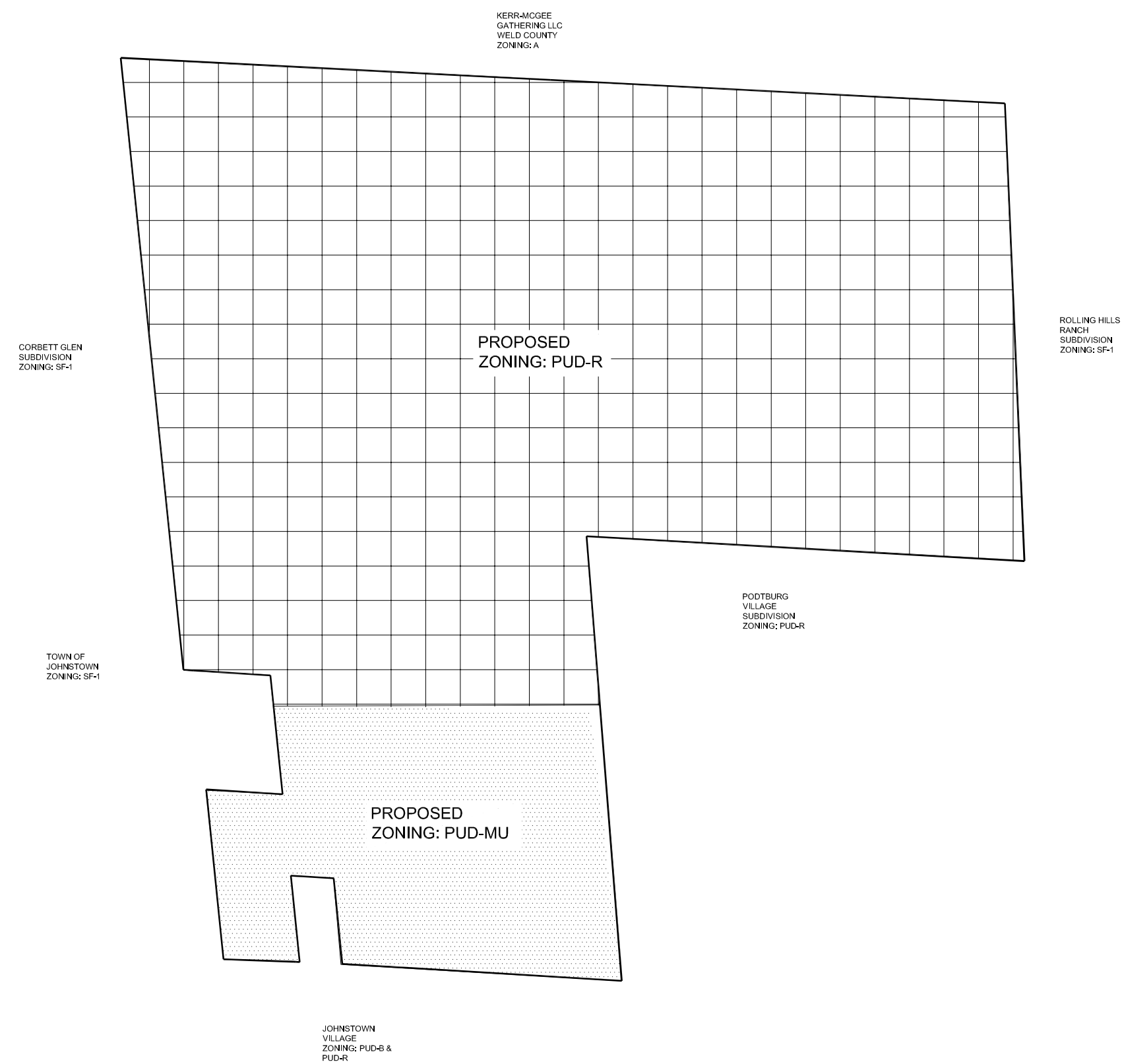


# PURVIS FARM OUTLINE DEVELOPMENT PLAN

LOCATED IN THE SOUTH ONE-HALF OF SECTION 6, TOWNSHIP 4 NORTH,  
RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO

### Existing Zoning:



### Approvals:

JOHNSTOWN LLC, BEING THE OWNER(S) OF THE PROPERTY LOCATED IN THE TOWN OF JOHNSTOWN, COUNTY OF WELD, AND STATE OF COLORADO, DO HEREBY SUBMIT THIS OUTLINE DEVELOPMENT PLAN AND AGREE TO PERFORM UNDER THE TERMS NOTED HEREIN.

BY: \_\_\_\_\_  
NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_

#### PLANNING AND ZONING COMMISSION

THIS OUTLINE DEVELOPMENT PLAN TO BE KNOWN AS \_\_\_\_\_ WAS APPROVED BY ACTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF JOHNSTOWN, COLORADO AT A REGULAR MEETING HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

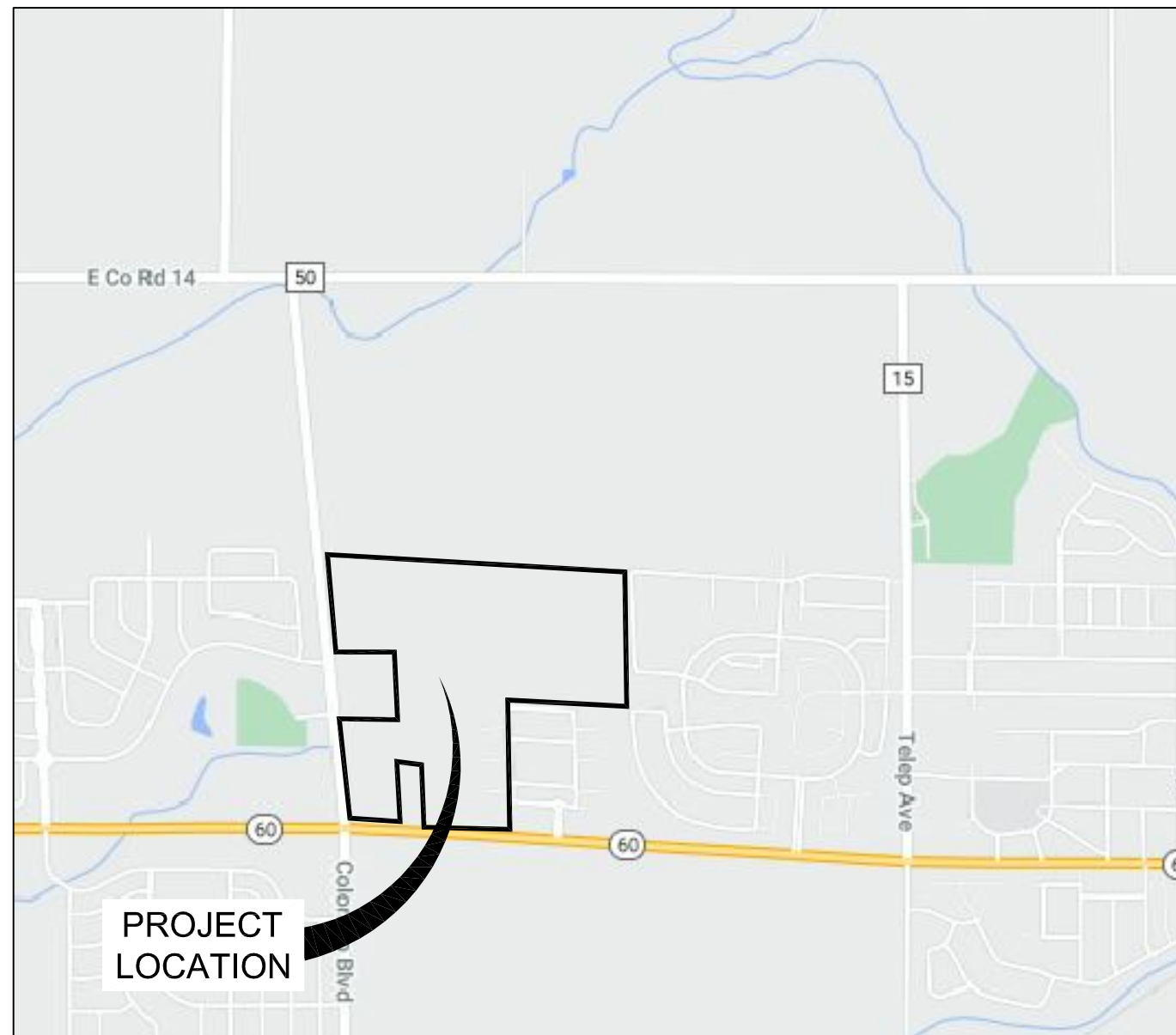
CHAIR, PLANNING & ZONING COMMISSION: \_\_\_\_\_

