

TOWN OF JOHNSTOWN, COLORADO
RESOLUTION NO. 2024-30

APPROVING THE FINAL PLAT AND FINAL DEVELOPMENT PLAN FOR THE GRANARY FILING THREE, BEING A SUBDIVISION OF TRACT A, OUTLOTS I, J, K AND L, THE GRANARY FILING ONE RECORDED AT RECEPTION NO. 4827067, LOT B, RECORDED EXEMPTION NO. 1059-7-3-RE-135 RECORDED AT RECEPTION NO. 16309 AND LOT B, RECORDED EXEMPTION NO. 1059-7-3-RE3403 RECORDED AT RECEPTION NO. 3011360 IN THE WELD COUNTY CLERK AND RECORDERS OFFICE, LOCATED IN PART OF THE SOUTH HALF OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 67 W. OF THE 6TH P.M., TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO, CONSISTING OF APPROXIMATELY 184.539 ACRES

WHEREAS, the Town of Johnstown, Colorado (the “Town”) is a Colorado home rule municipality, duly organized and existing under the laws of the State of Colorado and the Town’s Home Rule Charter; and

WHEREAS, Town Council is vested with authority to administer the affairs of the Town; and

WHEREAS, Hartford Investments, LLC, a Colorado limited liability company, submitted an application to the Town for approval of a Final Plat and Final Development Plan for The Granary Filing Three, a Subdivision of Tract A, Outlots I, J, K and L, the Granary Filing One Recorded at Reception No. 4827067, Lot B, Recorded Exemption No. 1059-7-3-RE-135 recorded at Reception No. 16309 and Lot B, Recorded Exemption No. 1059-7-3-RE3403 recorded at Reception No. 3011360 in the Weld County Clerk and Records office, located in Part of the South Half of Section 7, Township 4 North, Range 67 W. of the 6th P.M., Town of Johnstown, County of Weld, State of Colorado, consisting of approximately 184.539 acres; and

WHEREAS, on May 17, 2021, the Town Council conducted a public hearing and, pursuant to Resolution No. 2021-14, approved the Preliminary Plat and Preliminary Development Plan for The Granary Subdivision, with conditions, which conditions have been satisfied; and

WHEREAS, on July 1, 2024, the Town Council held a public hearing concerning approval of the Final Plat and Final Development Plan for The Granary Filing Three and, after reviewing the file and conducting such hearing, found that the Final Plat and Final Development Plan for The Granary Filing Three are substantially consistent with the Preliminary Plat and Preliminary Development Plan for The Granary Subdivision and the Town’s Comprehensive Plan and meet the requirements contained in the Johnstown Municipal Code and the Town’s regulations; and

WHEREAS, based on the foregoing, the Town Council desires to approve the Final Plat and Final Development Plan for The Granary Filing Three.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO, THAT:

Section 1. Final Plat Approval: The Final Plat for The Granary Filing Three, a Subdivision of Tract A, Outlots I, J, K and L, the Granary Filing One Recorded at Reception No.

4827067, Lot B, Recorded Exemption No. 1059-7-3-RE-135 recorded at Reception No. 16309 and Lot B, Recorded Exemption No. 1059-7-3-RE3403 recorded at Reception No. 3011360 in the Weld County Clerk and Recorders office, located in Part of the South Half of Section 7, Township 4 North, Range 67 W. of the 6th P.M., Town of Johnstown, County of Weld, State of Colorado, consisting of approximately 184.539 acres, attached hereto and incorporated herein by reference as Exhibit A, is hereby approved.

Section 2. Final Development Plan Approval: The Final Development Plan for The Granary Filing Three, attached hereto and incorporated herein by reference as Exhibit B, is hereby approved.

Section 3 Recording: The Town Clerk is hereby directed to obtain the appropriate signatures for the Final Plat for The Granary Filing Three and have it properly recorded at the Office of the Weld County Clerk and Recorder.

PASSED, SIGNED, APPROVED, AND ADOPTED THIS ____ day of July, 2024.

ATTEST:

TOWN OF JOHNSTOWN, COLORADO

By: _____
Hannah Hill, Town Clerk

By: _____
Michael P. Duncan, Mayor

Exhibit A

TRACT A, OUTLOTS I, J, K AND L, THE GRANARY FILING ONE RECORDED AT RECEPTION NO. 4827067, LOT B, RECORDED EXEMPTION NO. 1059-7-3-RE-135 RECORDED AT RECEPTION NO. 16309 AND LOT B, RECORDED EXEMPTION NO. 1059-7-3-RE3403 RECORDED AT RECEPTION NO. 3011360 ALL IN THE WELD COUNTY CLERK AND RECORDERS OFFICE, LOCATED IN PART OF THE SOUTH HALF OF SECTION 7, T. 4 N., R. 67 W. OF THE 6TH P.M., TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.

THE GRANARY FILING THREE AND FILING FOUR

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T. 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

Owner/Applicant

Hartford Acquisitions
4801 Goodman Rd
HARTFORD Timmath, CO 80547
H O M E S 970.614.4219

Planner

Russell + Mills Studios
506 S College Ave, Unit A
Fort Collins, CO 80524
970.484.8855

Civil Engineer

Galloway
5265 Ronald Reagan Blvd.
Suite 210
Johnstown, CO 80534
970.800.3300

Traffic Engineer

Rollins Consult, LLC
PO Box 1184
Fort Collins, Co 80522
970.213.2393

RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS

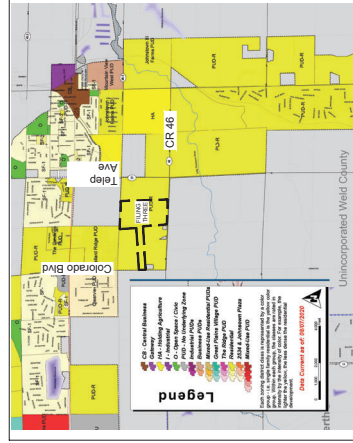
The provisions of this PUD shall prevail and govern development to the extent permitted by the Town of Johnstown municipal code. Where standards, details, and guidelines of the PUD (outline, preliminary, or final development plans) do not clearly address a specific subject or are silent, the Johnstown Municipal Code and other standards, regulations, and guidelines shall be used. All proposed development is subject to Town of Johnstown review procedures.

GENERAL NOTES

- A metro district shall be established to provide for common area maintenance and financing of the public improvements.
- The site does not contain any known underground spaces.
- No archaeological or historic areas have been identified on the site.
- No floodplains, wetlands, or geologic hazards have been identified or mapped on the site.



Vicinity Map



Zoning Map: Existing Zone District PUD-R

LAND SUMMARY

Existing zoning: PUD-R

LAND USE SUMMARY	AREA (SF)	AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE	% OF TOTAL
OUTLOTS						
A	11,537	2.63	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
B	6,671	0.153	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
C	10,400	0.239	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
D	8,080	0.185	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
E	4,655	0.103	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
F	10,032	0.230	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
G	29,472	5.498	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
H	11,771	2.702	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
J	67,268	1.544	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
J	74,129	1.702	METRO DISTRICT	METRO DISTRICT	PRESTREAM ACCESS, UTILITY AND DRAINAGE EASMENT, OPEN SPACE	
OUTLOTS TOTAL	825,284	14.881				8.12%
TRACT						
A	2,533,240	58.096	DEVELOPER	METRO DISTRICT	FUTURE DEVELOPMENT	
B	2,652,819	60.903	DEVELOPER	METRO DISTRICT	FUTURE DEVELOPMENT	
C	777,582	18.303	DEVELOPER	METRO DISTRICT	FUTURE DEVELOPMENT	
TRACTS TOTAL	5,963,641	135.699				73.63%
STREET FRONT OF HWY (ALL PUBLIC ROWWAYS)	AREA (SF)	AREA (ACRES)				
ROADWAY FRONT-OF-ROW	784,486	17.939				9.22%
SINGLE FAMILY LOTS	653,798	15.027	122			8.63%
TOTAL AREA	8,038,529	184.339	TOTAL PERCENTAGE			100.00%

APPROVALS

TOWN COUNCIL

THIS PLAN, TO BE KNOWN AS THE GRANARY, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY RESOLUTION NUMBER _____, PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE _____ DAY OF _____, 2024.

BY: _____ MAYOR

ATTEST: _____ TOWN CLERK

SHEET INDEX

PDF PAGE #

SHEET #	TITLE
1	G001 Cover
2	G002 Design Guidelines
3	LS100 Lot and Street Typicals
4	LS101 Site Plan
5	LS102 Site Plan
6	LS103 Site Plan
7	LS104 Site Plan
8	LS401 Site Enlargement Plan - Central Pool Area
9	LS402 Site Enlargement Plan - Central Playground
10	LS501 Site Details
11	LS502 Site Details
12	LP100 Landscapa Schedule and Notes
13	LP101 Landscapa Plan
14	LP102 Landscapa Plan
15	LP103 Landscapa Enlargement Plan - Central Pool Area
16	LP401 Landscapa Enlargement Plan - Central Playground
17	LP403 Landscapa Enlargement Plan - Entrance
18	LP404 Landscapa Details
19	LP501 Open Space Plan
20	OS100 Fencing Plan
21	FP102 Fencing Details
22	FP101 Fencing Details
23	FP101 Fencing Details
24	FP101 Fencing Details
25	SD1 Swimming Pool & Wader Sections
26	A0.8 Site Details
27	A1.0 Elevations & Plan
28	A1.1 Overall Floorplan
29	A4.1 Exterior Building Elevations
30	A4.2 Exterior Building Elevations
31	A4.3 Exterior Material Board
32	A200 Building Elevations - Christie Farmhouse
33	A201 Building Elevations - Christie Farmhouse
34	A202 Building Elevations - Christie Craftsman
35	A203 Building Elevations - Christie Craftsman
36	A204 Building Elevations - Hemingway Farmhouse
37	A205 Building Elevations - Fitzgeraid Farmhouse
38	A206 Building Elevations - Fitzgeraid Farmhouse
39	A207 Building Elevations - Hemingway Farmhouse
40	A208 Building Elevations - Hemingway Farmhouse
41	A209 Building Elevations - Hemingway Farmhouse
42	A210 Building Elevations - Hemingway Craftsman
43	A211 Building Elevations - Rowing Farmhouse
44	A212 Building Elevations - Rowing Farmhouse
45	A213 Building Elevations - Rowing Farmhouse
46	A214 Building Elevations - Rowing Craftsman
47	A215 Building Elevations - Rowing Craftsman
48	A216 Building Elevations - Twin Farmhouse
49	A217 Building Elevations - Twin Craftsman
50	A218 Building Elevations - Twin Craftsman
51	A219 Building Elevations - Twin Craftsman
52	IR-0 Irrigation Notes & Schedule
53	IR-1 Irrigation Plan
54	IR-2 Irrigation Plan
55	IR-3 Irrigation Plan
56	IR-4 Irrigation Plan
57	IR-5 Irrigation Details
58	IR-6 Irrigation Details
59	IR-7 Irrigation Details

LEGAL DESCRIPTION: TRACT A, OUTLOTS L, K AND L, THE GRANARY FILING ONE RECORDED AT RECEPTION NO. 4827667, LOT B, RECORDED EXEMPTION NO. 10597-3-RE-135 RECORDED AT RECEPTION NO. 48309 AND LOT B, RECORDED EXEMPTION NO. 10597-3-RE-403 RECORDED AT RECEPTION NO. 301180 ALL IN THE WELDY COUNTY CLERK AND RECORDERS OFFICE, LOCATED IN PART OF THE SOUTH HALF OF SECTION 7, T. 4 N., R. 67 W., OF THE 6TH P.M., TOWN OF JOHNSTOWN, COUNTY OF WELD, STATE OF COLORADO.

