



Town of Johnstown

PLANNING & ZONING COMMISSION STAFF ANALYSIS REPORT

DESCRIPTION:	Public Hearing and Consideration Podtburg Preliminary Plat and Development Plan
PROJECT NO:	SUB21-0019
LOCATION:	West side of Weld Co Rd 13, between County Rd. 44 and 46; Portion of Southeast 1/4, Section 13 and being a portion of section 24, Township 4 North, Range 68 West, approx. 448 acres
APPLICANT:	Podtburg Dairy Limited Partnership, LLC
STAFF:	Justin Currie, Planner II
HEARING DATE:	April 13, 2022

ATTACHMENTS

- 1-Vicinity Map
- 2-Preliminary Plat
- 3-Preliminary Development Plan
- 4-Neighborhood Letter

BACKGROUND & SUMMARY

The applicant, Podtburg Dairy Limited Partnership, LLC, is requesting a Preliminary Plat and Preliminary Development Plan recommendation for approval for the Podtburg property development, which includes approximately 288 acres for the development of an 18-hole public golf course and several large tracts for future planning and residential development.

The subject property was annexed in 2021 and is zoned PUD-MU and the property is currently being used as a dairy farm. The property is bordered on all sides by unincorporated Weld County, except for the portion to the northwest, which borders the Town of Berthoud. Zoning on the lands within Berthoud is PUD (Planned Unit Development). Zoning on the all other surrounding properties is AG (Agricultural). Surrounding land uses are mostly agricultural. The exception is the properties which lay to the southwest of the quarter section, Northmoor Acres, situated

The Community That Cares

johnstown.colorado.gov

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directly to the west, is a large-lot residential subdivision in unincorporated Weld County with 102 single family homes.

The proposed plat and development plan will create the legal lots necessary to allow the applicant to build the needed infrastructure to create an 18-hole public golf course. The applicant is currently working with Town Staff on how best to phase the construction of the golf course. This will allow for a more coordinated effort to reduce the impact of the lengthy build time on the surrounding area.

INFRASTRUCTURE

There is a town water main being constructed to the east of the property in the Colorado Blvd. right-of-way. An existing Intergovernmental Agreement (IGA) with Berthoud will allow this project to connect to the Berthoud wastewater system as development occurs.

Transportation infrastructure exists for this property. Colorado Blvd. currently borders the project site to the east and is projected to be a major arterial at full build out. WCR 44 borders the project to the north, which is projected to be a major arterial, and WCR 42 borders the site to the south, and is projected to be a minor arterial at full build out.

SURROUNDING ZONING & LAND USE

North: AG – Agricultural Unincorporated Weld County
South: AG – Agricultural Unincorporated Weld County
East: AG – Agricultural Unincorporated Weld County
West: AG – Agricultural Unincorporated Weld County and PUD – Planned Unit Development
Town of Berthoud

LAND USE HISTORY

Historically, this property has been used as a dairy farm and continues as that use today.

PUBLIC NOTICE & AGENCY REFERRALS

Notice for the Planning & Zoning Commission hearing was published in the local paper of widest circulation, the Johnstown Breeze, on Thursday, March 24, 2022. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 500 feet of the property in question. This notice included a location map and concept plan of the proposed golf course.

NEIGHBORHOOD MEETING

No neighborhood meeting was held for this project but Planning Staff advised the applicant to send a “Neighborhood Letter” (Attachment 4) to the surrounding property owners informing them of the intent of the development, both short and long term, along with a concept plan for the golf course. Town Staff has received one (1) comment at the time of publication of this report.

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STAFF ANALYSIS

The proposed Preliminary Development Plan and Subdivision Plat substantially comply with town code and regulations; align with the Johnstown Area Comprehensive Plan as an area of High and Medium Density/Intensity; and meet the development standards of the Podtburg PUD Outline Development Plan.

This initial phase of this development is intended only to assist with construction and establishment of the golf course, and future development plans and plats will be required for additional development proposed. The Applicant worked closely with Staff to determine the best path forward to incrementally build this golf course, and follow later with the adjacent residential and potential commercial and golf-related uses.

Staff has no outstanding concerns and believes this development will promote the Town's goals of diversity of housing types, walkable neighborhoods, and efficient development patterns and extension of infrastructure.

RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS

Podtburg Golf Course Preliminary Plat and Development Plan

It is recommended that Planning and Zoning Commission send a recommendation for Approval to Town Council for the Preliminary Plat and Development Plan based upon the following findings:

1. The proposed subdivision is consistent with the 2021 Johnstown Area Comprehensive Plan.
2. The proposed subdivision is in substantial compliance with the Town's codes, regulations, and requirements.
3. The proposed subdivision is in substantial compliance with the Podtburg Outline Development Plan

Recommended Motion: Motion to Approve, as presented

Based on the application materials received and analysis and presentations at this hearing, the Planning & Zoning Commission finds that the request for Podtburg Preliminary Plat and Development Plan furthers the *2021 Johnstown Area Comprehensive Plan* goals, and is compatible with all other applicable Town standards and regulations, and therefore moves to recommend to the Town Council Approval of the Podtburg Preliminary Plat and Development Plan based upon the findings as stated above.

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Alternate Motions:

Motion to Recommend Approval with Conditions

Based on the application materials received and analysis and presentations at this hearing, the Planning & Zoning Commission finds that the request for the Podtburg Preliminary Plat and Development Plan furthers the *2021 Johnstown Area Comprehensive Plan* goals, and is compatible with all other applicable Town standards and regulations, and therefore moves to recommend to the Town Council Approval of the Podtburg Preliminary Plat and Development Plan based upon the findings as stated above, and with the following conditions:

- 1.

Motion to Recommend Denial

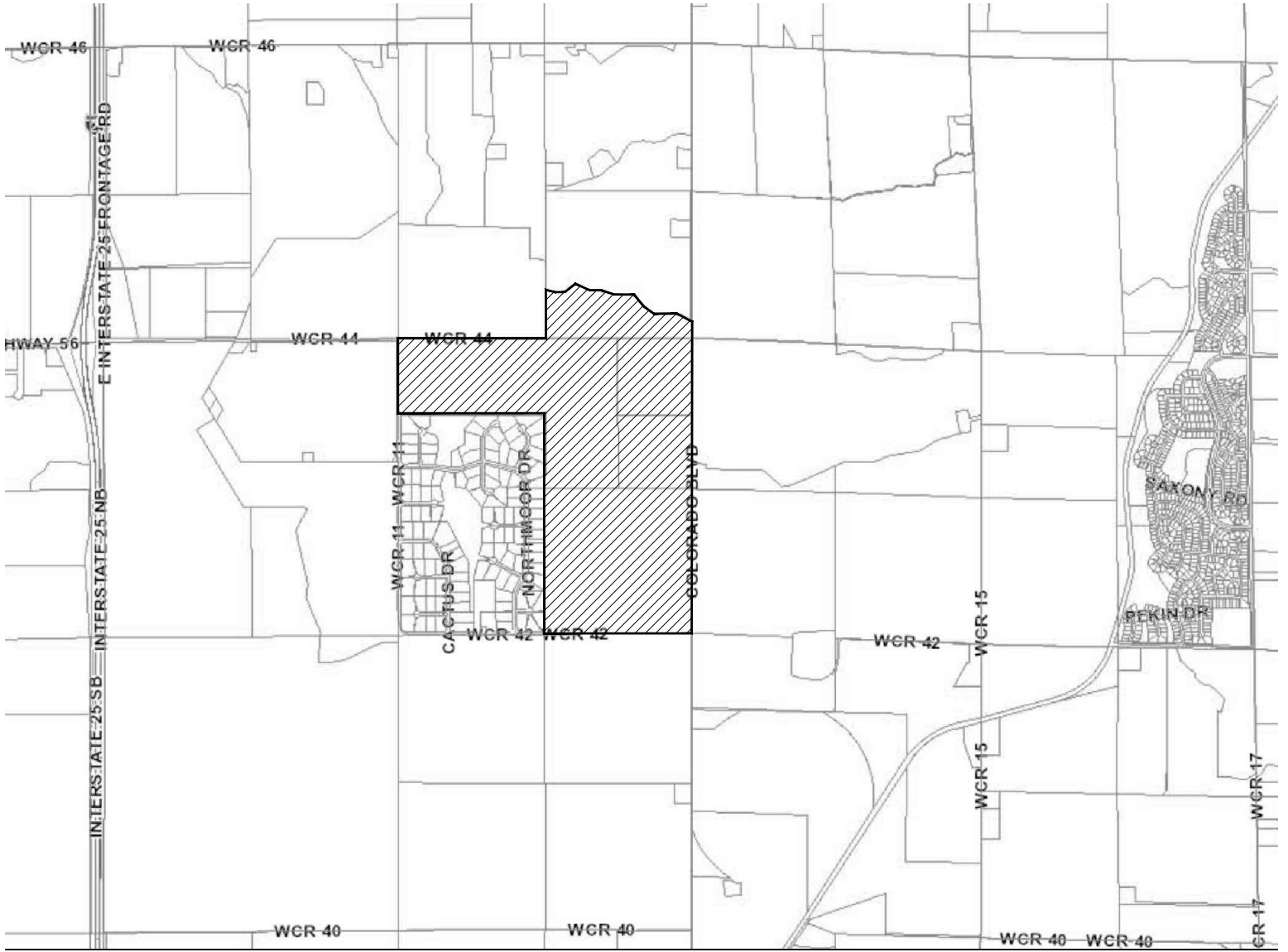
I move that the Commission recommend to the Town Council denial of the Podtburg Preliminary Plat and Development Plan based upon the following findings...

- 1.

Planner:



Justin Currie, Planner II



Vicinity Map

N.T.S.



PODTBURG PROPERTY

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND BEING A PORTION OF SECTION 24, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

DEDICATION AND LEGAL DESCRIPTION

PODTBURG DAIRY LIMITED PARTNERSHIP, LLLP., being the sole owners of:

PROPERTY DESCRIPTION:

A parcel of land being the East Half of Section Twenty-four (24), the North Half of the Northwest Quarter of Section Twenty-four (24) and Tract D-1 of the Northmoor Acres Second Filing in the West Half of Section Twenty-four (24), and also being that portion of the Southeast Quarter of Section Thirteen (13) lying Southerly of what is known as the Hillsboro Extension Ditch, all in Township Four North (T.4N.), Range Sixty-eight West (R.68W.), Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado

EXCEPTING THEREFROM the West 30.00 feet of the North Half of the Northwest Quarter (N1/2NW1/4) of Section Twenty-four (24), Township Four North (T.4N.), Range Sixty-eight West (R.68W.), Sixth Principal Meridian (6th P.M.), Town of Berthoud, County of Weld, State of Colorado

Said described parcels of land contains 19,515,099 square feet or 448.01 acres, more or less.

shown on the attached map as embraced within the heavy exterior lines thereon, has subdivided the same into lots and tracts as shown on the attached map and does hereby set aside said portion or tract of land and designate the said PODTBURG PROPERTY to the Town of Johnstown, Weld County, Colorado and does dedicate to the public, the streets and all easements over and across said lots at locations shown on said map and does further certify that the width of said streets, dimensions of the lots and the names and numbers thereof are correctly designated upon said map.

OWNER:

Signature of Owner: _____

STATE OF COLORADO)
)ss
COUNTY OF WELD)

The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by _____, as _____ of _____.

Witness my hand and official seal

My commission expires: _____

Notary Public

TOWN COUNCIL

This plat, to be known as PODTBURG PROPERTY, is approved and accepted by the Town of Johnstown, by resolution number _____, passed and adopted on final reading at a regular meeting of the town council of the town of Johnstown, Colorado held on the _____ day of _____, 2021.

BY: _____
Mayor

ATTEST: _____
Town Clerk

EASEMENT APPROVAL

Easements are adequate as shown and are hereby approved and/or vacated as shown on this Plat.

BY: _____
Public Works Department

BY: _____
Hillsboro Extension Ditch Company

HILLSBOROUGH EXTENSION DITCH COMPANY STATEMENT:

The undersigned Owner and Developer, its successors and assigns, ("Undersigned") does hereby dedicate, grant and convey to the Hillsborough Extension Ditch Company all Easements as laid out, shown, and/or designated as such on this plat for the use, operations, maintenance, inspection, repair, or replacement of an irrigation ditch and associated or appurtenant maintenance areas, roads, equipment, structures or facilities, including all rights necessary and incident to the full and complete use and enjoyment of the ditch right of way and easements ("Ditch") for the purposes herein granted. No permanent or temporary building, structures, improvements, sidewalks, trees or other landscaping ("Obstructions") shall be installed, constructed, allowed, or permitted by the Undersigned on the Ditch except as expressly approved in this plat or under separate writing executed by the Hillsborough Extension Ditch Company. The Hillsborough Extension Ditch Company shall have the right to remove such Obstructions without any liability for damages, injury, repair, or replacement thereof.

All crossings of and/or encroachments and/or encumbrances upon the Ditch in connection with the Development shall require the execution of an Agreement with the Hillsborough Extension Ditch Company prior to construction of any type, modification and/or installation of such crossing, encumbrance or encroachment. There shall be no modifications upon or to the Ditch by or on behalf of the Undersigned and/or the Development except by prior written agreement with the Hillsborough Extension Ditch Company.

Stormwater or drainage discharges, if any, into the Ditch, regardless of the storm event frequency or duration, must be approved by Hillsborough Extension Ditch Company via written agreement.

HILLSBOROUGH EXTENSION DITCH COMPANY

BY: _____ AS: _____

NOTES:

- This survey does not constitute a title search by Northern Engineering to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, Northern Engineering relied upon Title Commitment Order No. ABZ25166503, dated June 21, 2019, prepared by Old Republic National Title Insurance Company.
- Basis of Bearings is the East line of the Northeast Quarter of Section 24 as bearing South 00° 06' 39" West and monumented as shown hereon (assumed datum).
- The lineal unit of measurement for this drawing is U.S. Survey Feet.
- Northern Engineering or the Professional Land Surveyor listed hereon, does not have the expertise to address mineral rights, and recommends the owner retain an expert to address these matters. Northern Engineering or the Professional Land Surveyor listed hereon assumes no responsibility for the mineral rights upon the subject property.
- Easements and other record documents shown or noted hereon were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- NOTWITHSTANDING ANYTHING TO THE CONTRARY, EXCEPT AS TO THE HILLSBOROUGH EXTENSION DITCH COMPANY, ITS SUCCESSORS, ASSIGNS AND REPRESENTATIVES ("DITCH COMPANY") USE, OPERATION AND MAINTENANCE, THERE SHALL BE NO PERMITTED, AUTHORIZED OR ALLOWED PUBLIC OR PRIVATE ACCESS OR USE OF ANY TYPE TO OR UPON THE DITCH EASEMENT, EXCEPT AS OTHERWISE AGREED TO BY DITCH COMPANY IN WRITING.
- ALL FUTURE DEVELOPMENT WITHIN THE PODTBURG DEVELOPMENT (ALL FILINGS) DIRECTLY INVOLVING OR ADJACENT TO THE DITCH SHALL BE SUBJECT TO PRIOR WRITTEN APPROVAL OF DITCH COMPANY.
- IT IS UNDERSTOOD THAT THE DITCH EMBANKMENTS ARE UNLINED AND OF EARTHEN CONSTRUCTION; THEREFORE, BREAKS, LEAKS, SEEPAGE AN/OR OVERFLOW FROM THE DITCH MAY OCCUR. OWNER AND ALL OF OWNER'S SUCCESSORS AND ASSIGNS OF THE LANDS WITHIN THE DEVELOPMENT ASSUME ALL RISKS ASSOCIATED WITH SUCH BREAKS, LEAKS, SEEPAGE AND/OR OVERFLOW AND WAIVE AND DISCLAIM ANY AND ALL CLAIMS, WHETHER EXISTING OR POTENTIAL, AGAINST DITCH COMPANY, ITS AGENTS, SHAREHOLDERS, EMPLOYEES, REPRESENTATIVES, SUCCESSORS AND ASSIGNS, FOR ANY AND ALL LOSS, DAMAGE OR INJURY (INCLUDING DEATH), RESULTING FROM BREAKS, LEAKAGE, SEEPAGE AND/OR OVERFLOW FROM THE DITCH.
- THE ABOVE NOTES [#6, 7 AND 8] SHALL BE COVENANTS RUNNING WITH ALL LANDS OF THE PODTBURG DEVELOPMENT (ALL FILINGS) AND SHALL BE EXPRESSLY SET FORTH IN THE DEVELOPMENT COVENANTS AND THE DEVELOPMENT AGREEMENT FOR THE DEVELOPMENT, AND ANY/ALL SUBSEQUENT AMENDMENTS, MODIFICATIONS OR VERSIONS SHALL REQUIRE DITCH COMPANY'S WRITTEN APPROVAL, EVIDENCE BY SIGNATURE ON THE DOCUMENTS.

Weld County Right-to-Farm Statement

Weld County is one of the most productive agricultural counties in the United States, typically ranking in the top ten counties in the country in total market value of agricultural products sold. The rural areas of Weld County may be open and spacious, but they are intensively used for agriculture. Persons moving into a rural area must recognize and accept there are drawbacks, including conflicts with long-standing agricultural practices and a lower level of services than in town. Along with the drawbacks come the incentives which attract urban dwellers to relocate to rural areas: open views, spaciousness, wildlife, lack of city noise and congestion, and the rural atmosphere and way of life. Without neighboring farms, those features which attract urban dwellers to rural Weld County would quickly be gone forever.

Agricultural users of the land should not be expected to change their long-established agricultural practices to accommodate the intrusions of urban users into a rural area. Well-run agricultural activities will generate off-site impacts, including noise from tractors and equipment; slow-moving farm vehicles on rural roads; dust from animal pens, field work, harvest and gravel roads; odor from animal confinement, silage and manure; smoke from ditch burning; flies and mosquitoes; hunting and trapping activities; shooting sports, legal hazing of nuisance wildlife; and the use of pesticides and fertilizers in the fields, including the use of aerial spraying. It is common practice for agricultural producers to utilize an accumulation of agricultural machinery and supplies to assist in their agricultural operations. A concentration of miscellaneous agricultural materials often produces a visual disparity between rural and urban areas of the County. Section 35-3.5-102, C.R.S., provides that an agricultural operation shall not be found to be a public or private nuisance if the agricultural operation alleged to be a nuisance employs methods or practices that are commonly or reasonably associated with agricultural production.

Water has been, and continues to be, the lifeline for the agricultural community. It is unrealistic to assume that ditches and reservoirs may simply be moved "out of the way" of residential development. When moving to the County, property owners and residents must realize they cannot take water from irrigation ditches, lakes or other structures, unless they have an adjudicated right to the water.

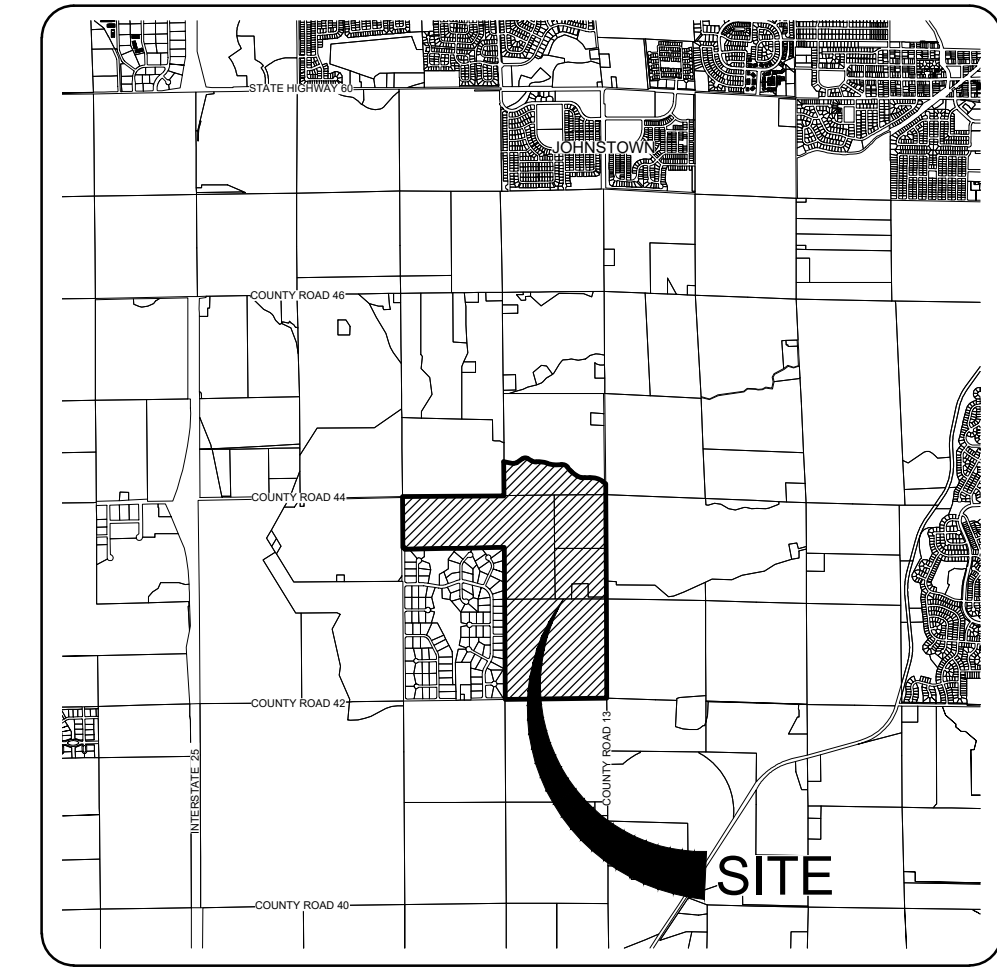
Weld County covers a land area of approximately four thousand (4,000) square miles in size (twice the size of the State of Delaware) with more than three thousand seven hundred (3,700) miles of state and County roads outside of municipalities. The sheer magnitude of the area to be served stretches available resources. Law enforcement is based on responses to complaints more than on patrols of the County, and the distances which must be traveled may delay all emergency responses, including law enforcement, ambulance and fire. Fire protection is usually provided by volunteers who must leave their jobs and families to respond to emergencies. County gravel roads, no matter how often they are bladed, will not provide the same kind of surface expected from a paved road. Snow removal priorities mean that roads from subdivisions to arterials may not be cleared for several days after a major snowstorm. Services in rural areas, in many cases, will not be equivalent to municipal services. Rural dwellers must, by necessity, be more self-sufficient than urban dwellers.

People are exposed to different hazards in the County than in an urban or suburban setting. Farm equipment and oil field equipment, ponds and irrigation ditches, electrical power for pumps and center pivot operations, high-speed traffic, sand burs, puncture vines, territorial farm dogs and livestock and open burning present real threats. Controlling children's activities is important, not only for their safety, but also for the protection of the farmer's livelihood.

Weld County Right to Extract Mineral Resources Statement

Weld County has some of the most abundant mineral resources, including, but not limited to, sand and gravel, oil, natural gas, and coal. Under title 34 of the Colorado Revised Statutes, minerals are vital resources because (a) the State's commercial mineral deposits are essential to the State's economy; (b) the populous counties of the state face a critical shortage of such deposits; and (c) such deposits should be extracted according to a rational plan, calculated to avoid waste of such deposits and cause the least practicable disruption of the ecology and quality of life of the citizens of the populous counties of the state.

Mineral resource locations are widespread throughout the County and person moving into these areas must recognize the various impacts associated with this development. Often times, mineral resource sites are fixed to their geographical and geophysical locations. Moreover, these resources are protected property rights and mineral owners should be afforded the opportunity to extract the mineral resource.



NORTH VICINITY MAP 1" = 5000'

OWNER/APPLICANT

Podtburg Dairy, LLLP
Greg Podtburg
45490 County Road 39
Pierce, Colorado 80650

SITE ENGINEER

Northern Engineering Services, Inc.
Danny Weber
301 North Howes Street, Suite 100
Fort Collins, Colorado 80521
(970) 221-4158

PLANNER/ LANDSCAPE ARCHITECT

Jim Birdsall
TB Group
444 Mountain Avenue
Berthoud, Colorado 80513
(970) 532-5891

SITE SURVEYOR

Northern Engineering Services, Inc.
Aaron M. Lund, PLS
820 8th Street,
Greeley, Colorado 80631
(970) 221-4158

SURVEYOR'S STATEMENT

I, Aaron M. Lund, a Colorado Registered Professional Land Surveyor, do hereby state that I prepared this plat from an actual and accurate survey of the land, including all existing right-of-way easements, and that the corner monuments shown thereon were properly placed under my supervision, in accordance with the requirements of the State of Colorado.

DRAFT
11-12-21
PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

Aaron M. Lund
Colorado Registered Professional
Land Surveyor, L.S.#78070
For and on behalf of Northern Engineering Services

NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

SECTION:
13 & 24
TOWNSHIP:
4N
RANGE:
68 W of the 6th PM

**NORTHERN
ENGINEERING**
N
FORT COLLINS: 301 North Howes Street, Suite 100, 80521, 970.221.4158
GREELEY: 820 8th Street, 80631, northernengineering.com

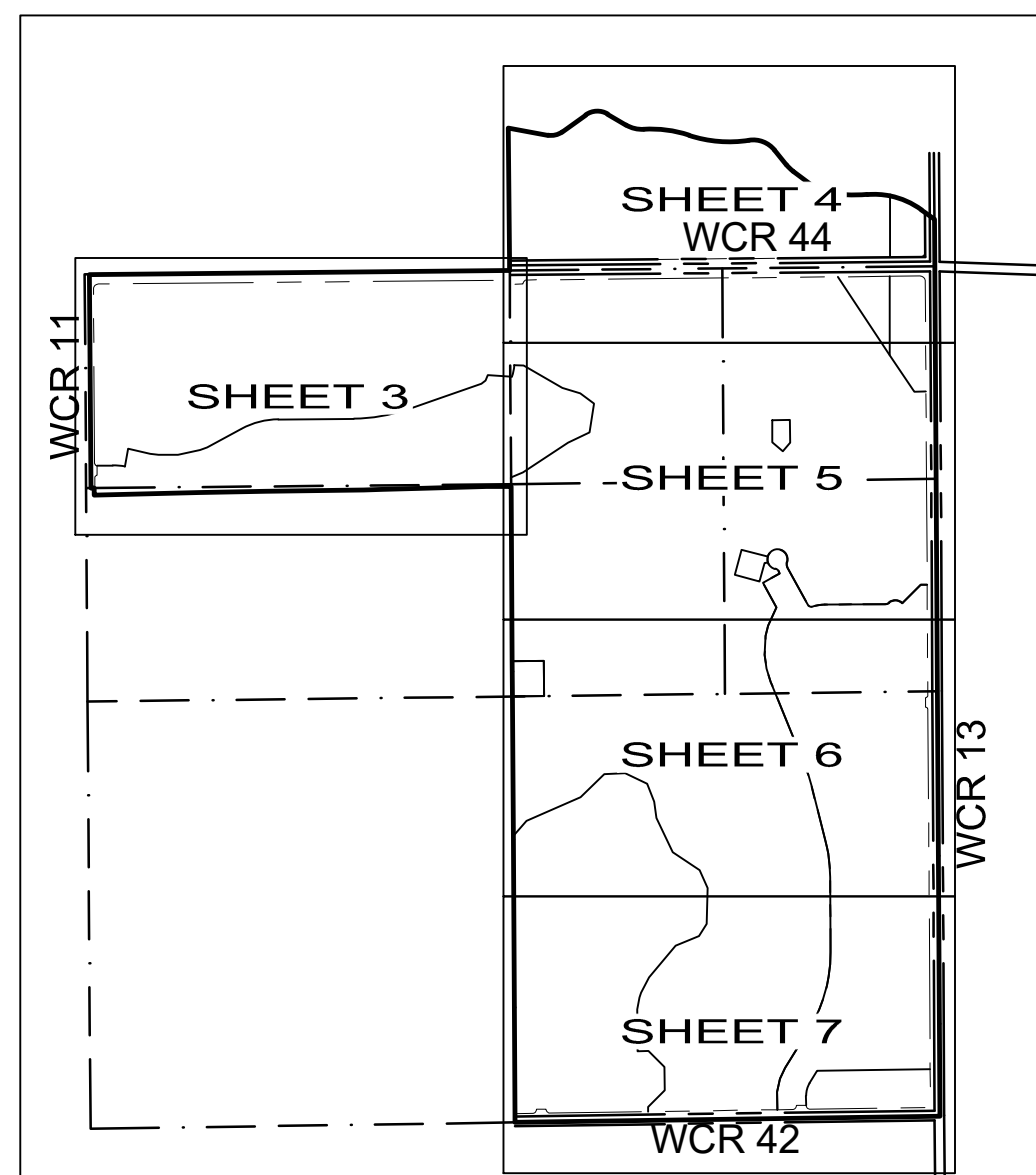
PROJECT:
1859-001
DATE:
11/12/21
CLIENT:
AS SHOWN
SCALE:
AS SHOWN
REVIEWED BY:
A. Lund
DRAWN BY:
L. Smith

PODTBURG PROPERTY
TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

Sheet
1
Of 7 Sheets

PODTBURG PROPERTY

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND BEING A PORTION OF SECTION 24,
TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

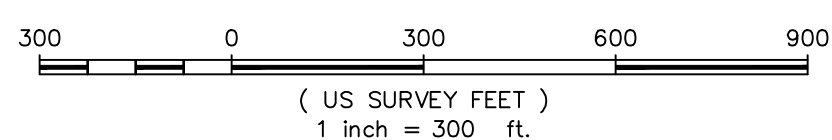
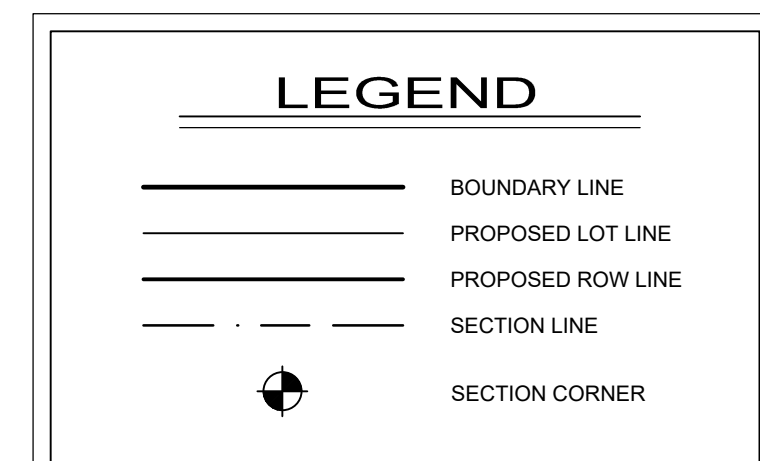
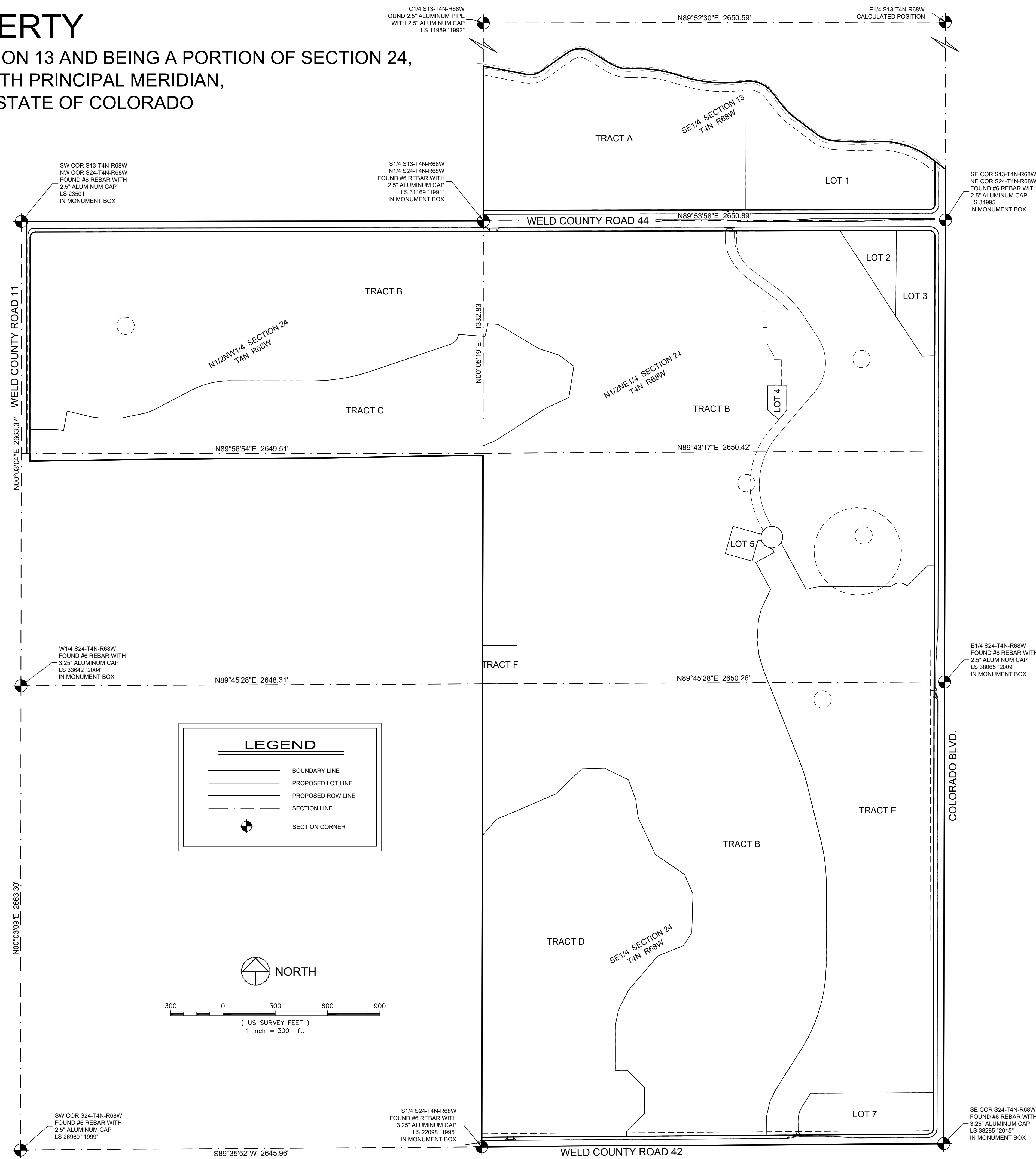


KEYMAP
NTS

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	1°13'07"	171.12	3.64'	N82°12'49"E	3.64'
C2	58°54'35"	171.12	175.94'	S67°43'20"E	168.29'
C3	89°56'27"	32.00'	50.23'	S44°55'44"W	45.23'
C4	90°00'00"	15.00'	23.56'	N44°56'56"W	21.21'
C5	89°52'19"	32.00'	50.19'	N44°59'14"E	45.20'
C6	90°12'41"	32.00'	50.38'	S44°59'42"E	45.34'
C7	89°29'55"	32.00'	49.99'	S44°51'34"W	45.06'
C8	90°00'00"	25.00'	39.27'	N45°23'28"W	35.36'
C9	10°14'48"	430.00'	76.90'	S84°49'32"E	76.80'
C10	27°52'16"	490.00'	238.36'	N76°06'56"E	236.01'
C11	18°47'28"	1035.00'	339.45'	N80°39'20"E	337.93'
C12	17°26'42"	245.00'	74.60'	N12°02'12"E	74.31'
C13	32°44'26"	145.00'	82.86'	N15°58'45"E	81.73'
C14	37°44'21"	179.00'	117.90'	N18°58'13"W	115.78'
C15	15°52'48"	288.00'	79.82'	N45°46'47"W	79.57'
C16	20°30'47"	528.00'	189.04'	N43°27'47"W	188.03'
C17	73°43'44"	258.00'	332.00'	N03°39'28"E	309.56'
C18	64°07'53"	432.00'	483.54'	N08°27'23"E	458.69'

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C19	4°53'04"	584.00'	49.79'	N26°03'05"W	49.77'
C20	4°53'04"	637.00'	54.30'	S26°03'05"E	54.29'
C21	64°07'53"	485.00'	542.86'	S08°27'23"W	514.96'
C22	13°03'55"	475.00'	108.31'	S47°11'14"E	108.08'
C23	27°08'37"	341.00'	161.55'	S40°08'53"E	160.04'
C24	26°28'32"	238.00'	109.98'	S13°20'18"E	109.00'
C25	47°09'23"	38.00'	31.28'	N52°04'19"W	30.40'
C26	180°34'39"	62.00'	195.40'	S71°37'34"E	124.00'
C27	47°09'23"	38.00'	31.28'	S04°54'56"E	30.40'
C28	80°24'21"	15.00'	21.05'	S68°41'48"E	19.36'
C29	19°00'35"	255.00'	84.60'	N80°36'19"E	84.22'
C30	39°02'41"	38.00'	25.90'	N70°35'16"E	25.40'
C31	84°02'41"	62.00'	90.95'	S86°54'44"E	83.01'
C32	56°05'50"	62.00'	60.70'	S47°36'05"E	58.31'
C33	37°38'17"	62.00'	40.73'	S00°44'02"E	40.00'
C34	180°34'39"	62.00'	195.40'	N71°37'34"W	124.00'
C35	85°41'14"	62.00'	92.72'	S61°30'23"W	84.32'

LINE	LENGTH	BEARING
L1	43.57'	S00°06'02"E
L2	64.37'	N00°06'02"W
L3	9.37'	N89°15'58"E
L4	22.03'	S89°15'58"W
L5	10.53'	N28°29'37"W
L6	23.81'	S28°29'37"E
L7	25.22'	N28°29'37"W



DRAFT
11-12-21
PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

PRELIMINARY
Aaron M. Lund
Registered Professional Land Surveyor
Colorado Registration No. 38670
For and on behalf of Northern Engineering Services, Inc.

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SECTION: 13 & 24
TOWNSHIP: 4N
RANGE: 68 W of the 6th PM

NORTHERN ENGINEERING
N
FORT COLLINS: 307 North Horset Street, Suite 100, 80521, 970.221.4168
GREELEY: 820 8th Street, 80633, northernengineering.com

DATE: 11/12/21
SCALE: As shown
REVIEWED BY: A. Lund
PROJECT: 1659-001
CLIENT:
DRAWN BY: L. Smith

PODTBURG PROPERTY
TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

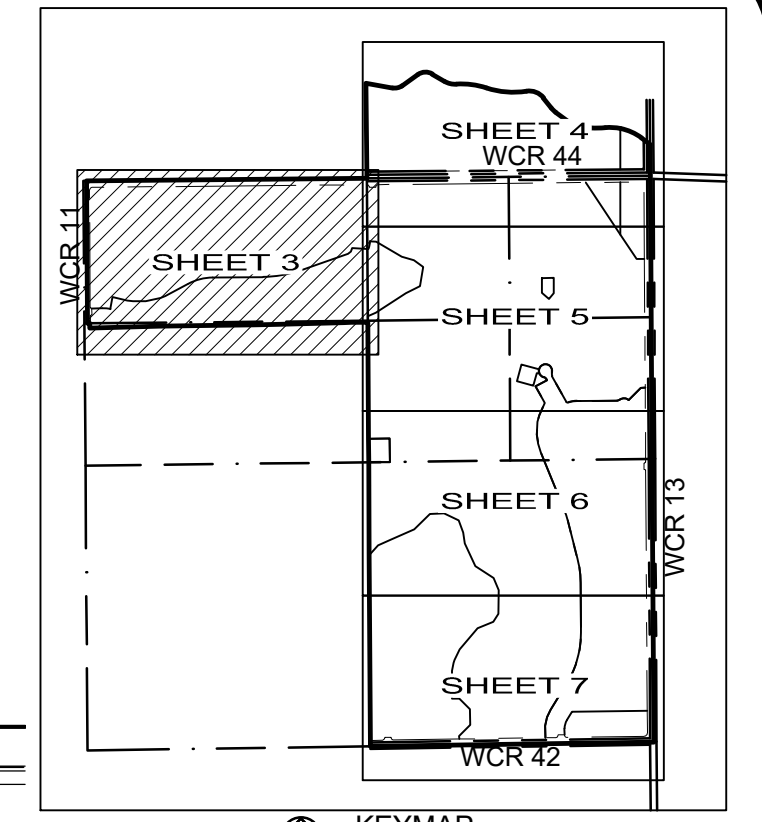
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OWNER: FDR FARMS, LLLP.
PARCEL: 106113000009
BARGAIN AND SALE DEED
REC. NO. 3246170
ZONING: WELD CO "A"

S14 S13-T4N-R88W
N1/4 S24-T4N-R88W
FOUND #6 REBAR WITH
2.5" ALUMINUM CAP
LS 31169 "1991"
IN MONUMENT BOX



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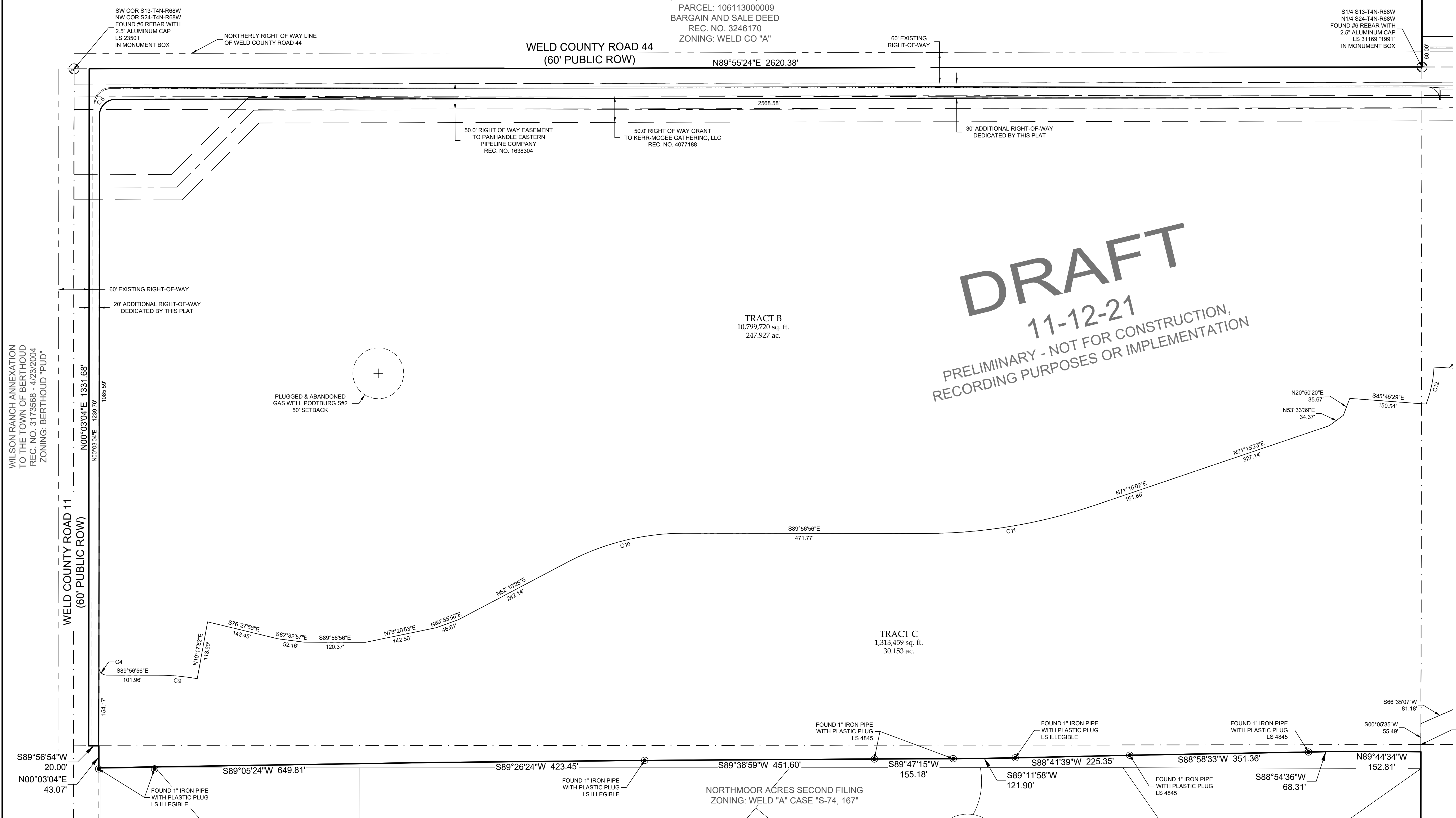
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TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

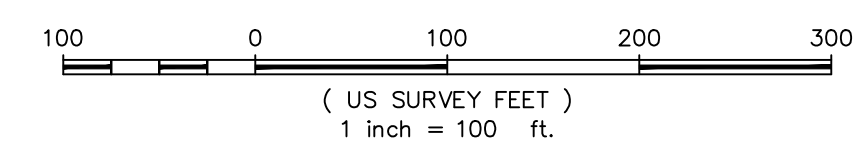
Sheet
3
Of 7 Sheets

PRELIMINARY
Aaron M. Lund
Registered Professional Land Surveyor
Colorado Registration No. 38670
Fee and on behalf of Northern Engineering Services, Inc.



DRAFT
11-12-21
PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

SEE SHEET 2 OF 7
FOR CURVE TABLE



LEGEND	
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	PROPOSED RIGHT-OF-WAY LINE AS DESCRIBED
	EXISTING RIGHT-OF-WAY LINE
	BOUNDARY LINE
	LOT LINE
	SECTION LINE
	TOP OF DITCH
	WETLANDS AREA
	SET 18" #4 REBAR w/1" YELLOW PLASTIC CAP, PLS 38670
	FOUND PROPERTY CORNER AS DESCRIBED
	FOUND SECTION CORNER AS DESCRIBED

WILSON RANCH ANNEXATION TO THE TOWN OF BERTHOUD REC. NO. 3175668 - 4/23/2004 ZONING: BERTHOUD "PUD"

WELD COUNTY ROAD 11 (60' PUBLIC ROW)

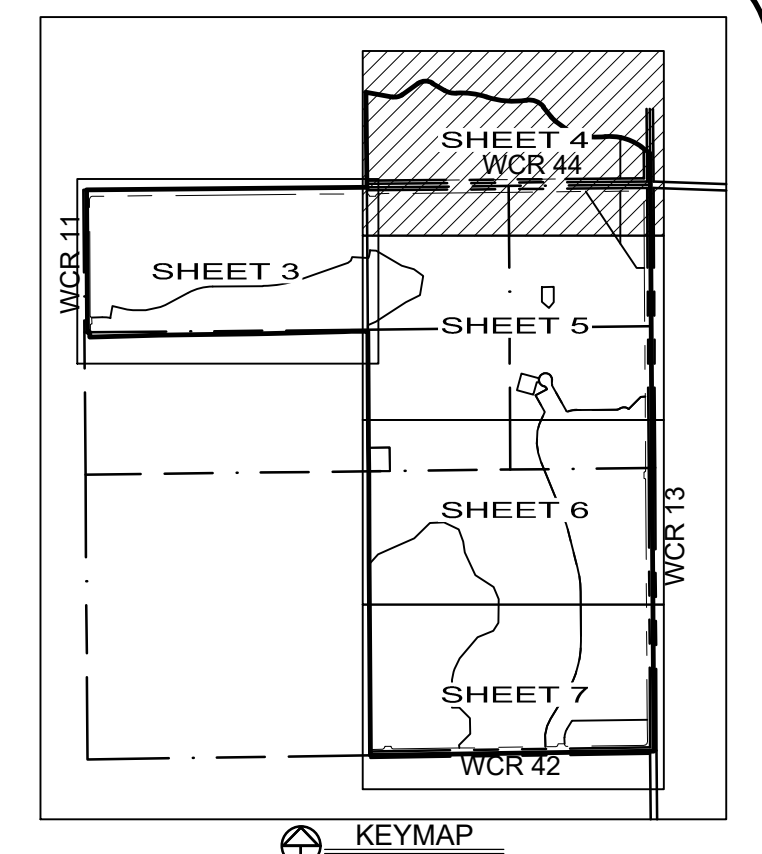
WELD COUNTY ROAD 44 (60' PUBLIC ROW)

SEE SHEET 4

SEE SHEET 5

PODTBURG PROPERTY

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND BEING A PORTION OF SECTION 24, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO



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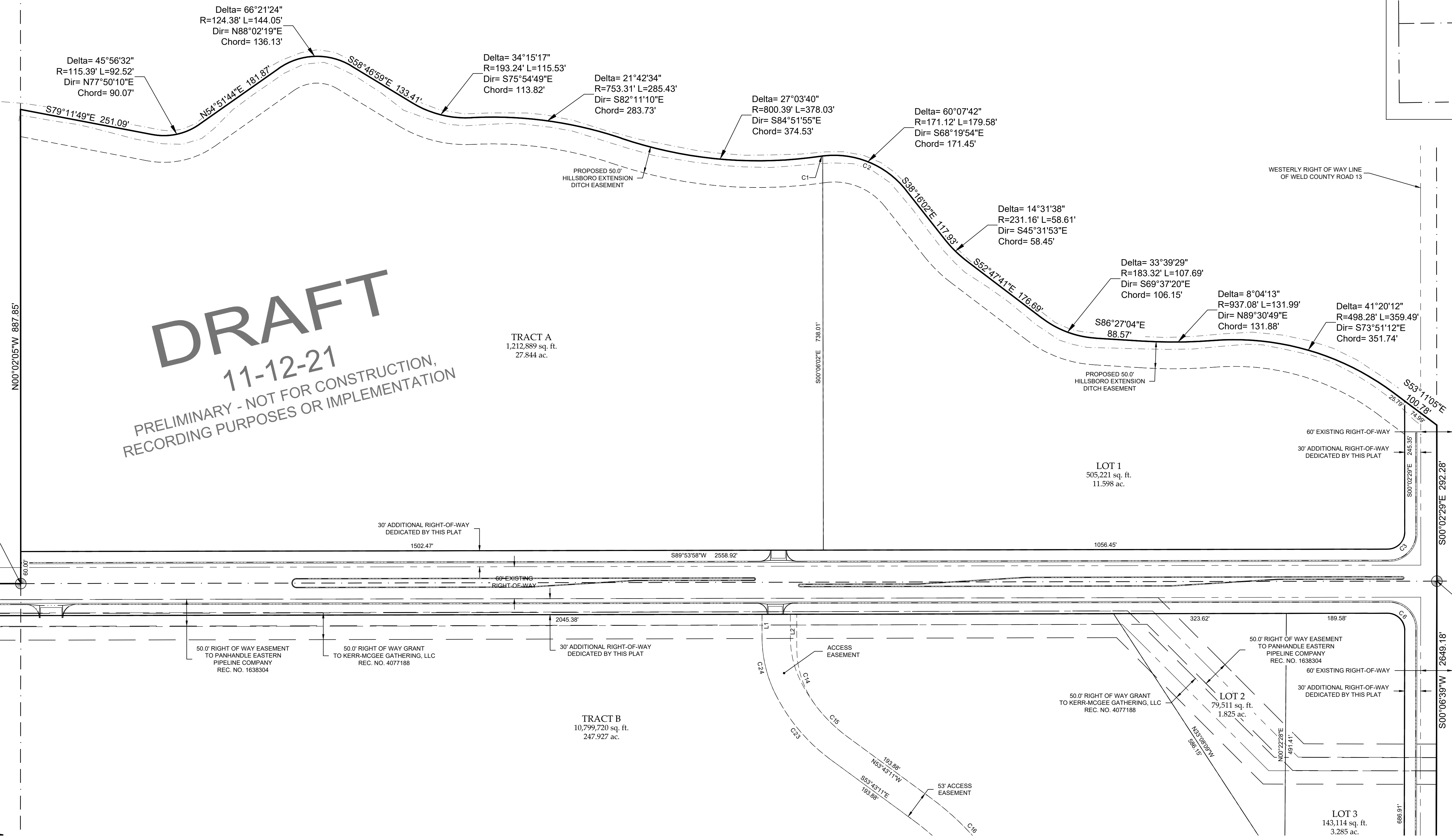
SECTION: 13 & 24
TOWNSHIP: 4N
RANGE: 68 W of the 6th PM

NORTHERN ENGINEERING
N
FORT COLLINS: 307 North Hoadley Street, Suite 100, 80521, 970.231.4158
GREELEY: 820 8th Street, 80633, northernengineering.com

PROJECT: 1659-001
DATE: 11/12/21
CLIENT:
SCALE: 1"=100'
REVIEWED BY: A. Lund
DRAWN BY: L. Smith

PODTBURG PROPERTY
TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

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Of 7 Sheets



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11-12-21

PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

N00°02'05"W 887.85'

S1/4 S13-T4N-R68W
N1/4 S24-T4N-R68W
FOUND #6 REBAR WITH
2.5" ALUMINUM CAP
LS 31169 "1991"
IN MONUMENT BOX

30' ADDITIONAL RIGHT-OF-WAY
DEDICATED BY THIS PLAT
1502.47'

TRACT A
1,212,889 sq. ft.
27.844 ac.

LOT 1
505,221 sq. ft.
11.598 ac.

LOT 2
79,511 sq. ft.
1.825 ac.

LOT 3
143,114 sq. ft.
3.285 ac.

POINT OF COMMENCEMENT
SE COR S13-T4N-R68W
NE COR S24-T4N-R68W
FOUND #6 REBAR WITH
2.5" ALUMINUM CAP
LS 34695
IN MONUMENT BOX

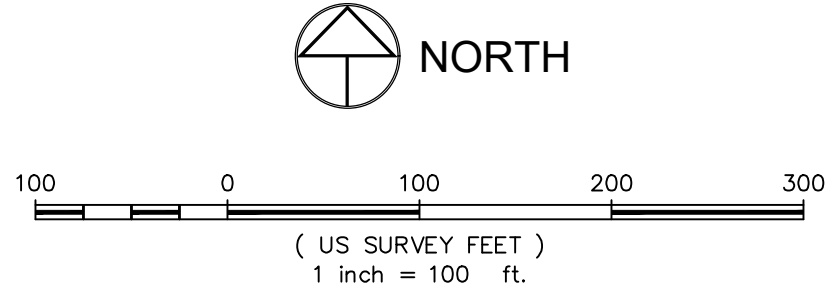
SEE SHEET 3

SEE SHEET 5

SEE SHEET 2 OF 7
FOR CURVE TABLE

LEGEND

--- PROPOSED EASEMENT LINE	○ SET 18" #4 REBAR w/1" YELLOW PLASTIC CAP, PLS 38670
--- EXISTING EASEMENT LINE	● FOUND PROPERTY CORNER AS DESCRIBED
--- PROPOSED RIGHT-OF-WAY LINE	⊙ FOUND SECTION CORNER AS DESCRIBED
--- EXISTING RIGHT-OF-WAY LINE	
--- BOUNDARY LINE	
--- LOT LINE	
--- SECTION LINE	
--- TOP OF DITCH	
--- WETLANDS AREA	

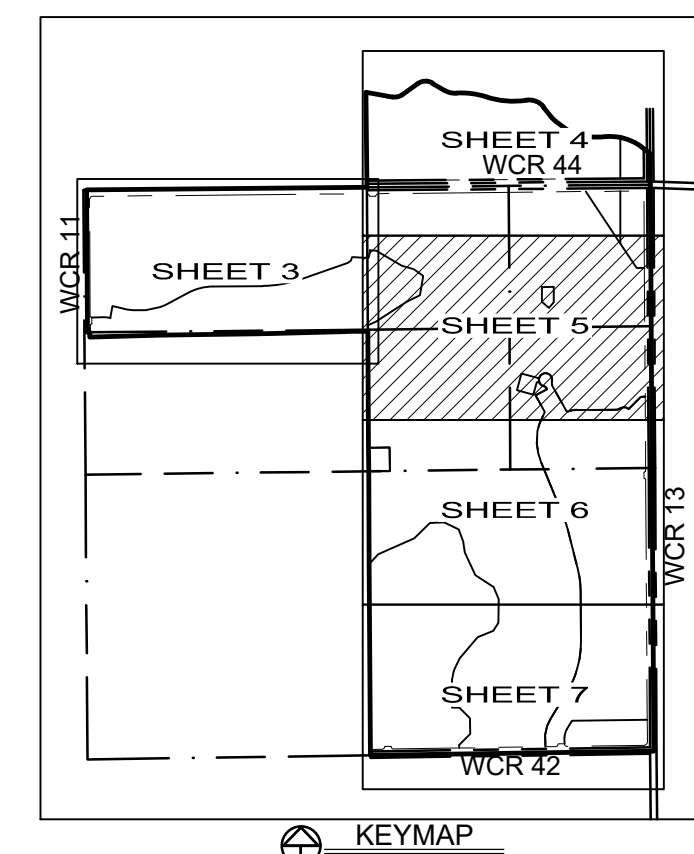


SHEET 4
SHEET 3
SHEET 5
SHEET 6
SHEET 7

PRELIMINARY
Aaron M. Lund
Registered Professional Land Surveyor
Colorado Registration No. 38670
For and on behalf of Northern Engineering Services, Inc.

