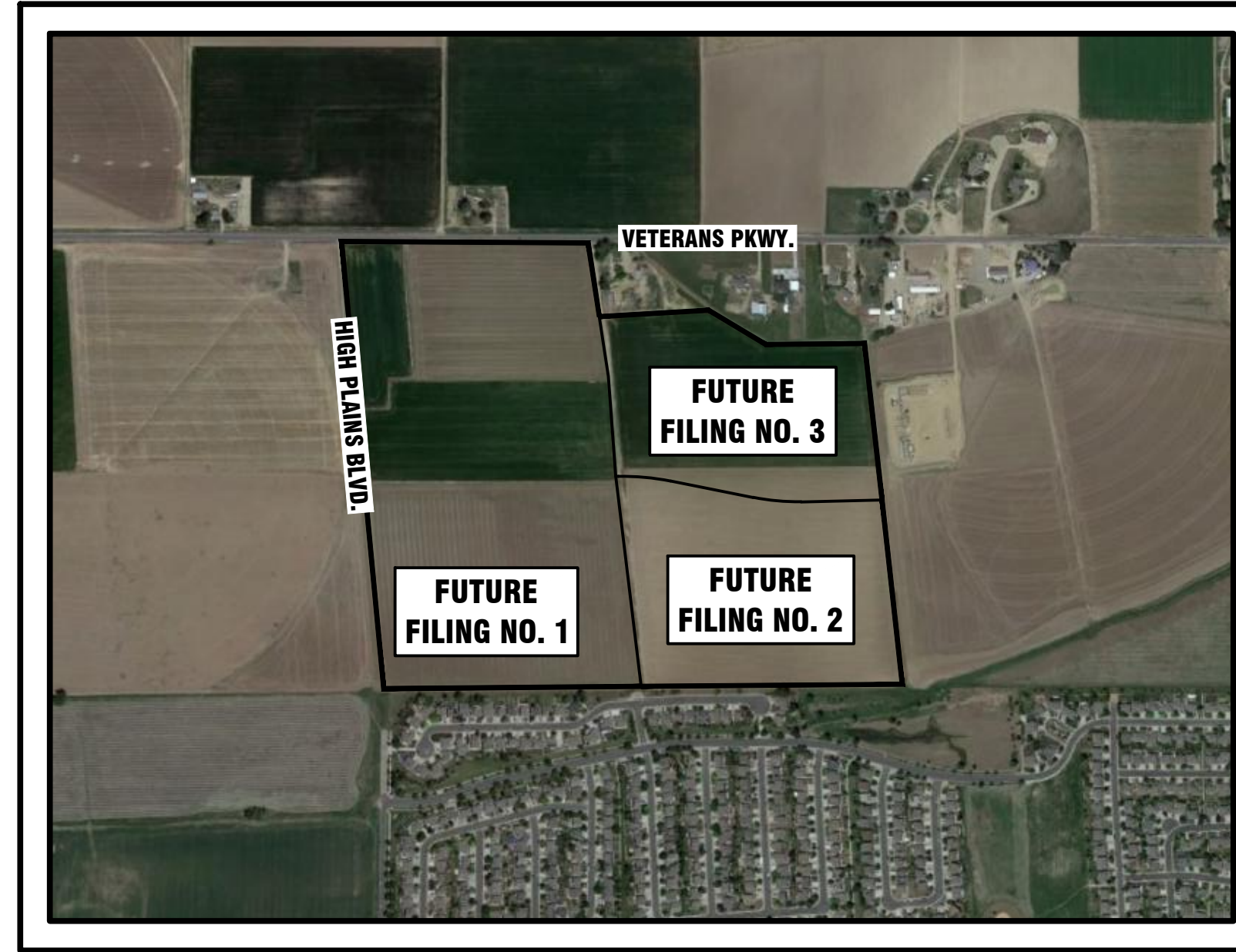


# BLUE SKY PRAIRIE FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

## BLUE SKY PRAIRIE FILING NO. 1 GENERAL NOTES

- GENERAL OVERLOT DRAINAGE NOTE: LOTS AND TRACTS AS PLATTED HEREIN MAY BE REQUIRED TO CONVEY SURFACE DRAINAGE FROM OTHER LOTS AND TRACTS IN THIS FILING IN ACCORDANCE WITH TOWN REQUIREMENTS AND THE APPROVED DRAINAGE PLAN FOR THIS FILING. NO ALTERATIONS TO THE GRADING OF THE LOTS AND TRACTS MAY BE MADE THAT WOULD DISRUPT THE APPROVED DRAINAGE PLAN, WITHOUT PRIOR APPROVAL FROM THE TOWN. ALL NATURAL AND IMPROVED DRAINAGE WAYS OR DRAINAGE SYSTEMS IN SAID LOTS AND TRACTS SHALL BE MAINTAINED BY THE LOT OR TRACT OWNER IN ACCORDANCE WITH TOWN CRITERIA. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE OF THE DRAINAGE WAYS OR DRAINAGE SYSTEMS. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.
- STORM SYSTEM MAINTENANCE: THE TOWN OF JOHNSTOWN REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVIDERS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.
- LANDSCAPING, SIGNAGE, ENTRY MONUMENTATION, ARCHITECTURE, FENCING, TYPICAL ON-LOT LANDSCAPING AND LIGHTING FOR DEVELOPMENT WITHIN THIS FINAL DEVELOPMENT PLAN (FDP) SHALL BE FURTHER IDENTIFIED IN THE CIVIL CONSTRUCTION PLANS AND LANDSCAPING PLANS AND SHALL FOLLOW APPLICABLE STANDARDS OF THE ODP, TOWN OF JOHNSTOWN MUNICIPAL CODE, THE ODP DESIGN GUIDELINES, OR ANY DESIGN STANDARDS ESTABLISHED BY THE DEVELOPER FOR THE NEIGHBORHOOD.
- IT IS ANTICIPATED THAT THE COMMUNITY WILL BE PHASED, AND THAT FUTURE FINAL PLATS AND FINAL DEVELOPMENT PLANS WILL BE PROVIDED ON A PHASED BASIS. PHASING WILL OCCUR IN A LOGICAL AND COST-EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSIONS, SITE ACCESS, AVAILABILITY OF UTILITIES SERVICES AND MARKET CONDITIONS.
- ALL UNPLATTED PROPERTY WITHIN THE SUBDIVISION MAY REMAIN AGRICULTURAL USE UNTIL SUCH TIME DEVELOPMENT IN THE AREA COMMENCES.
- THE SITE DOES NOT CONTAIN ANY ENDANGERED SPECIES.
- NO ARCHAEOLOGICAL OR HISTORICAL AREAS HAVE BEEN IDENTIFIED ON THE SITE.
- NO FLOODPLAINS OR GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED OR MAPPED FOR THIS SITE.
- SOIL CONTAMINATION LOCATED WITHIN THE PUBLIC RIGHT OF WAY WITHIN STREET B WILL BE EXCAVATED AND REPLACED WITH CLEAN FILL.



VICINITY MAP  
1" = 750'

### CIVIL ENGINEER

LJA ENGINEERING, INC.  
1765 WEST 121ST AVE, SUITE 300  
WESTMINSTER, COLORADO 80234  
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LITTLETON, CO 80122  
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CONTACT: JIM LYNCH

### PLANNER/LANDSCAPE

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CONTACT: KAREN HENRY

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PHONE: (719) 306-2976  
CONTACT: TIM BUSCHAR

### O&G ENVIRONMENTAL

CTL THOMPSON  
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PHONE: (303)-825-0777  
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### AGENCY LIST

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450 S. PARISH AVE  
JOHNSTOWN, CO 80534  
PHONE: (970) 578-9603  
CONTACT: TROY WHITE

XCEL ENERGENCY  
550 15TH ST SUITE 700  
DENVER, CO 80202  
PHONE: (303) 571-7877

PVREA, INC.  
7649 REA PKWY  
FORT COLLINS, CO 80528  
PHONE: (800) 432-1012

IMEG CORP.  
7600 E. ORCHARD RD, SUITE 250-S  
GREENWOOD VILLAGE, CO 80111  
PHONE: (303) 796-6000  
CONTACT: GREG WEEKS

## LEGAL DESCRIPTION (PER TITLE COMMITMENT)

**BASIS OF BEARINGS:** BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD 83, 2011) REFERENCED TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR NORTH 89°47'55" EAST, A DISTANCE OF 2634.59 FEET.

LOT B, RECORDED EXEMPTION NO. 1061-2-1-RE 1488, RECORDED JUNE 2, 1993 AT RECEPTION NO. 2335286, BEING A PART OF THE E 1/2 OF THE NE 1/4 OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

AND

THE W 1/2 OF THE NE 1/4 OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 68 WEST OF THE 6TH P.M., LESS THAT PORTION CONTAINED IN THAT DEED RECORDED AUGUST 11, 2003 AT RECEPTION NO. 3094025, AND EXCEPT THAT PORTION CONVEYED TO THE TOWN OF JOHNSTOWN IN DEED RECORDED JULY 22, 2021 UNDER RECEPTION NO. 4738022,

COUNTY OF WELD, STATE OF COLORADO

## APPROVALS

### TOWN COUNCIL

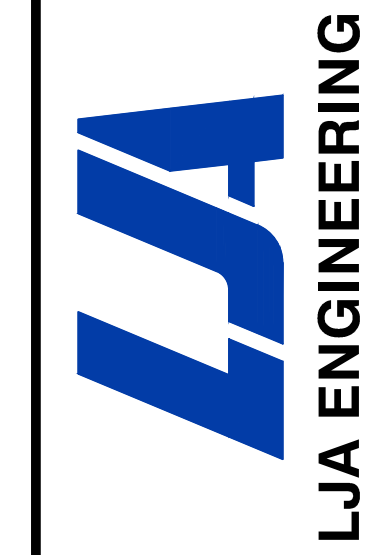
THIS FINAL DEVELOPMENT PLAN, TO BE KNOWN AS BLUE SKY PRAIRIE FILING NO. 1, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER \_\_\_\_\_, PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_  
TOWN CLERK



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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555 MIDDLE CREEK PKWY, SUITE 500  
JOHNSTOWN, CO 80921  
TIM BUSCHAR

CLIENT  
COLA, LLC / VIEW HOMES  
BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO  
COVER

DATE  
MARCH 27, 2024

REVISIONS

DR. CWS | CH. ---  
P.M. ---  
JOB ---  
SHEET NO.

Sheet Number	Sheet Title
1	COVER SHEET
2	NOTES & DETAILS
3	TYPICAL SECTIONS
4	OVERALL PLAN
5 - 9	DETAILED SITE PLAN (1-7)
10	PLANNING AREA & PEDESTRIAN CIRCULATION PLAN
11	COMMON & PUBLIC OPEN SPACE PLAN
12	LOT TYPICALS & DEVELOPMENT STANDARDS
13	OVERALL LANDSCAPE PLAN
14 - 22	LANDSCAPE PLAN (1-5)
23	HARDSCAPE PLAN & PARK DETAILS (1-3)
24-26	SITE DETAILS
27	FENCING PLAN
28	PLANT LIST AND DETAILS
29	LANDSCAPE REQUIREMENTS CHARTS
30-31	ARCHITECTURE ELEVATIONS
32-35	SITE LIGHTING PHOTOMETRIC

NOT FOR CONSTRUCTION 1 OF 35

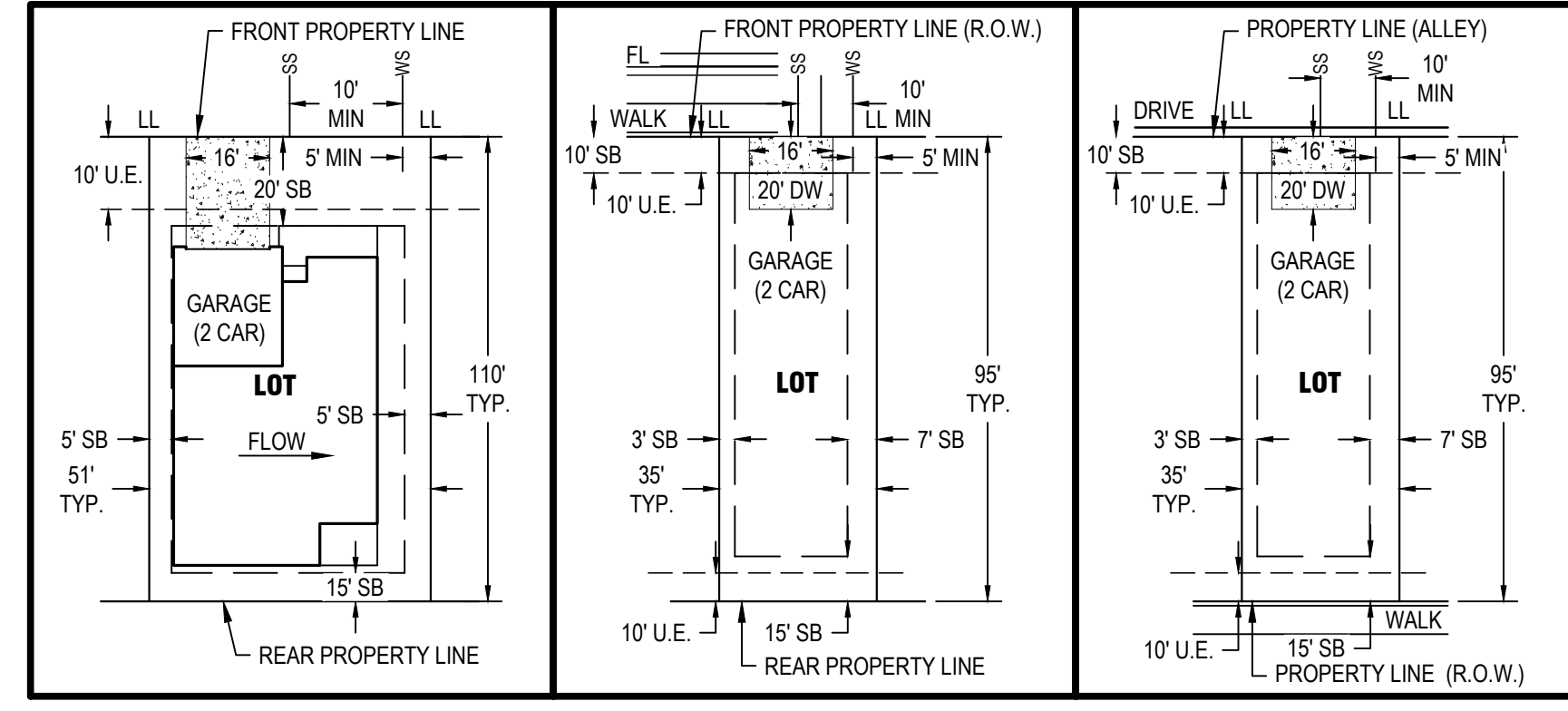
# BLUE SKY PRAIRIE FILING NO. 1

## FINAL DEVELOPMENT PLAN

### TOWN OF JOHNSTOWN, COLORADO

OUTLOT SUMMARY					
	USE	OWNED	MAINTAINED	SQ. FT.	ACRES
OUTLOT A	FUT OS/DETECTION	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	101,705	2.33
OUTLOT B	ALLEY	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	49,442	1.14
OUTLOT C	ALLEY	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	16,809	0.39
OUTLOT D	ALLEY	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	25,713	0.59
OUTLOT E	PARK	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	20,299	0.47
OUTLOT F	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	25,522	0.59
OUTLOT G	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	29,863	0.69
OUTLOT H	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	8,866	0.20
OUTLOT I	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	21,221	0.49
OUTLOT J	PARK	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	22,877	0.53
OUTLOT K	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	18,380	0.42
OUTLOT M	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	10,190	0.23
OUTLOT N	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	16,342	0.38
OUTLOT O	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	1,340	0.03
OUTLOT P	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	46,492	1.07
OUTLOT Q	PARK	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	90,567	2.08
OUTLOT R	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	4,367	0.10
OUTLOT S	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	33,474	0.77
OUTLOT T	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	45,773	1.05
OUTLOT U	OS / TRAIL / DETENTION	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	238,038	5.46
OUTLOT V	PARK	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	39,294	0.90
OUTLOT W	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	5,500	0.13
OUTLOT X	OS / DETENTION / SS	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	25,752	0.59
OUTLOT Y	OS / TRAIL / SS	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	9,223	0.21
OUTLOT Z	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	29,712	0.68
OUTLOT AA	PARK	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	161,582	3.71
OUTLOT BB	PARK	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	61,601	1.41
OUTLOT CC	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	9,889	0.23
OUTLOT DD	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	41,385	0.95
OUTLOT EE	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	17,889	0.41
OUTLOT FF	OS / LANDSCAPE	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	14,241	0.33
OUTLOT GG	FUT. DEVELOPMENT	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	871,131	20.00
TOTAL AREA				2,114,479	48.54

OS = OPEN SPACE      SS = SANITARY SEWER



**TYPICAL LOT EASEMENT LAYOUT SINGLE FAMILY DETACHED N.T.S.**

**TYPICAL LOT EASEMENT LAYOUT SINGLE FAMILY DETACHED 'NOOK' R.O.W. GARAGE ENTRANCE N.T.S.**

**TYPICAL LOT EASEMENT LAYOUT SINGLE FAMILY DETACHED 'NOOK' ALLEY GARAGE ENTRANCE N.T.S.**

NOTES:  
1. LOT EASEMENTS SHALL BE AS SHOWN ON THIS DETAIL UNLESS OTHERWISE NOTED ON PLANS.

LAND SUMMARY			
	SQ. FT.	ACRES	%
LOT AREA	2,076,203	47.66	39.3%
ROADWAY AREA	1,086,041	24.93	20.6%
OUTLOTS - DRIVES (B, C, D)	92,979	2.13	1.8%
OUTLOTS - PONDS (A, U)	339,743	7.80	6.4%
OUTLOTS - LANDSCAPE (E, F, G, H, I, J, K, M, N, O, P, Q, R, S, T, V, W, X, Y, Z, AA, BB, CC, DD, EE, FF)	811,636	18.63	15.4%
OUTLOT GG - FUTURE DEVELOPMENT	871,131	20.00	16.5%
TOTAL AREA	5,277,732	121.16	100%
TOTAL LOTS	413		

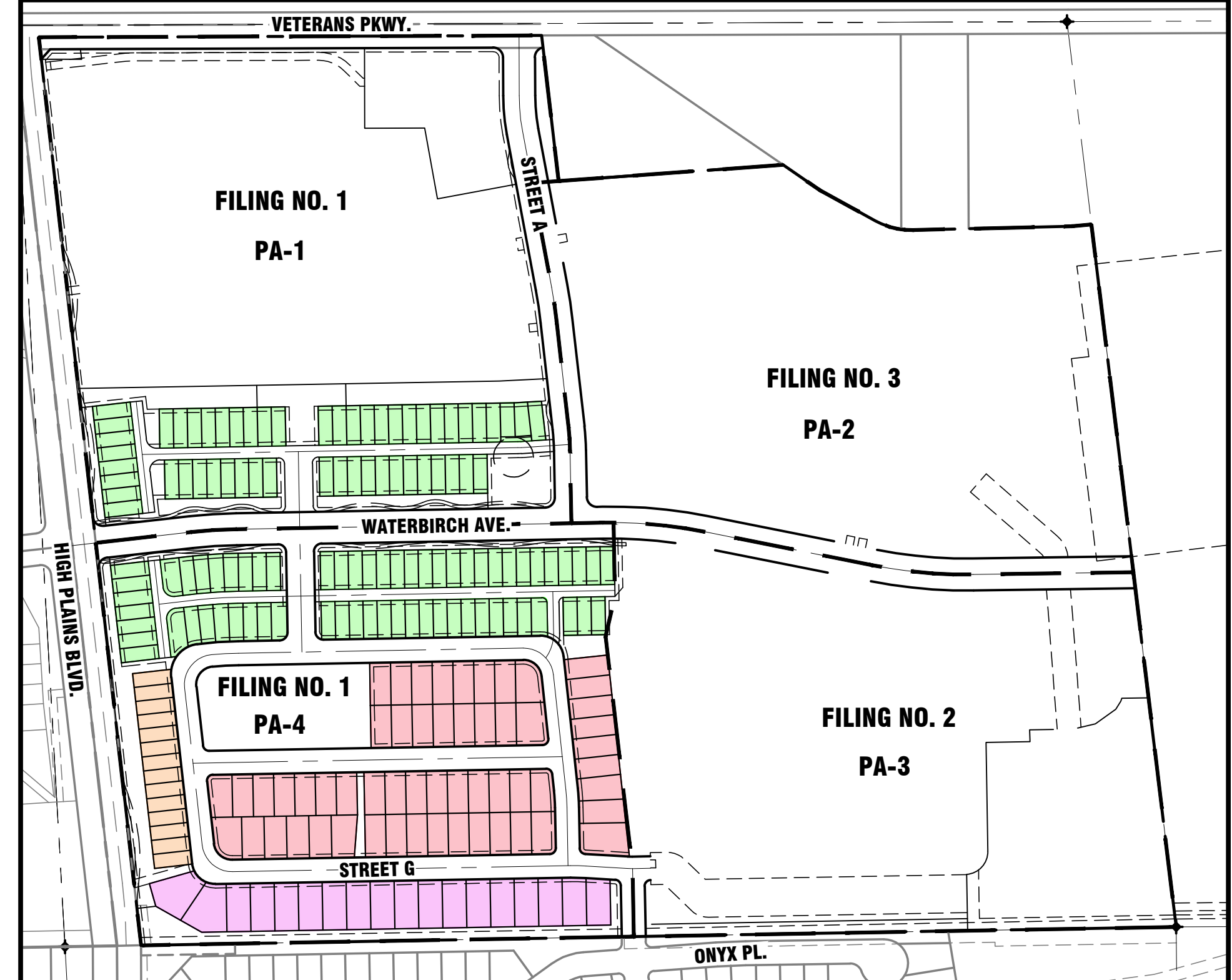
(1) OUTLOTS A-FF DEDICATED FOR CITY'S PARK, RECREATION & OPEN SPACE CREDIT

SIGHT LINES TABLE			
SIGHT LINE NUMBER	*1 (ft)	*2 (ft)	DESIGN SPEED (MPH)
SL1	500	350	45-50
SL2	400	275	35
SL3	300	200	25
SL4	300	200	25
SL5	300	200	25
SL6	300	200	25
SL7	300	200	25
SL8	300	200	25
SL9	300	200	25
SL10	300	200	25
SL11	300	200	25
SL12	400	275	35
SL13	500	350	45-50
SL14	400	275	35
SL15	300	200	25
SL16	300	200	25
SL17	300	200	25
SL18	300	200	25
SL19	300	200	25
SL20	300	200	25
SL21	300	200	25
SL22	300	200	25
SL23	300	200	25
SL24	300	200	25
SL25	300	200	25
SL26	300	200	25
SL27	300	200	25
SL28	300	200	25
SL29	300	200	25
SL30	300	200	25
SL31	400	275	35
SL32	400	275	35
SL33	400	275	35
SL34	400	275	35

STREET SUMMARY		
TYPE	NAME(S)	OWNERSHIP & MAINTENANCE
PRIVATE DRIVE - 26'	BLUESTEM AVE., BLUESTEM CT., PRAIRIE SAGE AVE., PRAIRIE SAGE CT., PRAIRIE SAGE PL.	HIGH PLAINS METRO DISTRICT #2
RESIDENTIAL LOCAL STREET (MOUNTABLE CURB)	PAINTBRUSH ST., BUSH CLOVER AVE., DROPSIED ST., PRAIRIE SMOKE AVE., GOLDEN ROD ST.	HIGH PLAINS METRO DISTRICT #2
RESIDENTIAL LOCAL STREET (VERTICAL CURB)	RIVER ROCK DR.	HIGH PLAINS METRO DISTRICT #2
RESIDENTIAL LOCAL ENTRY STREET WITH RAISED MEDIAN	WILD RYE DR.	HIGH PLAINS METRO DISTRICT #2
RESIDENTIAL COLLECTOR	WATERBIRCH AVE., LARKSPUR DR.	HIGH PLAINS METRO DISTRICT #2
MAJOR ARTERIAL	HIGH PLAINS BLVD., VETERANS PKWY.	HIGH PLAINS METRO DISTRICT #2

BLUE SKY PRAIRIE - PRELIMINARY LOT MIX			
TYPICAL LOT FRONTAGE	LOT SIZE (sf)	HOME TYPE	EST. NUMBER OF DWELLING
60-feet	6,000 and greater	SFD	104
50-feet	5,000	SFD	51
40-feet	4,000	SFD	142
35-feet - Rear load	3,000	SFD	102
35-feet - Front load	3,000	SFD	14
25-feet - Rear load	2,000	Pairs	n/a
30-feet - Front load	2,400	Cluster	n/a
20-feet	1,320	Townhomes	n/a
22-feet	1,760	Townhomes	n/a
TOTAL			413

BLUE SKY PRAIRIE FILING NO. 1 (PA-4) - LOT COUNT	
	LOT
60' SINGLE FAMILY DETACHED	18
50' SINGLE FAMILY DETACHED	56
35' FRONT-LOAD SINGLE FAMILY DETACHED	14
35' REAR-LOAD SINGLE FAMILY DETACHED	116
TOTAL	204



60' SINGLE FAMILY DETACHED      PLANNING AREA 1: 53 DU / 12.3 DEV. AC = 4.31 DU/AC

50' SINGLE FAMILY DETACHED      PLANNING AREA 2: 128 DU / 28.1 AC = 4.56 DU/AC

35' REAR-LOAD SINGLE FAMILY DETACHED      PLANNING AREA 3: 81 DU / 28.5 AC = 2.84 DU/AC

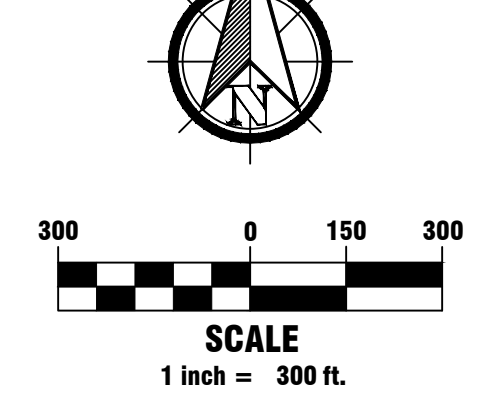
35' FRONT-LOAD SINGLE FAMILY DETACHED      PLANNING AREA 4: 151 DU / 30.2 AC = 5.00 DU/AC

#### LEGEND

- Property Line
- Right of Way Line
- Centerline
- Easement Line
- Lot Line
- Site Line
- Sight Distance Line
- Top of Embankment
- 100-YR W.S.E.
- Phase Line
- Retaining Wall
- Prop. Asphalt Pavement
- Prop. Asphalt Mill & Overlay
- Prop. Concrete Pavement
- Prop. Concrete Walk
- Prop. Crushed Fines
- Ex. Concrete Walk
- Ex. Asphalt Pavement
- Sight Distance Area
- Riprap
- Sanitary Sewer Line
- Water Line
- Storm Sewer Line
- Ex. Sanitary Line
- Ex. Water Line
- Ex. Storm Sewer Line
- Ex. Irrigation Pipe
- Ex. Fiber Optic Line
- Ex. Gas Line
- Ex. Telephone Line
- Ex. Overhead Electric
- Ex. Fence
- Sanitary Service Line
- Water Service Line
- Sanitary Sewer Manhole
- Fire Hydrant
- Thrust Block
- Water Valve
- Water Meter
- Storm Manhole
- Ex. Sanitary Sewer Manhole
- Ex. Water Valve
- Ex. Fire Hydrant
- Ex. Storm Manhole
- Ex. Street Light
- Ex. Sign
- Prop. Street Light
- Prop. Sign
- Proposed Major Contour
- Proposed Minor Contour
- Existing Major Contour
- Existing Minor Contour

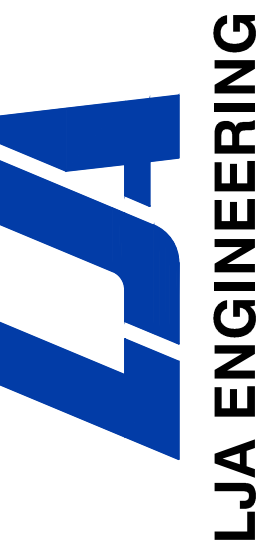
#### GENERAL ABBREVIATIONS

- A.E. ACCESS EASEMENT
- BKL BIKE LANE
- BL CONST BASELINE OF CONSTRUCTION
- BS BOTTOM ELEVATION OF RISE
- CE CURB EXTENSION
- CL CENTERLINE
- CT CURB TRANSITION
- CWN CROWN
- DBO DESIGN BY OTHERS
- DC MEDIAN CURB & GUTTER
- D.E. DRAINAGE EASEMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT DRIVEWAY
- DW DRIVEWAY
- EOP EDGE OF PAVEMENT
- FES FLARED END SECTION
- FGB FINISHED GROUND AT BOTTOM WALL ELEVATION
- FGT FINISHED GROUND AT TOP WALL ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FV FIELD VERIFY
- G FINISHED GROUND
- G.E. GAS EASEMENT
- GV GATE VALVE
- HP HIGH POINT
- LL LOT LINE
- LP LOW POINT
- MC MOUNTABLE CURB & GUTTER
- MH MANHOLE
- MSE MECHANICALLY STABILIZED EARTH
- P PAVEMENT
- P.A.E. PUBLIC ACCESS EASEMENT
- PC POINT OF CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- PCR POINT OF CURB RETURN
- PGL PROFILE GRADE LINE
- PRC POINT OF REVERSE CURVATURE
- PT POINT OF TANGENCY
- R.O.W. RIGHT OF WAY
- RN RECORDING NUMBER
- S.E. SANITARY EASEMENT
- SEC SECTION LINE
- SL SANITARY LINE
- SS SANITARY SERVICE
- SW SIDEWALK
- TB THRUST BLOCK
- TC TOP OF CURB
- T.R.E. TRANSPORTATION EASEMENT
- TS TOP ELEVATION OF RISE
- U.E. UTILITY EASEMENT
- U.G.E. UTILITY & GAS EASEMENT
- VC VERTICAL CURB & GUTTER
- W.E. WATER EASEMENT
- WL WATER LINE
- WS WATER SERVICE
- W.S.W. WATER SURFACE ELEVATION
- WV WATER VALVE



**811**  
Know what's below.  
Call before you dig.

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JOHNSTOWN, CO 80821

CLIENT: COLA, LLC / VIEW HOMES  
BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO

NOTES

- VC VERTICAL C&G
- MC URBAN MOUNTABLE C&G
- DC MEDIAN C&G

DATE: MARCH 27, 2024

REVISIONS

DR. CWS | CH. ---  
P.M. ---  
JOB: ---  
SHEET NO. 2 OF 35

NOT FOR CONSTRUCTION

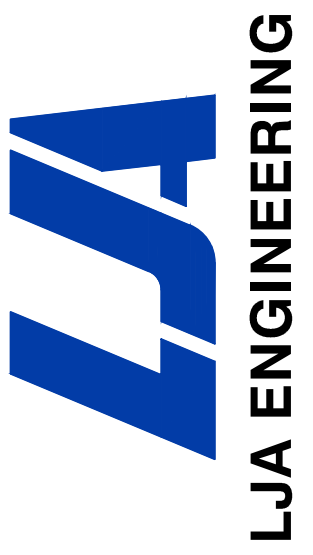
# BLUE SKY PRAIRIE FILING NO. 1

## FINAL DEVELOPMENT PLAN

### TOWN OF JOHNSTOWN, COLORADO

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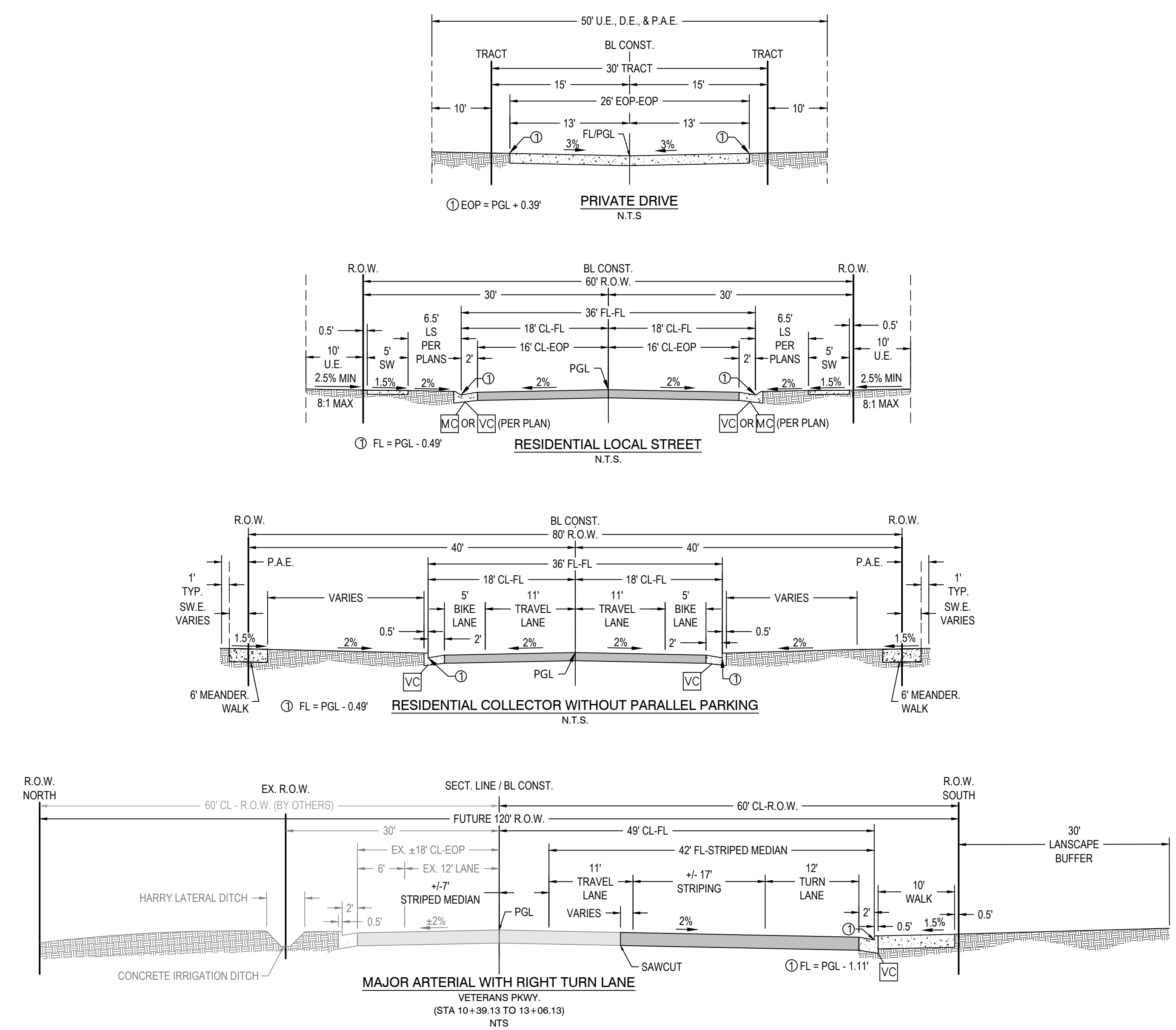
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BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO

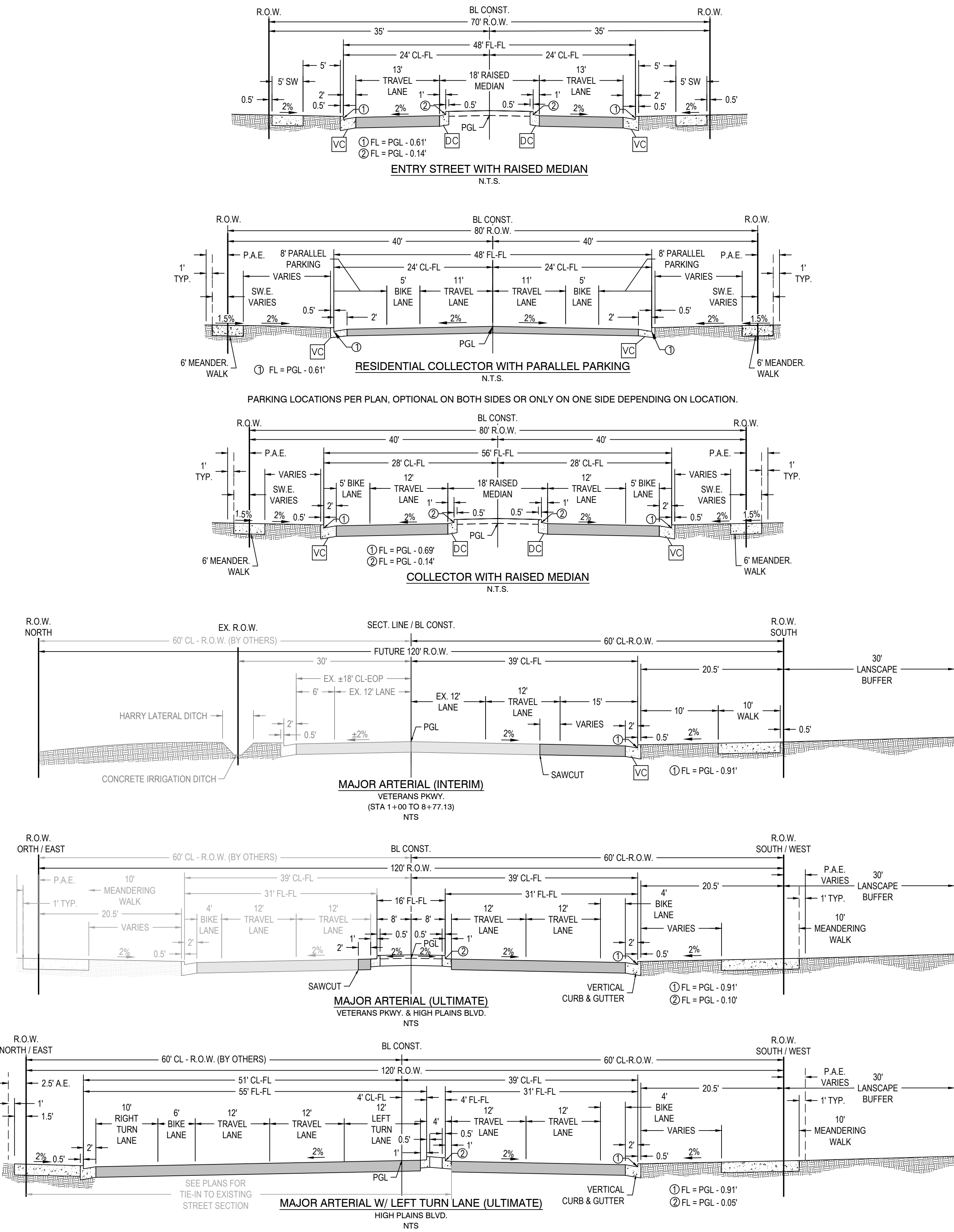
DATE  
**MARCH 27, 2024**

REVISIONS

DR. CWS | CH. ---  
P.M. ---  
JOB ---  
SHEET NO. ---



STREET SUMMARY	
TYPE	NAME(S)
PRIVATE DRIVE - 26'	BLUESTEM LN., PRAIRIE SAGE WAY
RESIDENTIAL LOCAL STREET (MOUNTABLE CURB)	PAINTBURSH DR., DROPSPEED DR., GOLDEN ROD DR., PRAIRIE SMOKE LN., BUSH GLOVER WAY
RESIDENTIAL LOCAL STREET (VERTICAL CURB)	RIVER ROCK DR.
ENTRY STREET WITH RAISED MEDIAN	WILD RYE DR.
RESIDENTIAL COLLECTOR	WATERBIRCH AVE., LARKSPUR DR.
MAJOR ARTERIAL	HIGH PLAINS BLVD., VETERANS PKWY.