MAINTENANCE NOTE:

Maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property Owner shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the development agreement. Should the Owner fail to adequately maintain said facilities, the Town of Johnstown shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs incurred by the Town will be assessed to the property Owner.

GENERAL OVERLOT DRAINAGE NOTE:

Lots and Tracts as platted may be required to convey surface drainage from other lots and tracts in this filing, in accordance with Town of Johnstown requirements and the approved drainage plan for this filing. No alterations to the grading of the lots and tracts may be made that would disrupt the approved drainage plan, without prior approval from the Town of Johnstown. All natural and improved drainage ways or drainage systems in said lots and tracts shall be maintained by the lot or tract owner. Should the owner fail to adequately maintain said facilities, the Town of Johnstown shall have the right to enter said land for the purposes of operations and maintenance of the drainage ways or drainage systems. All such maintenance costs incurred by the Town will be assessed to the property owner.

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and
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Date: 04/03/2024

Drawn By: SL

Checked By: CR

Sheet Name

COVER

Sheet

G001

THE GRANARY
Johnstown, Colorado





THE GRANARY FILING THREE AND FILING FOUR FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T. 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

DESIGN GUIDELINES

PART 1 - INTRODUCTION

1.1 STATEMENT OF INTENT

The Granary Filing Three is a community in the Town of Johnstown located west of Teleg Avenue and between the Great Western Railroad and County Road 46.

- A minimum of 5 home footprints/sites shall be available within the development. No one footprint/site may comprise more than 35% of all homes. These can be modified to meet the below requirements.
- Smaller house elevations shall not be placed within three (3) lots on either side or across the street per Town of Johnstown Design Standards.
- Home elevations shall have at least two distinguishing characteristics. These may include differences in exterior materials, changes in roof lines, and garage placement / construction.
- Model homes shall be allowed within the PUD in the discretion of the developer; however, the architectural provisions of this PUD shall apply equally to all such model homes. Developer shall be allowed early model homes) provided there is initial acceptance of subdivision improvements in the area of the model homes that will allow access and operation of said homes). A maximum of one(1) in the area of each model will be permitted.
- Minor cosmetic changes such as different paint color, re-siding or creating minor nooks of the exterior architectural elevations, shutters, decorative brackets, or using different brick or stone color shall not meet the intent of defining a different elevation.

BUILDING DESIGN STANDARDS

- Materials:
 - Visible masonry include: rough, conventional half-round siding and shingles, shined cedar shingles, painted wood siding, and stucco. Brick and stone (including full stone) are encouraged but not required.
 - Siding patterns may include clapboard, shingle, drop siding, tongue-and-groove (vertical or horizontal), board & batten, and shingle coursing.
 - Exposed foundations exceeding eight-inch height on the front elevation are not permitted.
 - Front porches, stoops, and patios shall be constructed with masonry or other suitable covered architectural feature to accentuate the entry to the home.
- Roofs: The maximum length of a continuous steel facing roof ridge is 40 feet, unless the roof is punctuated by dormers or intersections with perpendicular roof systems.
 - The dwelling units on a block face shall have no eaveled gables that are a minimum of 4 feet behind either the living area of the home or the front of a covered porch.
 - Three-car garages, if proposed, shall be:
 - Attached to the main house, back from the two-car garage/plane, or
 - Separated by a two-car width masonry column from the two-car garage.
 - Tandem configuration.

PARKS AND OPEN SPACE

A large portion of the PUD will be open space with a natural character and trail system for more passive recreation. The existing ditch and detention pond areas will be maintained as open space with trails along them. These areas also will provide a natural native plant palette that will enhance views and areas of use. Three neighborhood parks will be located centrally within the full build out of the development. A playground with play areas for both 2-5 and 5-12 years, shelter, picnic tables, turf areas and pool will support active recreation needs within this full build out of the development. 31% open space and 10% park space is required for the project site, per Town code.

LANDSCAPE STANDARDS

The design intent for THE GRANARY PUD is to create a planned community that celebrates the surrounding plains ecosystem. Water conservation through appropriate landscaping techniques and plant species selection will be emphasized for the project.

Entry Point Treatment

Entry points into the THE GRANARY PUD from the east, south and west will be emphasized with more dense landscape areas that create a visual backdrop and entry point definition. Architectural elements such as monument signage, large rock displays, and the addition of some other three points of focus.

Open Space / Buffer / Yard Treatment

Landscapes along arterial streets will contain a native seed mix with bushes and native perennials. Clusters of drought trees (i.e. hackberry, sand cherry, oaks, alders, spruce, pine, etc.) creating visual interest that is rooted in the context of the upland ecosystem.

Modified Residential Collector Street Treatment

The main west-southwest collector street shall be located along modified residential collector streets. These shall be a minimum of 40' from all street lights. Tree-lawns shall be drought tolerant species of bluegrass and fescue species.

Single-Family Backyard Lot Treatment

Backyard landscaping shall be dictated by each homeowner, or the builder at the builder's discretion. Design shall be in accordance with the covenants of the community. One(1) tree per lot shall be required in the front yard. Two(2) trees shall be required in the front yard of corner lots, one(1) within the front yard and one(1) in the side yard being public R.O.W. A minimum of 30% of each single-family lot shall consist of drip irrigated shrub beds with low to medium water use plants.

Central Park Treatment

The central park, playground and active mode area shall contain irrigated turf areas for field recreation and structured activity uses including a playground and pool. Remaining areas shall be landscaped with shrub beds that contain drought tolerant species. Large landscaped areas will be located adjacent areas of congregation to provide shade and structure to the spaces.

Detention Pond Treatment

Native seed mix with species appropriate for these mode conditions shall be utilized within detention and water channel areas. The detention pond shall be landscaped with low water use plants. Turf areas along collector street tree lawns and in park source points to filter and clean run-off water. Forays shall be created to contain sediment and create easy maintenance of these structures.

IRRIGATION

The site will utilize irrigation through the native seed zone areas for a three(3) year establishment period, depending on significant droughts. All native seed areas will have irrigation with the exception of the bottoms of the detention ponds. All trees in native seed areas will be on a separate drip zone. Turf areas along collector street tree lawns and in park areas will have separate drip zone. Irrigation systems will be provided with drip irrigation. Single-family lots will provide permanent irrigation for both front and rear yards.

SETBACKS

Front Yard: 15' Habitable Living Area / 20' to Garage
Side Yard: 5' to rear of lot / 15' to R.O.W.
Rear Yard: 5'

SETBACK ENCROACHMENTS

Fences may extend into setback area up to 3 feet.
Fences may extend into setback area up to 2 feet.
Roof overhangs may extend into setback area up to 3 feet.

MAXIMUM BUILDING HEIGHT

Maximum building height is 33 feet (project of highest edge and eave).

PORCHES

Minimum porch depth to be 6 feet.
Minimum porch area to be 48 SF.

FENCING

Fencing shall be located as per Fence Type Location Diagram. Three fencing types shall be provided as per details. Side yard fencing shall terminate a minimum of 5' behind front elevation of house.

SIGNAGE

A monument sign identifying the final development name shall be located at all four major development entrances. Materials and character of signage shall reflect the overall theme and character of the development. All lighting shall meet Town of Johnstown standards.

STORAGE

Boats, campers, and trailer vehicles shall only be permitted to be stored within completely closed structures or within areas specifically designated for such storage; provided such areas are behind building setback lines.

POOL

- There shall be no direct physical connection between the sewer system and any drain from the swimming pool or recirculation system. Any swimming pool, gutter drain, and/or overflow, from the recirculation system when discharged to the sewer system shall be discharged through a suitable air gap so as to provide passably probability of average into the swimming pool piping system.
- Backwash filter wastewater from the pool shall be connection only the sanitary sewer. The proposed backwash frequency, duration, discharge flow rate and total volume per backwash is projected to be no greater than the rate and volume outlined in the approved pool plans, and the total volume to be drained, shall be no greater than the amounts outlined in the approved pool plans.
- Pool discharge, other than backwash filter wastewater, shall be discharged to the storm sewer system, or other approved location, in full accordance with the Colorado Department of Public Health and "Colorado Backwash Guidelines" published by the Colorado Department of Public Health and Environment, 125, 2004.
- Pool discharge shall be scheduled only during the off-peak hours of midnight to 6:00am. Any proposed discharged outside of these hours and/or RETE must be cleared in advance with the owner of the storm sewer or sanitary sewer system receiving the discharge (i.e. Town of Johnstown Wastewater and Utilities).
- Pool discharge shall be scheduled in advance with the owner of the storm sewer or sanitary sewer system receiving the discharge (i.e. Town of Johnstown Wastewater and Utilities).
- Pool discharge shall be scheduled in advance with the owner of the storm sewer or sanitary sewer system receiving the discharge (i.e. Town of Johnstown Wastewater and Utilities).