PODTBURG PROPERTY

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND BEING A PORTION OF SECTION 24, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO



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SECTION: 13 & 24
TOWNSHIP: 4N
RANGE: 68 W of the 6th PM

NORTHERN ENGINEERING
NORTH
FORT COLLINS: 307 North Hoadley Street, Suite 100, 80521-9702, 21.4168
GREELEY: 820 8th Street, 80633
northernengineering.com

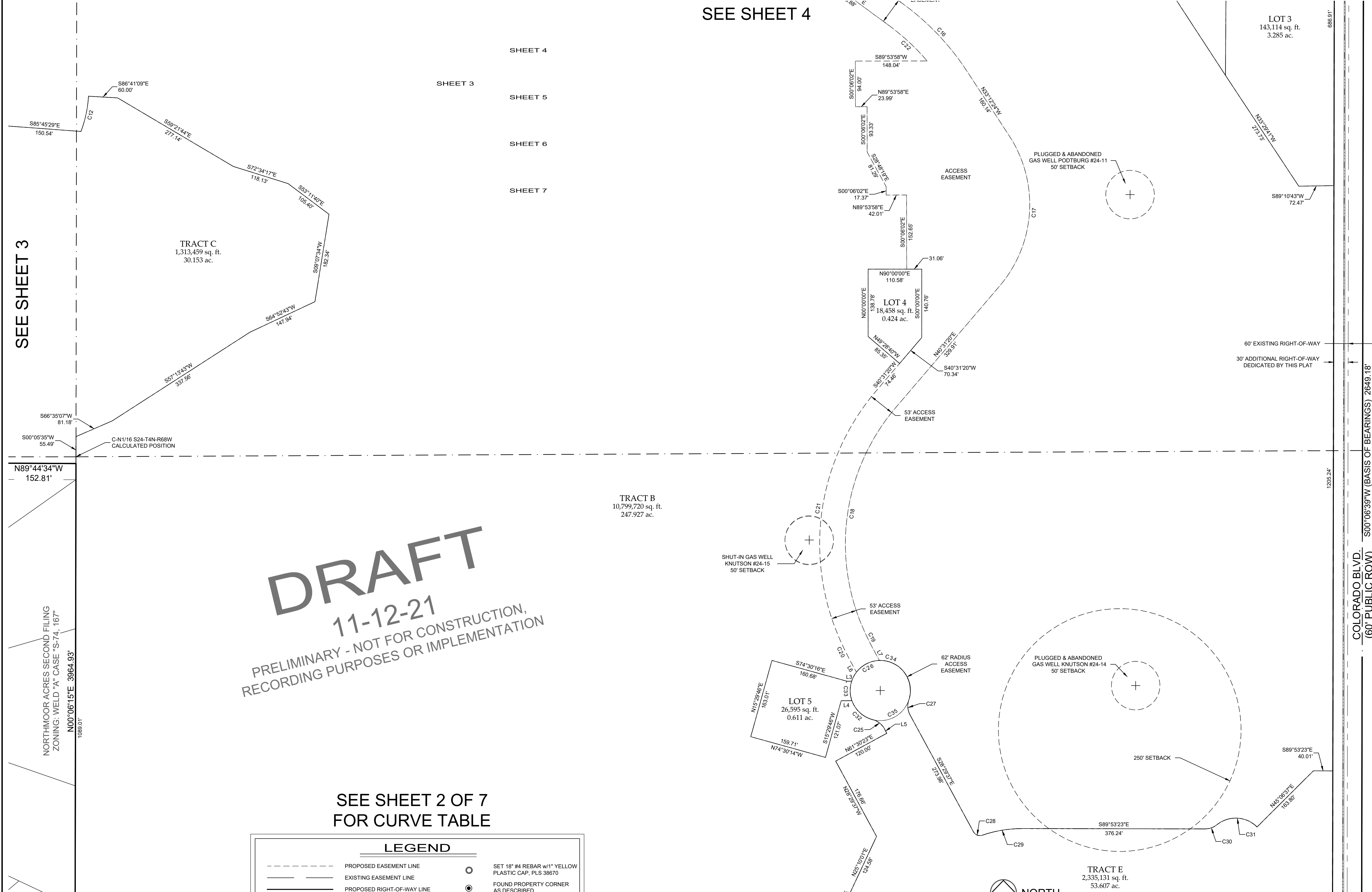
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DATE: 11/12/21
CLIENT:
SCALE: 1"=100'
DRAWN BY: L. Smith
REVIEWED BY: A. Lund

PODTBURG PROPERTY
TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

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Of 7 Sheets

SEE SHEET 4

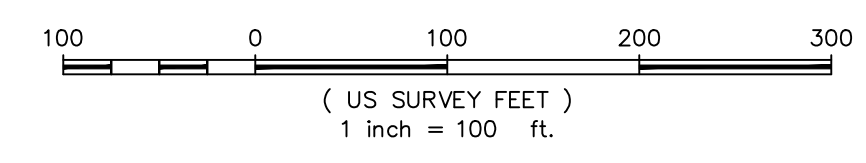
SEE SHEET 6



DRAFT
11-12-21
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SEE SHEET 2 OF 7
FOR CURVE TABLE

LEGEND			
	PROPOSED EASEMENT LINE		SET 18" #4 REBAR w/1" YELLOW PLASTIC CAP, PLS 38670
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	LOT LINE		
	SECTION LINE		
	TOP OF DITCH		
	WETLANDS AREA		

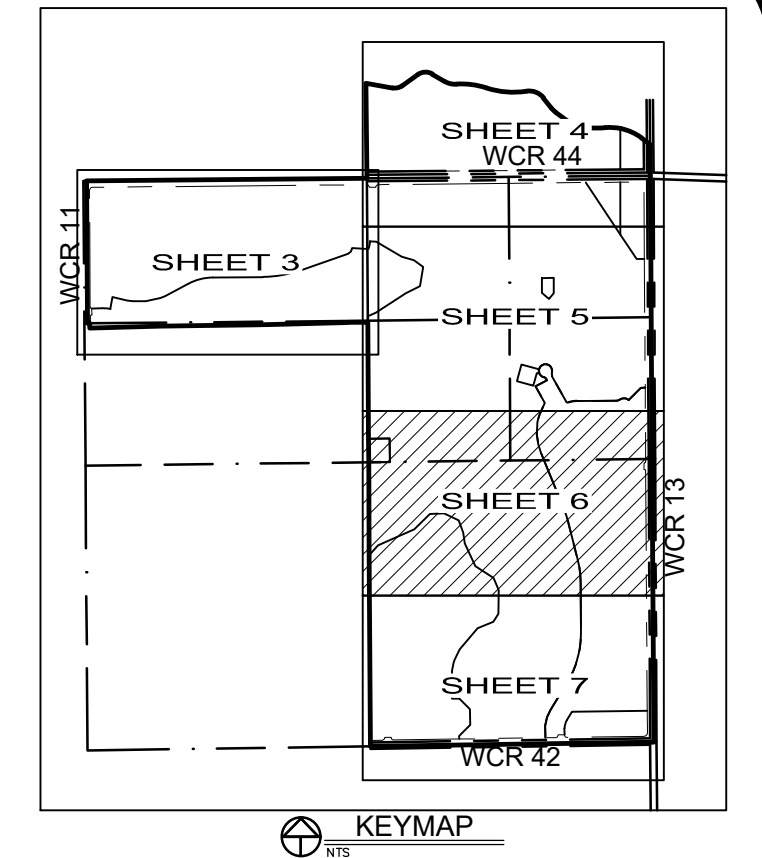


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PODTBURG PROPERTY

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TOWNSHIP: 4N
RANGE: 68 W of the 6th PM

NORTHERN ENGINEERING
FORT COLLINS: 307 North Hoades Street, Suite 100, 80521, 970.221.4168
GREELEY: 820 8th Street, 80633, northernengineering.com

DATE: 11/12/21
SCALE: 1"=100'
REVIEWED BY: A. Lund

PROJECT: 1659-001
CLIENT:
DRAWN BY: L. Smith

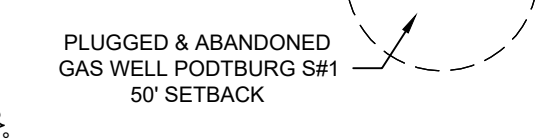
PODTBURG PROPERTY
TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

Sheet
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Of 7 Sheets

SEE SHEET 5

TRACT E
2,335,131 sq. ft.
53.607 ac.

N89°45'28"E 2650.26'



E1/4 S24-T4N-R68W
FOUND #6 REBAR WITH
2.5" ALUMINUM CAP
LS 38065 "2009"
IN MONUMENT BOX

TRACT E
2,335,131 sq. ft.
53.607 ac.

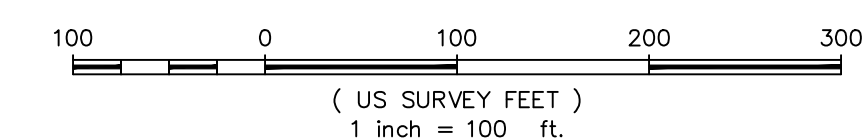
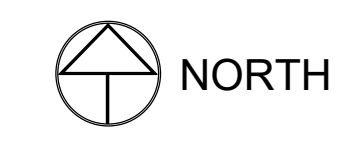
TRACT B
10,799,720 sq. ft.
247.927 ac.

TRACT D
1,882,814 sq. ft.
43.223 ac.

SEE SHEET 2 OF 7
FOR CURVE TABLE

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	TOP OF DITCH		
	WETLANDS AREA		

SEE SHEET 7



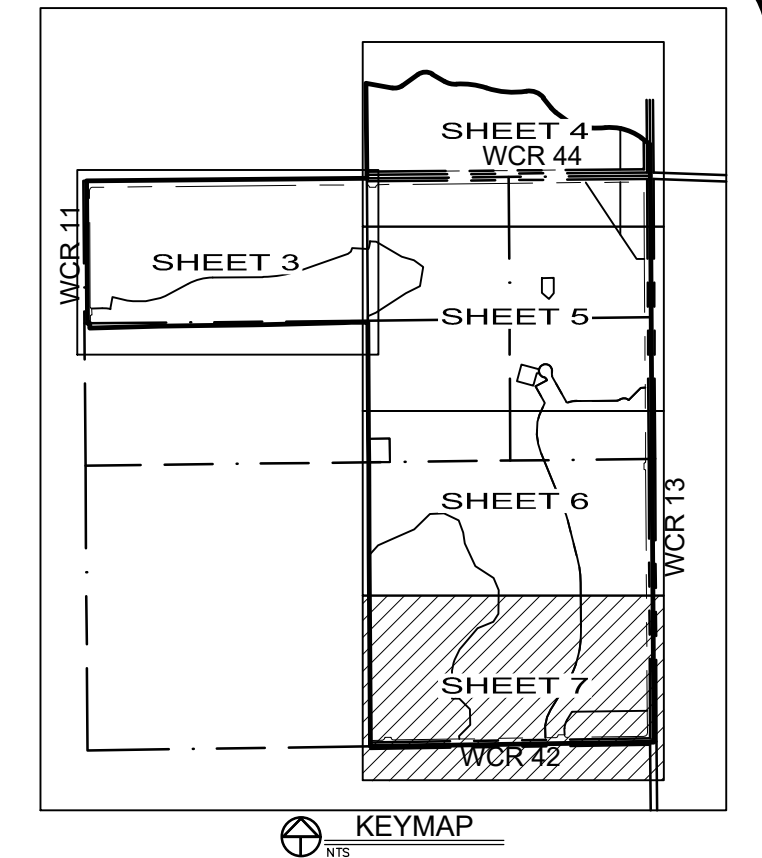
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Registered Professional Land Surveyor
Colorado Registration No. 38670
For and on behalf of Northern Engineering Services, Inc.

PODTBURG PROPERTY

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SEE SHEET 6

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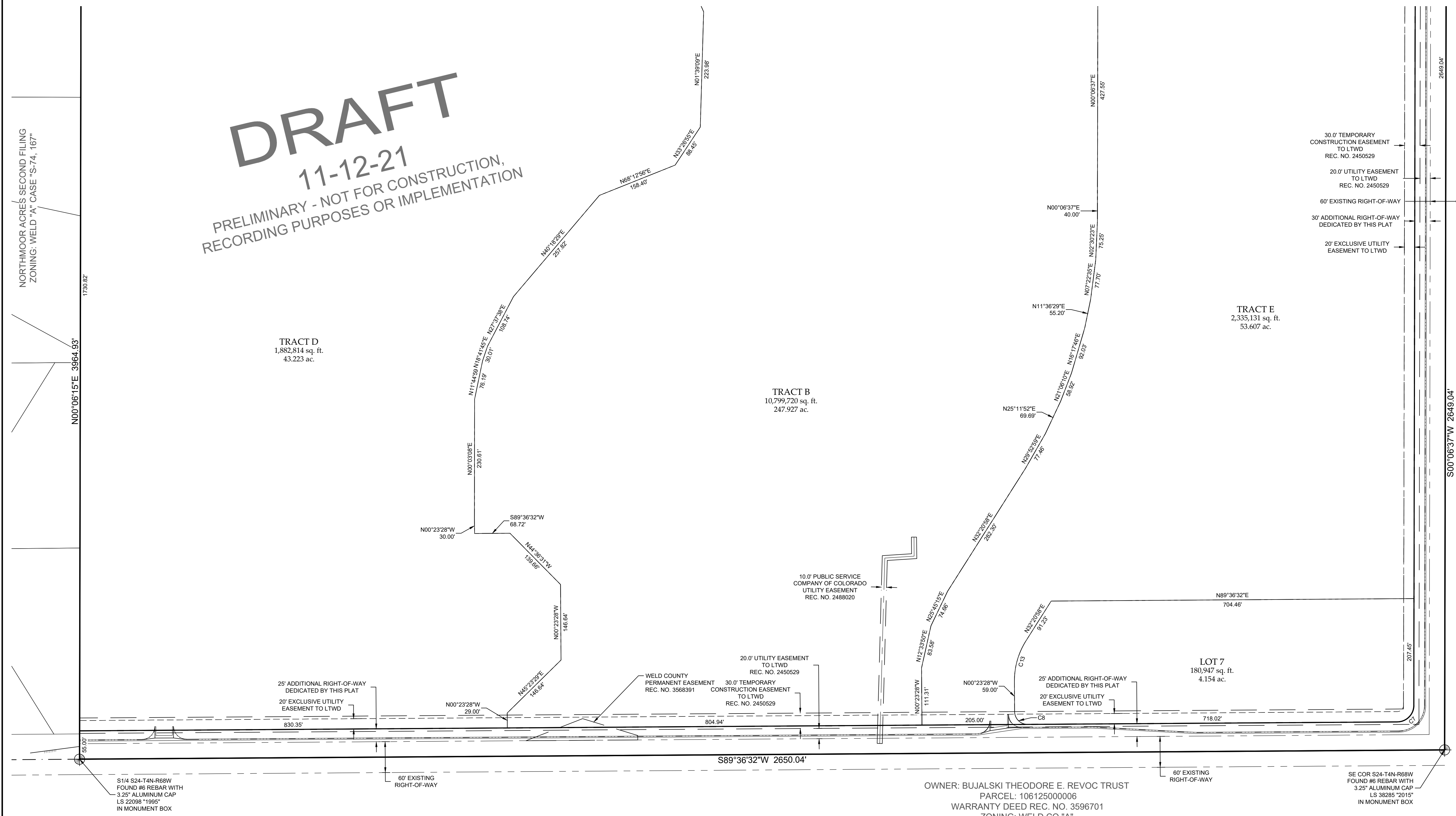
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PROJECT: 1659-001
DATE: 11/12/21
CLIENT:
SCALE: 1"=100'
DRAWN BY: L. Smith
REVIEWED BY: A. Lund

PODTBURG PROPERTY
TOWN OF JOHNSTOWN
WELD COUNTY, COLORADO

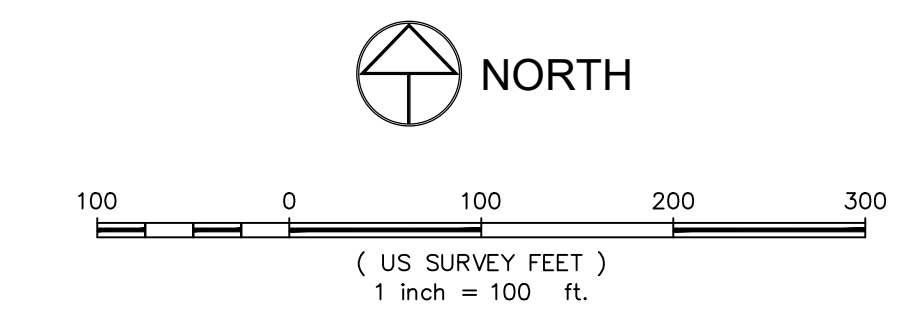
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LEGEND

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SEE SHEET 2 OF 7
FOR CURVE TABLE



PRELIMINARY
Aaron M. Lund
Registered Professional Land Surveyor
Colorado Registration No. 38670
Fee and on behalf of Northern Engineering Services, Inc.

PRELIMINARY DEVELOPMENT PLAN PODTBURG PROPERTY

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 13 AND BEING A PORTION OF SECTION 24, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

Legal Description:

PODTBURG DAIRY LIMITED PARTNERSHIP, LLLP, BEING THE SOLE OWNERS OF:

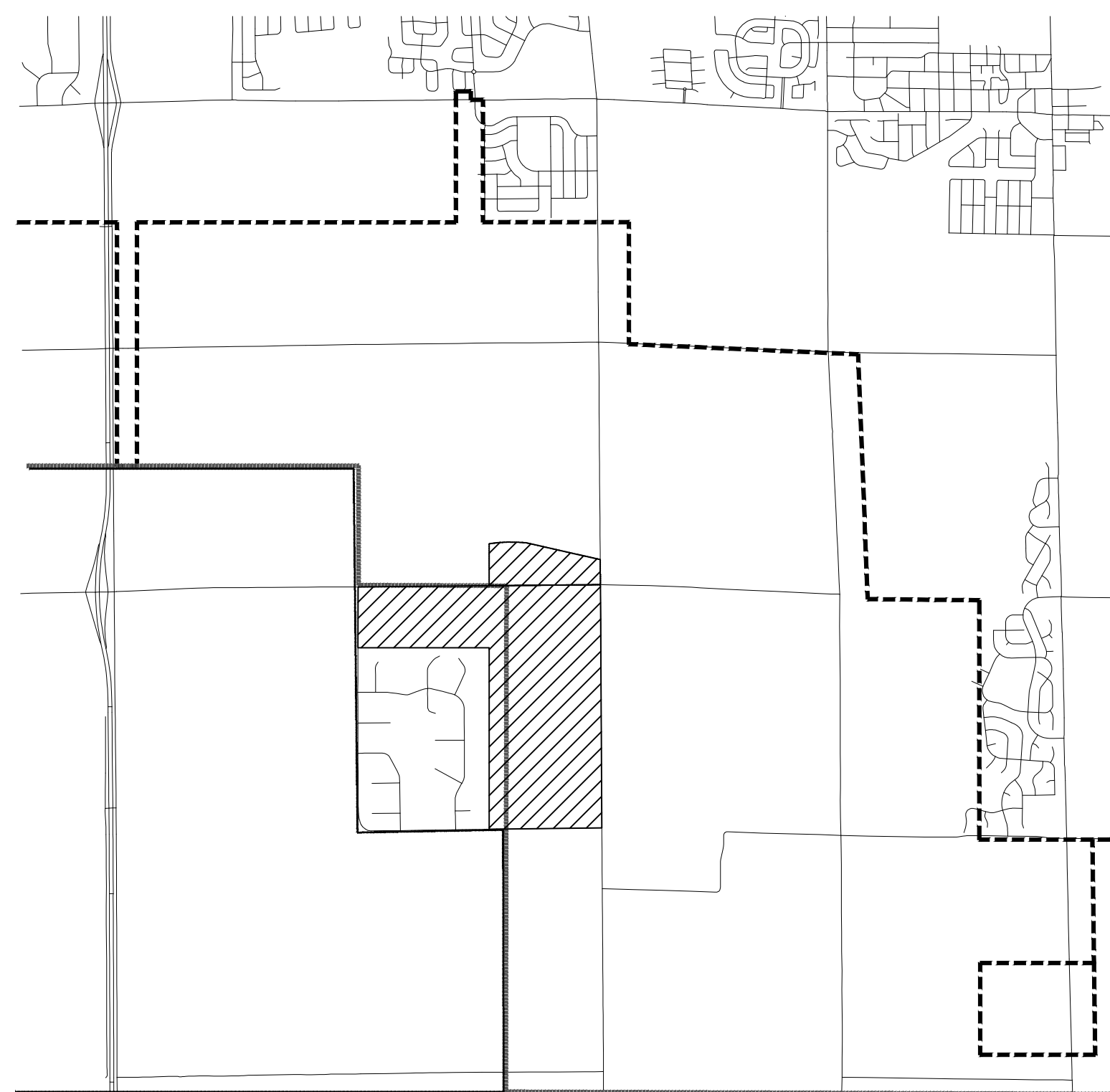
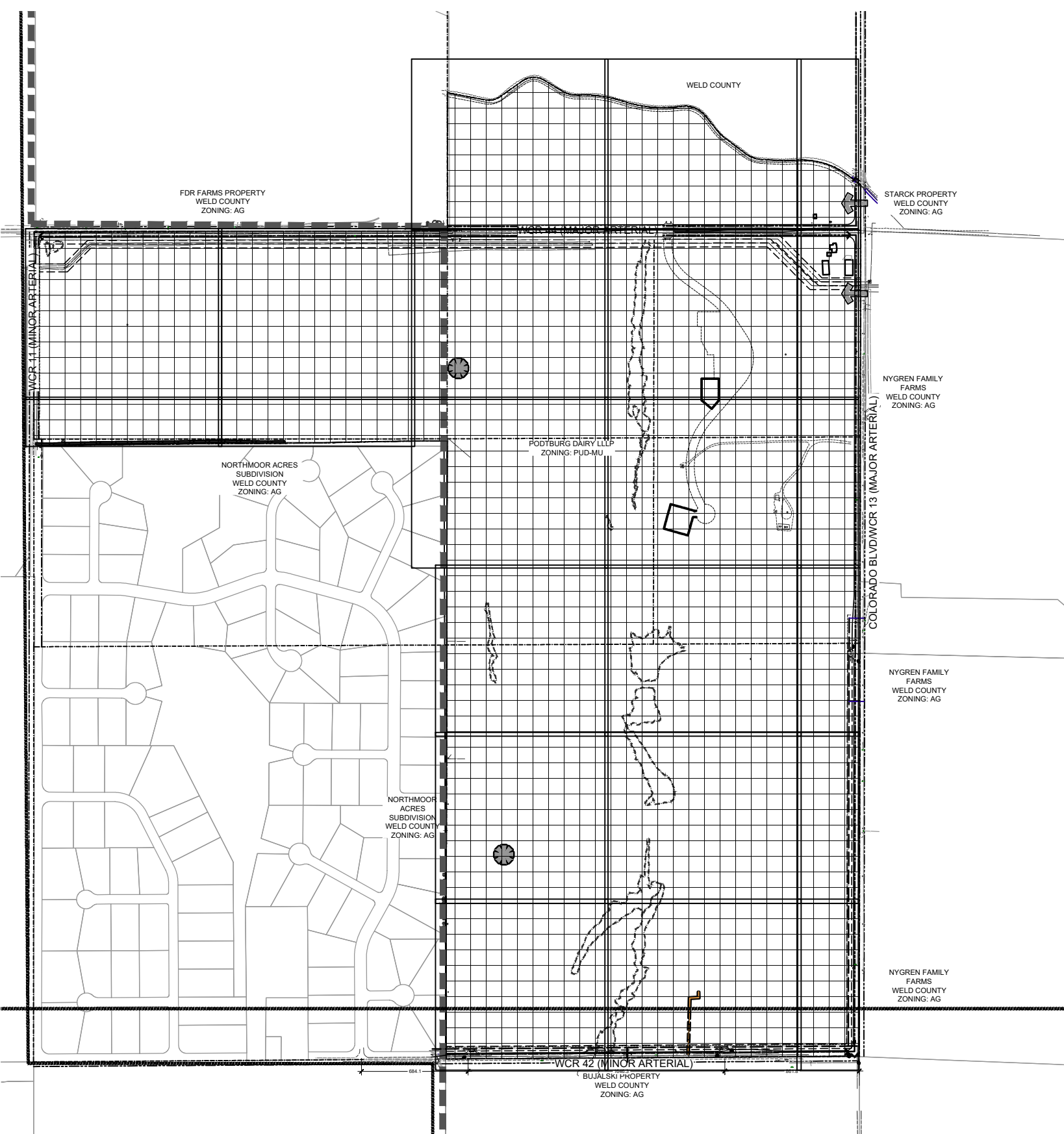
PROPERTY DESCRIPTION:

A PARCEL OF LAND BEING THE EAST HALF OF SECTION TWENTY-FOUR (24), THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION TWENTY-FOUR (24) AND TRACT D-1 OF THE NORTHMOOR ACRES SECOND FILING IN THE WEST HALF OF SECTION TWENTY-FOUR (24), AND ALSO BEING THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION THIRTEEN (13) LYING SOUTHERLY OF WHAT IS KNOWN AS THE HILLSBORO EXTENSION DITCH, ALL IN TOWNSHIP FOUR NORTH (T.4N.), RANGE SIXTY-EIGHT WEST (R.68W.), SIXTH PRINCIPAL MERIDIAN (6TH P.M.), COUNTY OF WELD, STATE OF COLORADO

EXCEPTING THEREFROM THE WEST 30.00 FEET OF THE NORTH HALF OF THE NORTHWEST QUARTER (N1/2NW1/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP FOUR NORTH (T.4N.), RANGE SIXTY-EIGHT WEST (R.68W.), SIXTH PRINCIPAL MERIDIAN (6TH P.M.), TOWN OF BERTHOUD, COUNTY OF WELD, STATE OF COLORADO

SAID DESCRIBED PARCELS OF LAND CONTAINS 19,515,099 SQUARE FEET OR 448.01 ACRES, MORE OR LESS.

Existing Zoning:



Vicinity Map

Approvals:

PODTBURG DAIRY L.L.L.P., A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER(S) OF THE PROPERTY LOCATED IN THE TOWN OF JOHNSTOWN, COUNTY OF WELD, AND STATE OF COLORADO, DO HEREBY SUBMIT THIS OUTLINE DEVELOPMENT PLAN AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREIN.

BY: _____
NAME: _____
TITLE: _____

PLANNING AND ZONING COMMISSION

THIS OUTLINE DEVELOPMENT PLAN TO BE KNOWN AS _____ WAS APPROVED BY ACTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF JOHNSTOWN, COLORADO AT A REGULAR MEETING HELD ON THE _____ DAY OF _____

TOWN COUNCIL

THIS OUTLINE DEVELOPMENT PLAN, TO BE KNOWN AS _____ IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER _____ PASSED AND ADOPTED ON FINAL READING AT THE REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE _____ DAY OF _____

BY: _____
MAYOR
ATTEST: _____
TOWN CLERK

Narrative/Operation Plan:

THE INTENT OF THIS PRELIMINARY DEVELOPMENT PLAN (PDF) IS TO PROVIDE THE FRAMEWORK FOR THE PODTBURG PROPERTY DEVELOPMENT WITH THE DEVELOPMENT OF "SUPER PAD" TRACTS FOR FUTURE RESIDENTIAL DEVELOPMENT AS WELL AS THE MASTER PLANNING REQUIRED FOR THE DEVELOPMENT OF THE GOLF COURSE.

A HIGH QUALITY RESIDENTIAL GOLF COMMUNITY IS ENVISIONED FOR THIS SITE. THE GOLF COURSE IS PLANNED AS A PUBLIC COURSE FOR THE BENEFIT OF BOTH THE HOMEOWNERS AND THE RESIDENTS OF THE TOWN OF JOHNSTOWN. THE COMMUNITY WILL BE PRIMARILY RESIDENTIAL WITH COMMERCIAL DEVELOPMENT LOCATED AT THE PRIMARY INTERSECTIONS.

THIS DEVELOPMENT HAS ARTERIAL ROADS LOCATED ON THE NORTH, SOUTH AND EAST BOUNDARIES OF THE PROPERTY. THE PROXIMITY TO AN ARTERIAL ROAD NETWORK WILL PROVIDE EXCELLENT ACCESS TO THE PROPERTY. THE DEVELOPMENT PARCELS ARE LOCATED AROUND THE PERIMETER OF THE PROPOSED GOLF COURSE WHICH WILL DISPERSE TRAFFIC THROUGHOUT THE SITE AND TO VARIOUS ACCESS POINTS.

THE PUD PROCESS WILL PROVIDE VARIOUS OPTIONS FOR THE SITE TO DEVELOP CREATIVELY. FLEXIBILITY IN LOT SIZES AND SETBACKS WILL ENCOURAGE CREATIVE HOUSING TYPES TO FIT MARKET DEMANDS, WHILE POTENTIALLY ALLOWING FOR ADDITIONAL SPACE TO BE ALLOCATED TO OPEN SPACE AND/OR PARKS. HIGH QUALITY HOUSING IS PROPOSED AS PART OF PEDESTRIAN FRIENDLY COMMUNITY SURROUNDED BY LARGE OPEN TRACTS FOR A GOLF COURSE.

General Notes:

- LOCAL AND COLLECTOR STREETS SHALL CONFORM TO THE TOWN OF JOHNSTOWN STREET STANDARDS AT THE TIME OF PLATTING.
- THIS PRELIMINARY DEVELOPMENT PLAN DEPICTS SUPER PAD TRACTS WHICH WILL BE FURTHER SUBDIVIDED FOR RESIDENTIAL USE WITH A FUTURE PRELIMINARY AND FINAL SUBDIVISION SUBMITTAL. EXACT LOT SIZES WILL BE DETERMINED WITH EACH PRELIMINARY AND FINAL SUBDIVISION SUBMITTAL.
- LANDSCAPING, SIGNAGE, ARCHITECTURE, NON-RESIDENTIAL PARKING, FENCING AND LIGHTING FOR DEVELOPMENT WITH THIS PUD SHALL EITHER FOLLOW THOSE APPLICABLE STANDARDS IN THE TOWN OF JOHNSTOWN MUNICIPAL CODE OR THE DEVELOPER MAY FORMULATE DESIGN STANDARDS REGULATING THE DESIGN, CHARACTER, LOCATION AND OTHER DETAILS OF THESE ELEMENTS PRIOR TO THEIR IMPLEMENTATION. THE DEVELOPER FORMULATED DESIGN STANDARDS MUST RECEIVE APPROVAL BY THE PLANNING AND DEVELOPMENT DIRECTOR PRIOR TO IMPLEMENTATION.
- A METRO DISTRICT SHALL BE ESTABLISHED TO PROVIDE FOR COMMON AREA MAINTENANCE AND FINANCING OF THE PUBLIC IMPROVEMENTS.
- THE SITE DOES NOT CONTAIN ANY KNOWN ENDANGERED SPECIES.
- NO ARCHAEOLOGICAL OR HISTORIC AREAS HAVE BEEN IDENTIFIED ON THE SITE.
- NO FLOODPLAINS, OR GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED OR MAPPED ON THE SITE.

Relationship To Town Code & Development Standards:

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN DEVELOPMENT TO THE EXTENT PERMITTED BY THE TOWN OF JOHNSTOWN MUNICIPAL CODE. WHERE STANDARDS, DETAILS, AND GUIDELINES OF THE PUD (OUTLINE, PRELIMINARY, OR FINAL DEVELOPMENT PLANS) DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT OR ARE SILENT, THE JOHNSTOWN MUNICIPAL CODE AND OTHER STANDARDS, REGULATIONS, AND GUIDELINES SHALL BE USED. ALL PROPOSED DEVELOPMENT IS SUBJECT TO TOWN OF JOHNSTOWN REVIEW PROCEDURES

Sheet Index:

SHEET S1	COVER SHEET
SHEET S2	CONCEPTUAL PLAN
SHEET GC1A-1C	GOLF GRADING PLANS
SHEET GC 2A-2C	GOLF DRAINAGE PLANS
SHEET GC 3A-3C	GOLF GRASSING PLANS
SHEET CS1	COVER SHEET
SHEET CS2	GENERAL & CONSTRUCTION NOTES
SHEET EX1	EXISTING CONDITIONS & DEMOLITION PLAN
SHEET PH1	PHASING PLAN
SHEET OU1	OVERALL UTILITY PLAN
SHEET U1-U9	UTILITY PLAN
SHEET OG1	OVERALL GRADING PLAN
SHEET G1-G9	GRADING PLAN
SHEET R1-R8	COUNTY ROAD 44 PLAN & PROFILE
SHEET R9-R12	COUNTY ROAD 42 PLAN & PROFILE
SHEET R13-R20	COLORADO BLVD PLAN & PROFILE
SHEET R21-R22	COUNTY ROAD 11 PLAN & PROFILE
SHEET DR1-DR2	DRAINAGE EXHIBIT

SEAL

PROJECT TITLE

**PODTBURG
PROPERTY**

**PRELIMINARY
DEVELOPMENT
PLAN**

JOHNSTOWN, CO

PREPARED FOR

OWNER:

**PODTBURG
DAIRY
PARTNERSHIP,
LLLP**

37905 WELD COUNTY
ROAD 35
EATON, CO 80615

REVISIONS - Rnd. 1 11.12.21

DATE
AUGUST 5, 2021

SHEET TITLE
COVER SHEET

SHEET INFORMATION

Sheet Number: **S1**

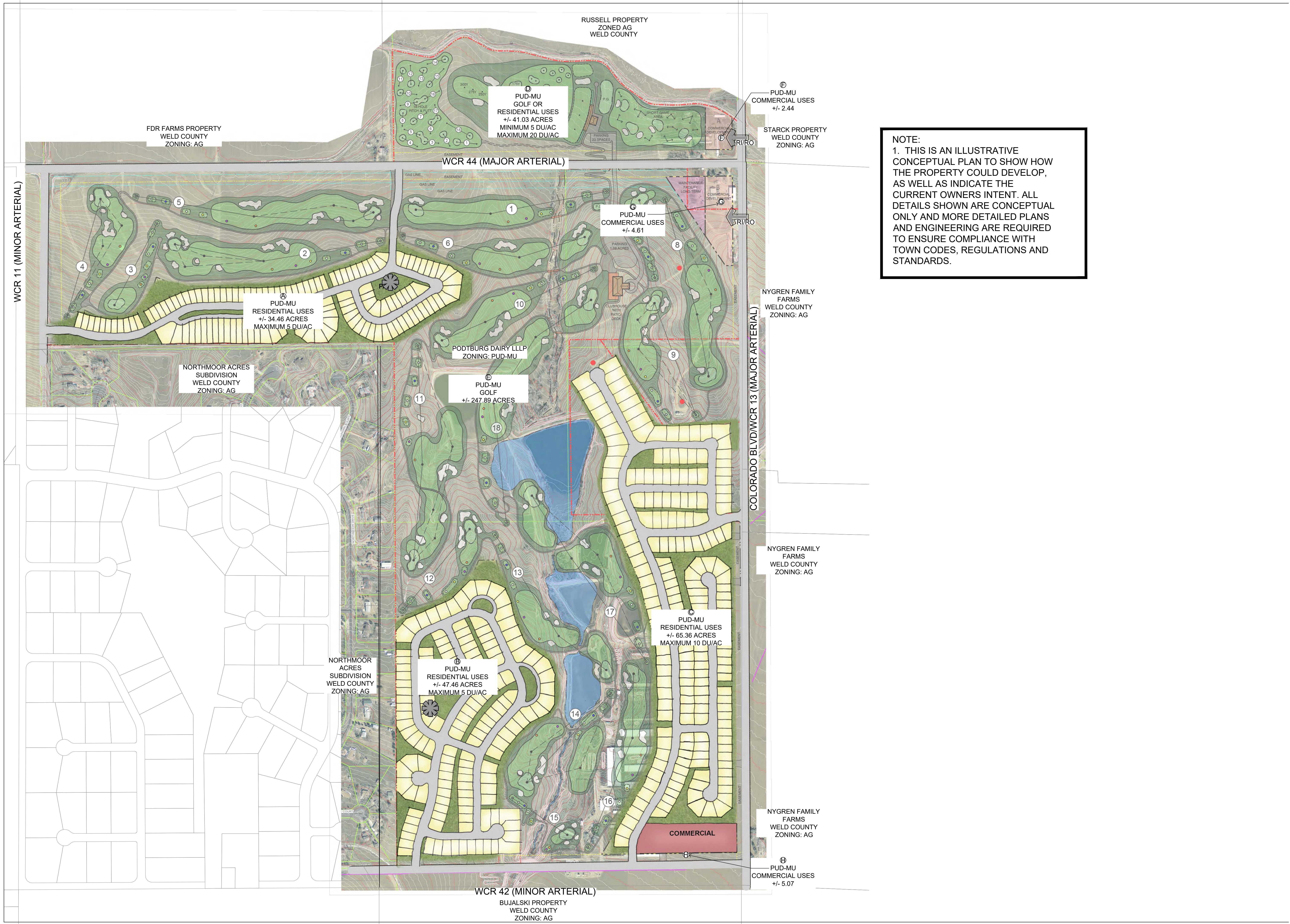
Of:

REVISIONS	DATE
REVISIONS - Rnd. 1	11.12.21

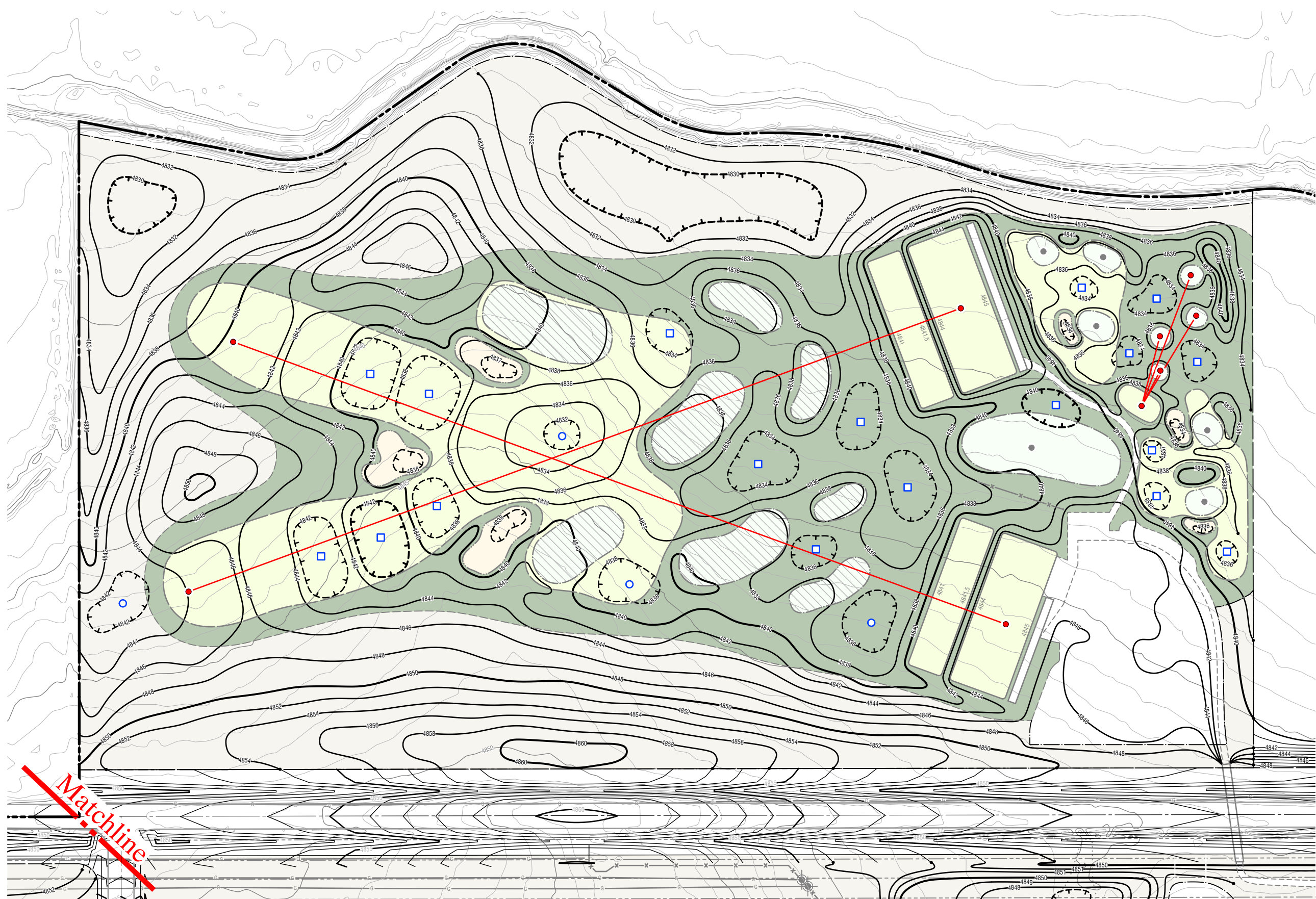
DATE
 AUGUST 5, 2021

SHEET TITLE
CONCEPT PLAN

SHEET INFORMATION
 Sheet Number: **S2**
 Of:



NOTE:
 1. THIS IS AN ILLUSTRATIVE CONCEPTUAL PLAN TO SHOW HOW THE PROPERTY COULD DEVELOP, AS WELL AS INDICATE THE CURRENT OWNERS INTENT. ALL DETAILS SHOWN ARE CONCEPTUAL ONLY AND MORE DETAILED PLANS AND ENGINEERING ARE REQUIRED TO ENSURE COMPLIANCE WITH TOWN CODES, REGULATIONS AND STANDARDS.



Practice Area



Holes 2, 3, 4, 5

Legend

- Proposed 2' Minor Contour
- Proposed 10' Major Contour
- Basin Contour
- Greens (USGA construction)
- Greens (Topsoil construction)
- Tees
- Fairway
- Rough
- Bunkers
- Cart Path (8' wide typical unless noted)
- Bridges
- Lake
- Wetland
- Drain Inlets (see drainage plan for sizing)

Grading Plan Area "A"



Holes 1, 6, 7, 8, 9, 10, 11, 12, 18

Legend

- Proposed 2' Minor Contour
- Proposed 10' Major Contour
- Basin Contour
- Greens (USGA construction)
- Greens (Topsoil construction)
- Tees
- Fairway
- Rough
- Bunkers
- Cart Path (8' wide typical unless noted)
- Bridges
- Lake
- Wetland
- Drain Inlets (see drainage plan for sizing)

Grading Plan Area "B"



Holes 13, 14, 15, 16, 17

- Legend**
- Proposed 2' Minor Contour
 - Proposed 10' Major Contour
 - Basin Contour
 - Greens (USGA construction)
 - Greens (Topsoil construction)
 - Tees
 - Fairway
 - Rough
 - Bunkers
 - Cart Path (8' wide typical unless noted)
 - Bridges
 - Lake
 - Wetland
 - Drain Inlets (see drainage plan for sizing)

Grading Plan Area "C"



Practice Area



Holes 2, 3, 4, 5

Legend





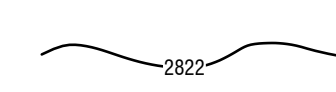
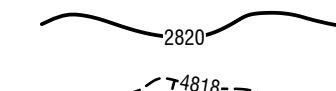






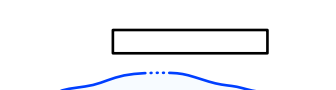




- Solid ADS N-12 pipe (sizes shown on plan)
- Nyloplast drain inlets (size indicated by symbol)
- Drain pipe outfall location
- Adaptor for pipe size change
- Proposed 2' Minor Contour
- Proposed 10' Major Contour
- Basin Contour
- Greens (USGA construction)
- Greens (Topsoil construction)
- Tees
- Fairway
- Rough
- Bunkers
- Cart Path (8' wide typical unless noted)
- Bridges (12' wide clearspan between curbs)
- Lake
- Wetland

Drainage Plan Area "A"



Holes 1, 6, 7, 8, 9, 10, 11, 12, 18

Legend


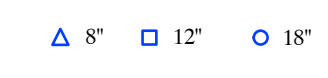
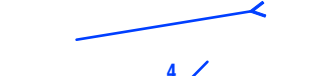


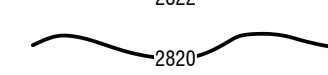
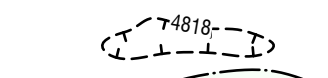










-  Solid ADS N-12 pipe (sizes shown on plan)
-  Nyloplast drain inlets (size indicated by symbol)
-  Drain pipe outfall location
-  Adaptor for pipe size change
-  Proposed 2' Minor Contour
-  Proposed 10' Major Contour
-  Basin Contour
-  Greens (USGA construction)
-  Greens (Topsoil construction)
-  Tees
-  Fairway
-  Rough
-  Bunkers
-  Cart Path (8' wide typical unless noted)
-  Bridges (12' wide clearspan between curbs)
-  Lake
-  Wetland

Drainage Plan Area "B"

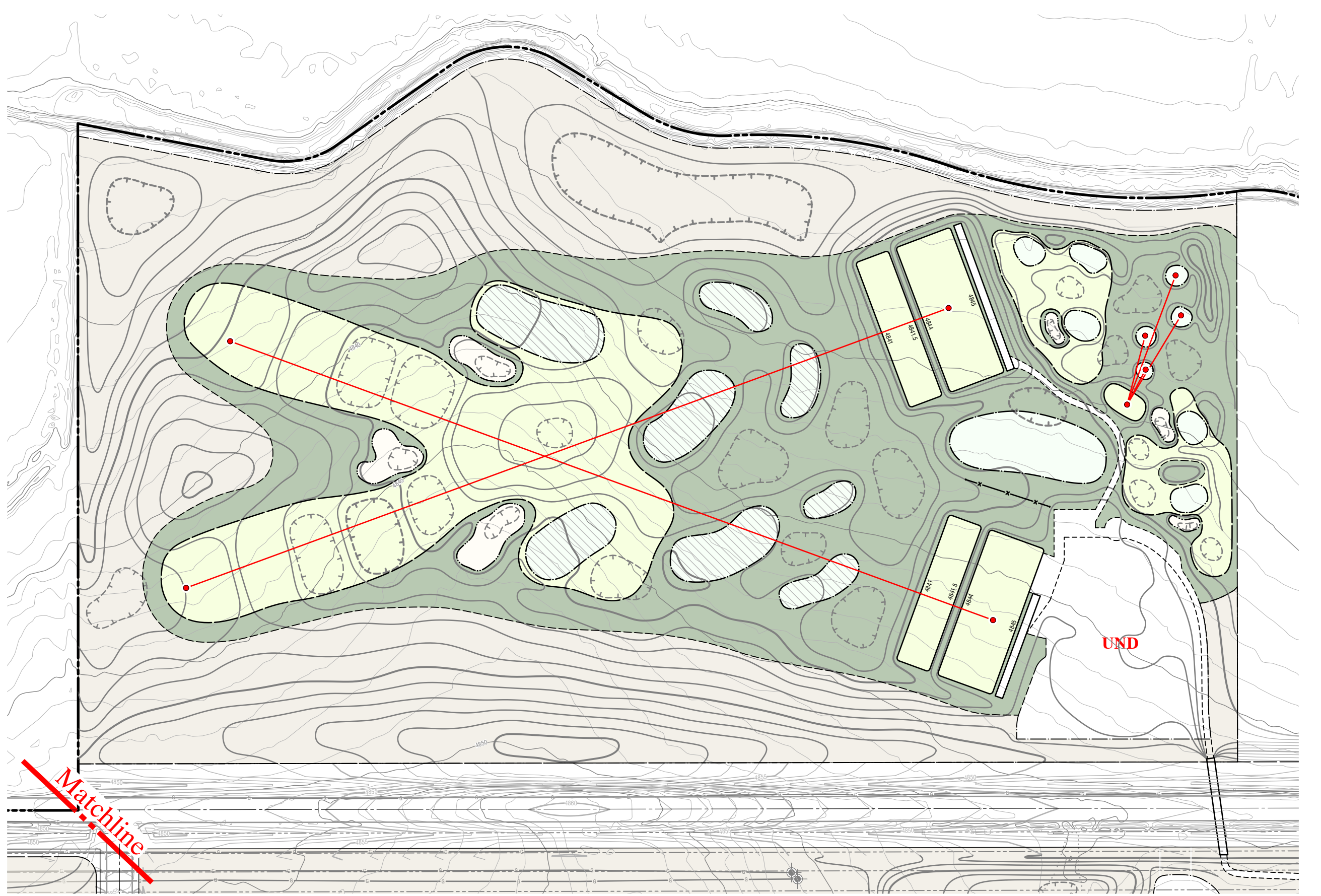


Holes 13, 14, 15, 16, 17

Legend

-  Solid ADS N-12 pipe (sizes shown on plan)
-  Nyloplast drain inlets (size indicated by symbol)
-  Drain pipe outfall location
-  Adaptor for pipe size change
-  Proposed 2' Minor Contour
-  Proposed 10' Major Contour
-  Basin Contour
-  Greens (USGA construction)
-  Greens (Topsoil construction)
-  Tees
-  Fairway
-  Rough
-  Bunkers
-  Cart Path (8' wide typical unless noted)
-  Bridges (12' wide clearspan between curbs)
-  Lake
-  Wetland

Drainage Plan Area "C"

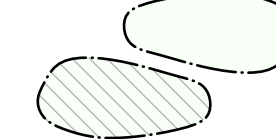
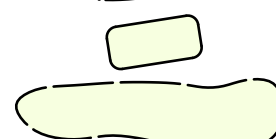


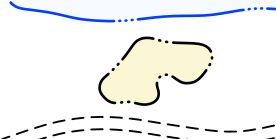
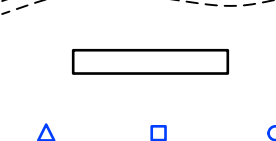




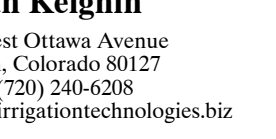



Practice Area



Holes 2, 3, 4, 5

Legend





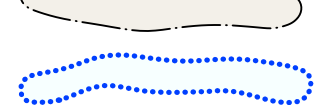


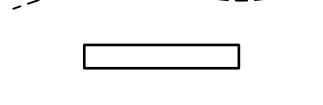




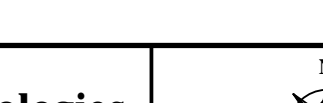
-  Greens – USGA (Bentgrass – variety to be determined)
-  Greens – Topsoil (Bluegrass/Ryegrass blend)
-  Tees (Bluegrass/Ryegrass blend)
-  Fairways (Bluegrass/Ryegrass blend)
-  Rough (Bluegrass/Ryegrass blend)
-  Native Areas (blend of native grasses, fescues, wildflowers)
-  Wetland Areas (wetland species to be determined)
-  Lakes
-  Bunkers
-  Cart Paths
-  Bridges
-  Drain Inlets
- UND Undisturbed Areas

Grassing Plan Area "A"



Holes 1, 6, 7, 8, 9, 10, 11, 12, 18

Legend














-  Greens – USGA (Bentgrass – variety to be determined)
-  Greens – Topsoil (Bluegrass/Ryegrass blend)
-  Tees (Bluegrass/Ryegrass blend)
-  Fairways (Bluegrass/Ryegrass blend)
-  Rough (Bluegrass/Ryegrass blend)
-  Native Areas (blend of native grasses, fescues, wildflowers)
-  Wetland Areas (wetland species to be determined)
-  Lakes
-  Bunkers
-  Cart Paths
-  Bridges
-  Drain Inlets
-  Undisturbed Areas

Grassing Plan Area "B"



Holes 13, 14, 15, 16, 17

Legend

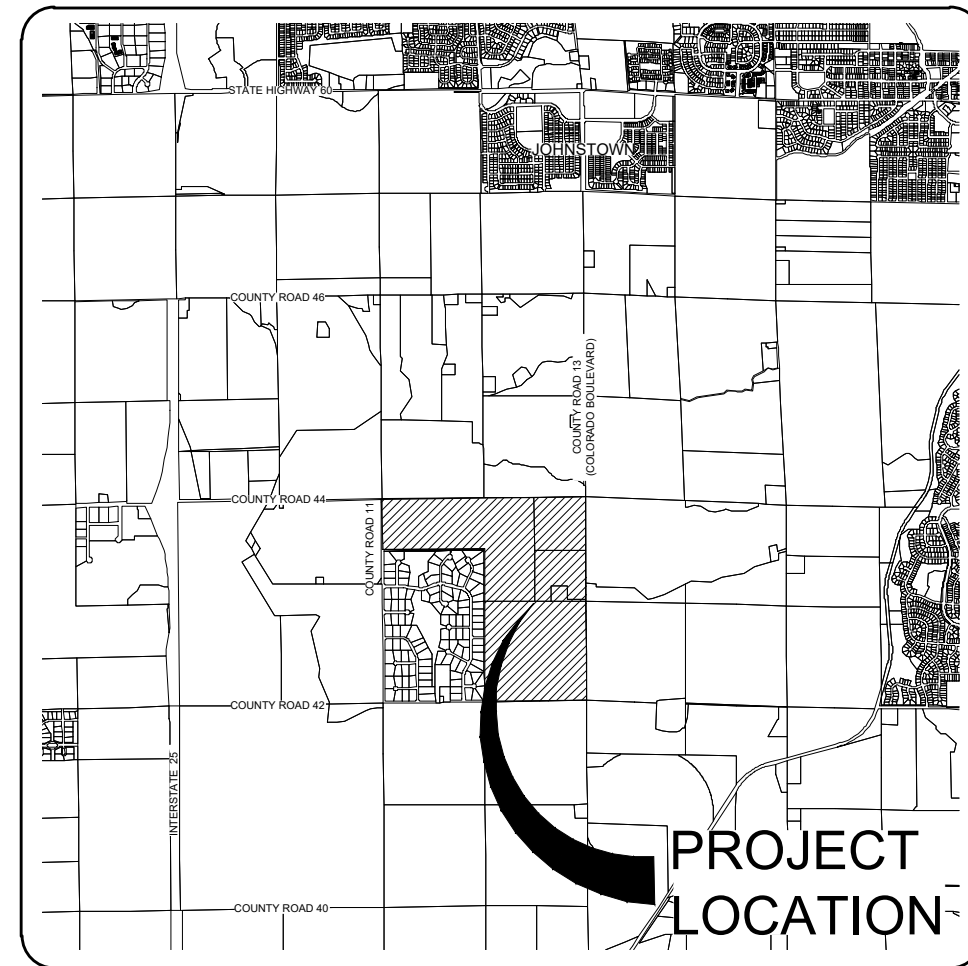
-  Greens – USGA (Bentgrass – variety to be determined)
-  Greens – Topsoil (Bluegrass/Ryegrass blend)
-  Tees (Bluegrass/Ryegrass blend)
-  Fairways (Bluegrass/Ryegrass blend)
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-  Native Areas (blend of native grasses, fescues, wildflowers)
-  Wetland Areas (wetland species to be determined)
-  Lakes
-  Bunkers
-  Cart Paths
-  Bridges
-  Drain Inlets
-  UND Undisturbed Areas

Grassing Plan Area "C"

PRELIMINARY PUBLIC IMPROVEMENT CONSTRUCTION PLANS FOR PODTBURG PROPERTY

A TRACT OF LAND LOCATED IN PORTIONS OF SECTION 13 AND SECTION 24, TOWNSHIP 4 NORTH, RANGE 68
WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO

NOVEMBER 2021



PROJECT BENCHMARKS:

BENCHMARK: #1
NGS K 410
Elevation=5066.70

Basis of Bearings
The East line of the Northeast Quarter of Section 24 as bearing South 00° 06' 36" West, and monumented as shown on PLAT.

FIELD SURVEY BY:

Original Field Survey:
Northern Engineering
Project No. 1659-001
Date: May 26, 2021

CONTACT INFORMATION

PROJECT TEAM:

OWNER/APPLICANT

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Greg Podtburg
45490 County Road 39
Pierce, Colorado 80650

**PLANNER/
LANDSCAPE ARCHITECT**

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TB Group
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Berthoud, Colorado 80513
(970) 532-5891

SITE ENGINEER

Northern Engineering Services, Inc.
Danny Weber, PE
301 North Howes Street, Suite 100
Fort Collins, Colorado 80521
(970) 221-4158

SITE SURVEYOR

Northern Engineering Services, Inc.
Aaron M. Lund, PLS
820 8th Street
Greeley, Colorado 80631
(970) 221-4158



**NORTHERN
ENGINEERING**

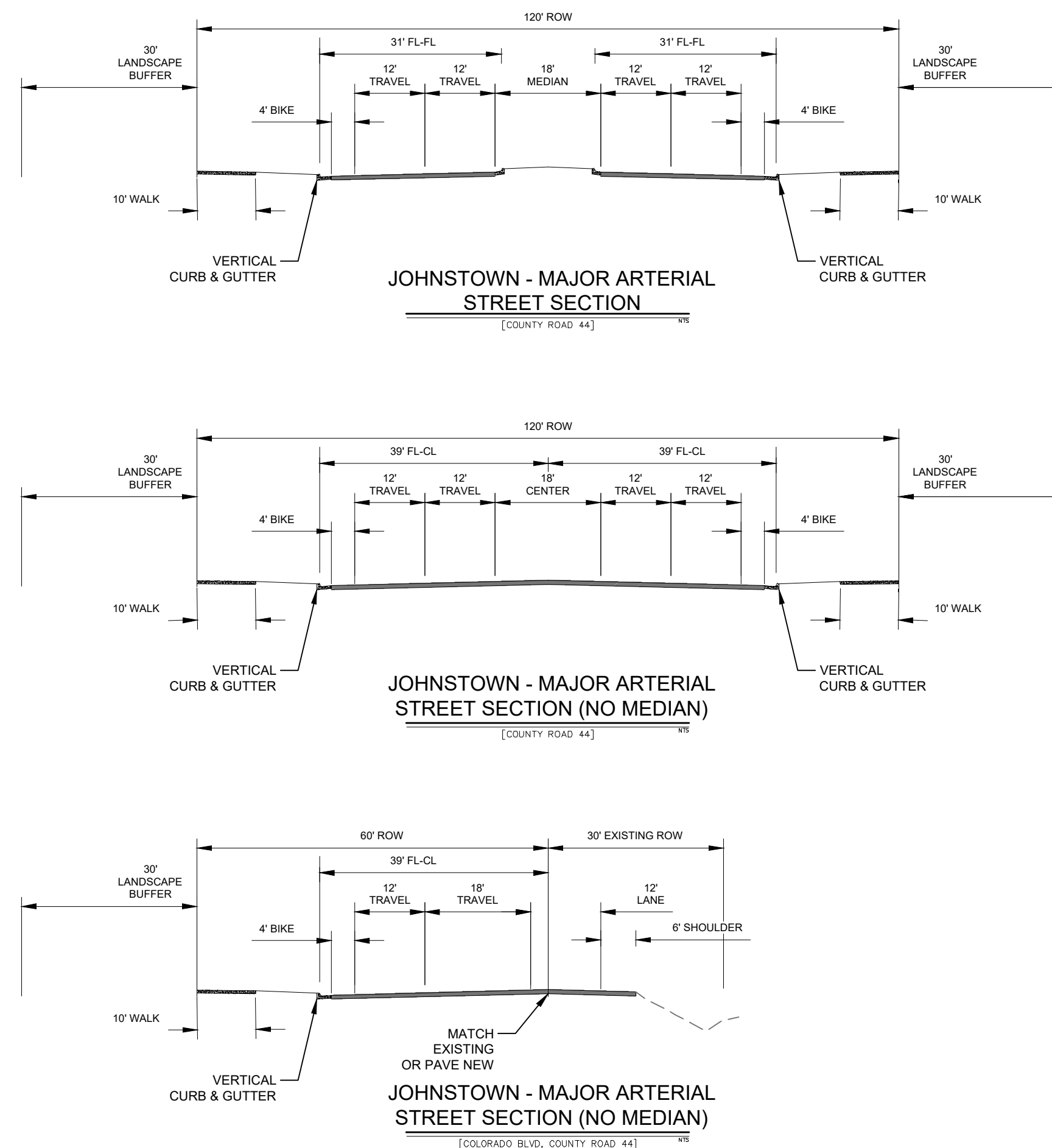
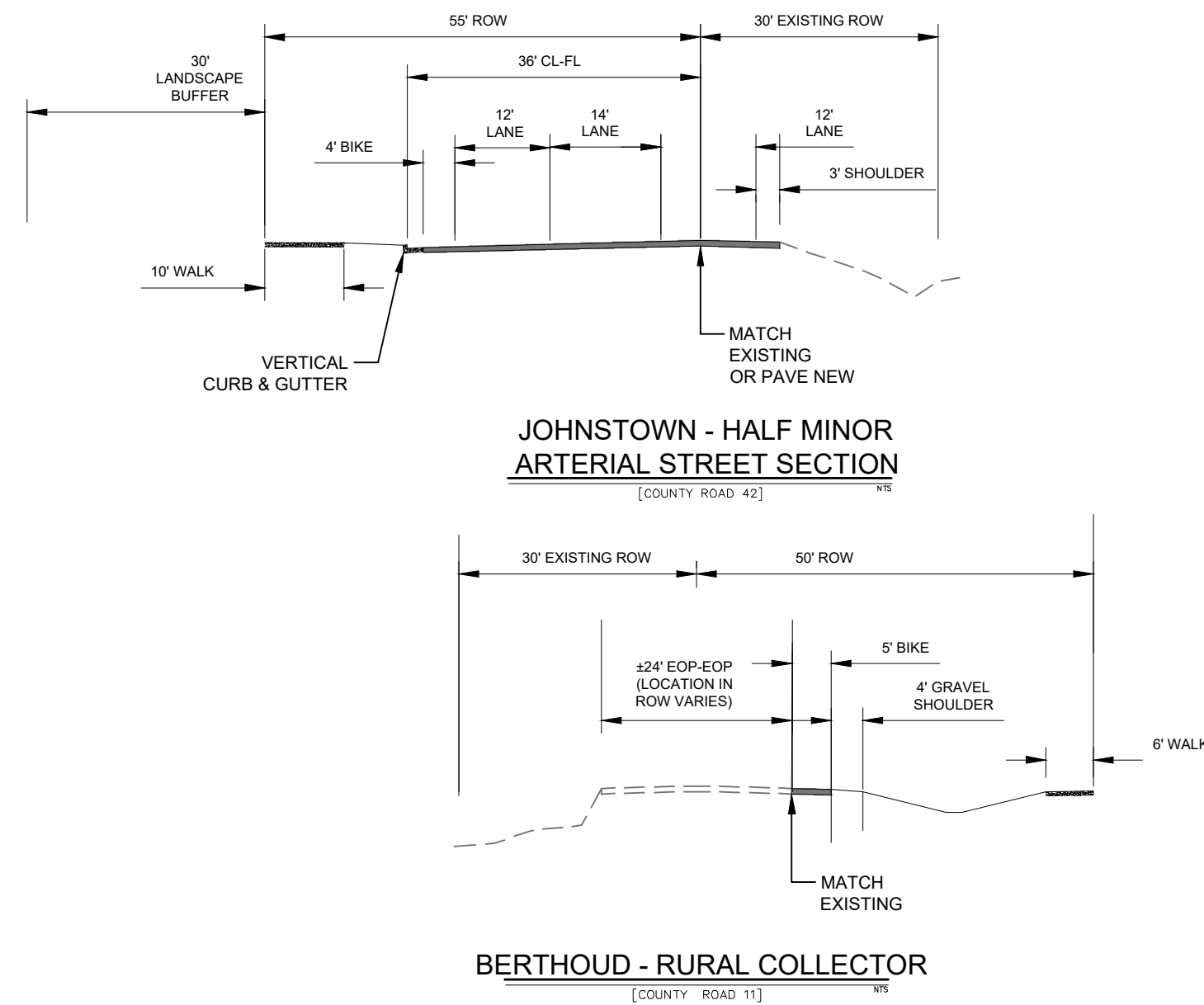


**NORTHERN
ENGINEERING**

SHEET INDEX

1	CS1	COVER SHEET
2	CS2	GENERAL & CONSTRUCTION NOTES
3	EX1	EXISTING CONDITIONS & DEMOLITION PLAN
4	PH1	PHASING PLAN
UTILITY SHEETS		
5	OU1	OVERALL UTILITY PLAN
6-14	U1-U9	UTILITY PLAN
GRADING SHEETS		
15	OG1	OVERALL GRADING PLAN
16-25	G1-G10	GRADING PLAN
ROADWAY SHEETS		
26-33	R1-R8	COUNTY ROAD 44 PLAN & PROFILE
34-37	R9-R12	COUNTY ROAD 42 PLAN & PROFILE
38-45	R13-R20	COLORADO BLVD PLAN & PROFILE
46-47	R21-R22	COUNTY ROAD 11 PLAN & PROFILE
DRAINAGE SHEETS		
48	HD1	HISTORIC DRAINAGE EXHIBIT
49-50	DR1-DR2	DRAINAGE EXHIBIT

TYPICAL SECTIONS



CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

TOWN OF BERTHOUD, COLORADO
DRAWING APPROVAL

REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.

