

# NORTH RIDGE

## FINAL DEVELOPMENT PLAN - NORTH RIDGE JOHNSTOWN, COLORADO

ARCHITECT / PLANNER



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303-460-8800

### LEGAL DESCRIPTION

PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 NORTH, RANGE 68 WEST OF THE 6TH/ PM, LARIMER COUNTY COLORADO, DESCRIBED AS FOLLOWS;

BEGINNING AT THE CENTER-EAST 1/16 CORNER OF SAID SECTION 22, MONUMENTED WITH NO. 6 REBAR WITH 3.25" ALUMINUM CAP, STAMPED PLS 25645;

THENCE S00°13'48"E, A DISTANCE OF 1311.25 FEET ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 22, TO THE SOUTHEAST 1/16TH/ CORNER, MONUMENTED 3.5" ALUMINUM CAP, STAMPED LS 34995;

THENCE S89°48'41"W, A DISTANCE OF 776.43 FEET ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 22, TO A 24", NO. 5 REBAR WITH 1-1/4" PURPLE PLASTIC CAP, STAMPED PLS 37067;

THENCE N00°08'59"W, A DISTANCE OF 1311.78 FEET TO THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 22, TO A 24", NO. 5 REBAR WITH 1-1/4" PURPLE PLASTIC CAP, STAMPED PLS 37067;

THENCE N89°51'04"E, A DISTANCE OF 774.59 FEET ON SAID NORTH LINE TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1,017,094 SQUARE FEET OR 23.349 ACRES.

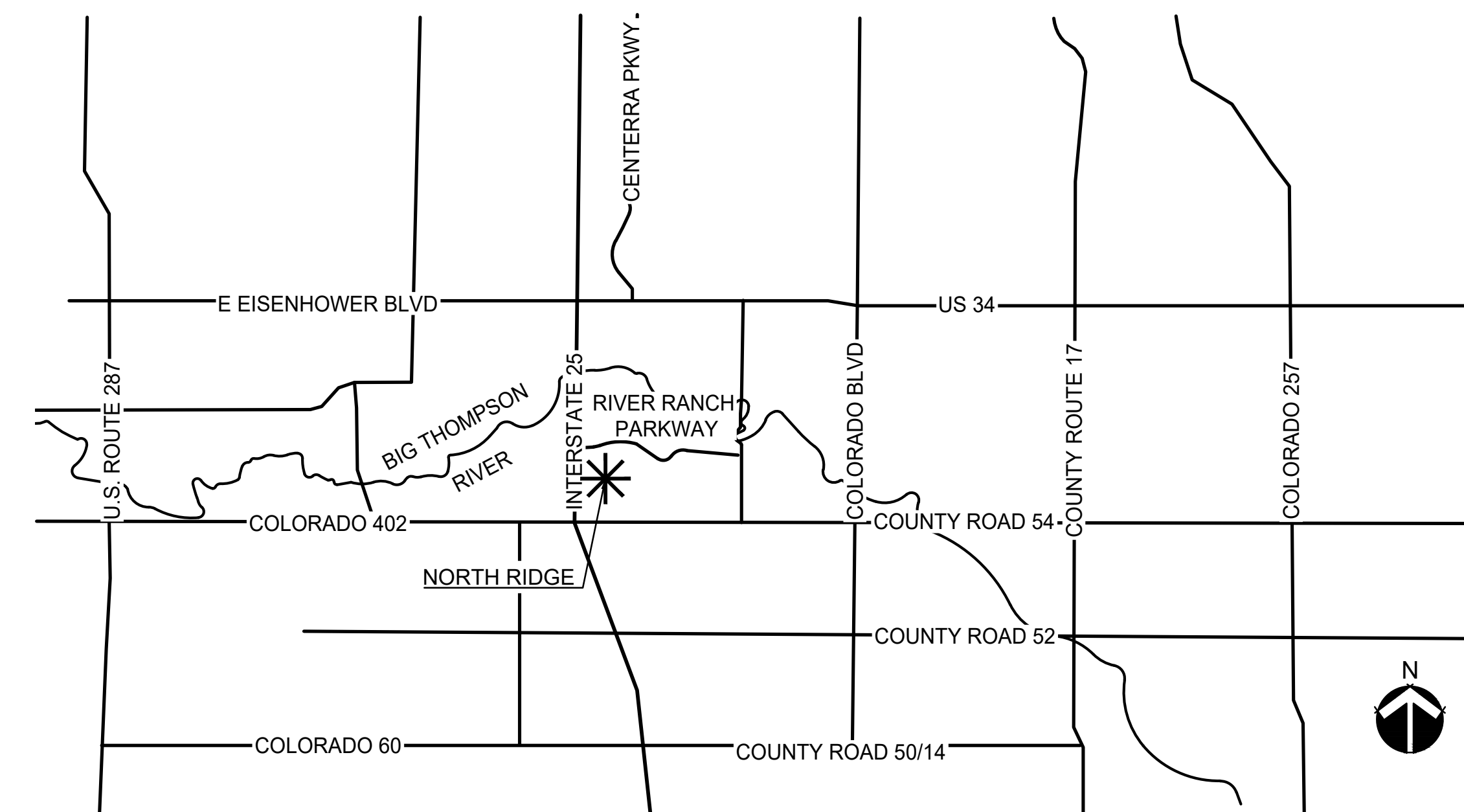
### GENERAL NOTES

- THE NORTH RIDGE PUD PERFORMANCE STANDARDS AND GUIDELINES AS LISTED ON SHEET L0.4 DEFINE THE ZONING AND DEVELOPMENT STANDARDS FOR THE SUBJECT PROPERTY, AND SUPERSEDE STANDARD JOHNSTOWN DEVELOPMENT REQUIREMENTS. ITEMS NOT SPECIFICALLY ADDRESSED ON THESE PLANS OR IN THE PERFORMANCE STANDARDS & DESIGN GUIDELINES SHALL DEFER TO STANDARD TOWN CODE PROVISIONS FOR INTERPRETATION.
- SEE SUBDIVISION PLAT AND CIVIL ENGINEER'S UTILITY PLANS FOR ALL EASEMENTS, TRACTS, OUT LOTS, LOT AREAS & DIMENSIONS, AND THE DESIGN OF STREETS & WALKS. THOSE SHOWN ON THESE PLANS ARE FOR ILLUSTRATIVE PURPOSE ONLY.
- EXISTING ZONING OF THE SUBJECT PROPERTY IS PUD-MU.
- COMMON OPEN SPACE AREAS INCLUDED WITH THIS FDP AND LANDSCAPING IN ADJACENT LOCAL STREET RIGHTS-OF-WAY ARE TO BE MAINTAINED BY THE THOMPSON CROSSING METRO DISTRICT #5.
- PRIVATE OPEN SPACE (PRIVATE YARDS, PATIOS, DECKS, PRIVATE DRIVEWAYS AND THE LIKE IS TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER.
- COMMON AREA LANDSCAPING (INCLUDING LANDSCAPING IN COLLECTOR STREET RIGHTS-OF-WAY) MAY BE PHASED ALONG WITH COMPLETION OF OTHER ADJACENT INFRASTRUCTURE IN THE DEVELOPMENT. SUCH COMMON AREA LANDSCAPING IS TO BE COMPLETED PRIOR TO THE ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR MORE THAN 75% OF THE HOMES IN THE AFFECTED CONSTRUCTION PHASE OR SUB-PHASE, OR IN ACCORDANCE WITH DEVELOPMENT AGREEMENT PROVISIONS ADDRESSING SEASONAL /WEATHER OR OTHER CONFLICTS AFFECTING THE ABILITY OF THE DEVELOPER/BUILDER TO COMPLETE SAID LANDSCAPING.
- FINAL SITE PLANS AND LANDSCAPE CONSTRUCTION DOCUMENTS FOR "FUTURE DEVELOPMENT AREAS" NOTED ON THIS FDP WILL BE PROVIDED FOR REVIEW PRIOR TO BEGINNING WORK ON EACH CONSTRUCTION PHASE OR SUB-PHASE IN THOSE AREAS, EXCEPT AS NOTED ON THIS FDP.
- THE DEVELOPER IS OBLIGATED TO INSTALL LANDSCAPING AND IRRIGATION CONSISTENT WITH THE PERFORMANCE STANDARDS & DESIGN GUIDELINES AS INDICATED ON LANDSCAPE CONSTRUCTION DOCUMENTS PROVIDED WITH EACH CONSTRUCTION PHASE.
- BUILDING FOOTPRINTS, BUILDING TYPES, AND EXACT GARAGE PLACEMENT MAY VARY WITHIN BUILDING ENVELOPES SO LONG AS MINIMUM SETBACKS AND PARKING REQUIREMENTS ARE MET.
- DRC AND JRC REVIEW AND APPROVAL OF REQUIRED ARCHITECTURAL PLANS (INCLUDING "TYPICALS" FOR ALL SINGLE FAMILY AND PATIO HOME MODELS, AND ANY BUILDINGS OTHER THAN SINGLE FAMILY DWELLINGS) SHALL BE COMPLETED AS REQUIRED BY THE PERFORMANCE STANDARDS & DESIGN GUIDELINES PRIOR TO THE ISSUANCE OF APPLICABLE BUILDING PERMITS.
- ALL RESIDENTIAL STREET LIGHTING SHALL BE DOWN DIRECTED, SHARP CUT-OFF TYPE OR OTHERWISE DESIGNED TO PREVENT SPILLAGE OFF THE THOMPSON RIVER RANCH PROPERTY, AND SHALL BE DESIGNED FOR A MAXIMUM LEVEL OF ± 1 FOOT CANDLE, UNLESS OTHERWISE REQUIRED BY THE ELECTRIC UTILITY PROVIDER.
- SIGHT DISTANCE INFORMATION WILL BE REQUIRED TO BE SHOWN ON THE DETAILED ENGINEERING SUBMITTALS, AND DETAILED LANDSCAPING PLANS TO CONFIRM THAT PROPOSED PLANT MATERIAL AND CORNER FENCING DO NOT ADVERSELY IMPACT REQUIRED SIGHT DISTANCE.
- ALL NOTES AND CALLOUTS ON GRADING AND UTILITY PLANS THAT REFERENCE OTHER SHEETS REFER TO CIVIL ENGINEERING CONSTRUCTION DOCUMENTS.

### SHEET INDEX

SHEET	DESCRIPTION
L0.1	COVER SHEET
L0.2	SITE LOCATION MAP
L0.3	SITE PLAN
L0.4	TYPICAL LOTS
L0.5	FENCING PLAN
L1.1-1.7	LANDSCAPE PLANS
L2.1	LANDSCAPE DETAILS
C3.1-3.6	GRADING PLANS
C4.0	OVERALL UTILITY PLAN
L3.1-L3.3	SITE DETAILS
A1.1	ARCHITECTURE ELEVATIONS

### VICINITY MAP



NORTH RIDGE  
 JOHNSTOWN, COLORADO  
 FINAL DEVELOPMENT PLAN  
 COVER SHEET

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 201033  
 DRAWN BY: TH  
 CHECKED BY: RH

ISSUE RECORD

1ST SUBMITTAL	11/08/2021
2ND SUBMITTAL	02/16/2022
3RD SUBMITTAL	04/20/2022
4TH SUBMITTAL	06/17/2022
5TH SUBMITTAL	07/18/2022

SHEET NUMBER

L0.1

LOVELAND FIRE RESCUE AUTHORITY	
REVIEWED AND ACCEPTED:	_____ Date _____

TOWN OF JOHNSTOWN	
REVIEWED AND ACCEPTED:	Town Engineer, Town of Johnstown _____ Date _____
REVIEWED AND ACCEPTED:	Director of Planning and Development, Town of Johnstown _____ Date _____
REVIEWED AND ACCEPTED:	Public Works Department, Town of Johnstown _____ Date _____



**NORTH RIDGE DEVELOPMENT SUMMARY**

SITE AREA	23.35 ACRES (1,017,094 SF)
PROPOSED UNITS	196 D.U.
DENSITY	8.39 D.U./AC.
<b>OPEN SPACE REQUIREMENTS</b>	
OPEN SPACE REQUIRED	30% (305,118 SF)
OPEN SPACE PROVIDED	31% (316,062 SF)
<b>PUBLIC PARKS REQUIREMENTS</b>	
SITE AREA	1,017,094 SF
STREET R.O.W.	-232,109 SF
GROSS SITE AREA	784,985 SF
REQUIRED PARK SPACE*	10.0% (78,499 SF)
PROVIDED PARK SPACE	10.4% (79,980 SF)

\*REQUIRED PARK SPACE IS 10 PERCENT OF GROSS SITE AREA PER TOWN CODE CHAPTER 17 SECTION 17-51

**NORTH RIDGE PARKING DATA**

TOTAL REQUIRED PARKING (2 PER UNIT)	392
GARAGE PARKING SPOTS (2 PER UNIT)	392
ON STREET PARKING	212
TOTAL PROVIDED PARKING	604 SPACES

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NORTH RIDGE  
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 FINAL DEVELOPMENT PLAN  
 SITE LOCATION MAP

PROFESSIONAL STAMP

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SHEET NUMBER

L0.2



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NORTH RIDGE  
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FINAL DEVELOPMENT PLAN  
SITE PLAN

PROFESSIONAL STAMP

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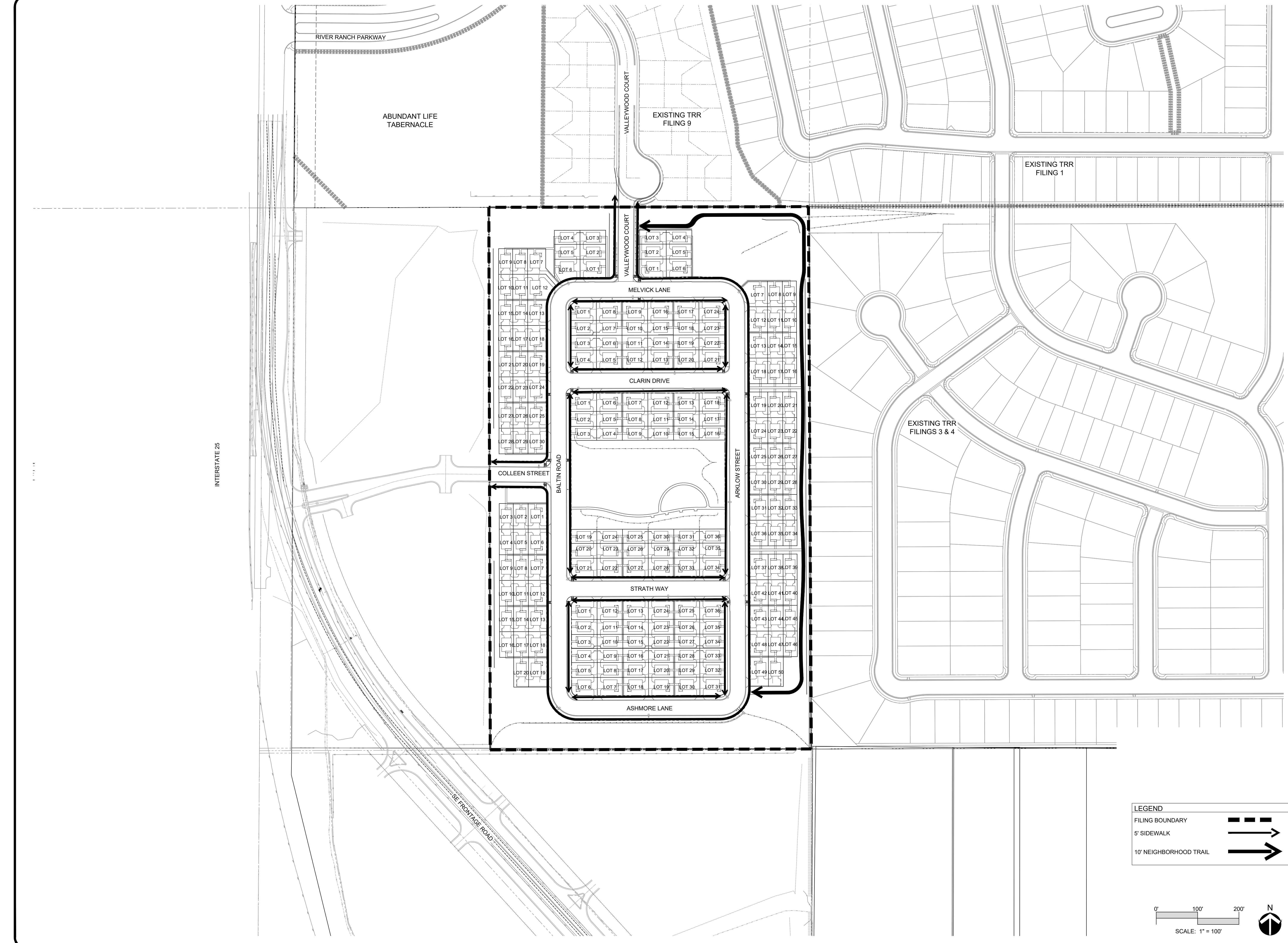
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SHEET NUMBER

L0.3



**LEGEND**

FILING BOUNDARY

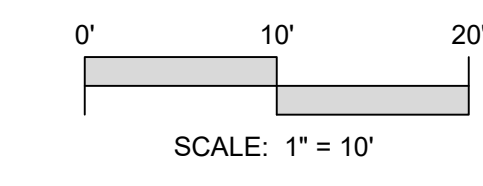
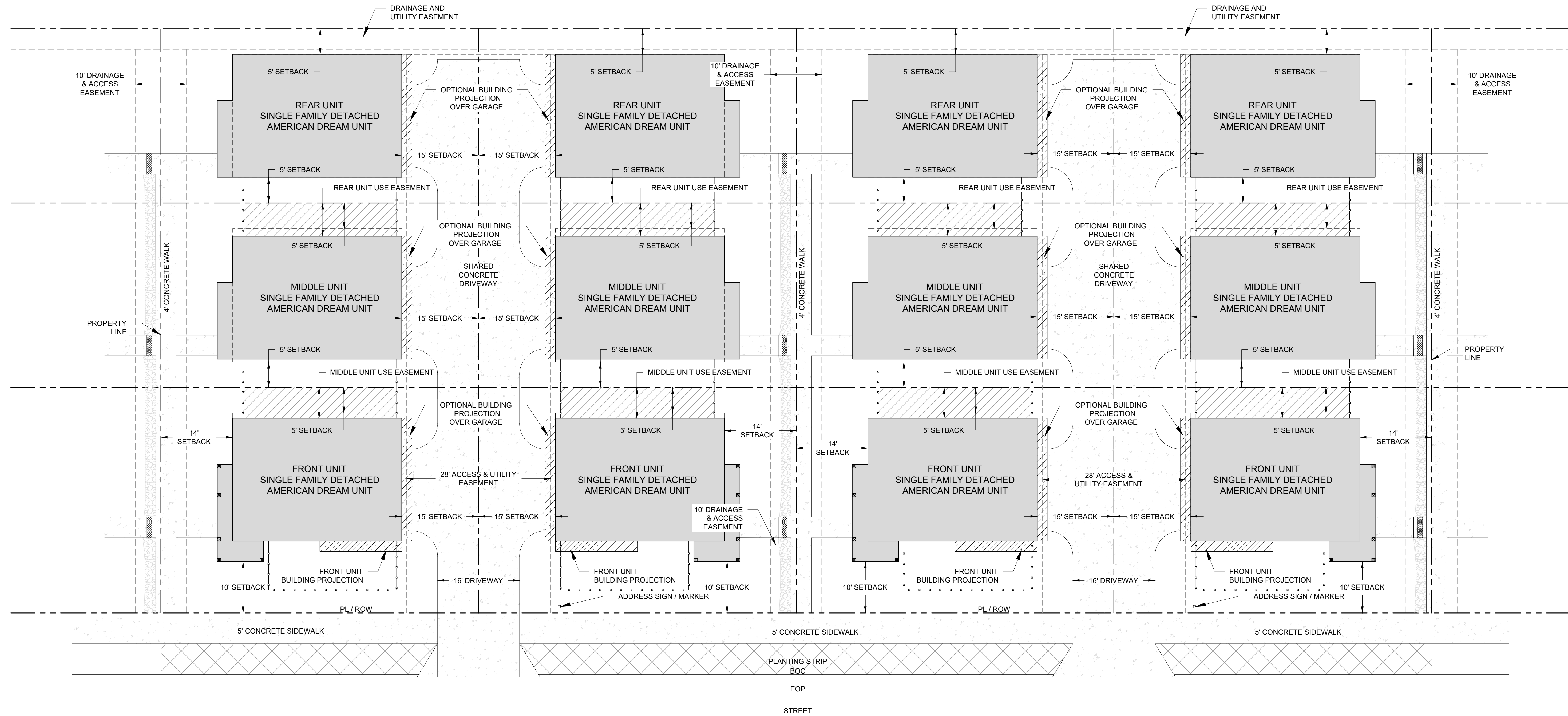
5' SIDEWALK

10' NEIGHBORHOOD TRAIL

0' 100' 200'

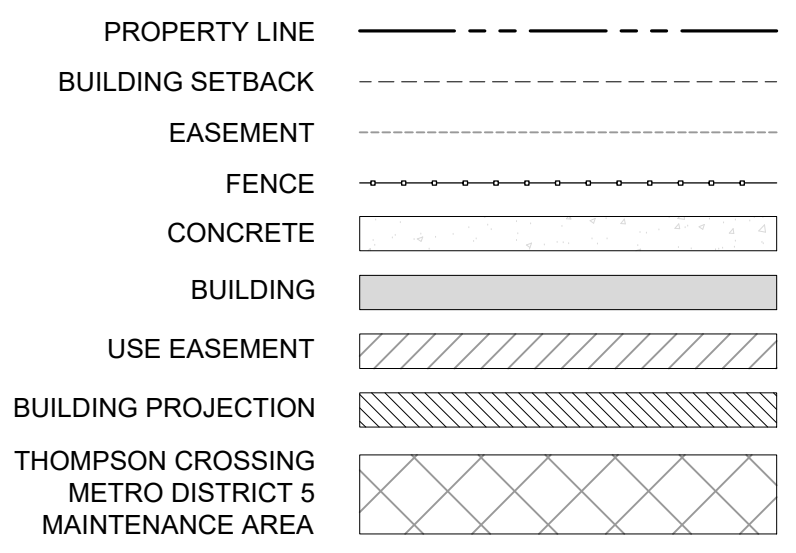
SCALE: 1" = 100'

# TYPICAL SINGLE FAMILY AMERICAN DREAM - 6 PACK



- NOTES:**
- PARKING IS NOT PERMITTED ON DRIVEWAYS OR FIRE LANES. CARS MUST BE PARKED INSIDE UNIT GARAGES, OR ON THE STREET AND WILL BE HOA ENFORCED.
  - MAIN STRUCTURE TO BE BUILT WITH THE SETBACKS SHOWN.
  - USE EASEMENT FOR BENEFIT/USE OF ADJACENT LOT.
  - COVERED FRONT PORCHES AT MAIN HOME ENTRANCE, STEPS, WALKS, WINDOW WELLS, UTILITY EQUIPMENT (I.E. AC UNITS) CAN ENCRoACH INTO SIDEYARDS AND REARYARDS. ENCRoACHMENTS CANNOT BE MORE THAN 5 FEET.
  - FRONT UNITS (NEAREST TO STREET) WILL BE ALLOWED AN ARCHITECTURAL PROJECTION ON THE 2ND AND/OR 3RD FLOORS TOWARDS THE STREET FACING SIDE TO ENCRoACH INTO THE FRONT SETBACK. ENCRoACHMENT CAN UP TO 2 FEET FOR A LENGTH UP TO 16 FEET.
  - COVERED OR UNCOVERED DECKS (EXCEPT FOR DESIGNATED FRONT PORCH ENTRANCE FROM NOTE 4) AND SHADE ELEMENTS ARE NOT ALLOWED.
  - PATIOS SHALL BE MADE OF CONCRETE, CONCRETE PAVERS, BRICK OR SIMILAR MATERIAL. THEY SHALL BE BUILT AT GRADE, AND BE LIMITED TO 150 SQ. FT. IN SIZE.
  - ACCESSORY STRUCTURES SHALL NOT BE ALLOWED.
  - VERIFY PLAT FOR UTILITY, DRAINAGE AND ACCESS EASEMENT DIMENSIONS. TYPICALLY, THERE IS A UTILITY EASEMENT AT THE REAR OF EACH 6-PACK OF UNITS, AND AN ACCESS AND DRAINAGE EASEMENT BETWEEN UNITS FACING EACH OTHER.
  - TREE LAWNS IN RIGHT OF WAY ADJACENT TO SINGLE FAMILY DETACHED 6-PACK (AMERICAN DREAM) HOMES TO BE MAINTAINED BY THOMPSON CROSSING METRO DISTRICT 5.
  - ALL AMERICAN DREAM UNITS ARE SINGLE FAMILY DETACHED HOMES. SEE SHEETS A1.01 FOR TYPICAL AMERICAN DREAM ARCHITECTURAL ELEVATIONS.
  - ADDRESS NUMERALS SHALL BE A MINIMUM 6 INCHES IN HEIGHT AND ONE-INCH STROKE WIDTH, AND VISIBLE FROM THE PUBLIC STREET

**LEGEND**



## NORTH RIDGE PUD PERFORMANCE STANDARDS AND GUIDELINES

**ALLOWED USES**

- AS PROPOSED, THE NORTH RIDGE PUD INCLUDES ONLY RESIDENTIAL USES FOR THIS PARCEL.
- THE OVERALL RESIDENTIAL DENSITY AT NORTH RIDGE SHALL NOT EXCEED 8.5 D.U./AC WITHOUT APPROVAL OF A PUD AMENDMENT.
  - SINGLE-FAMILY DETACHED HOMES
    - TRADITIONAL SINGLE-FAMILY DETACHED HOMES SHALL BE SETBACK A MINIMUM OF 90' FROM THE CURRENT CENTERLINE OF THE 1-25 RIGHT-OF-WAY (PER THE JOHNSTOWN COMPREHENSIVE PLAN - LAND USE MAP).
    - CONVENTIONAL SINGLE-FAMILY HOMES LOTS SHALL BE A MINIMUM OF 4,000 SQ. FT.
  - CLUSTER HOMES: SINGLE-FAMILY DETACHED HOMES ON INDIVIDUAL LOTS CLUSTERED AROUND A SHARED DRIVEWAY.
    - INDIVIDUAL CLUSTER HOME LOTS SHALL BE A MINIMUM OF 2,000 SQ. FT.
    - HOME CLUSTERS MUST INCLUDE AT LEAST 2, BUT NOT MORE THAN 6 HOMES THAT SHARE A SINGLE DRIVEWAY.
    - CLUSTER HOMES MAY EMPLOY "USE-EASEMENTS" TO ALLOW FOR MORE SIDE YARD AREA.
  - THE ADDITION OF TWO-FAMILY DWELLINGS, SINGLE-FAMILY ATTACHED (TOWNHOMES), RESULTING IN A DENSITY ABOVE 8.5 D.U./ACRE, OR THE ADDITION OF MULTI-FAMILY RESIDENTIAL, OR OTHER HOUSING TYPES WILL REQUIRE AN AMENDMENT TO THIS PUD.

**COVERAGE & SETBACKS.**

- TOTAL BUILDING COVERAGE AT NORTH RIDGE SHALL NOT EXCEED 20% OF THE TOTAL SITE AREA.
- SETBACK REQUIREMENTS ARE ILLUSTRATED ON THE LOT TYPICAL DIAGRAM ON THIS SHEET.
- SETBACKS APPLY TO THE PRIMARY BUILDING MASS AT THE FOUNDATION. EAVES, BAY WINDOWS, CHIMNEYS FLUES, VENTILATING DUCTS, CANTILEVERS, OFFSETS, OUTDOOR STEPS, AND OTHER ARCHITECTURAL ARTICULATION ELEMENTS MAY ENCRoACH INTO THE REQUIRED BUILDING SEPARATION AREA BY UP TO 2'. OTHER FEATURES ALLOWED WITHIN SETBACKS - SUBJECT TO BUILDING CODE REQUIREMENTS - INCLUDE:
  - TREES, SHRUBS, OR OTHER LANDSCAPE FEATURES
  - FENCES OR WALLS
  - DRIVEWAYS AND SIDEWALKS
  - SIGNS
  - UTILITY LINES AND RELATED STRUCTURES

**PARKING**

- A MINIMUM OF TWO PARKING SPACES PER SINGLE-FAMILY DWELLING SHALL BE PROVIDED WITHIN COVERED GARAGES. TANDEM GARAGE SPACES MAY BE USED TO MEET THIS PARKING REQUIREMENT. ADDITIONAL PARKING MAY BE PROVIDED ON PAVED DRIVEWAY AREAS.
- PARKING SHALL NOT BE ALLOWED IN SHARED DRIVEWAY AREAS UNLESS DESIGNATED PARKING STALLS ARE PROVIDED. DESIGNATED SPACES SHALL NOT IMPEDE FIRE ACCESS TO MIDDLE OR REAR UNITS.

**FENCING**

- THE FOLLOWING TYPES OF FENCING ARE ALLOWED AT NORTH RIDGE:
  - THREE-RAIL, CROSSBUCK OR OTHER OPEN STYLE FENCE
  - SOLID PRIVACY FENCES
  - LANDSCAPE HEDGES COMPATIBLE WITH THE LANDSCAPE CHARACTER OF THE OPEN SPACE OR "NO FENCING" ARE ALLOWED ALTERNATIVES ADJACENT TO OPEN SPACES.
- PRIVACY FENCES ARE ALLOWED ALONG REAR LOT LINES AND SIDE LOT LINES THAT ARE COMMON TO TWO OR MORE INDIVIDUAL LOTS OR ON LOT LINES AT OR NEAR ARTERIAL OR COLLECTOR STREET RIGHTS-OF-WAY.
- PRIVACY FENCES SHALL HAVE FINISHED TOP AND BOTTOM RAILS AND MINIMUM 32" SQUARE MASONRY COLUMNS WITH PITCHED CAPS SPACED AT 90' TO 140' ON CENTER - IN CONJUNCTION WITH ADJACENT LOT WIDTHS, SO THAT COLUMNS TEND TO OCCUR AT COMMON LOT CORNERS - WITH AN AVERAGE SPACING OF ONE COLUMN/±100 LINEAL FEET OF FENCE.
- SIDE YARD PRIVACY FENCES MAY NOT EXTEND INTO THE FRONT YARD SETBACK BUT SHOULD BE STOPPED BEHIND A LOGICAL ARCHITECTURAL FEATURE (BAY, WINDOW, CHANGE IN MATERIALS, OFF-SET IN THE WALL PLANE, ETC.) OR AS NEEDED FOR ACCESS TO UTILITY METERS.
- FENCE MATERIALS SHALL BE VINYL, STAINED CEDAR, OR OTHER QUALITY FENCE MATERIAL AS APPROVED BY TOWN STAFF. CHAIN LINK FENCING IS SPECIFICALLY PROHIBITED.

