

THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

Owner/Applicant

Hartford Acquisitions
4801 Goodman Rd
Timnath, CO 80547
970.614.4219

Planner

Russell + Mills Studios
506 S College Ave, Unit A
Fort Collins, CO 80524
970.484.8855

Civil Engineer

Galloway
5265 Ronald Reagan Blvd.
Suite 210
Johnstown, CO 80534
970.800.3300

Traffic Engineer

Rollins Consult, LLC
PO Box 1164
Fort Collins, Co 80522
970.213.2393

RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS

The provisions of this PUD shall prevail and govern development to the extent permitted by the Town of Johnstown municipal code. Where standards, details, and guidelines of the PUD (outline, preliminary, or final development plans) do not clearly address a specific subject or are silent, the Johnstown Municipal Code and other standards, regulations, and guidelines shall be used. All proposed development is subject to Town of Johnstown review procedures.

GENERAL NOTES

1. A metro district shall be established to provide for common area maintenance and financing of the public improvements.
2. The site does not contain any known endangered species.
3. No archaeological or historic areas have been identified on the site.
4. No floodplains, wetlands, or geologic hazards have been identified or mapped on the site.

LEGAL DESCRIPTION

THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO EXCEPTING THEREFROM RIGHT OF WAY CONVEYED TO THE GREAT WESTERN CONSTRUCTION COMPANY BY DEED RECORDED IN BOOK 194, PAGE 290 AND RIGHT OF WAY CONVEYED TO THE GREAT WESTERN RAILWAY COMPANY BY DEED RECORDED IN BOOK 163, PAGE 246, WELD COUNTY RECORDS, ALSO EXCEPT RESERVATIONS CONTAINED IN PATENT RECORDED IN BOOK 153, PAGE 40, AND IN DEED RECORDED IN BOOK 50, PAGE 233, WELD COUNTY RECORDS.

LAND SUMMARY

Existing zoning: PUD-R

LAND USE SUMMARY						
THE GRANARY FILING ONE						
OUTLOTS	AREA (SF)	AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE	% OF TOTAL
A	44,518	1.022	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS EASEMENT AND OPEN SPACE	
B	379,604	8.715	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS, UTILITY AND DRAINAGE EASEMENT, OPEN SPACE, HILLSBOROUGH DITCH	
C	31,627	0.726	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
D	63,451	1.457	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS, UTILITY EASEMENT, PARK SPACE	
E	130,503	2.996	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS, UTILITY AND DETENTION AND DRAINAGE EASEMENT, OPEN SPACE	
F	989,834	22.723	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND DRAINAGE EASEMENT AND OPEN SPACE, HILLSBOROUGH DITCH	
G	40,210	0.923	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND DRAINAGE EASEMENT AND OPEN SPACE	
H	43,603	1.001	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND DRAINAGE EASEMENT AND OPEN SPACE	
I	24,707	0.567	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS EASEMENT AND OPEN SPACE	
J	7,424	0.170	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS EASEMENT AND OPEN SPACE	
K	8,068	0.185	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
L	4,254	0.098	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
M	4,231	0.097	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
N	3,484	0.080	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
OUTLOTS	1,775,519	40.760				26.18%
TRACT						
A	1,966,640	45.148	METRO DISTRICT	METRO DISTRICT	FUTURE DEVELOPMENT	29.00%
STREET RIGHT OF WAY (ALL PUBLIC ROADWAYS)						
ROAD	AREA (SF)	AREA ACRES				
ROADWAY RIGHT OF WAY	1,211,820	27.820				17.87%
SINGLE FAMILY LOTS						
LOTS	AREA (SF)	AREA ACRES	NUMBER OF LOTS			
SINGLE FAMILY LOTS	1,827,869	41.962	287			26.95%
TOTAL AREA	155,690	TOTAL PERCENTAGE				100.00%

SHEET INDEX

G001 - Cover
G002 - Design Guidelines

LS100 - Lot and Street Typicals

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LS103 - Site Plan
LS104 - Site Plan
LS105 - Site Plan
LS106 - Site Plan
LS107 - Site Plan
LS401 - Site Enlargement Plan - East Park
LS501 - Site Details

LP100 - Landscape Schedule and Notes

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LP102 - Landscape Plan
LP103 - Landscape Plan
LP104 - Landscape Plan
LP105 - Landscape Plan
LP106 - Landscape Plan
LP401 - Landscape Enlargement Plan - East Park
LP402 - Landscape Enlargement Plan - Entrances
LP501 - Landscape Details

OS100 - Open Space Plan

FP101 - Fencing Plan
FP102 - Fencing Plan
FP501 - Fencing Details

A200 - Building Elevations - Christie Farmhouse

A201 - Building Elevations - Christie Farmhouse
A202 - Building Elevations - Christie Craftsman
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A204 - Building Elevations - Fitzgerald Farmhouse
A205 - Building Elevations - Fitzgerald Farmhouse
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A207 - Building Elevations - Fitzgerald Craftsman
A208 - Building Elevations - Hemingway Farmhouse
A209 - Building Elevations - Hemingway Farmhouse
A210 - Building Elevations - Hemingway Craftsman
A211 - Building Elevations - Hemingway Craftsman
A212 - Building Elevations - Rowling Farmhouse
A213 - Building Elevations - Rowling Farmhouse
A214 - Building Elevations - Rowling Craftsman
A215 - Building Elevations - Rowling Craftsman
A216 - Building Elevations - Twain Farmhouse
A217 - Building Elevations - Twain Farmhouse
A218 - Building Elevations - Twain Craftsman
A219 - Building Elevations - Twain Craftsman

THE GRANARY
Johnstown, Colorado



NOT FOR CONSTRUCTION

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Date: 02.07.2022

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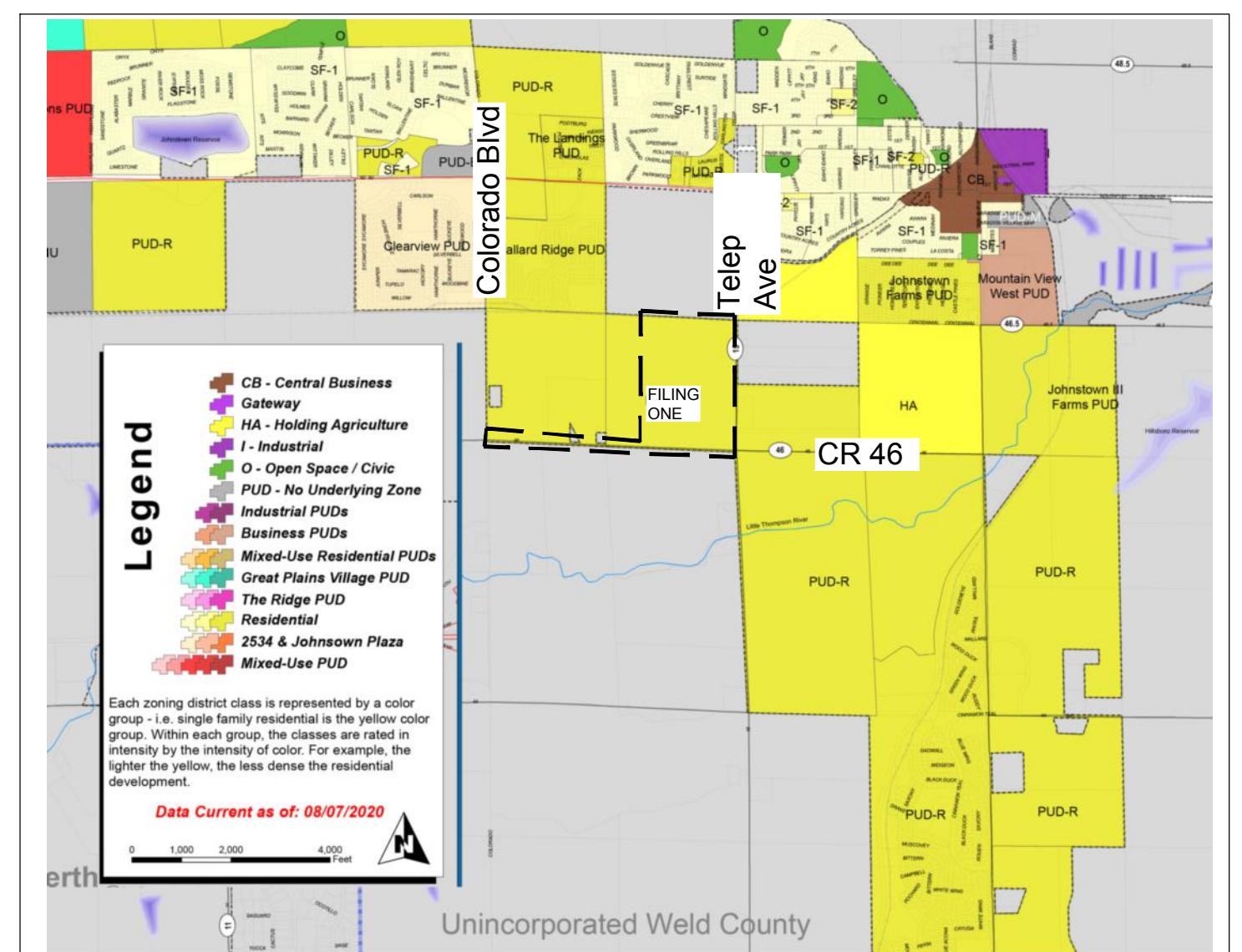
COVER

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G001



Vicinity Map



Zoning Map: Existing Zone District PUD-R

APPROVALS

TOWN COUNCIL
THIS PLAT, TO BE KNOWN AS THE GRANARY, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY RESOLUTION NUMBER _____, PASSED AND ADOPTED ON FINAL READING AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE _____ DAY OF _____.

BY: _____ ATTEST: _____
MAYOR TOWN CLERK

HILLSBOROUGH DITCH COMPANY
THIS FINAL PLAT PLAN TO BE KNOWN AS THE GRANARY, WAS APPROVED BY ACTION OF THE HILLSBOROUGH DITCH COMPANY ON THE _____ DAY OF _____.

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PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

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DESIGN GUIDELINES

PART 1 - INTRODUCTION

1.1 STATEMENT OF INTENT

The Granary Filing One is a community in the Town of Johnstown located west of Telep Avenue and between the Great Western Railroad and Roosevelt Parkway. Filing One

BUILDING DESIGN STANDARDS

1. Detached Single family lots:
 - a. A minimum of 5 home floorplans/styles shall be available within the development. No one floorplan/style may comprise more than 35% of all homes. These can be modified to meet the below requirements.
 - b. Similar house elevations shall not be placed within three (3) lots on either side or across the street per Town of Johnstown Design Standards.
 - c. Adjacent elevations shall have at least two distinguishing characteristics. These may include differences in exterior materials, changes in roof lines, and garage placement / orientation.
 - d. Model homes shall be allowed within the PUD in the discretion of the developer; however, the architectural provisions of this PUD shall apply equally to all such model homes. Developer shall be allowed early model home(s) provided there is initial acceptance of subdivision improvements in the area of the model homes that will allow access to and of operation of said home(s). A maximum of one(1) of each model will be permitted.
 - e. Sheds less than 120 SF shall be allowed on single-family lots.
 - f. Minor cosmetic changes such as different paint color, reversing or creating mirror images of the exterior architectural elevations, shutters, decorative brackets, or using different brick or stone color shall not meet the intent of defining a different elevation.
2. Materials:
 - a. Acceptable materials include vinyl, cementitious hardboard siding and shingles, stained cedar shingles, painted wood siding, and stucco. Brick and stone (including faux stone) are encouraged but not required.
 - b. Siding patterns may include clapboard, shiplap, drop siding, tongue-and-groove (vertical or horizontal), board & batten, and shingle coursing.
 - c. Exposed foundations exceeding eight-inch height on the front elevation are not permitted.
3. Building orientation: The primary pedestrian entry and windows shall face a street.
4. Front porches: Homes shall include a covered front porch associated with the entry, or other suitable covered architectural feature to accentuate the entry to the home.
5. Roofs: The maximum length of a continuous street facing roof ridge is 40 feet, unless the roof is punctuated by dormers or intersections with perpendicular roof systems.
6. Garages:
 - a. The dwelling units on a block face shall have recessed garages that are a minimum of 4 feet behind either the living area of the home or the front of a covered porch.
 - b. Three-car garages, if proposed, shall be:
 - i. Third garage shall be recessed by at least two feet from the two-car garage plane; or,
 - ii. Separated by a two-foot width masonry column from the two-car garage.
 - iii. Tandem configuration

PARKS AND OPEN SPACE

A large portion of the PUD will be open space with a natural character and trail system for more passive recreation. The existing ditch and detention pond areas will be maintained as open space with trails along them. These areas also will provide a natural/native plant palette that will enhance views and areas of use. Three neighborhood parks will be located centrally within the full build out of the development. A playground with play areas for both 2-5 and 5-12 years, shelter, picnic tables, and turf areas will support active recreation needs within the full build out of the development. 30% open space and 10% park space is required for the project site, per Town code.

LANDSCAPE STANDARDS

The design intent for the THE GRANARY PUD is to create a planned community that celebrates the surrounding plains ecosystem. Water conservation through appropriate landscaping techniques and plant species selection will be emphasized for the project.

Entry Point Treatment

Entry points into the THE GRANARY PUD from the east, south and west will be emphasized with more dense landscape areas that create a visual backdrop and entry point definition. Architectural elements such as monument signage, large rock displays etc will be utilized to further define these points of access.

Open Space / Buffer Yard Treatment

Landscape edges along arterial streets will contain a native seed mix with forbes and native perennials. Clusters of drought resistant shrubs (i.e. rabbitbrush, sages, mormon tea, etc) will create a diverse understory with deciduous and evergreen trees (i.e. hackberry, sand cherry, oaks alders, spruce, pine, etc) creating visual interest that is rooted in the context of the upland ecosystem.

Modified Residential Collector Street Treatment

Tree lawns with shade/canopy trees at 40' o.c. shall be located along modified residential collector streets. Trees shall be a minimum 40' from all street lights. Tree lawns shall be drought tolerant species of bluegrass and fescue species.

Single-Family Residential Lot Treatment

Individual lot landscaping will be provided by each homeowner, or the builder at the builder's discretion. Design shall be in accordance with the covenants of the community. One(1) tree per lot shall be required in the front yard, two(2) trees shall be required in the front yard of corner lots, one(1) within the front yard and one(1) in the the side yard facing public R.O.W. A minimum of 30% of each single-family lot shall consist of drip irrigated shrub beds with low to medium water use plants.