Town Engineer _____ Date _____

TOWN OF JOHNSTOWN

These construction drawings have been reviewed and accepted:

By: _____ Date _____
Town Engineer

Initial approvals, signatures, use tax and other fees paid, and basic requirements have been met.

By: _____ Date _____
Town Clerk

Revisions:
REVIEW SET
NOT FOR CONSTRUCTION
11/12/21

These drawings are instruments of service provided by Northern Engineering Services, Inc. in any type of construction unless signed and sealed by the engineer of Northern Engineering Services, Inc.

**NORTHERN
ENGINEERING**
FORT COLLINS, 301 North Howes Street, Suite 100, 80521
GREELEY, 820 8th Street, 80631
970.221.4158
northernengineering.com

DATE: 11/12/21
SCALE: N/A
PROJECT: 1659-001
DESIGNED BY: B. Ruch
DRAWN BY: C. Ungermann
P. MANAGER: D. Weber

PODTBURG PROPERTY
COVER SHEET

Sheet
CS1
1 of 50

DRAWING FILENAME: P:\1659-001\1659-001\1659-001_LAYOUT_MBE_CSI DATE: Nov 12, 2021 11:18am CAD OPERATOR: bsm
LIST OF SHEETS: [1659-001_MBE-cover1]

GENERAL NOTES:

- All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Town of Johnstown Standards and Specifications and applicable state and federal regulations. Where there is conflict between these plans and the specifications, or any applicable standards, the most restrictive standard shall apply. All work shall be inspected and approved by the respective entity.
- All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- Upon approval these Public Improvement Construction Plans shall be valid for a period of three years from the date of approval. Use of these plans after the expiration date will require notification to the Engineer of Record, and possible new review and approval process by the respective entities prior to commencement of any work shown in these plans.
- The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Contractor to verify the existence and location of all underground utilities along the route of the work before commencing new construction. The Contractor shall be responsible for unknown underground utilities.
- The Contractor shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked. Other unregistered utility entities (i.e. ditch / irrigation company) are to be located by contacting the respective representative. Utility service laterals are also to be located prior to beginning excavation or grading. It shall be the responsibility of the Contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- The Contractor is responsible for field locating and verifying elevations of all existing sewer mains, water mains, curbs, gutters and other utilities at the points of connection shown on the plans, and at any utility crossings prior to installing any of the new improvements. If a conflict exists and/or a design modification is required, the Contractor shall coordinate with the Design Engineer to modify the design. Design modification(s) must be approved by the respective entity prior to beginning construction.
- The Contractor shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
- The Contractor shall coordinate and cooperate with the Town of Johnstown, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The Contractor shall be responsible for contacting, in advance, all parties affected by any disruption of any utility service as well as the utility companies.
- The Contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts. In general, sanitary sewer and storm sewer should be constructed prior to installation of the water lines and dry utilities.
- All domestic water construction shall be per the Town of Johnstown Standard Construction Specifications current at the time of construction.
- A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or if water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States. It shall be the responsibility of the Contractor to obtain such permits.
- The Contractor shall be responsible for obtaining and complying with all terms and conditions of the Colorado Permit for Storm Water Discharge (Contact Colorado Department of Health, Water Quality Control Division, 303-692-3590), the Storm Water Management Plan (SWMP), and the Erosion Control Plan.
- Certain earth moving activities require a Construction Permit through the Colorado Department of Health and Environment (Air Pollution Control Division, 303-692-3150) to ensure compliance with air quality regulations. Such activities require submission of an Air Pollutant Emission Notice (APEN) and a Fugitive Dust Control Plan. The Contractor shall be responsible for all necessary permits, notices and control plans.
- The Contractor shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction. The Contractor shall notify the Town of Johnstown at least 2 working days prior to the start of any earth disturbing activity, or construction on any and all public improvements. If the Public Works Inspector is not available after proper notice of construction activity has been provided, the Contractor may commence work in the Public Works Inspector's absence; however, the Town reserves the right not to accept the improvements if subsequent testing reveals an improper installation.
- The Contractor shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system. Mud and debris must be removed within 72 hours by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.) or as approved by the Town of Severance.
- All utility installations within or across the roadbed of new residential roads must be completed prior to the final stages of road construction. For the purposes of these standards, any work except c/g above the subgrade is considered final stage work. All service lines must be stubbed, at a minimum, to the property lines and marked so as to reduce the excavation necessary for building connections.
- The Contractor shall be responsible for obtaining soils tests within the Public Right-of-Way after right-of-way grading and all utility trench work is complete and prior to the placement of curb, gutter, sidewalk and pavement. If the final soils/pavement design report does not correspond with the results of the original geotechnical report, the Contractor shall be responsible for a re-design of the subject pavement section. All final soils/pavement design reports shall be prepared by a licensed Professional Engineer. The final report shall be submitted to the Town a minimum of 10 working days prior to placement of base and asphalt. Placement of curb, gutter, sidewalk, base and asphalt shall not occur until the Town approves the final report.
- When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition. The existing street condition shall be documented by the Local Inspector before any cuts are made. Patching shall be done in accordance with the appropriate street repair standards. The finished patch shall blend in smoothly with the existing surface. All large patches shall be paved with an asphalt lay-down machine.
- The Contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control, and security. Refer to OSHA Publication 2226, Excavating and Trenching.
- The Contractor shall submit a Construction Traffic Control Plan, in accordance with MUTCD, to the appropriate Right-of-Way authority for approval, prior to any construction activities within, or affecting, the Right-of-Way. The Contractor shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- The Contractor is responsible for all costs for the initial installation of traffic signing and striping for the Development related to the Development's local street operations. In addition, the Contractor is responsible for all costs for traffic signing and striping related to directing traffic access to and from the Development.
- The Contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements, shown on these drawings, or designated to be provided, installed, or constructed, unless specifically noted otherwise.
- Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the Designer for clarification, and annotate the dimension on the as-built Record Drawings.
- The Contractor shall have, on-site at all times, a SWMP, a BMP maintenance log, one (1) signed copy of the approved plans, one (1) copy of the appropriate standards and specifications, and a copy of any permits and extension agreements needed for the job.
- If, during the construction process, conditions are encountered which could indicate a situation that is not identified in the plans or specifications, the Contractor shall contact the Designer and the Town immediately.
- The Contractor shall be responsible for recording as-built information on a set of Record Drawings kept on the construction site, and available to the Town Inspector at all times. Upon completion of the work, the Contractor(s) shall submit Record Drawings to the Town and other respective entities.

GRADING AND EROSION CONTROL NOTES:

- There shall be no earth-disturbing activity outside the limits designated on the approved plans.
- All required perimeter silt and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc). All other required erosion control measures shall be installed at the appropriate time in the construction sequence as indicated in the approved project schedule, construction plans, and erosion control report.
- At all times during construction, the Contractor shall be responsible for preventing and controlling on-site erosion, including keeping the property sufficiently watered so as to minimize wind blown sediment. The Contractor shall also be responsible for installing and maintaining all erosion control facilities shown herein.
- Pre-disturbance vegetation shall be protected and retained wherever possible. Removal or disturbance of existing vegetation shall be limited to the area(s) required for immediate construction operations, and for the shortest practical period of time.
- All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed. No soils in areas outside project street rights-of-way shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Town.
- In order to minimize erosion potential, all temporary (structural) erosion control measures shall:
 - Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
 - Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the Local Inspector.
 - Be removed after the site has been sufficiently stabilized as determined by the Local Inspector.
- When temporary erosion control measures are removed, the Contractor shall be responsible for the clean-up and removal of all sediment and debris from all drainage infrastructure and other public facilities. Note that sediment which has collected within the site's drainage system is also considered unstable soil and must be removed prior to the site being considered fully stabilized.
- The Contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights-of-way, and make sure streets and walkways are cleaned at the end of each working day.
- All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.
- No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing. Any soil stockpile remaining after thirty (30) days shall be seeded and mulched.
- The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the Town or Metropolitan District.
- Local and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites. Pollutants include, but are not limited to, discarded building materials, concrete truck washout, chemicals, oil and gas products, litter, and sanitary waste. The Contractor shall at all times take whatever measures are necessary to assure the proper containment and disposal of pollutants on the site in accordance with any and all applicable local, state, and federal regulations.
- A designated area shall be provided on-site for concrete truck chute washout. The area shall be constructed so as to contain washout material and located at least fifty (50) feet away from any roadway during construction. Upon completion of construction activities the concrete washout material will be removed and properly disposed of prior to the area being restored.
- A Vehicle Tracking Pad shall be installed whenever it is necessary for construction equipment, including but not limited to personal vehicles, accessing existing roadways. No earthen materials (i.e., stone, dirt, etc.) shall be placed in the curb & gutter or roadway as a ramp to access temporary stockpiles, construction materials and/or building sites.
- Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Contractor shall implement whatever measures are determined necessary, as directed by Local Inspector.
- It shall be the responsibility of the individual home builders to implement appropriate erosion control measures for each lot during construction. This includes, but is not limited to, preventing sediment and construction debris from leaving the lot via wind or precipitation, and preventing mud from being tracked onto adjacent streets. Such measures shall remain in place until the lot is fully stabilized.

STREET IMPROVEMENT NOTES:

- Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint. The Contractor shall be required to remove existing pavement to a distance where a clean construction joint can be made. Wheel cuts shall not be allowed unless approved by the Town.
- Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation. No base material shall be laid until the subgrade has been inspected and approved by the Local Entity.
- Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay.
- All traffic control devices shall be in conformance with these plans or as otherwise specified in M.U.T.C.D. (including Colorado supplement) and as per the Right-of-Way Work Permit traffic control plan.
- The Contractor is required to perform a gutter water flow test in the presence of the Local Inspector and prior to installation of asphalt. Gutters that hold more than 1/4 inch deep or 5 feet longitudinally, of water, shall be completely removed and reconstructed to drain properly.
- Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the subgrade material (when a full depth section is proposed) or on the subgrade and base material (when a composite section is proposed), a mechanical "proof roll" will be required. The entire subgrade and/or base material shall be rolled with a heavily loaded vehicle having a total GVW of not less than 50,000 lbs. and a single axle weight of at least 18,000 lbs. with pneumatic tires inflated to not less than 90 p.s.i.g. "Proof roll" vehicles shall not travel at speeds greater than 3 m.p.h. Any portion of the subgrade or base material which exhibits excessive pumping or deformation, as determined by the Local Inspector, shall be reworked, replaced or otherwise modified to form a smooth, non-yielding surface. The Local Entity shall be notified at least 24 hours prior to the "proof roll." All "proof rolls" shall be performed in the presence of an inspector.
- Curb and gutter shall not be scaled or graphically utilized in the plan view whatsoever. All streets shall be constructed per the given flowline information, and the respective curb and gutter section per the Town of Johnstown details. Contractor shall hold the flowline horizontal and vertical alignments, and make whatever adjustments may be necessary for this curb type.

TRAFFIC SIGNING AND PAVEMENT MARKING CONSTRUCTION NOTES:

- All symbols, including arrows, ONLYS, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
- All signage shall be per Local Standards and these plans or as otherwise specified in MUTCD.
- All lane lines for asphalt pavement shall receive two coats of approved epoxy paint with glass beads.
- All lane lines for concrete pavement shall be epoxy paint.
- Pre-formed thermo-plastic applications shall be as specified in the Local Standards.
- Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
- All surfaces shall be thoroughly cleaned prior to installation of striping or markings.
- All sign posts shall utilize break-away assemblies and fasteners.
- The Contractor installing signs shall be responsible for locating and protecting all underground utilities.
- Special care shall be taken in sign location to ensure an unobstructed view of each sign.
- Sleeves for sign posts shall be required for use in concrete islands/medians.

TOWN OF JOHNSTOWN - GENERAL UTILITY NOTES:

- All water and sanitary sewer construction shall be performed according to the Town of Johnstown standards and specifications.
- Construction of water and sewer facilities require a pre-con meeting with Town operations staff prior to construction.
- Contractor shall notify Town inspectors prior to starting work.
- Contractor shall contact the Town for sewer inspection 48 hours prior to connecting to existing sewer stubs.
- All commercial domestic services require a reduced pressure backflow prevention device.
- All water lines shall be a minimum of (5) five feet and a maximum of (6) feet below final grade.
- All water and sewer shall only be operated by Town operations staff.
- Pipe Pressure and vacuum testing shall be witnessed by Town inspectors. Waterline bacteria tests shall also be taken by Town inspectors.
- Once the system is operational and all tests have passed, contractor shall request substantial completion with a letter to the Town that includes the dollar value of the water and sewer improvements listed separately.
- As-builts shall be submitted in pdf and dwg to the Town for final approval.
- If groundwater is encountered within the depth of sewer construction, manholes must be water-proofed.
- The size, type and location of all known underground utilities are approximate when shown on these drawings. It shall be the responsibility of the contractor to verify the existence of all underground utilities in the area of work. Before commencing new construction, the contractor shall be responsible for locating all underground utilities and shall be responsible for all unknown underground utilities.
- All water fittings and valves are only graphically represented and are not to scale.
- Manhole rim elevations are to be adjusted to 1/2" below finished grade. If necessary, cone sections shall be rotated to prevent lids being located within bicycle or vehicle wheel paths

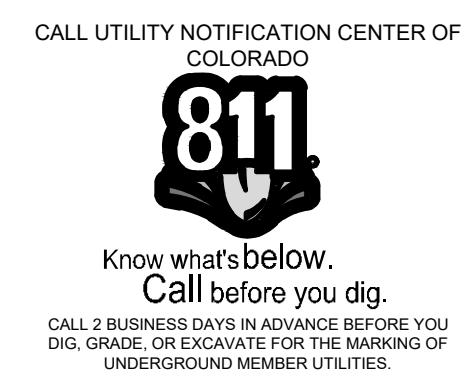
DATE: 11/12/21
 Revisions:
 No. 1
REVIEW SET
NOT FOR CONSTRUCTION

These drawings are instruments of service provided by Northern Engineering Services, Inc. for the project identified herein. No other use, reproduction, or any type of construction unless signed and sealed by the engineer is permitted. The employee of Northern Engineering Services, Inc.

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 4000 E. 1st Ave., Suite 100, B021
 Fort Collins, CO 80501

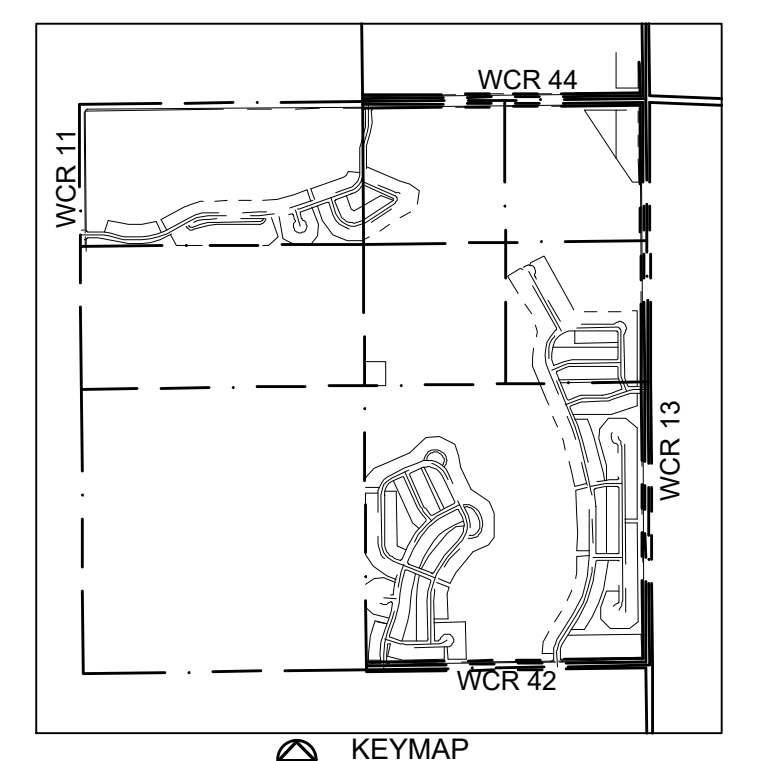
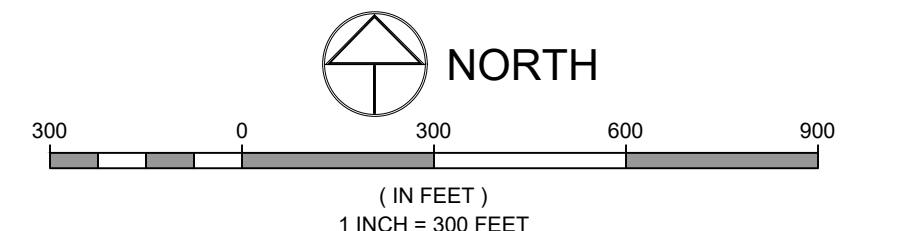
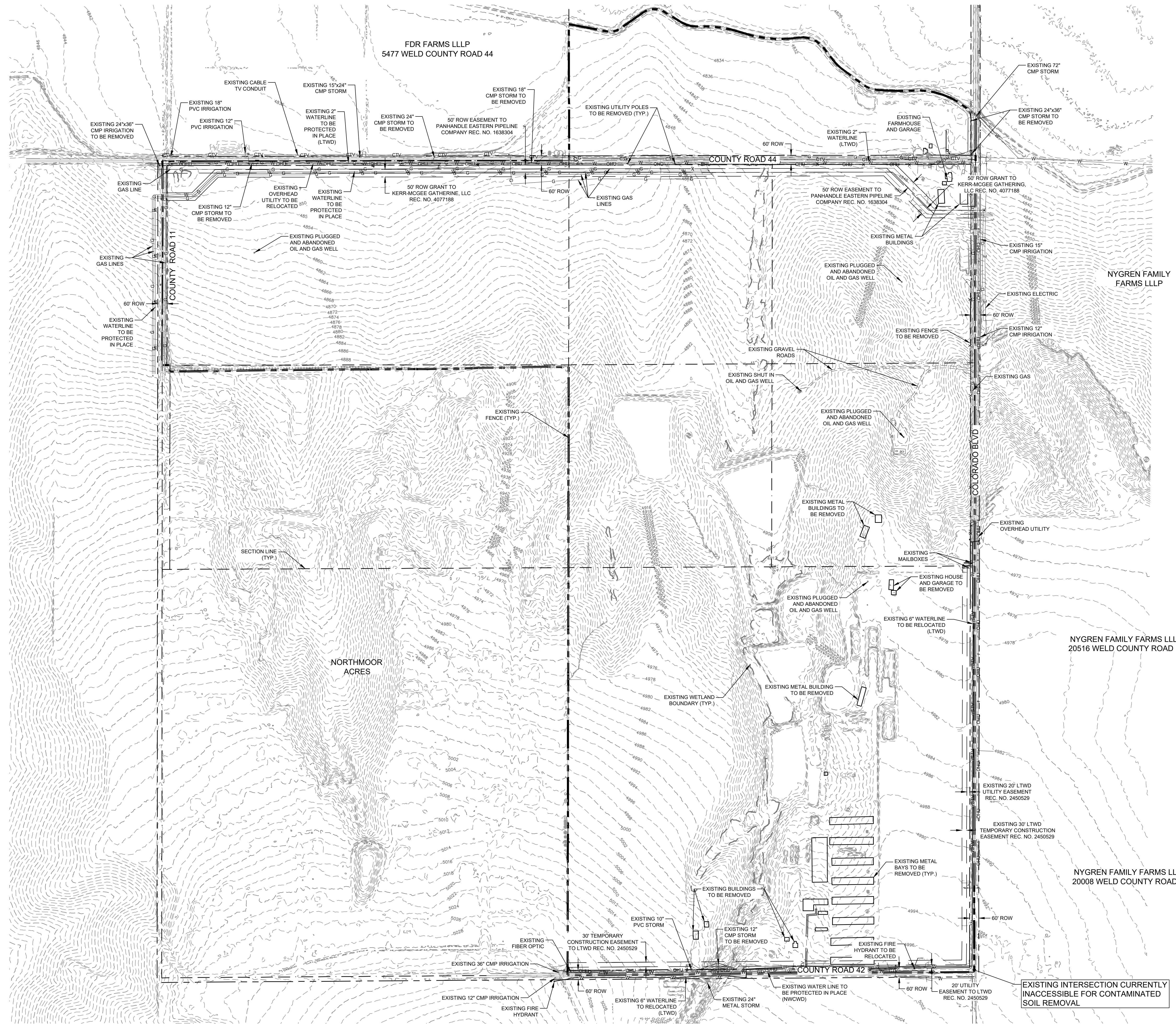
PROJECT: 1659-C01	DATE: 11/12/21
DESIGNED BY: B. Ruch	SCALE: N/A
DRAWN BY: C. Ungermann	P. MANAGER: D. Weber

PODTBURG PROPERTY
GENERAL & CONSTRUCTION NOTES



DRAWING FILENAME: P:\1659-C01\1659-C01-CORP.dwg LAYOUT NAME: CS2 DATE: Nov 12, 2021 11:18am CAD OPERATOR: bwr LIST OF SHEETS: [1659-C01-MS2-000009]

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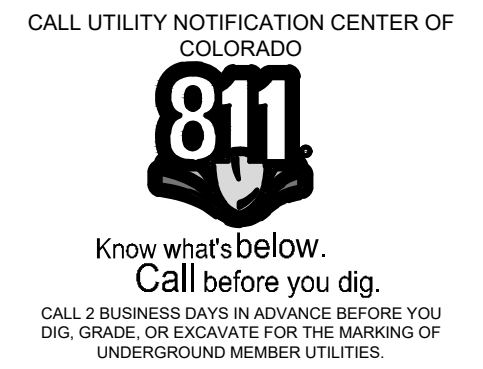
PROJECT BOUNDARY	---
EXISTING RIGHT-OF-WAY	---
EXISTING MAJOR CONTOUR	-5015-
EXISTING MINOR CONTOUR	-5013-
EXISTING STORM SEWER	---
EXISTING TELEPHONE	T
EXISTING GAS	G
EXISTING SANITARY SEWER	SS
EXISTING WATER	W
EXISTING ELECTRIC	E
EXISTING FIBER OPTIC	FO
EXISTING CABLE	CTV
EXISTING OVERHEAD UTILITY	OHE
EXISTING FENCE	X
EXISTING ELECTRIC VAULT	EV
EXISTING FIRE HYDRANT	EH
EXISTING IRRIGATION BOX	IB
EXISTING WATER METER	WM
EXISTING GAS METER	GM
EXISTING TELEPHONE PEDESTAL	TP
EXISTING TREES (TO REMAIN)	○
EXISTING TREES (TO BE REMOVED)	⊗

FIELD SURVEY BY:

NORTHERN ENGINEERING
PROJECT NO. 1659-001
DATE: MAY 26, 2021

NOTES:

1. THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION, REMOVAL, REPLACEMENT, AND DISPOSAL OF ALL FACILITIES AND MATERIAL.
3. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE, RE-USE, AND RECYCLING OF MATERIALS. THIS INCLUDES APPROPRIATE SORTING AND STORING. IN PARTICULAR, DEMOLISHED CONCRETE, ASPHALT, AND BASE COURSE SHOULD BE RECYCLED IF POSSIBLE.
4. ALL SYMBOLS ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
5. CONTACT THE PROJECT SURVEYOR FOR ANY INQUIRIES RELATED TO THE EXISTING SITE SURVEY.



Date: 11/12/21
REVIEW SET
 NOT FOR CONSTRUCTION
 11/12/21

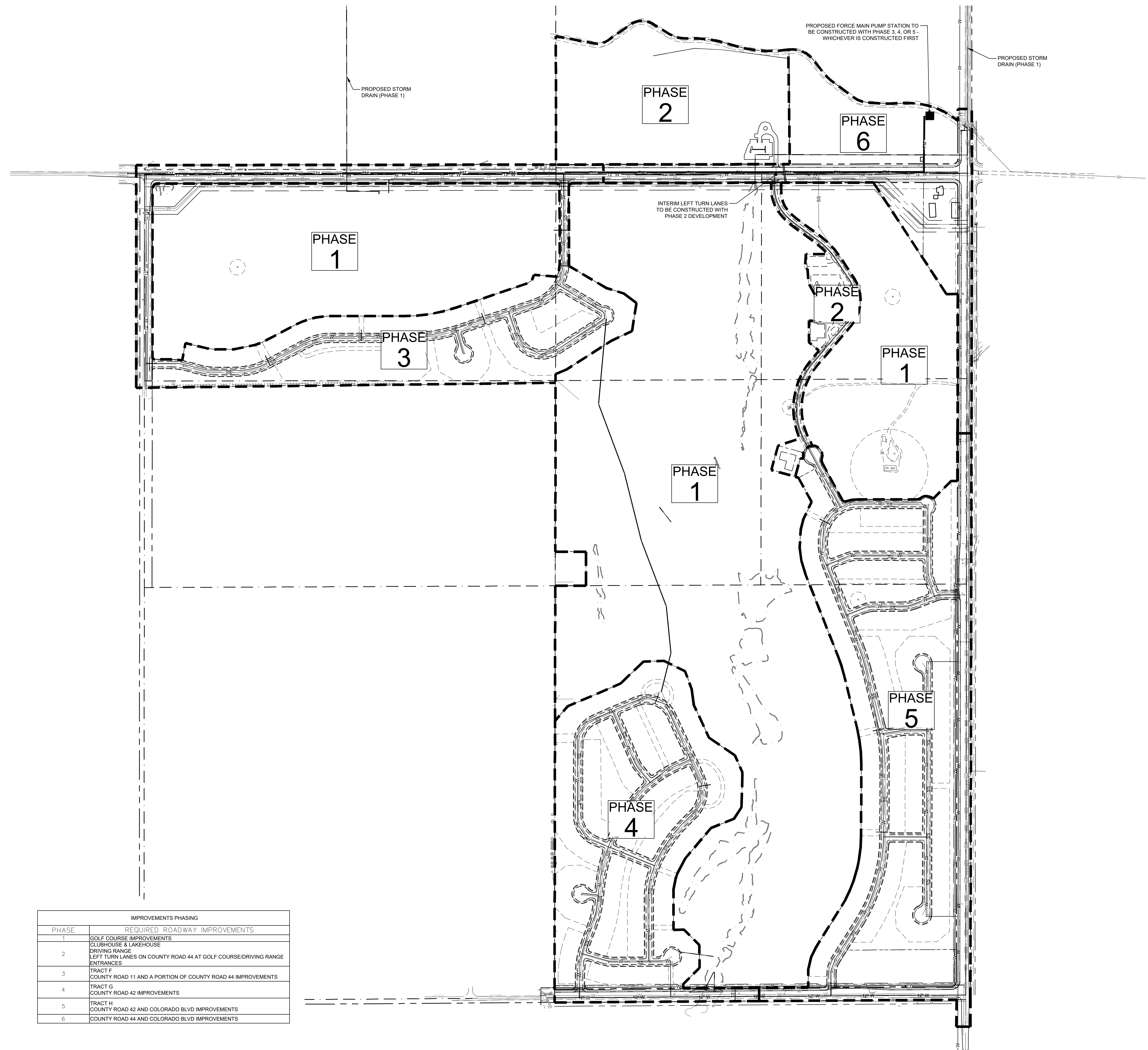
These drawings are instruments of service provided by Northern Engineering Services, Inc. in accordance with the terms of a contract for professional engineering services. No liability is assumed by Northern Engineering Services, Inc. for any type of construction unless signed and sealed by the professional engineer in the employ of Northern Engineering Services, Inc.

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 Greeley, CO 80631

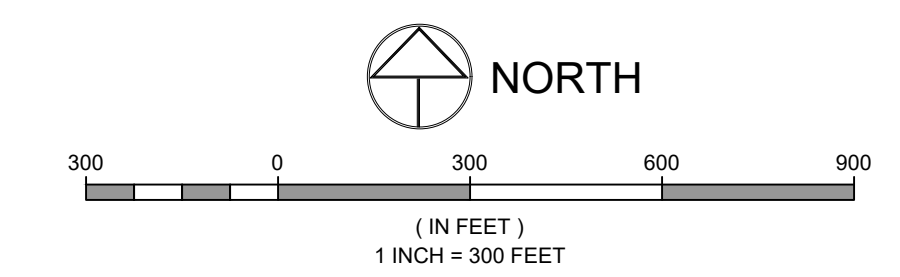
PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 100'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

POTBURG PROPERTY
EXISTING CONDITIONS & DEMOLITION PLAN

DRAWING FILENAME: P:\1659-001\1659-001_PHASE.dwg LAYOUT NAME: PH1 DATE: Nov 12, 2021 11:17am CAD OPERATOR: km
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IMPROVEMENTS PHASING	
PHASE	REQUIRED ROADWAY IMPROVEMENTS
1	GOLF COURSE IMPROVEMENTS CLUBHOUSE & LAKEHOUSE DRIVING RANGE LEFT TURN LANES ON COUNTY ROAD 44 AT GOLF COURSE/DRIVING RANGE ENTRANCES
2	TRACT F COUNTY ROAD 11 AND A PORTION OF COUNTY ROAD 44 IMPROVEMENTS
3	TRACT G COUNTY ROAD 42 IMPROVEMENTS
4	TRACT H COUNTY ROAD 42 AND COLORADO BLVD IMPROVEMENTS
5	COUNTY ROAD 44 AND COLORADO BLVD IMPROVEMENTS
6	



- LEGEND:**
- PROJECT BOUNDARY
 - PHASE LINE
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER

- NOTES:**
- PHASE LINES SHOWN DELINEATE THE LOTS AND/OR AREAS THAT ARE INCLUDED WITHIN A PHASE. DEPENDING ON CONSTRUCTION SEQUENCING, INSTALLATION OF INFRASTRUCTURE OUTSIDE THE LIMITS OF THE PHASE MAY BE REQUIRED.
 - DEPENDING ON CONSTRUCTION SEQUENCING, PREVIOUSLY CONSTRUCTED ROADWAYS MAY REQUIRE SAWCUTS, MILLING AND/OR PATCHING OF ASPHALT. FINAL LIMITS WILL BE DETERMINED IN THE FIELD BY THE TOWN ENGINEERING INSPECTOR. ALL PATCHING AND STREET REPAIRS SHALL BE IN ACCORDANCE WITH TOWN STANDARDS.
 - THE PHASING DESIGNATIONS SHOWN ARE FOR REFERENCE ONLY AND MAY NOT HAVE ANY RELATIONSHIP TO THE ACTUAL ORDER OF CONSTRUCTION.

Date: 11/12/21
Revisions:
REVIEW SET
NOT FOR CONSTRUCTION
11/12/21

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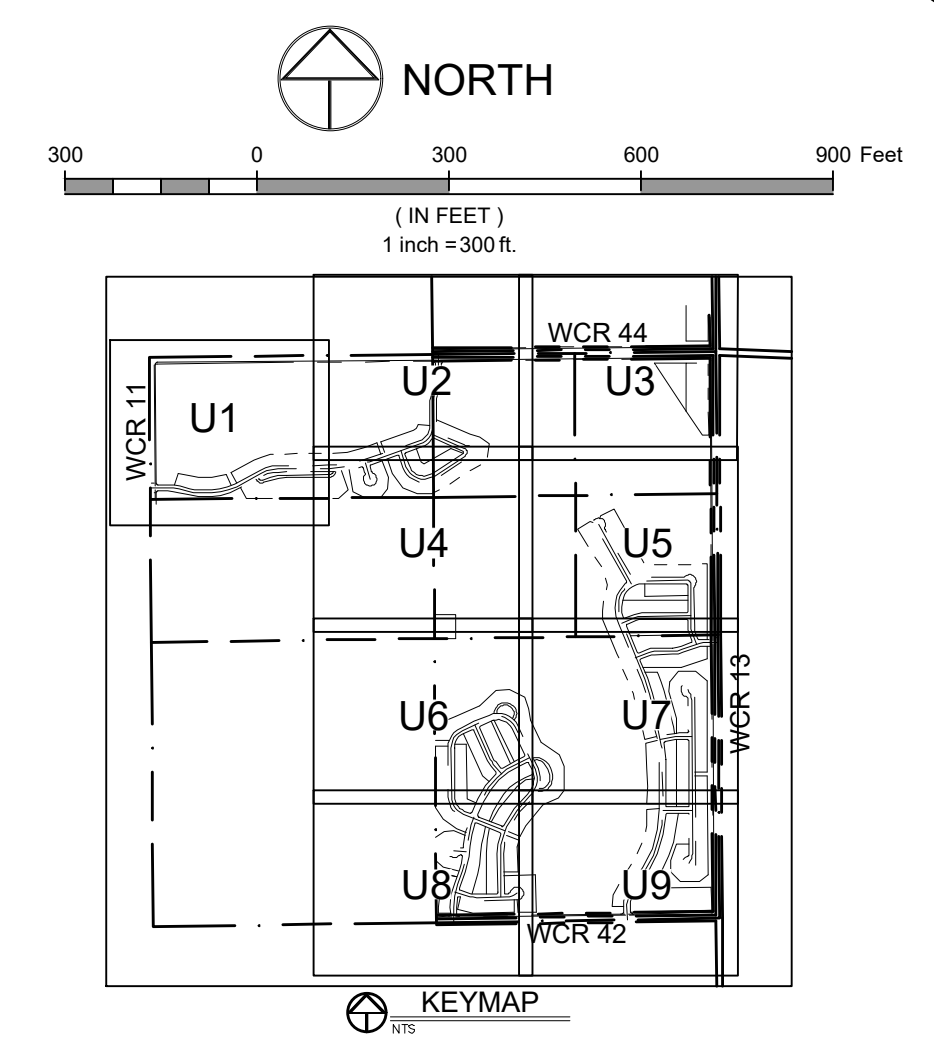
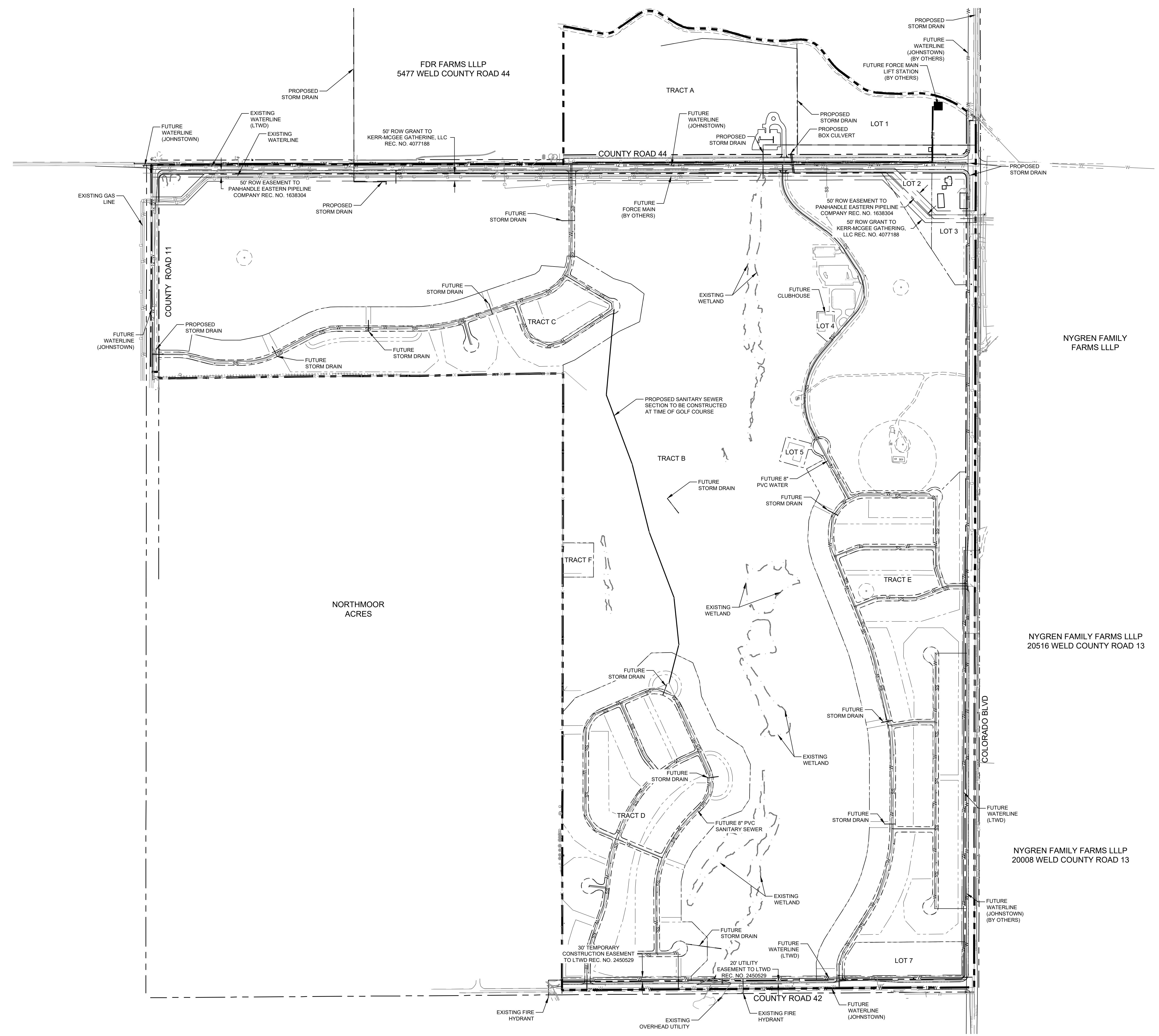
NORTHERN ENGINEERING
970.231.4158
nortneng.com
FOOT COLLINS, 301 North Hovea Street, Suite 100, 80521
GREELEY, 820 8th Street, 80631

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 300'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

PODTBURG PROPERTY
PHASING PLAN

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
Know what's below.
Call before you dig.
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DRAWING FILENAME: P:\1659-001\1659-001_Overall_4.dwg LAYOUT NAME: 001 DATE: Nov 12, 2021 11:17am CAD OPERATOR: baw
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LEGEND:

PROPOSED WATER MAIN	---
EXISTING WATER MAIN	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED SEWER SERVICE	---
PROPOSED WATER SERVICE	---
PROPOSED FIRE HYDRANT	---
EXISTING FIRE HYDRANT	---
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
EXISTING TELEPHONE	---
EXISTING GAS	---
EXISTING CABLE	---
PROPOSED CURB & GUTTER	---
PROPERTY BOUNDARY	---
PROPOSED LOT LINE	---
EXISTING LOT LINE	---
PROPOSED ROW	---
EXISTING ROW	---
EASEMENT LINE	---
PROPOSED STORM INLET	---
PROPOSED STREET LIGHT	---
EXISTING TELEPHONE PEDESTAL	---

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK. BEFORE COMMENCING NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - ALL WATER CONSTRUCTION SHALL BE PER TOWN OF JOHNSTOWN WATER DESIGN STANDARDS, LATEST EDITION.
 - ALL SEWER CONSTRUCTION SHALL BE PER TOWN OF JOHNSTOWN SANITARY SEWER DESIGN STANDARDS, LATEST EDITION.
 - ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 - ALL WATERLINES SHALL HAVE A MINIMUM 5' COVER FROM FINISHED GRADE TO TOP OF PIPE.
 - UTILITY SERVICES ARE SHOWN IN A SCHEMATIC FASHION ONLY. EXACT LOCATIONS SHALL BE PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDERS, AND ARE SUBJECT TO CHANGE IN THE FIELD.
 - MAINTAIN 10' HORIZONTAL AND 18" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, WATER MAINS & SERVICES.
 - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SURVEY INFORMATION.
 - LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE TOWN OF JOHNSTOWN ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH TOWN OF JOHNSTOWN STREET REPAIR STANDARDS.
 - ALL MANHOLE RIM ELEVATIONS (EXISTING & PROPOSED) ARE TO BE ADJUSTED TO 1' BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
 - EXISTING LTWD SERVICES FOR PODTBURG PROPERTY SHALL BE ABANDONED PER DISTRICT STANDARDS AND RELINQUISHED FROM THE DISTRICT. EXISTING LTWD SERVICES SHALL BE RECONNECTED TO RELOCATED DISTRICT WATER LINES.



DATE: 11/12/21
 Revisions:
REVIEW SET
NOT FOR CONSTRUCTION
 11/12/21

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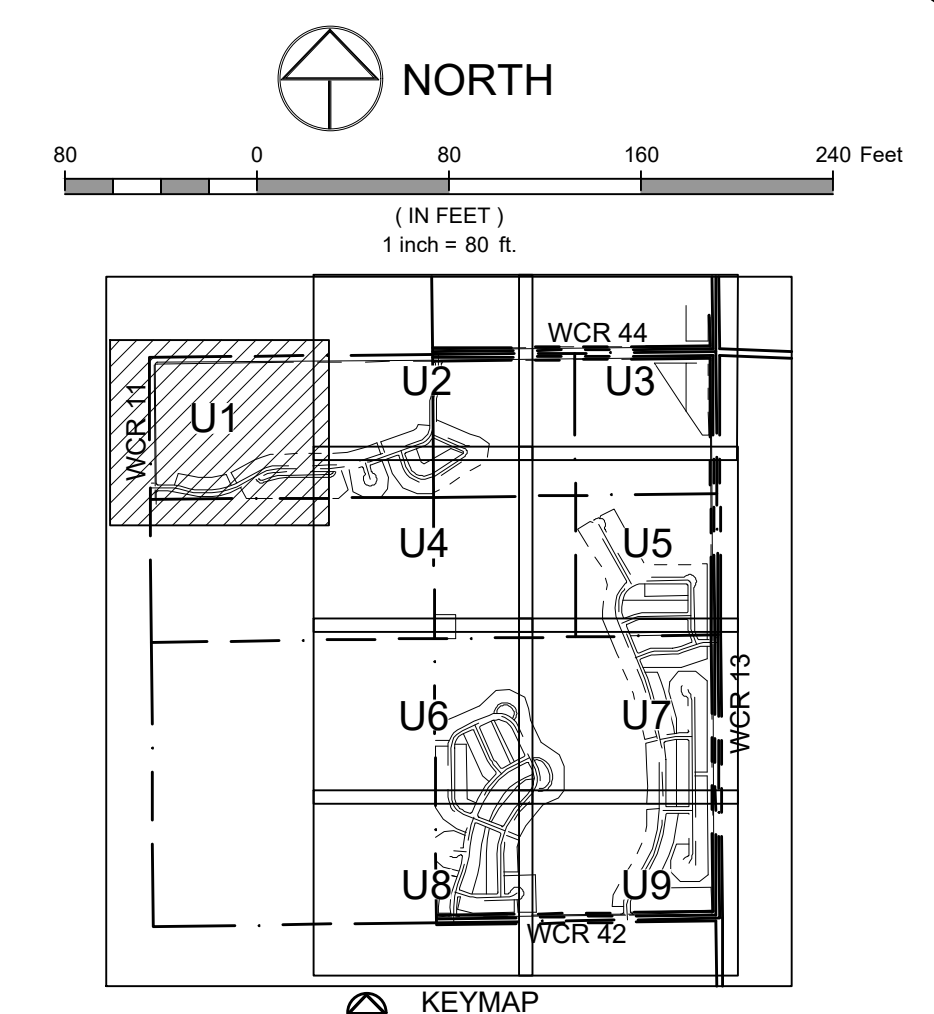
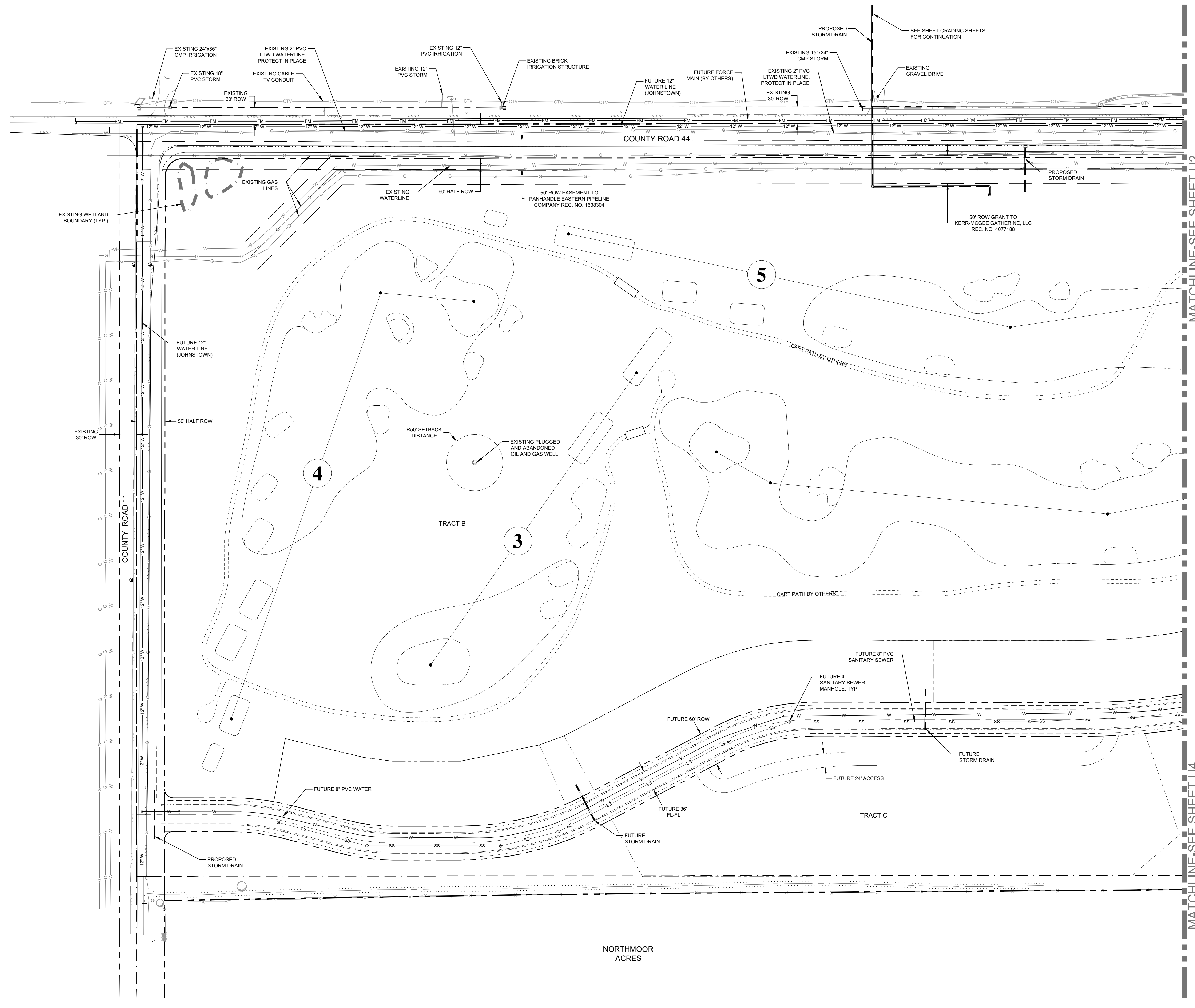
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 GREELEY, 820 8th Street, 80531

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 300'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTBURG PROPERTY
OVERALL UTILITY PLAN

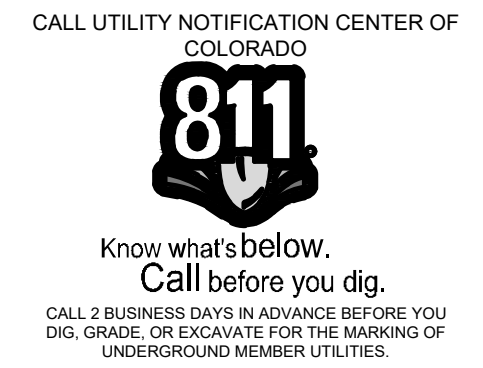
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LEGEND:

PROPOSED WATER MAIN	---
EXISTING WATER MAIN	—W—
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	—SS—
PROPOSED SEWER SERVICE	---
EXISTING SEWER SERVICE	—S—
PROPOSED WATER SERVICE	---
EXISTING WATER SERVICE	—W—
PROPOSED FIRE HYDRANT	●
EXISTING FIRE HYDRANT	■
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	—T—
EXISTING TELEPHONE	---
EXISTING GAS	—G—
EXISTING CABLE	—CTV—
PROPOSED CURB & GUTTER	---
PROPERTY BOUNDARY	---
PROPOSED LOT LINE	---
EXISTING LOT LINE	---
EXISTING ROW	---
EASEMENT LINE	---
PROPOSED STORM INLET	■
PROPOSED STREET LIGHT	■
EXISTING TELEPHONE PEDESTAL	■

- NOTES:**
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 2. ALL WATER CONSTRUCTION SHALL BE PER (LOCAL ENGINEERING STANDARD), LATEST EDITION, EXCEPT FOR THE STANDARDS RELATED TO THE WATER SERVICES, WHICH SHALL BE PER (TOWN OR CITY) STANDARDS, EXCEPT THAT NO MECHANICAL JOINT RESTRAINTS ARE REQUIRED BETWEEN FITTINGS UNLESS SPECIFICALLY SHOWN ON THE PLAN OR AS REQUIRED FOR ABNORMAL DEFLECTIONS.
 3. ALL SEWER CONSTRUCTION SHALL BE PER (LOCAL ENGINEERING STANDARD) SANITARY SEWER DESIGN TECHNICAL CRITERIA MANUAL, LATEST EDITION.
 4. ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
 5. ALL WATERLINES SHALL HAVE A (MINIMUM AND MAXIMUM WATER LINE COVER) FROM FINISHED GRADE TO TOP OF PIPE.
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 10. ALL MANHOLE RIM ELEVATIONS (EXISTING & PROPOSED) ARE TO BE ADJUSTED TO 1/2" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.
 11. ALL WATER SERVICES SHALL BE 2" UNLESS OTHERWISE NOTED.



Date: 11/12/21
 Revisions:
REVIEW SET
NOT FOR CONSTRUCTION
 11/12/21

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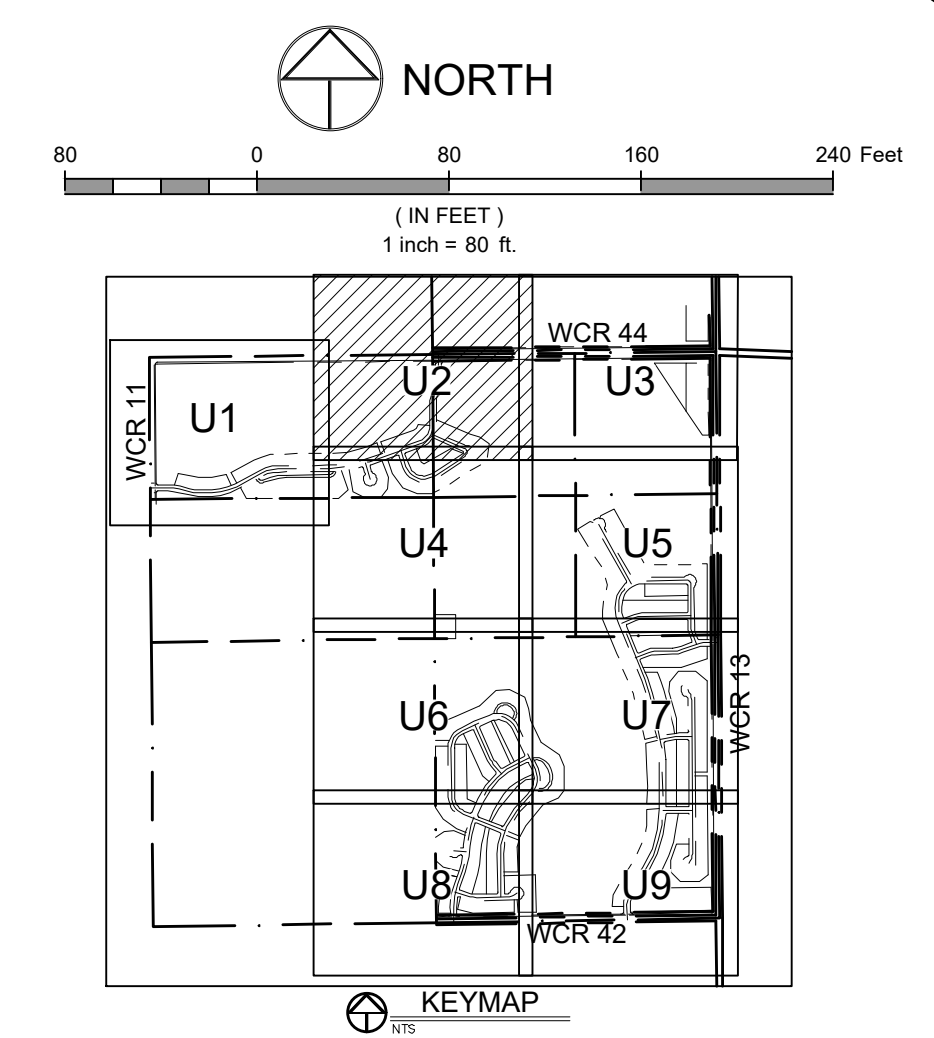
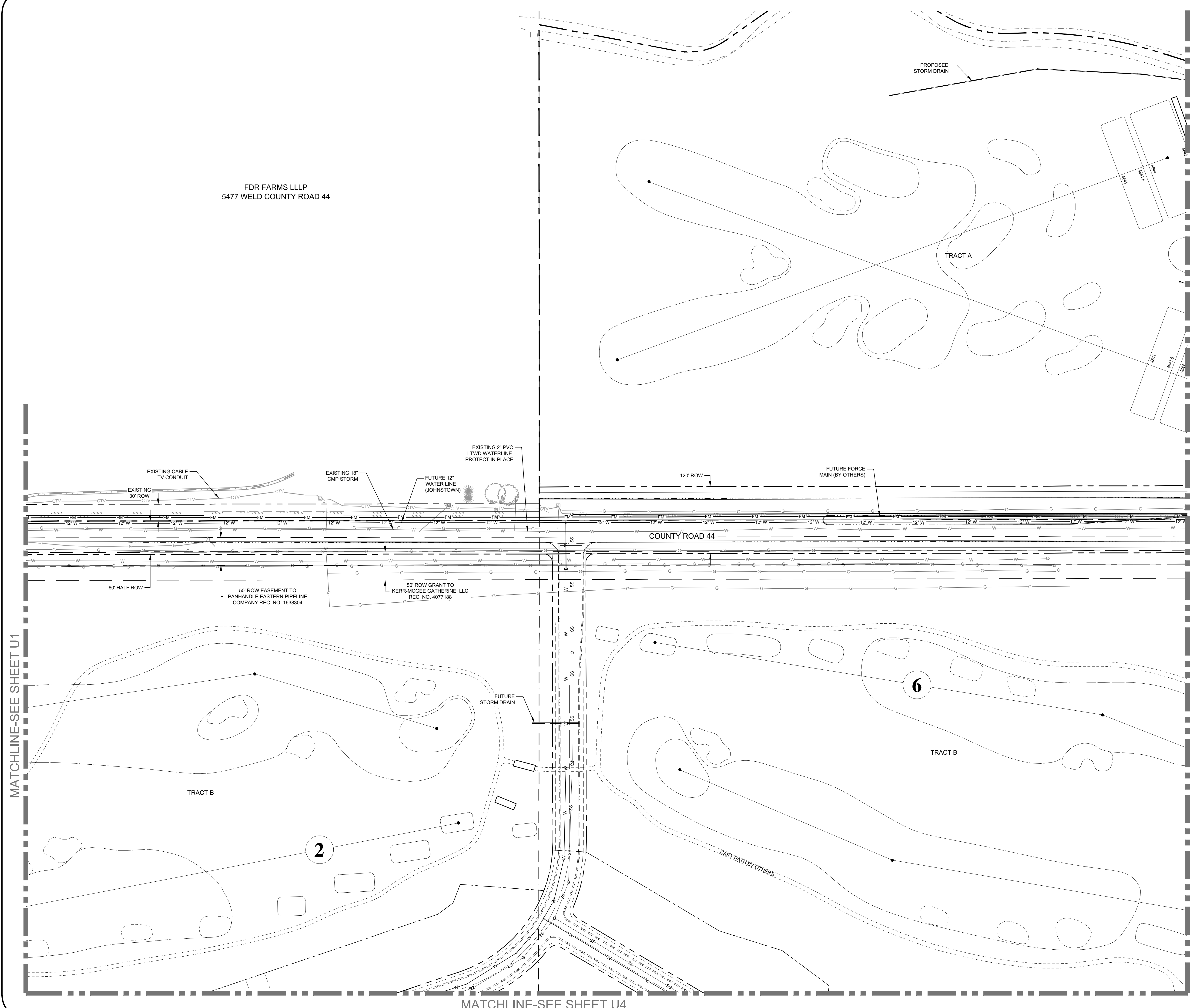
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 301 North Hovey Street, Suite 100, 80521
 Greeley, CO 80631

PROJECT:	1659-C01
DATE:	11/12/21
DESIGNED BY:	B. Ruch
SCALE:	1" = 80'
DRAWN BY:	C. Ungermann
P. MANAGER:	D. Weber

PODTBURG PROPERTY
 UTILITY PLAN

DRAWING FILENAME: P:\1659-000\1659-000_U1_U4.dwg LAYOUT NAME: U2 DATE: Nov 12, 2017 11:59am CAD OPERATOR: bsm
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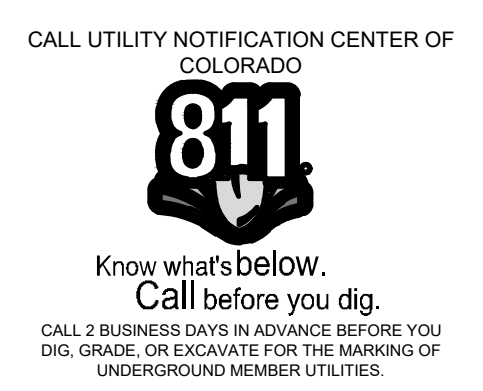
FDR FARMS LLLP
 5477 WELD COUNTY ROAD 44



LEGEND:

PROPOSED WATER MAIN	
EXISTING WATER MAIN	
PROPOSED SANITARY SEWER	
EXISTING SANITARY SEWER	
PROPOSED SEWER SERVICE	
PROPOSED WATER SERVICE	
PROPOSED FIRE HYDRANT	
EXISTING FIRE HYDRANT	
PROPOSED STORM SEWER	
EXISTING STORM SEWER	
EXISTING TELEPHONE	
EXISTING GAS	
EXISTING CABLE	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
PROPOSED ROW	
EXISTING ROW	
EASEMENT LINE	
PROPOSED STORM INLET	
PROPOSED STREET LIGHT	
EXISTING TELEPHONE PEDESTAL	

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 11. ALL WATER SERVICES SHALL BE 2' UNLESS OTHERWISE NOTED.



