOTS. THE SUBDIVISION WILL RESULT IN ADDING HOUSING DIVERSITY TO MEET A VARIETY OF NEEDS IN THE JOHNSTOWN COMMUNITY. VEHICULAR ACCESS, PARKS, OPEN SPACE, AND PEDESTRIAN CONNECTIONS MEET THE REQUIREMENTS ESTABLISHED IN THE ODP, AS WELL AS THE TOWN MUNICIPAL CODE AND DESIGN GUIDELINES. FILING NO.1 WILL BE A QUALITY COMMUNITY WITH A METRO DISTRICT RESPONSIBLE FOR MAINTENANCE OF ALL DETENTION PONDS, COMMON AREA LANDSCAPING, AND PARKS AND OPEN SPACE. PERIMETER LANDSCAPING WILL ENHANCE THE QUALITY OF THE COMMUNITY AND WILL BE MAINTAINED THROUGHOUT THE DEVELOPMENT.

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6th PRINCIPAL MERIDIAN; TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO: BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 2, FROM WHICH THE CENTER QUARTER CORNER OF SAID SECTION 2 BEARS SOUTH 03°12'37" EAST, A DISTANCE OF 2.307.04. WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE SOUTH 06°25'27" EAST, A DISTANCE OF 30.18 FEET TO THE POINT OF BEGINNING, BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 50 AS DEDICATED IN BOOK 86 AT PAGE 273 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER;

THENCE SOUTH 06°25'27" EAST, A DISTANCE OF 2,285.39 FEET TO A POINT ON THE SOUTH LINE

THENCE SOUTH 88°56'44" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 129.91 FEET TO SAID CENTER QUARTER CORNER OF SECTION 2:

THENCE SOUTH 88°59'30" WEST, ALONG THE SOUTH LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 1,262.03 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 2:

THENCE SOUTH 88°57'54" WEST, ALONG THE SOUTH LINE OF THE WEST HALF OF SAID NORTHWEST QUARTER OF SECTION 2, A DISTANCE OF 139.80 FEET;

THENCE THE FOLLOWING ELEVEN (11) COURSES:

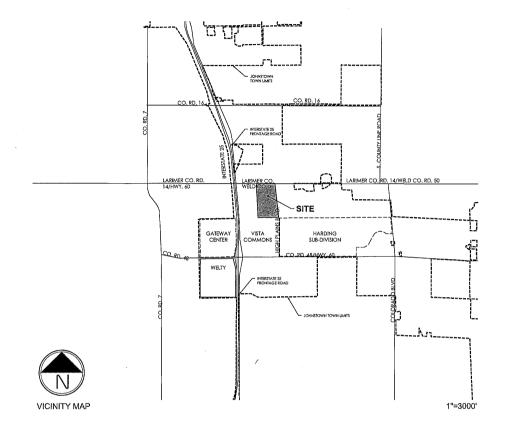
- NORTH 06°12'56" WEST, A DISTANCE OF 553.37 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 800.00 FEET;
- NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°33'04", AN ARC LENGTH OF 356.76 FEET:
- 3. NORTH 70°39'52" WEST, A DISTANCE OF 40.00 FEET:
- 4. NORTH 19°20'08" EAST, A DISTANCE OF 0.91 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET;
- 5. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET:
- NORTH 19°20'08" EAST, A DISTANCE OF 80.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 15.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 19°20'08" EAST;
- NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC
- 8. NORTH 19°20'08" EAST, A DISTANCE OF 164.12 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 760.00 FEET;
- 9. NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°32'39", AN ARC
- 10 NORTH 06°12'32" WEST, A DISTANCE OF 738.28 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 25.00 FEET;
- NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 83°57'00", AN ARC LENGTH OF 36.63 FEET;

THENCE SOUTH 89°50'28" WEST, A DISTANCE OF 13.99 FEET:

THENCE NORTH 04°42'30" WEST, A DISTANCE OF 30.10 FEET TO A POINT ON SAID SOUTHERLY

THENCE NORTH 89°50'17" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY, A DISTANCE OF 1 324 79 FFFT TO THE POINT OF BEGINNING

CONTAINING AN AREA OF 73.514 ACRES, (3,202,273 SQUARE FEET), MORE OR LESS.



<u>OUTLOT SUMMARY</u>					
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	47,586	1.09
OUTLOT B	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	33,837	0.78
OUTLOT C	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,543	1.48
OUTLOT D	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	123,620	2.84
OUTLOT E	DRAINAGE & UTILITY & PED ACESS	METRO DISTRICT #2	METRO DISTRICT #2	94,020	2.16
OUTLOT F	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,730	1.49
OUTLOT G	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	113,652	2.61
OUTLOT H	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,317	0.10
OUTLOT I	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	9,915	0.23
OUTLOT J	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	15,639	0.36
OUTLOT K	PARK & LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	111,412	2.56
OUTLOT L	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT M	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,087	0.14
OUTLOT N	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT O	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,759	0.06
OUTLOT P	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,116	0.05
OUTLOT O	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	105,468	2.42
OUTLOT R	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,009	1.17
OUTLOT S	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	10,131	0.23
OUTLOT T	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,400	0.10
OUTLOT U	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	3,656	0.08
OUTLOT V	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,135	1.17
OUTLOT W	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	1,693	0.04
			TOTAL AREA	934,729	21.46

APPLICANT/PROJECT MANAGER **ENGINEER**

OWNER

SUITE 710

303-263-2105

PLATTE LAND & WATER, LLC

210 UNIVERSITY BLVD.

DENIVER CO 80206

KRISTIN DEAN TESS HOGAN INNOVATIVE LAND CONSULTANTS, INC. FORESTAR GROUP, INC. 9555 S. KINGSTON CT. 12071 TEJON STREET SUITE 200 SHITE 470 ENGLEWOOD, CO 80112 WESTMINSTER, CO 80234 303-754-3223 303-421-4224 tess@innovativelandinc.com KristinDean@forestar.com

PLANNER

JEEF MARCK TERRACINA DESIGN 10200 E. GIRARD AVENUE BLDG, A. SUITE 314 DENVER, CO 80231 303-632-8867

jmarck@terracinadesign.com

SURVEYOR

JIM LYNCH AZTEC CONSULTANTS, INC. 300 E MINERAL AVENUE UNIT #1 LITTLETON, CO 80122 303-713-1898 ilvnch@aztecconsultants.com

APPROVALS

PLANNING AND ZONING COMMISSION

THIS FINAL DEVELOPMENT PLAN, TO BE KNOWN AS REVERE AT JOHNSTOWN FILING NO. 1 FDP, WAS APPROVED BY ACTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF JOHNSTOWN, COLORADO AT A REGULAR MEETING HELD ON THE DAY OF

CHAIR PLANNING AND ZONING COMMISSION

TOWN COUNCIL

THIS FINAL DEVELOPMENT PLAN, TO BE KNOWN AS REVERE AT JOHNSTOWN FILING NO. 1 FDP, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE

MAYOR TOWN CLERK

REVERE AT JOHNSTOWN FILING NO. 1 GENERAL NOTES

- A ALL LINPLATTED PROPERTY (PER THE FINAL PLAT SURDIVISION PROCESS) WITHIN THIS PUD MAY REMAIN IN AGRICULTURAL USE UNTIL SUCH TIME AS DEVELOPMENT OF
- B. FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE IN ACCORDANCE WITH THE APPLICABLE FINAL DRAINAGE REPORTS AND PLANS.
- C. THE SITE DOES NOT CONTAIN ANY KNOWN ENDANGERED SPECIES
- D. NO ARCHAEOLOGICAL OR HISTORIC AREAS HAVE BEEN IDENTIFIED ON THE SITE.
- E. NO FLOODPLAINS, WETLANDS, OR GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED OR MAPPED ON THE SITE.

RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN DEVELOPMENT TO THE EXTENT PERMITTED BY THE TOWN OF JOHNSTOWN MUNICIPAL CODE WHERE STANDARDS, DETAILS, AND GUIDELINES OF THE PUD (OUTLINE, PRELIMINARY, OR FINAL DEVELOPMENT PLANS) DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT OR ARE SILENT. THE JOHNSTOWN MUNICIPAL CODE AND OTHER STANDARDS, REGULATIONS, AND GUIDELINES SHALL BE USED. ALL PROPOSED DEVELOPMENT IS SUBJECT TO TOWN OF JOHNSTOWN REVIEW PROCEDURES.

	SO. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, O, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
ZTO LIATOT	320		

SHEET INDEX

1	COVER
2-5	SITE PLANS
6-16	LANDSCAPE PLANS
17-19	LANDSCAPE NOTES & DETAILS
20	HOUSING TYPE PLAN
21-22	LOT TYPICALS
23-24	ARCHITECTURAL CHARACTER IMAGERY
25	OPEN SPACE PLAN
26	CIRCULATION PLAN
27	PARKING PLAN
28	FENCING PLAN
29	PHASING PLAN & PLANNING AREA PLAN

DESIGN GUIDELINES

what's below Call before you dig





PROJECT NAME

JOHNSTOWN

PLAN 9 P TOWN

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2 SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

COVER

SHEET NUMBER

SHEET 1 OF 30

- AREAS OUTSIDE THE LIMITS OF CONSTRUCTION OF REVERE AT JOHNSTOWN FILING NO. 1 ARE
- ALIGNMENTS AND STATIONING ARE OFF THE BASELINE OF CONSTRUCTION UNLESS OTHERWISE
- NOTED.
 FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION, PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF CONFLICTS WITH EXISTING UTILITIES.
 ALL UTILITIES ARE PROPOSED UNLESS OTHERWISE NOTED.
 EXISTING UTILITIES SHALL BE PROTECTED AT ALL TIMES THROUGHOUT CONSTRUCTION UNLESS
- OTHERWISE SHOWN IN THESE PLANS.
 CONNECTIONS TO EXISTING CONCRETE CURB, GUTTER AND/OR SIDEWALK SHALL BE TO NEAREST
- JOIN1.
 FIRE HYDRANT FLANGE ELEVATION SHALL BE 6" ABOVE FINISH GRADE FLEVATION.

- FIRE HYDRANT FLANGE ELEVATION SHALL BE 6' ABOVE FINISH GRADE ELEVATION.
 ALL PROPOSED WATER MAIN PIPES SHALL BE C900 PVC.
 SANITARY SEWER MAIN PIPES SHALL BE SDR-35 PVC.
 RIM AND TOP ELEVATIONS OF ALL EXISTING STRUCTURES (MANHOLES, VALVES, HYDRANTS, INLETS)
 SHALL BE ADJUSTED TO MATCH FINISH GRADE ELEVATIONS.

 5TORM INLETS LOCATED AT PCR ARE STATIONED AT PCR. ALL OTHERS ARE STATIONED AT FLOW LINE
- MIDPOINT.

 12. MAINTAIN A MINIMUM OF 1.5' VERTICAL SEPARATION BETWEEN WATER MAINS AND STORM SEWER

- MIDPOINT:

 1. MAINTAIN A MINIMUM OF 1.5' VERTICAL SEPARATION BETWEEN WATER MAINS AND STORM SEWER AT ALL LOCATIONS. ANY WATER CROSSING WITH LESS THAN A 2' VERTICAL CLEARANCE TO STORM DRAIN SHALL HAVE A 6' LAYER OF EXTRUDED POLYSTYRENE FOAM KIPS, WARPPED AROUND THE WATER MAIN TO A MINIMUM OF 5' ON EACH SIDE OF THE STORM DRAIN.

 1. ANY SANTIAPY SEWER OR STORM DRAIN WITHIN 18' VERTICAL CLEARANCE OF WATER MAIN CROSSING OR WITH A WATER MAIN CROSSING BELOW SHALL BE ENCASED PER TOWN OF JOHNSTOWN UTILITY ENCASEMENT DETAIL.

 1. WATERLINES ARE RECUIRED TO BE A MINIMUM OF 5' BELOW FINISH GRADE.

 1. ALL SANITARY SERVICES SHALL BE 4' PVC AND SLOPED AT 2% MIN.

 1. ALL VAYER SERVICES SHALL BE 4' PVC AND SLOPED AT 2% MIN.

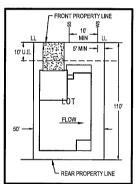
 1. CURB AND GUTTER TRANSITIONS FROM MOUNTABLE CATCH TO VERTICAL CATCH OR VICE-VERSA SHALL OCCUR WITHIN THE CURB RAMP AT THE CURB RETURNS.

 1. CONTRACTORS SHALL MAINTAIN A MINIMUM OF 0.5% GRADE AT FLOW LINE INTO INLET.

 1. FLOWLINE ELEVATION AT INLETS IS THEORETICAL. INLETS THROAT INVERT 5' 3' BELOW FL. WHEN LOCATED WITHIN VEH TO PER CURB SECTION DETAIL AND INLET DETAIL, WHICH RESULTS IN A THROAT INVERT 9' 3' BELOW FL. WHEN LOCATED WITHIN VEH CURB AS GUTTER.

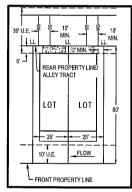
 2. AT TIME OF PLAN PREPARATION, NO UNDERDRAIN SYSTEM WAS ANTICIPATED AND THEREFORE NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTORY OWNER TO VERIFY ACTUAL UNDERDRAIN DESIGN REPORT, FINAL LESSON OF ANY AND ALL UNDERDRAIN SYSTEM WAS ANTICIPATED AND THEREFORE NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTORY OWNER TO VERIFY ACTUAL UNDERDRAIN DESIGN REPORT, FINAL LESSON OF ANY AND ALL UNDERDRAIN SYSTEM WAS ANTICIPATED AND THEREFORE NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTORY OWNER TO VERIFY ACTUAL UNDERDRAIN DESIGN RECUIRED MENTS SHALL BE IN ACCORDANCE WITH A GEOTECHNICAL DESIGN OF ANY AND ALL UNDERDRAIN SYSTEMS SHALL BE IN ACCORDANCE WITH A GEOTECHNICAL UNDERDRAIN DESIGN REQUIREMENTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, FINAL DESIGN OF ANY AND ALL UNDERDRAIN SYSTEMS SHALL BE IN ACCORDANCE WITH A GEOTECHNICAL INVESTIGATION PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY AND ALL UNDERDRAIN NOT CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.

 1. AT ALL POINTS WHERE PROPOSED UTILITIES CONNECT TO EXISTING, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, SLOPE, AND ELEVATION OF EXISTING UTILITIES. IF FIELD VERIFIED INFORMATION DIFFERS FROM THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY PROJECT CIVIL ENGINEER.



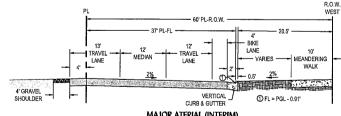
TYPICAL LOT EASEMENT LAYOUT SINGLE FAMILY DETACHED

LOT EASEMENTS SHALL BE AS SHOWN ON THIS DETAIL UNLESS OTHERWISE NOTED ON PLANS.

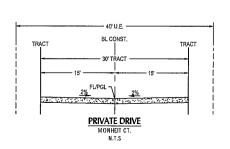


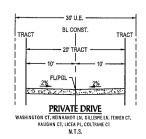
TYPICAL LOT FASEMENT LAYOUT DUPLEX

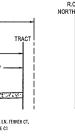
1. LOT EASEMENTS SHALL BE AS SHOWN ON THIS



MAJOR ATERIAL (INTERIM) IGH PLAINS BLVI NTS

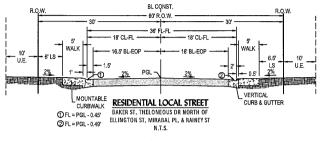


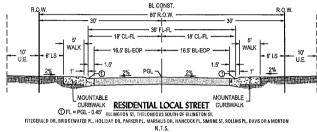


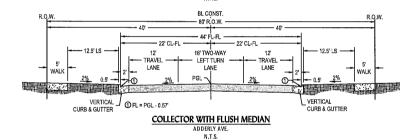


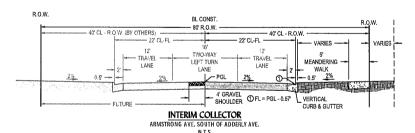
REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN

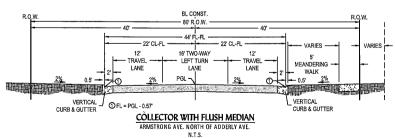
TOWN OF JOHNSTOWN, COLORADO

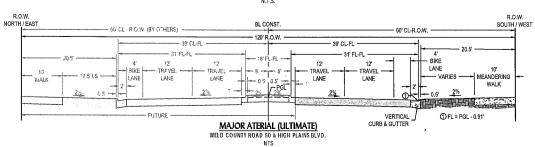


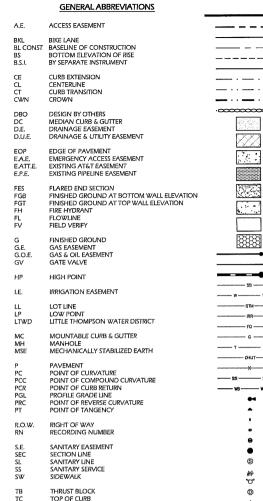












TRANSPORTATION FASEMENT

TOP ELEVATION OF RISER

VERTICAL CURB & GUTTER

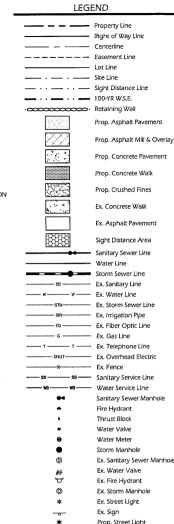
WATER SURFACE ELEVATION

WATER EASEMENT

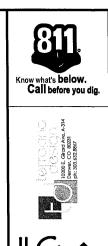
WATER LINE WATER SERVICE

VC

W.E.