#### TOWN COUNCIL

THIS OUTLINE DEVELOPMENT PLAN, TO BE KNOWN AS \_\_\_\_\_ IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER \_\_\_\_\_ PASSED AND ADOPTED ON FINAL READING AT THE REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

BY: \_\_\_\_\_  
MAYOR  
ATTEST:  
TOWN CLERK

### Vicinity Map:



### General Notes:

- ACCESS POINTS SHOWN ON THIS ODP ARE APPROXIMATE. EXACT LOCATIONS TO BE DETERMINED DURING THE PRELIMINARY AND FINAL PLATTING PROCESS BASED ON THE FINAL TRAFFIC IMPACT STUDY.
- LOCAL AND COLLECTOR STREETS MAY CHANGE LOCATION, SIZE AND CONFIGURATION AT TIME OF PLATTING. LOCAL AND COLLECTOR STREETS SHALL CONFORM TO THE TOWN OF JOHNSTOWN STREET STANDARDS AT THE TIME OF PLATTING.
- ALL DENSITIES AND UNIT COUNTS ARE PROJECTIONS. FINAL DENSITIES TO BE DETERMINED AT TIME OF PLATTING. DENSITY OF ANY GIVEN PHASE SHALL NOT EXCEED 9 DU/AC. ACTUAL NUMBER OF UNITS WILL BE DETERMINED AT TIME OF SUBDIVISION PLATTING.
- AREAS OF DEVELOPMENT PARCELS SHOWN ARE APPROXIMATE AND MAY VARY. EXACT LOT SIZES WILL BE DETERMINED WITH EACH PRELIMINARY AND FINAL SUBDIVISION SUBMITTAL.
- FINAL CONFIGURATION OF PARCELS, OPEN SPACE AREAS AND STREETS MAY VARY FROM THAT SHOWN.
- WHERE A PROPOSED USE IS NOT LISTED IN THE ODP, THE TOWN SHALL HAVE SOLE DISCRETION RELATING TO THE PROPOSED USE.
- ALL DRAINAGE ELEMENTS ARE CONCEPTUAL IN NATURE AND FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE DURING THE PRELIMINARY AND FINAL DRAINAGE REPORTS AND DURING THE PRELIMINARY DEVELOPMENT PLAN PROCESS AS A PART OF THE FINAL SUBDIVISION PLATTING.
- LANDSCAPING, SIGNAGE, ARCHITECTURE, NON-RESIDENTIAL PARKING, FENCING AND LIGHTING FOR DEVELOPMENT WITH THIS PUD SHALL EITHER FOLLOW THOSE APPLICABLE STANDARDS IN THE TOWN OF JOHNSTOWN MUNICIPAL CODE OR THE DEVELOPER MAY FORMULATE DESIGN STANDARDS REGULATING THE DESIGN, CHARACTER, LOCATION AND OTHER DETAILS OF THESE ELEMENTS PRIOR TO THEIR IMPLEMENTATION. THE DEVELOPER FORMULATED DESIGN STANDARDS MUST RECEIVE APPROVAL BY THE PLANNING AND DEVELOPMENT DIRECTOR PRIOR TO IMPLEMENTATION.

### Development Phasing:

PHASING WILL OCCUR IN A LOGICAL AND COST EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSION, AVAILABILITY OF UTILITY SERVICE, AND MARKET CONDITIONS. IT IS ANTICIPATED THE PROJECT WILL BE BUILT-OUT IN THREE PHASES. ALL PHASING IS SUBJECT TO TOWN OF JOHNSTOWN AND FRONT RANGE FIRE RESCUE AUTHORITY APPROVAL.

### Legal Description:

A PORTION OF THE SOUTH ONE-HALF OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO.

### Narrative/Operation Plan:

THE INTENT OF THIS OUTLINE DEVELOPMENT PLAN (ODP) IS TO PROVIDE THE FRAMEWORK FOR THE PURVIS FARM PROPERTY DEVELOPMENT. A HIGH QUALITY RESIDENTIAL COMMUNITY IS ENVISIONED FOR THIS SITE. FOUR PRODUCT TYPES ARE ANTICIPATED AS FOLLOWS:

SINGLE-FAMILY LOTS (50' X 110')  
SINGLE-FAMILY LOTS (60' X 110')  
DUPLICATE UNITS  
TOWNHOME UNITS

IN ADDITION, +/- 8 ACRES OF COMMERCIAL AND MIXED USE ARE PLANNED FOR THE SOUTHWEST CORNER OF THE PROPERTY.

THIS DEVELOPMENT HAS ARTERIAL ROADS LOCATED ON THE SOUTH AND WEST BOUNDARIES OF THE PROPERTY. THE PROXIMITY TO AN ARTERIAL ROAD NETWORK WILL PROVIDE EXCELLENT ACCESS TO THE PROPERTY.

THE PUD WILL PROVIDE VARIOUS OPTIONS FOR THE SITE TO DEVELOP CREATIVELY. FLEXIBILITY IN LOT SIZES AND HOUSING TYPES WILL ENCOURAGE INVENTIVE DESIGN TO FIT MARKET DEMANDS. IN ADDITION, FLEXIBILITY IN OPEN SPACES, PARK LOCATIONS AND THE TRAIL SYSTEM WILL ALLOW FOR A PEDESTRIAN-FRIENDLY COMMUNITY.