**OPEN SPACE / PARKS**

- THE PROVISION OF OPEN SPACE AREAS AND THE APPROPRIATE ENHANCEMENT OF DESIGNATED EXISTING OPEN SPACES AT NORTH RIDGE ARE FUNDAMENTAL TO THE COMMUNITY. THE PLAN STRIVES TO PLACE MORE LAND IN COMMON AREAS BY UTILIZING SMALLER PRIVATE YARDS, RESULTING IN REDUCED POTABLE WATER CONSUMPTION AND GREATER AMENITY FOR THE COMMUNITY AS A WHOLE.
- APPLICABLE STANDARDS AND GUIDELINES INCLUDE:
- A MINIMUM OF 30% (THIRTY PERCENT) OF THE TOTAL SITE IN THE PRELIMINARY PUD SHALL BE RETAINED AS COMMON OPEN SPACE.
    - COMMON OPEN SPACE SHALL INCLUDE ALL AREAS - OUTSIDE OF SINGLE-FAMILY LOTS AND MINIMUM STREET RIGHTS-OF-WAY - DEVOTED TO LANDSCAPING, WALKS, TRAIL CORRIDORS, PUBLIC OR PRIVATE PARKS, NATURAL AREAS (INCLUDING FLOODPLAINS, RIPARIAN AREAS AND THE LIKE), BUFFER AREAS.
    - DETENTION PONDS SHALL COUNT TOWARDS THE COMMON OPEN SPACE REQUIREMENT IF LANDSCAPING IS PROVIDED AROUND THE PERIMETER OF THE POND (AT TOP OF BANK) AT A RATE OF 1 TREE AND 5 SHRUBS FOR EVERY 35 LINEAR FEET. TREES AND SHRUBS MAY BE GROUPED TO IMPROVE AESTHETICS.
    - OPEN SPACE REQUIREMENTS SHALL BE CALCULATED FOR THE PRELIMINARY PUD AS A WHOLE. INDIVIDUAL FILINGS AND/OR CONSTRUCTION PHASES MAY INCLUDE MORE OR LESS THAN THE REQUIRED PERCENTAGE OF OPEN SPACE, AS LONG AS THE PUD AS A WHOLE MEETS THE REQUIREMENTS INDICATED ABOVE.
  - A MINIMUM OF TEN PERCENT (10%) OF THE GROSS LAND AREA, EXCLUSIVE OF STREETS, ALLEYS AND UTILITY EASEMENTS, OF THE PROPOSED SUBDIVISION SHALL BE RETAINED FOR PUBLIC PARKS.
    - PARKS MAY BE EITHER ACTIVE OR PASSIVE IN NATURE. FOR AN AREA TO BE CONSIDERED A PARK, IT MUST INCLUDE AMENITIES FOR THE RESIDENTS OF THE COMMUNITY. AMENITIES MAY INCLUDE (BUT ARE NOT LIMITED TO) SEATING, TRAILS, SHADE STRUCTURES, PLAYGROUNDS ETC.

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NORTH RIDGE  
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 FINAL DEVELOPMENT PLAN  
 TYPICAL AMERICAN DREAM LAYOUT

PROFESSIONAL STAMP

**PROJECT INFORMATION**

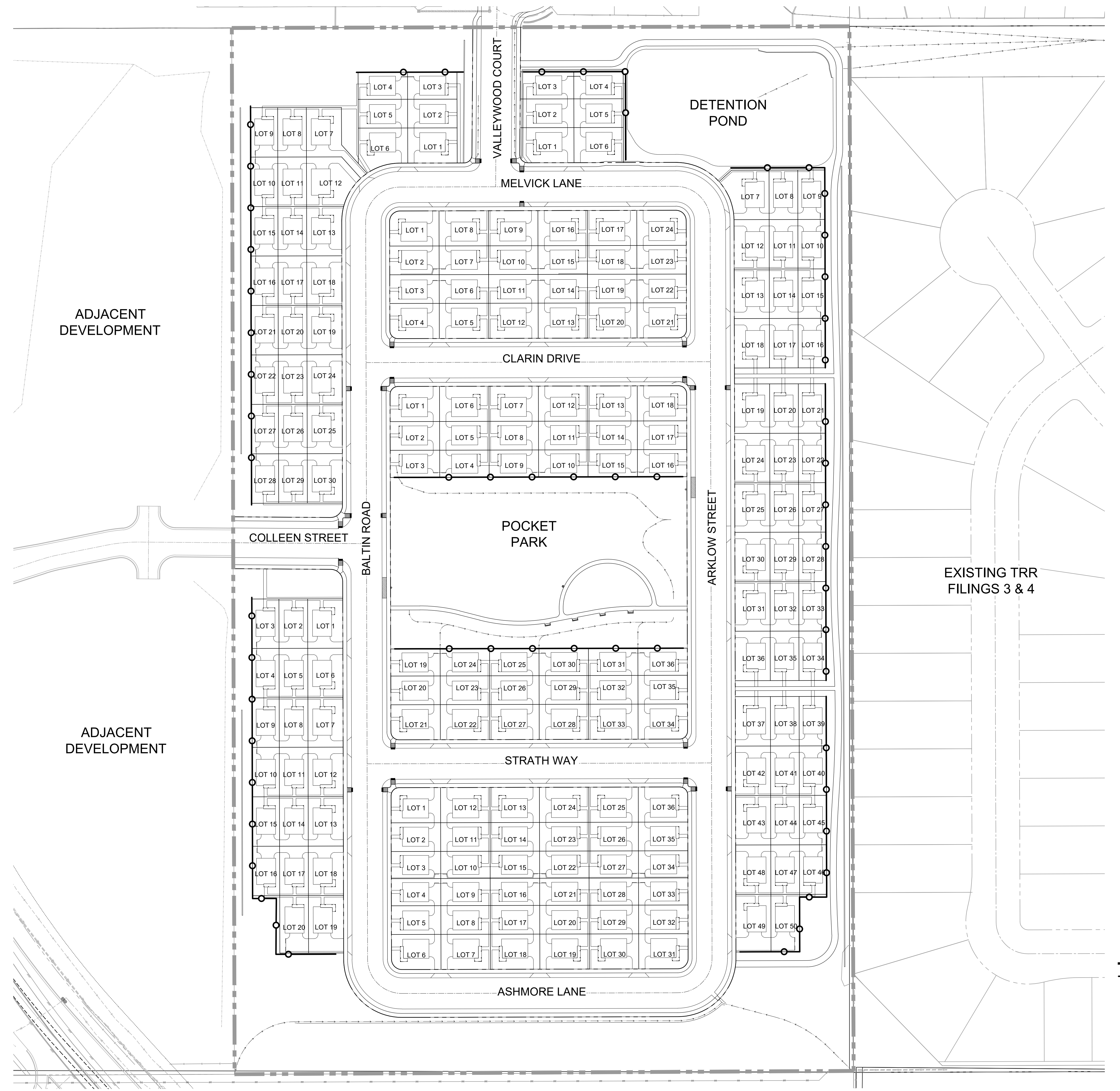
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**SHEET NUMBER**

L0.4



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NORTH RIDGE  
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FINAL DEVELOPMENT PLAN  
OVERALL FENCING PLAN

PROFESSIONAL STAMP

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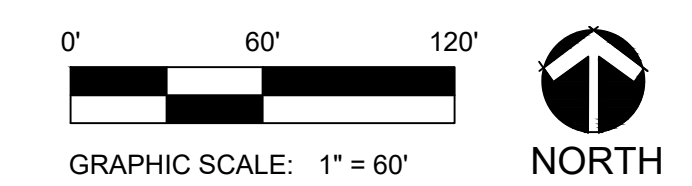
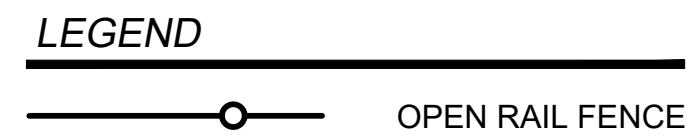
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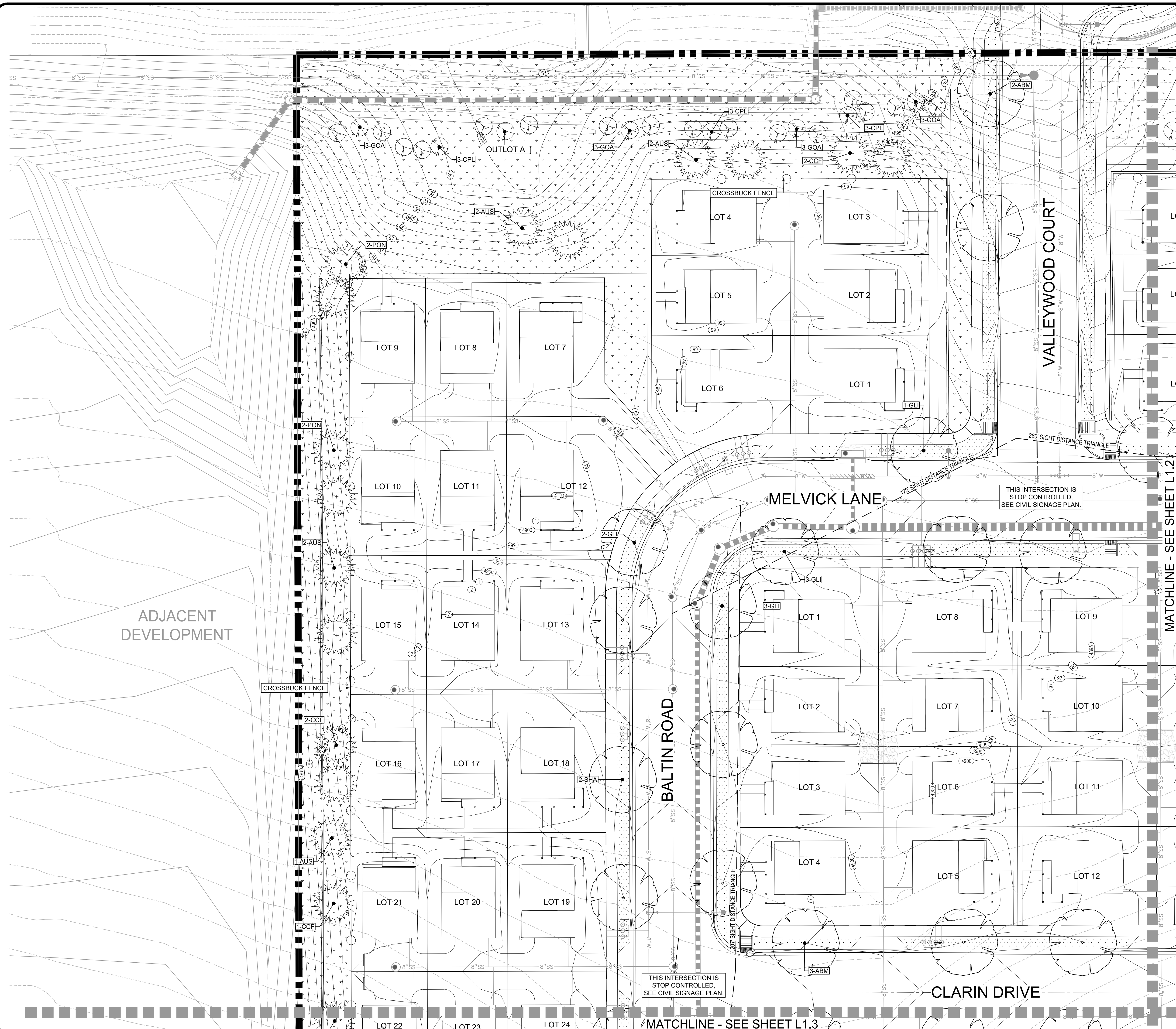
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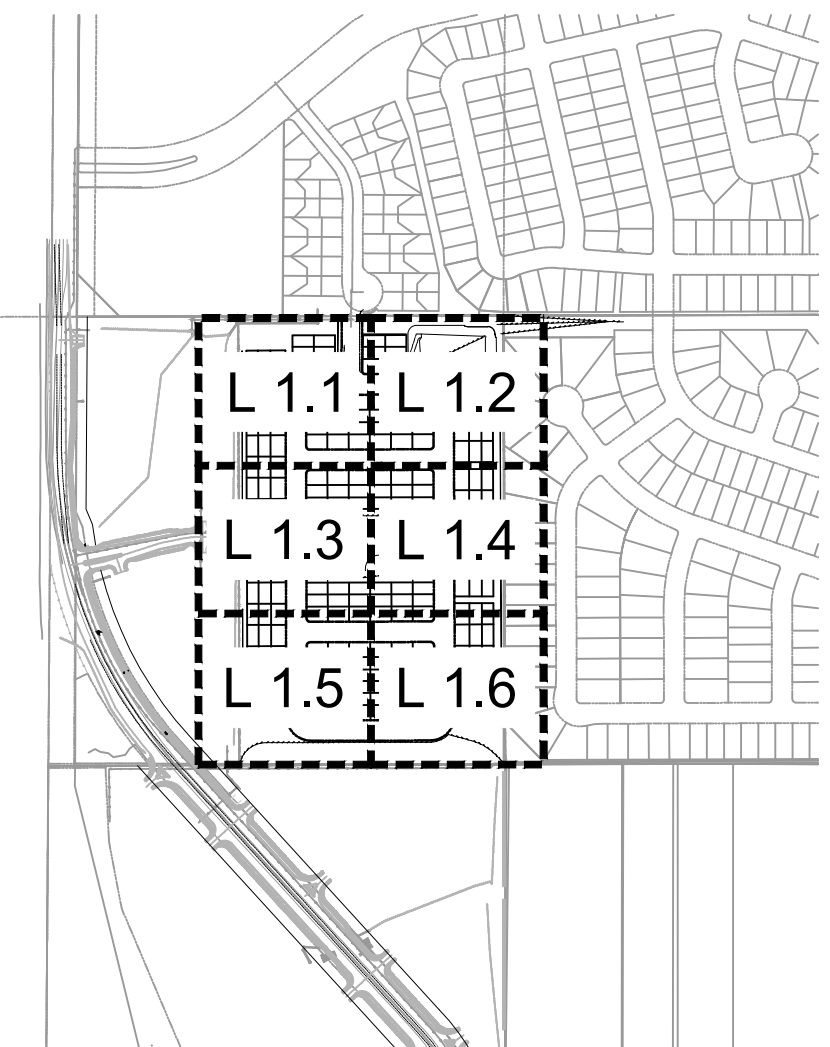
SHEET NUMBER

L0.5





KEY MAP



LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- PLAYGROUND MULCH
- COBBLE
- BLUEGRASS SOD
- FESCUE SOD
- NATIVE GRASS
- CRUSHER FINES
- PLANT LABEL (QTY-TYPE)
- EDGER
- OPEN RAIL FENCE
- EXISTING CONTOUR
- 5' PROPOSED CONTOUR
- 1' PROPOSED CONTOUR

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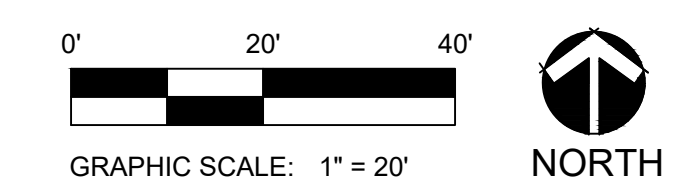
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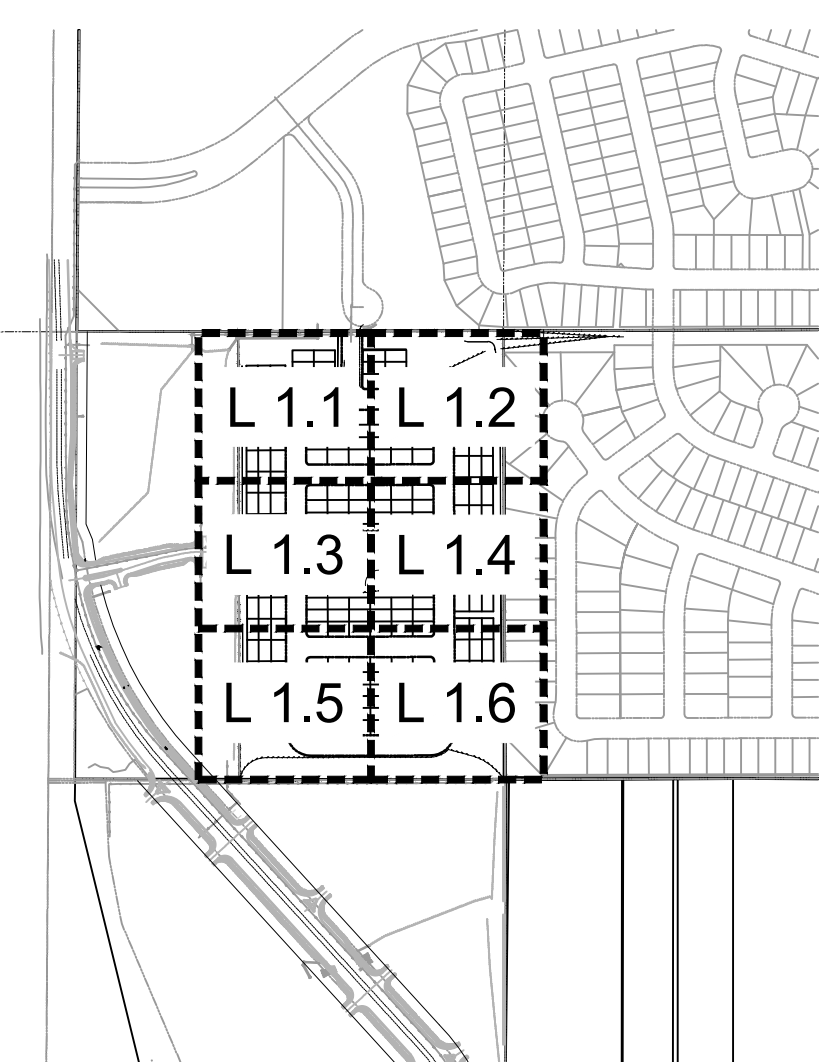
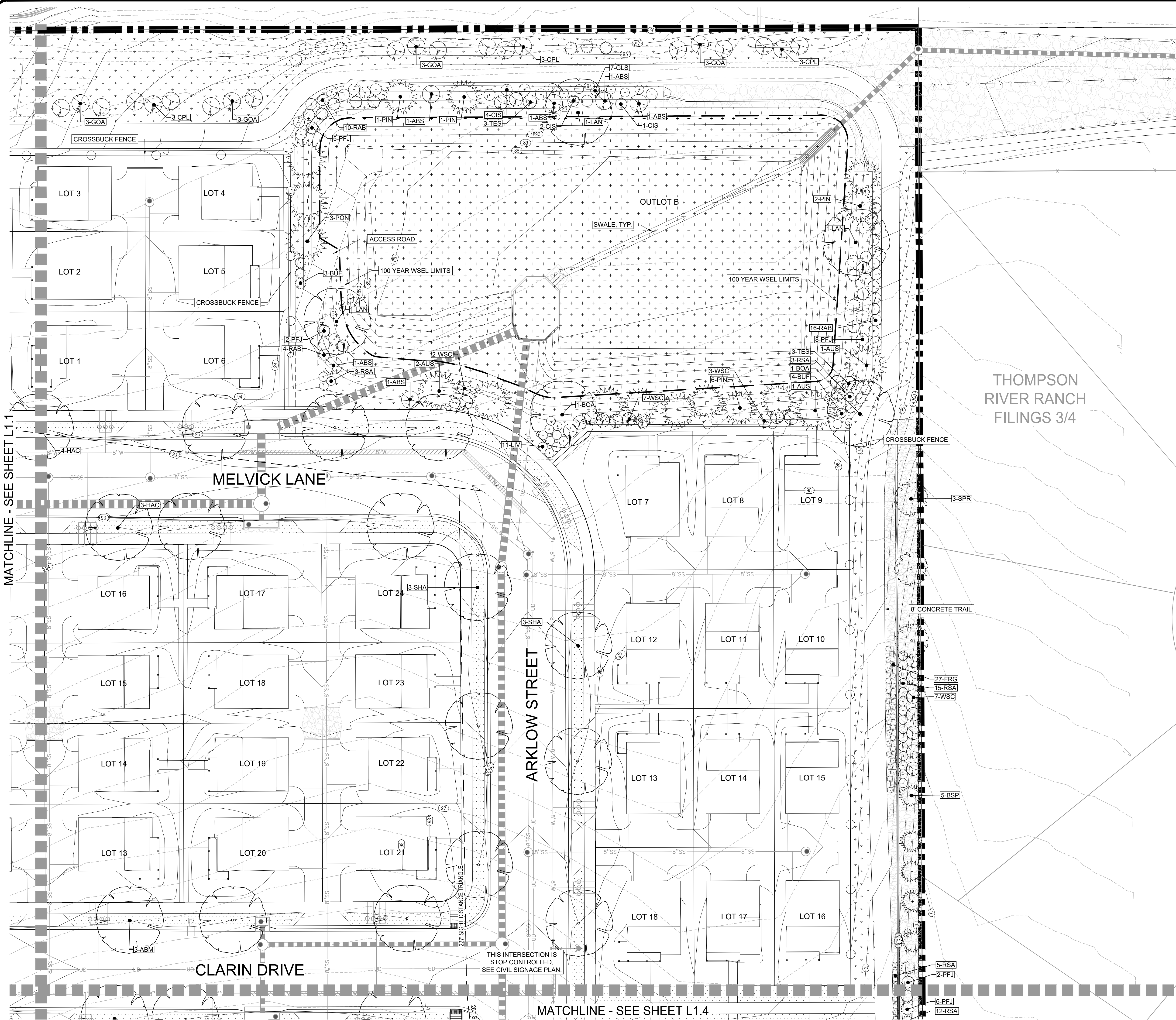
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- LEGEND**
- DECIDUOUS TREES
  - EVERGREEN TREES
  - DECIDUOUS SHRUBS
  - EVERGREEN SHRUBS
  - PERENNIALS
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  - EXISTING CONTOUR
  - 5' PROPOSED CONTOUR
  - 1' PROPOSED CONTOUR

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PROFESSIONAL STAMP

PROJECT INFORMATION

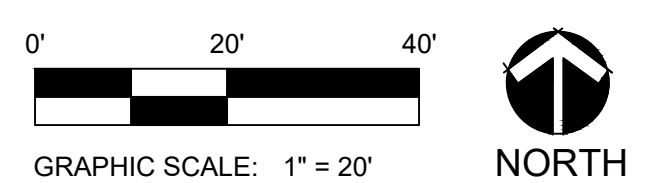
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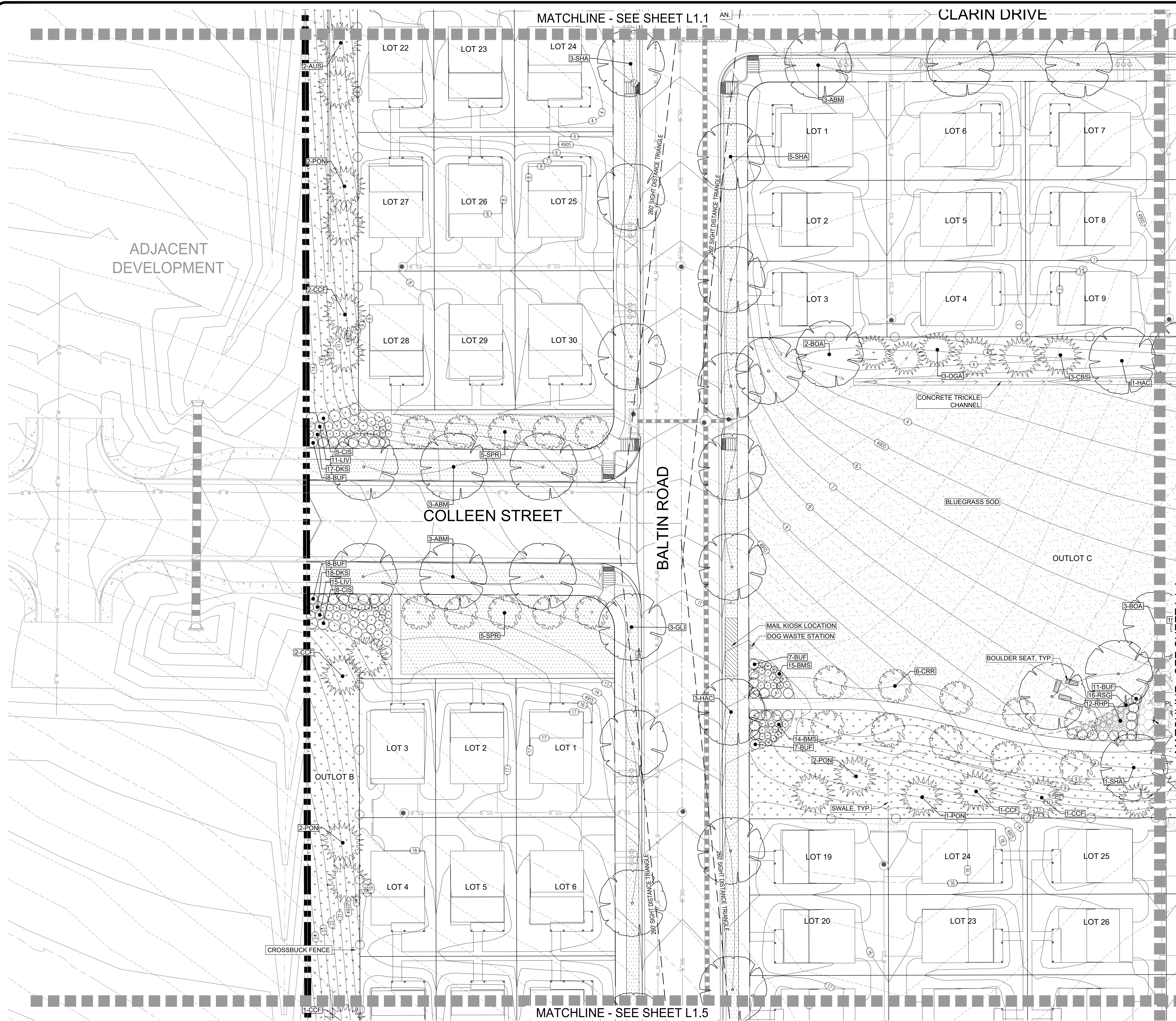
ISSUE RECORD

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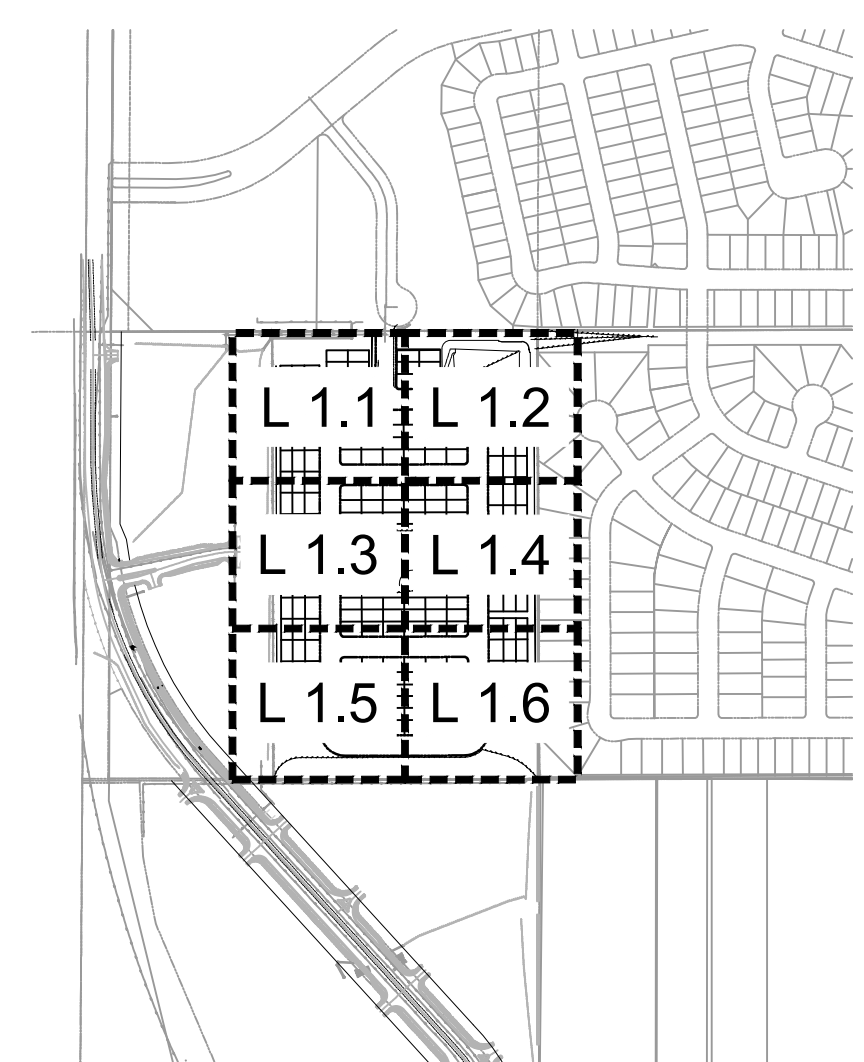
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L1.2





KEY MAP



LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- PLAYGROUND MULCH
- COBBLE
- BLUEGRASS SOD
- FESCUE SOD
- NATIVE GRASS
- CRUSHER FINES
- PLANT LABEL (QTY-TYPE)
- EDGER
- OPEN RAIL FENCE
- EXISTING CONTOUR
- 5' PROPOSED CONTOUR
- 1' PROPOSED CONTOUR