Park Treatment

The park playground and activity node areas shall contain irrigated turf areas for field recreation and structured activity uses. Remaining areas shall be landscaped with shrub beds that contain native/drought resistant species. Large shade/canopy trees will be located around areas of congregation to provide shade and structure to the spaces.

Detention Pond Treatment

Native seed mix with species appropriate for more moist conditions shall be utilized within detention and water channel areas. No irrigated turf lawn shall be permitted within these areas. Shrubs and trees along the edges shall be utilized at source points to filter and clean run off water. Forbays shall be created to contain sediment and create easy maintenance of these structures.

IRRIGATION

The site will utilize irrigation through the native seed open areas for a three(3) year establishment period, depending on significant droughts. All native seed areas will have irrigation with the exception of the bottoms of the detention ponds. All trees in within native seed areas will be on a separate drip zone. Turf areas along collector street tree lawns and in park areas will have spray/rotor irrigation. All formal shrub beds within the parks will be provided with drip irrigation. Single-family lots will provide permanent irrigation for both front and rear yards.

SETBACKS

Front Yard 15' Habitable Living Area / 20' to Garage
Side Yard 5' to interior lot line / 15' to R.O.W.
Rear Yard 15'

SETBACK ENCROACHMENTS

Porches may extend into setback area up to 3'
Window wells may extend into setback area up to 3'
Roof overhangs may extend into setback area up to 3'

MAXIMUM BUILDING HEIGHT

The maximum building height is 35 feet (midpoint of highest ridge and eave).

PORCHES

Minimum porch depth to be 6'
Minimum porch area to be 48 SF

FENCING

Fencing shall be located as per Fence Type Location Diagram. Three fencing types shall be provided as per details. Side yard Fencing shall terminate a minimum of 5' behind front elevation of house.

SIGNAGE

A monument sign identifying the final development name shall be located at all four major development entrances. Materials and character of signage shall reflect the overall theme and character of the development. All lighting shall meet Town of Johnstown standards.

STORAGE

Boats, campers, and trailer vehicles shall only be permitted to be stored within completely closed structures or within areas specifically designated for such storage, provided such areas are behind building setback lines.

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DESIGN GUIDELINES

Sheet

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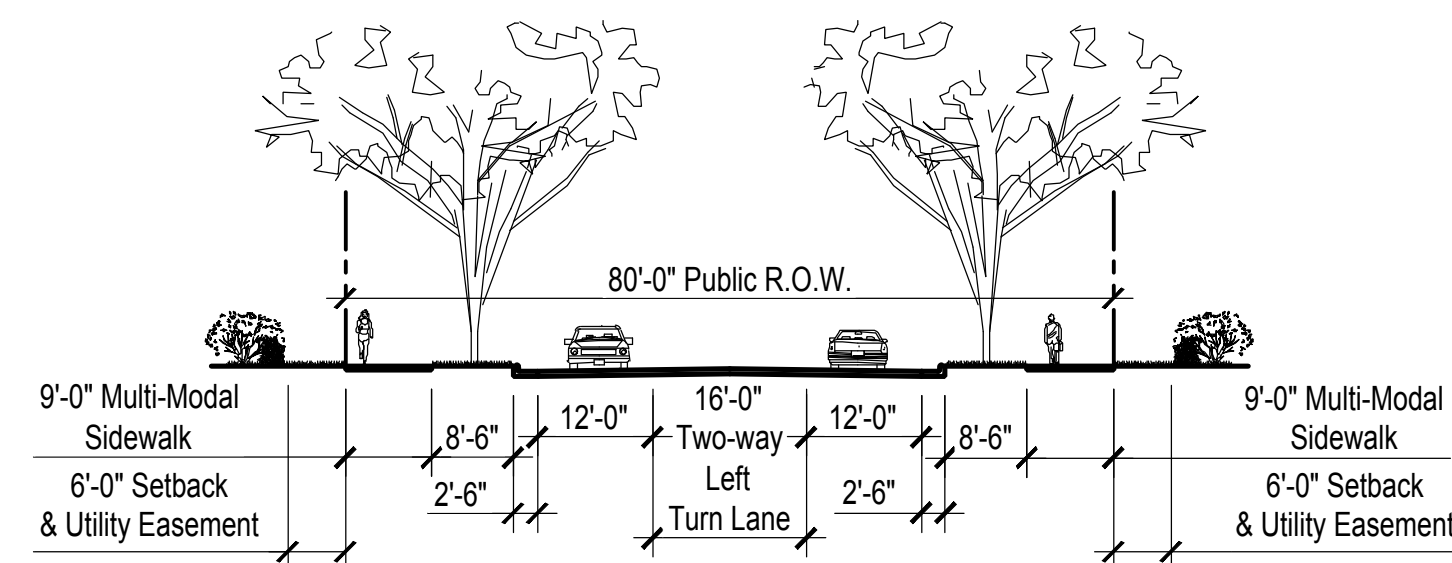
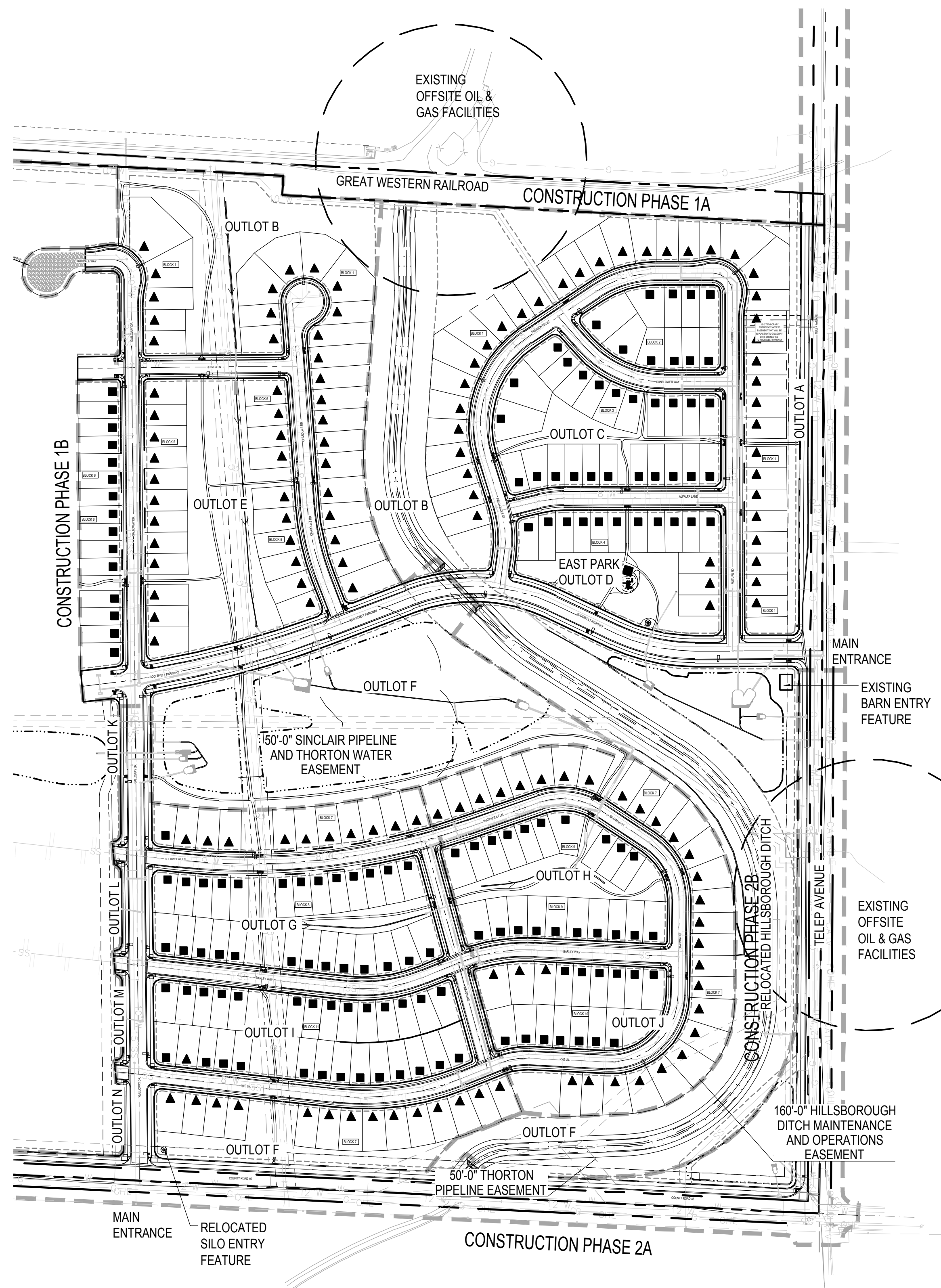
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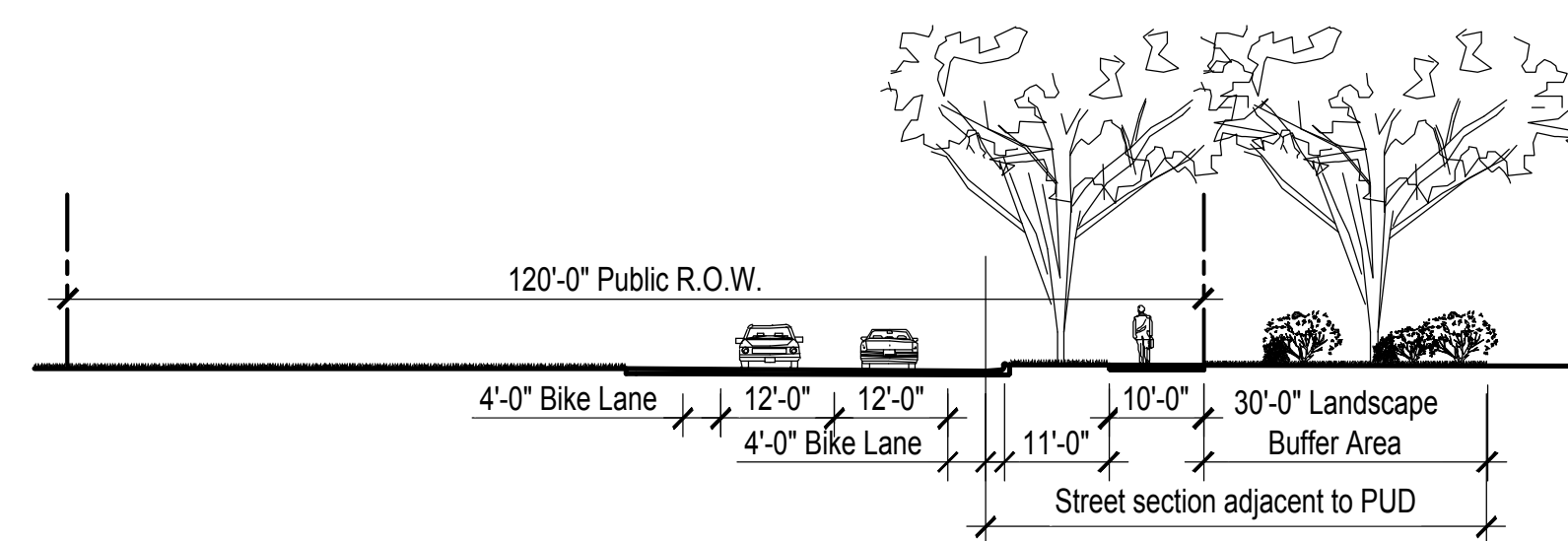
LOT AND STREET
TYPICALS