Prop. Sign





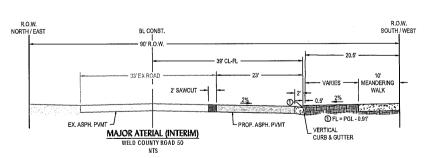
JOHNSTOWN IT PLAN COLORA 2

FINAL DEVELOPMENT JOHNSTOWN, FILING RE P Ш \subseteq 2

02-05-2021 REVISION DATE:

SUBMITTAL DATE:

SHEET TITLE



8 S A Z PIC 0 > 0 S

SHEET NUMBER

SHEET 2 OF 30

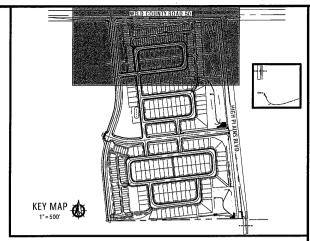
NGS CONTROL POINT "JOHNSON" BEING A 1 STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOY'S RV IN JOHNSON'S CORNER, WEST OF THE FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE DATUM ELEV. = 5000.64 (NAVD88)

	<u>OUTLOT S</u>	SUMMARY			
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	47,586	1.09
OUTLOT B	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	33,837	0.78
OUTLOT C	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,543	1.48
OUTLOT D	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	123,620	2.84
OUTLOT E	DRAINAGE & UTILITY & PED ACESS	METRO DISTRICT #2	METRO DISTRICT #2	94,020	2.16
OUTLOT F	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,730	1.49
OUTLOT G	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	113,652	2.61
OUTLOT H	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,317	0.10
OUTLOT I	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	9,915	0.23
OUTLOT J	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	15,639	0.36
OUTLOT K	PARK & LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	111,412	2.56
OUTLOT L	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT M	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,087	0.14
OUTLOT N	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT O	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,759	0.06
OUTLOT P	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,116	0.05
OUTLOT Q	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	105,468	2.42
OUTLOT R	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,009	1.17
OUTLOT S	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	10,131	0.23
OUTLOT T	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,400	0.10
OUTLOT U	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	3,656	0.08
OUTLOT V	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,135	1.17
OUTLOT W	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	1,693	0.04
			TOTAL AREA	024 720	21.46

TOWN OF JOHNSTOWN, COLORADO

LAND SUMMAR	<u>'Y</u>		
	SQ. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
TOTAL LOTS	320		

1. SEE SHEET 2 (C.1) FOR TYPICAL STREET SECTIONS, GENERAL









REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

PLAN SITE

SHEET NUMBER

C.2

SHEET 3 OF 30

SCALE 1 inch = 60 ft.

DATUM ELEV. = 5000.64 (NAVD88)

LOT W LANDSCAPE & PED ACCESS METRO DISTRICT #2 WETRO DISTRICT #2 1.693 0.04 TOTAL AREA 934,729 21.46	ABBREVIATIONS LIST, GENERAL NOTES, TYPICAL LOT EASEMENT LAYOUT AND LEGEND.
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	-60 EX ROW 5" WELD COUNTY ROAD 50 5" WELD COUNTY ROAD 50 5" 5" 5" 5" 5" 5" 5" 5" 5" 5" 5" 5" 5"
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	8 2,000 SF 80 1 100 99 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
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80 81	10 72 80° 15 78 80° 15 78 6,940 SF 1 857 78 6,940 SF 1 80° 15 80°
- ARMSTR	2 000 SF 80 ST 1
^\331 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	WALK 13 20 LE BLK1 55 60 60 10 10 WALK 15 10
20 LE 80 ROW	
	2000 SF
	200 JE BS.J. 10 10 10 10 10 10 10 1
	OUTLOT G 18 8 2,2000 SF 19 2,000 SF 19 2,0
PLATTE LAND & WATER LLC RN 4406821 B.S.L. T	7815 TVP - 50 - 1 - 5
B3.1 4 820 =	95 5.500 SF
Δ=25'32'39' L=338.83'	7,660 SF
Ch=N06'33' 48'E ChL=336.03'	OUTLOT K 2 50' 50' 50' MATCH TO SHEET 4
	PROJECT BENCHMARK: NGS CONTROL POINT 'JOHNSON' BEING A 3' STEEL ROD
	SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOY'S RV IN JOHNSON'S CORNER, WEST OF THE 60 0 30 60 FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.
	SCALE

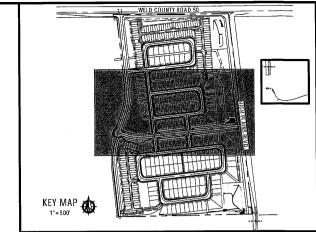
ACCESS & DRAINAGE & UTILITY ACCESS & DRAINAGE & UTILITY DRAINAGE & PED ACCESS DRAINAGE & PED ACCESS DRAINAGE & UTILITY & PED ACESS OUTLOTD OUTLOT F LANDSCAPE & DRAINAGE & UTILITY & PED ACCES METRO DISTRICT #2 METRO DISTRICT #2 113,652 2.61 METRO DISTRICT #2 METRO DISTRICT #2 4,317 0.10 METRO DISTRICT #2 METRO DISTRICT #2 9,915 0.23 LANDSCAPE & DRAINAGE OUTLOT G LANDSCAPE & DRAINAGE & PED ACCESS LANDSCAPE & DRAINAGE OUTLOT J LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 15,639 0.36 METRO DISTRICT #2 METRO DISTRICT #2 111,412 2.56 OUTLOT K PARK & LANDSCAPE & PED ACCESS

REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

LAND SUMMAR	RY		
	SQ. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
TOTAL LOTS	320		

NOTES:









PROJECT NAME

AT JOHNSTOWN ING NO. 1

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

REVERE SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

PLAN SITE

SHEET NUMBER

SHEET 4 OF 30

OUTLOT T LANDSCAPE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 4,400 0.10			-111
OUTLOT U UTILITY METRO DISTRICT #2 METRO DISTRICT #2 3,656 0.08	SEE SHEET 2 (C.1) FOR TYPICAL STREET SECTIONS, GENERAL ABBREVIATIONS LIST, GENERAL NOTES, TYPICAL LOT EASEMENT		
OUTLOT V LANDSCAPE & DRAINAGE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 51,135 1.17 OUTLOT W LANDSCAPE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 1,693 0.04	ABBREVATIONS EDIT, GENERAL NOTES, TIPICAL LOT EASEMENT LAYOUT AND LEGEND.		
TOTAL AREA 934,729 21.46			
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	65 15 14 5 5,500 sF 5	AIN	
110'	8 1 20 19 5500 SF 5,500 SF 8,500 SF		
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	9,419 SF		
	50-1-50-1-50		
\\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\	50 T 50 60 RO.W.		
	-FITZGERALD DR.	LK -	
	36' FLF1 126 126 127 127 126 12 2 50		
A=25'32'39"	1 50 + 50 + 50 - 1 50 - 1 50 - 1 6,239 SF		
L=338.83'	7 5 50 5 5500 SF 6.715 SF 1 123 OUTLOT D		
R=760.00'	1 1 1 1 1 1 1 1 1 1		
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Si III OUTLOTK L	36 FLFL 88 - 20 E ATTE		
00TLOT K L	20 EATTE.		
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R=15.00'—	1 1 1 1 1 1 1 1 1 1		
Ch=N64* 20' 08"E \			
ChL=21.21'	17,102 SF 5,500 SF 5,500 SF 65' 1 60' RO.W. 65' 50' OUTLOT M 6,087 SF CROSSWALK (TYP)		
N19'20'08'E - 50' E.P.E - 50' E.P.E	50' 50'		
80.00 25 D.U.E.	65' 50' 50' 50' 50' 50' 50' 50' 50' 50' 5		
B.S.I.			
40'DUE BS.I.	ROOT ROOT		
B.S.I. Δ=90'00'00' R25	ADDERLY AVE. FR20	OUTLOT R 51,009 SF	
Δ=90'00'00' L=23.56' R=15.00' 80' R.O.W 44' FL-FL	1 R20 60 60 50 76 60 60 50 76 76 76 76 76 76 76 76 76 76 76 76 76		
R=15.00 - 44 FLFL Ch=N25' 39' 52'W	R20 650 60 5 60 6 60 60 60	WALK	
ChL=21.21'	0UTLOT N 6.503 SF OUTLOT N 6.503 SF		
N70°39'52"W		/\ \ 	
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	32 i	110'	
L=356.76' VAUGHU 05 25 25 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	36 FLFL		
R=800.00'-			
Ch=S06' 33' 36'W ChL=353.81'		1 H 1 1660 1 1 Hdm.4333.444	
	RIS 179 _ 36 FLFL	PROJECT BENCHMARK:	V
23 NO 0UTLOTO 2,759 \$F	MATCH TO SHEET 5	NGS CONTROL POINT "JOHNSON" BEING A 🖠 STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF	
V 1 22 80 N 45 2.162 SF 2		I AZY BOY'S RV IN IOHNSON'S CORNER WEST OF THE	60
21 80 U.E. IV. 2019 SF 80	T	FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.	
21 80° 50 U.E. 150 2.019 SF 80° 1		DATUM ELEV. = 5000.64 (NAVD88)	SC
		5, (15),(EEEV 5000.01 [19 (V 200)]	1 inch =

OWNED METRO DISTRICT #2 METRO DISTRICT #2 47,586 1.09 ACCESS & DRAINAGE & UTILITY METRO DISTRICT #2 METRO DISTRICT #2 33,837 0.78 OUTLOT B ACCESS & DRAINAGE & UTILITY UTLOT C DRAINAGE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 64,543 1.48 DRAINAGE & PED ACCESS METRO DISTRICT #2 | METRO DISTRICT #2 | 123,620 | 2.84 UTLOT D DRAINAGE & UTILITY & PED ACES METRO DISTRICT #2 METRO DISTRICT #2 94,020 2.16 NUTLOT F LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 64,730 1.49 NUTLOT G LANDSCAPE & DRAINAGE METRO DISTRICT #2 METRO DISTRICT #2 113,652 2.61 NUTLOT H LANDSCAPE & DRAINAGE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 4,317 0.10 OUTLOT H LANDSCAPE & DRAINAGE METRO DISTRICT #2 METRO DISTRICT #2 9,915 0.23 DUTLOT I LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 11,639 0.36 DUTLOT K PARK & LANDSCAPE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 111,412 2.56 OUTLOTK METRO DISTRICT #2 METRO DISTRICT #2 6,503 0.15 METRO DISTRICT #2 METRO DISTRICT #2 6,087 0.14 LANDSCAPE LANDSCAPE METRO DISTRICT #2 METRO DISTRICT #2 6,503 0.15 METRO DISTRICT #2 METRO DISTRICT #2 2,759 0.06 METRO DISTRICT #2 METRO DISTRICT #2 2,116 0.05 METRO DISTRICT #2 METRO DISTRICT #2 105,468 2.42 OUTLOT N LANDSCAPE OUTLOT O LANDSCAPE LANDSCAPE OUTLOT Q LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS | METRO DISTRICT #2 | METRO DISTRICT #2 | 103,760 | 2.72 | METRO DISTRICT #2 | 51,009 | 1.17 | METRO DISTRICT #2 | 10,131 | 0.23 | METRO DISTRICT #2 | METRO DISTRICT #2 | 4,400 | 0.10 | METRO DISTRICT #2 | METRO DISTRICT #2 | 3,656 | 0.08 | METRO DISTRICT #2 | 0.08 | ME LANDSCAPE & DRAINAGE & PED ACCESS LITHITY OLITIOTS LANDSCAPE & PED ACCESS UTILITY LANDSCAPE & DRAINAGE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 51,135 1.17

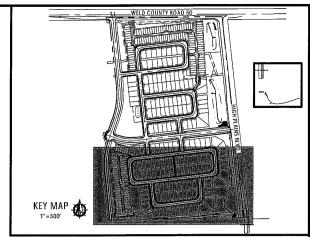
REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

LAND SUMMAR	<u>Y</u>		
	SQ. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
TOTAL LOTS	320		

NOTES:

1 SEE SHEET 2 IC 11 FOR TYPICAL STREET SECTIONS GENERAL









PROJECT NAME

JOHNSTOWN

AT

FILING NO. FINAL DEVELOPMENT POWN OF JOHNSTOWN, CO.

REVERE SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

Z

PLA SITE

SHEET NUMBER

C.4

SHEET 5 OF 30

	OUTLOT V LANDSCAPE & DRAINAGE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 51,135 1.17 OUTLOT W LANDSCAPE & PED ACCESS METRO DISTRICT #2 METRO DISTRICT #2 1,693 0.04 TOTAL AREA 934,729 21.46 LAYOUT AND LEGEND.	
Farmaist det north	197 HONOSOLLS 197 A 197	
	PROJECT BENCHMARK: NGS CONTROL POINT 'JOHNSON' BEING A \frac{1}{2}' STEEL ROD STEEL ROD VISTA AG LLC VISTA AG LLC STEEL ROD ST	J

REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO SECONDARY MONUMENT - PARK SIGN

THELONEOUS DR.

BRIDGEWATER PL

MIRABAL PL.

PARKER PL.

RÓLLINS ÉL.

MORTON PL.

HANCOCK PL.

HIGH PLAINS BLVD.

PRIMARY MONUMENT

A CONTRACTOR OF THE PARTY OF TH

LEGEND DECIDUOUS TREE EVERGREEN TREE ORNAMENTAL TREE SHRUBS & PERENNIALS @**©**@ STEEL EDGER CRUSHER FINES CONCRETE WALK 8888 ROCK MULCH LOW-GROW NATIVE SEED









PROJECT NAME JOHNSTOWN IG NO. 1

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORA

SUBMITTAL DATE: 02-05-2021

REVISION DATE:

SHEET TITLE

REVERE

M MAILBOX KIOSK

NATIVE SEED, NON-IRRAGATED

LANDSCAPE PLANS

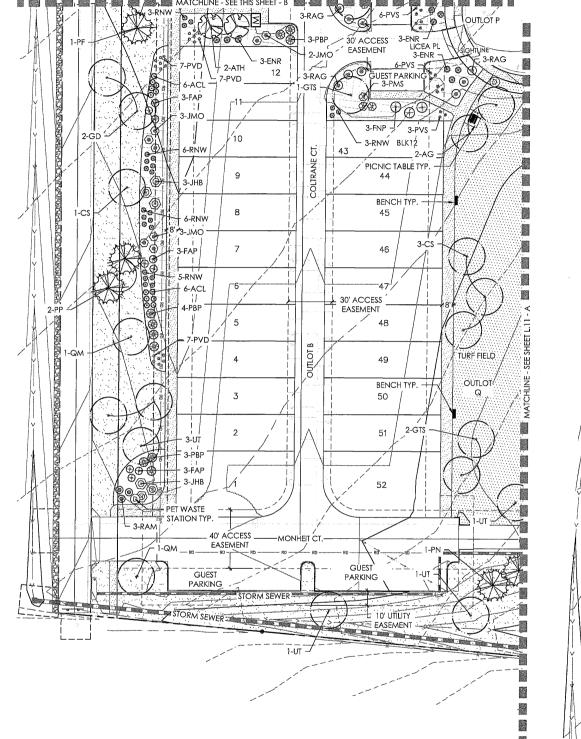
SHEET NUMBER

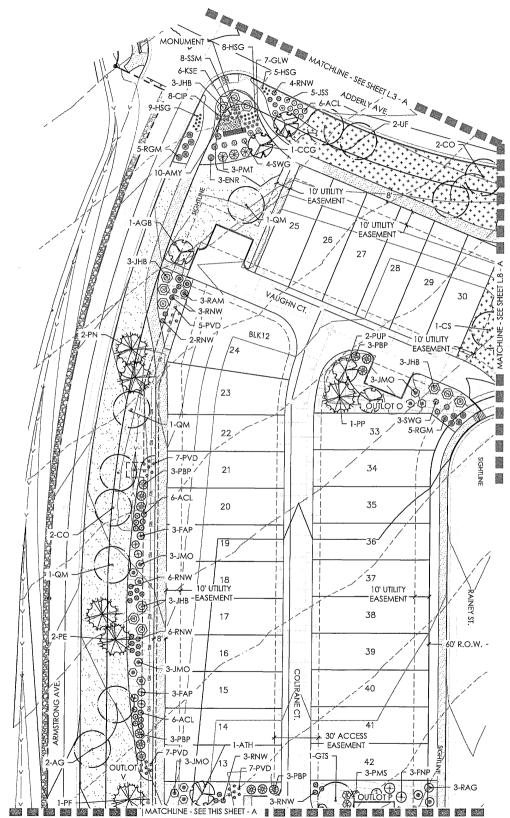
SHEET 6 OF 30



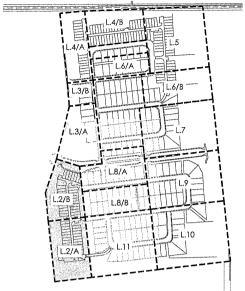


TOWN OF JOHNSTOWN, COLORADO





KEY MAP



NOT TO SCALE



LEGEND

(+) DECIDUOUS TREE EVERGREEN TREE ORNAMENTAL TREE

⊕000 SHRUBS & PERENNIALS

STEEL EDGER

CRUSHER FINES CONCRETE WALK

ROCK MULCH

NATIVE SEED LOW-GROW NATIVE SEED

NATIVE SEED, NON-IRRAGATED

MAILBOX KIOSK



Know what's below. Call before you dig.