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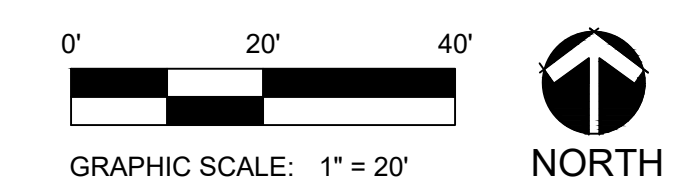
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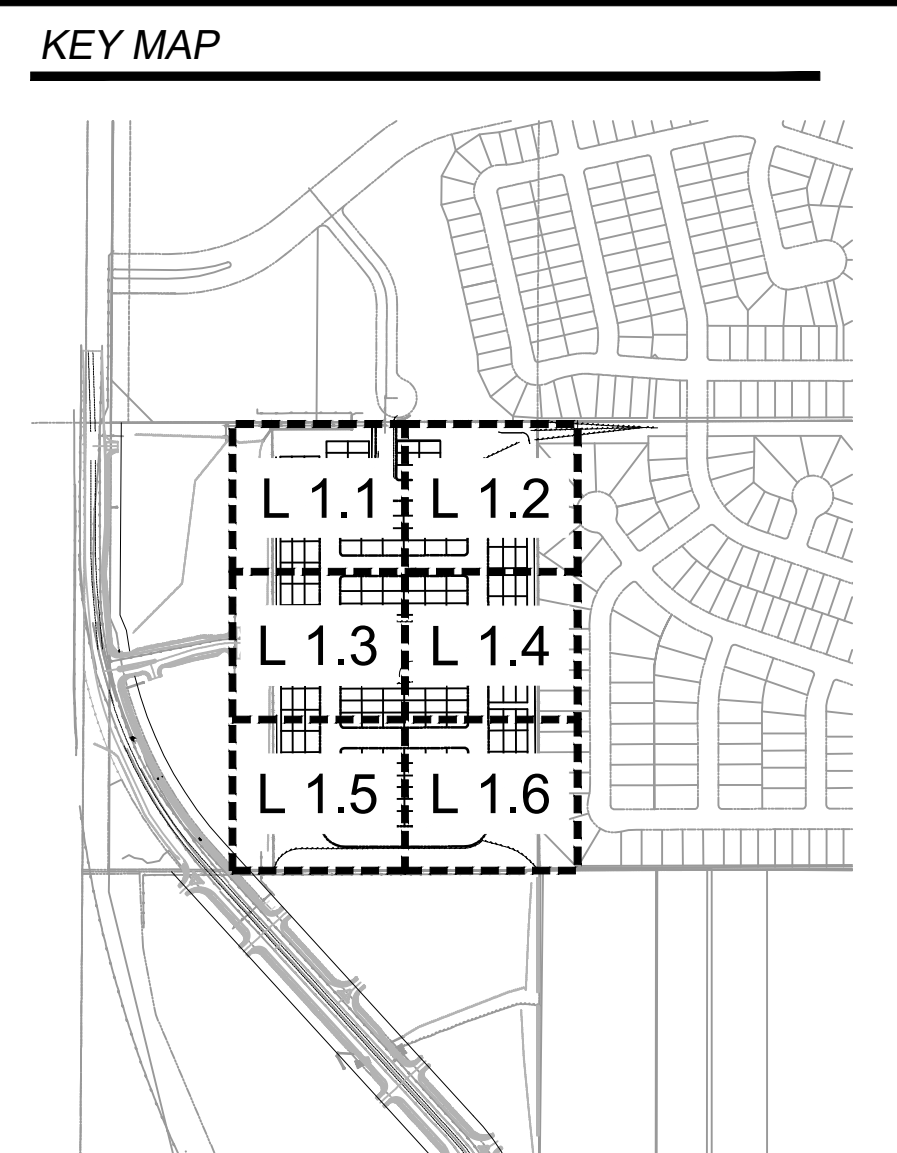
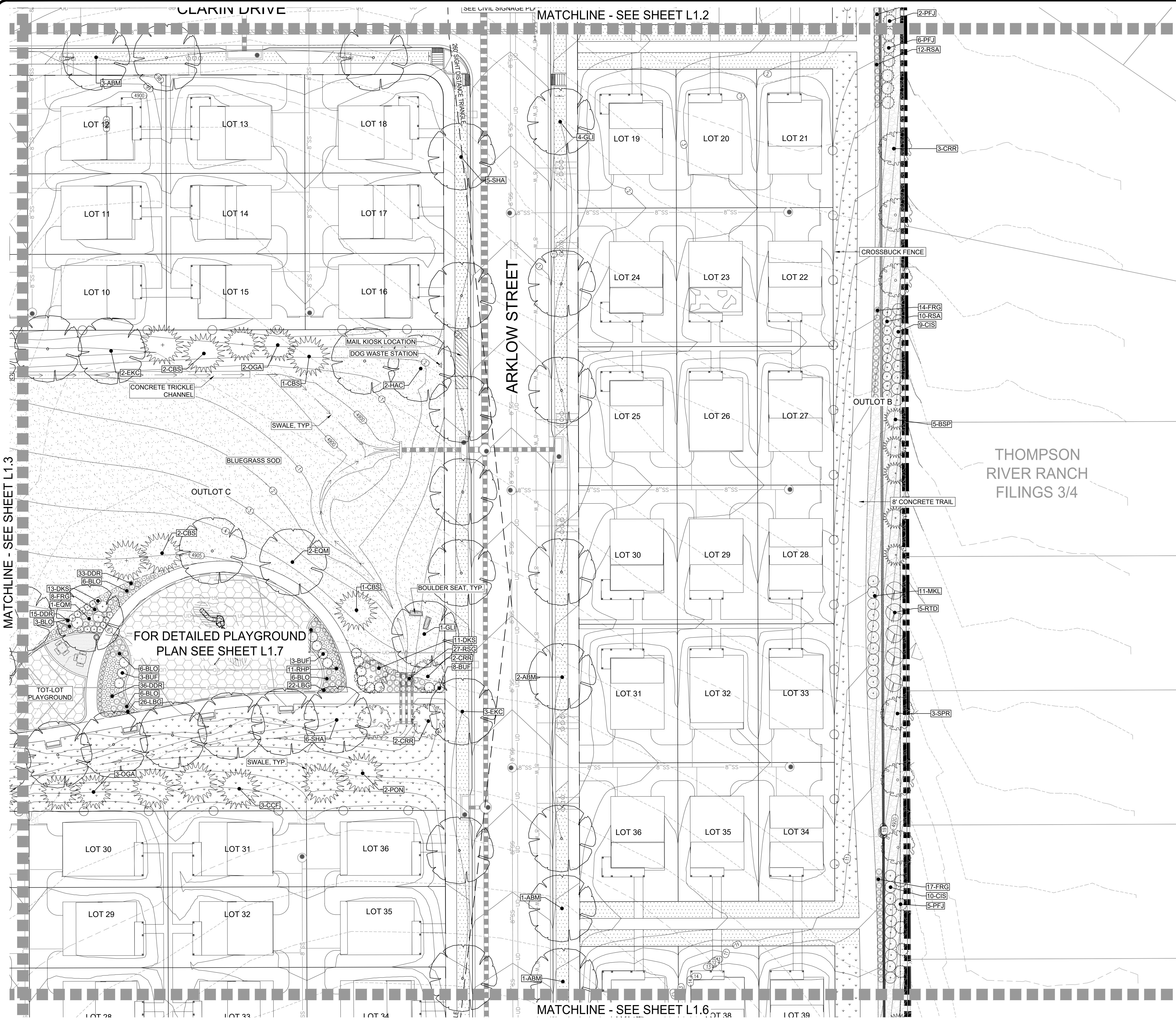
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5TH SUBMITTAL	07/18/2022

SHEET NUMBER

L1.3







- LEGEND**
- DECIDUOUS TREES
  - EVERGREEN TREES
  - DECIDUOUS SHRUBS
  - EVERGREEN SHRUBS
  - PERENNIALS
  - ORNAMENTAL GRASSES
  - PLAYGROUND MULCH
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  - BLUEGRASS SOD
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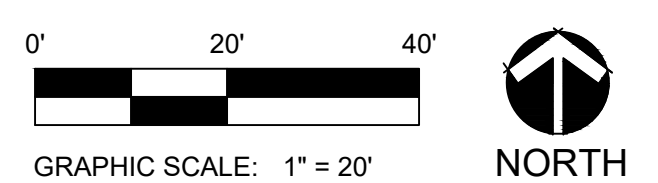
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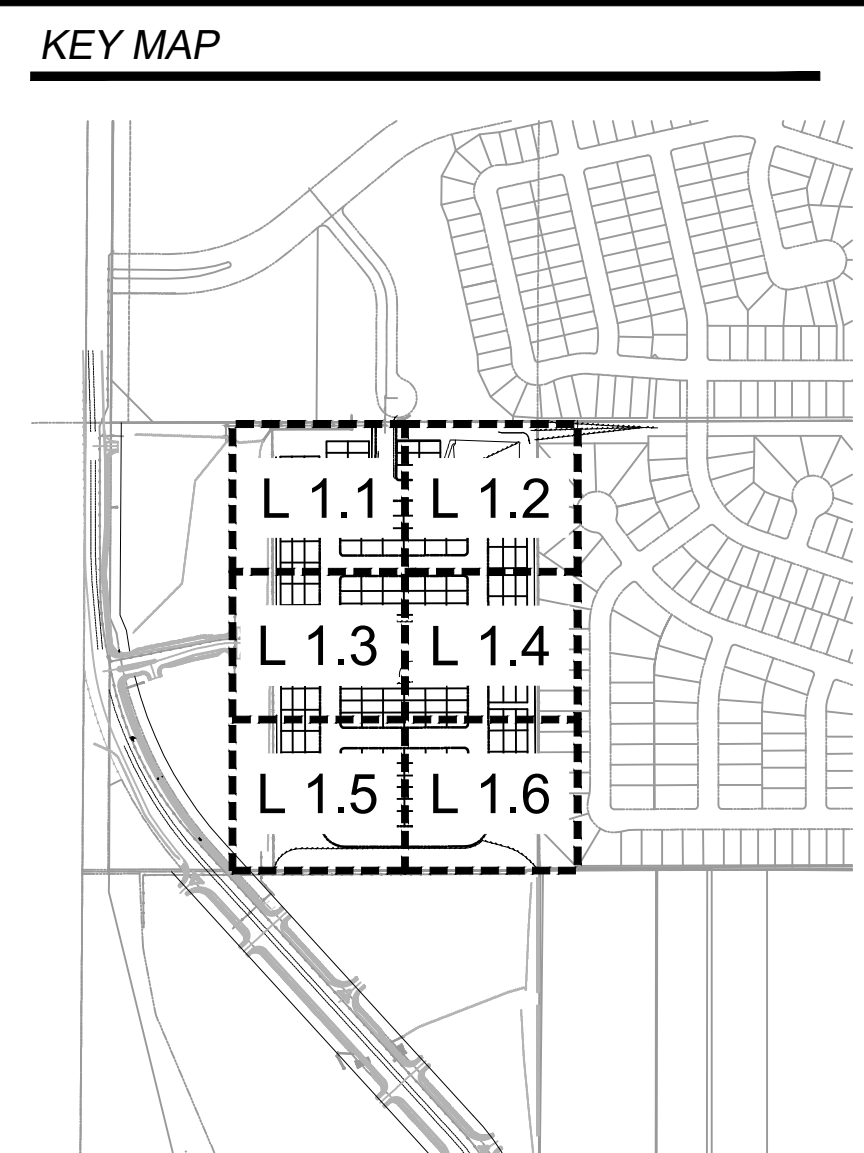
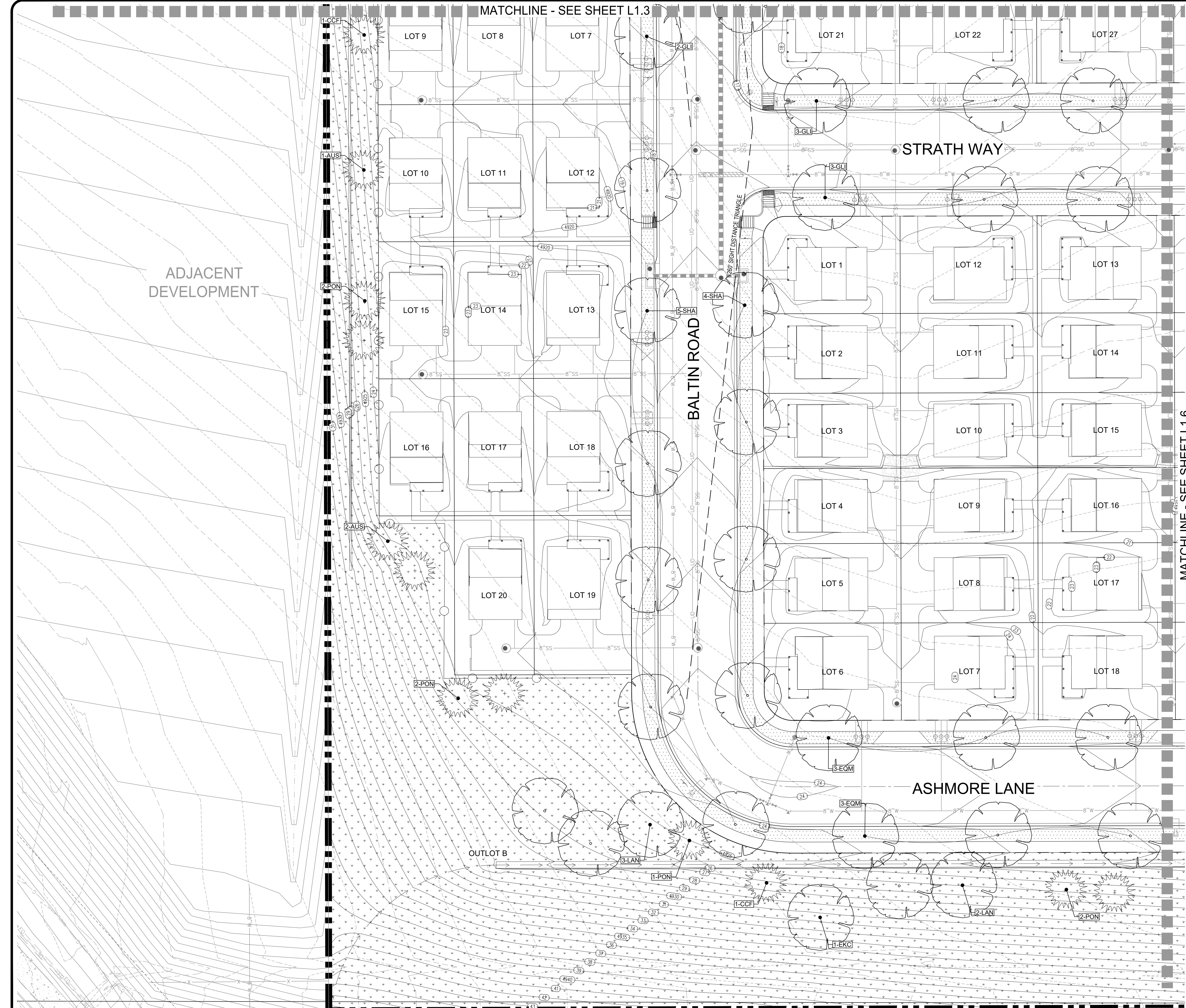
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SHEET NUMBER

**L1.4**



- LEGEND**
- DECIDUOUS TREES
  - EVERGREEN TREES
  - DECIDUOUS SHRUBS
  - EVERGREEN SHRUBS
  - PERENNIALS
  - ORNAMENTAL GRASSES
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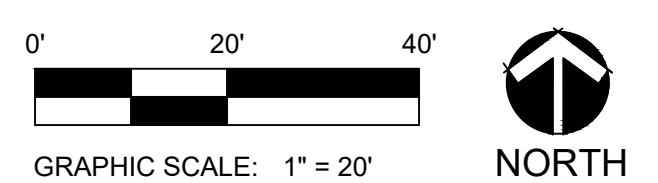
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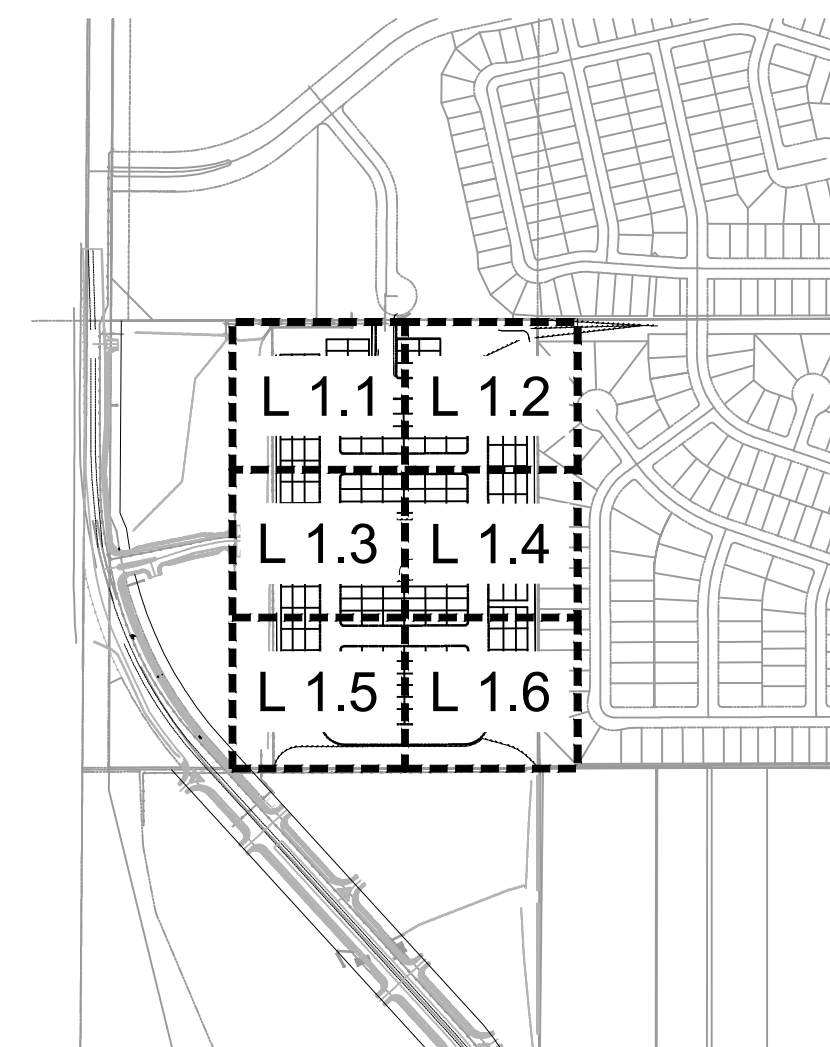
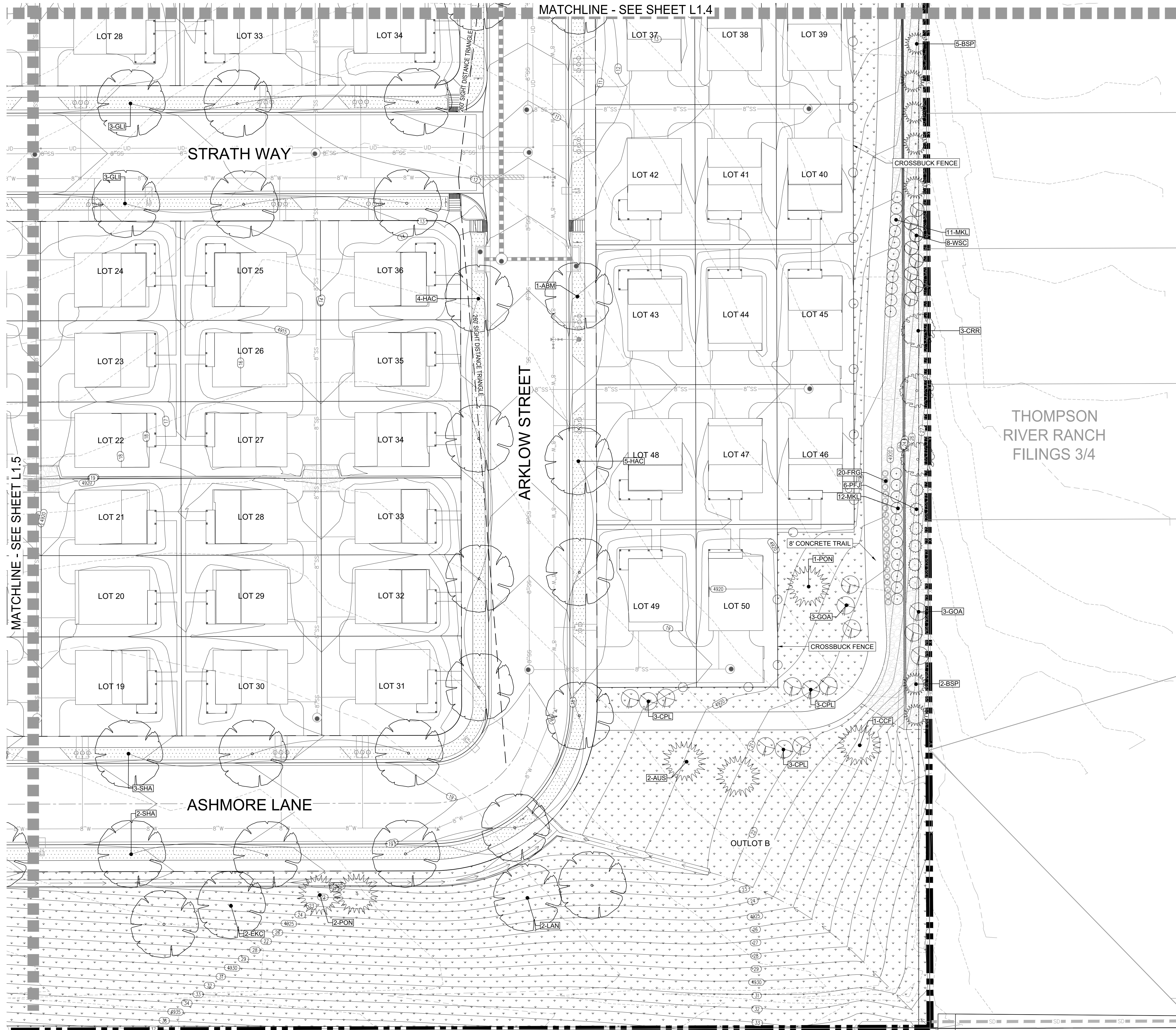
SHEET NUMBER



L1.5

MATCHLINE - SEE SHEET L1.4

KEY MAP



LEGEND

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JOHNSTOWN, COLORADO  
**FINAL DEVELOPMENT PLAN**  
**LANDSCAPE PLAN**

PROFESSIONAL STAMP

PROJECT INFORMATION

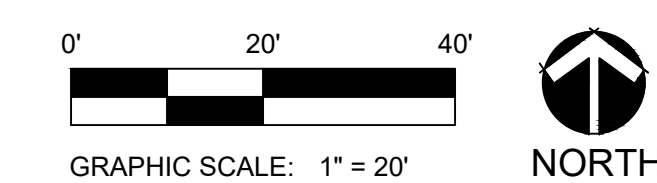
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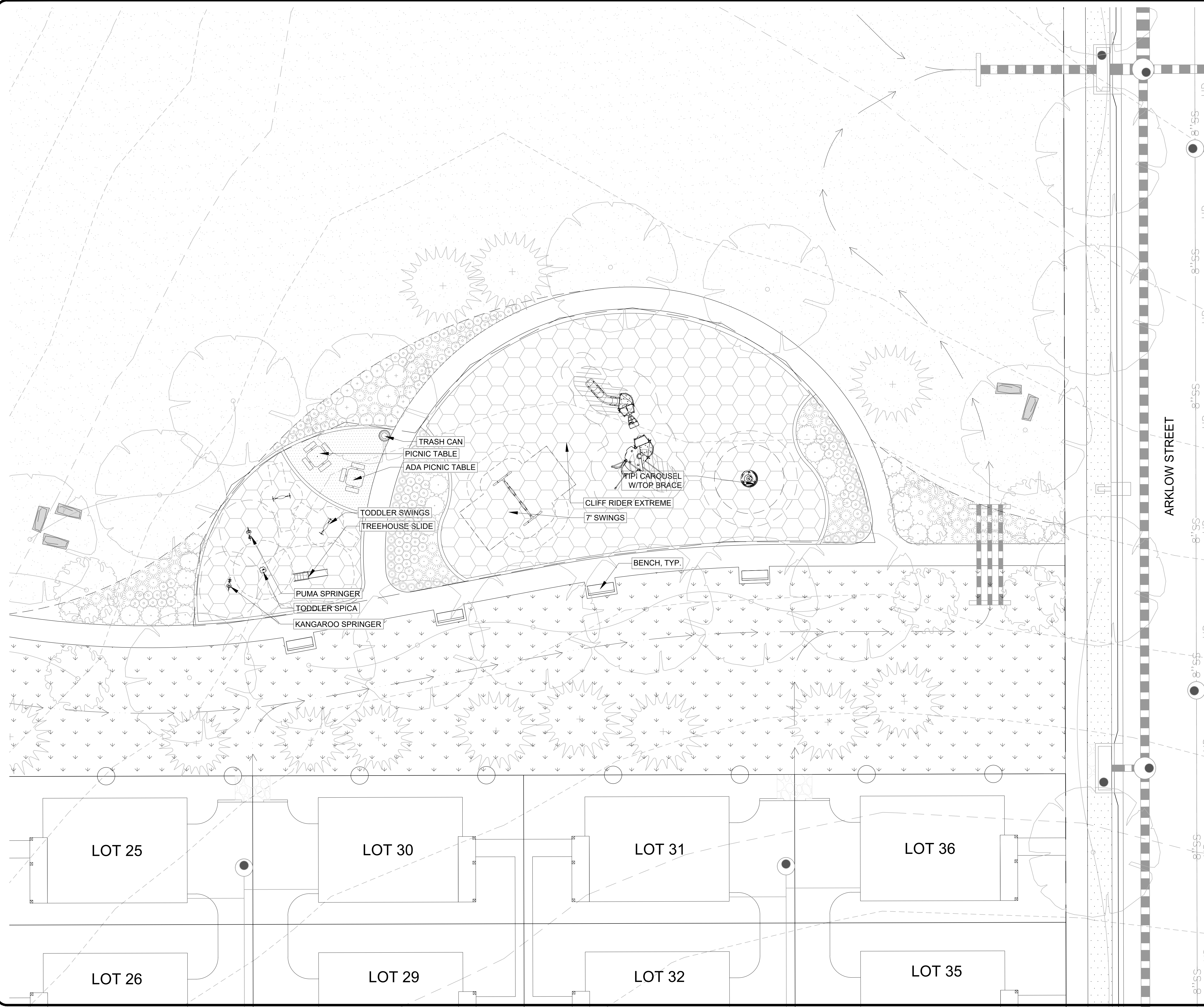
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SHEET NUMBER

**L1.6**





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 PLAYGROUND LAYOUT PLAN

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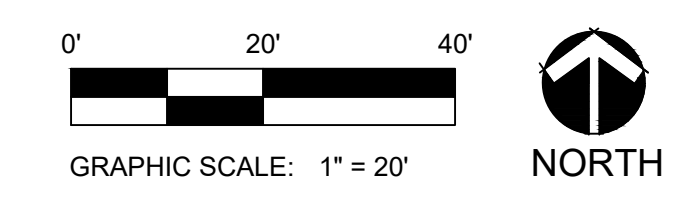
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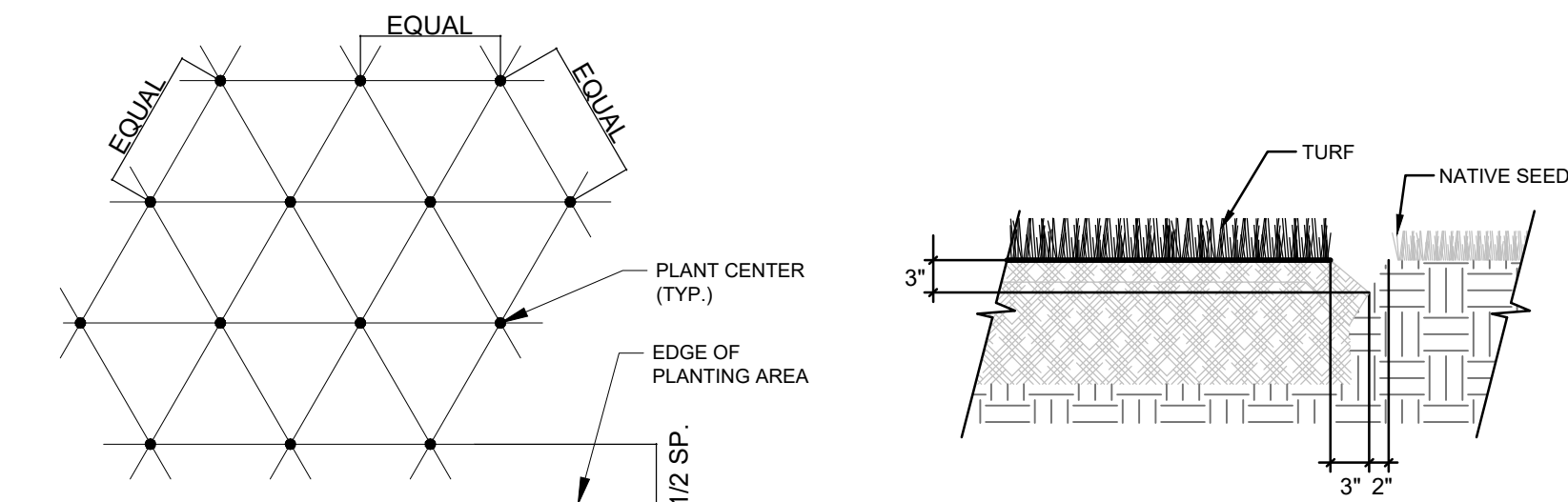
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SHEET NUMBER