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LS100

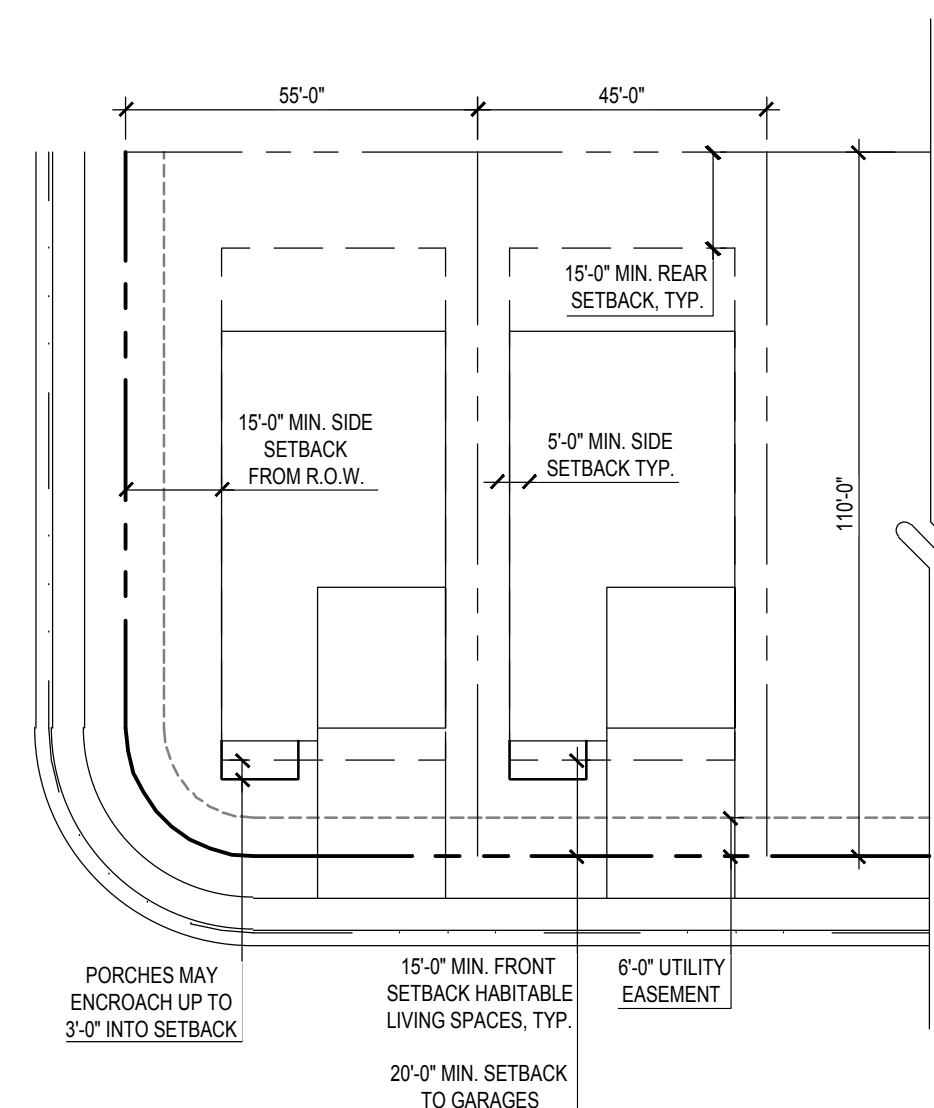


Modified Major Residential Collector



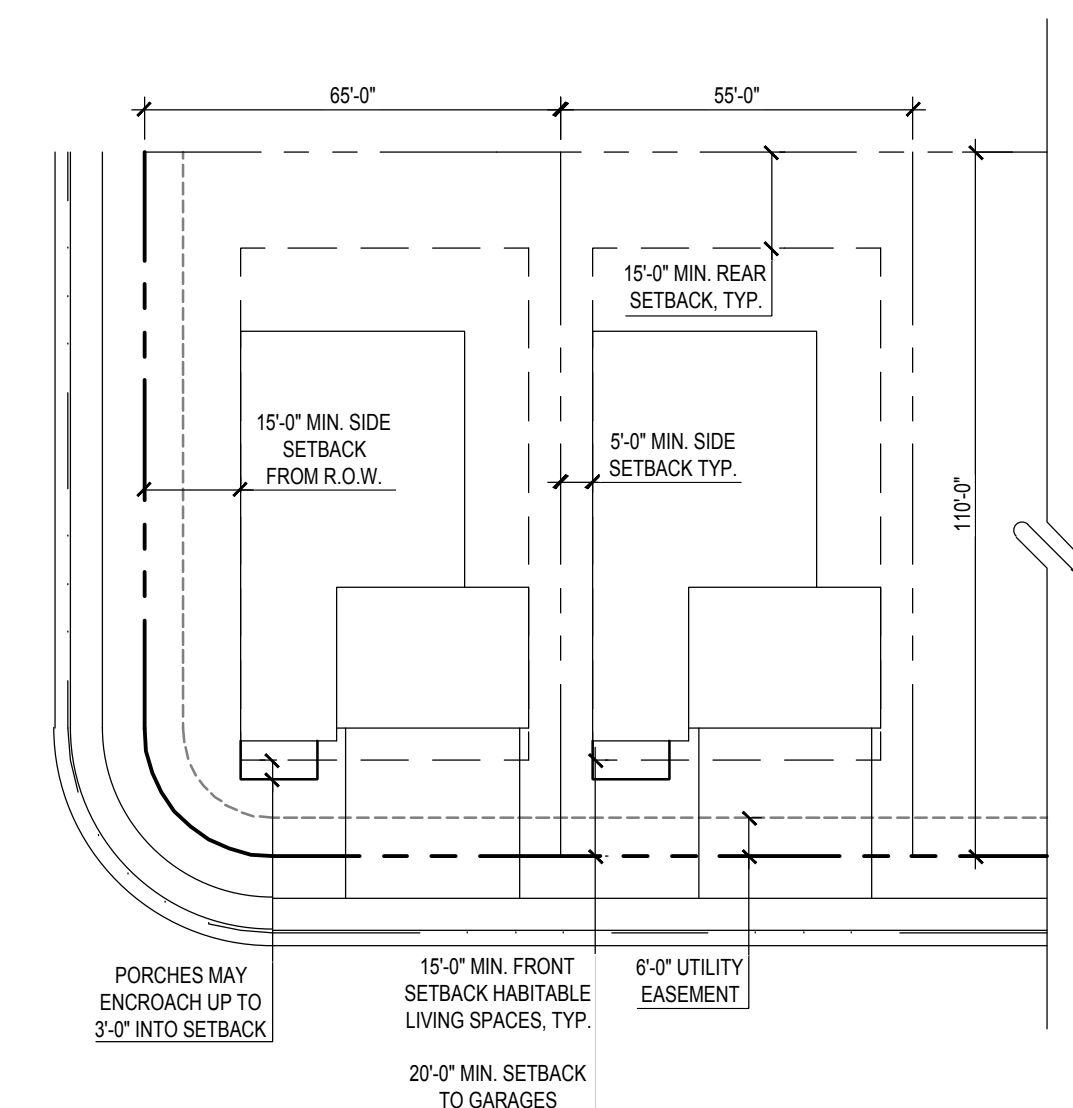
Major Arterial - Interim

- Notes:
1. Left and right turn lanes at intersection and accesses as required per Traffic Impact Study.
 2. On-street bike lanes.
 3. Utilities should be located under the road or sidewalk, where possible.
 4. Ultimate Major Arterial Road cross section will be built as determined by Traffic Impact Study and Town of Johnstown.



45' Single-Family Detached Lot Layout

- Notes:
1. Refer to Plat for final utility locations.
 2. 45' width lots will not have basements.
 3. 45' lots will have two car garage option only.



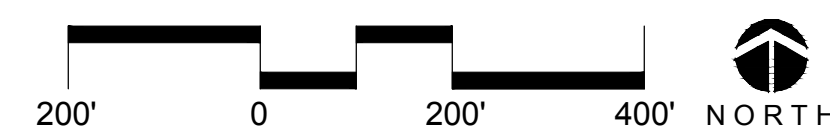
55' Single-Family Detached Lot Layout

- Notes:
1. Refer to Plat for final utility locations.
 2. 55' width lots will have basement option.
 3. 55' lots will have two or three car garage option.

HOUSING TYPE PLAN

LOT TYPE PLAN LEGEND:

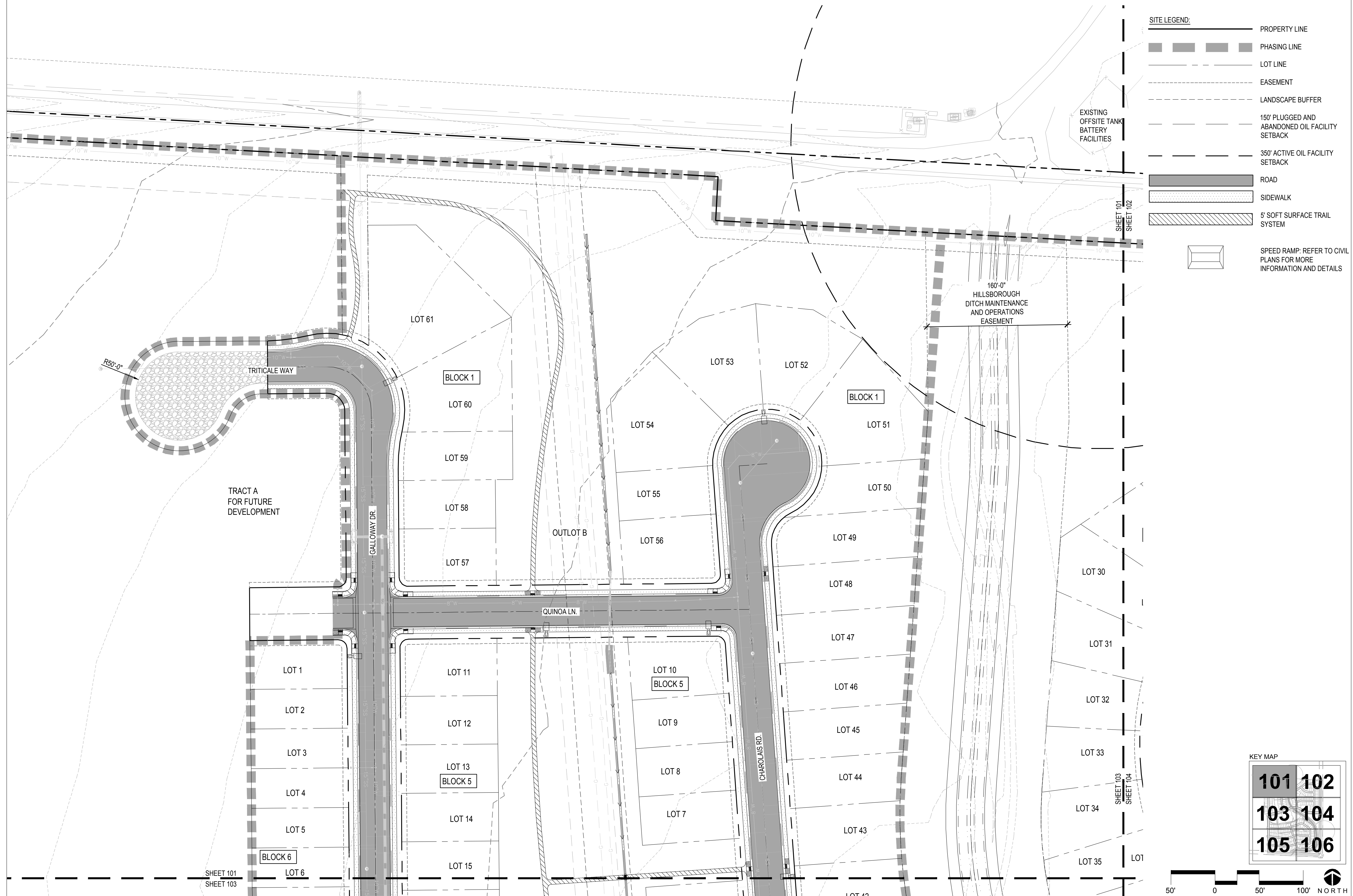
- 45' SINGLE-FAMILY DETACHED LOT
- ▲ 55' SINGLE-FAMILY DETACHED LOT
- PHASING LINE