PROJECT NAME

JOHNSTOWN

AT

REVERE

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

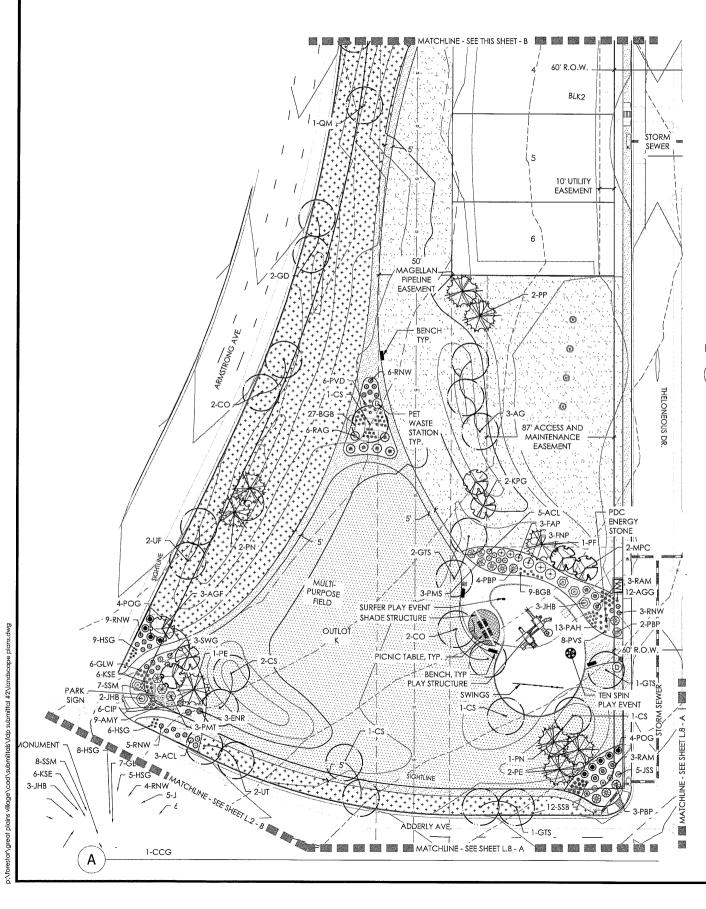
PLAN LANDSCAPE

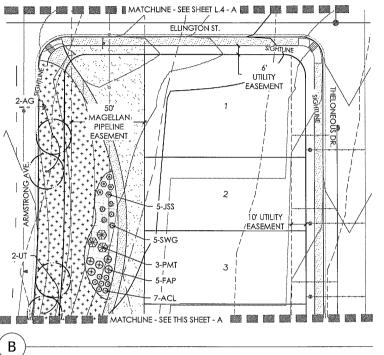
SHEET NUMBER

SHEET 7 OF 30

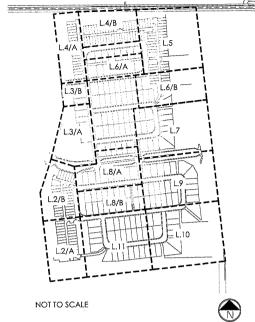
B

TOWN OF JOHNSTOWN, COLORADO





KEY MAP



LEGEND

DECIDUOUS TREE

EVERGREEN TREE ORNAMENTAL TREE

SHRUBS & PERENNIALS ⊕<u>@</u>e

STEEL EDGER

CRUSHER FINES

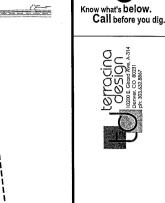
CONCRETE WALK

ROCK MULCH ... NATIVE SEED

LOW-GROW NATIVE SEED

NATIVE SEED, NON-IRRAGATED MAILBOX KIOSK





PROJECT NAME

AT JOHNSTOWN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORAD

REVERE SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

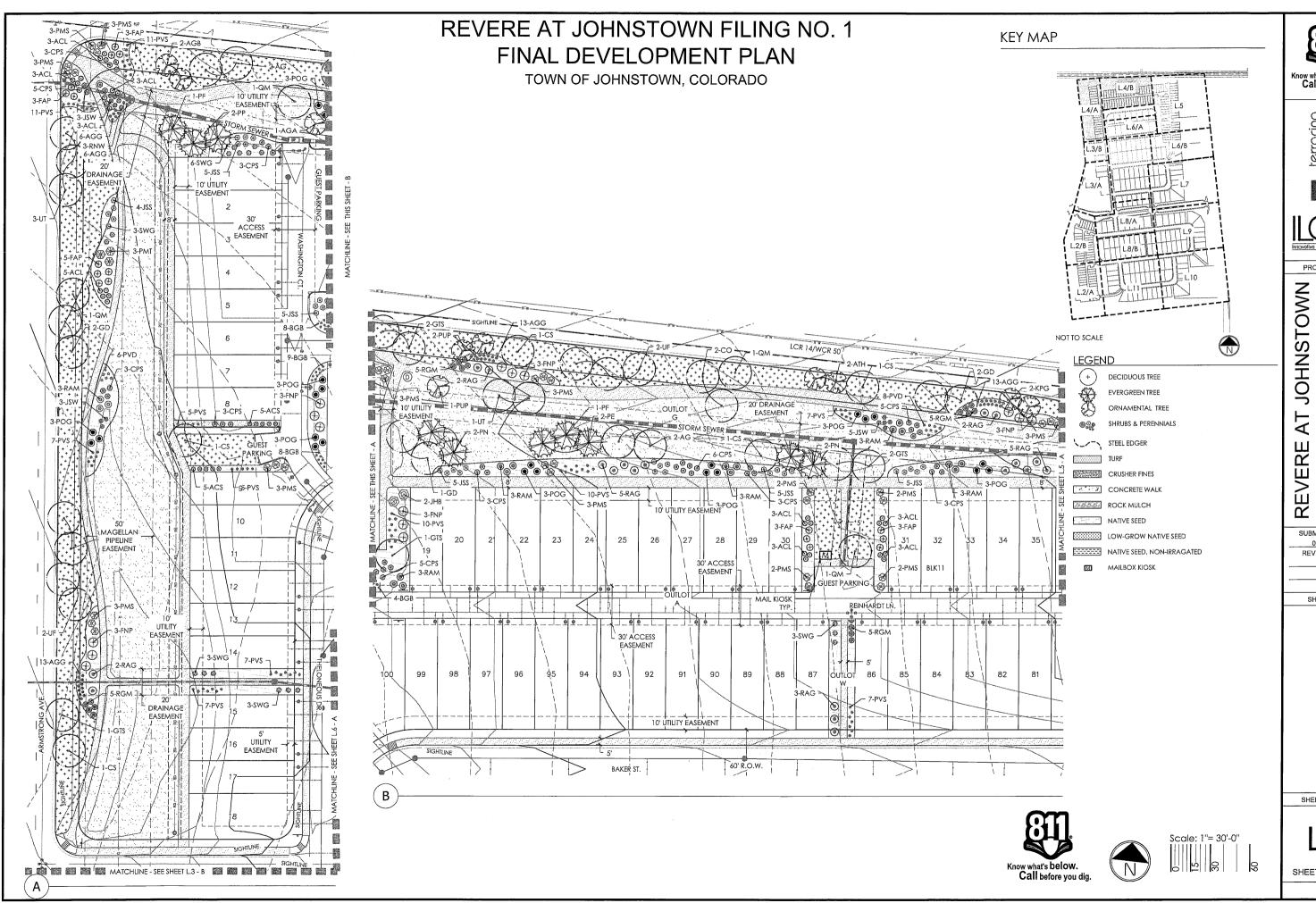
SHEET NUMBER

SHEET 8 OF 30





Scale: 1"= 30'-0"



Know what's **below. Call** before you dig.







N N

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

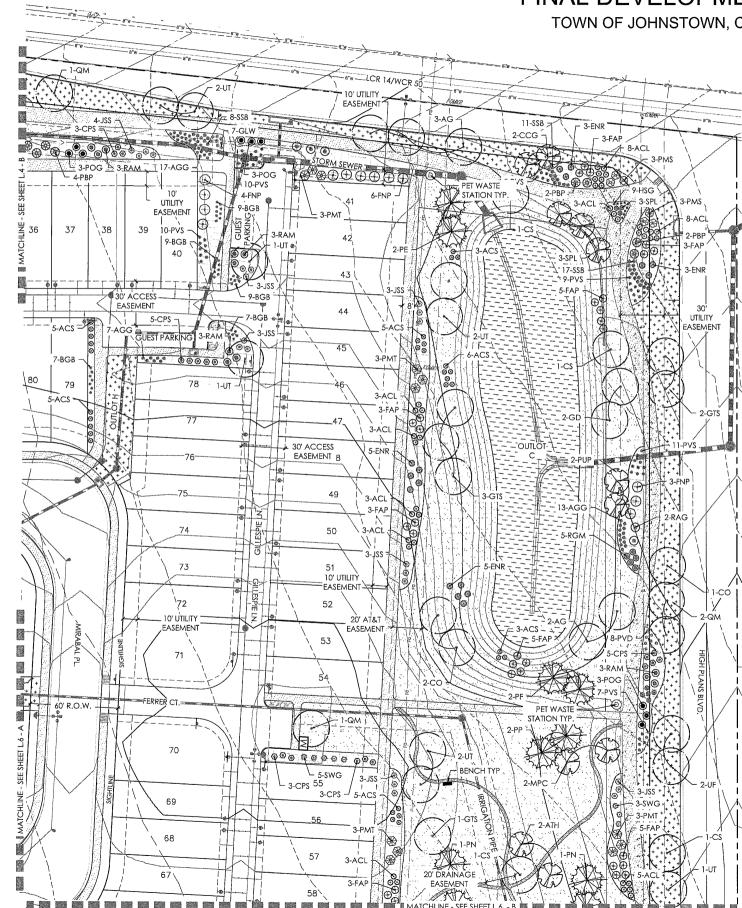
SHEET TITLE

LANDSCAPE

SHEET NUMBER

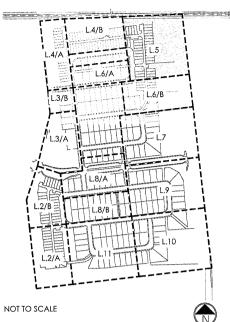
SHEET 9 OF 30

TOWN OF JOHNSTOWN, COLORADO



Α

KEY MAP



LEGEND

DECIDUOUS TREE

EVERGREEN TREE

ORNAMENTAL TREE

SHRUBS & PERENNIALS

CRUSHER FINES

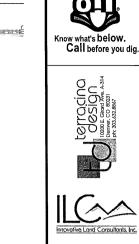
CONCRETE WALK

ROCK MULCH

LOW-GROW NATIVE SEED

NATIVE SEED, NON-IRRAGATED

MAILBOX KIOSK



PROJECT NAME **JOHNSTOWN**

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

AT

REVERE

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

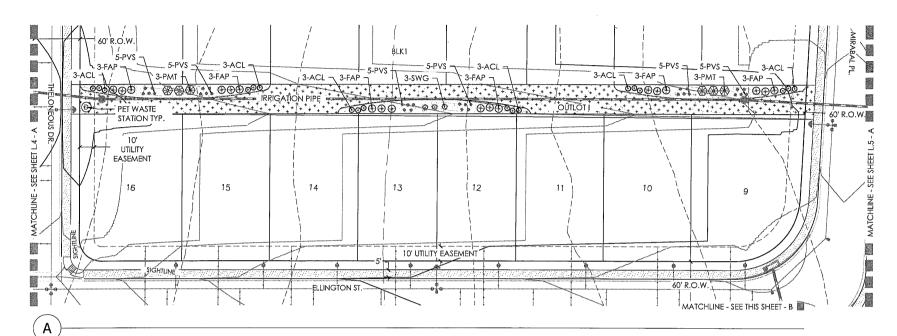
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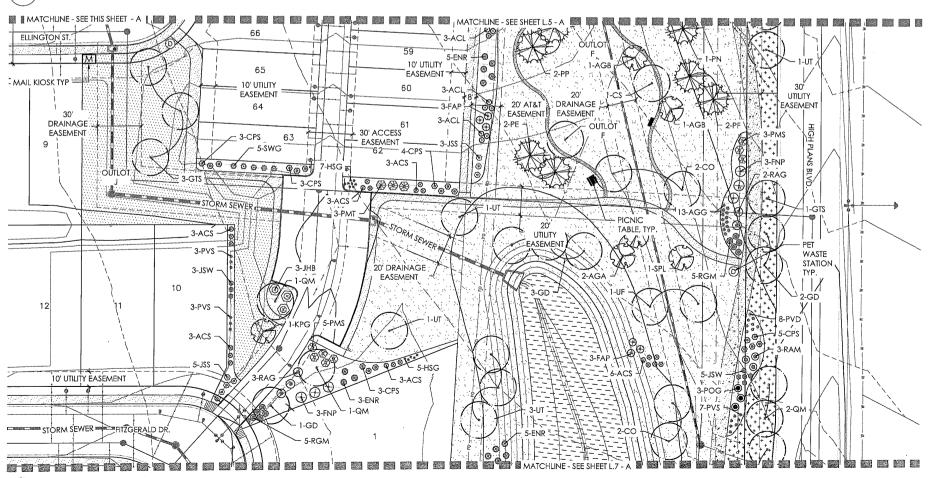
SHEET 10 OF 30



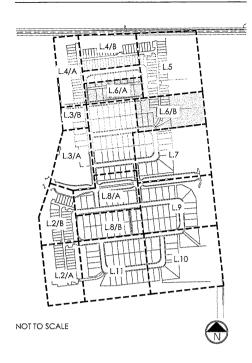


TOWN OF JOHNSTOWN, COLORADO





KEY MAP





DECIDUOUS TREE

EVERGREEN TREE

ORNAMENTAL TREE SHRUBS & PERENNIALS

STEEL EDGER

⊕<u>©</u>

CRUSHER FINES CONCRETE WALK

ROCK MULCH

NATIVE SEED IOW-GROW NATIVE SEED

NATIVE SEED, NON-IRRAGATED

M MAILBOX KIOSK











PROJECT NAME

JOHNSTOWN

FILING NO.

NAL DEVELOPMENT F

OF JOHNSTOWN, CO

AT

REVERE

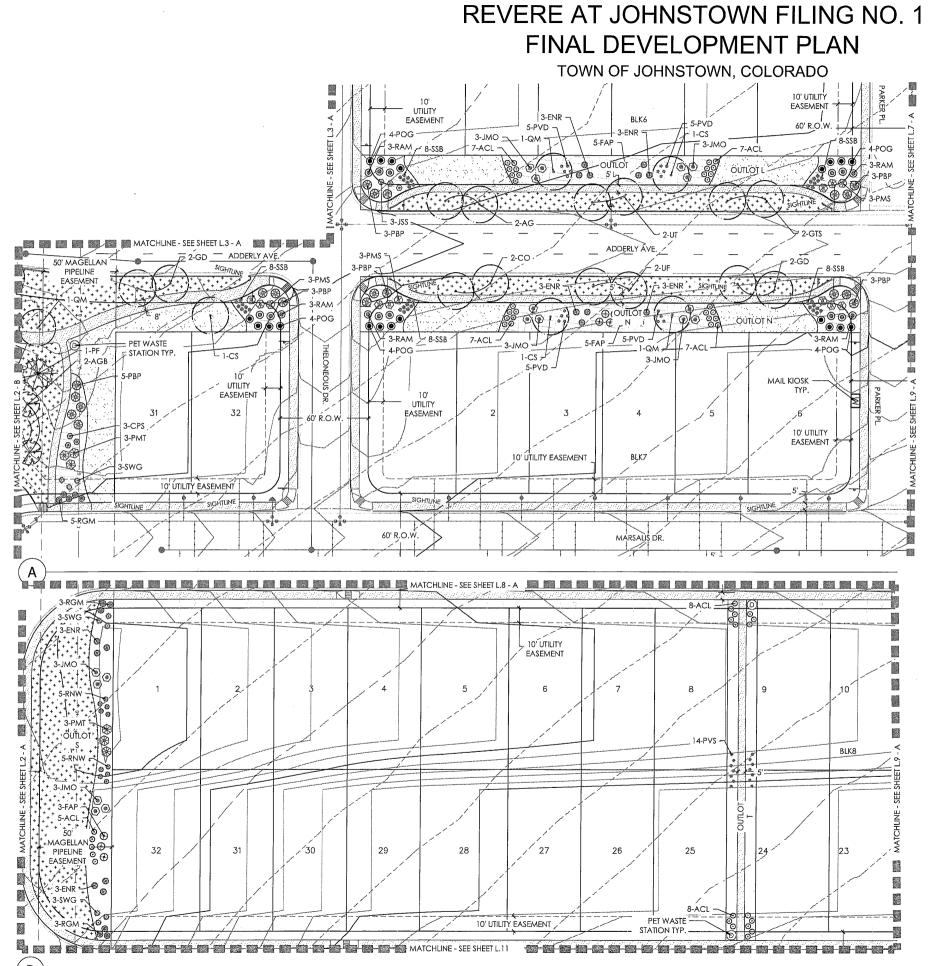
SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE **PLANS** LANDSCAPE

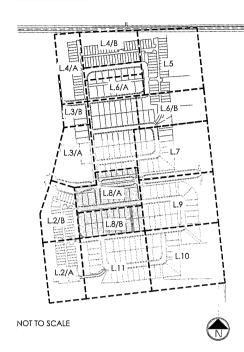
SHEET NUMBER

SHEET 11 OF 30

В



KEY MAP



LEGEND

DECIDUOUS TREE ORNAMENTAL TREE

EVERGREEN TREE

SHRUBS & PERENNIALS ⊕**©**₽

STEEL EDGER

CRUSHER FINES

CONCRETE WALK ROCK MULCH

NATIVE SEED LOW-GROW NATIVE SEED

NATIVE SEED, NON-IRRAGATED

M MAILBOX KIOSK











JOHNSTOWN

AT

). 1 NT PLAN COLORADO ILING NO.
L DEVELOPMENT P.
S JOHNSTOWN, CO.

REVERE FINAL I TOWN OF J SUBMITTAL DATE: 02-05-2021

REVISION DATE:

SHEET TITLE

PLAN LANDSCAPE

SHEET NUMBER

8.