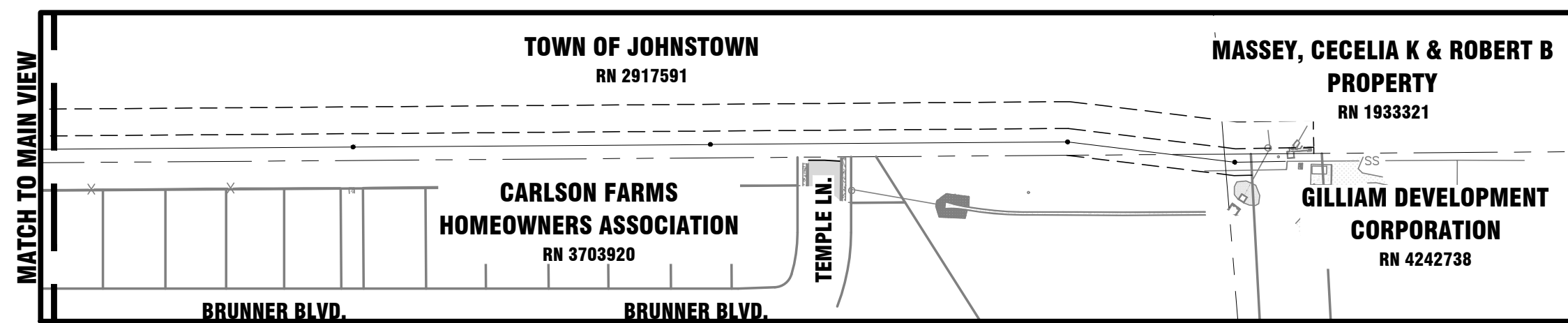
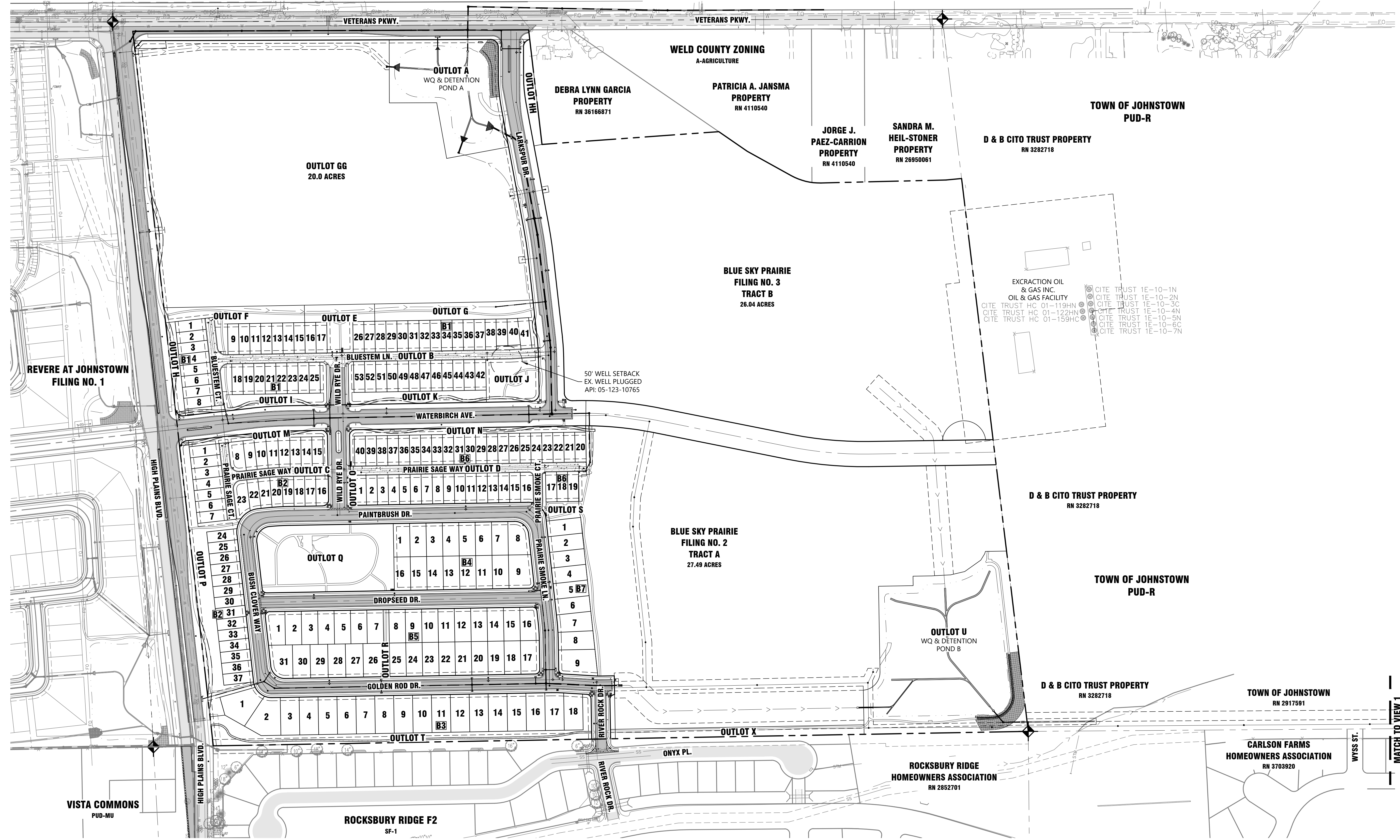


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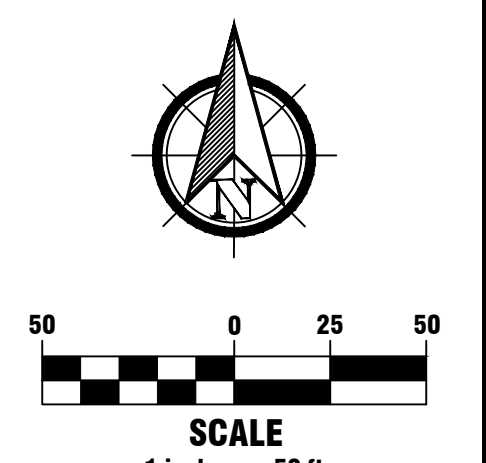
# BLUE SKY PRAIRIE FILING NO. 1

## FINAL DEVELOPMENT PLAN

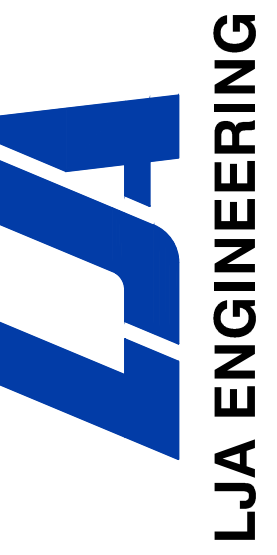
### TOWN OF JOHNSTOWN, COLORADO



**PROJECT BENCHMARK:**  
 NGS CONTROL POINT "JOHNSON" BEING A 3/4" STEEL ROD SET IN LOGO MONUMENT BOX LOCATED IN FRONT OF LAZY BOY'S RV IN JOHNSON'S CORNER, WEST OF THE FRONTAGE ROAD, 550 FEET NORTH OF THE INTERSECTION OF THE FRONTAGE ROAD AND MARKETPLACE DRIVE.  
 DATUM ELEV. = 5000.64 (NAVD88)



**811**  
 Know what's below.  
 Call before you dig.  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



**Henry design group**  
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 Denver, CO 80202  
 Phone: 303.446.2388

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 555 MIDDLE CREEK PKWY, SUITE 500  
 JOHNSTOWN, CO 80821

**CLIENT**  
 COLA, LLC / VIEW HOMES  
 BLUE SKY PRAIRIE FILING NO. 1  
 JOHNSTOWN, COLORADO

**OVERALL PLAN**

**DATE**  
 MARCH 27, 2024

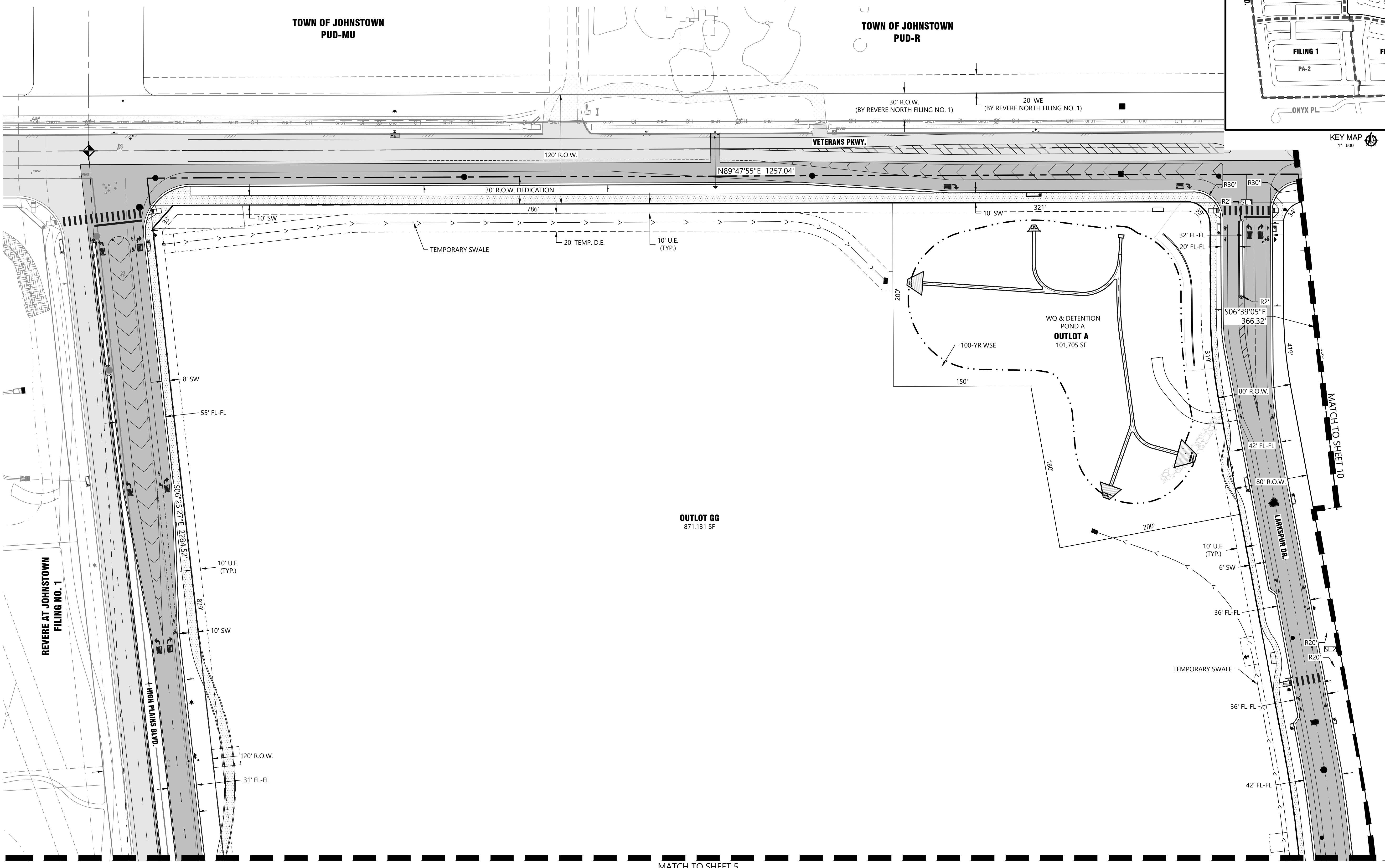
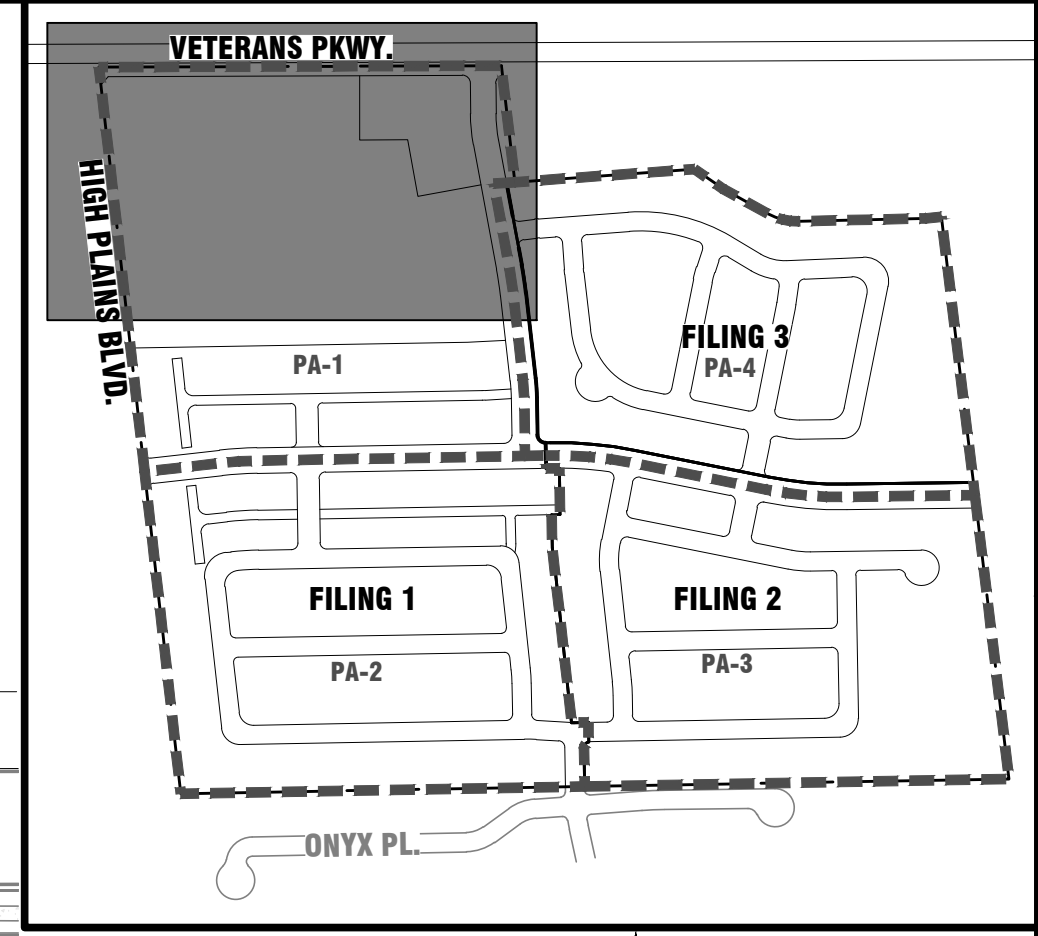
REVISIONS	

DR.	CWS	CH.	DATE

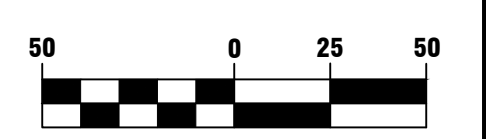
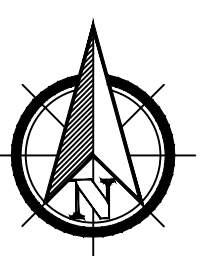
# BLUE SKY PRAIRIE FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

TOWN OF JOHNSTOWN  
PUD-MU

TOWN OF JOHNSTOWN  
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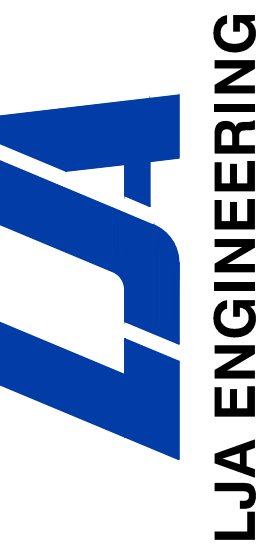


KEY MAP  
1"=600'



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BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO

**DATE**  
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**REVISIONS**

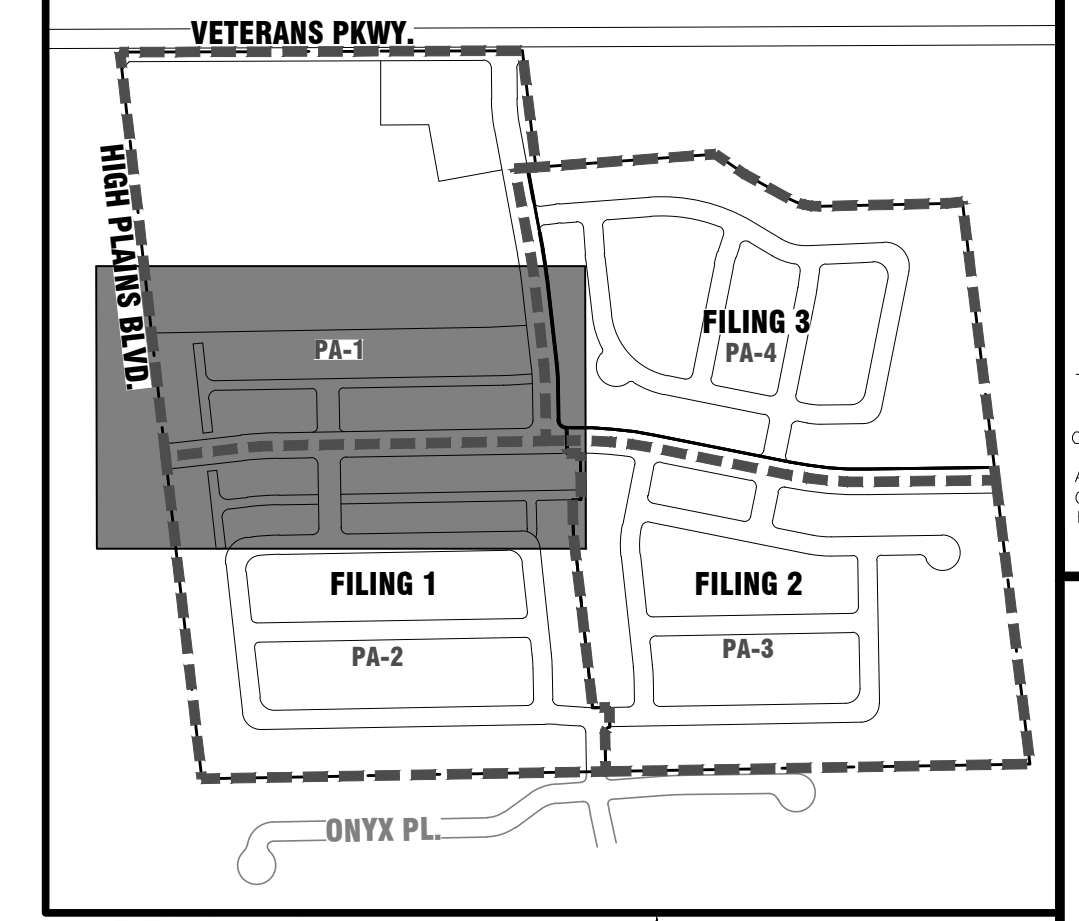
NO.	DESCRIPTION

**DR. CWS** | CH. ----  
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**JOB** ----  
**SHEET NO.**  
**5 OF 35**

# BLUE SKY PRAIRIE FILING NO. 1

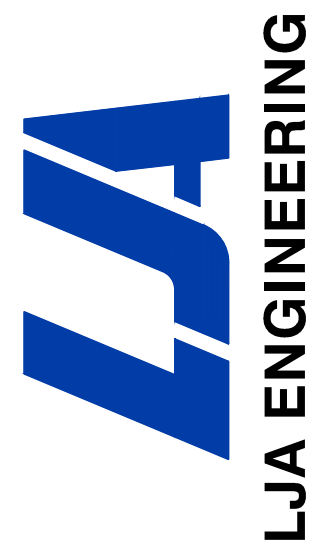
## FINAL DEVELOPMENT PLAN

### TOWN OF JOHNSTOWN, COLORADO



**811**  
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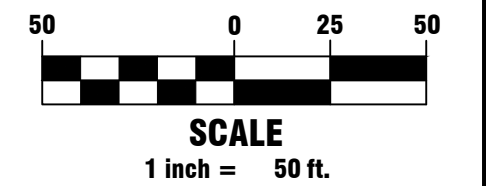
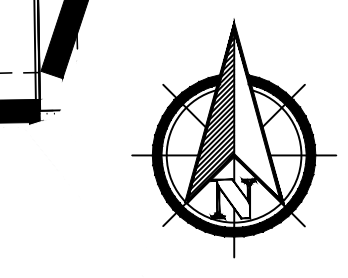
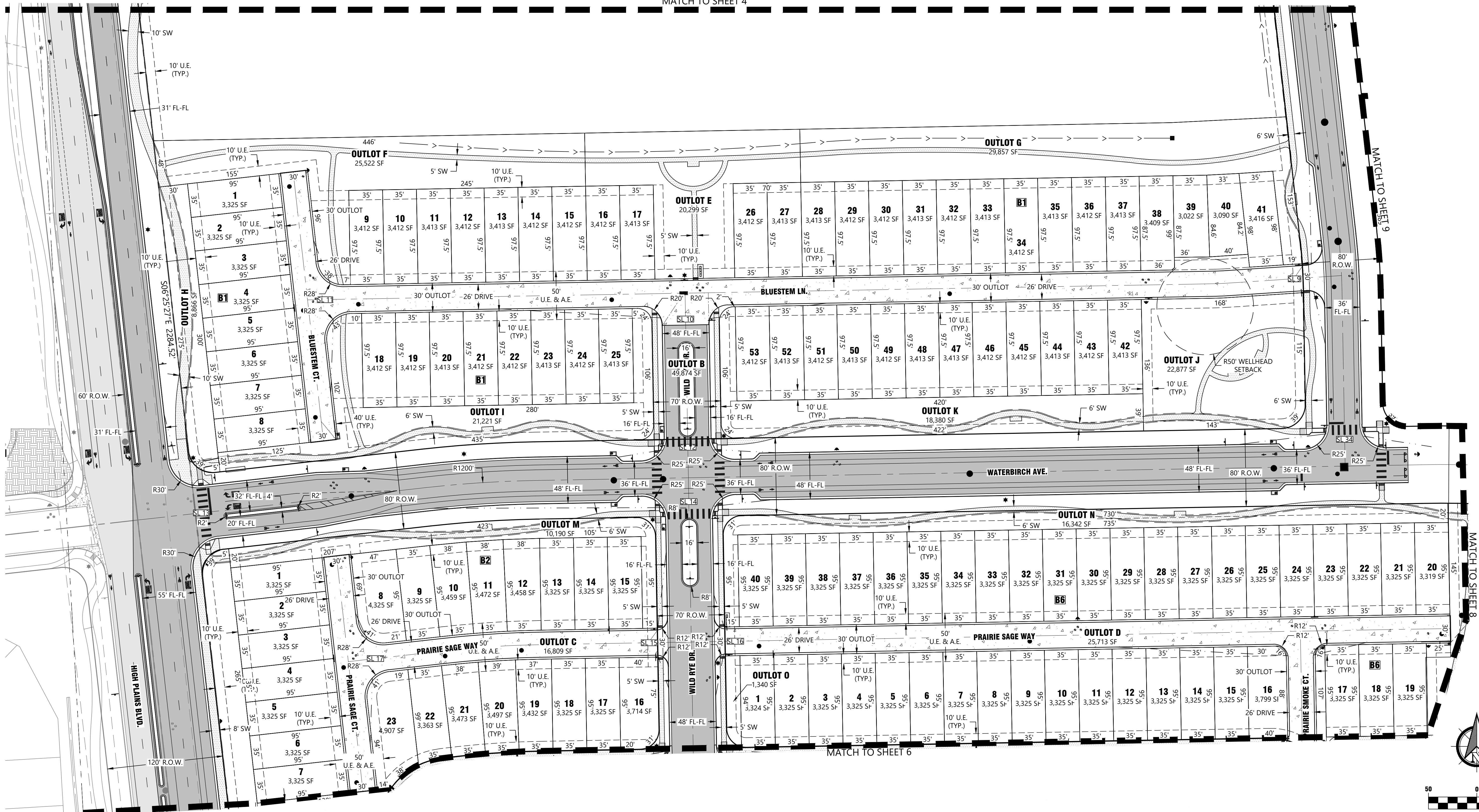
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BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO

**DATE**  
MARCH 27, 2024

**REVISIONS**

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**P.M.** ---  
**JOB** ---  
**SHEET NO.**  
**6 OF 35**

MATCH TO SHEET 4

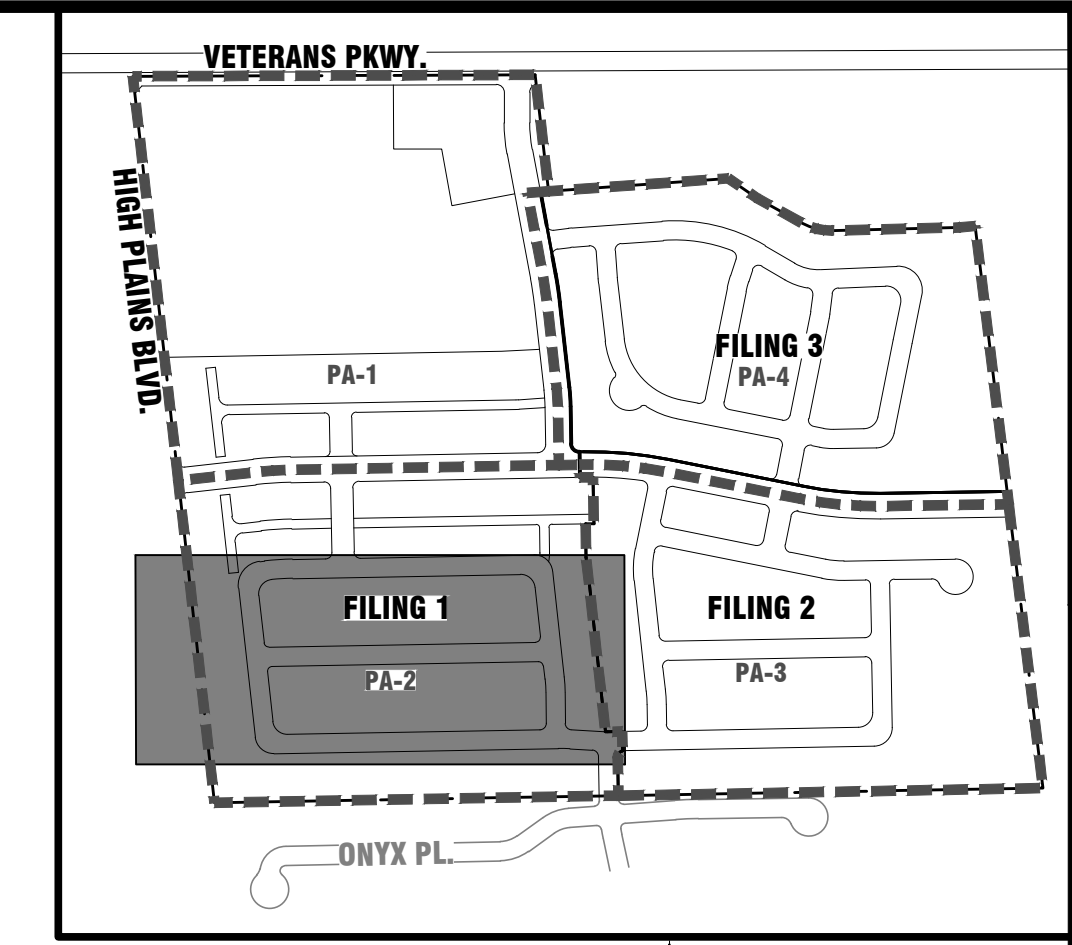


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# BLUE SKY PRAIRIE FILING NO. 1

## FINAL DEVELOPMENT PLAN

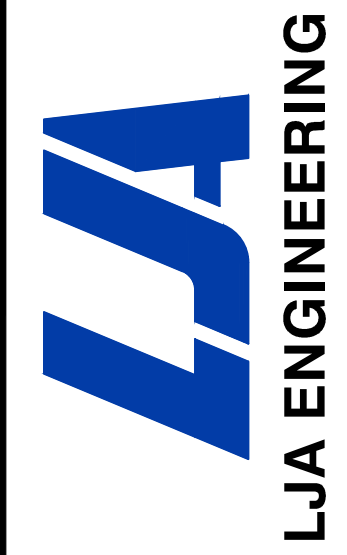
### TOWN OF JOHNSTOWN, COLORADO



KEY MAP  
1"=600'

**811**  
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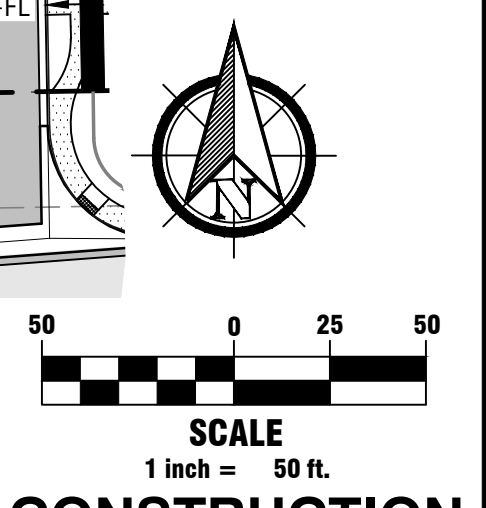
**APPLICANT**  
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555 MIDDLE CREEK PKWY, SUITE 600  
JOHNSTOWN, CO 80821

**CLIENT**  
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BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO

**DATE**  
MARCH 27, 2024

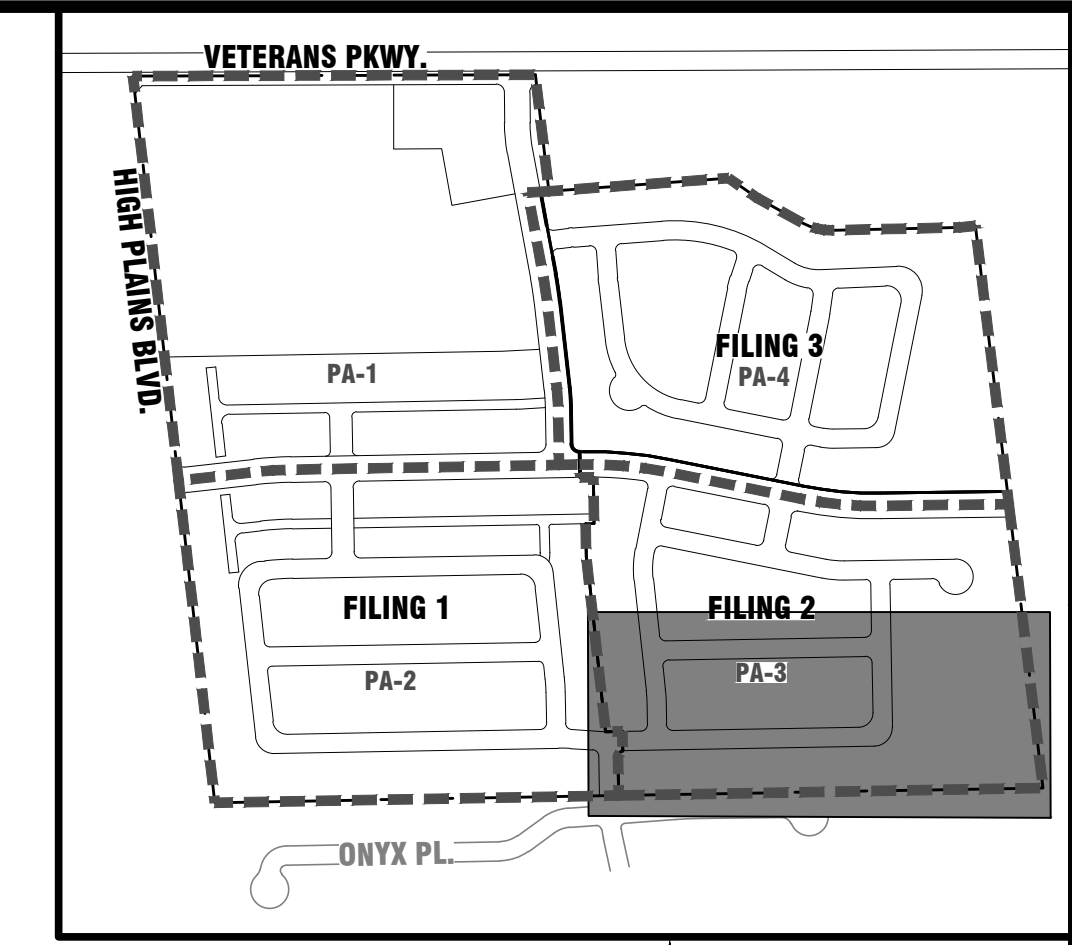
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**SHEET NO.**  
7 OF 35



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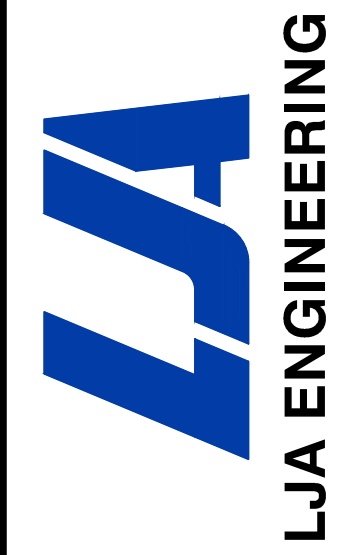
# BLUE SKY PRAIRIE FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



KEY MAP  
1"=600'

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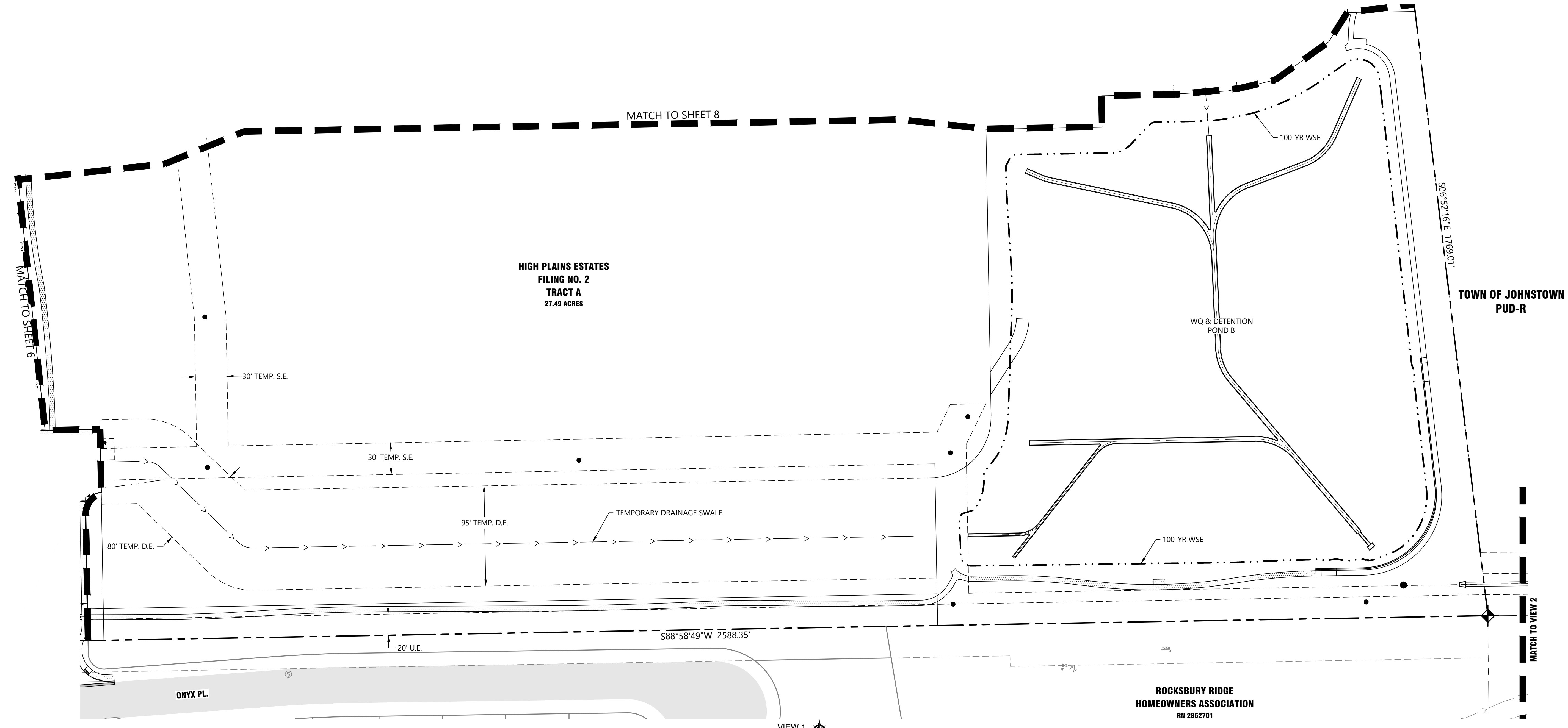
**APPLICANT**  
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BLUE SKY PRAIRIE FILING NO. 1  
JOHNSTOWN, COLORADO

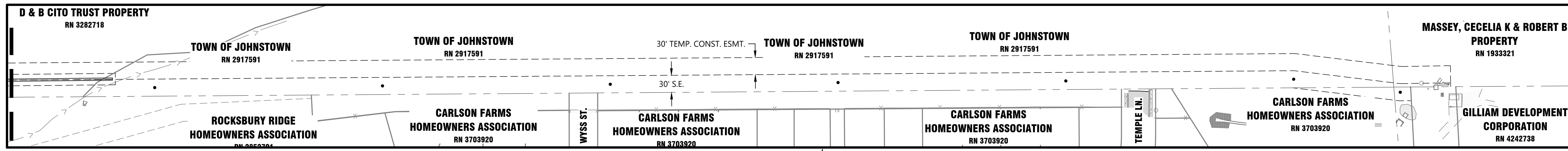
**DATE**  
MARCH 27, 2024

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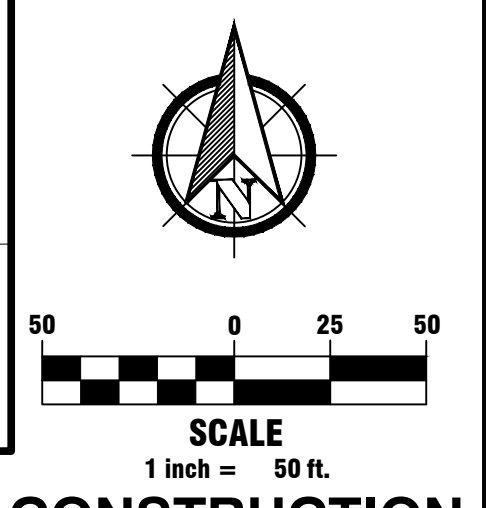
**DR. CWS** CH. ----  
**P.M.** ----  
**JOB** ----  
**SHEET NO.**  
8 OF 35



VIEW 1  
1"=100'



VIEW 2  
1"=100'



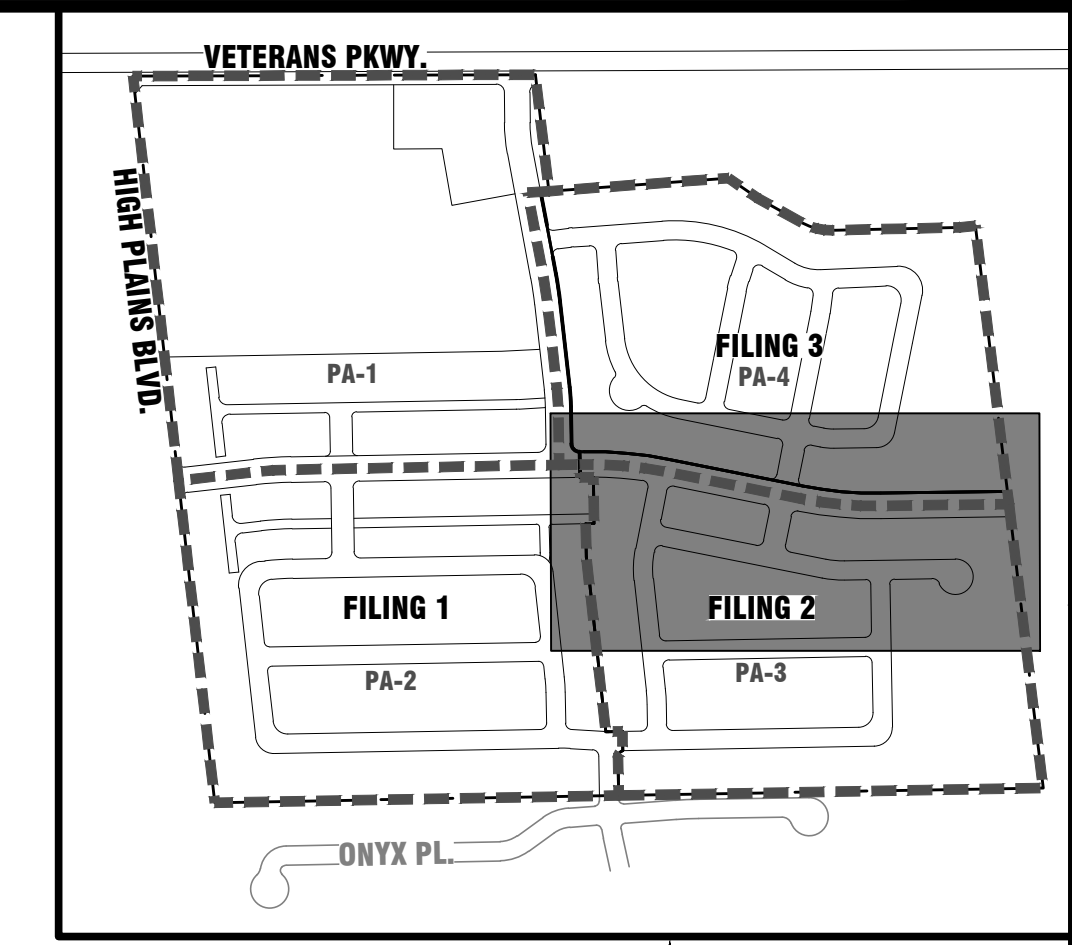
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MATCH TO VIEW 1

MATCH TO VIEW 2



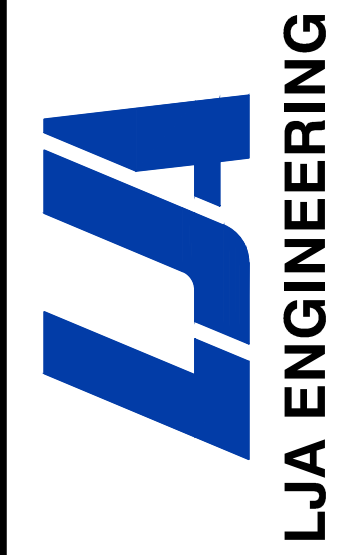
# BLUE SKY PRAIRIE FILING NO. 1 FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO



KEY MAP  
1"=600'

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JOHNSTOWN, COLORADO

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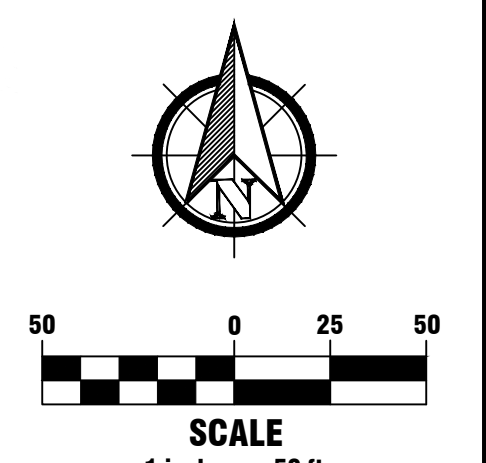
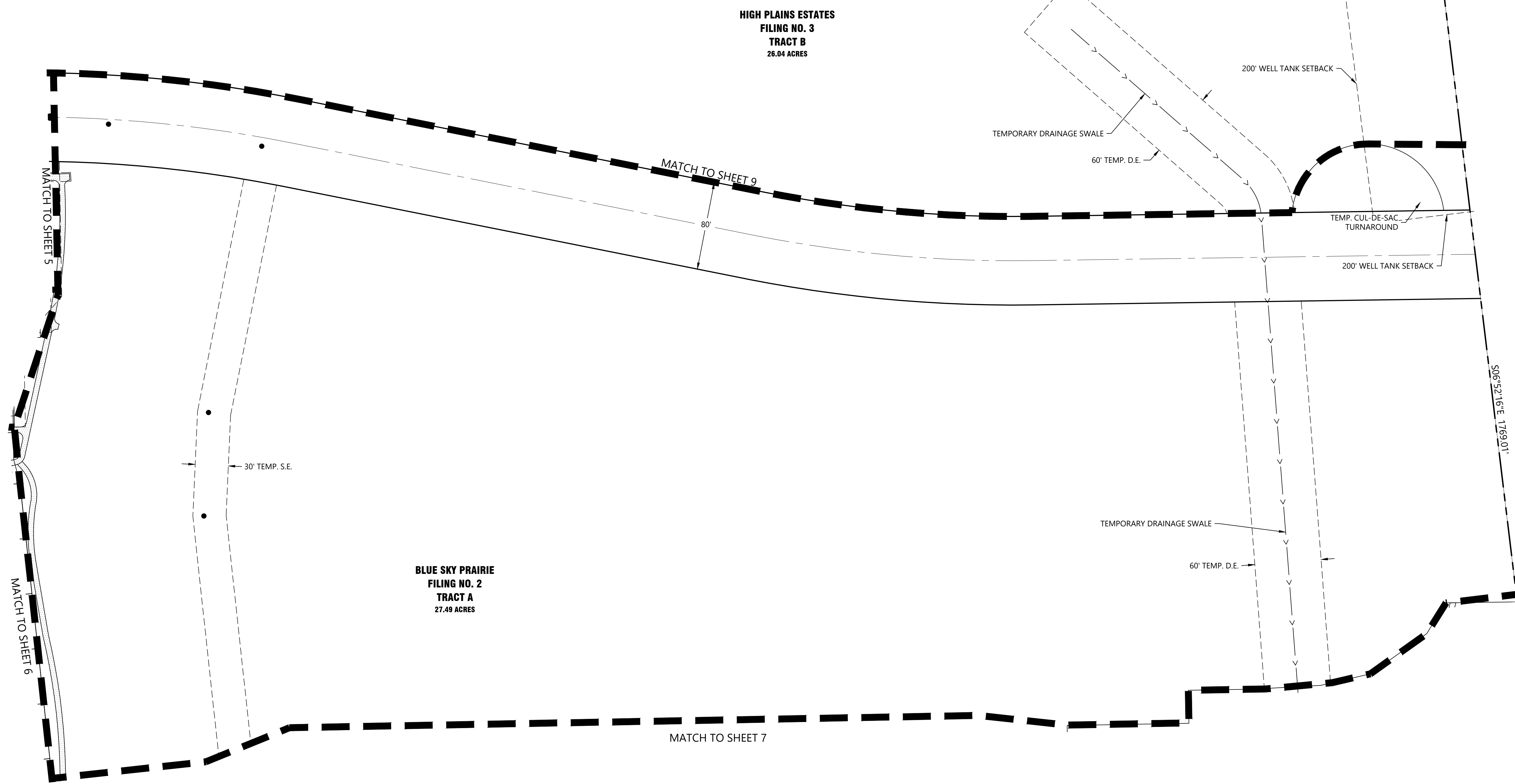
**REVISIONS**

NO.	DESCRIPTION

**DR. CWS** | **CH.** ----  
**P.M.** ----

**JOB** ----

**SHEET NO.**  
**9 OF 35**

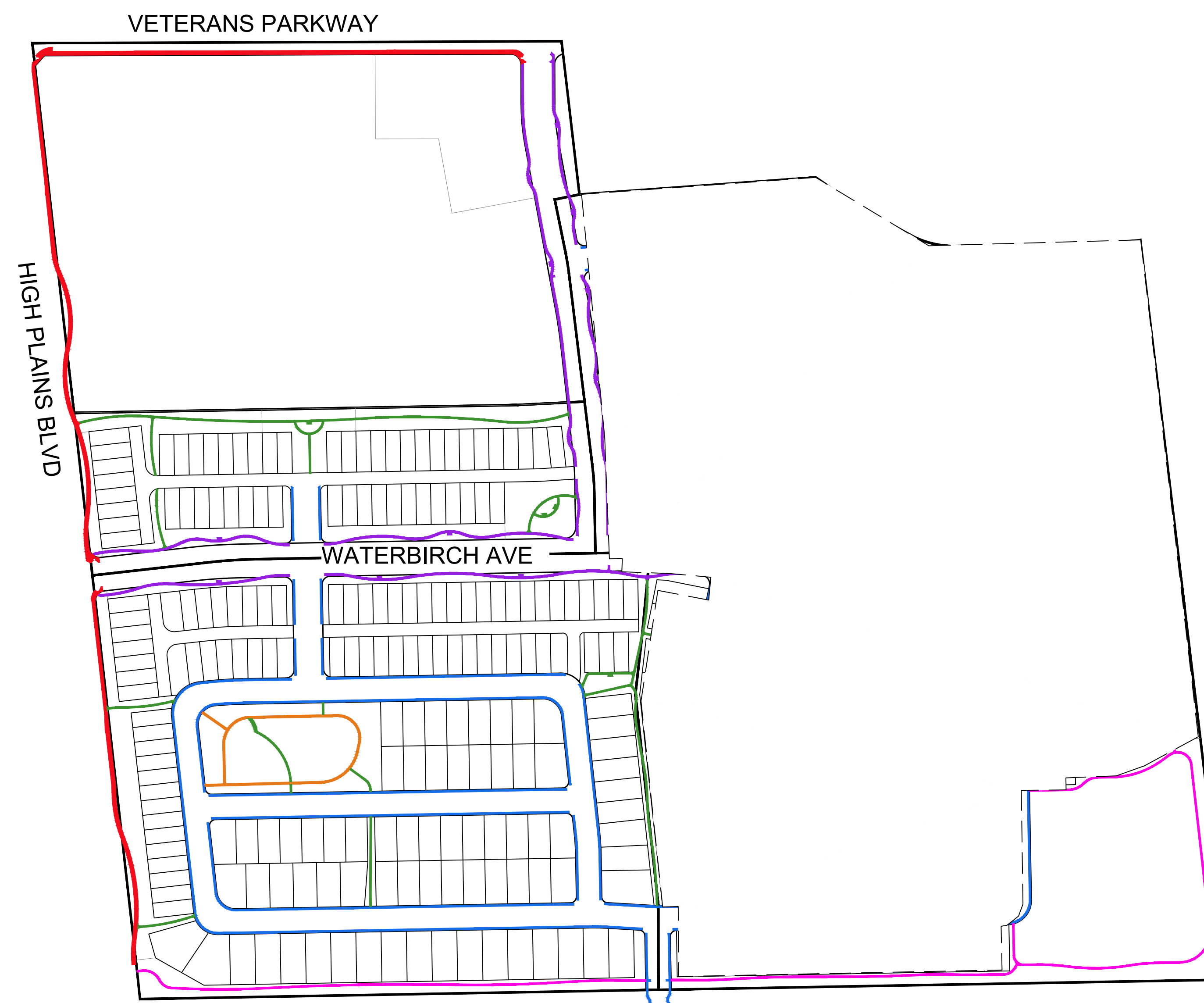
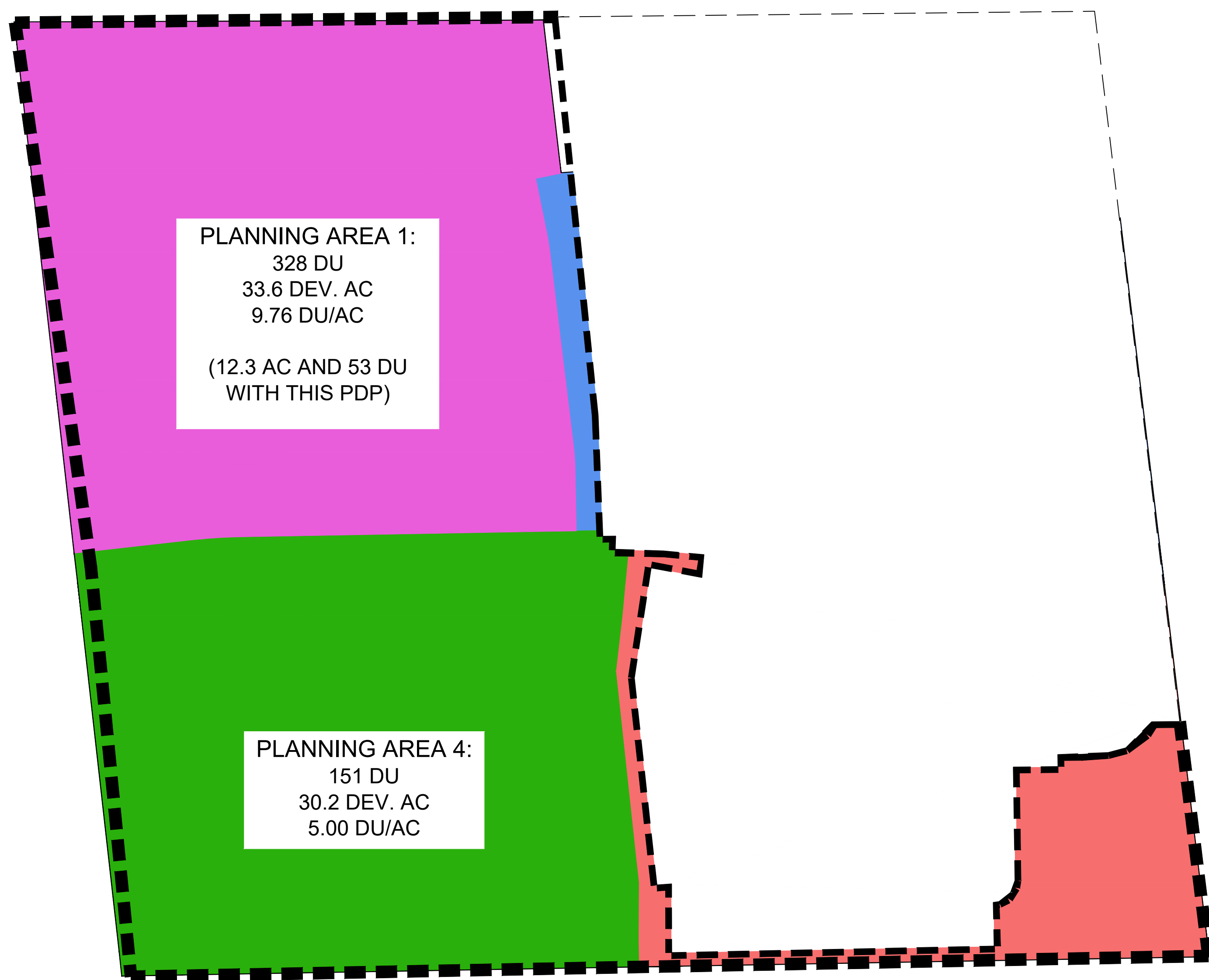


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# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



○ PLANNING AREAS  
SCALE: 1" = 200'-0"

○ PEDESTRIAN CIRCULATION PLAN  
SCALE: 1" = 200'-0"

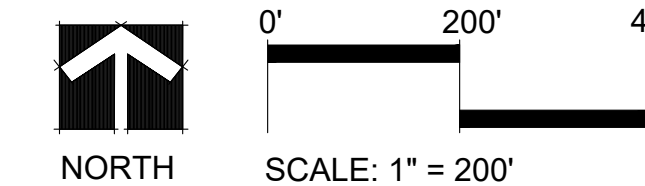
**LEGEND**

- 10' REGIONAL TRAIL
- 6' DETACHED SIDEWALK
- 5' DETACHED SIDEWALK
- 6' TRAIL WITHIN TRACT AREA
- 5' TRAIL WITHIN TRACT AREA
- 5' CRUSHER FINES TRAIL

REVISION DESCRIPTION	DATE

**BLUE SKY PRAIRIE**  
 JOHNSTOWN, CO  
 FINAL DEVELOPMENT PLAN- FILING 1  
 PLANNING AREAS & PEDESTRIAN CIRCULATION PLAN

DESIGNED BY: MK  
 DRAWN BY: AKH  
 CHECKED BY: KZH



# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



- OVERALL PARKS AND OPEN SPACE**
- TOTAL SITE AREA: 121.16 Acres
    - 19.998 Acres (Tract 1 – Future Development) –
    - 2.335 Acres (Outlot A) – Detention Pond
  - NET SITE AREA: 98.827 Acres

	COMMON AND PUBLIC OPEN SPACE DATA		
	OPEN SPACE (20% of total)	PARK SPACE (10% of total)	USABLE OPEN SPACE + PARK (30% of total)
REQUIRED	19.76	9.89	29.65
PROVIDED	19.17	9.89	29.06

- Notes:
- Tract 1 shall provide 30% open space area.
  - All Public and Common Open Space dedications shall occur at the time of Final Plat. The dedications shall be on a community-wide basis. However, each Final Plat does not need to stand alone in meeting open space and park land dedication. Public and Common Open Space dedication shall be defined for each application, whether it be within the application or satisfied by previous applications or future applications. A tracking table of Public and Common Open Space shall be provided with each Final Plat/Final Development Plan application.
  - The .59 acres of open space shortage shall be met by providing additional amenities in the parks. The extra amenities shall be indicated at the time of Final Plat/Final Development Plan.
  - Park credit may extend to the top back of curb for the streets adjacent to the parks as the walks will meander away from the street and through the parks.
  - Open space credit is to include the enhanced landscape areas from within the right-of-way from the back of curb to the lot lines along Waterbirch Avenue, High Plains Boulevard and Collector Street A. Enhancements along these streets include:
    - Alley-loaded homes facing a portion of both High Plains Boulevard and Waterbirch Avenue creating a pleasing and engaging streetscape.
    - Meandering 10-walk along High Plains Estates Boulevard and a 6-foot walk along Waterbirch Avenue are provided with seat nodes and enhanced landscaping creating a significant streetscape image that is comfortable for the user.
    - Portions of Waterbirch Avenue are adjacent to park space where the walk can meander further into the open area creating a more open feel along the streetscape.
    - The entries into the neighborhood from High Plains Boulevard and Veterans Parkway will have a median with signage and landscaping announcing arrival to the neighborhood and create the start of the significant streetscape image.