### Project Team::

#### OWNER:

JOHNSTOWN LLC  
114 NORTH MASON STREET  
FORT COLLINS, CO 80524  
970.407.7898

#### OWNER'S REPRESENTATIVE:

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JENSEN LAPLANTE DEVELOPMENT  
1603 OAKRIDGE DRIVE, SUITE 101  
FORT COLLINS CO 80525  
970.227.0622  
JEFF@JENSENLAPLANTE.COM

#### PLANNER:

CATHY MATHIS  
TB GROUP  
444 MOUNTAIN AVENUE  
BERTHOUD, CO 80513  
970.532.5891  
CATHY@TBGROUP.US

#### CIVIL ENGINEER:

JOHN TUFT PE  
SANDERSON STEWART ENGINEERING  
425 EAST MULBERRY STREET  
FORT COLLINS, CO 80521  
855.656.5255  
JTUFTE@SANDERSONSTEWART.COM

### Sheet Index:

SHEET 1	COVER SHEET
SHEET 2	OUTLINE DEVELOPMENT PLAN
SHEET 3	CONCEPT PLAN
SHEET 4	MASTER UTILITY & ACCESS LOCATIONS PLAN
SHEET 5	MASTER GRADING & DRAINAGE PLAN

#### PROJECT TITLE

PURVIS FARM  
OUTLINE  
DEVELOPMENT  
PLAN

JOHNSTOWN, CO

#### PREPARED FOR

OWNER:  
JOHNSTOWN  
LLC

144 North Mason Street  
Fort Collins CO 80524

#### REVISIONS

REVISIONS	DATE
Staff Comments	03.02.21

#### DATE

December 30, 2020

#### SHEET TITLE

Cover Sheet

#### SHEET INFORMATION

Sheet Number: 1

Of: 5

REVISIONS	DATE
Staff Comments	03.02.21
Staff Comments	04.12.21

DATE  
December 30, 2020

SHEET TITLE  
**OUTLINE  
DEVELOPMENT  
PLAN**

SHEET INFORMATION

Sheet Number: 2

Of: 5

**Density:**

ANTICIPATED RESIDENTIAL DENSITIES ARE SPECIFIED WITHIN EACH PARCEL. THE FINAL DENSITY SHALL BE DETERMINED AT THE TIME OF PLATTING.

- PLANNING AREAS B AND C SHALL HAVE A MINIMUM DENSITY OF 5 D.U./ACRE AND A MAXIMUM DENSITY OF 10 D.U./ACRE.
- PLANNING AREA A SHALL HAVE A MAXIMUM DENSITY OF 5.0 D.U./ACRE.
- PLANNING AREA D SHALL HAVE A MINIMUM DENSITY OF 10.0 D.U./ACRE WITH NO MAXIMUM DENSITY.

**Planning Area Index:**

PLANNING AREA (PA)	APPROX. ACREAGE	ANTICIPATED USES
PA - A	+/- 75.6 AC	RESIDENTIAL USES
PA - B	+/- 9.2 AC	RESIDENTIAL USES
PA - C	+/- 4.0 AC	RESIDENTIAL USES
PA - D	+/- 12.5 AC	MIXED USES

**Development Standards: Residential**

SINGLE FAMILY DETACHED	
MINIMUM LOT SIZE	4,500 SF
MAXIMUM HEIGHT	30'
FRONT SETBACK TO BUILDING HABITABLE SPACE	15'
FRONT SETBACK TO GARAGE	20'
FRONT SETBACK TO SIDE LOADED GARAGE	10'
SIDE YARD SETBACK	5'
REAR YARD SETBACK (FRONT LOADED)	10'
REAR YARD SETBACK (ALLEY LOADED)	5'
SIDE (CORNER) SETBACK	10'

SINGLE FAMILY ATTACHED (DUPEX LOT)	
MINIMUM LOT SIZE	3,500 SF
MAXIMUM HEIGHT	35'
FRONT SETBACK TO BUILDING HABITABLE SPACE	20'
FRONT SETBACK TO GARAGE	20'
FRONT SETBACK TO SIDE LOADED GARAGE	10'
SIDE YARD SETBACK	0'
REAR YARD SETBACK (FRONT LOADED)	10'
REAR YARD SETBACK (ALLEY LOADED)	5'
SIDE (CORNER) SETBACK	10'
BUILDING SEPARATION	PER TOWN BUILDING CODE

SINGLE FAMILY ATTACHED (TOWNHOME LOTS)	
MINIMUM LOT SIZE	1,950
MAXIMUM HEIGHT	35' (OR 50' WITH CONDITIONAL USE APPROVAL)
FRONT SETBACK TO BUILDING HABITABLE SPACE	15'
MINIMUM FRONT SETBACK TO GARAGE	15'
FRONT SETBACK TO SIDE LOADED GARAGE	10'
REAR YARD SETBACK (FRONT LOADED)	10'
REAR YARD SETBACK (ALLEY LOADED)	5'
SIDE (CORNER) SETBACK	10'
BUILDING SEPARATION	PER TOWN BUILDING CODE

- NOTES:**
- ZERO LOT LINES MAY BE UTILIZED WHEN A MAINTENANCE EASEMENT AND SIDE YARD EASEMENTS ARE EXECUTED.
  - IF THE TOWN OF JOHNSTOWN DEVELOPMENT STANDARDS ARE REVISED, THE MORE RESTRICTIVE STANDARDS SHALL APPLY. FOR ANY STANDARDS NOT ADDRESSED IN THIS ODP, TOWN CODES, GUIDELINES, AND STANDARDS WILL BE DEFAULT.
  - PORCHES ARE CONSIDERED PART OF THE BUILDING FOR THE PURPOSE OF SETBACK REQUIREMENTS.
  - GARAGES AND ACCESSORY BUILDINGS SHOULD BE AN INTEGRAL PART OF BOTH THE RESIDENCE AND THE OVERALL SITE. GARAGES AND GARAGE DOORS SHOULD BE DESIGNED SO THAT THEY ARE NOT THE DOMINANT ARCHITECTURAL FEATURES OF THE RESIDENCE. DESIGNS THAT CREATE OPEN-SPACE ENCLOSURES SUCH AS COURTYARDS, ENCLOSED PATIOS, AND PARKING COURTS ARE ENCOURAGED. GARAGES AND ACCESSORY BUILDINGS SHOULD BE CONNECTED TO THE MAIN RESIDENCE THROUGH THE USE OF BREEZEWAYS, PERGOLAS, AND COVERED WALKWAYS. THERE SHALL BE A MAXIMUM OF THREE CAR SPACES IN A GARAGE THAT IS ATTACHED AND FULLY ENCLOSED.
  - THE LANDSCAPE IN COMMON AREAS THROUGHOUT THE COMMUNITY SHOULD EMPHASIZE DROUGHT-TOLERANT AND NATIVE PLANT SPECIES. HOMEOWNERS AND BUILDERS ARE ENCOURAGED TO CONTINUE THIS STYLE OF DESIGN AND USE OF PLANT MATERIALS IN THE YARDS AROUND THE HOMES. LANDSCAPE IMPROVEMENTS ARE STRONGLY ENCOURAGED TO BE DESIGNED WITH WATER EFFICIENCY AS A MAJOR GOAL. THE FOLLOWING DESIGN TREATMENTS SHOULD BE KEPT IN MIND WHEN DESIGNING A WATER EFFICIENT LANDSCAPE:
    - APPROPRIATE TURF SELECTION
    - USE OF MULCH TO MAINTAIN SOIL MOISTURE
    - ZONING OF PLANT MATERIALS ACCORDING TO THEIR LIGHT AND WATER NEEDS
    - IMPROVEMENT OF THE SOIL WITH ORGANIC MATTER
    - EFFICIENT IRRIGATION SYSTEMS
    - PROPER MAINTENANCE AND IRRIGATION SCHEDULES
    - RECIRCULATION OF WATER FOR DECORATIVE WATER FEATURES
  - NO RECREATIONAL VEHICLES, CAMPERS, BOATS, TRAILERS, MOTOR HOMES SHALL BE STORED OR PARKED IN SUCH A MANNER AS TO BE VISIBLE FROM ANY OTHER PROPERTY FOR LONGER THAN 72 HOURS IN A SEVEN (7) DAY PERIOD. SUCH VEHICLES SHALL BE KEPT ONLY WITHIN GARAGES OR ENCLOSED STRUCTURES.