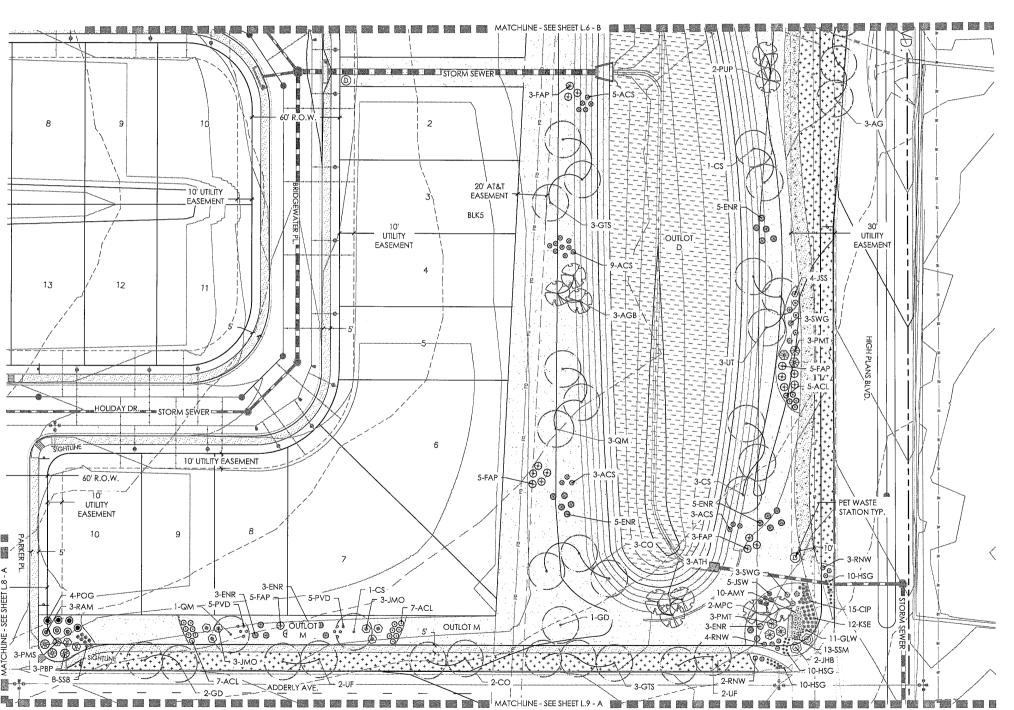
Scale: 1"= 30'-0"

SHEET 13 OF 30

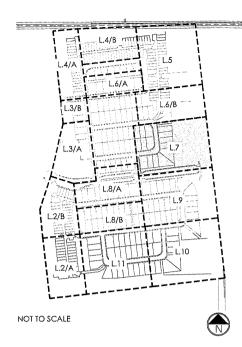




TOWN OF JOHNSTOWN, COLORADO



KEY MAP



LEGEND

DECIDUOUS TREE EVERGREEN TREE

ORNAMENTAL TREE

SHRUBS & PERENNIALS

STEEL EDGER TURF

CRUSHER FINES CONCRETE WALK

AAAAA ROCK MULCH

NATIVE SEED

LOW-GROW NATIVE SEED NATIVE SEED, NON-IRRAGATED

MAILBOX KIOSK

Know what's below. Call before you dig.









PROJECT NAME AT JOHNSTOWN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

REVERE SUBMITTAL DATE: 02-05-2021 REVISION DATE:

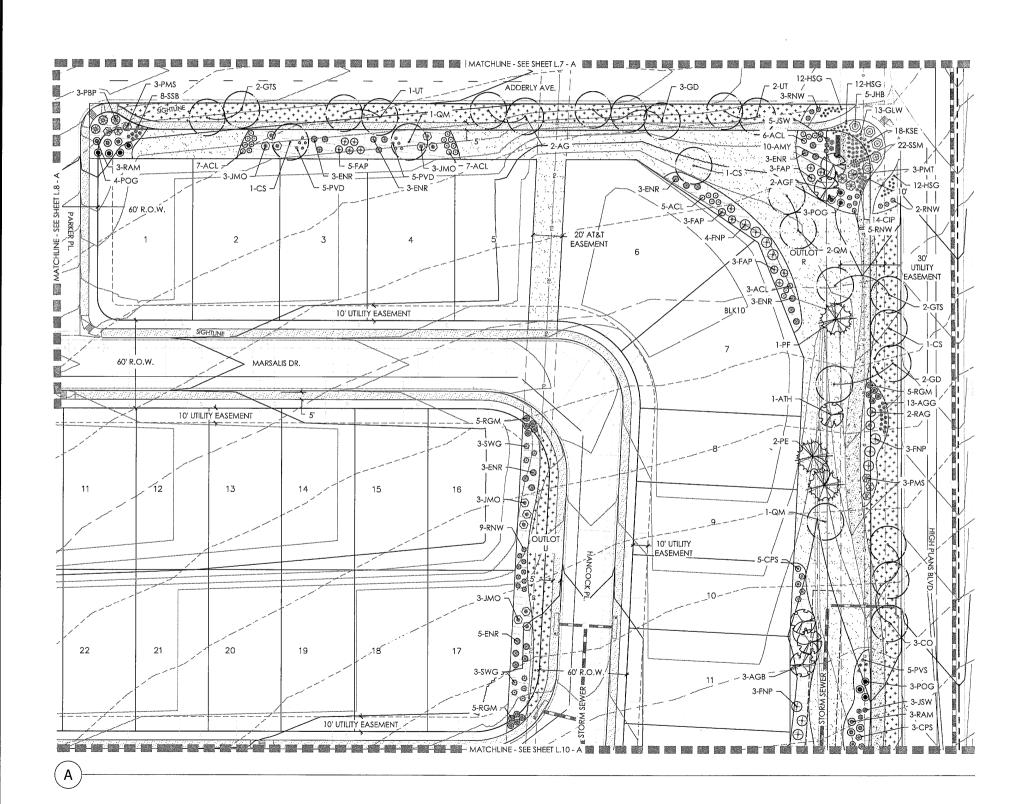
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PLANS LANDSCAPE

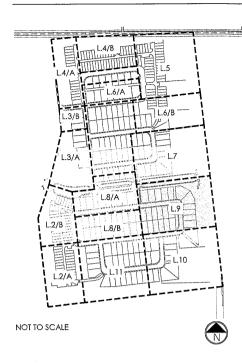
SHEET NUMBER

SHEET 12 OF 30

TOWN OF JOHNSTOWN, COLORADO



KEY MAP



LEGEND

DECIDUOUS TREE

@

EVERGREEN TREE ORNAMENTAL TREE

SHRUBS & PERENNIALS

CRUSHER FINES

CONCRETE WALK

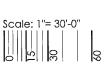
ROCK MULCH NATIVE SEED

LOW-GROW NATIVE SEED NATIVE SEED, NON-IRRAGATED

MAILBOX KIOSK













PROJECT NAME

AT JOHNSTOWN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

REVERE SUBMITTAL DATE: 02-05-2021 REVISION DATE:

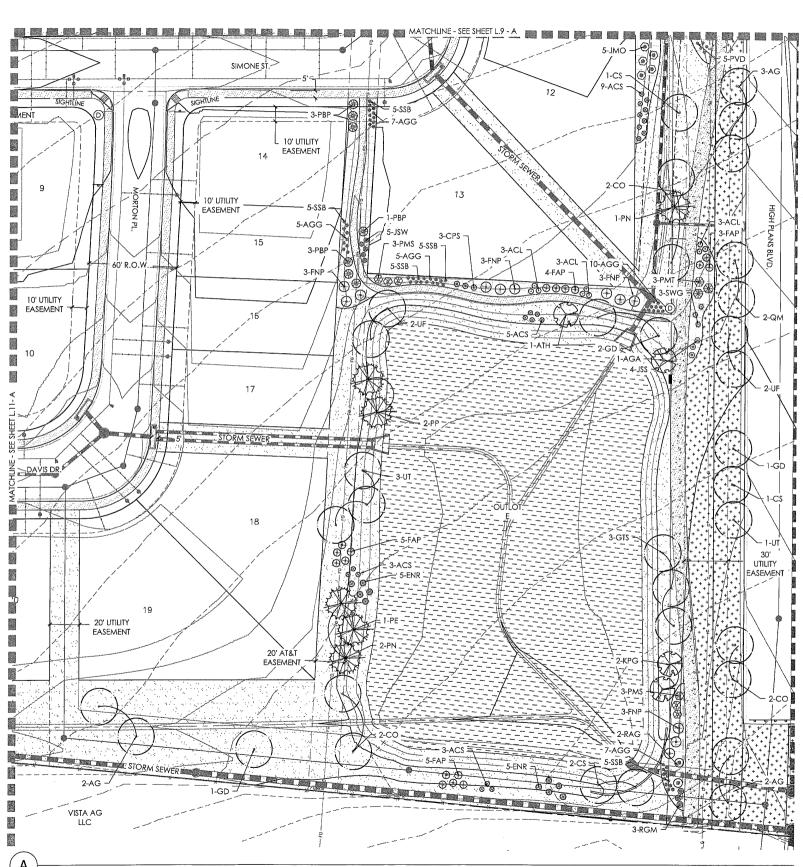
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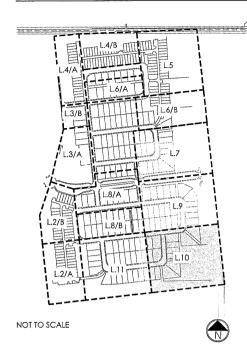
PLANS LANDSCAPE

SHEET NUMBER

SHEET 14 OF 30

TOWN OF JOHNSTOWN, COLORADO





LEGEND

DECIDUOUS TREE EVERGREEN TREE

SHRUBS & PERENNIALS

ORNAMENTAL TREE

STEEL EDGER

CRUSHER FINES

CONCRETE WALK ROCK MULCH

NATIVE SEED

LOW-GROW NATIVE SEED NATIVE SEED, NON-IRRAGATED

MAILBOX KIOSK

KEY MAP







JOHNSTOWN REVERE

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

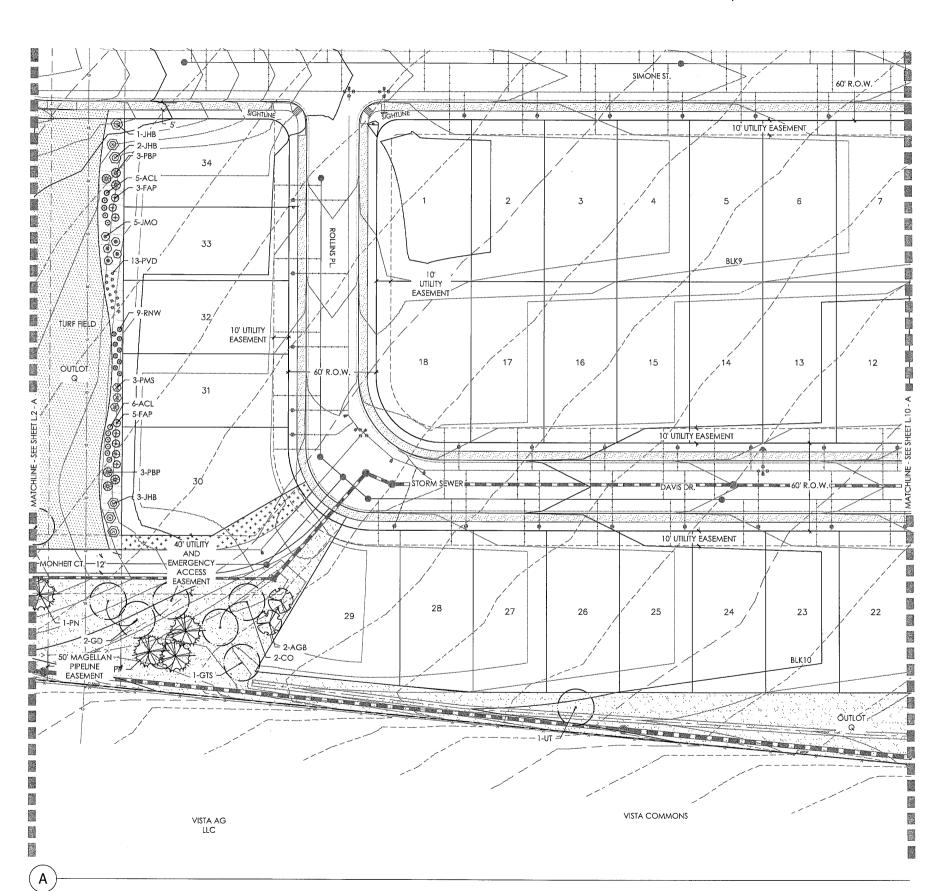
PLANS LANDSCAPE

SHEET NUMBER

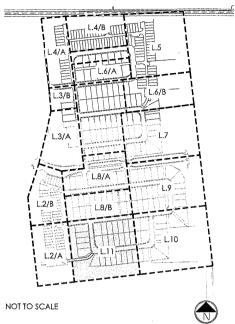
SHEET 15 OF 30



TOWN OF JOHNSTOWN, COLORADO







LEGEND

DECIDUOUS TREE EVERGREEN TREE

ORNAMENTAL TREE

SHRUBS & PERENNIALS

STEEL EDGER

CRUSHER FINES

CONCRETE WALK ROCK MULCH

NATIVE SEED

LOW-GROW NATIVE SEED NATIVE SEED, NON-IRRAGATED

MAILBOX KIOSK





PROJECT NAME

JOHNSTOWN

FINAL DEVELOPMENT PLAN IN OF JOHNSTOWN, COLORADO FILING NO.

REVERE SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

PLANS LANDSCAPE

SHEET NUMBER

SHEET 16 OF 30





JOHNSTOWN

A

RE 02-05-2021

PRIVATELY OWNED & OPERATED LAND

NOTES LANDSCAPE

SHEET NUMBER

SHEET 17 OF 30

Call before you dig.



FILING NO.

VAL DEVELOPMENT F

OF JOHNSTOWN, CO VERE

SUBMITTAL DATE: REVISION DATE:

COLLECTOR ROW SHEET TITLE

ARTERIAL BUFFER

ARTERIAL ROW

DETENTION AREA

LANDSCAPE AREA KEY

				Total Trees	1	Shrubs	Proposed	Total Shrubs	Notes
	Length (LF)	Area (SF)	Trees Required	Proposed **	Shrubs Required	Shrubs	Grasses *	Proposed **	*Number of grasses shown has conversion of 5 to 1 applied
Arterial Buffer									** Certain trees and shrubs may
1 tree + 5 Shrubs per 2000 square feet		104155	53	85	261	453	54	507	not be in the artertial ROW
Arterial ROW									and/or buffer due to site restrictions (utilities, walks,
1 tree + 5 Shrubs per 1000 square feet		66826	67	65	335	82	16	98	detention, etc.). Such trees are
	20		•	-					located as close to the ROW
Arterial Sub-Total									and/or buffer as possible.
		170981	120	150	596	535	70	605	
Collector ROW					·				1
1 tree per 50 linear ft. and 1 shrub per 2000 square feet	3371	41539	68	74	208	187	23	210	
Privately Owned and Operated Land									1
1 tree + 5 shrubs for every 4500 square feet		573597	128	151	638	539	101	640	
Defention Areas	L	5,5077		.31		557			1
1 tree + 5 shrubs for every 75 linear feet									1
of perimeter	2686	122966	36	36	180	180		180	
TOTAL			352	411	1622	1441	194	1635	

PLANT LIST

LANDSCAPE DESIGN INTENT STATEMENT

ARE ARRANGED FOR MAXIMUM VISUAL IMPACT WITH MINIMAL WATER WASTE AND SIMPLE MAINTENANCE.

SPORTS, WHICH IS SHIELDED SLIGHTLY WITH BERMING AND TREES FROM TWO COLLECTOR ROADS AND ONE INTERSECTION.

THE LANDSCAPE DESIGN FOR FILING NO. 1 IS INTENDED TO ESTABLISH A UNIQUE SENSE OF PLACE. WHICH REFLECTS THE CHARACTER AND QUALITIES OF THE COLORADO PLAINS, NATIVE AND XERIC PLANT SPECIES HAVE BEEN SELECTED TO FULFILL THIS INTENT, PLANT MATERIAL AND LANDSCAPE FEATURES

PARKS
THE PARK AT REVERE HAS ACTIVE AND PASSIVE FEATURES TO ACCOMMODATE THE RECREATIONAL NEEDS OF A VARIOUS AGE GROUPS. A PLAY AREA FOR THE YOUNGEST USERS IS ADJACENT TO SHADED SEATING AND MEANDERING WALKS. AN OPEN TURE AREA PROVIDES SPACE FOR INFORMAL