PARK & OPEN SPACE TRACKING TABLE PER NOTE NO. 2 ABOVE

OUTLOT	ACREAGE	OWNERSHIP	MAINTENANCE	USE	OS CREDIT ACREAGE	PARK CREDIT ACREAGE
A	2.335	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	FUTURE OPEN SPACE/DETENTION	0	0
B	1.122	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	0.466
F	0.586	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.586	0
G	0.686	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.686	0
H	0.204	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.204	0
I	0.487	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.487	0
J	0.525	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	0.525
K	0.422	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.422	0
M	0.234	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.234	0
N	0.375	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.375	0
O	0.031	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.031	0
P	1.067	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	1.067	0
Q	2.079	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	2.079
R	0.100	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE/LANDSCAPE	0.1	0
S	0.768	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE/LANDSCAPE	0.768	0
T	1.051	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	1.051	0
U	5.465	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / TRAIL/DETENTION	5.465	0
X	0.591	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / DETENTION/SS	0	0
TOTAL	17.472				12.067	3.07

OVERALL OUTLOT TABLE

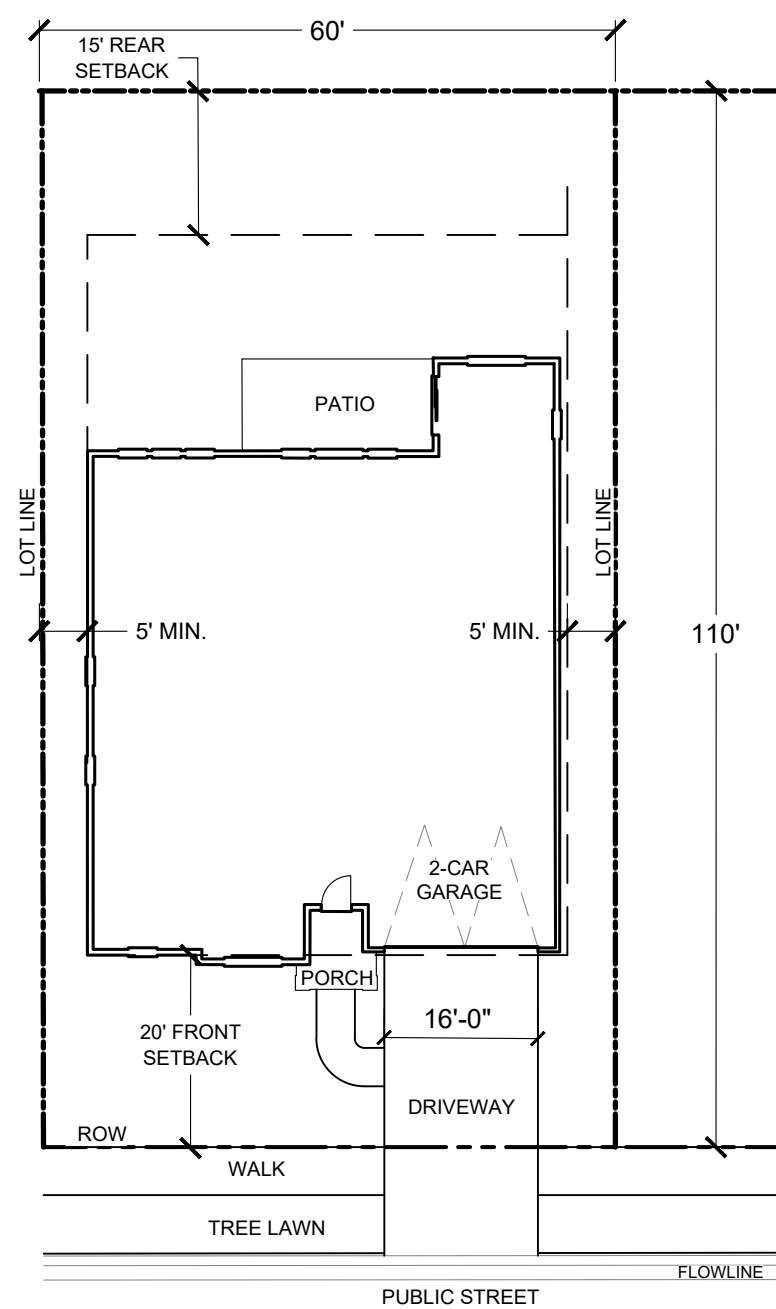
OUTLOT	ACREAGE	OWNERSHIP	MAINTENANCE	USE	OS CREDIT ACREAGE	PARK CREDIT ACREAGE
A	2.335	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	FUTURE OPEN SPACE/DETENTION	0	0
B	1.122	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	ALLEY	0	0
C	0.386	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	ALLEY	0	0
D	0.59	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	ALLEY	0	0
E	0.466	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	0.466
F	0.586	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.586	0
G	0.686	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.686	0
H	0.204	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.204	0
I	0.487	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.487	0
J	0.525	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	0.525
K	0.422	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.422	0
M	0.234	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.234	0
N	0.375	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.375	0
O	0.031	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.031	0
P	1.067	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	1.067	0
Q	2.079	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	2.079
R	0.100	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE/LANDSCAPE	0.1	0
S	0.768	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE/LANDSCAPE	0.768	0
T	1.051	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	1.051	0
U	5.465	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / TRAIL/DETENTION	5.465	0
V	0.902	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	0.902
W	0.126	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE/LANDSCAPE	0.126	0
X	0.591	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / DETENTION/SS	0.591	0
Y	0.212	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE/TRAIL/SS	0.212	0
Z	0.682	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.682	0
AA	3.709	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	3.709
BB	1.414	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	PARK	0	1.414
CC	0.227	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPENSPACE/LANDSCAPE	0.227	0
DD	0.950	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.950	0
EE	0.411	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	0.411	0
FF	0.327	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE/DRAINAGE	0.327	0
CURBSIDE LANDSCAPE ADJACENT TO PARKS AND OPEN SPACE	4.965	HIGH PLAINS METRO DIST #2	HIGH PLAINS METRO DIST #2	OPEN SPACE / LANDSCAPE	4.17	0.795
TOTALS					19.17	9.89

DATE	REVISION DESCRIPTION

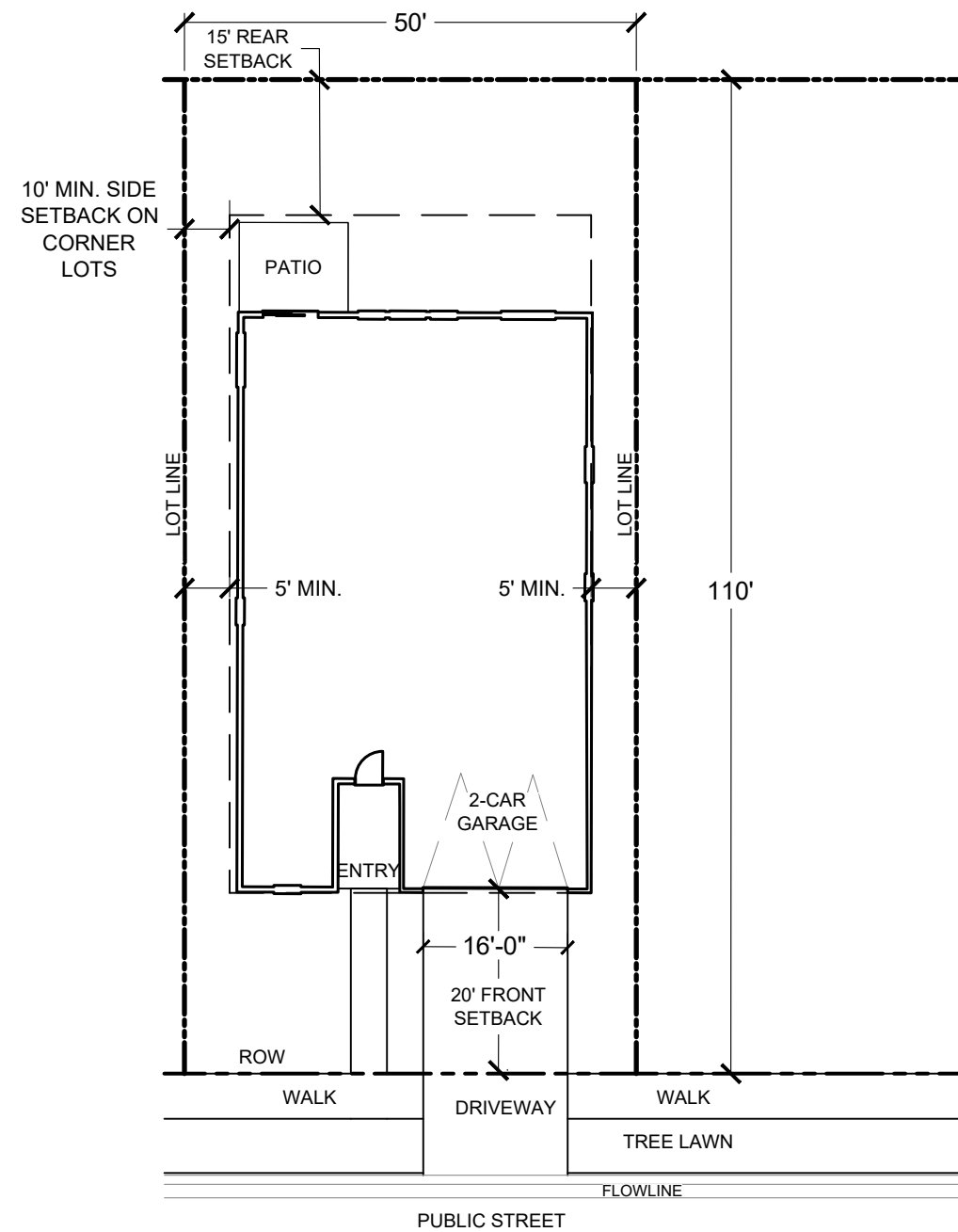
# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

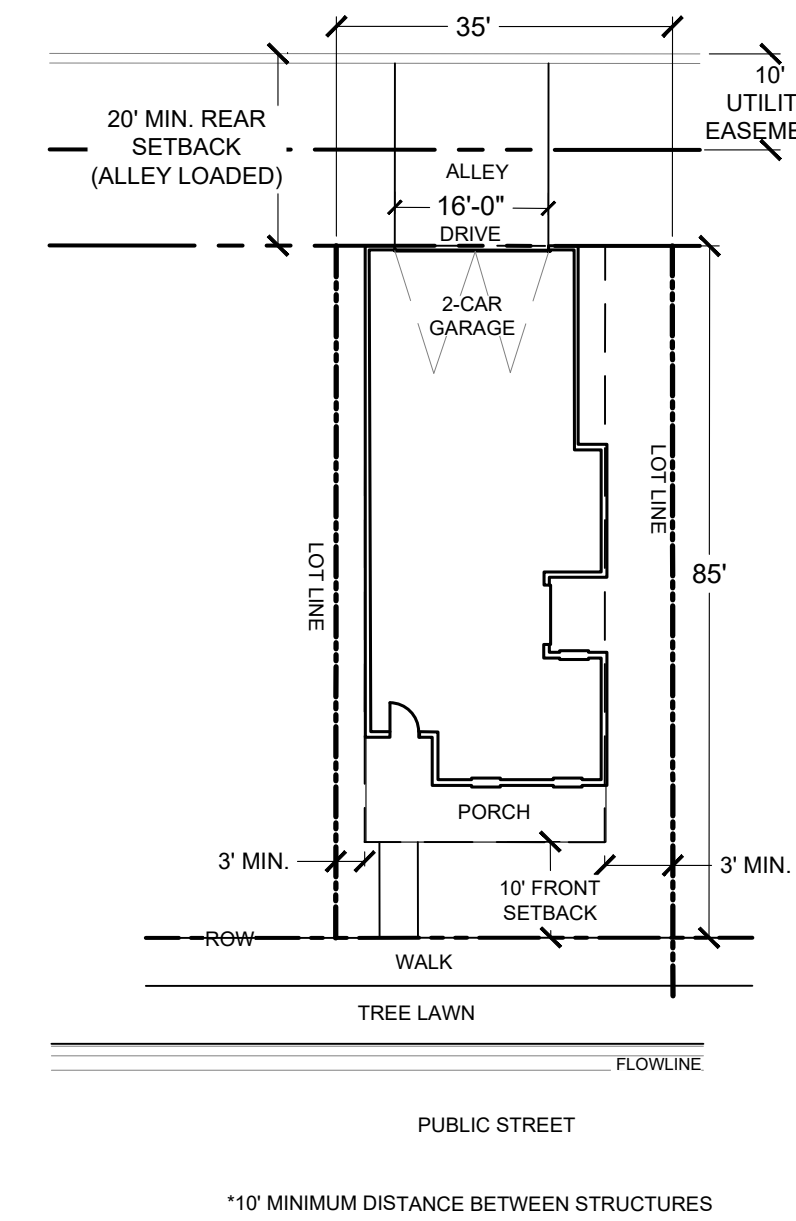
### TOWN OF JOHNSTOWN, COLORADO



○ 50' SINGLE FAMILY DETACHED  
FRONT LOADED 60' LOT TYPE



○ 40' SINGLE FAMILY DETACHED  
FRONT LOADED 50' LOT TYPE



○ SINGLE FAMILY DETACHED 'NOOK'  
ALLEY LOADED 35' LOT TYPE

LAND USE DEVELOPMENT STANDARDS	
<b>MINIMUM LOT SIZE</b>	<b>PA-1:</b> 3,000 SF (Not including Tract 1) <b>PA-2:</b> 4,000 SF <b>PA-3:</b> 6,500 SF <b>PA-4:</b> SFD Fee simple lot 6,500 SF for the first row of homes along the southern property line SFD Fee simple lot internal to PA-4 5,500 SF 3,000 SF for creative development options/alternate building types up to a maximum density of 7 DU/Ac.
<b>BUILDING SETBACKS</b>	
<b>FRONT</b> to face of front-loading Garage	<b>PA-1, 2, 3, and 4:</b> 20-feet
<b>FRONT</b> to primary structure or covered porch on side or rear loading garage	<b>PA-1, 2, 3, and 4:</b> 10-feet
<b>REAR</b> to property line	<b>PA-1:</b> 10-feet <b>PA-2, 3, and 4:</b> 15- feet <b>PA- 4:</b> 20-feet adjacent to Rocksbury Ridge
<b>REAR</b> From alley to garage minimum	<b>PA-1 and 4:</b> 5-feet <b>PA- 3, and 4:</b> NA Building garage setback from alley or private drive shall be setback less than 7-feet or 20-feet or greater
<b>SIDE</b> Interior lot line SFD	<b>PA-1 and 4:</b> 3-feet <b>PA 2 and 3:</b> 5-feet
<b>CORNER SIDE</b> from alley or ROW	<b>PA-1, 2, 3, and 4:</b> 10-feet
<b>SIDE</b> to face of side loading garage	<b>PA-1, 2, 3, and 4:</b> 20-feet
<b>ACCESSORY USES AND DWELLING UNITS</b>	Per the Johnstown Municipal Code
<b>MAXIMUM BUILDING HEIGHT</b>	35-feet
<b>PARKING</b>	Per the Johnstown Municipal Code

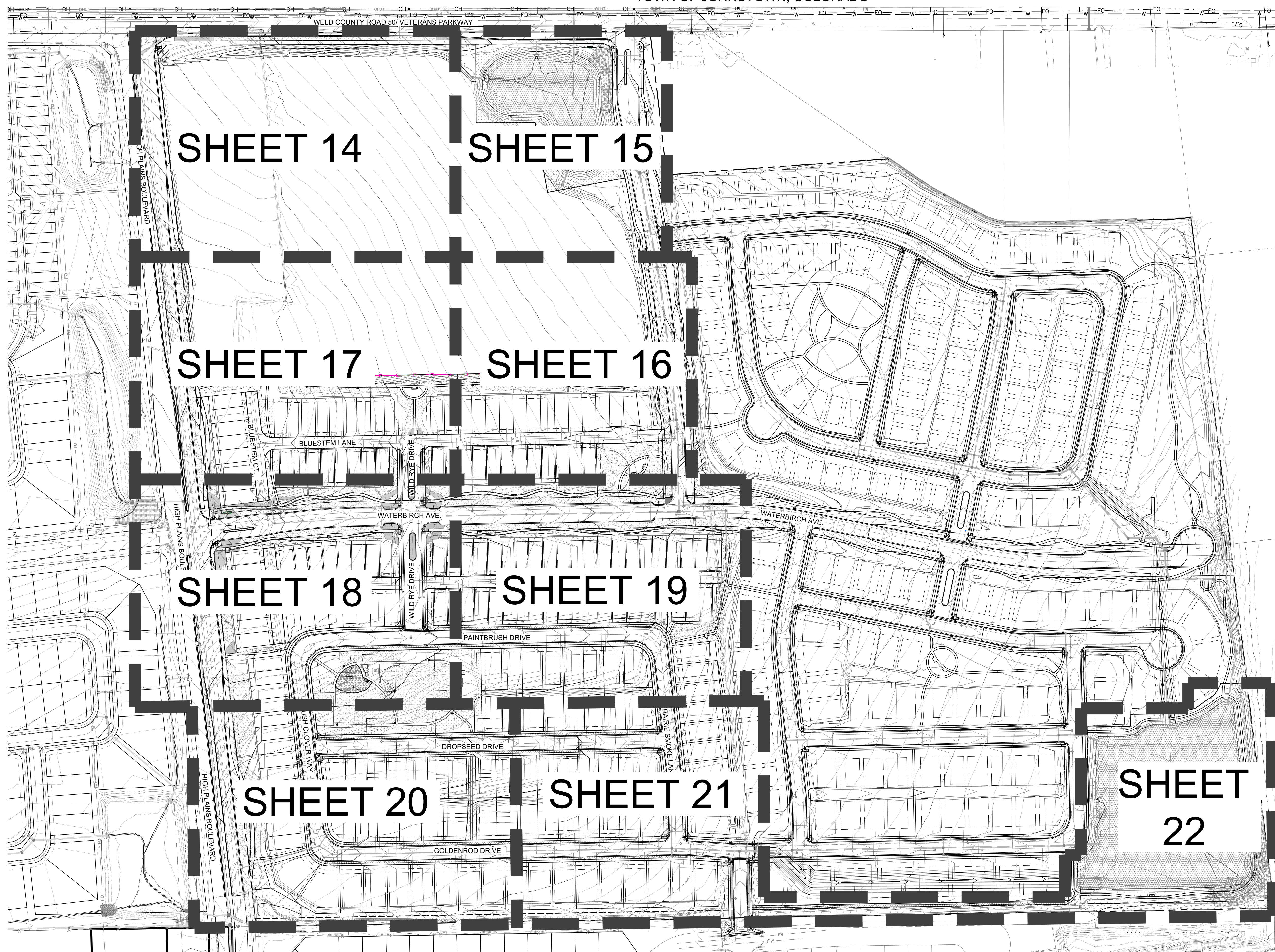
○ LAND USE DEVELOPMENT STANDARDS

REVISION DESCRIPTION	DATE

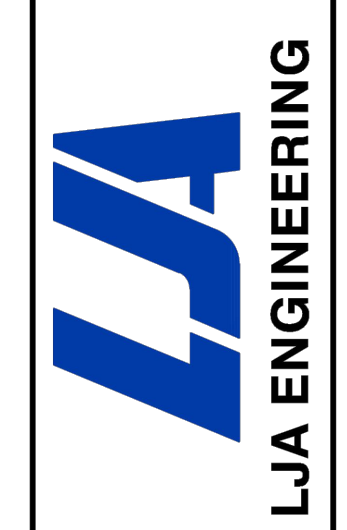
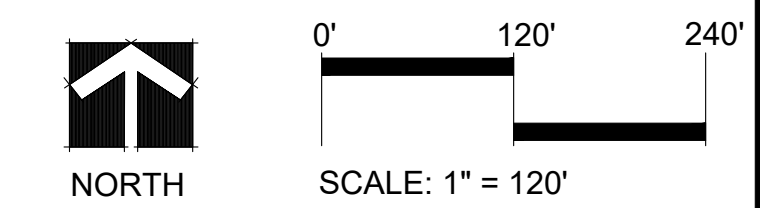
BLUE SKY PRAIRIE  
JOHNSTOWN, CO  
FINAL DEVELOPMENT PLAN- FILING 1  
LOT TYPICALS & DEVELOPMENT STANDARDS

DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

**BLUE SKY PRAIRIE**  
 FINAL DEVELOPMENT PLAN- FILING NO. 1  
 TOWN OF JOHNSTOWN, COLORADO



OVERALL LANDSCAPE SITE PLAN  
 SCALE: 1" = 120'-0"



REVISION DESCRIPTION	DATE

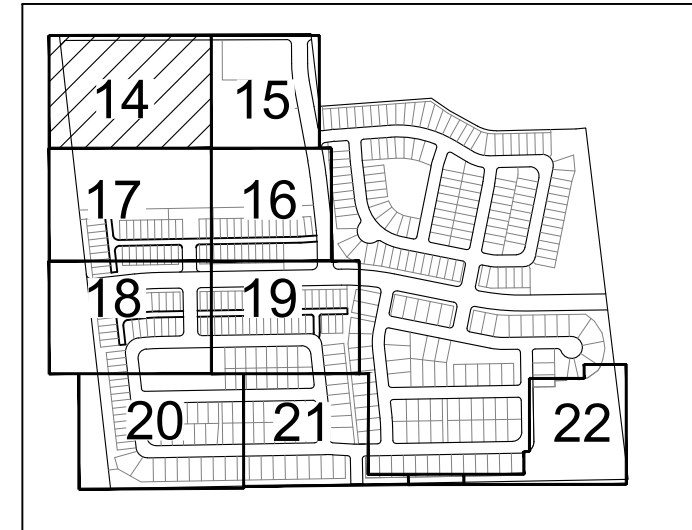
BLUE SKY PRAIRIE  
 JOHNSTOWN, CO  
 FINAL DEVELOPMENT PLAN- FILING 1  
 OVERALL LANDSCAPE PLAN

DESIGNED BY: MK  
 DRAWN BY: AKH  
 CHECKED BY: KZH

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



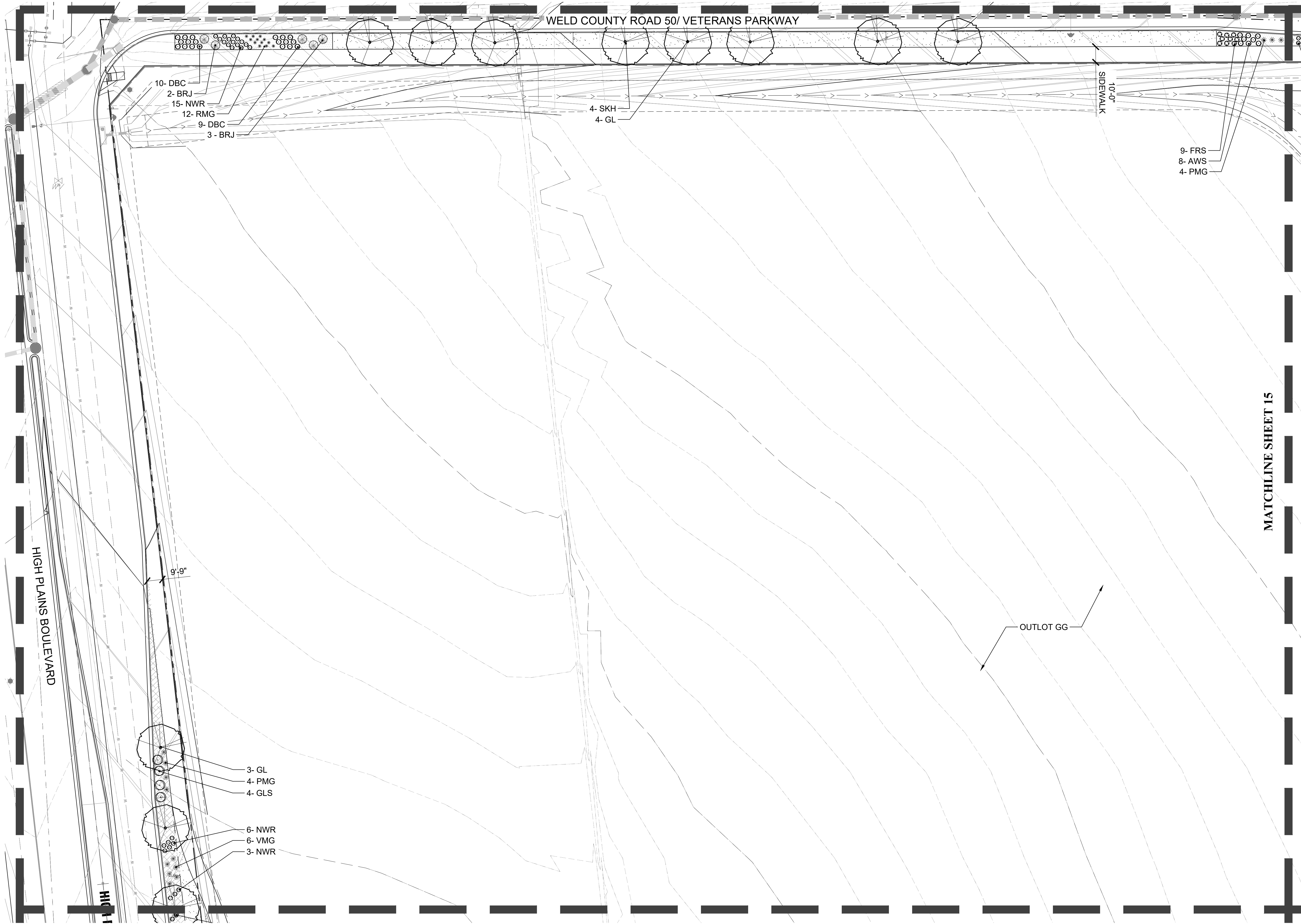
SCALE: NTS

NOTES:

1. SIGHT DISTANCE TRIANGLE SHALL BE PROVIDED PER LCUASS FIG. 7-16.
2. SIGHT TRIANGLE MUST FALL WITHIN PUBLIC ROW, OR A DEDICATED SIGHT TRIANGLE EASEMENT MUST BE PROVIDED TO THE TOWN (SHOWN ON PLAN, OR IF NOT THEN BY SEPARATE DOCUMENT).
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4. NO SHRUBS AND/OR OTHER PLANTINGS THAT WILL (OR MAY) ATTAIN A HEIGHT GREATER THAN 24" SHALL BE PLACED WITHIN SIGHT TRIANGLE.
5. NO TREES OR SHRUBS SHALL BE PLANTED OVER OR WITHIN 5' OF ANY WET UTILITY LINES.
6. NO TREES OR SHRUBS MAY BE LOCATED WITHIN THE 100-YR EVENT FLOW LIMITS OF ANY DRAINAGE SWALE OR CHANNEL, NOR WITHIN THE 100-YR WATER SURFACE LIMITS OF ANY STORM WATER DETENTION FACILITIES.

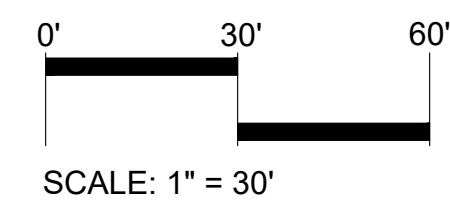
#### LEGEND

	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB (N/A)
	EVERGREEN SHRUB (N/A)
	ORNAMENTAL GRASS (N/A)
	TEMPORARILY IRRIGATED NATIVE SEED
	NON-IRRIGATED SEED AT DETENTION PONDS; 12" MAX. HT.
	NATURE'S PRAIRIE SOD
	SOD
	1 1/2" RIVER ROCK MULCH, SALT & PEPPER
	1 1/2" RIVER ROCK MULCH, MESA GREY
	CONCRETE WALK
	STABILIZED CRUSHER FINES - GRAY BREEZE
	GRAVEL PATH
	2"-4" COBBLE STONE
	ENGINEERED WOOD FIBER
	(PERFORATED) STEEL EDGER
	FIRE HYDRANT
	DOG WASTE STATION
	RETAINING WALL
	PROPERTY LINE
	RIGHT OF WAY
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SIGHT TRIANGLE
	42" OPEN RAIL FENCE
	42" ORNAMENTAL FENCE
	5" PRIVACY FENCE
	5" PRIVACY FENCE



LANDSCAPE PLAN  
SCALE: 1" = 30'-0"

MATCHLINE SHEET 17



DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

SHEET  
14 of 35

COLA  
Colorado Land Acquisition

LJA  
ENGINEERING

henry design group  
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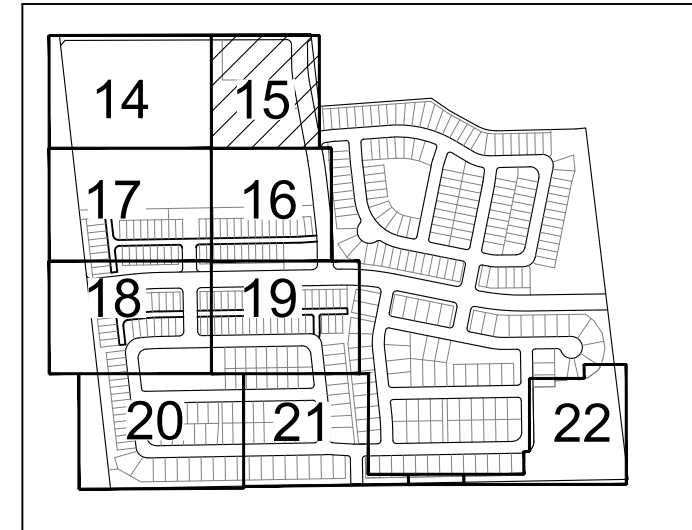
REVISION DESCRIPTION	DATE

BLUE SKY PRAIRIE  
JOHNSTOWN, CO  
FINAL DEVELOPMENT PLAN- FILING 1  
PRELIMINARY LANDSCAPE PLAN

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



KEY MAP  
SCALE: NTS

NOTES:

1. SIGHT DISTANCE TRIANGLE SHALL BE PROVIDED PER LCUASS FIG. 7-16.
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#### LEGEND

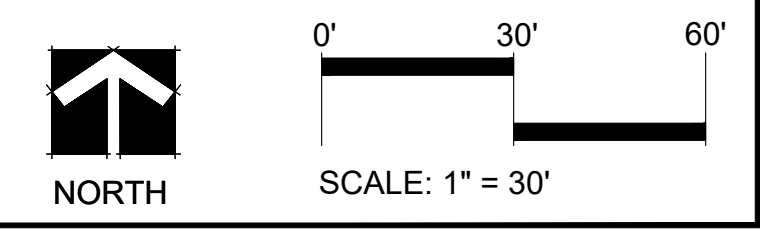
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	ORNAMENTAL TREE
	EVERGREEN TREE
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	ORNAMENTAL GRASS (N/A)
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	SIGHT TRIANGLE
	42" OPEN RAIL FENCE
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	5" PRIVACY FENCE
	5" PRIVACY FENCE



MATCHLINE SHEET 14

MATCHLINE SHEET 16

LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



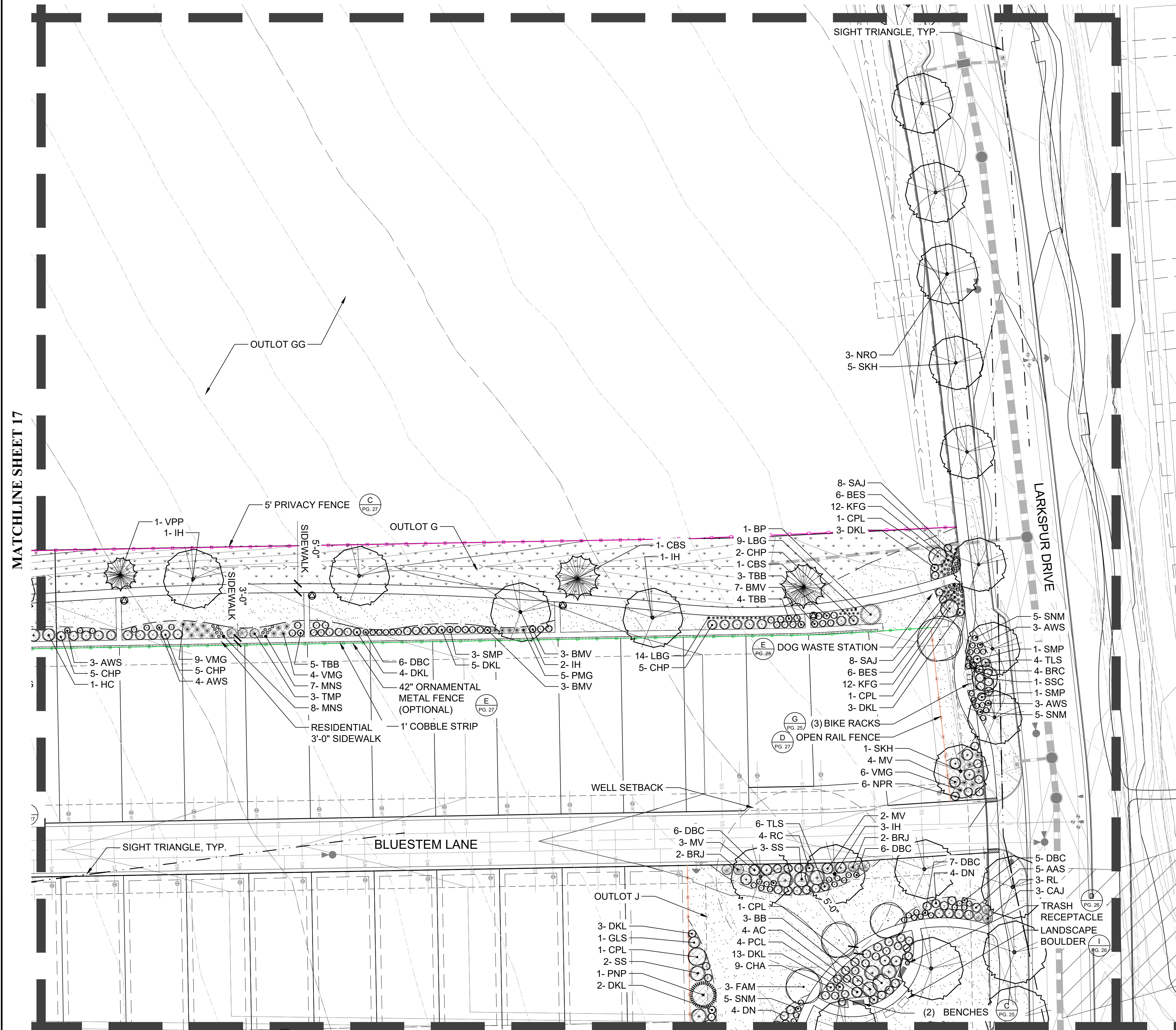
REVISION DESCRIPTION	DATE

# BLUE SKY PRAIRIE

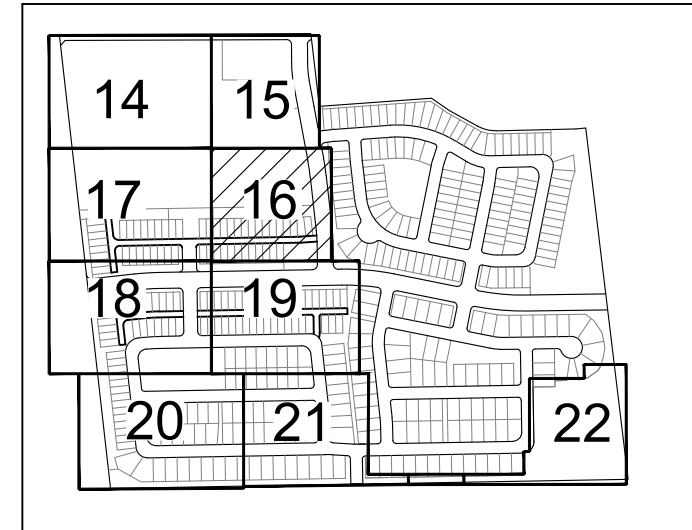
## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

MATCHLINE SHEET 15



MATCHLINE SHEET 19

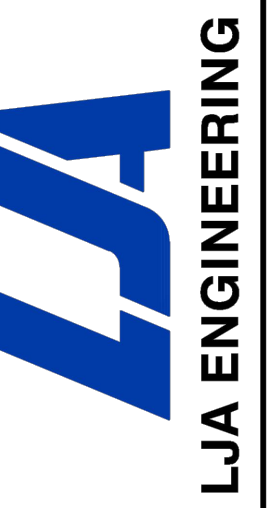
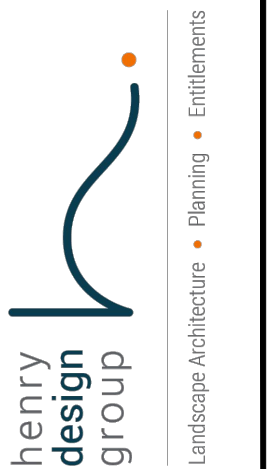
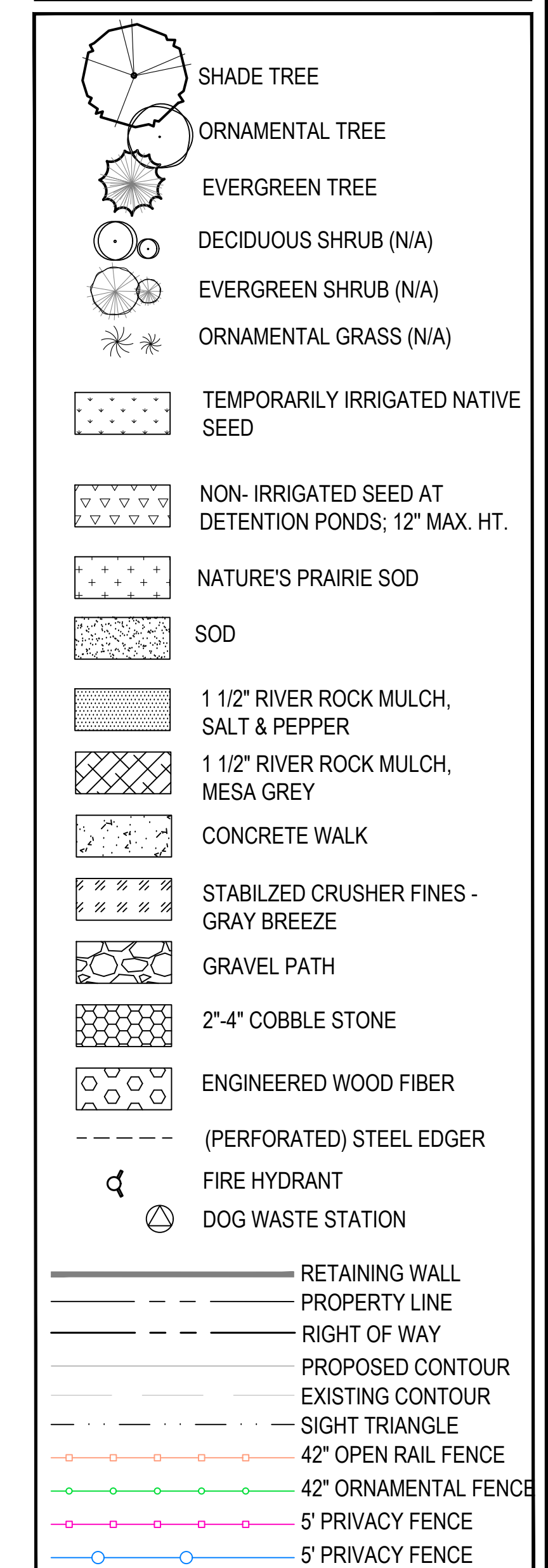


