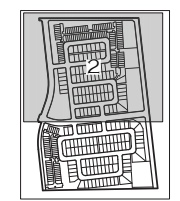


REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT

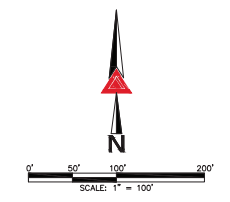


KEY MAP NOT TO SCALE



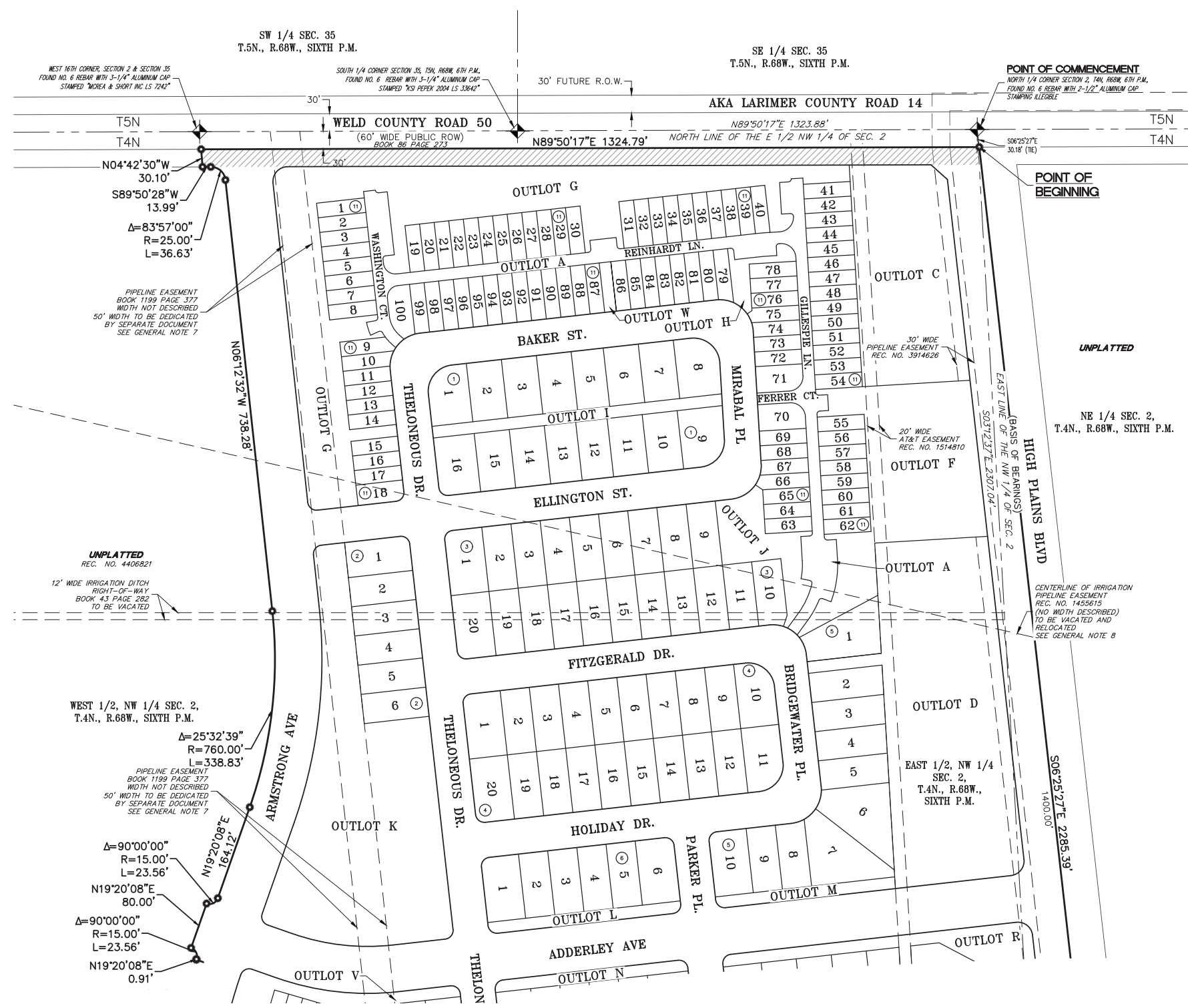
MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON

SEE SHEET 14 FOR LINE AND CURVE TABLES



FOR REVIEW

FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.



PLAT NOTES

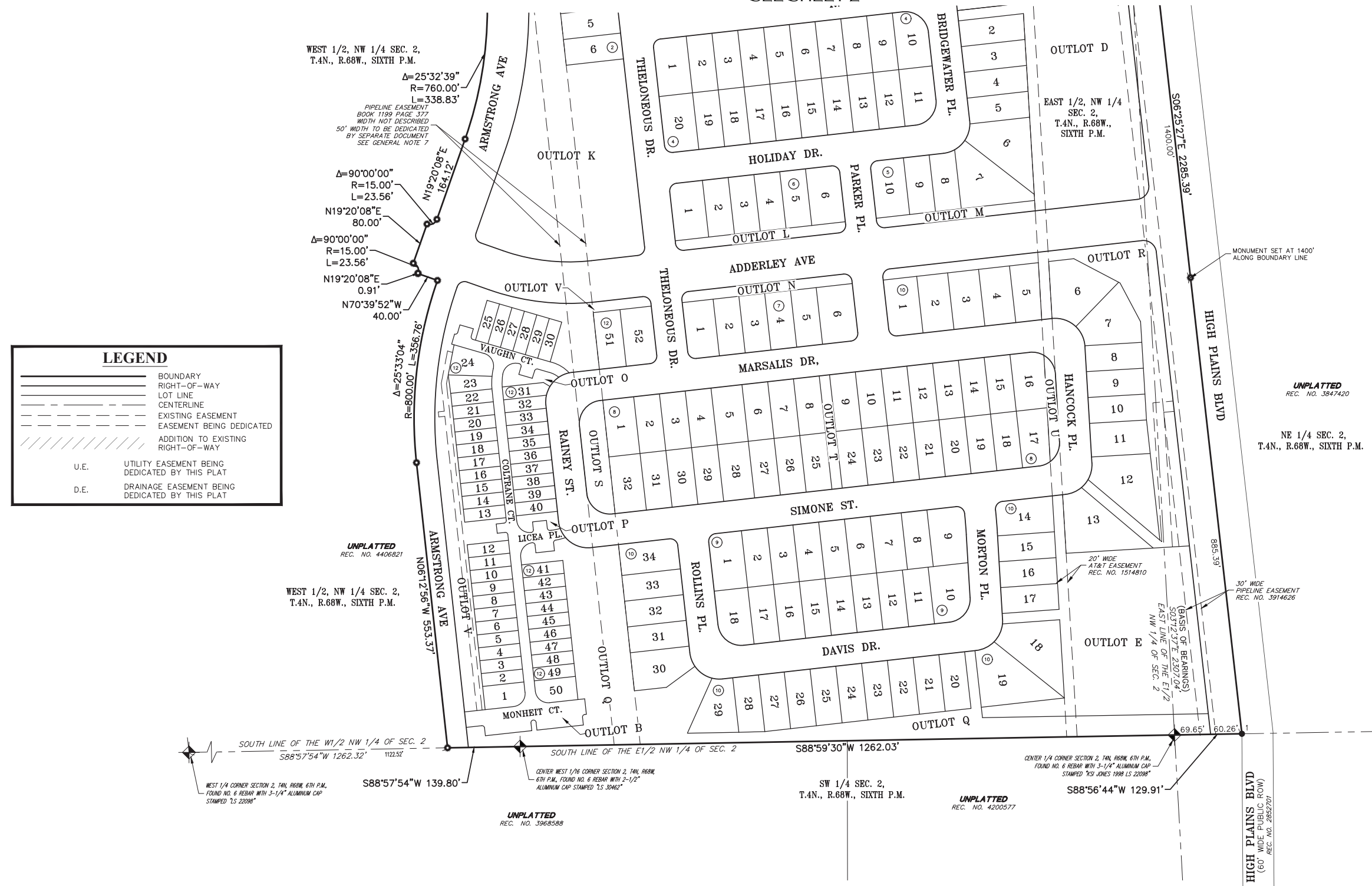
- STREET MAINTENANCE. IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY THE CITY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF JOHNSTOWN IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED BY THE TOWN ENGINEER, AND PROVIDED THAT CONSTRUCTION OF SAID ROADWAY(S) IS STARTED WITHIN ONE (1) YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE CITY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.
- DRIVES, PARKING AREAS AND UTILITY EASEMENTS MAINTENANCE. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS' ASSOCIATION, METROPOLITAN DISTRICTS, OR OTHER ENTITY OTHER THAN THE CITY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL PRIVATE DRIVES, PARKING AREAS AND EASEMENTS (CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
- LANDSCAPE MAINTENANCE. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS' ASSOCIATION, METROPOLITAN DISTRICTS, OR ENTITY OTHER THAN THE CITY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING OR WALLS, LANDSCAPING AND LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST OR AN ENTITY OTHER THAN THE CITY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
- SIGHT DISTANCE RESTRICTIONS, CONSISTING OF A 30 FOOT BY A 30 FOOT SIGHT DISTANCE TRIANGLE OR OF SUCH OTHER DIMENSIONS AS REQUIRED TO PROTECT AASHTO SIGHT LINES, SHALL APPLY TO ALL LAND AREAS ADJACENT TO ALL PUBLIC AND PRIVATE ROAD INTERSECTIONS ON THIS PLAT. THE OWNERS OF SUCH ADJACENT LAND AREAS ARE PROHIBITED FROM ERECTING, GROWING, OR OTHERWISE PERMITTING ANY OBSTRUCTION WITHIN SUCH LAND AREA THAT IS OVER 3 FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY.
- PUBLIC SAFETY ACCESS, WHETHER FOR EMERGENCY OR NONEMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS' ASSOCIATION OR METROPOLITAN DISTRICT WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

SEE SHEET 3

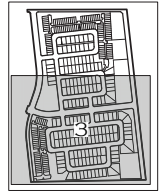
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	SCALE:	1" = 100'
AzTec Proj No: 156420-03		SHEET 2 OF 14

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS
SEE SHEET 2

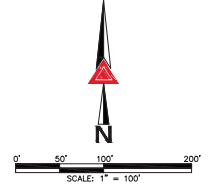


LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT



MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON

SEE SHEET 14 FOR LINE AND CURVE TABLES



	DATE OF PREPARATION:	11-13-2020
	SCALE:	1" = 100'
AzTec Proj No: 156420-03		SHEET 3 OF 14

FOR REVIEW

FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC

UNPLATTED REC. NO. 3847420
NE 1/4 SEC. 2, T.4N., R.68W., SIXTH P.M.

UNPLATTED REC. NO. 4406521

WEST 1/2, NW 1/4 SEC. 2, T.4N., R.68W., SIXTH P.M.

UNPLATTED REC. NO. 3965588

SW 1/4 SEC. 2, T.4N., R.68W., SIXTH P.M.

UNPLATTED REC. NO. 4200577

CENTER 1/4 CORNER SECTION 2, T4N, R68W, 6TH P.M. FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "J3 JONES 1998 LS 22098"

WEST 1/4 CORNER SECTION 2, T4N, R68W, 6TH P.M. FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "LS 22098"

SOUTH LINE OF THE W1/2 NW 1/4 OF SEC. 2 S88°57'54"W 139.80'

SOUTH LINE OF THE E1/2 NW 1/4 OF SEC. 2 S88°59'30"W 1262.03'

S88°59'30"W 1262.03'

S88°56'44"W 129.91'

HIGH PLAINS BLVD (60' WIDE PUBLIC ROW) REC. NO. 288297

(BASIS OF BEARINGS) S037°23'37"E 2307.04' EAST LINE OF THE E1/2 NW 1/4 OF SEC. 2

30' WIDE PIPELINE EASEMENT REC. NO. 3914626

20' WIDE AT&T EASEMENT REC. NO. 1514810

WEST 1/2, NW 1/4 SEC. 2, T.4N., R.68W., SIXTH P.M.

Δ=25°32'39" R=760.00' L=338.83'

PIPELINE EASEMENT BOOK 1199 PAGE 377 WIDTH NOT DESCRIBED 50' WIDTH TO BE DEDICATED BY SEPARATE DOCUMENT SEE GENERAL NOTE 7

Δ=90°00'00" R=15.00' L=23.56'

N19°20'08"E 80.00'

Δ=90°00'00" R=15.00' L=23.56'

N19°20'08"E 0.91'

N70°39'52"W 40.00'

Δ=25°33'04" R=600.00' L=356.76'

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

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ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

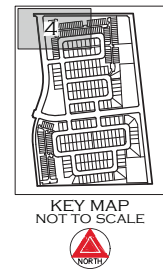
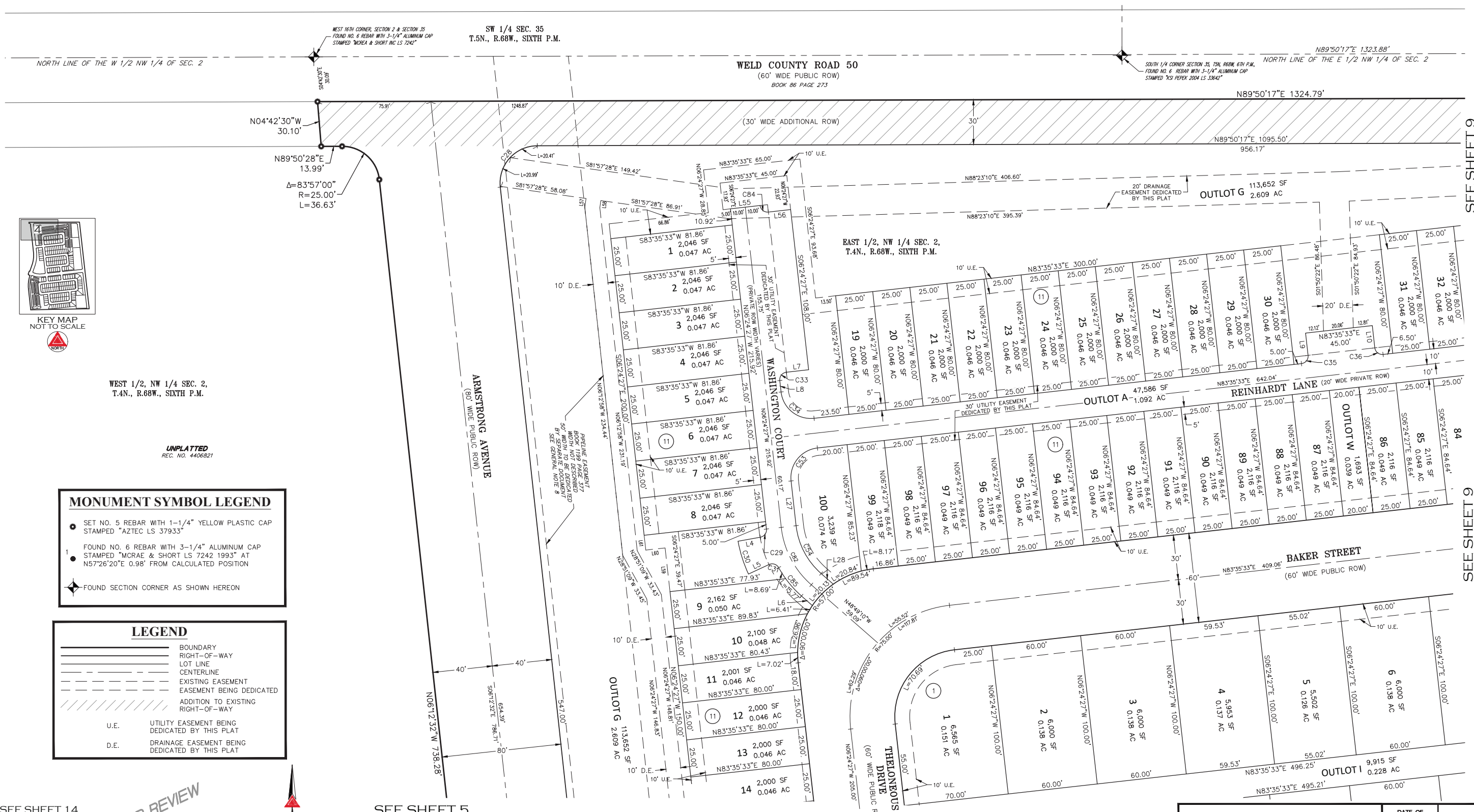
ARMSTRONG AVE

ARMSTRONG AVE

ARMSTRONG AVE

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS



WEST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 4406821

MONUMENT SYMBOL LEGEND

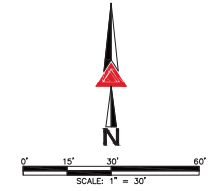
- SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
- FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
- ◆ FOUND SECTION CORNER AS SHOWN HEREON

LEGEND

- BOUNDARY
- - - RIGHT-OF-WAY
- LOT LINE
- CENTERLINE
- - - EXISTING EASEMENT
- - - EASEMENT BEING DEDICATED
- /// ADDITION TO EXISTING RIGHT-OF-WAY
- U.E. UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
- D.E. DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT

SEE SHEET 14
FOR LINE AND
CURVE TABLES

FOR REVIEW



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

SEE SHEET 5

SEE SHEET 5

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

DATE OF PREPARATION:	11-13-2020
SCALE:	1" = 30'
SHEET 4 OF 14	

AzTec Proj. No: 155620-03

Drawn By: RBA

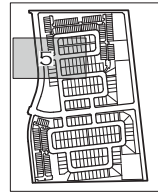
SEE SHEET 6

SEE SHEET 6

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT



KEY MAP
NOT TO SCALE

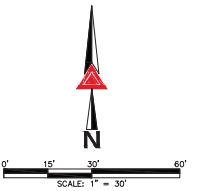


MONUMENT SYMBOL LEGEND	
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	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON

UNPLATTED
REC. NO. 4406821

WEST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

12" WIDE IRRIGATION DITCH
RIGHT-OF-WAY
BOOK 43 PAGE 282
TO BE VACATED



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

SEE SHEET 14
FOR LINE AND
CURVE TABLES

SEE SHEET 4

SEE SHEET 4

SEE SHEET 10

SEE SHEET 10

SEE SHEET 6

$$\Delta = 25^{\circ}32'39''$$

$$R = 760.00'$$

$$L = 338.83'$$

	300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	DATE OF PREPARATION:	11-13-2020
		SCALE:	1" = 30'
AzTec Proj. No: 156420-03		Drawn By: RBA	
		SHEET 5 OF 14	

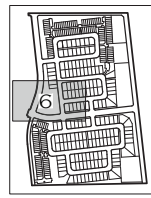
REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

SEE SHEET 5

SEE SHEET 5

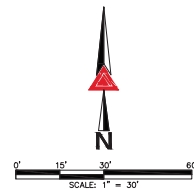
LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT



WEST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 4406821

MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

SEE SHEET 14
FOR LINE AND
CURVE TABLES

SEE SHEET 7



SEE SHEET 11

SEE SHEET 11

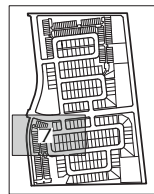
SEE SHEET 7

<p>300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com</p>	DATE OF PREPARATION:	11-13-2020
	SCALE:	1" = 30'
AzTec Proj. No: 156420-03		Drawn By: RBA
SHEET 6 OF 14		

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
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TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT

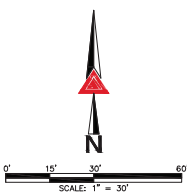


WEST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 4406821

MONUMENT SYMBOL LEGEND

- SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
- FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MORAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
- ◆ FOUND SECTION CORNER AS SHOWN HEREON



FOR REVIEW

SEE SHEET 14
FOR LINE AND
CURVE TABLES

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

SEE SHEET 8

SEE SHEET 6

SEE SHEET 6

SEE SHEET 12

SEE SHEET 12

SEE SHEET 8



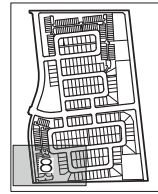
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	SCALE:	1" = 30'
AzTec Proj. No: 156420-03		Drawn By: RBA
SHEET 7 OF 14		

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
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TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

SEE SHEET 7

LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT



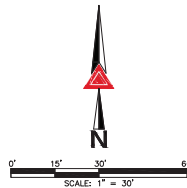
WEST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 4406821

MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

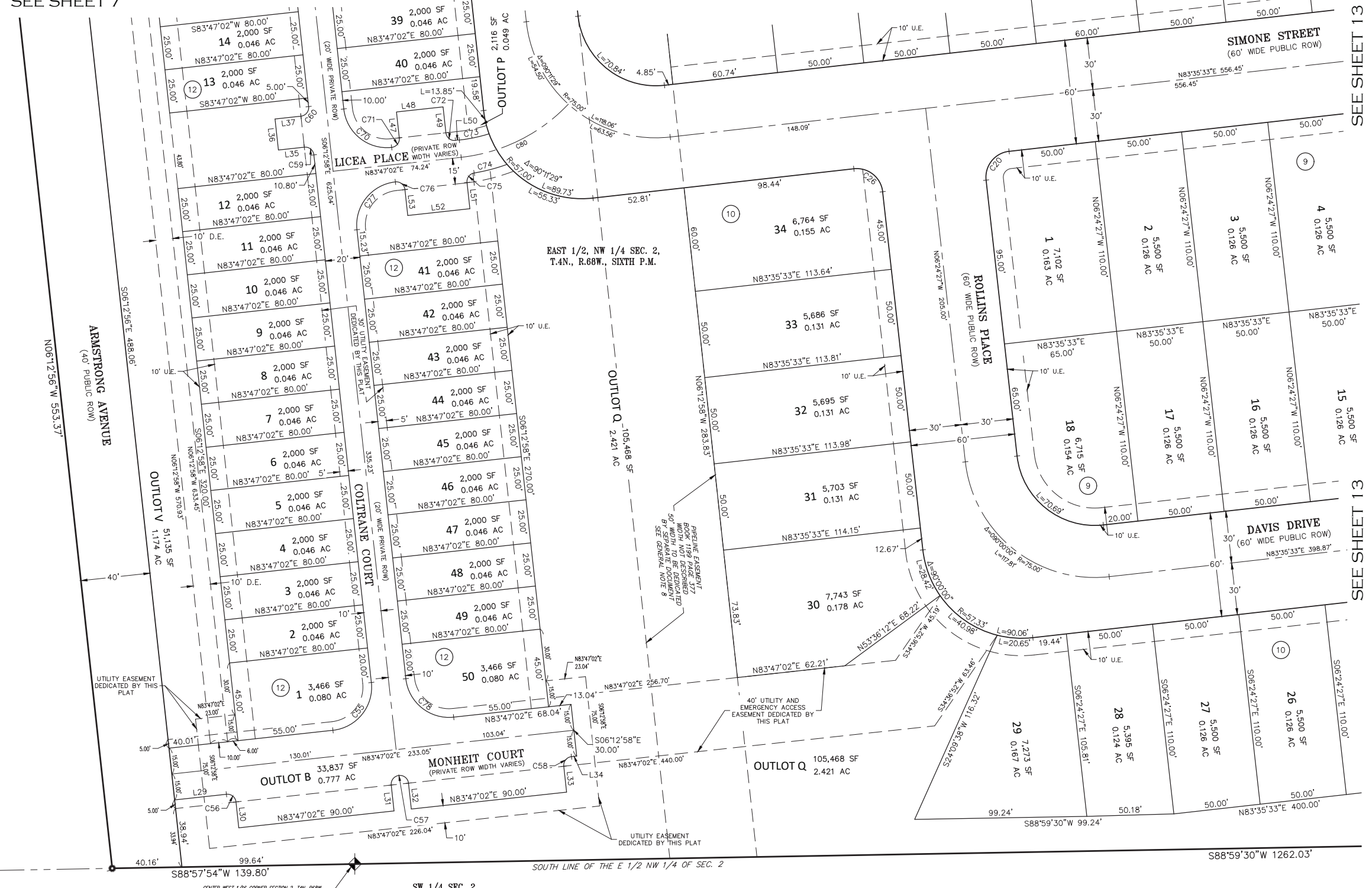


SOUTH LINE OF THE W 1/2 NW 1/4 OF SEC. 2

UNPLATTED
REC. NO. 3968588

SEE SHEET 14
FOR LINE AND
CURVE TABLES

SEE SHEET 7



CENTER WEST 1/16 CORNER SECTION 2, T4N, R68W,
6TH P.M., FOUND NO. 6 REBAR WITH 2-1/2"
ALUMINUM CAP STAMPED "S 30462"

SW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 3968588



DATE OF PREPARATION:	11-13-2020
SCALE:	1" = 30'
SHEET 8 OF 14	

AzTec Proj. No: 156420-03

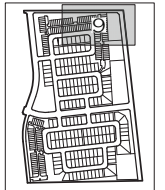
Drawn By: RBA

REVERE AT JOHNSTOWN FILING NO. 1

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TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LEGEND	
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	RIGHT-OF-WAY
	LOT LINE
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	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
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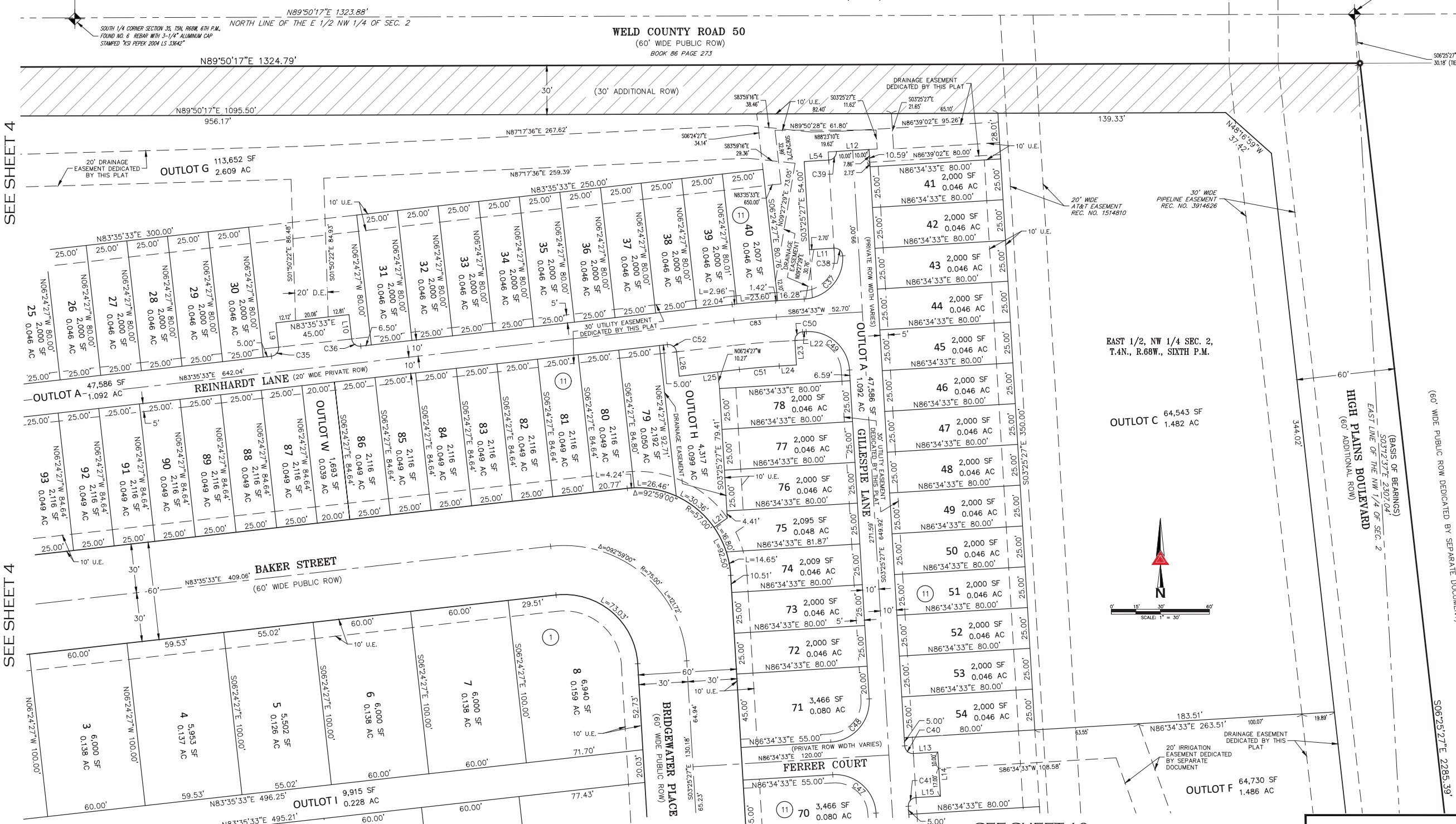
MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON



SW 1/4 SEC. 35
T.5N., R.68W., SIXTH P.M.