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Date: 04/02/2024

Drawn By: SL

Checked By: CR

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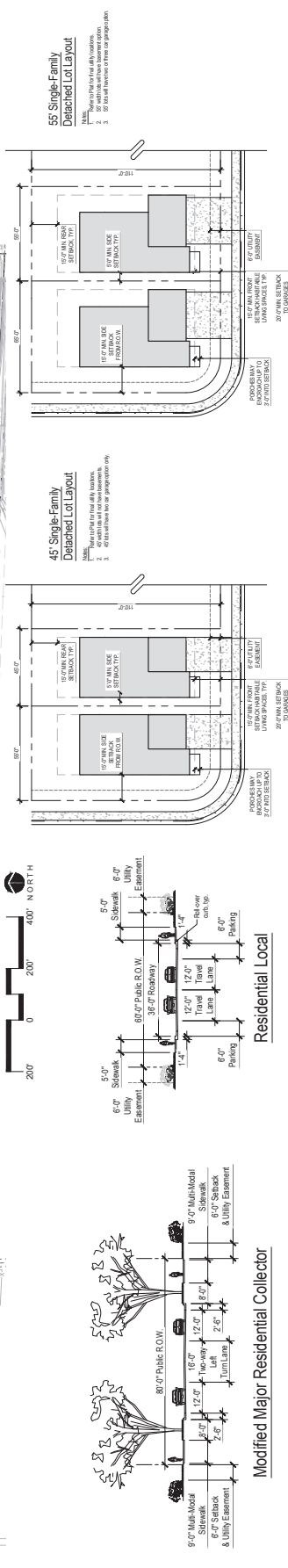
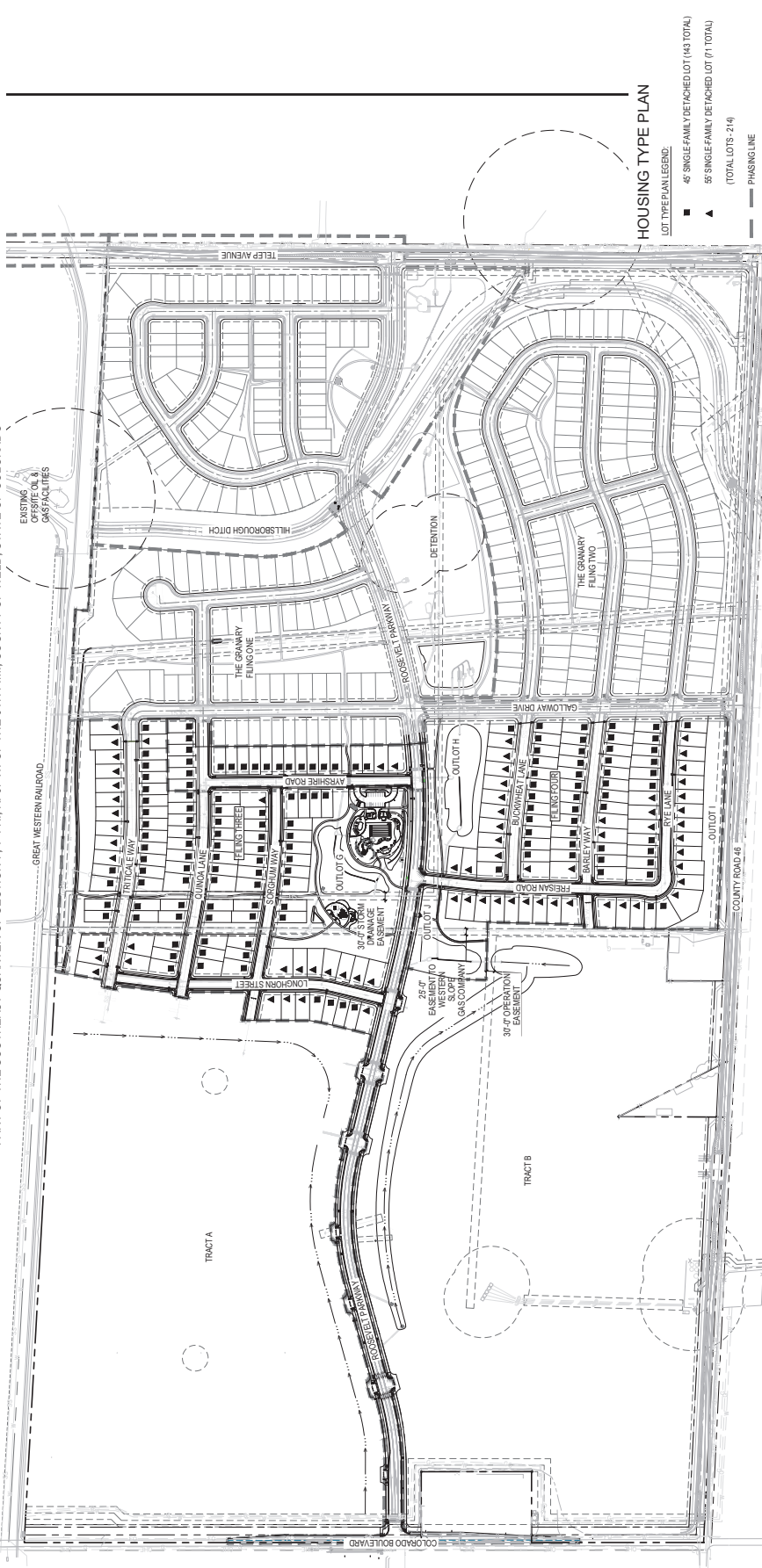
DESIGN GUIDELINES

Sheet

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THE GRANARY FILING THREE AND FILING FOUR FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T. 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



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 Checked By: CR
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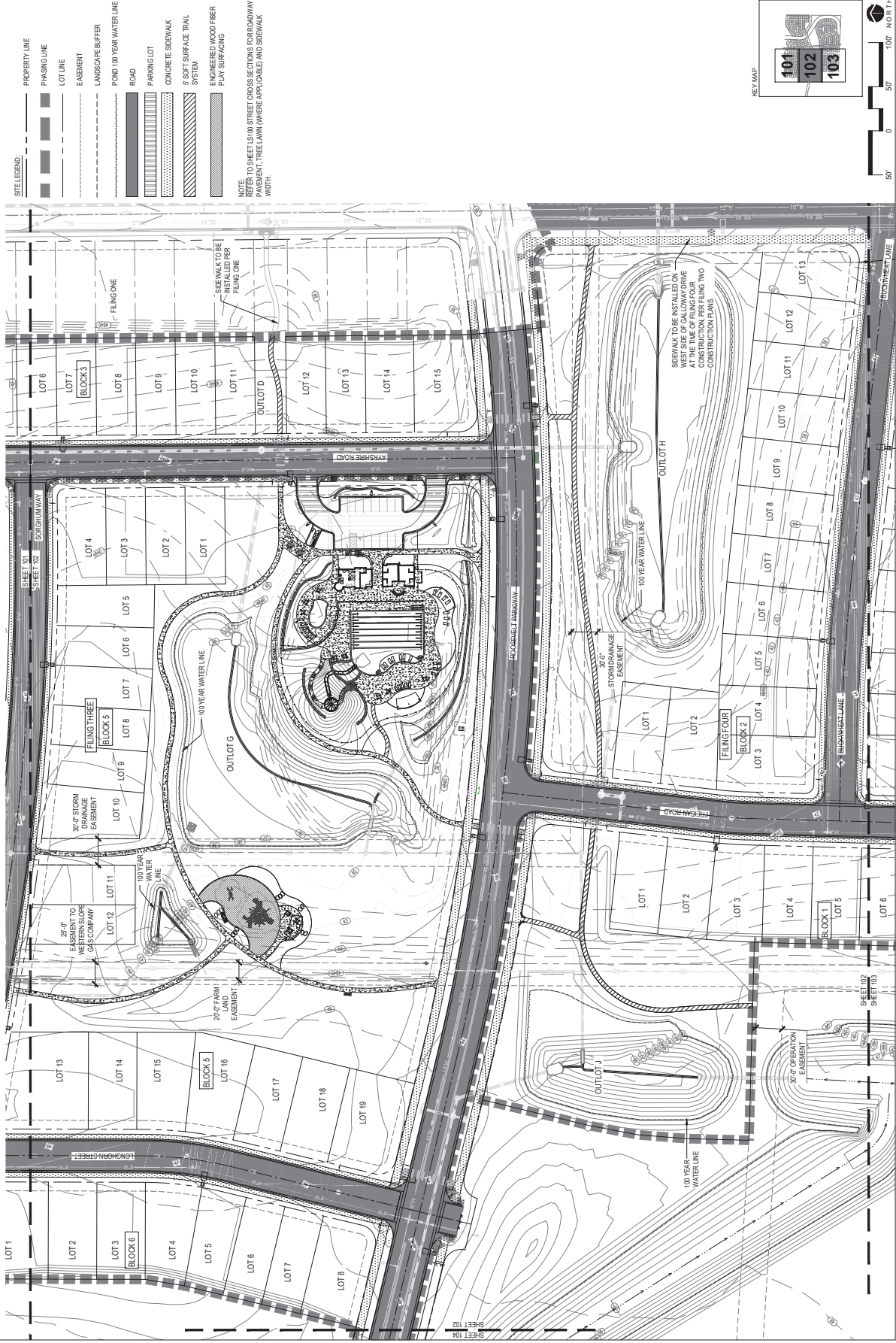
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SITE PLAN

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THE GRANARY FILING THREE AND FILING FOUR

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO




SITE LEGEND:

- PROPERTY LINE
- PHASING LINE
- LOT LINE
- EASEMENT
- LANDSCAPE BUFFER
- POND 100 YEAR WATER LINE
- ROAD
- PARKING LOT
- CONCRETE SIDEWALK SYSTEM
- 5 FOOT SURFACE TRAIL SYSTEM
- ENGINEERED WOOD FIBER PLAY SURFACING

NOTE: REFER TO SHEET LS100 STREET CROSS SECTIONS FOR ROADWAY PAVEMENT, TREE LAW (WHERE APPLICABLE) AND SIDEWALK WIDTH.

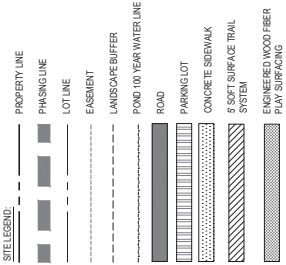
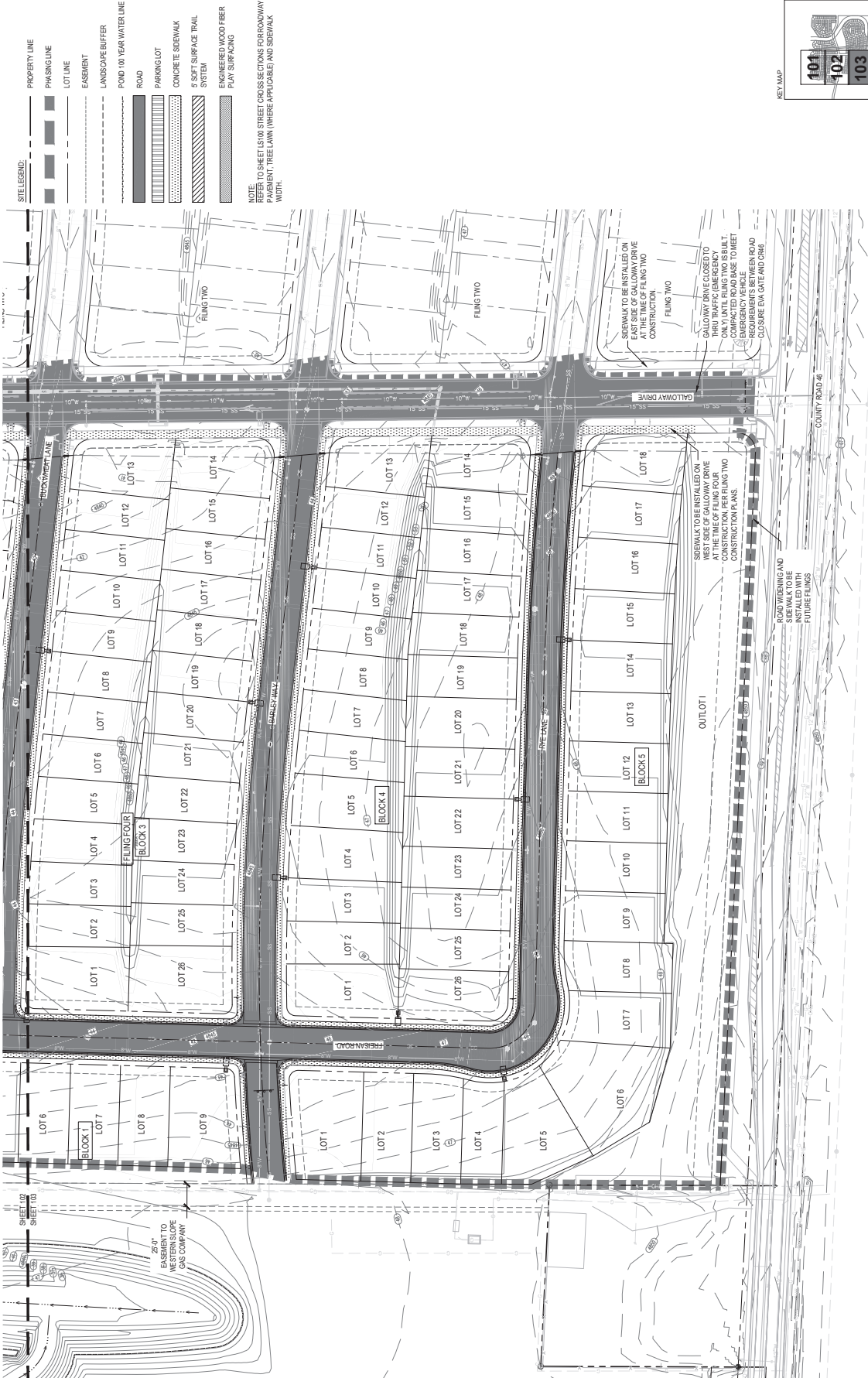
KEY MAP



Scale: 0 50' 100' NORTH

THE GRANARY FILING THREE AND FILING FOUR FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T. 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



NOTE: REFER TO SHEET LS100 STREET CROSS SECTIONS FOR ROADWAY PAVEMENT, TREE LAWN (WHERE APPLICABLE) AND SIDEWALK WIDTH.