KEY MAP  
SCALE: NTS

NOTES:

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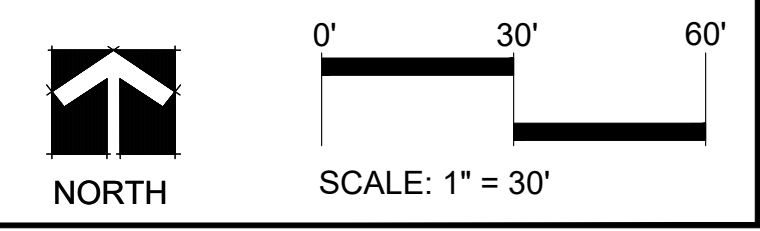
#### LEGEND



DATE	REVISION DESCRIPTION

BLUE SKY PRAIRIE  
 JOHNSTOWN, CO  
 FINAL DEVELOPMENT PLAN- FILING 1  
 PRELIMINARY LANDSCAPE PLAN

LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

SHEET  
**16 of 35**

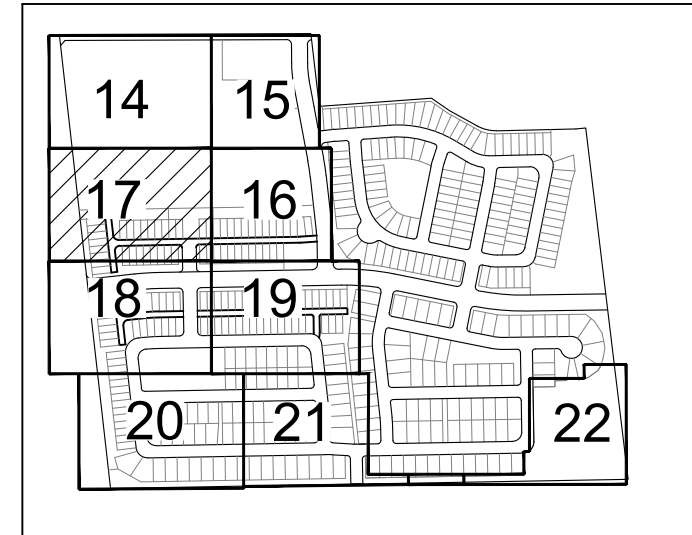


# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

MATCHLINE SHEET 14

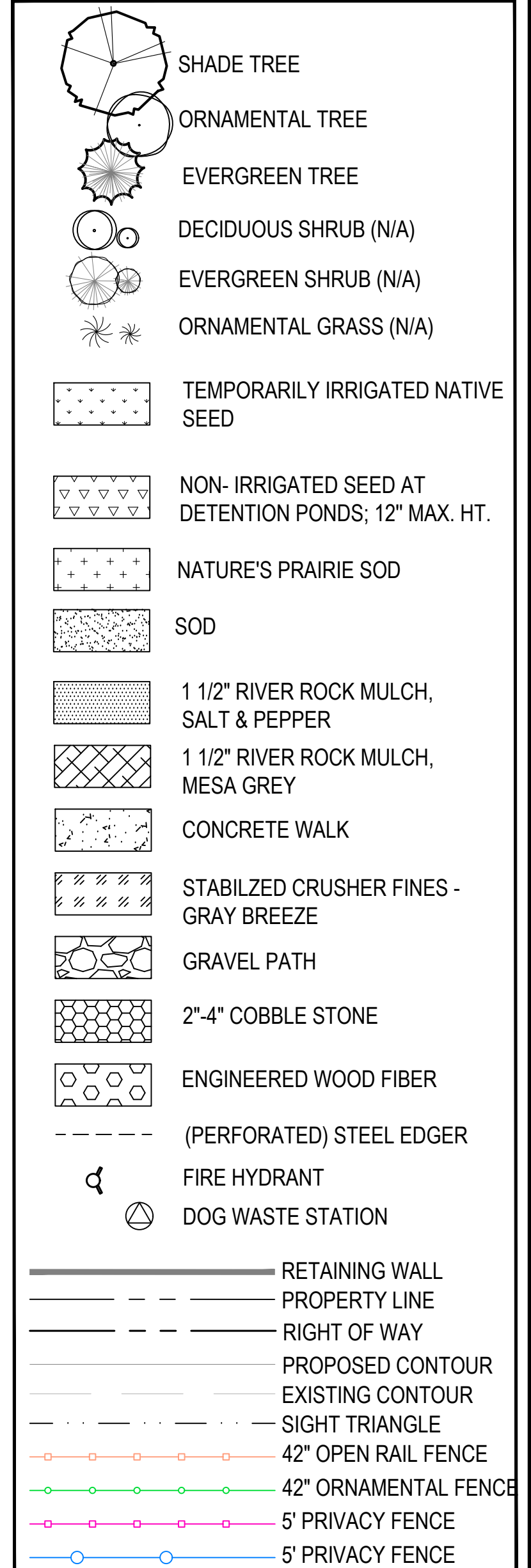


KEY MAP  
SCALE: NTS

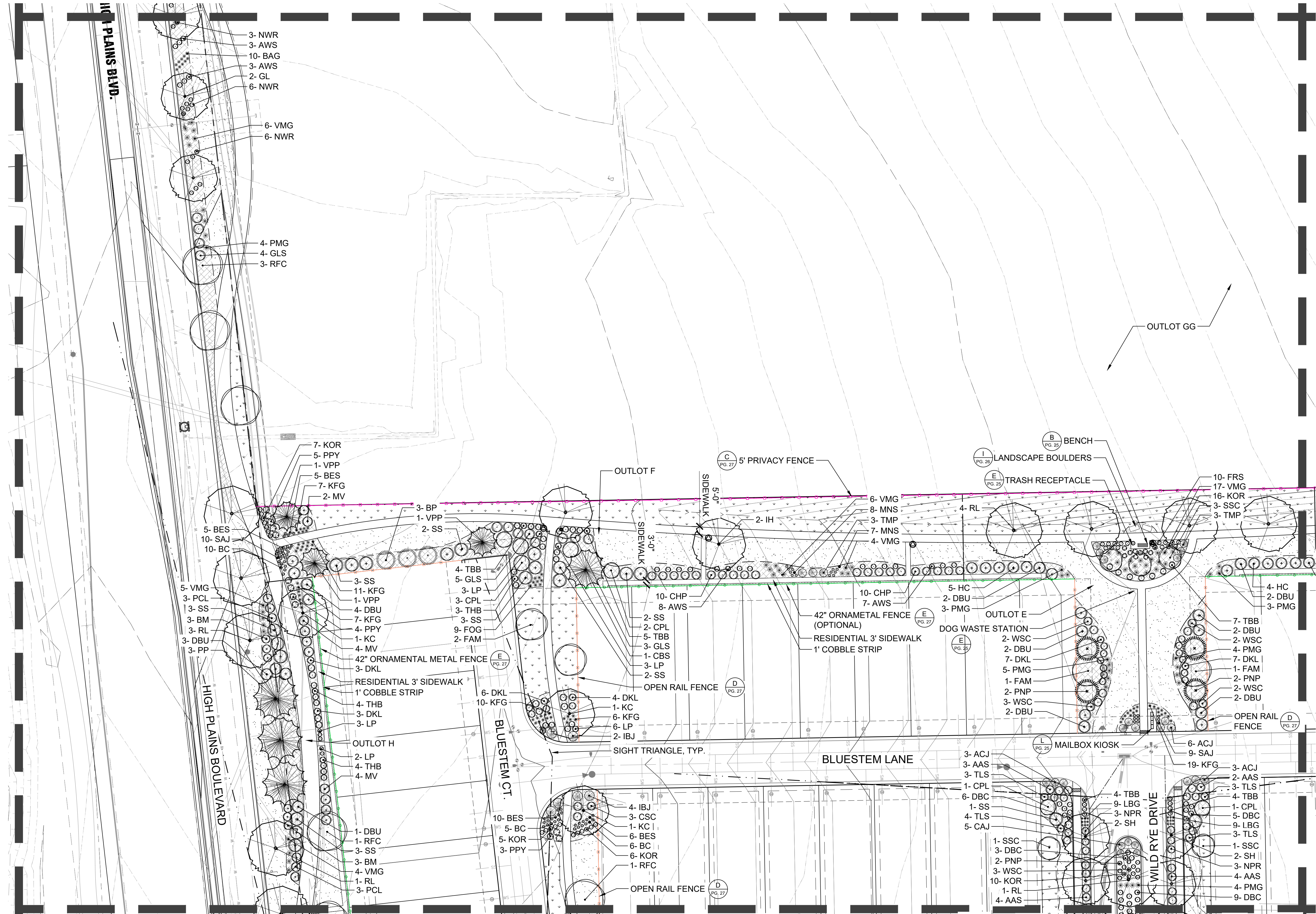
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#### LEGEND

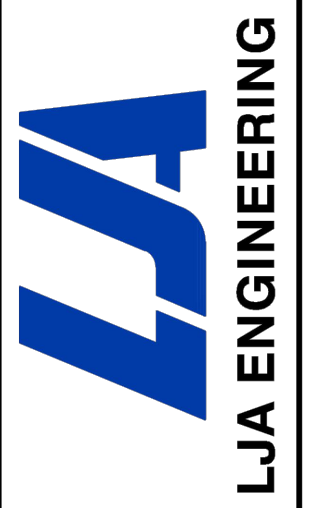
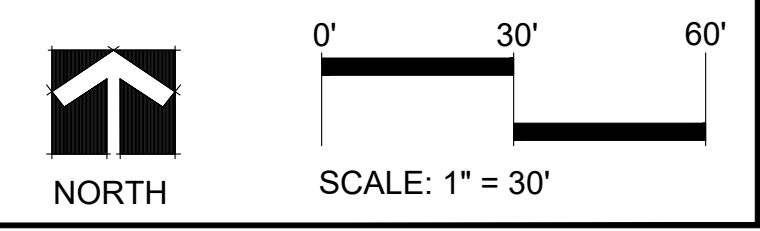


MATCHLINE SHEET 16



LANDSCAPE PLAN  
SCALE: 1" = 30'-0"

MATCHLINE SHEET 18



REVISION DESCRIPTION	DATE

BLUE SKY PRAIRIE  
JOHNSTOWN, CO  
FINAL DEVELOPMENT PLAN- FILING 1  
PRELIMINARY LANDSCAPE PLAN

DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

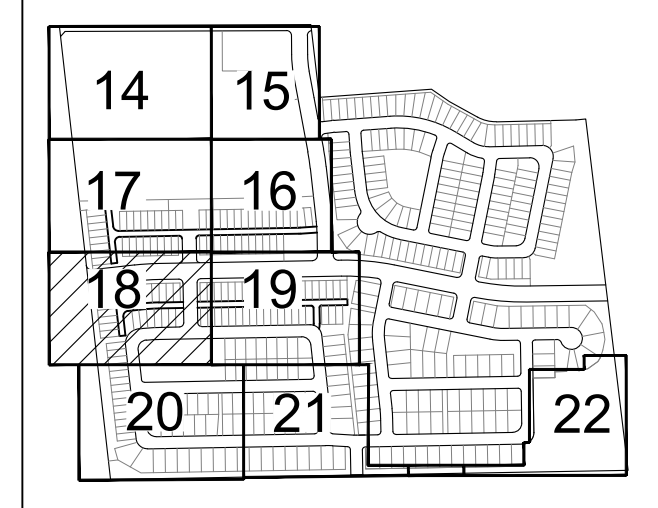
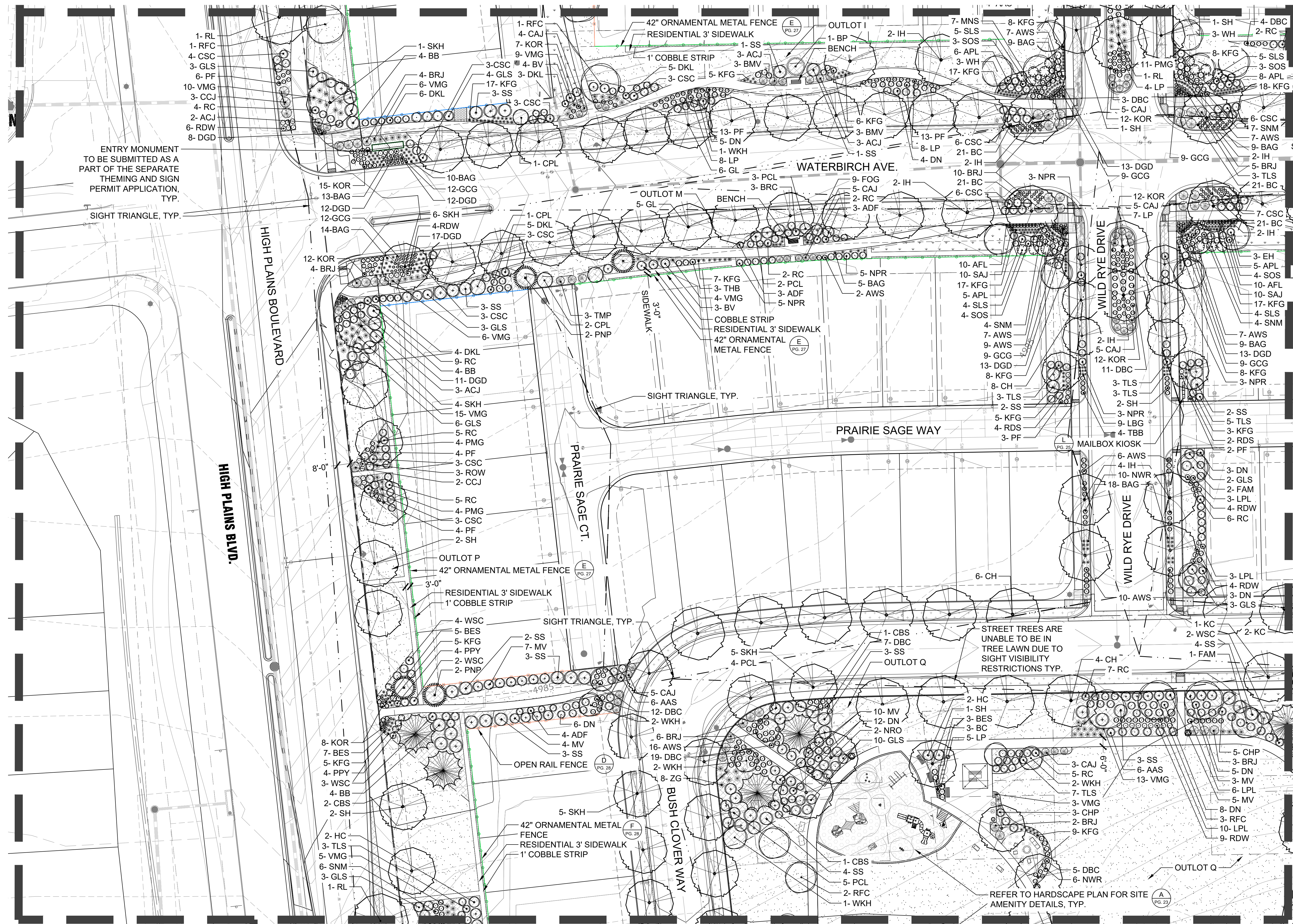
SHEET  
17 of 35

# BLUE SKY PRAIRIE

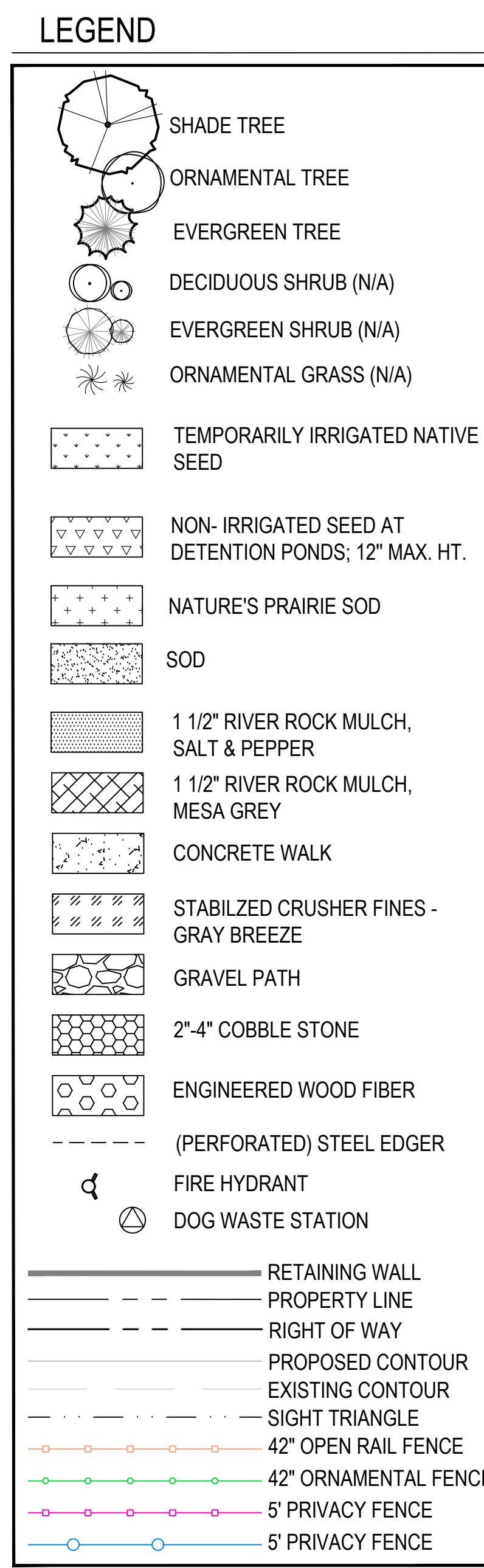
## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

MATCHLINE SHEET 17



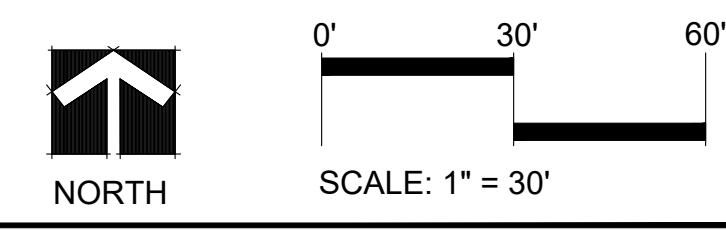
- SCALE: NTS
- NOTES:
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MATCHLINE SHEET 19

MATCHLINE SHEET 20

LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



henry design group  
Landscape Architecture • Planning • Entitlements

COLA  
Colorado Land Acquisition

LJA ENGINEERING

DATE	REVISION DESCRIPTION

DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

BLUE SKY PRAIRIE  
JOHNSTOWN, CO

FINAL DEVELOPMENT PLAN- FILING 1  
PRELIMINARY LANDSCAPE PLAN

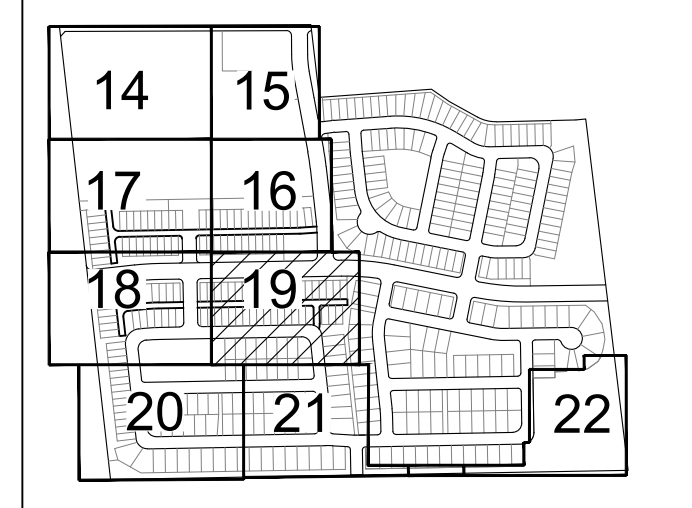
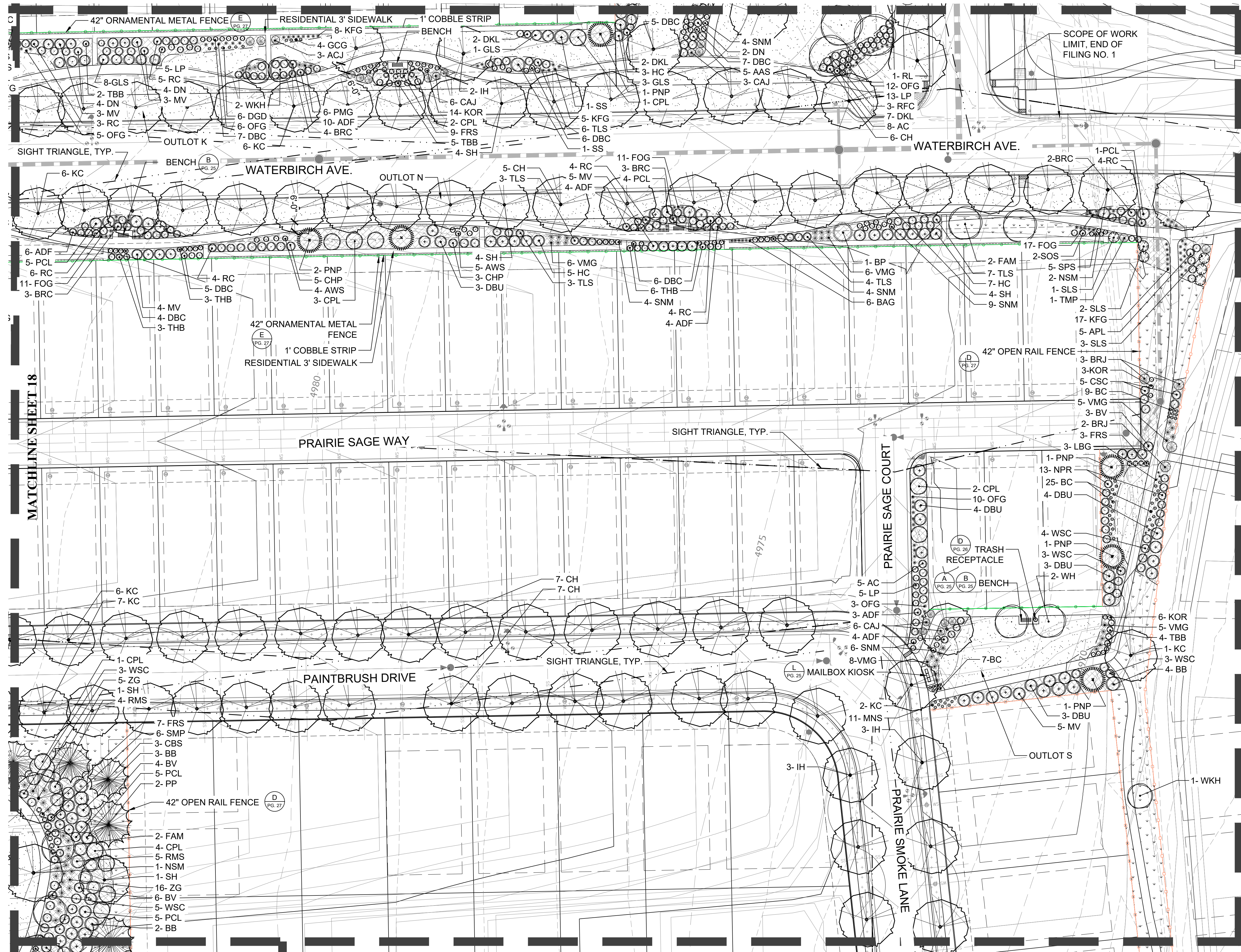
SHEET  
18 of 35

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

MATCHLINE SHEET 16

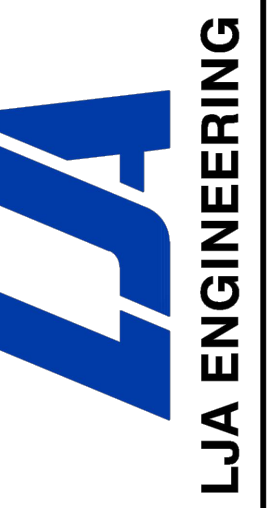
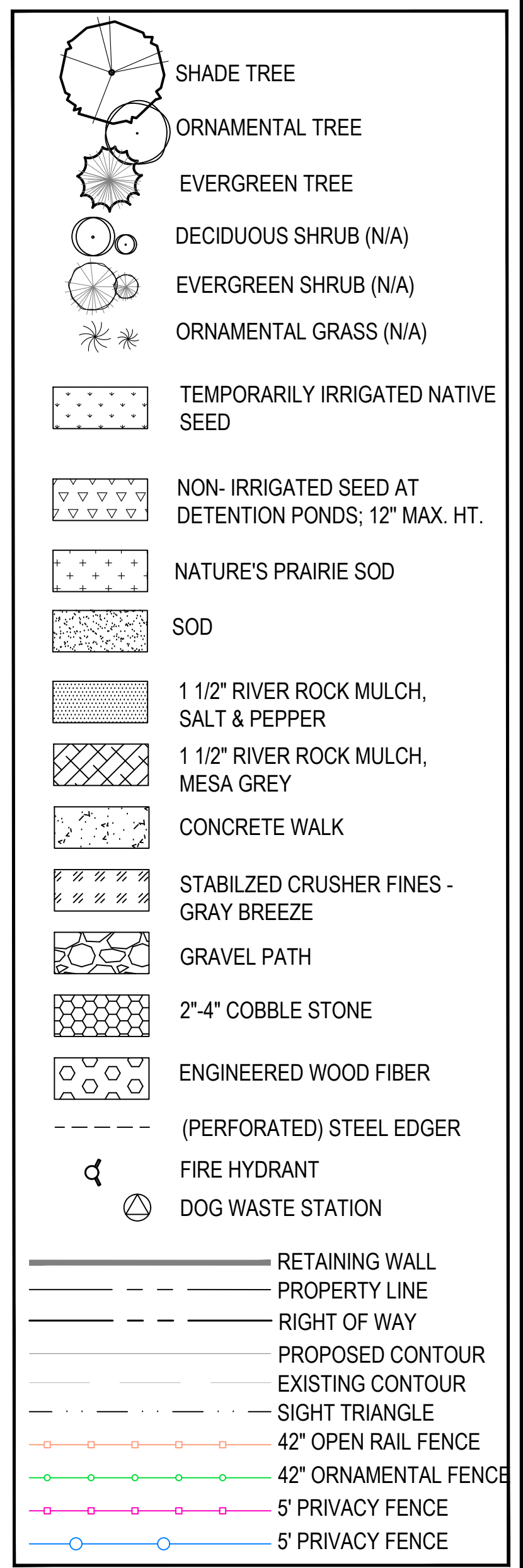


KEY MAP  
SCALE: NTS

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#### LEGEND

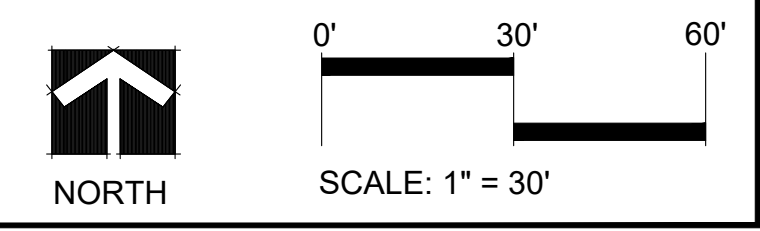


REVISION DESCRIPTION	DATE

BLUE SKY PRAIRIE  
 JOHNSTOWN, CO  
 FINAL DEVELOPMENT PLAN- FILING 1  
 PRELIMINARY LANDSCAPE PLAN

DESIGNED BY: MK  
 DRAWN BY: AKH  
 CHECKED BY: KZH

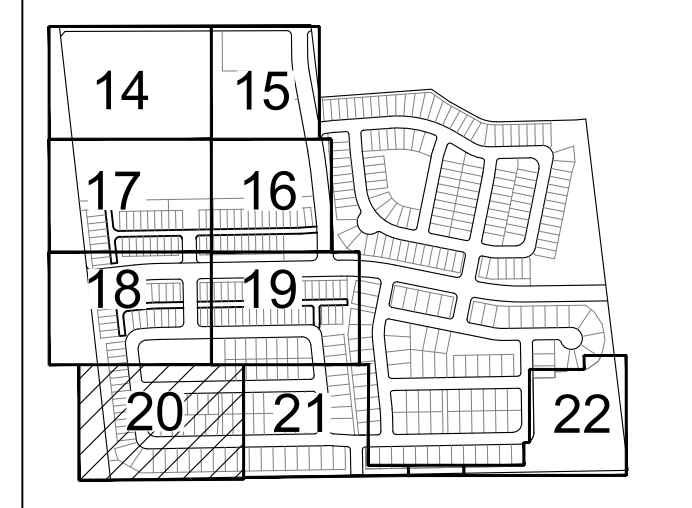
LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



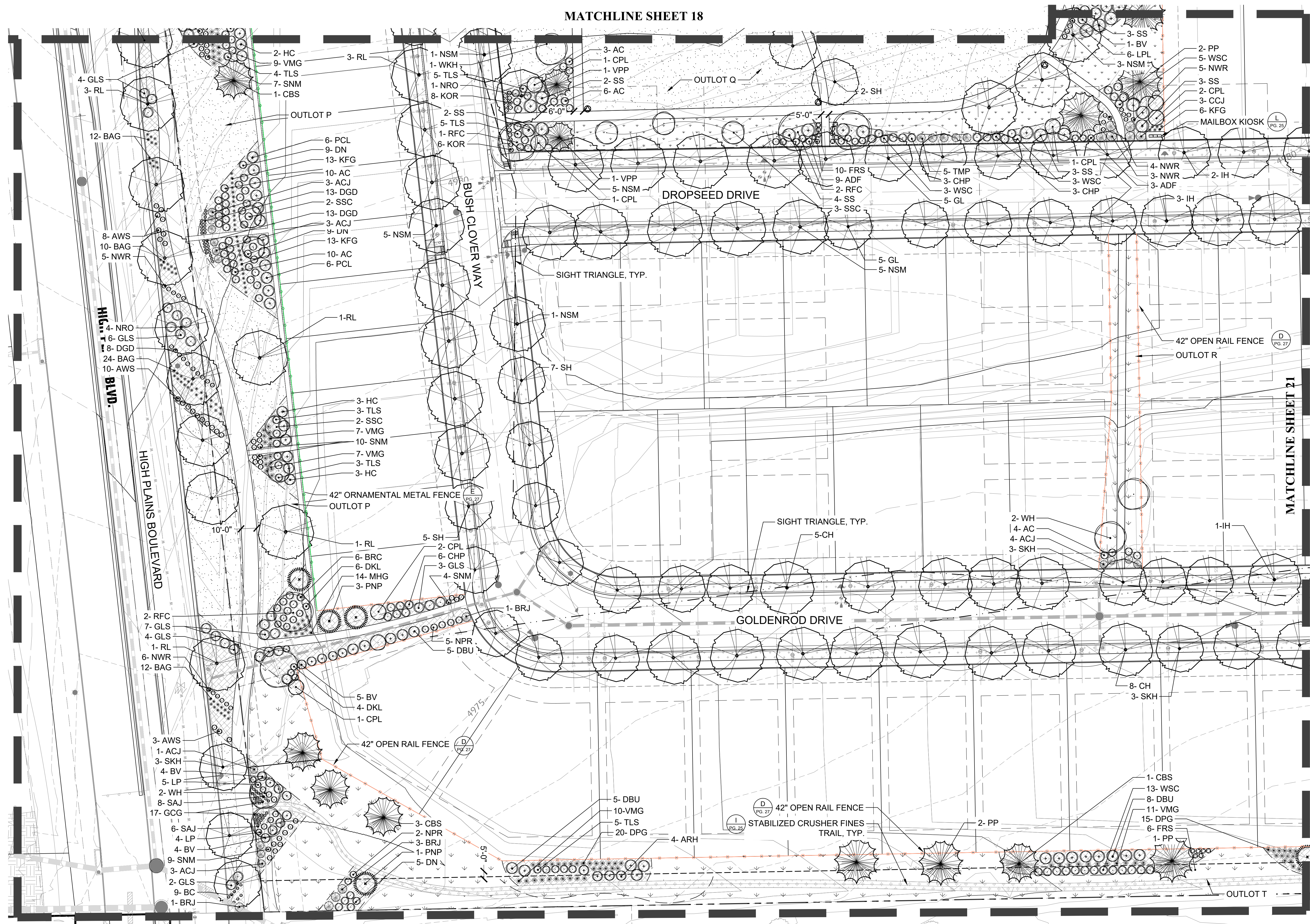
# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



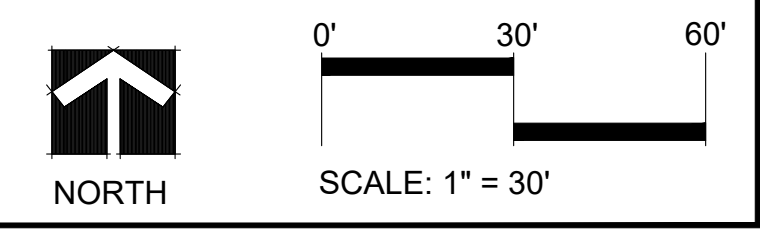
MATCHLINE SHEET 18



- KEY MAP**  
SCALE: NTS
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  - NO TREES OR SHRUBS SHALL BE PLANTED OVER OR WITHIN 5' OF ANY WET UTILITY LINES.
  - NO TREES OR SHRUBS MAY BE LOCATED WITHIN THE 100-YR EVENT FLOW LIMITS OF ANY DRAINAGE SWALE OR CHANNEL, NOR WITHIN THE 100-YR WATER SURFACE LIMITS OF ANY STORM WATER DETENTION FACILITIES.

- LEGEND**
- SHADE TREE
  - ORNAMENTAL TREE
  - EVERGREEN TREE
  - DECIDUOUS SHRUB (N/A)
  - EVERGREEN SHRUB (N/A)
  - ORNAMENTAL GRASS (N/A)
  - TEMPORARILY IRRIGATED NATIVE SEED
  - NON-IRRIGATED SEED AT DETENTION PONDS; 12" MAX. HT.
  - NATURE'S PRAIRIE SOD
  - SOD
  - 1 1/2" RIVER ROCK MULCH, SALT & PEPPER
  - 1 1/2" RIVER ROCK MULCH, MESA GREY
  - CONCRETE WALK
  - STABILIZED CRUSHER FINES - GRAY BREEZE
  - GRAVEL PATH
  - ENGINEERED WOOD FIBER
  - (PERFORATED) STEEL EDGER
  - FIRE HYDRANT
  - DOG WASTE STATION
  - RETAINING WALL
  - PROPERTY LINE
  - RIGHT OF WAY
  - PROPOSED CONTOUR
  - EXISTING CONTOUR
  - SIGHT TRIANGLE
  - 42" OPEN RAIL FENCE
  - 42" ORNAMENTAL METAL FENCE
  - 5' PRIVACY FENCE
  - 5' PRIVACY FENCE

LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



REVISION DESCRIPTION	DATE

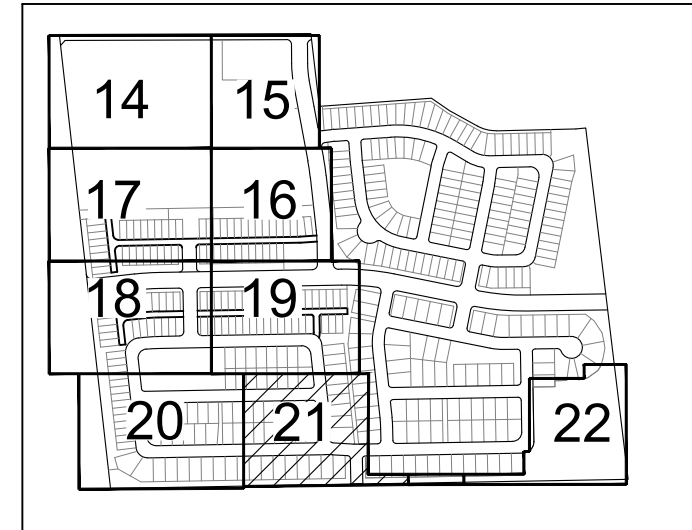
DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

SHEET  
**20 of 35**

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

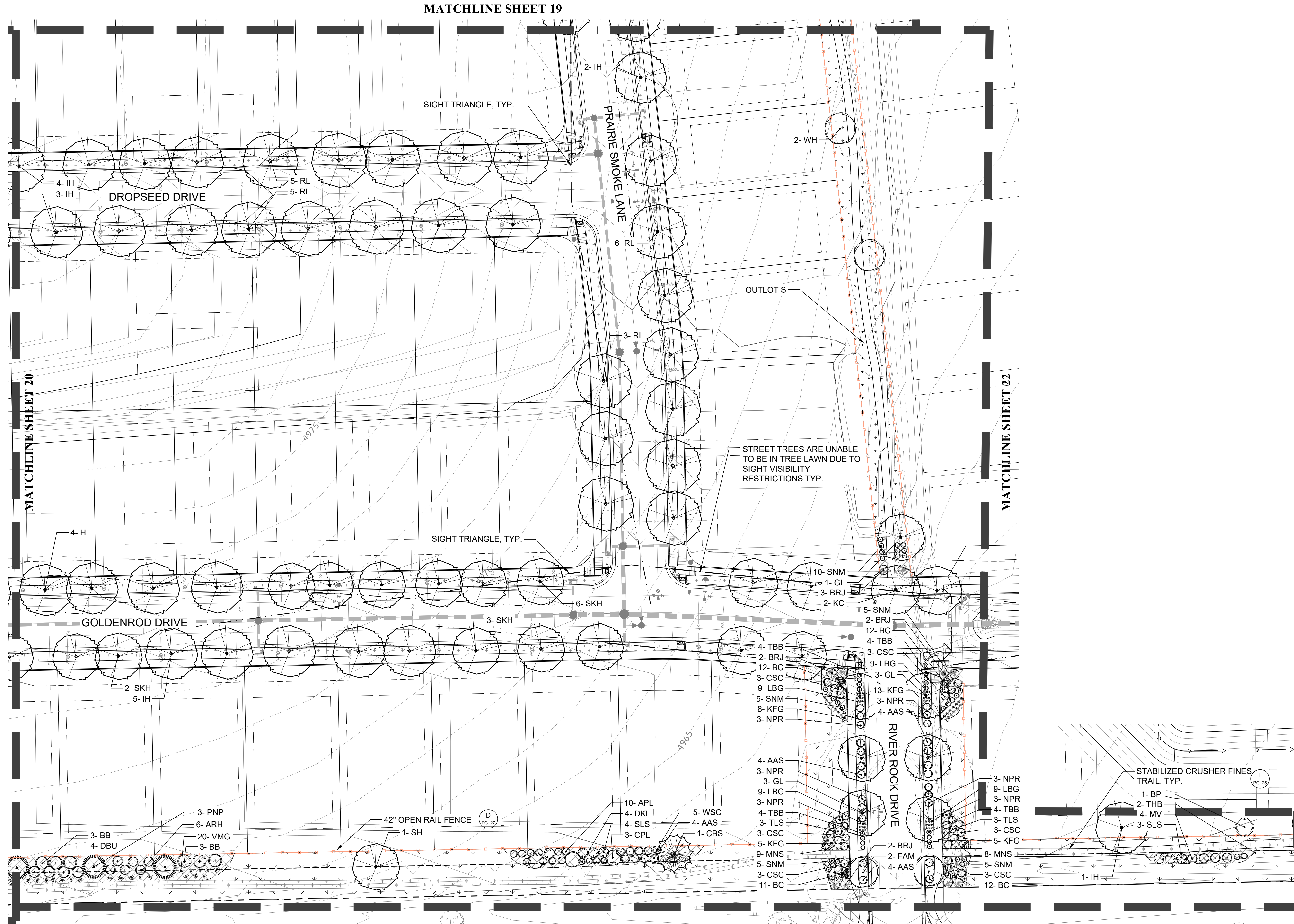


KEY MAP  
SCALE: NTS

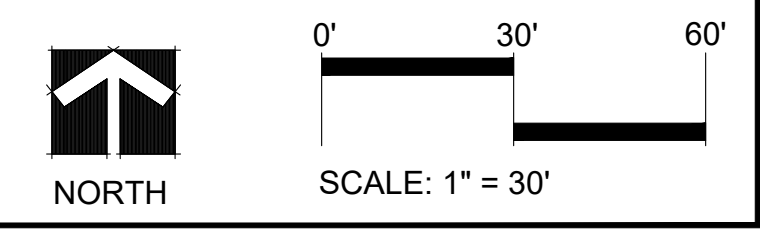
- NOTES:
- SIGHT DISTANCE TRIANGLE SHALL BE PROVIDED PER LCUIASS FIG. 7-16.
  - SIGHT TRIANGLE MUST FALL WITHIN PUBLIC ROW, OR A DEDICATED SIGHT TRIANGLE EASEMENT MUST BE PROVIDED TO THE TOWN (SHOWN ON PLAN, OR IF NOT THEN BY SEPARATE DOCUMENT).
  - EVERGREEN TREES SHALL NOT BE PLACED WITHIN SIGHT TRIANGLE. DECIDUOUS TREES MAY BE ALLOWED ON A CASE BY CASE BASIS WITHIN SIGHT TRIANGLE, BUT SHALL BE MAINTAINED SUCH THAT LOWEST CANOPY IS 7 FEET MINIMUM ABOVE ADJACENT GRADE.
  - NO SHRUBS AND/OR OTHER PLANTINGS THAT WILL (OR MAY) ATTAIN A HEIGHT GREATER THAN 24" SHALL BE PLACED WITHIN SIGHT TRIANGLE.
  - NO TREES OR SHRUBS SHALL BE PLANTED OVER OR WITHIN 5' OF ANY WET UTILITY LINES.
  - NO TREES OR SHRUBS MAY BE LOCATED WITHIN THE 100-YR EVENT FLOW LIMITS OF ANY DRAINAGE SWALE OR CHANNEL, NOR WITHIN THE 100-YR WATER SURFACE LIMITS OF ANY STORM WATER DETENTION FACILITIES.