VIITAAUS	ABV	SCIENTIFIC NAME	COMMON NAME	SIZE	WATER USE
		DECIDUOUS SHADE TREES			
	AGO	AESCULUS GLABRA	OHIO BUCKEYE	2" CAL	LOW
	СОН	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2" CAL	LOW
	CSC	CATALPA SPECIOSA	WESTERN CATALPA	2" CAL	LOW
		GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2" CAL	LOW
		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	HONEYLOCUST, SHADEMASTER	2" CAL	LOW
		QUERCUS MACROCARPA	OAK, BUR	2" CAL	LOW
	UFE	ULMUS 'FRONTIER'	ELM, FRONTIER	2" CAL	LOW
	UTE	ULMUS X TRIUMPH	ELM, TRIUMPH	2" CAL	LOW
		DECIDUOUS ORNAMENTAL TREES			
		AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	SERVICEBERRY, AUTUMN BRILLIANCE	MULTI-STEM	LOW
		ACER X GRANDIDENTATUM 'HIGHLAND PARK'	MAPLE, BIGTOOTH 'HIGHLAND PARK'	MULTI-STEM	LOW
_		ACER TATARICUM SUBSP. GINNALA 'FLAME'	MAPLE, GINNALLA	MULTI-STEM	LOW
_		ACER TATARICUM 'HOT WINGS'	MAPLE, HOT WINGS	MULTI-STEM	LOW
_		CRATAEGUS CRUS-GALLI INERMIS	HAWTHORN, THORNLESS COCKSPUR	2" CAL	LOW
		KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL	MEDIUM
		MALUS X 'PRAIRIFIRE'	CRABAPPLE, PRAIRIFIRE	MULTI-STEM	MEDIUM
		PYRUS USSURIENSIS 'PRAIRIE GEM'	PEAR, PRAIRIE GEM	2" CAL	LOW
		SYRINGA PEKINENSIS	LILAC, PEKING	2" CAL	LOW
		EVERGREEN TREES			
		PINUS NIGRA	AUSTRIAN PINE	6' HT	VERYLOW
_		PINUS EDULIS	PINON PINE	6' HT	VERYLOW
		PINUS FLEXILUS	LIMBER PINE	6' HT	VERYLOW
		PINUS PONDEROSA	PONDEROSA PINE	6' HT	VERYLOW
		EVERGREEN SHRUBS	WALLEST OF THE PARTY OF THE PAR		
_		JUNIPERUS SABINA 'SCANDIA'	JUNIPER, SCANDIA	5 GAL	LOW
4		JUNIPERUS X MEDIA 'OLD GOLD'	JUNIPER, OLD GOLD	5 GAL	LOW
		JUNIPERUS HOROZONTALIS 'BAR HARBOUR'	JUNIPER, BAR HARBOUR	5 GAL	LOW
4		JUNIPEROUS SCOPULARUM 'WOODWARD'	JUNIPER, WOODWARD ROCKYMOUNTAIN	5 GAL	VERYLOW
4		PINUS MUGO TANNENBAUM'	MUGO PINE, TANNENBAUM	5 GAL	LOW
-		PINUS MUGO 'SLOWMOUND' DECIDUOUS SHRUBS	PINE, MUGO SLOWMOUND	5 GAL	LOW
		AMORPHA CANESCENS	LEADPLANT	5 GAL	VERYLOW
-		ARTEMISIA TRIDENTATA	SAGEBRUSH	5 GAL	VERYLOW
\rightarrow		CYTISUS PURGENS 'SPANISH GOLD'	BROOM, SPANISH GOLD	5 GAL	LOW
-		ERICAMERIA NAUSEOSA SSP. NAUSEOSA VAR. NAUSEOSA	RABBITBRUSH	5 GAL	VERYLOW
-		FALLUGIA PARADOXA	APACHE PLUME	5 GAL	LOW
-		FORESTIERA NEOMEXICANA	NEW MEXICO, PRIVET	5 GAL	LOW
-		PRUNUS BESSEY	WESTERN SAND CHERRRY	5 GAL	LOW
-+		PHYSOCARPUS OPUFOLIUS 'DARIS GOLD'	NINEBARK, DARTS GOLD	5 GAL	LOW
		RIBES ALPINUM 'GREENMOUND'	CURRANT GREEN MOUND	5 GAL	LOW
		RIBES AUREUM	CURRANT YELLOW FLOWERING	5 GAL	LOW
\dashv		RHUS AROMATICA 'GRO-LOW'	SUMAC DWARF FRAGRANT	5 GAL	LOW
-		ROSA 'NEARLY WILD'	ROSE NEARLY WILD SHRUB	5 GAL	LOW
\rightarrow		ORNAMENTAL GRASSES	ROSE NEARET WILD SHROB	JOAL	1011
		ANDROPOGON GERARDII	BIG BLUESTEM GRASS	1 GAL	LOW
		BOUTELOUA GRACILIS	BLUE GRAMA GRASS	1 GAL	LOW
-		HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	1 GAL	LOW
-		SCHIZACHYRIUM SCOPARIUM THE BLUES'	THE BLUES LITTLE BLUESTEM GRASS		LOW
		SPOROBOLUS WRIGHTII	GIANT SACATON GRASS		LOW
			DALLAS BLUES SWITCH GRASS		LOW
-+		PANICUM VIRGATUM 'DALLAS BLUES' PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL	LOW
		PANICUM VIRGAIUM 'SHENANDOAH' PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	1 GAL	LOW
-+		PERENNIALS PERENNIALS	DITANI I CUNIMIN GRASS	1 GAL	LUYY
+		ACHILLA MILLEFOLIUM 'TERRA COTTA'	YARROW, TERRA COTTA	1 GAL	LOW
		ACHILLA MILLEFOLIUM TERRA COTIA	HYSSOP, CORONADO RED		LOW
\rightarrow			PRAIRIE WINECUPS		LOW
		CALLIRHOE INVOLUCRATA	WHIRLING BUTTERFLIES	I GAL	LOW
\dashv		GAURA LINDHEIMERI KNIPHOFIA 'STARK'S EARLY HYBRIDS'	TORCHLILY, RED		LOW
			MAYNIGHT SALVIA		LOW
	NING.	SALVIA NEMOROSA 'MAYNIGHT	IMM I MOULONEVIA	I GAL	LUYY

LANDSCAPE NOTES

- THESE LANDSCAPE STANDARDS SHALL ONLY APPLY TO REVERE FILING NO. 1. STANDARDS FOR FUTURE FILINGS MAY VARY.
- SOME, BUT NOT ALL, COMMON OPEN SPACE AREAS ARE ANTICIPATED TO BE IRRIGATED WITH AUTOMATIC UNDERGROUND IRRIGATION SYSTEMS USING
- 3. LOW AND MODERATE WATER CONSUMING TURF AND OTHER PLANT MATERIAL SHALL BE USED TO THE EXTENT PRACTICAL.
- TREES SHALL NOT BE PLANTED WITHIN 10' OF WATER SEWER OR STORM SEWER UTILITY MAINS, SHRUBS SHALL NOT BE PLANTED WITHIN 5' OF WATER SEWER OR STORM SEWER MAINS.
- NO TREE SHALL BE PLANTED WITHIN 5' OF A FIRE HYDRANT, ALL OTHER PLANTINGS, OTHER THAN SOD/GRASS, MUST PROVIDE MINIMUM CLEARANCE OF THREE (3) FEET AROUND ANY FIRE HYDRANT, WHEN
- PLANTING IS AT FULL MATURITY.

 6. ALL LANDSCAPING SHALL ALLOW FOR A MINIMUM OF 13'-6" UNOBSTRUCTED OVERHEAD CLEARANCE FOR FULL WIDTH OF ALL ROADWAYS. IN ADDITION, ALL LANDSCAPING SHALL ALLOW FOR A MINIMUM OF 20'-0" UNOBSTRUCTED WIDTH FOR ALL EMERGENCY VEHICLE ACCESS ROUTES.
- ALL LANDSCAPING SHALL ALLOW FOR A MINIMUM OF 3-FEET OF CLEAR SPACE IN ALL DIRECTIONS OF A FIRE HYDRANT WHEN PLANTING IS AT FULL MATURITY.
- 8. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH SIGHT DISTANCE CRITERIA.
- 9. PLANT MATERIAL CONDITIONS AND QUANTITIES WILL CONFORM TO THE REQUIREMENTS OF THE GREAT PLAINS VILLAGE ODP, PERFORMANCE STANDARDS, AND DESIGN GUIDELINES, THEY WILL BE REVIEWED IN CONJUNCTION WITH THE FINAL PLATS AND FINAL DEVELOPMENT PLANS.
- THE IRRIGATED TURF (SOD OR SEED) AND DRY LAND MIXES WILL BE DETERMINED WITH FINAL DEVELOPMENT PLANS.
- 11. DECIDUOUS STREET TREES SHALL NOT BE WITHIN 40' OF STREET LIGHTS.
- 12. ALL PARK FACILITIES, INCLUDING TRAILS, SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND ASHTO GUIDELINES.
- 13. NO LANDSCAPING SHALL BE PLANTED THAT IMPAIRS DRAINAGE, INCLUDING SWALES AND DRAINAGE OVERFLOW PATHS.
 GRASSES ARE CALCULATED AT A RATE OF 5 GRASSES TO 1 SHRUB.
- ONLY IMPROVEMENTS SHOWN IN THE PLANS ARE PERMITTED WITHIN THE MAGELLAN EASEMENT. FUTURE IMPROVEMENTS MUST BE APPROVED BY

LANDSCAPE PERCENTAGES

ТҮРЕ	MIN. REQUIRED AREA (SF)	PROVIDED AREA (SF)	REQUIRED % OF TOTAL LANDSCAPE AREA	PROVIDED % OF TOTAL LANDSCAPE AREA
SOD/TURF	N/A	74,959	MAX. 70%	8.4%
IRRIGATED LOW GROW NATIVE GRASS	N/A	170,604	N/A	19.1%
IRRIGATED NATIVE GRASS	N/A	413,805	N/A	46.3%
NON-IRRIGATED NATIVE GRASS	N/A	100,859	N/A	11.3%
SHRUB BED	N/A	134,002	N/A	15.0%
TOTAL LANDSCAPE AREA	N/A	894,229	N/A	100.0%

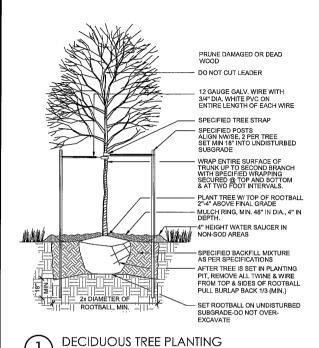
LANDSCAPE AREA MAP



Scale: 1"= 200'-0"

Know what's below. Call before you dig.

TOWN OF JOHNSTOWN, COLORADO



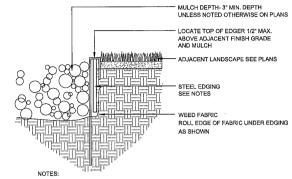
DO NOT CUT LEADER SPECIFIED TRUNK ATTACHMENT - DOUBLE STRAND GALVANIZED WIRE PROVIDE 3 GUY SYSTEMS EQUALLY SPACED AROUND PLACE 3/4" DIA. WHITE PVC, 36" LENGTH, ON ALL GUYING PLANT TREE W/ TOP OF ROOTBALL 3" ABOVE FINAL GRADE 4" DEPTH MULCH RING TYPICAL IN TURF AREAS -4" HEIGHT WATER SAUCER IN NON-TURF AREAS – SPECIFIED STAKES DRIVEN AT AN ANGLE, FLUSH WITH GRADE BACKFILL MIXTURE AS PER SPECIFICATIONS AFTER TREE IS SET IN PLANTING PIT, REMOVE ALL TWINE & WIRE FROM TOP & SIDES OF ROOTBALL PULL BURLAP BACK 1/3 (MIN.) UNDISTURBED SUBGRADE - SET ROOTBALL ON EXISTING UNDISTURBED SUBGRADE - DO NOT OVER-EXCAVATE

1. INSTALL SPECIFIED MULCH TO DRIPLINE OF TREE WHERE PLANTED

2. DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS

PRUNE ALL DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING SET SHRUB 1 IN. HIGHER THAN THE GRADE AT WHICH IT DIG PLANT PIT TWICE AS WIDE AS THE CONTAINER OR MORE APPLY SPECIFIED MULCH 3" DEEP REMOVE CONTAINER ROUGHEN SIDES OF PLANT PIT. SCORE SIDE OF ROOTBALL OF ROOTBOUND PLANTS ONLY. FILL PLANT PIT WITH SPECIFIED SOIL MIX NOTE: ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED, REMOVING THE CONTAINER WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALL

NOTE: HOLD GRADE 1" BELOW EDGE OF WALK OR CURB

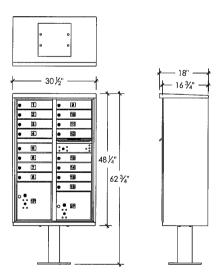


- STEEL EDGING SHALL BE MIN. 14 GA., 6", ROLL TOP W/ 14" STAKES
 EDGING SHALL BE POWDER COATED, BLACK
 EDGING SHALL BUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ FINISH GRADE OF CONCRETE.
 ALL JOINTS SHALL BE SECURELY STAKED.



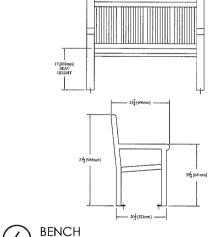




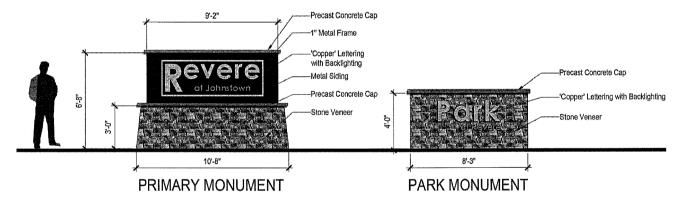


NOTES:

1) EXACT MODEL AND COLOR WILL BE DETERMINED AT A LATER DATE.



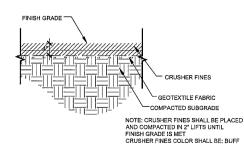
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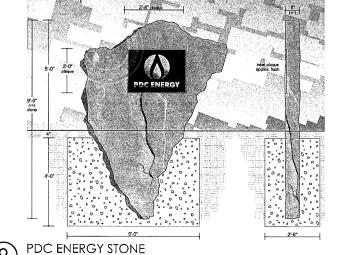


PRIMARY MONUMENT & PARK MONUMENT

NOTE: MONUMENT IS CONCEPTUAL AND SUBJECT TO CHANGE.

MAIL KIOSK
NTS





NOTE: DETAILS AND **EQUIPMENT SHOWN** ARE PRELIMINARY. FINAL EQUIPMENT, STRUCTURES, MATERIALS, COLORS, **ETC ARE SUBJECT TO** CHANGE.



now what's below. Call before you dig.





PROJECT NAME

JOHNSTOWN

FINAL DEVELOPMENT PLAN IN OF JOHNSTOWN, COLORADO FILING NO

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

REVERE

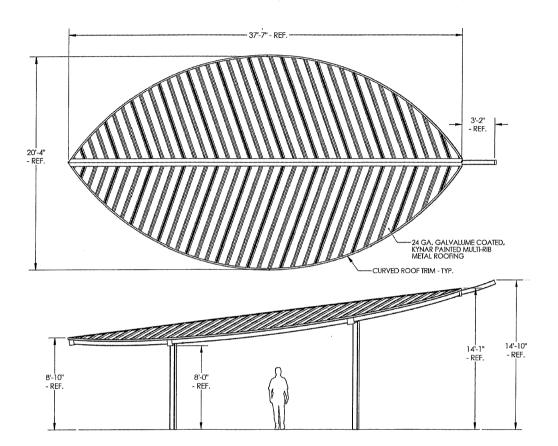
SHEET TITLE

ഗ DETAIL LANDSCAPE

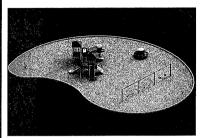
SHEET NUMBER

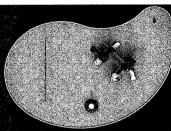
SHEET 18 OF 30

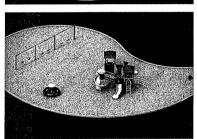
TOWN OF JOHNSTOWN, COLORADO

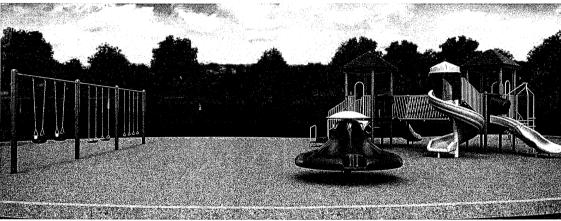


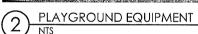


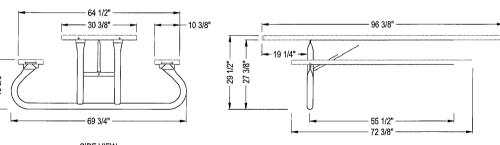












SIDE VIEW

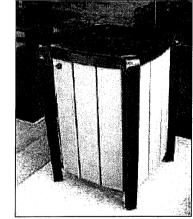
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

2. DO NOT SCALE DRAWING.

- 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER





TRASH

PICNIC TABLE









REVERE AT JOHNSTOWN FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

SHEET 19 OF 30

PET WASTE STATION

SHADE STRUCTURE

OPTIONAL UTILITY SHELF - ADD /S
 TO MODEL NUMBER

NOTE: DETAILS AND EQUIPMENT SHOWN ARE PRELIMINARY. FINAL EQUIPMENT, STRUCTURES, MATERIALS, COLORS, ETC ARE SUBJECT TO CHANGE.

TOWN OF JOHNSTOWN, COLORADO







PROJECT NAME

REVERE AT JOHNSTOWN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

HOUSING TYPE PLAN

SHEET NUMBER

SHEET 20 OF 30

LARIMER COUNTY LCR 14/WCR 50 HPE INVESTORS LLC PLATTE LAND & WATER LLC PA-13 30.7 Ac INVESTORS PLATTE LAND & WATER LLC VISTA AG LLC LLC VISTA COMMONS

LEGEND

- SINGLE FAMILY ATTACHED SINGLE FAMILY DETACHED
 - (50' MINIMUM LOT WIDTH)

HOUSING TYPE DATA						
PLANNING AREA	ACRES	HOUSING TYPE	# OF UNITS	% OF UNITS		
PA-14	5.2	SINGLE FAMILY ATTACHED	100	31.3%		
FA-14	9.8	SINGLE FAMILY DETACHED	78	24.4%		
SUBTOTAL	15.0		178	55.6%		
D. 15	3.2	SINGLE FAMILY ATTACHED	50	15.6%		
PA-15	13.3	SINGLE FAMILY DETACHED	92	28.8%		
SUBTOTAL	16.5		142	44.4%		
TOTAL	31.5		320	100.0%		



TOWN OF JOHNSTOWN, COLORADO

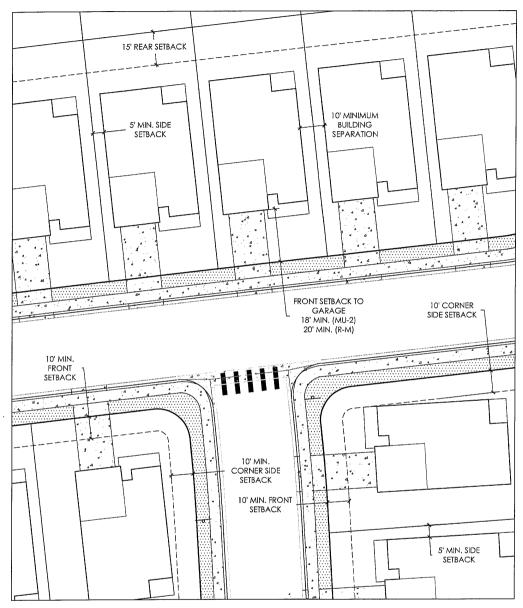


EXHIBIT A - SINGLE FAMILY DETACHED LOT TYPICAL

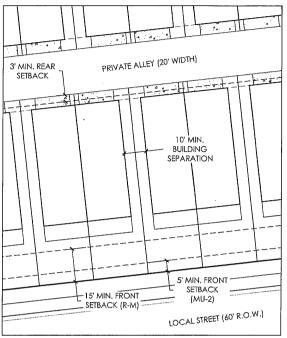


EXHIBIT B - SINGLE FAMILY ATTACHED ALLEY-LOADED LOT TYPICAL

SINGLE FAMILY DETACHED (SFD)