POINT OF COMMENCEMENT
NORTH 1/4 CORNER SECTION 2, T4N, R68W, 6TH P.M.

WELD COUNTY ROAD 50
(60' WIDE PUBLIC ROW)
BOOK 86 PAGE 273



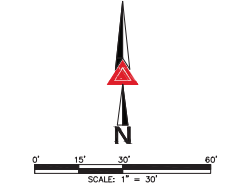
NE 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

EAST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 3847420

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



SEE SHEET 4

SEE SHEET 4

SEE SHEET 10

SEE SHEET 14
FOR LINE AND
CURVE TABLES

SEE SHEET 10

	DATE OF PREPARATION:	11-13-2020
	SCALE:	1" = 30'
AzTec Proj No: 156420-03		Drawn By: RBA
SHEET 9 OF 14		

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
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TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS



MONUMENT SYMBOL LEGEND

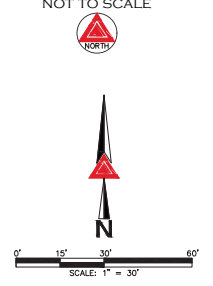
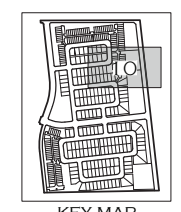
- SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
- FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
- ◆ FOUND SECTION CORNER AS SHOWN HEREON

LEGEND

- BOUNDARY
- - - RIGHT-OF-WAY
- - - CENTERLINE
- - - EXISTING EASEMENT
- - - EASEMENT BEING DEDICATED
- /// ADDITION TO EXISTING RIGHT-OF-WAY
- U.E. UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
- D.E. DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT

NE 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 3847420



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

	DATE OF PREPARATION:	11-13-2020
	SCALE:	1" = 30'
AzTec Proj. No: 156420-03		Drawn By: RBA
SHEET 10 OF 14		

SEE SHEET 5

SEE SHEET 5

SEE SHEET 9

SEE SHEET 9

SEE SHEET 11

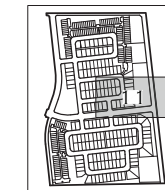
SEE SHEET 14
FOR LINE AND
CURVE TABLES

SEE SHEET 11

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT



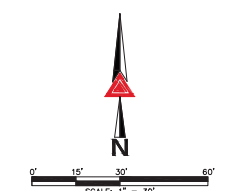
KEY MAP
NOT TO SCALE

NE 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO. 3847420

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.



MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MORAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON

SEE SHEET 6

SEE SHEET 9

SEE SHEET 10

SEE SHEET 10

SEE SHEET 12

SEE SHEET 14
FOR LINE AND
CURVE TABLES

SEE SHEET 12

<p>300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com</p>	DATE OF PREPARATION:	11-13-2020
	SCALE:	1" = 30'
AzTec Proj No: 156420-03 Drawn By: RBA		SHEET 11 OF 14

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LEGEND	
	BOUNDARY
	RIGHT-OF-WAY
	LOT LINE
	CENTERLINE
	EXISTING EASEMENT
	EASEMENT BEING DEDICATED
	ADDITION TO EXISTING RIGHT-OF-WAY
U.E.	UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
D.E.	DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT

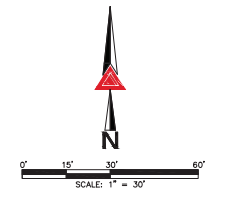
MONUMENT SYMBOL LEGEND	
	SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
	FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
	FOUND SECTION CORNER AS SHOWN HEREON

SEE SHEET 11

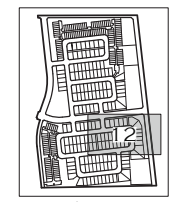
SEE SHEET 11



NE 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.



UNPLATTED
REC. NO. 3847420



KEY MAP
NOT TO SCALE



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

SEE SHEET 7

SEE SHEET 7

SEE SHEET 13

SEE SHEET 14
FOR LINE AND
CURVE TABLES

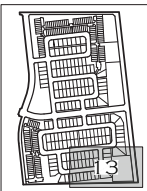
SEE SHEET 13

	DATE OF PREPARATION:	11-13-2020
	SCALE:	1" = 30'
AzTec Proj. No: 156420-03		Drawn By: RBA
300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com		SHEET 12 OF 14

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
SEE SHEET 12 73.514 ACRES, 320 LOTS, 23 OUTLOTS

SEE SHEET 12



KEY MAP
NOT TO SCALE



SIMONE STREET
(60' WIDE PUBLIC ROW)

SEE SHEET 8

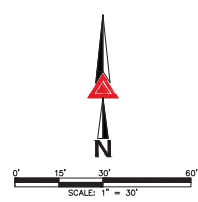
SEE SHEET 8



EAST 1/2, NW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

NE 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

UNPLATTED
REC. NO.
3847420



MONUMENT SYMBOL LEGEND

- SET NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC LS 37933"
- ① FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "MCRAE & SHORT LS 7242 1993" AT N57°26'20"E 0.98' FROM CALCULATED POSITION
- ◆ FOUND SECTION CORNER AS SHOWN HEREON

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

UNPLATTED
REC. NO. 4200577
SW 1/4 SEC. 2,
T.4N., R.68W., SIXTH P.M.

LEGEND

- BOUNDARY
- RIGHT-OF-WAY
- LOT LINE
- CENTERLINE
- - - EXISTING EASEMENT
- - - EASEMENT BEING DEDICATED
- /// ADDITION TO EXISTING RIGHT-OF-WAY
- U.E. UTILITY EASEMENT BEING DEDICATED BY THIS PLAT
- D.E. DRAINAGE EASEMENT BEING DEDICATED BY THIS PLAT

CENTER 1/4 CORNER SECTION 2, T.4N., R.68W., SIXTH P.M.,
FOUND NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP
STAMPED "CSI JONES 1998 LS 22098"

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No: 156420-03 Drawn By: RBA

DATE OF PREPARATION:	11-13-2020
SCALE:	1" = 30'
SHEET 13 OF 14	

SEE SHEET 14
FOR LINE AND
CURVE TABLES

REVERE AT JOHNSTOWN FILING NO. 1

A PORTION OF THE NORTH HALF OF SECTION 2,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.
73.514 ACRES, 320 LOTS, 23 OUTLOTS

LINE TABLE		
LINE	BEARING	LENGTH
L1	S18°08'55"W	20.11'
L2	N35°52'44"E	31.77'
L3	N35°52'44"E	31.78'
L4	S79°46'12"W	15.17'
L5	S65°01'36"W	15.17'
L6	N48°49'10"W	9.70'
L7	N83°35'33"E	15.00'
L8	S06°24'27"E	7.75'
L9	N06°24'27"W	15.00'
L10	N06°24'27"W	15.00'
L11	S86°34'33"W	15.00'
L12	N86°34'33"E	20.00'
L13	N86°34'33"E	15.00'
L14	S03°25'27"E	27.00'
L15	N86°34'33"E	15.00'
L16	N86°34'33"E	15.00'
L17	S69°32'51"E	15.08'
L18	S78°37'10"E	14.91'
L19	N86°34'33"E	15.00'
L20	N55°37'54"W	15.13'
L21	S54°57'41"W	9.93'
L22	S86°34'33"W	2.21'
L23	S03°25'27"E	15.00'
L24	S86°34'33"W	10.49'
L25	S83°35'33"W	37.04'

LINE TABLE		
LINE	BEARING	LENGTH
L26	S06°24'27"E	15.00'
L27	N06°24'27"W	30.17'
L28	N48°49'10"W	10.80'
L29	N83°47'02"E	30.01'
L30	S06°12'58"E	15.00'
L31	S06°12'58"E	15.00'
L32	S06°12'58"E	15.00'
L33	S06°12'58"E	15.00'
L34	N83°47'02"E	3.04'
L35	S83°47'02"W	15.00'
L36	S06°12'58"E	18.00'
L37	S83°47'02"W	15.00'
L38	N16°11'41"E	20.00'
L39	N16°11'41"E	15.00'
L40	S73°48'19"E	27.00'
L41	S16°11'41"W	15.00'
L42	N73°48'19"W	23.76'
L43	S58°49'06"E	14.75'
L44	N17°26'31"E	15.11'
L45	N73°48'19"W	27.00'
L46	N16°11'41"E	15.00'
L47	N06°12'58"W	15.00'
L48	N83°47'02"E	27.00'
L49	N06°12'58"W	15.00'
L50	N83°47'02"E	2.24'

LINE TABLE		
LINE	BEARING	LENGTH
L51	S06°12'58"E	15.20'
L52	N83°47'02"E	36.00'
L53	S06°12'58"E	15.00'
L54	S86°34'33"W	15.00'
L55	N83°35'33"E	20.00'
L56	N83°35'33"E	15.00'
L57	N07°59'12"E	6.09'
L58	N07°59'12"E	4.82'
L59	S06°24'27"E	29.47'
L60	N83°35'33"E	13.00'
L61	N06°24'27"W	10.00'
L62	S83°35'33"W	6.00'
L63	S83°35'33"W	6.00'
L64	S73°48'19"E	10.04'
L65	N11°02'56"E	17.02'
L66	N83°47'02"E	11.71'
L67	S06°12'58"E	10.00'
L68	N83°47'02"E	11.71'
L69	N49°51'55"W	4.82'
L70	N84°58'05"E	39.21'
L71	N84°58'05"E	20.16'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	90°00'00"	15.00'	23.56'
C2	90°00'00"	15.00'	23.56'
C3	90°00'00"	15.00'	23.56'
C4	90°00'00"	15.00'	23.56'
C5	89°48'05"	15.00'	23.51'
C6	90°00'00"	15.00'	23.56'
C7	90°00'00"	15.00'	23.56'
C8	90°00'00"	15.00'	23.56'
C9	90°00'00"	15.00'	23.56'
C10	90°00'00"	15.00'	23.56'
C11	90°00'00"	15.00'	23.56'
C12	90°00'00"	15.00'	23.56'
C13	90°00'00"	15.00'	23.56'
C14	90°00'00"	15.00'	23.56'
C15	90°00'00"	15.00'	23.56'
C16	90°00'00"	15.00'	23.56'
C17	90°00'00"	15.00'	23.56'
C18	90°00'00"	15.00'	23.56'
C19	90°00'00"	15.00'	23.56'
C20	90°00'00"	15.00'	23.56'
C21	90°34'43"	15.00'	23.71'
C22	90°00'00"	15.00'	23.56'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C23	90°00'00"	15.00'	23.56'
C24	89°59'00"	25.00'	39.26'
C25	89°28'16"	15.00'	23.42'
C26	90°00'00"	15.00'	23.56'
C27	90°11'55"	15.00'	23.61'
C28	96°02'48"	25.00'	41.91'
C29	86°10'39"	5.00'	7.52'
C30	14°44'36"	90.00'	23.16'
C31	86°10'39"	5.00'	7.52'
C32	90°00'00"	15.00'	23.56'
C33	90°00'00"	5.00'	7.85'
C34	90°00'00"	20.00'	31.42'
C35	90°00'00"	5.00'	7.85'
C36	90°00'00"	5.00'	7.85'
C37	90°00'00"	25.00'	39.27'
C38	90°00'00"	5.00'	7.85'
C39	90°00'00"	5.00'	7.85'
C40	90°00'00"	5.00'	7.85'
C41	90°00'00"	5.00'	7.85'
C42	90°00'00"	5.00'	7.85'
C43	88°15'49"	5.00'	7.70'
C44	92°07'21"	5.00'	8.04'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C45	14°48'17"	120.00'	31.01'
C46	90°00'00"	5.00'	7.85'
C47	90°00'00"	25.00'	39.27'
C48	90°00'00"	25.00'	39.27'
C49	90°00'00"	25.00'	39.27'
C50	90°00'00"	5.00'	7.85'
C51	2°59'00"	470.00'	24.47'
C52	90°00'00"	5.00'	7.85'
C53	90°00'00"	20.00'	31.42'
C54	42°24'43"	50.00'	37.01'
C55	90°00'00"	25.00'	39.27'
C56	90°00'00"	5.00'	7.85'
C57	180°00'01"	5.00'	15.71'
C58	90°00'00"	5.00'	7.85'
C59	90°00'00"	5.00'	7.85'
C60	90°00'00"	5.00'	7.85'
C61	85°48'27"	25.00'	37.44'
C62	90°00'00"	5.00'	7.85'
C63	90°00'00"	5.00'	7.85'
C64	90°00'00"	15.00'	23.56'
C65	90°00'00"	15.00'	23.56'
C66	22°45'14"	50.00'	19.86'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C67	88°45'10"	5.00'	7.75'
C68	90°00'00"	5.00'	7.85'
C69	97°28'04"	25.00'	42.53'
C70	90°00'00"	25.00'	39.27'
C71	90°00'00"	5.00'	7.85'
C72	90°00'00"	5.00'	7.85'
C73	11°10'13"	90.00'	17.55'
C74	10°12'35"	110.00'	19.60'
C75	86°37'48"	5.00'	7.56'
C76	90°00'00"	5.00'	7.85'
C77	90°00'00"	25.00'	39.27'
C78	90°00'00"	25.00'	39.27'
C79	90°01'00"	25.00'	39.28'
C80	40°19'11"	100.00'	70.37'
C81	35°38'30"	60.00'	37.32'
C82	42°24'43"	60.00'	44.41'
C83	2°59'00"	500.00'	26.04'
C84	90°00'00"	5.00'	7.85'
C85	12°54'41"	70.00'	15.77'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

 300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	DATE OF PREPARATION:	11-13-2020
	SCALE:	N/A
	SHEET 14 OF 14	

AzTec Proj. No: 155620-03 Drawn By: RBA

REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

**REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

COVER

SHEET NUMBER

L.O

SHEET 1 OF 30

PROJECT INTENT

THIS SUBDIVISION IS DESIGNED TO MEET THE INTENT OF THE GREAT PLAINS VILLAGE ODP. FILING NO. 1 INCLUDES A MIX OF SMALLER SINGLE-FAMILY DETACHED LOTS (50' x 110') AND ALLEY-LOADED DUPLEX LOTS. THE SUBDIVISION WILL RESULT IN ADDING HOUSING DIVERSITY TO MEET A VARIETY OF NEEDS IN THE JOHNSTOWN COMMUNITY. VEHICULAR ACCESS, PARKS, OPEN SPACE, AND PEDESTRIAN CONNECTIONS MEET THE REQUIREMENTS ESTABLISHED IN THE ODP, AS WELL AS THE TOWN MUNICIPAL CODE AND DESIGN GUIDELINES. FILING NO.1 WILL BE A QUALITY COMMUNITY WITH A METRO DISTRICT RESPONSIBLE FOR MAINTENANCE OF ALL DETENTION PONDS, COMMON AREA LANDSCAPING, AND PARKS AND OPEN SPACE. PERIMETER LANDSCAPING WILL ENHANCE THE QUALITY OF THE COMMUNITY AND WILL BE MAINTAINED THROUGHOUT THE DEVELOPMENT.

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6th PRINCIPAL MERIDIAN; TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 2, FROM WHICH THE CENTER QUARTER CORNER OF SAID SECTION 2 BEARS SOUTH 03°12'37" EAST, A DISTANCE OF 2,307.04, WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE SOUTH 06°25'27" EAST, A DISTANCE OF 30.18 FEET TO THE POINT OF BEGINNING, BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 50 AS DEDICATED IN BOOK 86 AT PAGE 273 IN THE RECORDS OF THE WELD COUNTY CLERK AND RECORDER;

THENCE SOUTH 06°25'27" EAST, A DISTANCE OF 2,285.39 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 2;

THENCE SOUTH 88°56'44" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 129.91 FEET TO SAID CENTER QUARTER CORNER OF SECTION 2;

THENCE SOUTH 88°59'30" WEST, ALONG THE SOUTH LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 1,262.03 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 2;

THENCE SOUTH 88°57'54" WEST, ALONG THE SOUTH LINE OF THE WEST HALF OF SAID NORTHWEST QUARTER OF SECTION 2, A DISTANCE OF 139.80 FEET;

THENCE THE FOLLOWING ELEVEN (11) COURSES;

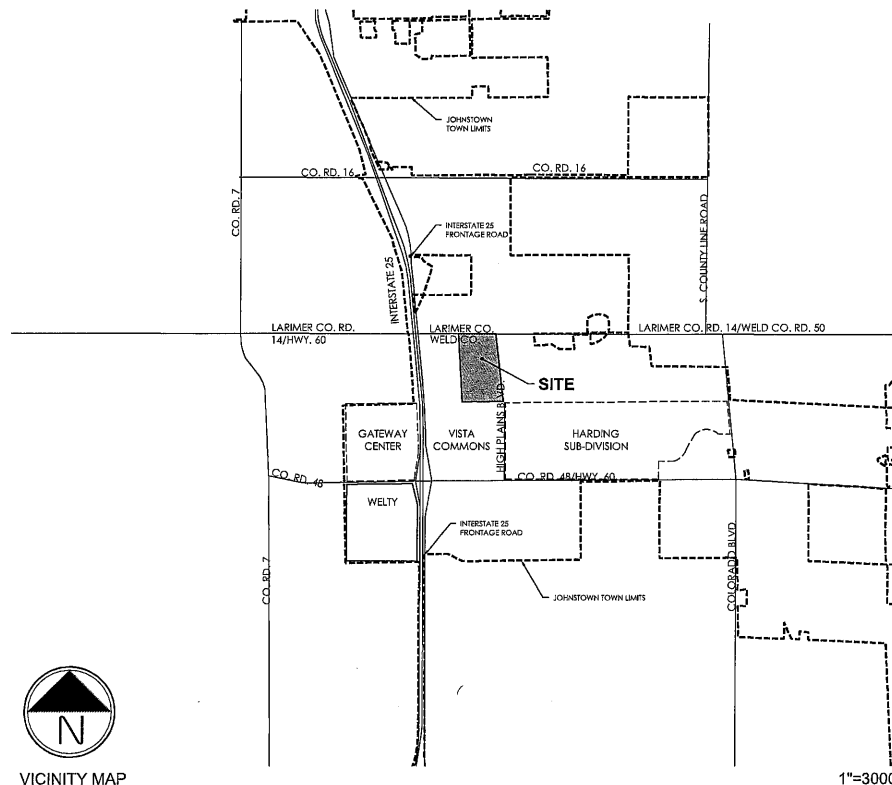
- NORTH 06°12'56" WEST, A DISTANCE OF 553.37 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 800.00 FEET;
- NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°33'04", AN ARC LENGTH OF 356.76 FEET;
- NORTH 70°39'52" WEST, A DISTANCE OF 40.00 FEET;
- NORTH 19°20'08" EAST, A DISTANCE OF 0.91 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET;
- NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
- NORTH 19°20'08" EAST, A DISTANCE OF 80.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 15.00 FEET. THE RADIUS POINT OF SAID CURVE BEARS NORTH 19°20'08" EAST;
- NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 23.56 FEET;
- NORTH 19°20'08" EAST, A DISTANCE OF 164.12 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 760.00 FEET;
- NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°32'39", AN ARC LENGTH OF 338.83 FEET;
- NORTH 06°12'32" WEST, A DISTANCE OF 738.28 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 25.00 FEET;
- NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 83°57'00", AN ARC LENGTH OF 36.63 FEET;

THENCE SOUTH 89°50'28" WEST, A DISTANCE OF 13.99 FEET;

THENCE NORTH 04°42'30" WEST, A DISTANCE OF 30.10 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 50;

THENCE NORTH 89°50'17" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY, A DISTANCE OF 1,324.79 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 73.514 ACRES, (3,202,273 SQUARE FEET), MORE OR LESS.



OUTLOT SUMMARY					
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	47,586	1.09
OUTLOT B	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	33,837	0.78
OUTLOT C	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,543	1.48
OUTLOT D	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	123,620	2.84
OUTLOT E	DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	94,020	2.16
OUTLOT F	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,730	1.49
OUTLOT G	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	113,652	2.61
OUTLOT H	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,317	0.10
OUTLOT I	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	9,915	0.23
OUTLOT J	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	15,639	0.36
OUTLOT K	PARK & LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	111,412	2.56
OUTLOT L	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT M	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,087	0.14
OUTLOT N	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT O	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,759	0.06
OUTLOT P	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,116	0.05
OUTLOT Q	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	105,468	2.42
OUTLOT R	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,009	1.17
OUTLOT S	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	10,131	0.23
OUTLOT T	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,400	0.10
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OUTLOT V	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,135	1.17
OUTLOT W	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	1,693	0.04
TOTAL AREA				934,729	21.46

APPROVALS

PLANNING AND ZONING COMMISSION

THIS FINAL DEVELOPMENT PLAN, TO BE KNOWN AS REVERE AT JOHNSTOWN FILING NO. 1 FDP, WAS APPROVED BY ACTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF JOHNSTOWN, COLORADO AT A REGULAR MEETING HELD ON THE _____ DAY OF _____, 20____.

BY: _____
CHAIR, PLANNING AND ZONING COMMISSION

TOWN COUNCIL

THIS FINAL DEVELOPMENT PLAN, TO BE KNOWN AS REVERE AT JOHNSTOWN FILING NO. 1 FDP, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER _____ PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE _____ DAY OF _____, 20____.

BY: _____ ATTEST: _____
MAYOR TOWN CLERK

REVERE AT JOHNSTOWN FILING NO. 1 GENERAL NOTES

- ALL UNPLATTED PROPERTY (PER THE FINAL PLAT SUBDIVISION PROCESS) WITHIN THIS PUD MAY REMAIN IN AGRICULTURAL USE UNTIL SUCH TIME AS DEVELOPMENT OF THAT AREA BEGINS.
- FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE IN ACCORDANCE WITH THE APPLICABLE FINAL DRAINAGE REPORTS AND PLANS.
- THE SITE DOES NOT CONTAIN ANY KNOWN ENDANGERED SPECIES.
- NO ARCHAEOLOGICAL OR HISTORIC AREAS HAVE BEEN IDENTIFIED ON THE SITE.
- NO FLOODPLAINS, WETLANDS, OR GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED OR MAPPED ON THE SITE.

RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN DEVELOPMENT TO THE EXTENT PERMITTED BY THE TOWN OF JOHNSTOWN MUNICIPAL CODE. WHERE STANDARDS, DETAILS, AND GUIDELINES OF THE PUD (OUTLINE, PRELIMINARY, OR FINAL DEVELOPMENT PLANS) DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT OR ARE SILENT, THE JOHNSTOWN MUNICIPAL CODE AND OTHER STANDARDS, REGULATIONS, AND GUIDELINES SHALL BE USED. ALL PROPOSED DEVELOPMENT IS SUBJECT TO TOWN OF JOHNSTOWN REVIEW PROCEDURES.

LAND SUMMARY			
	SQ. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
TOTAL LOTS		320	

SHEET INDEX

- | | |
|-------|-----------------------------------|
| 1 | COVER |
| 2-5 | SITE PLANS |
| 6-16 | LANDSCAPE PLANS |
| 17-19 | LANDSCAPE NOTES & DETAILS |
| 20 | HOUSING TYPE PLAN |
| 21-22 | LOT TYPICALS |
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| 25 | OPEN SPACE PLAN |
| 26 | CIRCULATION PLAN |
| 27 | PARKING PLAN |
| 28 | FENCING PLAN |
| 29 | PHASING PLAN & PLANNING AREA PLAN |
| 30 | DESIGN GUIDELINES |

OWNER

PLATTE LAND & WATER, LLC
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303-263-2105

APPLICANT/PROJECT MANAGER

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REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

GENERAL NOTES:

- AREAS OUTSIDE THE LIMITS OF CONSTRUCTION OF REVERE AT JOHNSTOWN FILING NO. 1 ARE SHOWN FOR INFORMATION ONLY.
- ALIGNMENTS AND STATIONING ARE OFF THE BASELINE OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF CONFLICTS WITH EXISTING UTILITIES.
- ALL UTILITIES ARE PROPOSED UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES SHALL BE PROTECTED AT ALL TIMES THROUGHOUT CONSTRUCTION UNLESS OTHERWISE SHOWN IN THESE PLANS.
- CONNECTIONS TO EXISTING CONCRETE CURB, GUTTER AND/OR SIDEWALK SHALL BE TO NEAREST JOINT.
- FIRE HYDRANT FLANGE ELEVATION SHALL BE 6" ABOVE FINISH GRADE ELEVATION.
- ALL PROPOSED WATER MAIN PIPES SHALL BE C900 PVC.
- SANITARY SEWER MAIN PIPES SHALL BE SDR-35 PVC.
- RIM AND TOP ELEVATIONS OF ALL EXISTING STRUCTURES (MANHOLES, VALVES, HYDRANTS, INLETS) SHALL BE ADJUSTED TO MATCH FINISH GRADE ELEVATIONS.
- STORM INLETS LOCATED AT PCR ARE STATIONED AT PCR. ALL OTHERS ARE STATIONED AT FLOW LINE MIDPOINT.
- MAINTAIN A MINIMUM OF 1.5' VERTICAL SEPARATION BETWEEN WATER MAINS AND STORM SEWER AT ALL LOCATIONS. ANY WATER CROSSING WITH LESS THAN A 2' VERTICAL CLEARANCE TO STORM DRAIN SHALL HAVE A 6" LAYER OF EXTRUDED POLYSTYRENE FOAM (XPS) WRAPPED AROUND THE WATER MAIN TO A MINIMUM OF 5' ON EACH SIDE OF THE STORM DRAIN.
- ANY SANITARY SEWER OR STORM DRAIN WITHIN 18" VERTICAL CLEARANCE OF WATER MAIN CROSSING OR WITH A WATER MAIN CROSSING BELOW SHALL BE ENCASED PER TOWN OF JOHNSTOWN UTILITY ENCASEMENT DETAIL.
- WATERLINES ARE REQUIRED TO BE A MINIMUM OF 5' BELOW FINISH GRADE.
- ALL SANITARY SERVICES SHALL BE 4" PVC AND SLOPED AT 2% MIN.
- ALL WATER SERVICES SHALL BE 3/4" TYPE K COPPER.
- CURB AND GUTTER TRANSITIONS FROM MOUNTABLE CATCH TO VERTICAL CATCH OR VICE-VERSA SHALL OCCUR WITHIN THE CURB RAMP AT THE CURB RETURNS.
- CONTRACTORS SHALL MAINTAIN A MINIMUM OF 0.5% GRADE AT FLOW LINE INTO INLET.
- FLOWLINE ELEVATION AT INLETS IS THEORETICAL. INLETS THROAT INVERT SHALL BE DETERMINED PER CURB SECTION DETAIL AND INLET DETAIL, WHICH RESULTS IN A THROAT INVERT OF 3" BELOW FL WHEN LOCATED WITHIN VERTICAL CURB & GUTTER, AND 5" BELOW FL WHEN LOCATED WITHIN MOUNTABLE CURB & GUTTER.
- AT TIME OF PLAN PREPARATION, NO UNDERDRAIN SYSTEM WAS ANTICIPATED AND THEREFORE NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY ACTUAL UNDERDRAIN DESIGN REQUIREMENTS FROM THE GEOTECHNICAL INVESTIGATION REPORT. FINAL DESIGN OF ANY AND ALL UNDERDRAIN SYSTEMS SHALL BE IN ACCORDANCE WITH A GEOTECHNICAL INVESTIGATION PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY AND ALL UNDERDRAIN NOT CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- AT ALL POINTS WHERE PROPOSED UTILITIES CONNECT TO EXISTING, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, SLOPE, AND ELEVATION OF EXISTING UTILITIES. IF FIELD VERIFIED INFORMATION DIFFERS FROM THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY PROJECT CIVIL ENGINEER.