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SITE PLAN

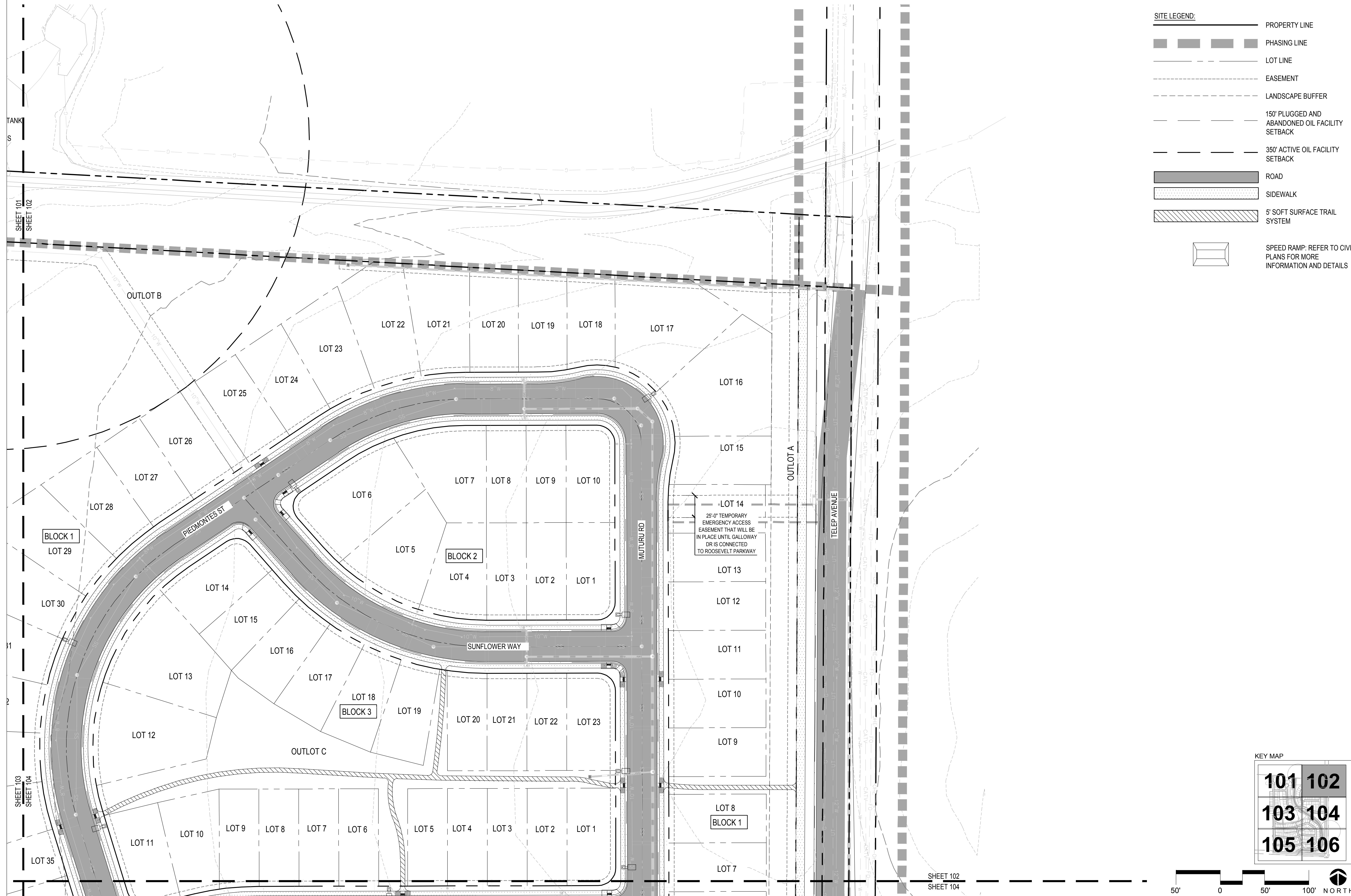
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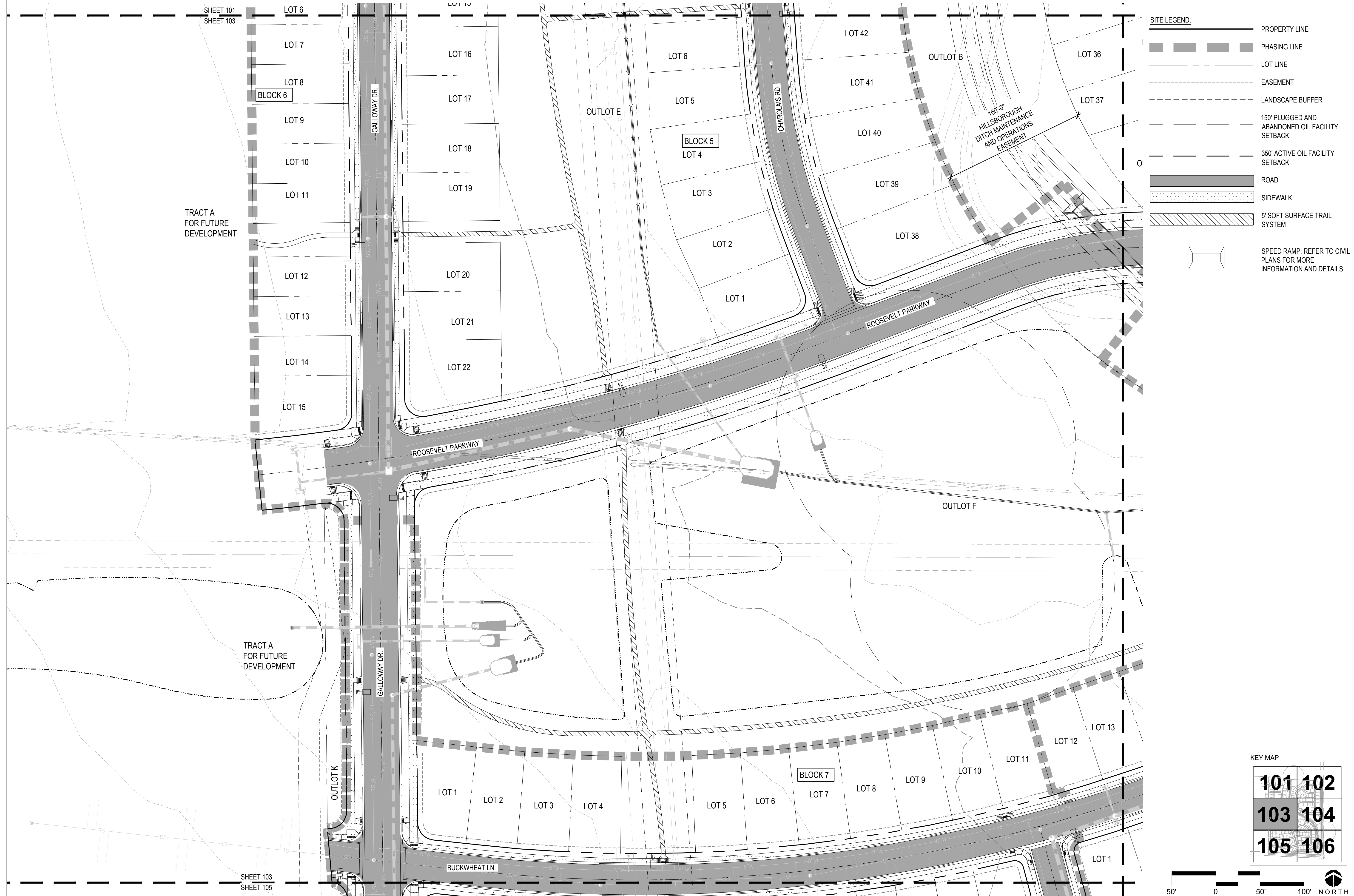
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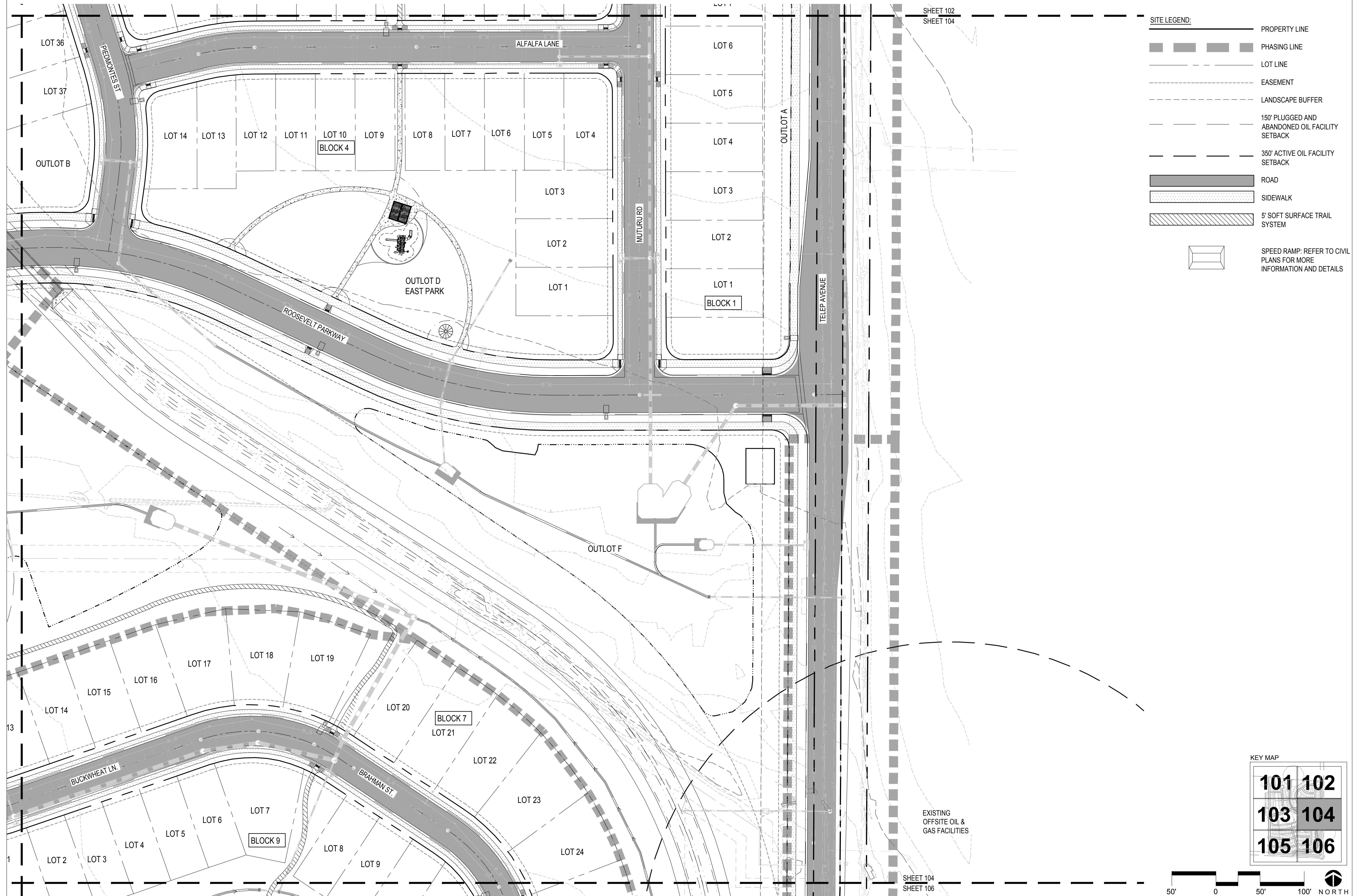
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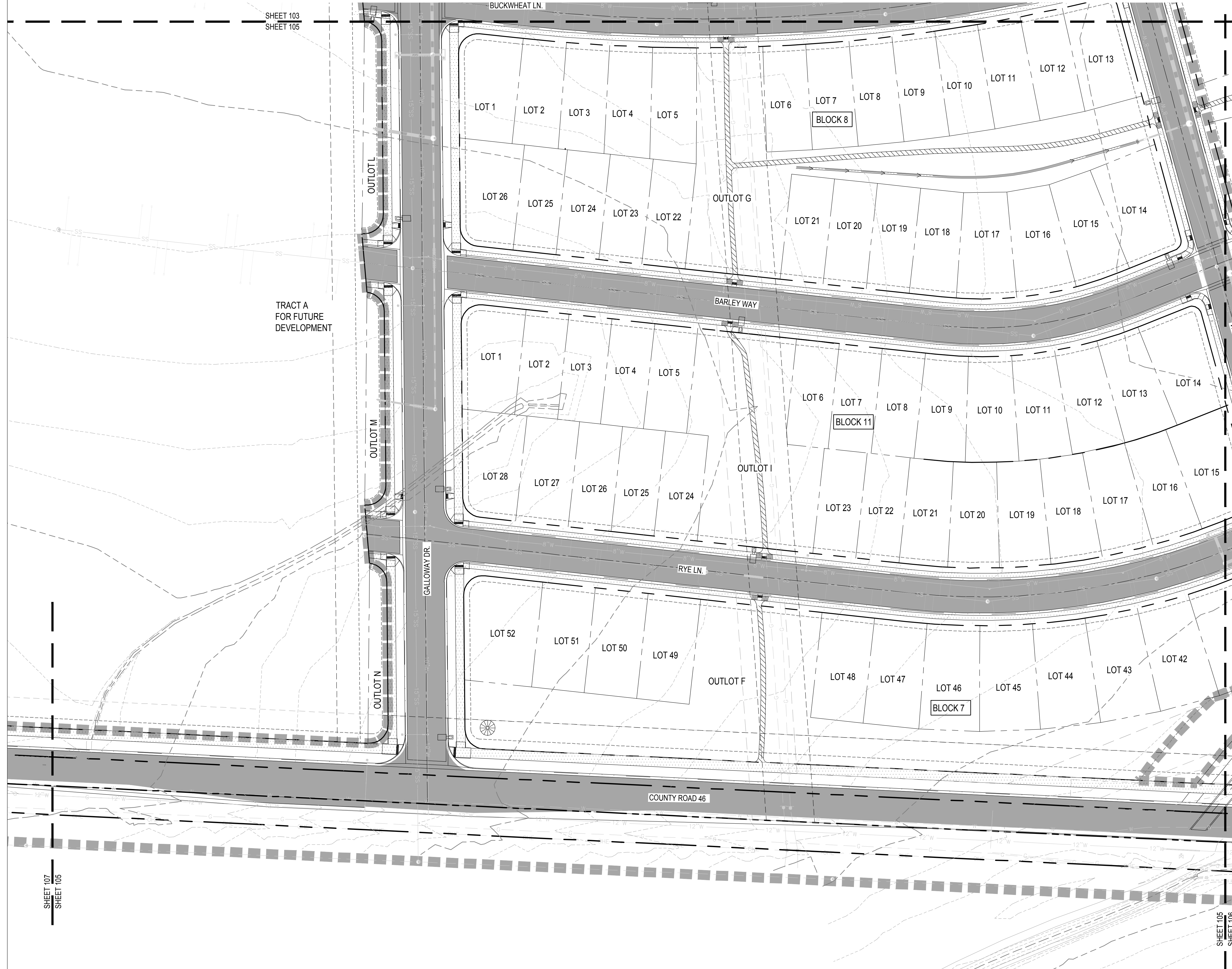
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SITE LEGEND:

- PROPERTY LINE
- PHASING LINE
- LOT LINE
- EASEMENT
- LANDSCAPE BUFFER
- 150' PLUGGED AND ABANDONED OIL FACILITY SETBACK
- 350' ACTIVE OIL FACILITY SETBACK
- ROAD
- SIDEWALK
- 5' SOFT SURFACE TRAIL SYSTEM
- SPEED RAMP: REFER TO CIVIL PLANS FOR MORE INFORMATION AND DETAILS