**PLANNING AREA D USES:**

- CONDITIONAL USES:**
- FAST FOOD RESTAURANT WITH OR WITHOUT DRIVE-THROUGH FACILITIES
  - COFFEE SHOP
  - BANK
  - VEHICLE REPAIR
  - CHILD CARE CENTER
  - LIMITED INDOOR RECREATION ESTABLISHMENT
  - GROCERY STORE
  - EQUIPMENT RENTAL ESTABLISHMENT
  - SMALL-SCALE RECEPTION CENTER
  - ENTERTAINMENT FACILITY
  - RETAIL STORE WITH VEHICLE SERVICING
  - VEHICLE MINOR REPAIR
  - CONVENIENCE RETAIL STORE WITH FUEL SALES

- USES NOT ALLOWED:**
- OUTDOOR STORAGE
  - ENCLOSED MINI STORAGE
  - AGRICULTURAL OPERATIONS
  - ANIMAL AGRICULTURE
  - PRISON OR DETENTION CENTER
  - KENNEL, INCLUDING OUTDOOR ANIMAL USE AREAS
  - RECREATIONAL VEHICLE PARK
  - SHOOTING RANGE
  - HEAVY MANUFACTURING
  - WORKSHOPS AND CUSTOM SMALL INDUSTRY USES

**Land Use Summary:**

LAND USE	ACRES
RESIDENTIAL DEVELOPMENT:	88.8 AC
MIXED-USE DEVELOPMENT:	12.5 AC
TOTAL	108.5 AC

**Planning Area Boundaries:**

PLANNING AREA ACREAGES AND BOUNDARIES ARE PRELIMINARY AND SUBJECT TO CHANGE WITH DETAILED PLANNING. PLANNING ACREAGE MAY CHANGE UP TO 30% WITHOUT A MAJOR AMENDMENT TO THIS PUD DOCUMENT.

**Development Standards: Commercial**

MAXIMUM HEIGHT	35' (OR 50' WITH CONDITIONAL USE APPROVAL)
LOT COVERAGE	50% BUILDING
LOT COVERAGE	20% LANDSCAPING
SETBACK FROM ARTERIAL	15'
PARKING SETBACK FROM ARTERIAL	50'

- NOTES:**
- ADDITIONAL DESIGN REQUIREMENTS FOR COMMERCIAL DEVELOPMENT PER THE DESIGN GUIDELINES TO BE PRESENTED AT FINAL PLAT.
  - THE PLANNING DIRECTOR MAY APPROVE ADJUSTMENTS TO COMMERCIAL SETBACKS THAT MAY BE NECESSARY DUE TO PARCEL SIZE, CONFIGURATION OR OTHER CONSTRAINT.

**Open Space, Parks & Walks/Trails:**

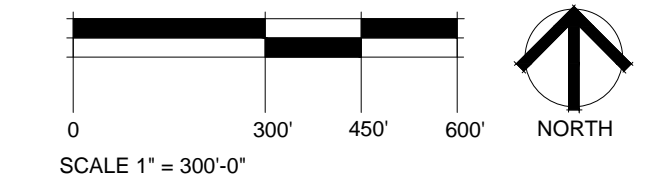
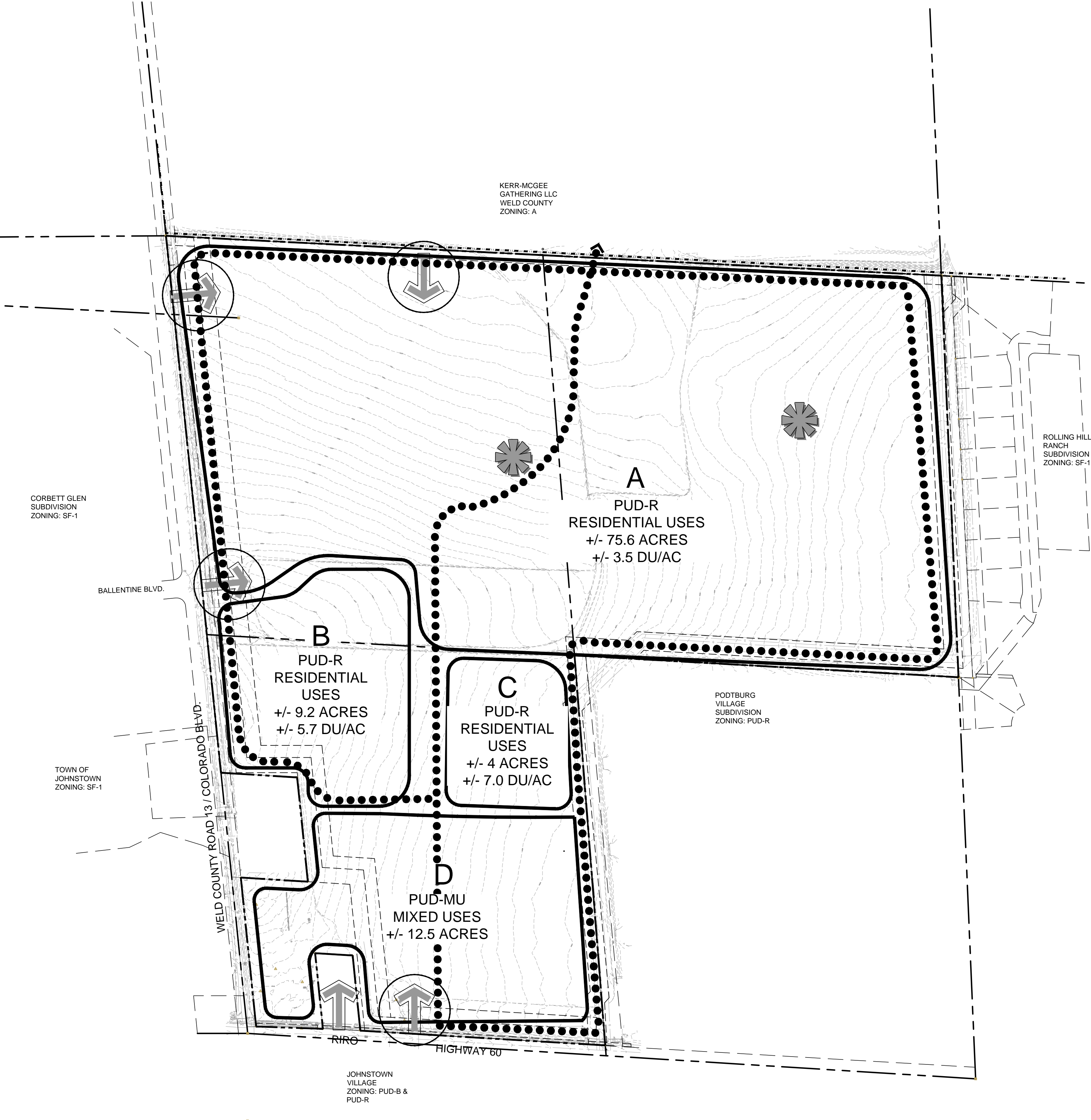
- OPEN SPACE:**
- 30% OPEN SPACE WILL BE REQUIRED (OVERALL DEVELOPMENT)
  - PUBLIC AND/OR PRIVATELY OWNED LAND WILL BE COUNTED TOWARDS OPEN SPACE REQUIREMENTS.
  - PORTIONS OF DETENTION PONDS WILL BE COUNTED TOWARDS OPEN SPACE REQUIREMENTS AND PARK SPACE CALCULATIONS.
  - PARK SPACE WILL BE COUNTED TOWARDS THE OPEN SPACE REQUIREMENTS.
  - OPEN SPACE MAY BE A LANDSCAPED AREA, A RECREATION AREA, SIDEWALKS AND/OR TRAILS, PLAZAS OR PLAYGROUNDS OR OTHER AREAS THAT ARE ACCESSIBLE TO THE RESIDENTS OF THE SUBDIVISION OR THE PUBLIC. OPEN SPACE AREAS LOCATED WITHIN A PRIVATE LOT WILL BE ACCESSIBLE TO THE RESIDENT OF THAT LOT ONLY.
- PARKS:**
- 10% PARKS WILL BE REQUIRED BASED ON THE GROSS LAND AREA.
  - PARK LOCATIONS ARE CONCEPTUAL AND WILL BE FINALIZED AT THE TIME OF SUBDIVISION PLATTING.
  - PARKS MAY BE PRIVATELY OR PUBLICLY OWNED, TO BE DETERMINED AT THE TIME OF FINAL PLAT.
  - ALL PARKS AND OPEN SPACES ARE ACCESSIBLE TO ALL INDIVIDUALS, REGARDLESS OF RESIDENCE WITHIN THE PURVIS FARM ODP.
- PEDESTRIAN CONNECTIVITY:**
- CONCRETE WALKS WILL BE PROVIDED ALONG ALL STREETS.
  - ADDITIONAL WALKS AND/OR TRAILS TO BE DETERMINED AT THE TIME OF MORE DETAILED DESIGN AND/OR SUBDIVISION PLATTING.
  - DEVELOPMENT SHALL INCORPORATE ELEMENTS AND CONNECTIVITY FROM PARKS AND TRAILS MASTER PLAN AND THE JOHNSTOWN COMPREHENSIVE PLAN.