GENERAL ABBREVIATIONS

A.E.	ACCESS EASEMENT
BKL	BIKE LANE
BL CONST	BASELINE OF CONSTRUCTION
BS	BOTTOM ELEVATION OF RISE
B.S.I.	BY SEPARATE INSTRUMENT
CE	CURB EXTENSION
CL	CENTERLINE
CT	CURB TRANSITION
CWN	CROWN
DBO	DESIGN BY OTHERS
DC	MEDIAN CURB & GUTTER
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE & UTILITY EASEMENT
EOP	EDGE OF PAVEMENT
E.A.E.	EMERGENCY ACCESS EASEMENT
E.A.T.E.	EXISTING AT&T EASEMENT
E.P.E.	EXISTING PIPELINE EASEMENT
FES	FLARED END SECTION
FGF	FINISHED GROUND AT BOTTOM WALL ELEVATION
FGT	FINISHED GROUND AT TOP WALL ELEVATION
FH	FIRE HYDRANT
FL	FLOWLINE
FV	FIELD VERIFY
G	FINISHED GROUND
G.E.	GAS EASEMENT
G.O.E.	GAS & OIL EASEMENT
GV	GATE VALVE
HP	HIGH POINT
I.E.	IRRIGATION EASEMENT
LL	LOT LINE
LP	LOW POINT
LTWD	LITTLE THOMPSON WATER DISTRICT
MC	MOUNTABLE CURB & GUTTER
MH	MANHOLE
MSE	MECHANICALLY STABILIZED EARTH
P	PAVEMENT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCR	POINT OF CURB RETURN
PGL	PROFILE GRADE LINE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
R.O.W.	RIGHT OF WAY
RN	RECORDING NUMBER
S.E.	SANITARY EASEMENT
SEC	SECTION LINE
SL	SANITARY LINE
SS	SANITARY SERVICE
SW	SIDEWALK
TB	THRUST BLOCK
TC	TOP OF CURB
T.R.E.	TRANSPORTATION EASEMENT
TS	TOP ELEVATION OF RISER
U.E.	UTILITY EASEMENT
U.G.E.	UTILITY & GAS EASEMENT
VC	VERTICAL CURB & GUTTER
W.E.	WATER EASEMENT
WL	WATER LINE
WS	WATER SERVICE
W.S.W.	WATER SURFACE ELEVATION
WV	WATER VALVE

LEGEND

---	Property Line
- - - -	Right of Way Line
---	Centerline
- - - -	Easement Line
---	Lot Line
---	Site Line
- . . .	Sight Distance Line
- . . .	100-YR W.S.E.
---	Retaining Wall
---	Prop. Asphalt Pavement
---	Prop. Asphalt Mill & Overlay
---	Prop. Concrete Pavement
---	Prop. Concrete Walk
---	Prop. Crushed Fines
---	Ex. Concrete Walk
---	Ex. Asphalt Pavement
---	Sight Distance Area
---	Sanitary Sewer Line
---	Water Line
---	Storm Sewer Line
---	Ex. Sanitary Line
---	Ex. Water Line
---	Ex. Storm Sewer Line
---	Ex. Irrigation Pipe
---	Ex. Fiber Optic Line
---	Ex. Gas Line
---	Ex. Telephone Line
---	Ex. Overhead Electric
---	Ex. Fence
---	Sanitary Service Line
---	Water Service Line
---	Sanitary Sewer Manhole
---	Fire Hydrant
---	Thrust Block
---	Water Valve
---	Water Meter
---	Storm Manhole
---	Ex. Sanitary Sewer Manhole
---	Ex. Water Valve
---	Ex. Fire Hydrant
---	Ex. Storm Manhole
---	Ex. Street Light
---	Ex. Sign
---	Prop. Street Light
---	Prop. Sign



PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

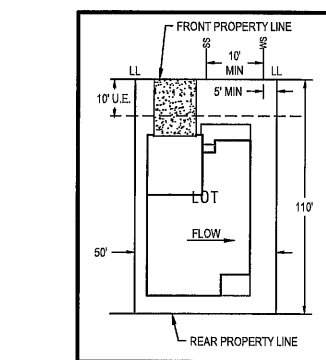
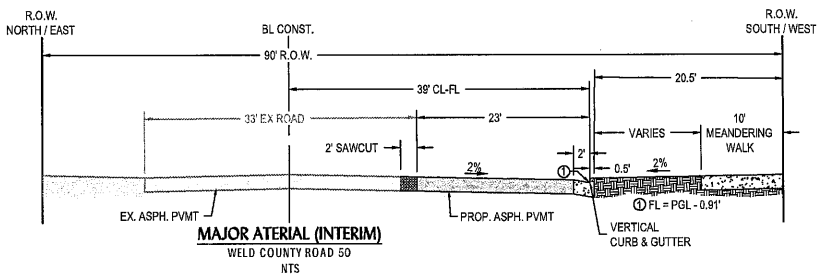
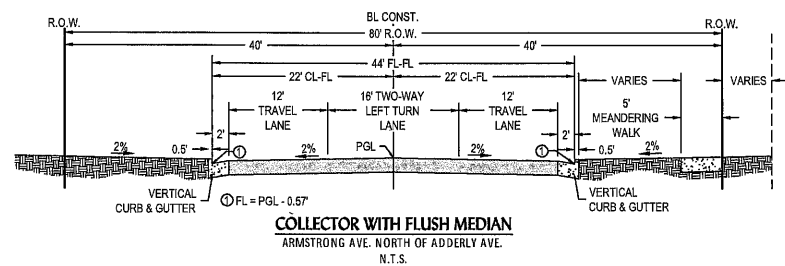
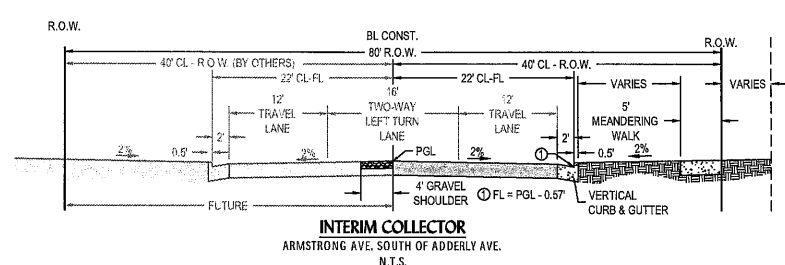
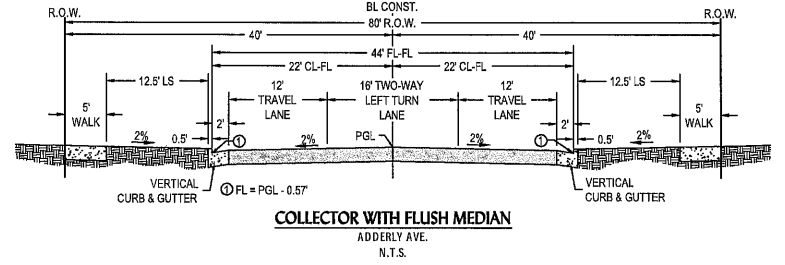
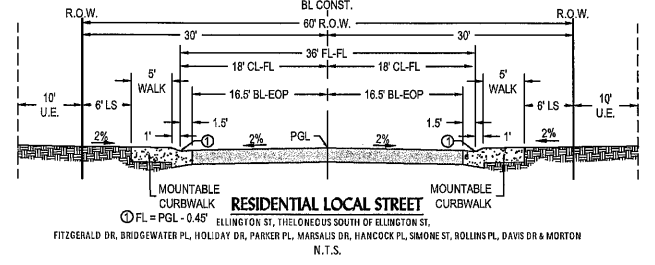
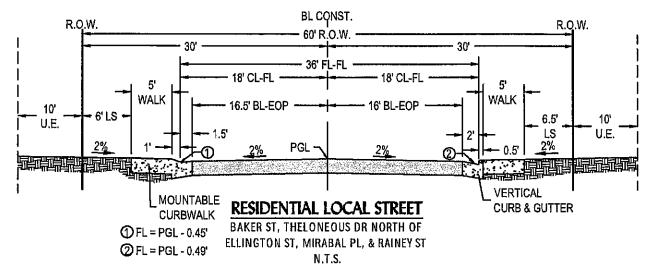
SHEET TITLE

TYPICAL SECTIONS & NOTES

SHEET NUMBER

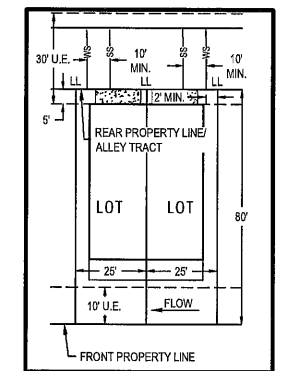
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SHEET 2 OF 30



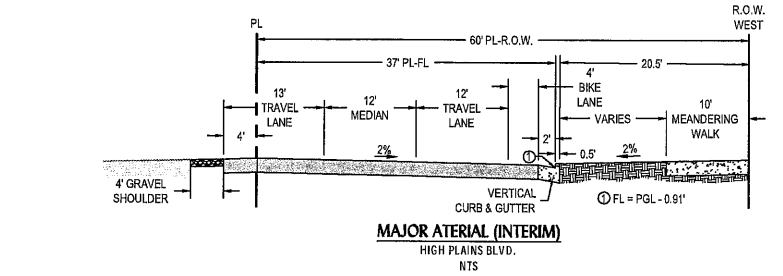
TYPICAL LOT EASEMENT LAYOUT SINGLE FAMILY DETACHED N.T.S.

NOTES:
1. LOT EASEMENTS SHALL BE AS SHOWN ON THIS DETAIL UNLESS OTHERWISE NOTED ON PLANS.

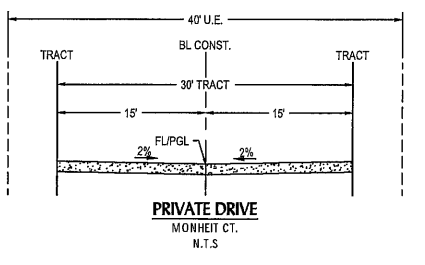


TYPICAL LOT EASEMENT LAYOUT DUPLEX N.T.S.

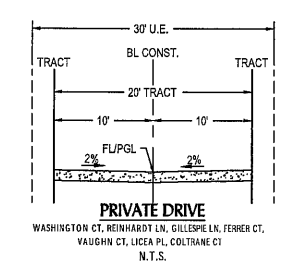
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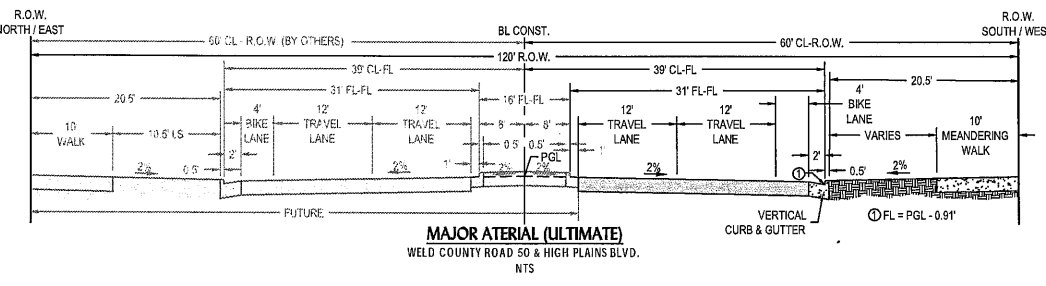
MAJOR ATERIAL (INTERIM) HIGH PLAINS BLVD. N.T.S.



PRIVATE DRIVE MONHEIT CT. N.T.S.



PRIVATE DRIVE WASHINGTON CT, REINHARDT LN, GILLESPIE LN, FERRETT CT, VAUGHN CT, LEEA PL, COLTRANE CT N.T.S.



MAJOR ATERIAL (ULTIMATE) WELD COUNTY ROAD 50 & HIGH PLAINS BLVD. N.T.S.

PROJECT BENCHMARK:
 NGS CONTROL POINT "JOHNSON" BEING A 1/2" STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOY'S RV IN JOHNSON'S CORNER, WEST OF THE FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.
 DATUM ELEV. = 5000.64 [NAVD88]

OUTLOT SUMMARY					
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	47,586	1.09
OUTLOT B	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	33,837	0.78
OUTLOT C	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,543	1.48
OUTLOT D	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	123,620	2.84
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REVERE AT JOHNSTOWN FILING NO. 1

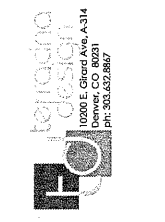
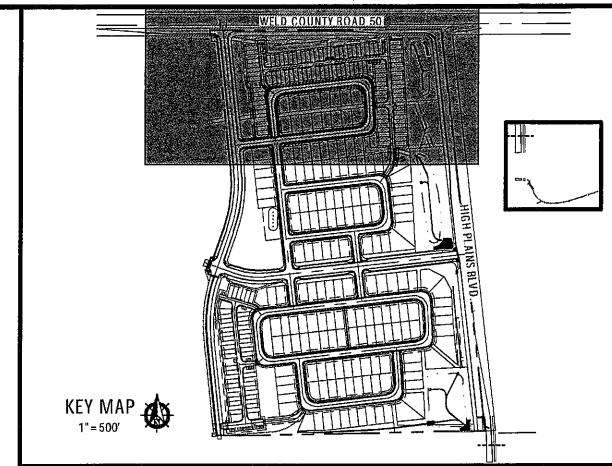
FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

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NOTES:

- SEE SHEET 2 (C.1) FOR TYPICAL STREET SECTIONS, GENERAL ABBREVIATIONS LIST, GENERAL NOTES, TYPICAL LOT EASEMENT LAYOUT AND LEGEND.



PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
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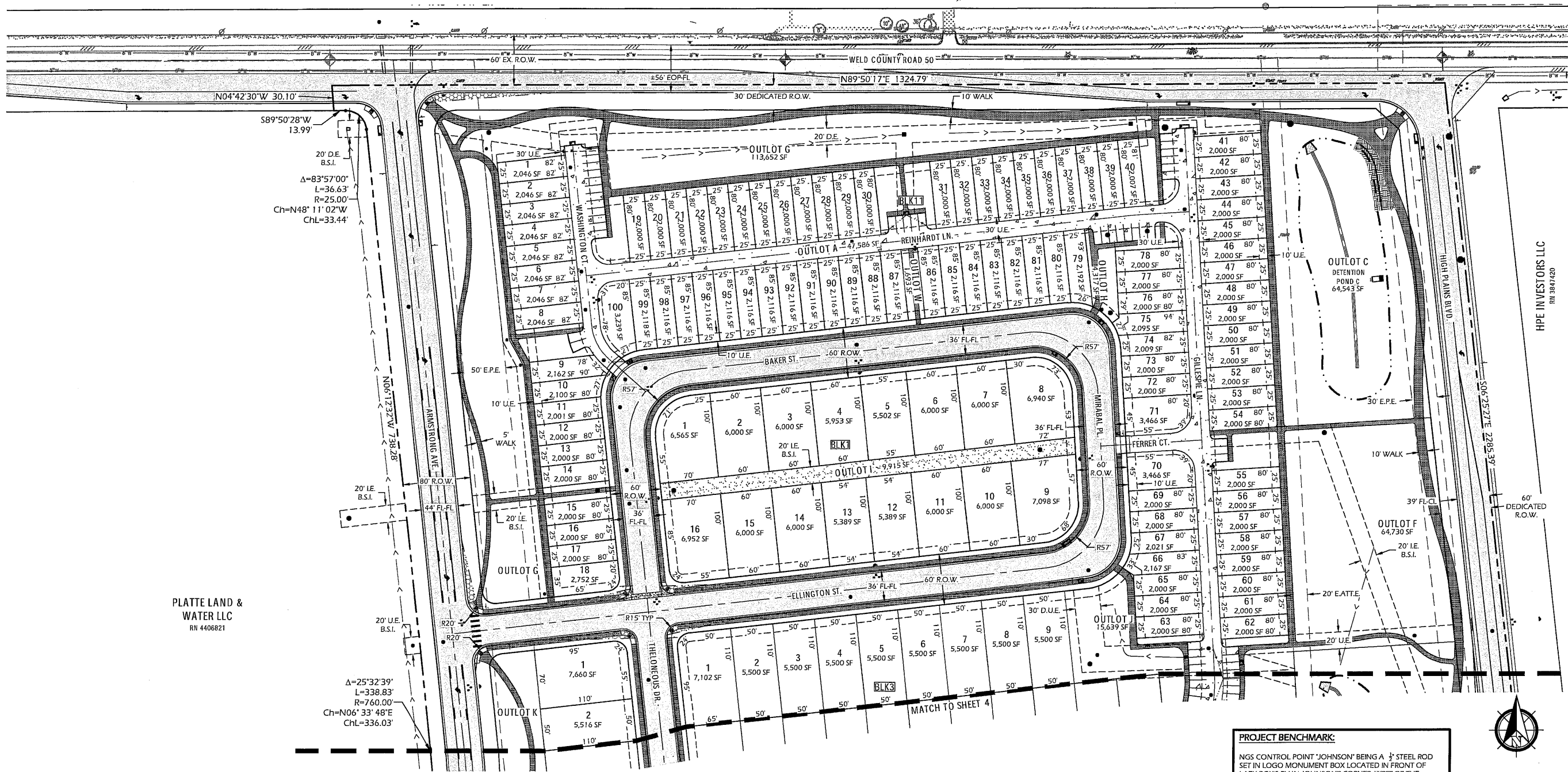
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SITE PLAN

SHEET NUMBER

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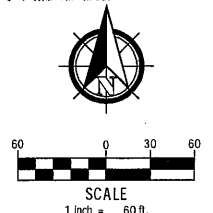
SHEET 3 OF 30



PLATTE LAND & WATER LLC
RN 4406821

HPE INVESTORS LLC
RN 3847420

PROJECT BENCHMARK:
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REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

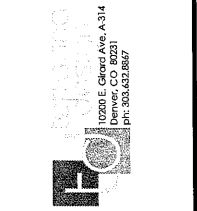
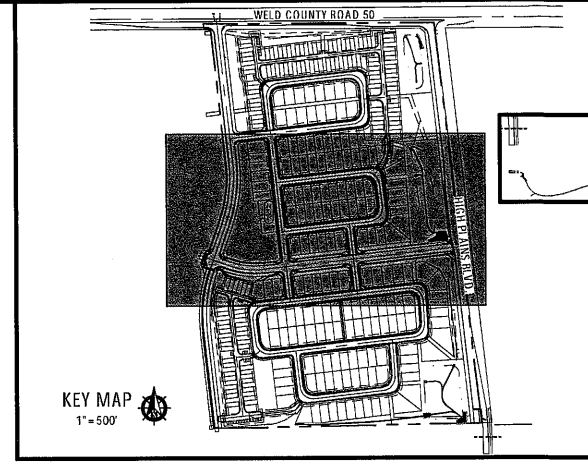
TOWN OF JOHNSTOWN, COLORADO

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OUTLOT I	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	9,915	0.23
OUTLOT J	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	15,639	0.36
OUTLOT K	PARK & LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	111,412	2.56
OUTLOT L	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT M	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,087	0.14
OUTLOT N	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT O	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,759	0.06
OUTLOT P	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,116	0.05
OUTLOT Q	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	105,468	2.42
OUTLOT R	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,009	1.17
OUTLOT S	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	10,131	0.23
OUTLOT T	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,400	0.10
OUTLOT U	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	3,656	0.08
OUTLOT V	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,135	1.17
OUTLOT W	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	1,693	0.04
TOTAL AREA				934,729	21.46

LAND SUMMARY			
	SQ. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
TOTAL LOTS		320	

NOTES:

- SEE SHEET 2 (C.1) FOR TYPICAL STREET SECTIONS, GENERAL ABBREVIATIONS LIST, GENERAL NOTES, TYPICAL LOT EASEMENT LAYOUT AND LEGEND.



PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

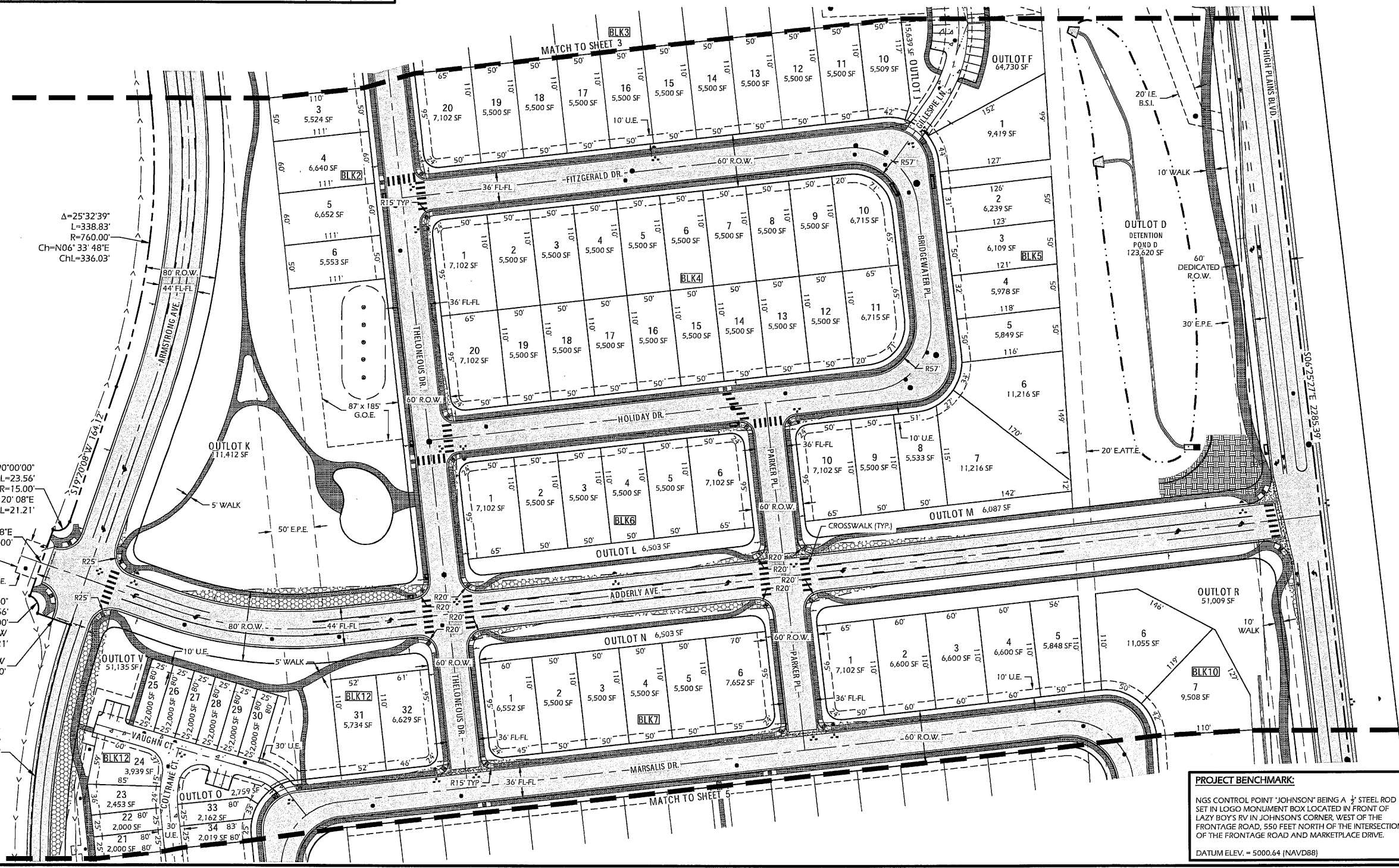
SUBMITTAL DATE:
02-05-2021
 REVISION DATE:

SHEET TITLE

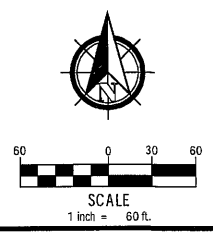
SITE PLAN

SHEET NUMBER

C.3
 SHEET 4 OF 30



PROJECT BENCHMARK:
 NGS CONTROL POINT "JOHNSON" BEING A 3/4" STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOY'S RV IN JOHNSON'S CORNER, WEST OF THE FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.
 DATUM ELEV. = 5000.64 (NAVD88)



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OUTLOT SUMMARY					
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	47,586	1.09
OUTLOT B	ACCESS & DRAINAGE & UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	33,837	0.78
OUTLOT C	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,543	1.48
OUTLOT D	DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	123,620	2.84
OUTLOT E	DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	94,020	2.16
OUTLOT F	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	64,730	1.49
OUTLOT G	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	113,652	2.61
OUTLOT H	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,317	0.10
OUTLOT I	LANDSCAPE & DRAINAGE	METRO DISTRICT #2	METRO DISTRICT #2	9,915	0.23
OUTLOT J	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	15,639	0.36
OUTLOT K	PARK & LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	111,412	2.56
OUTLOT L	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT M	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,087	0.14
OUTLOT N	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	6,503	0.15
OUTLOT O	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,759	0.06
OUTLOT P	LANDSCAPE	METRO DISTRICT #2	METRO DISTRICT #2	2,116	0.05
OUTLOT Q	LANDSCAPE & DRAINAGE & UTILITY & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	105,468	2.42
OUTLOT R	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,009	1.17
OUTLOT S	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	10,131	0.23
OUTLOT T	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	4,400	0.10
OUTLOT U	UTILITY	METRO DISTRICT #2	METRO DISTRICT #2	3,656	0.08
OUTLOT V	LANDSCAPE & DRAINAGE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	51,135	1.17
OUTLOT W	LANDSCAPE & PED ACCESS	METRO DISTRICT #2	METRO DISTRICT #2	1,693	0.04
TOTAL AREA				934,729	21.46

REVERE AT JOHNSTOWN FILING NO. 1

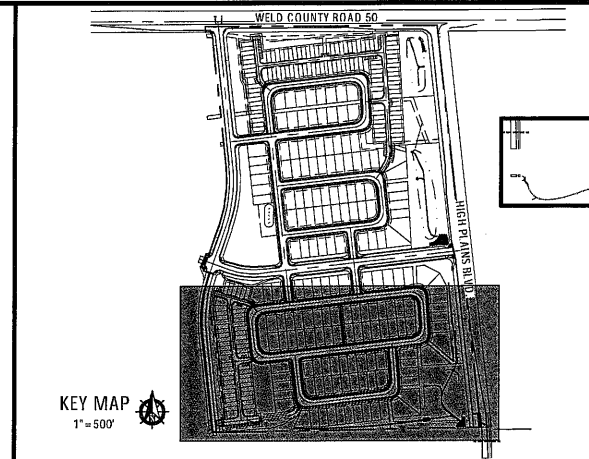
FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

LAND SUMMARY			
	SQ. FT.	ACRES	%
LOT AREA	1,364,786	31.33	42.6%
ROADWAY AREA	902,758	20.72	28.2%
OPEN SPACE AREA (OUTLOTS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W)	934,729	21.46	29.2%
TOTAL AREA	3,202,273	73.51	100%
TOTAL LOTS	320		

NOTES:

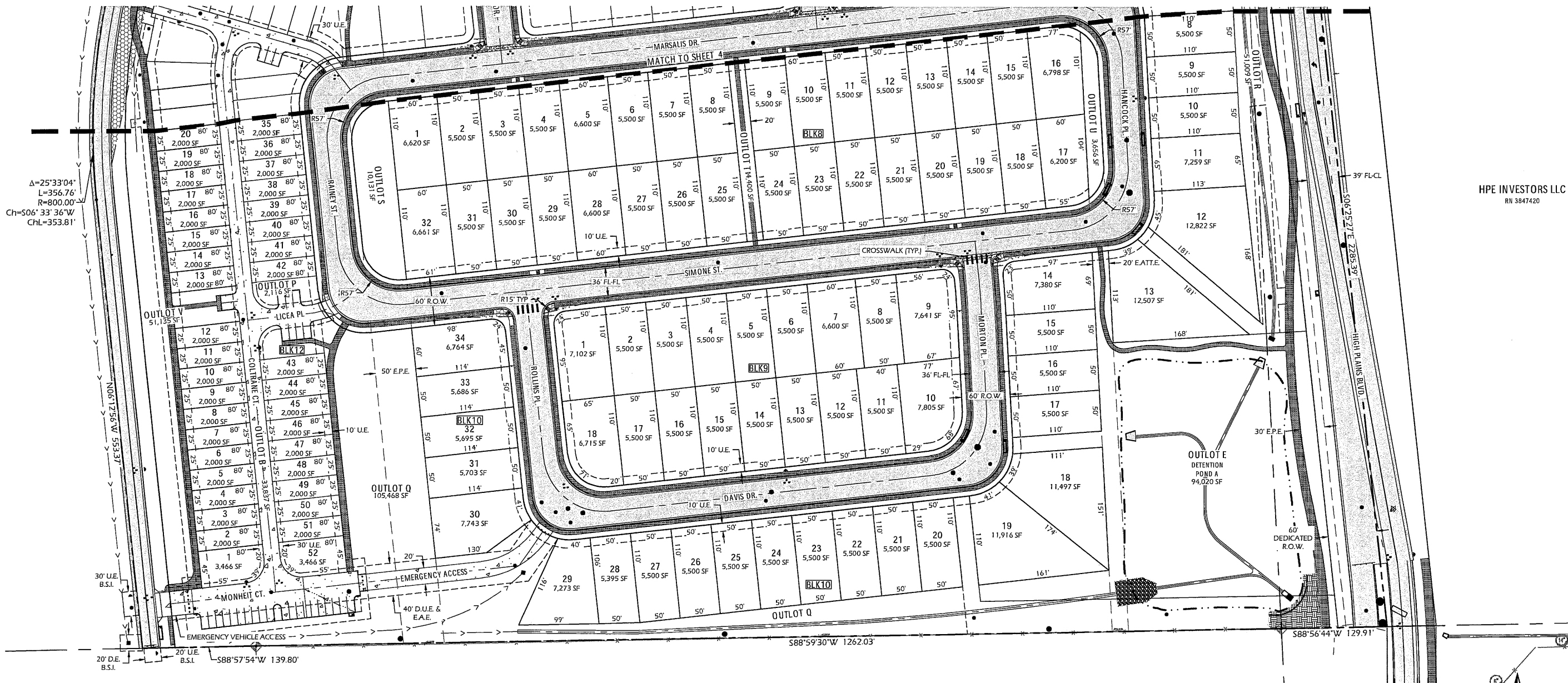
- SEE SHEET 2 (C.1) FOR TYPICAL STREET SECTIONS, GENERAL ABBREVIATIONS LIST, GENERAL NOTES, TYPICAL LOT EASEMENT LAYOUT AND LEGEND.