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Date: 04/03/2024
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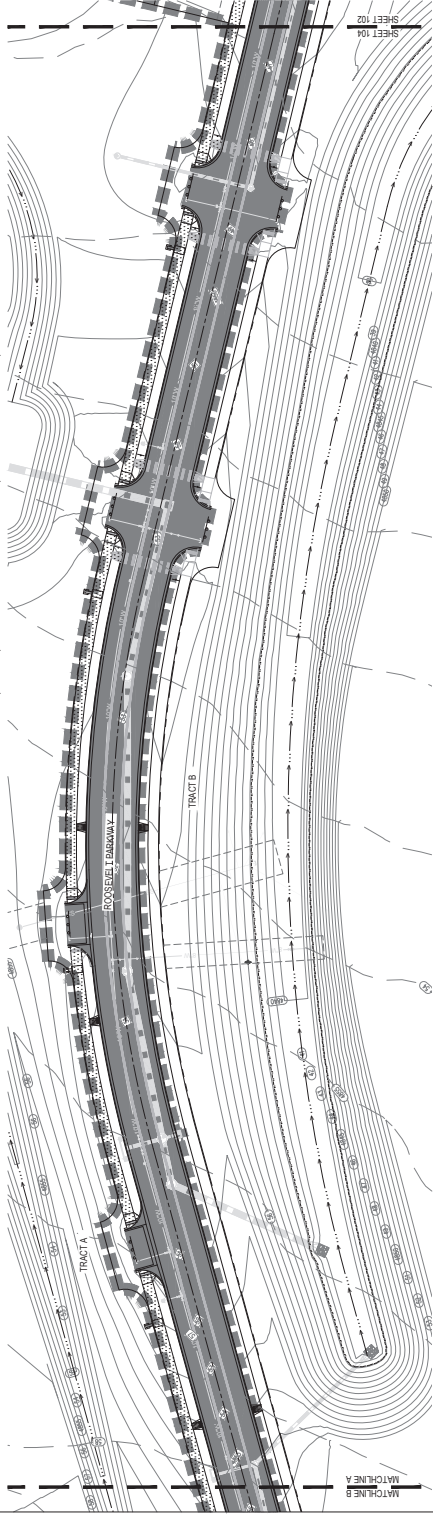
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THE GRANARY FILING THREE AND FILING FOUR

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T. 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



- SITE LEGEND:**
- PROPERTY LINE
 - PHASING LINE
 - LOT LINE
 - EASEMENT
 - LANDSCAPE BUFFER
 - FORD 100 YEAR WATER LINE
 - ROAD
 - PARKING LOT
 - CONCRETE SIDEWALK
 - 5 SOFT SURFACE TRAIL SYSTEM
 - ENGINEERED WOOD FIBER PLAY SURFACING

NOTE: REFER TO SHEET LS104 STREET CROSS SECTIONS FOR ROADWAY PAVEMENT, TREE LAWN (WHERE APPLICABLE) AND SIDEWALK WIDTH.



THE GRANARY
Johnstown, Colorado

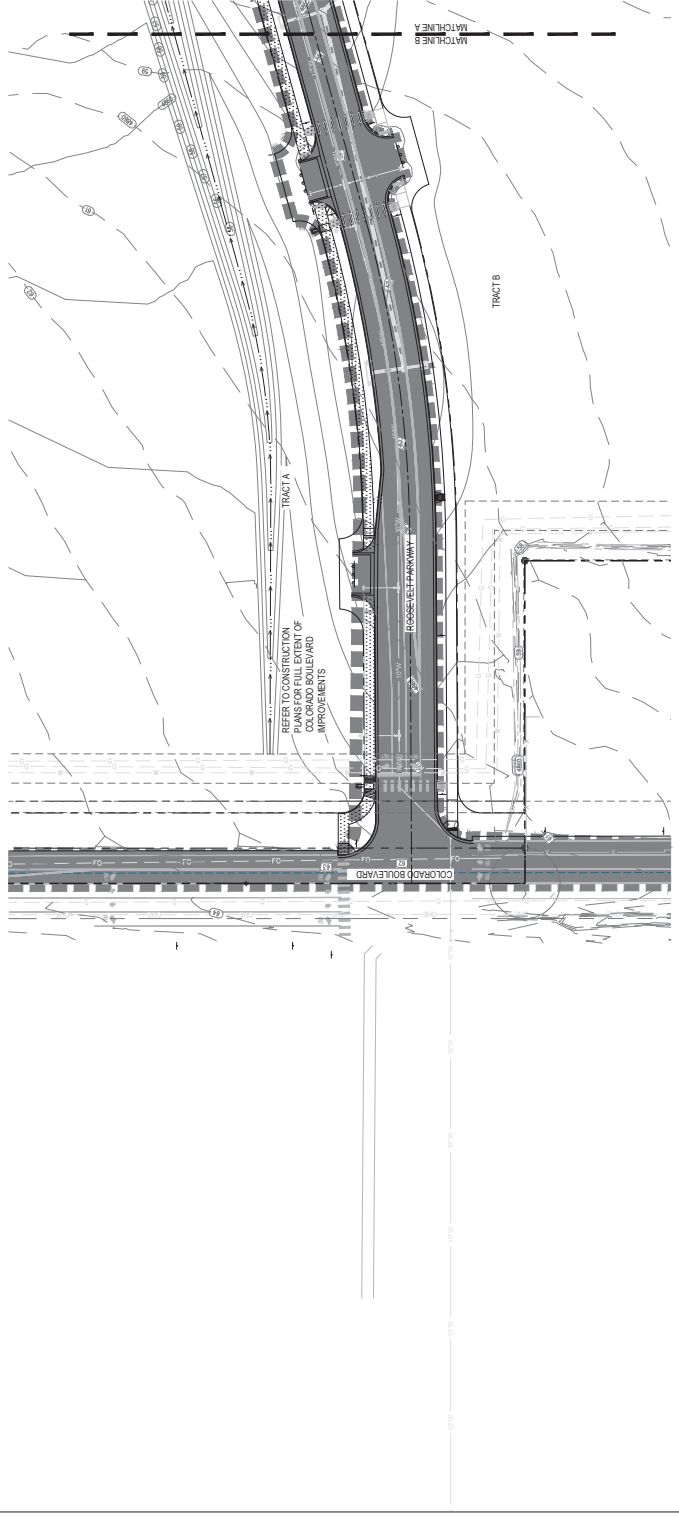
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Checked By: CR

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SITE PLAN

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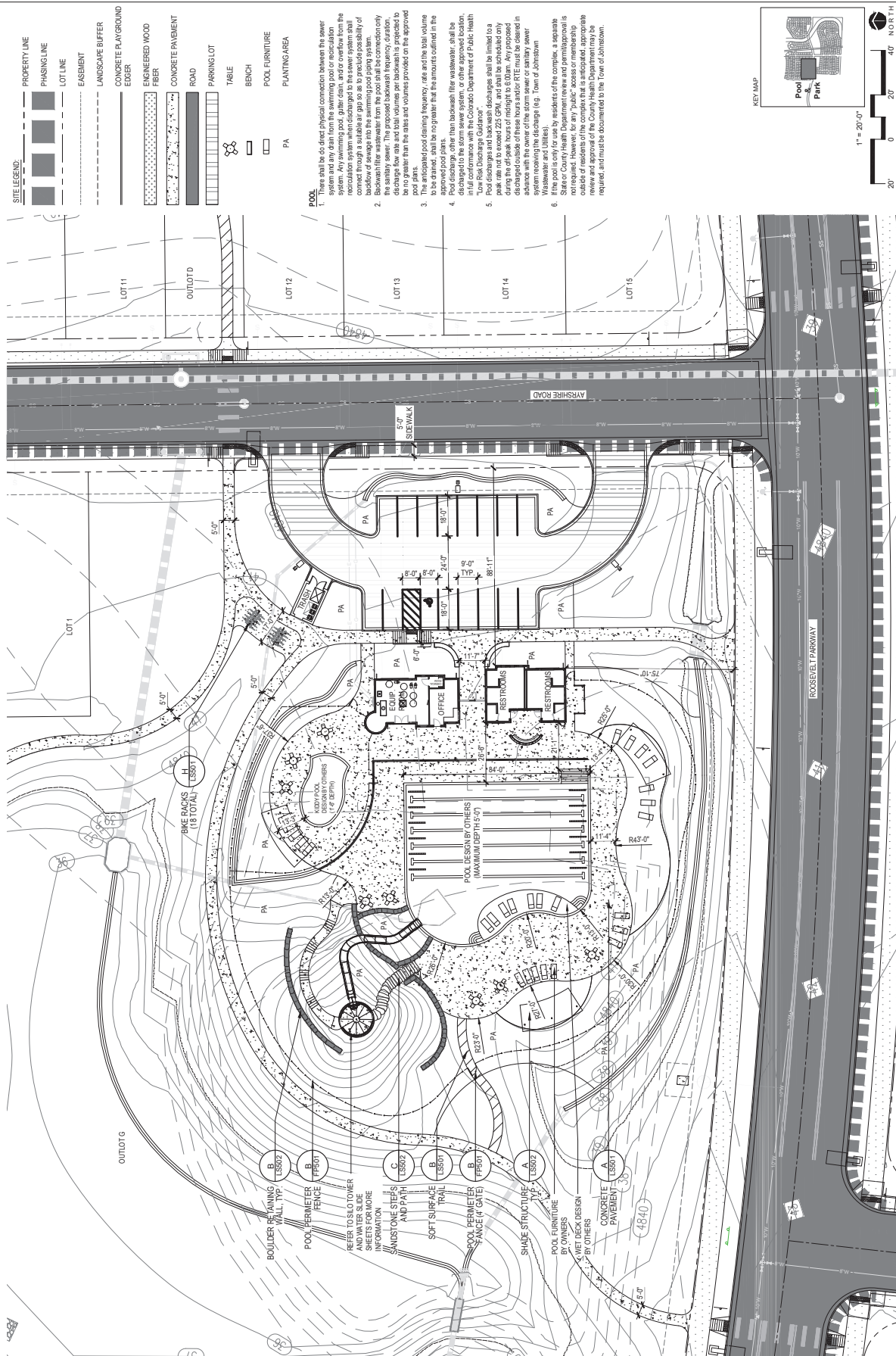


KEY MAP

0 50 100' NORTH

THE GRANARY FILING THREE AND FILING FOUR FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



SITE LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	PHASING LINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	LANDSCAPE BUFFER
[Symbol]	CONCRETE PLAYGROUND EDGER
[Symbol]	ENGINEERED WOOD FIBER
[Symbol]	CONCRETE PAVEMENT
[Symbol]	ROAD
[Symbol]	PARKING LOT
[Symbol]	TABLE
[Symbol]	BENCH
[Symbol]	POOL FURNITURE
[Symbol]	PA

POOL

- There shall be no direct physical connection between the sewer system and any drain from the swimming pool or recreation area. The pool or recreation area shall be designed to prevent the recreation system when discharged to the sewer system spill backflow of sewage into the swimming pool piping system.
- The sanitary sewer: The proposed backwash frequency, duration, discharge flow rate and total volume per backwash is proposed to be no greater than the rates and volumes provided on the approved discharge schedule. The anticipated pool draining frequency, rate and the total volume to be drained, shall be no greater than the amounts outlined in the approved pool plans.
- Pool discharge other than backwash (for wastewater) shall be approved by the County Health Department. The discharge shall be in full conformance with the Colorado Department of Public Health "Low Risk Discharge Guidance".
- Pool discharge and backwash discharge shall be limited to a maximum of 100 gallons per minute (GPM) and shall be limited during the off peak hours of midnight to 6:00 AM. Any proposed discharge outside of these hours and/or RTE must be cleared in advance with the owner of the storm sewer or sanitary sewer system (Wastewater Utilities) Town of Johnstown.
- If the pool is only for use by residents of the complex, a separate permit is not required. However, for any "public" access or maintenance, a separate permit is required. The permit application shall be reviewed and approved by the County Health Department may be required, and must be documented to the Town of Johnstown.