L1.7

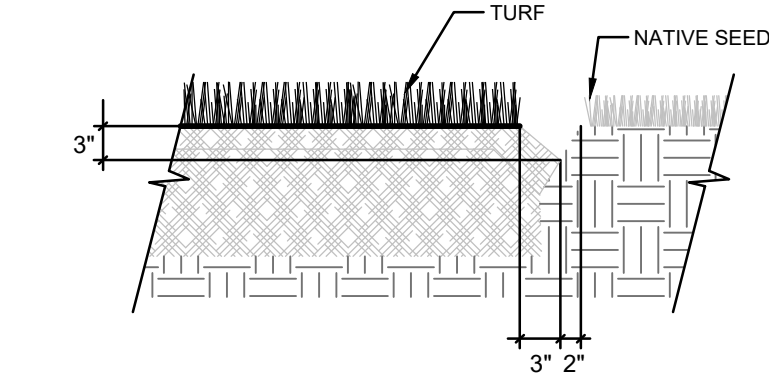


# PLANTING DETAILS

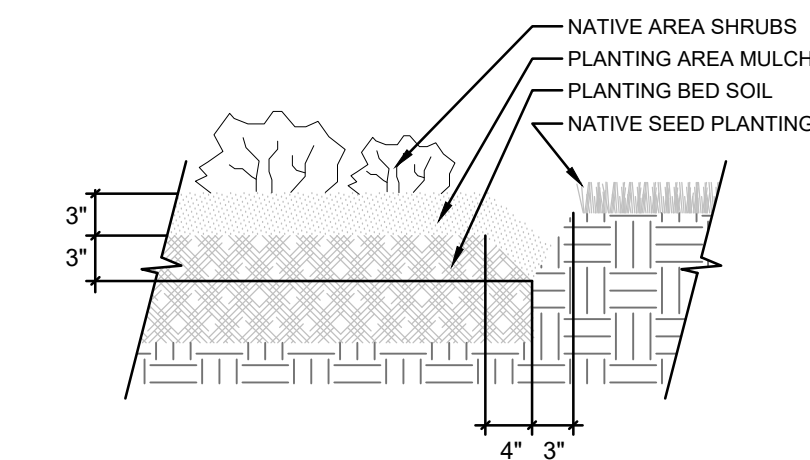


**A PLANT SPACING DETAIL**  
SCALE: NTS

**B NATIVE AREA EDGE ADJ. TO SOD**  
SCALE: NTS

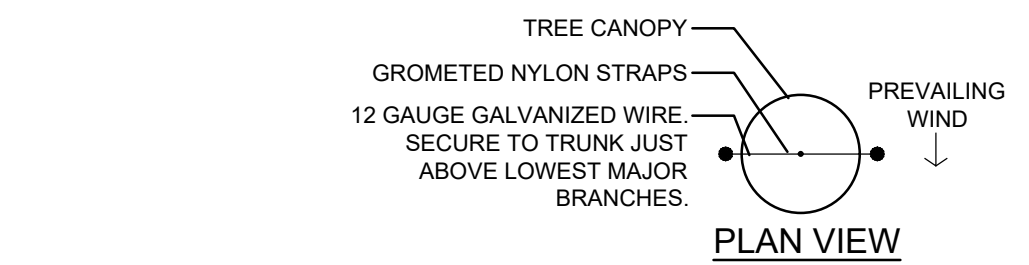
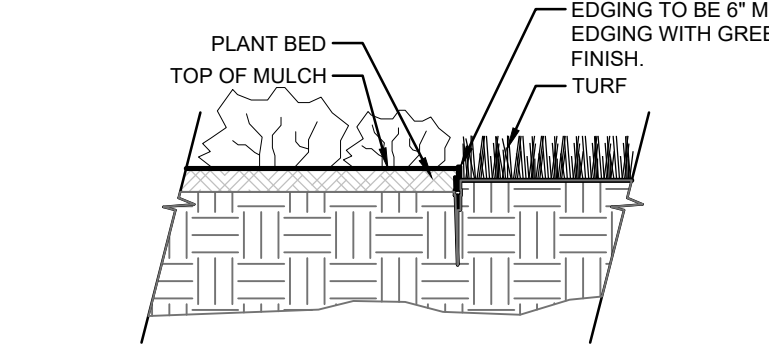


- NOTES:**
- CONTRACTOR TO STAKE OUT EDGING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL EDGING TO BE IN CONSISTENT STRAIGHT OR CURVED ALIGNMENT.
  - ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 8-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS.
  - INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



**C NATIVE AREA PLANT BEDS**  
SCALE: NTS

**D STEEL EDGER**  
SCALE: NTS



- NOTES:**
- SCAFFRY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  - REMOVE ALL NURSERY STAKES.
  - WRAP TRUNK OF DECIDUOUS TREES FROM ROOT FLARE TO LOWEST MAJOR BRANCH.
  - FOR TREES OVER 3\"/>

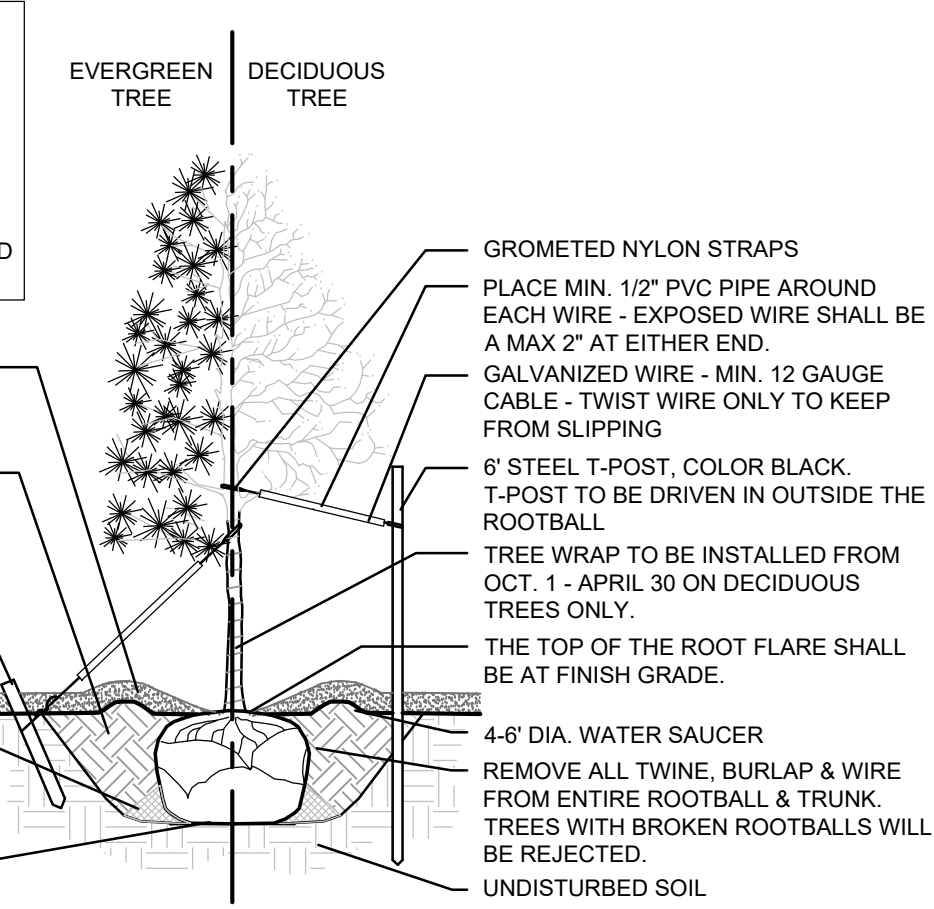
- MIN. 3\"/>

BACKFILL WITH BLEND AT EXISTING SOIL AND A MAX. OF 20% (BY VOLUME) ORGANIC MATERIAL WITH 1:1 SLOPE ON THE SIDES OF THE PLANTING HOLE.

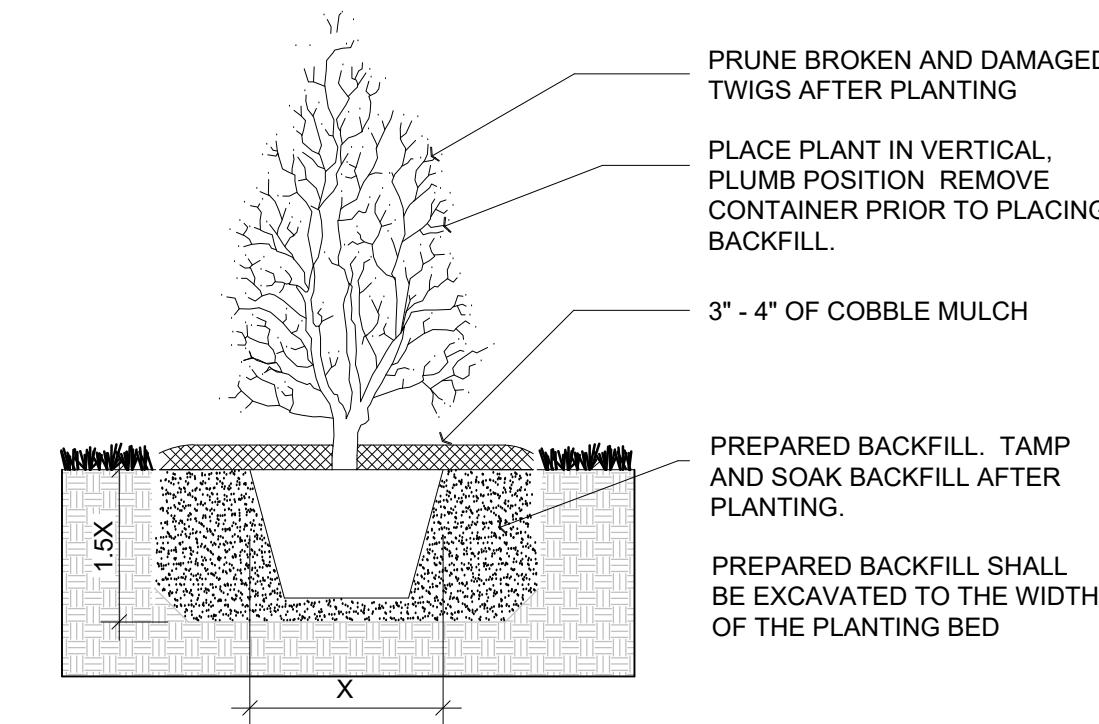
PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18\"/>

CONTRACTOR TO FIRMLY PLACE SOIL AROUND ROOTBALL WITHOUT PACKING OR TAMPING. SET SOIL WITH WATER TO FILL ALL AIR POCKETS.

PLACE ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



**E TREE PLANTING DETAIL**  
SCALE: NTS



**F SHRUB PLANTING DETAIL**  
SCALE: NTS

### NATIVE GRASS SEED MIX

COMMON NAME	BOTANIC NAME	lb/ac
Western Wheatgrass	Pascopyrum smithii 'Arriba, Barton'	3.00
Green Needlegrass	Stipa viridula 'Lodorm'	2.25
Little Bluestem	Schizachyrium scoparium	2.25
Indian Ricegrass	Achnatherum hymenoides 'Nezpar/Paloma'	1.50
Sidecoats Grama	Bouteloua curtipendula 'Vaughn/Butt'e'	1.50
Big Bluestem	Andropogon gerardii 'Kaw'	1.50
Sand Bluestem	Andropogon hallii	1.50
Purple Prairieclover	Dalea purpurea	0.75
Blue Grama	Bouteloua gracilis 'Lovington/Hachita'	0.75
TOTAL lb/ac		15.0

# PLANTING SCHEDULE

SYMBOL /ABBR.	QTY.	BOTANIC NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING
<b>DECIDUOUS TREES</b>						
ABM	29	ACER X FREMANII	AUTUMN BLAZE MAPLE	40'	2.5\"/>	

<b>EVERGREEN TREES</b>						
AUS	18	PINUS NIGRA	AUSTRIAN PINE	20'	6\"/>	

<b>DECIDUOUS SHRUBS</b>						
CIS	45	PRUNUS X CISTENA	PURPLE LEAF SAND CHERRY	5'	5 GALLON	Per plan
RTD	5	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	8'	5 GALLON	Per plan
WSC	27	PRUNUS BESSEYI	WESTERN SAND CHERRY	6'	5 GALLON	Per plan
GLS	7	RHUS AROMATICA 'GROW-LOW'	GROW LOW SUMAC	5'	5 GALLON	Per plan
BMS	53	CARYOPTERIS X CLANDENOSIS	BLUE MIST SPIREA	3'	5 GALLON	Per plan
DKS	64	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT SPIREA	3'	5 GALLON	Per plan
RSA	31	PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	4'	5 GALLON	Per plan
PDS	18	POTENTILLA FRUTICOSA 'FARGO'	DAKOTA SUNSPOT POTENTILLA	3'	5 GALLON	Per plan
LIV	36	ROSA 'HARWELCOME'	LIVIN' EASY ROSE	4'	5 GALLON	Per plan
RAB	30	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	3'	5 GALLON	Per plan
MKL	34	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	5'	5 GALLON	Per plan
TES	6	RHUS TYPHINA 'BALTIGER' PP16185	TIGER EYES SUMAC	6'	5 GALLON	Per plan
GOA	33	QUERCUS GAMBELII	GAMBEL OAK	12'	5 GALLON	Per plan
CPL	27	SYRINGA VULGARIS	COMMON PURPLE LILAC	8'	5 GALLON	Per plan
ABS	6	AMELANCHIER X GRANDIFLORA	SERVICEBERRY AUTUMN BRILLIANCE	8'	5 GALLON	Per plan

<b>EVERGREEN SHRUBS</b>						
PFJ	41	PFITZER JUNIPER	JUNIPER 'PFITZERIANA'	6'	5 GALLON	Per plan
BUF	68	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5'	5 GALLON	Per plan

<b>ORNAMENTAL GRASSES &amp; PERENNIALS</b>						
FRG	86	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	36\"/>		

# NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING. IT IS FURTHER RECOMMENDED THE CONTRACTOR TEST SOILS TO ENSURE NO CONTAMINATION IS PRESENT.
- PLANTING SCHEDULE QUANTITIES ARE FOR CONTRACTOR CONVENIENCE ONLY. WHERE CONFLICT OCCURS, THE QUANTITIES SHOWN ON PLAN SHALL PREVAIL.
- ALL TREES, SHRUBS, PERENNIALS, SOD, AND/OR SEED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND PROTECT ALL UTILITIES AND STRUCTURES PRIOR TO AND DURING WORK. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER. ALL TREE AND SHRUB TAGS SHALL REMAIN ON THE PLANTS UNTIL THE TIME OF FINAL ACCEPTANCE.
- CONTRACTOR SHALL OBTAIN A LABORATORY TOPSOIL ANALYSIS REPORT TO PROVIDE ANALYSIS OF SOIL FERTILITY AND RECOMMENDATIONS FOR SOIL AMENDMENTS, FERTILIZER PRODUCTS AND APPLICATION RATES FOR TURF AREAS, TREES, SHRUBS AND PERENNIALS.
- ALL TOPSOIL SHALL BE STRIPPED TO A MINIMUM DEPTH OF 6\"/>

# MAINTENANCE OBLIGATION STATEMENT

- COMMON OPEN SPACE AREAS INCLUDED WITH THIS DP - EXCEPT ANY COMMON AREAS TO BE OWNED BY JOHNSTOWN OR OTHER PUBLIC ENTITY - ARE TO BE MAINTAINED BY THE THOMPSON CROSSING METRO DISTRICT #5.
- PRIVATE OPEN SPACE: PRIVATE YARDS, PATIOS, DECKS, PRIVATE DRIVEWAYS, LANDSCAPING IN ADJACENT LOCAL STREET RIGHTS-OF-WAY, AND THE LIKE, ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.
- FRONT YARDS, COMMON AREA LANDSCAPE AND TREE LAWNS TO BE MAINTAINED BY METRO DISTRICT #5.

# DEVELOPMENT OBLIGATION STATEMENT

- UPON RECEIPT OF DRC AND JRC APPROVALS, CONSTRUCTION MAY PROCEED IN STRICT COMPLIANCE WITH THE TERMS AND CONDITIONS OF SUCH APPROVALS.
- GRADING AND EARTHWORK MAY PROCEED PRIOR TO RECEIPT OF DRC/JRC APPROVAL SOLELY AT THE APPLICANT'S RISK, UPON ISSUANCE OF A GRADING PERMIT BY THE TOWN OF JOHNSTOWN.
- THE DEVELOPER IS OBLIGATED TO INSTALL LANDSCAPING AND IRRIGATION CONSISTENT WITH THE PERFORMANCE STANDARDS & DESIGN GUIDELINES AS INDICATED ON LANDSCAPE CONSTRUCTION DOCUMENTS PROVIDED WITH EACH CONSTRUCTION PHASE OR SUB-PHASE OF THIS THOMPSON RIVER RANCH DP.

# LANDSCAPE PLANTING REQUIREMENTS

TYPE	TOTAL LANDSCAPE AREA /DISTANCE	TREE/SF OR LF REQUIRED	# of TREES REQUIRED/ PROVIDED	SHRUBS/SF OR LF REQUIRED	# of SHRUBS PROVIDED/ PROVIDED
OPEN SPACE	201,285 SF	1 / 4500' SF	45 / 64	5 / 4500' SF	224 / 157*
PARK	79,980 SF	1 / 2000' SF	40 / 63	1 / 500' SF	160 / 131*
LANDSCAPE BUFFER	9,935 SF	1 / 400' SF	25 / 29	5 / 400' SF	125 / 86*
DETENTION POND	750 LF	1 / 35' LF	22 / 22	5 / 35' LF	108 / 108

\* UP TO 70 PERCENT OF SHRUBS CAN BE SUBSTITUTED FOR TREES AT A RATE OF 1 TREE=10 SHRUBS.

# LANDSCAPE DATA TABLE

TYPE	PROVIDED AREA (SF)	PROVIDED % OF TOTAL LANDSCAPE AREA
TURF	98,237	31%
NATIVE SEED	203,868	63%
PLANTING BED	19,347	6%
<b>TOTAL LANDSCAPE AREA</b>	<b>321,452</b>	<b>100%</b>

# TURF GRASS (SOD)

SUPPLIER	TURF TYPE	SPECIFICATION
GRAFF'S TURF	FESCUE	BLACK BEAUTY FESCUE
GRAFF'S TURF	BLUEGRASS	COLORADO'S CHOICE

**NOTES:**

- SUBSTITUTIONS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SOD IN PARK TO BE COLORADO'S CHOICE BLUEGRASS. SOD IN ALL OTHER AREAS TO BE BLACK BEAUTY FESCUE.

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FINAL DEVELOPMENT PLAN  
DETAILS

PROFESSIONAL STAMP

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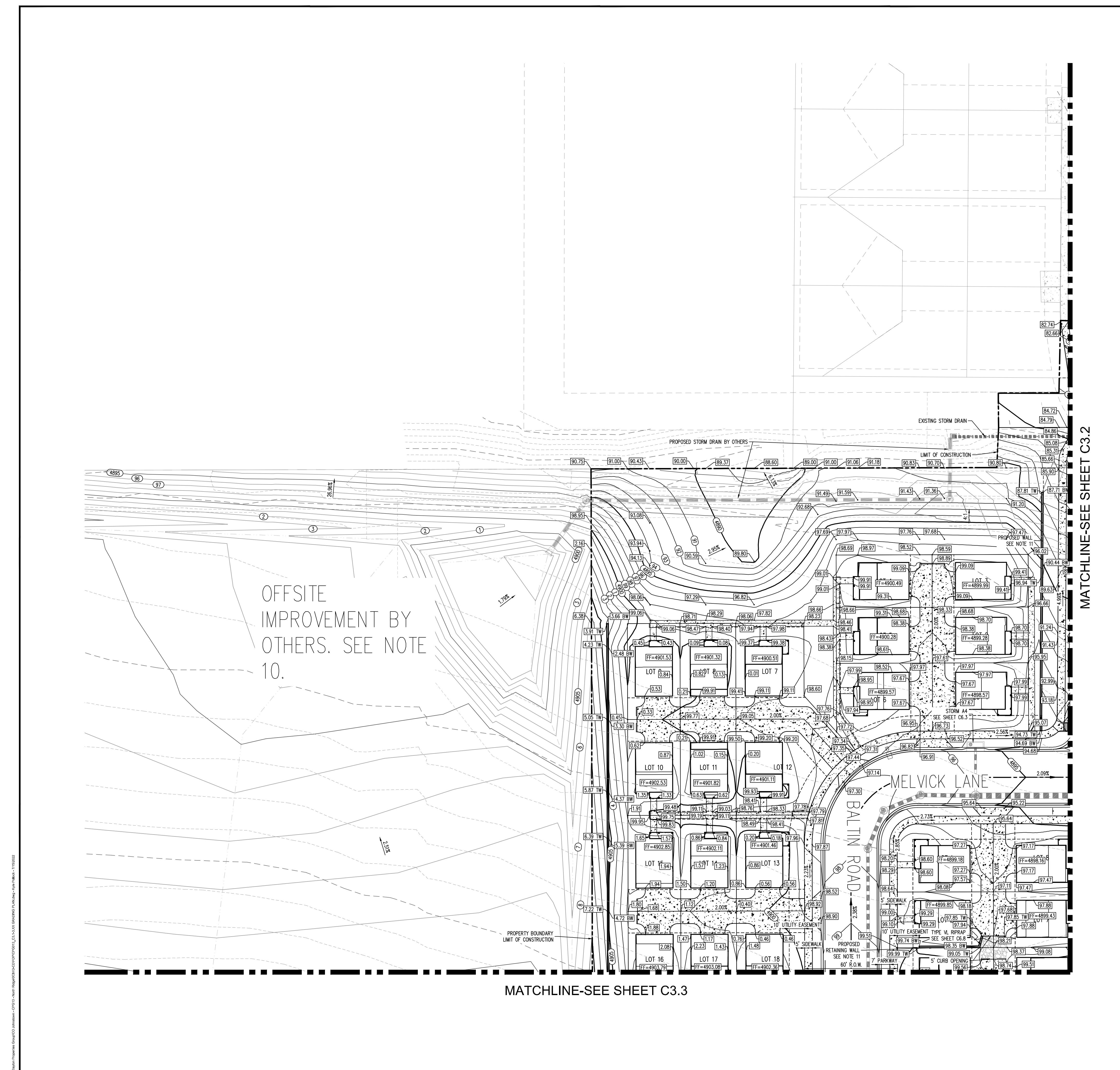
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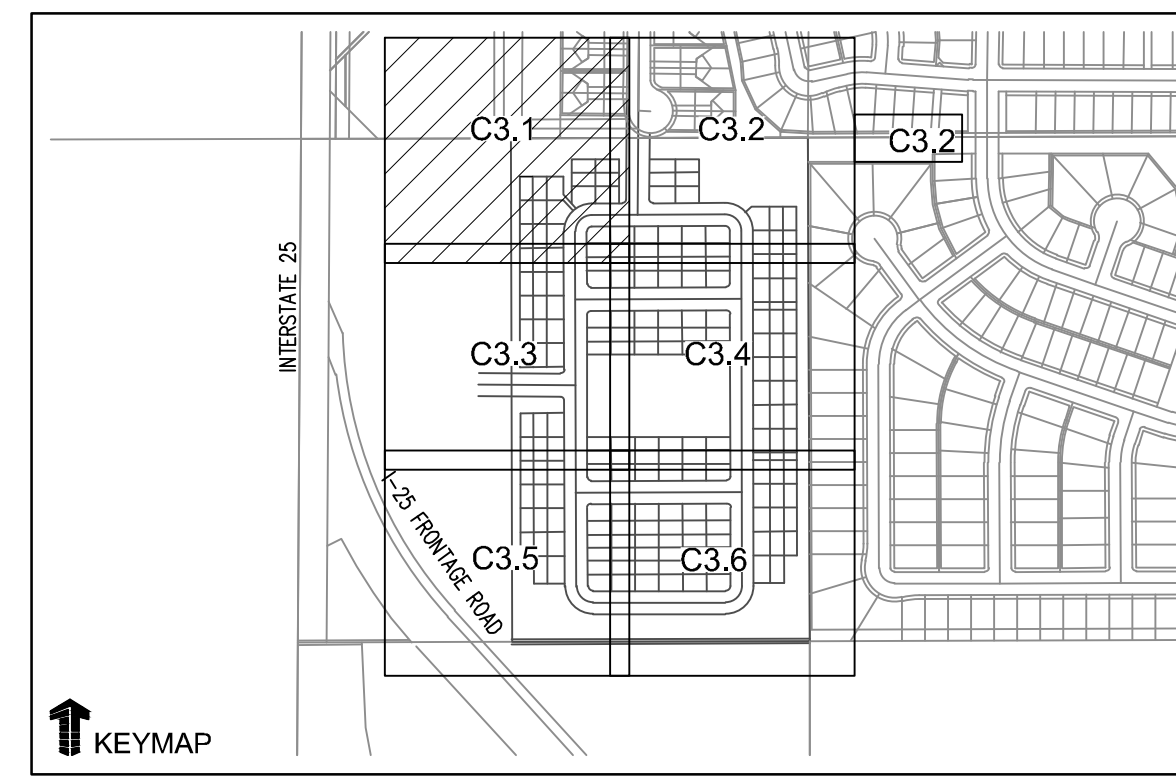
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OFFSITE  
IMPROVEMENT BY  
OTHERS. SEE NOTE  
10.

MATCHLINE-SEE SHEET C3.3

MATCHLINE-SEE SHEET C3.2



**LEGEND:**

PROPOSED CURB AND GUTTER	
PROPOSED RIGHT-OF-WAY	
PROPOSED LOTLINE	
EASEMENT LINE	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED STORM DRAIN	
EXISTING STORM DRAIN	
PROPOSED WALL	
PROPOSED MANHOLE	
PROPOSED STORM INLET	
PROPOSED CONCRETE CROSS PAN (TYP.)	

PROPOSED SPOT ELEVATION  
EXISTING SPOT ELEVATION

**NOTES:**

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**Galloway**

6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com

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CLAYTON PROPERTIES GROUP  
NORTH RIDGE AT TRR  
FINAL DEVELOPMENT PLAN  
JOHNSTOWN, CO

#	Date	Issue / Description	Init.

Project No: CPG000013  
Drawn By: JKD  
Checked By: KJP  
Date: 07.15.2022

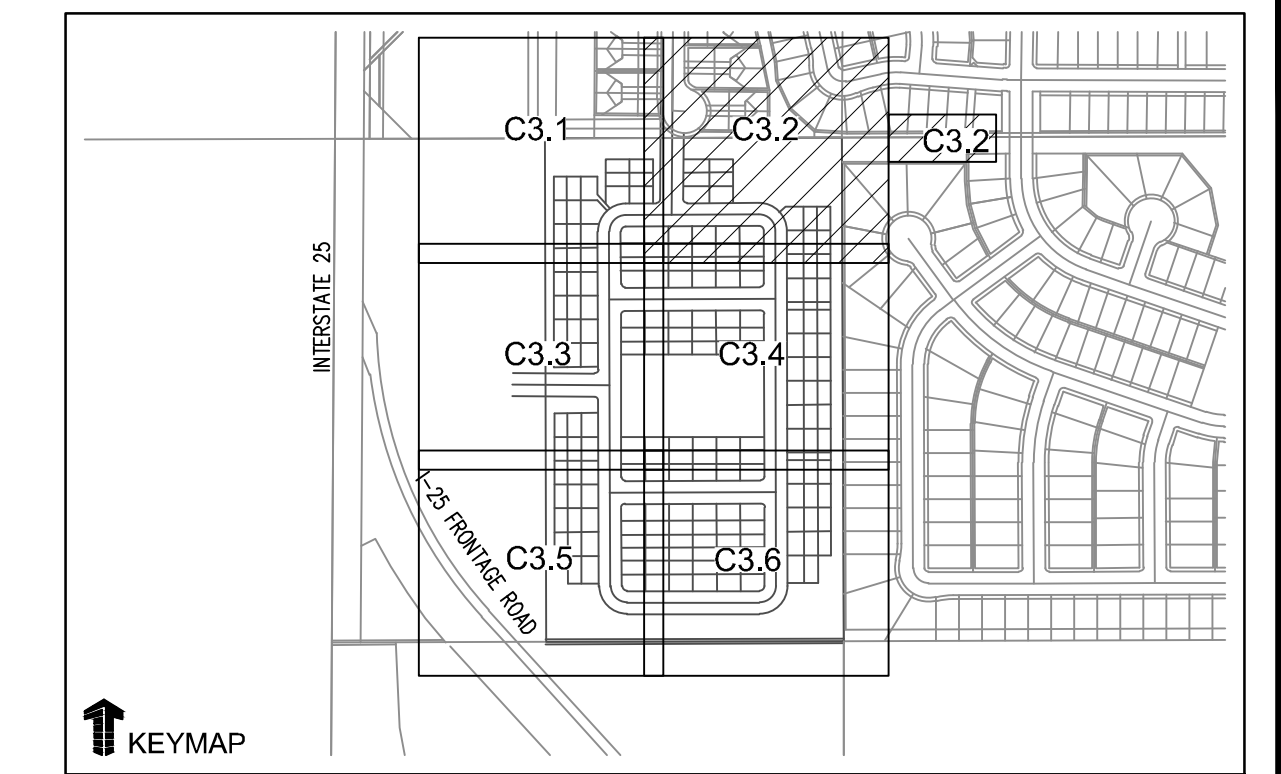
GRADING PLAN

CALL UTILITY NOTIFICATION CENTER OF COLORADO

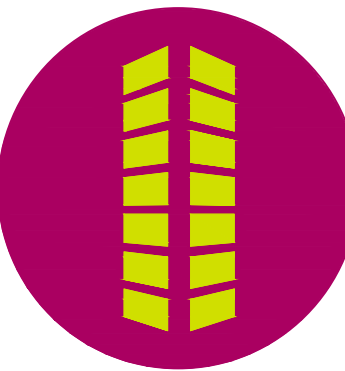
Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**C3.1**

C:\Users\jgalloway\OneDrive\Documents\20220627\North Ridge\GIS\DWG\GP\NORTH RIDGE AT TRR - GRADING PLAN.dwg (17/07/2022)