811
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PH: 303.426.6267

ILC
Innovative Land Consultants, Inc.



HPE INVESTORS LLC
RN 3847420

PROJECT NAME
REVERE AT JOHNSTOWN FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021

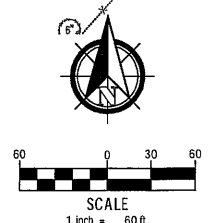
REVISION DATE:

SHEET TITLE
SITE PLAN

SHEET NUMBER
C.4

SHEET 5 OF 30

PROJECT BENCHMARK:
NGS CONTROL POINT "JOHNSON" BEING A 1/2" STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOY'S RV IN JOHNSON'S CORNER, WEST OF THE FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.
DATUM ELEV. = 5000.64 (NAVD88)



VISTA AG LLC
RN 3968588

VISTA AG LLC
RN 4200577

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FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



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PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

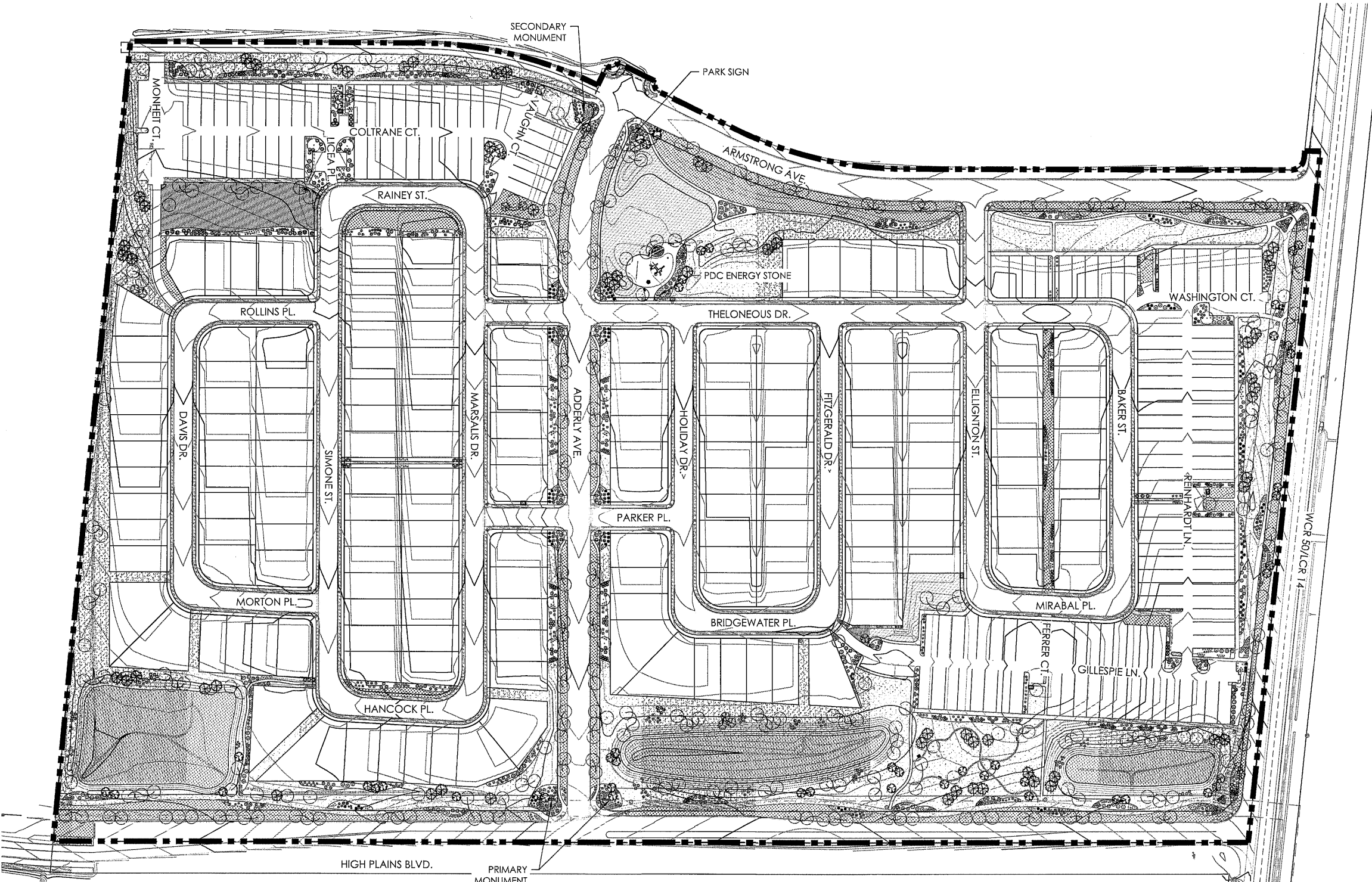
SHEET TITLE

LANDSCAPE PLANS
 SHEET NUMBER

L.1
 SHEET 6 OF 30

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
- NATIVE SEED, NON-IRRIGATED
- MAILBOX KIOSK



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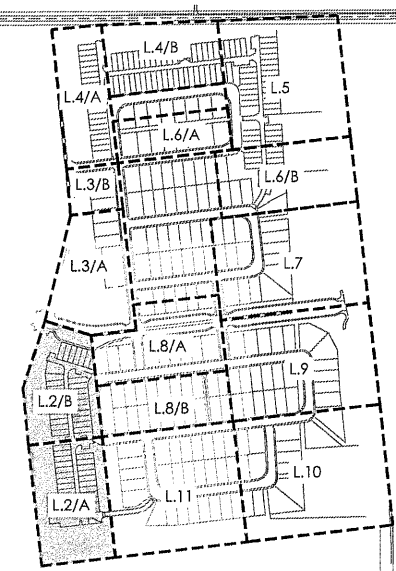


Scale: 1"= 100'-0"
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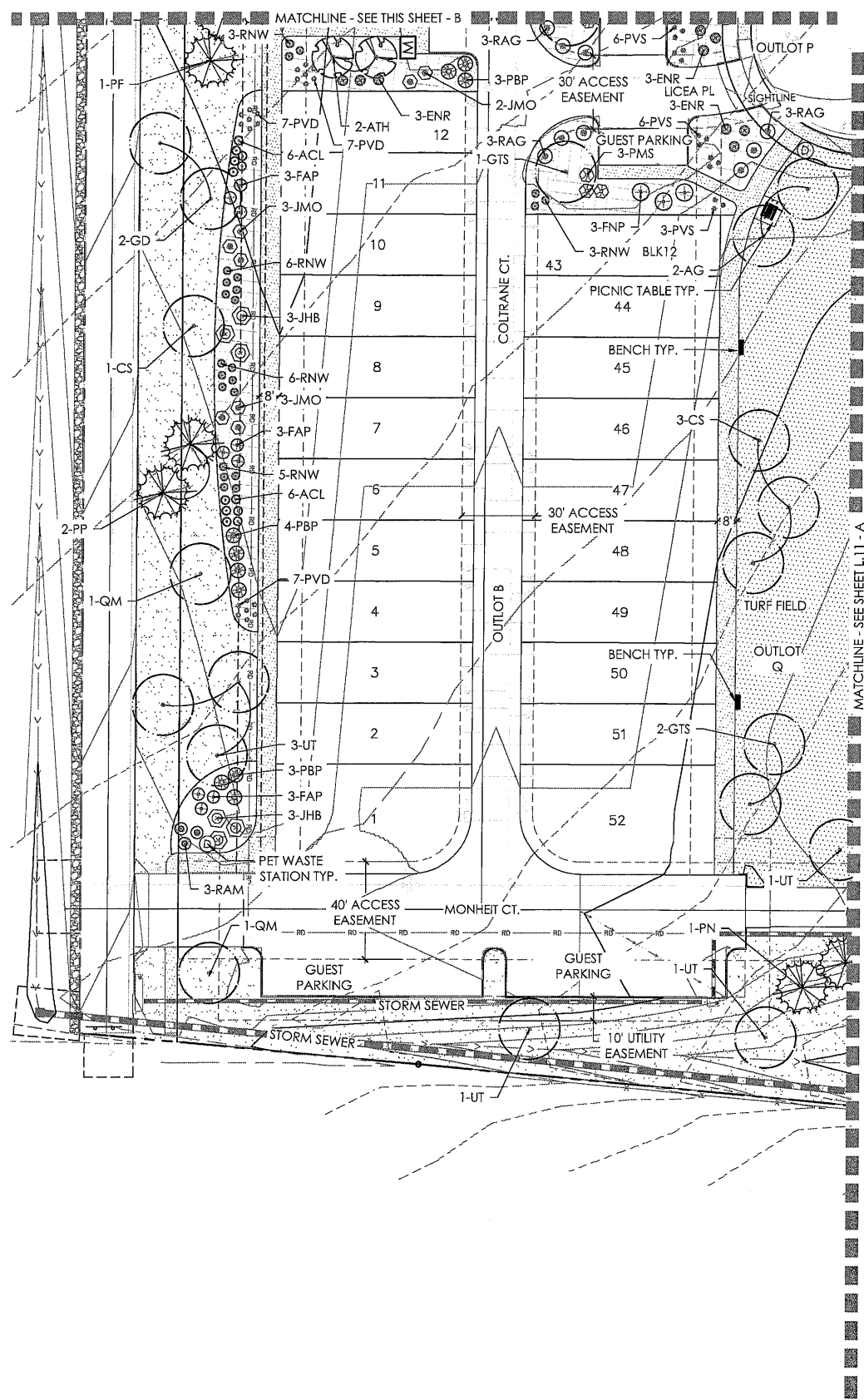
KEY MAP



NOT TO SCALE

LEGEND

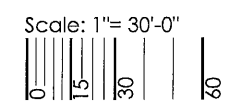
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
- NATIVE SEED, NON-IRRIGATED
- MAILBOX KIOSK



A



B



PROJECT NAME

**REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

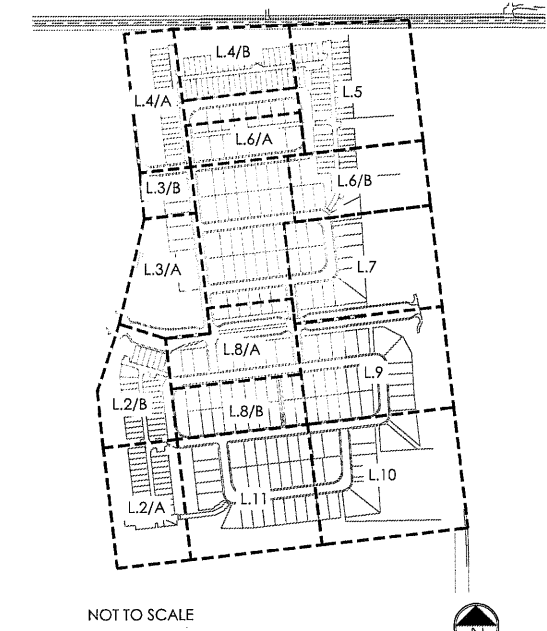
SHEET NUMBER

L.2
SHEET 7 OF 30

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KEY MAP

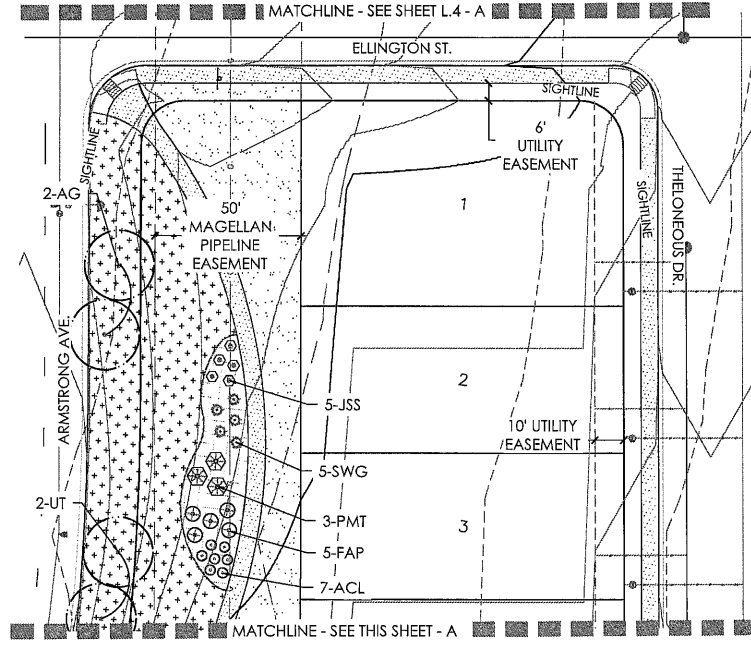
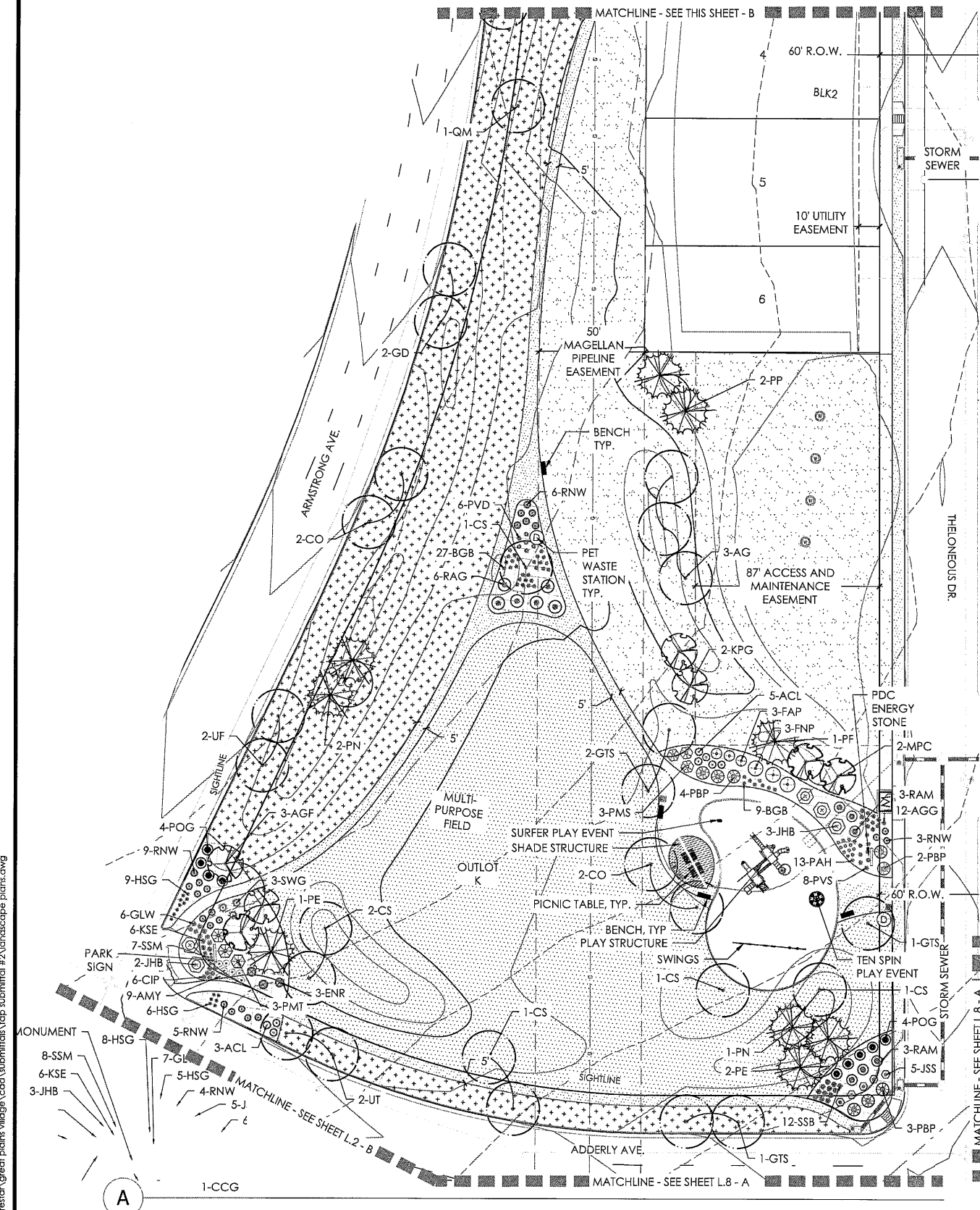


NOT TO SCALE



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
- NATIVE SEED, NON-IRRIGATED
- MAILBOX KIOSK



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PROJECT NAME

**REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

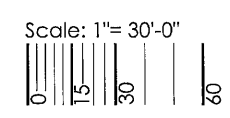
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LANDSCAPE PLANS

SHEET NUMBER

L.3

SHEET 8 OF 30

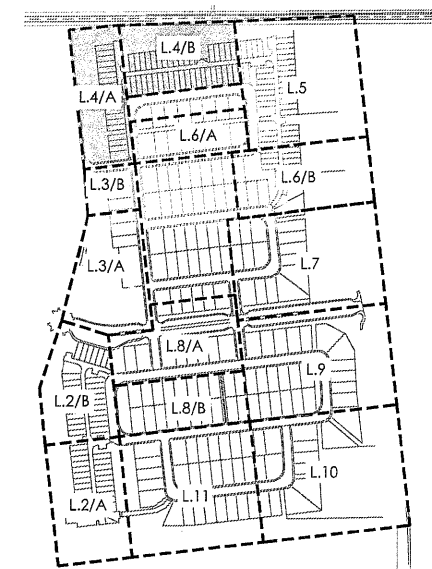


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FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

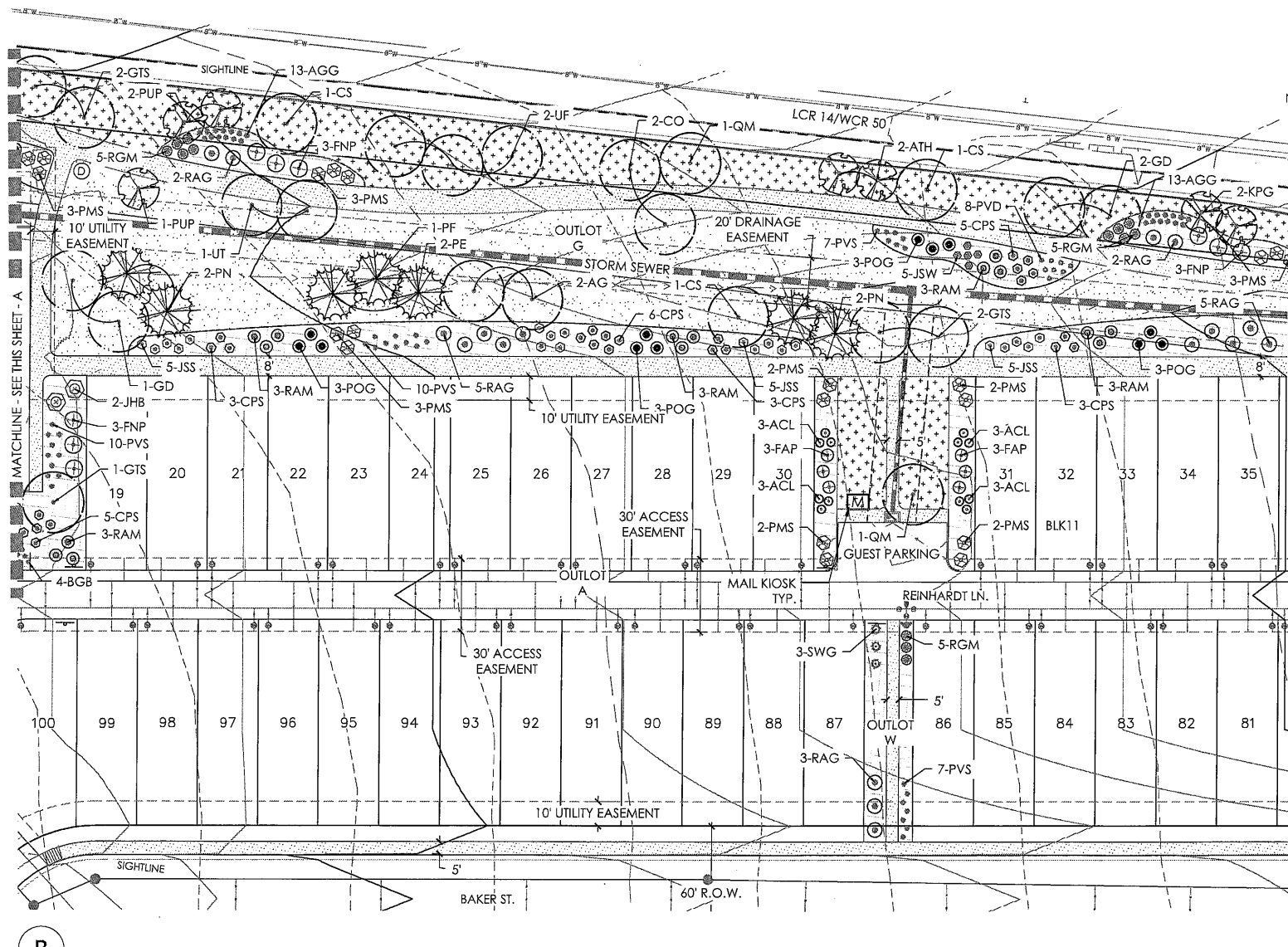
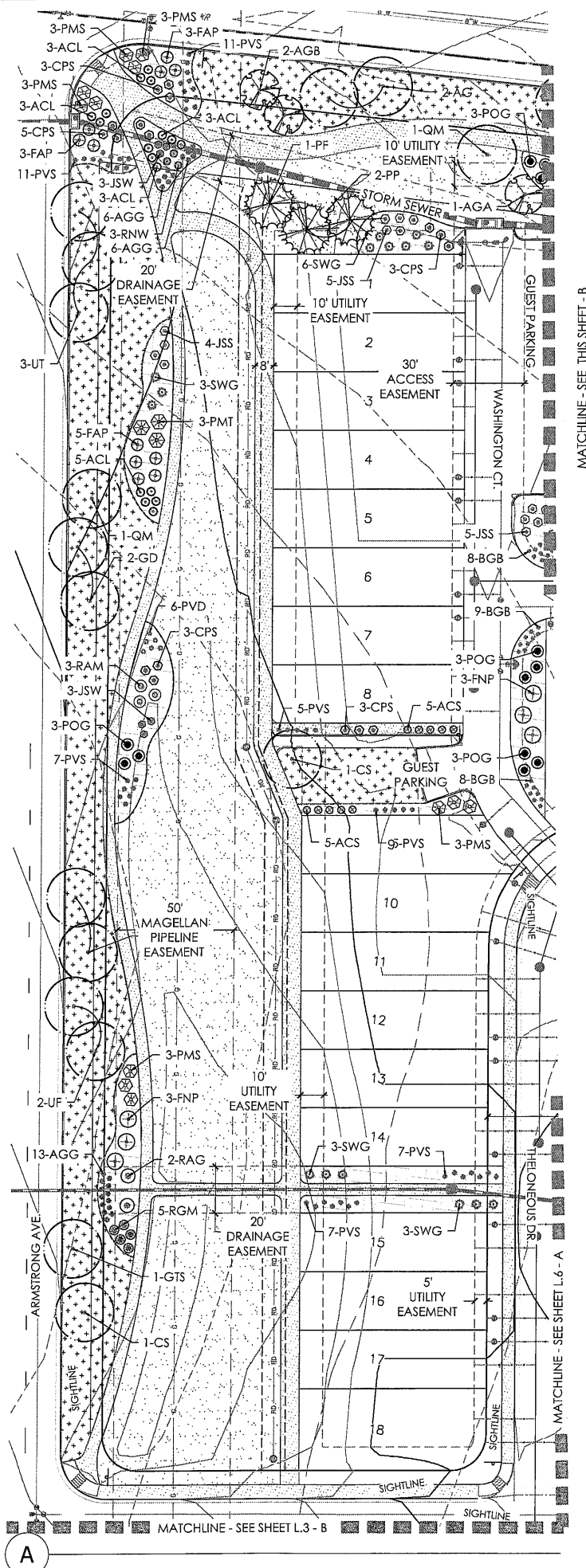
KEY MAP



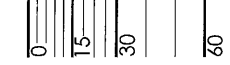
NOT TO SCALE

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
- NATIVE SEED, NON-IRRIGATED
- MAILBOX KIOSK



Scale: 1" = 30'-0"



PROJECT NAME

REVERE AT JOHNSTOWN
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 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021

REVISION DATE:

SHEET TITLE

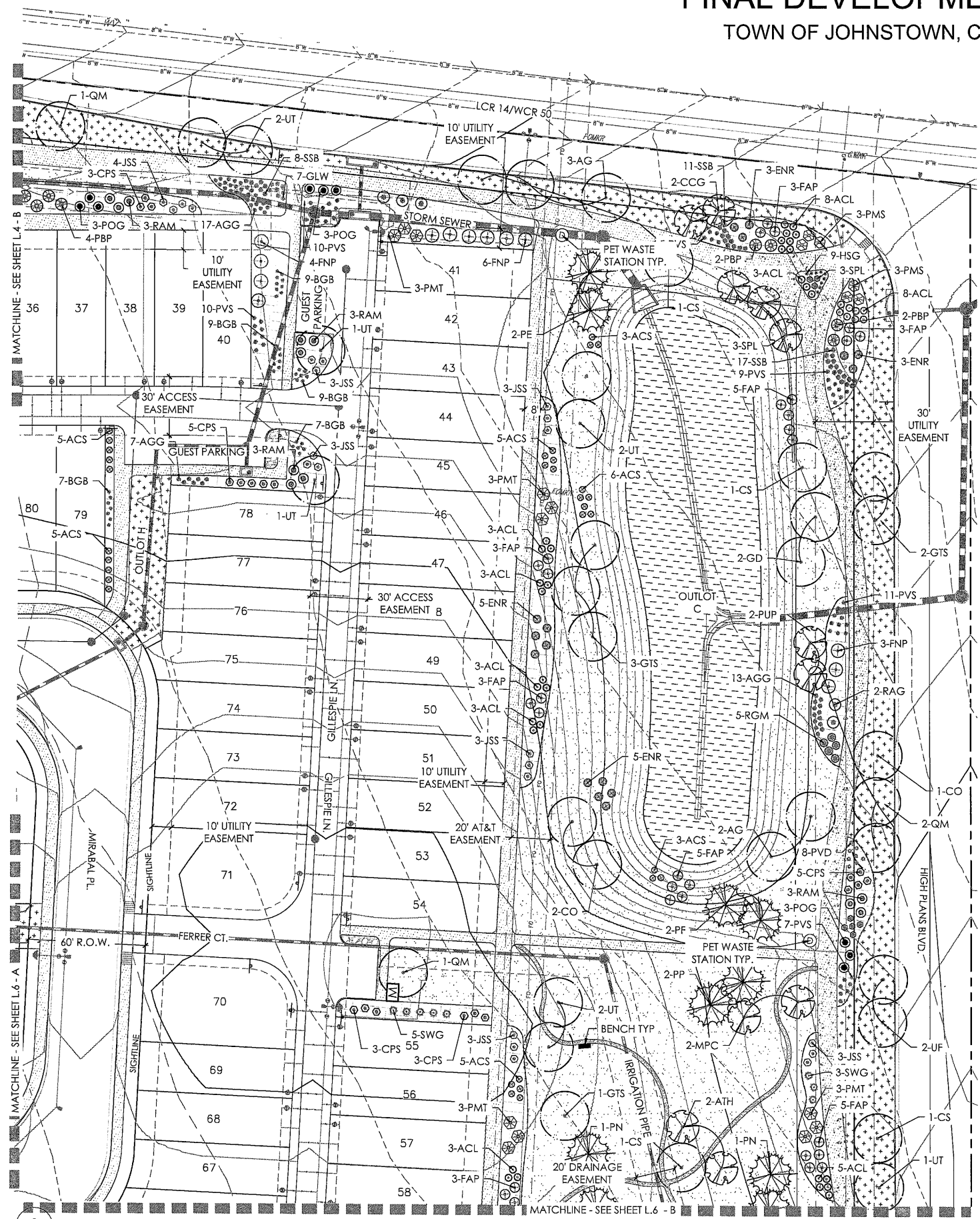
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SHEET NUMBER