**Parcel Design Intent:**

- PARCELS A, B, AND C:**
- THE DESIGN INTENT FOR PLANNING AREAS A, B, AND C IS TO ALLOW FOR RESIDENTIAL DEVELOPMENT. RESIDENTIAL DEVELOPMENT COULD INCLUDE SINGLE FAMILY DETACHED, SINGLE FAMILY ATTACHED, TOWNHOMES OR MIXED USE DEVELOPMENT. OTHER RESIDENTIAL USES NOT LISTED ABOVE WILL BE CONSIDERED/APPROVED BY THE PLANNING DIRECTOR.
- PARCEL D:**
- THE DESIGN INTENT FOR PLANNING AREA D IS TO ALLOW FOR A WIDE RANGE OF DEVELOPMENT USES, INCLUDING NEIGHBORHOOD SCALE COMMERCIAL, WHICH COULD INCLUDE A CONVENIENCE STORE WITH FUEL SALES, RETAIL, RESTAURANTS, NEIGHBORHOOD SERVICES OFFICE/FLEX OR SIMILAR USES. COMMERCIAL AND/OR MIXED-USE DEVELOPMENT IS STRONGLY ENCOURAGED IN THESE PARCELS.

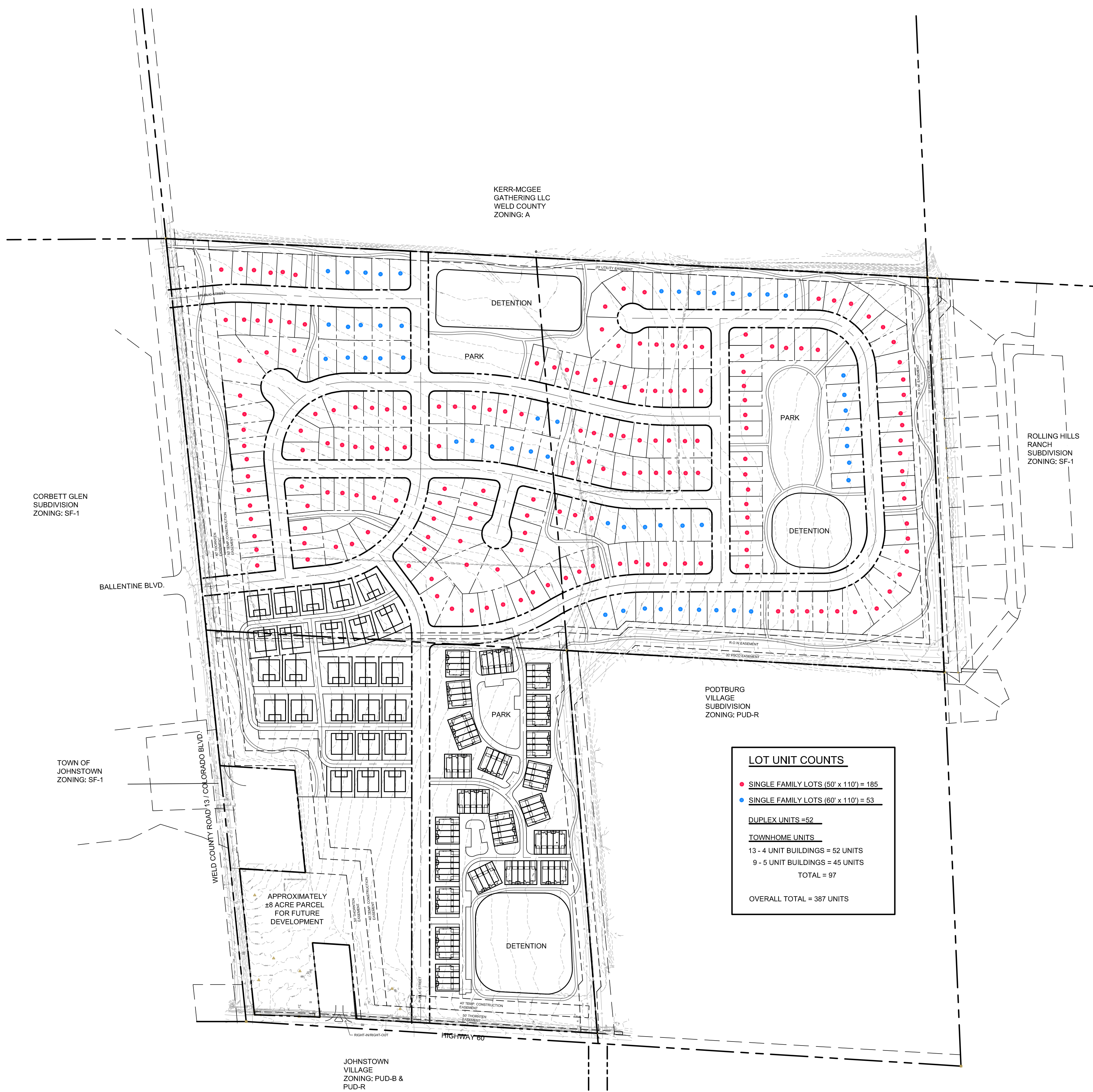
**Site Legend:**

- PROPERTY BOUNDARY
- DEVELOPMENT PARCEL BUBBLES (FOR GRAPHICAL PURPOSES ONLY)
- RIGHT OF WAY
- CONCRETE TRAIL
- POTENTIAL ACCESS POINT - FULL MOVEMENT
- POTENTIAL ACCESS POINT - RIGHT IN/RIGHT OUT
- POSSIBLE PARK LOCATIONS
- JOHNSTOWN TOWN LIMITS



**NOTE:**  
1. THIS IS AN ILLUSTRATIVE CONCEPTUAL PLAN TO SHOW HOW THE PROPERTY COULD DEVELOP, AS WELL AS INDICATE THE CURRENT OWNERS INTENT. ALL DETAILS SHOWN ARE CONCEPTUAL ONLY AND MORE DETAILED PLANS AND ENGINEERING ARE REQUIRED TO ENSURE COMPLIANCE WITH TOWN CODES, REGULATIONS AND STANDARDS.