Revisions:
 No. _____
 Date: 11/12/21
REVIEW SET
NOT FOR CONSTRUCTION

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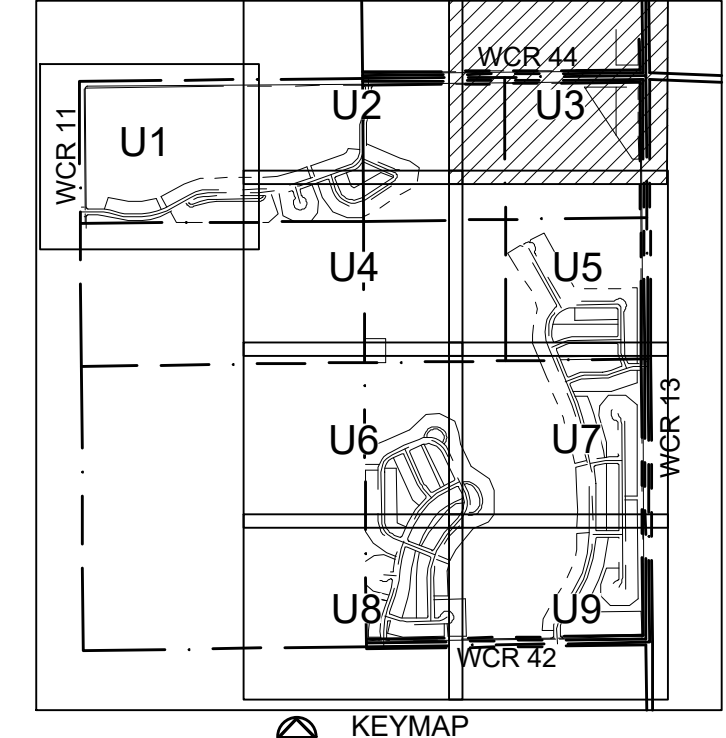
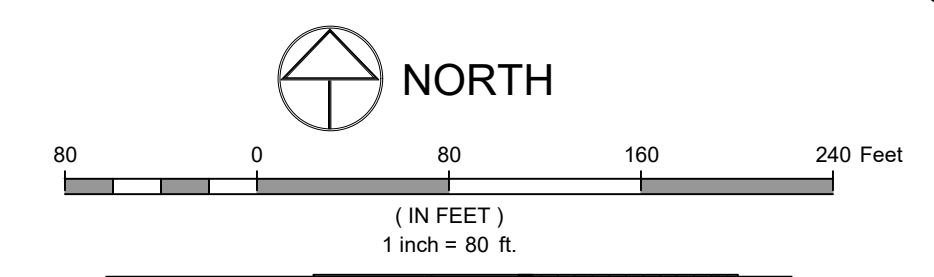
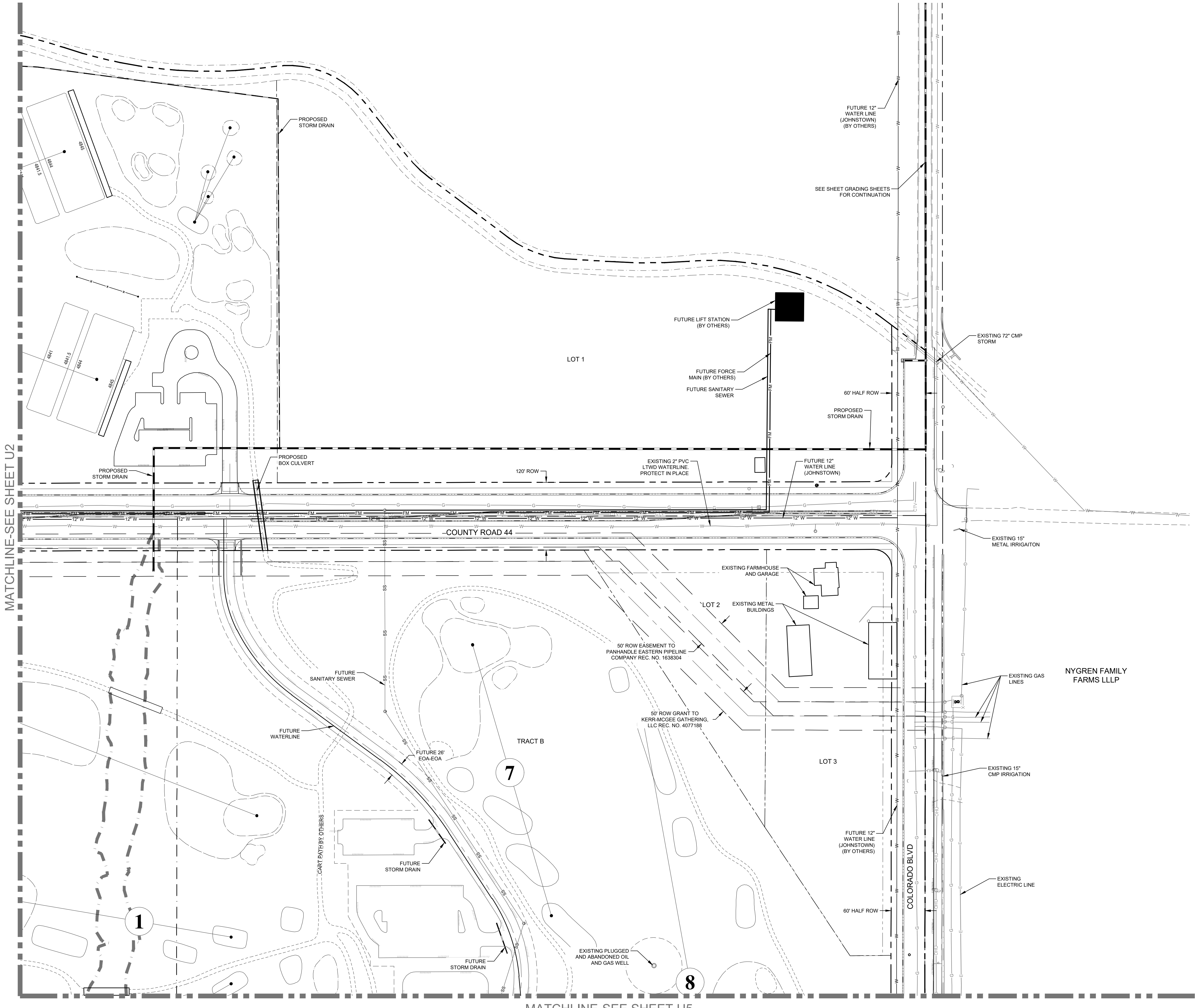
NORTHERN ENGINEERING
 970.231.4158
 north@engr.com
 100, 8021
 301 North Hovea Street, Fort Collins, CO 80521
 802.881.8031
 GREELEY, 802.881.8031

PROJECT: 1659-001
 DATE: 11/12/21
 DESIGNED BY: B. Ruch
 SCALE: 1" = 80'
 DRAWN BY: C. Ungerman
 P. MANAGER: D. Weber

PODTBURG PROPERTY
 UTILITY PLAN

Sheet U2
 7 of 50

DRAWING FILENAME: P:\1659-001\1659-001_U11.dwg LAYOUT NAME: U1 DATE: Nov 12, 2017 11:37am CAD OPERATOR: baw
 LIST OF SHEETS: [1659-001_U11.dwg] [1659-001_U12.dwg] [1659-001_U13.dwg] [1659-001_U14.dwg] [1659-001_U15.dwg] [1659-001_U16.dwg] [1659-001_U17.dwg] [1659-001_U18.dwg] [1659-001_U19.dwg] [1659-001_U20.dwg]



LEGEND:

PROPOSED WATER MAIN	— — —
EXISTING WATER MAIN	— — —
PROPOSED SANITARY SEWER	— — —
EXISTING SANITARY SEWER	— — —
PROPOSED SEWER SERVICE	— — —
PROPOSED WATER SERVICE	— — —
PROPOSED FIRE HYDRANT	— — —
EXISTING FIRE HYDRANT	— — —
PROPOSED STORM SEWER	— — —
EXISTING STORM SEWER	— — —
EXISTING TELEPHONE	— — —
EXISTING GAS	— — —
EXISTING CABLE	— — —
PROPOSED CURB & GUTTER	— — —
PROPERTY BOUNDARY	— — —
PROPOSED LOT LINE	— — —
EXISTING LOT LINE	— — —
PROPOSED ROW	— — —
EXISTING ROW	— — —
EASEMENT LINE	— — —
PROPOSED STORM INLET	— — —
PROPOSED STREET LIGHT	— — —
EXISTING TELEPHONE PEDESTAL	— — —

NOTES:

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 Know what's below.
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Revisions:
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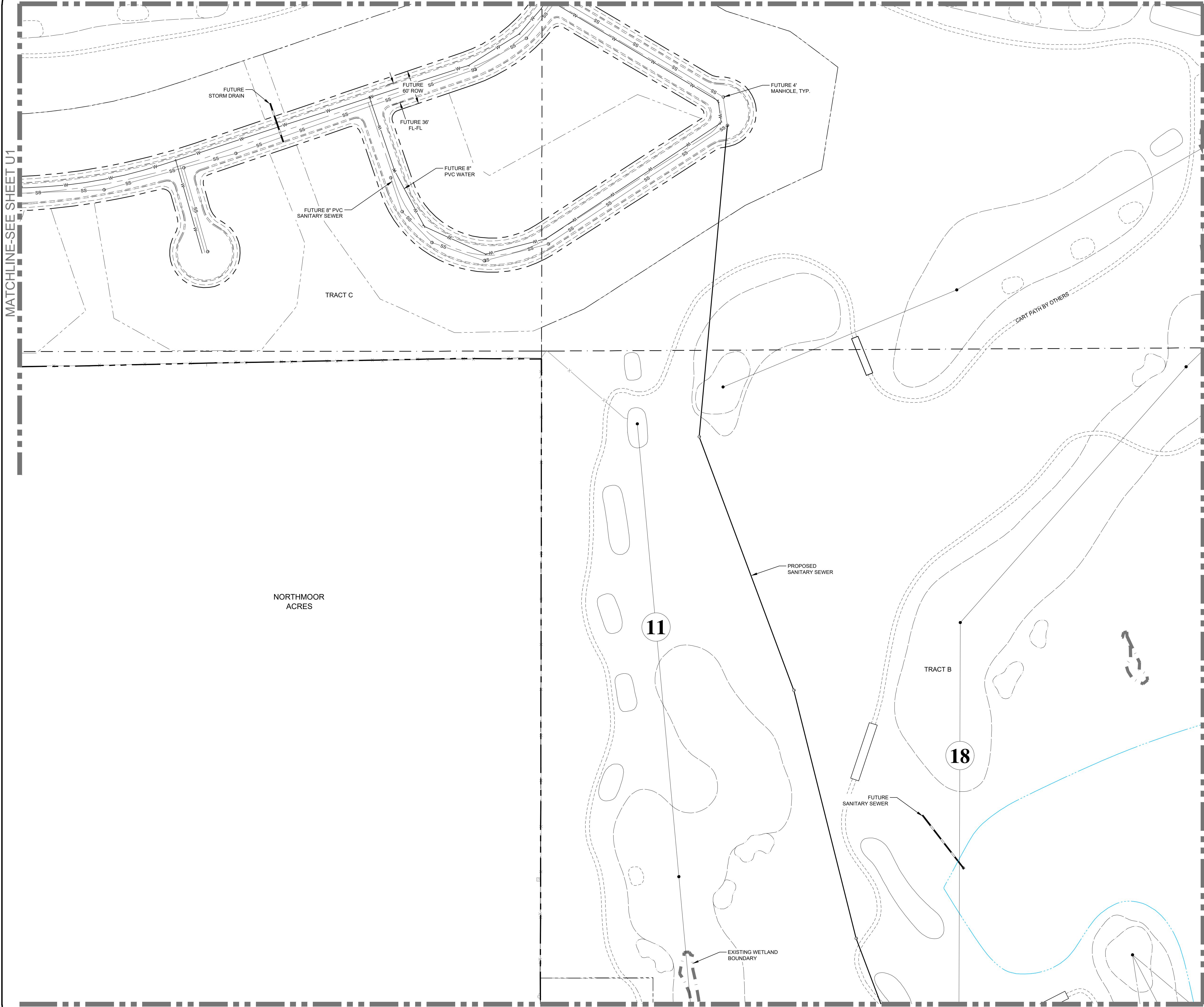
 970.231.4188
 nortneng.com
 FOOT COLLINS, 301 North Hovea Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80631

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

POTDURG PROPERTY
 UTILITY PLAN

DRAWING FILENAME: P:\1659-001\1659-001_U11.dwg LAYOUT NAME: U1 DATE: Nov 12, 2017 11:57am CAD OPERATOR: baw
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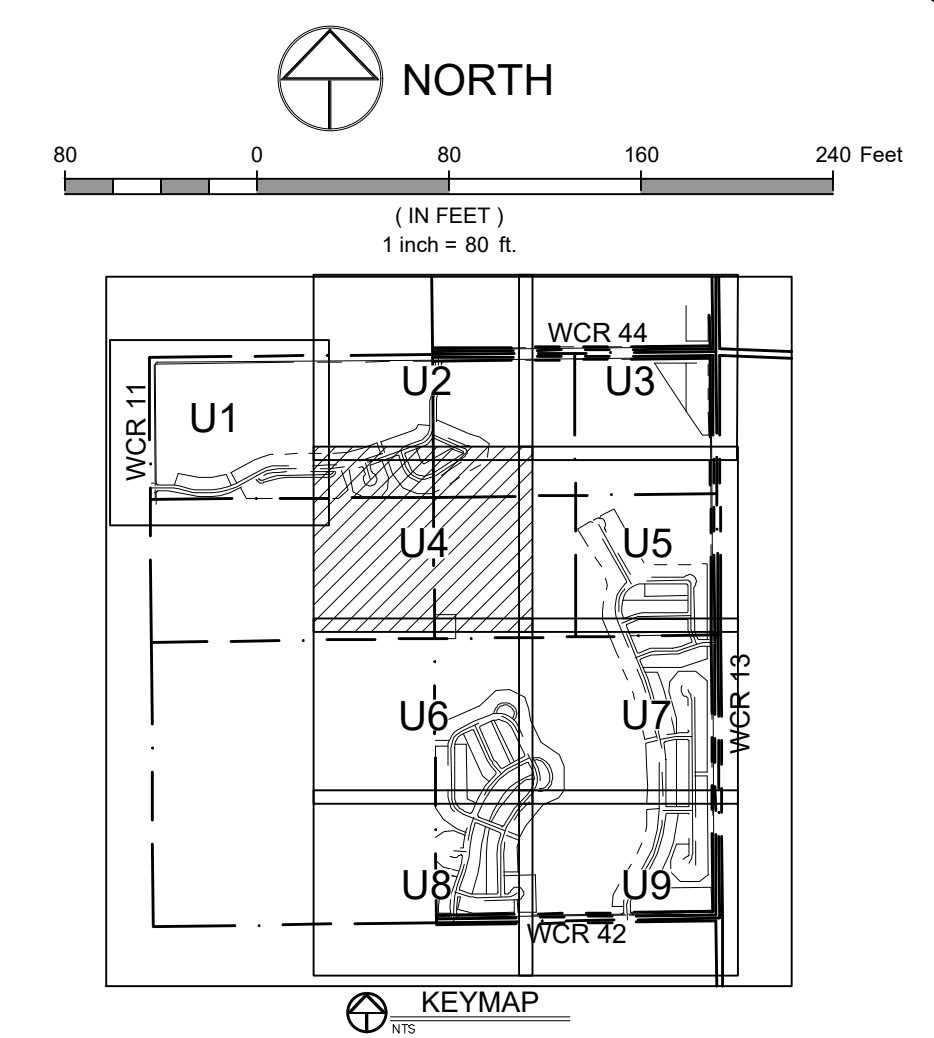
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MATCHLINE-SEE SHEET U1

MATCHLINE-SEE SHEET U5

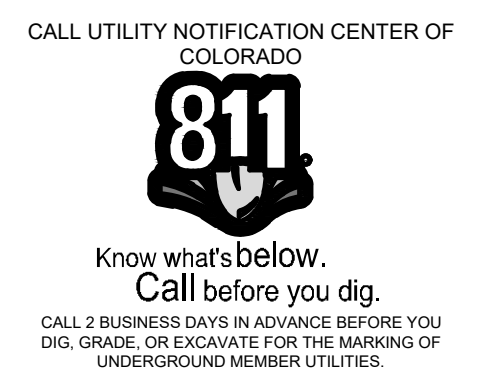
MATCHLINE-SEE SHEET U6



LEGEND:

PROPOSED WATER MAIN	---
EXISTING WATER MAIN	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED SEWER SERVICE	---
PROPOSED WATER SERVICE	---
PROPOSED FIRE HYDRANT	---
EXISTING FIRE HYDRANT	---
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
EXISTING TELEPHONE	---
EXISTING GAS	---
EXISTING CABLE	---
PROPOSED CURB & GUTTER	---
PROPERTY BOUNDARY	---
PROPOSED LOT LINE	---
EXISTING LOT LINE	---
PROPOSED ROW	---
EXISTING ROW	---
EASEMENT LINE	---
PROPOSED STORM INLET	---
PROPOSED STREET LIGHT	---
EXISTING TELEPHONE PEDESTAL	---

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DATE: 11/12/21
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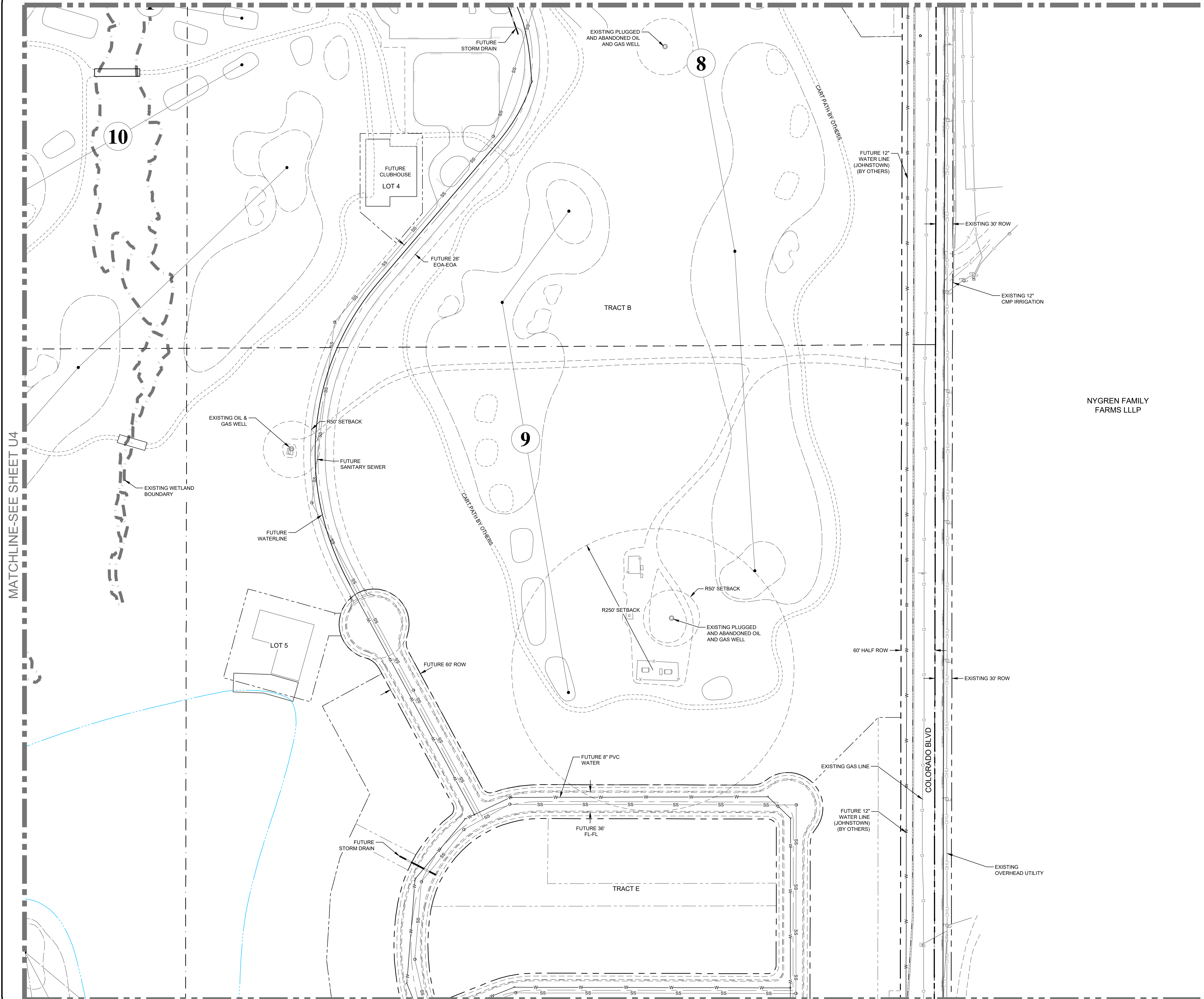
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 970.231.4158
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 FORT COLLINS, CO 1001 North Hovea Street, Suite 100, 80521
 GREELEY, CO 82031 820 8th Street, 80531

PROJECT: 1659-001	DATE: 11/12/21	SCALE: 1" = 80'	P. MANAGER: D. Weber
DESIGNED BY: B. Ruch			
DRAWN BY: C. Ungermann			

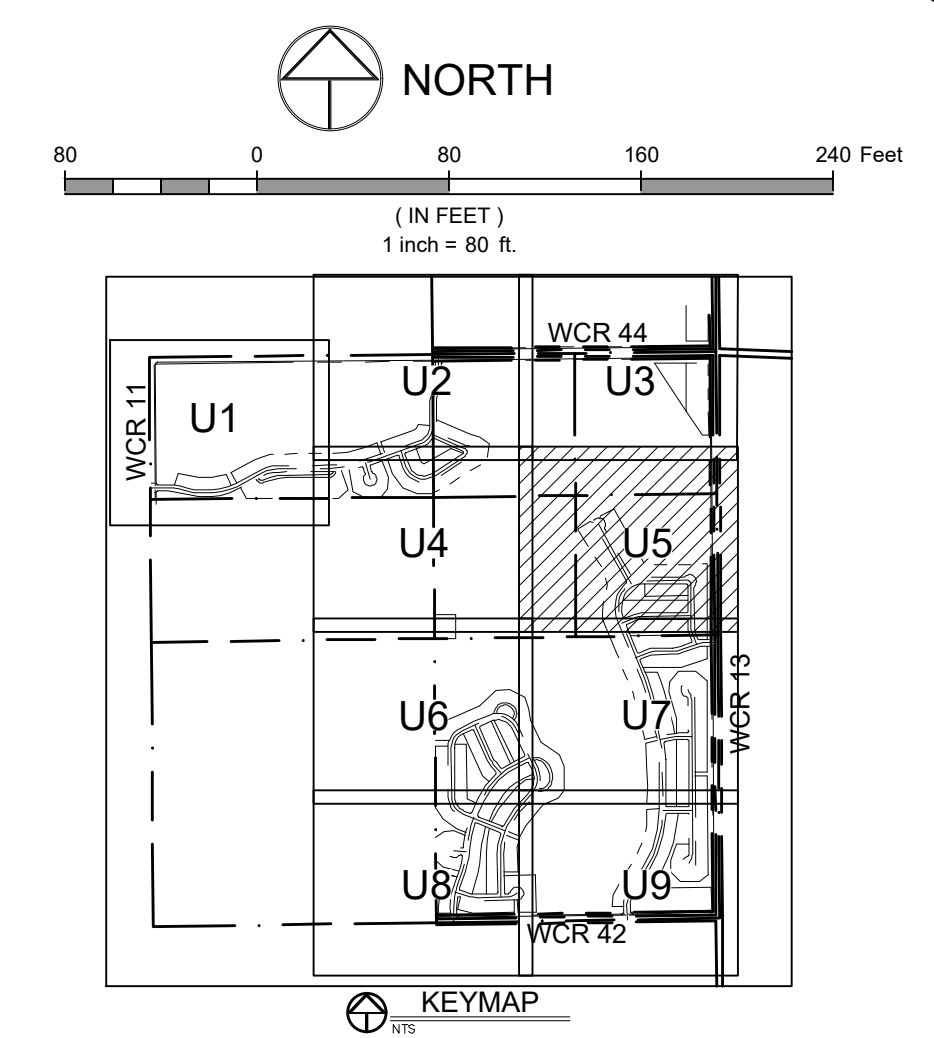
POTDURG PROPERTY
 UTILITY PLAN

DRAWING FILENAME: P:\1659-001\1659-001_U11.dwg DATE: Nov 12, 2017 11:57am CAD OPERATOR: bsm
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MATCHLINE-SEE SHEET U3



MATCHLINE-SEE SHEET U7



LEGEND:

PROPOSED WATER MAIN	---
EXISTING WATER MAIN	—
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	—
PROPOSED SEWER SERVICE	---
EXISTING SEWER SERVICE	—
PROPOSED WATER SERVICE	---
EXISTING WATER SERVICE	—
PROPOSED FIRE HYDRANT	⊙
EXISTING FIRE HYDRANT	⊙
PROPOSED STORM SEWER	---
EXISTING STORM SEWER	—
EXISTING TELEPHONE	---
EXISTING GAS	---
EXISTING CABLE	---
PROPOSED CURB & GUTTER	---
PROPERTY BOUNDARY	---
PROPOSED LOT LINE	---
EXISTING LOT LINE	---
PROPOSED ROW	---
EXISTING ROW	---
EASEMENT LINE	---
PROPOSED STORM INLET	⊙
PROPOSED STREET LIGHT	⊙
EXISTING TELEPHONE PEDESTAL	⊙

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 GREELEY, CO 80631, 80831

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

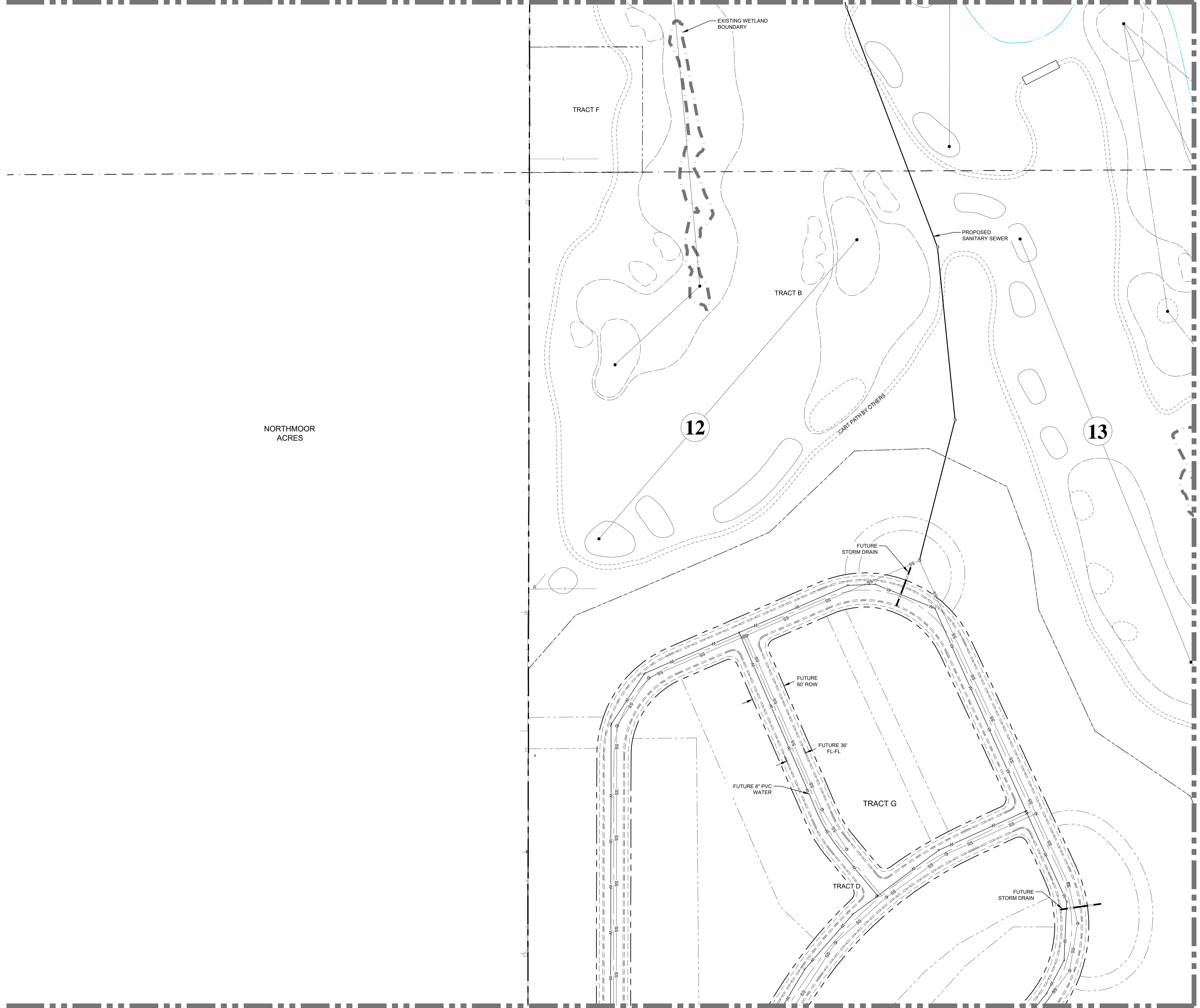
POTDURG PROPERTY
 COLORADO
 UTILITY PLAN

Sheet
U5
 10 of 50

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MATCHLINE-SEE SHEET U8

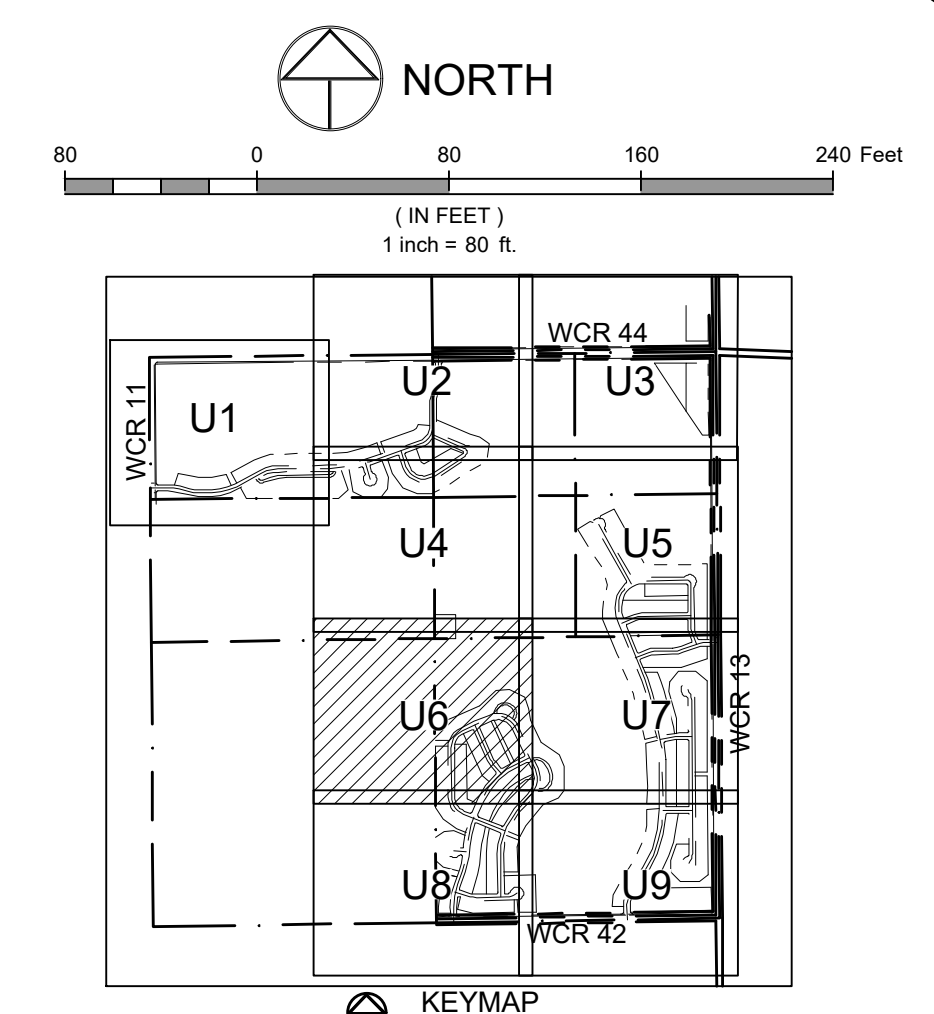


NORTHMOOR ACRES

12

13

MATCHLINE-SEE SHEET U7



LEGEND:

PROPOSED WATER MAIN	
EXISTING WATER MAIN	
PROPOSED SANITARY SEWER	
EXISTING SANITARY SEWER	
PROPOSED SEWER SERVICE	
PROPOSED WATER SERVICE	
PROPOSED FIRE HYDRANT	
EXISTING FIRE HYDRANT	
PROPOSED STORM SEWER	
EXISTING STORM SEWER	
EXISTING TELEPHONE	
EXISTING GAS	
EXISTING CABLE	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
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EXISTING TELEPHONE PEDESTAL	

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NORTHERN ENGINEERING
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 northneng.com
 6802 R Street, Suite 100, 80521
 GREELEY, CO 80631

PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

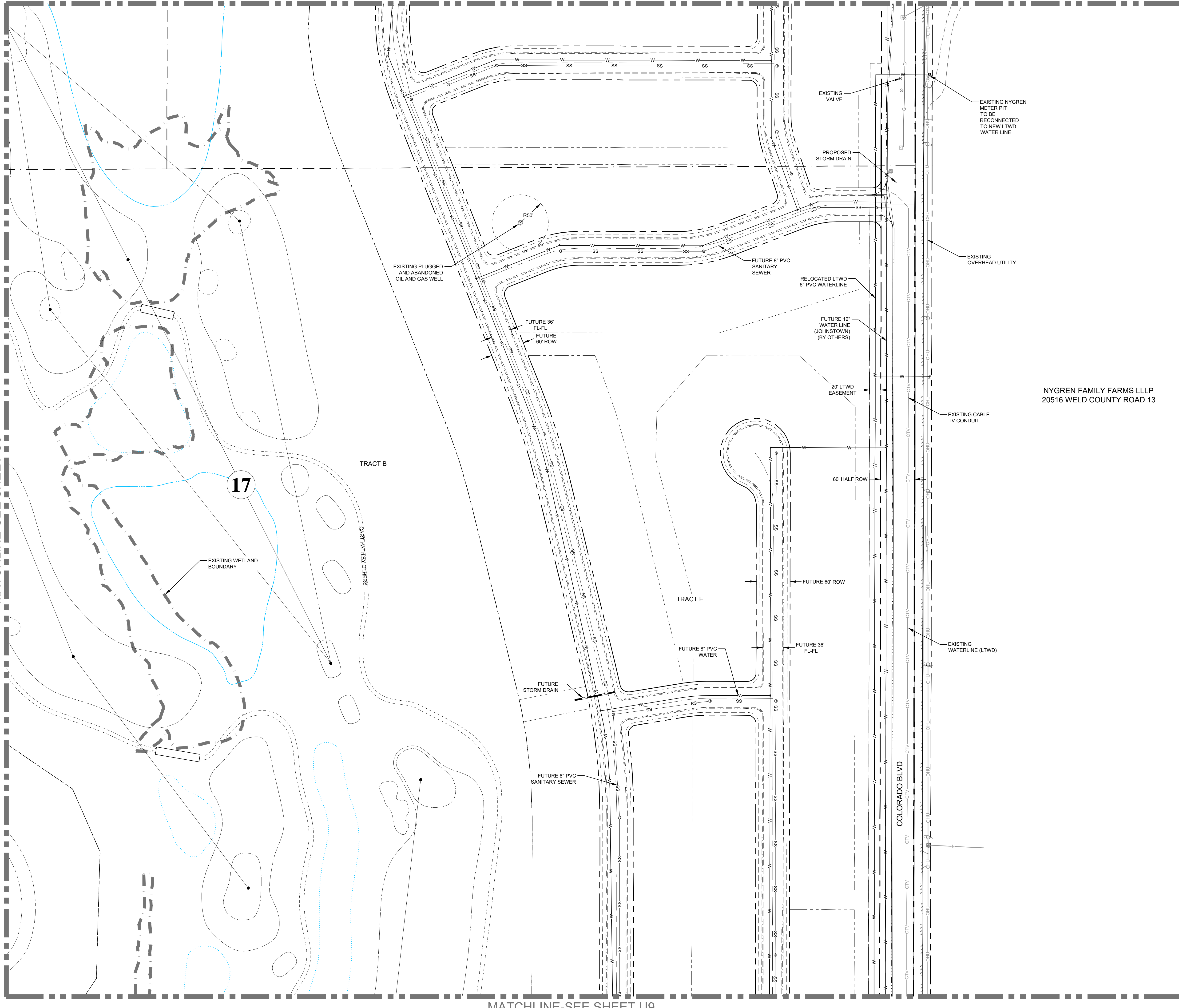
PODTBURG PROPERTY
 UTILITY PLAN

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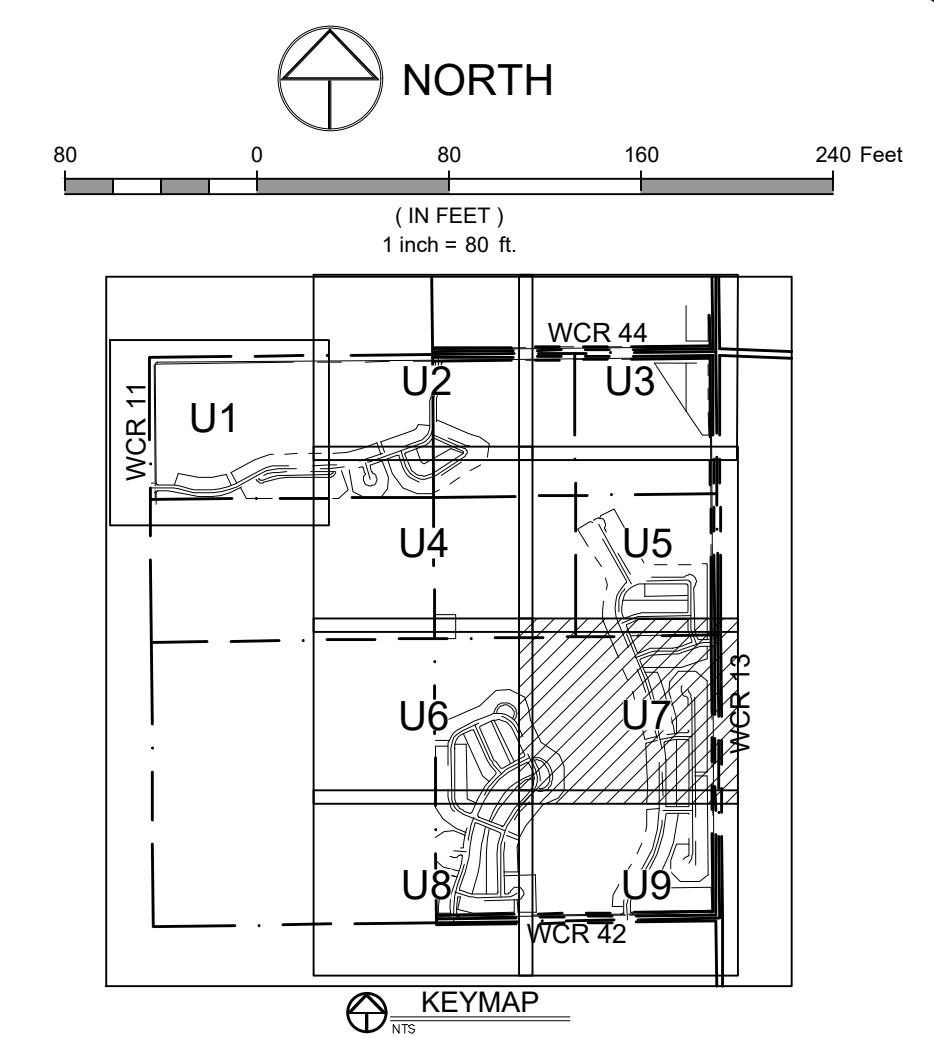
MATCHLINE-SEE SHEET U5

MATCHLINE-SEE SHEET U6

MATCHLINE-SEE SHEET U9



NYGREN FAMILY FARMS LLLP
 20516 WELD COUNTY ROAD 13



LEGEND:

PROPOSED WATER MAIN	— — —
EXISTING WATER MAIN	— — —
PROPOSED SANITARY SEWER	—○—○—○
EXISTING SANITARY SEWER	—SS—SS—SS
PROPOSED SEWER SERVICE	—S—S—S
PROPOSED WATER SERVICE	—W—W—W
PROPOSED FIRE HYDRANT	—H—H—H
EXISTING FIRE HYDRANT	—H—H—H
PROPOSED STORM SEWER	—T—T—T
EXISTING STORM SEWER	—T—T—T
EXISTING TELEPHONE	—G—G—G
EXISTING GAS	—G—G—G
EXISTING CABLE	—CTV—CTV—CTV
PROPOSED CURB & GUTTER	—C—C—C
PROPERTY BOUNDARY	—P—P—P
PROPOSED LOT LINE	—L—L—L
EXISTING LOT LINE	—L—L—L
PROPOSED ROW	—R—R—R
EXISTING ROW	—R—R—R
EASEMENT LINE	—E—E—E
PROPOSED STORM INLET	—SI—SI—SI
PROPOSED STREET LIGHT	—SL—SL—SL
EXISTING TELEPHONE PEDESTAL	—TP—TP—TP

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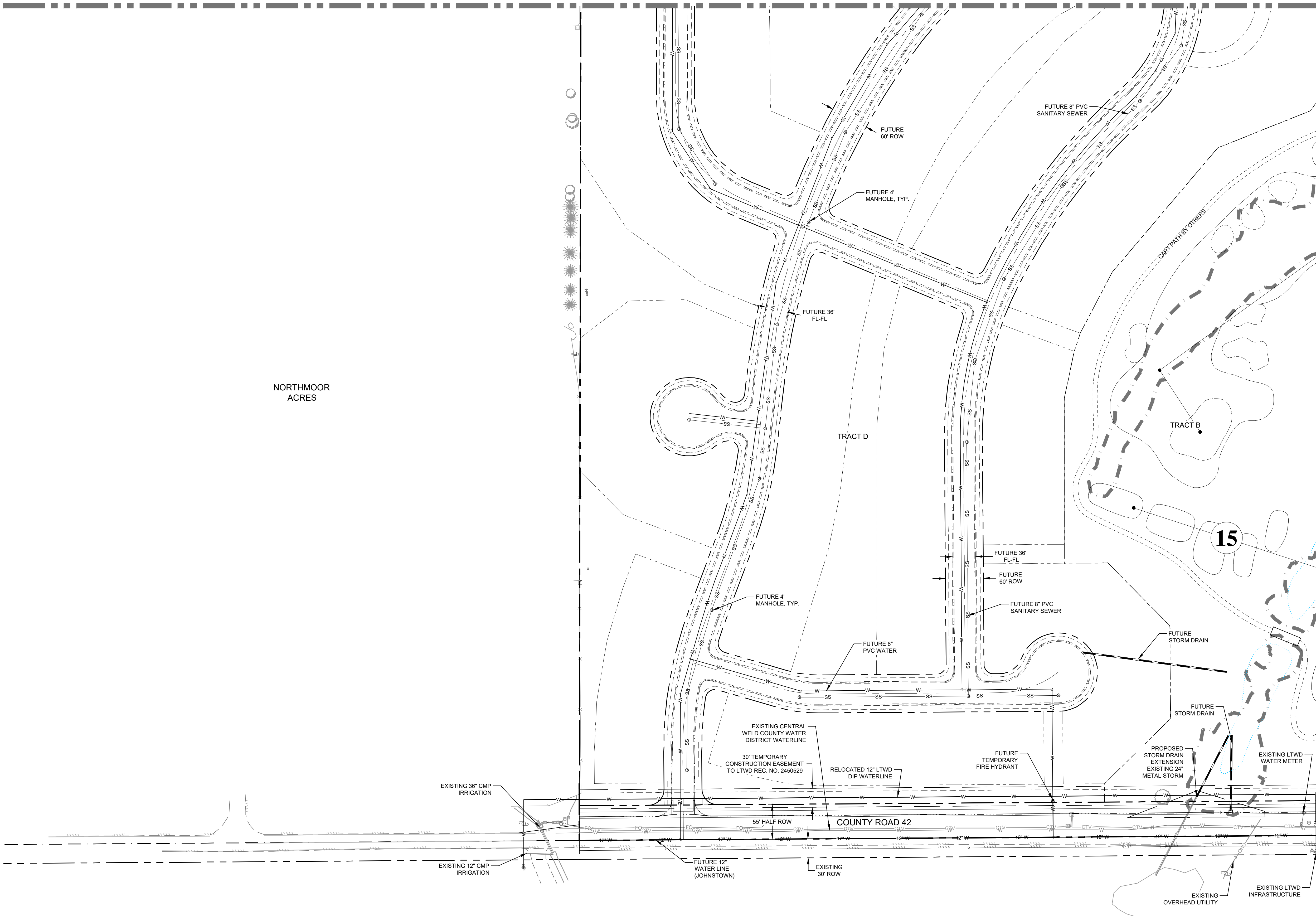
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 FORT COLLINS, 301 North Hovea Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80631

PROJECT:	1659-001
DATE:	11/12/17
DESIGNED BY:	B. Ruch
SCALE:	1" = 60'
DRAWN BY:	C. Ungermann
P. MANAGER:	D. Weber

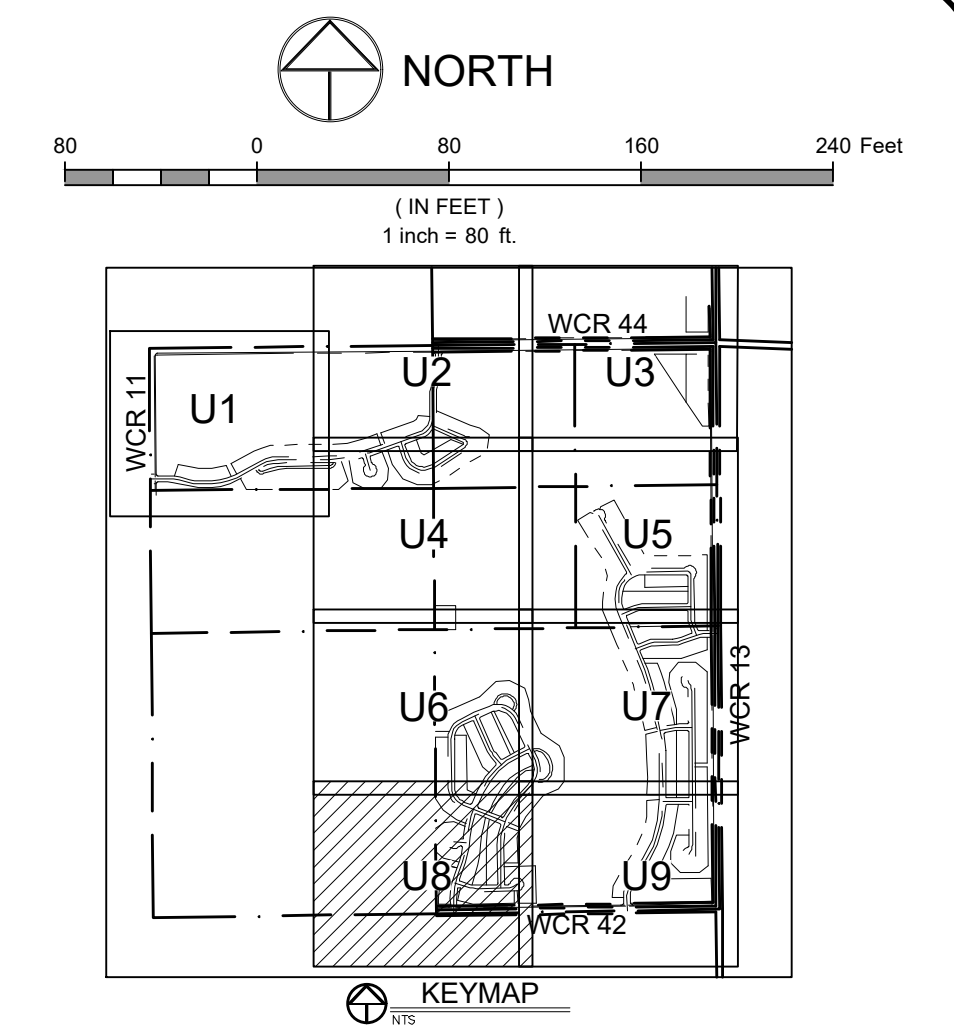
PODTBURG PROPERTY
 COLORADO
UTILITY PLAN

MATCHLINE-SEE SHEET U6



NORTHMOOR ACRES

MATCHLINE-SEE SHEET U9



LEGEND:

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EXISTING WATER MAIN	---
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PROPOSED SEWER SERVICE	---
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CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below. Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE: 11/12/21
 Revisions:
 REVIEW SET
 NOT FOR CONSTRUCTION
 11/12/21

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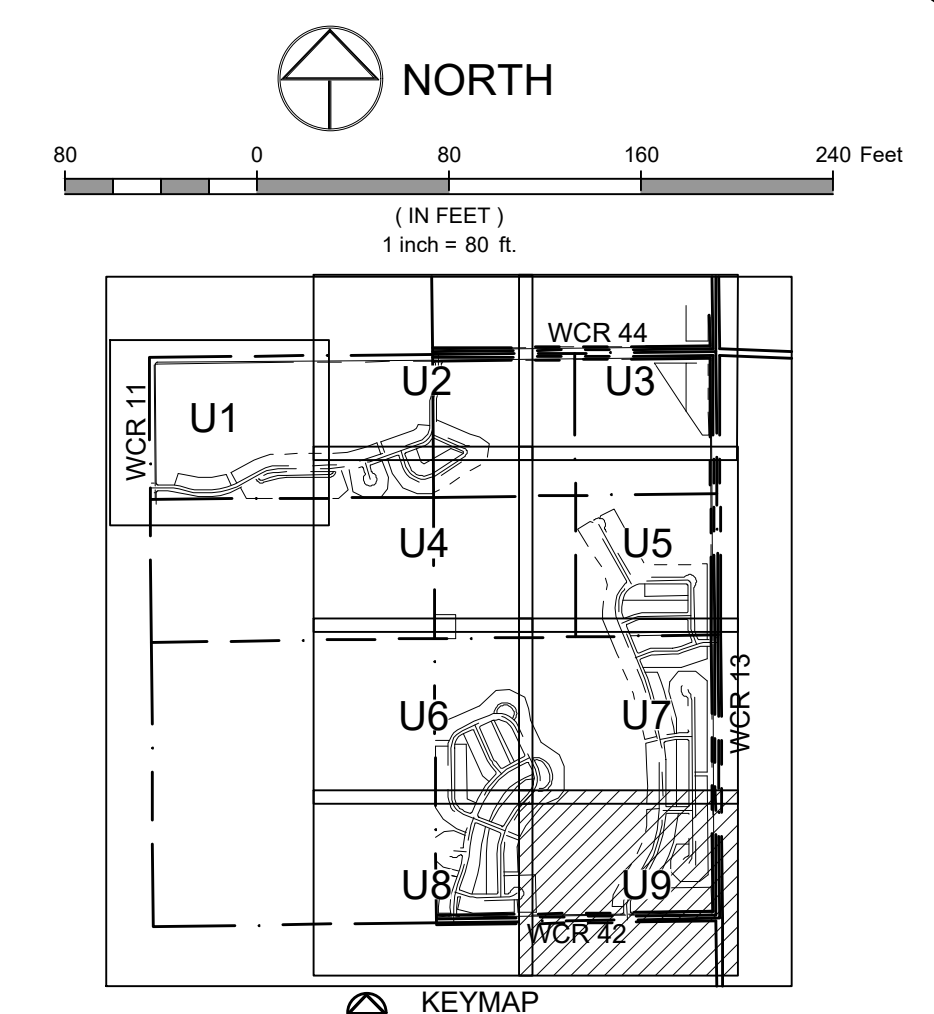
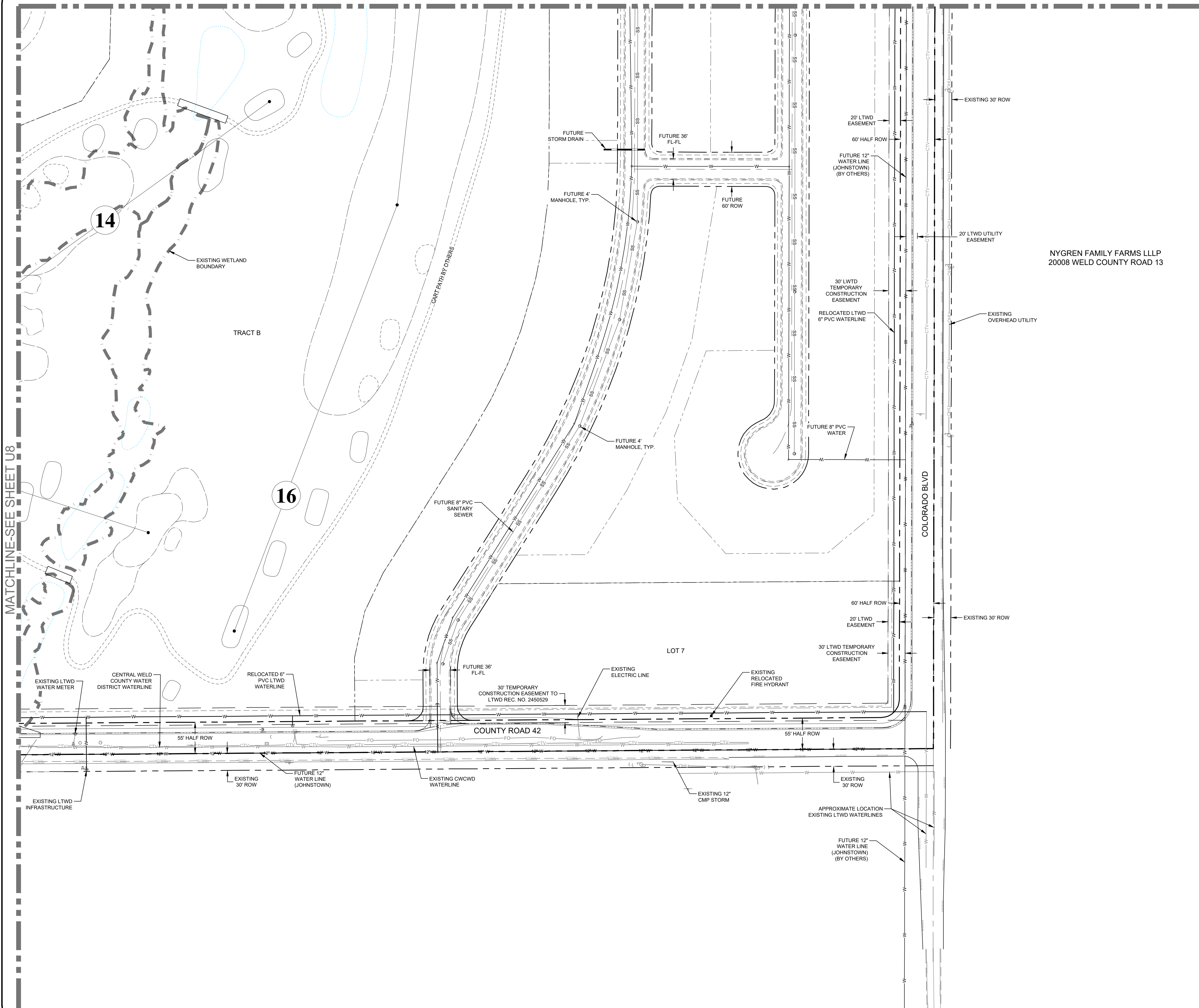
NORTHERN ENGINEERING
 970.231.4158
 nortneng.com
 FORT COLLINS, CO 1001 North Hovea Street, Suite 100, 80521
 GREELEY, CO 82031
 P. MANAGER: D. Weber

PROJECT: 1659-C01
 DATE: 11/12/21
 DESIGNED BY: B. Ruch
 SCALE: 1" = 80'
 DRAWN BY: C. Ungermann
 P. MANAGER: D. Weber

PODTBURG PROPERTY
 UTILITY PLAN

Sheet U8
 13 of 50

DRAWING FILENAME: P:\1659-C01\1659-C01_U8.dwg LAYOUT NAME: U8 DATE: Nov 12, 2021 11:58am CAD OPERATOR: b...
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LEGEND:

PROPOSED WATER MAIN	— — —
EXISTING WATER MAIN	— — —
PROPOSED SANITARY SEWER	— — —
EXISTING SANITARY SEWER	— — —
PROPOSED SEWER SERVICE	— — —
PROPOSED WATER SERVICE	— — —
PROPOSED FIRE HYDRANT	— — —
EXISTING FIRE HYDRANT	— — —
PROPOSED STORM SEWER	— — —
EXISTING STORM SEWER	— — —
EXISTING TELEPHONE	— — —
EXISTING GAS	— — —
EXISTING CABLE	— — —
PROPOSED CURB & GUTTER	— — —
PROPERTY BOUNDARY	— — —
PROPOSED LOT LINE	— — —
EXISTING LOT LINE	— — —
PROPOSED ROW	— — —
EXISTING ROW	— — —
EASEMENT LINE	— — —
PROPOSED STORM INLET	— — —
PROPOSED STREET LIGHT	— — —
EXISTING TELEPHONE PEDESTAL	— — —

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Revisions:
 No. _____ Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 11/17/21

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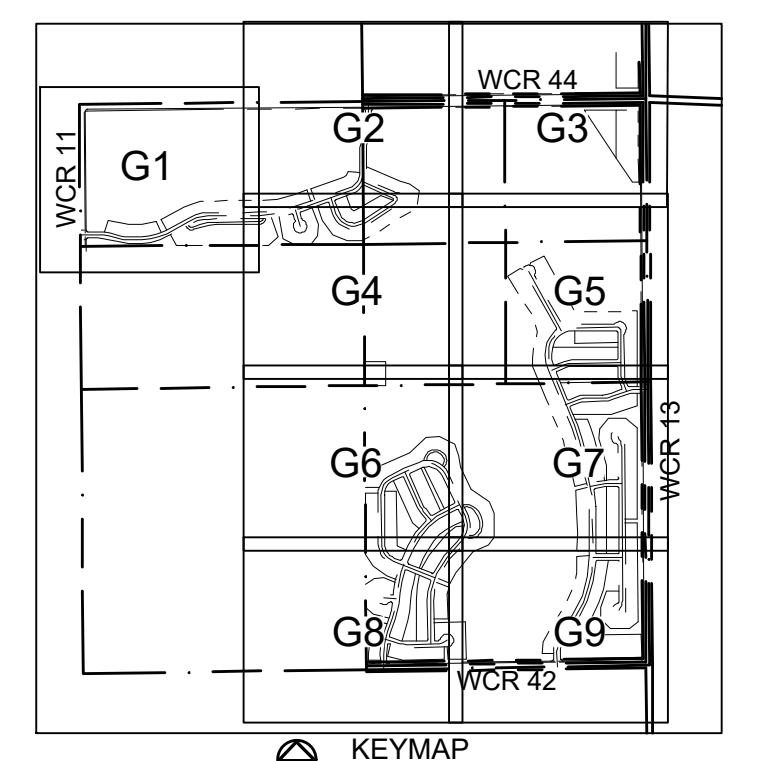
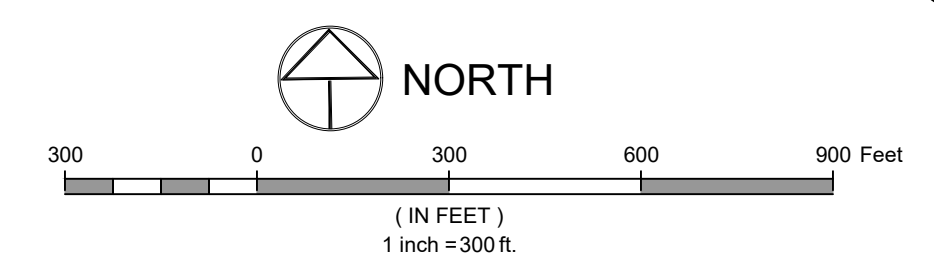
NORTHERN ENGINEERING
 NE
 970.231.4158
 northernengineering.com
 1001 8th Street, Suite 100, Broomfield, CO 80021
 80231 Greeley, 80231