FDP
FILING THREE
and
FILING FOUR

Date: 04/03/2024
Drawn By: SL
Checked By: CR

Sheet Name
SITE ENLARGEMENT
PLAN - CENTRAL
POOL AREA
Sheet

LS401



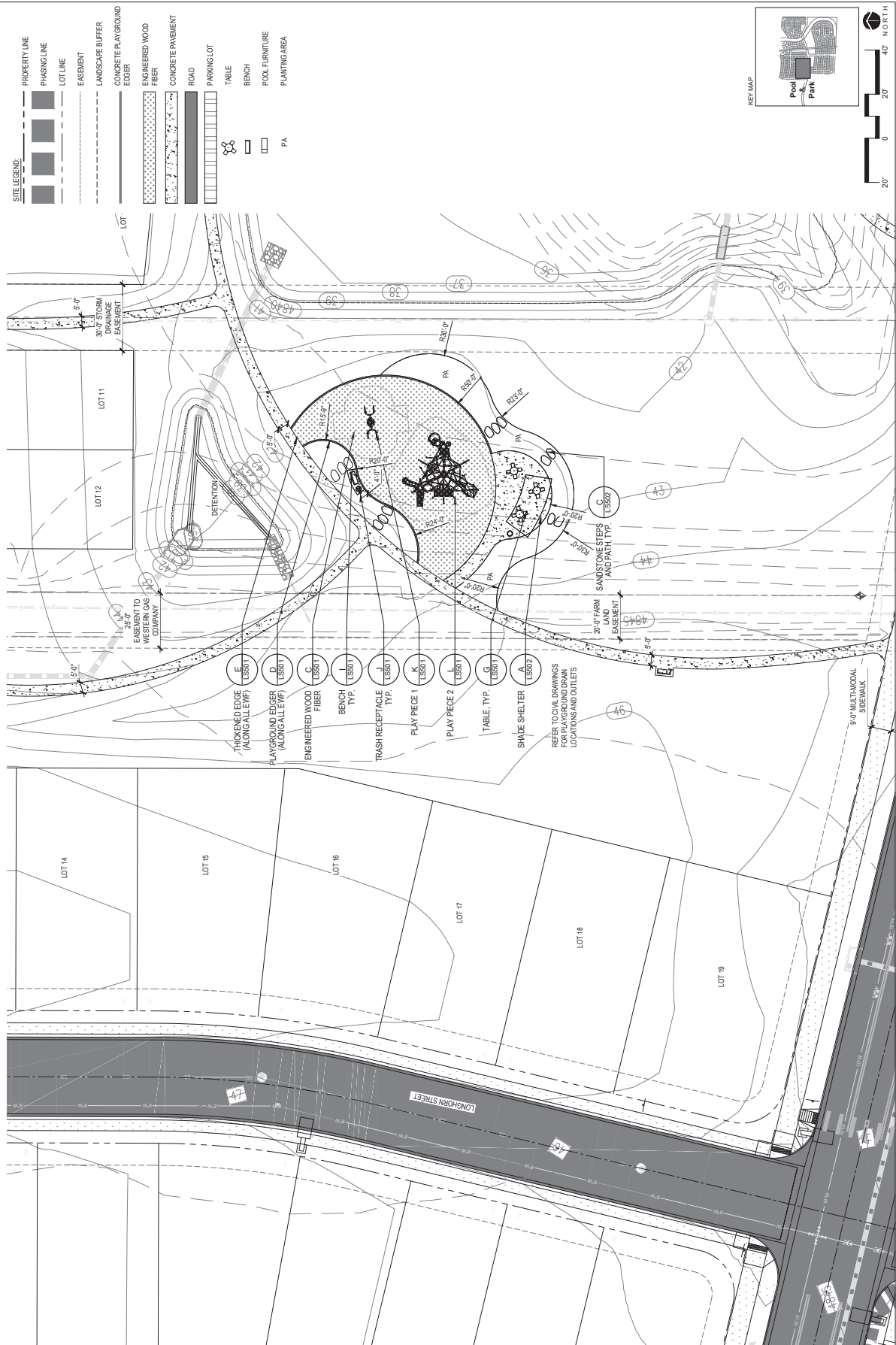
THE GRANARY

Johnstown, Colorado



THE GRANARY FILING THREE AND FILING FOUR FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



SITE LEGEND

- PROPERTY LINE
- PHASING LINE
- LOT LINE
- EASEMENT
- LANDSCAPE BUFFER
- CONCRETE PLAYGROUND EDGER
- ENGINEERED WOOD FIBER
- CONCRETE PAVEMENT
- ROAD
- PARKING LOT
- TABLE
- BENCH
- POOL FURNITURE
- PLANTING AREA

REV.	COMMENT	DATE

FDP
FILING THREE
and
FILING FOUR

Date: 04/03/2024
Drawn By: SL
Checked By: CR

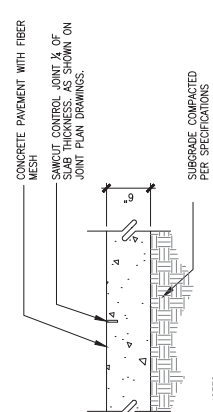
Sheet Name
SITE ENLARGEMENT
PLAN - CENTRAL
PLAYGROUND
Sheet

LS402

THE GRANARY FILING THREE AND FILING FOUR

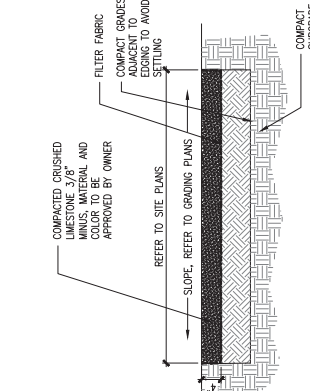
FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

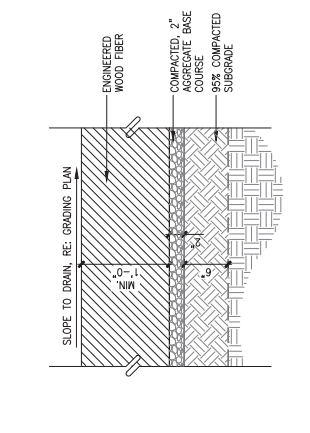


- NOTES:**
- EXPANSION JOINTS PLACED PER JOINT PLAN, BUT NO LESS THAN 100' O.C.
 - CONTROL JOINTS PLACED PER JOINT PLAN, BUT NO LESS THAN 100' O.C.
 - CONCRETE TO HAVE FINE BROOM FINISH PERPENDICULAR TO CENTERLINE OF PAVING.
 - FINISHED GRADE OF LANDSCAPE AREA TO BE 1" BELOW FINISH GRADE OF CONCRETE (TYPICAL BOTH SIDES).

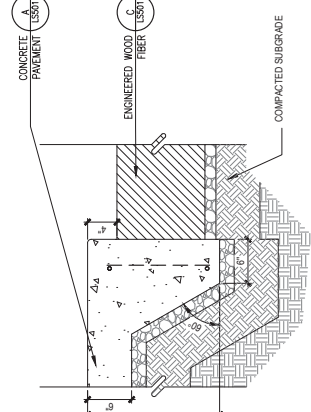
A CONCRETE PAVEMENT
SCALE: 1/2" = 1'-0"



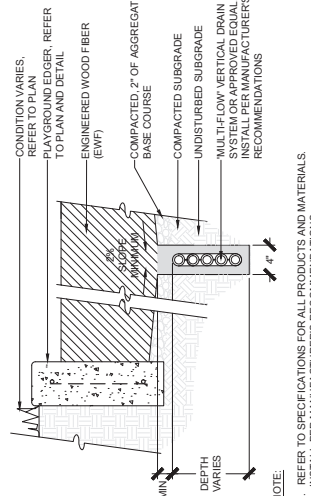
B SOFT SURFACE TRAIL
SCALE: 1" = 1'-0"



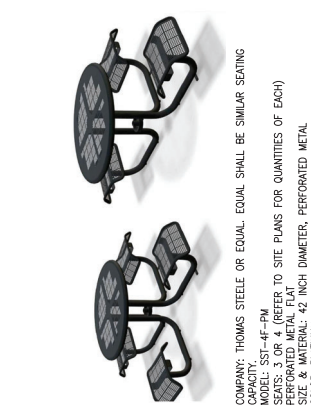
C ENGINEERED WOOD FIBER
SCALE: 1/2" = 1'-0"



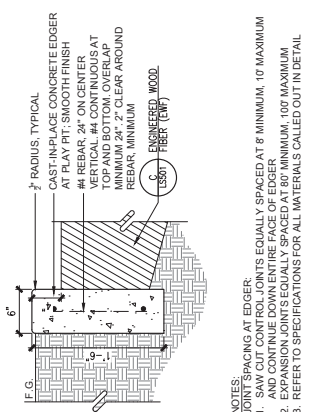
E THICKENED EDGE
SCALE: 1/2" = 1'-0"



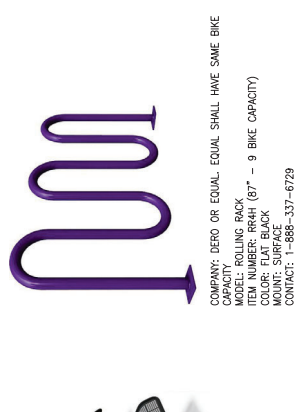
F PLAYGROUND PLAY PIT DRAINAGE
SCALE: 1/2" = 1'-0"



G ENGINEERED WOOD FIBER
SCALE: 1/2" = 1'-0"



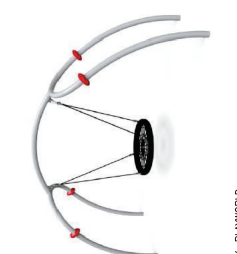
D PLAYGROUND EDGER
SCALE: 1/2" = 1'-0"



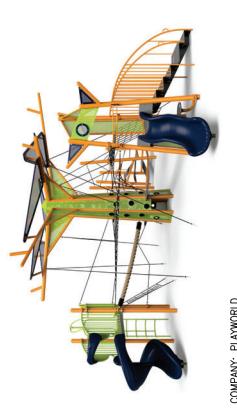
H BIKE RACK
SCALE: 1/2" = 1'-0"



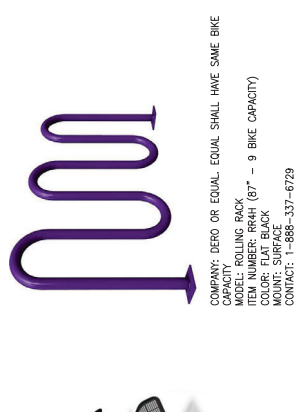
I BENCH
SCALE: 1/2" = 1'-0"



J TRASH RECEPTACLE
SCALE: 1/2" = 1'-0"



K PLAY PIECE 1
SCALE: 1/2" = 1'-0"



L PLAY PIECE 2
SCALE: 1/2" = 1'-0"

REV.	COMMENT	DATE

FDP
FILING THREE
and
FILING FOUR

Date: 04/09/2024
Drawn By: SL
Checked By: CR
Sheet Name
SITE DETAILS

Sheet
LS501

COMPANY: PLAYWORLD
MODEL: ALY'S ARBOR
PRODUCT: 500-2051
COLOR: TBD
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
ALTERNATE EQUIPMENT MAY BE UTILIZED IN LIEU OF ABOVE PLAY PIECE, BUT SHALL BE SIMILAR IN FUNCTION AND PLAY EXPERIENCE.