2. DIMENSIONS BETWEEN ACCESS POINTS ARE CONCEPTUAL. EXACT SPACING TO BE DETERMINED AT PLATTING.



**LOT UNIT COUNTS**

- SINGLE FAMILY LOTS (50' x 110') = 185
- SINGLE FAMILY LOTS (60' x 110') = 53

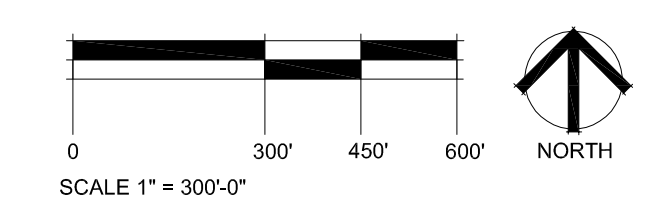
**DUPLEX UNITS = 52**

**TOWNHOME UNITS**

- 13 - 4 UNIT BUILDINGS = 52 UNITS
- 9 - 5 UNIT BUILDINGS = 45 UNITS
- TOTAL = 97

**OVERALL TOTAL = 387 UNITS**

- PROPERTY BOUNDARY
- - - DEVELOPMENT PARCEL BUBBLES (FOR GRAPHICAL PURPOSES ONLY)
- RIGHT OF WAY
- ◆◆◆◆ CONCRETE TRAIL
- ↔ POTENTIAL ACCESS POINT - FULL MOVEMENT
- ↔ POTENTIAL ACCESS POINT - RIGHT RI/RO IN/RIGHT OUT
- ☼ POSSIBLE PARK LOCATIONS
- - - JOHNSTOWN TOWN LIMITS



REVISIONS	DATE
STAFF COMMENTS	03/02/21

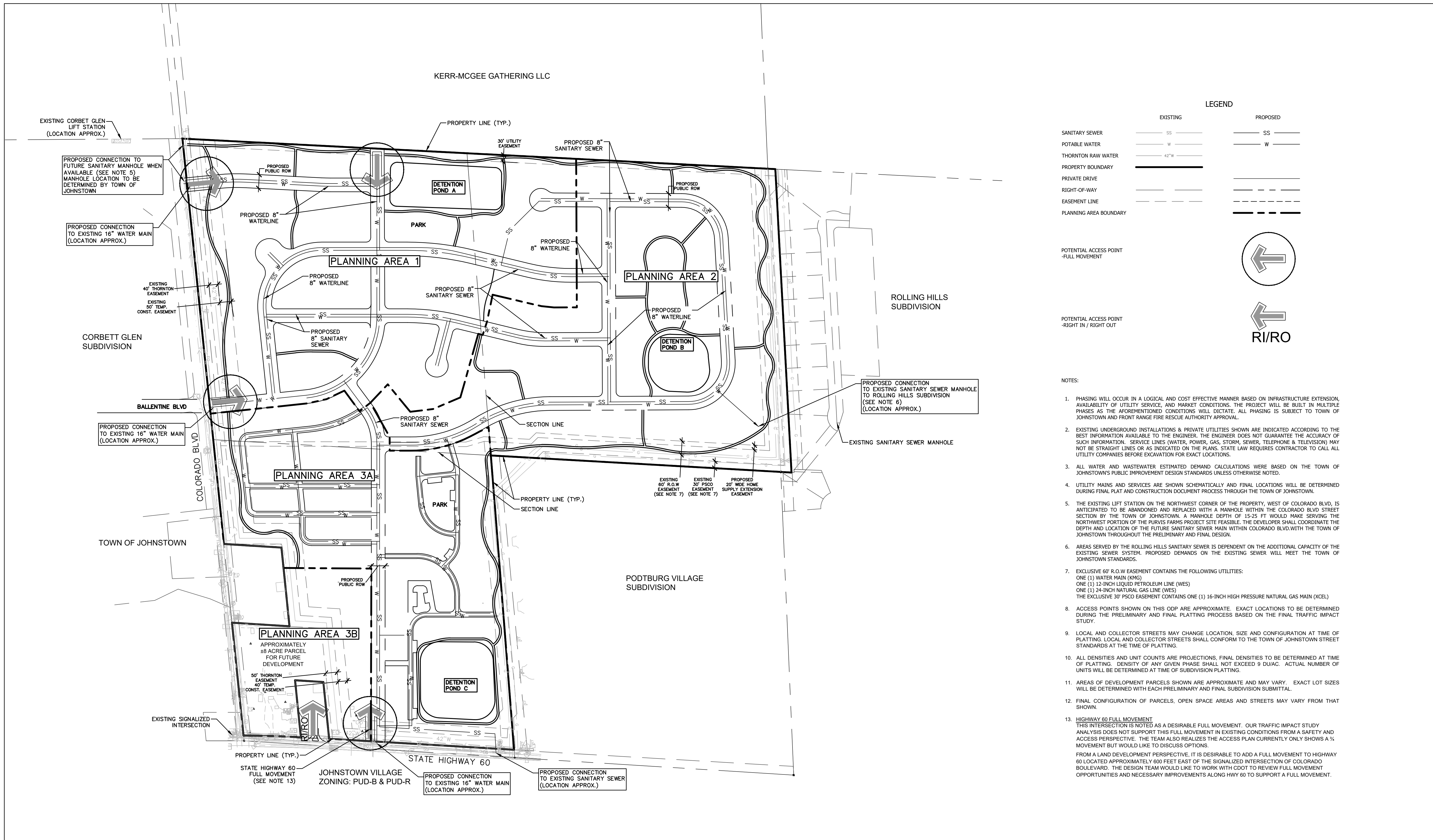
DATE  
 DECEMBER 30, 2020

SHEET TITLE  
**MASTER UTILITY & ACCESS LOCATIONS PLAN**

SHEET INFORMATION

Sheet Number: 4

Of: 5



**LEGEND**

EXISTING	PROPOSED
SANITARY SEWER (SS)	SANITARY SEWER (SS)
POTABLE WATER (W)	POTABLE WATER (W)
THORNTON RAW WATER (42"W)	THORNTON RAW WATER (42"W)
PROPERTY BOUNDARY	PROPERTY BOUNDARY
PRIVATE DRIVE	PRIVATE DRIVE
RIGHT-OF-WAY	RIGHT-OF-WAY
EASEMENT LINE	EASEMENT LINE
PLANNING AREA BOUNDARY	PLANNING AREA BOUNDARY