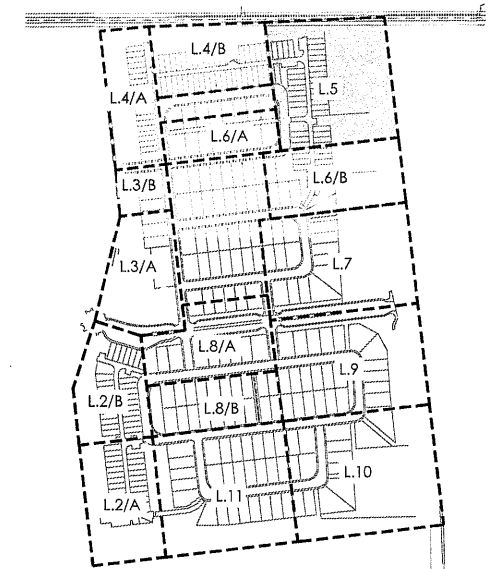
L.4
 SHEET 9 OF 30

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












KEY MAP



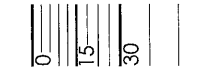
NOT TO SCALE

LEGEND

-  DECIDUOUS TREE
-  EVERGREEN TREE
-  ORNAMENTAL TREE
-  SHRUBS & PERENNIALS
-  STEEL EDGER
-  TURF
-  CRUSHER FINES
-  CONCRETE WALK
-  ROCK MULCH
-  NATIVE SEED
-  LOW-GROW NATIVE SEED
-  NATIVE SEED, NON-IRRIGATED
-  MAILBOX KIOSK



Scale: 1" = 30'-0"



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PROJECT NAME

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 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
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REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.5

SHEET 10 OF 30

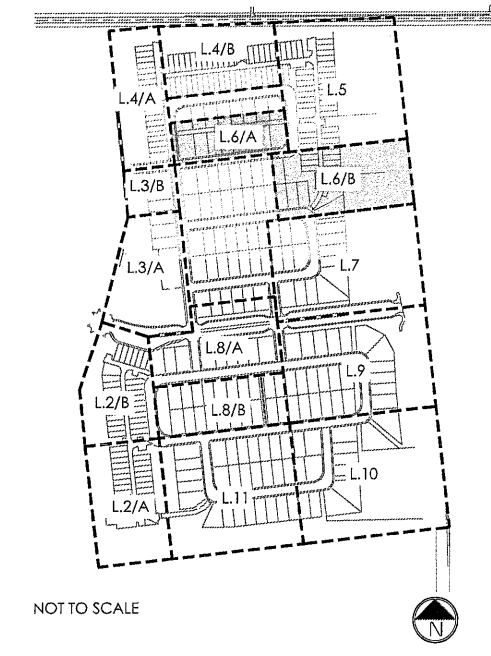
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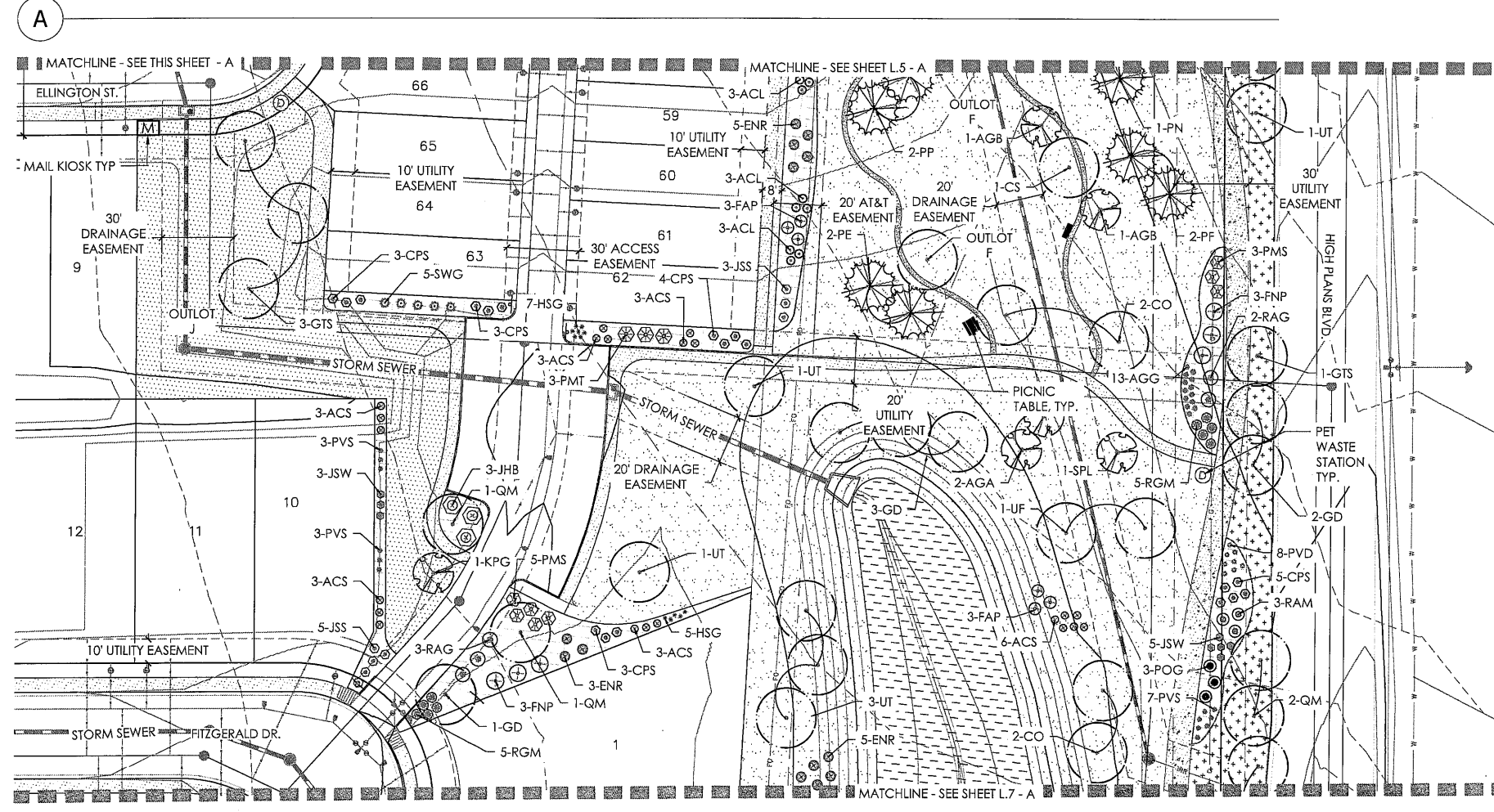
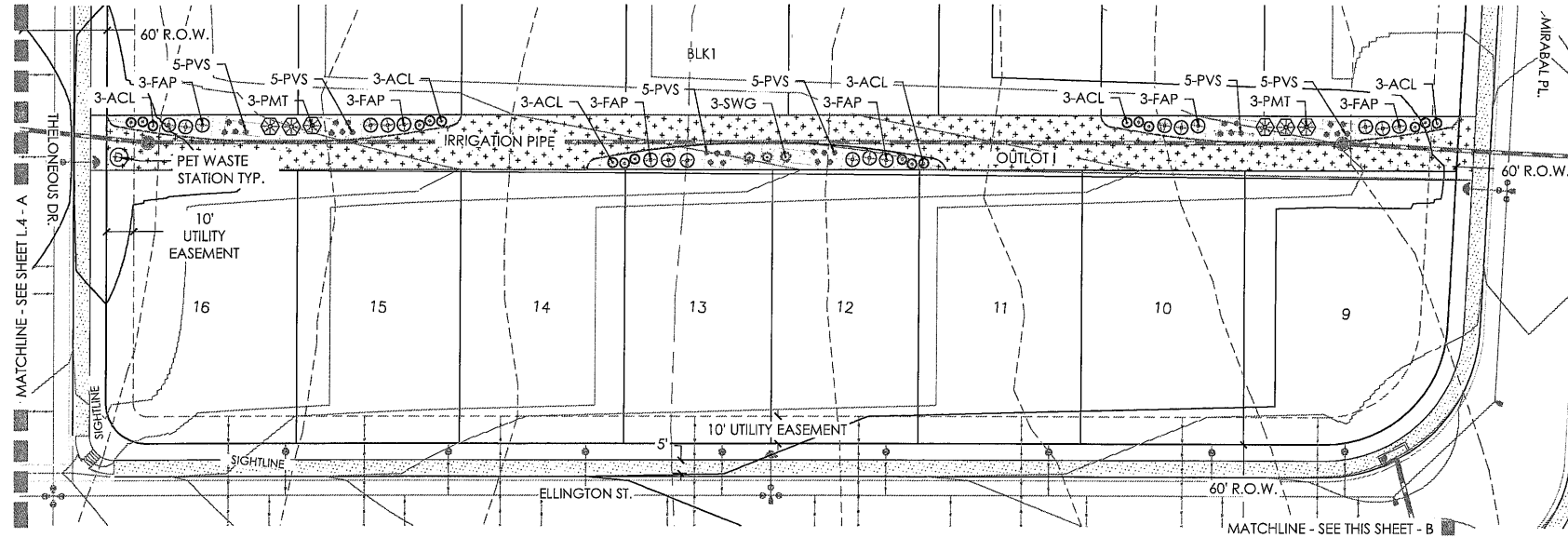
FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

KEY MAP



NOT TO SCALE



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
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- MAILBOX KIOSK



PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

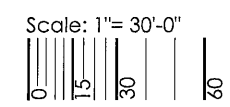
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02-05-2021
 REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.6
 SHEET 11 OF 30



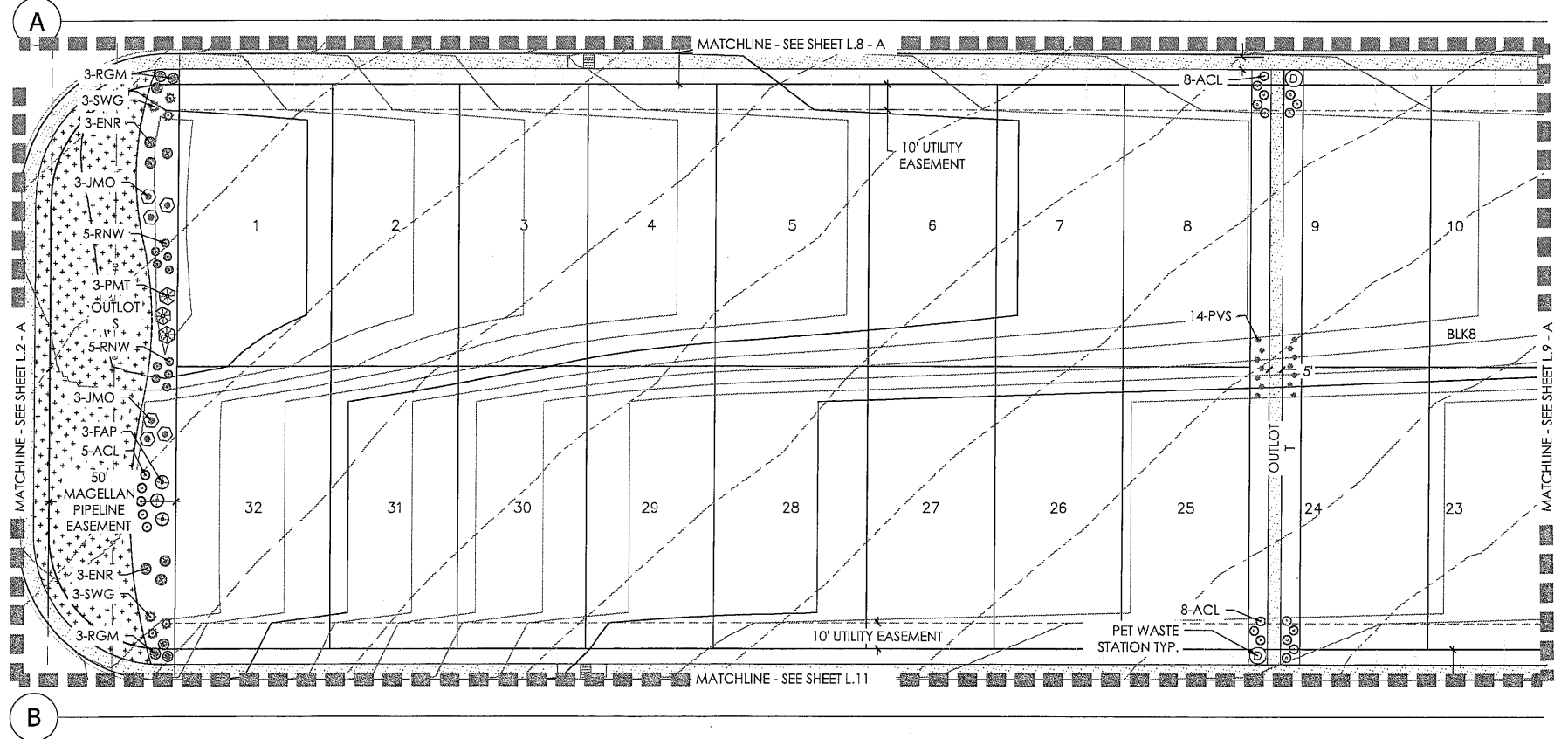
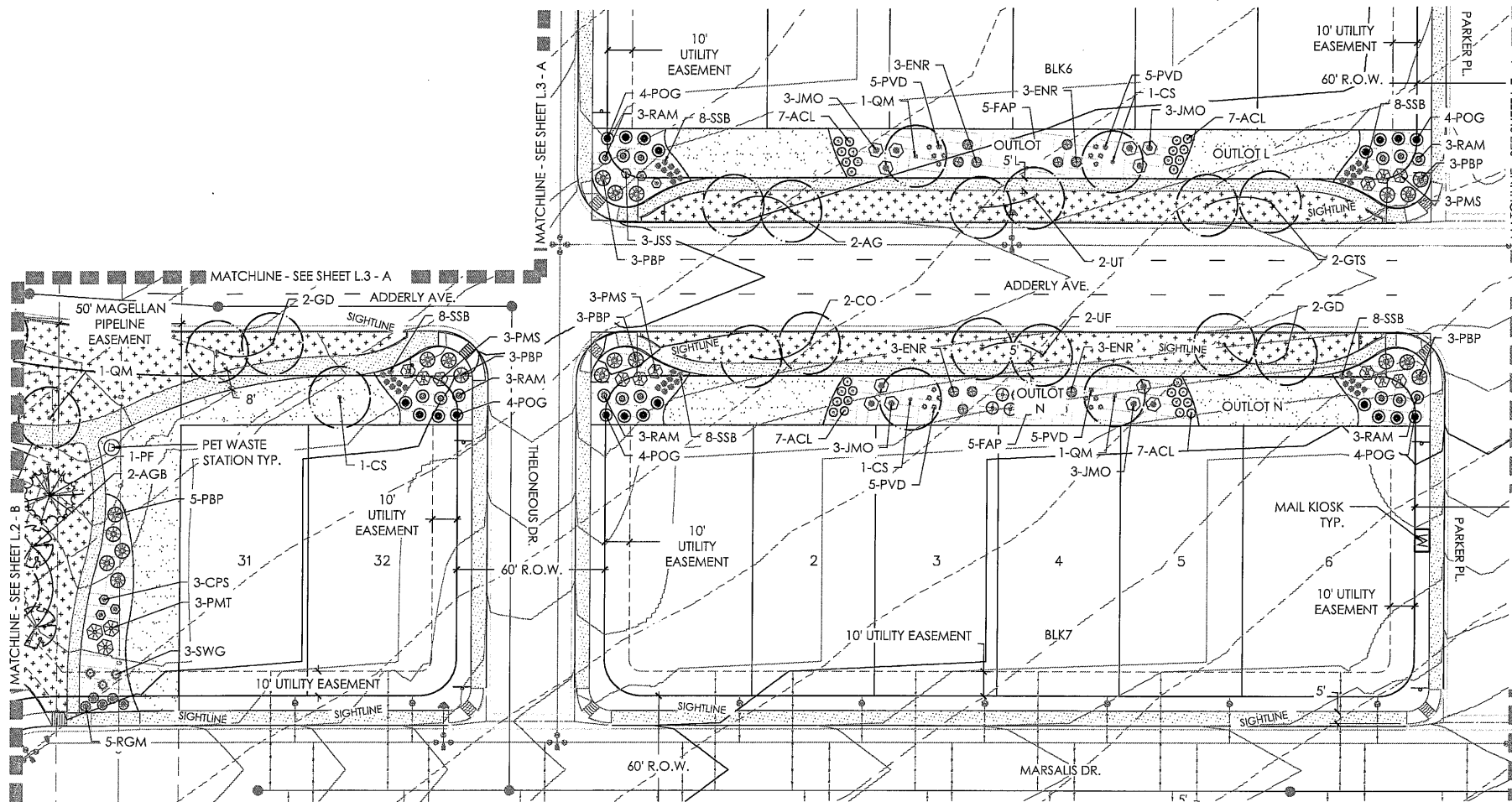
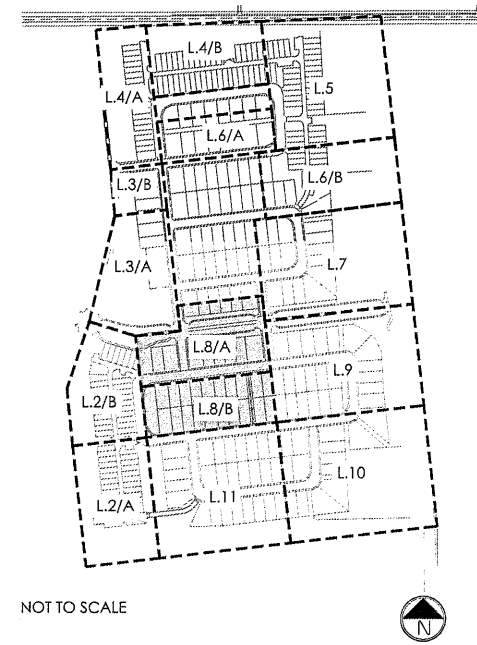
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REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

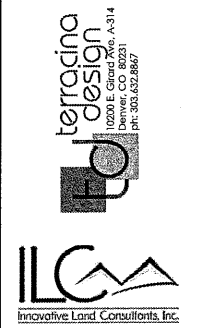
TOWN OF JOHNSTOWN, COLORADO

KEY MAP



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
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- MAILBOX KIOSK



PROJECT NAME

**REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

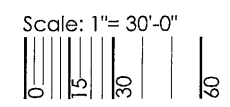
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REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

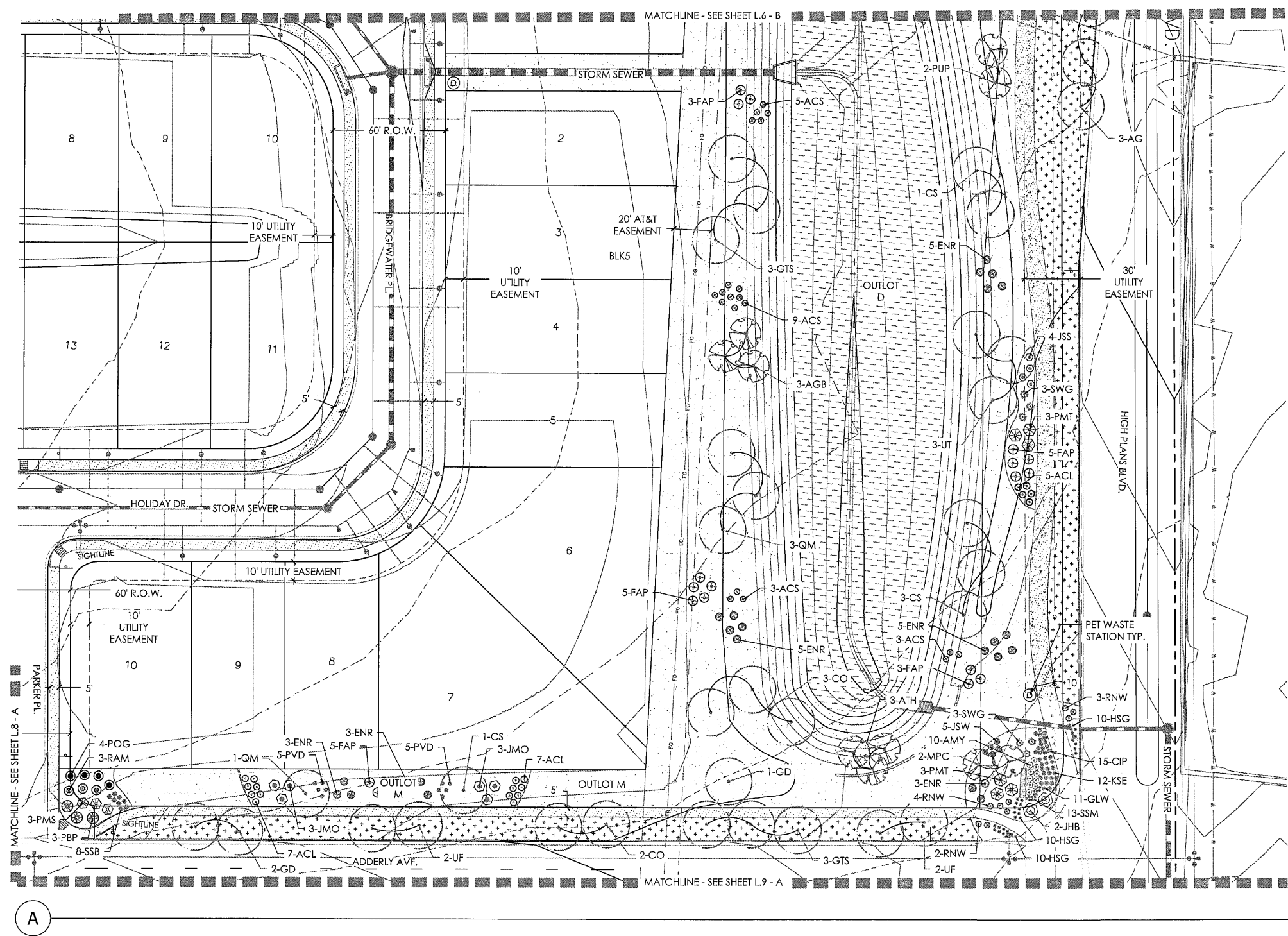
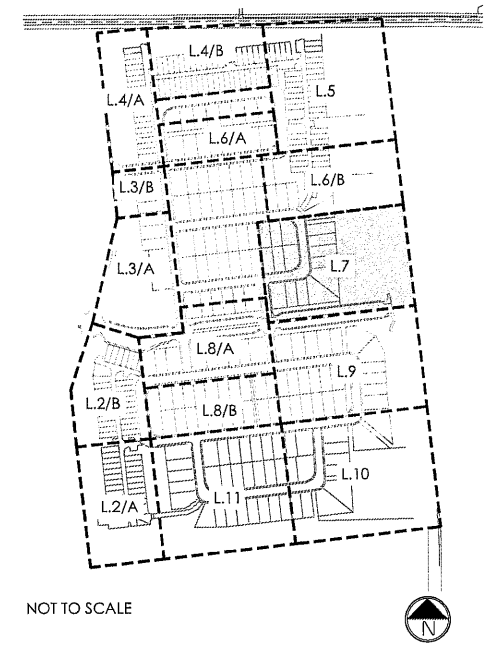
L.8
SHEET 13 OF 30



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KEY MAP



- LEGEND**
- DECIDUOUS TREE
 - EVERGREEN TREE
 - ORNAMENTAL TREE
 - SHRUBS & PERENNIALS
 - STEEL EDGER
 - TURF
 - CRUSHER FINES
 - CONCRETE WALK
 - ROCK MULCH
 - NATIVE SEED
 - LOW-GROW NATIVE SEED
 - NATIVE SEED, NON-IRRIGATED
 - MAILBOX KIOSK



PROJECT NAME

**REVERE AT JOHNSTOWN
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TOWN OF JOHNSTOWN, COLORADO**

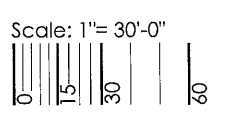
SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

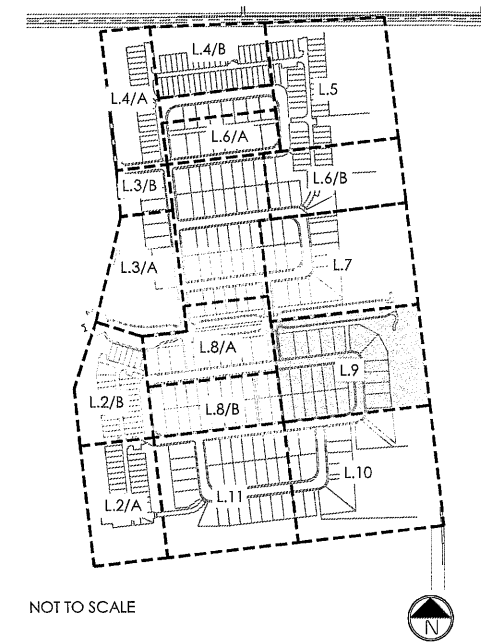
L.7
SHEET 12 OF 30



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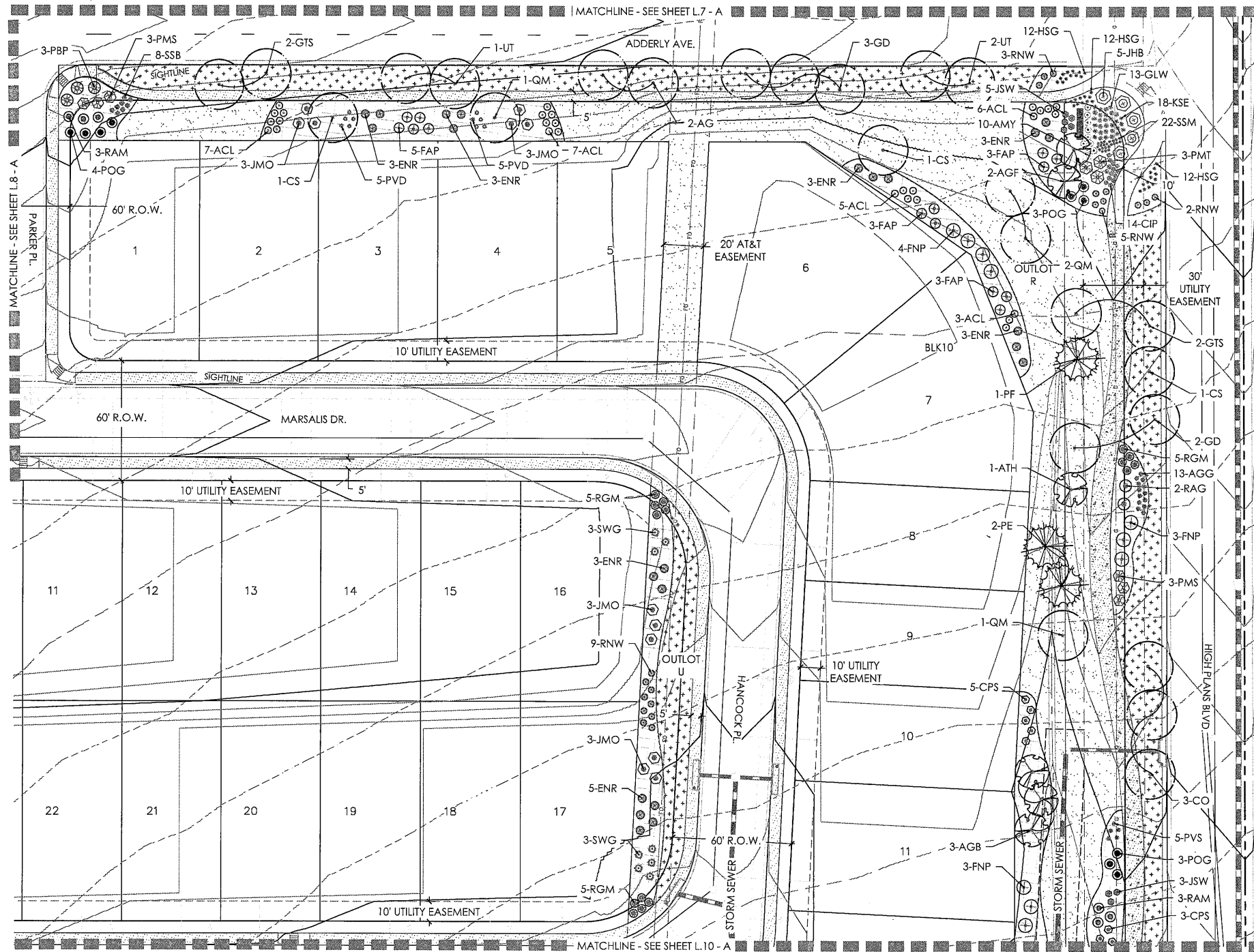
KEY MAP



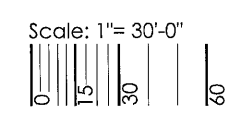
NOT TO SCALE

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
- NATIVE SEED, NON-IRRIGATED
- MAILBOX KIOSK