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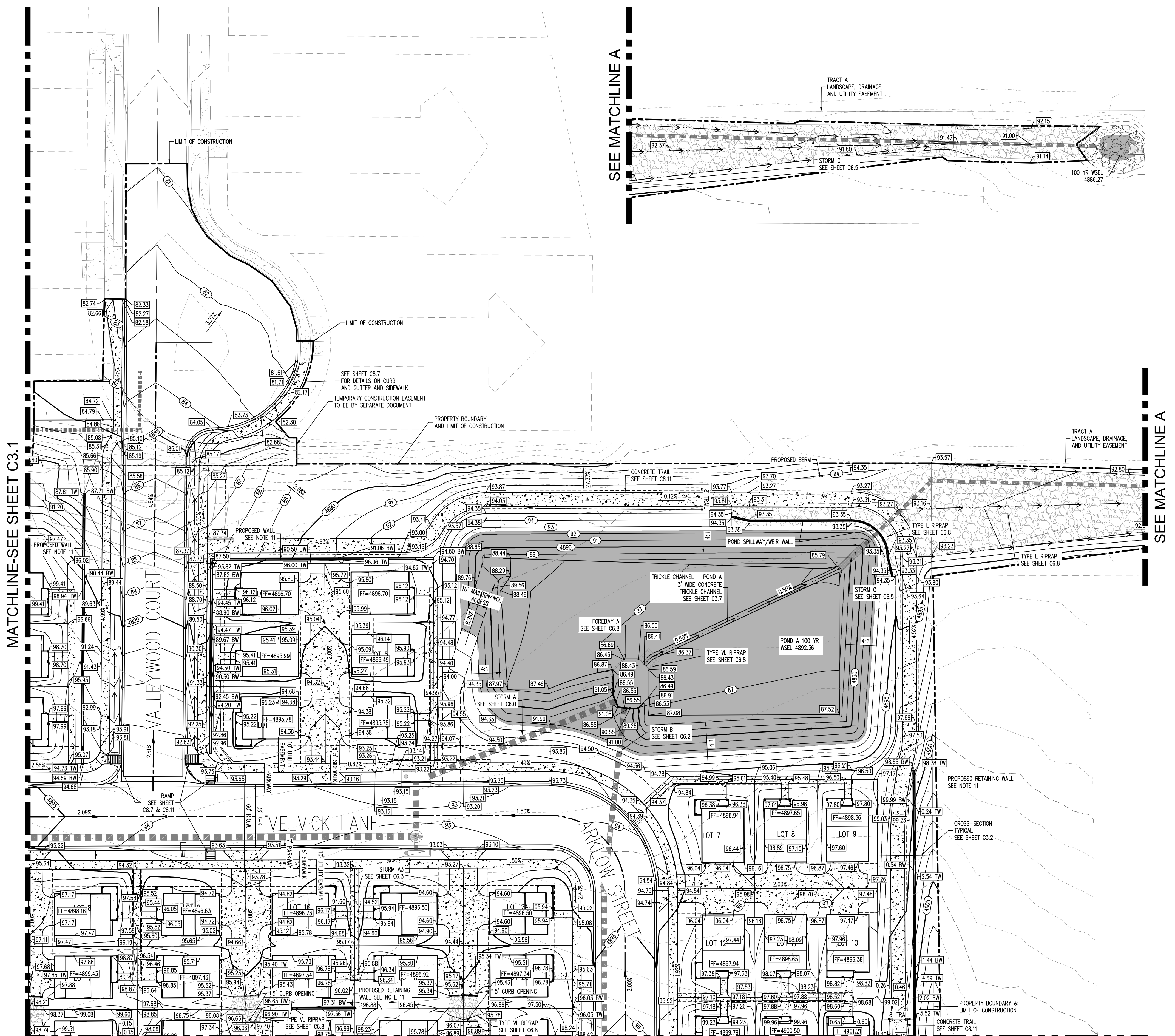


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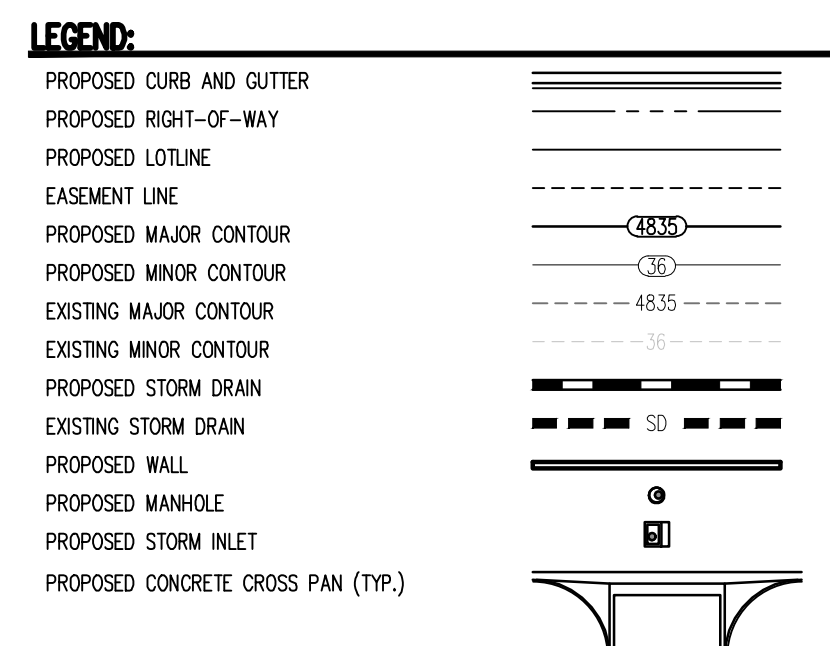


MATCHLINE-SEE SHEET C3.1

SEE MATCHLINE A

SEE MATCHLINE A

MATCHLINE-SEE SHEET C3.4

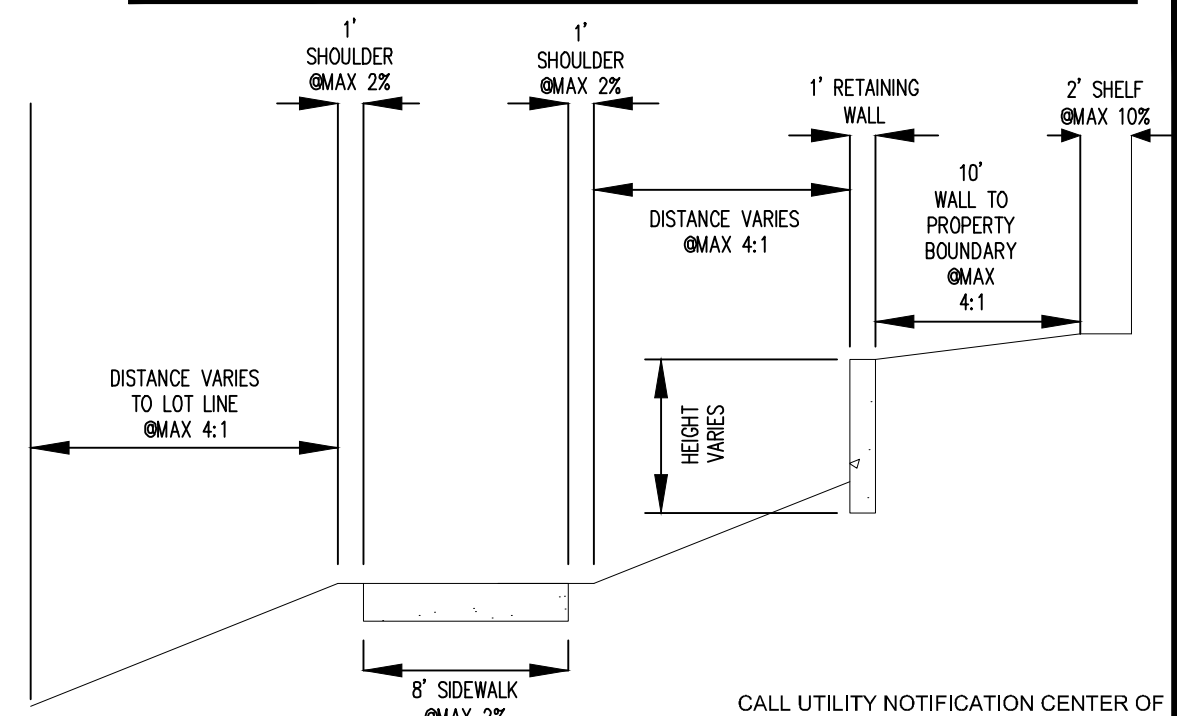


PROPOSED SPOT ELEVATION  
EXISTING SPOT ELEVATION

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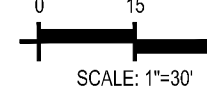
**EAST WALL CROSS SECTION:**



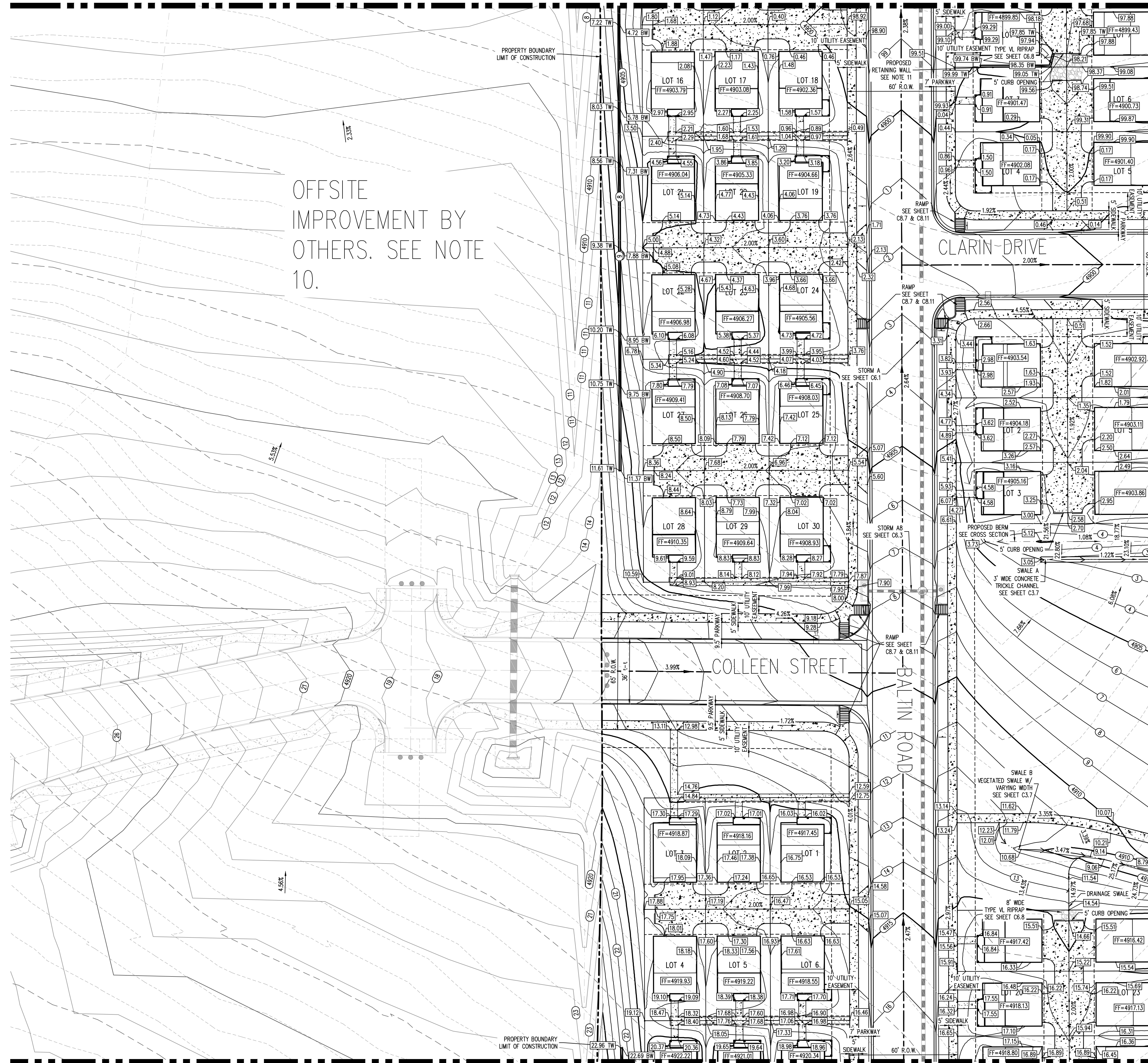
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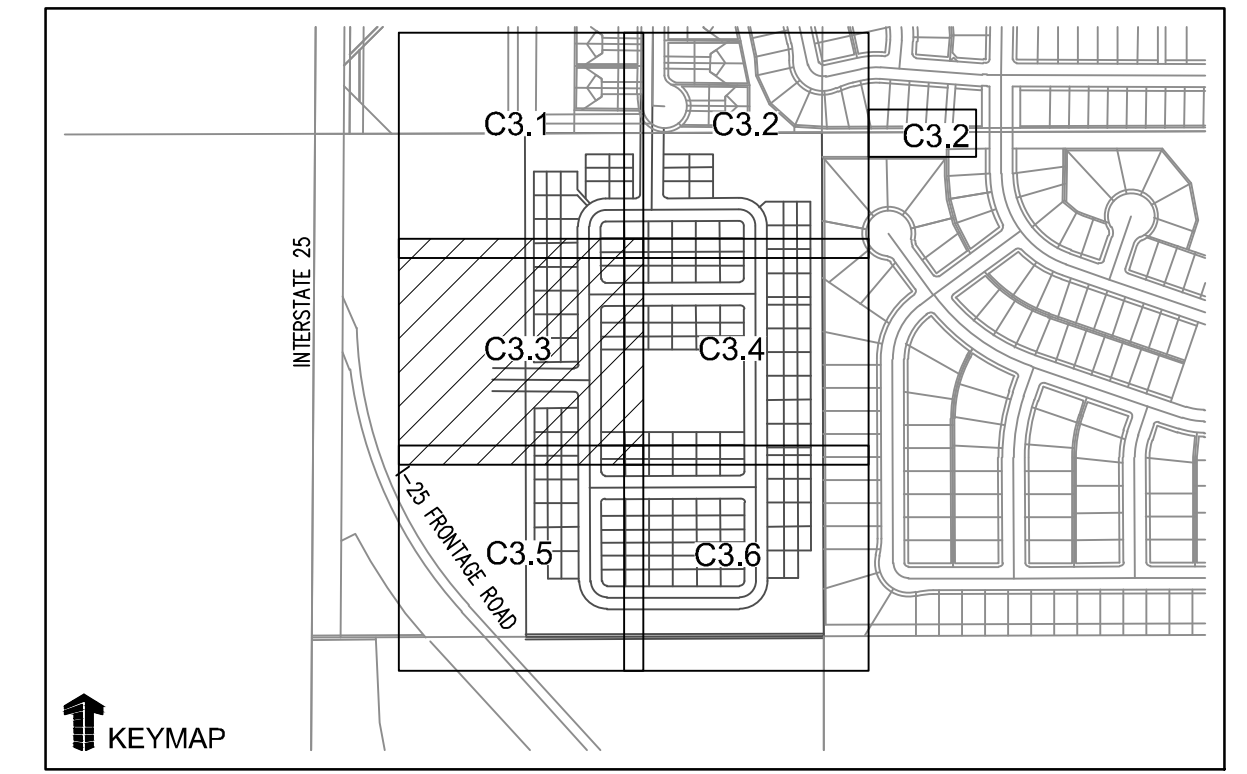


MATCHLINE-SEE SHEET C3.1

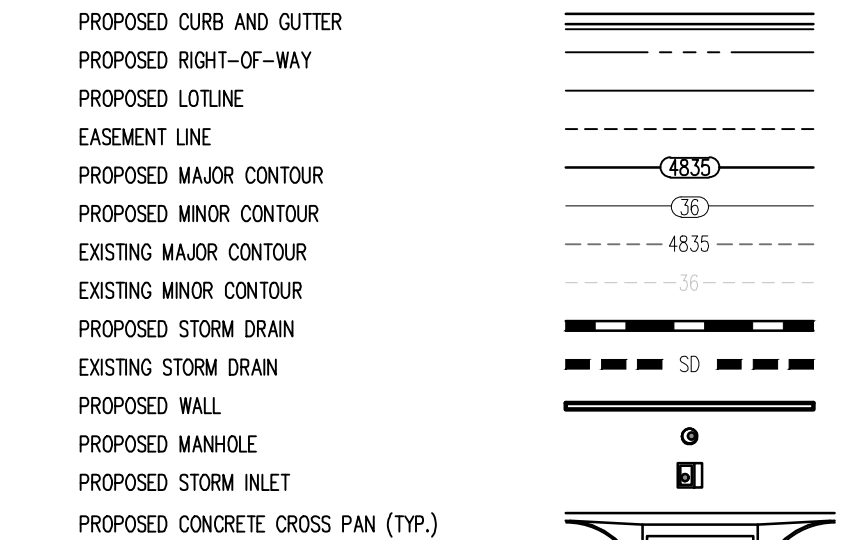


MATCHLINE-SEE SHEET C3.4

OFFSITE  
IMPROVEMENT BY  
OTHERS. SEE NOTE  
10.



LEGEND:

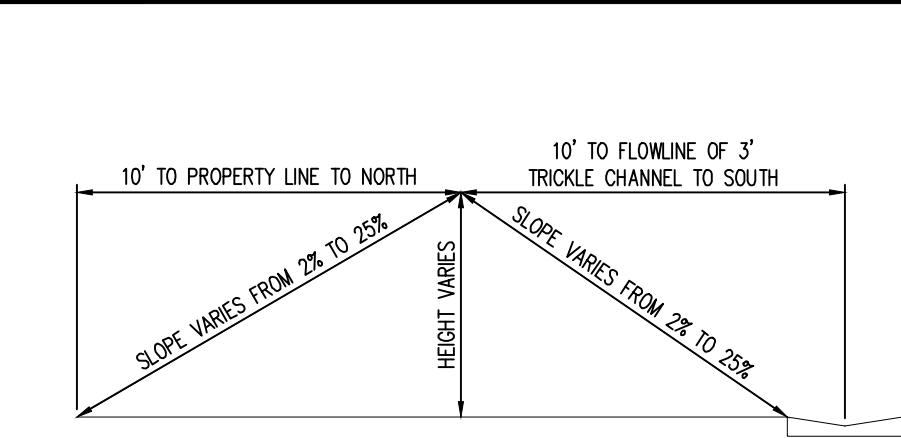


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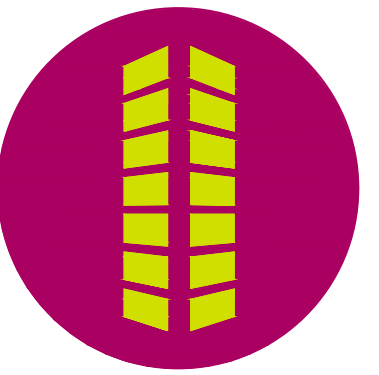
PARK BERM CROSS SECTION:



MATCHLINE-SEE SHEET C3.5



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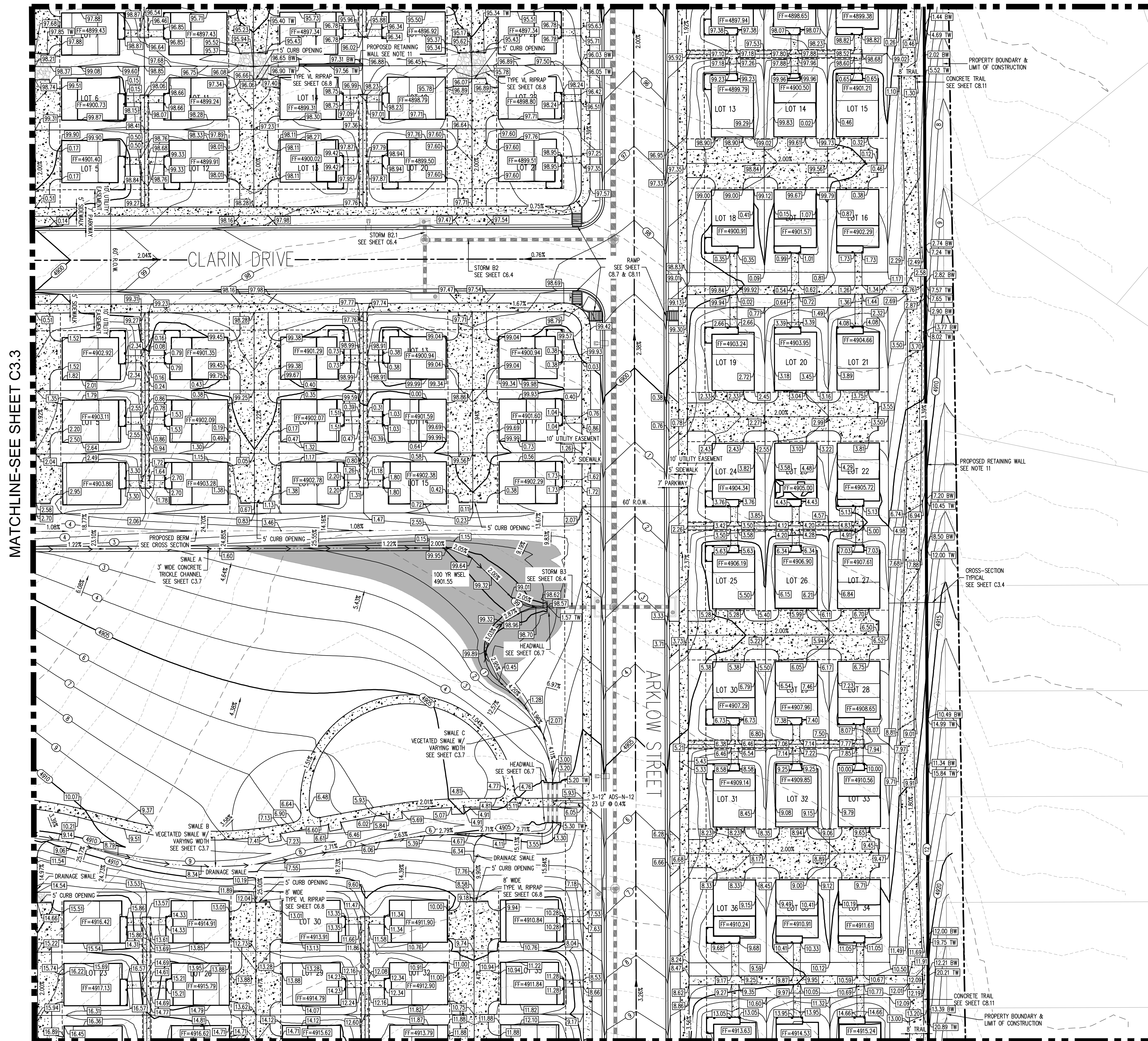
Project No: CPG000013  
Drawn By: JKD  
Checked By: KJP  
Date: 07.15.2022

GRADING PLAN

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**811**  
Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

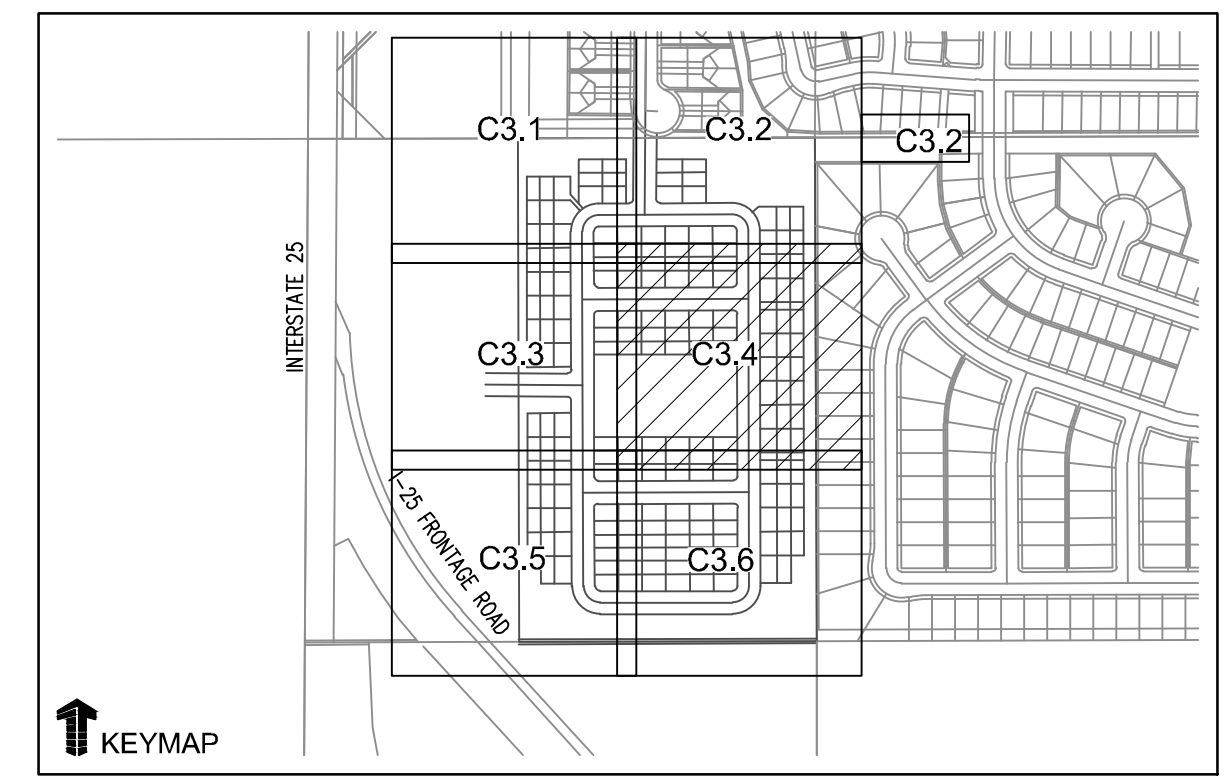


MATCHLINE-SEE SHEET C3.2

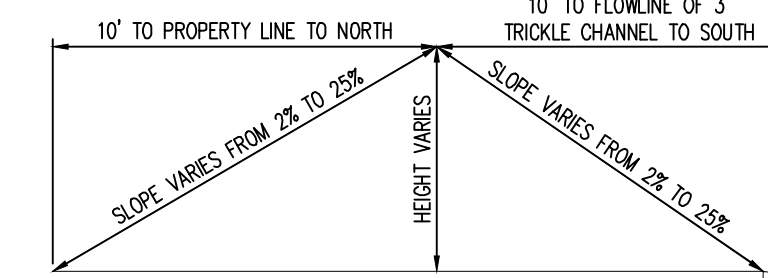


MATCHLINE-SEE SHEET C3.3

MATCHLINE-SEE SHEET C3.6



PARK BERM CROSS SECTION:



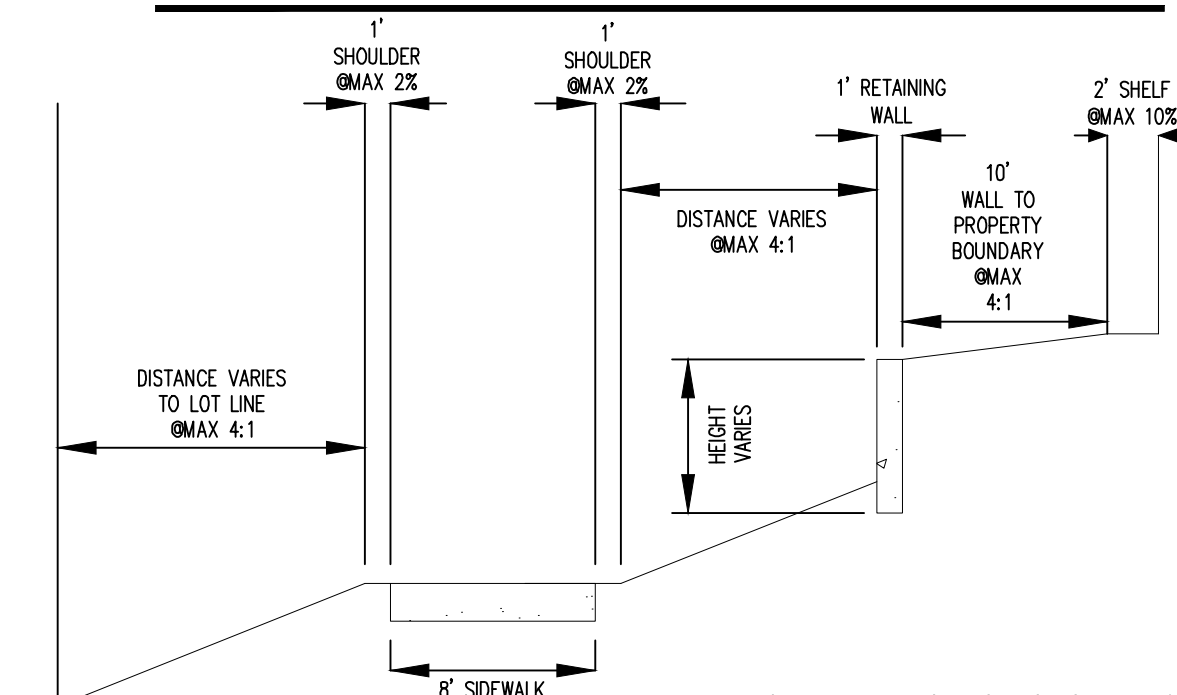
LEGEND:

- Proposed curb and gutter
Proposed right-of-way
Proposed lotline
Easement line
Proposed major contour
Proposed minor contour
Existing major contour
Existing minor contour
Proposed storm drain
Existing storm drain
Proposed wall
Proposed manhole
Proposed storm inlet
Proposed concrete cross pan (typ.)

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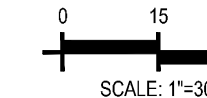
EAST WALL CROSS SECTION:



CALL UTILITY NOTIFICATION CENTER OF COLORADO



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CLAYTON PROPERTIES GROUP
NORTH RIDGE AT TRR
FINAL DEVELOPMENT PLAN

JOHNSTOWN, CO

Table with 4 columns: #, Date, Issue / Description, Init. It contains several rows of revision information.