- NOTES:
- PHASING WILL OCCUR IN A LOGICAL AND COST EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSION, AVAILABILITY OF UTILITY SERVICE, AND MARKET CONDITIONS. THE PROJECT WILL BE BUILT IN MULTIPLE PHASES AS THE AFOREMENTIONED CONDITIONS WILL DICTATE. ALL PHASING IS SUBJECT TO TOWN OF JOHNSTOWN AND FRONT RANGE FIRE RESCUE AUTHORITY APPROVAL.
  - EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, STORM, SEWER, TELEPHONE & TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.
  - ALL WATER AND WASTEWATER ESTIMATED DEMAND CALCULATIONS WERE BASED ON THE TOWN OF JOHNSTOWN'S PUBLIC IMPROVEMENT DESIGN STANDARDS UNLESS OTHERWISE NOTED.
  - UTILITY MAINS AND SERVICES ARE SHOWN SCHEMATICALLY AND FINAL LOCATIONS WILL BE DETERMINED DURING FINAL PLAT AND CONSTRUCTION DOCUMENT PROCESS THROUGH THE TOWN OF JOHNSTOWN.
  - THE EXISTING LIFT STATION ON THE NORTHWEST CORNER OF THE PROPERTY, WEST OF COLORADO BLVD, IS ANTICIPATED TO BE ABANDONED AND REPLACED WITH A MANHOLE WITHIN THE COLORADO BLVD STREET SECTION BY THE TOWN OF JOHNSTOWN. A MANHOLE DEPTH OF 15-25 FT WOULD MAKE SERVING THE NORTHWEST PORTION OF THE PURVIS FARMS PROJECT SITE FEASIBLE. THE DEVELOPER SHALL COORDINATE THE DEPTH AND LOCATION OF THE FUTURE SANITARY SEWER MAIN WITHIN COLORADO BLVD WITH THE TOWN OF JOHNSTOWN THROUGHOUT THE PRELIMINARY AND FINAL DESIGN.
  - AREAS SERVED BY THE ROLLING HILLS SANITARY SEWER IS DEPENDENT ON THE ADDITIONAL CAPACITY OF THE EXISTING SEWER SYSTEM. PROPOSED DEMANDS ON THE EXISTING SEWER WILL MEET THE TOWN OF JOHNSTOWN STANDARDS.
  - EXCLUSIVE 60' R.O.W. EASEMENT CONTAINS THE FOLLOWING UTILITIES:  
 ONE (1) WATER MAIN (KING)  
 ONE (1) 12-INCH LIQUID PETROLEUM LINE (WES)  
 ONE (1) 24-INCH NATURAL GAS LINE (WES)  
 THE EXCLUSIVE 30' PSCO EASEMENT CONTAINS ONE (1) 16-INCH HIGH PRESSURE NATURAL GAS MAIN (XCEL)
  - ACCESS POINTS SHOWN ON THIS ODP ARE APPROXIMATE. EXACT LOCATIONS TO BE DETERMINED DURING THE PRELIMINARY AND FINAL PLATTING PROCESS BASED ON THE FINAL TRAFFIC IMPACT STUDY.
  - LOCAL AND COLLECTOR STREETS MAY CHANGE LOCATION, SIZE AND CONFIGURATION AT TIME OF PLATTING. LOCAL AND COLLECTOR STREETS SHALL CONFORM TO THE TOWN OF JOHNSTOWN STREET STANDARDS AT THE TIME OF PLATTING.
  - ALL DENSITIES AND UNIT COUNTS ARE PROJECTIONS. FINAL DENSITIES TO BE DETERMINED AT TIME OF PLATTING. DENSITY OF ANY GIVEN PHASE SHALL NOT EXCEED 9 DU/AC. ACTUAL NUMBER OF UNITS WILL BE DETERMINED AT TIME OF SUBDIVISION PLATTING.
  - AREAS OF DEVELOPMENT PARCELS SHOWN ARE APPROXIMATE AND MAY VARY. EXACT LOT SIZES WILL BE DETERMINED WITH EACH PRELIMINARY AND FINAL SUBDIVISION SUBMITTAL.
  - FINAL CONFIGURATION OF PARCELS, OPEN SPACE AREAS AND STREETS MAY VARY FROM THAT SHOWN.
  - HIGHWAY 60 FULL MOVEMENT  
 THIS INTERSECTION IS NOTED AS A DESIRABLE FULL MOVEMENT. OUR TRAFFIC IMPACT STUDY ANALYSIS DOES NOT SUPPORT THIS FULL MOVEMENT IN EXISTING CONDITIONS FROM A SAFETY AND ACCESS PERSPECTIVE. THE TEAM ALSO REALIZES THE ACCESS PLAN CURRENTLY ONLY SHOWS A 1/4 MOVEMENT BUT WOULD LIKE TO DISCUSS OPTIONS.  
 FROM A LAND DEVELOPMENT PERSPECTIVE, IT IS DESIRABLE TO ADD A FULL MOVEMENT TO HIGHWAY 60 LOCATED APPROXIMATELY 600 FEET EAST OF THE SIGNALIZED INTERSECTION OF COLORADO BOULEVARD. THE DESIGN TEAM WOULD LIKE TO WORK WITH CDOT TO REVIEW FULL MOVEMENT OPPORTUNITIES AND NECESSARY IMPROVEMENTS ALONG HWY 60 TO SUPPORT A FULL MOVEMENT.

**ESTIMATED WATER DEMAND**

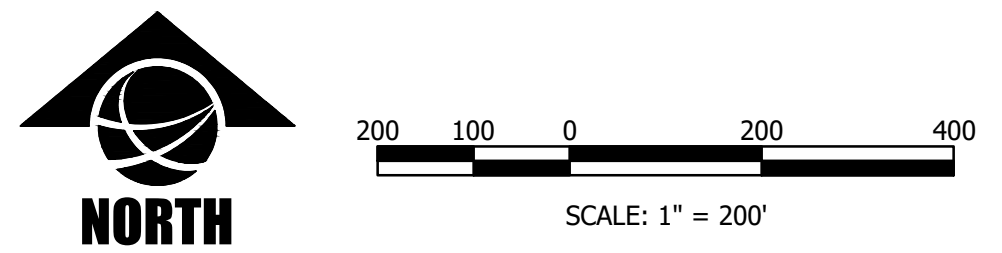
Planning Area	Anticipated Uses	Units	Gross Area (ac)	SFE or Building Area (SF)	Average Day Demand (gpm)	Max Day Demand + Fire Flow (gpm)	Peak Hour Demand (gpm)
1 & 2	Single-Family	238	N/A	238	74.4	1648.8	223.1
3A	Multi-Family	149	N/A	149	46.6	1593.1	139.7
3B	Commercial	50% Coverage	8.17	177943	24.9	1549.8	74.7
<b>TOTALS</b>					<b>145.8</b>	<b>1791.7</b>	<b>437.5</b>