THE GRANARY
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HARTFORD HOMES

russell mills

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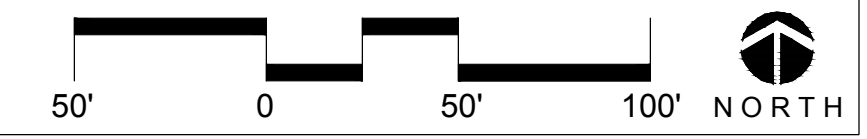
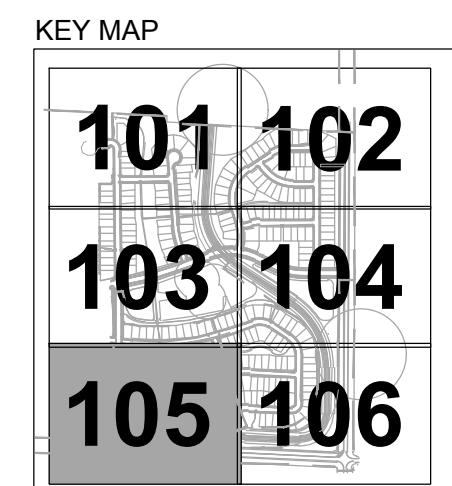
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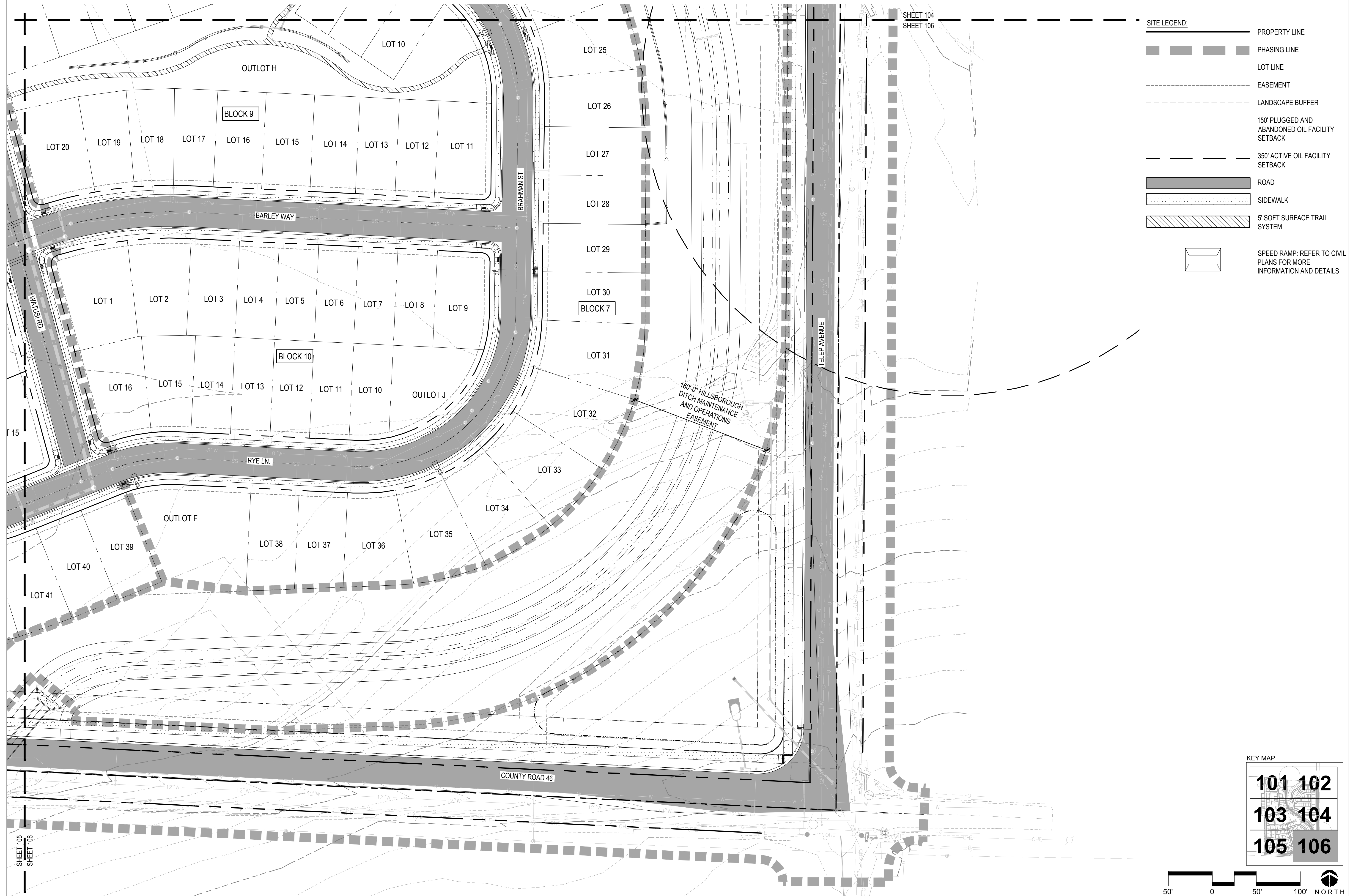
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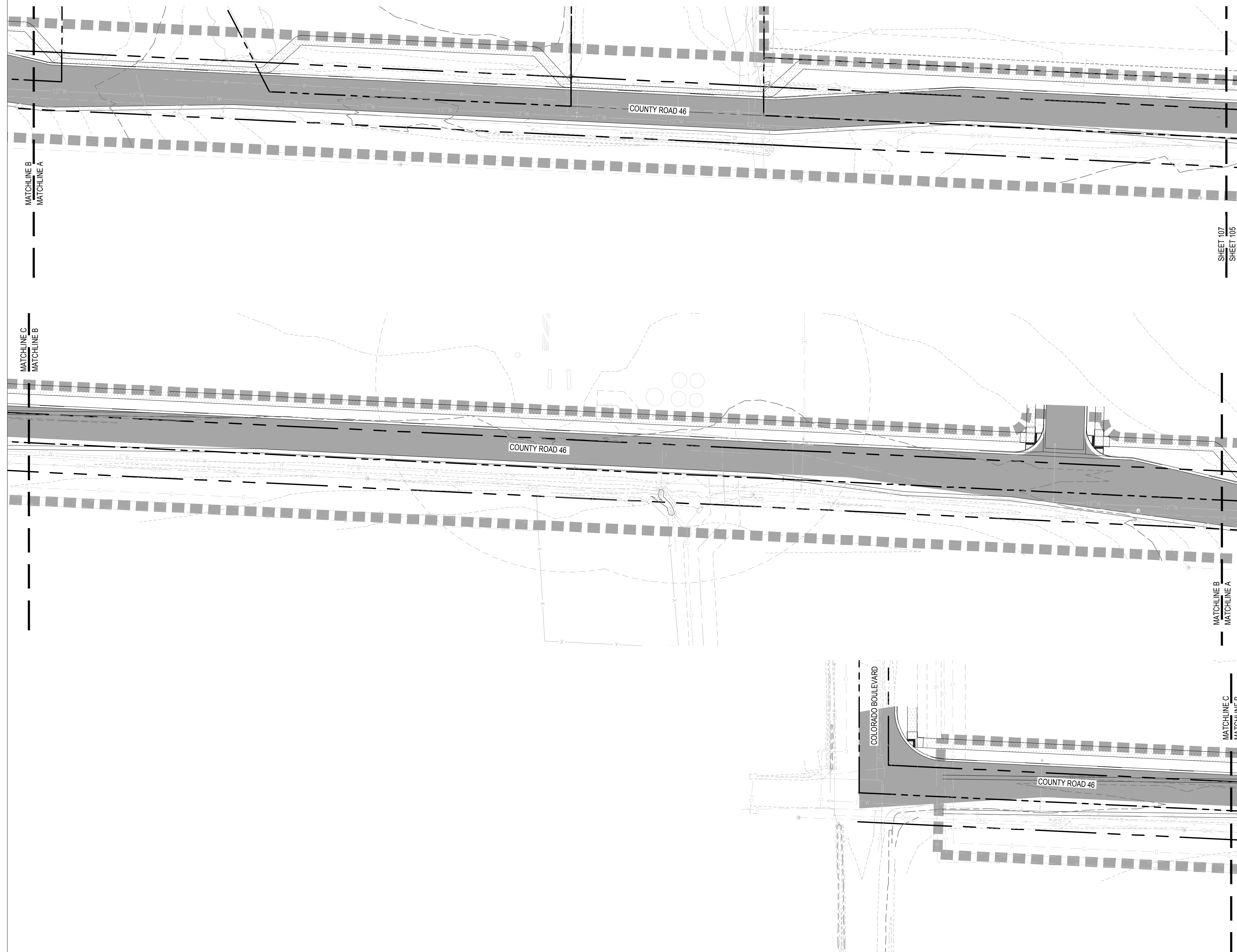
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SITE LEGEND:

	PROPERTY LINE
	PHASING LINE
	LOT LINE
	EASEMENT
	LANDSCAPE BUFFER
	150' PLUGGED AND ABANDONED OIL FACILITY SETBACK
	350' ACTIVE OIL FACILITY SETBACK
	ROAD
	SIDEWALK
	5' SOFT SURFACE TRAIL SYSTEM
	SPEED RAMP: REFER TO CIVIL PLANS FOR MORE INFORMATION AND DETAILS

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HARTFORD HOMES

russell+mills

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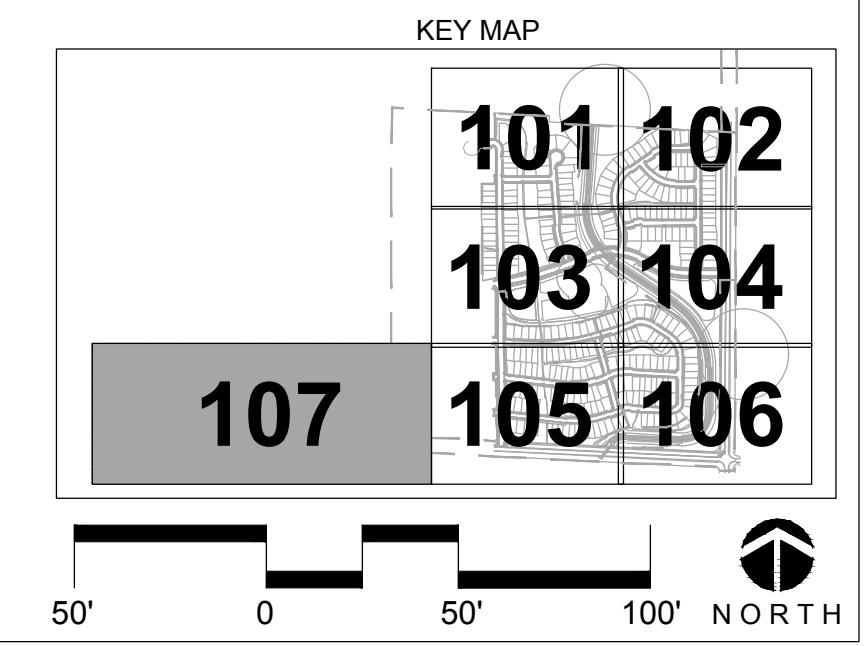
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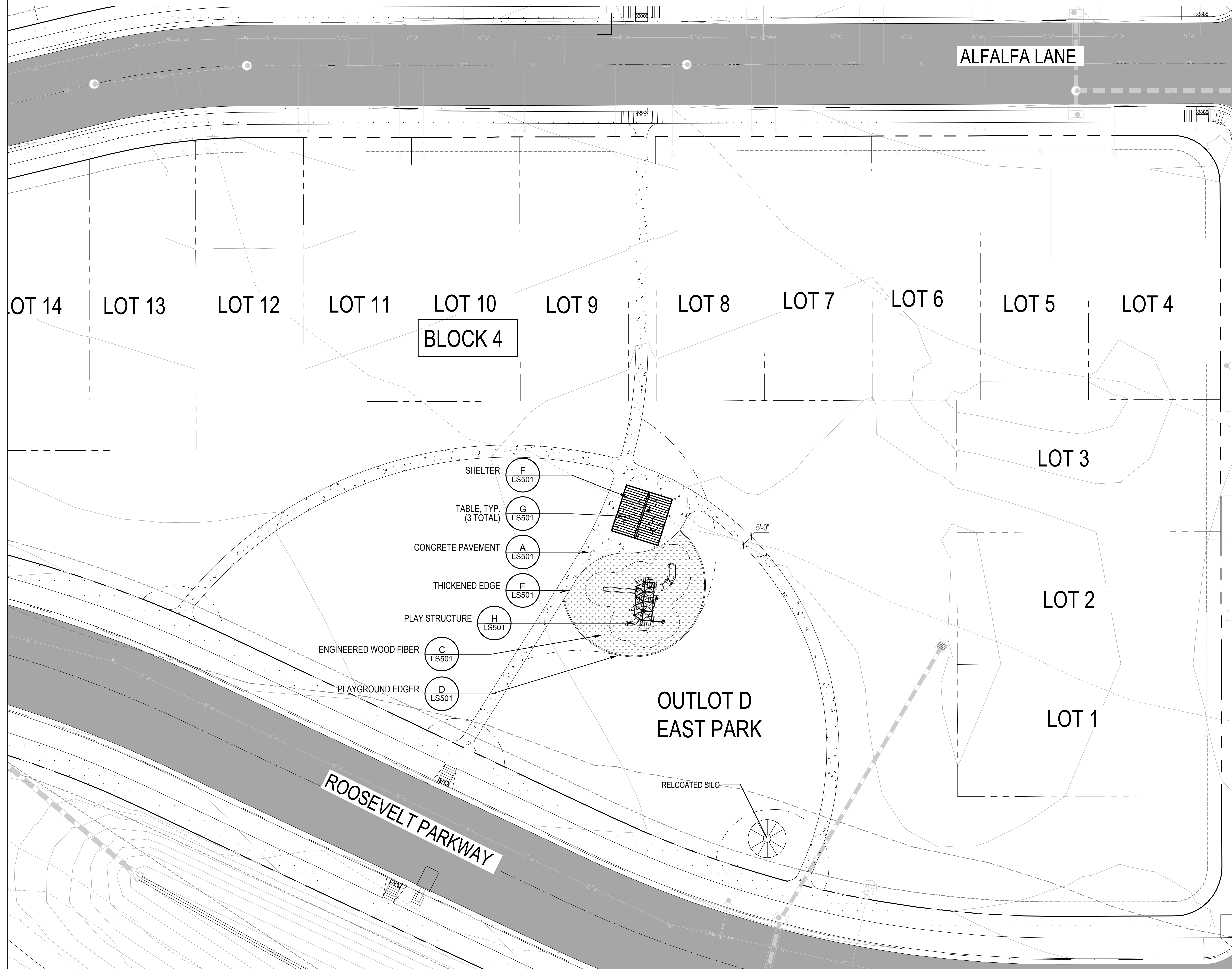
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SITE LEGEND:

	PROPERTY LINE
	PHASING LINE
	LOT LINE
	EASEMENT
	LANDSCAPE BUFFER
	CONCRETE PLAYGROUND EDGER
	ENGINEERED WOOD FIBER
	CONCRETE PAVEMENT
	TABLE
	BENCH

THE GRANARY
Johnstown, Colorado

HARTFORD HOMES

russell mills

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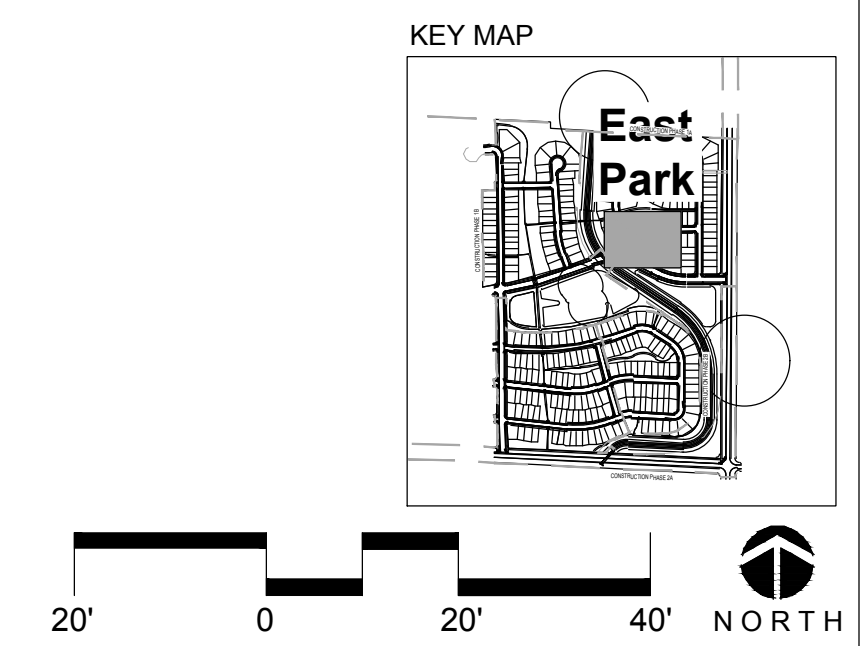
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SITE ENLARGEMENT
PLAN - EAST PARK