Project No: CPG000013
Drawn By: JKD
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GRADING PLAN





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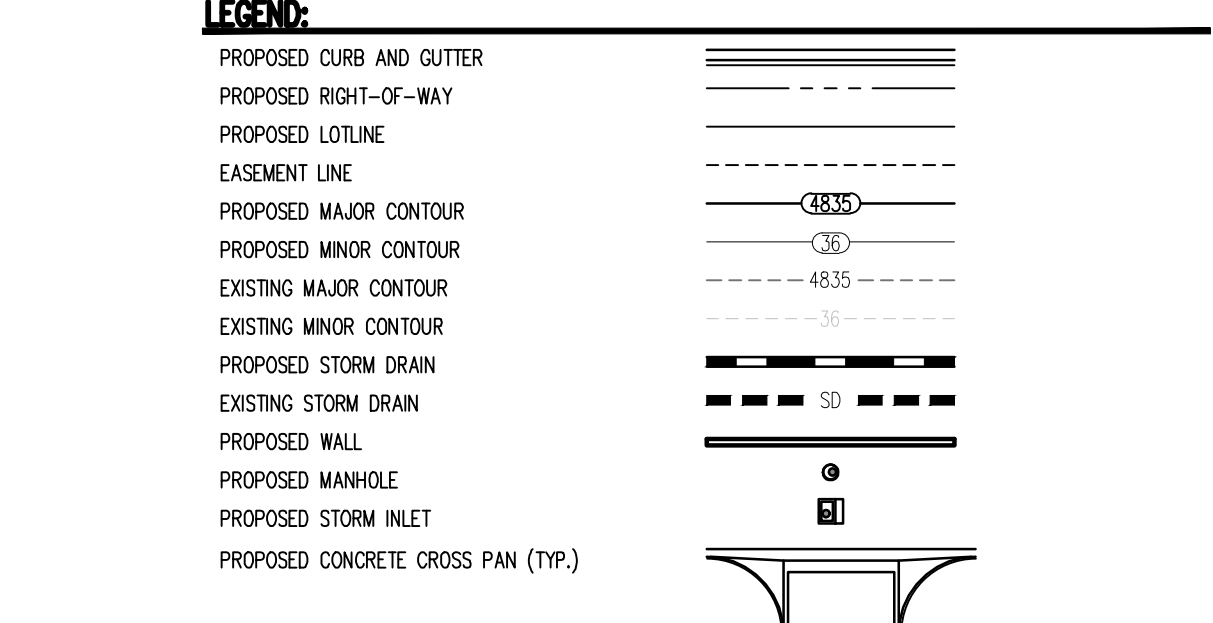
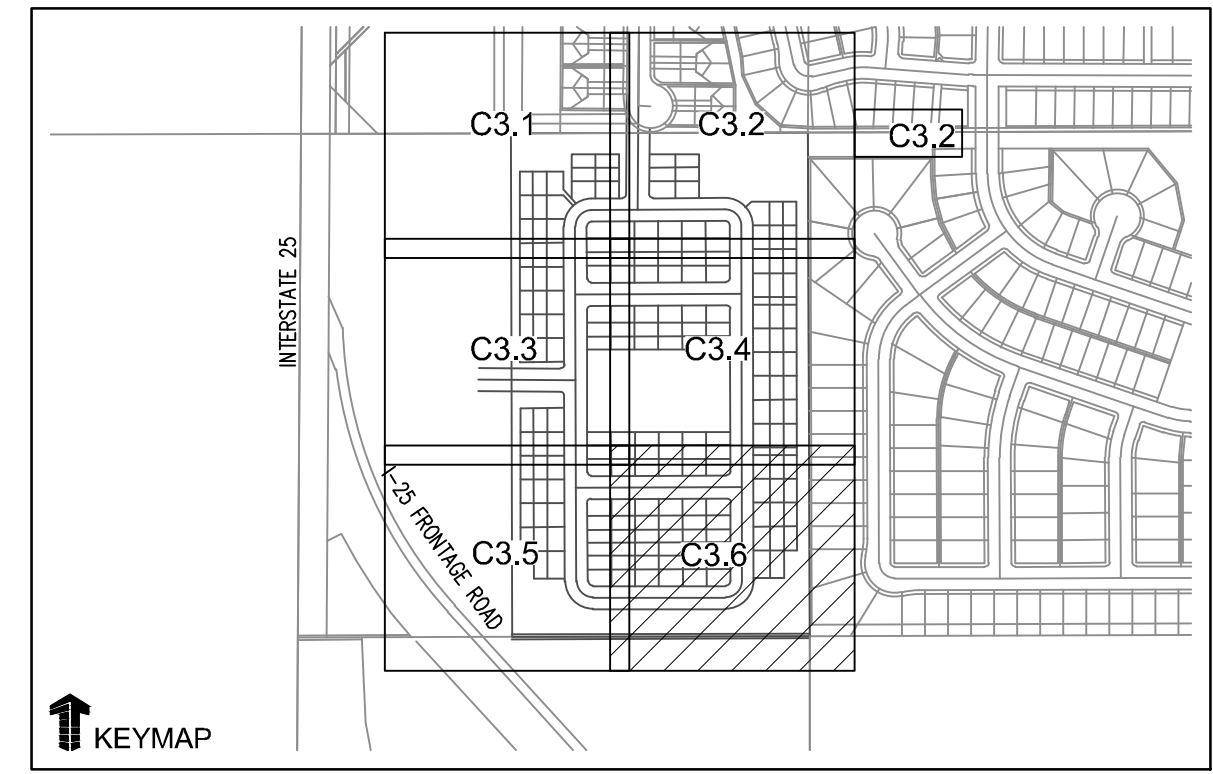
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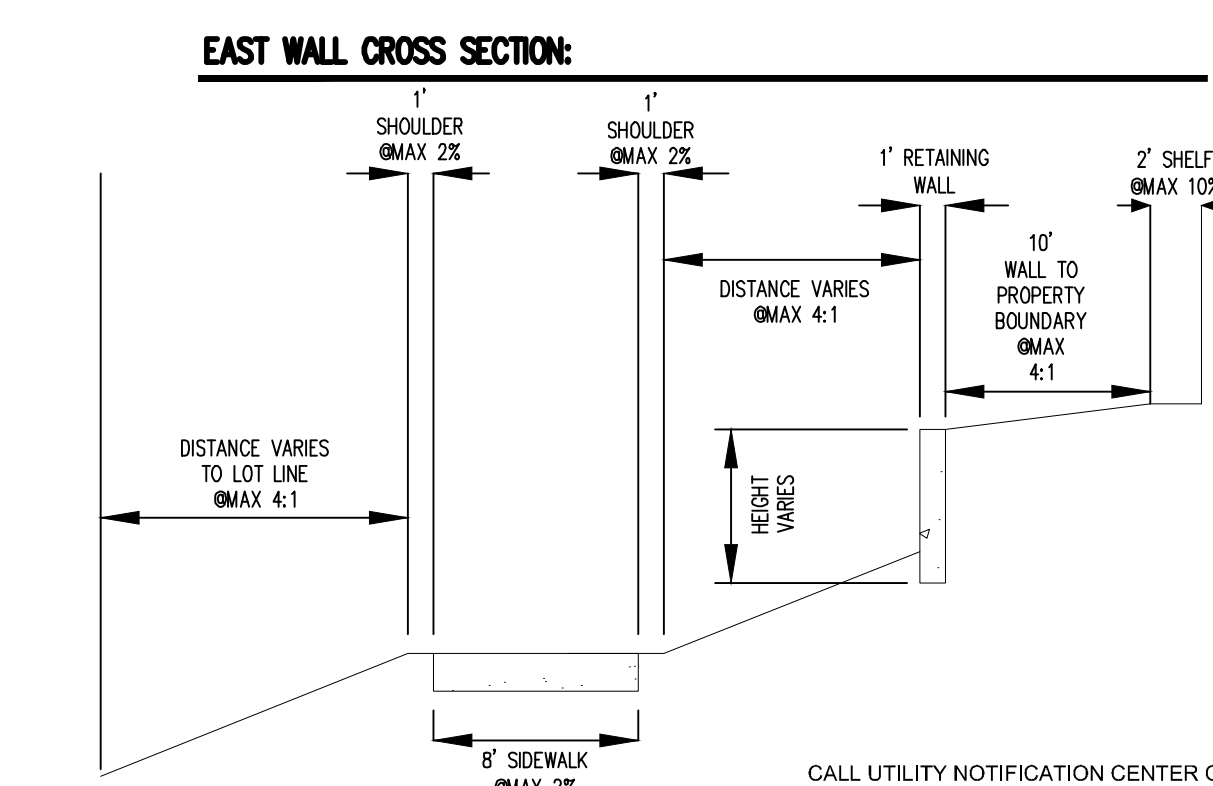
GRADING PLAN

### MATCHLINE-SEE SHEET C3.4



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  - ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPING, GRADING, UTILITY INSTALLATIONS, STOCKPILING, FILLING, ETC.) SHALL BE KEPT IN A ROUGHED CONDITION BY RIPPING OR DISKING ALONG LAND CONTOURS UNTIL MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL BMPs ARE INSTALLED. NO SOILS IN AREAS OUTSIDE PROJECT STREET RIGHTS-OF-WAY SHALL REMAIN EXPOSED BY LAND DISTURBING ACTIVITY FOR MORE THAN THIRTY (30) DAYS BEFORE REQUIRED TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED/MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE TOWN/COUNTY.
  - NO SOIL STOCKPILE SHALL EXCEED TEN (10) FEET IN HEIGHT. ALL SOIL STOCKPILES SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY SURFACE ROUGHENING, WATERING, AND PERIMETER SILT FENCING. ANY SOIL STOCKPILE REMAINING AFTER THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED.
  - SEE SHEETS C8.0-C8.7 FOR ROAD GRADES (PLAN AND PROFILES) AND SIGNAGE AND STRIPING.
  - EROSION CONTROL SHALL FOLLOW SWPPP AND BE UPDATED BY SITE ADMINISTRATOR THROUGHOUT CONSTRUCTION PROCESS.
  - OFFSITE IMPROVEMENTS WILL BE COMPLETED BY CALIBER. CURRENT TIMELINES HAVE BOTH OFFSITE IMPROVEMENTS AND NORTH RIDGE'S CONCURRENTLY DEVELOPING. IF NORTH RIDGE RESIDENTIAL IS COMPLETED FIRST, THE WEST SIDE'S PROPOSED GRADING WILL BE INTO THE EXISTING TOPOGRAPHY AT A 4:1 SLOPE. CONSTRUCTION OF NORTH RIDGE RESIDENTIAL WILL INCLUDE THE ONSITE PORTION OF COLLEEN STREET. COORDINATION OF CONSTRUCTION OF OFF-SITE PORTION OF COLLEEN STREET WILL OCCUR AS NEEDED TO PROVIDE DUAL ACCESS TO SITE. DUAL ACCESS SHALL BE PROVIDED TO SITE PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY.
  - ALL WALLS EXCEEDING 4' IN HEIGHT SHALL BE CONSTRUCTED PER STRUCTURAL DETAIL PROVIDED BY OTHERS (TYP.). ALL PARTS OF PRIVATE WALLS INCLUDING FOOTINGS SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT OF WAY.

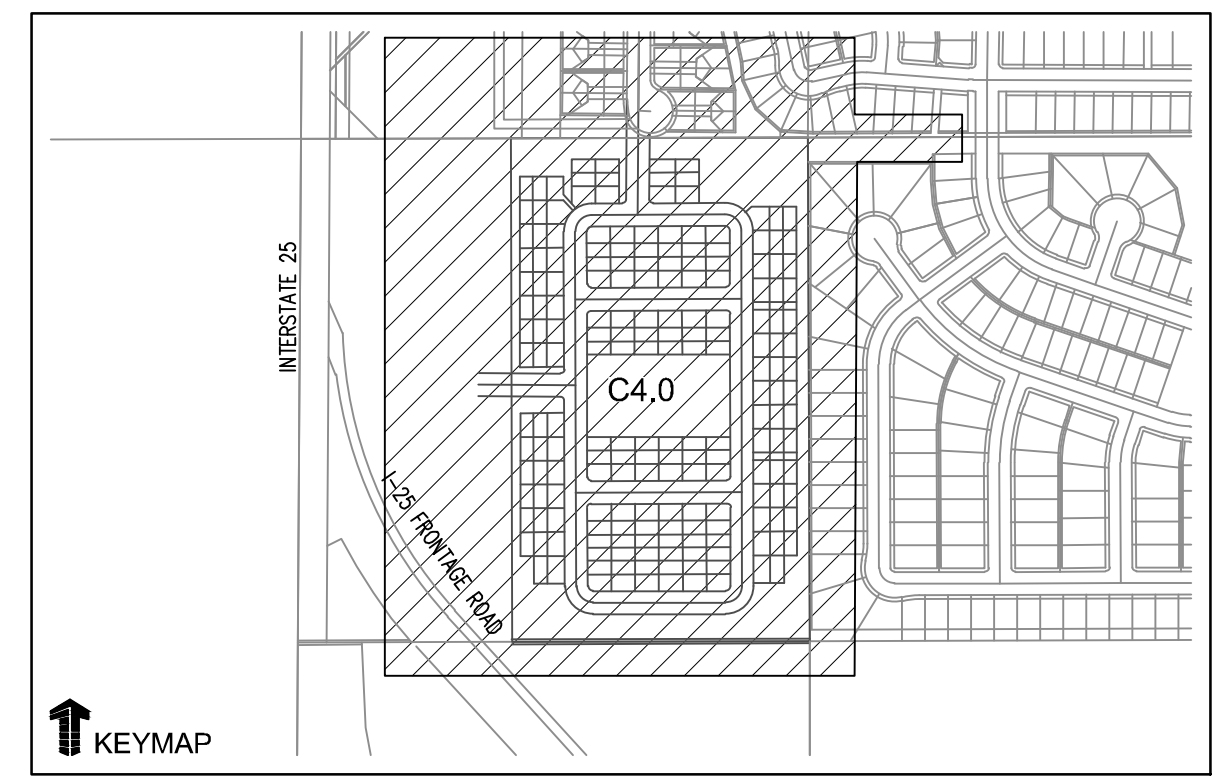
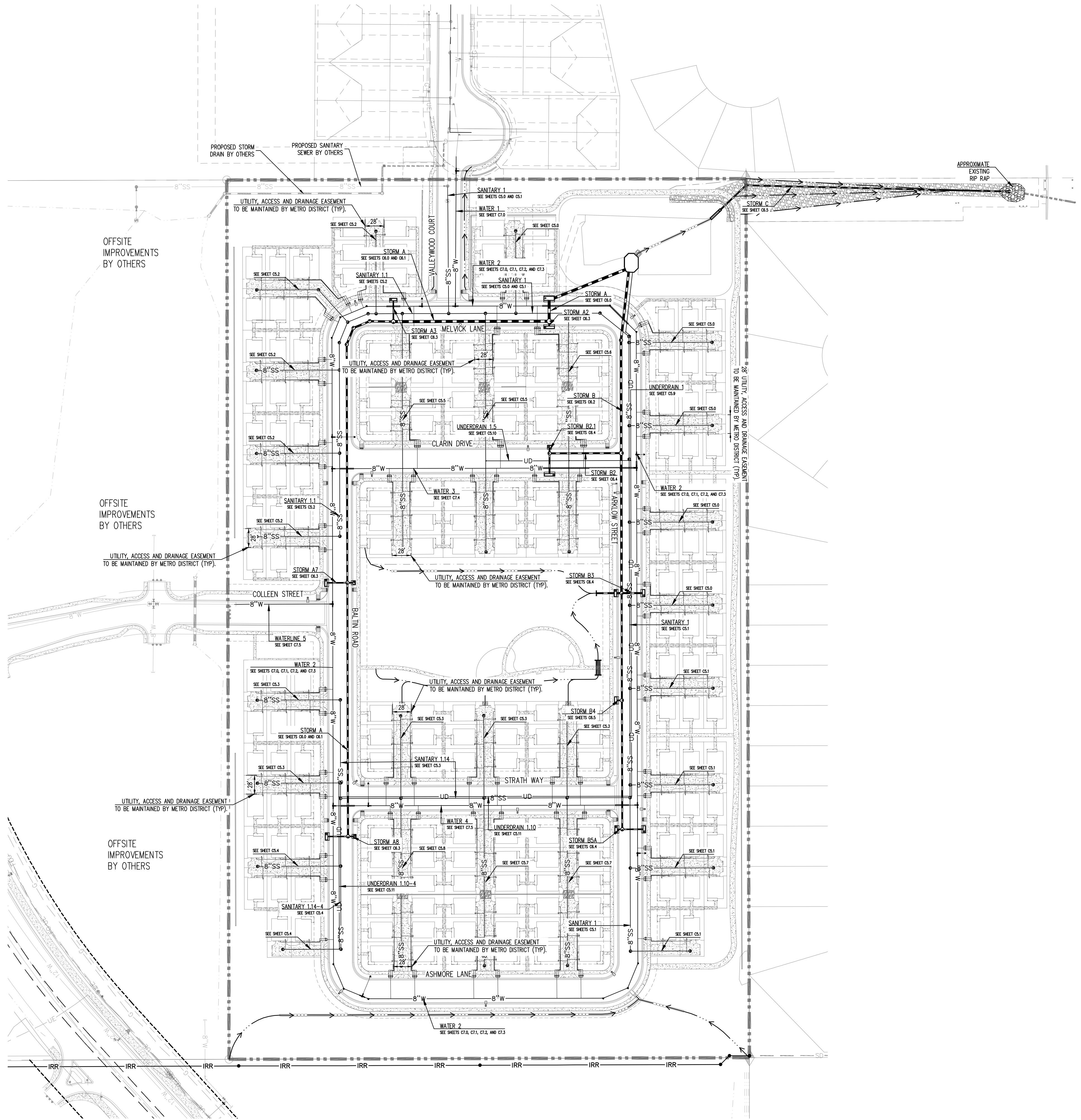


OFFSITE IMPROVEMENT BY OTHERS. SEE NOTE 10.

CALL UTILITY NOTIFICATION CENTER OF COLORADO



0 15 30  
SCALE: 1"=30'



- LEGEND:**
- PROPOSED WATER MAIN --- W
  - EXISTING WATER MAIN --- W
  - PROPOSED SANITARY SEWER --- SS
  - EXISTING SANITARY SEWER --- SS
  - PROPOSED FIRE HYDRANT ● FH
  - EXISTING FIRE HYDRANT ● FH
  - PROPOSED STORM DRAIN --- SD
  - EXISTING STORM DRAIN --- SD
  - PROPOSED CURB AND GUTTER --- CG
  - PROPOSED RIGHT-OF-WAY --- R/W
  - PROPOSED LOTLINE --- L
  - FUTURE CURB AND GUTTER --- CG
  - FUTURE RIGHT-OF-WAY --- R/W
  - FUTURE LOTLINE --- L
  - FUTURE EASEMENT LINE --- E
  - PROPOSED MANHOLE ○ M
  - EXISTING MANHOLE ○ M
  - PROPOSED WATER LOWERING --- WL
  - PROPOSED STORM INLET ■ I
  - EXISTING STORM INLET ■ I
  - PROPOSED FES AND RIP RAP --- F/R
  - EXISTING FES AND RIP RAP --- F/R
  - PROPOSED SEWER SERVICE --- S
  - PROPOSED WATER SERVICE --- S

- NOTES:**
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - ALL WATER AND SEWER CONSTRUCTION SHALL BE PER THE TOWN OF JOHNSTOWN STANDARD CONSTRUCTION SPECIFICATIONS LATEST EDITION.
  - ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
  - MAINTAIN 10' HORIZONTAL AND 24" VERTICAL MINIMUM SEPARATION BETWEEN ALL SANITARY SEWER MAINS, STORM SEWER MAINS, WATER MAINS & SERVICES UNLESS OTHERWISE NOTED.
  - CONFIRM HORIZONTAL AND VERTICAL LOCATION OF WATER, STORM AND SANITARY SEWER TE-IN TO EXISTING LOCATIONS PRIOR TO CONSTRUCTION. CONTACT DESIGN ENGINEER WITH ANY DISCREPANCIES.
  - PIPE LENGTHS ARE CALCULATED FROM THE CENTER OF MANHOLES AND INLET BOX STRUCTURES. LAYING LENGTH INCLUDES FLARED END SECTIONS.
  - RCP SHALL BE CLASS III OR GREATER. PIPE MATERIAL, BEDDING, AND INSTALLATION WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE GOVERNED BY THE TOWN OF JOHNSTOWN. ALTERNATES (SUCH AS ADS N-12 OR HP SANITITE) OUTSIDE OF THE R.O.W. MUST BE APPROVED IN ADVANCE BY THE ENGINEER. ALL JOINTS SHALL BE "WATERTIGHT" USING APPROPRIATE GASKETS OR JOINT WRAPS (PER ASTM C443 FOR RCP AND PER ASTM F477 / D3212 FOR PLASTIC PIPE).
  - ALL STORM MANHOLES LOCATED IN SIDEWALKS AND TRAILS SHALL HAVE PEDESTRIAN RATED LIDS.
  - MANHOLE DIAMETERS REQUIRED TO PROVIDE A MINIMUM OF 1' CLEAR WALL BETWEEN THE OUTSIDE WALLS OF ADJACENT INCOMING LINES AT THE INSIDE WALL OF THE STRUCTURE. CONTRACTOR SHALL VERIFY THAT MANHOLE DIAMETERS MEET THE REQUIREMENTS AND ARE SUFFICIENT FOR INSTALLATION (i.e., WITHIN PRE-CASTER'S TOLERANCES, ETC.).
  - PROVIDE WATER TIGHT JOINTS PER ASTM C443 AT ALL CIRCULAR STORM PIPE.
  - MANHOLES SHALL BE SHAPED UNLESS OTHERWISE NOTED. REFER TO PLAN VIEW FOR SHAPED MANHOLES.
  - ANY WATER MAIN CROSSING WITH LESS THAN 2' OF VERTICAL CLEARANCE TO STORM DRAIN SHALL HAVE A LAYER OF EXTRUDED POLYSTYRENE FOAM (EPS) WRAPPED AROUND THE WATER MAIN TO A MINIMUM OF 5' ON EACH SIDE OF THE STORM DRAIN.
  - ANY SANITARY SEWER OR STORM DRAIN WITHIN 18" VERTICAL CLEARANCE OF A WATER MAIN CROSSING OR WITH A WATER MAIN CROSSING BELOW SHALL BE ENCASED PER TOWN OF JOHNSTOWN DETAIL ON SHEET C5.12, C7.7.

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com

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**CLAYTON PROPERTIES GROUP**  
**NORTH RIDGE AT TRR**  
**FINAL DEVELOPMENT PLAN**  
**JOHNSTOWN, CO**

#	Date	Issue / Description	Init.

Project No: CPG000013  
 Drawn By: ALS  
 Checked By: KJP  
 Date: 07.15.2022

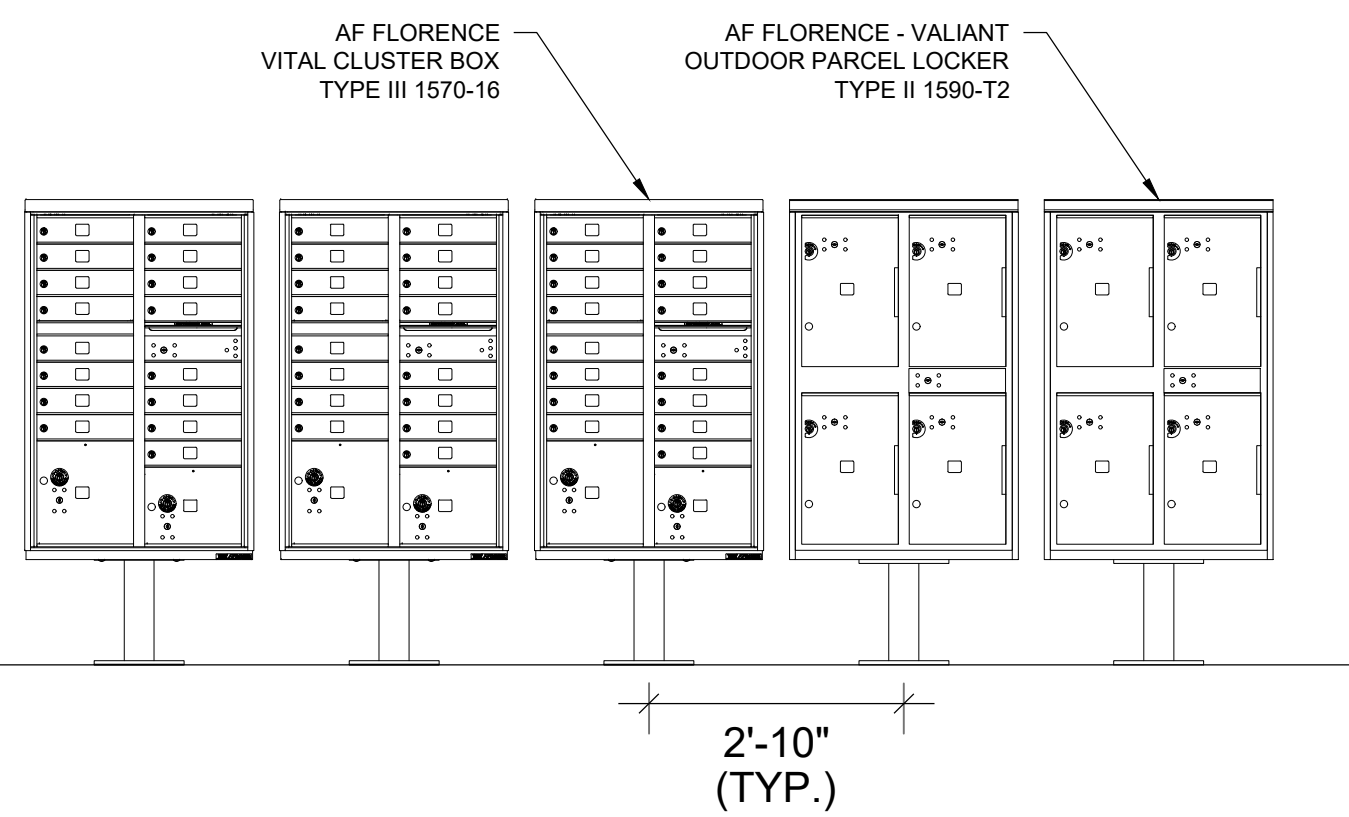
OVERALL UTILITY PLAN

C4.0

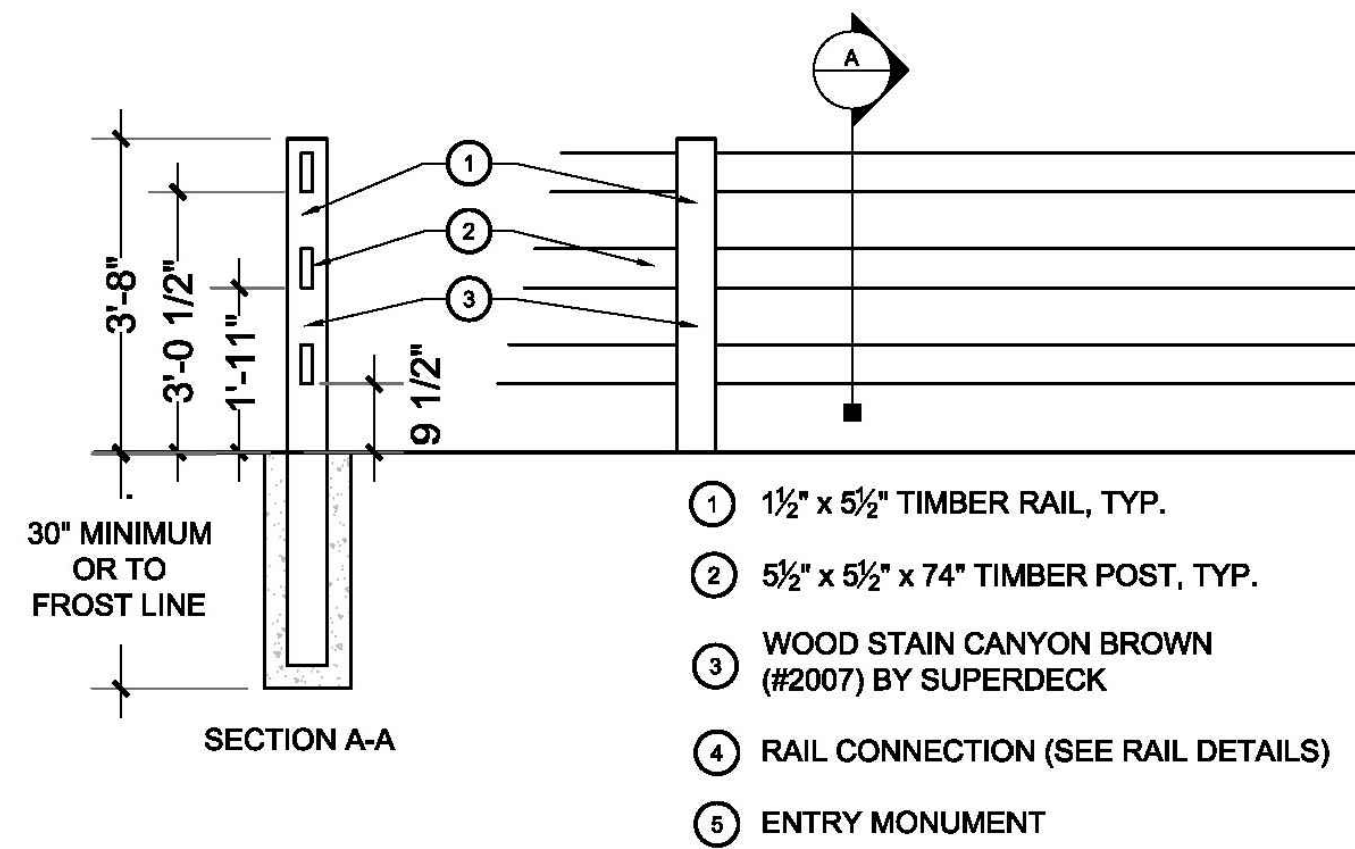
CALL UTILITY NOTIFICATION CENTER OF COLORADO  
  
 Know what's below.  
 Call before you dig.  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SCALE: 1"=80'