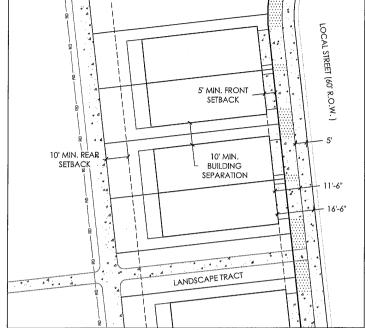
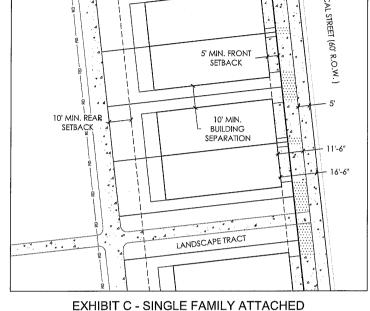


EXHIBIT C - SINGLE FAMILY ATTACHED STREET-LOADED LOT TYPICAL



STANDARDS	R-M	MU-2
MINIMUM LOT SIZE	3,200	3,200
MINIMUM CLUSTER LOT SIZE	2,000	2,000
PARKING REQUIREMENT	CODE	CODE
MAXIMUM HEIGHT	35'	35'
PRINCIPAL USE	R-M	MU-2
FRONT SETBACK TO BUILDING	10'	10'
FRONT SETBACK TO COVERED PORCH	5'	5'
FRONT SETBACK TO GARAGE	20'	18'
FRONT SETBACK TO SIDE LOADED GARAGE	10'	10¹
SIDE SETBACK MINIMUM	5'	5'
*BUILDING SEPARATION	10'	10'
REAR SETBACK - FRONT LOAD	15'	15'
REAR SETBACK - CLUSTER	10'	5'
REAR SETBACK - ALLEY LOAD	3'	3'
SIDE (CORNER) SETBACK	10'	10'
ACCESSORY USE	R-M	MU-2
MAXIMUM HEIGHT	15'	15'
FRONT SETBACK	20'	20'
SIDE SETBACK	3'*	0'
REAR SETBACK	5'	0'

LAND USE DEVELOPMENT STANDARDS MAT	RIX	
RESIDENTIAL LAND USE DEVELOPMENT ST	ANDAR	DS MATE
SINGLE FAMILY ATTACHED (SFA) RESIDENT	TAL	
STANDARDS	R-M	MU-2
MINIMUM LOT SIZE	1200	1200
MAXIMUM HEIGHT	35'	50'
PRINCIPAL USE	R-M	MU-2
FRONT SETBACK TO BUILDING FACE	15'	5'
FRONT SETBACK TO COVERED PORCH	10'	0'
SIDE SETBACK MINIMUM	0'	0'
SIDE SETBACK WITH EASEMENT	15'	10'
*BUILDING SEPARATION	10'	10'
REAR SETBACK	15'	10'
REAR SETBACK - ALLEY LOAD GARAGE	3'*	3'*
SIDE (CORNER) SETBACK	15'	5'
ACCESSORY USE	R-M	MU-2
MAXIMUM HEIGHT	15'	15'
FRONT SETBACK	20'	20'
SIDE SETBACK	5'	5'
REAR SETBACK - NON GARAGE	10'	10'
REAR SETBACK (ALLEY LOAD GARAGE)	3'*	3'*
SIDE (CORNER) SETBACK	15'	O'
	RESIDENTIAL LAND USE DEVELOPMENT ST SINGLE FAMILY ATTACHED (SFA) RESIDENT STANDARDS MINIMUM LOT SIZE MAXIMUM HEIGHT PRINCIPAL USE FRONT SETBACK TO BUILDING FACE FRONT SETBACK TO COVERED PORCH SIDE SETBACK MINIMUM SIDE SETBACK WITH EASEMENT *BUILDING SEPARATION REAR SETBACK REAR SETBACK - ALLEY LOAD GARAGE SIDE (CORNER) SETBACK ACCESSORY USE MAXIMUM HEIGHT FRONT SETBACK SIDE SETBACK REAR SETBACK - NON GARAGE REAR SETBACK (ALLEY LOAD GARAGE)	MINIMUM LOT SIZE 1200 MAXIMUM HEIGHT 35' PRINCIPAL USE R-M FRONT SETBACK TO BUILDING FACE 15' FRONT SETBACK TO COVERED PORCH 10' SIDE SETBACK MITH EASEMENT 15' *BUILDING SEPARATION 10' REAR SETBACK 15' REAR SETBACK - ALLEY LOAD GARAGE 3'* SIDE (CORNER) SETBACK 15' ACCESSORY USE R-M MAXIMUM HEIGHT 15' FRONT SETBACK 20' SIDE SETBACK 5' REAR SETBACK - NON GARAGE 10' REAR SETBACK - NON GARAGE 10' REAR SETBACK (ALLEY LOAD GARAGE) 3'*

* OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)	* OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)
NOTE; SETBACKS ONLY APPLY TO FILING NO. 1. FUTURE FILINGS ARE SUBJECT TO	O THE SETBACKS ESTABLISHED IN THE ODP UNLESS AMENDED THROUGH THE
PDP/FDP PROCESS.	



CONCRETE TURF SETBACK LINE







PROJECT NAME

JOHNSTOWN

FILING NO.

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

REVERE

SHEET TITLE

TYPICALS LOT

SHEET NUMBER

SHEET 21 OF 30

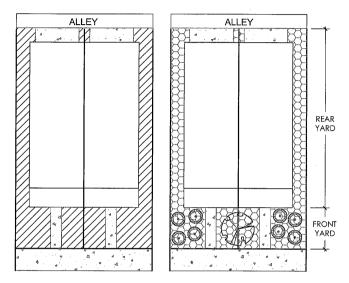
REAR SETBACK (ALLEY LOAD GARAGE) REAR SETBACK - NON GARAGE 10' SIDE (CORNER) SETBACK ETBACK (ALLEY LOAD GARAGE) 3'* SIDE (CORNER) SETBACK

TOWN OF JOHNSTOWN, COLORADO

ALLEY LOAD SINGLE-FAMILY ATTACHED LOTS

LANDSCAPE AREA TYPICAL

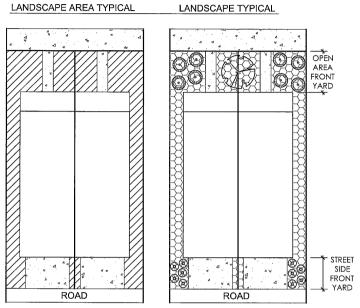
LANDSCAPE TYPICAL



SINGLE FAMILY ATTACHED LOT LANDSCAPE STANDARDS

- 1. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED ON EVERY LOT.
- 2. AT LEAST ONE (1) TREE OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED BUILDING IN THE
- TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT STANDARDS.
- 4. TURF/SOD IS NOT PERMITTED FOR SINGLE FAMILY ATTACHED LOTS.

SINGLE-FAMILY ATTACHED LOTS



SINGLE FAMILY ATTACHED LOT LANDSCAPE STANDARDS

- AT LEAST FOUR (4) SHRUBS WILL BE PLANTED IN THE OPEN AREA FRONT YARD OF EVERY LOT. AT LEAST FIVE (5) SHRUBS WILL BE PLANTED IN THE STREET SIDE FRONT YARD OF EVERY LOT.
- AT LEAST ONE (1) TREE OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED UNIT IN THE OPEN AREA FRONT YARD.
- TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED
- TO MEET THE LOT STANDARDS.

 4. TURF/SOD IS NOT PERMITTED FOR SINGLE FAMILY ATTACHED LOTS.

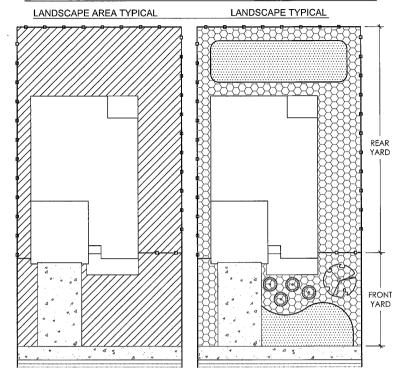
SINGLE-FAMILY DETACHED INTERIOR LOTS

LEGEND

CONCRETE

FDGFR

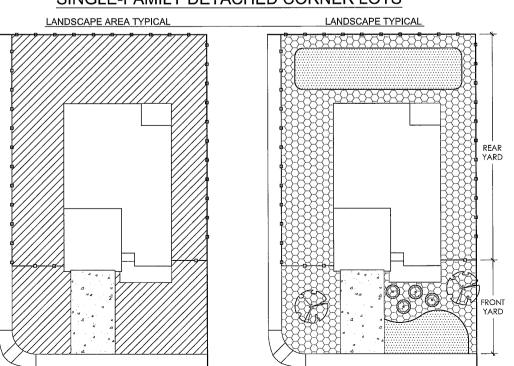
TURF (NON-SÝNTHETIC) MULCH (ROCK/WOOD) LANDSCAPE AREA



SINGLE-FAMILY RESIDENTIAL LOT LANDSCAPE STANDARDS

- AT LEAST FOUR (4) SHRUBS WILL BE PLANTED IN THE FRONT YARD OF EVERY LOT. AT LEAST ONE (1) TREE IN THE INTERIOR LOT FRONT YARD, AND TWO (2) TREES IN THE
- CORNER LOT FRONT YARD OF ONE AND ONE-HALF (1 $\frac{1}{2}$) INCH CALIPER WILL BE PROVIDED.
- MAXIMUM 30% OF LANDSCAPE AREA CAN BE TURF.
 TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT
- 5. TURF AREAS MAY BE A LOW WATER SEED MIX.

SINGLE-FAMILY DETACHED CORNER LOTS









PROJECT NAME

JOHNSTOWN FILING NO.

FINAL DEVELOPMENT PLAN FOWN OF JOHNSTOWN, COLORA

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

REVERE

TYPICAL LOT

SHEET NUMBER

SHEET 22 OF 30

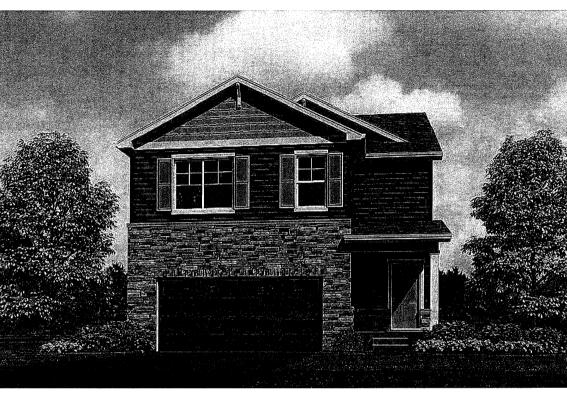
TOWN OF JOHNSTOWN, COLORADO

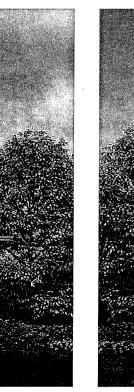


- OTES:

 ELEVATIONS ARE CONCEPTUAL AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

 MODELS AND ELEVATIONS MAY DIFFER, BUT MUST BE APPROVED BY THE TOWN OF JOHNSTOWN.















REVERE AT JOHNSTOWN

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

ARCHITECTURAL CHARACTER IMAGERY

SHEET NUMBER

SHEET 23 OF 30

TOWN OF JOHNSTOWN, COLORADO









- NOTES:

 1. ELEVATIONS ARE CONCEPTUAL AND ARE SHOWN FOR ILLUSTRATIVE
- ARE SHOWN FOR ILLUSTRATIVE
 PURPOSES ONLY.
 2. MODELS AND ELEVATIONS MAY DIFFER,
 BUT MUST BE APPROVED BY THE TOWN
 OF JOHNSTOWN.

now what's below. Call before you dig.





REVERE AT JOHNSTOWN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

02-05-2021 REVISION DATE:

SHEET TITLE

ARCHITECTURAL CHARACTER IMAGERY

SHEET NUMBER

L.19

SHEET 24 OF 30

TOWN OF JOHNSTOWN, COLORADO







PROJECT NAME

REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLA WN OF JOHNSTOWN, COLO

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

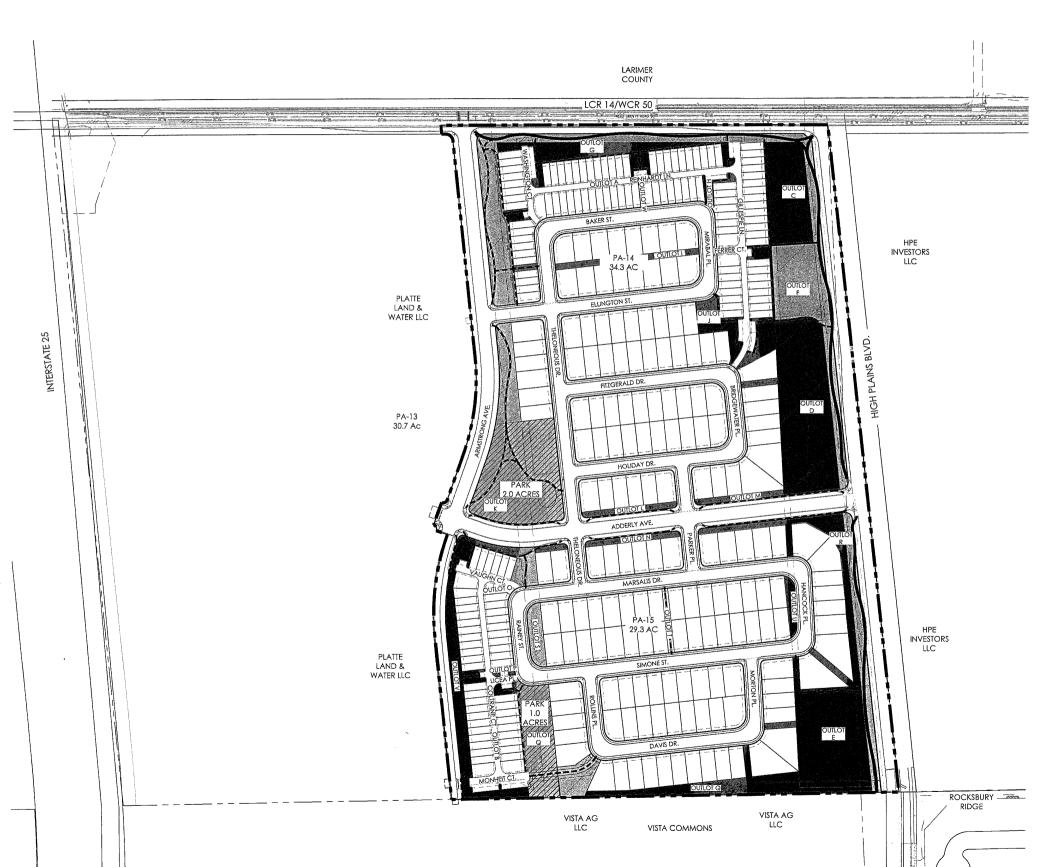
OPEN AREA & TRAILS PLAN

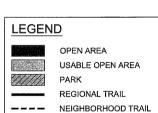
SHEET NUMBER

L.20

SHEET 25 OF 30

Scale: 1"= 150'-0"



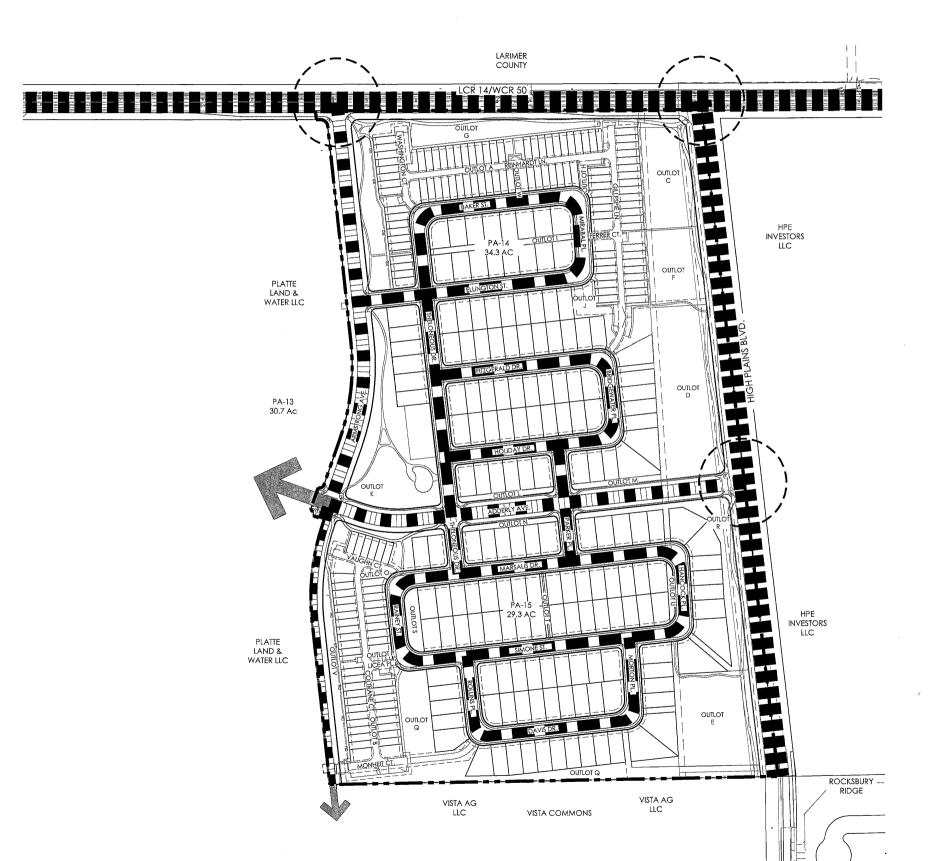


OPEN AREA DATA							
	OPEN AREA	PARK AREA ONLY	USABLE OPEN AREA + PARI				
REQUIRED	11.0	1.3	7.3				
PROVIDED	19.4	3.0	8.4				

NOTES

 ANY OPEN AREA AND/OR USABLE OPEN AREA THAT IS ABOVE THE REQUIRED SQUARE FOOTAGE MAY BE APPLIED TO FUTURE FILING REQUIREMENTS WITH THE APPROVAL OF THE PLANNING AND DEVELOPMENT DIRECTOR.