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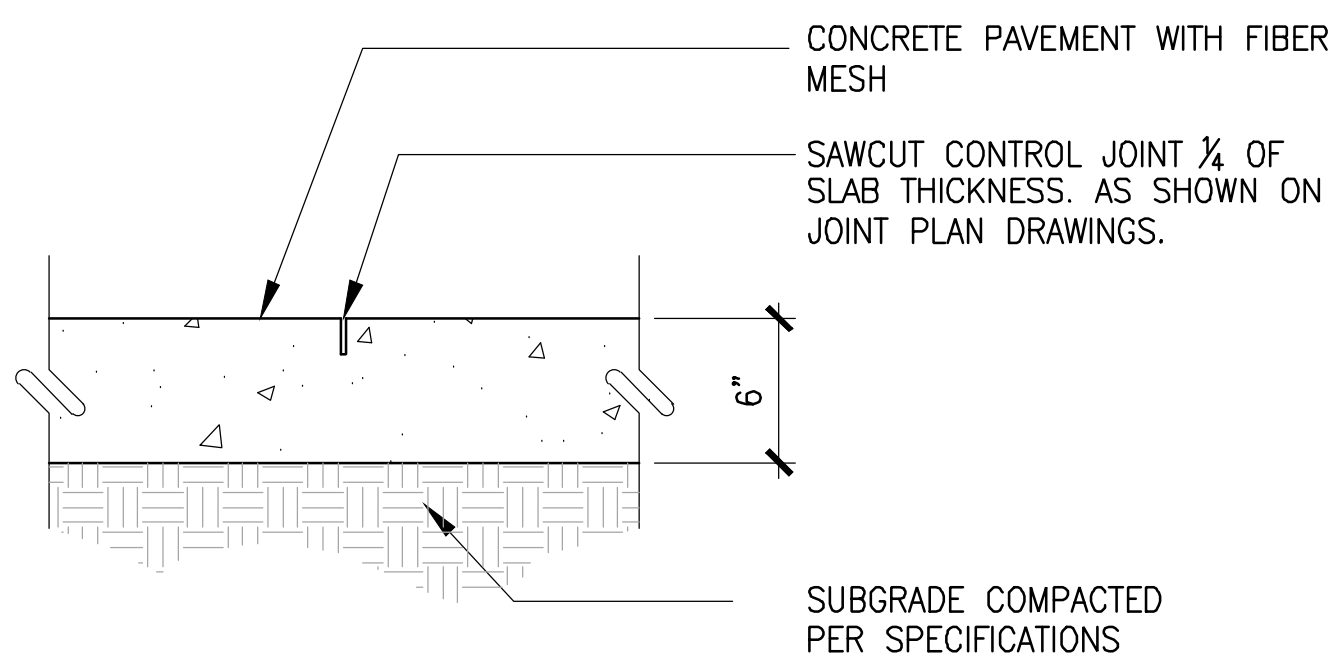
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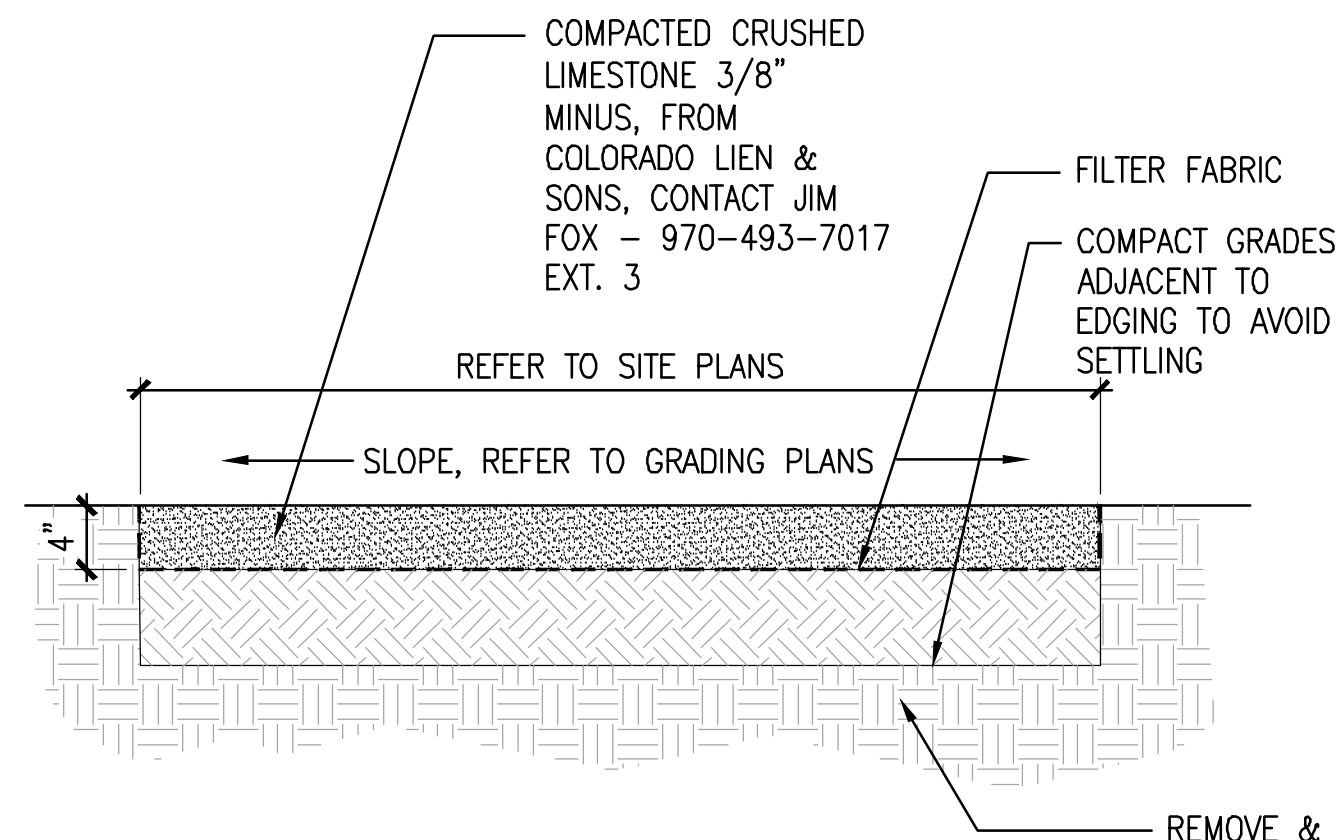
FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

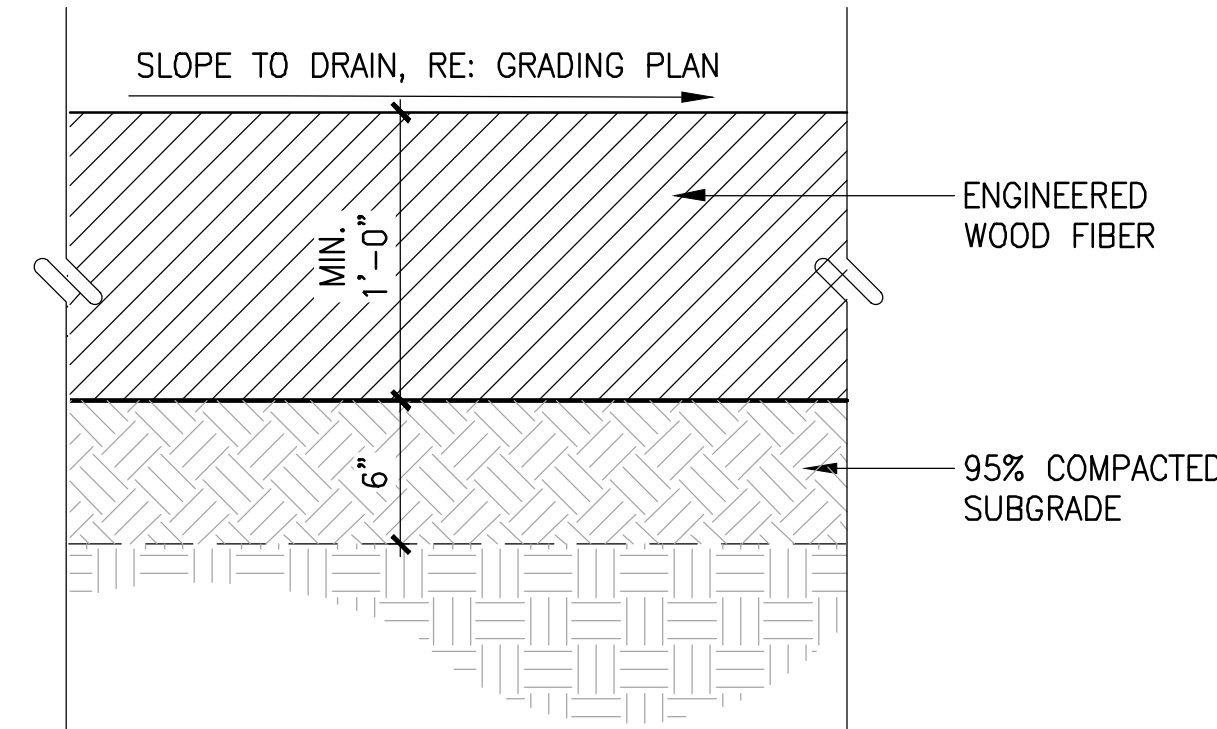


- NOTES:
1. EXPANSION JOINTS PLACED PER JOINT PLAN, BUT NO LESS THAN 100' O.C.
2. CONTROL JOINT PLACED PER JOINT PLAN, MAXIMUM SPACING 10'.
3. CONCRETE TO HAVE FINE BROOM FINISH PERPENDICULAR TO CENTERLINE OF PAVING.
4. FINISHED GRADE OF LANDSCAPE AREA TO BE 1" BELOW FINISH GRADE OF CONCRETE (TYPICAL BOTH SIDES).

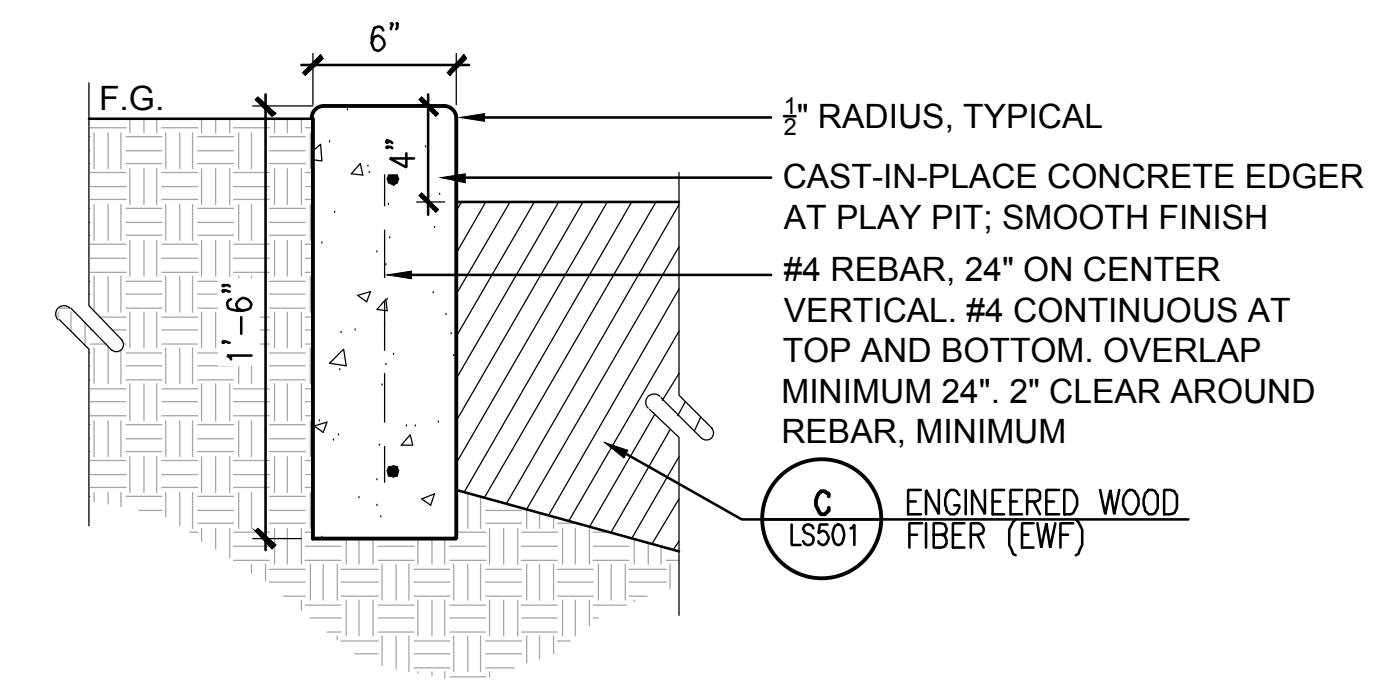
A CONCRETE PAVEMENT
SCALE: N.T.S. DT-PVMT-CONC