PROJECT:	1659-C01	DATE:	11/17/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

POTDURG PROPERTY
 UTILITY PLAN

DRAWING FILENAME: P:\1659-C01\1659-C01_U9.dwg DATE: Nov 12, 2021 11:58am CAD OPERATOR: b... LIST OF SHEETS: [1659-C01_U1.dwg] [1659-C01_U2.dwg] [1659-C01_U3.dwg] [1659-C01_U4.dwg] [1659-C01_U5.dwg] [1659-C01_U6.dwg] [1659-C01_U7.dwg] [1659-C01_U8.dwg] [1659-C01_U9.dwg]

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LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
PROPOSED SPOT ELEVATION	
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LOT TYPE	

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Revisions:
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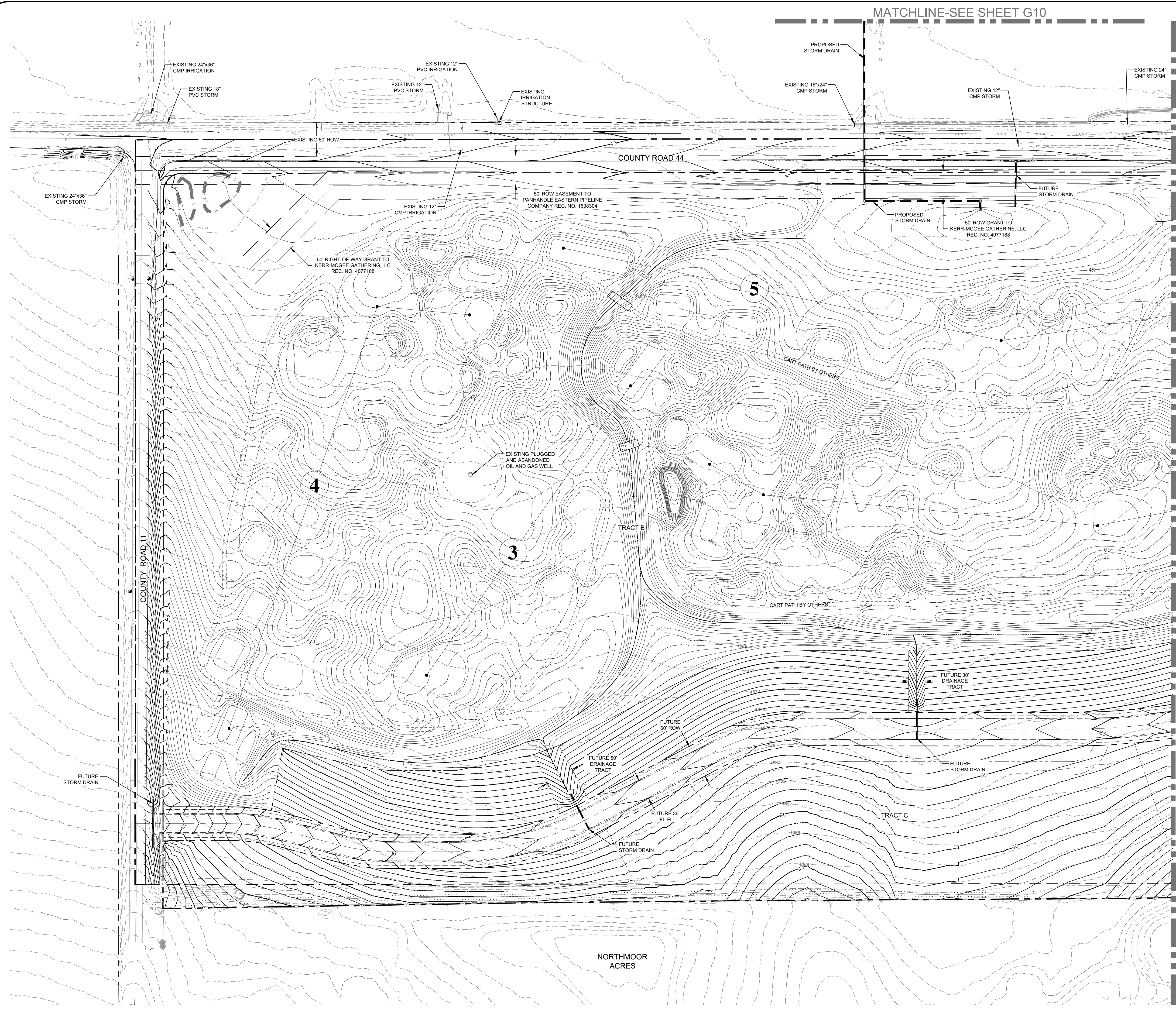
NORTHERN ENGINEERING
970.231.4188
nortneng.com
FOOT COLLINS, 301 North Hovee Street, Suite 100, 80521
Greeley, 820 8th Street, 80531

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 300'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTEBURG PROPERTY
OVERALL GRADING PLAN

CALL UTILITY NOTIFICATION CENTER OF COLORADO
811
Know what's below.
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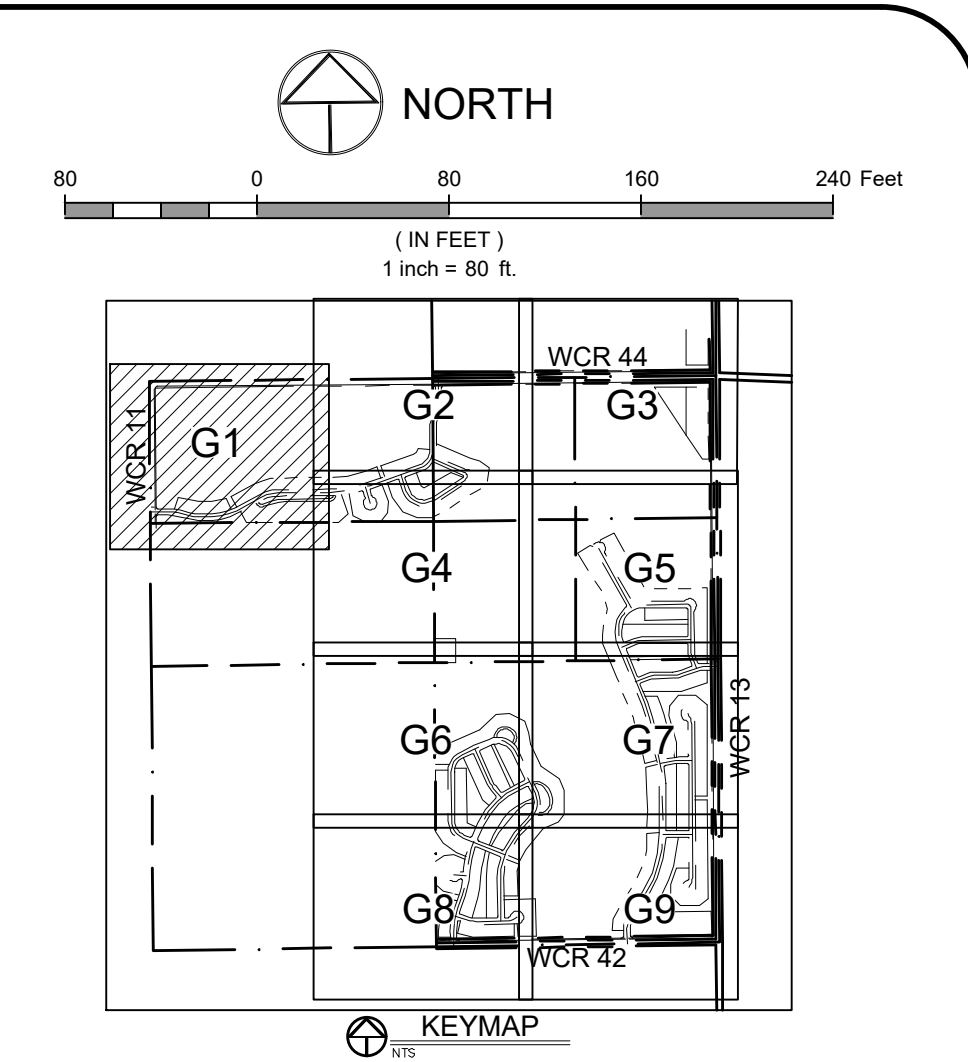
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MATCHLINE-SEE SHEET G10

MATCHLINE-SEE SHEET G2

MATCHLINE-SEE SHEET G4



LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
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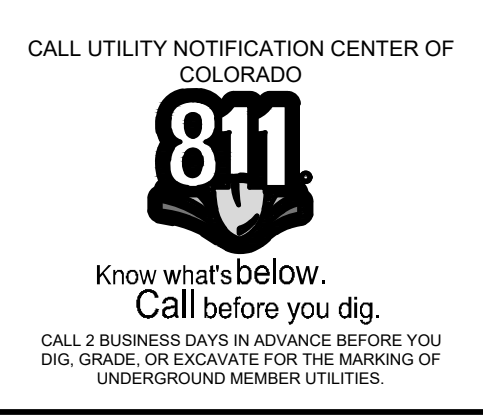
Revisions:
 No. _____
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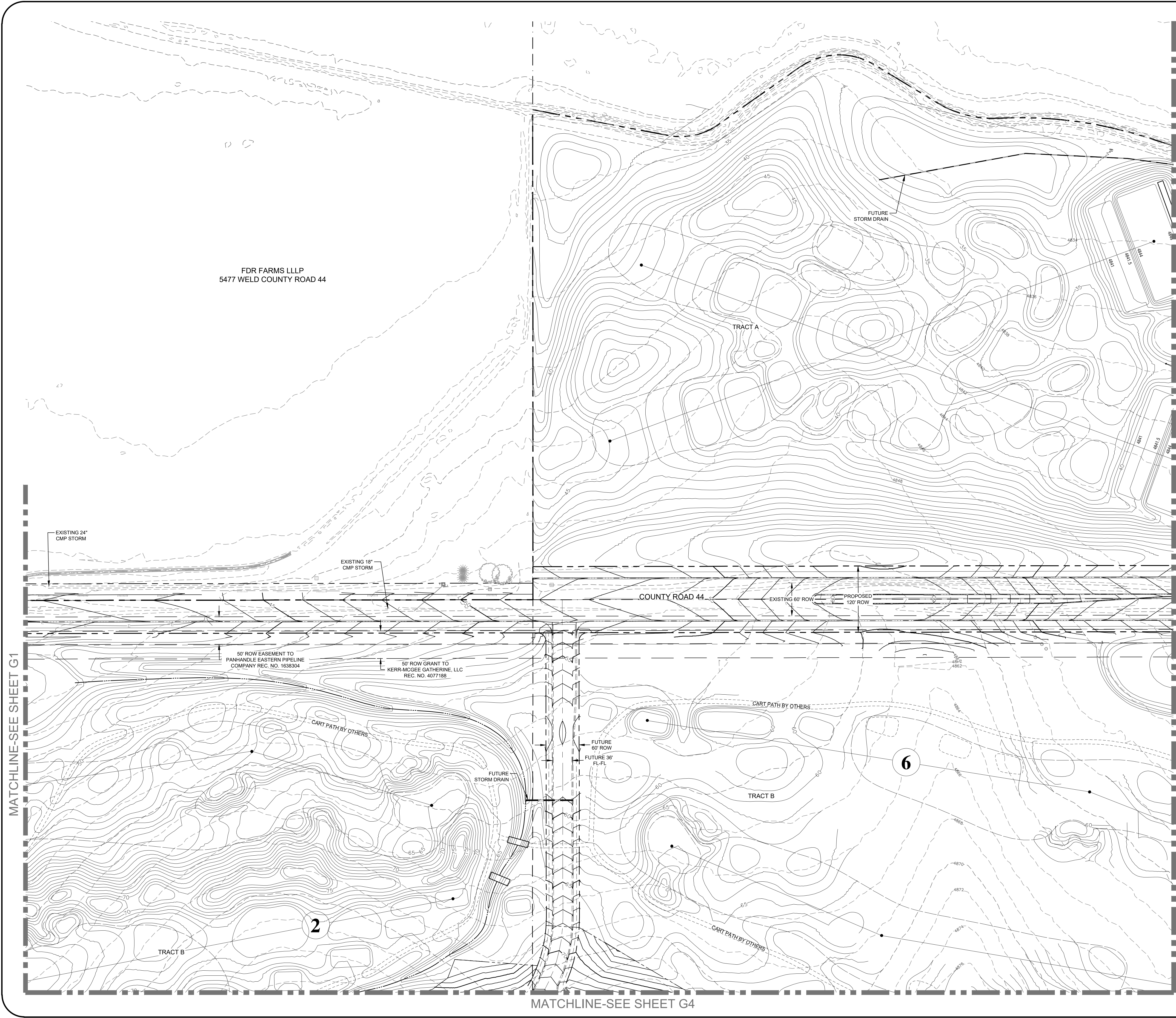
NORTHERN ENGINEERING
 ENGINEERING SERVICES, INC.
 970 231 4138
 nortneng.com

PROJECT:	1659-001	DATE:	11/17/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

POTBURG PROPERTY
 COLORADO
GRADING PLAN



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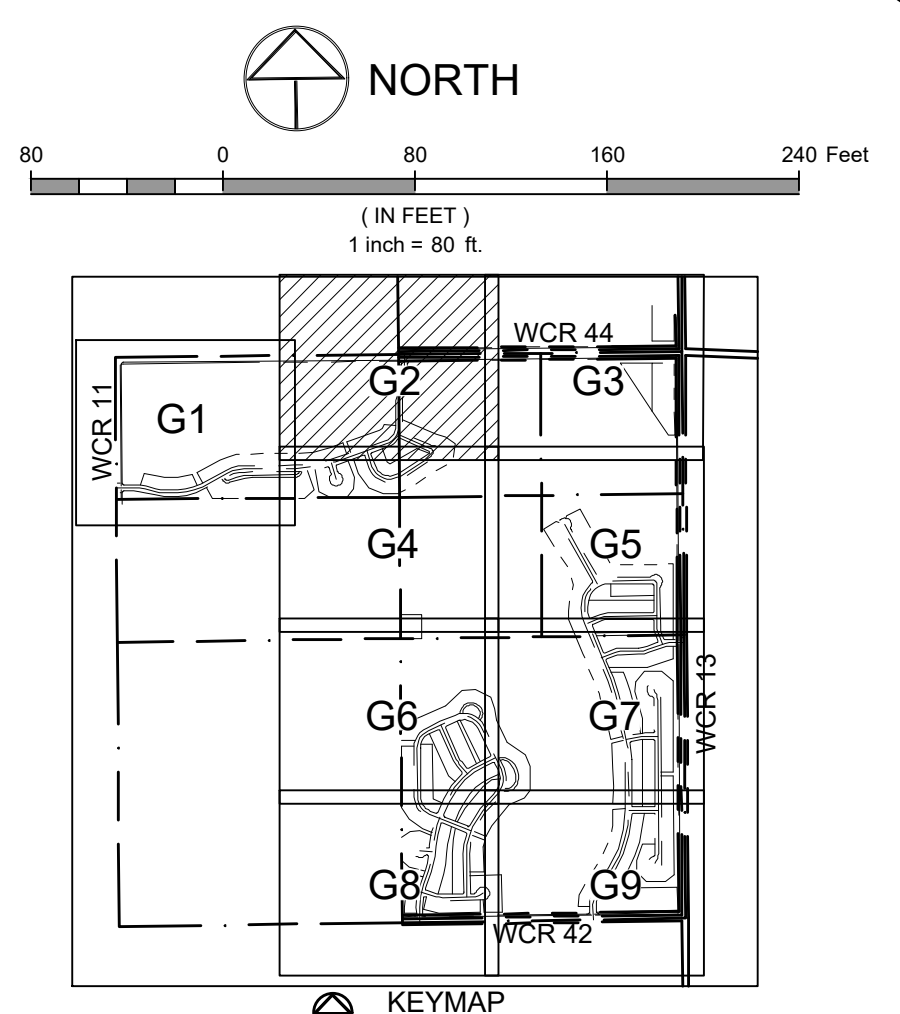


FDR FARMS LLLP
 5477 WELD COUNTY ROAD 44

COUNTY ROAD 44

50' ROW EASEMENT TO
 PANHANDLE EASTERN PIPELINE
 COMPANY REC. NO. 1638304

50' ROW GRANT TO
 KERR-MCGEE GATHERINE, LLC
 REC. NO. 4077188



LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
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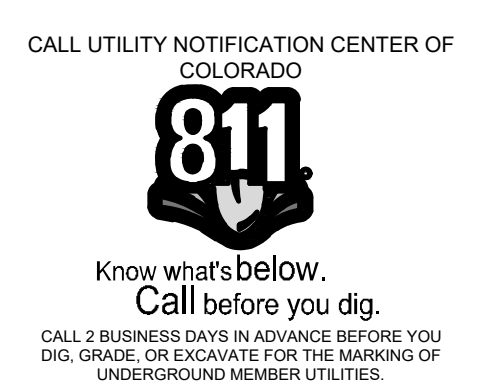
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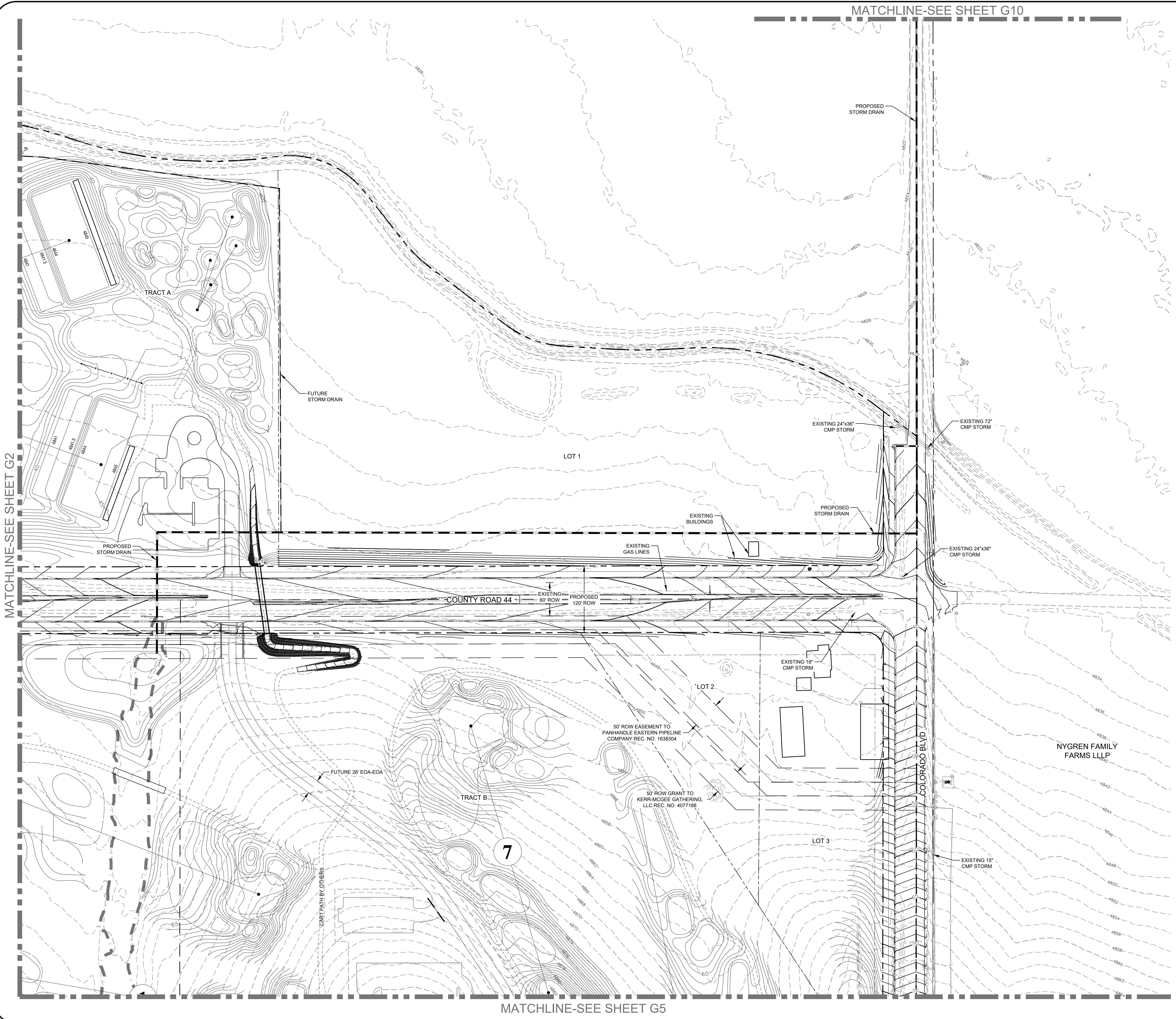
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NE
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P. MANAGER:	D. Weber

PODTBURG PROPERTY
GRADING PLAN
 Sheet
G2
 17 of 50



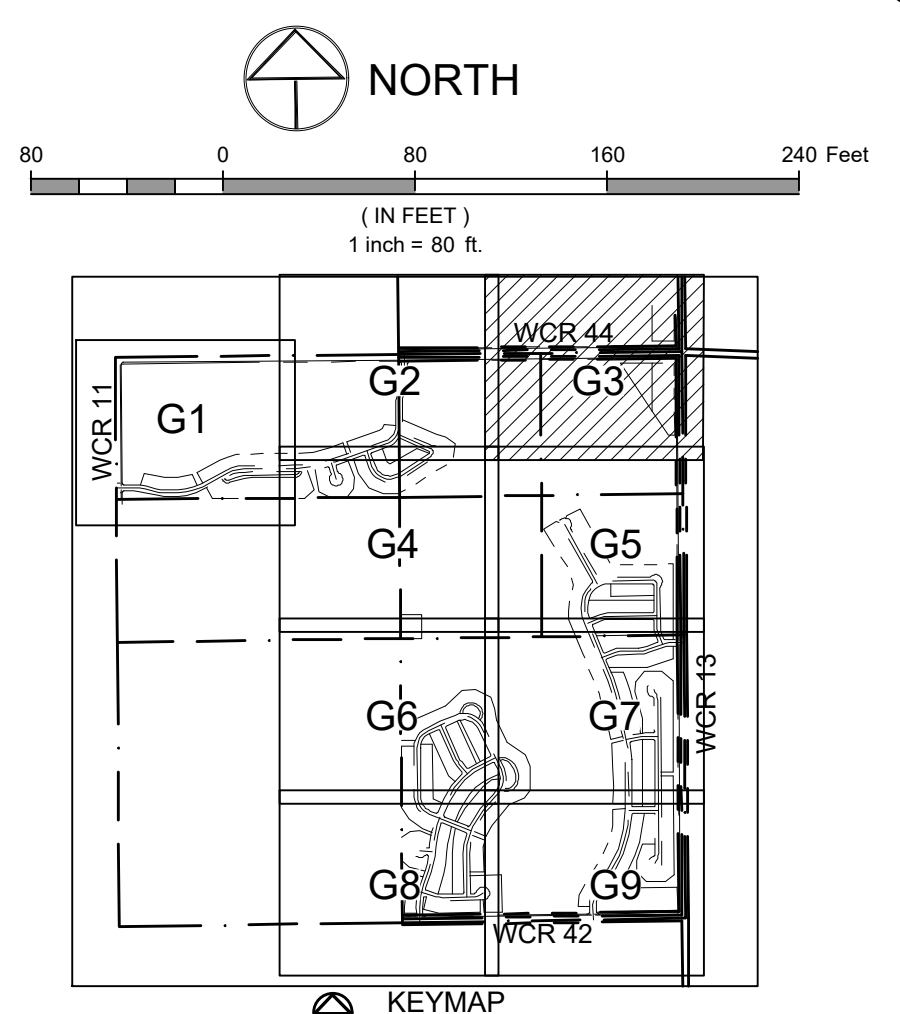
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MATCHLINE-SEE SHEET G10

MATCHLINE-SEE SHEET G2

MATCHLINE-SEE SHEET G5



LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
PROPOSED LOT LINE	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
PROPOSED SLOPES	
PROPOSED CONCRETE CROSS PAN (TYP.)	
LOT TYPE	

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 Call before you dig.
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Revisions:
 No. _____ Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
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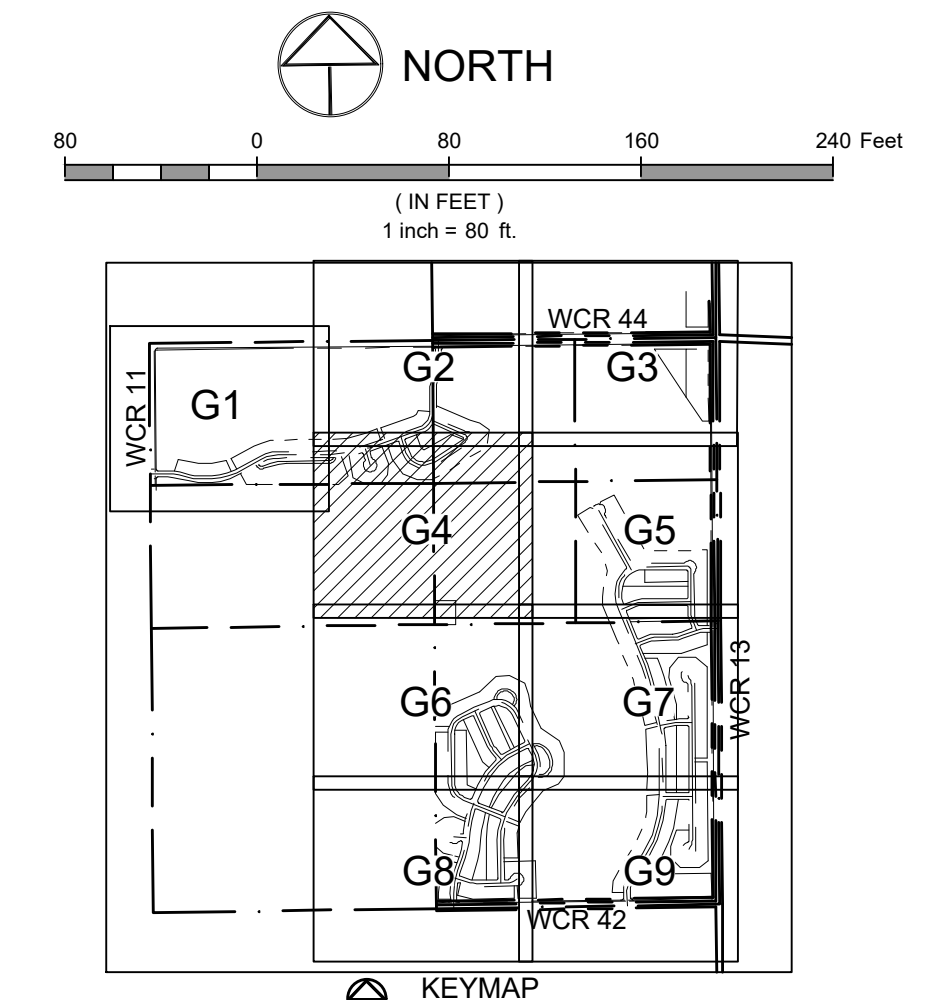
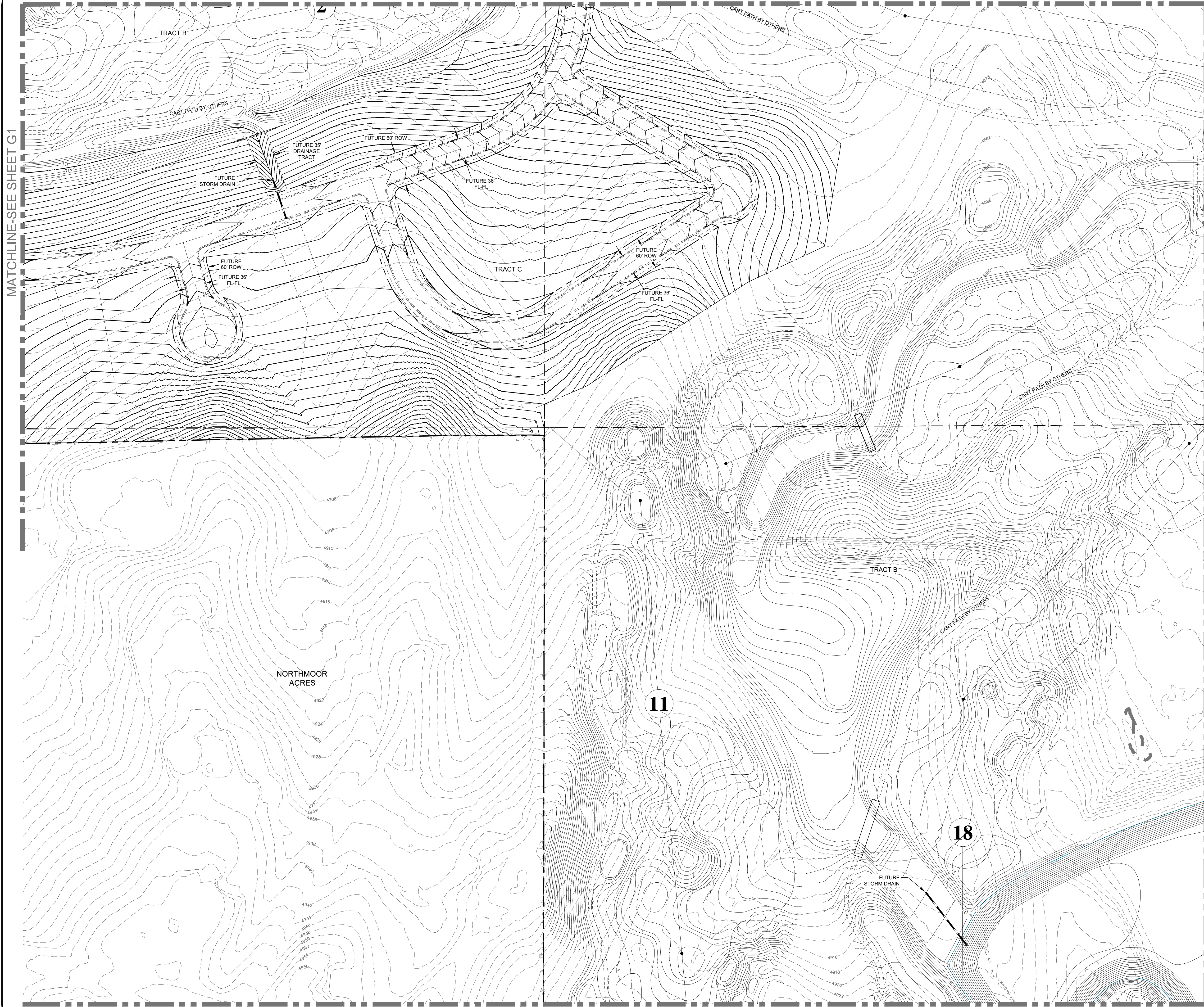
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 northernengineering.com
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 GREELEY, 820 8th Street, 80631

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

POTTBURG PROPERTY
GRADING PLAN
 Sheet
G3
 18 of 50

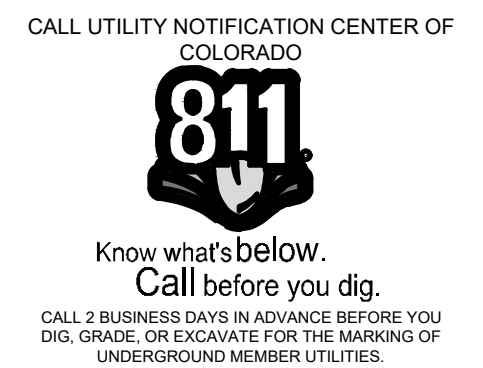
MATCHLINE-SEE SHEET G2



LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
PROPOSED SLOPES	
PROPOSED CONCRETE CROSS PAN (TYP.)	
LOT TYPE	

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DATE: 11/12/21
 PROJECT: 1659-001
 DESIGNED BY: B. Ruch
 DRAWN BY: C. Ungermann
 P. MANAGER: D. Weber
 SCALE: 1" = 80'
 Revisions:
REVIEW SET
NOT FOR CONSTRUCTION
 11/12/21

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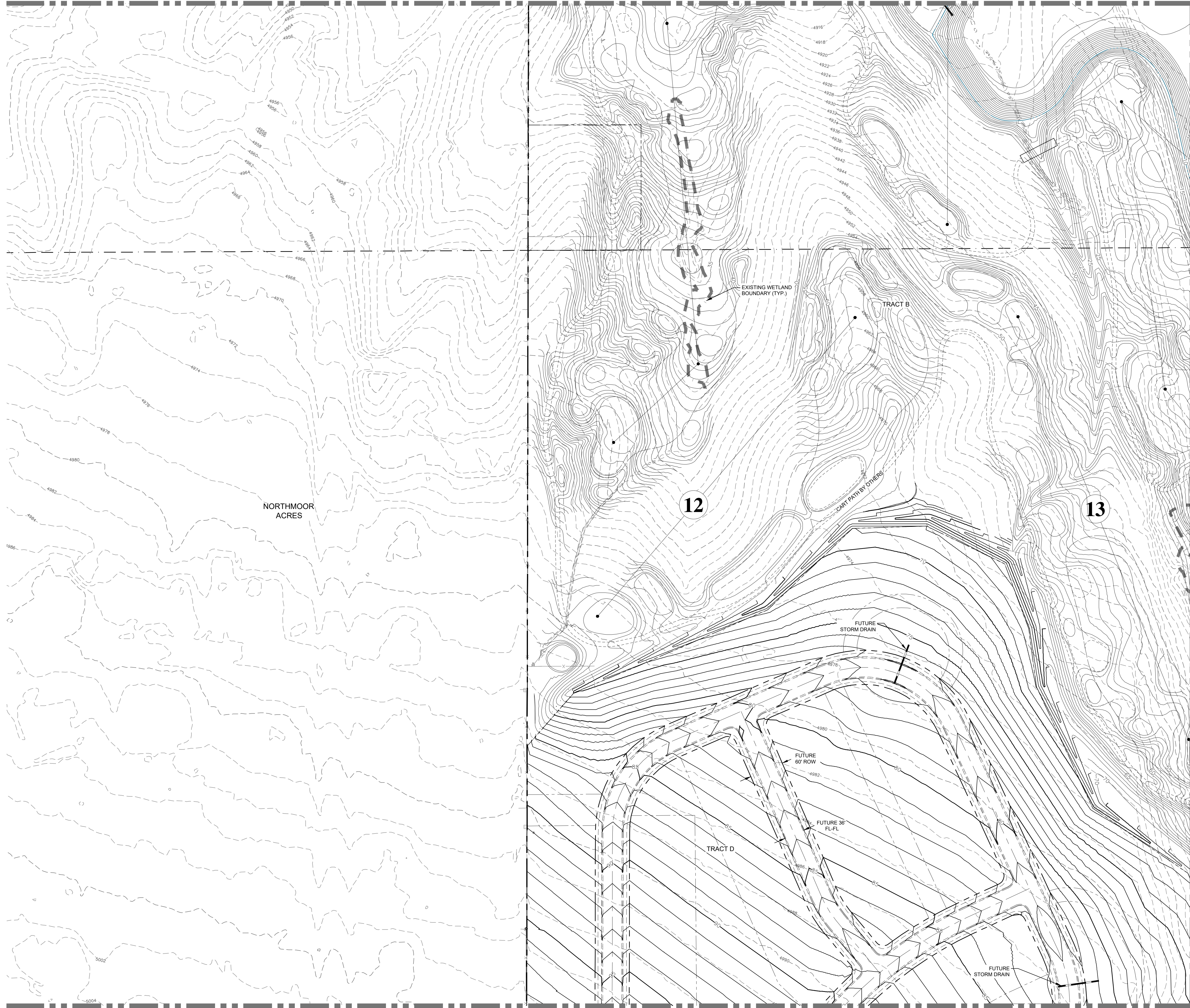
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 nortneng.com
 FORT COLLINS, CO North Hovey Street, Suite 100, 80521
 GREELEY, CO 8th Street, 80531

PROJECT:	1659-001
DATE:	11/12/21
DESIGNED BY:	B. Ruch
SCALE:	1" = 80'
DRAWN BY:	C. Ungermann
P. MANAGER:	D. Weber

PODTBURG PROPERTY
 COLORADO
 GRADING PLAN

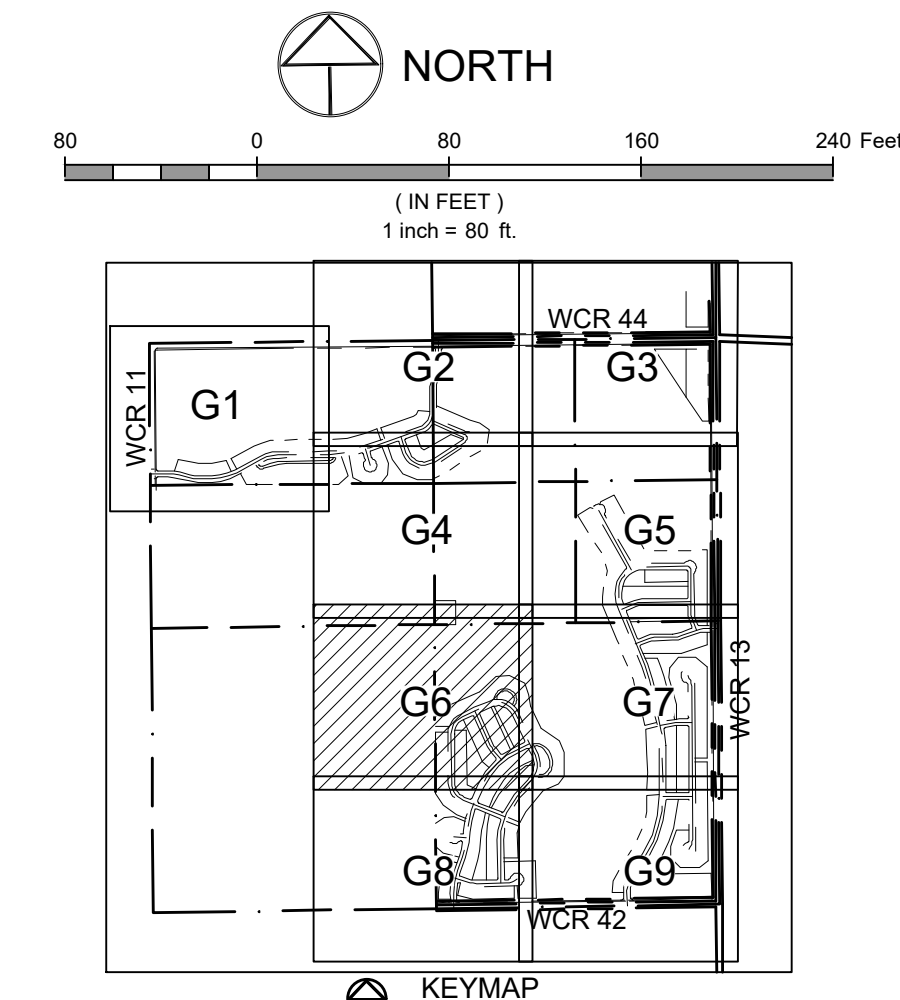
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MATCHLINE-SEE SHEET G4



MATCHLINE-SEE SHEET G8

MATCHLINE-SEE SHEET G7



LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
PROPOSED SLOPES	
PROPOSED CONCRETE CROSS PAN (TYP.)	
LOT TYPE	

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Revisions:

No.	Date:	Description:
1	11/12/21	REVIEW SET NOT FOR CONSTRUCTION

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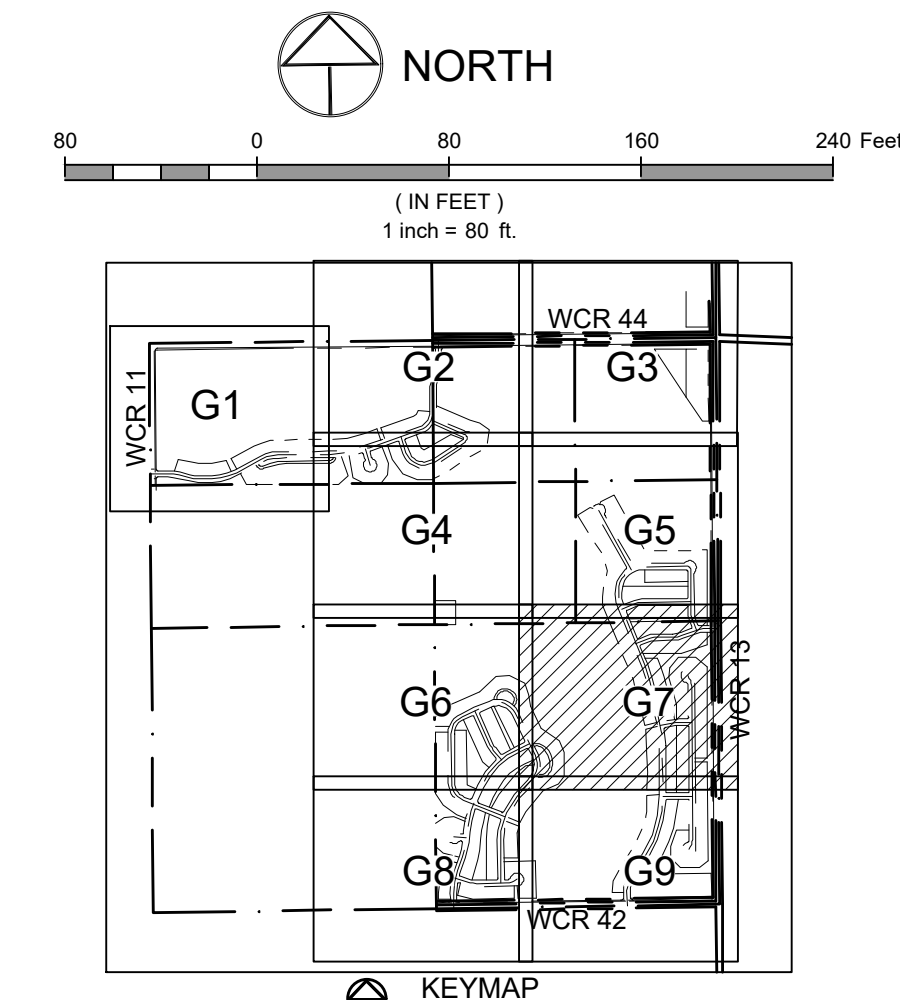
FOOT COLLINS, 301 North Hovey Street, Suite 100, 80521
GREELEY, 820 8th Street, 80531

PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

POTDURG PROPERTY

GRADING PLAN

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LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
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Revisions:

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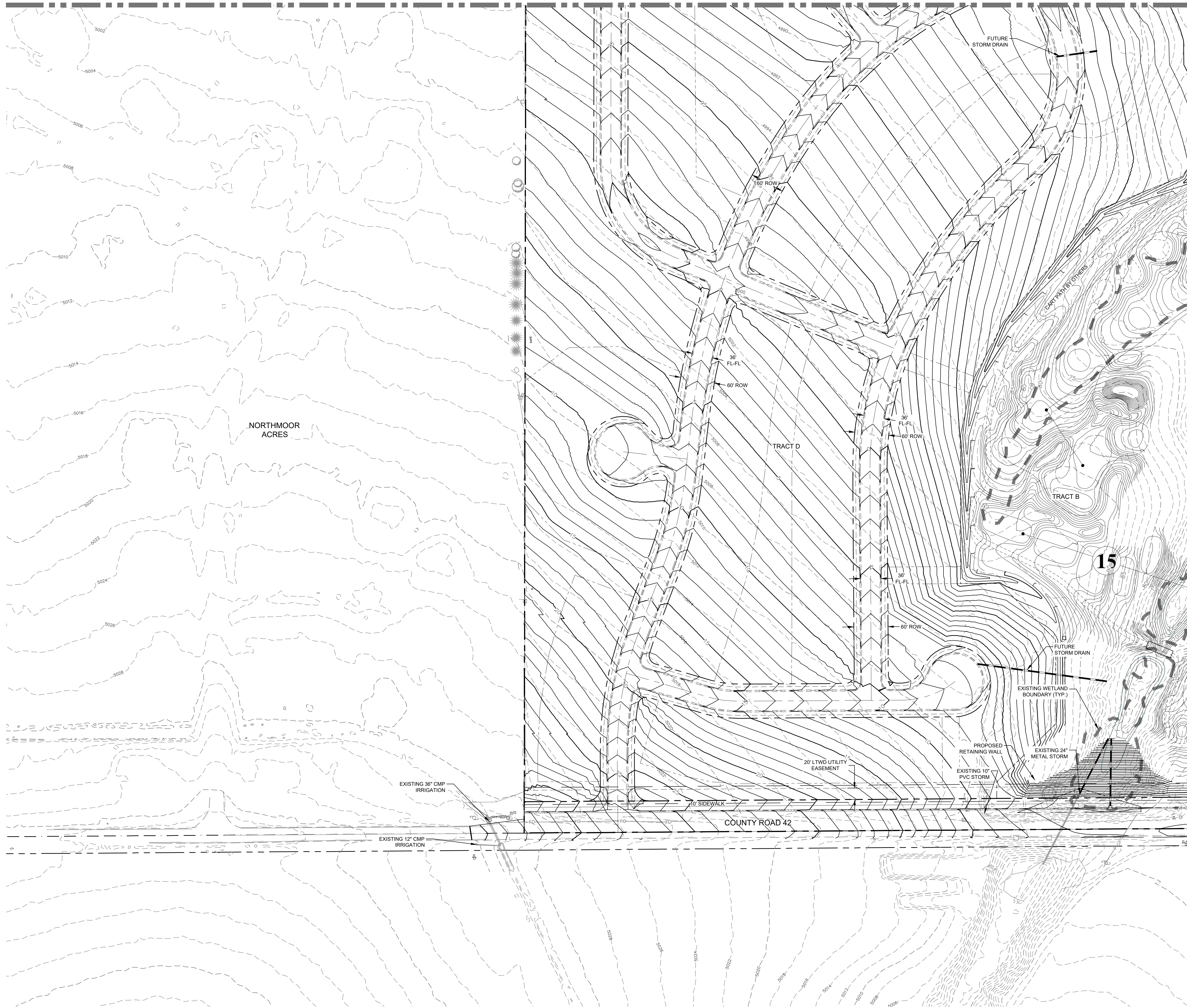
PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

POTTBURG PROPERTY

GRADING PLAN

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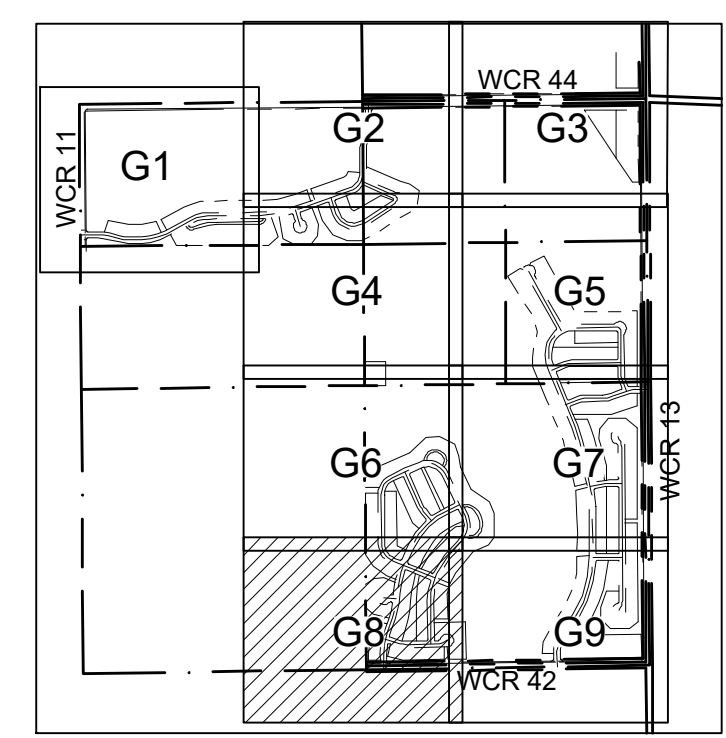
MATCHLINE-SEE SHEET G6



MATCHLINE-SEE SHEET G9



80 0 80 160 240 Feet
 (IN FEET)
 1 inch = 80 ft.



LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
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EXISTING RIGHT OF WAY	
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 No. 1
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PROJECT: 1659-001	DATE: 11/12/21
DESIGNED BY: B. Ruch	SCALE: 1" = 80'
DRAWN BY: C. Ungermann	P. MANAGER: D. Weber

POTTBURG PROPERTY

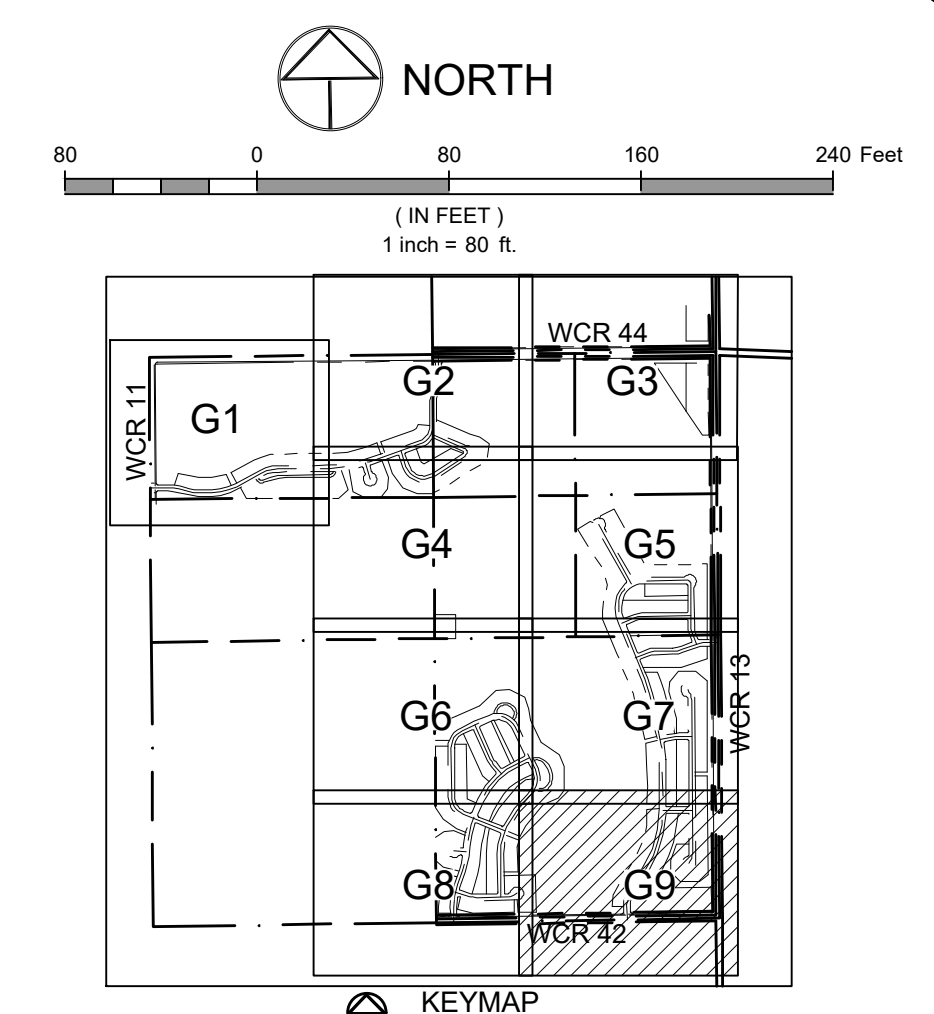
GRADING PLAN

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LEGEND:

EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED GRADE BREAK	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
PROPOSED SPOT ELEVATION	
EXISTING SPOT ELEVATION	
PROPOSED SLOPES	
PROPOSED CONCRETE CROSS PAN (TYP.)	
LOT TYPE	

- NOTES:**
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 3. ALL PROJECT DATA IS ON VERTICAL DATUM; (VERTICAL DATUM). SEE COVER SHEET FOR BENCHMARK REFERENCES.
 4. ALL CURB SPOTS SHOWN ARE FLOWLINE ELEVATIONS. ALL OTHER SPOTS ARE FINISHED GRADE ELEVATIONS.