TOWN OF JOHNSTOWN, COLORADO









PROJECT NAME

REVERE AT JOHNSTOWN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE: 02-05-2021 REVISION DATE:

SHEET TITLE

CIRCULATION PLAN

SHEET NUMBER

SHEET 26 OF 30

INTERIM COLLECTOR LOCAL POTENTIAL FUTURE FULL MOVEMENT

LEGEND

MAJOR ARTERIAL

NOTE: SEE SHEET C.1 FOR FINAL STREET SECTIONS.

TOWN OF JOHNSTOWN, COLORADO







REVERE AT JOHNSTOWN

SUBMITTAL DATE: 02-05-2021

SHEET TITLE

PARKING PLAN

SHEET NUMBER

SHEET 27 OF 30



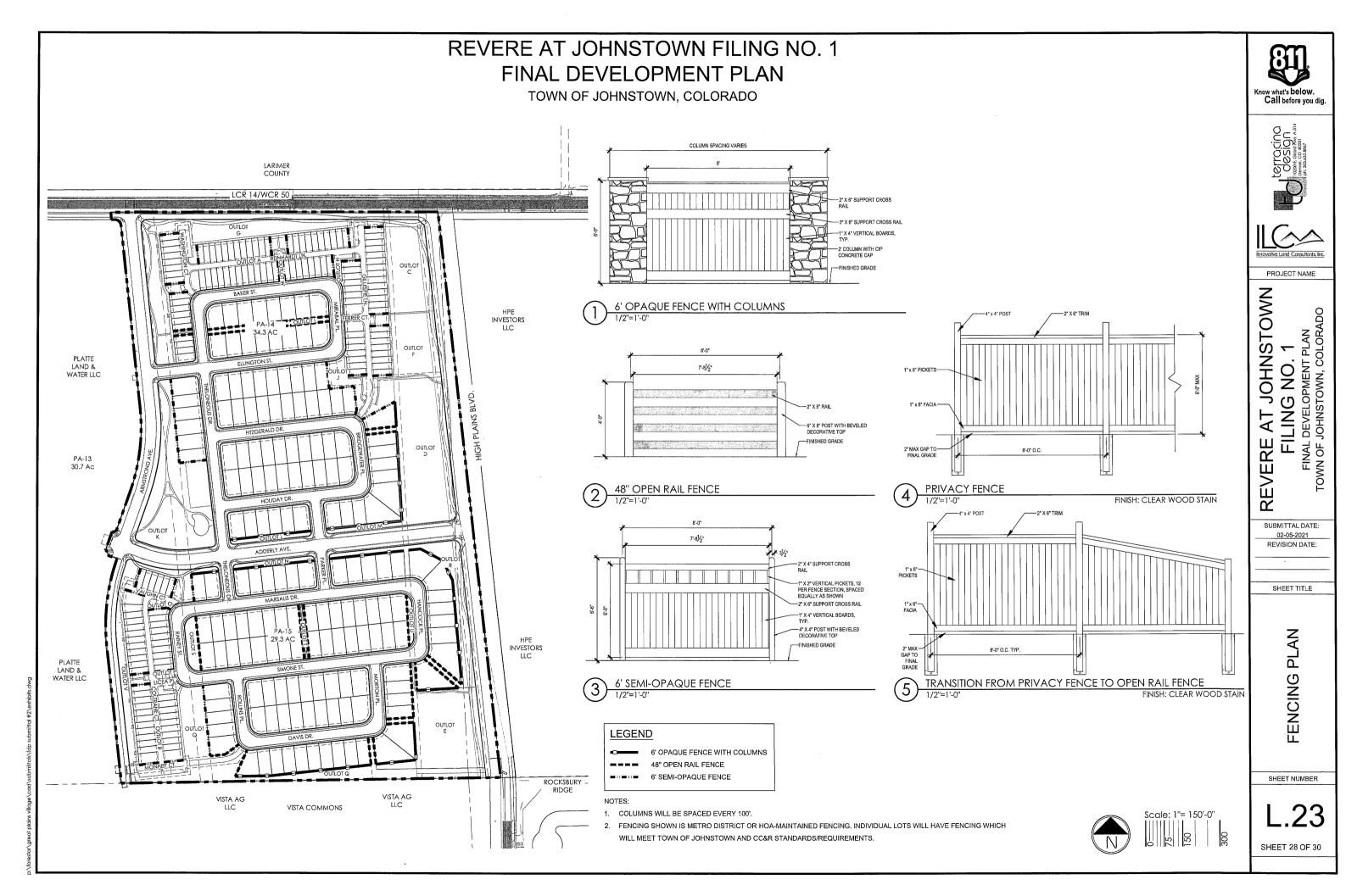


ON-STREET PARKING (SFA) ON-STREET PARKING (SFD) OFF-STREET PARKING

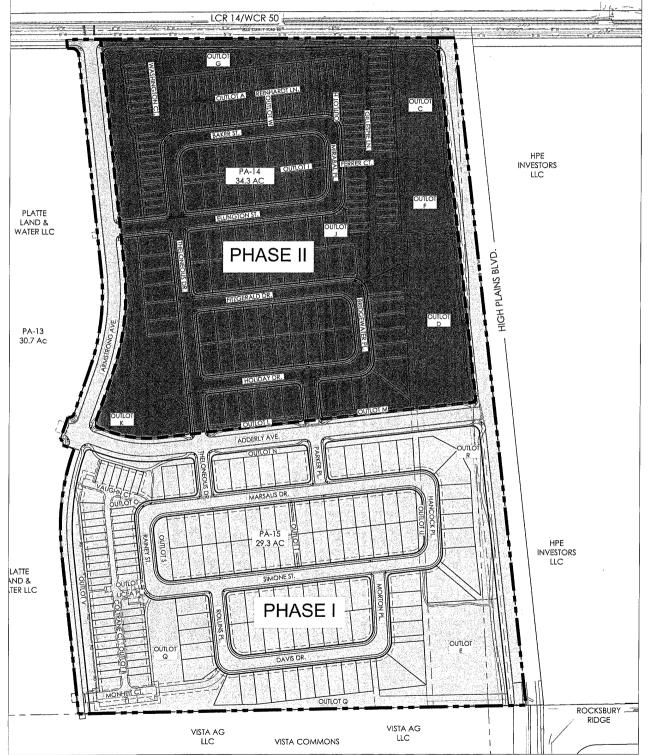
SINGLE FAMILY PARKING DATA						
PARKING TYPE	PARKING REQUIRED PER CODE (2 PER UNIT)	ADDITIONAL GUEST PARKING (0.5 PER UNIT)	TOTAL PARKING	PARKING PROVIDED		
ON-STREET		160		311		
OFF-STREET	640		800	92		
DRIVEWAY			000	340		
GARAGE				640		
TOTAL	640	160	800	1,383		

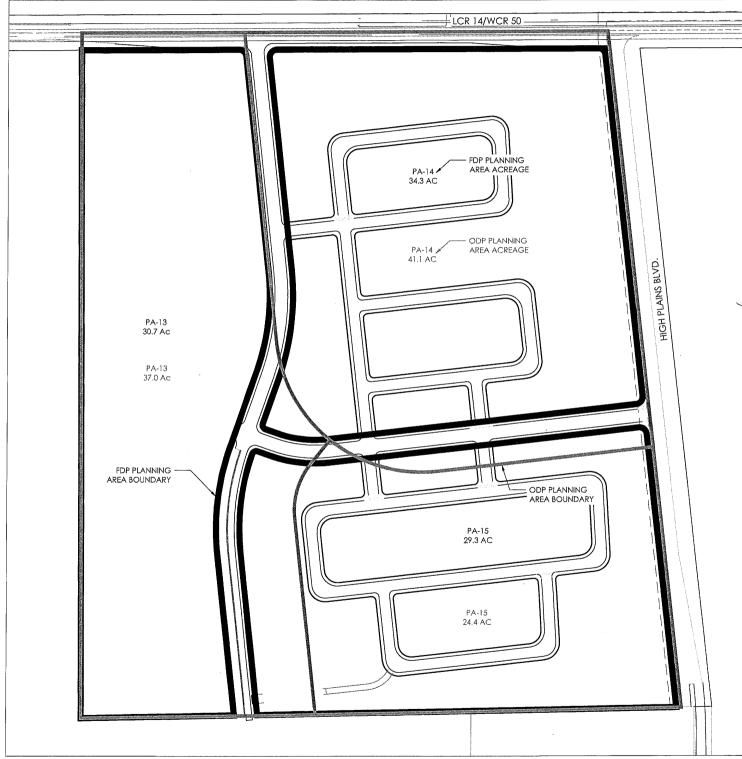
- 1. PARKING REQUIREMENTS ARE TWO (2) SPACES PER UNIT.
- 2. ALL SINGLE FAMILY ATTACHED AND DETACHED UNITS INCLUDE A TWO-CAR GARAGE.





TOWN OF JOHNSTOWN, COLORADO





PLANNING AREA DATA							
PLANNING AREA ODP ACREAGE FDP ACREAGE %							
PA-13	37.0	30.7	-17.0%				
PA-14	41.1	34.3	-16.5%				
PA-15	24.4	29.3	20.1%				









JOHNSTOWN
S NO. 1
COPMENT PLAN

FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:

OS-02-5051

EINAL DEVEL

OS-04-104

BINAL DEVEL

OS-04-104

BINAL DEVEL

OS-04-104

SHEET TITLE

PHASING PLAN & PLANNING AREA PLAN

SHEET NUMBER

L.24

SHEET 29 OF 30

PHASING PLAN LEGEND

— — PHASING BOUNDARY

PHASE I

PHASE II

1.1 STATEMENT OF INTENT

REVERE IS A COMMUNITY IN THE TOWN OF JOHNSTOWN LOCATED EAST OF INTERSTATE 25. FILING NO. 1 IS BOUND TO THE NORTH BY WCR 50/LCR 14 TO THE EAST BY THE FUTURE EXTENSION OF HIGH PLAINS BOULEVARD, AND TO THE SOUTH BY THE VISTA COMMONS. PUD. PROPERTY TO THE WEST IS DESIGNATED FOR FUTURE DEVELOPMENT PER THE ODP. FILING NO. 1 CONSISTS OF 320 SINGLE-FAMILY DETACHED AND ATTACHED UNITS. THE DESIGN OF THE SITE AND UNITS WILL FOLLOW THE GUIDELINES SET FORTH HEREIN AND THOSE ESTABLISHED UNDER THE GREAT PLAINS VILLAGE ODP. WHERE THESE SPECIFIC GUIDELINES DO NOT ADDRESS A PARTICULAR ITEM. THE TOWN OF JOHNSTOWN DESIGN GUIDELINES AND THE MUNICIPAL CODE SHALL PREVAIL.

THESE GUIDELINES SERVE AS A DESIGN CONCEPT FOR THE FINAL PUD. HIGH QUALITY DEVELOPMENT IS ENCOURAGED ALONG THE INTERSTATE 25 CORRIDOR IN GENERAL AND HIGH PLAINS BOULEVARD IN PARTICULAR, GREAT PLAINS VILLAGE WILL BE VISIBLE FROM THE INTERSTATE AND ITS DEVELOPMENT WILL FORM A FIRST IMPRESSION OF THE COMMUNITY.

PART 2 - GENERAL DESIGN GUIDELINES

2.1 APPLICABILITY

THIS SECTION APPLIES TO ALL DEVELOPMENT WITHIN FILING NO. 1. AND PROVIDES GENERAL STANDARDS UPON WHICH THE SUBSEQUENT SECTIONS WILL BUILD TO PROVIDE GREATER CLARITY FOR SPECIFIC LAND USES, ALL GOVERNING LOCAL CODES. REGULATIONS, AND STATUTES ENFORCED BY THE TOWN OF JOHNSTOWN WILL APPLY.

2.2 LANDSCAPING

2.2.1 LANDSCAPE DESIGN PRINCIPLES

ALL DEVELOPMENTS SHALL DEMONSTRATE ADHERENCE TO THE FOLLOWING LANDSCAPE DESIGN PRINCIPLES:

- DESIGN TO PROVIDE AN ATTRACTIVE COMFORTABLE. ENVIRONMENT FOR USERS WHILE MINIMIZING MAINTENANCE NEEDS, IRRIGATION WATER REQUIREMENTS AND THE USE OF HERBICIDES AND PESTICIDES.
- DESIGN LANDSCAPES TO CREATE A NATURALIZED APPEARANCE. USE PLANT MATERIALS THAT ARE INDIGENOUS TO NORTHERN COLORADO WHERE POSSIBLE, ONLY USE INTRODUCED SPECIES IN ORDER TO ACHIEVE DESIGN OBJECTIVES THAT CANNOT BE ACHIEVED WITH THE USE OF NATIVE SPECIES.
- COORDINATE THE DESIGN OF THE LANDSCAPE WITH SITE EROSION PROTECTION, STORM DRAINAGE AND WATER QUALITY
- DESIGN AND MANAGE IRRIGATION SYSTEMS TO ACHIEVE PEAK

2.2.2 STREETSCAPE DESIGN

FILING NO. 1 ENTRIES CONTAIN BOTH SIGNAGE AND LANDSCAPING THAT TIE INTO THE OVERALL DEVELOPMENT STREETSCAPE DESIGN INTO THE SITE AND THE LOCATIONS OF ENTRY MONUMENTS, LARGE MASSES OF TREES AND SHRUBS CREATE A LANDSCAPE CORRIDOR ALONG WCR 50/LCR 14 AND HIGH PLAINS BLVD. THE RIGHT-OF-WAY (ROW) IS PRIMARILY DROUGHT-TOLERANT TURE AND/OR IRRIGATED NATIVE SEED. THIS TREATMENT TRANSITIONS TO DRIFTS OF SHRUB/PERENNIAL BEDS AND TREE GROUPINGS THAT MEANDER FROM JUST INSIDE THE ROW TO THE EDGE OF LANDSCAPE BUFFERS AND BACK. THE INTENT IS TO AVOID A STRAIGHT-LINE TREATMENT AT THE EDGE OF THE R.O.W. WALKS ARE DETACHED AND MEANDER WITHIN THE R.O.W. AND OUTSIDE OF THE R.O.W. INTO THE LANDSCAPE

COLLECTOR & ARTERIAL STREETS:

PLANTING OF ARTERIAL AND COLLECTOR STREETS WILL BE TREATED IN A SIMILAR FASHION IN ORDER TO CREATE A UNIFIED AND SIGNIFICANT STREETSCAPE IMAGE, THE STREETSCAPE DESIGN WILL EMPHASIZE XERISCAPE PRINCIPLES AND A UNIQUE LOOK THAT SETS FILING NO. 1 APART, TREES AND PERENNIALS MAY BE PLANTED. WITHIN THE PUBLIC ROW, WHILE SHRUBS MAY BE PLANTED OUTSIDE

ARTERIAL LANDSCAPE BUFFER:

A 30' AVERAGE LANDSCAPE BUFFER IS PROVIDED ALONG WCR 50/LCR 14 AND HIGH PLAINS BLVD

SIGHT DISTANCE LINES:

NO PLANTINGS, MONUMENT SIGNS, OR FENCES OVER 30" ABOVE THE ADJACENT GUTTER FLOWLINE SHALL OCCUR WITHIN A SIGHT DISTANCE LINES, REFER TO AASHTO REQUIREMENTS REGARDING

2.3 PARKS, OPEN AREA, REGIONAL DETENTION AND NATURAL AREAS

THE DESIGN OF PARKS, OPEN AREA, DETENTION AND NATURAL AREAS SHALL MEET THE CRITERIA AS ESTABLISHED IN THE JOHNSTOWN/MILLIKEN PARKS, TRAILS, RECREATION AND OPEN SPACE PLAN OR ITS SUCCESSOR DOCUMENTS. FINAL DEVELOPMENT PLANS MAY BE SUBMITTED IN STAGES BY PHASE. AS SUCH, THE OPEN AREA DESIGN, APPROVAL AND LANDSCAPE INSTALLATION WILL OCCUR AS THE LOTS DEVELOP

2.4 SITE SIGNAGE

2.4.1 PURPOSE

MONUMENT SIGNS ARE LOCATED AT EACH PRIMARY ENTRANCE TO THE NEIGHBORHOOD. MONUMENT SIGNS MAY BE BACKLIT, OR UPLIGHTING MAY BE PROVIDED OR HAVE NO LIGHTING ALSO THE FREESTANDING SIGNAGE FOR FILING NO. 1 IS REFLECTIVE OF THE GENERAL INTENT FOR SIGNAGE IN FUTURE FILINGS. HOWEVER FLEXIBILITY IN THE FINAL DESIGN OF FUTURE PHASES IS ENCOURAGED TO CREATE A UNIQUE IDENTITY FOR EACH OF THE VARIOUS NEIGHBORHOODS, SIGNS SHALL BE CONSTRUCTED WITH HIGH QUALITY MATERIALS THAT LEND TO THE OVERALL AESTHETICS OF THE NEIGHBORHOOD.

2.5 FENCING & WALLS

FENCE DESIGN AND LOCATIONS SHALL BE IN ACCORDANCE WITH THE FENCE DETAILS ON SHEET L 23 ALL OTHER FENCE RESTRICTIONS SHALL BE IN ACCORDANCE WITH THE ODP OR THE TOWN DESIGN

PART 3 - RESIDENTIAL DISTRICTS

3.1 SINGLE FAMILY DETACHED

THE INTENT WITHIN THE FILING NO. 1 IS TO BUILD HOMES OF VARIOUS ARCHITECTURAL DESIGNS THAT RELATE HOMES TO THE STREET. THAT CREATE DIVERSITY AND VARIETY ALONG RESIDENTIAL STREETS WITH MANY HAVING FRONT PORCHES THAT REFLECT TRADITIONAL COLORADO STYLES AND NEIGHBORHOODS, WHILE ALSO ALLOWING COMPLIMENTARY MODERN DESIGNS. THESE PUD STANDARDS ARE INTENDED TO ENSURE THAT AN ADEQUATE MIX OF MODELS AND STYLES ARE OFFERED WITHIN THE NEIGHBORHOOD AND WITHIN EACH BLOCK. THROUGH THE STANDARDS INCLUDED HERE, THE PUD SHALL COMPLY WITH THE INTENT OF THE TOWN'S DIVERSITY REQUIREMENTS. THE DEVELOPER/BUILDER, ALONG WITH THE TOWN, SHALL ENFORCE THESE REQUIREMENTS AS INDIVIDUAL HOMES ARE BUILT ON SAID LOTS.