A



PROJECT NAME

**REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS

SHEET NUMBER

L.9

SHEET 14 OF 30

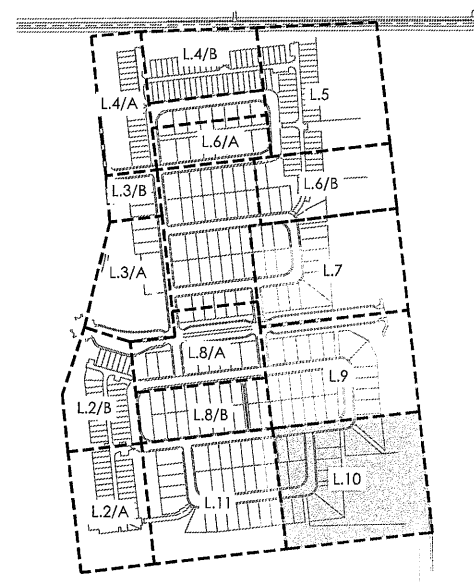
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REVERE AT JOHNSTOWN FILING NO. 1

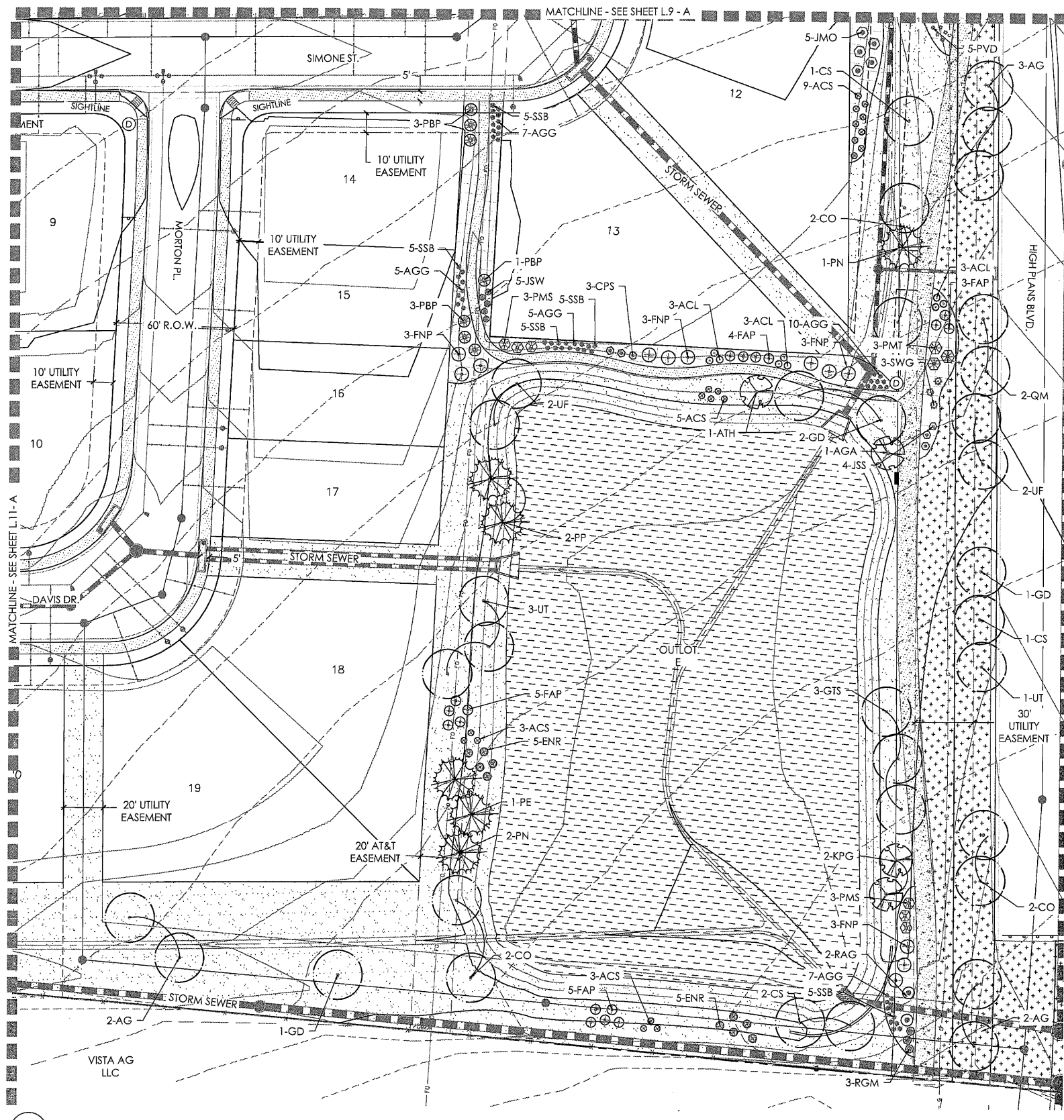
FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO

KEY MAP



NOT TO SCALE



LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
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PROJECT NAME

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 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
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SHEET TITLE

LANDSCAPE PLANS

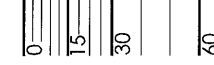
SHEET NUMBER

L.10

SHEET 15 OF 30

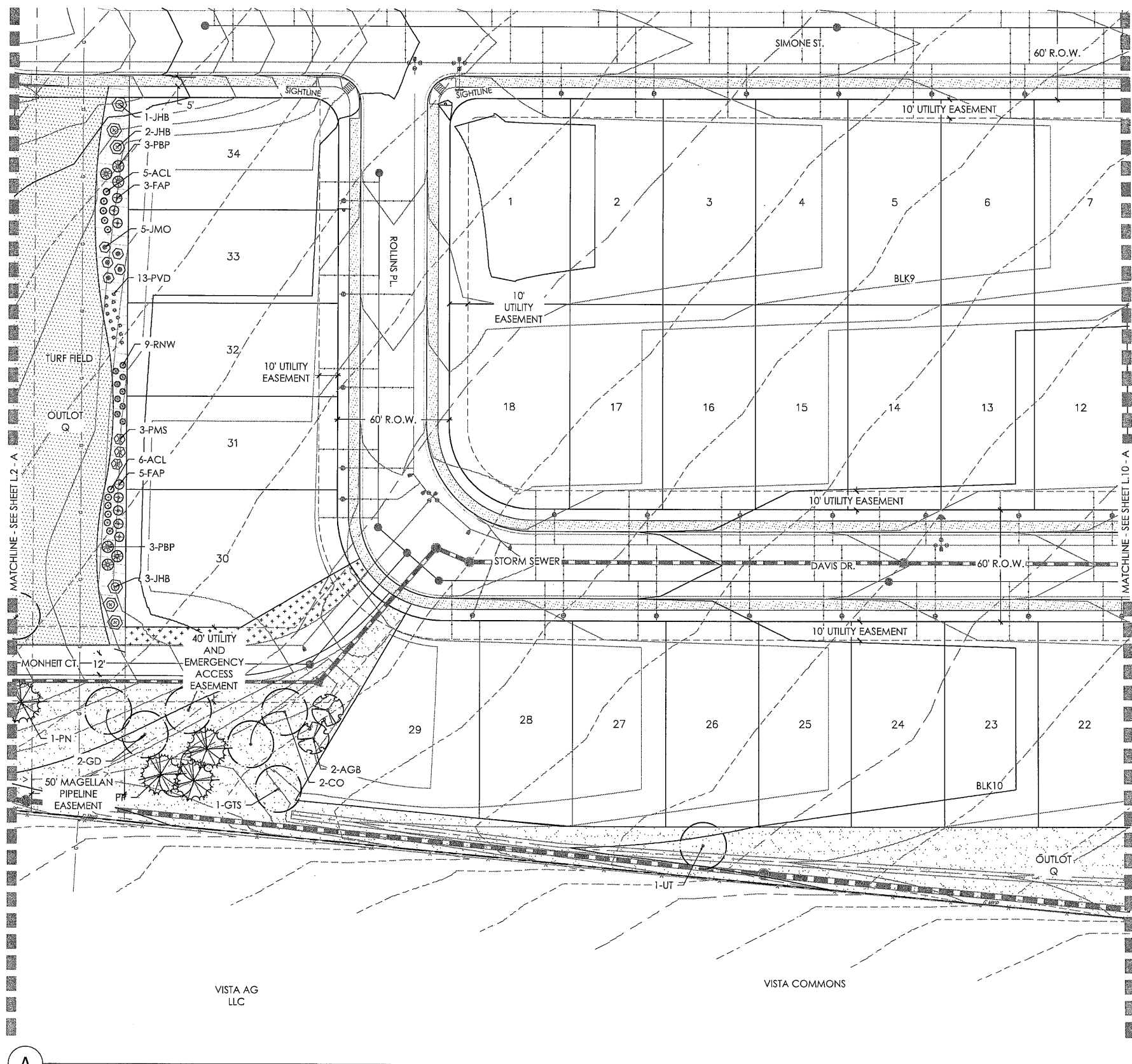


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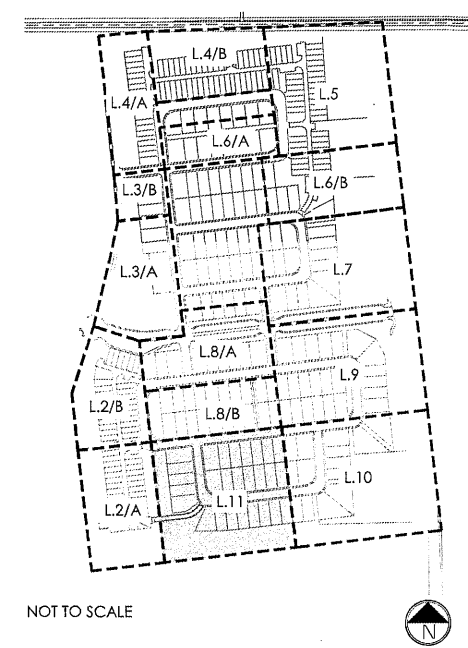


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REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



KEY MAP



NOT TO SCALE

LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHRUBS & PERENNIALS
- STEEL EDGER
- TURF
- CRUSHER FINES
- CONCRETE WALK
- ROCK MULCH
- NATIVE SEED
- LOW-GROW NATIVE SEED
- NATIVE SEED, NON-IRRIGATED
- MAILBOX KIOSK



PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

LANDSCAPE PLANS
 SHEET NUMBER

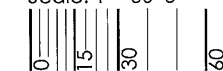
SHEET NUMBER

L.11

SHEET 16 OF 30



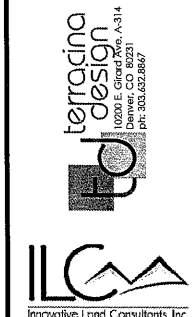
Scale: 1" = 30'-0"



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A

REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

REVERE AT JOHNSTOWN
FILING NO. 1
FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

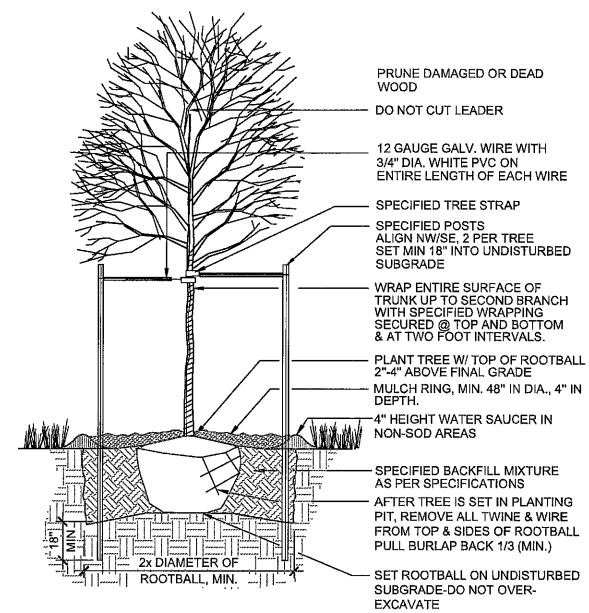
SHEET TITLE

LANDSCAPE DETAILS

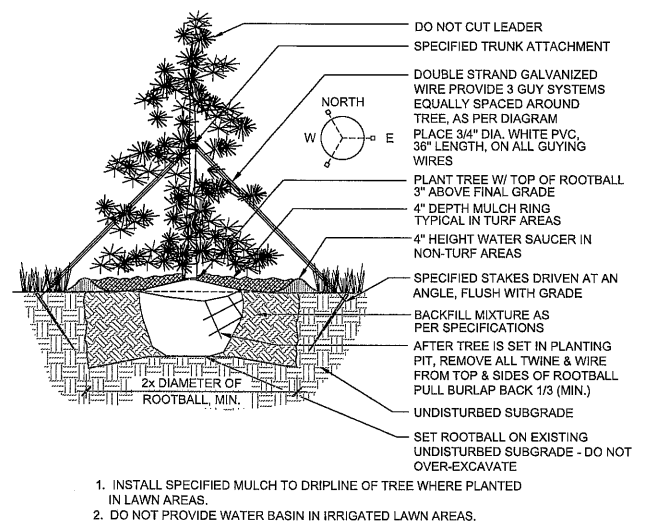
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L.13

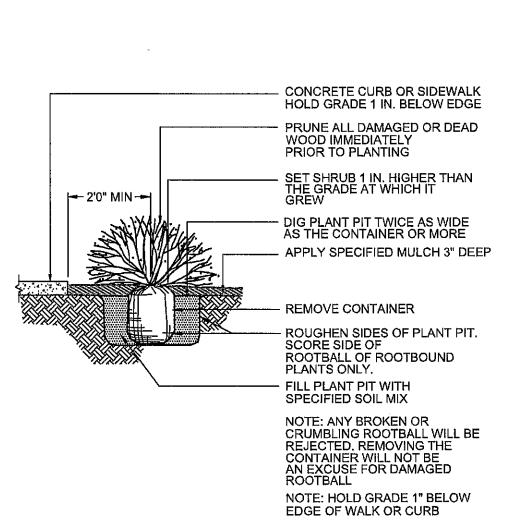
SHEET 18 OF 30



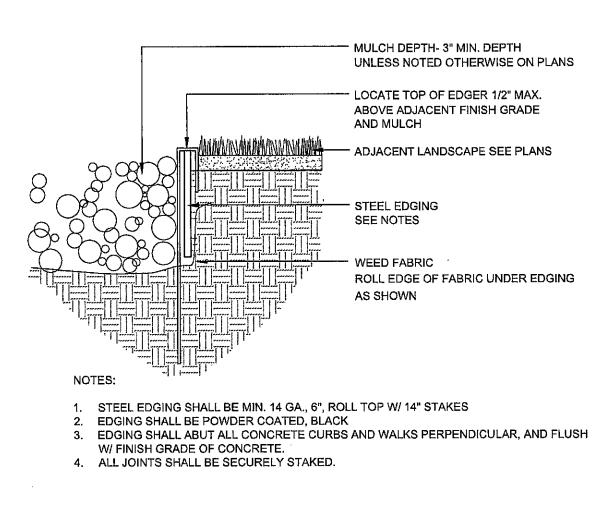
1 DECIDUOUS TREE PLANTING
NTS



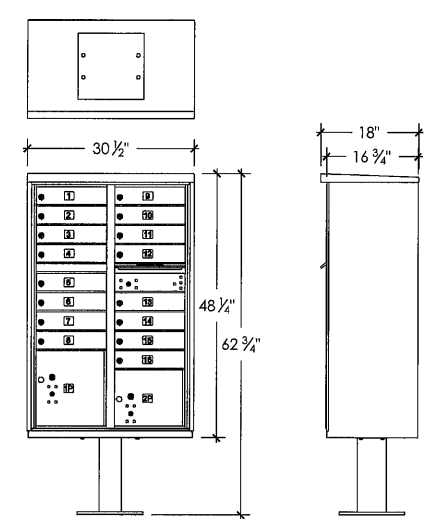
2 EVERGREEN TREE PLANTING
NTS



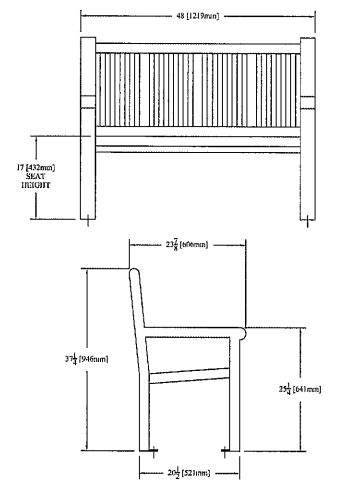
3 TYPICAL SHRUB PLANTING
NTS



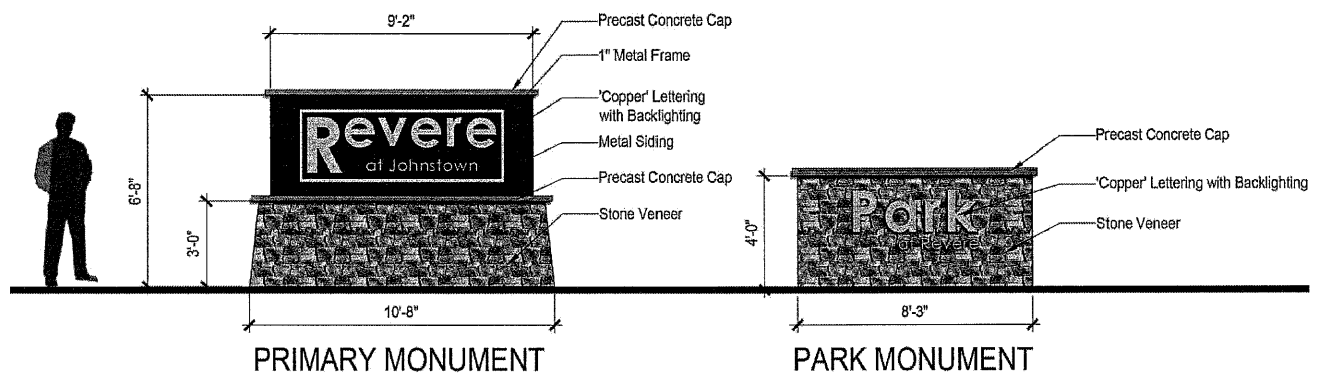
4 STEEL EDGER
NTS



5 MAIL KIOSK
NTS

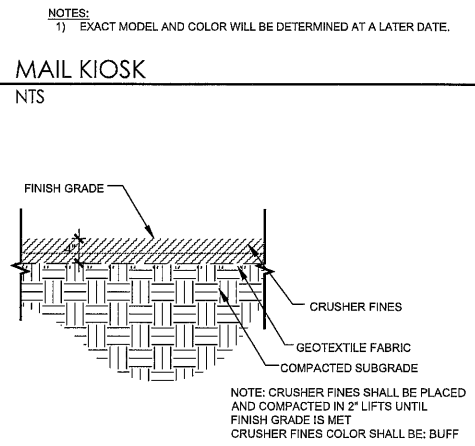


6 BENCH
NTS

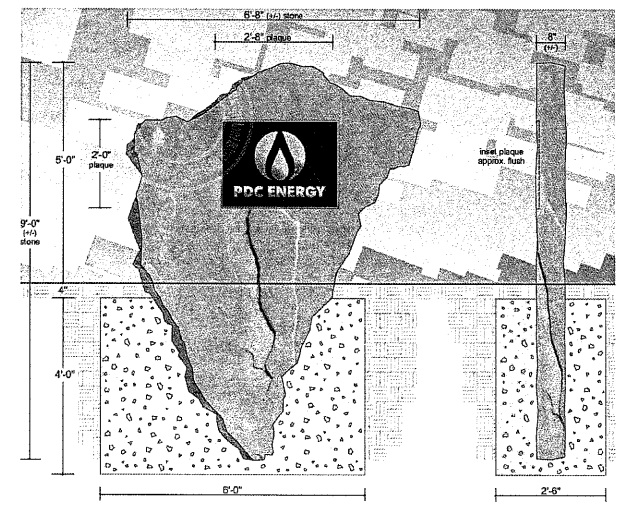


7 PRIMARY MONUMENT & PARK MONUMENT
NTS

NOTE: MONUMENT IS CONCEPTUAL AND SUBJECT TO CHANGE.



8 CRUSHER FINES TRAIL
NTS



9 PDC ENERGY STONE
NTS

NOTE: DETAILS AND EQUIPMENT SHOWN ARE PRELIMINARY. FINAL EQUIPMENT, STRUCTURES, MATERIALS, COLORS, ETC ARE SUBJECT TO CHANGE.

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REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

REVERE AT JOHNSTOWN
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FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
02-05-2021
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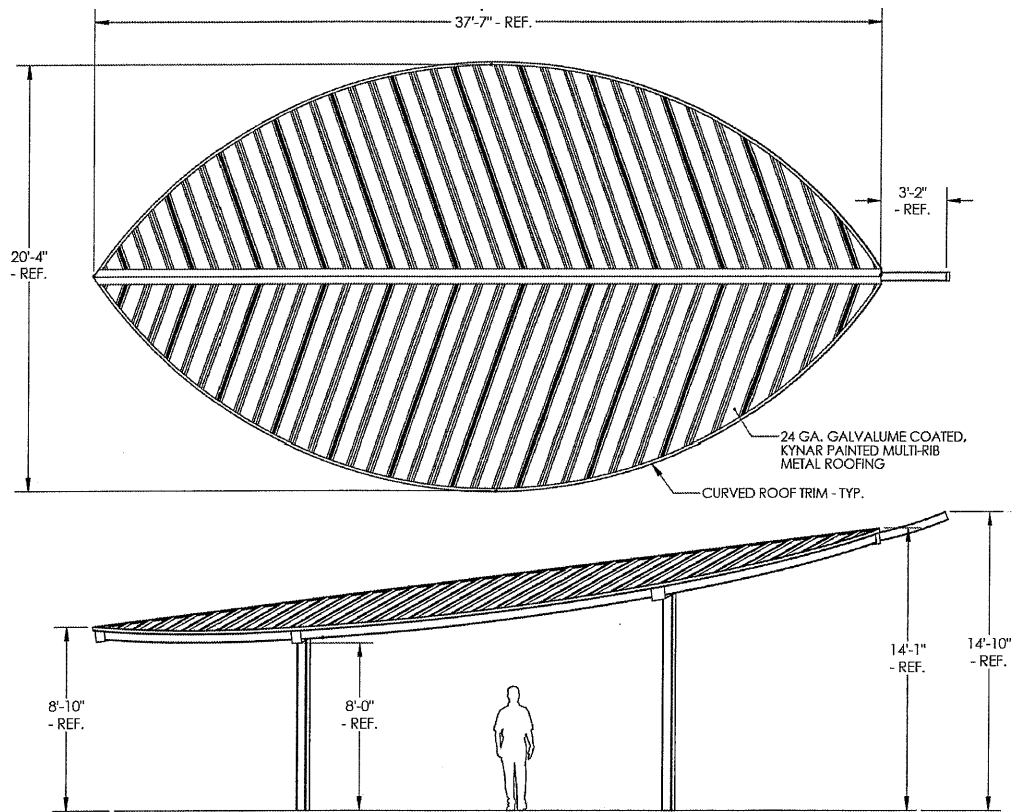
SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

L.14

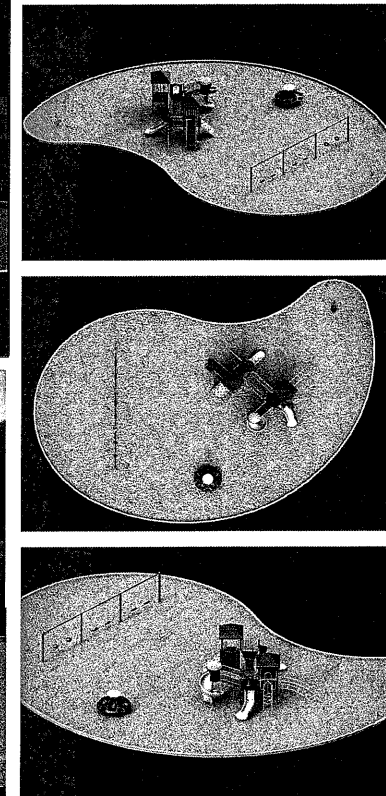
SHEET 19 OF 30



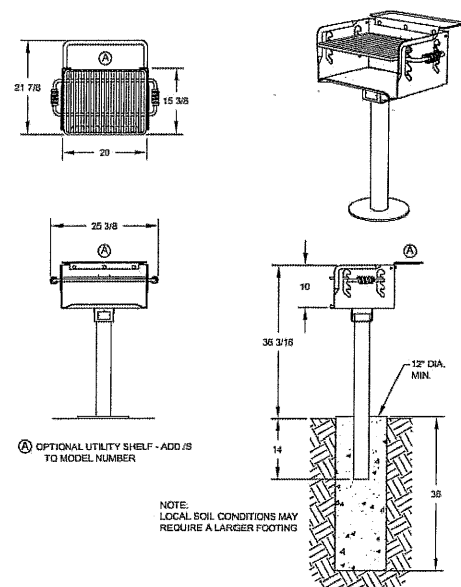
1 SHADE STRUCTURE
NTS



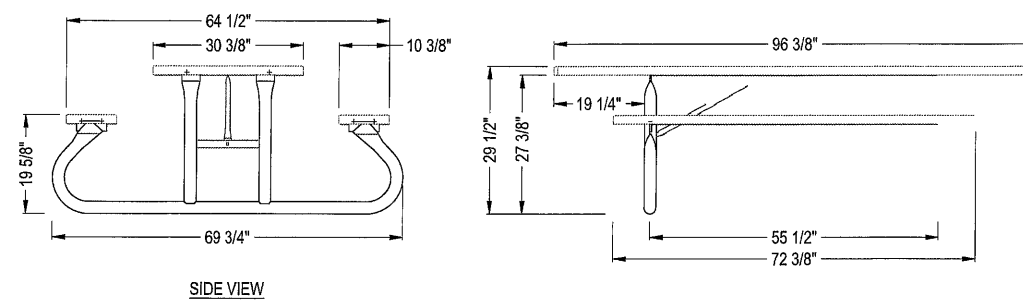
2 PLAYGROUND EQUIPMENT
NTS



3 PET WASTE STATION
NTS



4 BBQ
NTS



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 5060-176.

5 PICNIC TABLE
NTS



6 TRASH
NTS

NOTE: DETAILS AND EQUIPMENT SHOWN ARE PRELIMINARY. FINAL EQUIPMENT, STRUCTURES, MATERIALS, COLORS, ETC ARE SUBJECT TO CHANGE.

REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



Know what's below.
Call before you dig.