#### LEGEND

- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB (N/A)
- EVERGREEN SHRUB (N/A)
- ORNAMENTAL GRASS (N/A)
- TEMPORARILY IRRIGATED NATIVE SEED
- NON-IRRIGATED SEED AT DETENTION PONDS; 12" MAX. HT.
- NATURE'S PRAIRIE SOD
- SOD
- 1 1/2" RIVER ROCK MULCH, SALT & PEPPER
- 1 1/2" RIVER ROCK MULCH, MESA GREY
- CONCRETE WALK
- STABILIZED CRUSHER FINES - GRAY BREEZE
- GRAVEL PATH
- 2"-4" COBBLE STONE
- ENGINEERED WOOD FIBER
- (PERFORATED) STEEL EDGER
- FIRE HYDRANT
- DOG WASTE STATION
- RETAINING WALL
- PROPERTY LINE
- RIGHT OF WAY
- PROPOSED CONTOUR
- EXISTING CONTOUR
- SIGHT TRIANGLE
- 42" OPEN RAIL FENCE
- 42" ORNAMENTAL FENCE
- 5" PRIVACY FENCE
- 5" PRIVACY FENCE



LANDSCAPE PLAN  
SCALE: 1" = 30'-0"

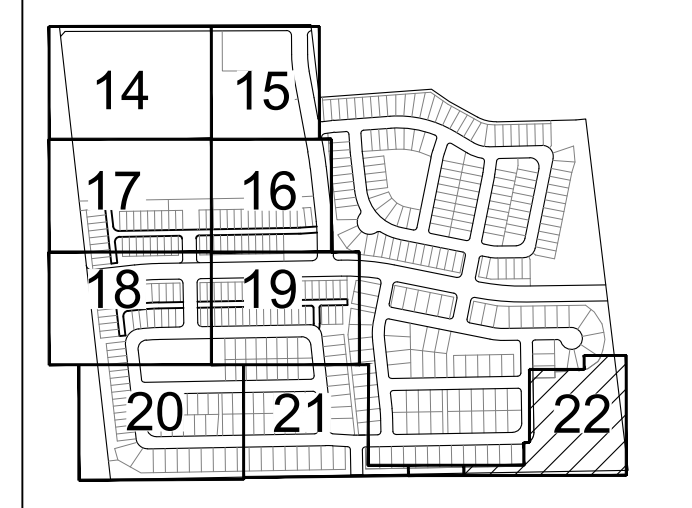


REVISION DESCRIPTION	DATE

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



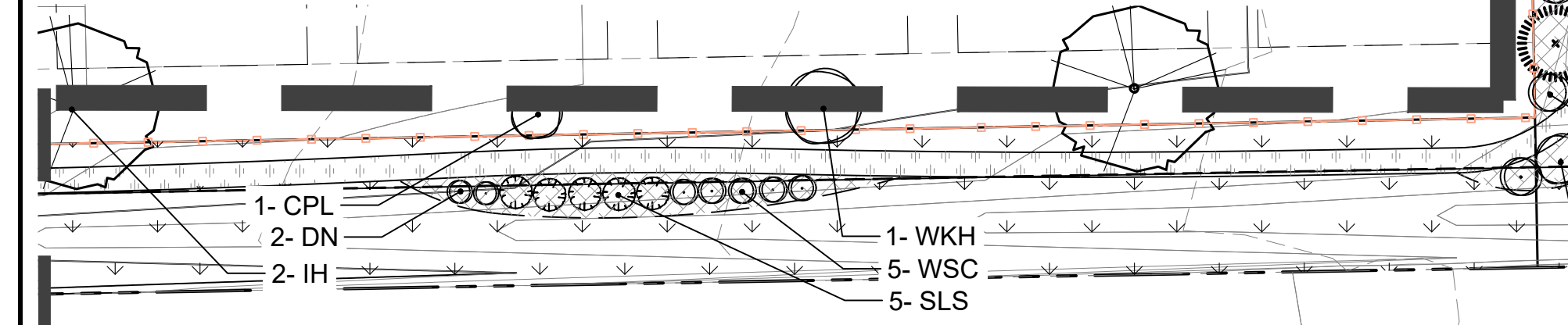
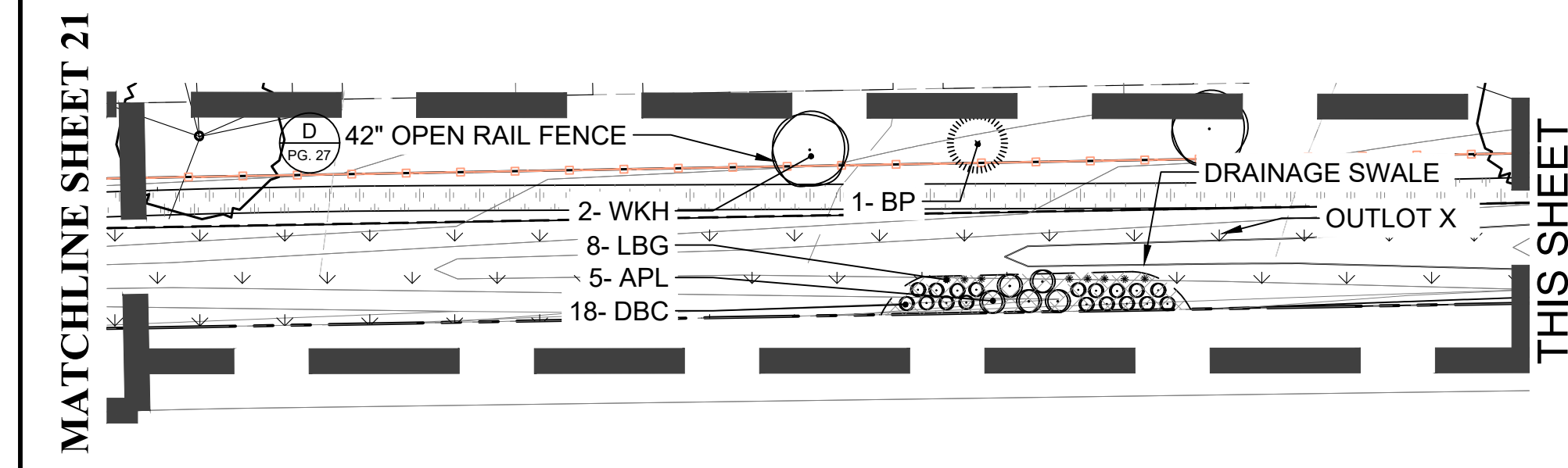
KEY MAP  
SCALE: NTS

**NOTES:**

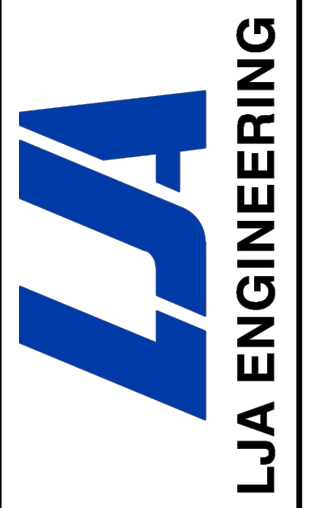
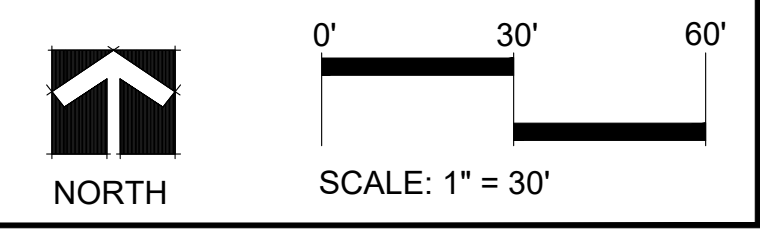
1. SIGHT DISTANCE TRIANGLE SHALL BE PROVIDED PER LCUISS FIG. 7-16.
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**LEGEND**

	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	DECIDUOUS SHRUB (N/A)
	EVERGREEN SHRUB (N/A)
	ORNAMENTAL GRASS (N/A)
	TEMPORARILY IRRIGATED NATIVE SEED
	NON-IRRIGATED SEED AT DETENTION PONDS; 12" MAX. HT.
	NATURE'S PRAIRIE SOD
	SOD
	1 1/2" RIVER ROCK MULCH, SALT & PEPPER
	1 1/2" RIVER ROCK MULCH, MESA GREY
	CONCRETE WALK
	STABILIZED CRUSHER FINES - GRAY BREEZE
	GRAVEL PATH
	2"-4" COBBLE STONE
	ENGINEERED WOOD FIBER
	(PERFORATED) STEEL EDGER
	FIRE HYDRANT
	DOG WASTE STATION
	RETAINING WALL
	PROPERTY LINE
	RIGHT OF WAY
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SIGHT TRIANGLE
	42" OPEN RAIL FENCE
	42" ORNAMENTAL FENCE
	5" PRIVACY FENCE
	5" PRIVACY FENCE



LANDSCAPE PLAN  
SCALE: 1" = 30'-0"



REVISION DESCRIPTION	DATE

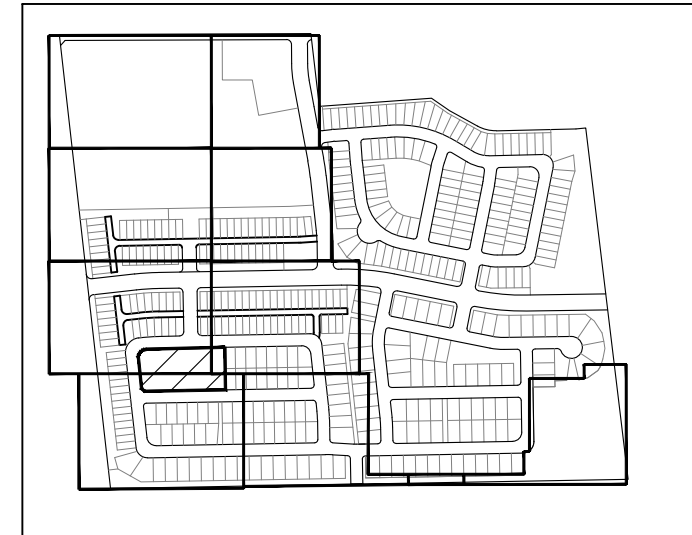
BLUE SKY PRAIRIE  
 JOHNSTOWN, CO  
 FINAL DEVELOPMENT PLAN- FILING 1  
 PRELIMINARY LANDSCAPE PLAN

DESIGNED BY: MK  
 DRAWN BY: AKH  
 CHECKED BY: KZH

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

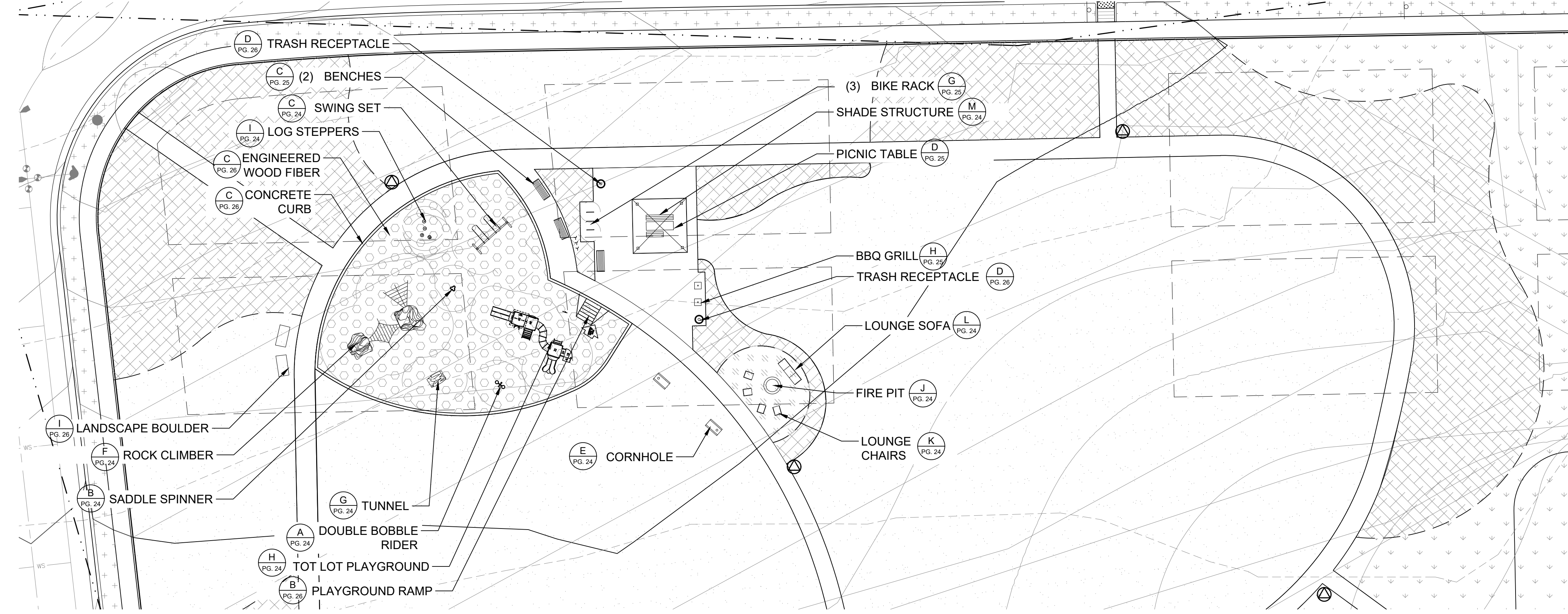
### TOWN OF JOHNSTOWN, COLORADO



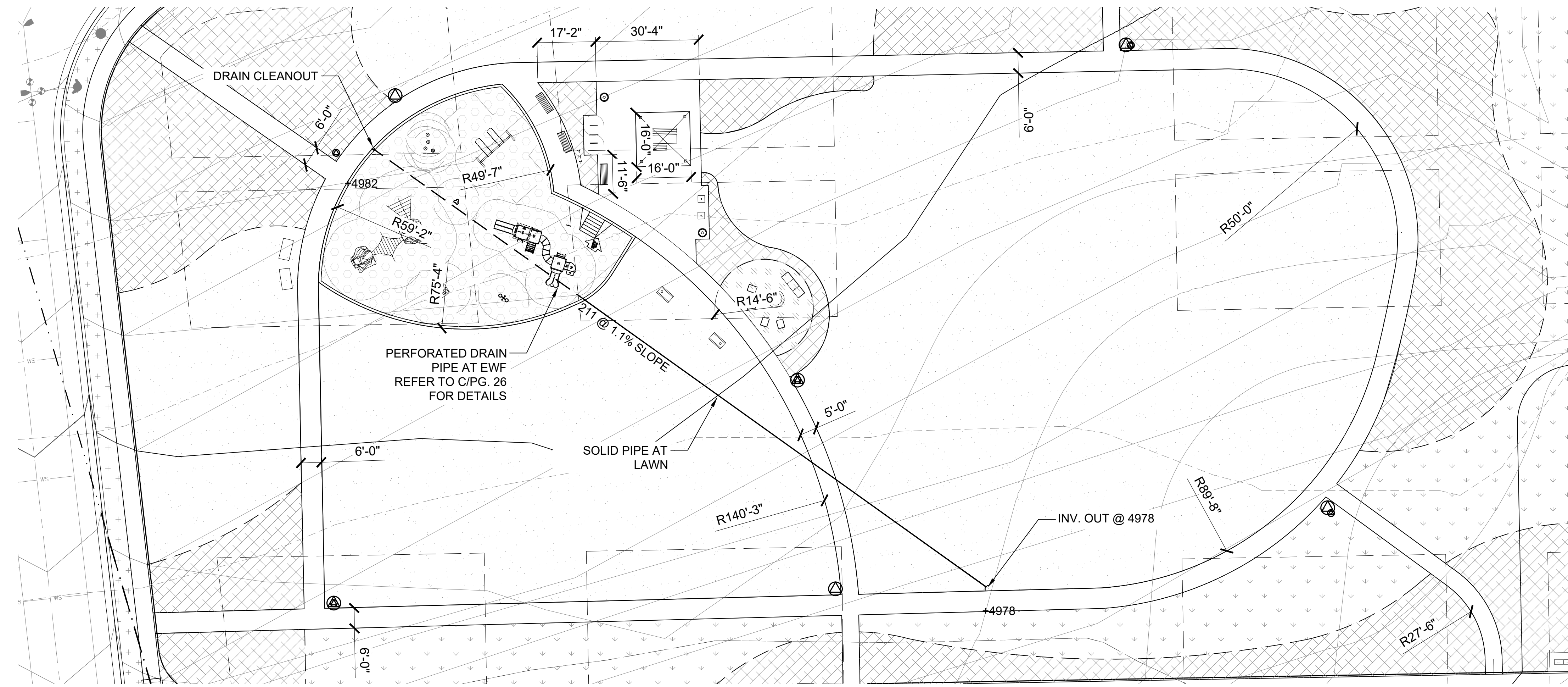
KEY MAP  
SCALE: NTS

#### LEGEND

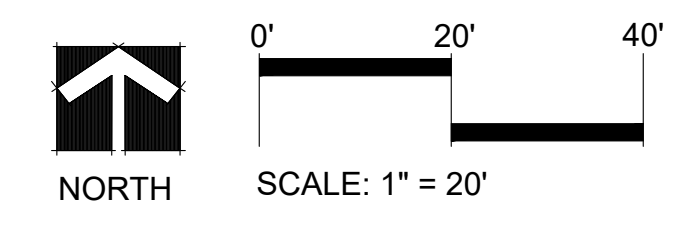
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB (N/A)
- EVERGREEN SHRUB (N/A)
- ORNAMENTAL GRASS (N/A)
- TEMPORARILY IRRIGATED NATIVE SEED
- NON-IRRIGATED SEED AT DETENTION PONDS; 12" MAX. HT.
- NATURE'S PRAIRIE SOD
- SOD
- 1 1/2" RIVER ROCK MULCH, SALT & PEPPER
- 1 1/2" RIVER ROCK MULCH, MESA GREY
- CONCRETE WALK
- STABILIZED CRUSHER FINES - GRAY BREEZE
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- 2"-4" COBBLE STONE
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- (PERFORATED) STEEL EDGER
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- PROPERTY LINE
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- EXISTING CONTOUR
- SIGHT TRIANGLE
- 42" OPEN RAIL FENCE
- 42" ORNAMENTAL FENCE
- 5" PRIVACY FENCE
- 5" PRIVACY FENCE



**A** HARDSCAPE PARK PLAN- OUTLOT Q  
SCALE: 1" = 20'-0"



**A** LAYOUT AND DRAINAGE PARK PLAN- OUTLOT Q  
SCALE: 1" = 20'-0"



REVISION DESCRIPTION	DATE

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO



**A** **DOUBLE BOBBLE RIDER**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: DOUBLE BOBBLE RIDER; MODEL # 164075



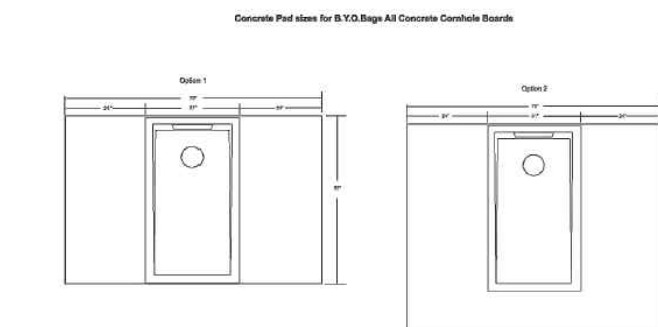
**B** **SADDLE SPINNER**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: SADDLE SPINNER; MODEL # 1152179



**C** **SWING SET**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: SINGLE POST SWING FRAME; MODEL # 177332



**D** **BOBBLE SPRING RIDER**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: BOBBLE RIDER, SINGLE; MODEL # 164074



**E** **CORNHOLE**  
 MANUFACTURER: DOTY & SONS CONCRETE

**A.C.A. GUIDELINES FOR SPACING OF UNITS**  
 Standard spacing for units will have 2' from the rear edge of the unit to 2' from the front of the playing level.

**RECOMMENDED INSTALLATION INSTRUCTIONS**  
 1. Take the swing and two slides, the rear end of the slide to be at the station. The swing will be used as a guideline along the longer side of the unit.  
 2. In the location desired drive one of the slides to the ground and smooth out the slide to 1/2 inch height. Drive the second slide into the ground making sure to keep the slide tight.  
 3. Take the guidelines to 20' high (minimum) position the units such that the edge of the unit is parallel to the guidelines. Drive the swing and the spacing in such that it conforms to the American Concrete Association guidelines outlined above.  
 4. Mark around the edge of the units with marking paint providing the unit lines.  
 5. Move the units, using the square corners 2" of space in the marked area and level off the dirt.  
 6. Move the units close to the dig out location. Remove 1/2" units from the sides of the unit, but the edges around the unit and level off the dirt.  
 7. Lift and place the unit in the dig out location.

**Doty & Sons Concrete Products, Inc.**  
 1275 East Main Street, Summit, IL 60178  
 Tel: 815-251-2000 Fax: 815-251-2002  
 Web Site: www.dotysons.com



**F** **ROCK CLIMBER**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: ADVENTURESCAPES DESIGN 5; MODEL # 174454; COLORS: 'NATURE INSPIRED PRODUCT LINE'; BLACK CLIMBING CABLES



**G** **TUNNEL**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: LOG CRAWL TUNNEL FRAME; MODEL # 173594; COLORS: 'NATURE INSPIRED PRODUCT LINE'



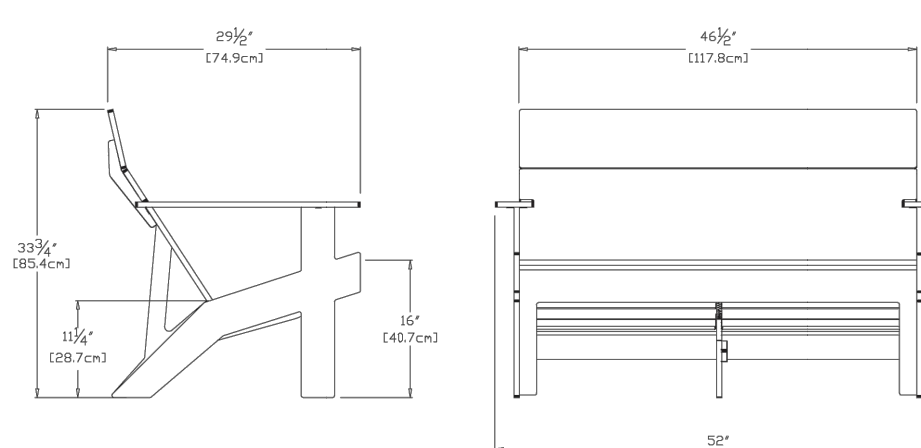
**H** **TOT LOT PLAYGROUND**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: HIDDEN VALLEY PARK DESIGN 7142



**I** **LOG STEPPERS**  
 MANUFACTURER: LANDSCAPE STRUCTURES; PRODUCT: LOG STEPPERS; MODEL # 185861; TYPE: (2) 8", (1) 18", (1) 28"



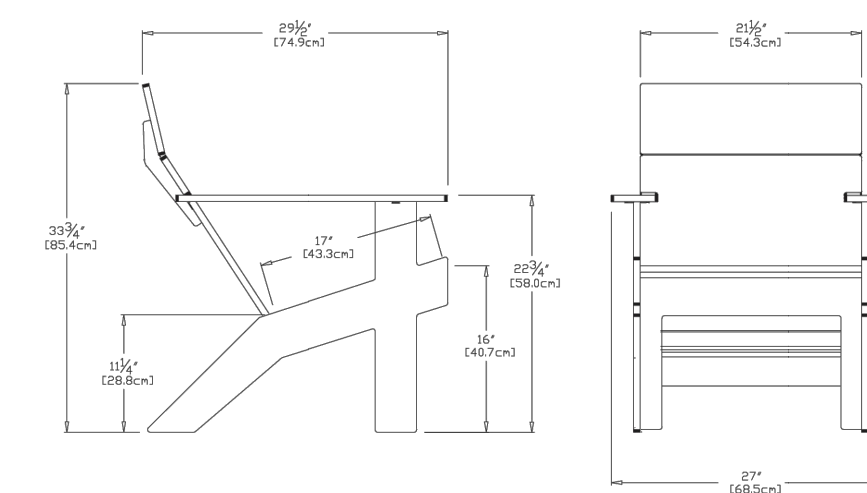
**J** **FIRE PIT**  
 MANUFACTURER: THE OUTDOOR PLUS; PRODUCT: TOP FIRES BY THE OUTDOOR PLUS OPT-UNYXX60 24-INCH TALL UNITY FIRE PIT, 60-INCHES. COLOR: GREY POWDER COAT. PRODUCT TYPE AS AN EXAMPLE ONLY.



**collection:** lollygagger  
**material:** 100% recycled HDPE  
**dimensions:** width: 62" (152.0cm)  
 depth: 29.5" (74.9cm)  
 height: 33.75" (85.4cm)  
**weight:** 79 lbs (35.8kg)  
**shipping dimensions:** 24" x 4" x 48"  
**shipping weight:** 88 lbs (39.9kg)

**loll designs.com**

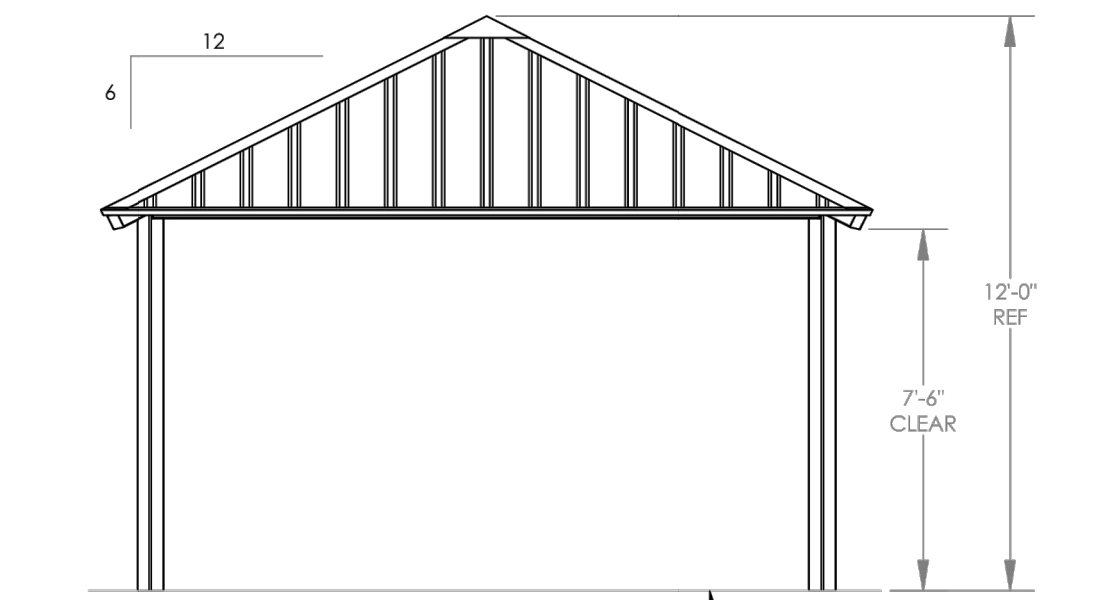
**K** **LOUNGE SOFA**  
 SCALE: 1/2"=1'-0"  
 MANUFACTURER: LOLL DESIGNS; PRODUCT: LOLLYGAGGER SOFA; COLOR: CHARCOAL GREY



**collection:** lollygagger  
**material:** 100% recycled HDPE  
**dimensions:** width: 27" (68.5cm)  
 depth: 29.5" (74.9cm)  
 height: 33.75" (85.4cm)  
**weight:** 42 lbs (19.1kg)  
**shipping dimensions:** 30" x 5" x 24"  
**shipping weight:** 45 lbs (20.4kg)

**loll designs.com**

**L** **LOUNGE CHAIR**  
 SCALE: 1/2"=1'-0"  
 MANUFACTURER: LOLL DESIGNS; PRODUCT: LOLLYGAGGER LOUNGE CHAIR; COLOR: CHARCOAL GREY



**M** **SHADE STRUCTURE**  
 PRODUCT: POLIGON. MODEL: SQUARE 16 X 16; INSTALL PER MANUFACTURER'S RECOMMENDATION AND DETAILS.

DATE	REVISION DESCRIPTION



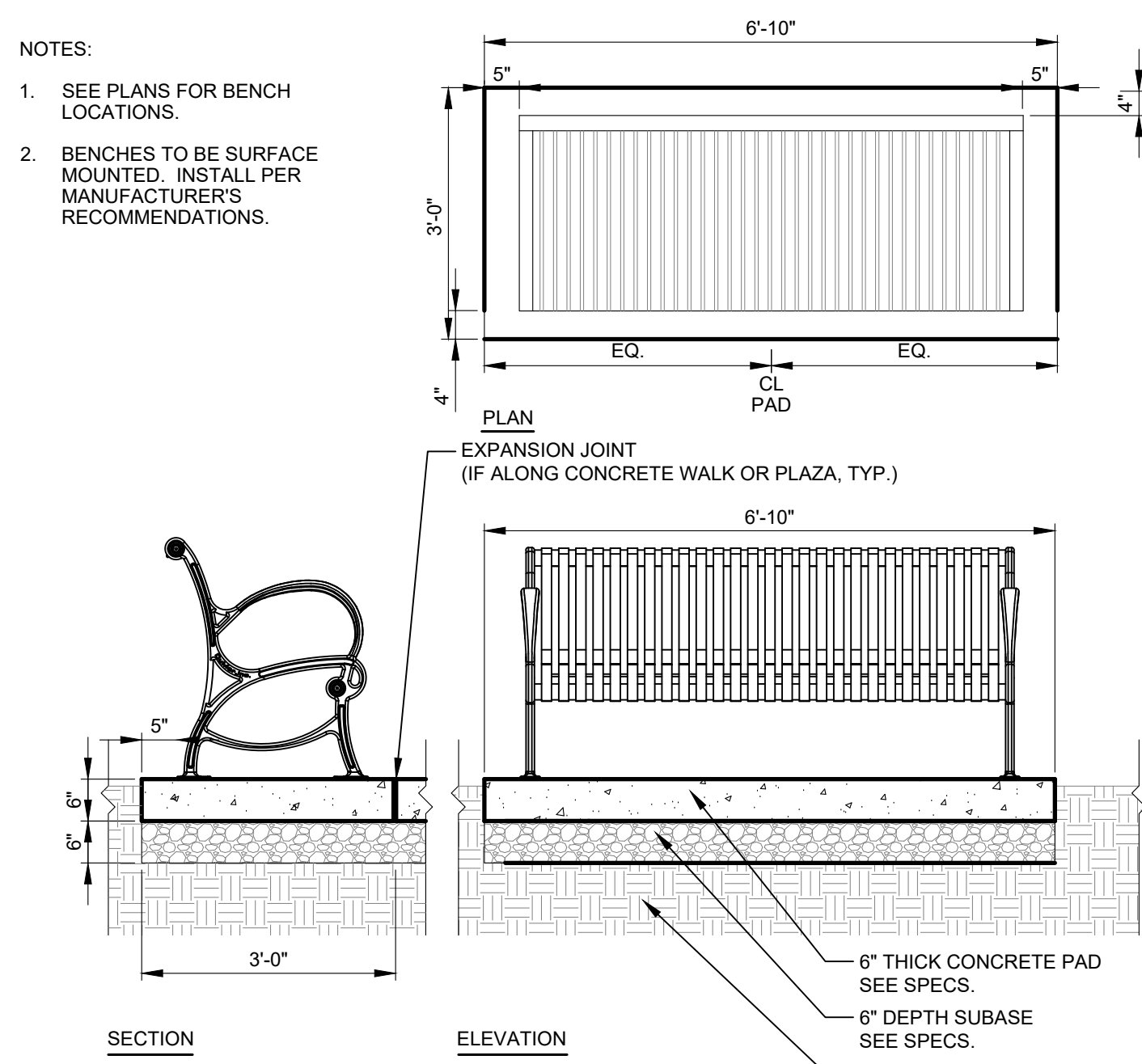
# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

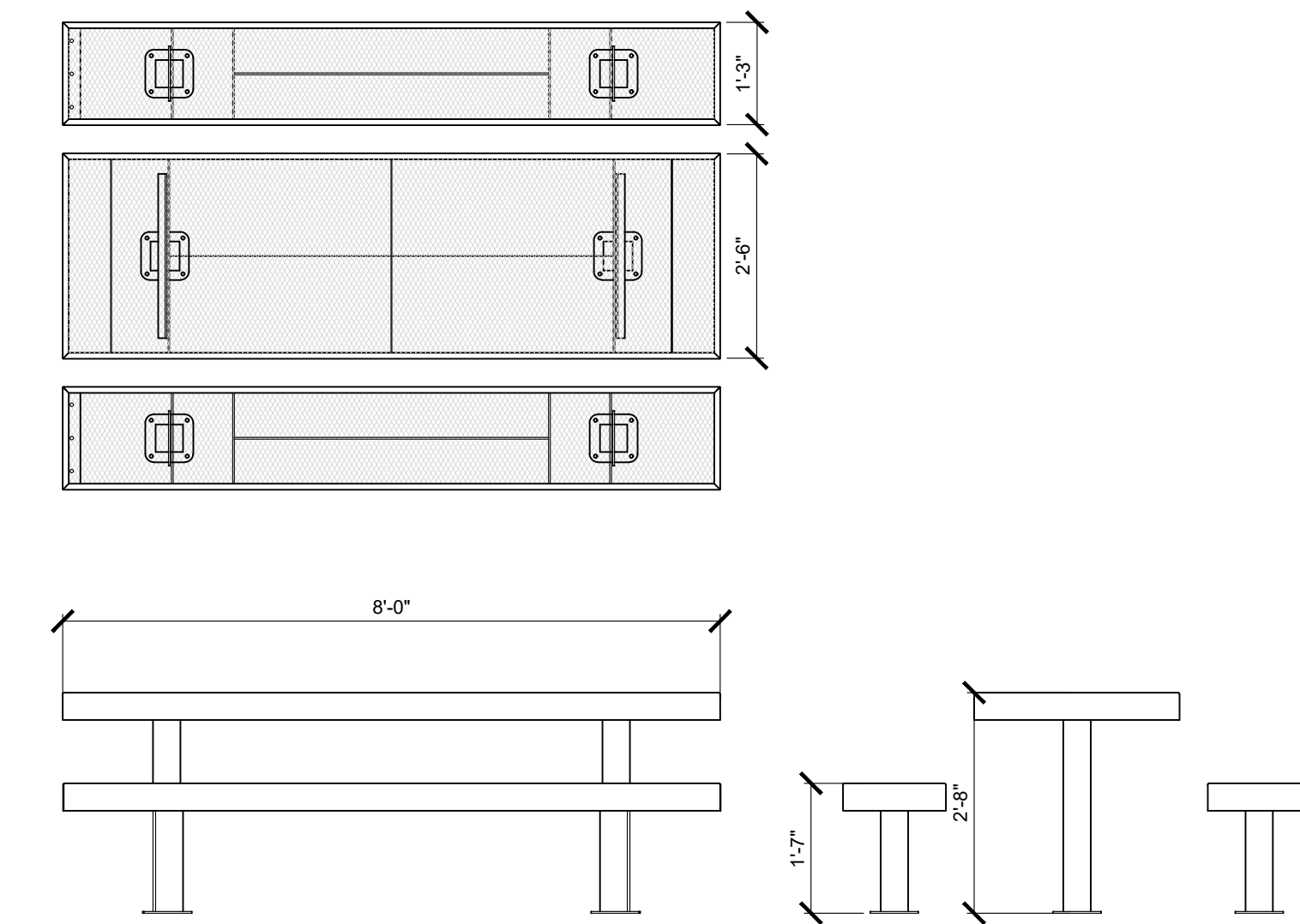
### TOWN OF JOHNSTOWN, COLORADO

**NOTES:**

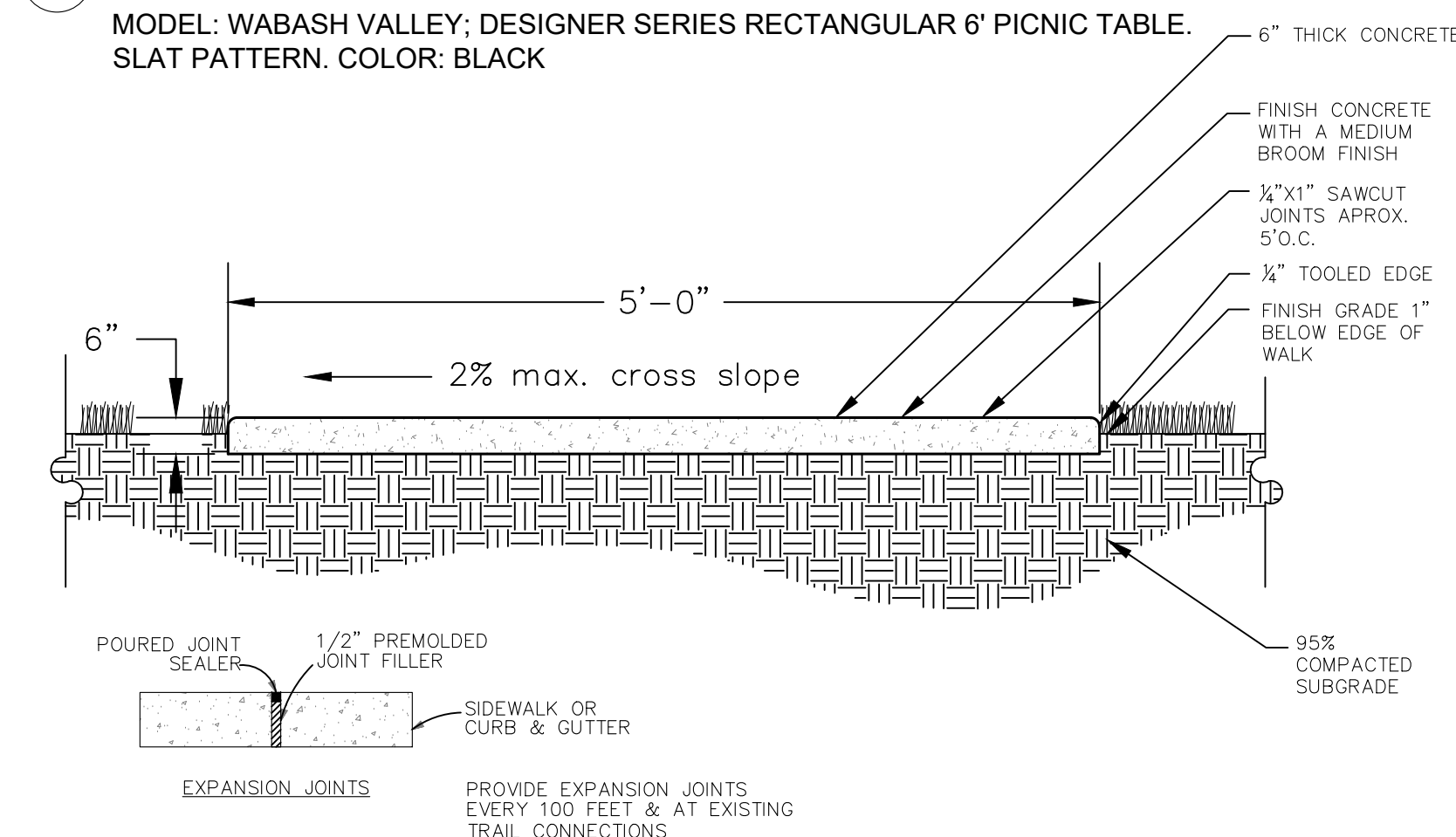
- SEE PLANS FOR BENCH LOCATIONS.
- BENCHES TO BE SURFACE MOUNTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



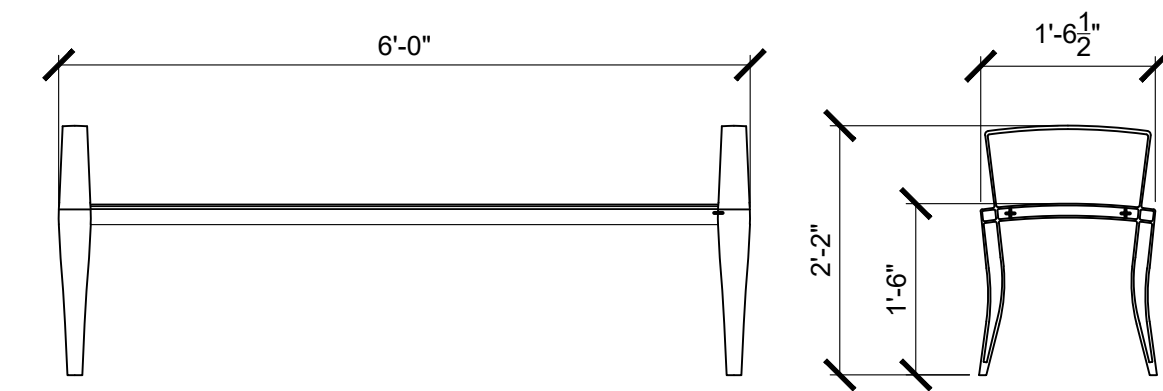
**A BENCH CONCRETE PAD**  
SCALE: 1/2"=1'-0"



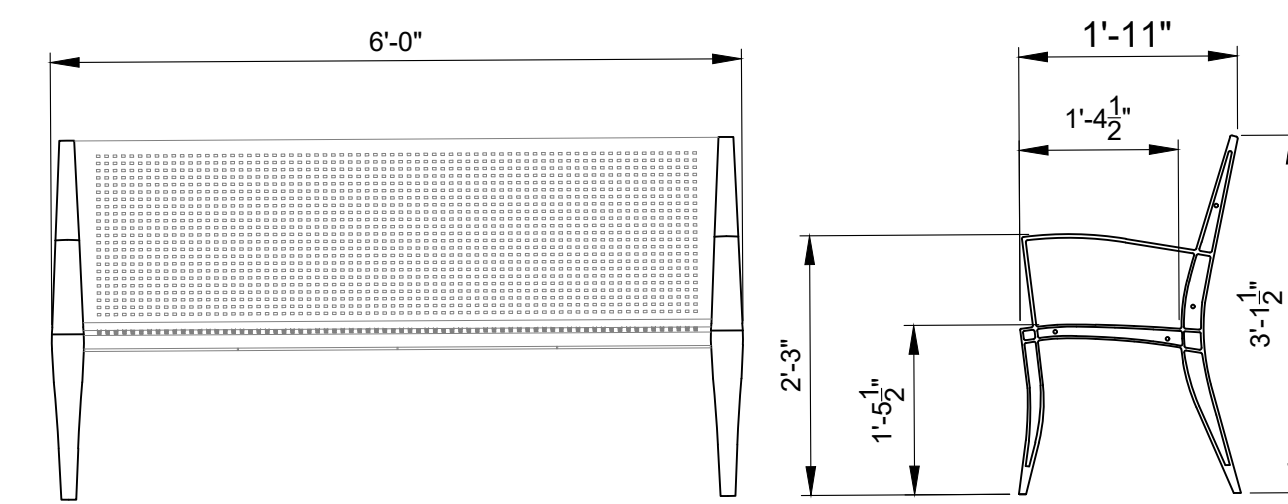
**F PICNIC TABLE**  
SCALE: 1/2"=1'-0"  
MODEL: WABASH VALLEY; DESIGNER SERIES RECTANGULAR 6' PICNIC TABLE. SLAT PATTERN. COLOR: BLACK



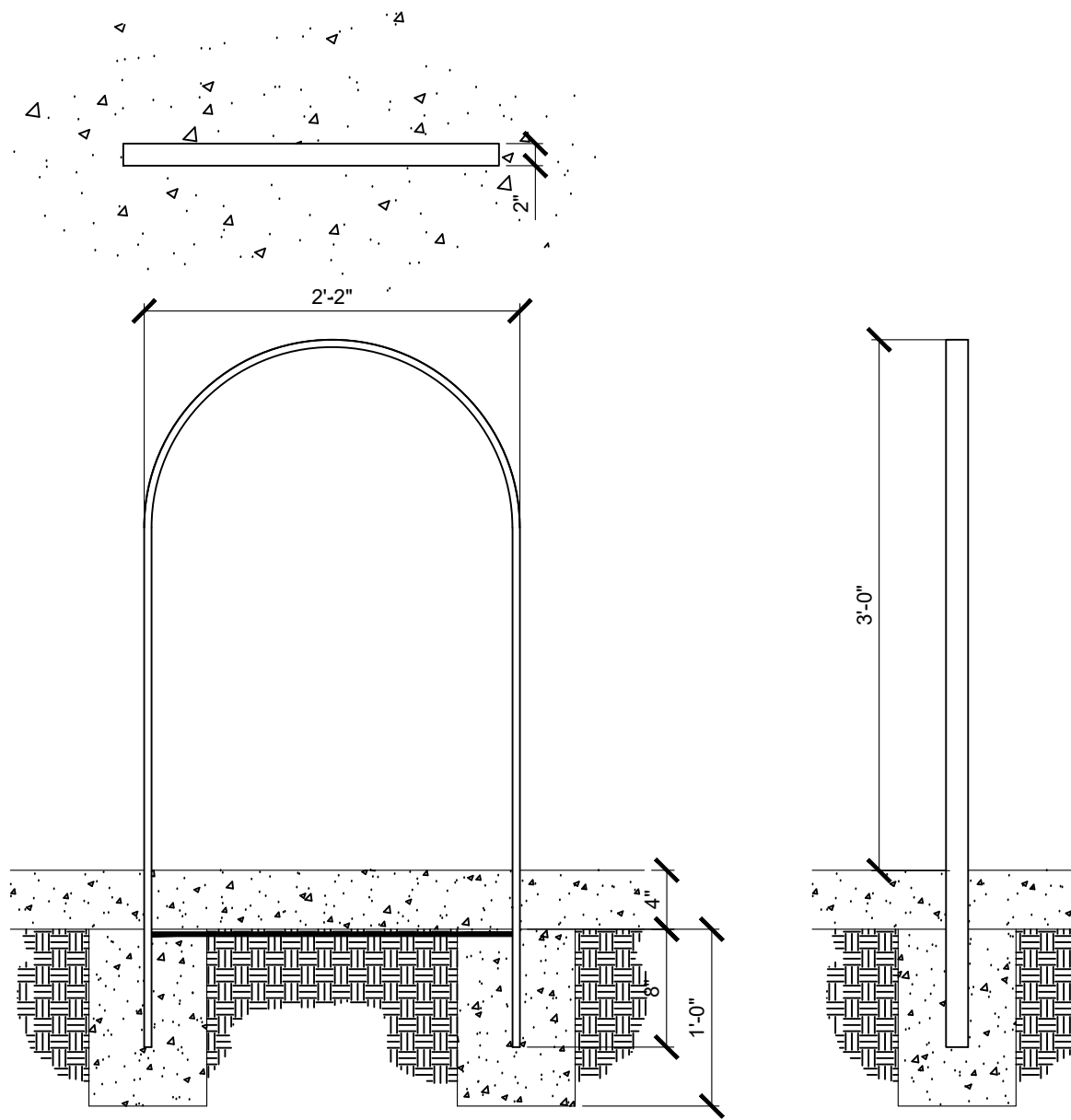
**J FIVE FOOT CONCRETE WALK**  
SCALE: NTS



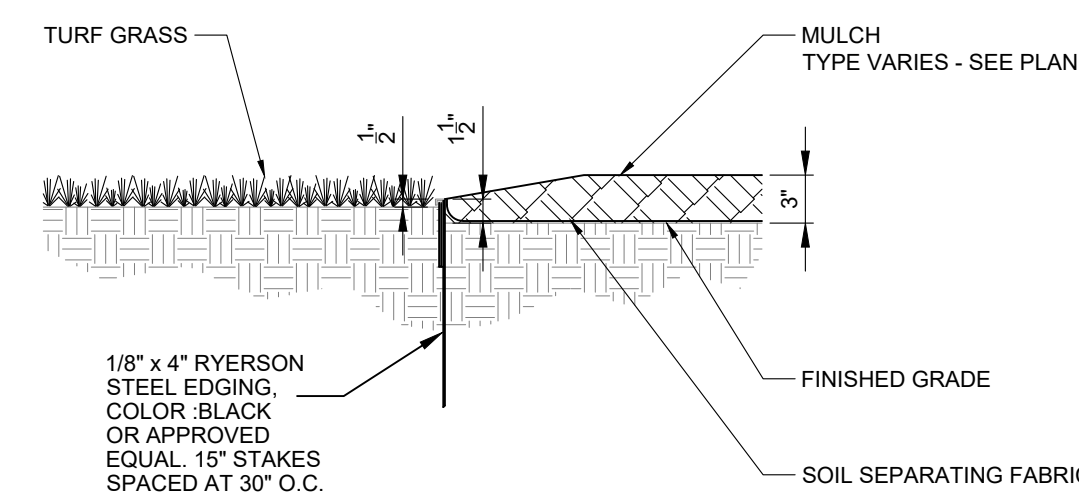
**B BACKLESS BENCH**  
SCALE: 1/2"=1'-0"  
MODEL: WABASH VALLEY; DEWART COLLECTION 6 FT OUTDOOR BENCH WITHOUT BACK, WITH ARMS, SLAT PATTERN, SURFACE MOUNT  
COLOR: BLACK



**C BENCH**  
SCALE: 1/2"=1'-0"  
MODEL: WABASH VALLEY; DEWART COLLECTION 6 FT OUTDOOR BENCH WITH BACK AND ARMS, SLAT PATTERN, SURFACE MOUNT  
COLOR: BLACK

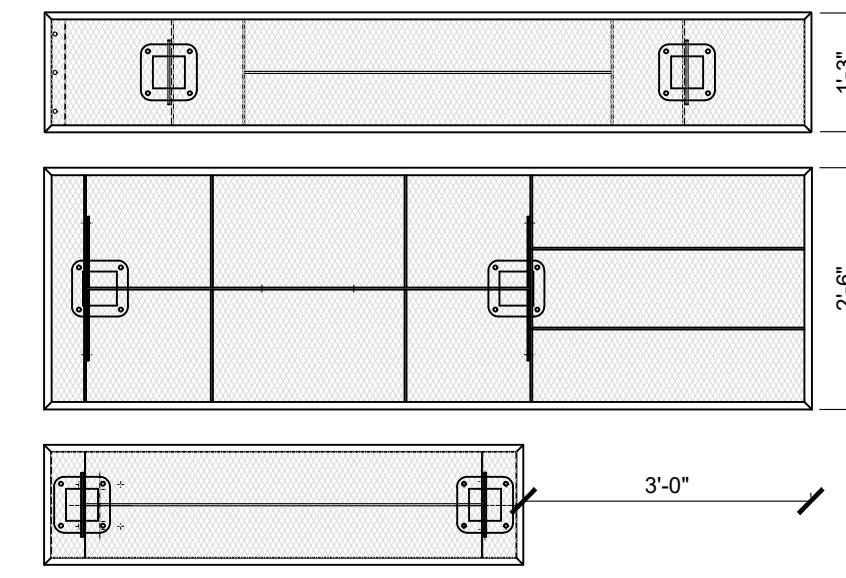


**G BIKE RACK**  
SCALE: 1"=1'-0"  
MODEL: WABASH VALLEY; BIKE LOOP BRH5381  
COLOR: BLACK



- NOTES:**
- FINISHED GRADE FOR SOD TO BE 1/2" BELOW TOP OF EDGING.
  - FINISHED GRADE FOR MULCH TO BE 1 1/2" BELOW TOP OF EDGING.
  - TAMPER MULCH AT EDGING SO THAT IT DOES NOT SPILL INTO TURF.