NYGREN FAMILY FARMS LLLP
20008 WELD COUNTY ROAD 13

Revisions:
 No. _____
 Date: **11/17/21**
REVIEW SET
NOT FOR CONSTRUCTION

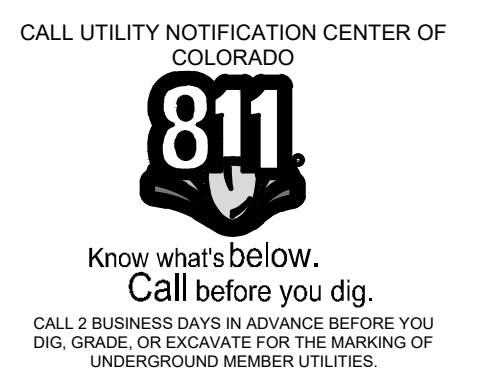
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NORTHERN ENGINEERING
 970.221.4188
 nortneng.com
 FORT COLLINS, CO 301 North Hovey Street, Suite 100, 80521
 GREELEY, CO 82031 8th Street, 80531

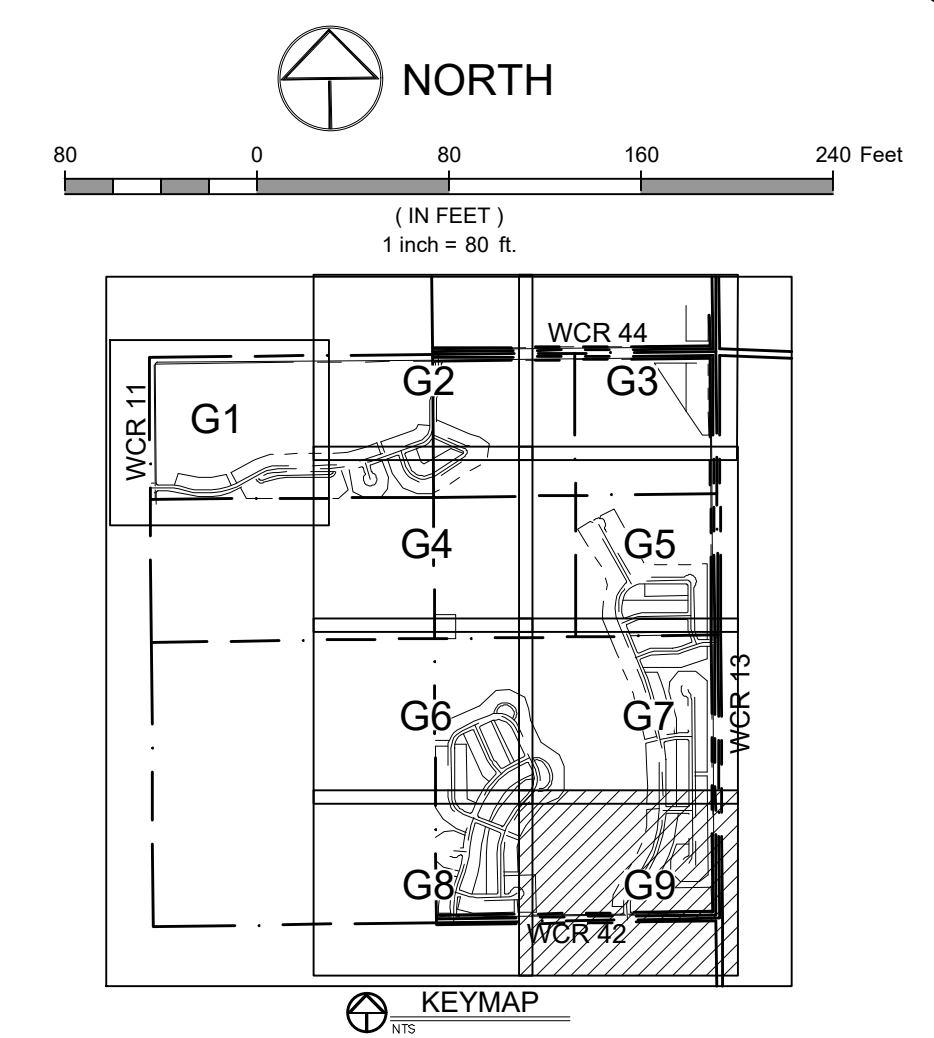
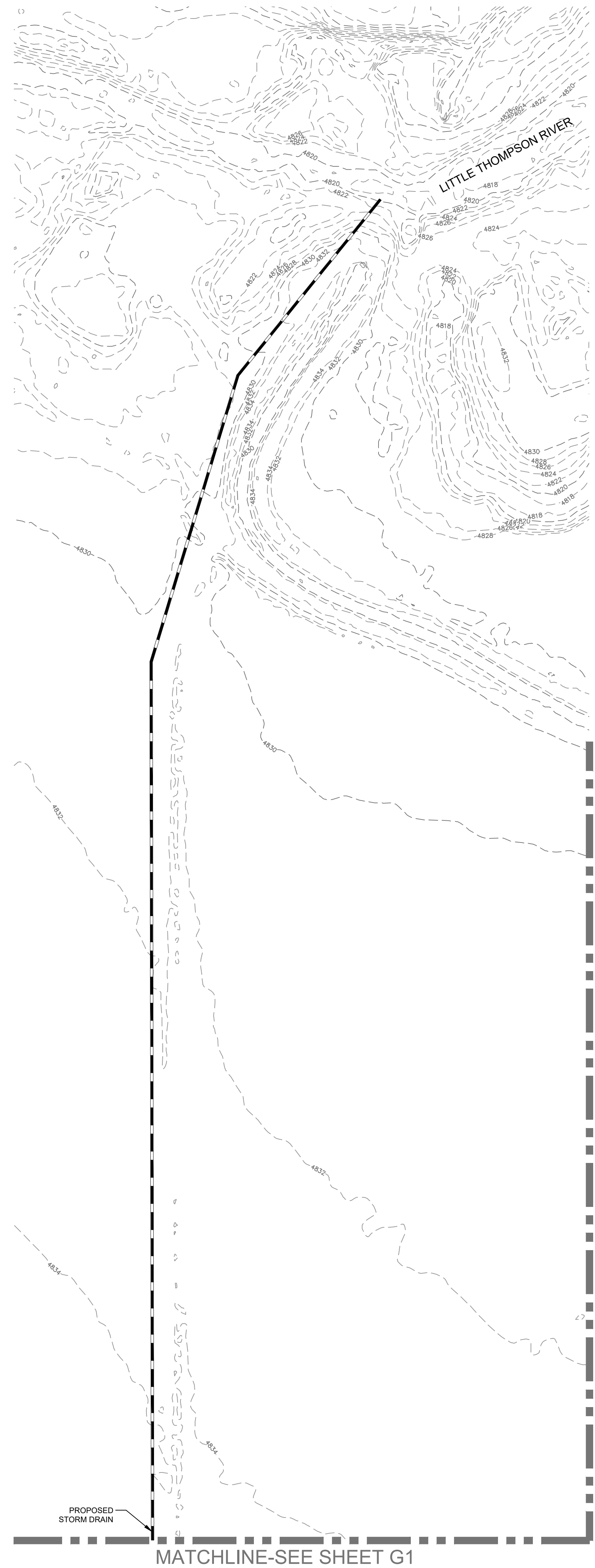
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DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTBURG PROPERTY
 GRADING PLAN

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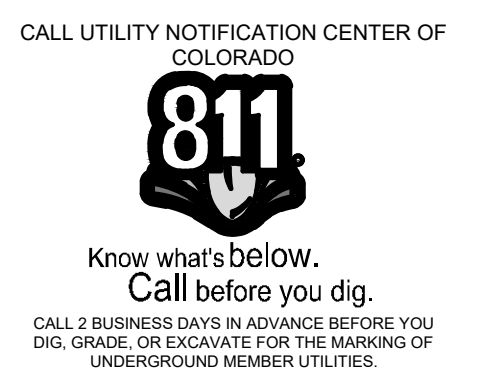
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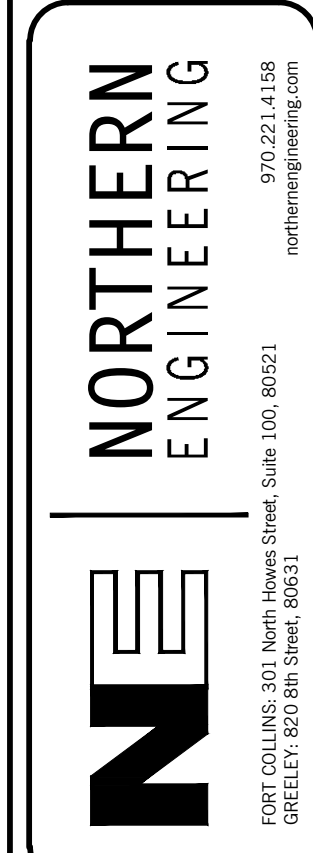
EXISTING STORM SEWER	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
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PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT OF WAY	
PROPOSED LOT LINE	
PROPOSED RIGHT OF WAY	
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EXISTING SPOT ELEVATION	
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Revisions:
 No. _____
 Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 11/12/21

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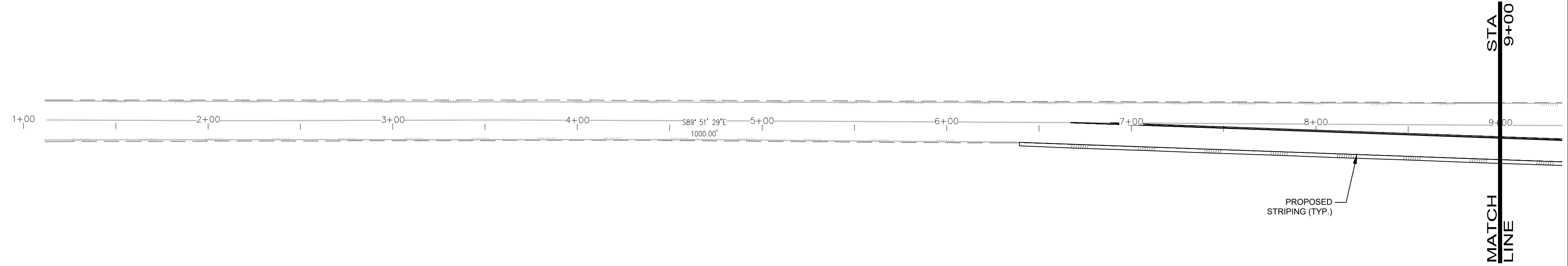


PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 80'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

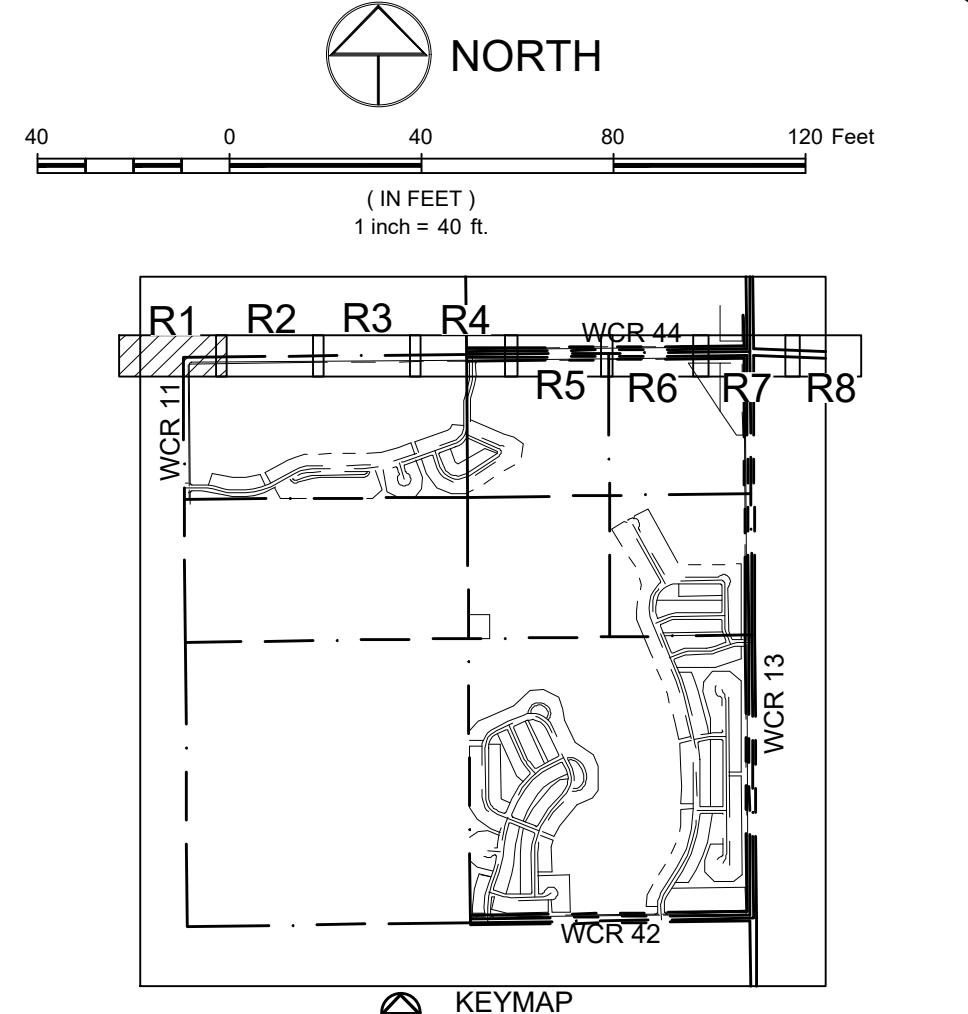
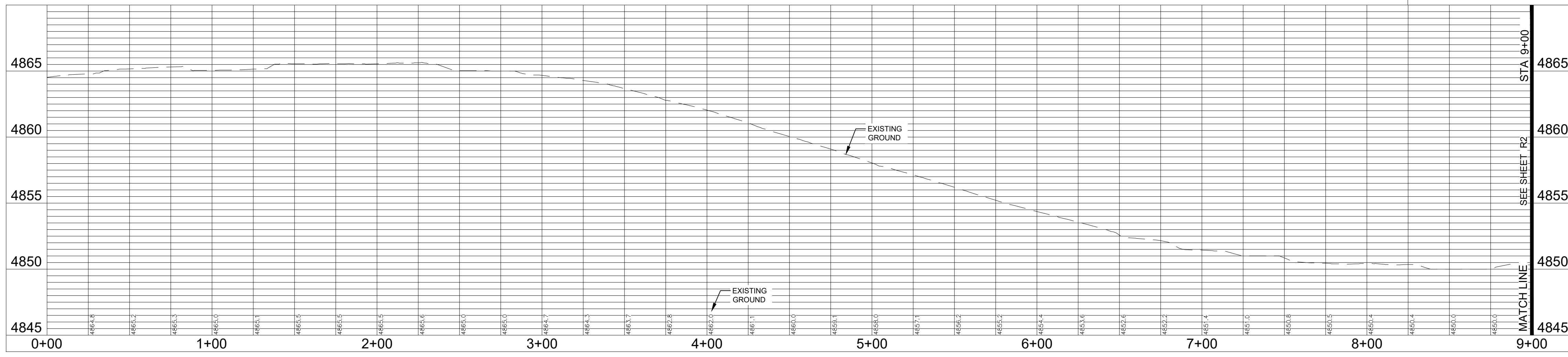
POTTBURG PROPERTY
GRADING PLAN

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BP: 0+00.00



COUNTY ROAD 44
 CENTERLINE
 SCALE: 1" = 40' (H) 1" = 5' (V)



LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPERTY BOUNDARY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- EASEMENT LINE
- SAWCUT LINE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING STORM SEWER
- PROPOSED EDGE OF ASPHALT
- PEDESTRIAN ACCESS RAMPS
- PROPOSED CONCRETE CROSSAN (TYP.)

NOTES:

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CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
 Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Revisions:
 No. _____
 Description _____
 Date: 11/12/21

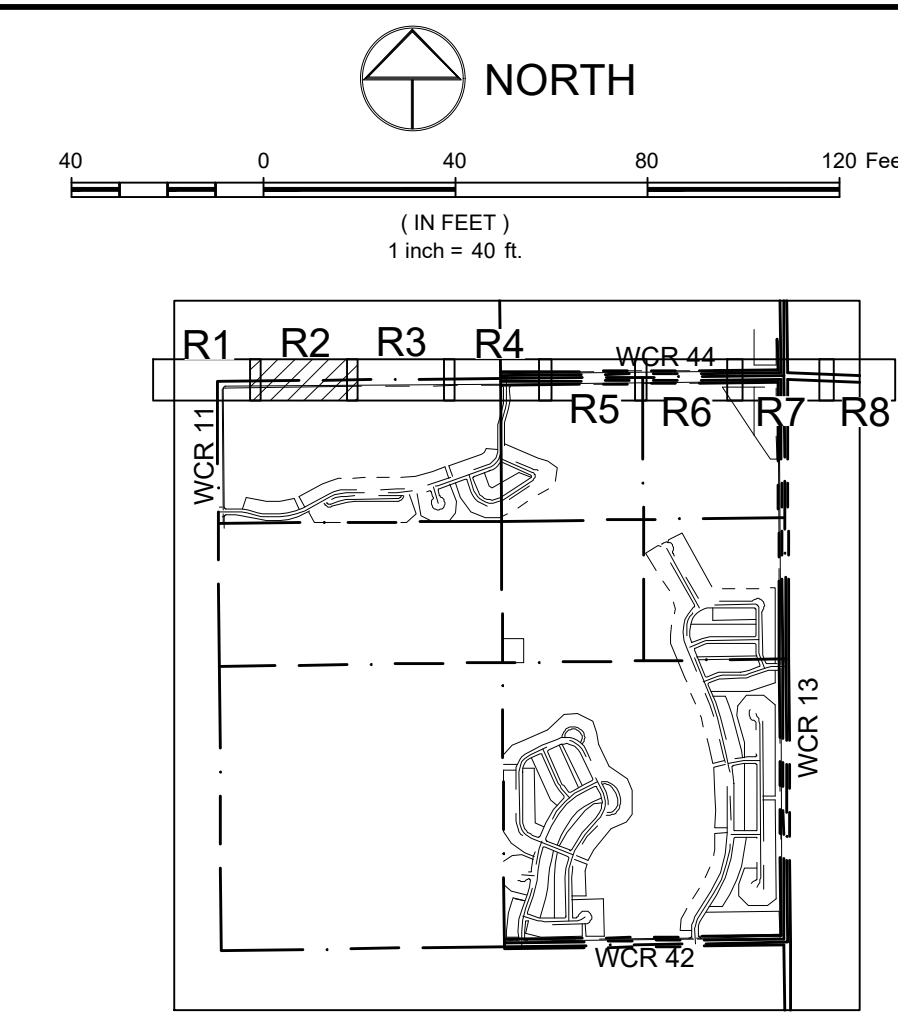
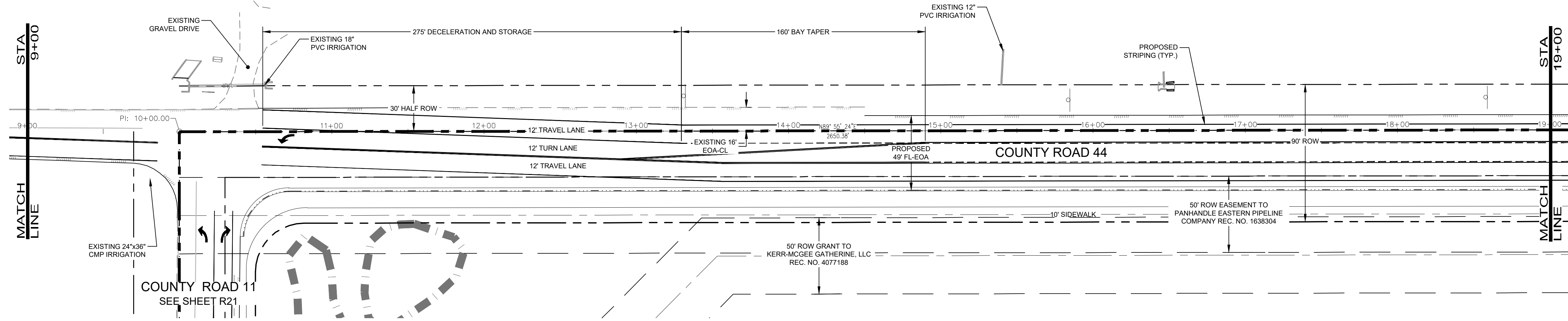
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NORTHERN ENGINEERING
 N
 970.231.4198
 northernengineering.com
 301 North Hovea Street, Suite 100, 80521
 Fort Collins, CO 80521
 800.888.8021
 P. MANAGER: D. Weber

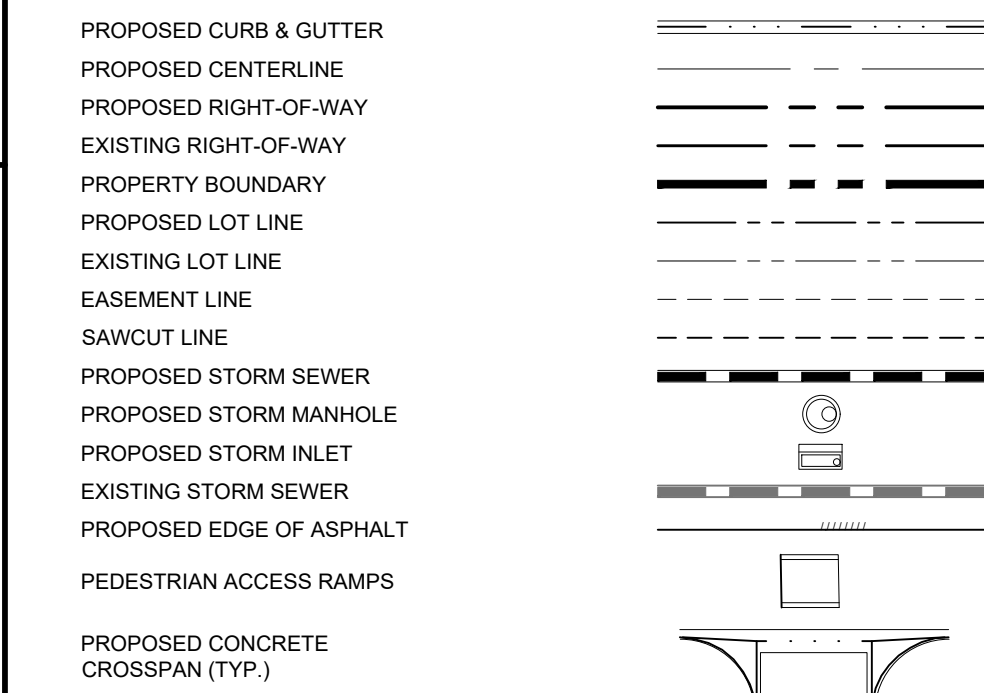
PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

POTTBURG PROPERTY
 COUNTY ROAD 44
 INTERIM PLAN & PROFILE

Sheet
 R1



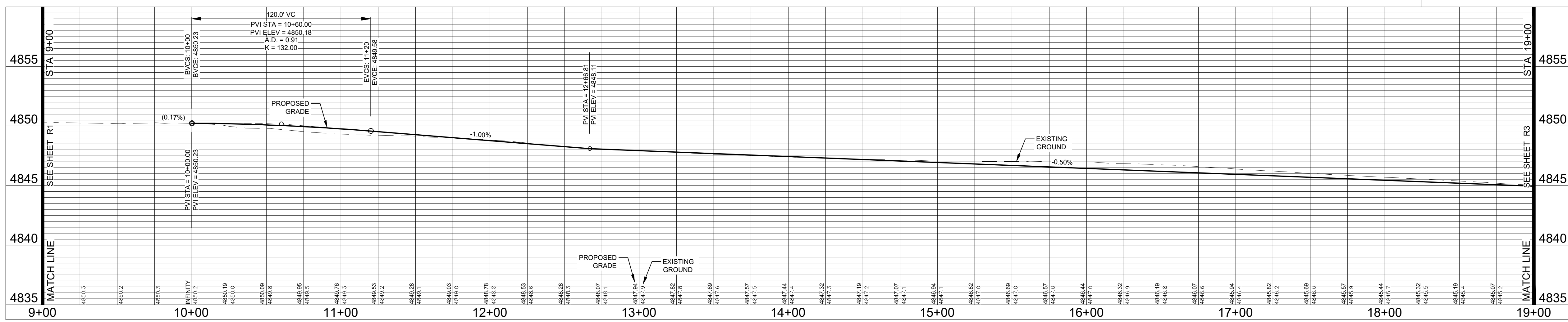
LEGEND:



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COUNTY ROAD 44 CENTERLINE
SCALE: 1" = 40' (H) 1" = 5' (V)



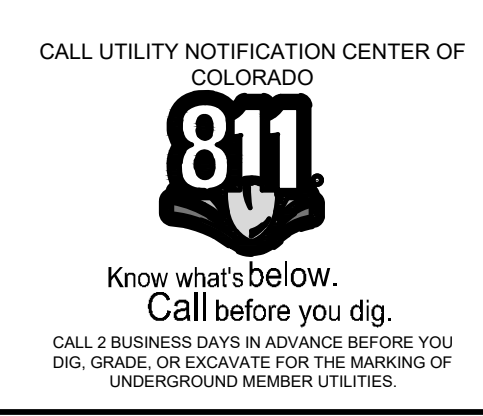
Revisions:
 No. 1
 Date: 11/12/21
REVIEW SET
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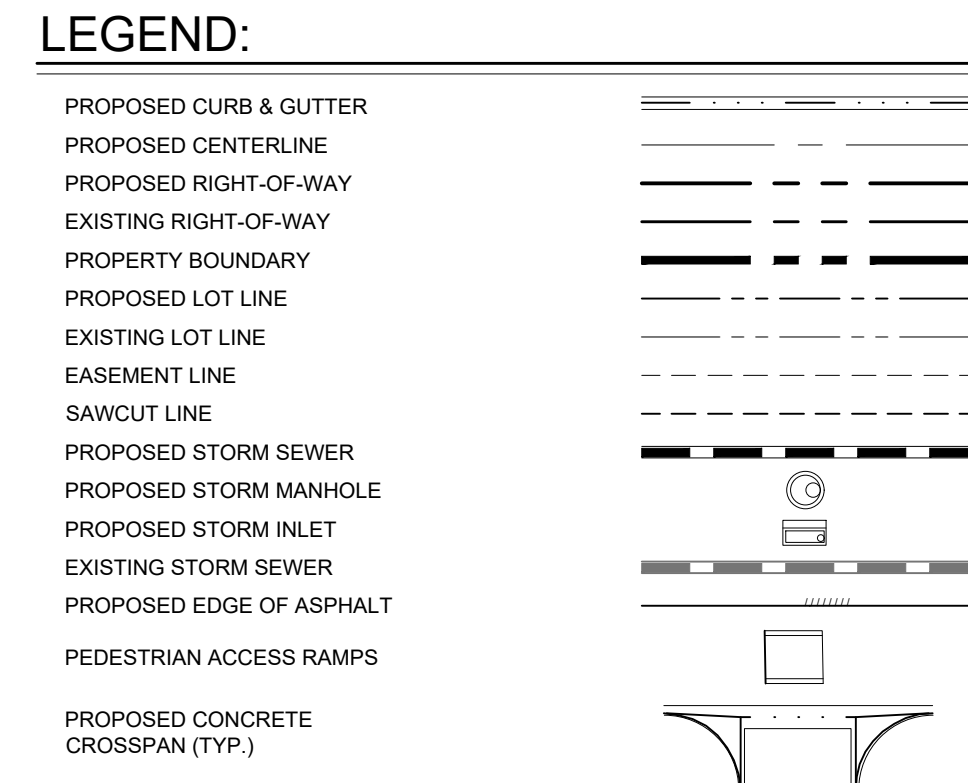
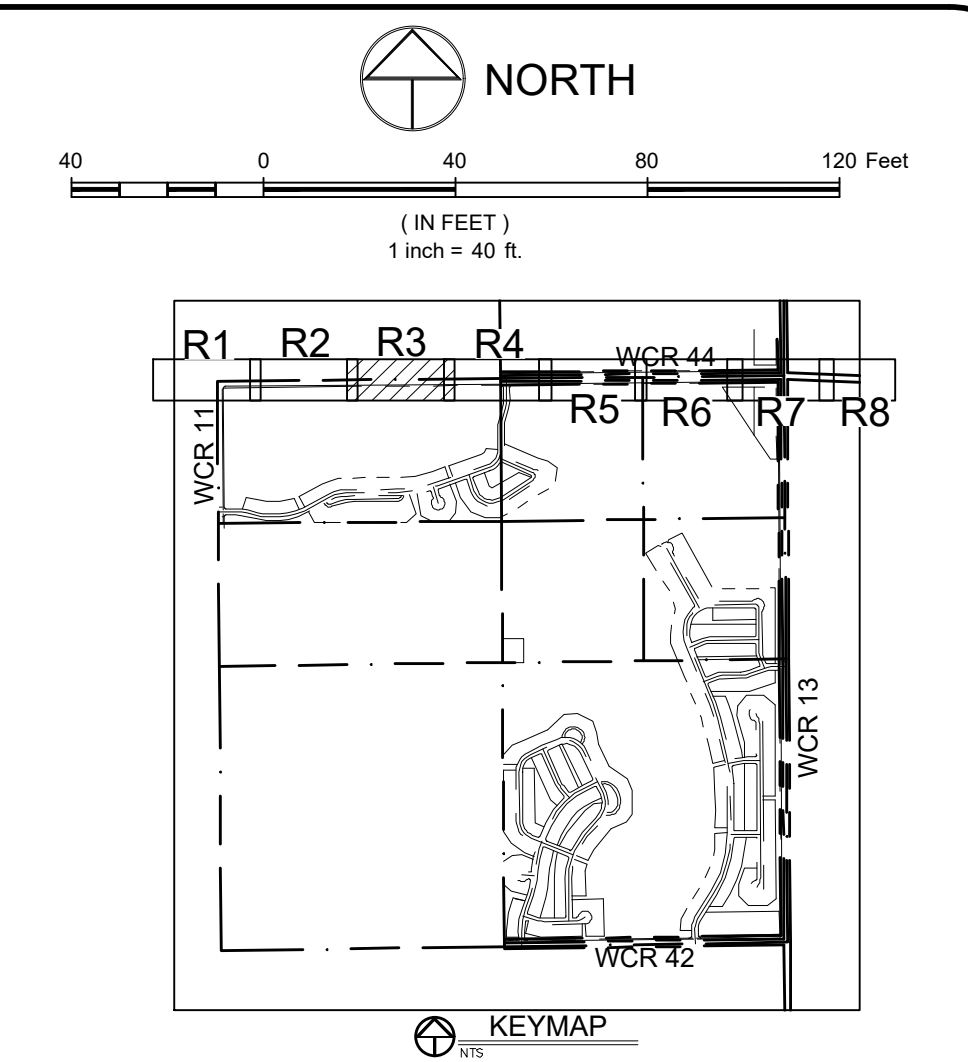
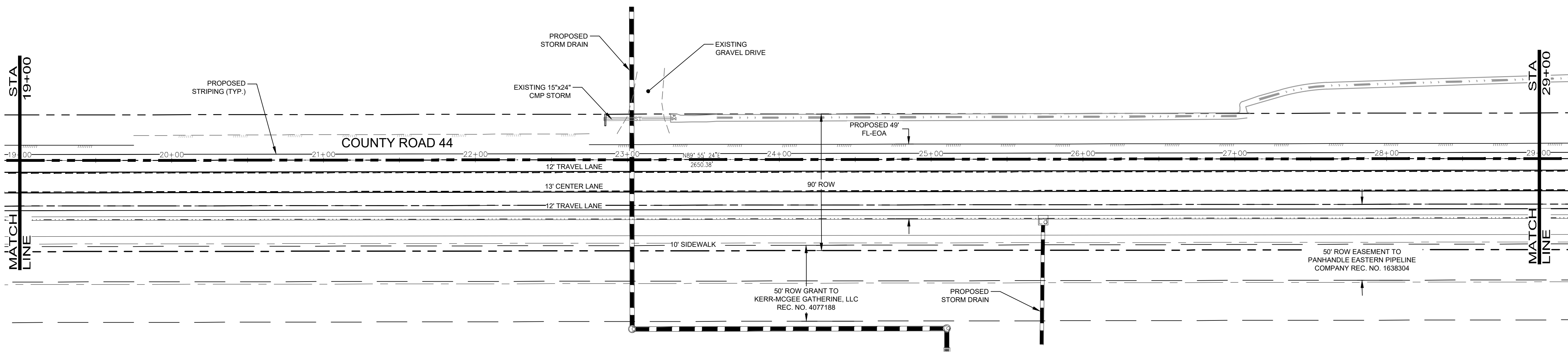
NORTHERN ENGINEERING
 970.231.4158
 northneng.com
 FORT COLLINS, CO 301 North Hovea Street, Suite 100, 80521
 GREELEY, CO 82031 8th Street, 80531

PROJECT:	1659-C01
DATE:	11/12/21
DESIGNED BY:	B. Ruch
SCALE:	1" = 40'
DRAWN BY:	C. Ungermann
P. MANAGER:	D. Weber

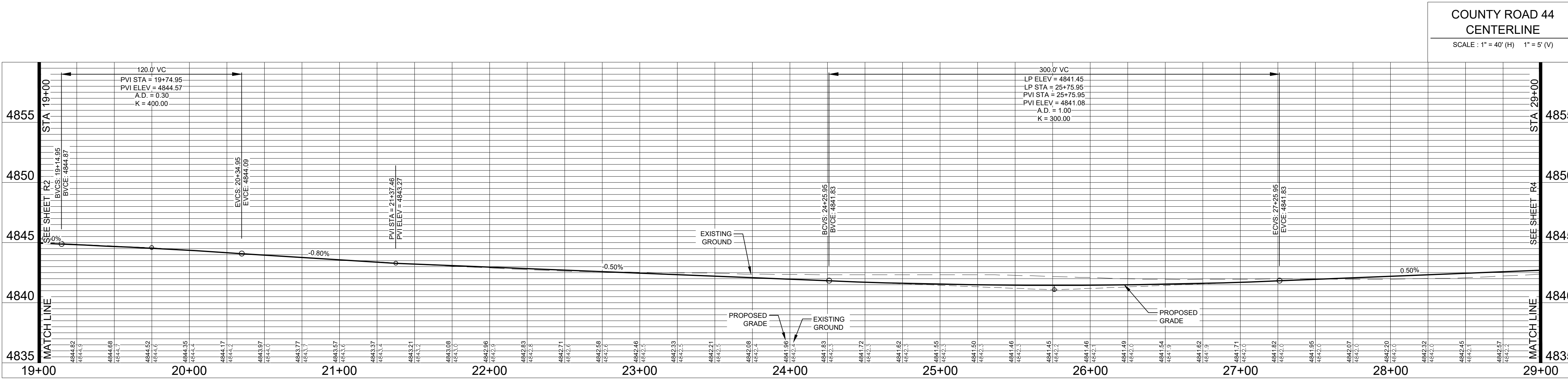
PODTBURG PROPERTY
COUNTY ROAD 44
INTERIM PLAN & PROFILE



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Revisions:
 No. 1
 Description: **REVIEW SET**
 Date: 11/17/21
NOT FOR CONSTRUCTION

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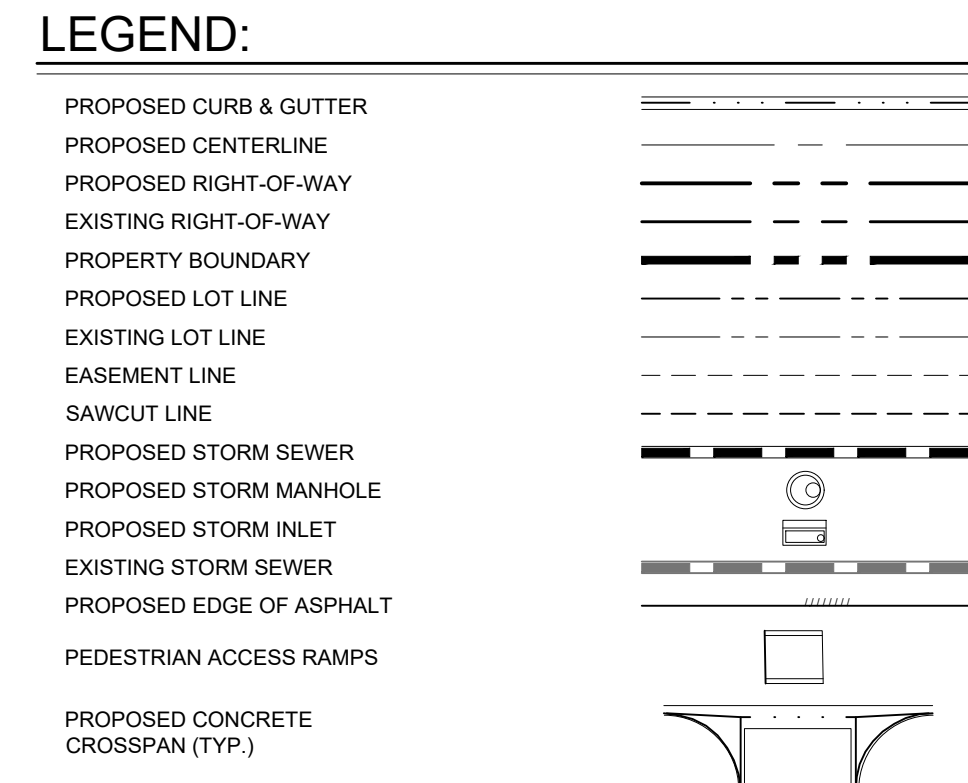
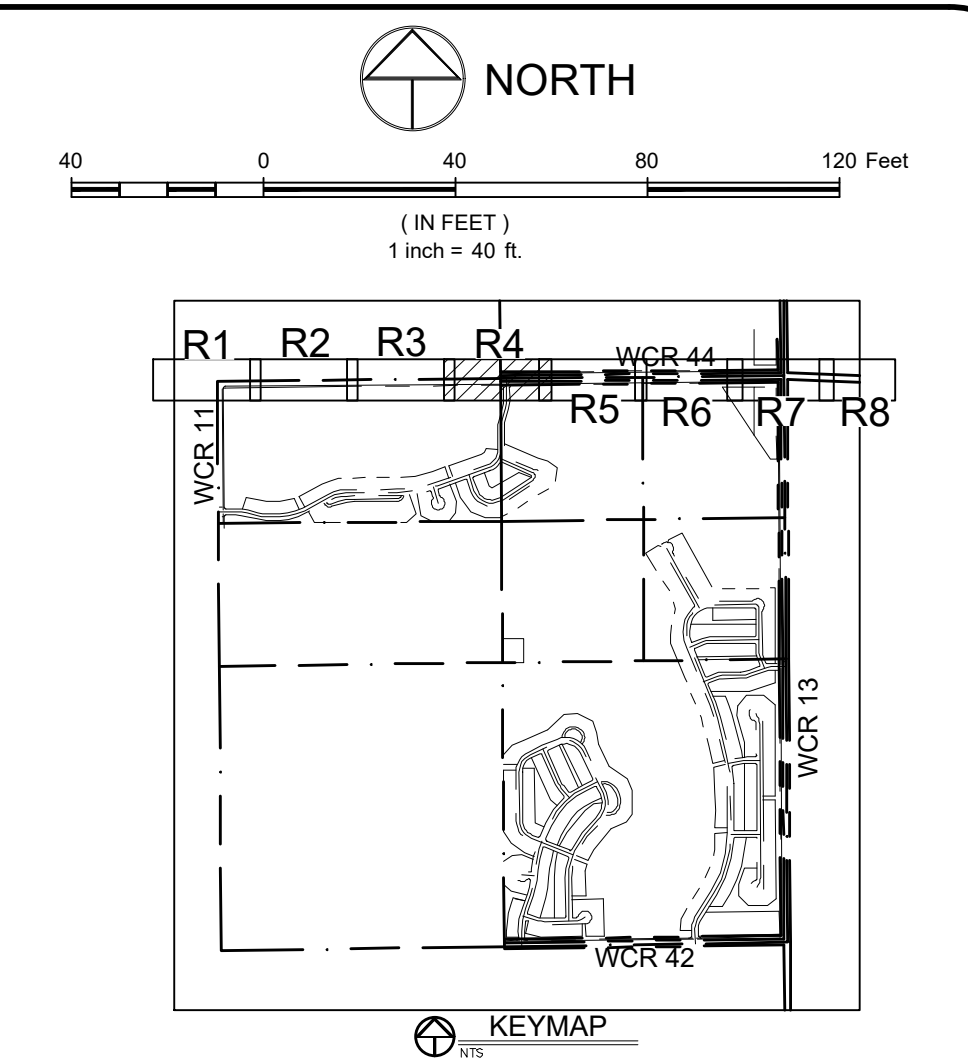
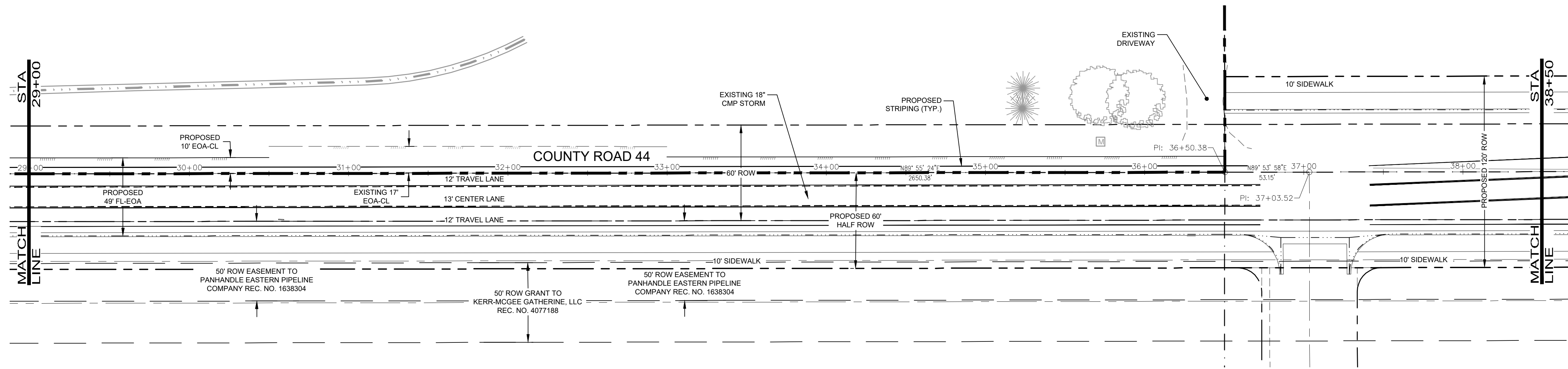
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PROJECT:	1659-C01
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SCALE:	1" = 40'
DRAWN BY:	C. Ungerman
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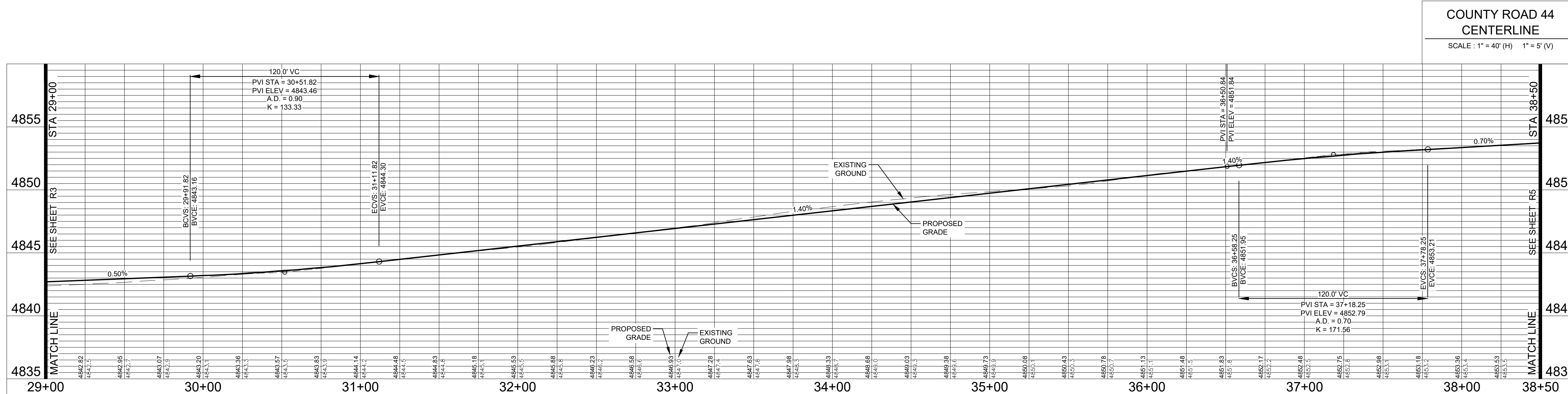
PODTBURG PROPERTY
COUNTY ROAD 44
 INTERIM PLAN & PROFILE



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Revisions:
 No. 1
 Date: 11/12/21
REVIEW SET
NOT FOR CONSTRUCTION
 11/12/21

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 northernengineering.com
 FORT COLLINS, 301 North Hovea Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80631

PROJECT: 1659-001
 DATE: 11/12/21
 DESIGNED BY: B. Ruch
 SCALE: 1"=40'
 DRAWN BY: C. Ungermann
 P. MANAGER: D. Weber

PODTBURG PROPERTY
COUNTY ROAD 44
INTERIM PLAN & PROFILE

Sheet
R4
 29 of 50

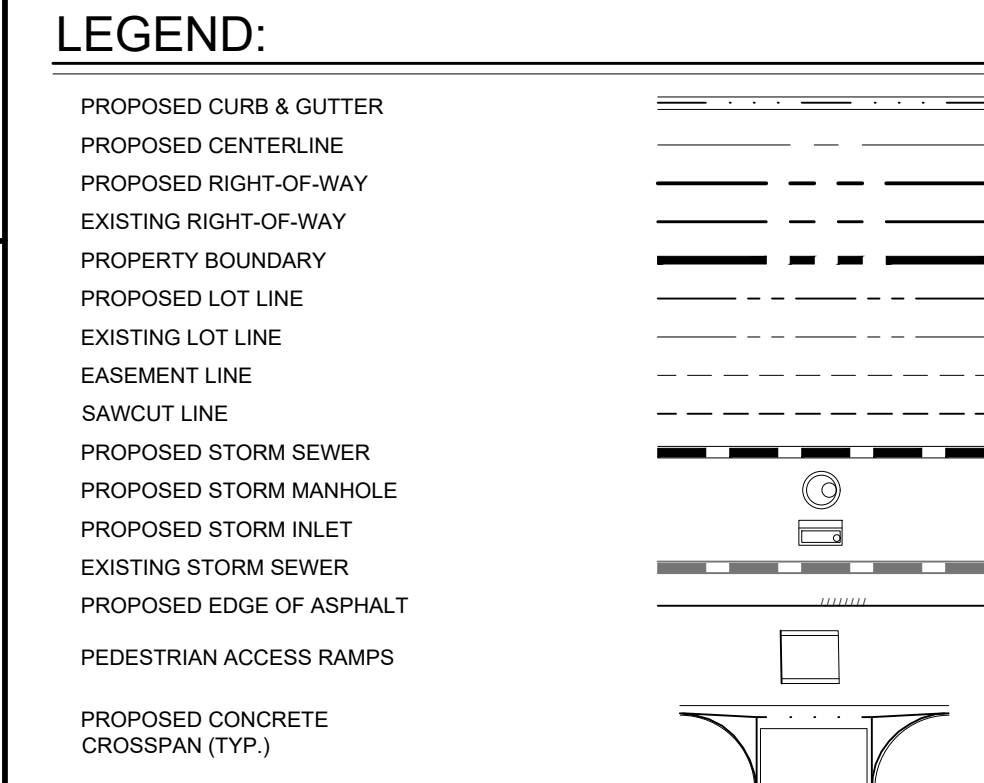
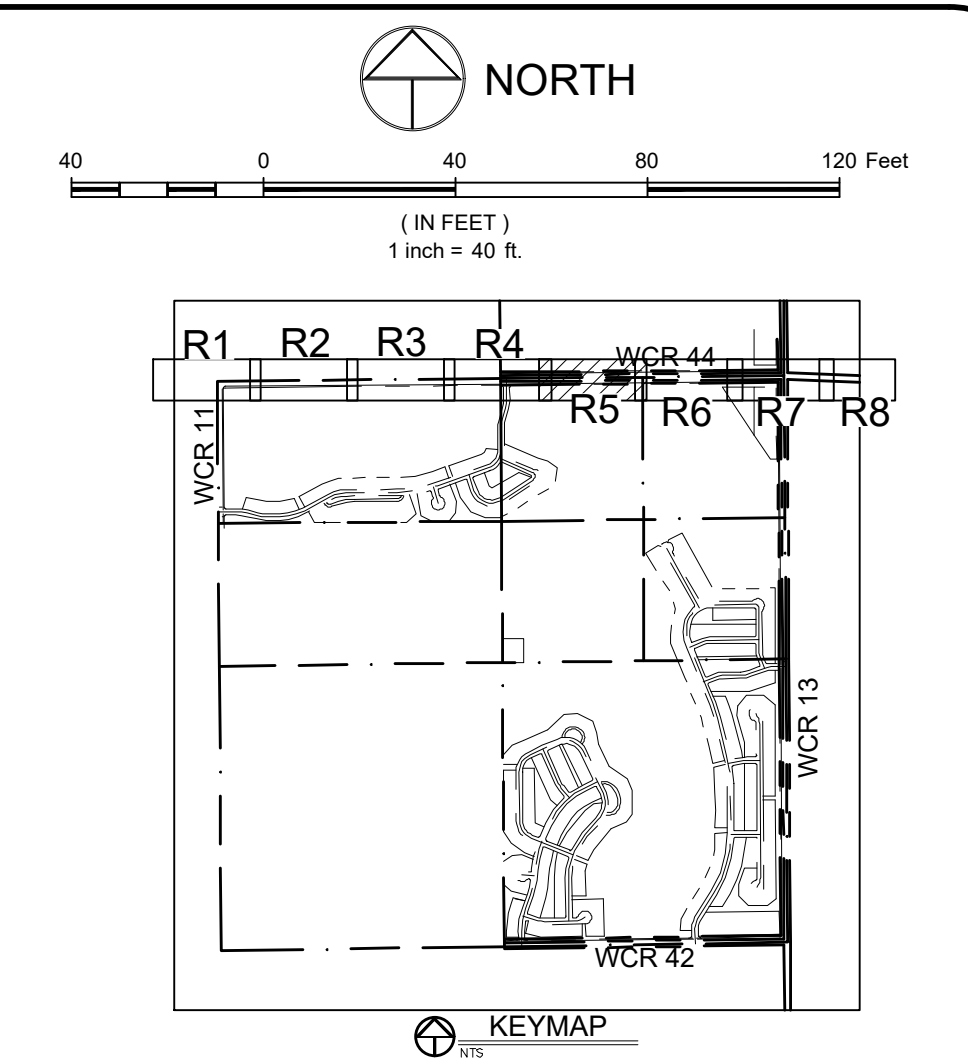
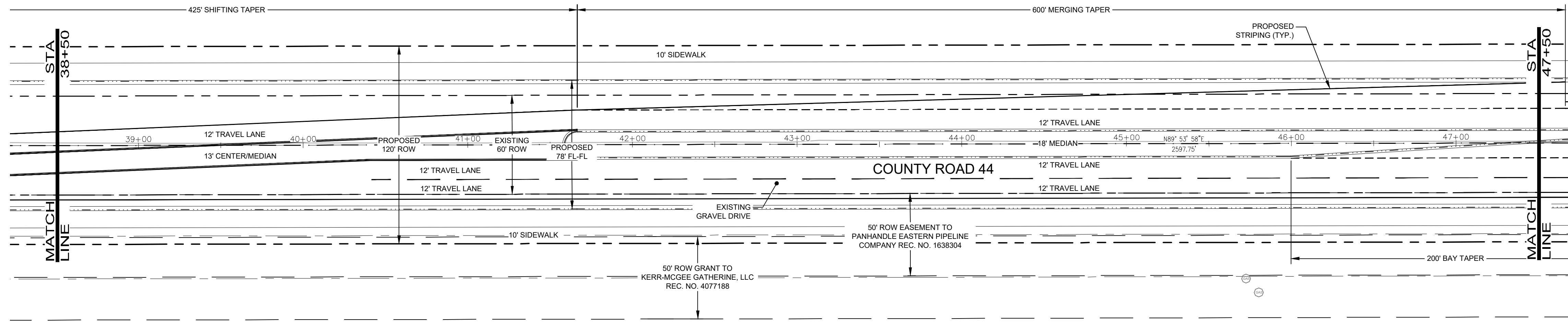
CALL UTILITY NOTIFICATION CENTER OF COLORADO



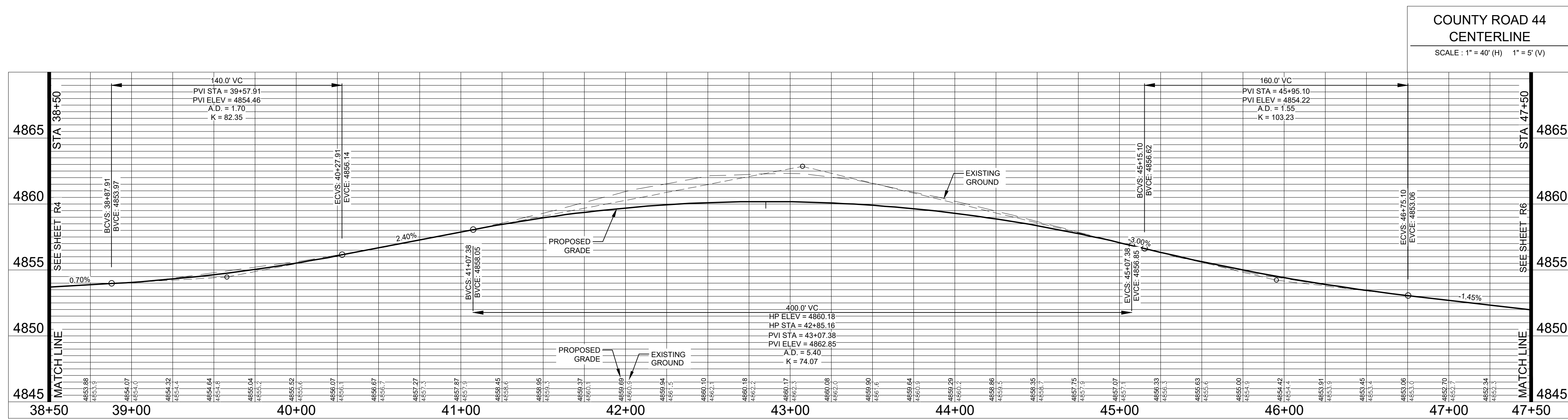
Know what's below. Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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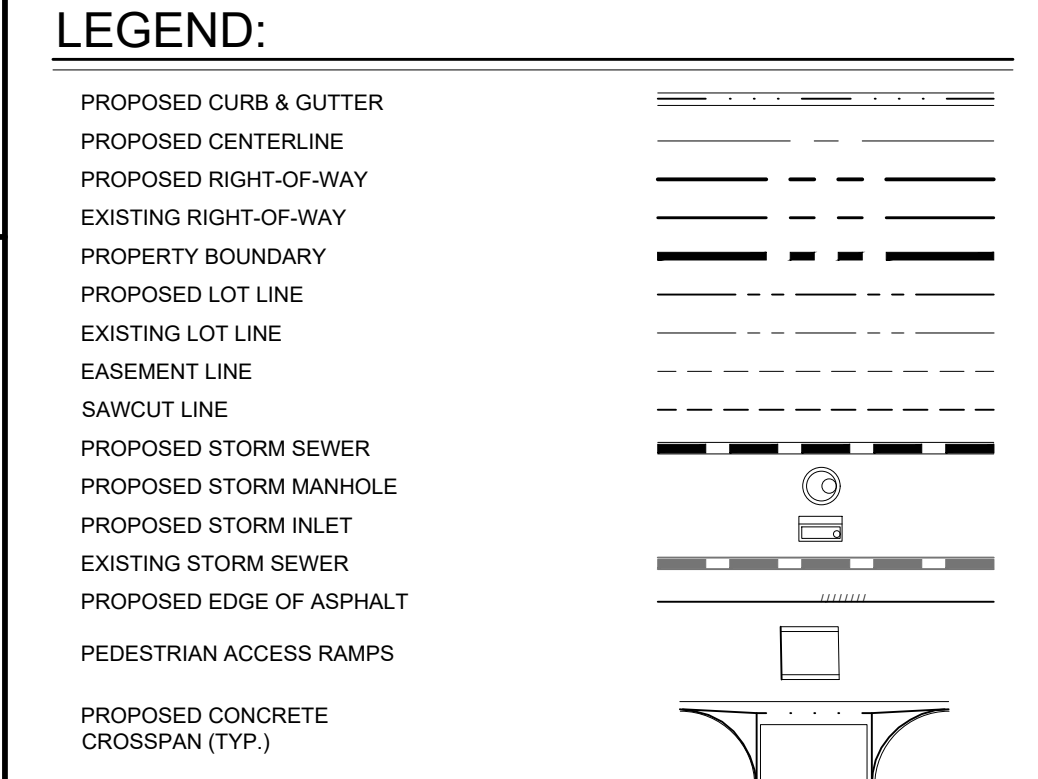
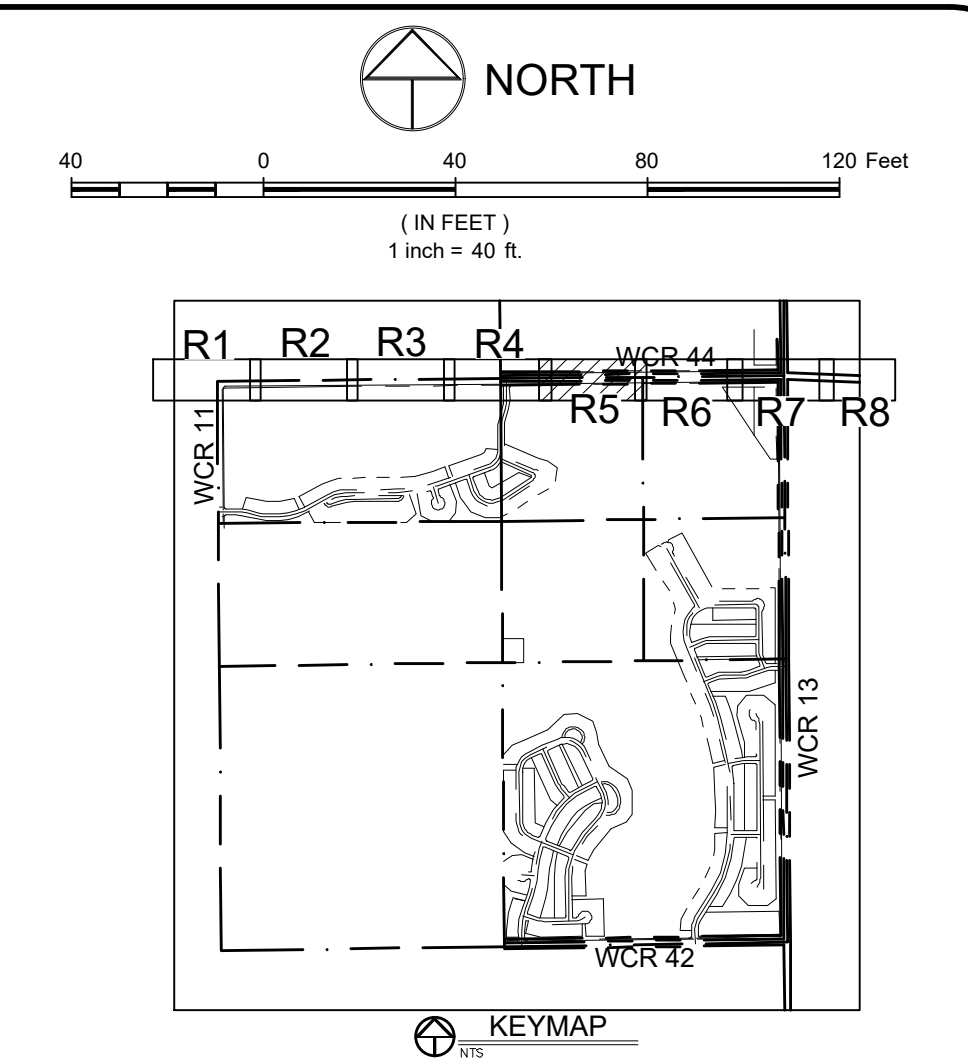
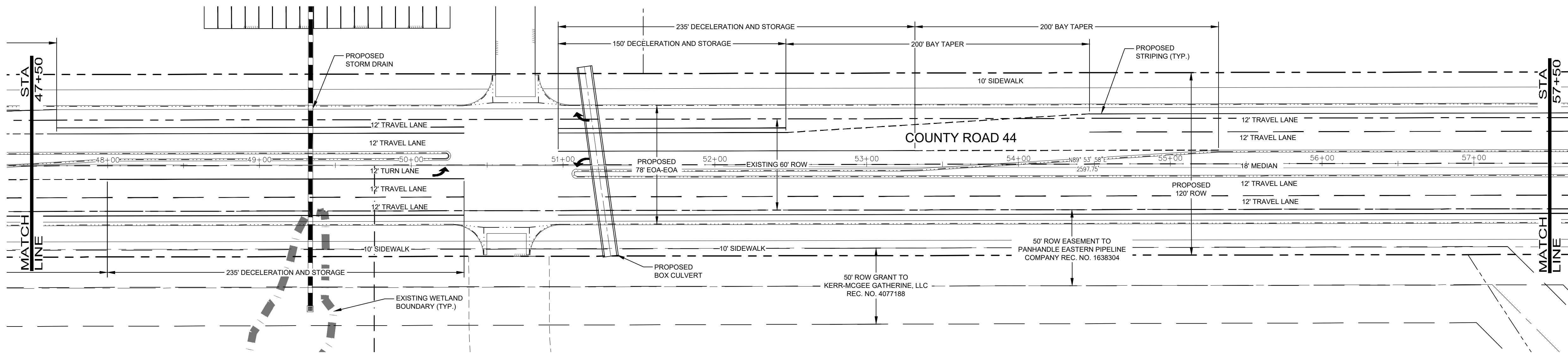
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 FORT COLLINS, CO 301 North Hovea Street, Suite 100, 80521
 GREELEY, CO 820 8th Street, 80631

PROJECT:	1659-C01
DATE:	11/12/21
DESIGNED BY:	B. Ruch
SCALE:	1"=40'
DRAWN BY:	C. Ungerman
P. MANAGER:	D. Weber

PODTBURG PROPERTY
COUNTY ROAD 44
 INTERIM PLAN & PROFILE

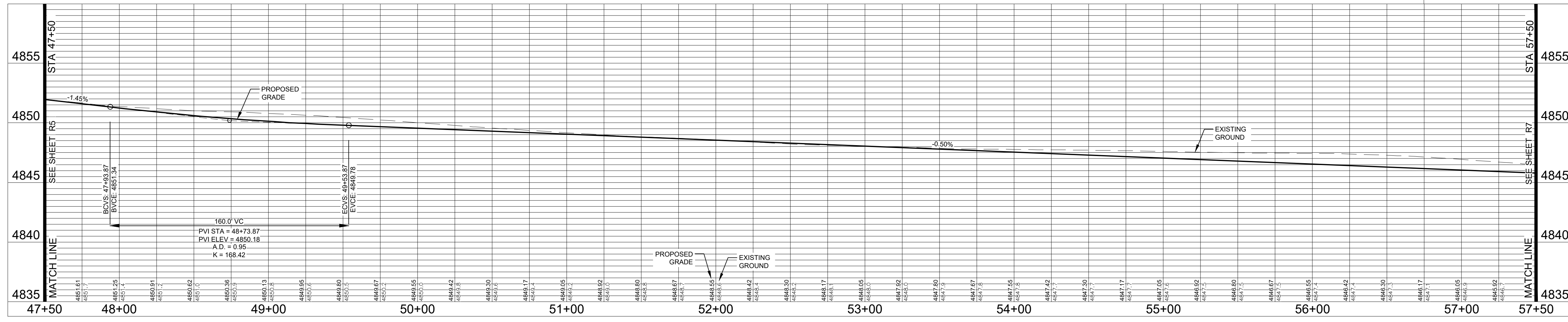


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COUNTY ROAD 44
CENTERLINE
SCALE: 1" = 40' (H) 1" = 5' (V)



Revisions:

REVIEW SET

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11/12/21

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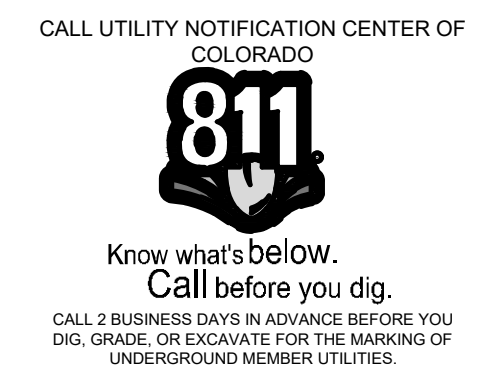
PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1"=40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

POTDURG PROPERTY

COUNTY ROAD 44

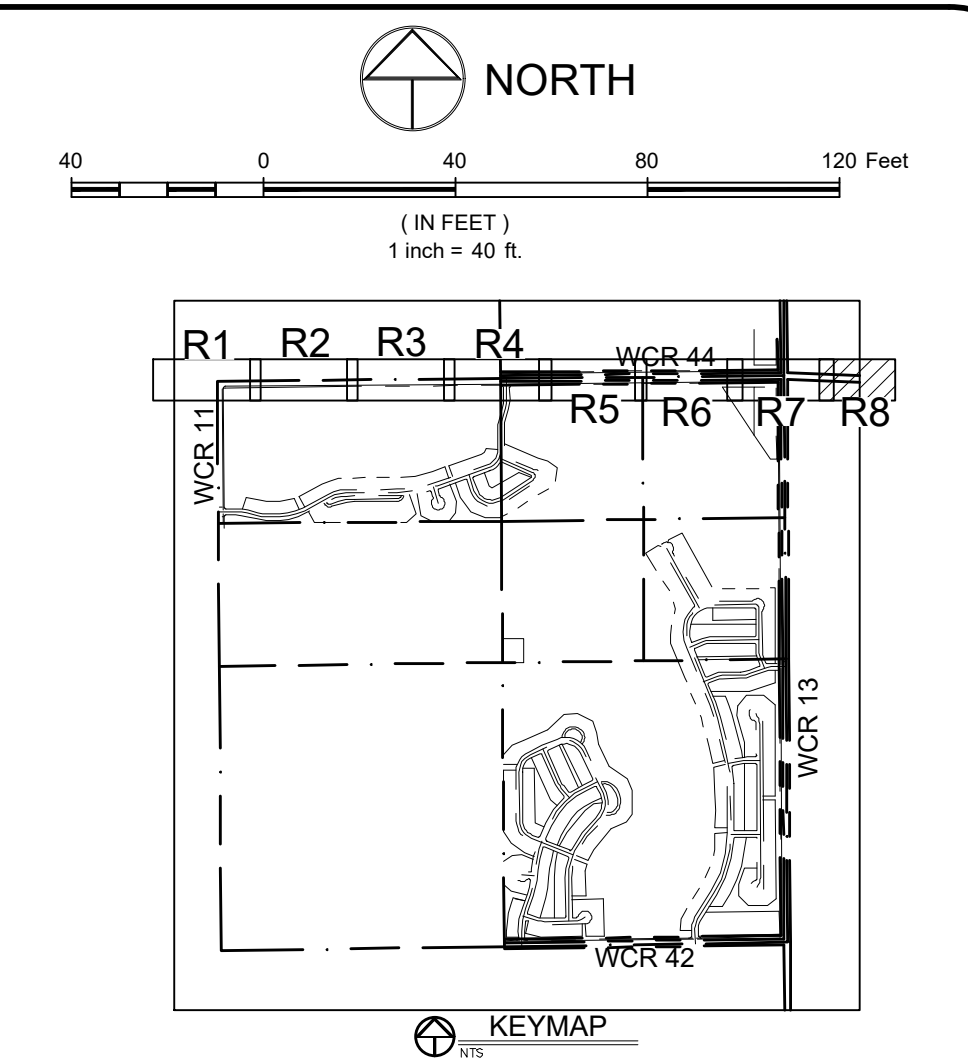
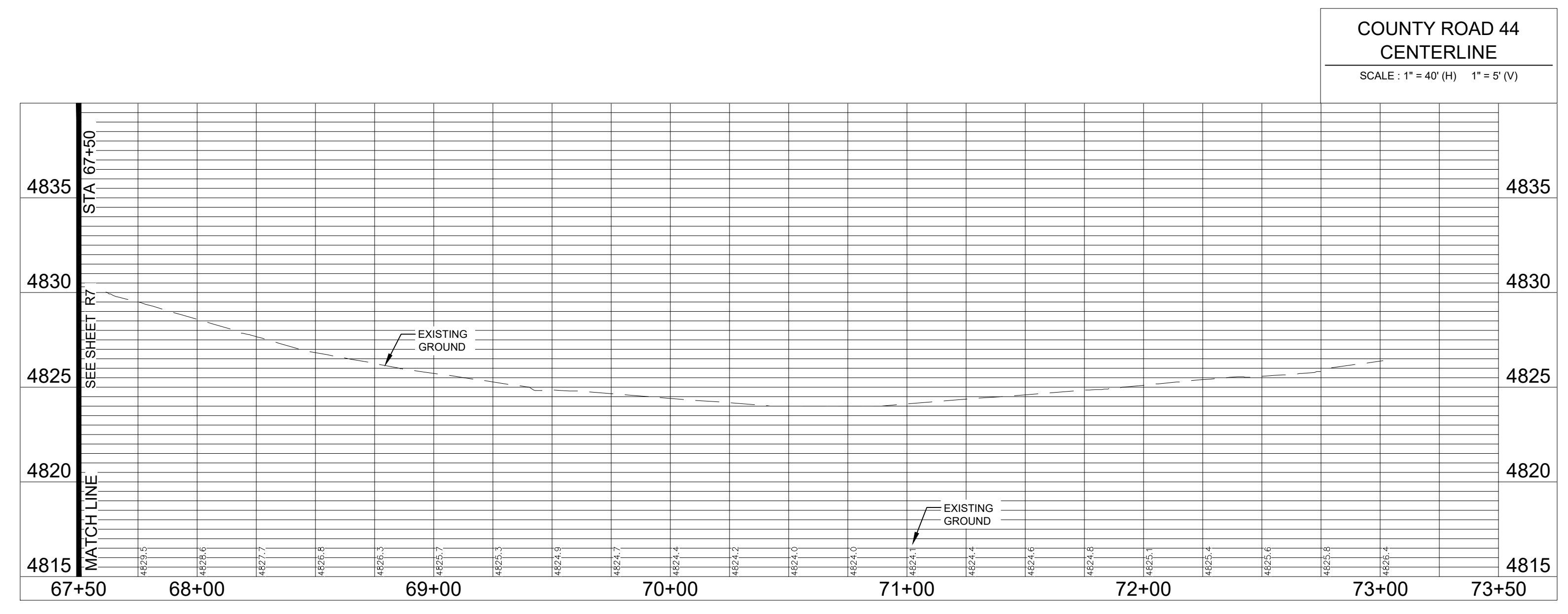
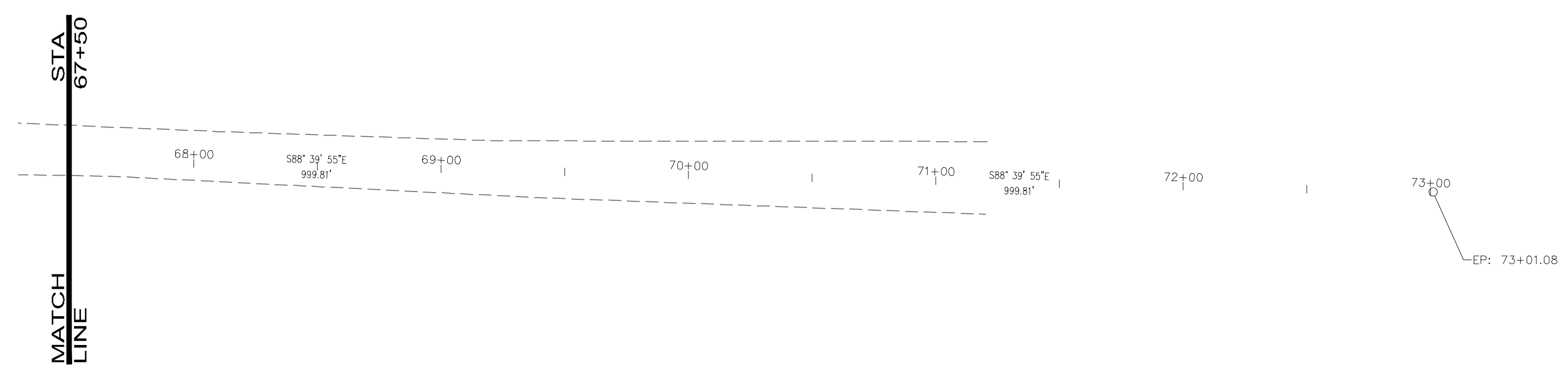
INTERIM PLAN & PROFILE

Sheet
R6
31 of 50



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LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED CENTERLINE	
PROPOSED RIGHT-OF-WAY	
EXISTING RIGHT-OF-WAY	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
EASEMENT LINE	
SAWCUT LINE	
PROPOSED STORM SEWER	
PROPOSED STORM MANHOLE	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
PROPOSED EDGE OF ASPHALT	
PEDESTRIAN ACCESS RAMPS	
PROPOSED CONCRETE CROSSPAN (TYP.)	