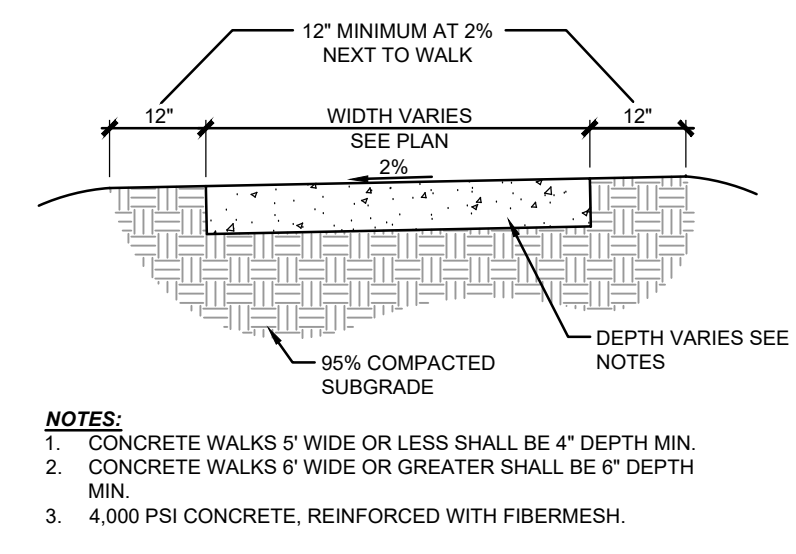
Clayton Properties Group/C4.0/Johnston - C4.0 - North Ridge/08/2022/CPG000013/08/2022/ALS/KJP/07/15/2022/07/15/2022



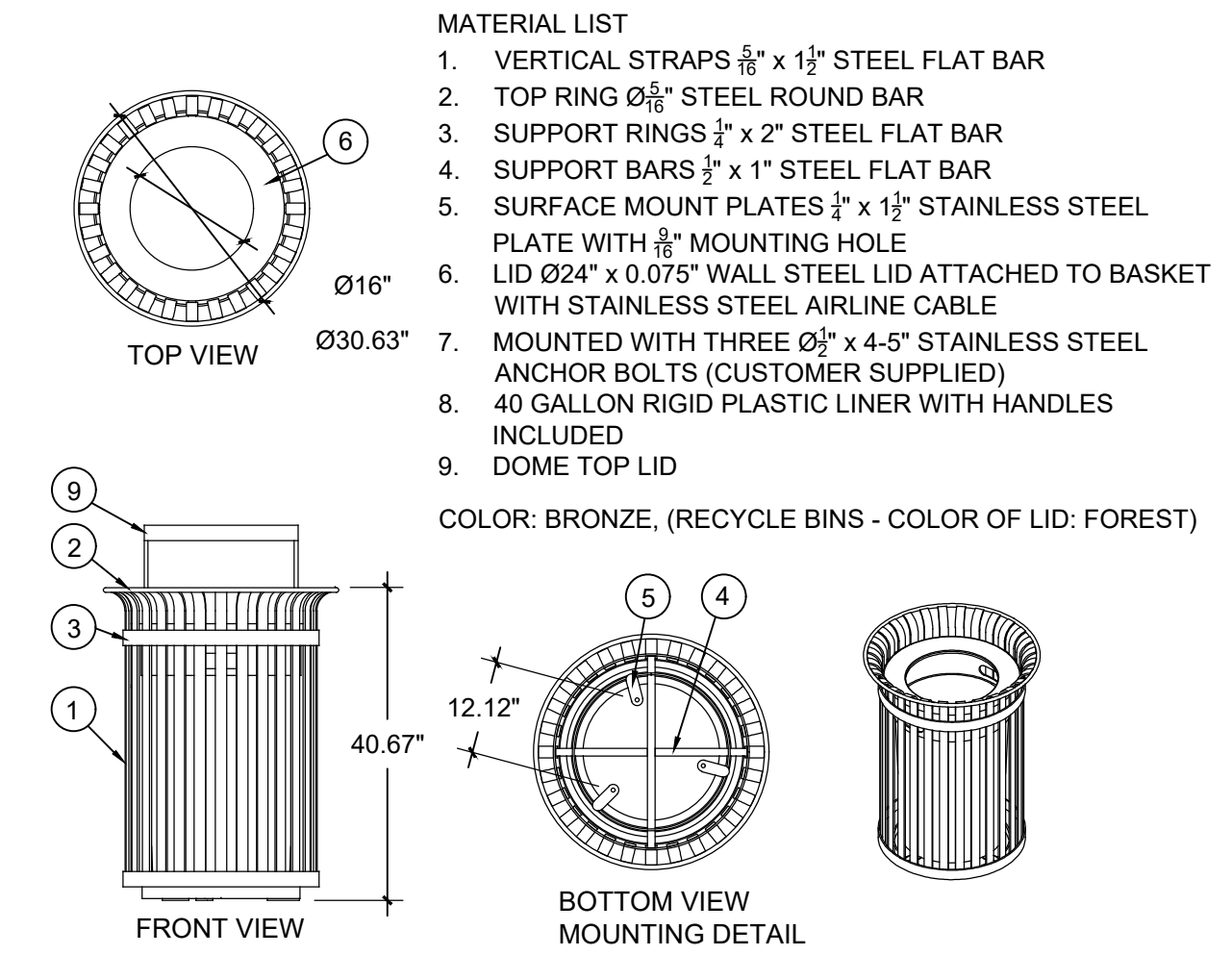
**G MAIL KIOSK**  
SCALE: NOT TO SCALE



**H OPEN RAIL FENCE**  
SCALE: NOT TO SCALE

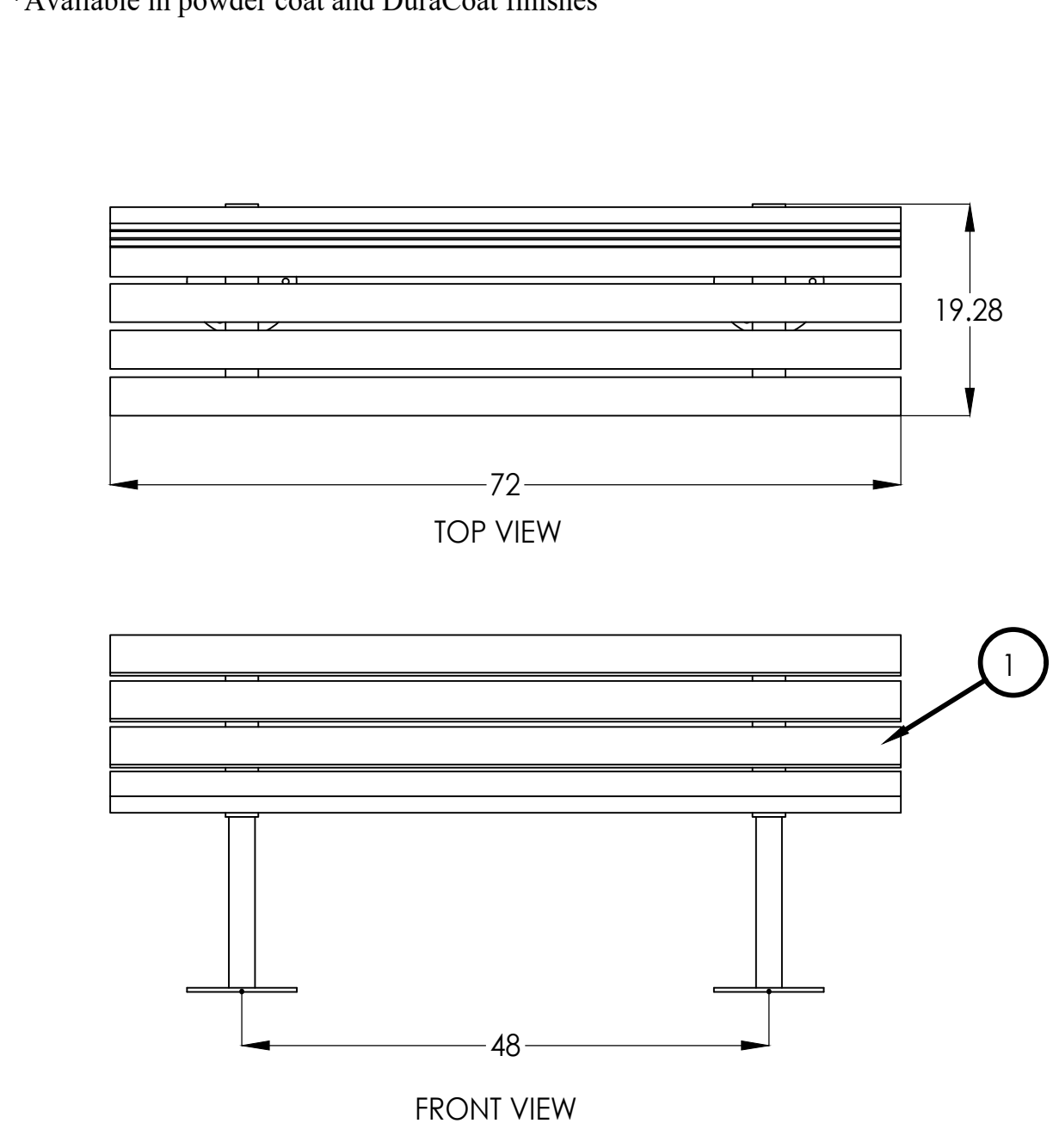


**K CONCRETE WALKWAY**  
SCALE: 1/2"=1'-0"

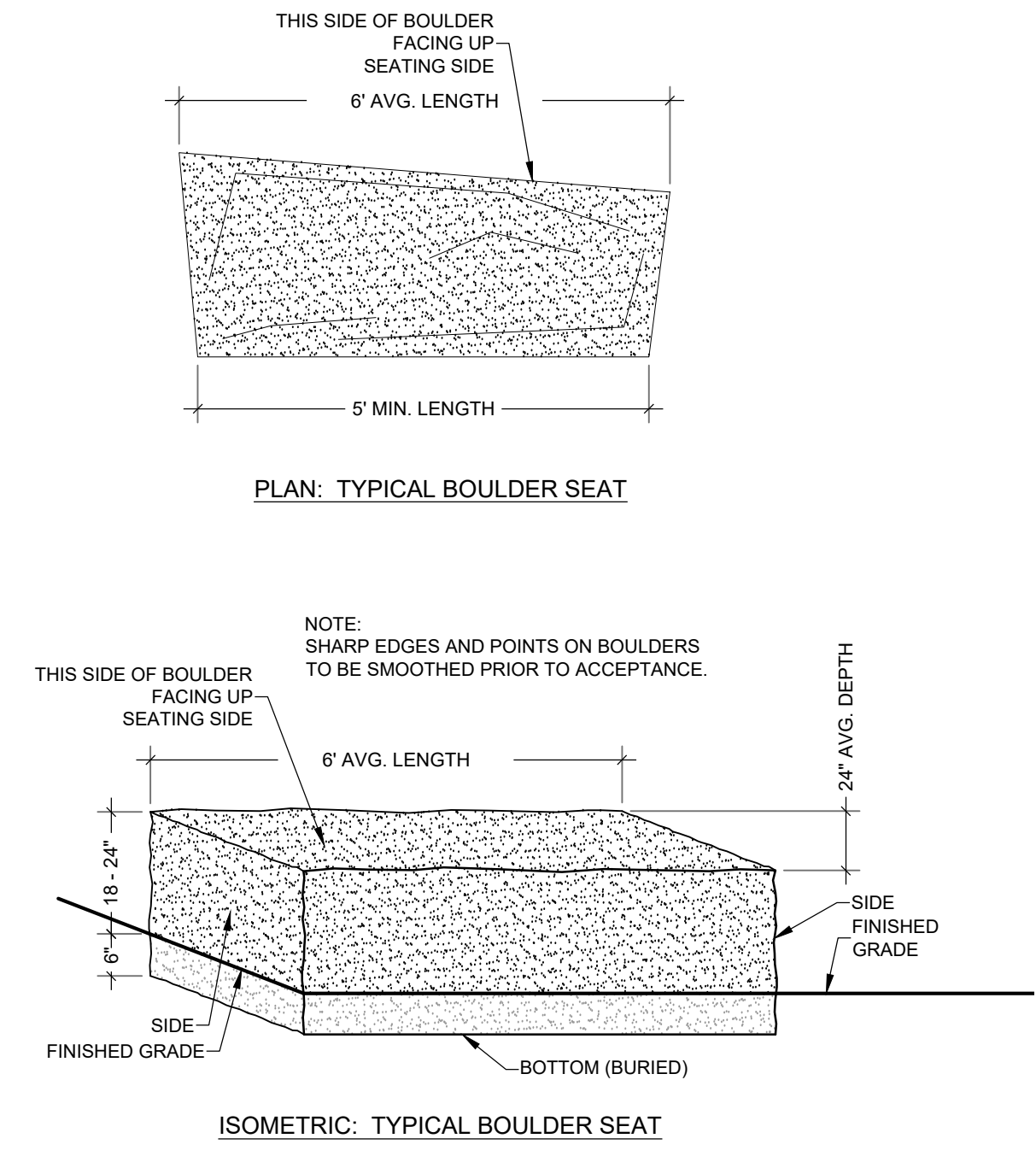
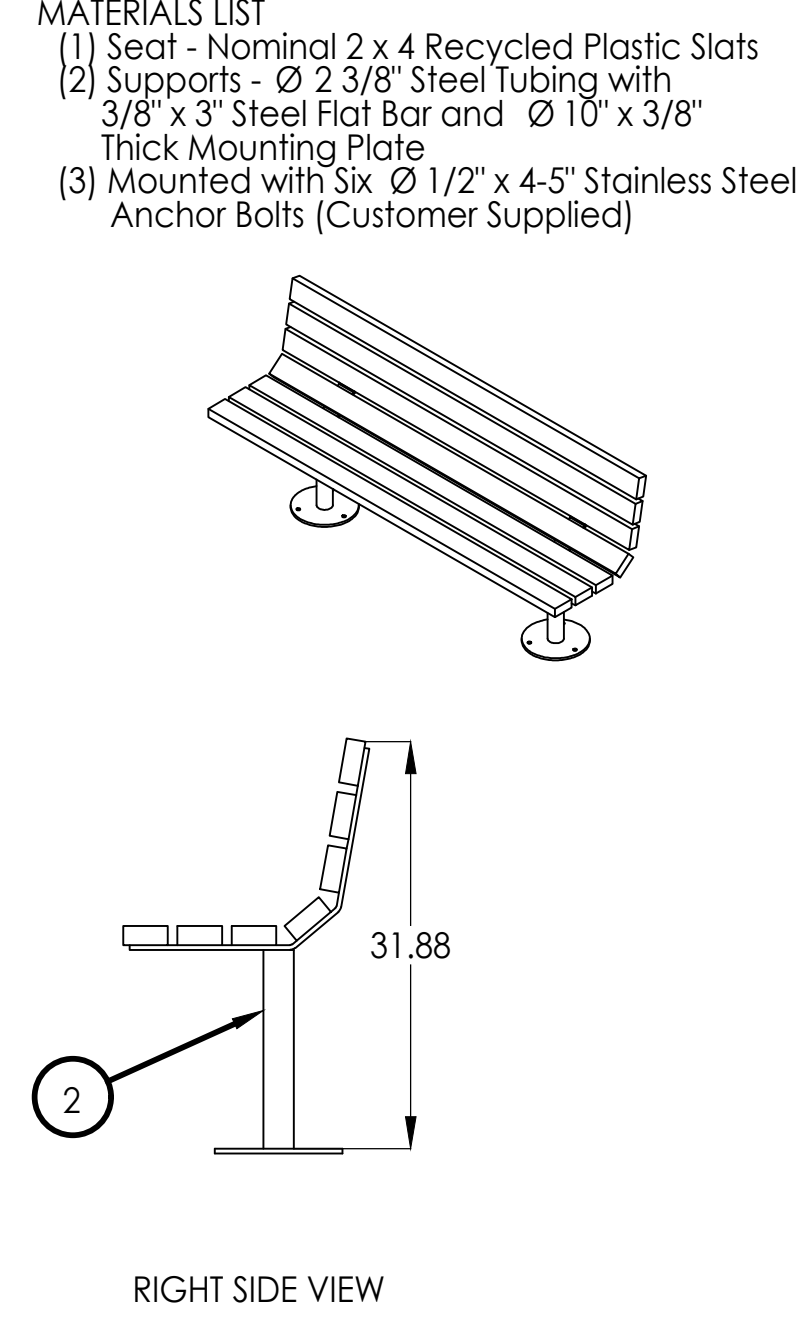


**M TRASH RECEPTACLE**  
SCALE: NOT TO SCALE

		P.O. Box 22326 Lincoln, NE 68542	PF: 402/421-9464 FX: 402/421-9479	WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com
TITLE <b>AVONDALE          BACKED BENCH</b>	PRODUCT NO. <b>AV1-1020-RP</b>	INCH TOLERANCES U.O.S. FRACTION—±1/16" ANG—±1°	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	



**N BENCH**  
SCALE: NOT TO SCALE



**O BOULDER SEAT**  
SCALE: 1/2"=1'-0"



**P DOG WASTE STATION**  
SCALE: NOT TO SCALE

ARCHITECT / PLANNER



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 303-460-8800

NORTH RIDGE  
 JOHNSTOWN, COLORADO  
 FINAL DEVELOPMENT PLAN  
 DETAILS

PROFESSIONAL STAMP

PROJECT INFORMATION

PROJECT #: 201033  
 DRAWN BY: TH  
 CHECKED BY: RH

ISSUE RECORD

1ST SUBMITTAL	11/08/2021
2ND SUBMITTAL	02/16/2022
3RD SUBMITTAL	04/20/2022
4TH SUBMITTAL	06/17/2022
5TH SUBMITTAL	07/18/2022

SHEET NUMBER

L3.1



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5TH SUBMITTAL	07/18/2022

SHEET NUMBER

L3.2

MANUFACTURER: ULTRA-SITE

MODEL NAME: 46" SINGLE PEDESTAL, 3 SEAT, ADA SQUARE TABLE

MODEL NUMBER: P338SH3-V

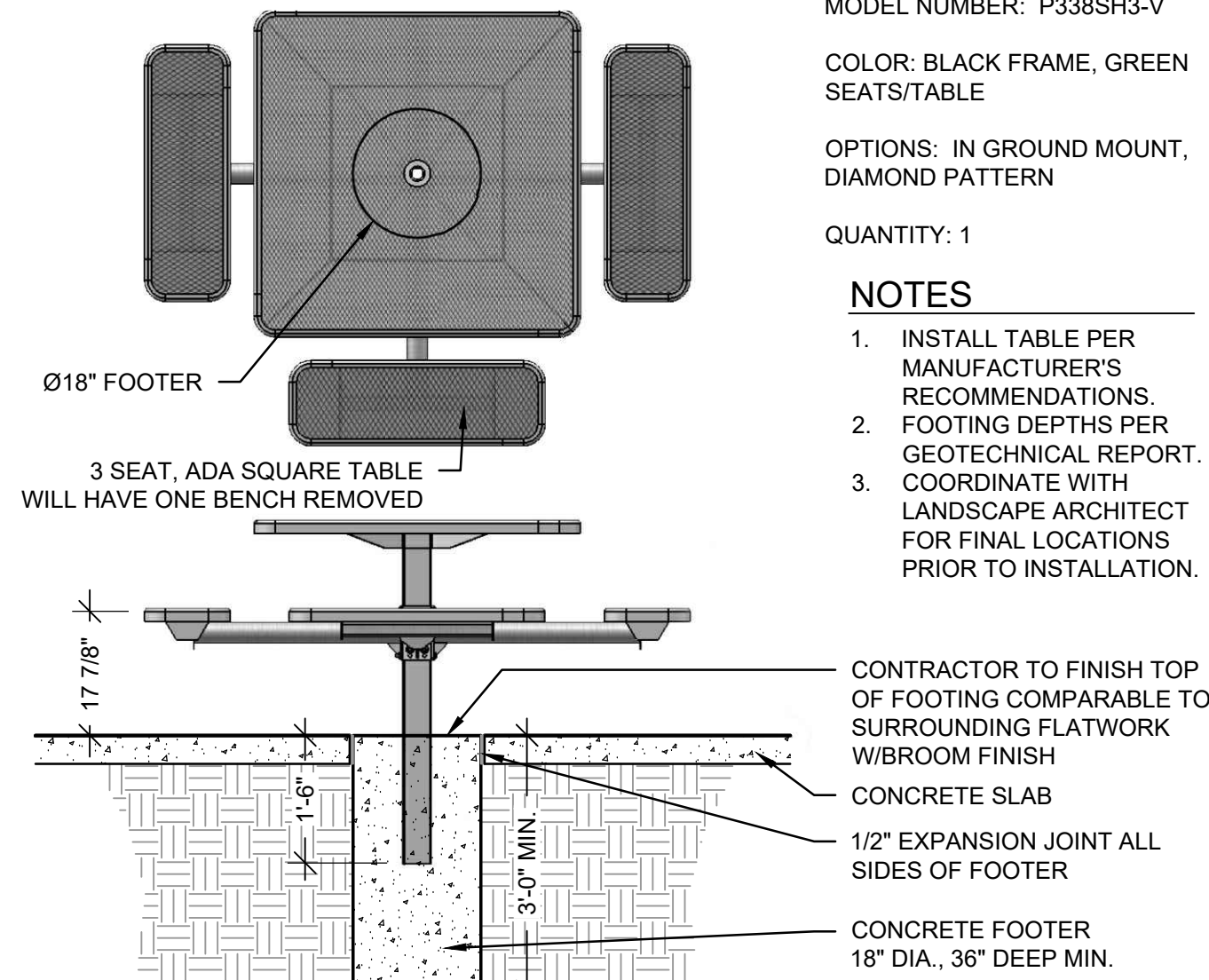
COLOR: BLACK FRAME, GREEN SEATS/TABLE

OPTIONS: IN GROUND MOUNT, DIAMOND PATTERN

QUANTITY: 1

NOTES

1. INSTALL TABLE PER MANUFACTURER'S RECOMMENDATIONS.
2. FOOTING DEPTHS PER GEOTECHNICAL REPORT.
3. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL LOCATIONS PRIOR TO INSTALLATION.



MANUFACTURER: ULTRA-SITE

MODEL NAME: 46" SINGLE PEDESTAL SQUARE TABLE

MODEL NUMBER: P338S-V

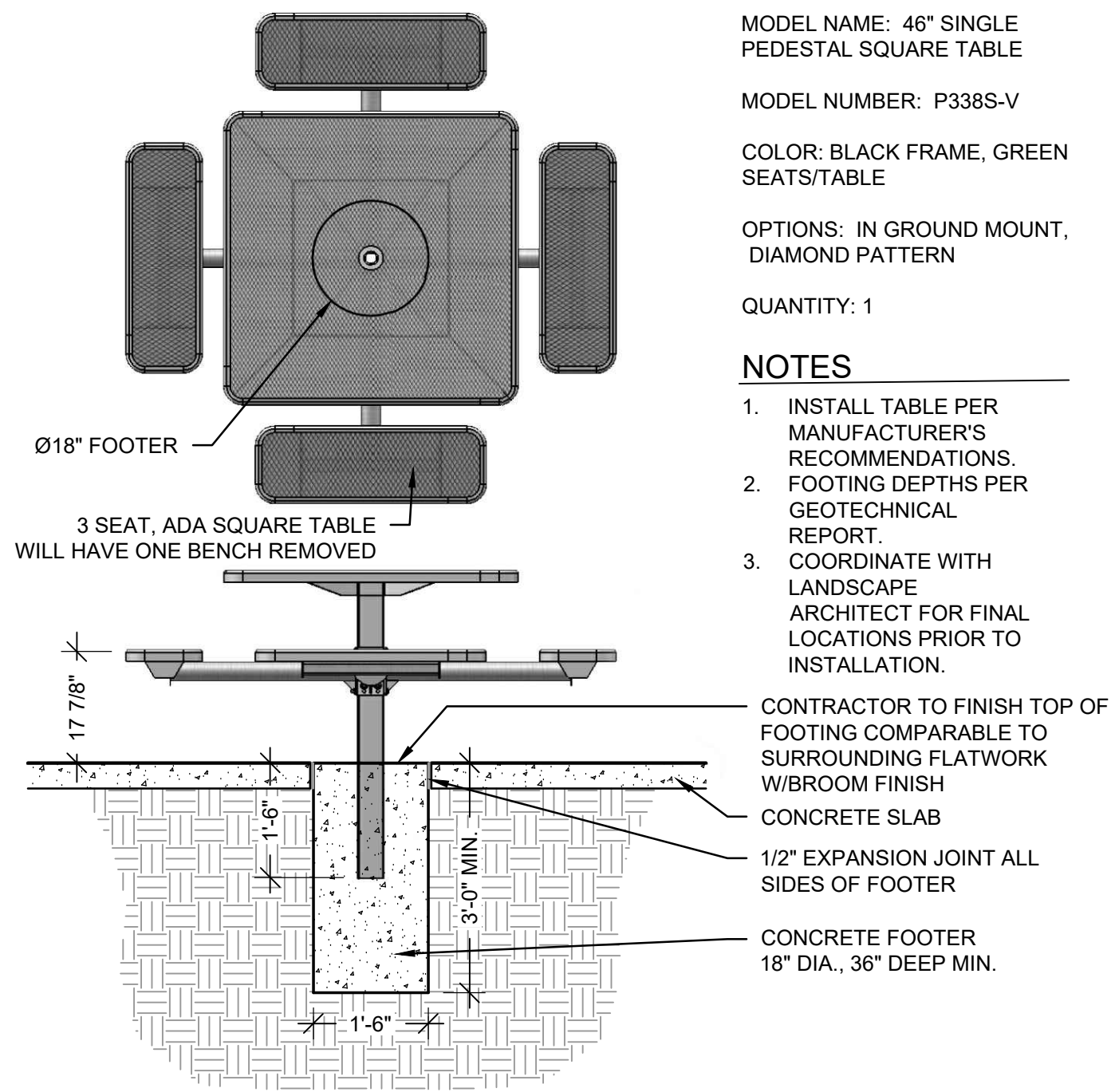
COLOR: BLACK FRAME, GREEN SEATS/TABLE

OPTIONS: IN GROUND MOUNT, DIAMOND PATTERN

QUANTITY: 1

NOTES

1. INSTALL TABLE PER MANUFACTURER'S RECOMMENDATIONS.
2. FOOTING DEPTHS PER GEOTECHNICAL REPORT.
3. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL LOCATIONS PRIOR TO INSTALLATION.



Q PEDESTAL TABLE

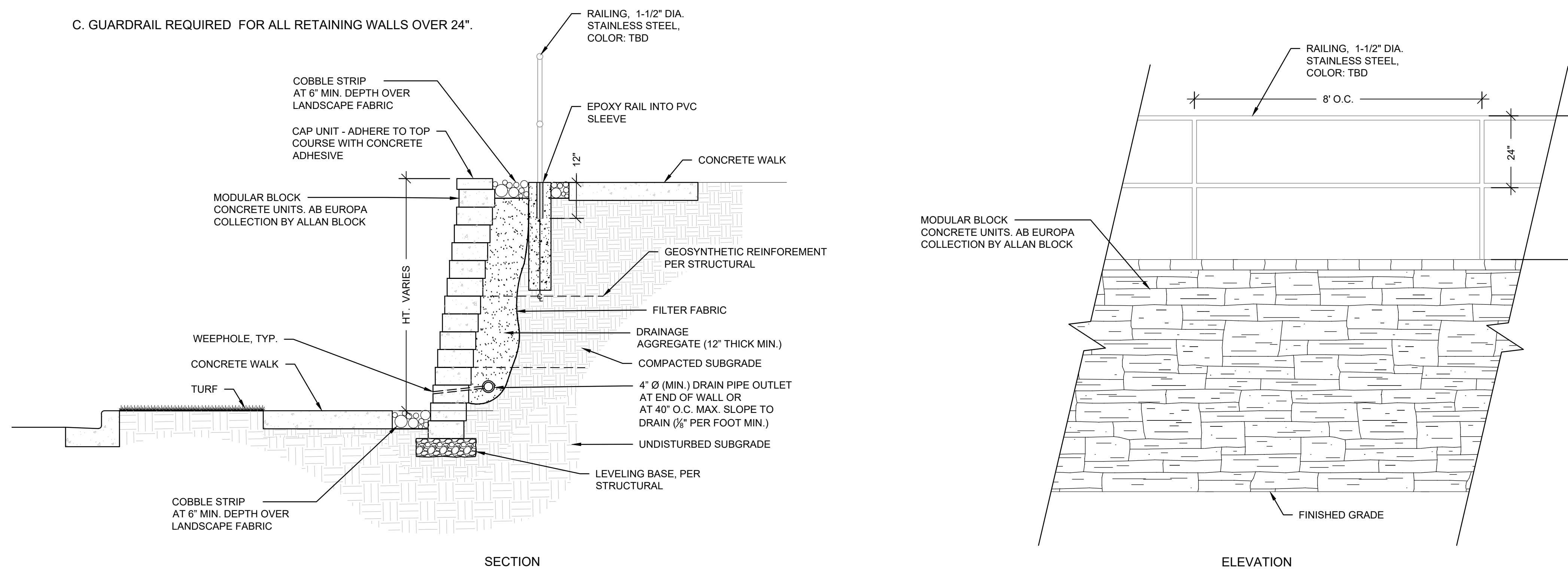
SCALE: 1/2" = 1'-0"

NOTES:

A. CONTRACTOR TO PROVIDE DESIGN/BUILD SERVICES WALL. REFERENCE MANUFACTURE SPECS. FOR CONSTRUCTION. THIS DETAIL SHOWS ONLY GENERAL CONSTRUCTION TECHNIQUE. MANUFACTURE SPECS./STRUCTURAL ENGINEERING DRAWINGS TAKE PRECEDENT OVER THIS DETAIL.

B. MODULAR BLOCK UNITS TO BE THE FOLLOWING (OR APPROVED EQUAL): MANUFACTURER: VERSA-LOK (1-800-770-4525) LOCAL SUPPLIER: VALLEY BLOCK (970-667-4480). UNIT TYPE & PATTERN: STANDARD BLOCK WITH WEATHERED OPTION, MOSAIC PATTERN COLOR: BROWN. CAP TO BE CONTINUOUS BROWN.