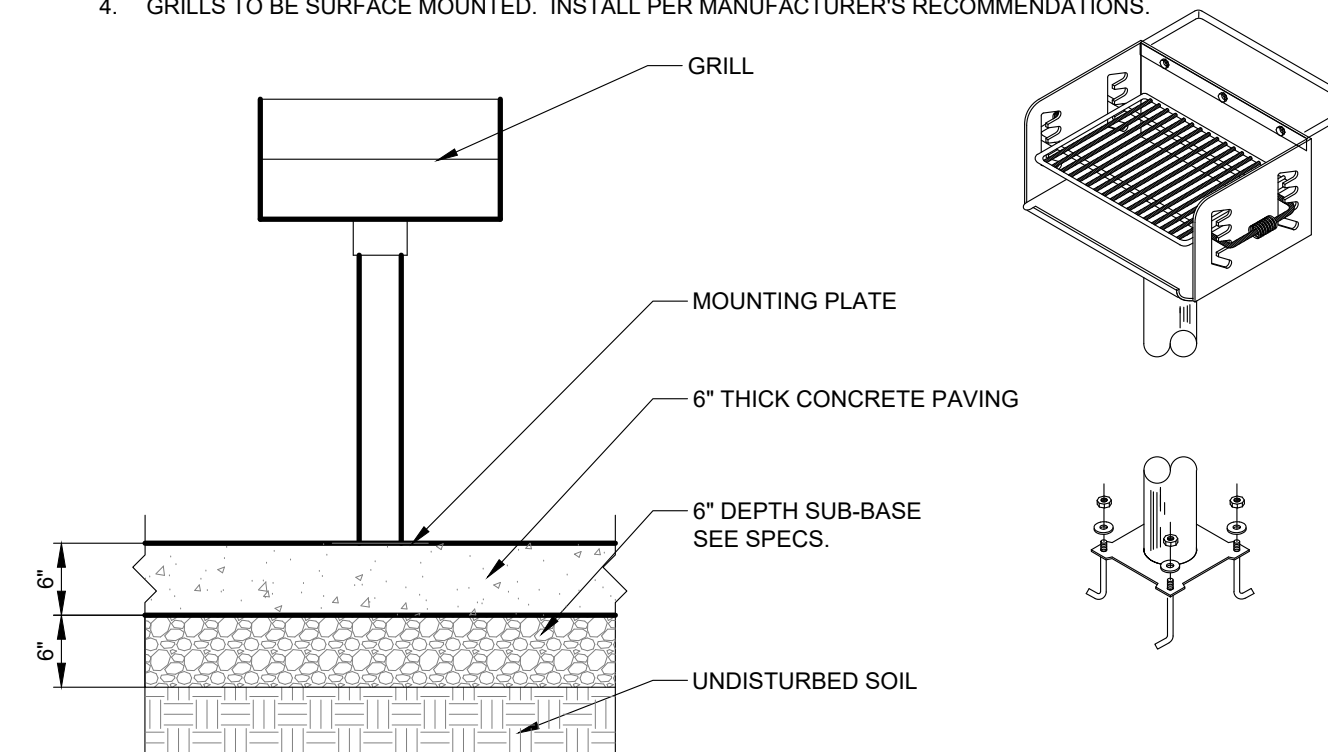
**K EDGING**  
SCALE: 1"=1'-0"



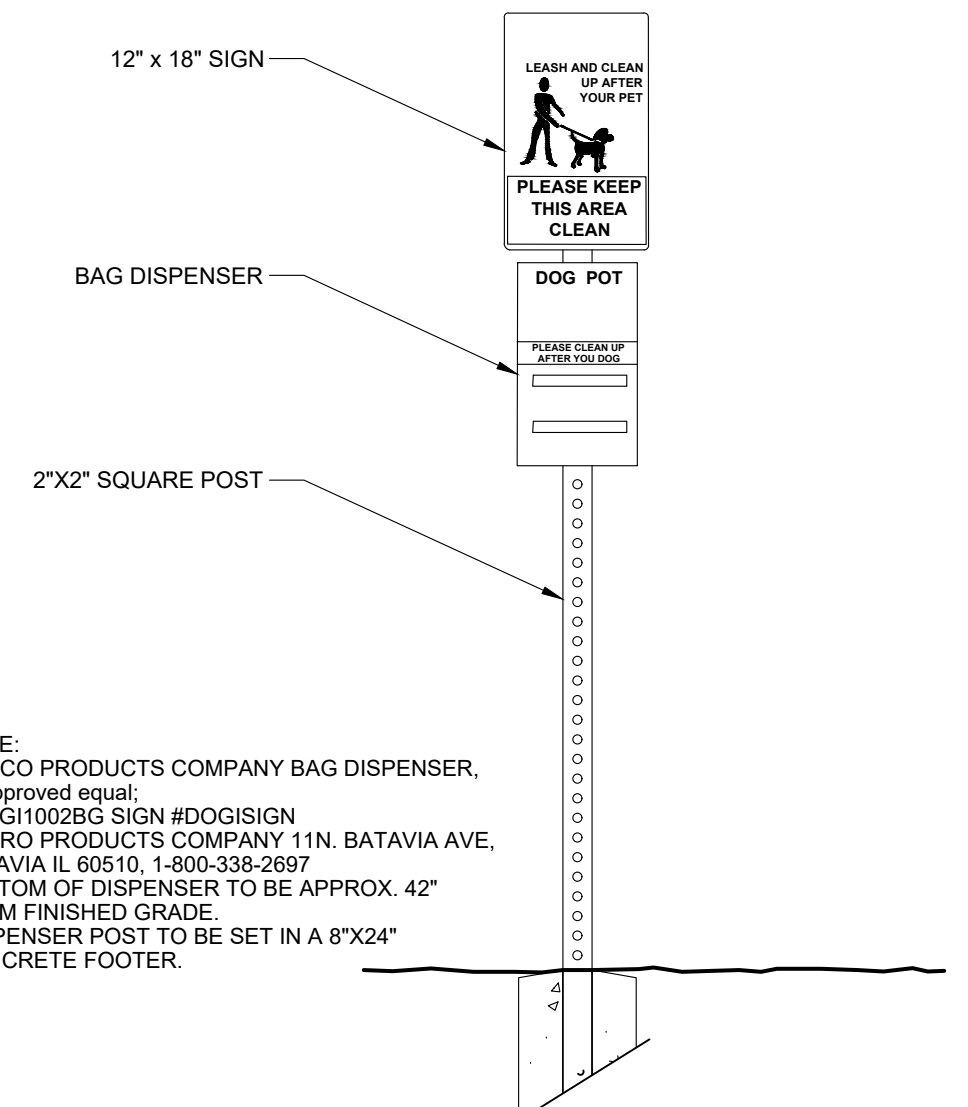
**D PICNIC TABLE ADA**  
SCALE: 1/2"=1'-0"  
MODEL: WABASH VALLEY; DESIGNER SERIES 8' ADA SIDE BY SIDE TABLE. SLAT PATTERN. COLOR: BLACK

**NOTES:**

- SEE PLANS FOR GRILL LOCATIONS.
- GRILL TO BE PW ATHLETIC MFG. CO., MODEL#1140-00-SM
- PW ATHLETIC MFG. CO. CONTACT INFORMATION: 1-800-678-5768, WWW.PWATHLETIC.COM
- GRILLS TO BE SURFACE MOUNTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

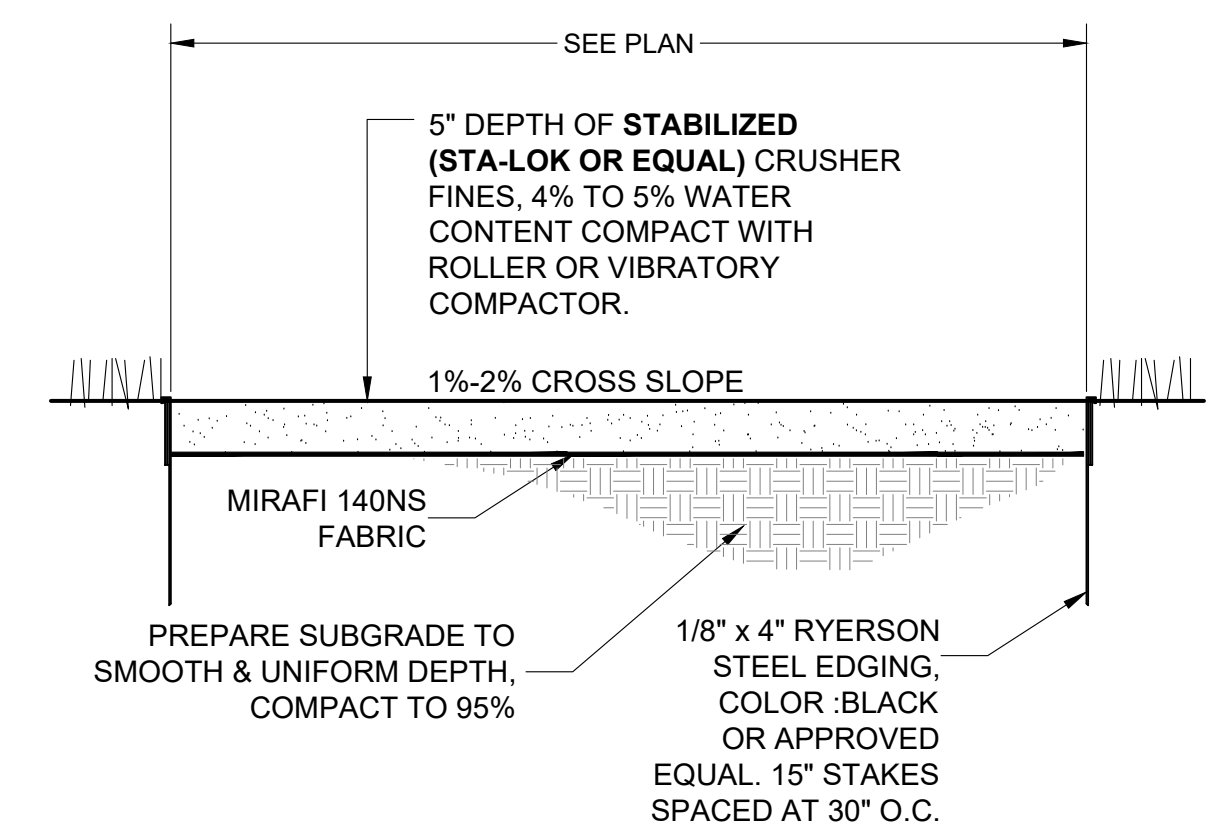


**H GRILL ON CONCRETE PAVING**  
SCALE: 3/4"=1'-0"



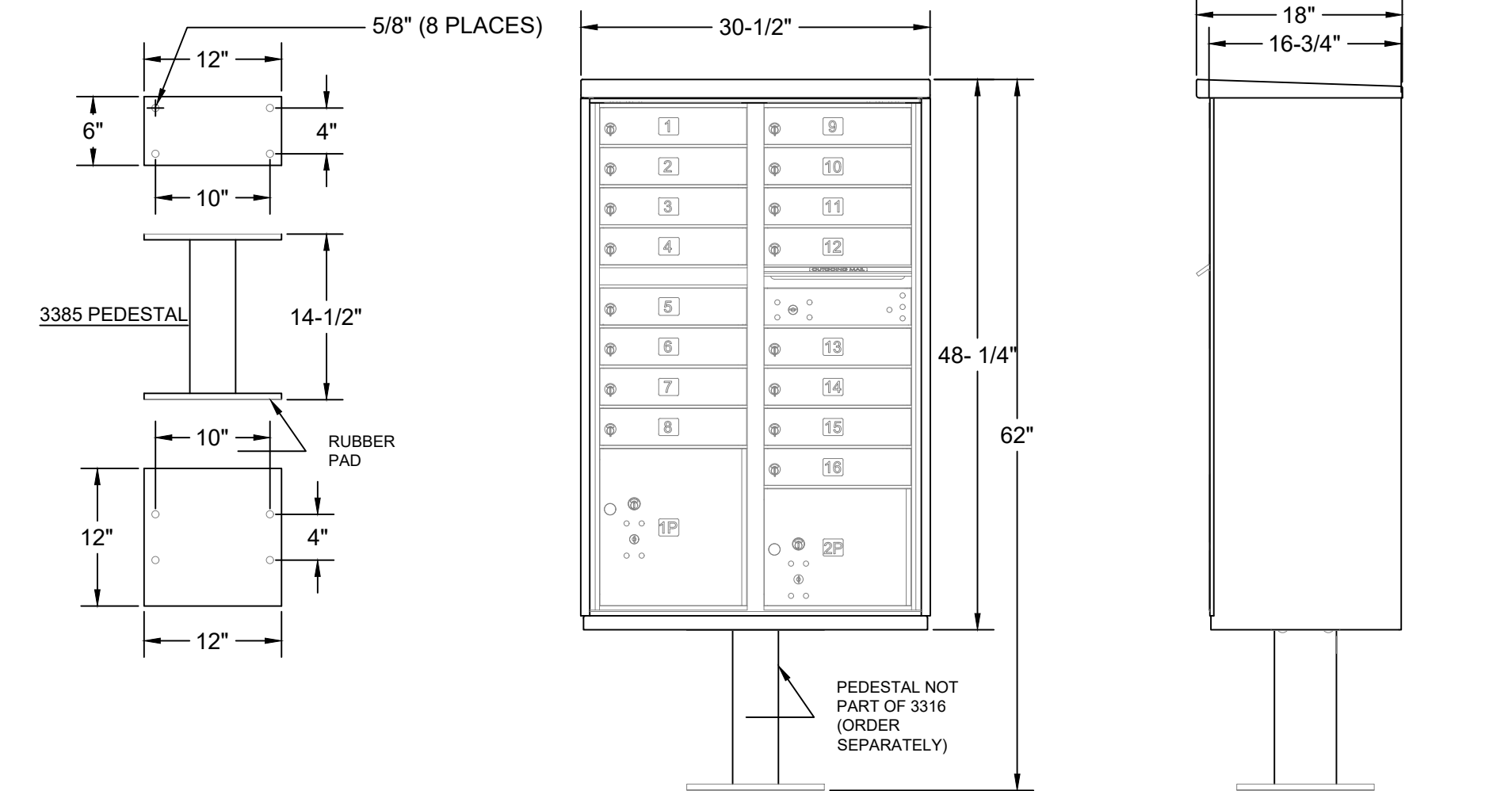
**NOTE:** BARCO PRODUCTS COMPANY BAG DISPENSER, OR APPROVED EQUAL.  
#D0GH1002BG SIGN #D0G15IGN  
BARCO PRODUCTS COMPANY 11N. BATAVIA AVE.  
BATAVIA IL 60510, 1-800-338-2697  
BOTTOM OF DISPENSER TO BE APPROX. 42" FROM FINISHED GRADE.  
DISPENSER POST TO BE SET IN A 8"X24" CONCRETE FOOTER.

**E DOG STATION**  
SCALE: 3/4"=1'-0"



**I CRUSHER FINES TRAIL**  
SCALE: 1"=1'-0"

204 UNITS:  
1 8-UNIT BOXES  
1 12-UNIT BOXES  
1 13-UNIT BOXES  
11 16-UNIT BOXES



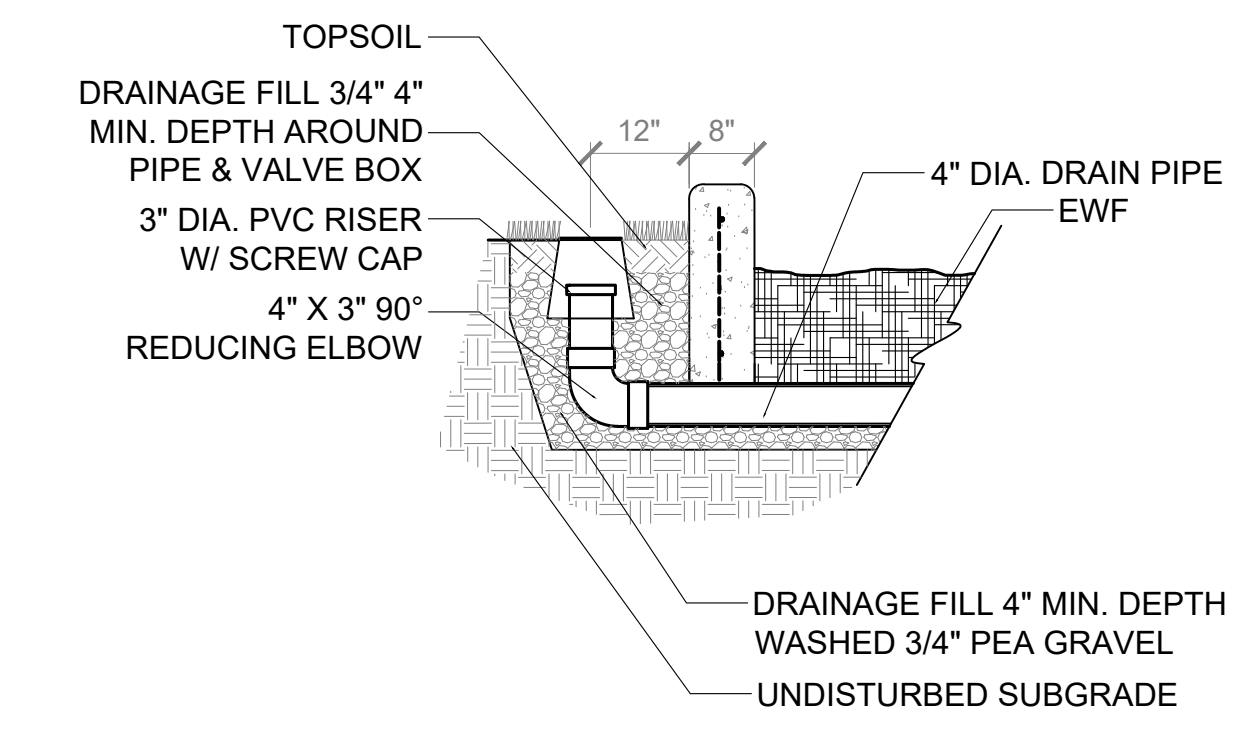
**L MAIL BOX CLUSTER UNITS**  
FLORENCE MANUFACTURING  
Color: Tan NOT TO SCALE

DATE	REVISION DESCRIPTION

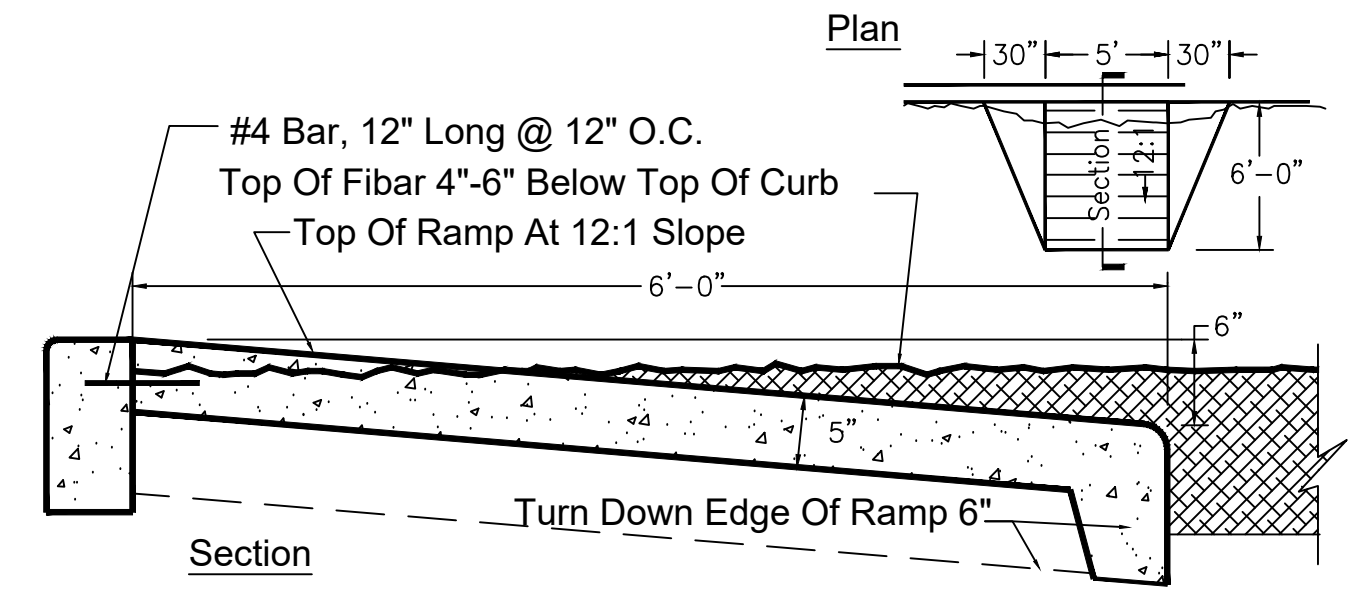
# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

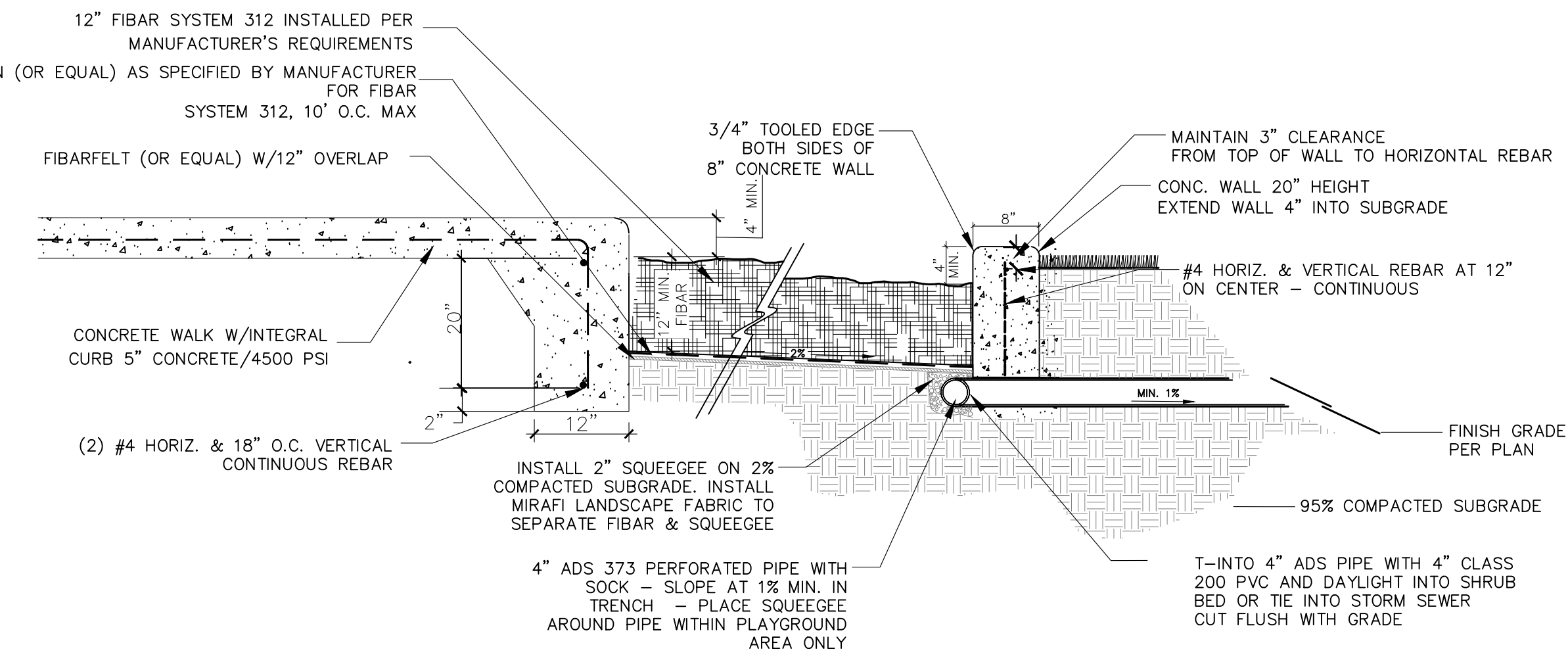
### TOWN OF JOHNSTOWN, COLORADO



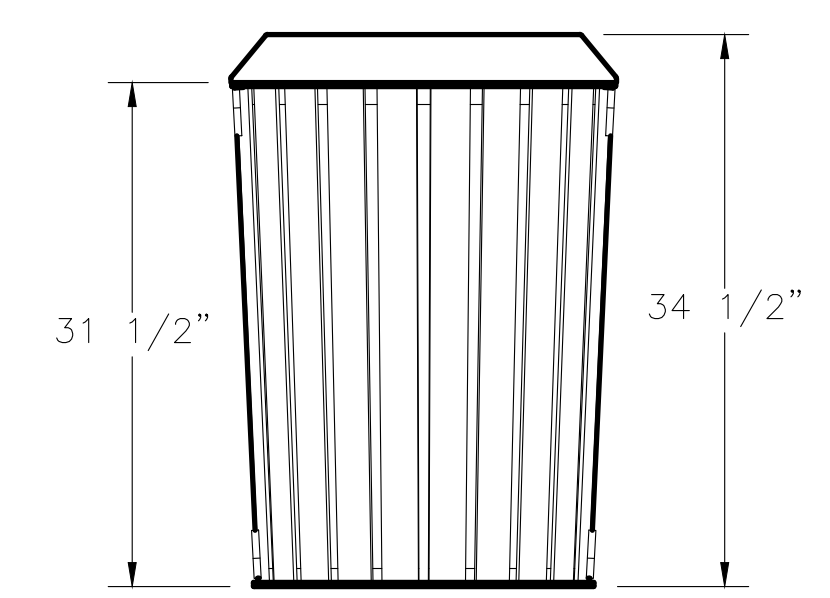
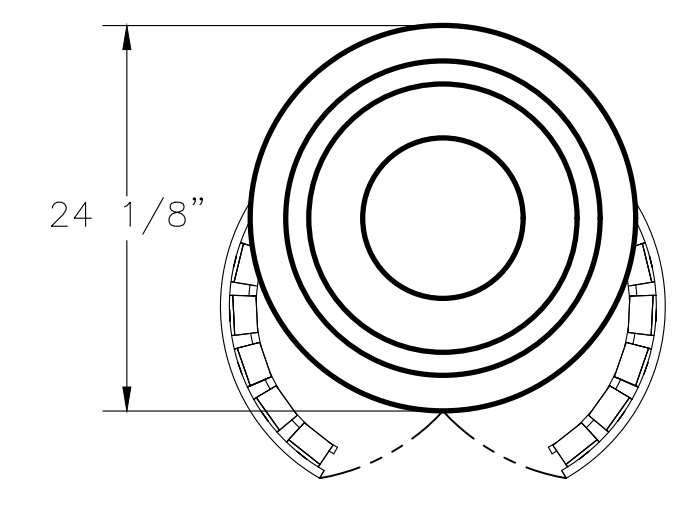
**A** DRAIN CLEANOUT  
NOT TO SCALE



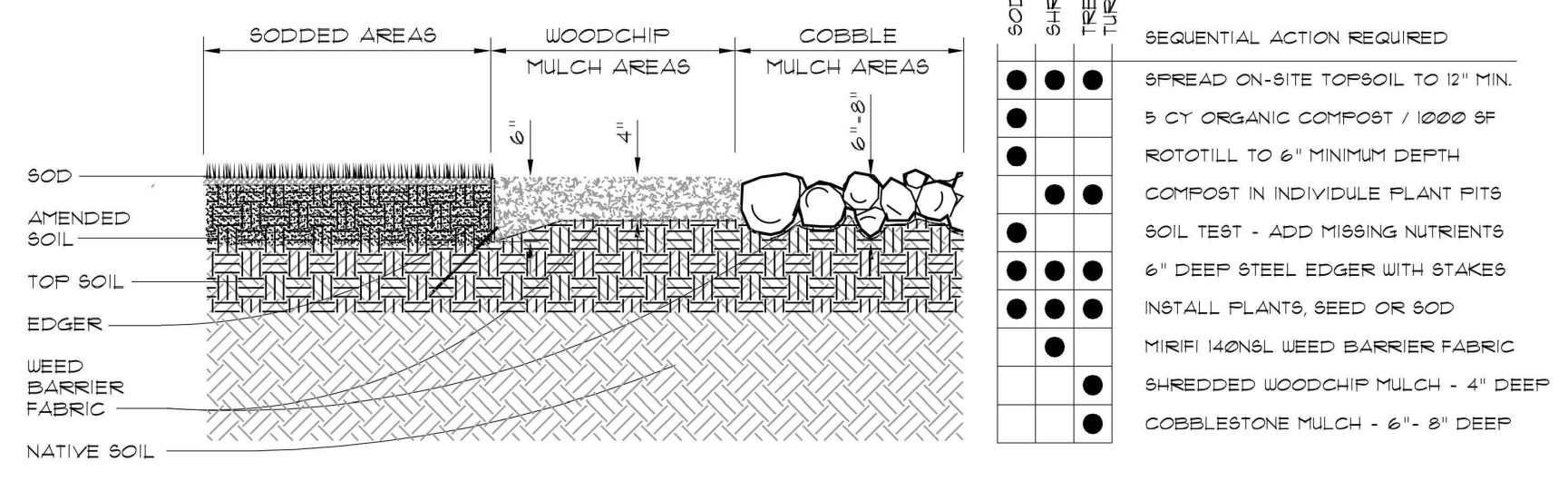
**B** PLAYGROUND RAMP



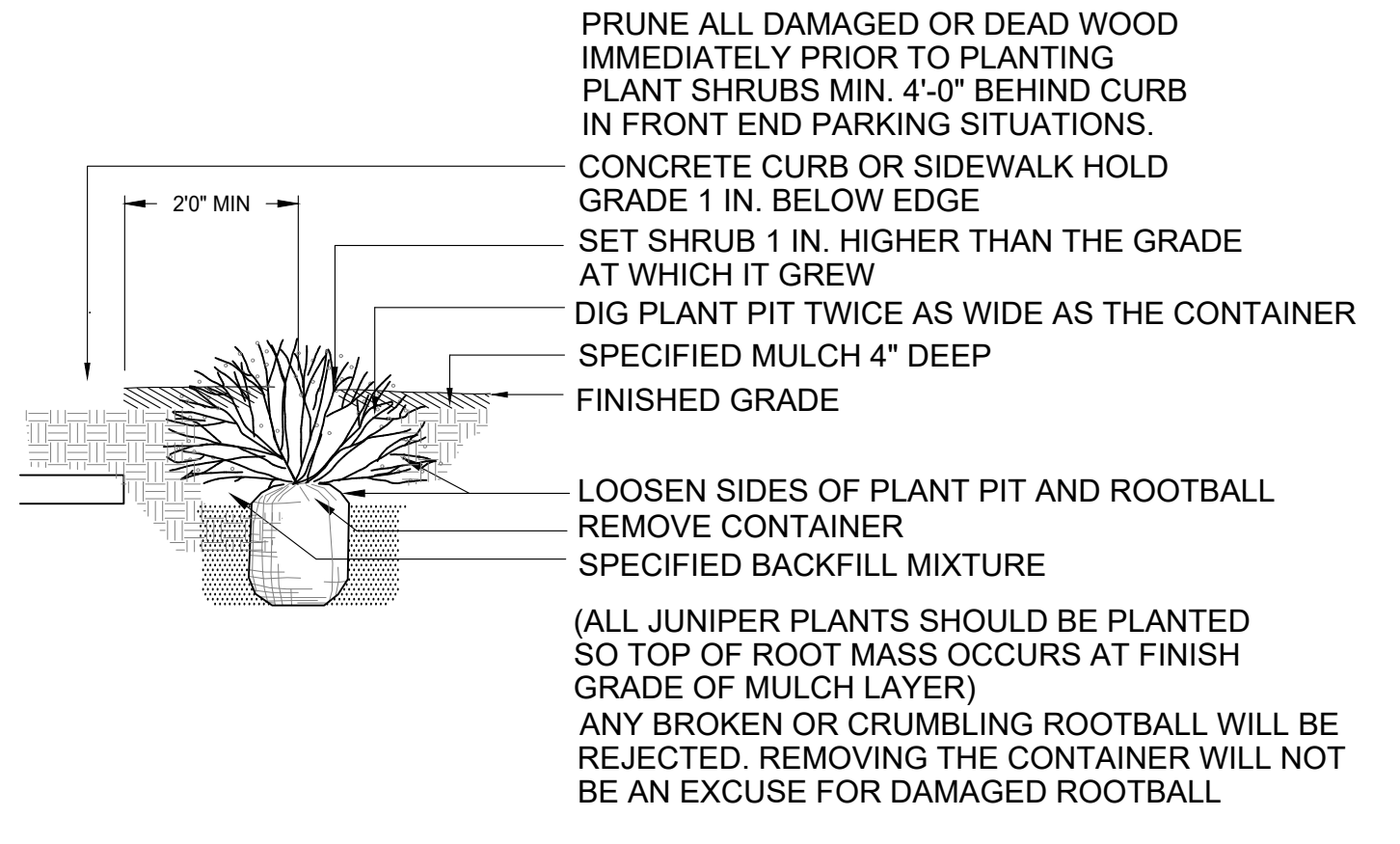
**C** PLAYGROUND CURB & DRAINAGE  
Not to Scale



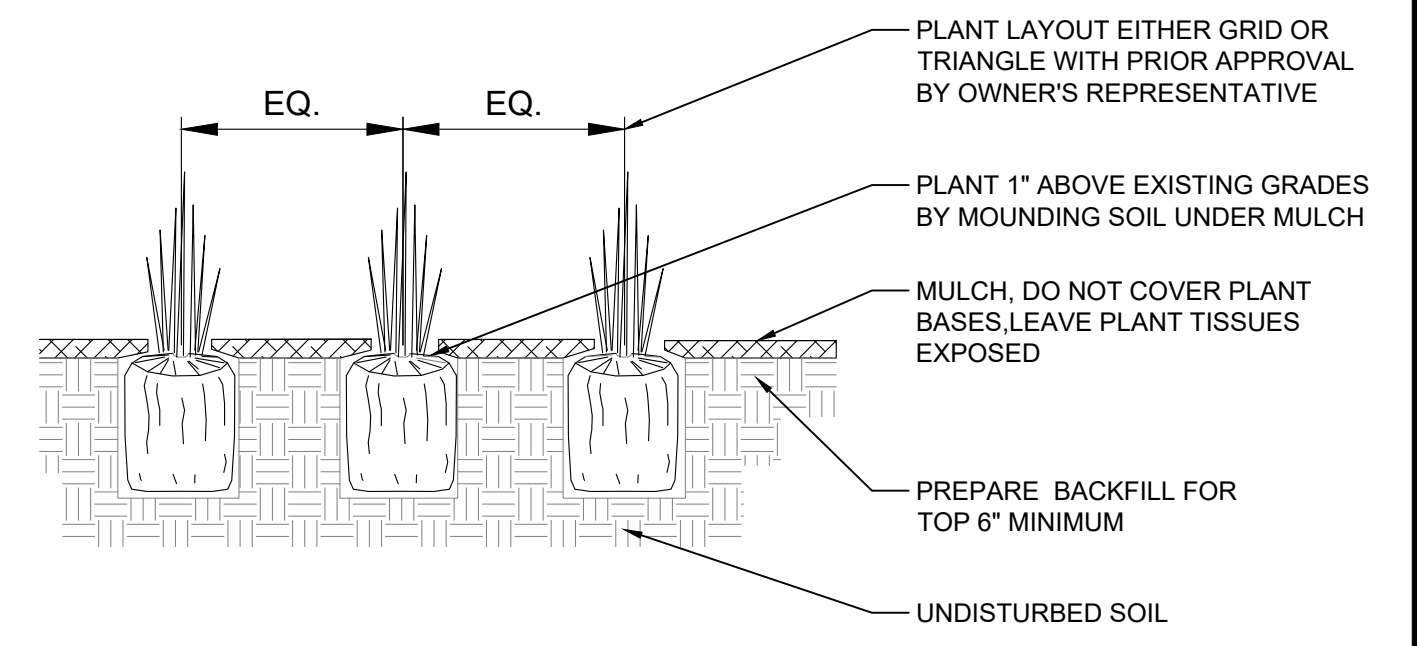
**D** TRASH RECEPTACLE  
SCALE: N.T.S.  
MANUFACTURER: WABASH VALLEY; PRODUCT: WOODRIDGE COLLECTION, 'ELEGANCE'. 32 GALLON with FLAT TOP. COLOR: BLACK, POWDER COAT.



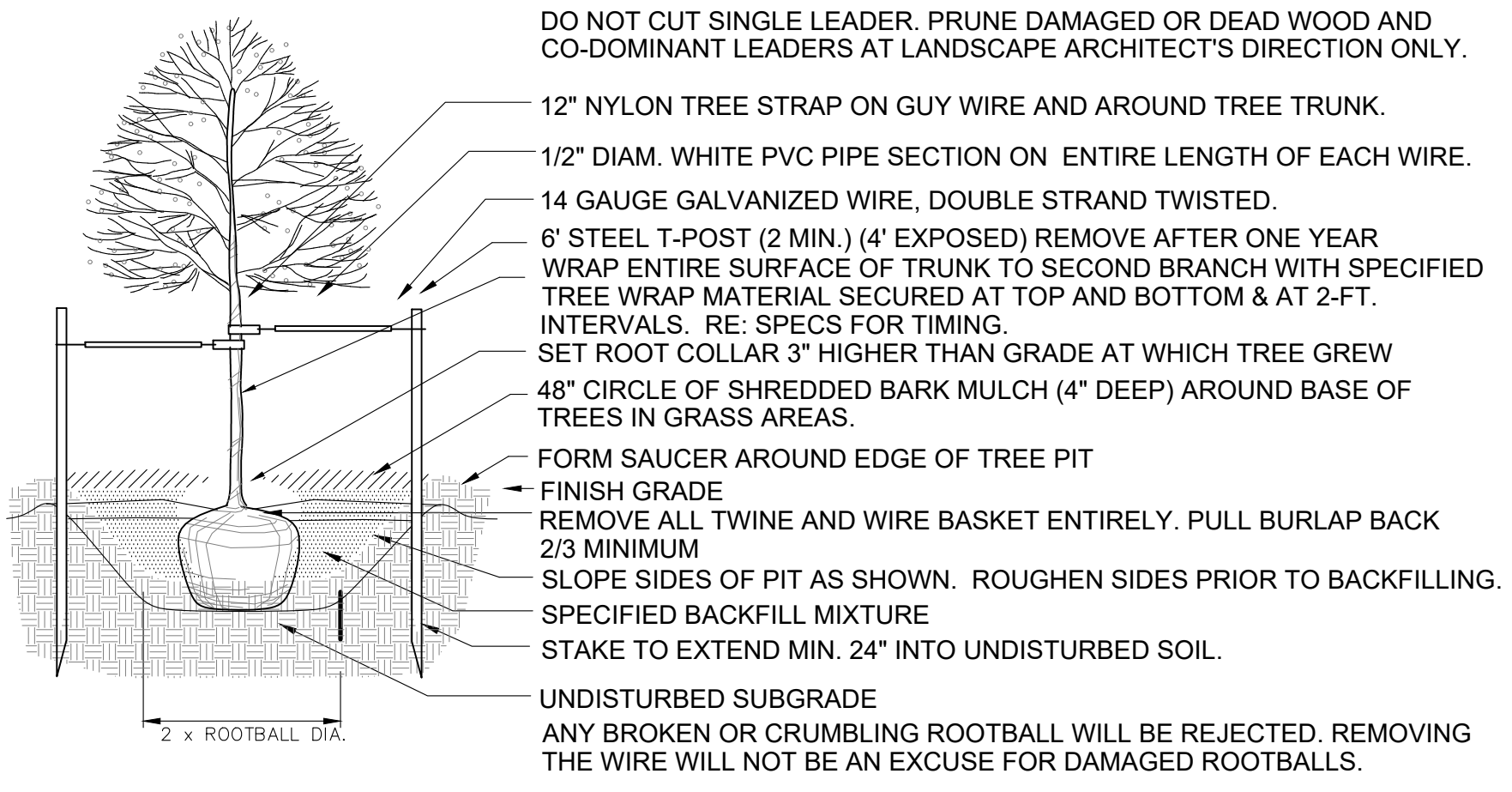
**E** EDGERS, MULCHES AND SOIL PREPARATION



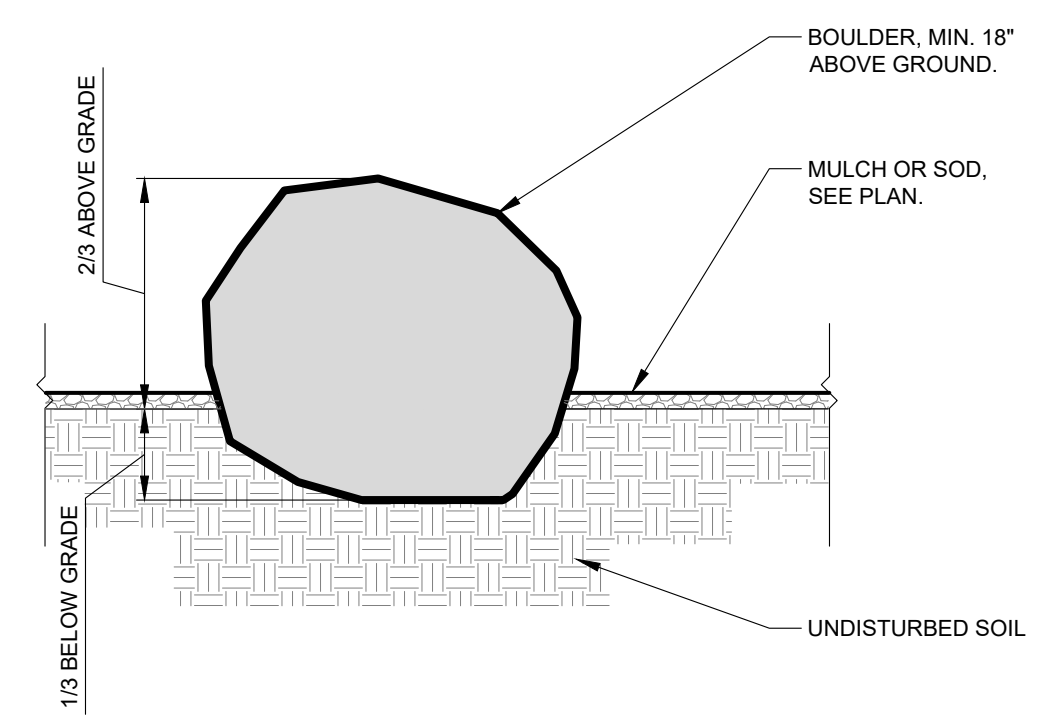
**F** SHRUB PLANTING DETAIL  
SCALE: N.T.S.