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Revisions:

No.	Date:	Description:
1	11/12/21	REVIEW SET
2	11/12/21	NOT FOR CONSTRUCTION

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FOOT COLLINS, 301 North Hovea Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80531

PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

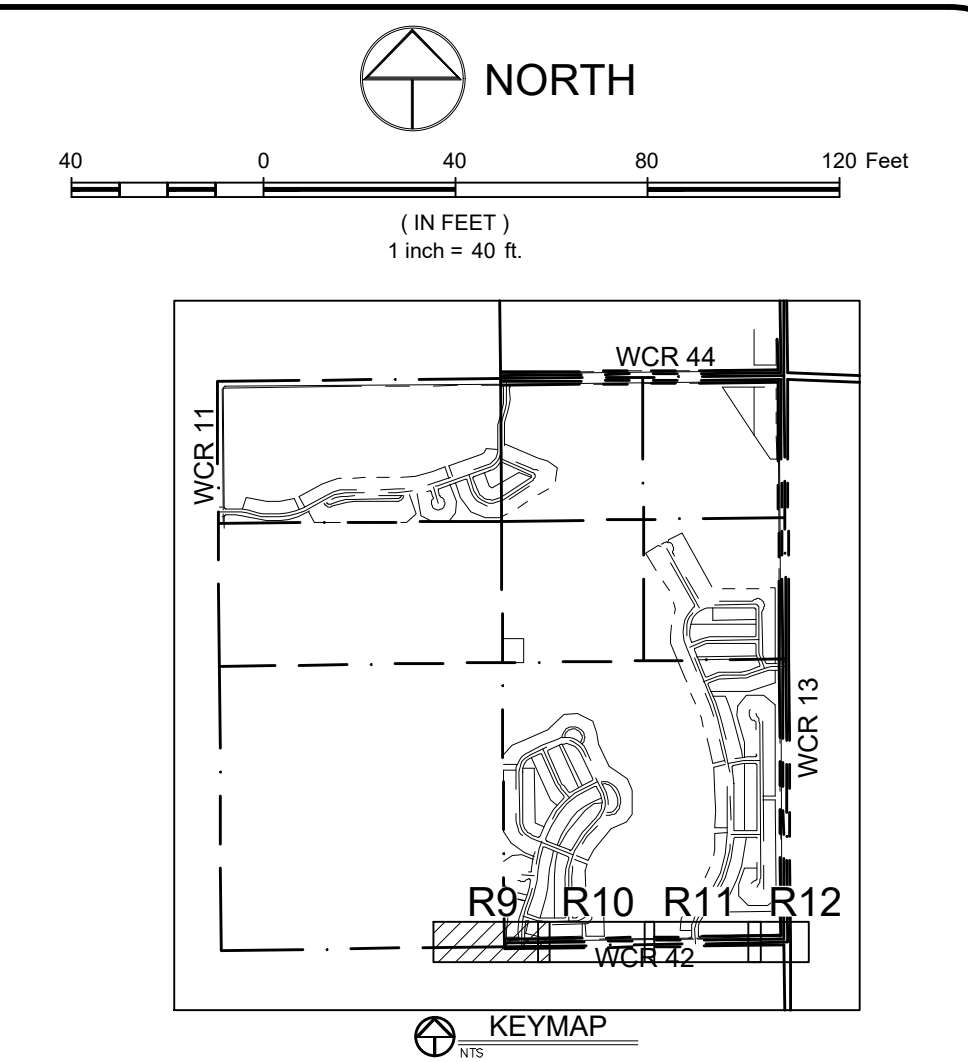
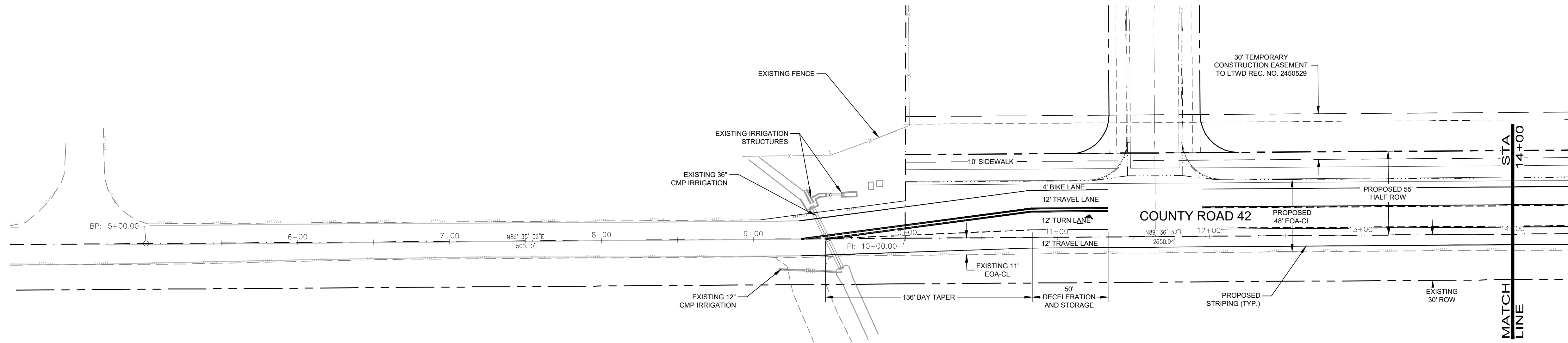
POTDURG PROPERTY
 COUNTY ROAD 44
 INTERIM PLAN & PROFILE

CALL UTILITY NOTIFICATION CENTER OF COLORADO

811

Know what's below.
 Call before you dig.

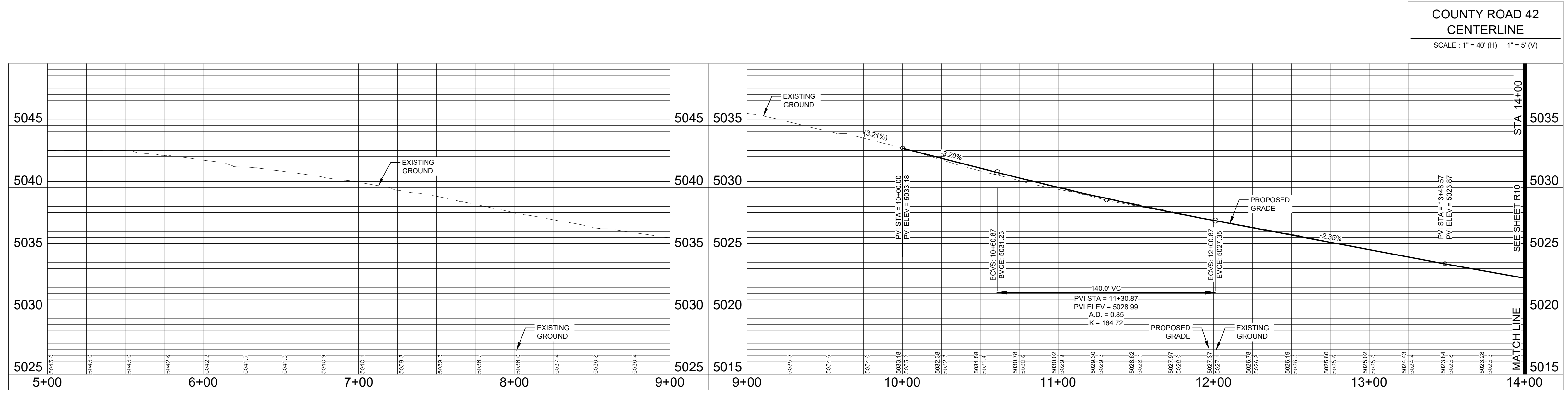
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED CENTERLINE	
PROPOSED RIGHT-OF-WAY	
EXISTING RIGHT-OF-WAY	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
EASEMENT LINE	
SAWCUT LINE	
PROPOSED STORM SEWER	
PROPOSED STORM MANHOLE	
PROPOSED STORM INLET	
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FOOT COLLINS, 301 North Hovea Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80531

PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1"=40'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTBURG PROPERTY
COUNTY ROAD 42
 INTERIM PLAN & PROFILE

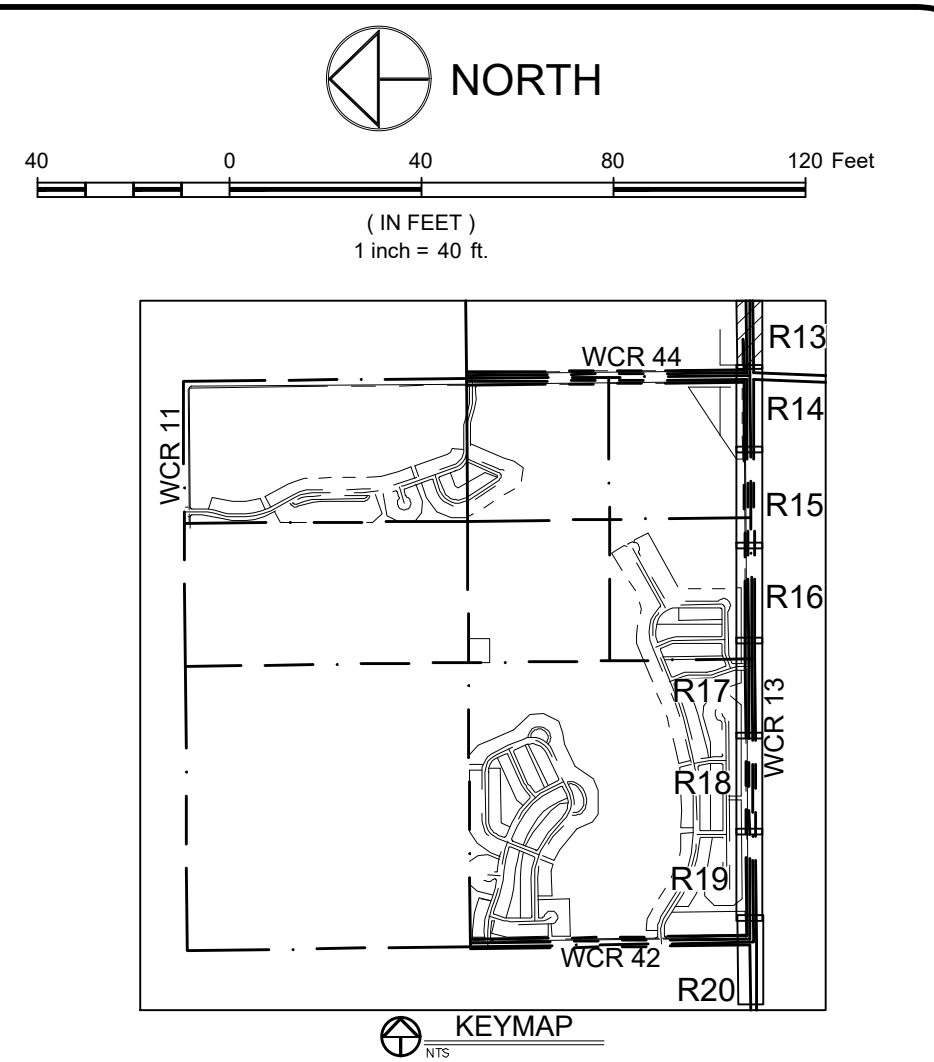
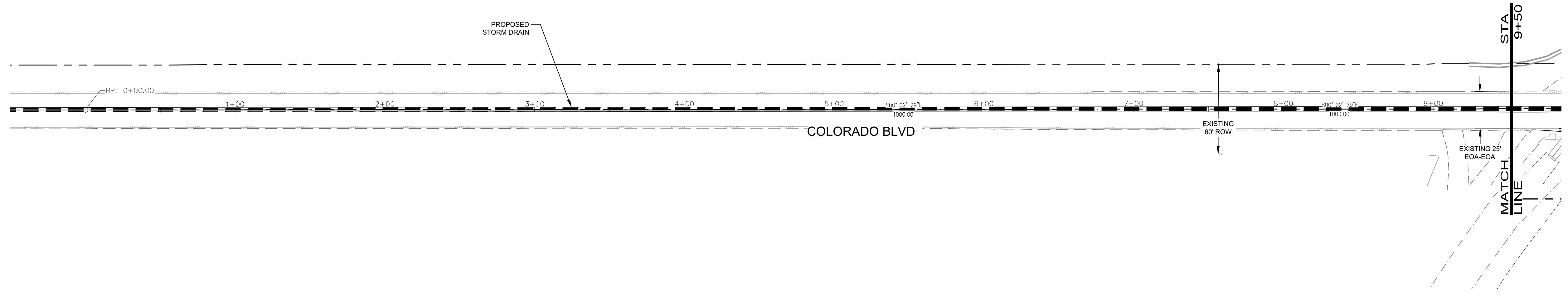
CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
 Call before you dig.

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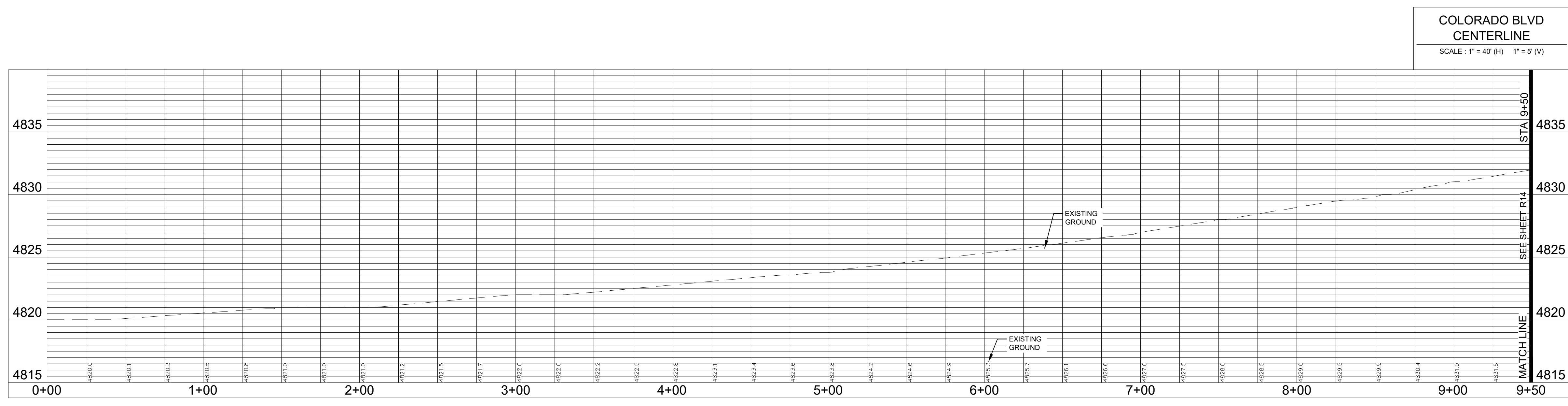
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LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED CENTERLINE	
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EXISTING RIGHT-OF-WAY	
PROPERTY BOUNDARY	
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EXISTING LOT LINE	
EASEMENT LINE	
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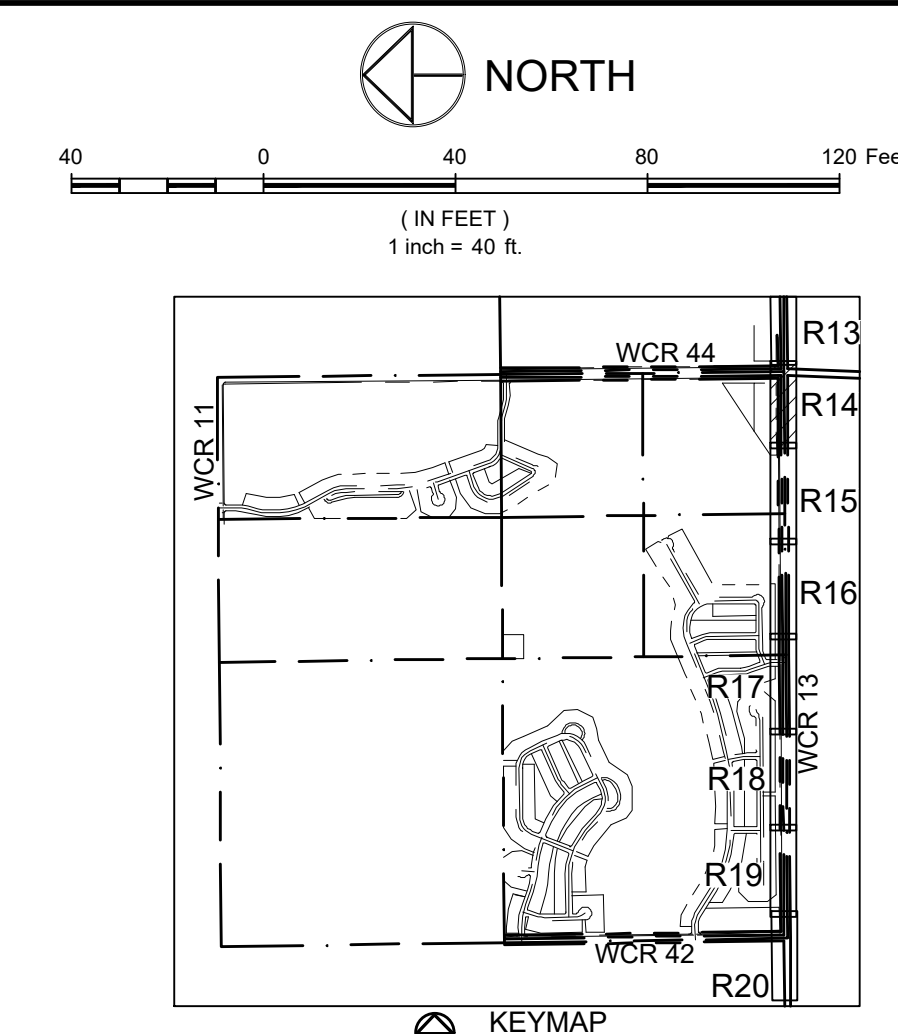
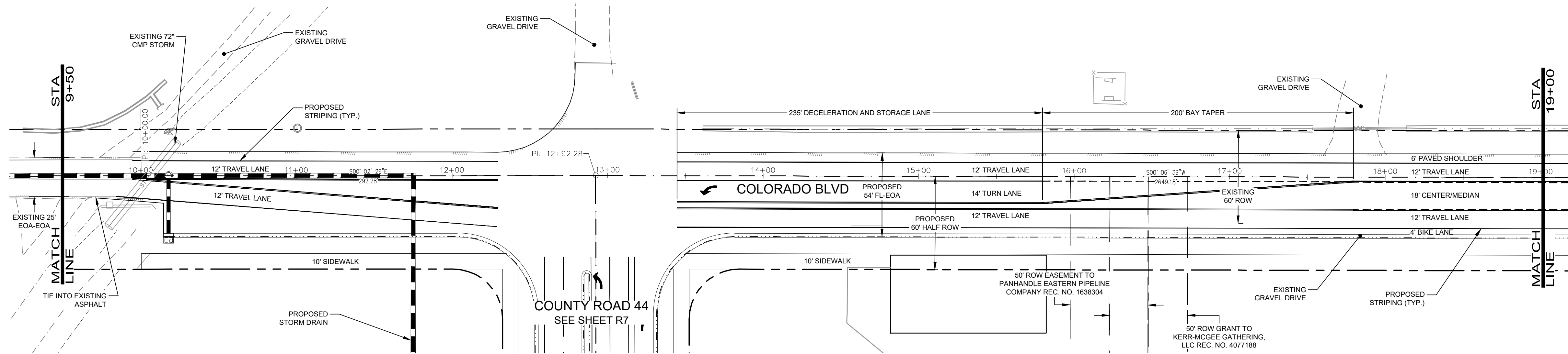
NORTHERN ENGINEERING
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 FORT COLLINS, 301 North Hovea Street, Suite 100, 80521
 GREELEY, 820 8th Street, 80531

PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1"=40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

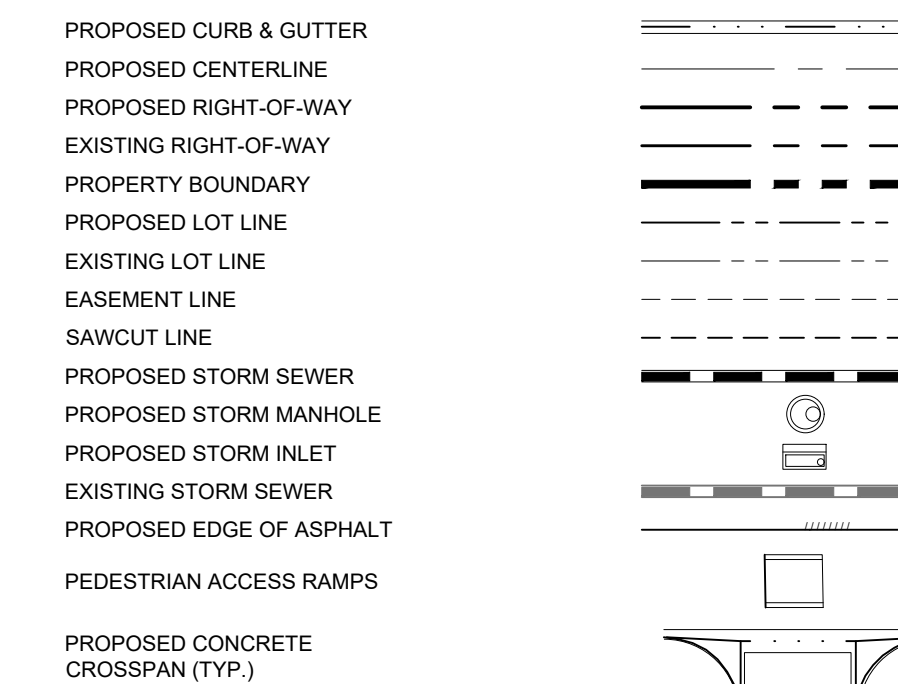
PODTBURG PROPERTY
COLORADO BLVD
 INTERIM PLAN & PROFILE



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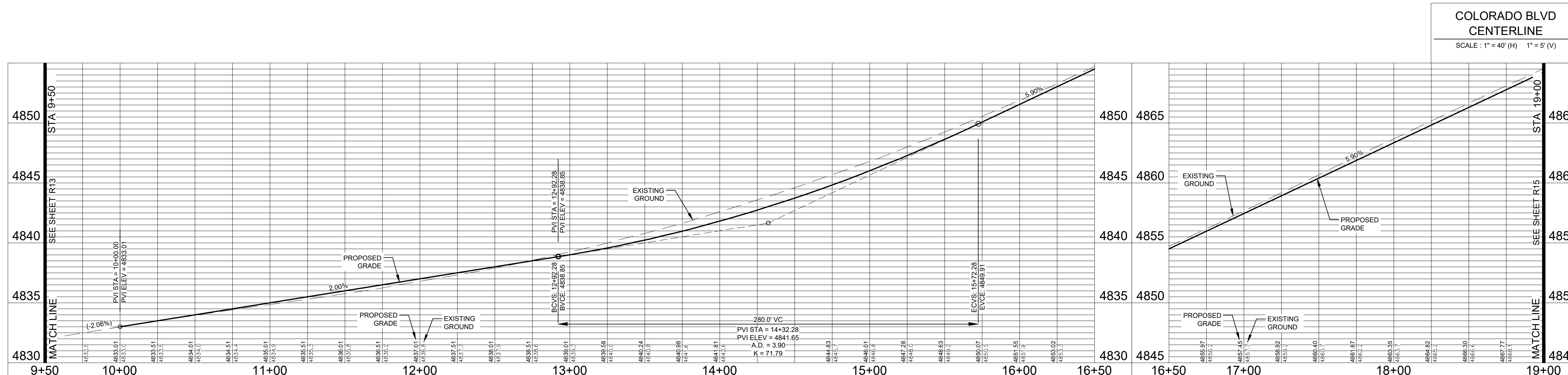


LEGEND:



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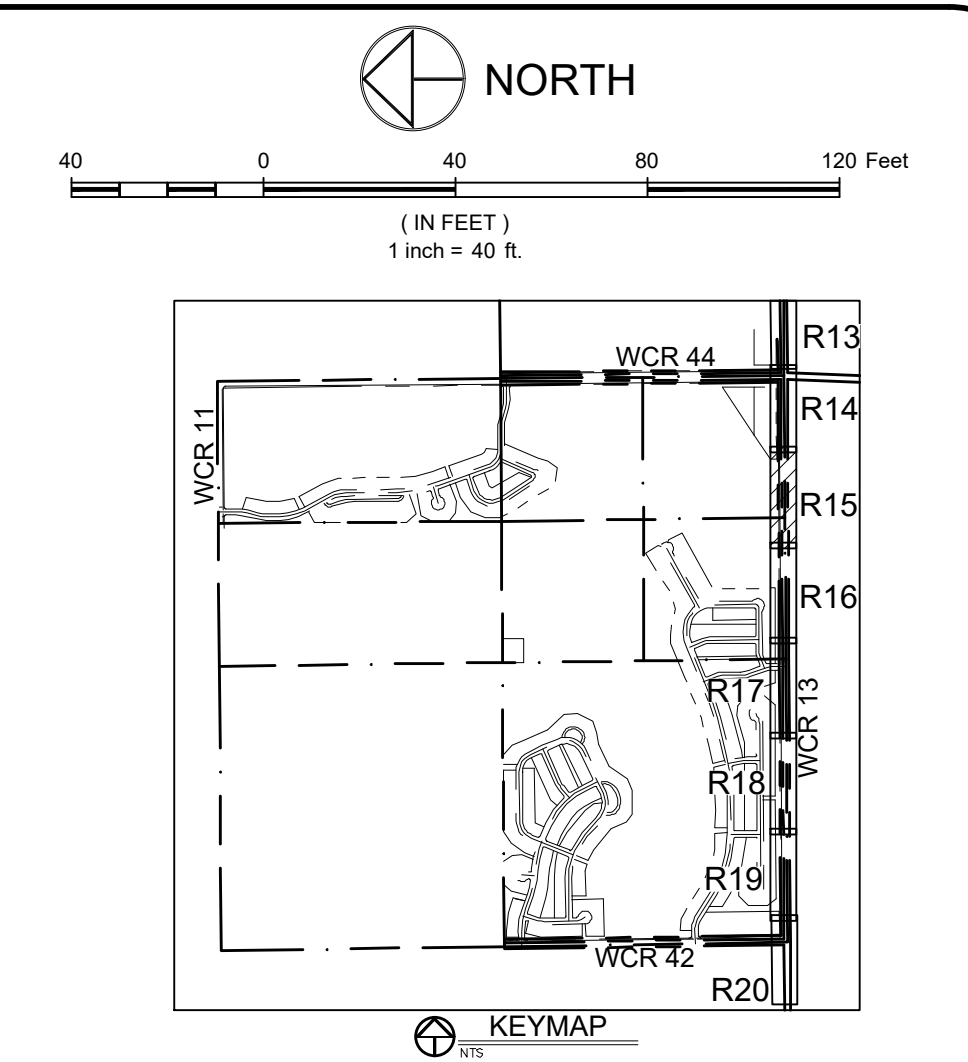
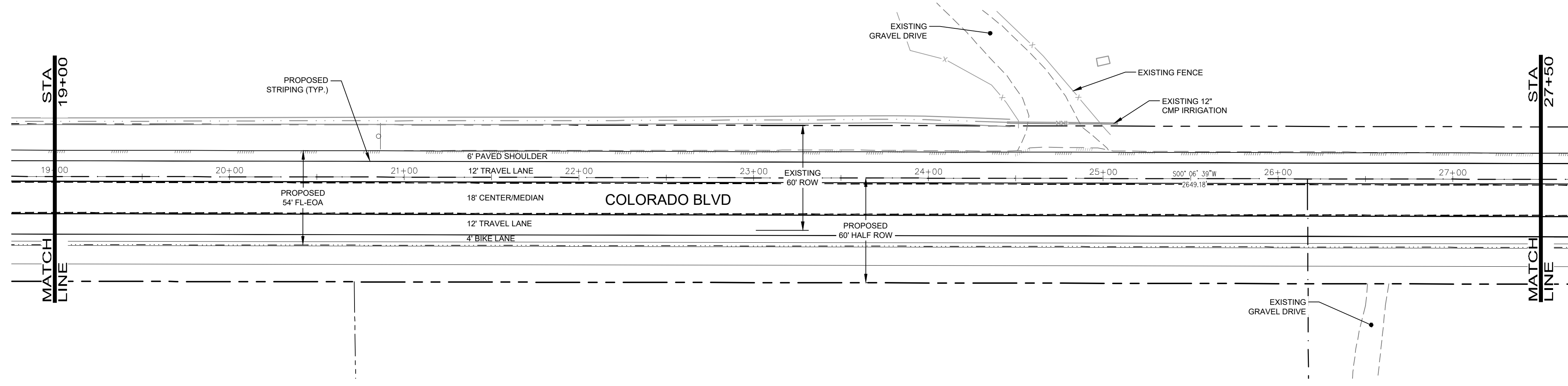
PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1"=40'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTBURG PROPERTY
COLORADO BLVD
 INTERIM PLAN & PROFILE

Sheet
R14
 39 of 50



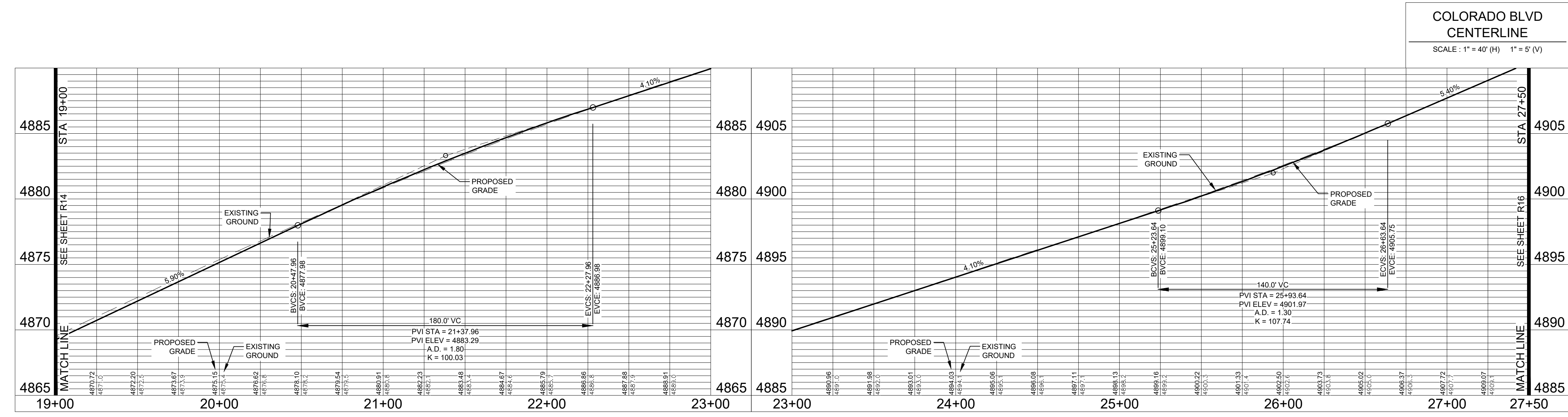
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LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED CENTERLINE	
PROPOSED RIGHT-OF-WAY	
EXISTING RIGHT-OF-WAY	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
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PROPOSED CONCRETE CROSSSPAN (TYP.)	

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DATE: 11/12/21

PROJECT: 1659-C01

DESIGNED BY: B. Ruch

DRAWN BY: C. Ungerman

P. MANAGER: D. Weber

SCALE: 1" = 40'

Revisions:

NO.

11/12/21

REVIEW SET

NOT FOR CONSTRUCTION

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NORTHERN ENGINEERING

970.231.4158
nortneng.com

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GREELEY, 820 8th Street, 80531

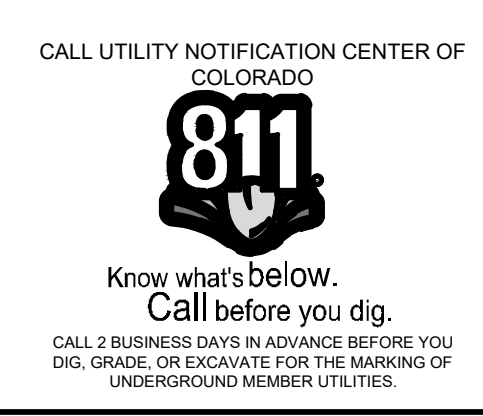
PODTEBURG PROPERTY

COLORADO BLVD

INTERIM PLAN & PROFILE

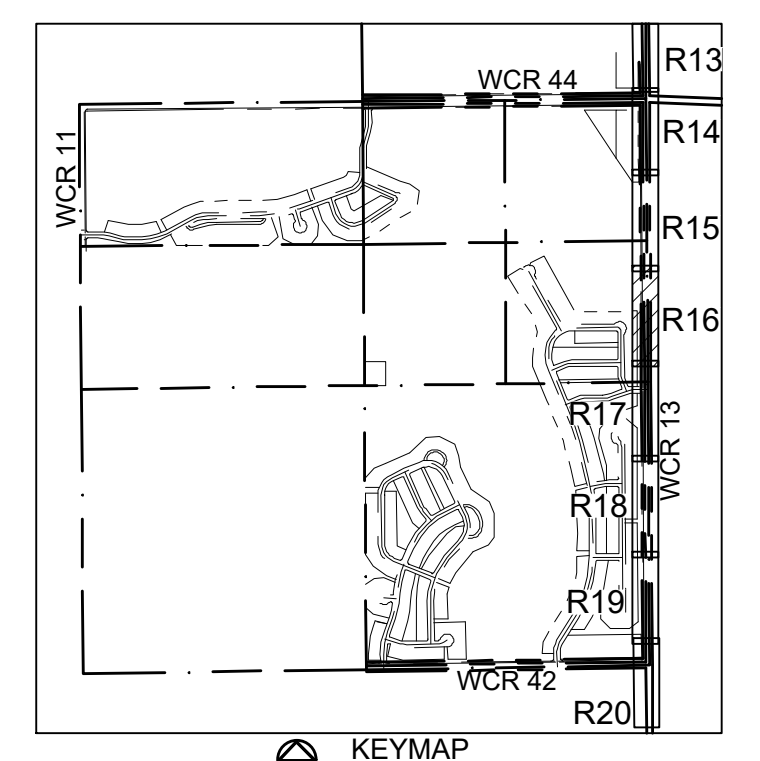
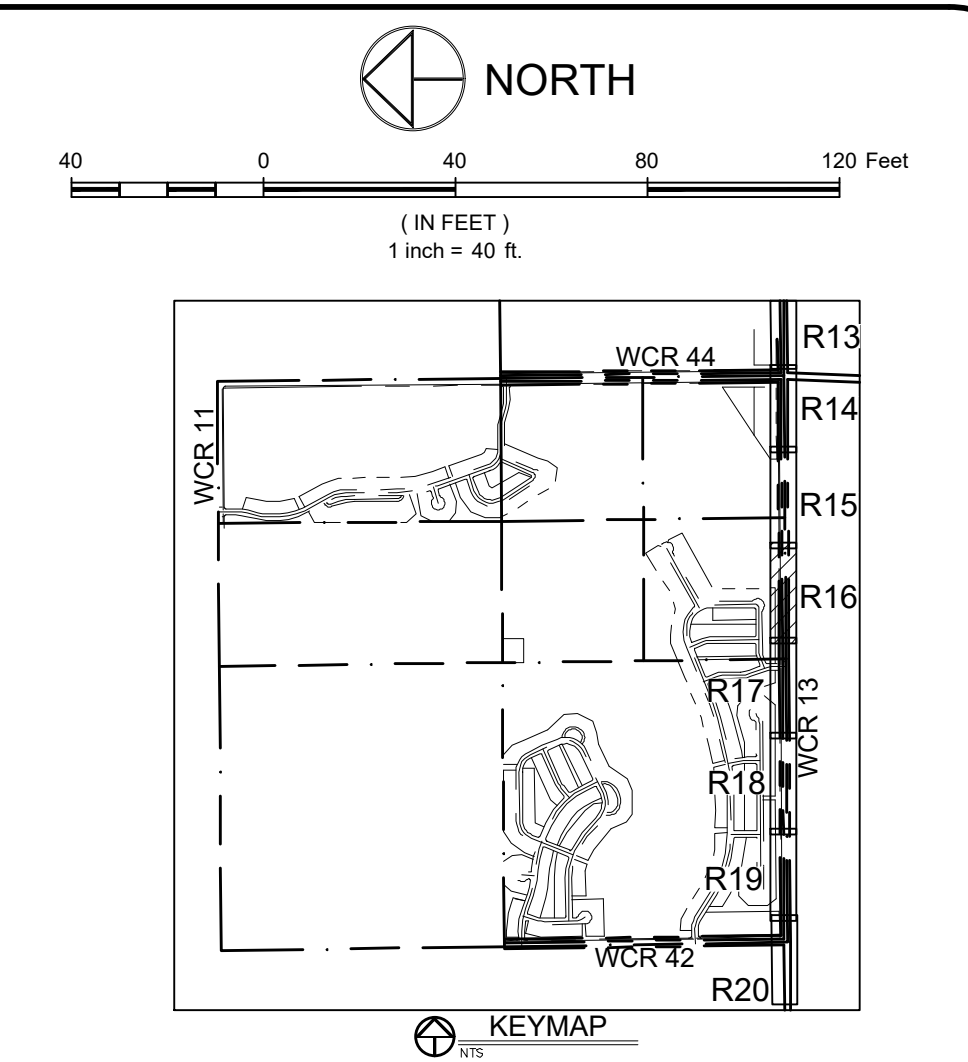
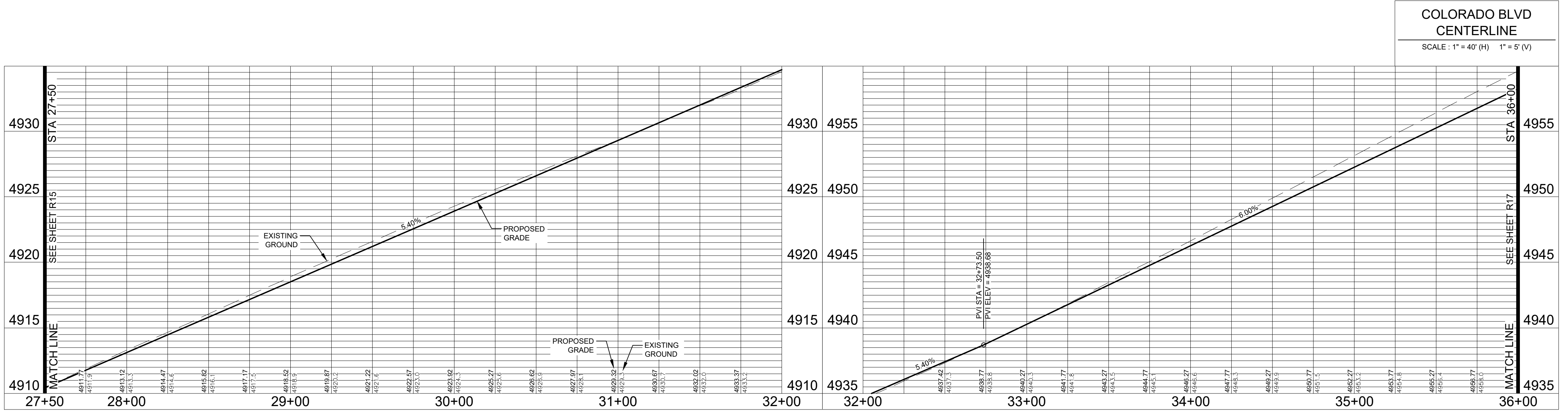
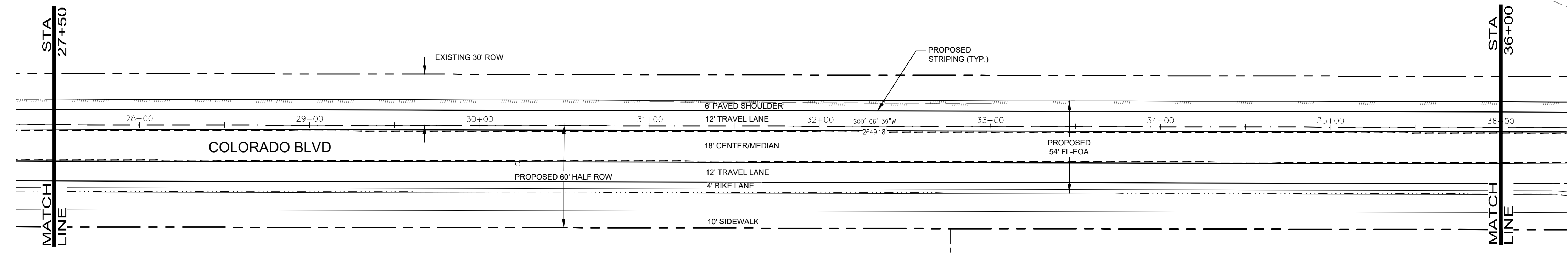
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LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED CENTERLINE	
PROPOSED RIGHT-OF-WAY	
EXISTING RIGHT-OF-WAY	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
EASEMENT LINE	
SAWCUT LINE	
PROPOSED STORM SEWER	
PROPOSED STORM MANHOLE	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
PROPOSED EDGE OF ASPHALT	
PEDESTRIAN ACCESS RAMPS	
PROPOSED CONCRETE CROSSPAN (TYP.)	

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Revisions:
 No. _____
 Date: _____
REVIEW SET
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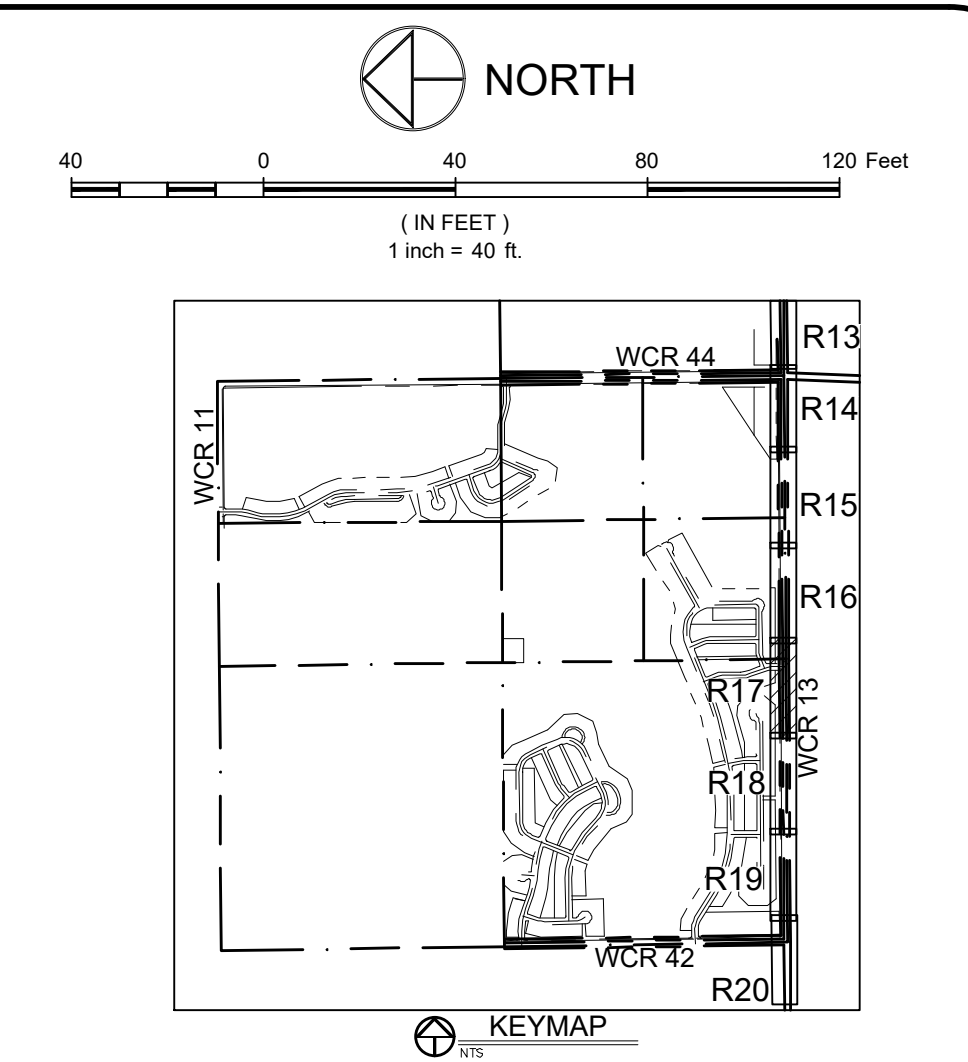
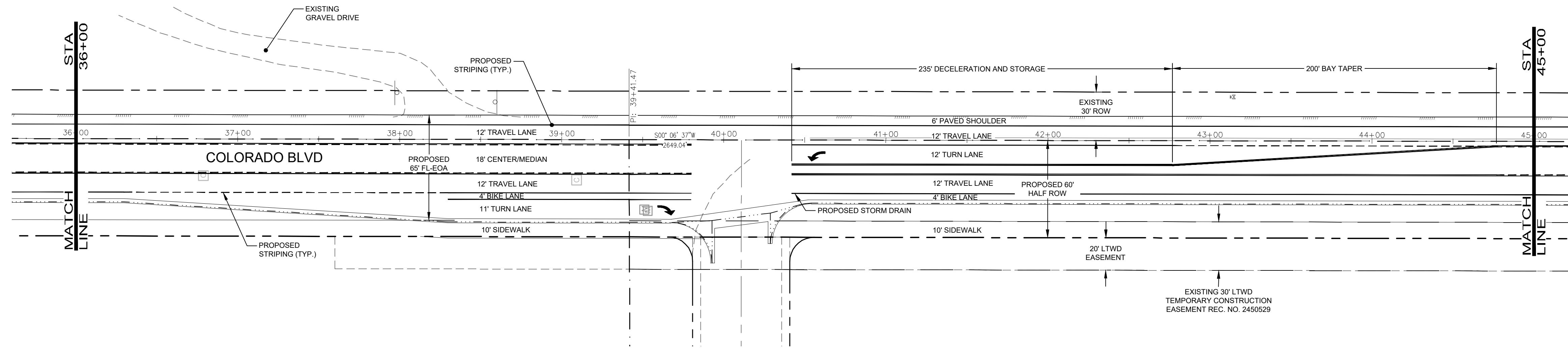
NORTHERN ENGINEERING

FOOT COLLINS, 301 North Haver Street, Suite 100, 80821
 GREELEY, CO 80639
 970.231.4158
 northernengineering.com

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

PODTBURG PROPERTY
COLORADO BLVD
 INTERIM PLAN & PROFILE

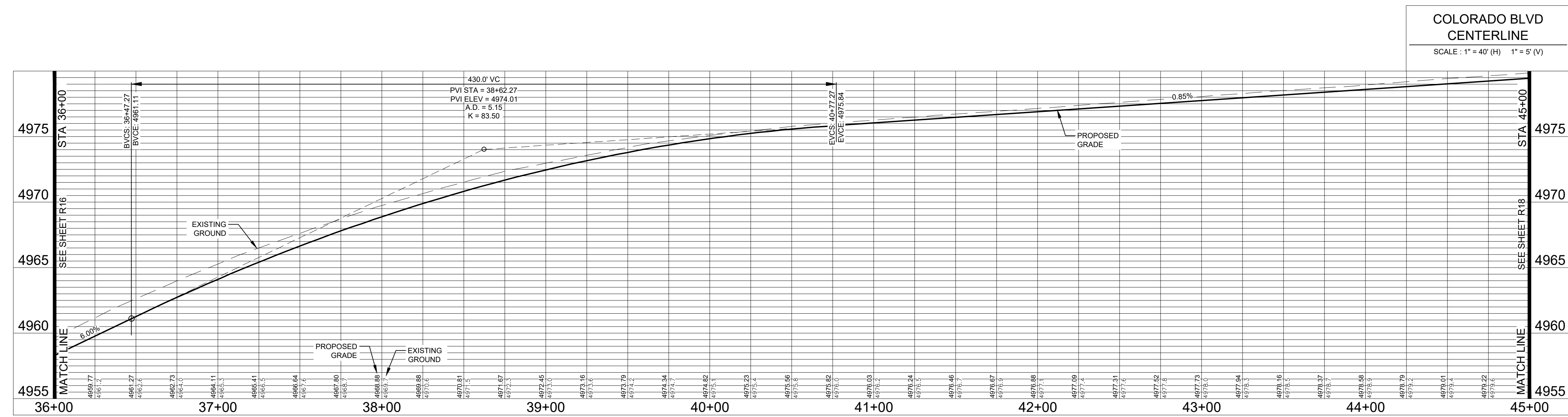




LEGEND:

- PROPOSED CURB & GUTTER
- PROPOSED CENTERLINE
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- EXISTING RIGHT-OF-WAY
- PROPERTY BOUNDARY
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Revisions:

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GREELEY, 820 8th Street, 80631

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PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

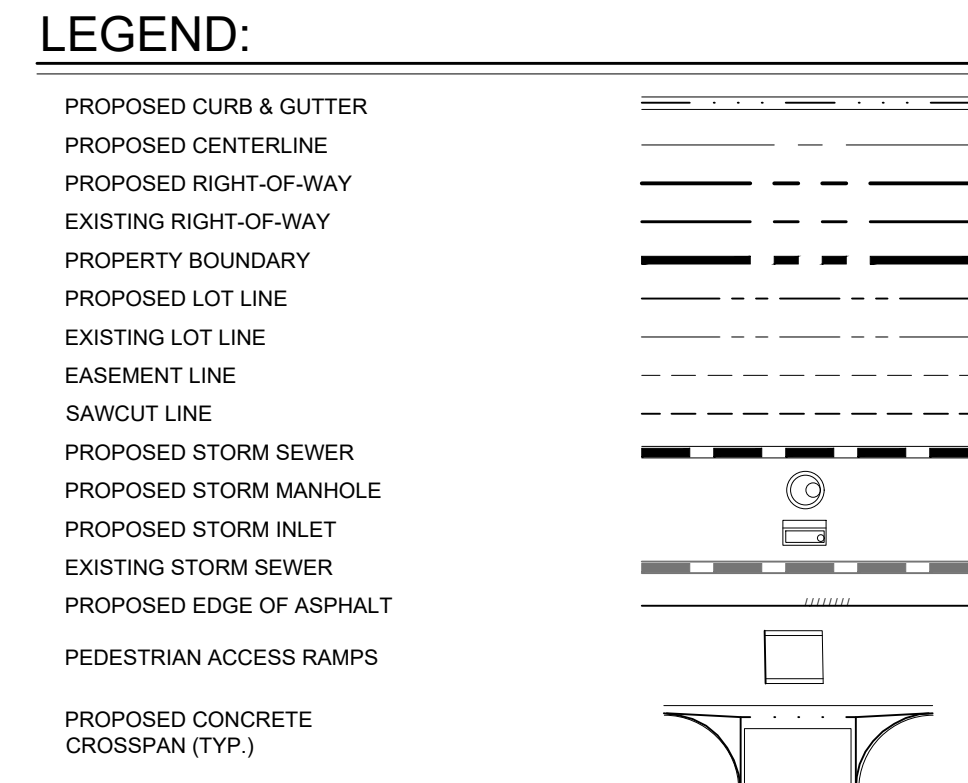
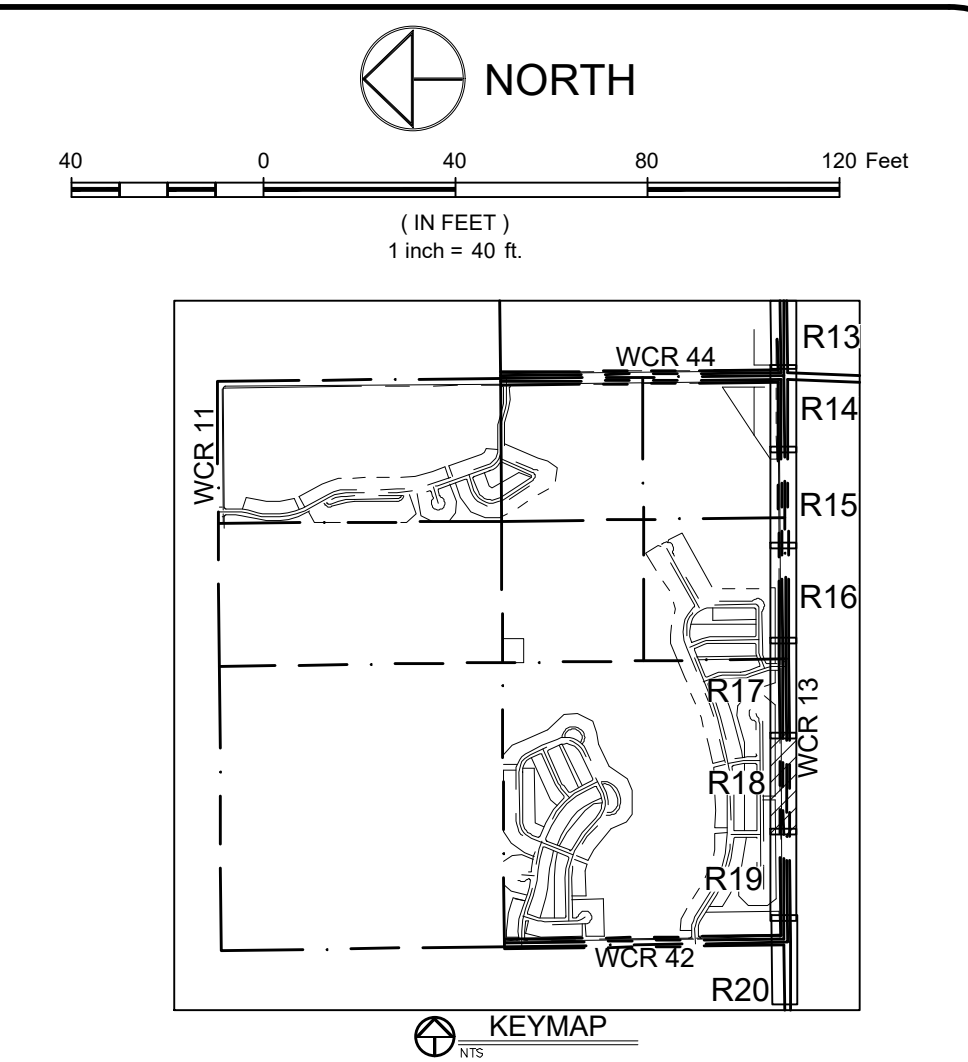
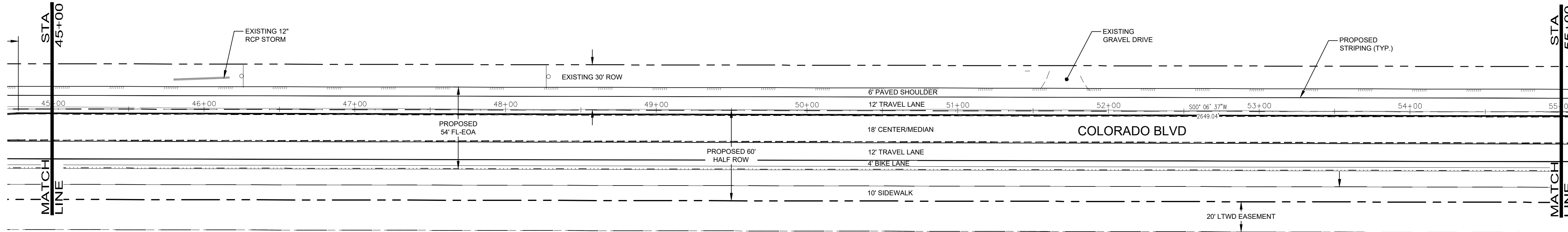
POTDURG PROPERTY