COMPANY: PLAYWORLD
MODEL: UNITY'S BASKET SWING
PRODUCT: 350-BASKET
COLOR: TBD
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
ALTERNATE EQUIPMENT MAY BE UTILIZED IN LIEU OF ABOVE PLAY PIECE, BUT SHALL BE SIMILAR IN FUNCTION AND PLAY EXPERIENCE.

COMPANY: THOMAS STEEL OR EQUAL. EQUAL SHALL BE SAME SIZE CAPACITY
MODEL: WINGRA, 32 GALLON, SIDE OPENING
MOUNT: SURFACE
MATERIAL: PERFORATED METAL
COLOR: PLATINUM
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

COMPANY: THOMAS STEEL OR EQUAL. EQUAL SHALL BE SIMILAR MATERIAL AND LENGTH
MODEL: WINGRA, 6' LENGTH, BACKED
MATERIAL: PERFORATED METAL
COLOR: PLATINUM
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

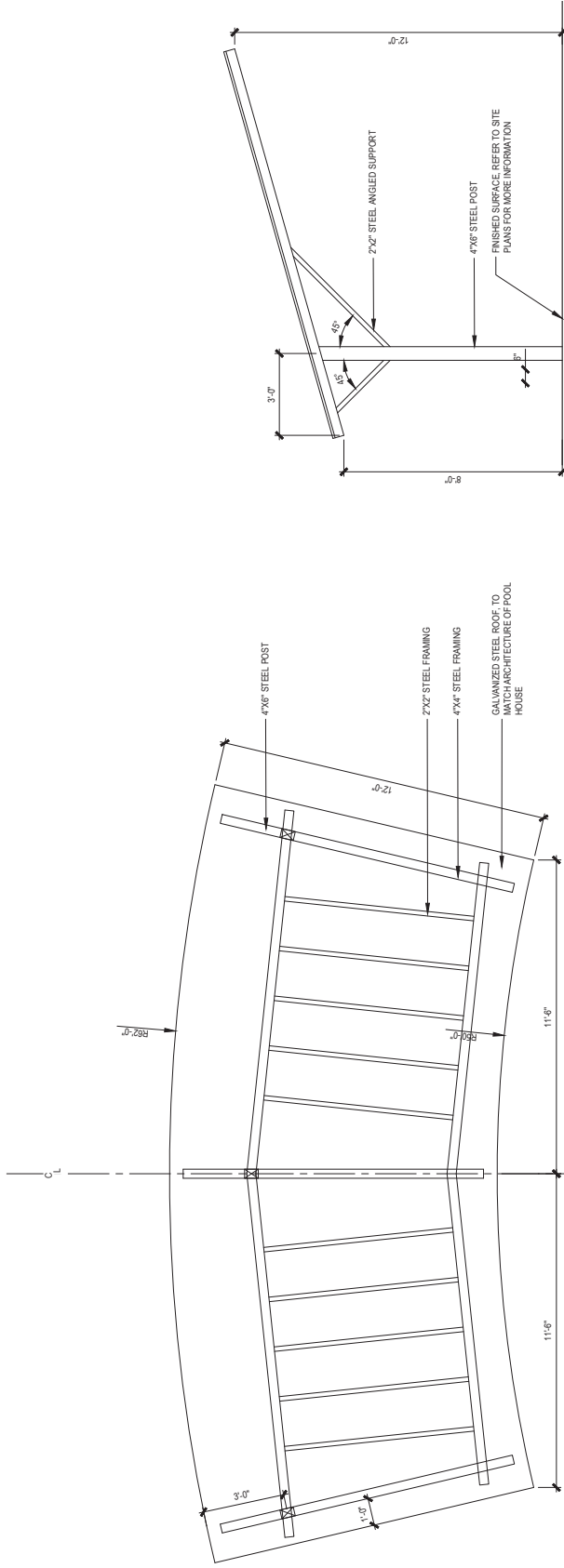
COMPANY: THOMAS STEEL OR EQUAL. EQUAL SHALL HAVE SAME BIKE CAPACITY
MODEL: ROLLING RACK
MOUNT: SURFACE
MATERIAL: PERFORATED METAL
COLOR: PLATINUM
CONTACT: 1-888-337-6729
(WWW.DERCO.COM)
INSTALL PER MANUFACTURER SPECIFICATIONS.

THE GRANARY FILING THREE AND FILING FOUR

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T. 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

THE GRANARY
Johnstown, Colorado



- NOTES:
- SHOP DRAWINGS TO BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO FABRICATION.
 - STRUCTURE TO BE DESIGNED BY LICENSED PROFESSIONAL ENGINEER. STRUCTURE TO BE DESIGNED TO HANDLE ALL LOCAL WIND AND SNOW LOAD REQUIREMENTS.
 - ALL FRAMING AND POSTS TO BE POWDERCOATED. COLOR: T80.

(A) SHADE STRUCTURE
SCALE: 1/8"=1'-0"

DF-BRICKFRMPLAN

FDP

FILING THREE
and
FILING FOUR

Date: 04/03/2024

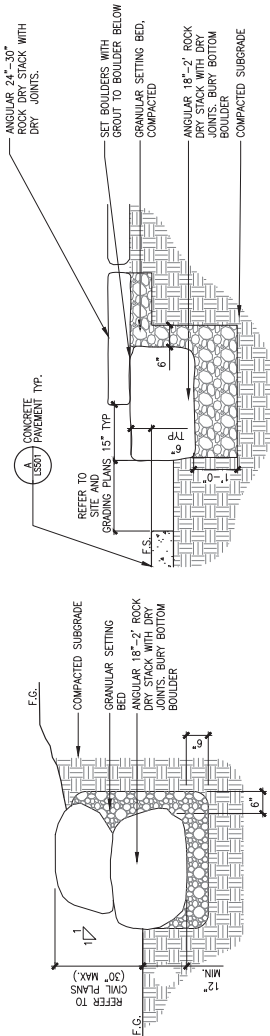
Drawn By: SL

Checked By: CR

Sheet Name
SITE DETAILS

Sheet

LS502



(B) BOULDER RETAINING WALL
SCALE: 3/4"=1'-0"

(C) SANDSTONE STEPS AND PATH
SCALE: 3/4"=1'-0"

DF-BULK-STEPS

THE GRANARY FILING THREE AND FILING FOUR

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N, R. 67 W, OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

LANDSCAPE SCHEDULE	QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPREAD	QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
DECIDUOUS TREES	11		CATALPA SPECIOSA	NORTHERN CATALPA	7' CAL.188	50-60'	30-40'	3		PICEA MARSHIANA	COLORADO BLUE SPRUCE	6' HT.	80'-100'	25-30'
	7		CELTIS OCCIDENTALIS	HACKBERRY	7' CAL.188	40-60'	40-60'	24		PINUS EDULIS	PNYON PINE	6' HT.	12-20'	12-15'
	15		GINKGO BILOBA	GINKGO	7' CAL.188	25-35'	25-35'	19		PICEA MURSHIANA	WANDERWOLF SLIMBERPINE	6' HT.	20-25'	10-15'
	9		GLEDITSIA TRIACANTHOS NERMS	THORNLESS HONEYLOCUST	7' CAL.188	40-50'	35-45'	21		PICEA MURSHIANA	AUSTRIAN PINE	6' HT.	30-60'	20-40'
	3		GYMNOCLADUS DIOLICA ESPRESSO	ESPRESSO KENTUCKY COFFEE TREE	7' CAL.188	50-60'	30-35'	53		CHRYSOTHAMNUS NAISSIDENSIS 'GRAVENS'	TALL GREEN RABBIT BRUSH	5 GAL	4'-6'	6'
	13		POPULUS ANGUSTIFOLIA	NARROW LEAF COTTONWOOD	7' CAL.188	50'	20-30'	10		CORNUS STOLONIFERA 'PARROW'	ARCTIC FIRE DOGWOOD	5 GAL	3-4'	3-4'
	26		POPULUS SARGENTII	PLAINS COTTONWOOD	7' CAL.188			11		PHYSOCARPUS MONOVINUS	MOUNTAIN NINEBARK	5 GAL	3-4'	3-4'
	18		QUERCUS SHUMARDII	SHUMARD OAK	7' CAL.188	40-60'	40-60'	13		PRUNUS BESSYI 'PAWNEE BUTTES'	PAWNEE BUTTES WESTERN SAND CHERRY	5 GAL	7'-10'	7'-10'
	10		QUERCUS MACROCARPA	BUR OAK	7' CAL.188	50-60'	35-45'	44		RHUS ARNICA 'CROLOW'	GROLOW SUMAC	5 GAL	2-3'	6-8'
	6		QUERCUS MUEHLBERGII	CHICKAPEE OAK	7' CAL.188	40-50'	40-50'	6		RHUS TRILOBATA	AUTUMN AMER SUMAC	5 GAL	10-14"	6-8'
	9		TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	7' CAL.188	40-60'	25-30'	109		RISES ALPINA	ALPINE CURRANT	5 GAL	3-5'	3-5'
	4		ULMUS 'MORTON SELECT'	MORTON SELECT ELMI	7' CAL.188			49		SAMBUCUS RUBENS	RED FRUITED ELDERBERRY	5 GAL	10-15'	6-8'
ORNAMENTAL TREES	17		ACER GRANDIDENTATUM ROCKY MOUNTAIN GLORY	ROCKY MOUNTAIN BROTHOOD GLORY MAPLE	1.5' CAL	20-25'	12-15'	23		CODYPE AMERICANA	GOULD PINE	5 GAL	3-4'	4-5'
	5		ACER 'MORTON SELECT'	MORTON SELECT ELMI	1.5' CAL	20-25'	12-15'	67		SYMPHORICARPOS ALBUS	WHITE SNOWBERRY	5 GAL	4-5'	5-7'
								50		VIBURNUM LENTAGO	NAWNBERRY	5 GAL	12-16"	8-12"
								123		BOUTELOUA CURTISII	BLOND AMBITION BLUE GRASS	1 GAL	20-24"	20-24"
								124		CAREX FLACCA	PORE FOSTER FEATHER REED GRASS	1 GAL	4-5'	1-2'
								49		NASSELLA TENNISMA	MEXICAN FEATHER GRASS	1 GAL	18-24"	18-24"

LANDSCAPE STANDARDS
THE DESIGN INTENT FOR THE GRANARY PUD IS TO CREATE A PLANNED COMMUNITY THAT CELEBRATES THE SURROUNDING PRAIRIES ECOSYSTEM WATER CONSERVATION THROUGH APPROPRIATE LANDSCAPING TECHNIQUES AND PLANT SPECIES SELECTION WILL BE EMPHASIZED FOR THE PROJECT.