PROJECT NAME

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 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
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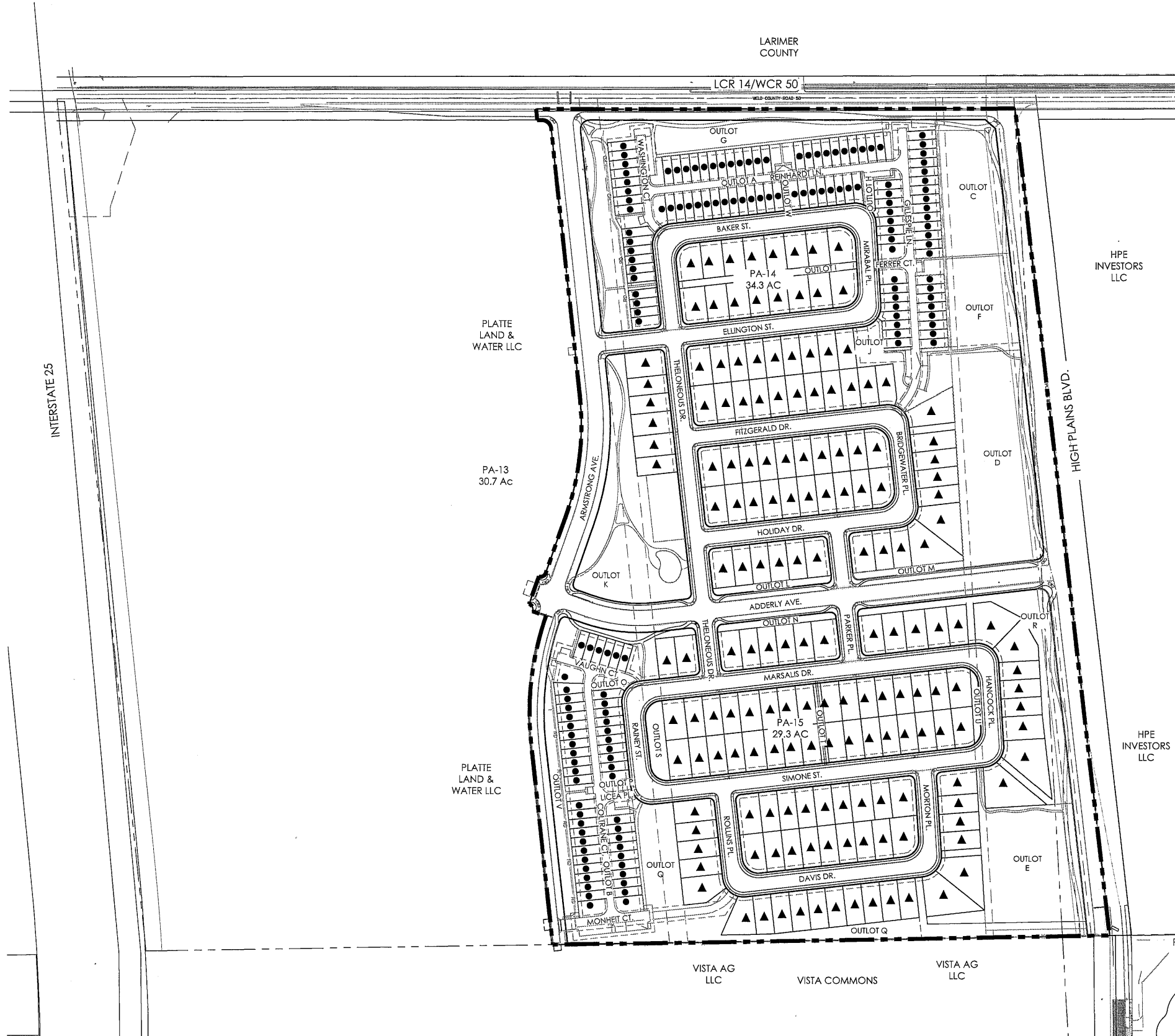
SHEET TITLE

**HOUSING TYPE
PLAN**

SHEET NUMBER

L.15

SHEET 20 OF 30



LEGEND

- SINGLE FAMILY ATTACHED
- ▲ SINGLE FAMILY DETACHED (50' MINIMUM LOT WIDTH)

HOUSING TYPE DATA				
PLANNING AREA	ACRES	HOUSING TYPE	# OF UNITS	% OF UNITS
PA-14	5.2	SINGLE FAMILY ATTACHED	100	31.3%
	9.8	SINGLE FAMILY DETACHED	78	24.4%
SUBTOTAL	15.0		178	55.6%
PA-15	3.2	SINGLE FAMILY ATTACHED	50	15.6%
	13.3	SINGLE FAMILY DETACHED	92	28.8%
SUBTOTAL	16.5		142	44.4%
TOTAL	31.5		320	100.0%

Scale: 1" = 150'-0"

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REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

**REVERE AT JOHNSTOWN
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FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

LOT TYPICALS

SHEET NUMBER

L.16

SHEET 21 OF 30

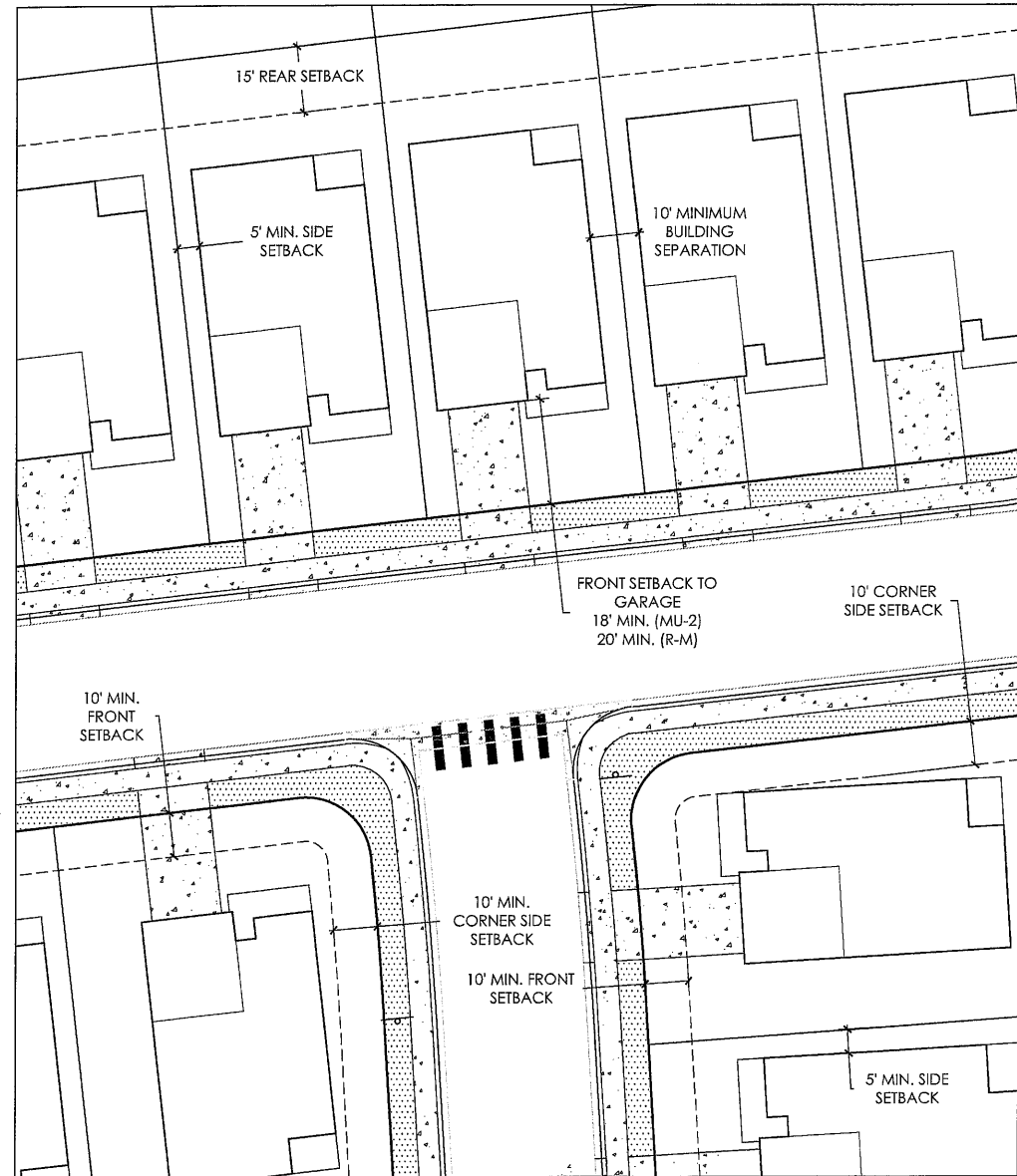


EXHIBIT A - SINGLE FAMILY DETACHED LOT TYPICAL

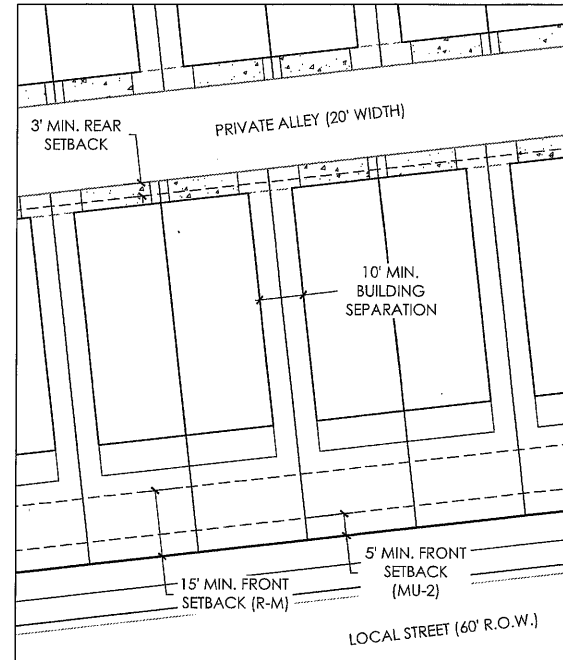


EXHIBIT B - SINGLE FAMILY ATTACHED ALLEY-LOADED LOT TYPICAL

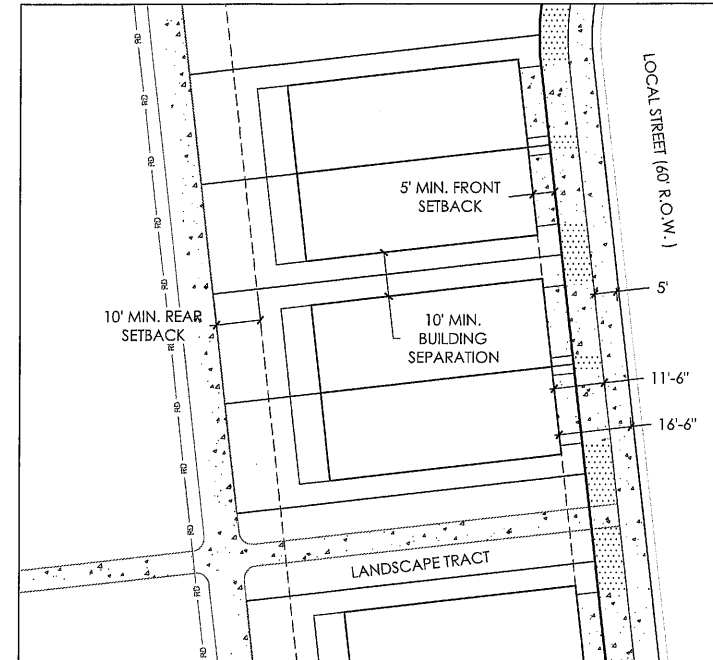
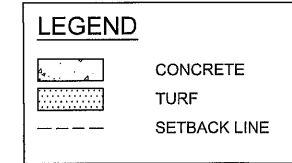


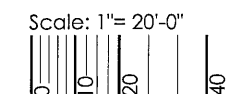
EXHIBIT C - SINGLE FAMILY ATTACHED STREET-LOADED LOT TYPICAL



SINGLE FAMILY DETACHED (SFD)			
STANDARDS		R-M	MU-2
MINIMUM LOT SIZE		3,200	3,200
MINIMUM CLUSTER LOT SIZE		2,000	2,000
PARKING REQUIREMENT		CODE	CODE
MAXIMUM HEIGHT		35'	35'
PRINCIPAL USE		R-M	MU-2
FRONT SETBACK TO BUILDING		10'	10'
FRONT SETBACK TO COVERED PORCH		5'	5'
FRONT SETBACK TO GARAGE		20'	18'
FRONT SETBACK TO SIDE LOADED GARAGE		10'	10'
SIDE SETBACK MINIMUM		5'	5'
*BUILDING SEPARATION		10'	10'
REAR SETBACK - FRONT LOAD		15'	15'
REAR SETBACK - CLUSTER		10'	5'
REAR SETBACK - ALLEY LOAD		3'	3'
SIDE (CORNER) SETBACK		10'	10'
ACCESSORY USE		R-M	MU-2
MAXIMUM HEIGHT		15'	15'
FRONT SETBACK		20'	20'
SIDE SETBACK		3'*	0'
REAR SETBACK		5'	0'
REAR SETBACK (ALLEY LOAD GARAGE)		3'	3'
SIDE (CORNER) SETBACK		15'	5'

LAND USE DEVELOPMENT STANDARDS MATRIX			
RESIDENTIAL LAND USE DEVELOPMENT STANDARDS MATRIX			
SINGLE FAMILY ATTACHED (SFA) RESIDENTIAL			
STANDARDS		R-M	MU-2
MINIMUM LOT SIZE		1200	1200
MAXIMUM HEIGHT		35'	50'
PRINCIPAL USE		R-M	MU-2
FRONT SETBACK TO BUILDING FACE		15'	5'
FRONT SETBACK TO COVERED PORCH		10'	0'
SIDE SETBACK MINIMUM		0'	0'
SIDE SETBACK WITH EASEMENT		15'	10'
*BUILDING SEPARATION		10'	10'
REAR SETBACK		15'	10'
REAR SETBACK - ALLEY LOAD GARAGE		3'*	3'*
SIDE (CORNER) SETBACK		15'	5'
ACCESSORY USE		R-M	MU-2
MAXIMUM HEIGHT		15'	15'
FRONT SETBACK		20'	20'
SIDE SETBACK		5'	5'
REAR SETBACK - NON GARAGE		10'	10'
REAR SETBACK (ALLEY LOAD GARAGE)		3'*	3'*
SIDE (CORNER) SETBACK		15'	0'

* OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)
 NOTE: SETBACKS ONLY APPLY TO FILING NO. 1. FUTURE FILINGS ARE SUBJECT TO THE SETBACKS ESTABLISHED IN THE ODP UNLESS AMENDED THROUGH THE PDP/FDP PROCESS.



REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

**REVERE AT JOHNSTOWN
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FINAL DEVELOPMENT PLAN
TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

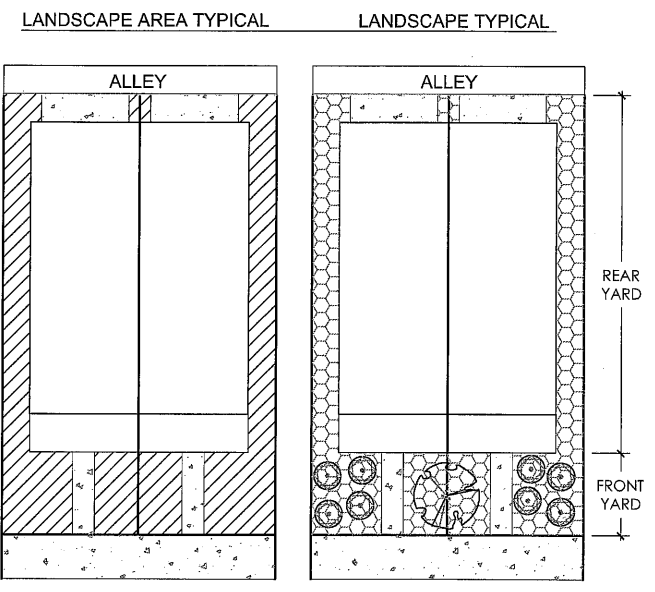
LOT TYPICALS

SHEET NUMBER

L.17

SHEET 22 OF 30

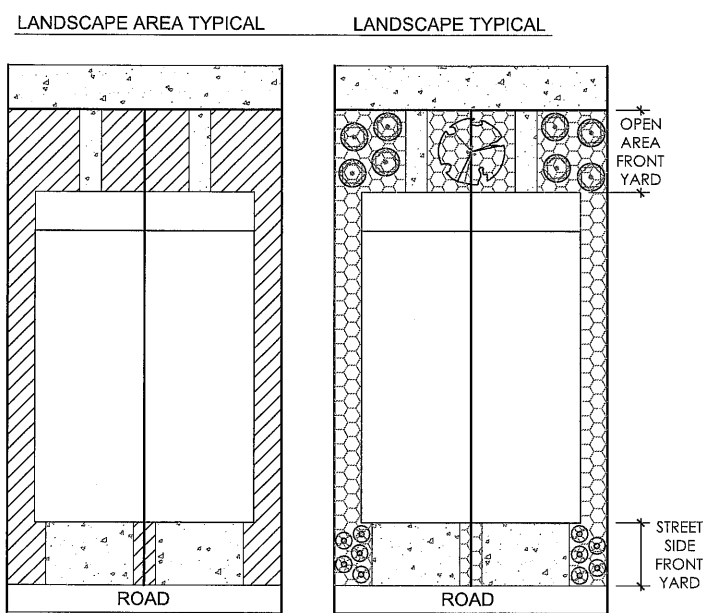
ALLEY LOAD SINGLE-FAMILY ATTACHED LOTS



SINGLE FAMILY ATTACHED LOT LANDSCAPE STANDARDS

1. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED ON EVERY LOT.
2. AT LEAST ONE (1) TREE OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED BUILDING IN THE FRONT YARD.
3. TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT STANDARDS.
4. TURF/SOD IS NOT PERMITTED FOR SINGLE FAMILY ATTACHED LOTS.

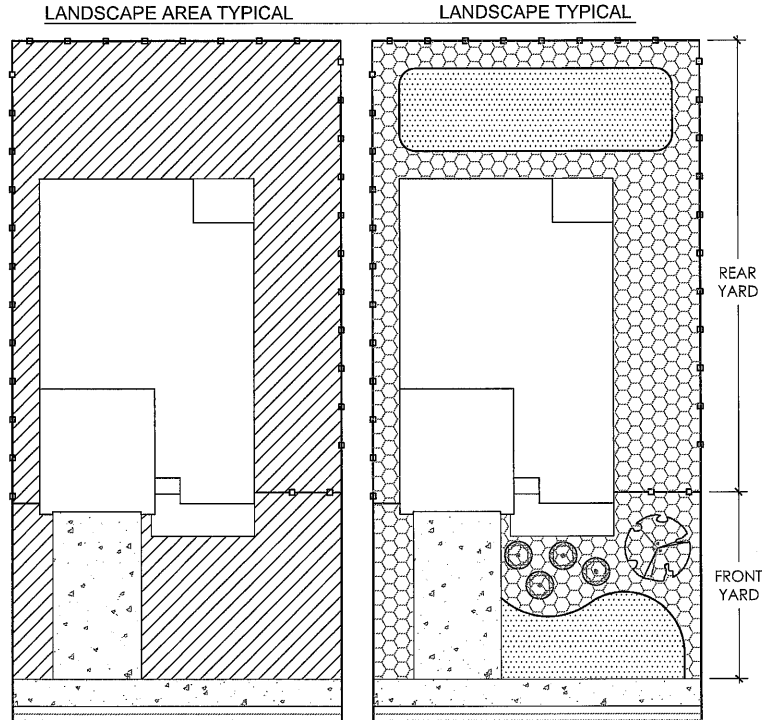
SINGLE-FAMILY ATTACHED LOTS



SINGLE FAMILY ATTACHED LOT LANDSCAPE STANDARDS

1. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED IN THE OPEN AREA FRONT YARD OF EVERY LOT. AT LEAST FIVE (5) SHRUBS WILL BE PLANTED IN THE STREET SIDE FRONT YARD OF EVERY LOT.
2. AT LEAST ONE (1) TREE OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED FOR EACH SINGLE FAMILY ATTACHED UNIT IN THE OPEN AREA FRONT YARD.
3. TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT STANDARDS.
4. TURF/SOD IS NOT PERMITTED FOR SINGLE FAMILY ATTACHED LOTS.

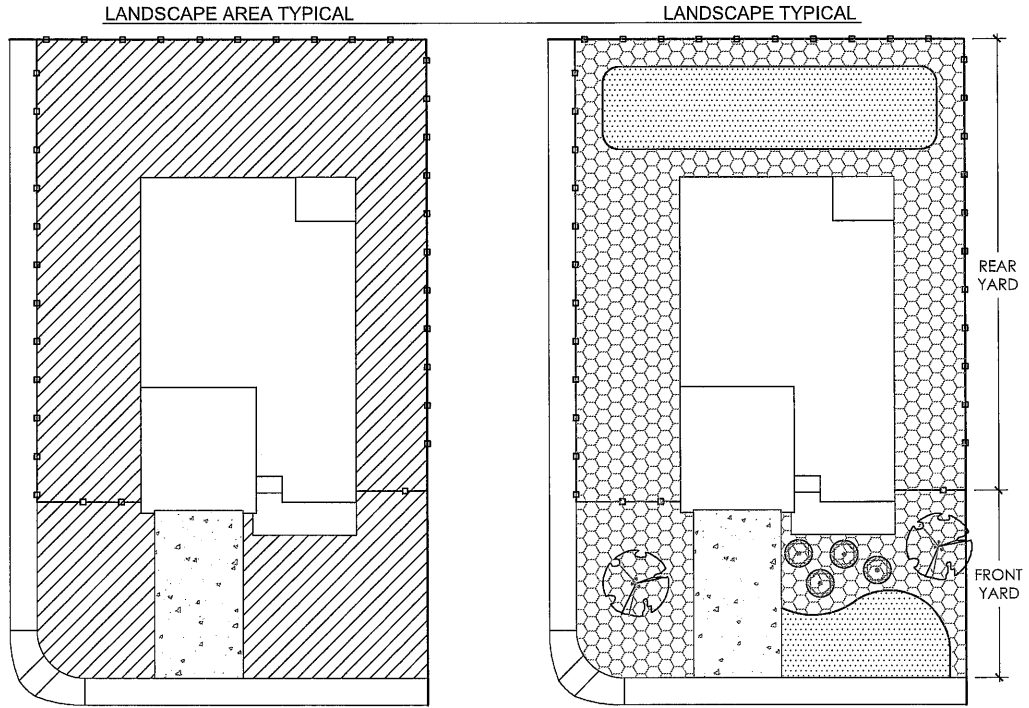
SINGLE-FAMILY DETACHED INTERIOR LOTS



SINGLE-FAMILY RESIDENTIAL LOT LANDSCAPE STANDARDS

1. AT LEAST FOUR (4) SHRUBS WILL BE PLANTED IN THE FRONT YARD OF EVERY LOT.
2. AT LEAST ONE (1) TREE IN THE INTERIOR LOT FRONT YARD, AND TWO (2) TREES IN THE CORNER LOT FRONT YARD OF ONE AND ONE-HALF (1 1/2) INCH CALIPER WILL BE PROVIDED.
3. MAXIMUM 30% OF LANDSCAPE AREA CAN BE TURF.
4. TREES REQUIRED IN THE ADJACENT RIGHT-OF-WAY WILL NOT BE USED TO MEET THE LOT STANDARDS.
5. TURF AREAS MAY BE A LOW WATER SEED MIX.

SINGLE-FAMILY DETACHED CORNER LOTS



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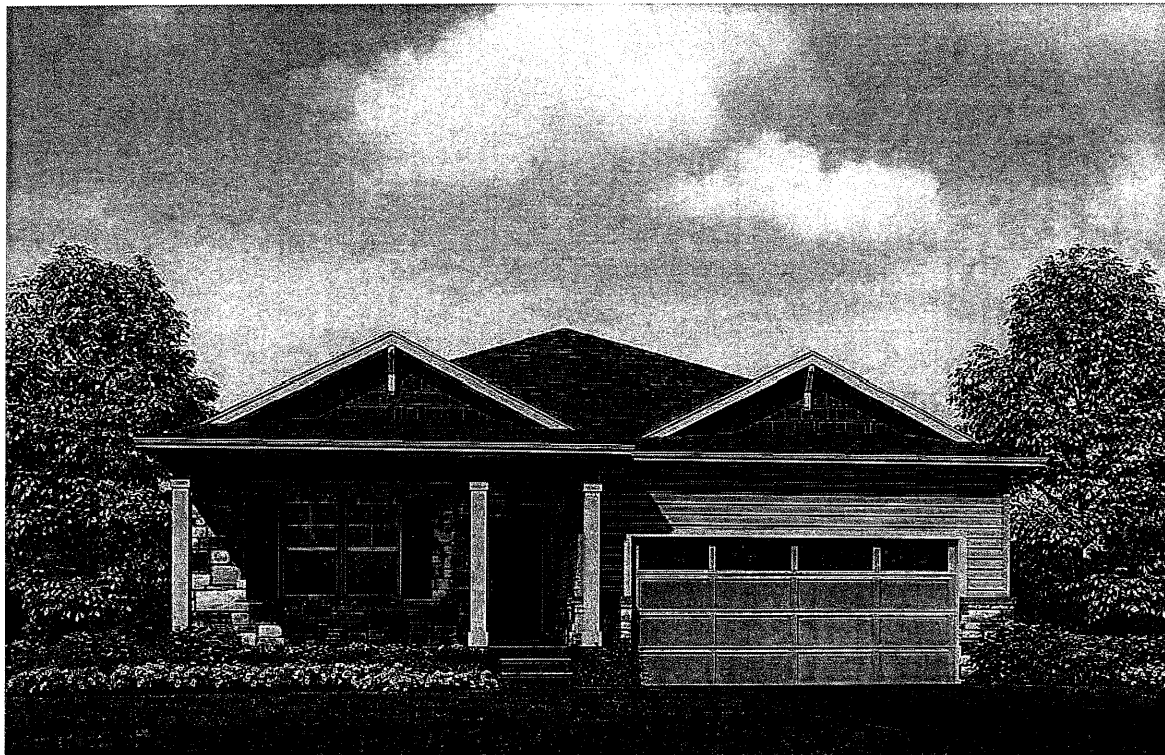
REVERE AT JOHNSTOWN FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO



Know what's below.
 Call before you dig.



NOTES:
 1. ELEVATIONS ARE CONCEPTUAL AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 2. MODELS AND ELEVATIONS MAY DIFFER, BUT MUST BE APPROVED BY THE TOWN OF JOHNSTOWN.



SINGLE FAMILY DETACHED

PROJECT NAME

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 TOWN OF JOHNSTOWN, COLORADO

SUBMITTAL DATE:
 02-05-2021
 REVISION DATE:

SHEET TITLE

ARCHITECTURAL
 CHARACTER
 IMAGERY

SHEET NUMBER

L.18

SHEET 23 OF 30

REVERE AT JOHNSTOWN FILING NO. 1
 FINAL DEVELOPMENT PLAN
 TOWN OF JOHNSTOWN, COLORADO



- NOTES:
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 2. MODELS AND ELEVATIONS MAY DIFFER, BUT MUST BE APPROVED BY THE TOWN OF JOHNSTOWN.