COLORADO BLVD

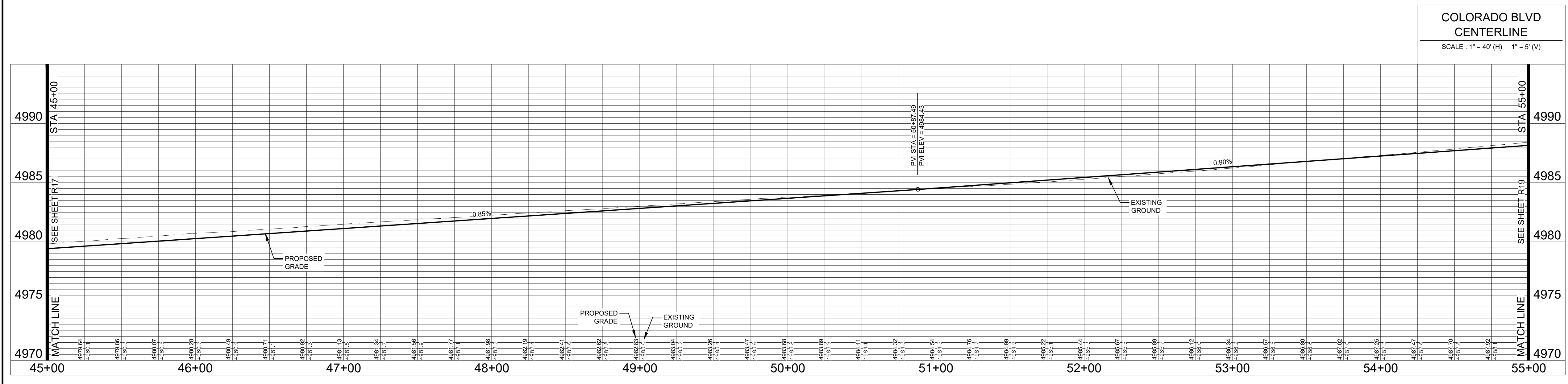
INTERIM PLAN & PROFILE



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DATE: 11/12/21
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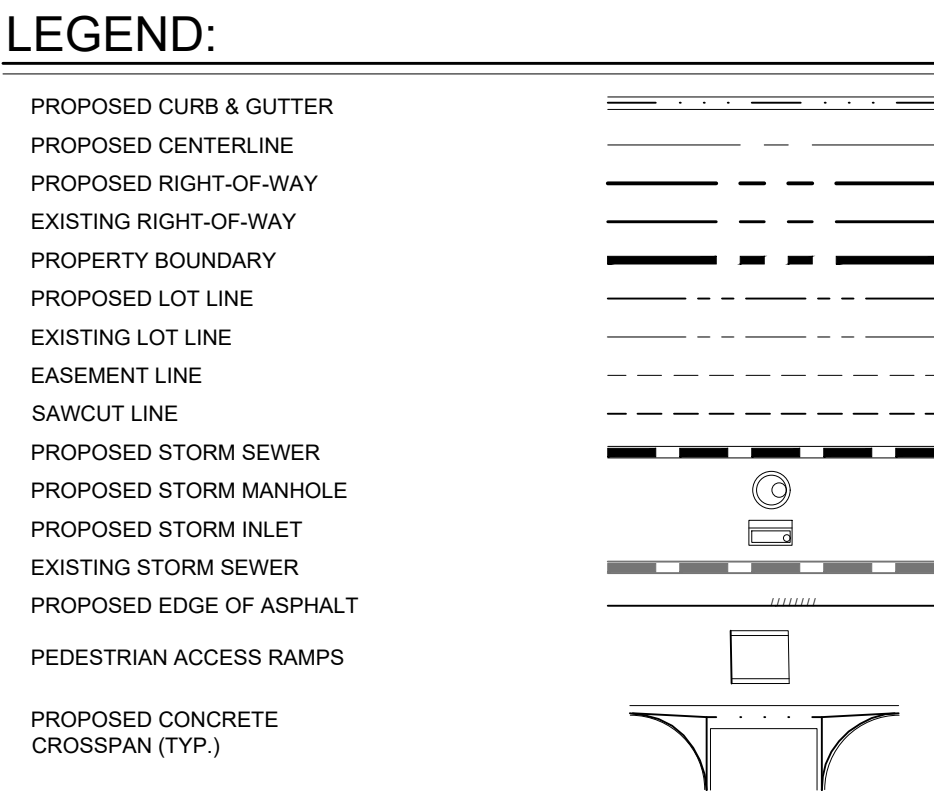
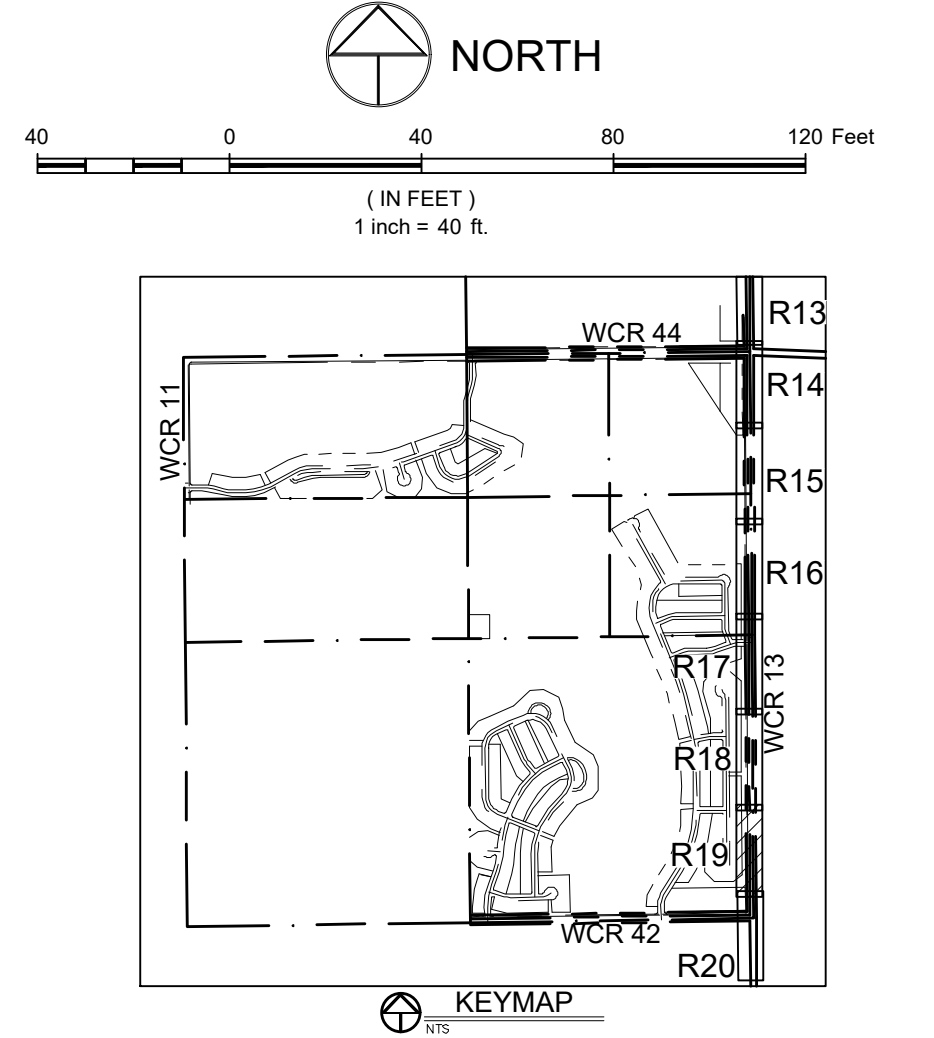
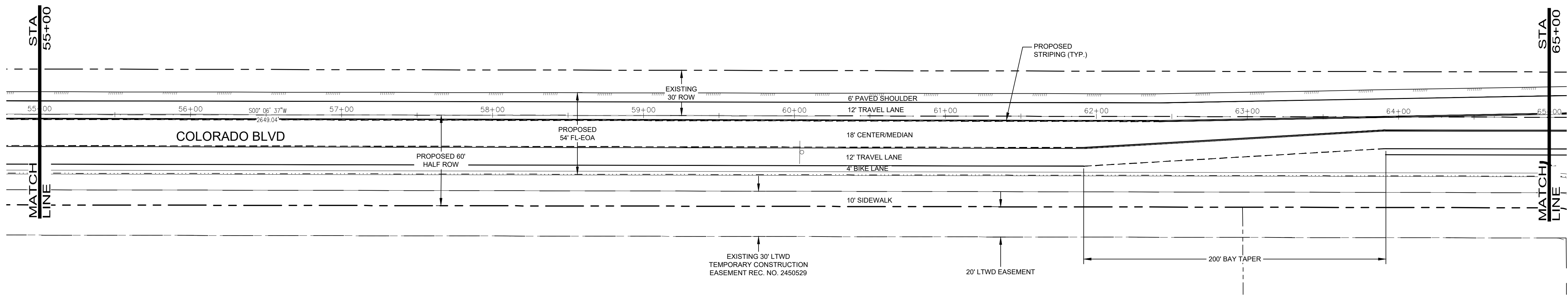
FOOT COLLINS, 301 North Howard Street, Suite 100, 80821
 GREELEY, 820 8th Street, 80631
 970.231.4198
 northernengineering.com

PROJECT:	1659-001	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTBURG PROPERTY
COLORADO BLVD
 INTERIM PLAN & PROFILE

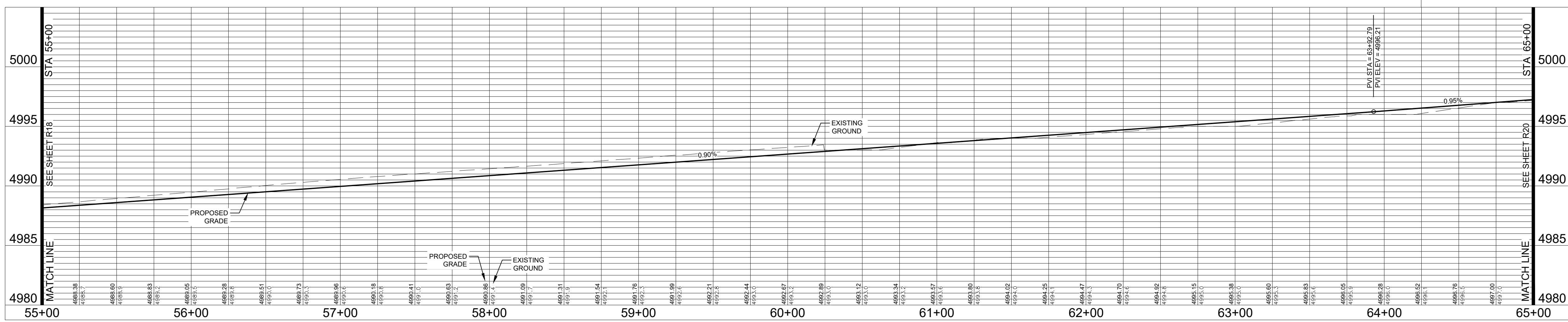


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Revisions:
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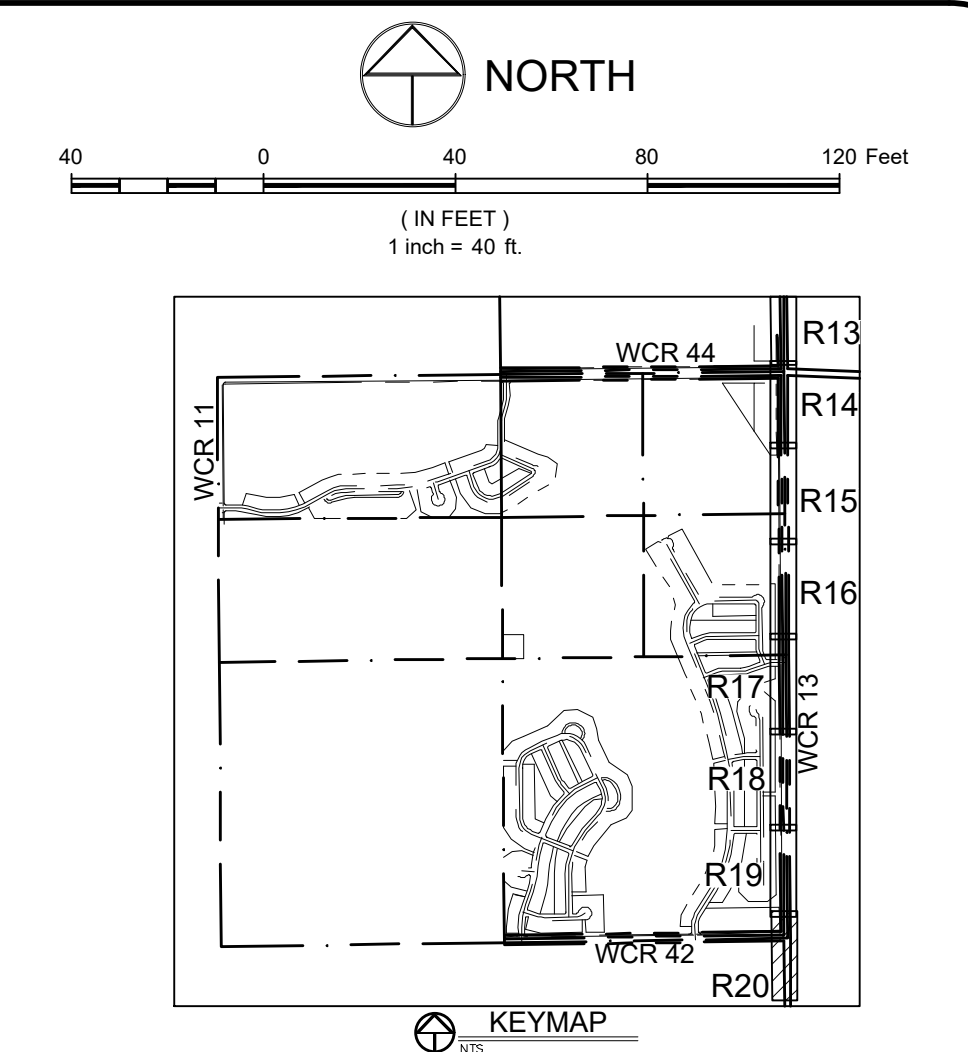
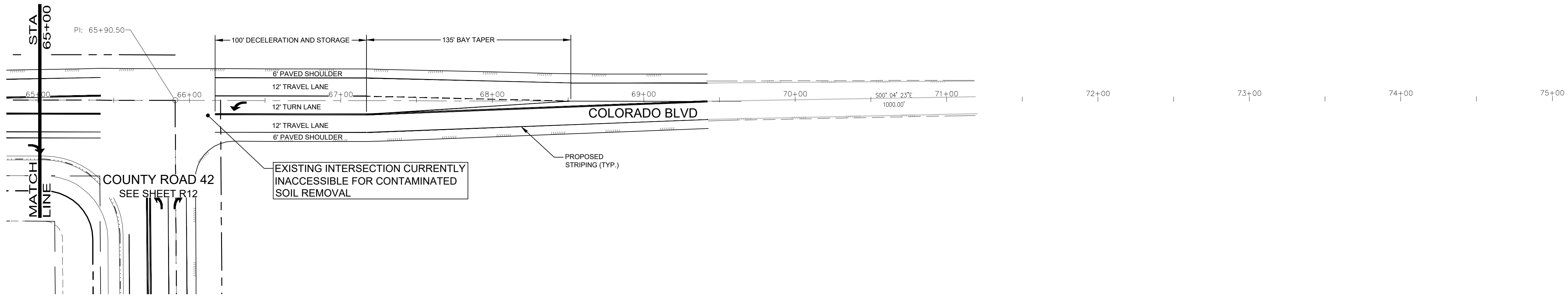
NORTHERN ENGINEERING
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FORT COLLINS, 301 North Hovea Street, Suite 100, 80521
GREELEY, 820 8th Street, 80631

PROJECT: 1659-C01
DATE: 11/12/21
DESIGNED BY: B. Ruch
SCALE: 1" = 40'
DRAWN BY: C. Ungerman
P. MANAGER: D. Weber

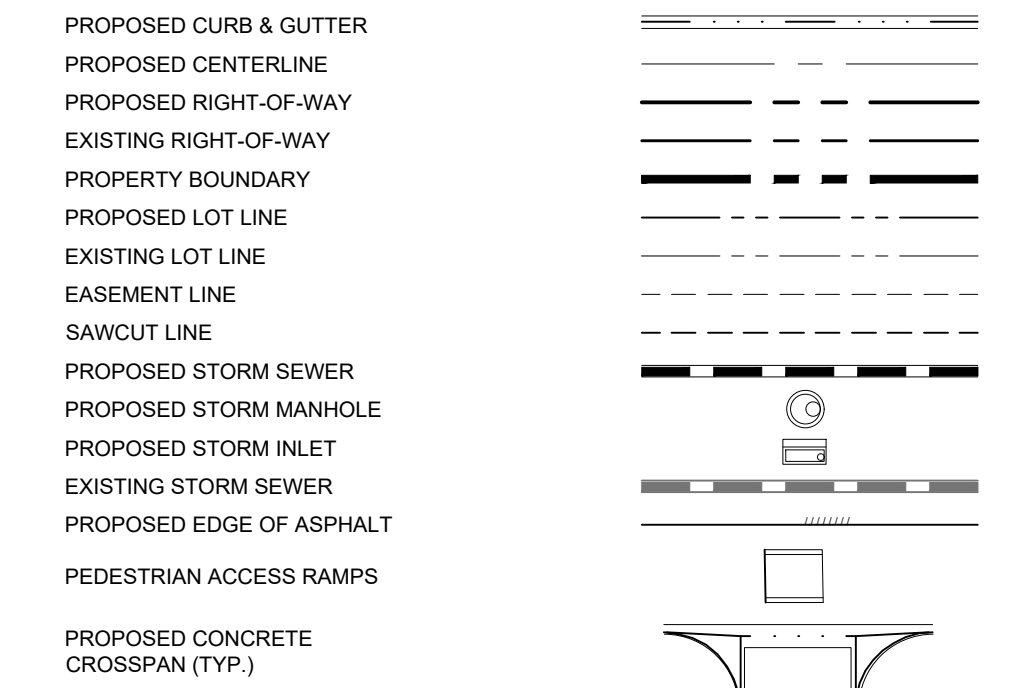
PODTBURG PROPERTY
COLORADO BLVD
INTERIM PLAN & PROFILE



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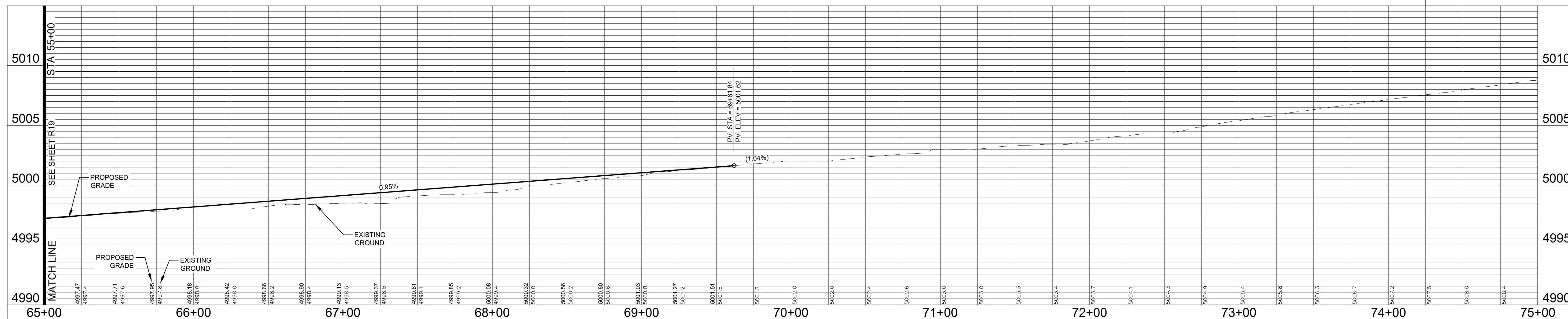
LEGEND:



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COLORADO BLVD CENTERLINE
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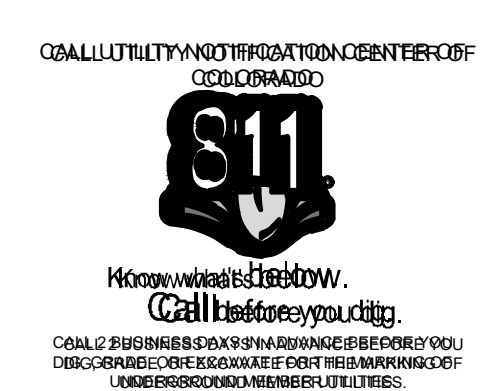
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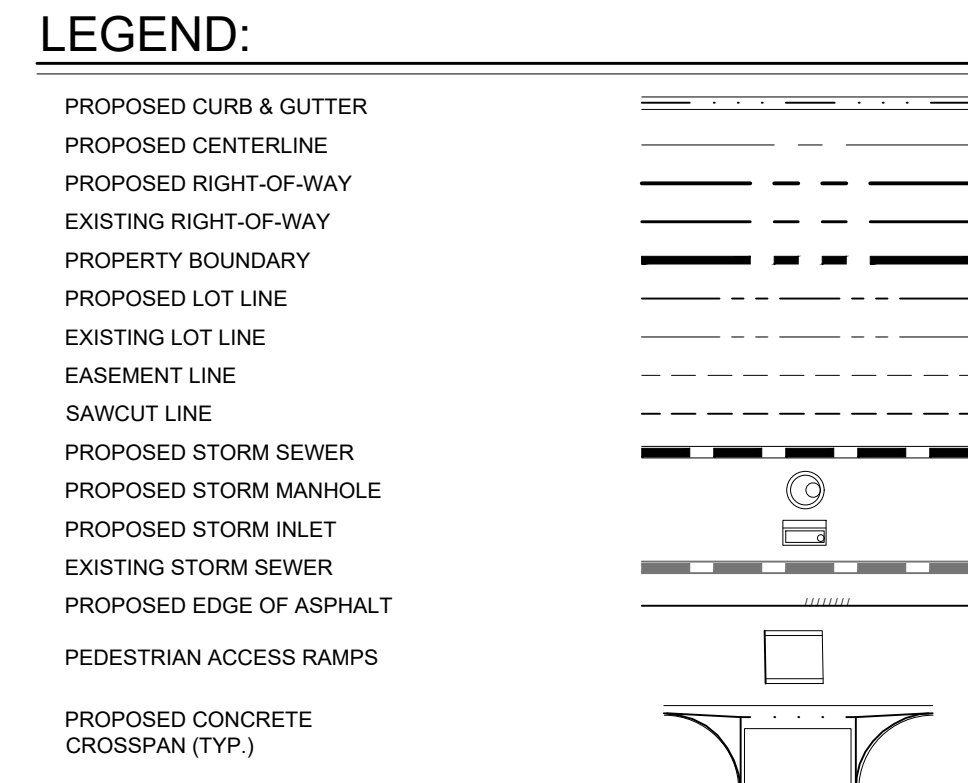
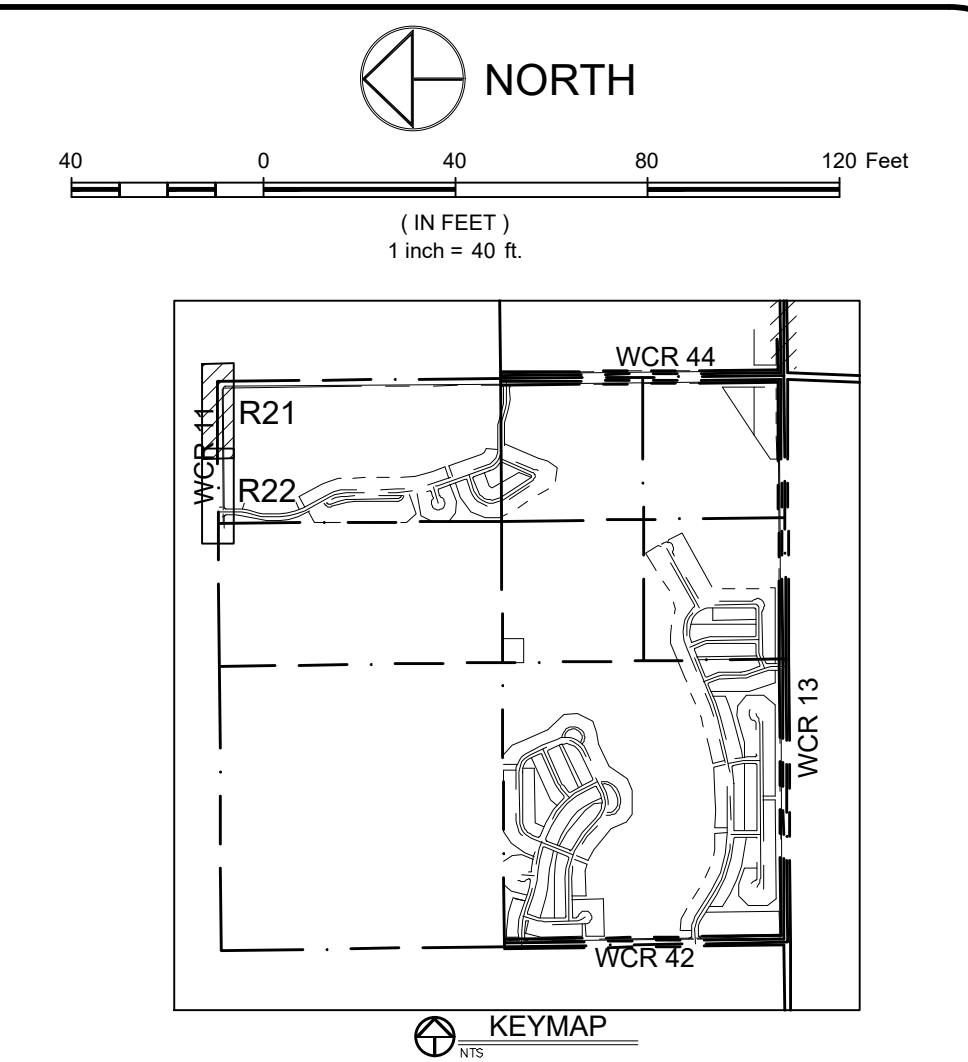
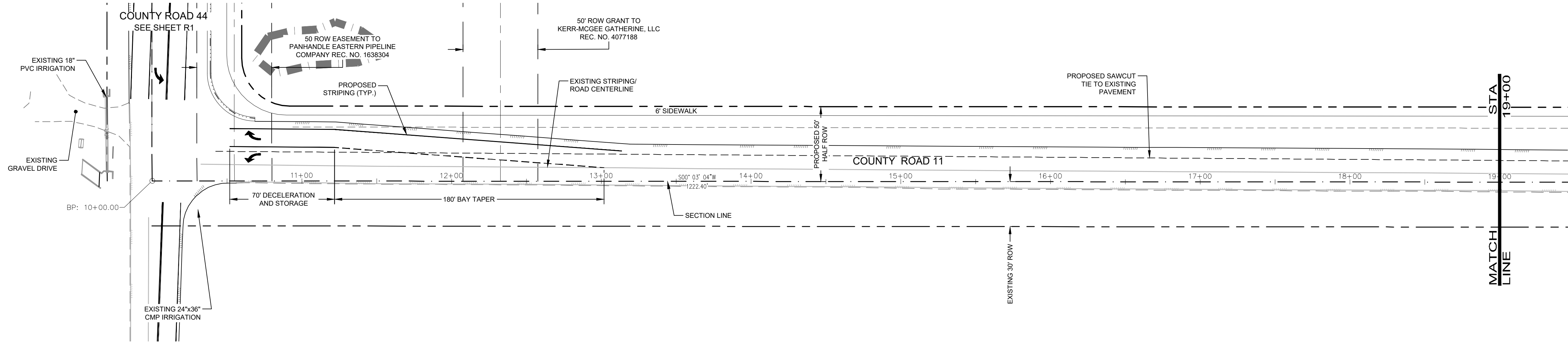
NORTHERN ENGINEERING
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PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungermann	P. MANAGER:	D. Weber

PODTBURG PROPERTY
COLORADO BLVD
INTERIM PLAN & PROFILE

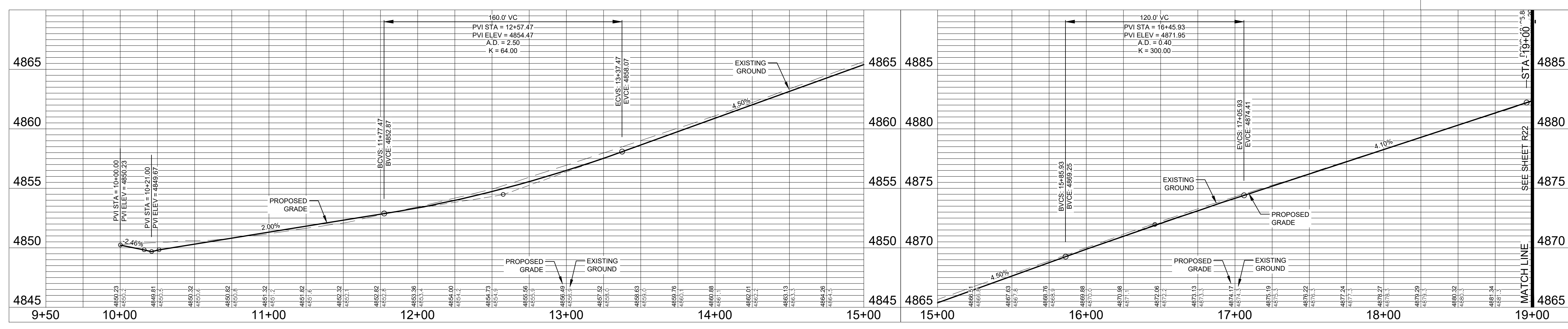


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COUNTY ROAD 11 CENTERLINE
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Revisions:
 No. 1
 Description: **REVIEW SET**
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NOT FOR CONSTRUCTION

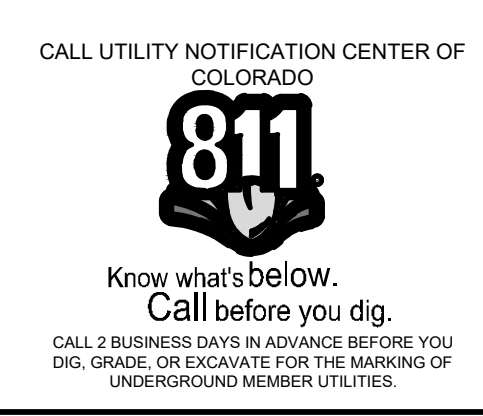
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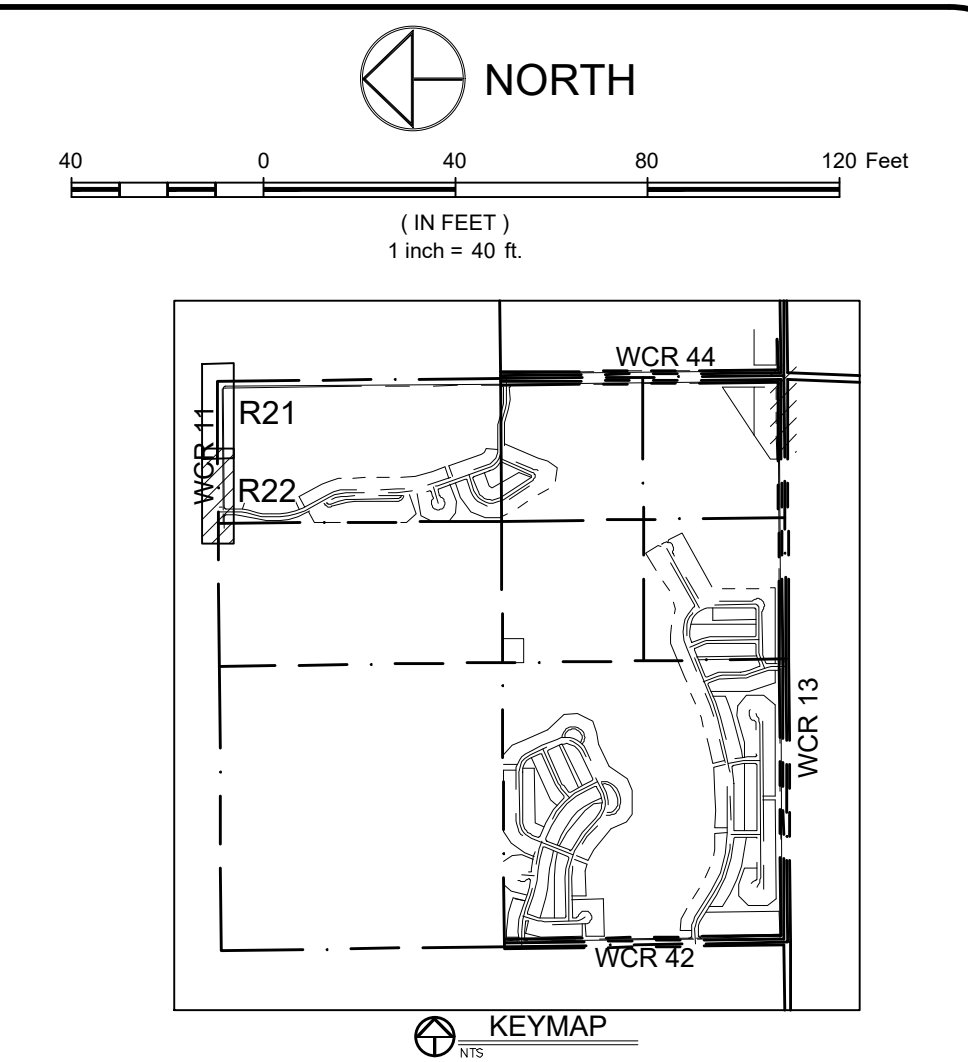
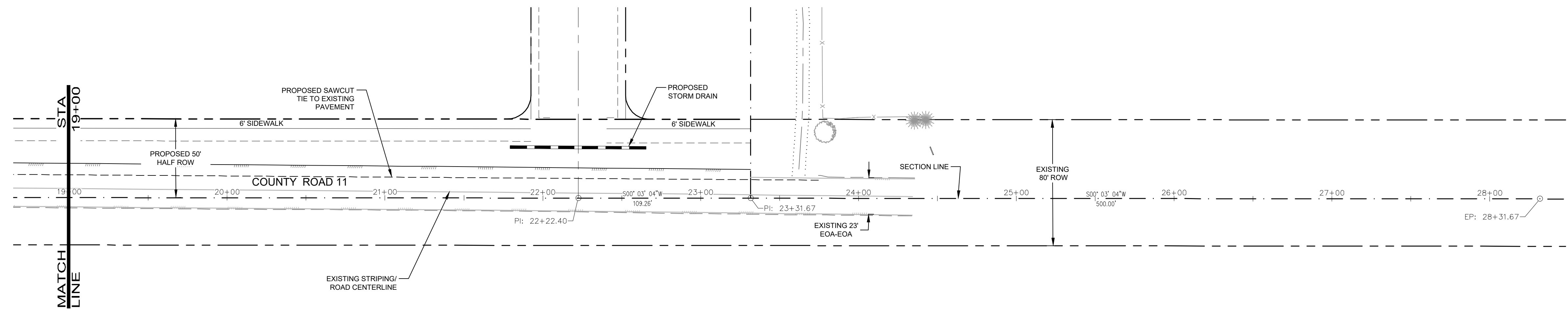
PROJECT:	1659-C01	DATE:	11/12/21
DESIGNED BY:	B. Ruch	SCALE:	1" = 40'
DRAWN BY:	C. Ungerman	P. MANAGER:	D. Weber

POTDURG PROPERTY
COUNTY ROAD 11
 INTERIM PLAN & PROFILE

Sheet
R21
 46 of 50



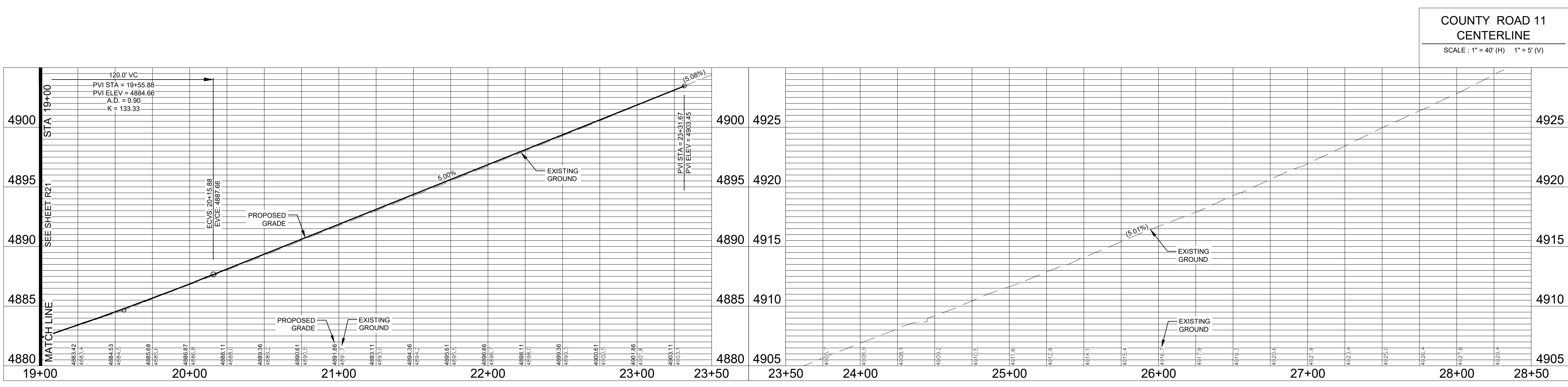
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LEGEND:

PROPOSED CURB & GUTTER	
PROPOSED CENTERLINE	
PROPOSED RIGHT-OF-WAY	
EXISTING RIGHT-OF-WAY	
PROPERTY BOUNDARY	
PROPOSED LOT LINE	
EXISTING LOT LINE	
EASEMENT LINE	
SAWCUT LINE	
PROPOSED STORM SEWER	
PROPOSED STORM MANHOLE	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
PROPOSED EDGE OF ASPHALT	
PEDESTRIAN ACCESS RAMPS	
PROPOSED CONCRETE CROSSPAN (TYP.)	

- NOTES:**
- THE SIZE, TYPE AND LOCATION OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ALL UNDERGROUND UTILITIES IN THE AREA OF THE WORK, BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UNKNOWN UNDERGROUND UTILITIES.
 - SEE SOILS REPORT FOR PAVEMENT AND SUBGRADE PREPARATION, DESIGN AND RECOMMENDATIONS.
 - LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE TOWN OF JOHNSTOWN ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH TOWN STREET REPAIR STANDARDS.
 - SEE INTERSECTION DETAIL SHEETS FOR INTERSECTION DESIGNS.
 - EXISTING AND PROPOSED MANHOLE RIMS AND VALVE BOX LIDS TO BE ADJUSTED TO 1" BELOW FINISHED GRADE. IF NECESSARY, CONE SECTIONS SHALL BE ROTATED TO PREVENT LIDS BEING LOCATED WITHIN VEHICLE OR BICYCLE WHEEL PATHS.



COUNTY ROAD 11 CENTERLINE
SCALE: 1" = 40' (H) 1" = 5' (V)

DRAWING FILENAME: P:\1659-00\1659-00\1659-00\COUNTY RD 11.dwg LAYOUT NAME: R22 DATE: Nov 10, 2021 11:29am CAD OPERATOR: lhm
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Revisions:
 No. _____
 Date: 11/12/21
REVIEW SET
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 GREELEY, CO 80631

PROJECT:	1659-001
DATE:	11/12/21
DESIGNED BY:	B. Ruch
SCALE:	1" = 40'
DRAWN BY:	C. Ungermann
P. MANAGER:	D. Weber

PODTBURG PROPERTY
COUNTY ROAD 11
INTERIM PLAN & PROFILE

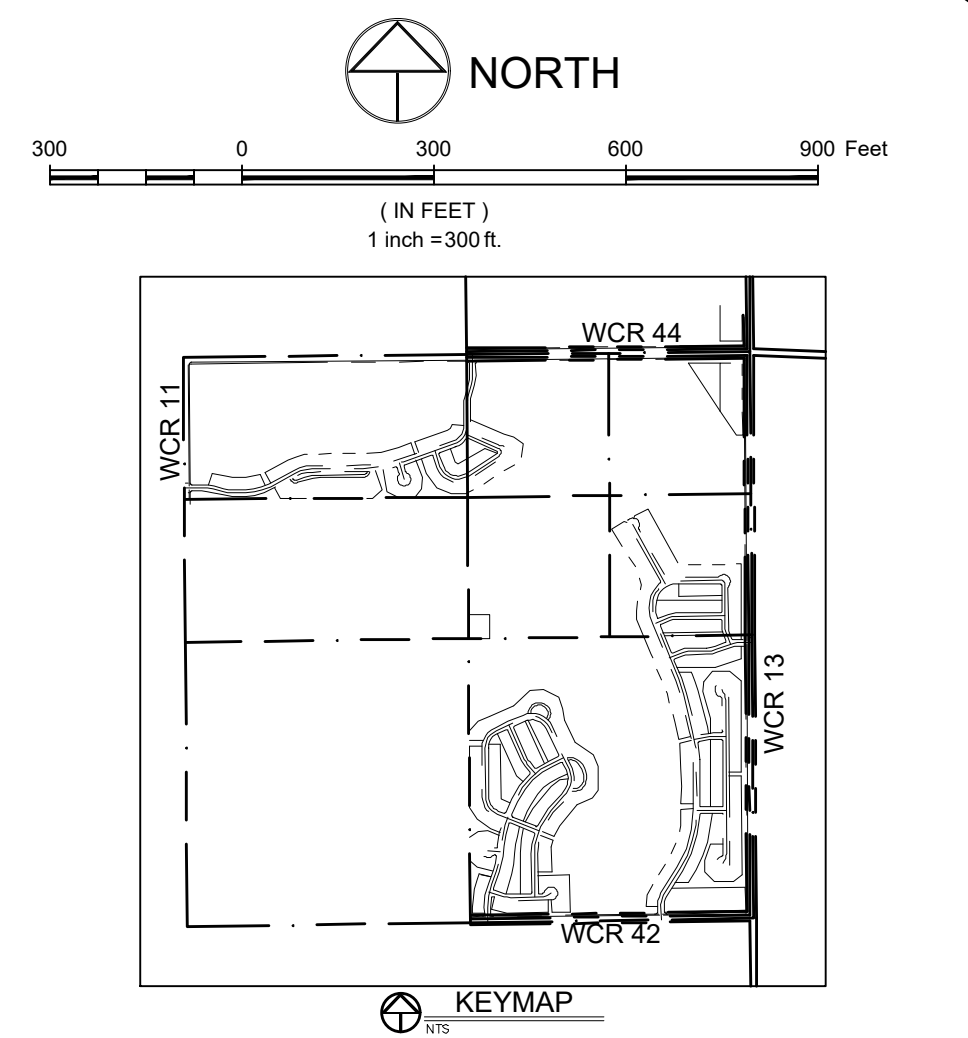
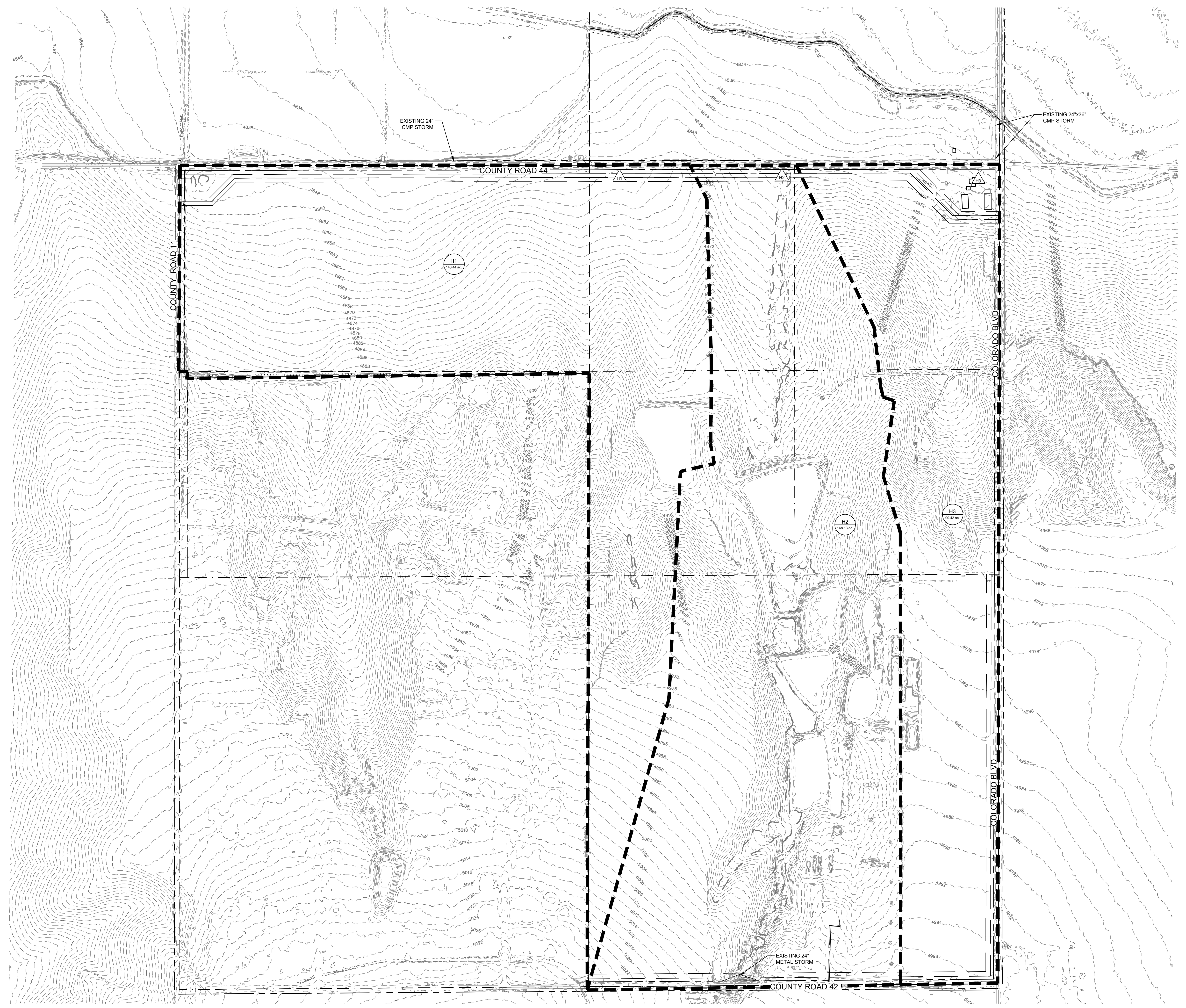
CALL UTILITY NOTIFICATION CENTER OF COLORADO



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DRAWING FILENAME: P:\1859-001\1859-001\1859-001_2021-11-12.dwg DATE: Nov 12, 2021 11:53am CAD OPERATOR: haw
LIST OF SHEETS: [1859-001_4531] [1859-001_4532] [1859-001_4533] [1859-001_4534] [1859-001_4535] [1859-001_4536]



LEGEND:

PROPOSED STORM SEWER	
PROPOSED INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
DESIGN POINT	
FLOW ARROW	
DRAINAGE BASIN LABEL	
DRAINAGE BASIN BOUNDARY	
PROPOSED SWALE SECTION	

NOTES:

- REFER TO THE PRELIMINARY DRAINAGE REPORT FOR ADDITIONAL INFORMATION.

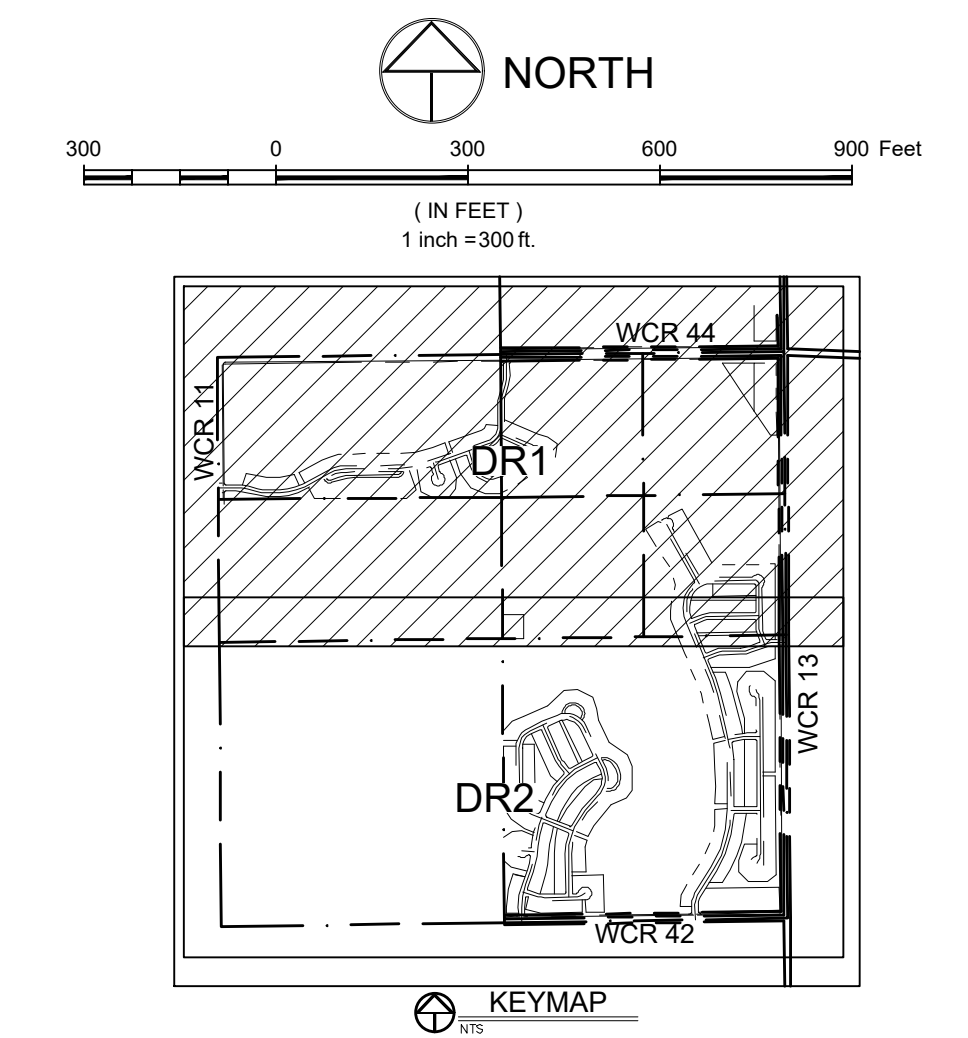
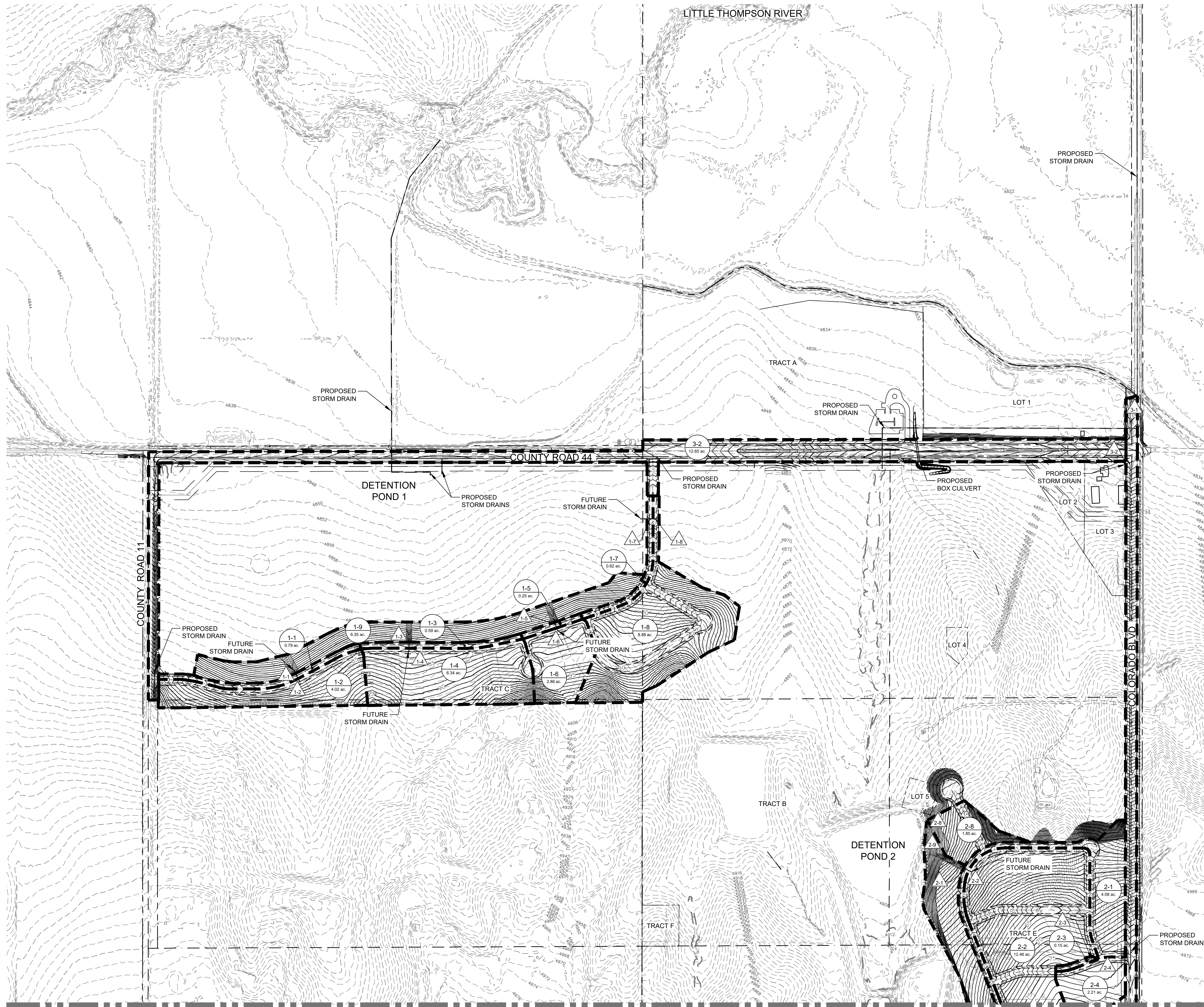


DATE: 11/12/21
Revisions:
REVIEW SET
NOT FOR CONSTRUCTION
11/12/21

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NORTHERN ENGINEERING
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FORT COLLINS, CO 1001 Howe Street, Suite 100, 80521
GREELEY, CO 82031
P. MANAGER: D. Weber
DRAWN BY: C. Ungermann
DESIGNED BY: B. Ruch
PROJECT: 1859-001
DATE: 11/12/21

PODDBURG PROPERTY
HISTORIC DRAINAGE EXHIBIT



LEGEND:

PROPOSED STORM SEWER	
PROPOSED INLET	
PROPOSED CONTOUR	
EXISTING CONTOUR	
PROPOSED SWALE	
PROPOSED CURB & GUTTER	
PROPERTY BOUNDARY	
DESIGN POINT	
FLOW ARROW	
DRAINAGE BASIN LABEL	
DRAINAGE BASIN BOUNDARY	
PROPOSED SWALE SECTION	

NOTES:

1. REFER TO THE PRELIMINARY DRAINAGE REPORT FOR ADDITIONAL INFORMATION.

Date: 11/17/21
 Revisions:
 No. 1
REVIEW SET
NOT FOR CONSTRUCTION

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 970.231.4188
 northneng.com
 1001 Colorado Blvd., Suite 100, Broomfield, CO 80021
 1001 Colorado Blvd., Suite 100, Broomfield, CO 80021

PROJECT:	1659-001
DATE:	11/12/21
DESIGNED BY:	B. Ruch
SCALE:	1" = 250'
DRAWN BY:	C. Ungermann
P. MANAGER:	D. Weber

PODTBURG PROPERTY
 DRAINAGE EXHIBIT

CALL UTILITY NOTIFICATION CENTER OF COLORADO



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DRAWING FILENAME: P:\1659-001\1659-001\1659-001.dwg LAYOUT NAME: DR1 DATE: Nov 12, 2021 11:53am CAD OPERATOR: lha
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Dear Neighbors,

We wanted to reach out and provide an update on the future development of the Podtburg property. As you know it was annexed into the Town of Johnstown in 2020. An Overall Development Plan was also approved at that time, which sets the framework for a residential golf course community.

The next step in the process is to create a legal lot for the golf course so construction of the golf course can begin. A preliminary plat and preliminary development plan for the Podtburg property are scheduled for Planning & Zoning and Town Council on Wednesday April 13th and Monday May 2nd respectively. You will receive notifications from the Town of Johnstown with specific meeting details, prior to these dates.

The intent of the plans currently in review, is to create a legal lot and establish the necessary infrastructure, so construction of the golf course can begin. This application does not include any of the future residential development. Please note that any future development will require additional entitlement and approvals by the Town of Johnstown.

If you have any questions about the project or process, please feel free to reach out to us!

Kristin Turner, Project Planner
TB Group
kristin@tbgroup.us
970.532.5891

Kim Meyer, Planning & Development Director
Town of Johnstown
KMeyer@JohnstownCO.gov
970.587.4664

Podtburg Golf Course Project



Arthur Schaupeter
 GOLF COURSE ARCHITECTS
 59 Willow Brook Drive - St. Louis, Missouri 63146
 Tel: (314) 443-9029 - Email: schaupetergolf@aol.com
 Web site: www.schaupetergolf.com
 American Society of Golf Course Architects

Concept Plan

March 9, 2022