B SOFT SURFACE TRAIL
SCALE: 1"=1'-0" DT-PVMT-CRSH-LIME-STON

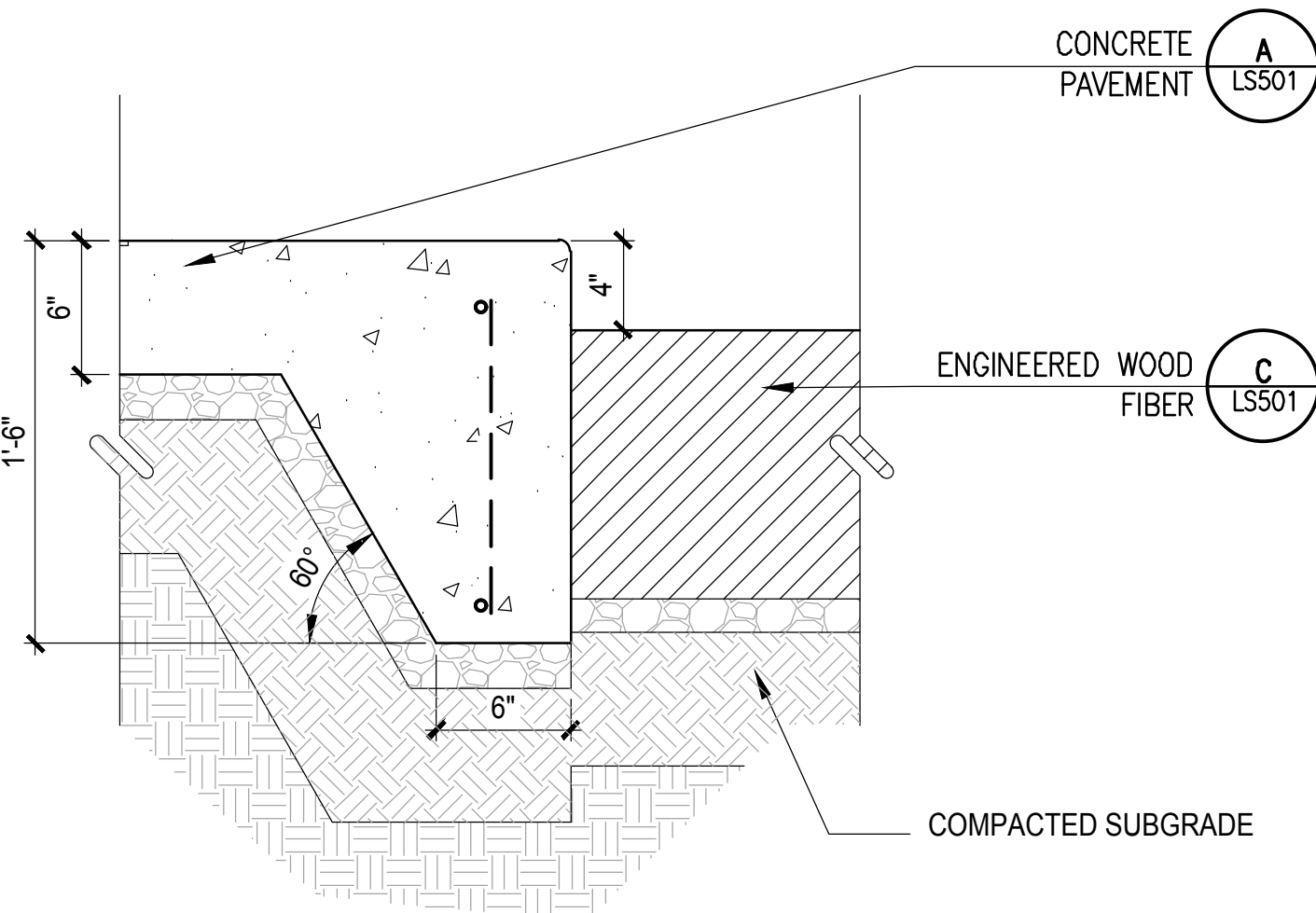


C ENGINEERED WOOD FIBER
SCALE: 1 1/2" = 1'-0" DT-PVMT-ENG-WOOD-FIBER

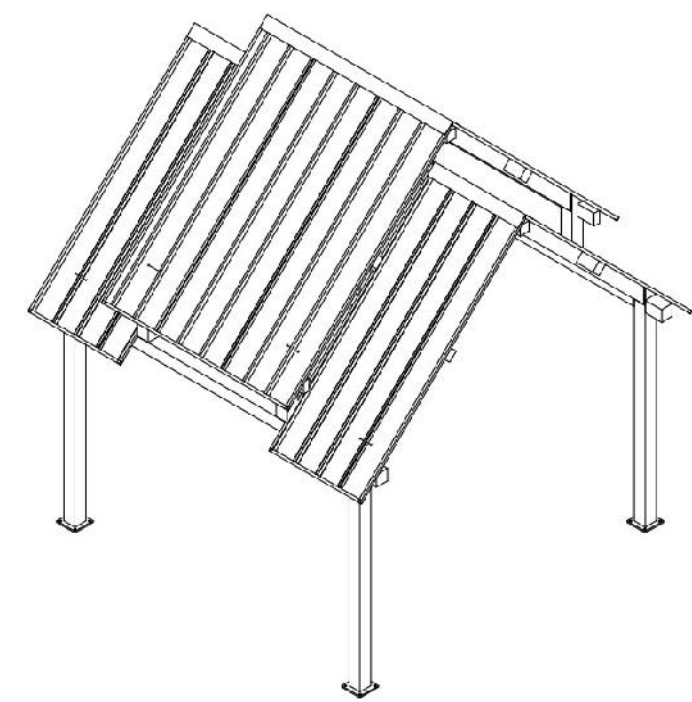


- NOTES:
JOINT SPACING AT EDGER:
1. SAW CUT CONTROL JOINTS EQUALLY SPACED AT 8' MINIMUM, 10' MAXIMUM AND CONTINUE DOWN ENTIRE FACE OF EDGER
2. EXPANSION JOINTS EQUALLY SPACED AT 80' MINIMUM, 100' MAXIMUM
3. REFER TO SPECIFICATIONS FOR ALL MATERIALS CALLED OUT IN DETAIL

D PLAYGROUND EDGER
SCALE: 1 1/2" = 1'-0" DT-CURB-PLAY



E THICKENED EDGE
SCALE: 1 1/2" = 1'-0" DT-PVMT-CONC-THICK-EDGE



COMPANY: ICON
MODEL: GP20M-P12
SIZE: 20' X 20'
MOUNT: EMBED
ROOF TYPE: STANDING SEAM
ROOF COLOR: TBD
FRAME COLOR: TBD
FRAME FINISH: POWDER COAT
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

F SHELTER
SCALE: N.T.S. DT-FURN-SHEL



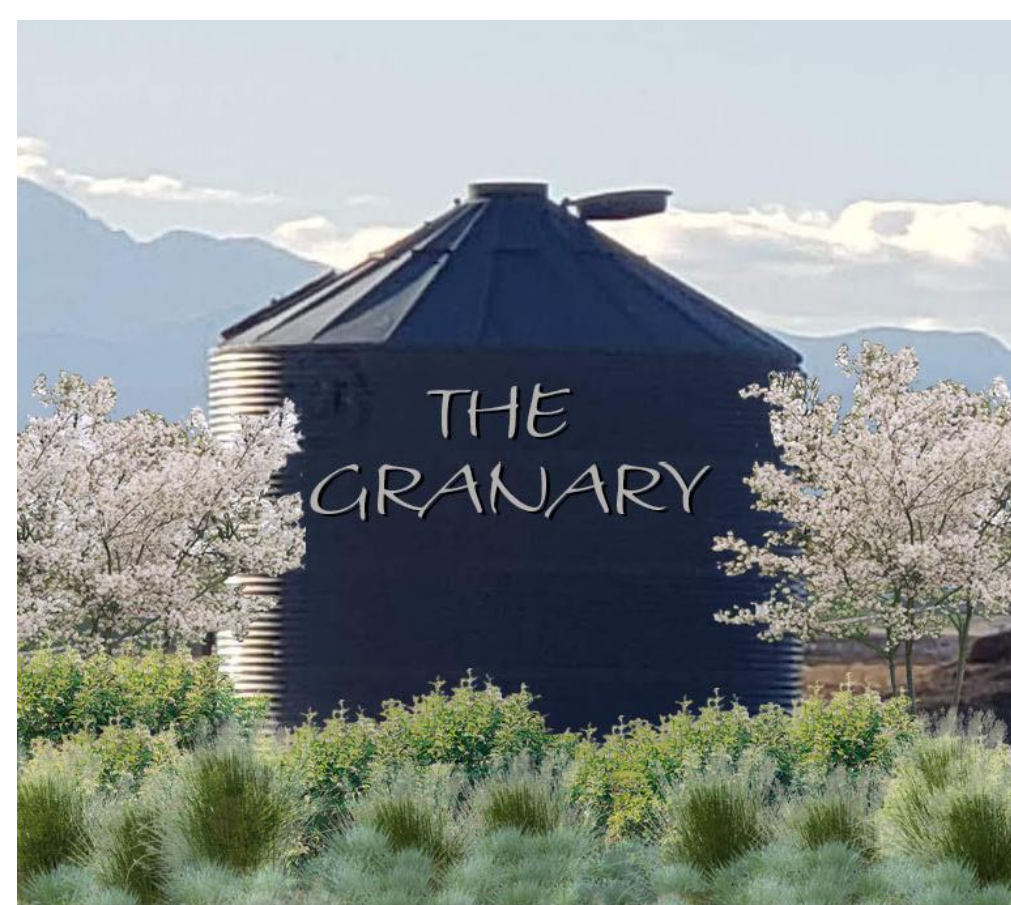
COMPANY: MAGLIN
MODEL: 1100 CLUSTER SEATING, BACKLESS SEATS
MOUNT: SURFACE
MATERIAL: METAL
COLOR: TITANIUM
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

G TABLE
SCALE: N.T.S. DT-FURN-TABL



COMPANY: LITTLE TYKES COMMERCIAL (CUSTOM PIECE)
AGE RANGE: EQUIPMENT FOR 5-12 YEAR OLD
COLOR: TO BE DETERMINED
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

H PLAY STRUCTURE
SCALE: N.T.S. DT-FURN-PLAY-STRUC-EAST



- NOTES:
1. SILOS TO BE INSPECTED AND MADE STRUCTURALLY SOUND.
2. NO ACCESS INTO THE INTERIOR OF THE SILOS SHALL BE PERMITTED.

I SILO ENTRY SIGN
SCALE: N.T.S. DT-FURN-SIGN-ENTR-1-3



POWDERCOATED STEEL LETTERS
FONT: ALHAMBRA
HEIGHT: 24"
BACK LIGHT LETTERS

- NOTES:
1. BARN TO BE INSPECTED AND MADE STRUCTURALLY SOUND.
2. NO ACCESS INTO THE INTERIOR OF THE BARN SHALL BE PERMITTED.

J TELEP AVENUE ENTRANCE BARN
SCALE: N.T.S. DT-FURN-SIGN-ENTR-4

THE GRANARY
Johnstown, Colorado



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REV.	COMMENT	DATE

FDP
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and
FILING TWO

Date: 02.07.2022

Drawn By: SL

Checked By: CR

Sheet Name
SITE DETAILS

Sheet

LS501

THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

THE GRANARY
Johnstown, Colorado

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
DECIDUOUS TREES						
23		CATALPA SPECIOSA	NORTHERN CATALPA	2" CAL./B&B	50-60'	30-40'
16		CELTIS OCCIDENTALIS	HACKBERRY	2" CAL./B&B	40-60'	40-60'
7		GINKGO BILOBA	GINKGO	2" CAL./B&B	25-50'	25-35'
24		GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	2" CAL./B&B	40-50'	35-45'
33		GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL./B&B	50-60'	30-35'
11		POPULUS ANGUSTIFOLIA	NARROWLEAF COTTONWOOD	2" CAL./B&B	50'	20-30'
22		POPULUS SARGENTII	PLAINS COTTONWOOD	2" CAL./B&B		
28		QUERCUS SHUMARDII	SHUMARD OAK	2" CAL./B&B	40-60'	40-60'
25		QUERCUS MACROCARPA	BUR OAK	2" CAL./B&B	50-60'	35-45'
13		QUERCUS MUEHLENBERGII	CHINKAPIN OAK	2" CAL./B&B	40-50'	40-50'
8		TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2" CAL./B&B	40-60'	25-30'
12		ULMUS 'ACCOLADE'	ACCOLADE ELM	2" CAL./B&B	65-75'	60-70'
20		ULMUS DAVIDIANA VAR. JAPONICA 'DISCOVERY'	DISCOVERY ELM	2" CAL./B&B	30-40'	30-40'
42		ULMUS 'MORTON SELECT'	MORTON SELECT ELM	2" CAL./B&B		
ORNAMENTAL TREES						
15		ACER GRANDIDENTATUM 'ROCKY MOUNTAIN GLOW'	ROCKY MOUNTAIN BIGTOOTH GLOW MAPLE	1.5" CAL.	20-25'	12-15'
12		ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	1.5" CAL.	15-20'	12-15'
2		CRATAEGUS CRUSGALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	1.5" CAL.	15-20'	15-20'
23		MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL.	20-25'	20'

QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD																											
EVERGREEN TREES																																	
32		PICEA PUNGENS	COLORADO BLUE SPRUCE	6' HT.	80-100'	25-30'																											
34		PINUS EDULIS	PINYON PINE	6' HT.	12-20'	12-15'																											
22		PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S LIMBER PINE	6' HT.	20-25'	10-15'																											
42		PINUS NIGRA	AUSTRIAN PINE	6' HT.	50-60'	20-40'																											
DECIDUOUS SHRUBS																																	
65		CHRYSOTHAMNUS NAUSEOSUS 'GRAVEOLENS'	TALL GREEN RABBITBRUSH	5 GAL.	4-6'	6'																											
122		CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	5 GAL.	3-4'	3-4'																											
7		PHYSCARPUS MONOGYNUS	MOUNTAIN NINEBARK	5 GAL.	3-4'	3-4'																											
14		RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL.	2-3'	6-8'																											
46		RHUS TRILOBATA	AUTUMN AMBER SUMAC	5 GAL.	10-14"	6-8'																											
35		SAMBUCUS PUBENS	RED FRUITED ELDERBERRY	5 GAL.	10-15'	6-8'																											
28		VIBURNUM LENTAGO	NANNYBERRY	5 GAL.	12-16'	8-12'																											
ORNAMENTAL GRASSES																																	
29		BOUTELOUA GRACILIS 'BLOND AMBITION'	BLOND AMBITION BLUE GRAMA	1 GAL.	20-24"	20-24"																											
31		CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	1 GAL.	3-4'	3'																											
71		HESPEROSTIPA NEOMEXICANA	NEW MEXICO FEATHERGRASS	1 GAL.	2-3'	2-3'																											
56		NASSELLA TENUISSIMA	MEXICAN FEATHERGRASS	1 GAL.	18-24"	18-24"																											
DETENTION BASIN SEED MIX (Drill rate: 6-7 lbs / 1,000 SF)																																	
<table border="1"> <thead> <tr> <th>COMMON NAME</th> <th>SCIENTIFIC NAME</th> <th>Percentage</th> </tr> </thead> <tbody> <tr> <td>Western wheatgrass</td> <td>Pascopyrum smithii</td> <td>51.93%</td> </tr> <tr> <td>Smooth brome</td> <td>Bromus inermis</td> <td>38.79%</td> </tr> <tr> <td>Alkaligrass</td> <td>Puccinellia</td> <td>4.69%</td> </tr> </tbody> </table>			COMMON NAME	SCIENTIFIC NAME	Percentage	Western wheatgrass	Pascopyrum smithii	51.93%	Smooth brome	Bromus inermis	38.79%	Alkaligrass	Puccinellia	4.69%	<table border="1"> <thead> <tr> <th>COMMON NAME</th> <th>SCIENTIFIC NAME</th> <th>Percentage</th> </tr> </thead> <tbody> <tr> <td>Ephraim Crested Wheatgrass</td> <td>Agropyron cristatum</td> <td>30%</td> </tr> <tr> <td>Perennial Ryegrass</td> <td>Lolium perenne</td> <td>25%</td> </tr> <tr> <td>Sheep Fescue</td> <td>Festuca ovina</td> <td>15%</td> </tr> <tr> <td>Upland Bluegrass. Drayler</td> <td>Poa pratensis</td> <td>15%</td> </tr> </tbody> </table>				COMMON NAME	SCIENTIFIC NAME	Percentage	Ephraim Crested Wheatgrass	Agropyron cristatum	30%	Perennial Ryegrass	Lolium perenne	25%	Sheep Fescue	Festuca ovina	15%	Upland Bluegrass. Drayler	Poa pratensis	15%
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LANDSCAPE STANDARDS

THE DESIGN INTENT FOR THE GRANARY PUD IS TO CREATE A PLANNED COMMUNITY THAT CELEBRATES THE SURROUNDING PLAINS ECOSYSTEM. WATER CONSERVATION THROUGH APPROPRIATE LANDSCAPING TECHNIQUES AND PLANT SPECIES SELECTION WILL BE EMPHASIZED FOR THE PROJECT.