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 02-05-2021
 REVISION DATE:

SHEET TITLE

ARCHITECTURAL
 CHARACTER
 IMAGERY

SHEET NUMBER

L.19

SHEET 24 OF 30



Front Elevation - Building Type (DT07 + DT08) 'A'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



Front Elevation - Building Type (DT07 + DT08) 'B'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



Front Elevation - Building Type (DT07 + DT08) 'C'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



Front Elevation - Building Type (DT07 + DT08) 'D'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT

SINGLE FAMILY ATTACHED

REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



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REVISION DATE:

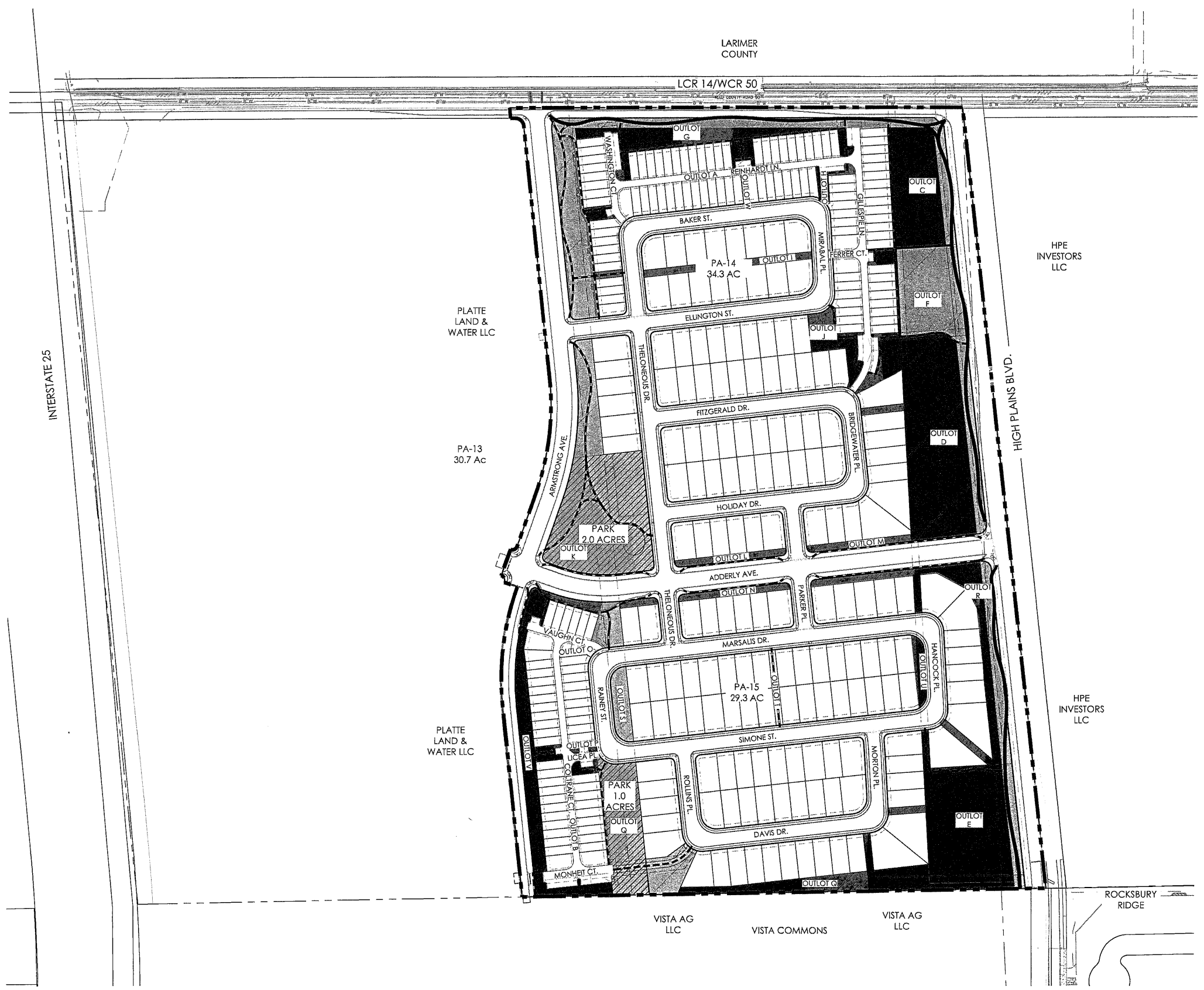
SHEET TITLE

**OPEN AREA &
TRAILS PLAN**

SHEET NUMBER

L.20

SHEET 25 OF 30



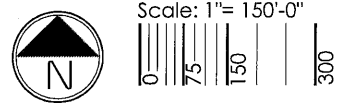
LEGEND

- OPEN AREA
- USABLE OPEN AREA
- PARK
- REGIONAL TRAIL
- NEIGHBORHOOD TRAIL

OPEN AREA DATA			
	OPEN AREA	PARK AREA ONLY	USABLE OPEN AREA + PARK
REQUIRED	11.0	1.3	7.3
PROVIDED	19.4	3.0	8.4

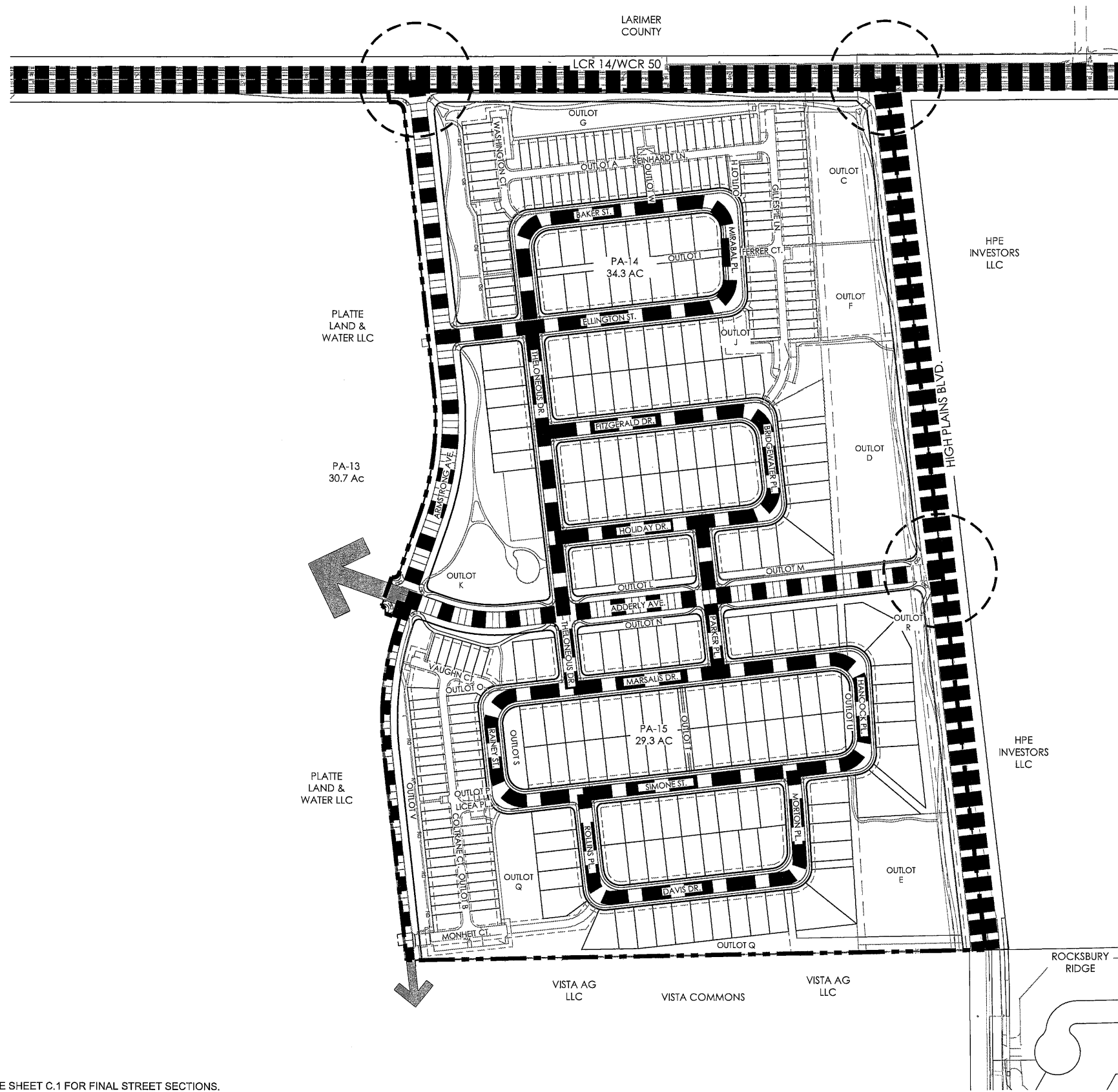
*DETENTION PONDS ACCOUNT FOR APPROXIMATELY 3 ACRES OF OPEN AREA.

NOTES:
1. ANY OPEN AREA AND/OR USABLE OPEN AREA THAT IS ABOVE THE REQUIRED SQUARE FOOTAGE MAY BE APPLIED TO FUTURE FILING REQUIREMENTS WITH THE APPROVAL OF THE PLANNING AND DEVELOPMENT DIRECTOR.



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REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

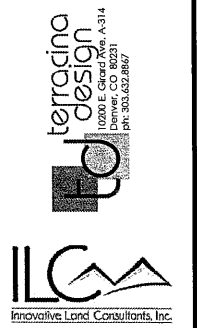


LEGEND

- MAJOR ARTERIAL
- COLLECTOR
- INTERIM COLLECTOR
- LOCAL
- POTENTIAL FUTURE ACCESS
- FULL MOVEMENT INTERSECTION

NOTE: SEE SHEET C.1 FOR FINAL STREET SECTIONS.

Scale: 1" = 150'-0"



PROJECT NAME

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TOWN OF JOHNSTOWN, COLORADO**

SUBMITTAL DATE:
02-05-2021
REVISION DATE:

SHEET TITLE

**CIRCULATION
PLAN**

SHEET NUMBER

L.21
SHEET 26 OF 30

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REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

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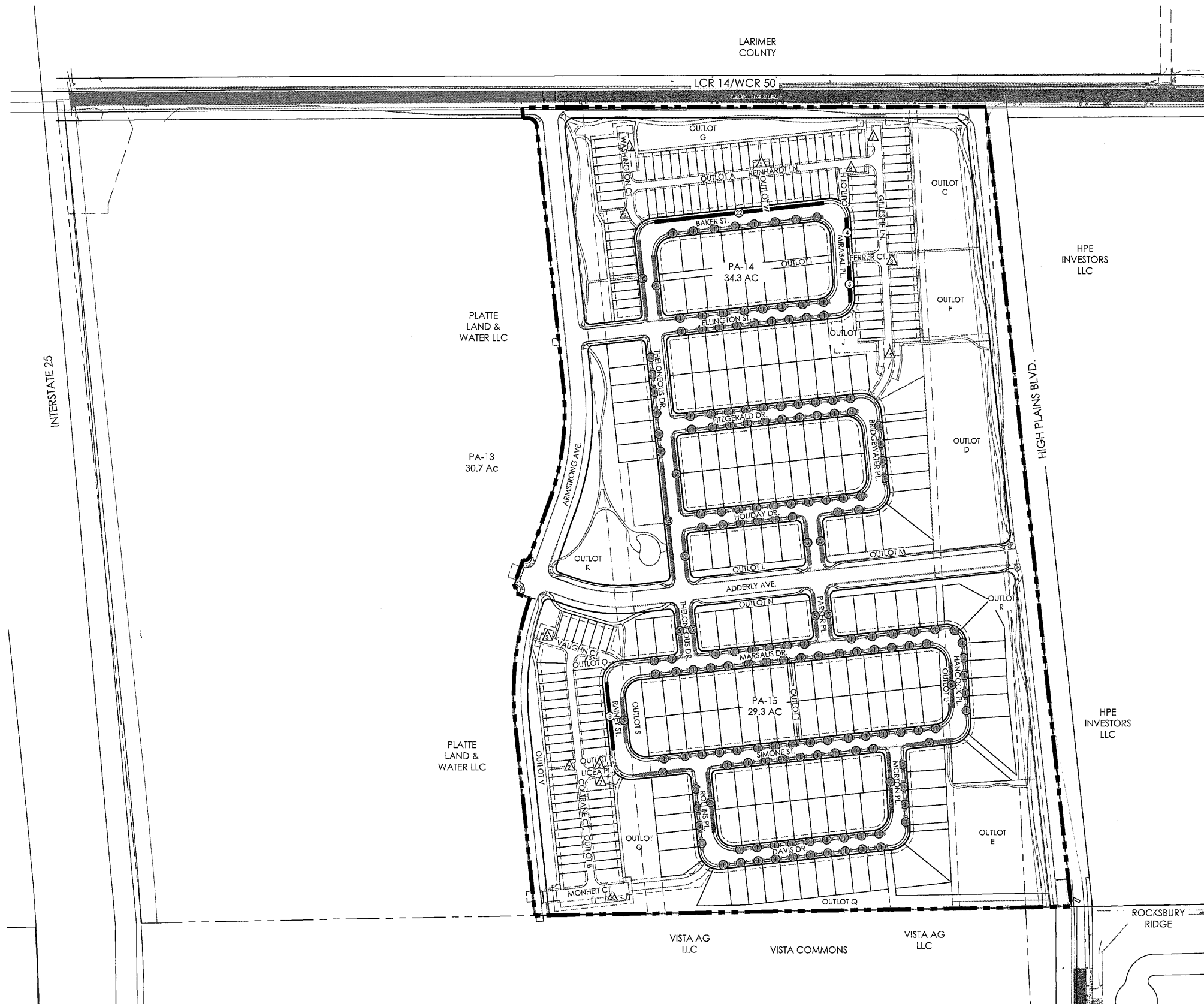
SHEET TITLE

PARKING PLAN

SHEET NUMBER

L.22

SHEET 27 OF 30

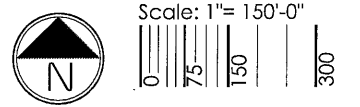


LEGEND

- ON-STREET PARKING (SFA)
- ON-STREET PARKING (SFD)
- OFF-STREET PARKING

SINGLE FAMILY PARKING DATA				
PARKING TYPE	PARKING REQUIRED PER CODE (2 PER UNIT)	ADDITIONAL GUEST PARKING (0.5 PER UNIT)	TOTAL PARKING	PARKING PROVIDED
ON-STREET		160		311
OFF-STREET	640		800	92
DRIVEWAY				340
GARAGE				640
TOTAL	640	160	800	1,383

- NOTES:
- PARKING REQUIREMENTS ARE TWO (2) SPACES PER UNIT.
 - ALL SINGLE FAMILY ATTACHED AND DETACHED UNITS INCLUDE A TWO-CAR GARAGE.



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REVERE AT JOHNSTOWN FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



Know what's below.
Call before you dig.



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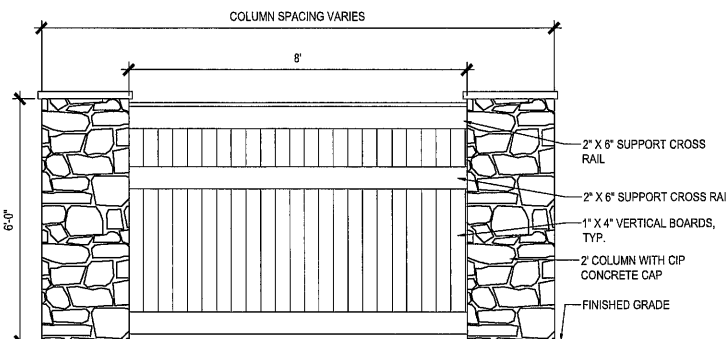
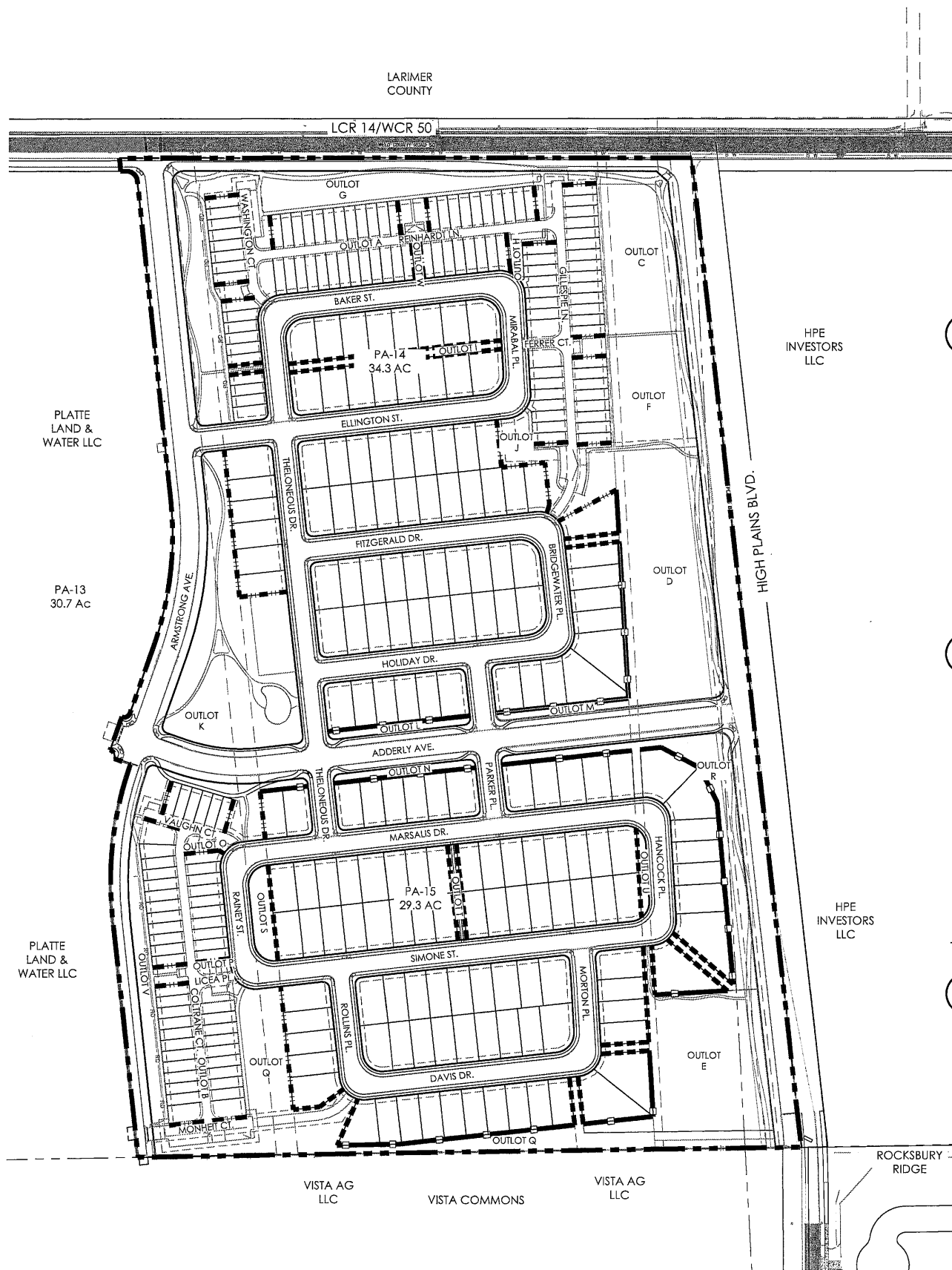
SHEET TITLE

FENCING PLAN

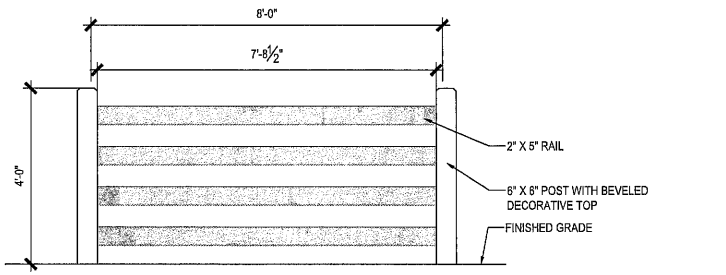
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L.23

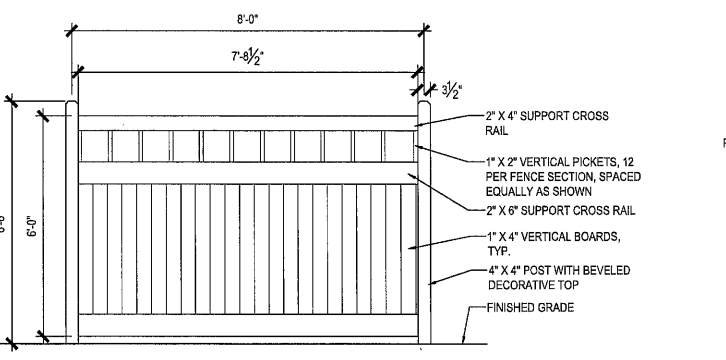
SHEET 28 OF 30



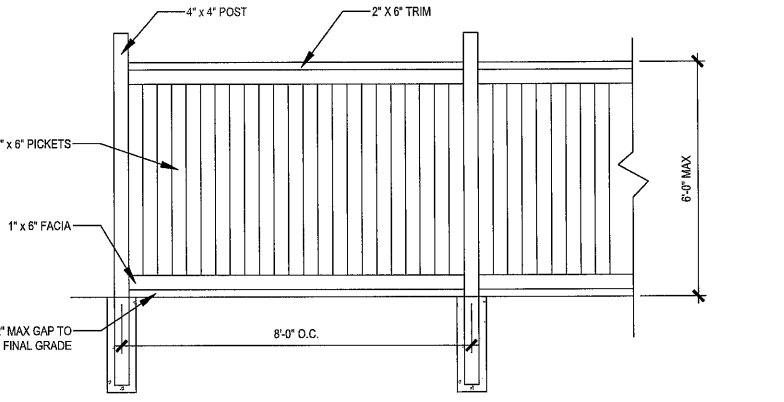
1 6' OPAQUE FENCE WITH COLUMNS
1/2"=1'-0"



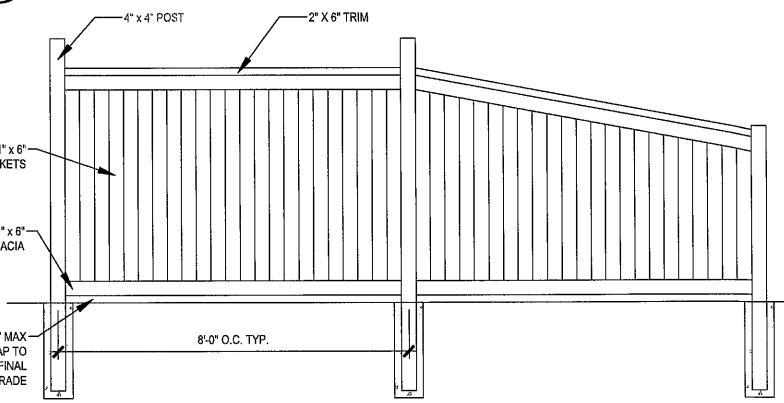
2 48" OPEN RAIL FENCE
1/2"=1'-0"



3 6' SEMI-OPAQUE FENCE
1/2"=1'-0"



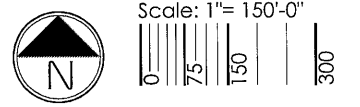
4 PRIVACY FENCE
1/2"=1'-0" FINISH: CLEAR WOOD STAIN



5 TRANSITION FROM PRIVACY FENCE TO OPEN RAIL FENCE
1/2"=1'-0" FINISH: CLEAR WOOD STAIN

LEGEND	
	6' OPAQUE FENCE WITH COLUMNS
	48" OPEN RAIL FENCE
	6' SEMI-OPAQUE FENCE

- NOTES:
- COLUMNS WILL BE SPACED EVERY 100'.
 - FENCING SHOWN IS METRO DISTRICT OR HOA-MAINTAINED FENCING. INDIVIDUAL LOTS WILL HAVE FENCING WHICH WILL MEET TOWN OF JOHNSTOWN AND CC&R STANDARDS/REQUIREMENTS.



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REVERE AT JOHNSTOWN FILING NO. 1

FINAL DEVELOPMENT PLAN

TOWN OF JOHNSTOWN, COLORADO



PROJECT NAME

**REVERE AT JOHNSTOWN
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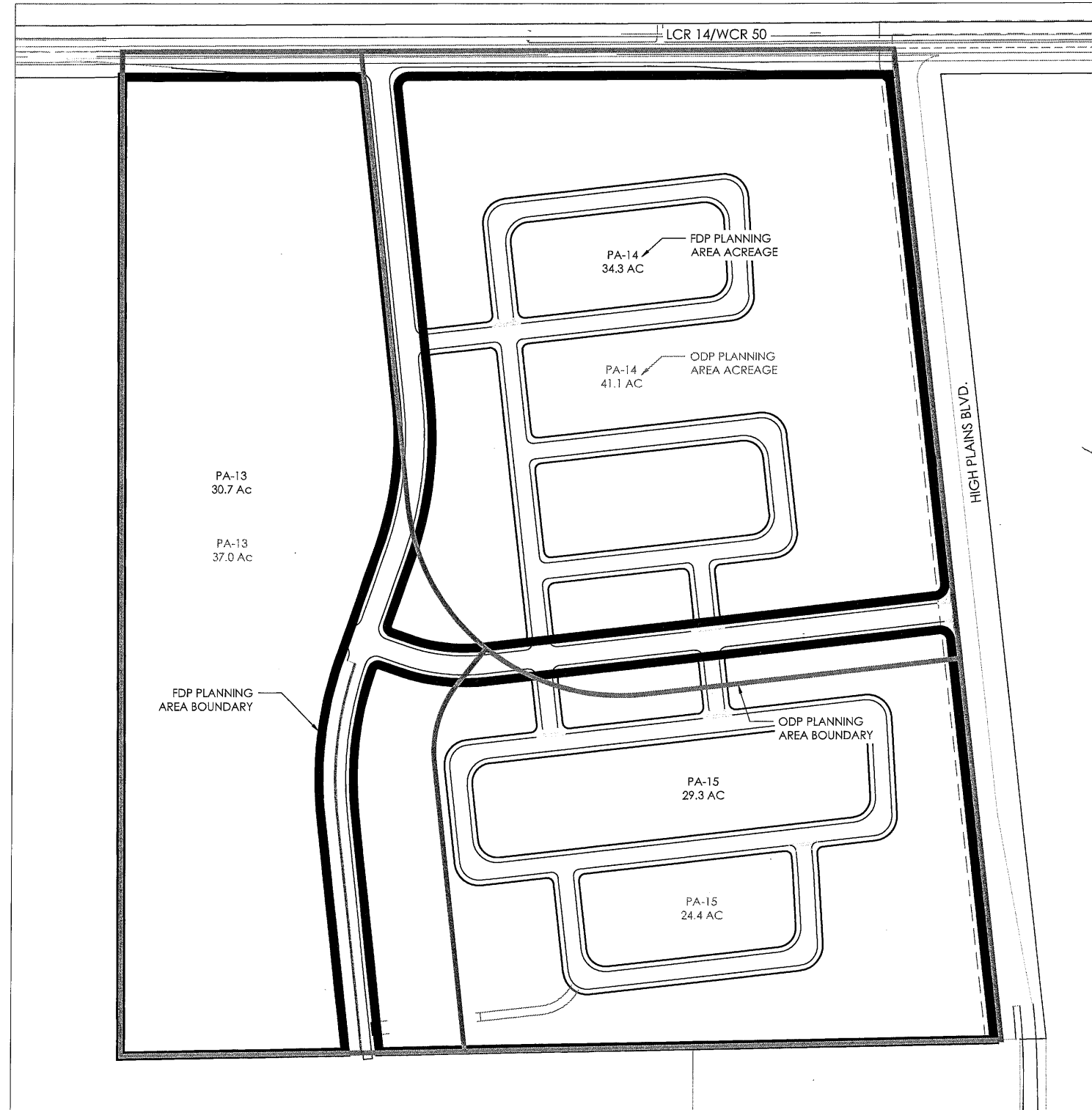
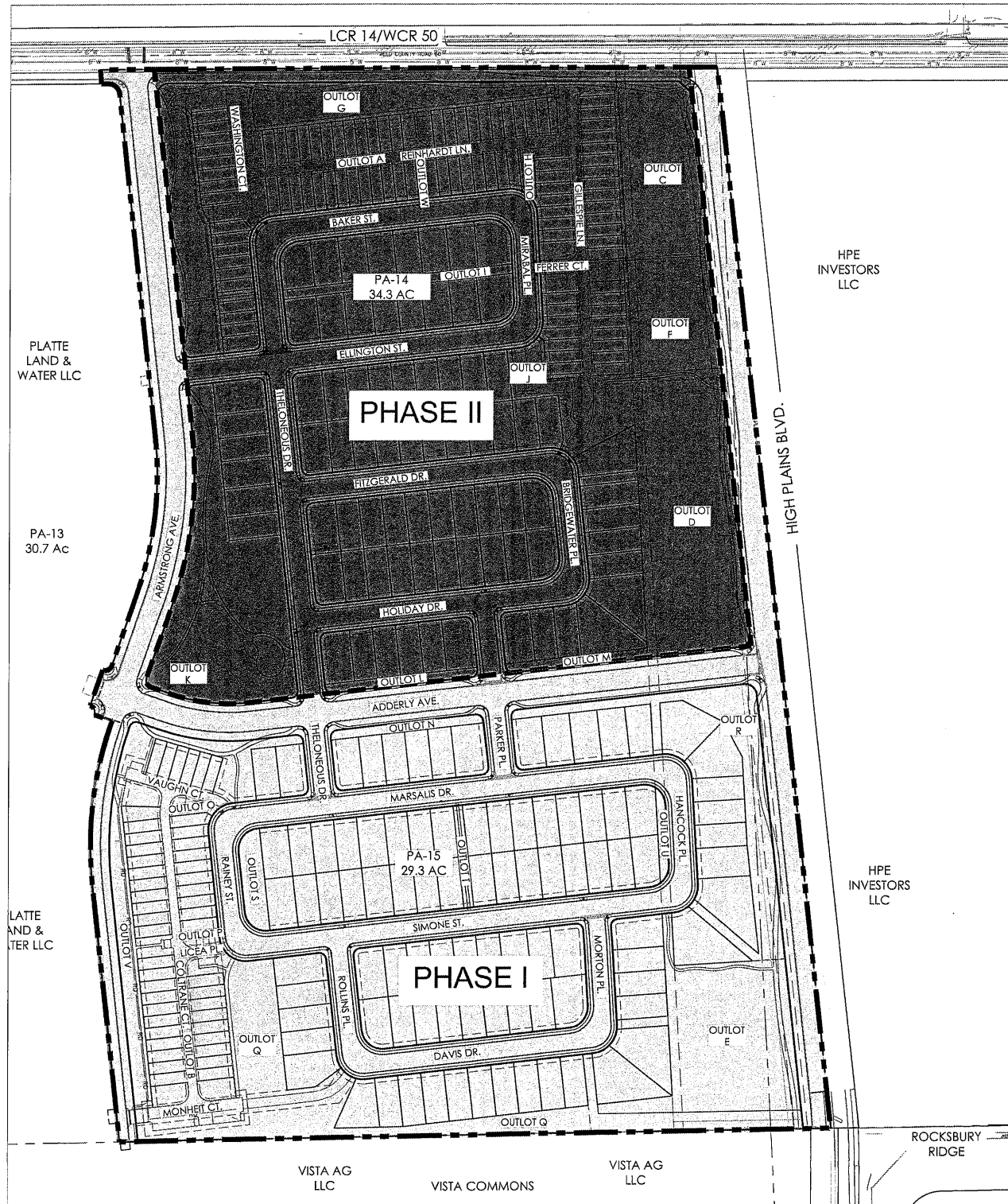
SHEET TITLE

**PHASING PLAN &
PLANNING AREA
PLAN**

SHEET NUMBER

L.24

SHEET 29 OF 30

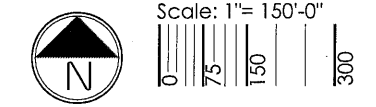


PHASING PLAN LEGEND

	PHASING BOUNDARY
	PHASE I
	PHASE II

PLANNING AREA DATA

PLANNING AREA	ODP ACREAGE	FDP ACREAGE	% CHANGE
PA-13	37.0	30.7	-17.0%
PA-14	41.1	34.3	-16.5%
PA-15	24.4	29.3	20.1%



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