MODEL DIVERSITY FOR BLOCKS GREATER THAN 6 LOTS:

- EACH BLOCK FACE SHALL CONTAIN AT LEAST THREE (3) DIFFERENT MODELS THAT HAVE SIGNIFICANT VARIATIONS IN THE ELEVATIONS AND MASSING, DIFFERENTIATION IN MODELS REQUIRES AT LEAST THREE (3) OF THE FOLLOWING VARIATIONS:
- 1.1. HOME SIZE
- 1.2. ELEVATION
- 1.3. COLOR SCHEME
- 1.4. USE OF EXTERIOR MATERIAL
- 1.5. ROOF FORM
- EACH BLOCK FACE SHALL CONTAIN NO MORE THAN THREE (3) OF THE SAME MODEL WITH THE SAME ARCHITECTURAL STYLE
- SIGNIFICANT VARIATION IN THE RANGE OF WALL COLORS ON A BLOCK FACE IS REQUIRED. DIFFERENT BODY COLORS SHALL BE USED ON ADJACENT BUILDINGS AND ACROSS THE STREET FROM ONE ANOTHER. TREAT A BLOCK FACE AS A UNIFIED
- D. THE SAME HOME MODEL AND ELEVATION SHALL NOT BE BUILT WITHIN TWO (2) LOTS OF EACH OTHER, ON BOTH SIDES OF THE STREET-I.E., THE 3RD LOT OVER MAY CONTAIN THE SAME MODEL MODELS WITH TWO OR MORE APPROVED ELEVATIONS AND/OR A MODEL THAT IS MIRRORED, WITH A VARIED COLOR SCHEMES AND SOME MEANINGFUL CHANGE IN DESIGN FEATURE MAY BE PERMITTED UNDER THIS SECTION.
- AT LEAST ONE THIRD OF THE BUILDINGS ON EACH BLOCK FACE SHALL HAVE A FRONT PORCH.
- ALL HOMES SHALL HAVE AT LEAST A TWO-CAR, ATTACHED GARAGE AND SHALL HAVE NO MORE THAN THREE (3) COVERED PARKING SPACES, INCLUDING THE ATTACHED GARAGE.
- G. ONLY ONE POINT OF ACCESS TO EACH LOT IS PERMITTED.

H RV STORAGE IS NOT PERMITTED ON ANY LOT

2. STYLISTIC DIVERSITY.

- EACH MODEL SHALL HAVE AT LEAST TWO (2) ARCHITECTURAL STYLES AND COLOR SCHEMES. THIS REQUIRES
- ROOF FORM/LINES AND PROFILES
- B. DIFFERENT WINDOW AND DOOR STYLES
- C. DIFFERENT ENTRY TREATMENTS AND LOCATIONS INCLUDING PORCHES, COLUMNS, ETC.
- SINGLE AND TWO-STORY HOMES

ENHANCEMENTS AT CORNERS.

AT CORNERS BUILDINGS SHALL ADDRESS THE SIDE STREET OR OPEN SPACE. CORNER LOTS SHALL BE WIDE ENOUGH TO ALLOW FOR SIDE ELEVATION ENHANCEMENTS, AT LEAST TWO (2) OF THE FOLLOWING ENHANCEMENTS ARE REQUIRED:

- A. WINDOWS OR GLAZED DOORS THAT FACE THE SIDE STREET OR OPEN SPACE.
- ONE CHANGE IN THE VERTICAL OR HORIZONTAL WALL PLANE USING COLOR, MATERIAL OR SIDING ORIENTATION.
- BRACKETS, PROJECTIONS, BELT COURSES, BELLY BANDS, ACCENT SIDING OR OTHER SUCH DETAILS.
- D. ON-HIP ROOFS, ACCENT SIDING WILL NOT BE PROVIDED.

ARCHITECTURAL STYLE.

NEW RESIDENTIAL ARCHITECTURE SHALL RESEMBLE THE ARCHITECTURE COMMONLY FOUND IN COLORADO NEIGHBORHOODS AS WELL AS MORE MODERN DESIGNS. THE GOAL IS TO CREATE THE MEMORABLE CHARACTER, IDENTITY AND APPEAL THAT THESE NEIGHBORHOODS DISPLAY, NOT TO PROVIDE EXACT REPLICAS OF HISTORIC BUILDINGS.

MASSING. THE MASS OF A HOUSE SHOULD STRONGLY REFLECT TS ARCHITECTURAL STYLE AND SHALL BE SCALED TO PROVIDE VISUAL INTEREST AND DEPTH SOME BUILDING ARTICULATION.

ROOFS.

ROOF FORMS AND PITCHES OF A HOUSE SHALL STRONGLY REFLECT ITS ARCHITECTURAL STYLE. IN GENERAL, A SIMPLE DOMINANT ROOF FORM SHOULD BE USED IN COMBINATION WITH COMPLEMENTARY SECONDARY AND MINOR ROOF FORMS AND **ELEMENTS**

- ROOF OVERHANGS, EAVES, FASCIA AND SOFFIT DETAIL SHALL BE DETAILED APPROPRIATELY FOR THE ARCHITECTURAL STYLE OF THE BUILDING.
- THE CHARACTER AND PLACEMENT OF DORMERS, WHEN USED, SHALL ALSO REFLECT THE ARCHITECTURAL STYLE OF THE
- ALL ROOES SHALL HAVE THIRTY (30) YEAR ARCHITECTURAL STYLE SHINGLES. ANY ALTERNATIVE SHINGLE TYPE SHALL BE SUBMITTED TO THE TOWN FOR PRIOR APPROVAL. THREE-TAB CONVENTIONAL ASPHALT SHINGLES SHALL NOT BE PERMITTED.

7. COVERED ENTRIES AND PORCHES.

- A. A COVERED ENTRYWAY FOR THE FRONT DOOR IS REQUIRED.
- PORCH DESIGNS SHALL REFLECT THE ARCHITECTURAL STYLE OF THE BUILDING.
- RAISED PORCH FLOORS, SIXTEEN (16) INCHES OR MORE ABOVE THE FINISHED GRADE, ARE ENCOURAGED.

FRONT DOORS.

FRONT DOORS SHALL BE DESIGNED, DETAILED AND LOCATED TO BE PROMINENT ARCHITECTURAL ELEMENTS VISIBLE FROM THE STREET. THE DOOR STYLE, SCALE AND TRIM SHALL COMPLEMENT THE ARCHITECTURAL STYLE OF THE BUILDING.

WINDOWS.

THE WINDOW TYPE, COMPOSITION, PROPORTIONS AND TRIM FOR A HOUSE SHALL STRONGLY REFLECT ITS ARCHITECTURAL STYLE, A MINIMUM OF 20 SQUARE FEET OF THE FRONT FACADE OF ANY SINGLE-STORY RANCH PLAN AND A MINIMUM OF 30 SOLIARE FEET OF THE FRONT FACADE OF ANY TWO-STORY PLAN (INCLUDING ANY GARAGE DOOR GLAZING) BE GLASS. ALL SIDE AND REAR ELEVATIONS SHALL HAVE A MINIMUM OF 20 SQUARE FEET OF GLASS. THE USE OF MUNTINS IS ENCOURAGED TO CREATE A SMALLER SCALE.

EXTERIOR EMBELLISHMENTS.

- FRONT ELEVATIONS SHALL PROVIDE A MINIMUM OF TWENTY-FIVE PERCENT (25%) MASONRY (BRICK, STONE, CULTURED STONE, OR SIMILAR).
- B. STREET-SIDE FACADES SHALL PROVIDE A MINIMUM FIVE (5) FOOT DEEP MASONRY WRAP FROM THE FRONT OF THE HOME. A

MINIMUM OF THREE (3) FEET HIGH.

C. BAYS PROJECTIONS BRACKETS TRIM AND MATERIAL CHANGES THAT ARE APPROPRIATE FOR THE EXPRESSION OF THE ARCHITECTURAL STYLE OF A BUILDING SHALL BE USED.

11. EXTERIOR COLOR.

THE SKILLFUL USE OF COLOR VARIATION IS ESPECIALLY IMPORTANT MONOTONOUS COLOR PALETTES ARE NOT ALLOWED AND MUST COMPLY WITH THE MODEL DIVERSITY VARIATIONS LISTED ABOVE.

- A. STRONG COLORS SHALL BE MUTED SHADES OR TINTS OF THE PURE HUE TO ENSURE THAT COLORS ARE SUBDUED. HIGH GLOSS PAINTS ARE NOT ALLOWED. USE SATURATED COLOR HUES SPARINGLY AS ACCENTS.
- WALL TRIM ACCENT ROOF AND MASONRY COLORS SHALL BE COORDINATED.
- GENERALLY. CORNER TRIM SHOULD BE OF SIMILAR OR LIGHTER 2. VALUE THAN THE MAIN BODY COLOR.

12. DECKS.

- DECKS ARE PERMITTED IN REAR AND SIDE YARDS.
- DECKS OVER 36" IN HEIGHT SHALL NOT ENCROACH INTO SETRACKS
- C. DECKS SHALL BE STAINED OR TREATED TO BE WEATHER-RESISTANT

ALLOWABLE BUILDING EXTENSIONS.

CORNICES, CANOPIES, EAVES OR SIMILAR ARCHITECTURAL FEATURES COUNTER/ARTS BRICK LEDGES, MAY EXTEND FROM THE BUILDING INTO A REQUIRED YARD SETBACK NOT MORE THAN TWO (2) FEET. OPEN, UNENCLOSED, UNCOVERED PORCHES LESS THAN 30 INCHES ABOVE GROUND LEVEL MAY EXTEND INTO A REAR SETBACK NOT MORE THAN SIX (6) FEET.

ACCESSORY STRUCTURES.

- ANY ACCESSORY STRUCTURES MUST MATCH COLOR OF RESIDENCE AND BE CONSTRUCTED OF RESIDENTIAL BUILDING
- STRUCTURES AND SHEDS SHALL NOT EXCEED 120 SQ. FT. AND SHALL NOT EXCEED 12' IN HEIGHT.
- SHEDS SHALL BE A MINIMUM OF 5' FROM ANY PROPERTY LINE AND SHALL NOT BE LOCATED IN THE FRONT YARD
- PLUMBING IN ACCESSORY STRUCTURES IS PROHIBITED.
- E. EXTERIOR LIGHTING FOR ACCESSORY STRUCTURES SHALL BE

LANDSCAPING.

- THE DEVELOPER, HIS SUCCESSORS OR ASSIGNS SHALL INSTALL LANDSCAPING WITHIN THE COMMON OPEN SPACE AREA TRACTS AND ANY LOCAL STREET RIGHT-OF WAY WHICH ABUTS THESE AREAS. THE DEVELOPER WILL ALSO INSTALL LANDSCAPING WITHIN THE ABUTTING ARTERIAL AND COLLECTOR STREET RIGHT-OF-WAY, AUTOMATIC IRRIGATION SYSTEM(S) SHALL BE PROVIDED FOR ALL THE ABOVE LANDSCAPING, THE ONLY EXCEPTION WILL BE IN THOSE AREAS WHERE THE PRIMARY PROPOSED GROUND COVER IS NATIVE OR DRYLAND GRASSES.
- THE HOME BUILDER SHALL INSTALL FRONT YARD LANDSCAPING AND AUTOMATIC IRRIGATION SYSTEMS AS FOLLOWS:
 - 1.1. AN AVERAGE OF ONE (1) DECIDUOUS OR ORNAMENTAL TREE FOR EVERY FORTY (40) LINEAR FEET OF RESIDENTIAL LOT FRONTAGE OR PORTION THEREOF BASED ON THE LOCATION OF THE DRIVEWAY, UTILITY SERVICES AND SITE VISIBILITY TRIANGLE. THE TREE SHALL BE ALONG WITH LIVE GROUNDCOVER, INCLUDING A COMBINATION OF GRASS. TREES, FLOWERS, GRASS OR SHRUBS WITHIN 7.5 FEET OF RIGHT-OF-WAY BEHIND THE SIDEWALK TO THE LOT LINE. THE ROW LANDSCAPING IS IN ADDITION TO THE REQUIRED. FRONT YARD LANDSCAPING
 - 1.2. FOR THE FRONT YARD SETBACK OF EACH HOME. THERE SHALL BE A MINIMUM OF SEVENTY-FIVE PERCENT (75%) LIVE MATERIALS BETWEEN THE FRONT OF THE HOUSE AND THE CURB UNLESS OTHERWISE APPROVED BY THE TOWN.
- 1.3. FOUR (4) SHRUBS FOR THE FRONT YARD SETBACK OF EACH 1.4. THE AUTOMATIC IRRIGATION SYSTEM SHALL BE FROM THE
- 1.5. MULCH WITHIN THE 5' SIDE SETBACK OF EACH HOME.

DOMESTIC TAP FOR THE HOME

- 1.6. A MAXIMUM OF 30% OF THE LANDSCAPE AREA ON SINGLE FAMILY LOTS MAY BE TURF. REFER TO SHEET L.17 FOR
- C. THE HOMEOWNER SHALL:
- 1.1 INSTALL REMAINDER OF YARD, AND IS ENCOURAGED TO PLANT ADDITIONAL TREES, SHRUBS AND

FLOWERS USING XERISCAPE PRINCIPLES AND THE GENERAL PROVISIONS SET FORTH IN TOWN REGULATIONS

1.2 MAINTAIN THE YARD AND LANDSCAPING WITHIN THE ADJACENT ROAD RIGHT-OF-WAY IN ACCORDANCE WITH TOWN REGULATIONS.

3.2 SINGLE FAMILY ATTACHED

SINGLE FAMILY ATTACHED HOUSING SHALL MEET THE TOWN OF JOHNSTOWN DESIGN GUIDELINES IN ADDITION TO THE FOLLOWING ARCHITECTURAL DESIGN STANDARDS

- THE FACADES OF BUILDING STRUCTURES SHALL BE ARTICULATED TO DIFFERENTIATE INDIVIDUAL UNITS.
- THE STREET FACING ELEVATION (INCLUDING DOORS AND WINDOWS, BUT EXCLUDING ROOF AREA) SHALL HAVE A MINIMUM OF THIRTY (30) PERCENT MASONRY (BRICK, STONE CULTURED STONE OR TEXTURE EIFS); AND OUTSIDE CORNERS OF STREET FACING ELEVATIONS SHALL BE WRAPPED WITH MASONRY PRODUCT A MINIMUM OF TWO (2) FEET.
- BUILDING SIDE EXTERIOR WALL AREAS SHALL BE COMPOSED OF
- A. AT LEAST 25 PERCENT FULL-WIDTH BRICK OR STONE (EXCLUDING WINDOW AND DOOR AREAS AND RELATED TRIM AREAS) WITH THE BALANCE BEING ANY TYPE OF LAP SIDING AND/OR STUCCO.
- A MAXIMUM OF 60 PERCENT STUCCO (EXCLUDING WINDOW AND DOOR AREAS AND RELATED TRIM AREAS) WITH THE BALANCE BEING ANY TYPE OF LAP SIDING. BRICK, STONE, OR
- EACH INDIVIDUAL SINGLE-FAMILY ATTACHED BUILDING SHALL PROVIDE A PRIVATE OUTDOOR PATIO OR DECK AREA WITH MINIMUM FLOOR AREA DIMENSIONS OF AT LEAST FIVE FEET BY SEVEN FEET, SLICH AN AREA MAY BE FITHER AT OR ABOVE THE SURROUNDING GRADE, BUT SHALL BE CLEARLY DEMARCATED BY PATIO PAVING, DECKING, A PRIVACY SCREEN, A THREE-FOOT WALL, OR LANDSCAPE SCREENING.
- NO MORE THAN TWO (2) BUILDING UNITS MAY BE ATTACHED IN ANY SINGLE ROW OR BUILDING CLUSTER.
- EACH STREET FACING FACADE OF EACH HOME SHALL HAVE A MINIMUM WINDOW AREA OF TWELVE (12) SQUARE FEET OF GLASS AREA. ON ANY ELEVATION REQUIRING A WINDOW, THE GARAGE, BASEMENT OR ENTRY DOOR WINDOWS SHALL NOT BE USED TO SATISFY THE WINDOW REQUIREMENT
- EACH WINDOW THAT IS NOT LOCATED IN A PORTION OF THE WALL CLAD IN MASONRY SHALL HAVE FITHER A MINIMUM FOUR-INCH NOMINAL WIDE WOOD TRIM BORDER OR SHUTTERS A MINIMUM OF TWELVE (12) INCHES WIDE
- WINDOW FRAMES OTHER THAN WOOD SHALL BE FITHER ANODIZED, ELECTRO-STATICALLY PAINTED, VINYL CLAD OR VINYL UNPAINTED ALUMINUM WINDOW FRAMES ARE PROHIBITED EXCEPT FOR BASEMENT WINDOWS, WOOD FRAMES SHALL BE PAINTED. SEALED OR STAINED.
- EACH DOOR THAT IS NOT LOCATED IN A PORTION OF THE WALL CLAD IN MASONRY SHALL HAVE A MINIMUM FOUR-INCH NOMINAL WIDE TRIM BORDER.
- ALL ROOFTOP EQUIPMENT, INCLUDING (WITHOUT LIMITATION) HVAC UNITS SWAMP COOLERS AND ANTENNAS, SHALL NOT BE PLACED ON THE STREET FACING PORTION OF THE ROOF AND SHALL BE SCREENED FROM VIEW FROM THE PUBLIC R.O.W.
- PIPING VENTING FLASHING SOLAR PANEL FRAMES AND OTHER ROOFTOP EQUIPMENT EXPOSED TO VIEW SHALL BE FINISHED TO MATCH THE ROOF SURFACE COLOR OR OTHERWISE DESIGNED TO BLEND WITH THE ROOF SURFACE.
- A PRIMARY ROOF SLOPE OF AT LEAST 5:12 SHALL BE PROVIDED UNLESS THE ARCHITECTURAL STYLE DICTATES OTHERWISE
- IT IS ENCOURAGED THAT UNITS BE DESIGNED SO THAT THE UNIT'S GARAGE DOOR OR DOORS AND ITS FRONT ENTRY APPEAR ON DIFFERENT SIDES OF A BUILDING.









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SHEET 30 OF 30