GENERAL LANDSCAPE NOTES:
1. ALL PLANT MATERIAL TO BE INSTALLED NOT TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES CONTRACTORS SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRUCKING DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH AN AMERICAN ASSOCIATION OF NURSERYMEN SPECIFICATIONS FOR NUMBER ONE GRADE.
3. ALL TREES AND SHRUB LOCATIONS SHALL BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
4. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT.
5. SOIL AMENDMENT (FERTILIZER) SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE, IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND SOIL AMENDMENT (FERTILIZER) TESTING ANALYSIS.
6. ACCEPTED PRODUCT CLASS (COMPOST) COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS APPLICATION:
A. ORGANIC MATTER 25% MINIMUM
B. SALT CONTENT 5.0 MMSO/CM MAXIMUM
C. PH: 7.5 MAXIMUM
D. C:N RATIO OF 16:1 TO 20:1
E. SOIL TO BE REPAIRED OVER ALL TRENCHED IRRIGATION LINES
7. INSTALL 4" OF ORGANIC WOOD MULCH IN EXISTING PLANTING BEDS AND TREE PLANTING PITS THAT HAVE BEEN DISTURBED OR ALL DAMAGED OR DEAD PLANT MATERIAL TO BE REPLACED WITHIN WARRANTY PERIOD. CONTRACTOR TO PROVIDE WATER ENRICHED MULCH TO MATCH EXISTING.
8. NO TREES OR SHRUBS ARE TO BE PLANTED WITHIN THE HILLSBOROUGH DITCH EASEMENT.
9. ALL PLANTINGS, OTHER THAN SOON MATURING GRASSES, MUST PROVIDE MINIMUM CLEARANCE OF THREE (3) FEET AROUND ANY FIRE HYDRANT.
10. WHEN PLANTING IN FULL MATURITY, ALL PLANTINGS, INCLUDING SHRUBS, SHALL BE PLANTED WITHIN SIGHT TRIANGLES.
11. NO TREES OR LARGE SHRUBS OVER 10' MATURE HEIGHT SHALL BE PLANTED WITHIN 10' (TRESS) 5' (LARGE SHRUBS) OF ANY WATER, STORM OR SANITARY SEWER LINES.
12. ALL SHRUBS LOCATED WITHIN NATIVE SEED AREAS SHALL BE STAKED WITH WARNING STAKES SO MOVERS CAN VISIBLY SEE SHRUB LOCATIONS.
13. SIGHT TRIANGLE TRANGLE SHALL BE PROVIDED PER ICLASS FIG. 7-16
14. SIGHT TRIANGLE TRANGLE MUST FALL WITHIN PUBLIC ROW, OR A DEDICATED SIGHT TRIANGLE EASEMENT MUST BE PROVIDED TO THE TOWN OF JOHNSTOWN, CO.
15. EVERGREEN TREES SHALL NOT BE PLACED WITHIN SIGHT TRIANGLE. DECIDUOUS TREES MAY BE ALLOWED ON A CASE BY CASE BASIS.
16. NO SHRUBS AND/OR OTHER PLANTINGS THAT WILL OR MAY ATTAIN A HEIGHT GREATER THAN 24" SHALL BE PLACED WITHIN SIGHT TRIANGLE.
17. NO TREES OR SHRUBS SHALL BE PLANTED OVER OR WITHIN 5' OF ANY UTILITY LINES. NO TREES OR SHRUBS MAY BE LOCATED WITHIN 10' OF ANY UTILITY LINES. NO PLANTING SHALL BE PERFORMED WITHIN 10' OF ANY WATER SURFACE LIMITS OF ANY STORM WATER RETENTION FACILITIES.

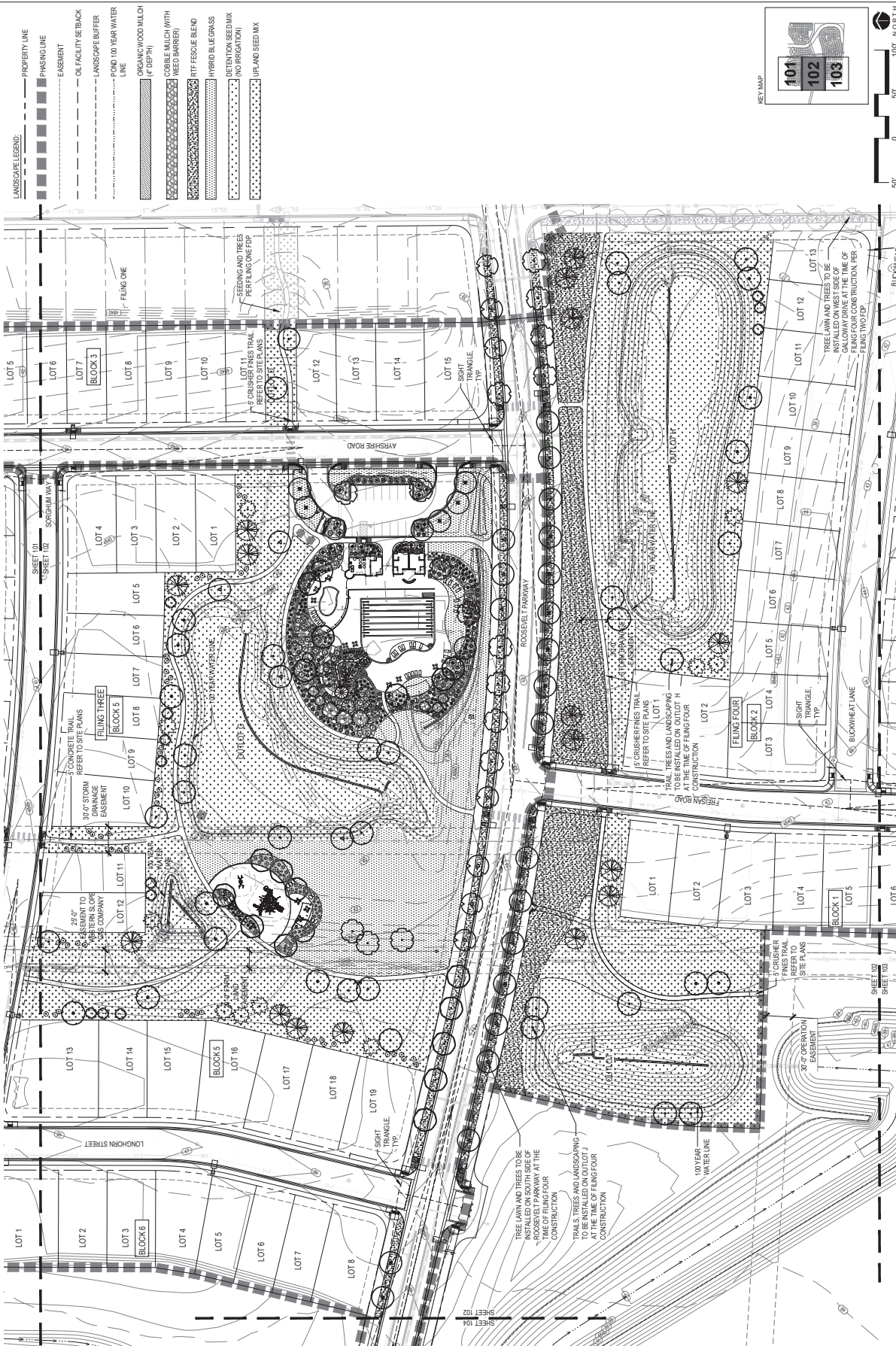
UPLAND SEED MIX
(Dilute 6-7 lbs / 1,000 SF)
COMMON NAME SCIENTIFIC NAME Percentage
Blond Ambition Bluegrass Agropyron cristatum 30%
Pore Foster Feather Reedgrass Lolium perenne 25%
Mexican Feathergrass Poa pratensis 15%
Upland Broomgrass Dryer

DETENTION BASIN SEED MIX
(Dilute 6-7 lbs / 1,000 SF)
COMMON NAME SCIENTIFIC NAME Percentage
Western wheatgrass Pascopyrum smithii 51.93%
Brome inermis Bromus inermis 38.73%
Alopecurus Alopecurus 4.08%



THE GRANARY FILING THREE AND FILING FOUR
FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



LANDSCAPE LEGEND:

[Symbol]	PROPERTY LINE
[Symbol]	PARKING LINE
[Symbol]	EASEMENT
[Symbol]	OIL FACILITY SETBACK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	POUND 100 YEAR WATER LINE
[Symbol]	ORGANIC WOOD MULCH (4" DEPTH)
[Symbol]	COBBLE MULCH (WITH WEED BARRIER)
[Symbol]	RTF FESCUE BLEND
[Symbol]	HYBRID BLUE GRASS
[Symbol]	DETENTION SEED MIX (NO IRRIGATION)
[Symbol]	UPLAND SEED MIX

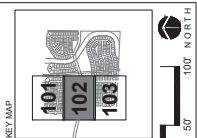
REV.	COMMENT	DATE

FDP
FILING THREE
and
FILING FOUR

Date: 04/03/2024
Drawn By: SL
Checked By: CR

Sheet Name
LANDSCAPE PLAN

Sheet
LP102



REV.	COMMENT	DATE

FDP
FILING THREE
and
FILING FOUR

Date: 04/03/2024
Drawn By: SL
Checked By: CR

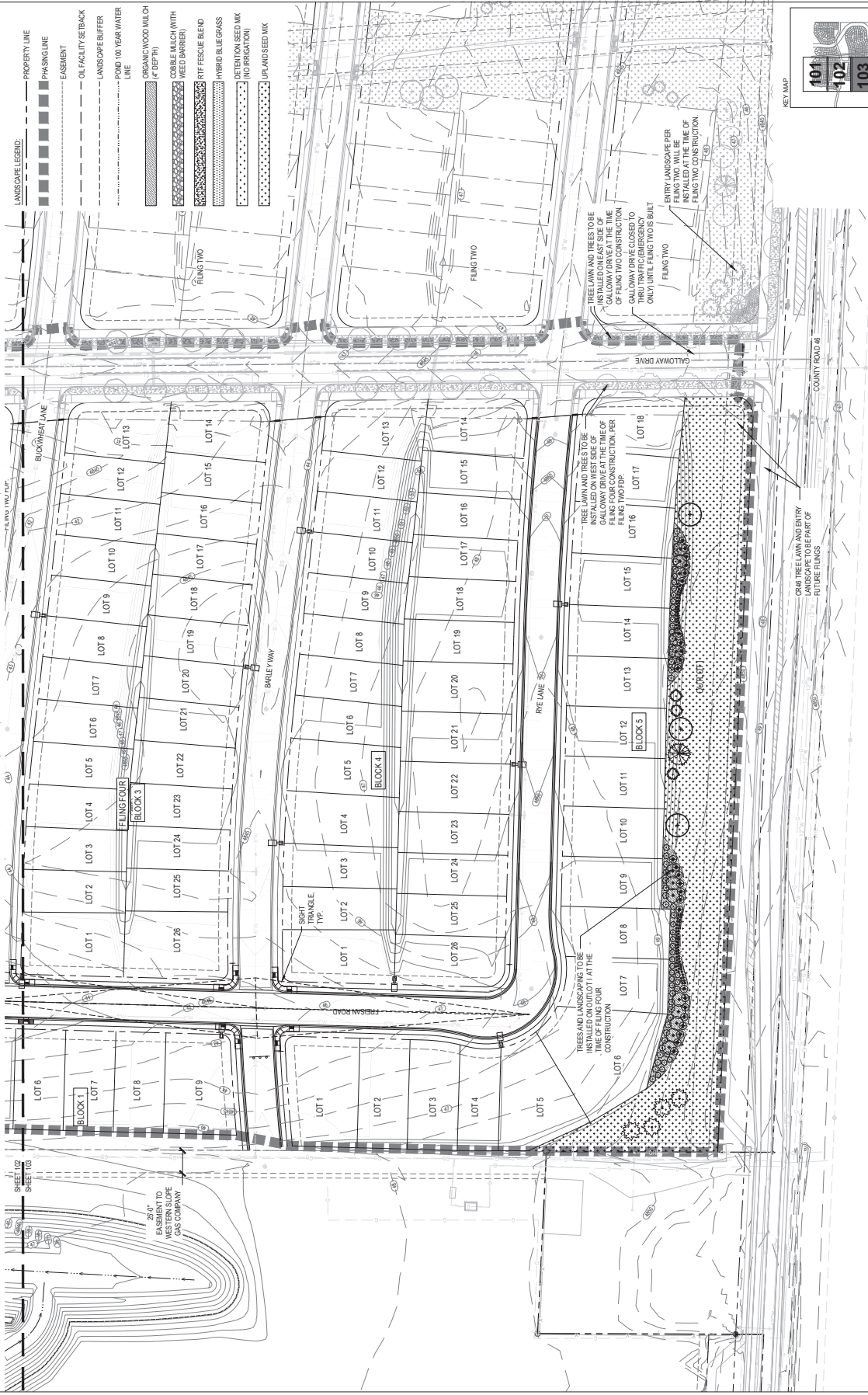
Sheet Name
LANDSCAPE PLAN

Sheet

LP103

THE GRANARY FILING THREE AND FILING FOUR
FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