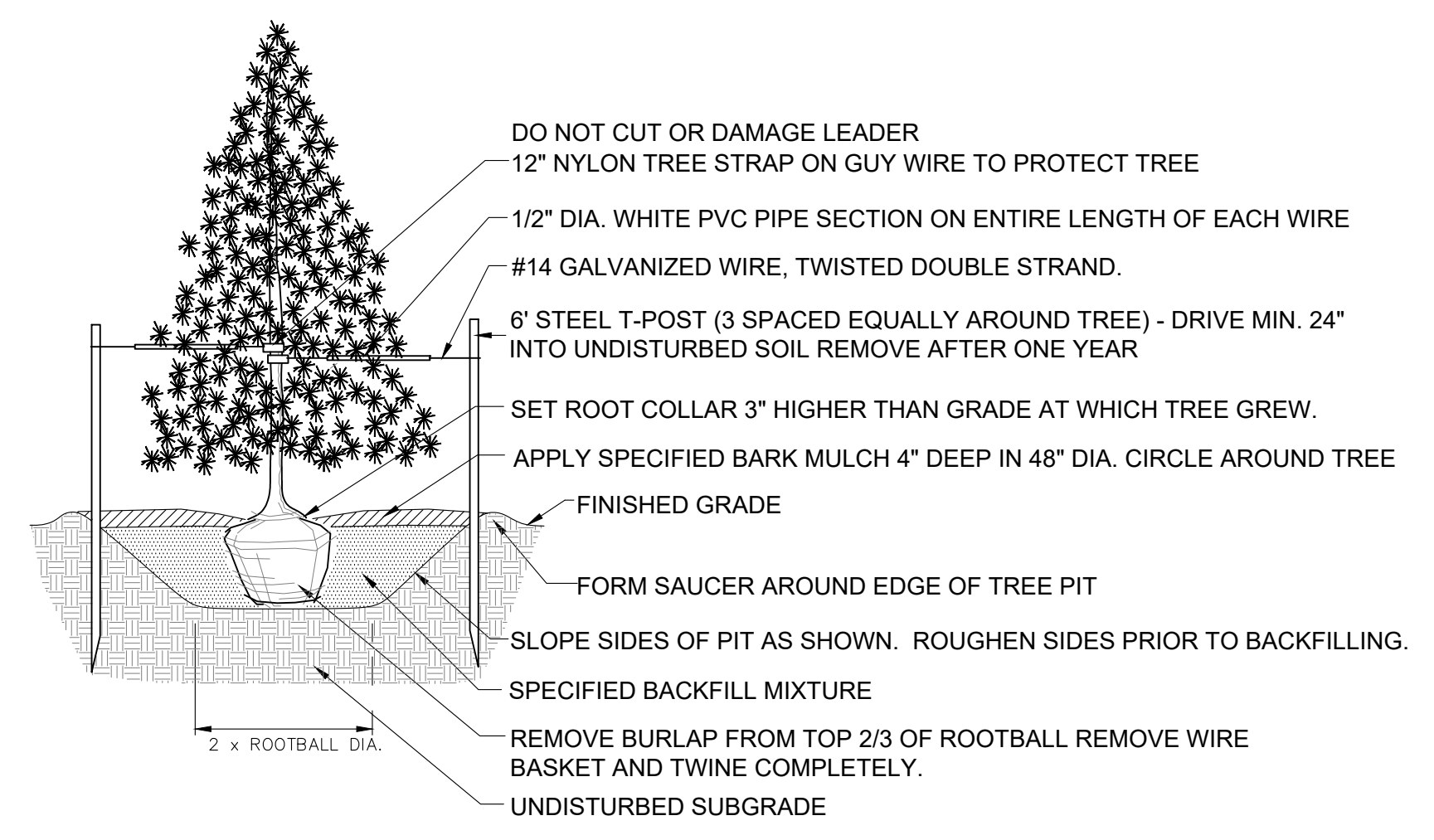
**G** PERENNIAL PLANTING  
NOT TO SCALE  
NOTE: RING OF 1 INCH DIAMETER SHREDDED CEDAR MULCH AROUND PERENNIALS AND ORNAMENTAL GRASSES, TYP.



**H** DECIDUOUS TREE PLANTING DETAIL  
SCALE: N.T.S.



**I** LANDSCAPE BOULDER  
SCALE: N.T.S.



**J** EVERGREEN TREE PLANTING DETAIL  
SCALE: N.T.S.

DATE	REVISION DESCRIPTION

BLUE SKY PRAIRIE  
JOHNSTOWN, CO  
FINAL DEVELOPMENT PLAN- FILING 1  
SITE DETAILS

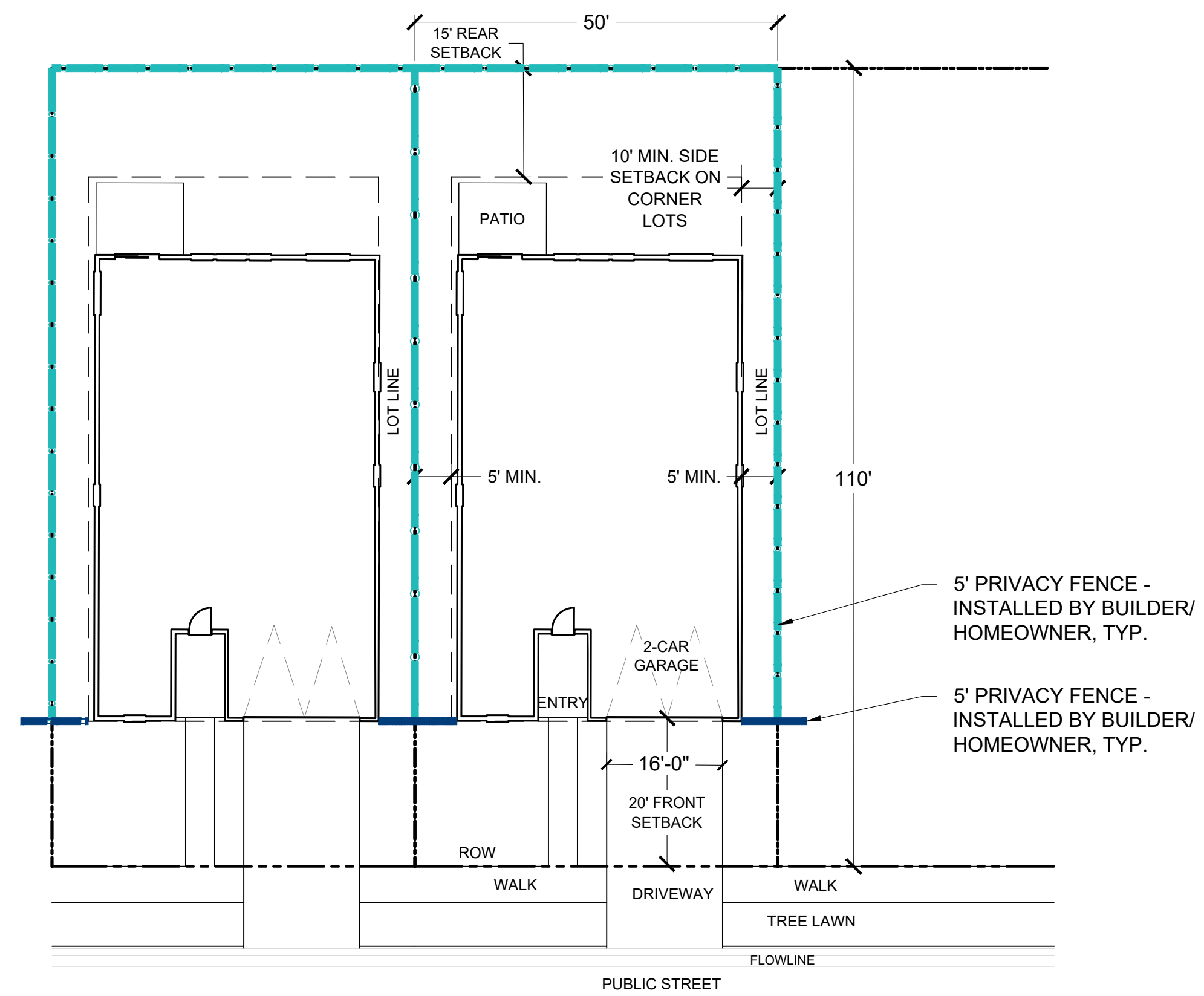
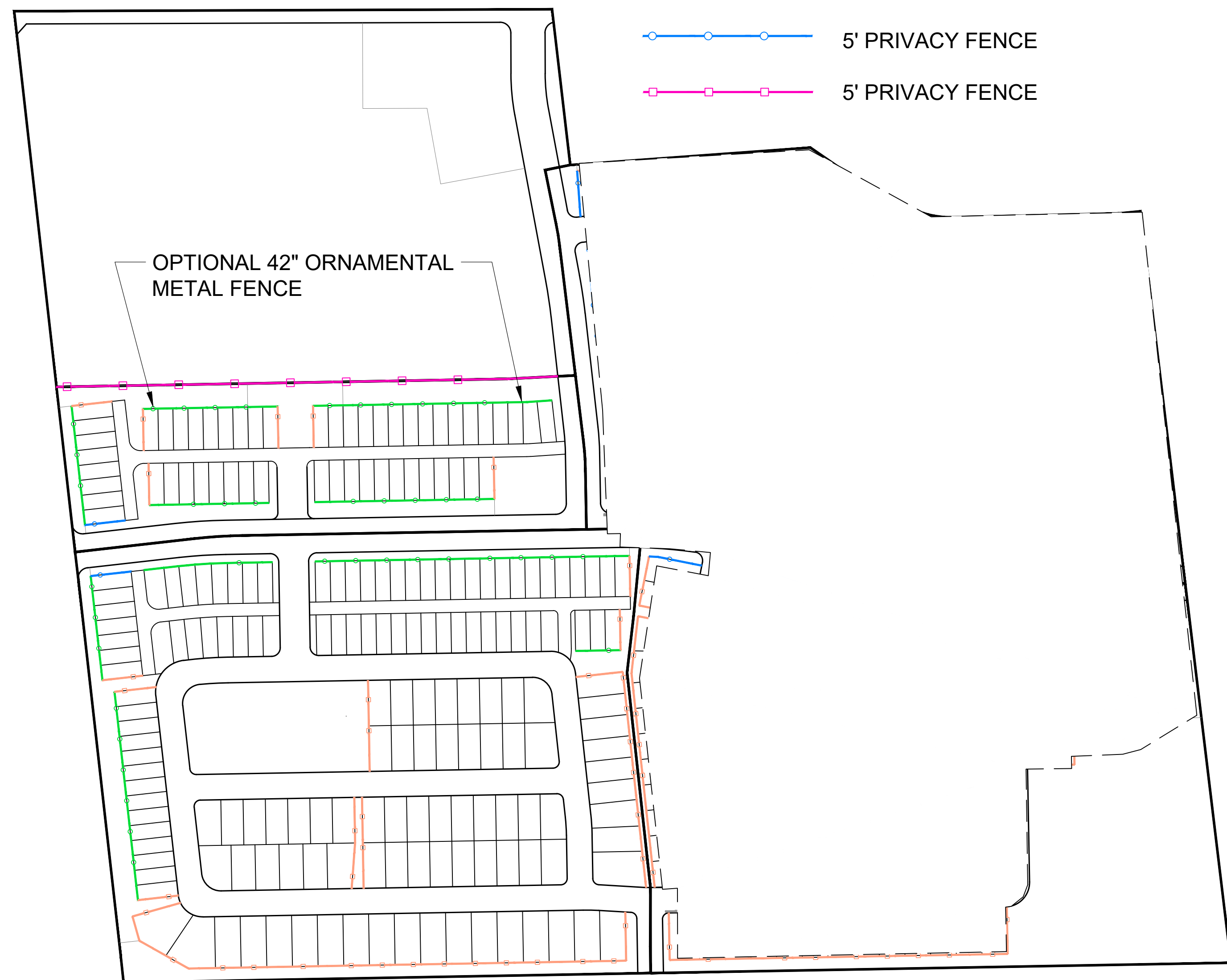
DESIGNED BY: MK  
DRAWN BY: AKH  
CHECKED BY: KZH

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

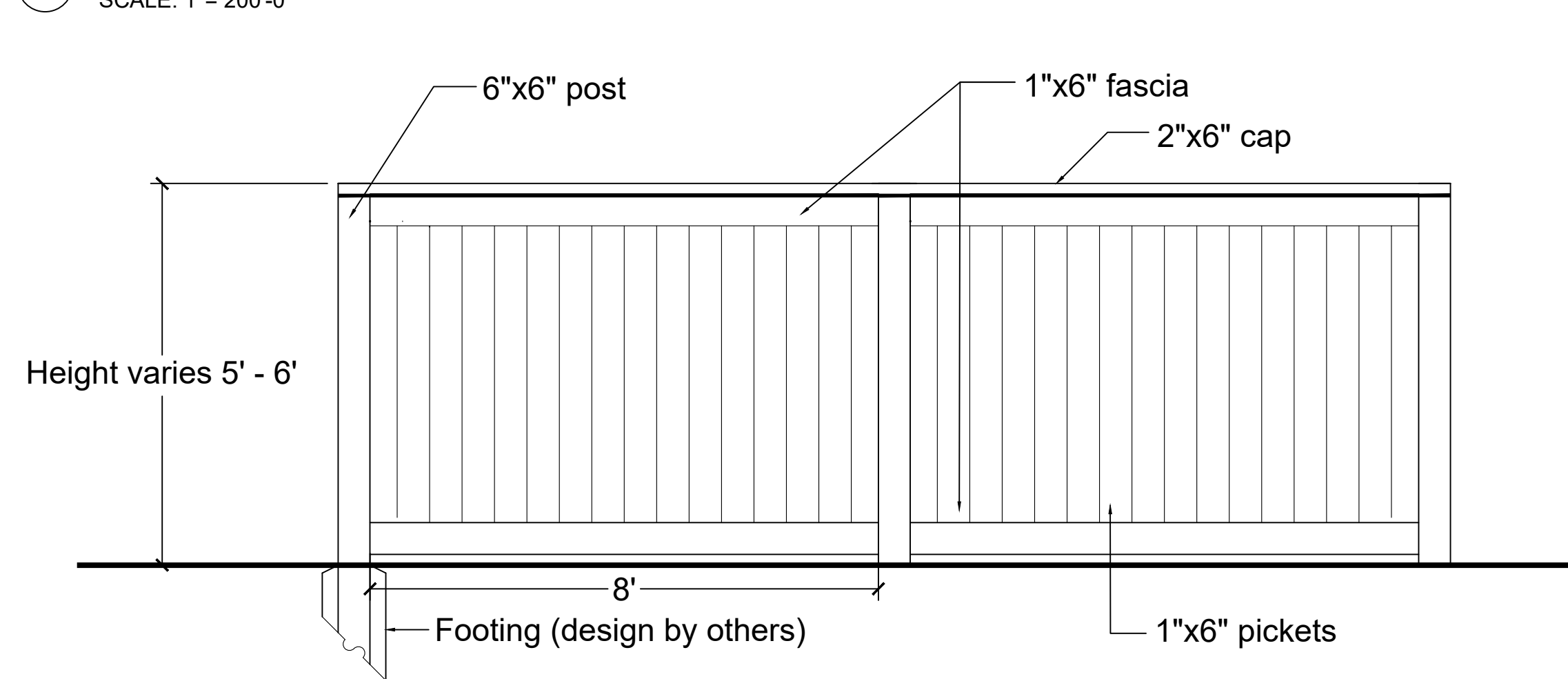
### TOWN OF JOHNSTOWN, COLORADO

- 42" ORNAMENTAL METAL FENCE
- 42" OPEN RAIL FENCE
- 5' PRIVACY FENCE
- 5' PRIVACY FENCE

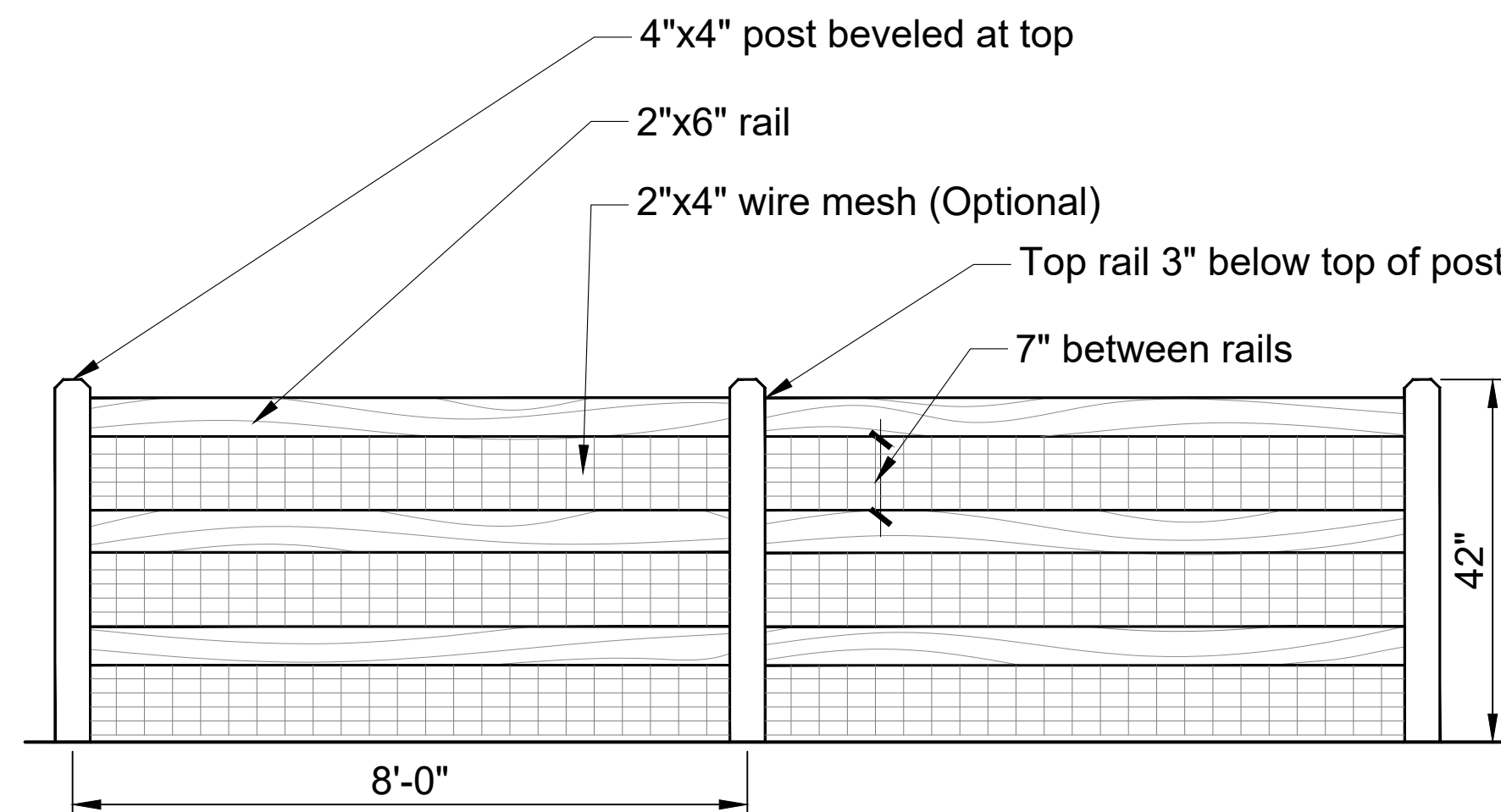


**B** HOMEOWNER & DEVELOPER FENCE INSTALLATION EXHIBIT  
SCALE: NTS

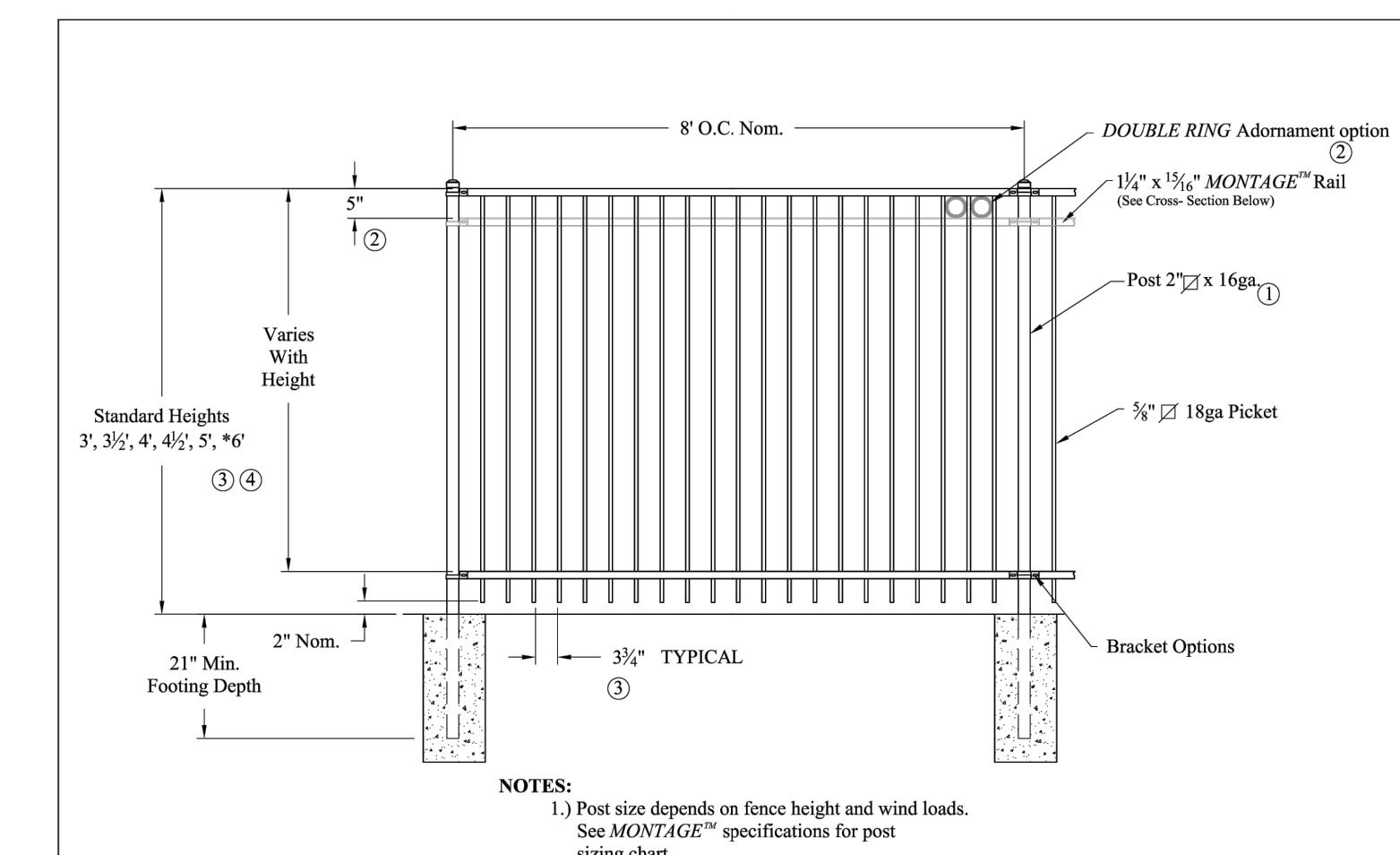
**A** FENCING EXHIBIT  
SCALE: 1"= 200'-0"



**C** SOLID PRIVACY FENCE



**D** OPEN RAIL FENCE



**E** 42" ORNAMENTAL METAL FENCE  
SCALE: NTS



# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

#### RIGHT OF WAY REQUIREMENT CHART

**LANDSCAPE REQUIREMENT CHART- R.O.W.**

R.O.W.	TYPE	Unit of Measurement	AREA	CODE REQUIREMENT	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHURBS PROVIDED
Weld County Road 50/ Veterans Parkway	Arterial	SF	7433.27	1 Tree & 5 Shrubs/ 1,000 SF; 75% shade trees, 25% evergreen	7.00	8	37.00	58
High Plains Boulevard	Arterial	SF	18720.70	1 Tree & 5 Shrubs/ 1,000 SF; 75% shade trees, 25% evergreen	19.00	19	94.00	121
Larkspur Drive	Collector	LF	1133.53	1 Tree/ 50 LF & 1 Shrub/ 200 LF	23.00	23	6.00	47
Waterbirch Ave	Collector	LF	2426.04	1 Tree/ 35 LF; 25-45' O.C. (new code) & 1 Shrub/ 200 LF	69.00	69	12.00	20
Wild Rye Drive	Local	LF	628.00	1 Tree/ 40 LF or 1 Tree per Lot	16.00	16	N/A	
June Grass Avenue	Local	LF	3322.34	1 Tree/ 40 LF or 1 Tree per Lot	83.00	83	N/A	
Dropseed Street	Local	LF	1697.34	1 Tree/ 40 LF or 1 Tree per Lot	42.00	42	N/A	
Goldenrod Street	Local	LF	2122.08	1 Tree/ 40 LF or 1 Tree per Lot	53.00	53	N/A	
River Rocky Drive	Local	LF	282.10	1 Tree/ 40 LF or 1 Tree per Lot	7.00	8	1.00	40
<b>TOTALS</b>					<b>319.00</b>	<b>321.00</b>	<b>150.00</b>	<b>286.00</b>

#### DRYLAND PASTURE NATIVE SEED MIX

A mixture of hardy, cool season grasses, that are drought tolerant and adapt well to the Northern Great Intermountain regions. It provides a good, palatable spring forage and fair regrowth in the fall. This mix may produce a hay crop depending upon available moisture. Widely adapted to many soil types and elevations of 3,000 to 10,000 feet. Ideal for areas not receiving regular irrigation.



Grows 30-48 inches at full potential. Great forage and hay producer.

**Seeding Rate:**  
New Seeding  
Broadcast: 20-25 lbs/acre  
Drilled: 15-20 lbs/acre

Overseeding  
Broadcast: 10-15 lbs/acre  
Drilled: 5-10 lbs/acre

**Characteristics:**

- Mix contains:**
- 20% **Tetraploid Perennial Rye**  
Bunchgrass with germination in 5-10 days. One of the most widely used grasses and is adaptable to a wide variety of soils and climate conditions. It is leafy and fine stemmed.
  - 20% **Smooth Brome, Lincoln**  
Sod forming grass with germination in 10-14 days. Smooth brome is resistant to drought and extremes in temperature. Lincoln smooth brome is the most widely used of the cultivated brome grasses.
  - 15% **Palute Orchardgrass**  
Bunchgrass with germination in 14-21 days. One of the earliest species to exhibit growth in the spring, making tremendous forage potential during cool conditions. Performs well on different textured soils. Is a great forage and hay producer.
  - 15% **Hycrest Crested Wheatgrass**  
Bunchgrass with germination in 14-21 days. A hybrid cross between Standard and Desert wheatgrass, resulting in a plant with excellent seeding vigor that establishes quickly. It is taller and has higher forage yield potential than its parents.
  - 15% **Pubescent Wheatgrass**  
Cool season, sod-forming with germination in 21-28 days. Stays green into the summer months when soil moisture is adequate.
  - 15% **Dahurian Wildrye**  
Bunchgrass with germination in 7 - 21 days. Deep rooted allowing good drought tolerance. Regrows aggressively after cutting and grazing, providing excellent palatable forage.

*Formulations & varieties are subject to change without notice!*

4300 Monaco Street  
Denver, CO 80226  
P. (303) 320-7500 F. (303) 320-7516  
877-907-3337  
www.avseeds.com

#### OUTLOT REQUIREMENT CHART

**LANDSCAPE REQUIREMENT CHART- OUTLOTS**

OUTLOT	USE	AREA (Acres)	AREA (Square Footage)	CODE REQUIREMENT	TREES REQUIRED	TREE TOTAL AMOUNT WITH 15% ENHANCEMENT	TREES PROVIDED	SHRUBS REQUIRED	SHRUB TOTAL AMOUNT WITH 25% ENHANCEMENT	SHRUBS PROVIDED
A	Detention	2.335	101712.60	1 Tree & 5 Shrubs/ 100 LF	14.00	N/A	15	70.00	N/A	72
E	Park	0.466	20298.96	1 Tree/ 2,000 SF & 1 Shrub/ 500 SF	10.00	N/A	13	41.00	N/A	79
F	Open Space	0.586	25526.16	1 Tree & 5 Shrubs/ 4,500 SF	6.00	7.00	12	28.00	35.00	95
G	Open Space	0.686	29882.16	1 Tree & 5 Shrubs/ 4,500 SF	7.00	8.00	8	33.00	41.00	80
H	Arterial Buffer	0.204	8886.24	1 Tree & 5 Shrubs/ 2,000 SF	4.00	5.00	7	44.00	55.00	86
I	Open Space	0.487	21213.72	1 Tree & 5 Shrubs/ 4,500 SF	5.00	6.00	11	24.00	28.00	185
J	Park	0.525	22869.00	1 Tree/ 2,000 SF & 1 Shrub/ 500 SF	11.00	N/A	12	46.00	N/A	166
K	Open Space	0.422	18382.32	1 Tree & 5 Shrubs/ 4,500 SF	4.00	5.00	9	20.00	23.00	156
M	Open Space	0.234	10193.04	1 Tree & 5 Shrubs/ 4,500 SF	2.00	2.00	6	11.00	13.00	88
N	Open Space	0.375	16335.00	1 Tree & 5 Shrubs/ 4,500 SF	4.00	5.00	8	18.00	21.00	176
O	Open Space	0.031	1350.36	1 Tree & 5 Shrubs/ 4,500 SF	1.00	N/A	2	2.00	N/A	31
P	Arterial Buffer	1.067	46478.52	1 Tree & 5 Shrubs/ 2,000 SF	23.00	26.00	27	232.00	267.00	260
Q	Park	2.079	90561.24	1 Tree/ 2,000 SF & 1 Shrub/ 500 SF	45.00	N/A	45	181.00	N/A	351
R	Open Space	0.1	4356.00	1 Tree & 5 Shrubs/ 4,500 SF	1.00	N/A	2	5.00	N/A	8
S	Open Space	0.768	33454.08	1 Tree & 5 Shrubs/ 4,500 SF	7.00	8.00	11	37.00	37.00	115
T	Open Space	1.051	45781.56	1 Tree & 5 Shrubs/ 4,500 SF	10.00	12.00	14	51.00	59.00	143
U	Detention	5.465	238055.40	1 Tree & 5 Shrubs/ 100 LF	18.00	N/A	18	265.00	N/A	67
X	Open Space	0.591	25743.96	1 Tree & 5 Shrubs/ 4,500 SF	6.00	7.00	9	29.00	33.00	71
<b>TOTALS</b>					<b>178.00</b>		<b>229.00</b>	<b>1137.00</b>		<b>2229.00</b>

#### LOW GROW NATIVE SEED MIX

A mixture of perennial, cool season, drought tolerant, grasses suitable for areas where mowing is difficult or not desirable. It grows an average of 8-12 inches a year with normal rain fall in the Intermountain region and the Desert Southwest. This mix is a great soil stabilizer. Our wildflower mixes are very compatible with this mix.

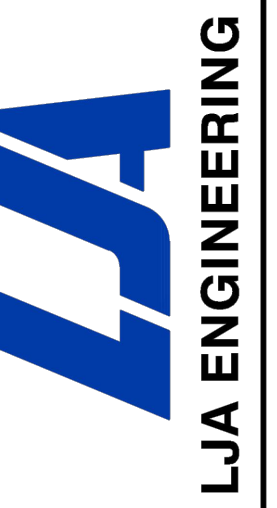
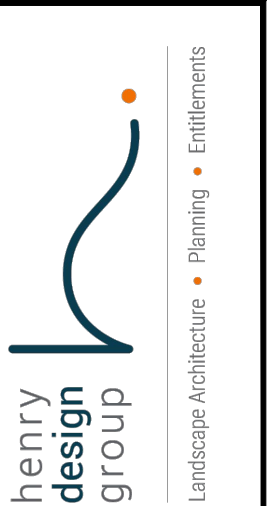


**Characteristics:**  
- Grows 8-12 inches tall  
- Requires little to no maintenance  
- Grows well in elevations up to 10,000 ft

**Seeding Rate:**  
New Seeding  
Dryland: 20-25 lbs/acre  
Irrigated: 40 lbs/acre  
Overseeding  
Dryland: 10-15 lbs/acre  
Irrigated: 20 lbs/acre

**Mix contains:**

- 30% **Ephraim Crested Wheatgrass**  
Slightly rhizomatous bunchgrass with germination in 14-21 days. Drought resistant and winter hardy with a deep root system making it an excellent soil binder. Crested wheatgrass is well adapted to stabilization of disturbed soils and does well on a variety of soil types.
- 25% **Sheep Fescue**  
Bunchgrass with germination in 14-21 days. Well adapted to most soil conditions and is great for soil erosion control and low maintenance mixtures.
- 20% **Perennial Rye**  
Bunchgrass with germination in 5-10 days. One of the most widely used grasses and is adaptable to a wide variety of soils and climate conditions. It has a leafy head and fine stem.
- 15% **Chewings Fescue**  
Bunchgrass with germination in 7-21 days. Fine fescue that is shade tolerant and requires little water. Persists in dry soils and infertile soils.
- 10% **Canada Bluegrass**  
Sod-forming grass with germination in 14-21 days. Resistant to drought and some salinity. It is used to reclaim disturbed area such as gravel pits, cut roads, roadsides, and mines.



REVISION DESCRIPTION	DATE

**BLUE SKY PRAIRIE**  
 JOHNSTOWN, CO  
 FINAL DEVELOPMENT PLAN- FILING 1  
 LANDSCAPE REQUIREMENT CHARTS

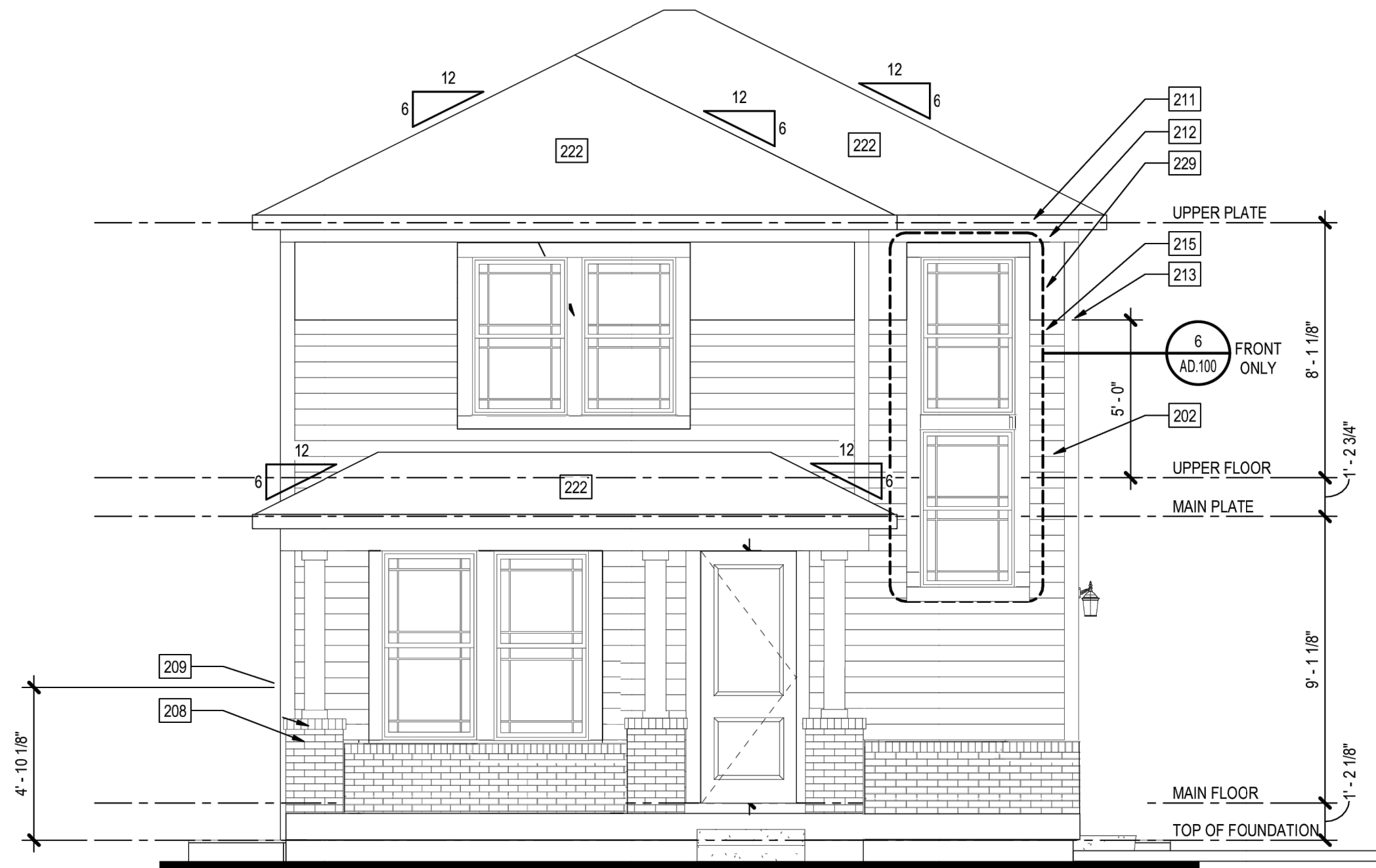
DESIGNED BY: MK  
 DRAWN BY: AKH  
 CHECKED BY: KZH

# BLUE SKY PRAIRIE

## FINAL DEVELOPMENT PLAN- FILING NO. 1

### TOWN OF JOHNSTOWN, COLORADO

NOTE:  
ALL ELEVATIONS ARE CONCEPTUAL  
AND WILL BE FINALIZED PRIOR TO  
APPROVAL OF THE FINAL  
DEVELOPMENT PLAN.



**Front Elevation**

SCALE: 1/4" = 1'-0"

**Prairie - D**

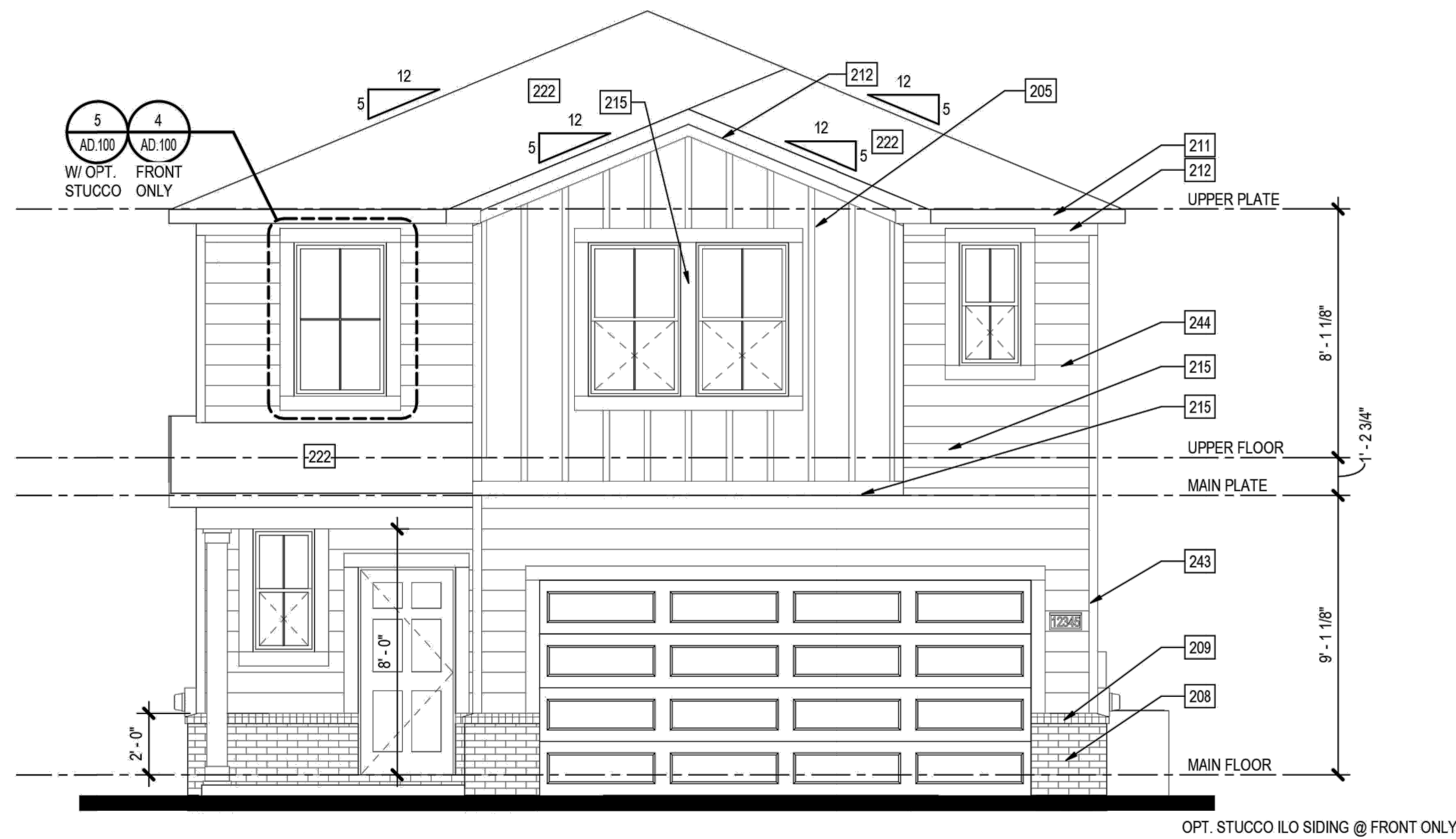


**Front Elevation**

SCALE: 1/4" = 1'-0"

**Prairie - D**

○ ALLEY LOADED SINGLE FAMILY HOME- TYPE 1



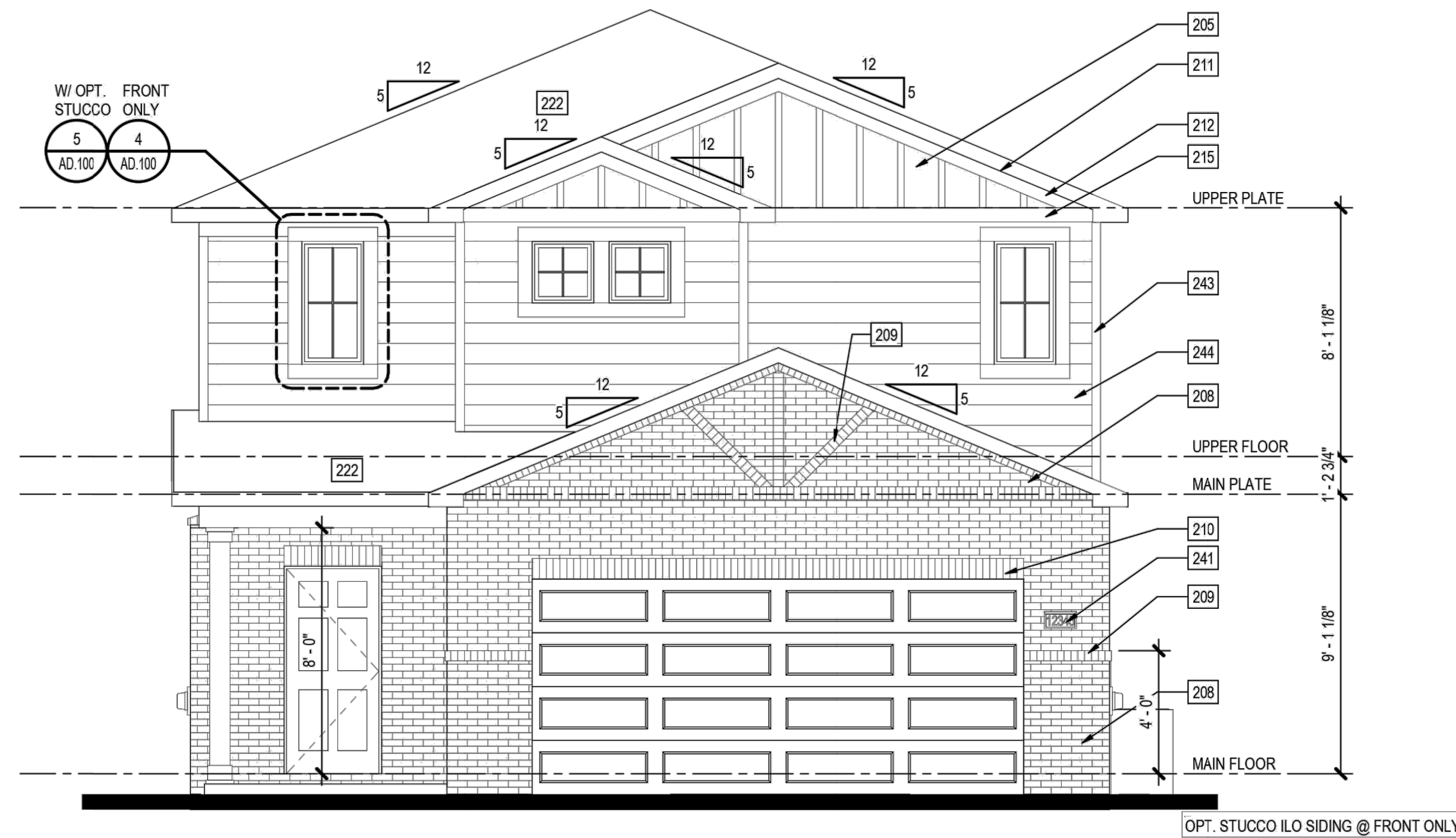
**Front Elevation**

SCALE: 1/4" = 1'-0"