**ESTIMATED WASTEWATER FLOW**

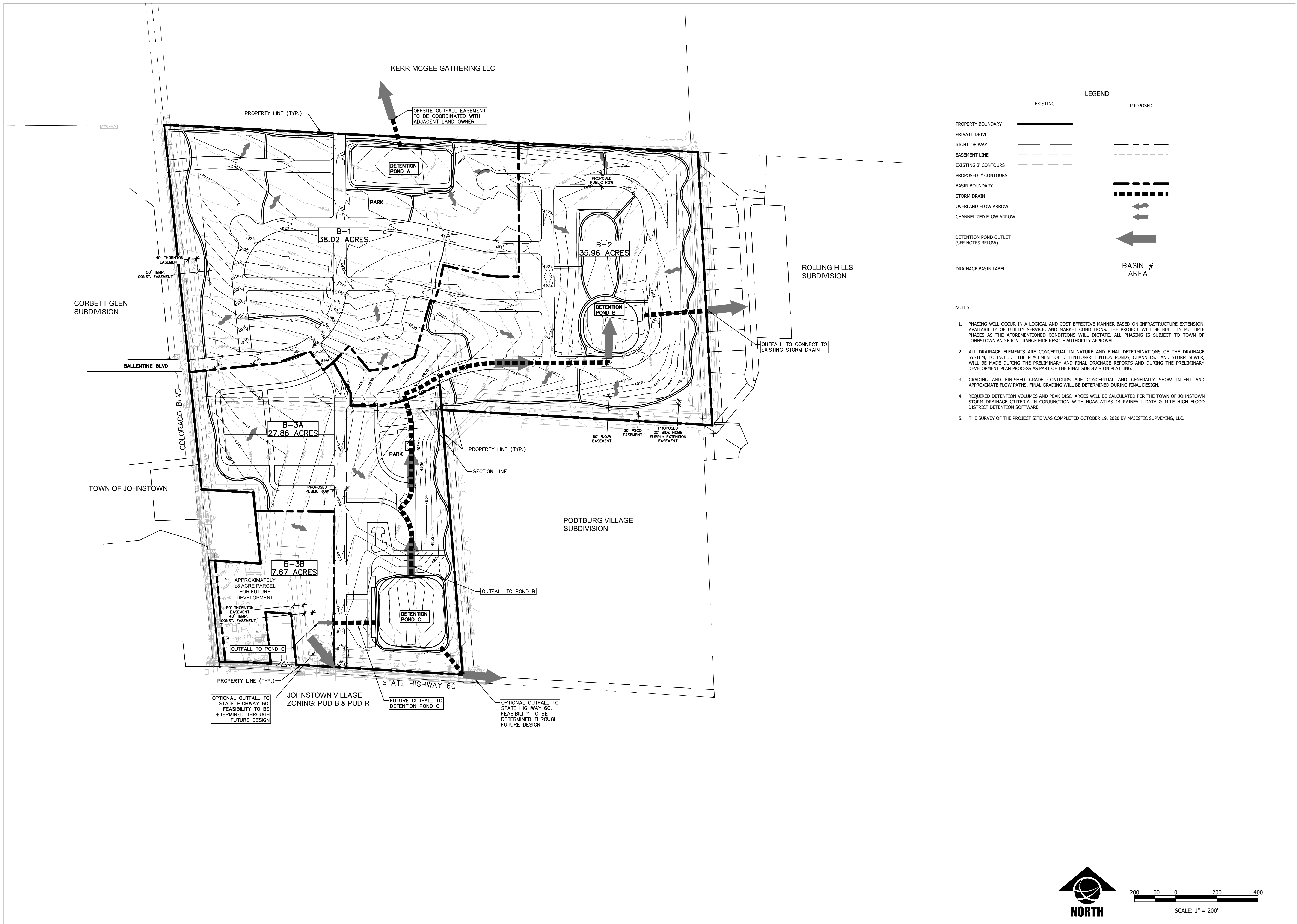
Planning Area	Anticipated Uses	Units	Gross Area (ac)	SFE or Building Area (SF)	Average Flow (gpm)	Peak Flow (gpm)
1 & 2	Single-Family	238	N/A	238	36.4	141.4
3A	Multi-Family	149	N/A	149	22.8	95.4
3B	Commercial	50% Coverage	8.17	177943	24.7	102.2
<b>TOTALS</b>			<b>8.17</b>		<b>83.8</b>	<b>339.0</b>

**WASTEWATER ASSUMPTIONS:**  
 RESIDENTIAL AVERAGE FLOW (Q<sub>2</sub>) = 220 GPD/SFE  
 COMMERCIAL AVERAGE FLOW (Q<sub>2</sub>) = 200 GPD/1,000 SF BUILDING AREA (DENVER STANDARDS, MARCH 2008, ASSUMING OFFICE/SMALL BUSINESS/BIG BOX STORE USES)  
 PEAKING FACTOR = 2.6 x Q<sub>2</sub><sup>0.14</sup>

**WATER ASSUMPTIONS:**  
 RESIDENTIAL AVERAGE DAY DEMAND (ADD) = 150 GPCD (ASSUME 3 PEOPLE PER UNIT)  
 COMMERCIAL AVERAGE DAY DEMAND (ADD) = 201.6 GPD/1,000 SF OF BUILDING AREA (GREELEY STANDARDS, JUNE 2008, ASSUMING OFFICE/SMALL BUSINESS/BIG BOX STORE USES)  
 FIRE FLOW AVAILABILITY MAXIMUM DAY DEMAND (MDD) = 1,500 GPM  
 PEAKING HOUR DEMAND = 2 x ADD = 1.5 x MDD



REVISIONS	DATE
STAFF COMMENTS	03/02/21



**LEGEND**

	EXISTING	PROPOSED
PROPERTY BOUNDARY	—	---
PRIVATE DRIVE	- - - -	- - - -
RIGHT-OF-WAY	—	- - - -
EASEMENT LINE	- - - -	- - - -
EXISTING 2' CONTOURS	—	---
PROPOSED 2' CONTOURS	---	---
BASIN BOUNDARY	---	---
STORM DRAIN	---	---
OVERLAND FLOW ARROW	→	→
CHANNELIZED FLOW ARROW	→	→
DETENTION POND OUTLET (SEE NOTES BELOW)	→	→
DRAINAGE BASIN LABEL	BASIN #	AREA

- NOTES:
- PHASING WILL OCCUR IN A LOGICAL AND COST EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSION, AVAILABILITY OF UTILITY SERVICE, AND MARKET CONDITIONS. THE PROJECT WILL BE BUILT IN MULTIPLE PHASES AS THE AFOREMENTIONED CONDITIONS WILL DICTATE. ALL PHASING IS SUBJECT TO TOWN OF JOHNSTOWN AND FRONT RANGE FIRE RESCUE AUTHORITY APPROVAL.
  - ALL DRAINAGE ELEMENTS ARE CONCEPTUAL IN NATURE AND FINAL DETERMINATIONS OF THE DRAINAGE SYSTEM, TO INCLUDE THE PLACEMENT OF DETENTION/RETENTION PONDS, CHANNELS, AND STORM SEWER, WILL BE MADE DURING THE PRELIMINARY AND FINAL DRAINAGE REPORTS AND DURING THE PRELIMINARY DEVELOPMENT PLAN PROCESS AS PART OF THE FINAL SUBDIVISION PLATTING.
  - GRADING AND FINISHED GRADE CONTOURS ARE CONCEPTUAL AND GENERALLY SHOW INTENT AND APPROXIMATE FLOW PATHS. FINAL GRADING WILL BE DETERMINED DURING FINAL DESIGN.
  - REQUIRED DETENTION VOLUMES AND PEAK DISCHARGES WILL BE CALCULATED PER THE TOWN OF JOHNSTOWN STORM DRAINAGE CRITERIA IN CONJUNCTION WITH NOAA ATLAS 14 RAINFALL DATA & MILE HIGH FLOOD DISTRICT DETENTION SOFTWARE.
  - THE SURVEY OF THE PROJECT SITE WAS COMPLETED OCTOBER 19, 2020 BY MAJESTIC SURVEYING, LLC.