LANDSCAPE LEGEND:

- PROPERTY LINE
- PHASING LINE
- EASEMENT
- OL FACILITY SETBACK
- LANDSCAPE BUFFER LINE
- POD 100 YEAR WATER LINE
- ORGANIC WOOD MULCH (4" DEPTH)
- COBBLE MULCH (WITH WED BARRIERS)
- RTF FESCUE BEND
- HYBRID BL GRASS
- DETENTION SEED MIX (NO IRRIGATION)
- LIP AND SEED MIX

TREE LAWN AND TREES TO BE INSTALLED ON EAST SIDE OF GALLOWAY DRIVE AT THE TIME OF FILING TWO CONSTRUCTION. PER ONLY UNTIL FILING TWO IS BUILT.

ENTRY LANDSCAPE FOR FILING TWO WILL BE INSTALLED AT THE TIME OF FILING TWO CONSTRUCTION.

TREES AND LANDSCAPE TO BE INSTALLED ON LOT 1 AT THE TIME OF FILING FOUR CONSTRUCTION. PER

CR#6 TREE LAWN AND ENTRY LANDSCAPE TO BE PART OF FUTURE FILINGS

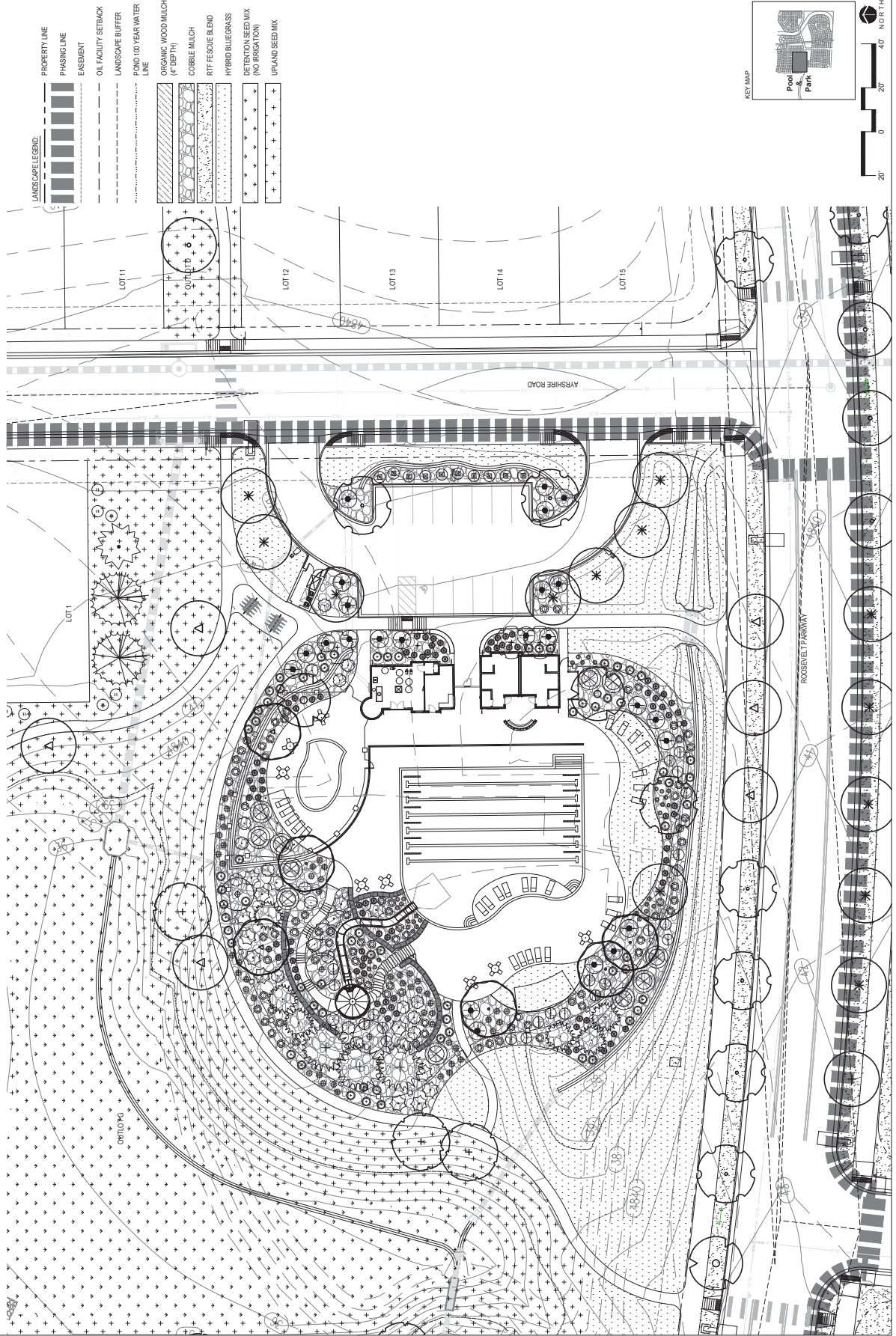
25'± EASEMENT TO WESTERN SLOPE GAS COMPANY

SHEET 102
SHEET 103

THE GRANARY FILING THREE AND FILING FOUR

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T.4N., R. 67W., OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



LANDSCAPE LEGEND:

	PROPERTY LINE
	PHASING LINE
	EASEMENT
	OIL FACILITY SETBACK
	LANDSCAPE BUFFER
	POND 100 YEAR WATER LINE
	ORGANIC WOOD MULCH (4" DEPTH)
	COBBLE MULCH
	RIF RESCUE BLEND
	HYBRID BLUEGRASS
	DETENTION SEED MIX (NO IRRIGATION)
	UPLAND SEED MIX

THE GRANARY
Johnston, Colorado



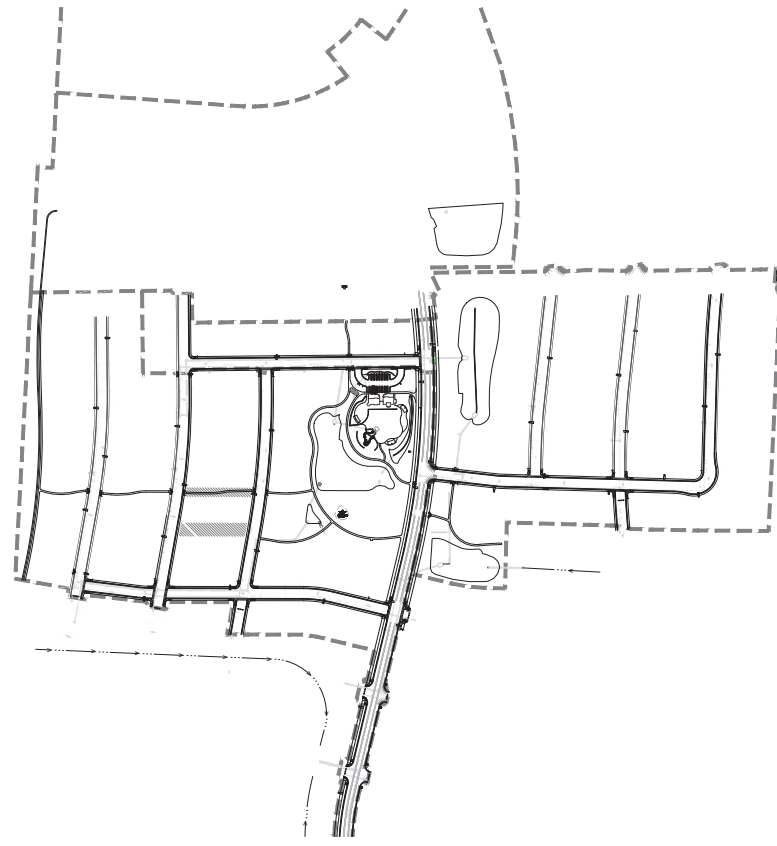
REV.	COMMENT	DATE

FDP
FILING THREE
and
FILING FOUR

Date: 04/03/2024
Drawn By: SL
Checked By: CR

Sheet Name
LANDSCAPE
ENLARGEMENT PLAN -
CENTRAL POOL AREA
Sheet

LP401



OPEN SPACE SUMMARY THE GRANARY FILING THREE AND FOUR

OBJECT	AREA (SF)	DESCRIPTION	MAINTENANCE	USE	% OF TOTAL
A	115,217	2,248	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
B	4,971	1,513	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
C	10,040	6,315	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
D	8,580	8,185	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
E	6,465	11,515	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
F	10,020	5,315	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
G	228,712	5,448	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
H	117,711	2,715	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
I	47,985	1,545	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
J	74,109	1,715	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
TOTAL OPEN SPACE (OBJECTS A-J)	622,994	14,881			24.62%

OPEN SPACE SUMMARY THE GRANARY FILING THREE AND FOUR

OBJECT	AREA (SF)	DESCRIPTION	MAINTENANCE	USE	% OF TOTAL
A	115,217	2,248	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
B	4,971	1,513	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
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H	117,711	2,715	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
I	47,985	1,545	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
J	74,109	1,715	METRO DISTRICT	FUTUREWALK ACCESS, UTILITY AND DRAINAGE EXCAVATE, OPEN SPACE	
TOTAL OPEN SPACE (OBJECTS A-J)	622,994	14,881			24.62%

* IN THE CASE OF ANY DISCREPANCY BETWEEN THESE FIGURES AND THE FIGURES PROVIDED IN THE PERMITS, THE FIGURES PROVIDED IN THE PERMITS SHALL BE USED.

- OPEN SPACE LEGEND:**
- PROPERTY LINE
 - PHASING LINE
 - LOT LINE
 - EASEMENT
 - LANDSCAPE BUFFER
 - 165' PLUGGED AND ABANDONED OIL FACILITY SEEBACK
 - 350' ACTIVE OIL FACILITY SEEBACK
 - OPEN SPACE
 - OPEN SPACE - PARK