**Farmhouse**

○ 30' SINGLE FAMILY HOME- TYPE 1

○ ALLEY LOADED SINGLE FAMILY HOME- TYPE 2



**Front Elevation**

SCALE: 1/4" = 1'-0"

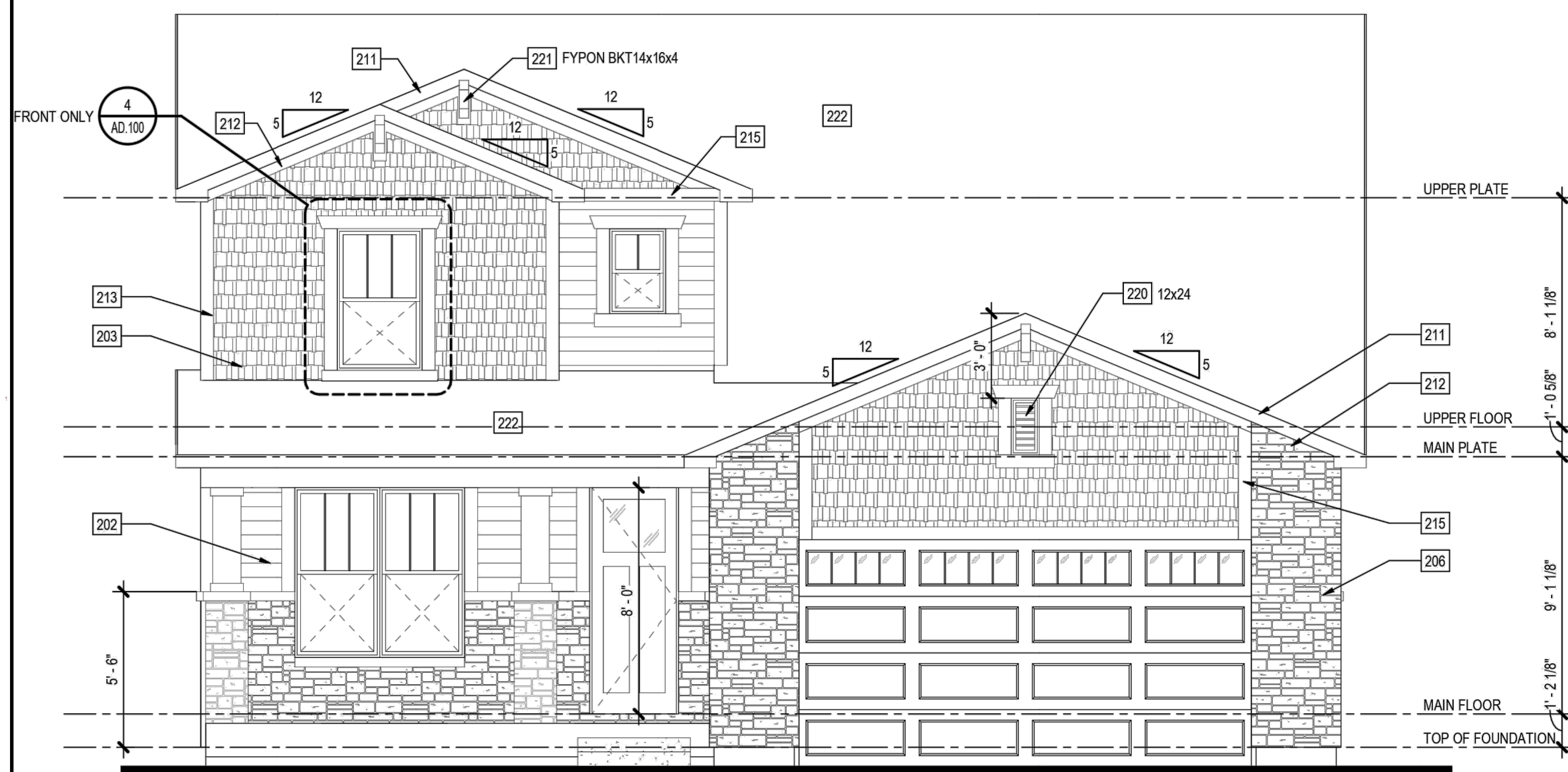
**Traditional - B**

○ 30' SINGLE FAMILY HOME- TYPE 2

# BLUE SKY PRAIRIE

FINAL DEVELOPMENT PLAN- FILING NO. 1  
TOWN OF JOHNSTOWN, COLORADO

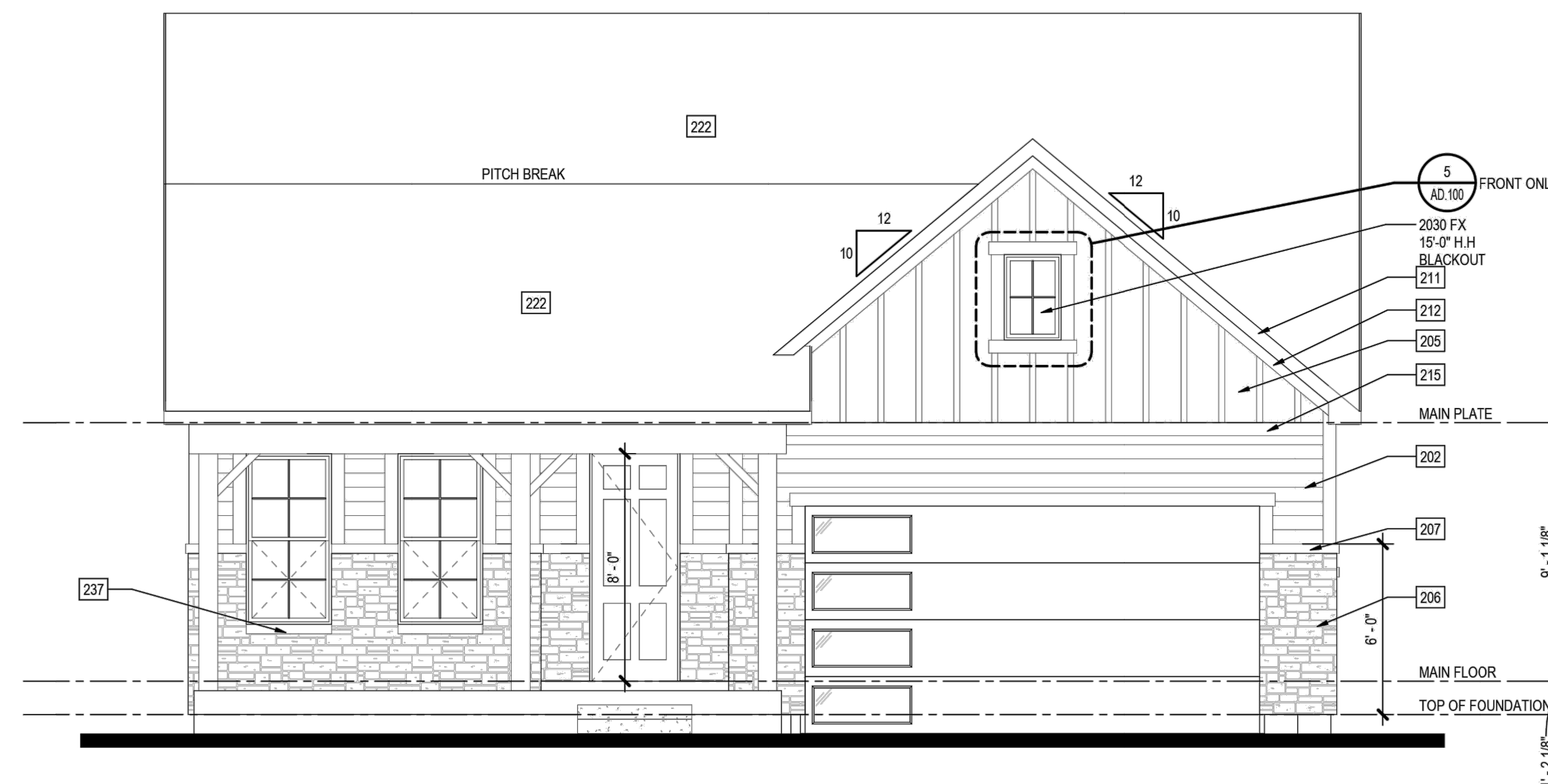
NOTE:  
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**Front Elevation**

SCALE: 1/4" = 1'-0"

**Craftsman**



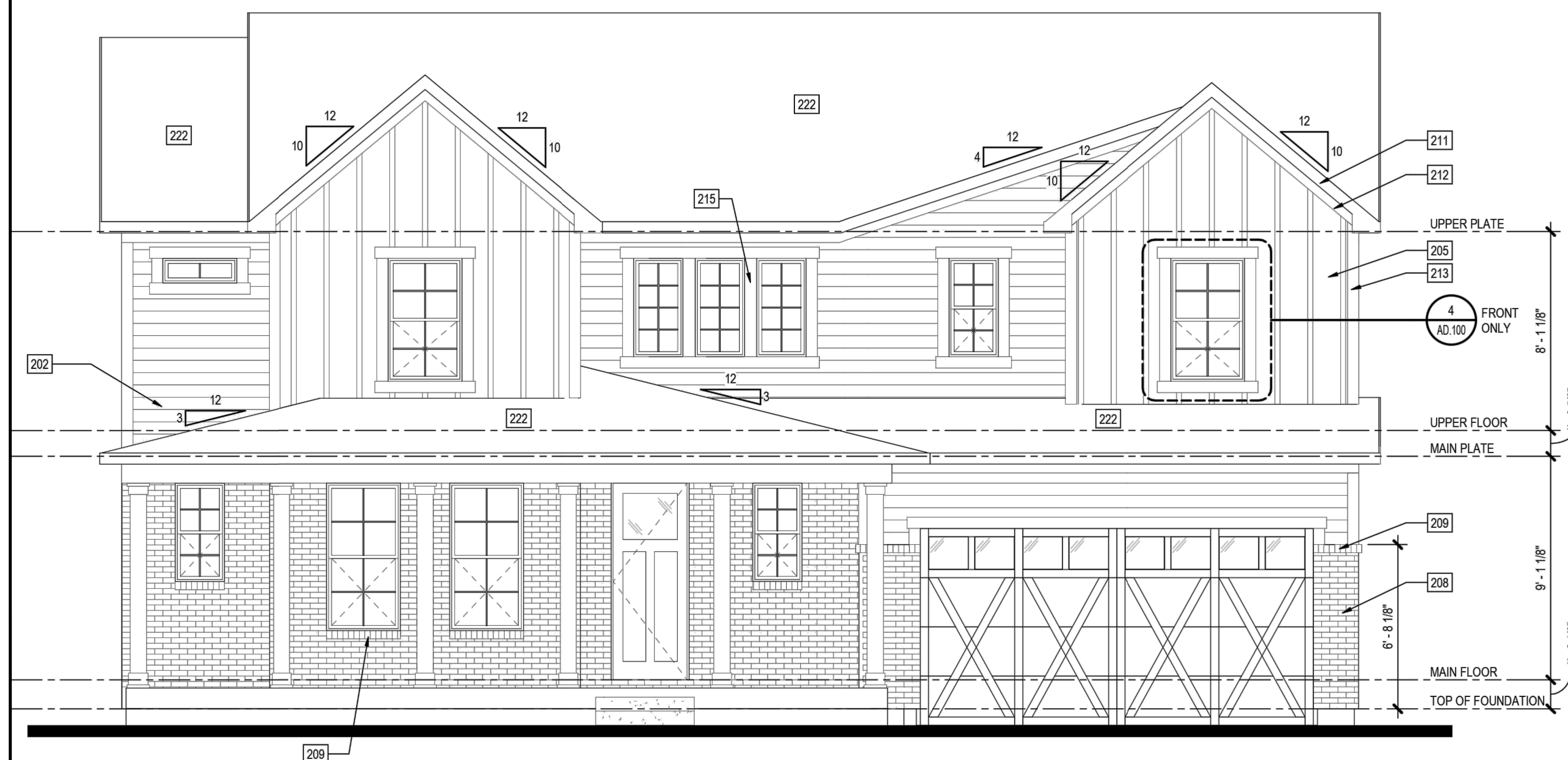
**Front Elevation**

SCALE: 1/4" = 1'-0"

**Modern Farmhouse**

40' SINGLE FAMILY HOME- TYPE 1

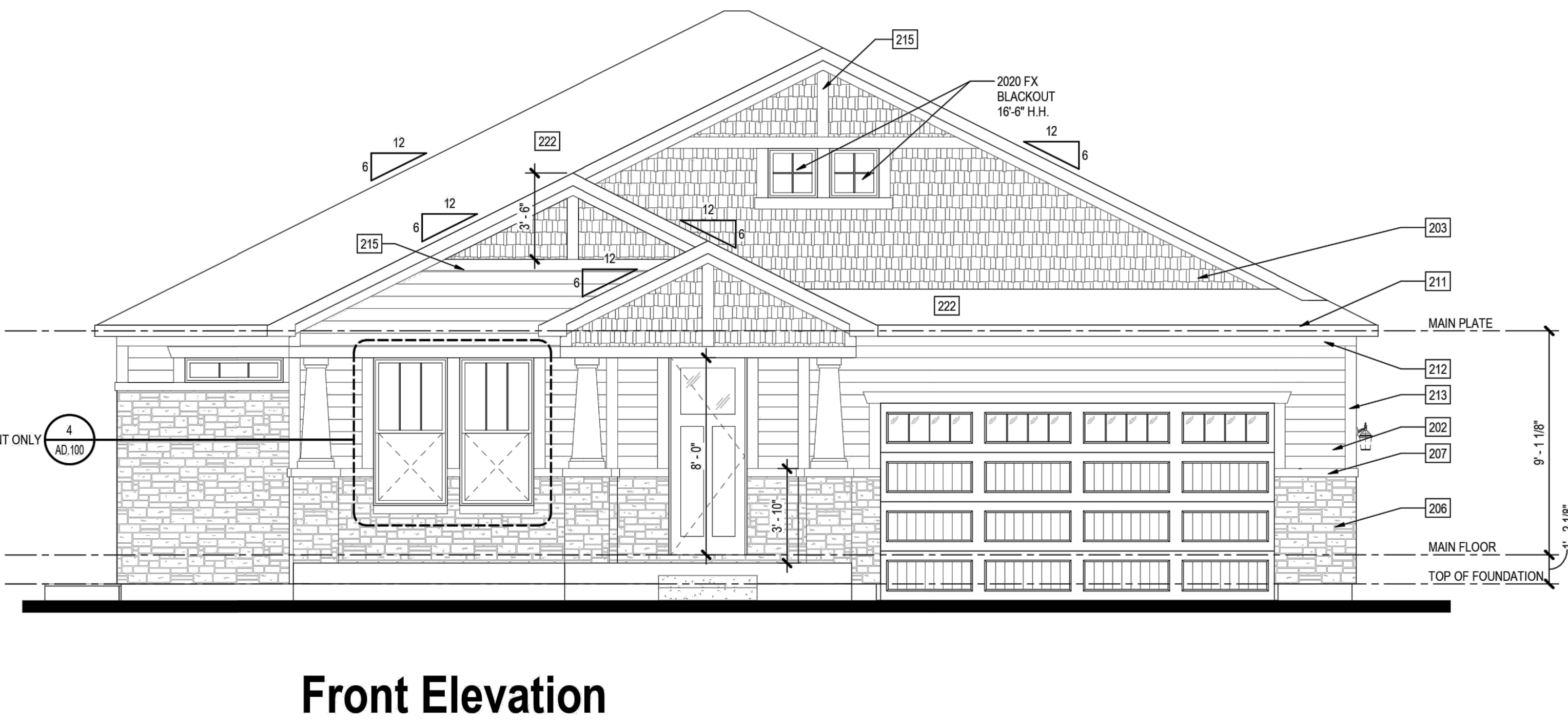
40' SINGLE FAMILY HOME- TYPE 2



**Front Elevation**

SCALE: 1/4" = 1'-0"

**Modern Farmhouse**



**Front Elevation**

SCALE: 1/4" = 1'-0"

**Craftsman**

50' SINGLE FAMILY HOME- TYPE 1

50' SINGLE FAMILY HOME- TYPE 2

# BLUE SKY PRAIRIE FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

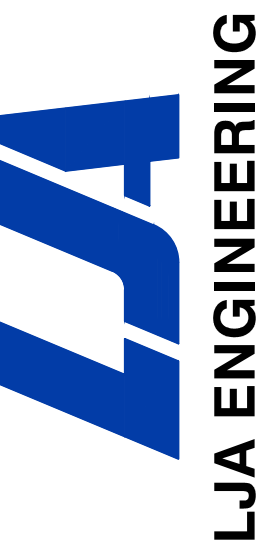


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63 SUNSET DR  
BAILEY, CO 80421  
303.242.1572



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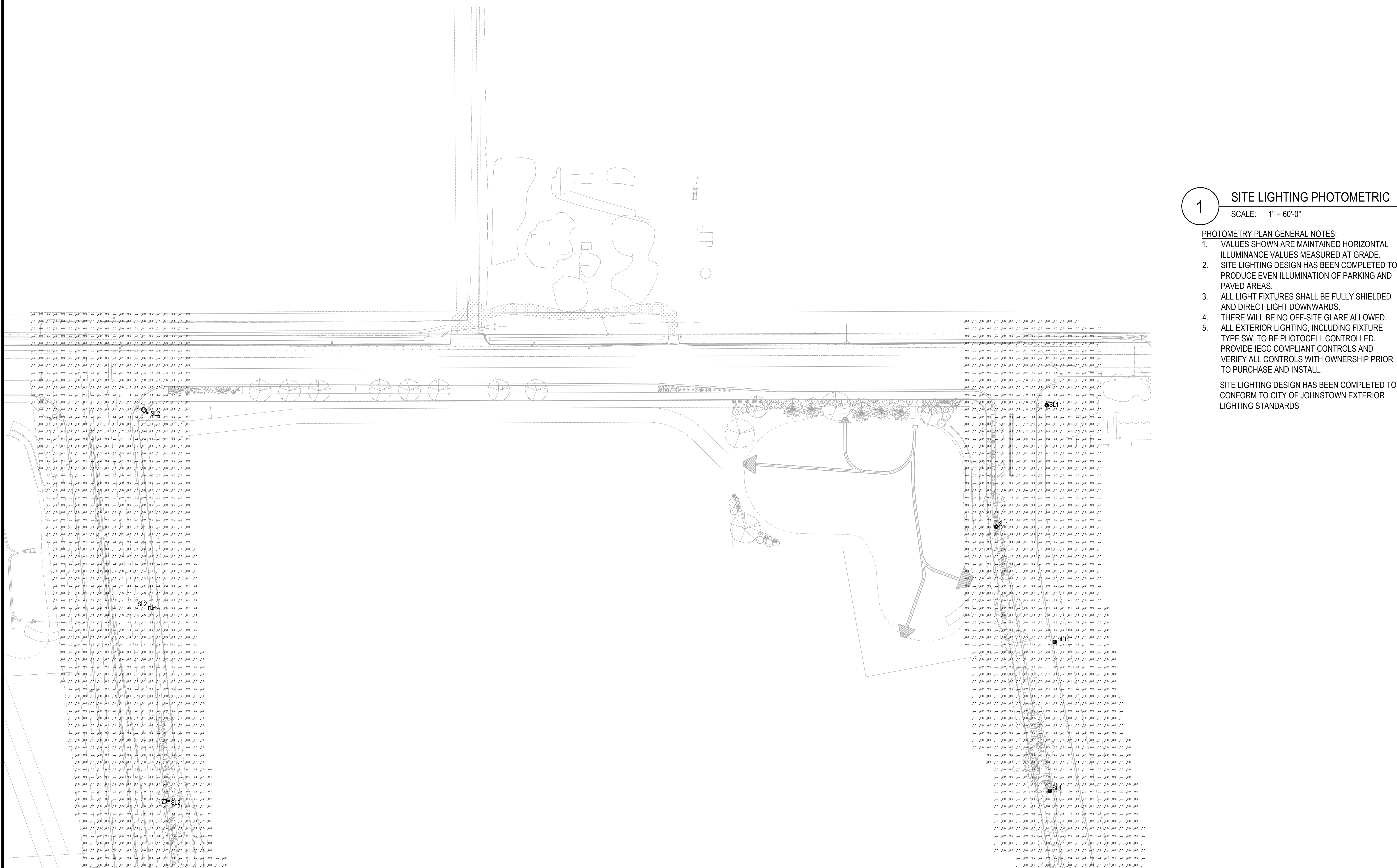
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



LJA ENGINEERING

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The Henry Design Group  
1501 Wazee St., Suite 1-C  
Denver, CO 80202  
Phone: 303.446.2388



## 1 SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 60'-0"

- PHOTOMETRY PLAN GENERAL NOTES:**
- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
  - SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS.
  - ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
  - THERE WILL BE NO OFF-SITE GLARE ALLOWED.
  - ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO CITY OF JOHNSTOWN EXTERIOR LIGHTING STANDARDS

APPLICANT	COLA, LLC / VIEW HOMES
555 MIDDLE CREEK PKWY, SUITE 500	JOHNSTOWN, CO 80821
TIM BUSCHAR	

CLIENT	COLA, LLC / VIEW HOMES
BLUE SKY PRAIRIE	JOHNSTOWN, COLORADO
SITE LIGHTING PHOTOMETRIC	

DATE	MARCH 27, 2024
REVISIONS	

DR. JLK	CH. JMB
P.M. JMB	

JOB SHEET NO.	32 OF 35
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NOT FOR CONSTRUCTION



# BLUE SKY PRAIRIE FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

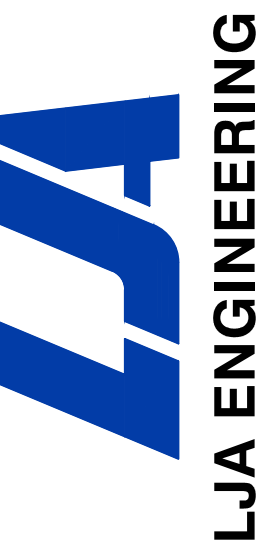


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303.242.1572



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LJA ENGINEERING

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henry design group  
1501 W. Wadsworth Blvd., Suite 100, Denver, CO 80202  
303.444.2284  
henrydesigngroup.com

APPLICANT  
COLA, LLC / VIEW HOMES  
550 MIDDLE CREEK PKWY, SUITE 500  
JOHNSTOWN, CO 80821

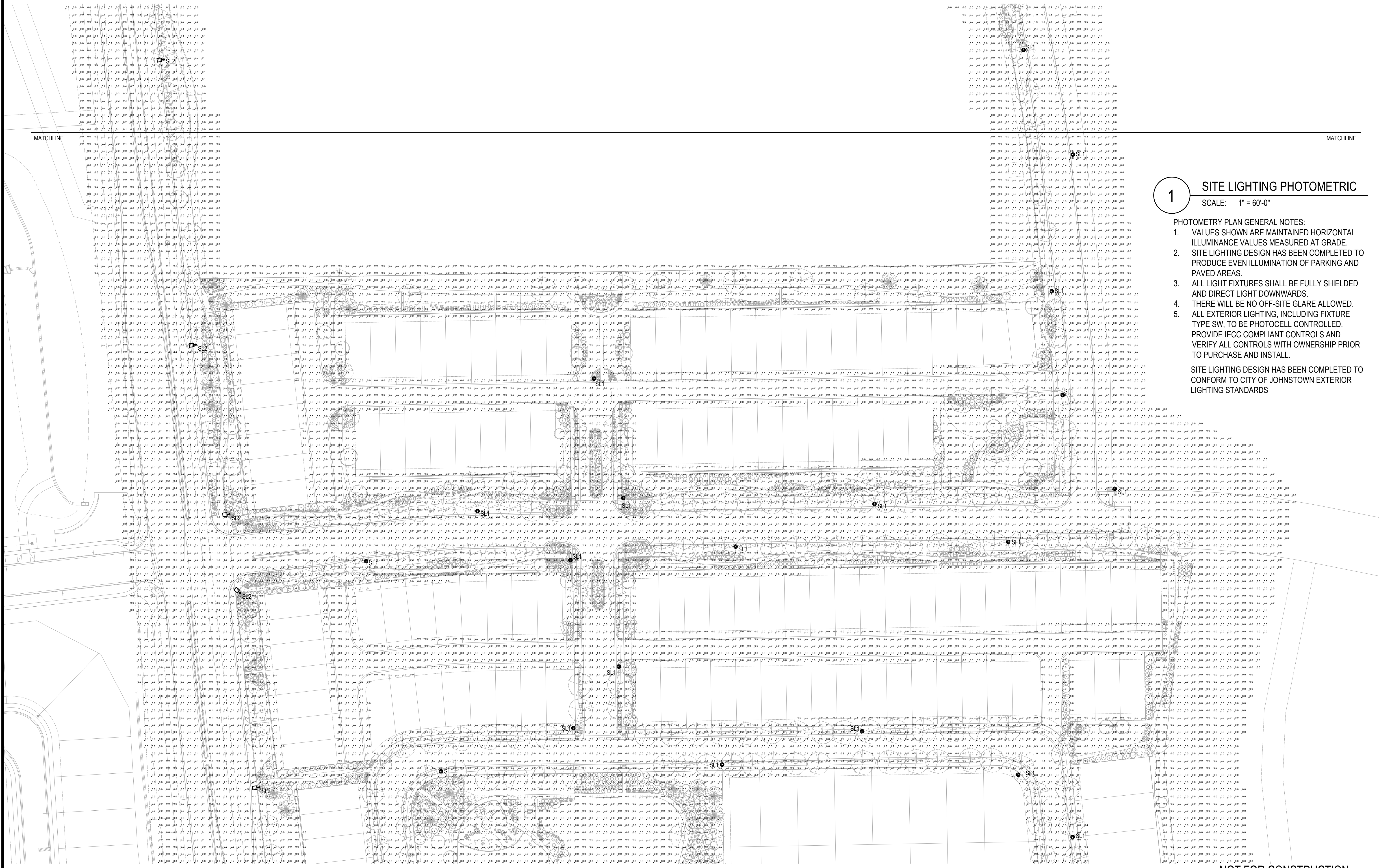
CLIENT  
COLA, LLC / VIEW HOMES  
BLUE SKY PRAIRIE  
JOHNSTOWN, COLORADO

DATE  
MARCH 27, 2024

REVISIONS	

DR. JLK	CH. JMB
P.M. JMB	
JOB	
SHEET NO.	33 OF 35

NOT FOR CONSTRUCTION



# BLUE SKY PRAIRIE FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

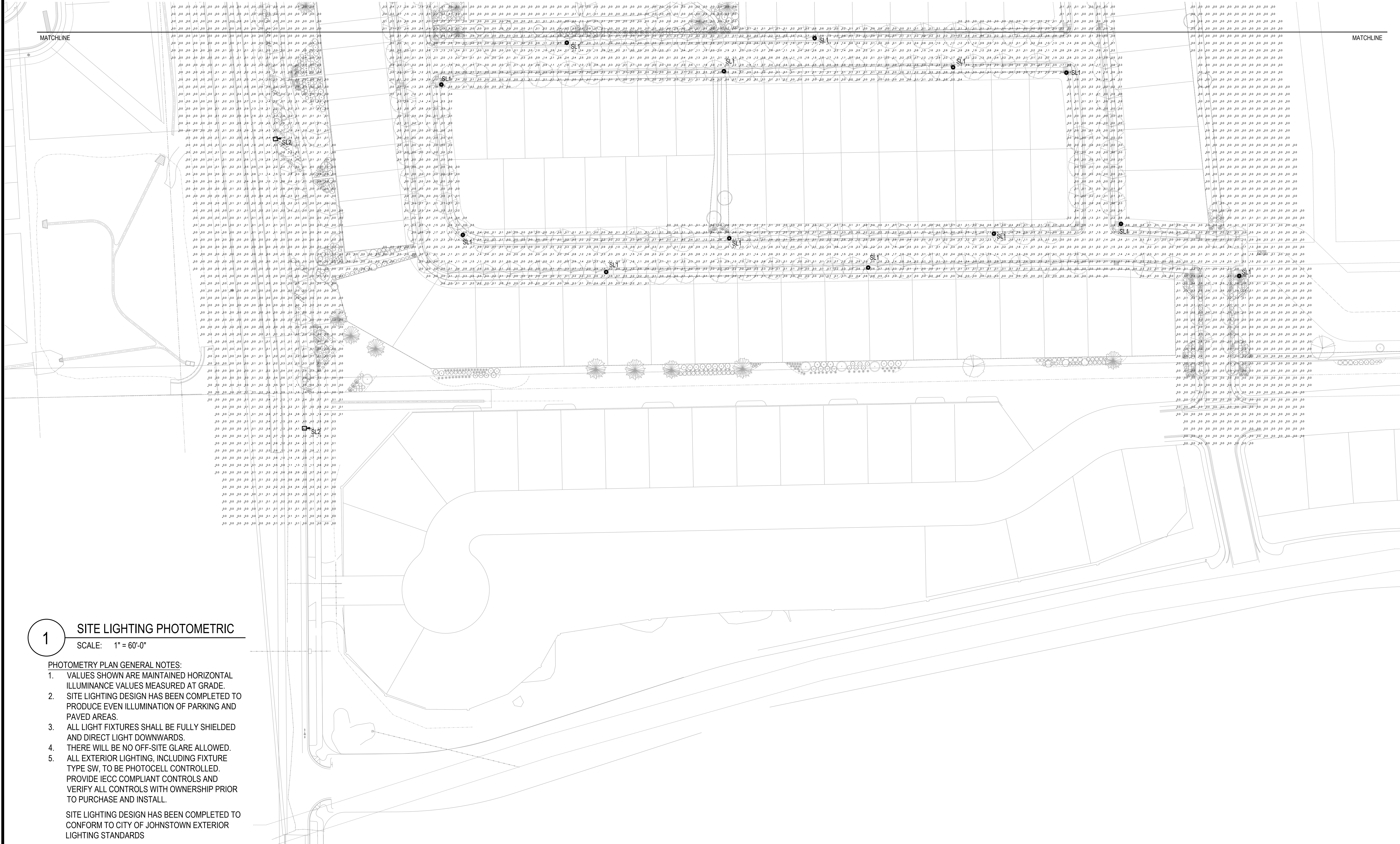


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BAILEY, CO 80421  
303.242.1572



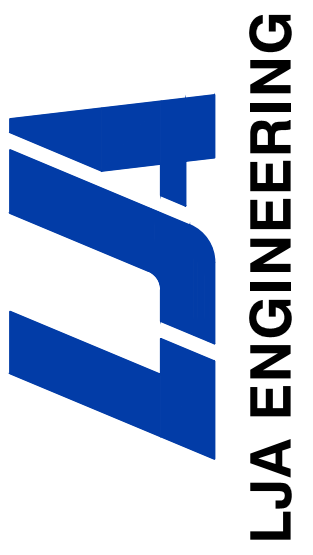
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1501 W. Wadsworth Blvd., Suite 100, Denver, Colorado 80202  
303.444.2348 • hdesign@henrydesign.com

The Henry Design Group  
1501 Wadsworth St., Suite 1-C  
Denver, CO 80202

APPLICANT  
COLA, LLC / VIEW HOMES  
555 MIDDLE CREEK FERRY, SUITE 500  
JOHNSTOWN, CO 80821

CLIENT  
COLA, LLC / VIEW HOMES  
BLUE SKY PRAIRIE  
JOHNSTOWN, COLORADO  
SITE LIGHTING PHOTOMETRIC

DATE  
MARCH 27, 2024

REVISIONS	

DR. JLK | CH. JMB  
P.M. JMB  
JOB  
SHEET NO.  
34 OF 35

NOT FOR CONSTRUCTION

# BLUE SKY PRAIRIE FINAL DEVELOPMENT PLAN TOWN OF JOHNSTOWN, COLORADO

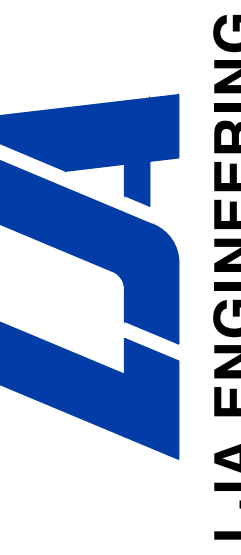


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BAILEY, CO 80421  
303.242.1572



Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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APPLICANT  
COLA, LLC / VIEW HOMES  
555 MIDDLE CREEK PKWY, SUITE 500  
JOHNSTOWN, CO 80821

CLIENT  
COLA, LLC / VIEW HOMES  
BLUE SKY PRAIRIE  
JOHNSTOWN, COLORADO

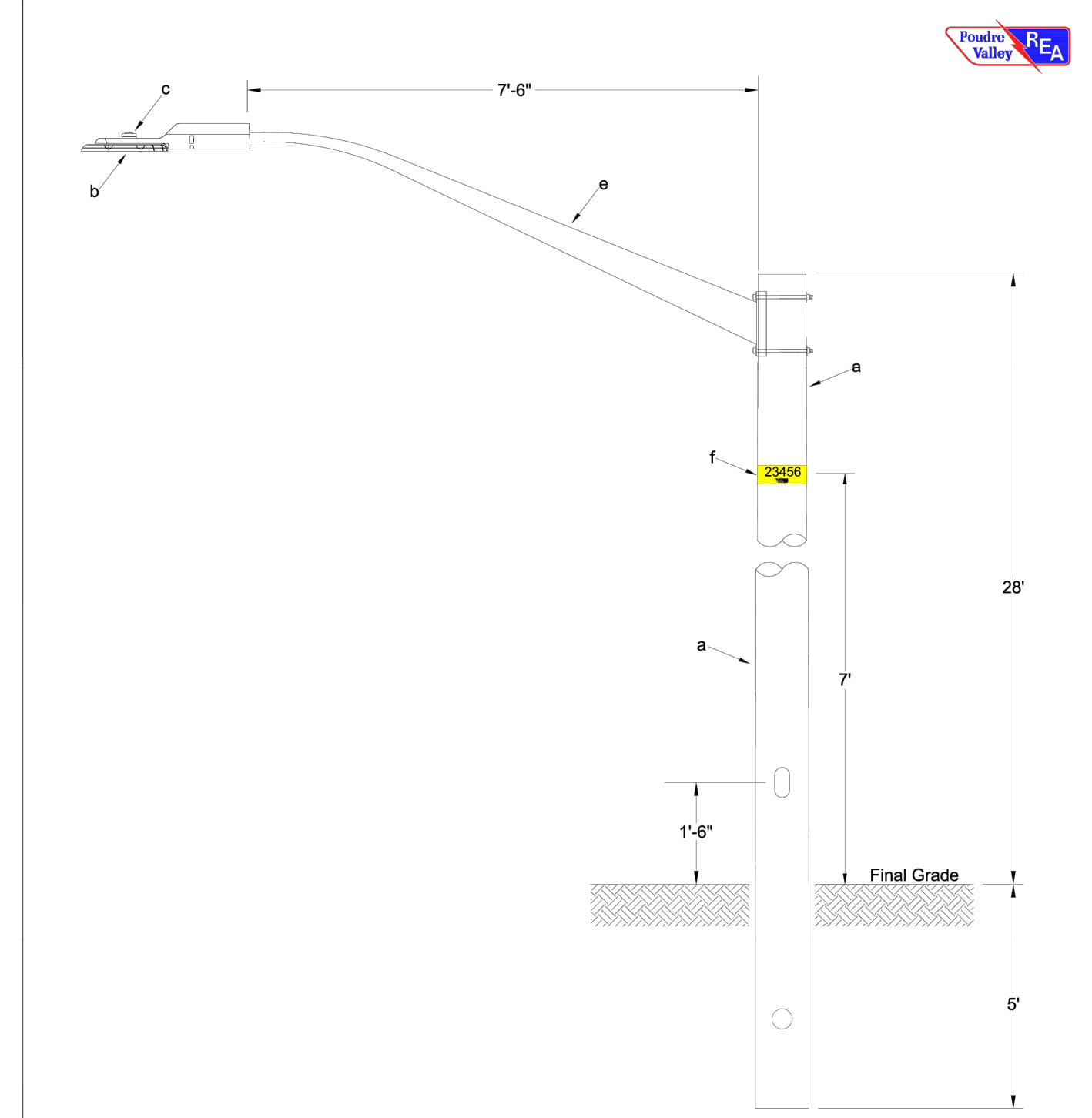
SITE LIGHTING PHOTOMETRIC

DATE  
MARCH 27, 2024

REVISIONS

DR. JLK | CH. JMB  
P.M. JMB  
JOB SHEET NO.  
35 OF 35

Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	SHIELDING
	SL1	PUBLIC STREET LIGHT LOCAL STREETS	18'-0"	BLACK	HOLOPHANE PUC12-P40-30K-MVOLT- FC3-BK-BL	LED	1.00	89W	FULL CUTOFF
	SL2	PUBLIC STREET LIGHT ARTERIAL STREETS	28'-0"	GREY	STREETWORKS VERD-G-CA2-150-73U- T3-AP	LED	1.00	150W	FULL CUTOFF



NOTES:  
Fuse Kit to be installed inside the previous device.

ITEM	MATERIAL	QTY	CODE	ITEM	MATERIAL	QTY	CODE
a	Pole, Fiberglass 33'	1	4725	d	Fuse Kit, Street Light (Not Shown)	1	3350
b	Cobra Head, 250W Equivalent LED	1	7935	e	Streetlight Arm for 33' Pole	1	7968
c	Photocell, Long-Life	1	3980	f	Street Light ID #	1	---

DESIGN LIMITS:

STREET LIGHT - 250W EQUIVALENT LED - COBRA HEAD
POUDRE VALLEY RURAL ELECTRIC ASSOCIATION
UL2.25L

DATE: \_\_\_\_\_ CHKD: \_\_\_\_\_ APPVD: \_\_\_\_\_

Project	Catalog #	Type	SL2
Prepared by	Notes	Date	

### Streetworks

#### VERD VERDEON (CA-SERIES)

Roadway Luminaire

**Product Features**

- Light Authority
- BAA

**Interactive Menu**

- Ordering Information page 2
- Product Specifications page 2
- Energy & Performance Data page 3
- Control Options page 5

**Product Certifications**

**Quick Facts**

- Ideal replacement for 50W-250W+ HPS luminaires
- UL/cUL listed for wet locations
- Optional IP66 enclosure rating available
- Tool-less removable power door for easy maintenance
- Parallel and series surge protection available (10kV or 20kV)
- 3G vibration rated

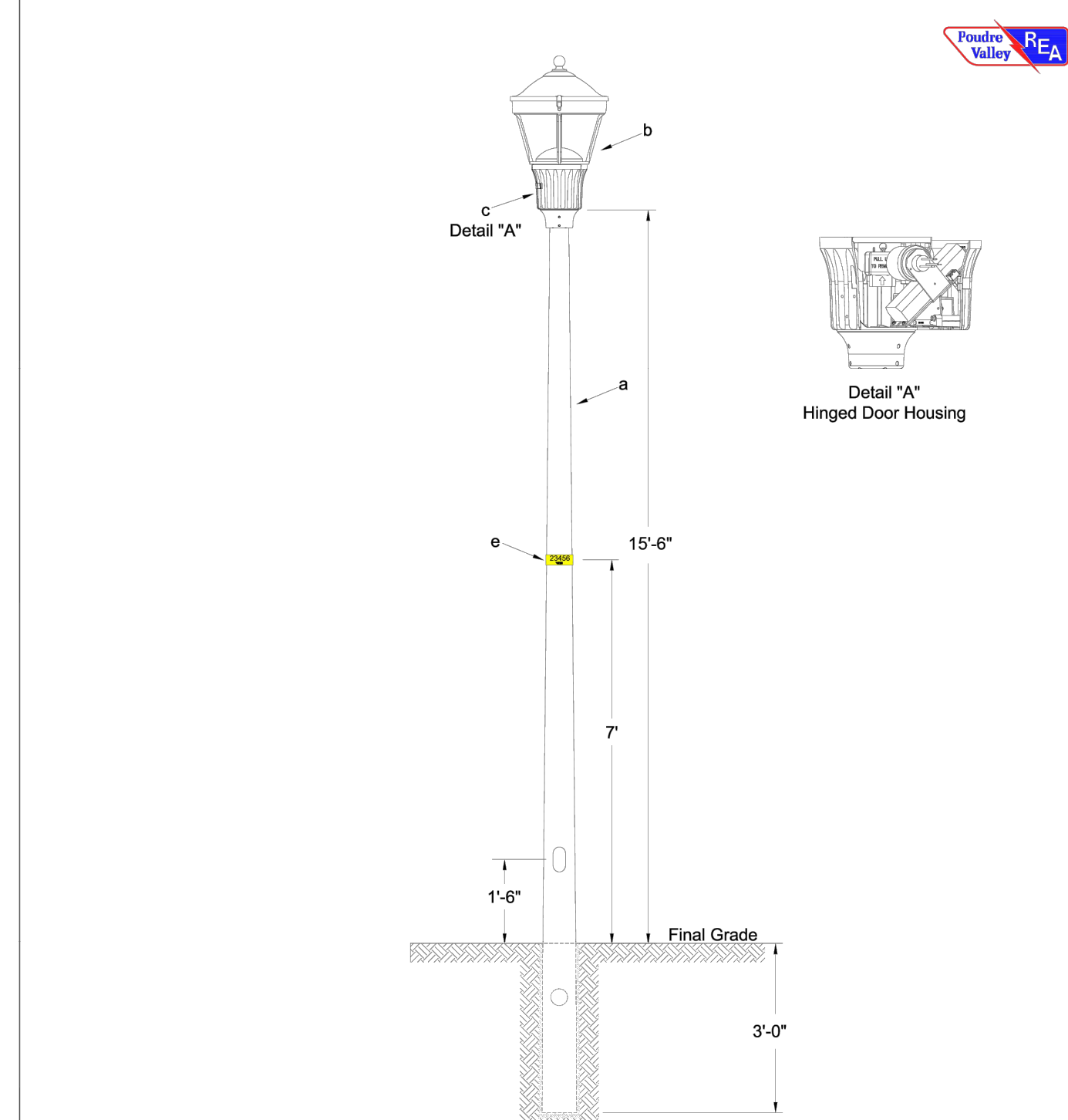
**Dimensional and Mounting Details**

VERD

VERD-G

**ARM DRILLING TYPE "M"**

COOPER Lighting Solutions  
PSS6601EN page 1  
November 20, 2022 4:13 PM



NOTES:  
Fuse Kit to be installed inside the previous device.

ITEM	MATERIAL	QTY	CODE	ITEM	MATERIAL	QTY	CODE
a	Pole, Fiberglass 33' Black	1	4715	d	Fuse Kit, Street Light (Not Shown)	1	3350
b	Streetlight, LED Post Top, Dark Sky	1	6680	e	Street Light ID #	1	---
c	Photocell, Long-Life	1	3980				

DESIGN LIMITS:

STREET LIGHT - 100W EQUIVALENT LED - DARK SKY
POUDRE VALLEY RURAL ELECTRIC ASSOCIATION
UL 1.1.LDS

DATE: \_\_\_\_\_ CHKD: \_\_\_\_\_ APPVD: \_\_\_\_\_

HOLOPHANE  
LEADER IN LIGHTING SOLUTIONS

PUC12  
Utility Tuff Series Luminaire Full Cutoff LED2

Rating Number: \_\_\_\_\_  
Type: SL1

**Mechanical**

- Heavy grade A360 cast aluminum (<1% copper)
- adjusts the light output and input voltage to meet site specific requirements. The AD module is preset at the factory to position number 8 (see chart).
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocell receptacle. Housing contains a tempered glass window to allow light to reach the cell for internal versions.
- Mount to slip-fitter that will accept 2" high by 2-7/8" to 3-1/8" O.D. pole tenon
- Decorative top cover contains stainless steel hinge which secures entry the LED optical chamber
- Polyester power coat paint to ensure maximum durability
- Finish meets 5,000-hour salt spray testing
- Holophane and RAL Classic finishes.

**Control Options**

- Field Adjustable Output (AO) module - On-board device that adjusts the light output and input voltage to meet site specific requirements. The AO module is preset at the factory to position number 8 (see chart).
- Factory Programmed Driver (FPD) - Customized lumen output prior to manufacturing and still enables control leads so other options can also be used
- Long Life Photocell (PCLL) - 20 Year Life
- 3 and 7 pin photocell receptacles internally (P3, P7) or externally (P3E, P7E) mounted

**Testing/Compliance**

- UL 1598 - Wet Locations Safety Listing
- Suitable for ambient temperatures -40°C to 40°C
- Designlights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check with the DLC Qualified Products List at www.designlights.org/DLC for updates.

**Electrical**

- All surge protection meets ANSI/IEEE C62.41.2 (10kV/10kA, Standard SPD meets 10kV/5kA per ANSI C136.2-2015.
- 20kV Option meets 20kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- LED drivers meet maximum total harmonic distortion (THD) of 20%, >0.90 Power Factor and are ROHS compliant.
- Minimum operating temperatures -40°C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.

**Optical**

- IP65-rated optical compartment
- LED circuit board located in the top cover
- Asymmetric or symmetric full cutoff distributions
- 2700K, 3000K, 4000K, and 5000K CCT
- 2000i Standard

**Warranty**

- 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LEI, UL LISTED, DLC, WATER

**DIMENSIONAL DATA**

Maximum Weight - 39 lbs  
Maximum Effective Projected Area - 1.24 sq. ft.

Acuity Brands | 3825 Columbus Rd., Greenville, OH 45733 | Phone: 866-903-9996 | www.holophane.com  
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NOT FOR CONSTRUCTION