C. GUARDRAIL REQUIRED FOR ALL RETAINING WALLS OVER 24".



R RETAINING WALL

SCALE: 1/2" = 1'-0"



MANUFACTURER: KOMPAN  
MODEL #M95172  
COLOR: WHITE

**R** SUNFLOWER SWING  
SCALE: NOT TO SCALE



MANUFACTURER: KOMPAN  
MODEL #KSW92002-0910  
COLOR: GRAY

**S** 7 FT. SWING  
SCALE: NOT TO SCALE



**T** TREE HOUSE SLIDE  
SCALE: NOT TO SCALE



**U** KANGAROO SPRINGER  
SCALE: NOT TO SCALE



**V** ELEMENTS CLIFF RIDER EXTREME  
SCALE: NOT TO SCALE



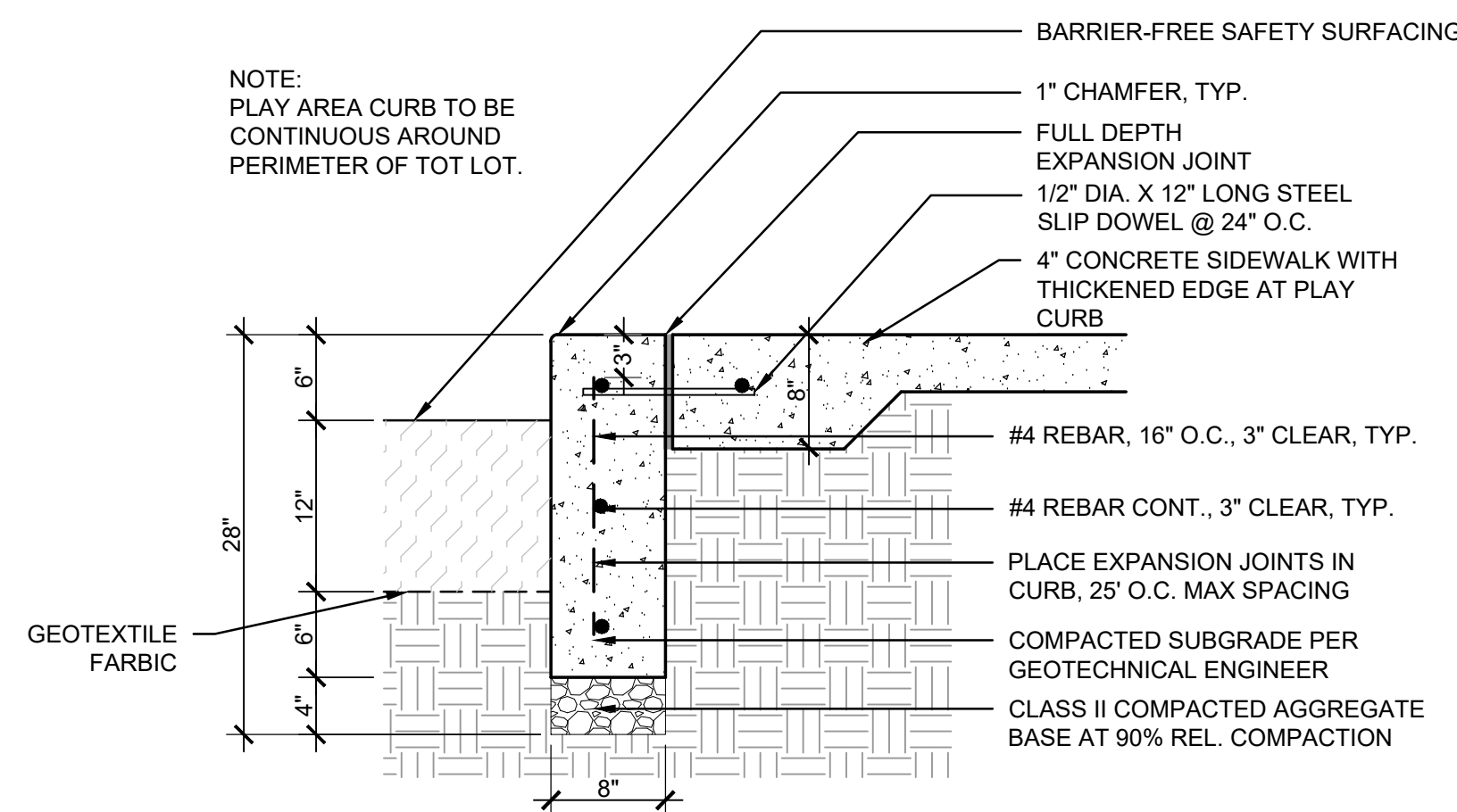
**W** TIPI CAROUSEL  
SCALE: NOT TO SCALE



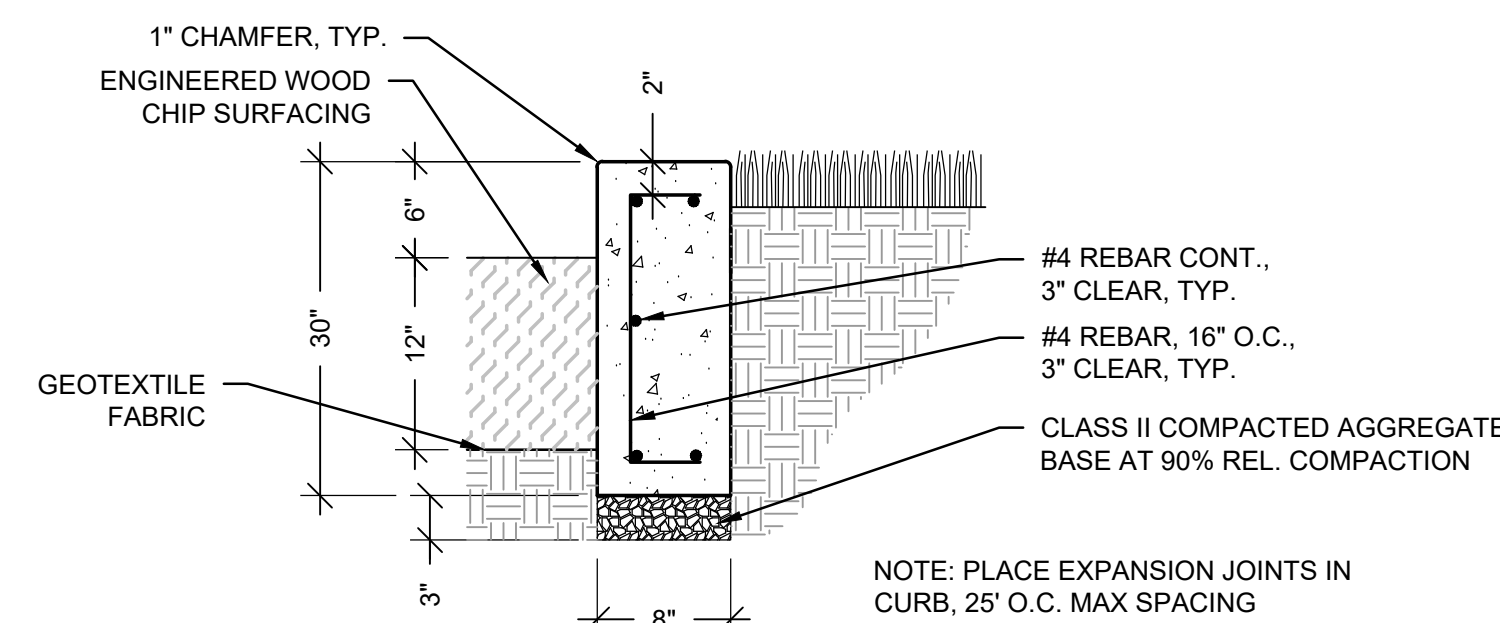
**X** TODDLER SPICA  
SCALE: NOT TO SCALE



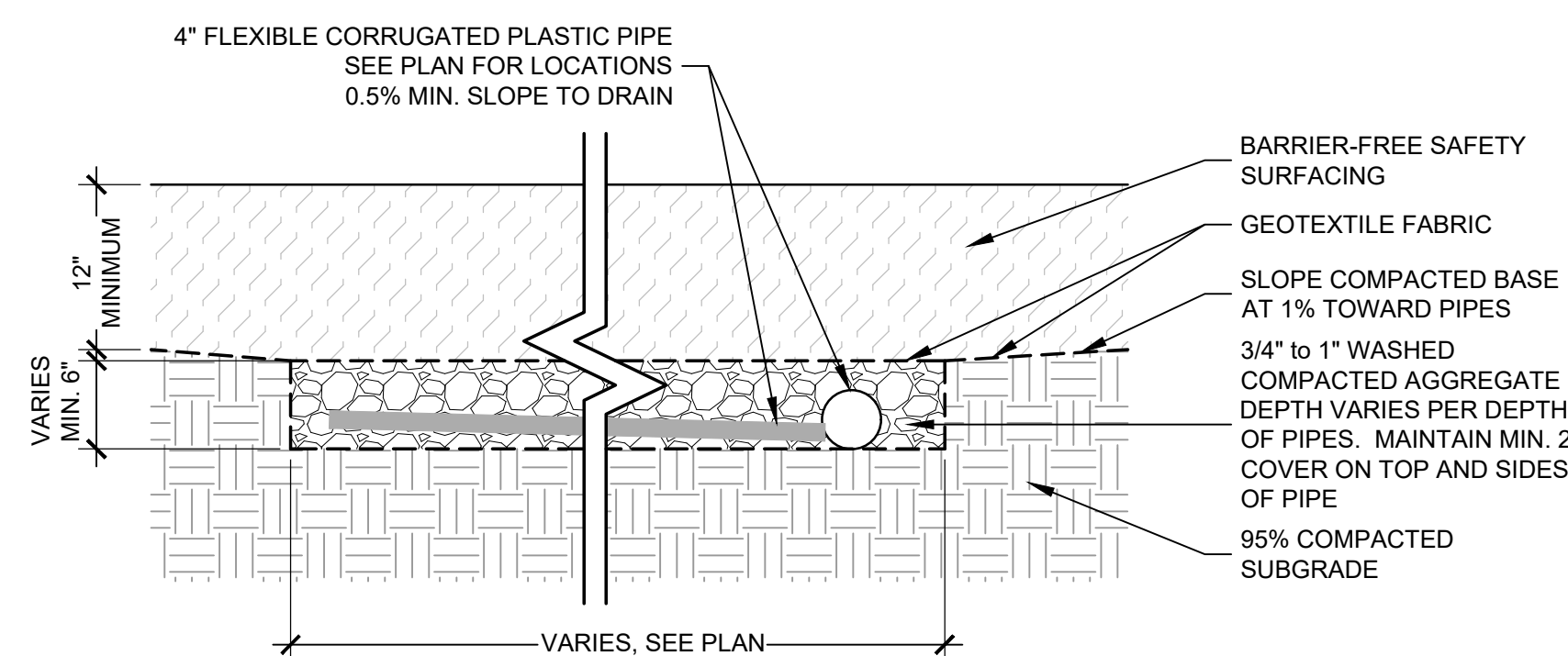
**Y** PUMA SPRINGER  
SCALE: NOT TO SCALE



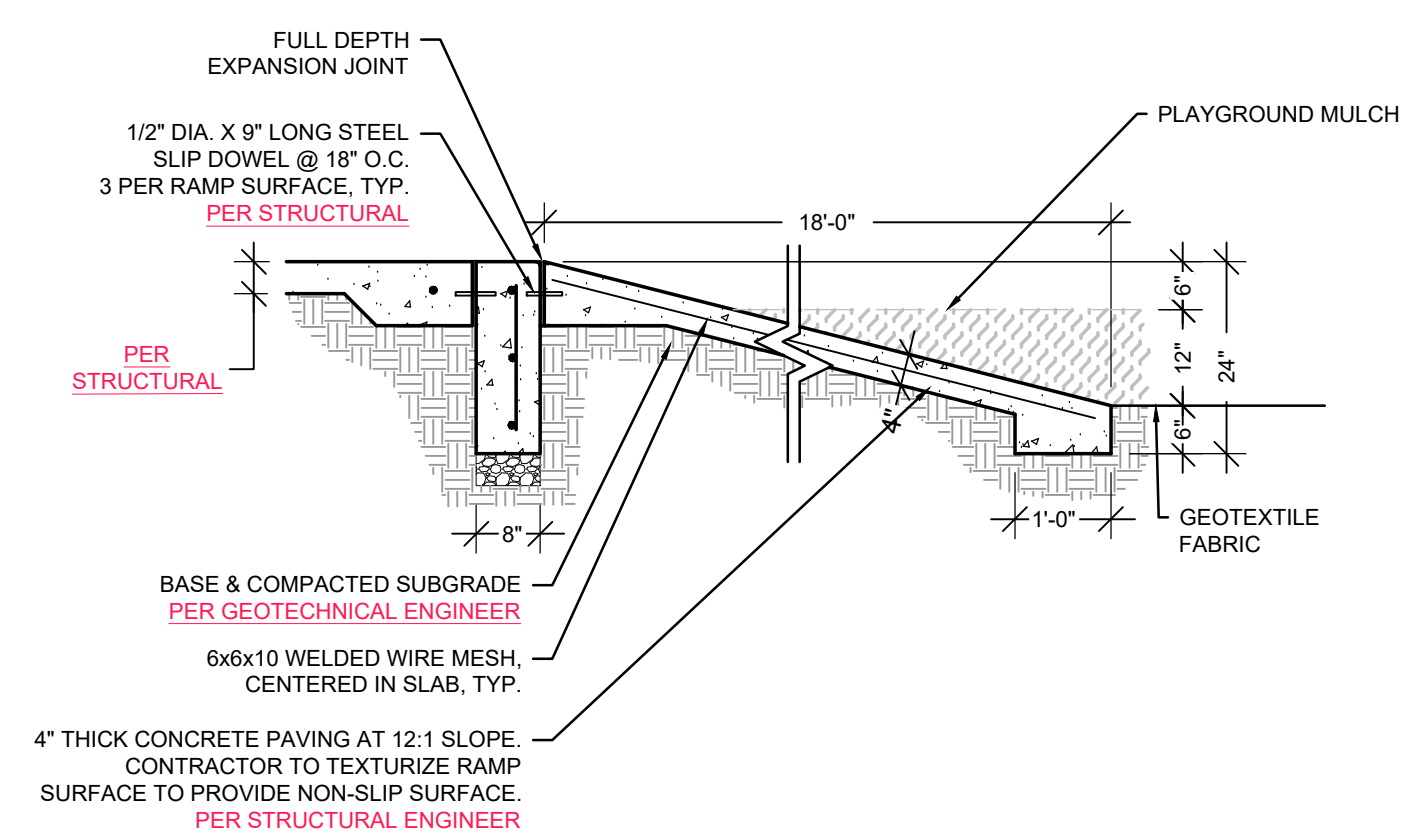
**Z** PLAY CURB AT SIDEWALK  
SCALE: 1" = 1'-0"



**AA** PLAYCURB AT LANDSCAPE  
SCALE: 1" = 1'-0"

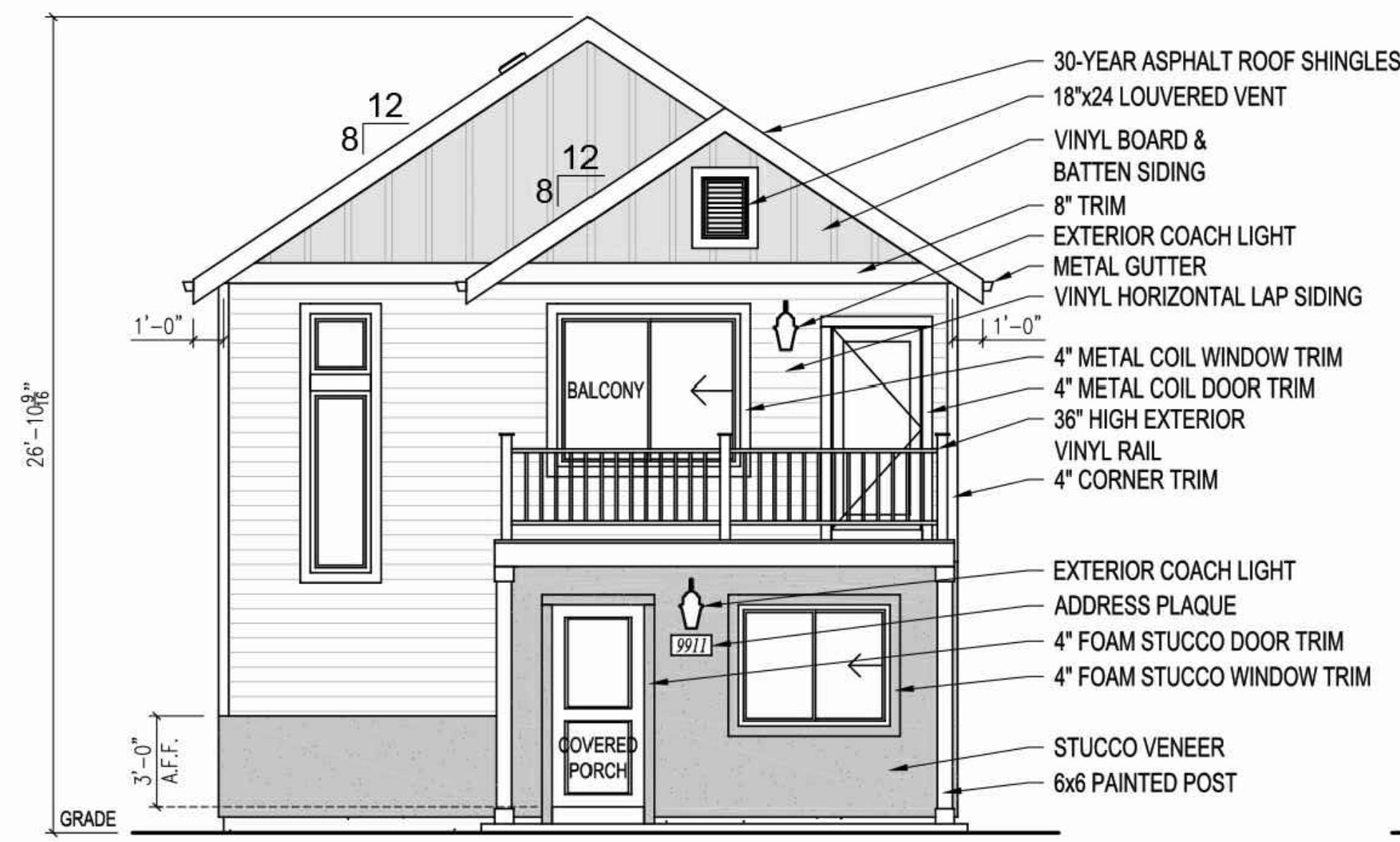


**BB** PLAY SURFACE DRAIN/DRAIN  
SCALE: 1/2" = 1'-0"

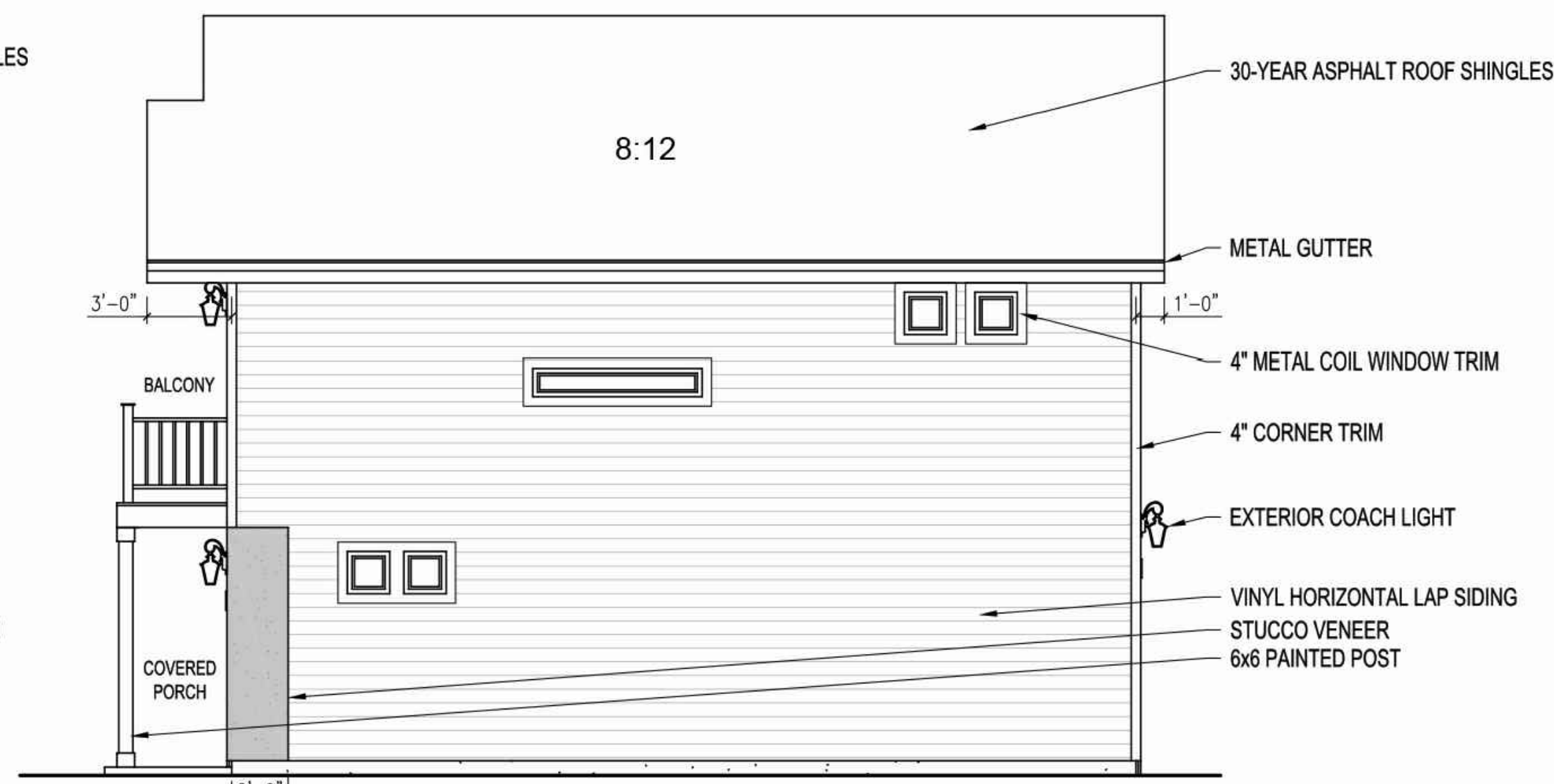


**CC** PLAYGROUND RAMP  
SCALE: 1/2" = 1'-0"

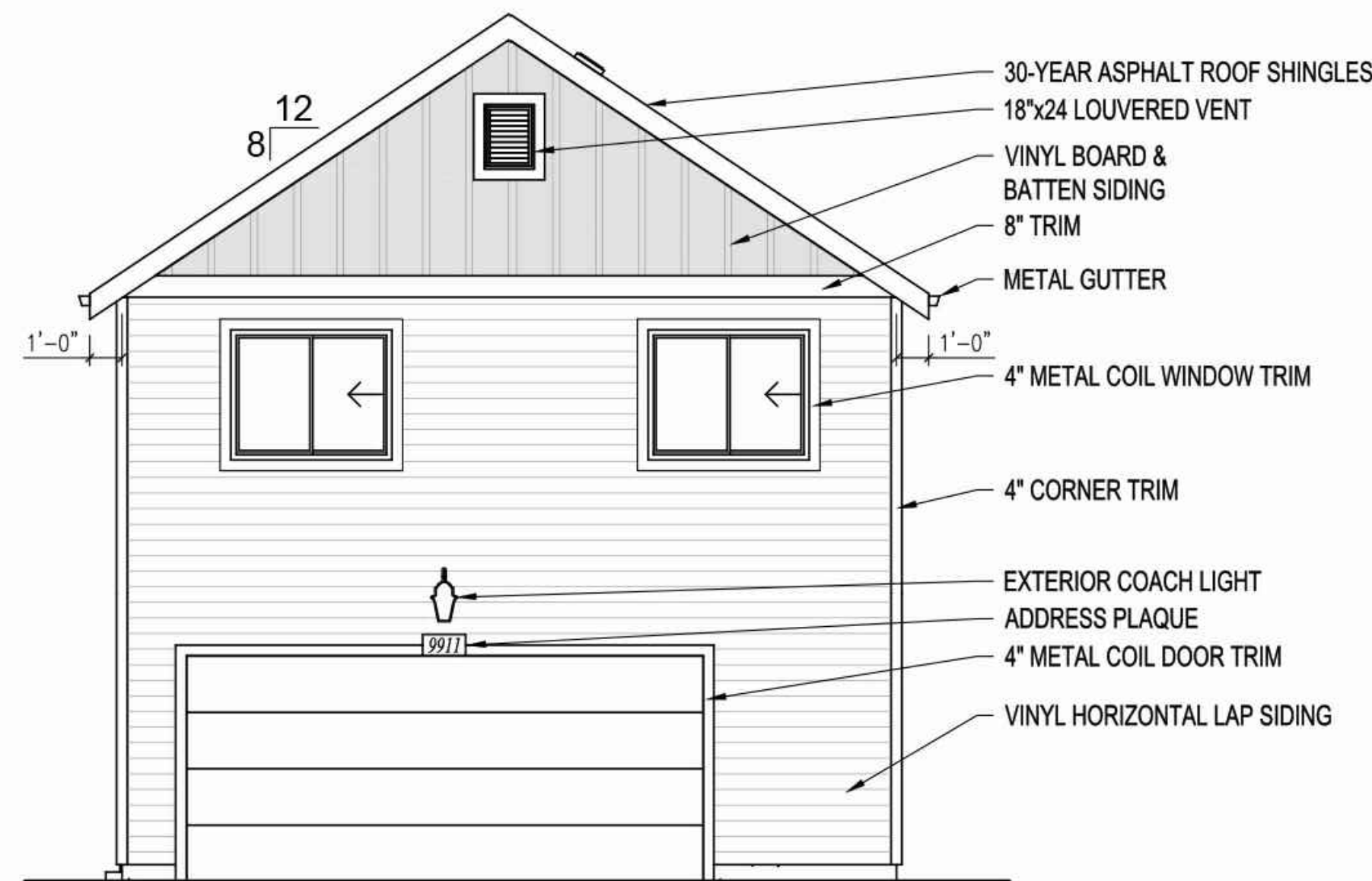
NOTE: REFER TO THE ATTACHED ARCHITECTURE ELEVATIONS DOCUMENT FOR ALL AMERICAN DREAM ELEVATIONS AS WELL AS FOR MATERIALS AND COLORS.



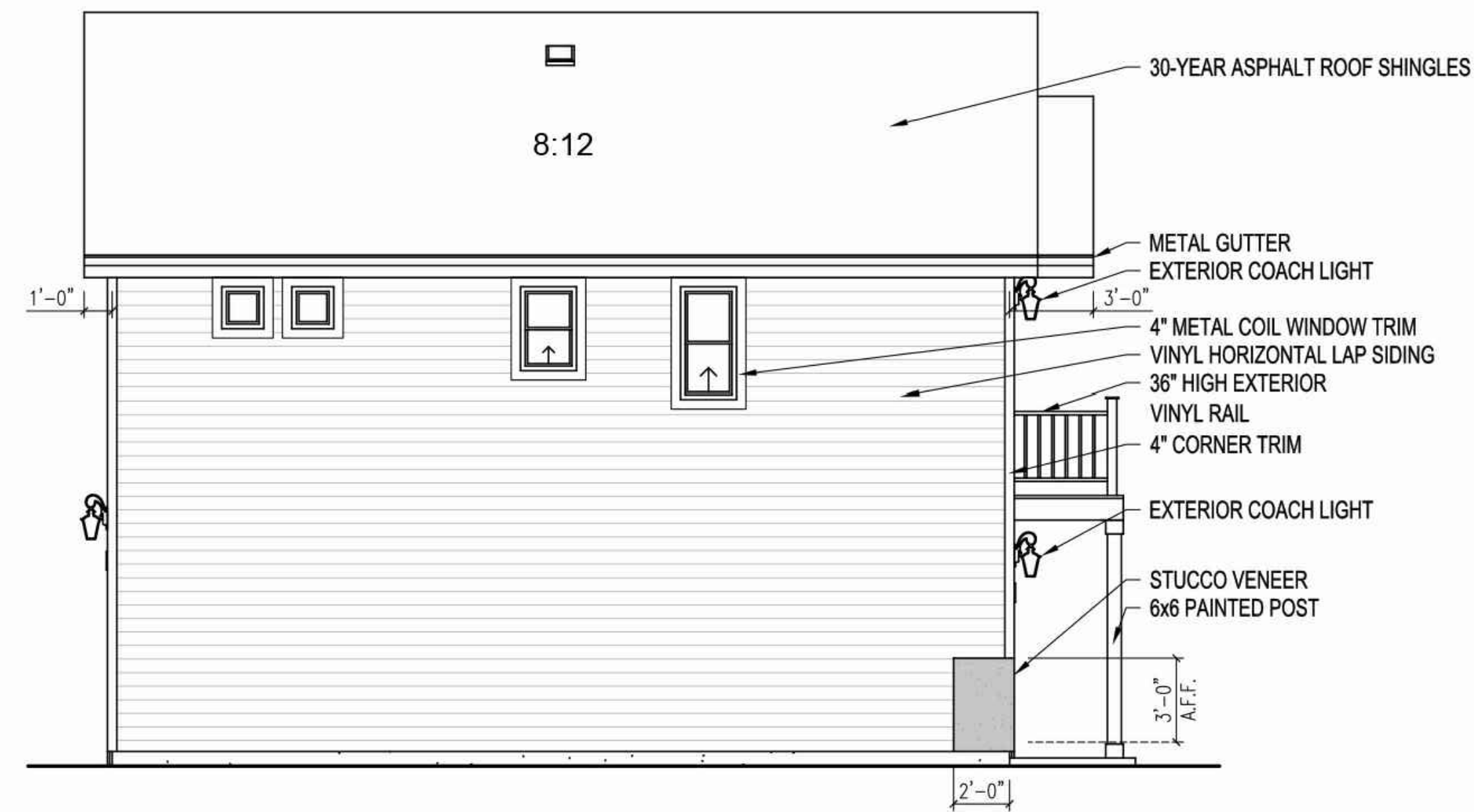
1 Front Elevation  
 Plan 9911CO - Elevation A



2 Right Side Elevation  
 Plan 9911CO - Elevation A



3 Rear Elevation  
 Plan 9911CO - Elevation A



4 Left Side Elevation  
 Plan 9911CO - Elevation A

DD TYPICAL AMERICAN DREAM ELEVATIONS  
 SCALE: NOT TO SCALE

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SHEET NUMBER

A1.1

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