SINGLE-FAMILY RESIDENTIAL LOT TREATMENT

INDIVIDUAL LOT LANDSCAPING WILL BE PROVIDED BY EACH HOMEOWNER, OR THE BUILDER AT THE BUILDER'S DISCRETION. DESIGN SHALL BE IN ACCORDANCE WITH THE COVENANTS OF THE COMMUNITY. ONE(1) TREE PER LOT SHALL BE REQUIRED IN THE FRONT YARD, TWO(2) TREES SHALL BE REQUIRED IN THE FRONT YARD OF CORNER LOTS, ONE(1) WITHIN THE FRONT YARD AND ONE(1) IN THE THE SIDE YARD FACING PUBLIC R.O.W. A MINIMUM OF 30% OF EACH SINGLE-FAMILY LOT SHALL CONSIST OF DRIP IRRIGATED SHRUB BEDS WITH LOW TO MEDIUM WATER USE PLANTS.

GENERAL LANDSCAPE NOTES:

- ALL LANDSCAPING AND PLANTS TO BE LOCATED NOT TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN (AMERICAN ASSOCIATION OF NURSERYMEN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- PLANT QUANTITIES SHOWN FOR INFORMATION PURPOSES ONLY, CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT.
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE, IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- SOIL AMENDMENT:**
SOD AREAS - 4 C.Y. PER 1,000 S.F. OF COMPOST TILLED INTO 4" OF EXISTING SOIL. APPLY DIAMONIUM PHOSPHATE (18-46-0) AT ONE HUNDRED (100) POUNDS NITROGEN PER ACRE.
SHRUB AND PLANTING BEDS - 4" OF COMPOST TILLED INTO 6" OF EXISTING SOIL.

ACCEPTABLE PRODUCT: CLASS I COMPOST. COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:

- ORGANIC MATTER: 25% MINIMUM.
- SALT CONTENT: 5.0 MMHOS/CM MAXIMUM
- PH: 7.5 MAXIMUM.
- CARBON TO NITROGEN RATIO OF 10:1 TO 20:1

- SOD TO BE REPLACED OVER ALL TRENCHED IRRIGATION LINES.
- INSTALL 4" OF ORGANIC WOOD MULCH IN EXISTING PLANTING BEDS AND TREE PLANTING PITS THAT HAVE BEEN DISTURBED OR ENLARGED. MULCH TO MATCH EXISTING.
- ALL DAMAGED OR DEAD PLANT MATERIAL TO BE REPLACED WITHIN WARRANTY PERIOD. CONTRACTOR TO PROVIDE WATER THROUGHOUT CONSTRUCTION PERIOD.
- NO TREES OR SHRUBS ARE TO BE PLANTED WITHIN THE HILLSBOROUGH DITCH EASEMENT.
- ALL PLANTINGS, OTHER THAN SOD/NATIVE GRASSES, MUST PROVIDE MINIMUM CLEARANCE OF THREE (3) AROUND ANY FIRE HYDRANT, WHEN PLANTING IS AT FULL MATURITY.
- NO PLANTS (TREES/SHRUBS) OVER 24" IN HEIGHT SHALL BE PLANTED WITHIN SIGHT TRIANGLES.
- NO TREES OR LARGE SHRUBS (OVER 10' MATURE HEIGHT) SHALL BE PLANTED WITHIN 10' (TREES) / 5' (LARGE SHRUBS) OF ANY WATER, STORM OR SANITARY SEWER LINES.



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REV.	COMMENT	DATE

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Drawn By: SL
Checked By: CR

Sheet Name
LANDSCAPE
SCHEDULE AND
NOTES

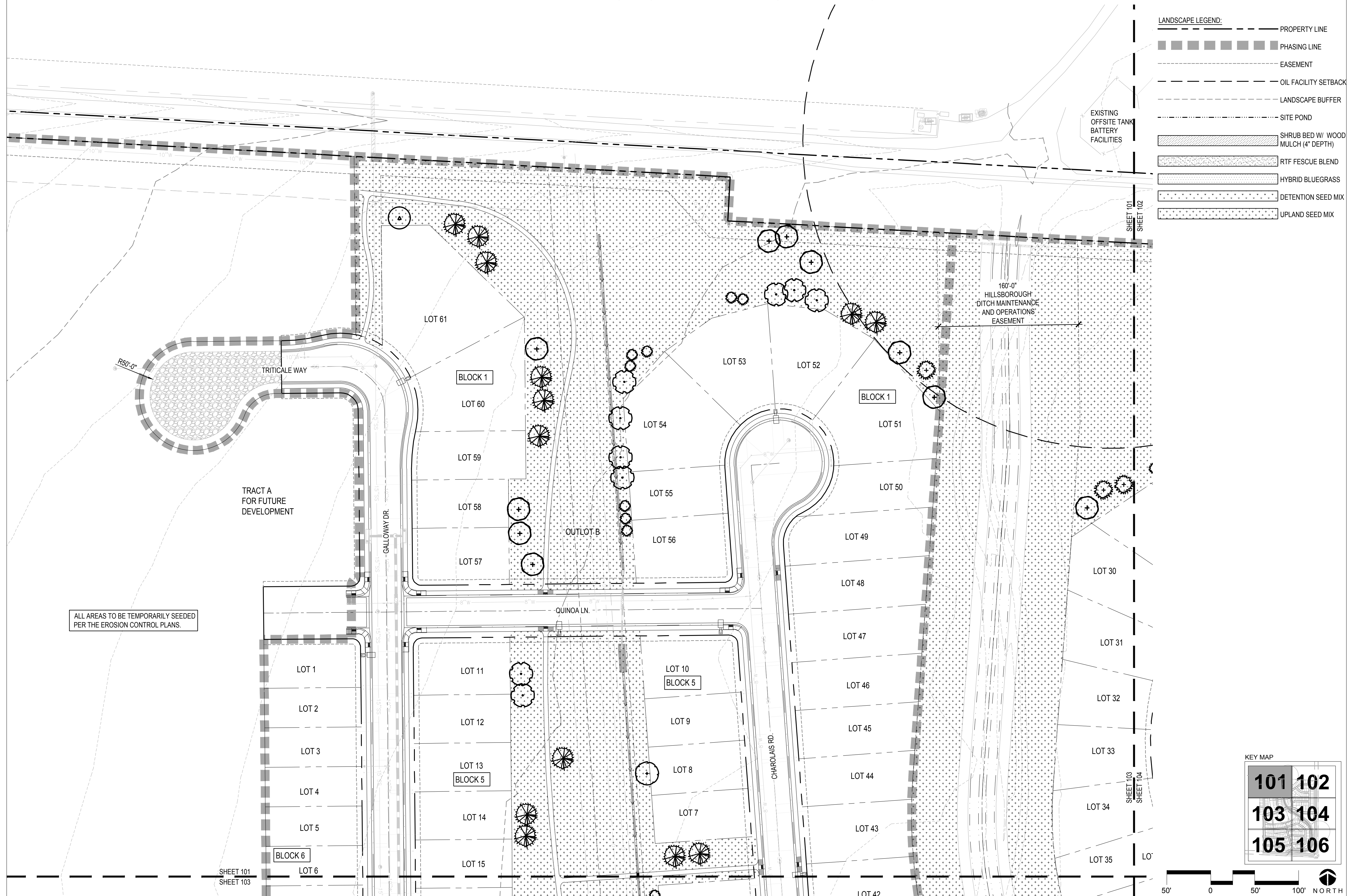
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LP100

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FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



LANDSCAPE LEGEND:

	PROPERTY LINE
	PHASING LINE
	EASEMENT
	OIL FACILITY SETBACK
	LANDSCAPE BUFFER
	SITE POND
	SHRUB BED W/ WOOD MULCH (4" DEPTH)
	RTF FESCUE BLEND
	HYBRID BLUEGRASS
	DETENTION SEED MIX
	UPLAND SEED MIX



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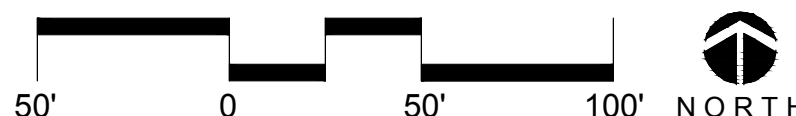
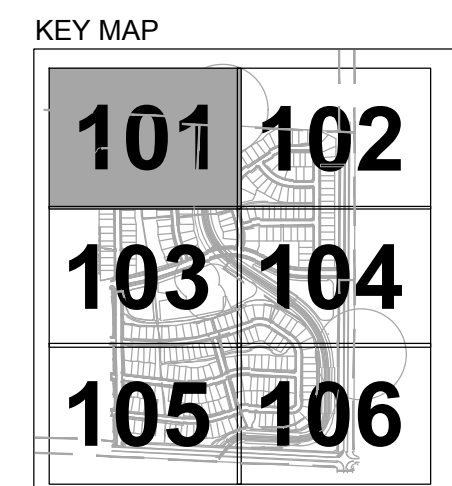
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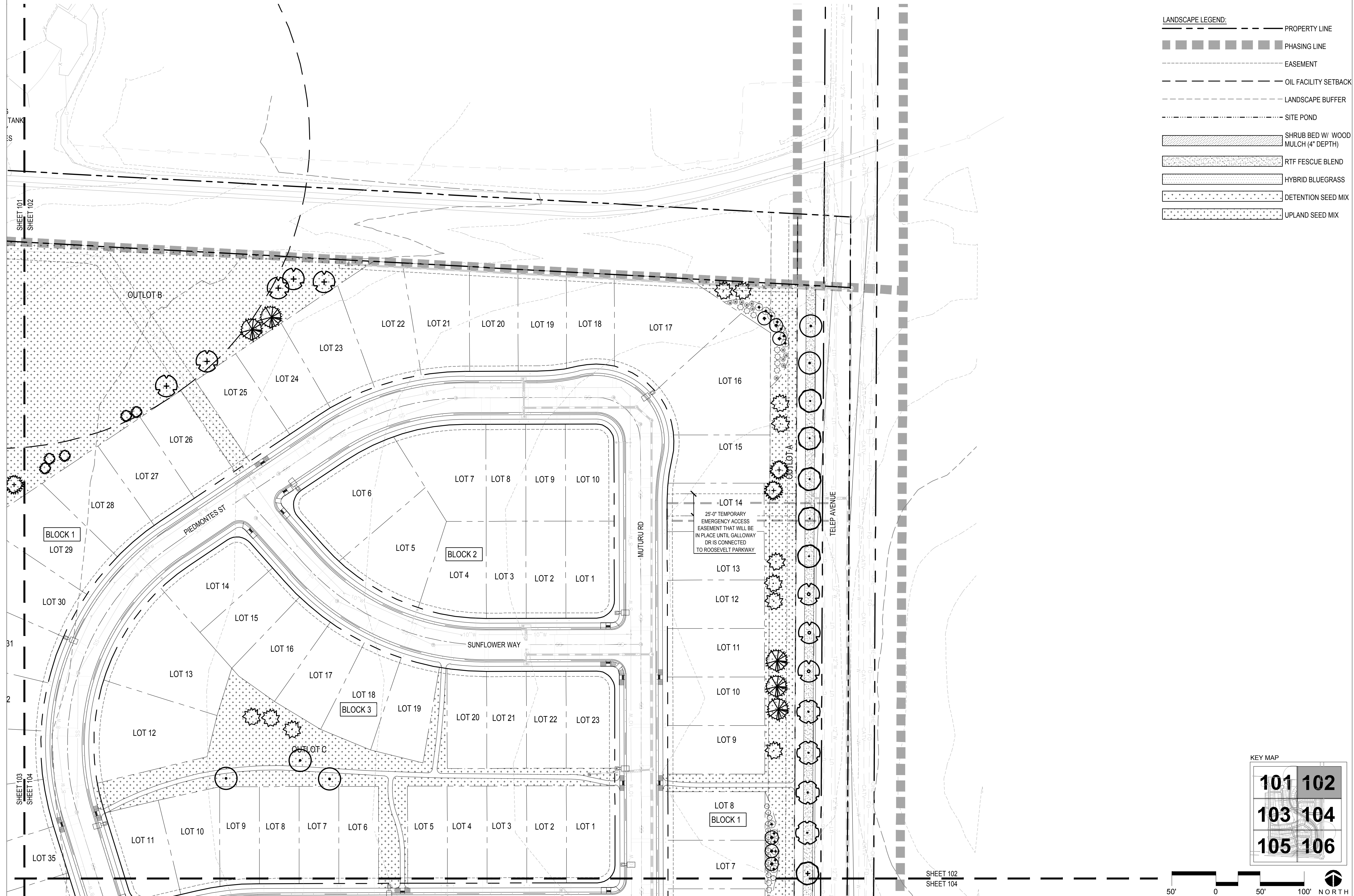


LP101

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FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



LANDSCAPE LEGEND:

- PROPERTY LINE
- PHASING LINE
- - - EASEMENT
- - - OIL FACILITY SETBACK
- - - LANDSCAPE BUFFER
- - - SITE POND
- ▨ SHRUB BED W/ WOOD MULCH (4" DEPTH)
- ▨ RTF FESCUE BLEND
- ▨ HYBRID BLUEGRASS
- ▨ DETENTION SEED MIX
- ▨ UPLAND SEED MIX

THE GRANARY
Johnstown, Colorado

HARTFORD HOMES

russell mills

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REV.	COMMENT	DATE

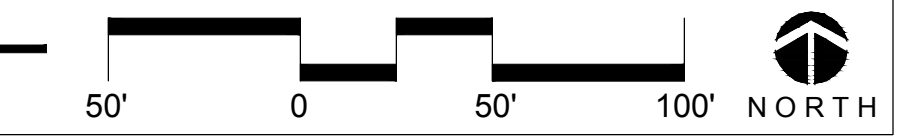
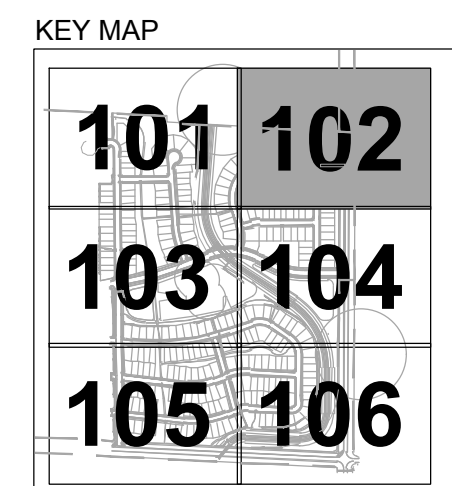
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LANDSCAPE PLAN

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LP102



SHEET 102
SHEET 104

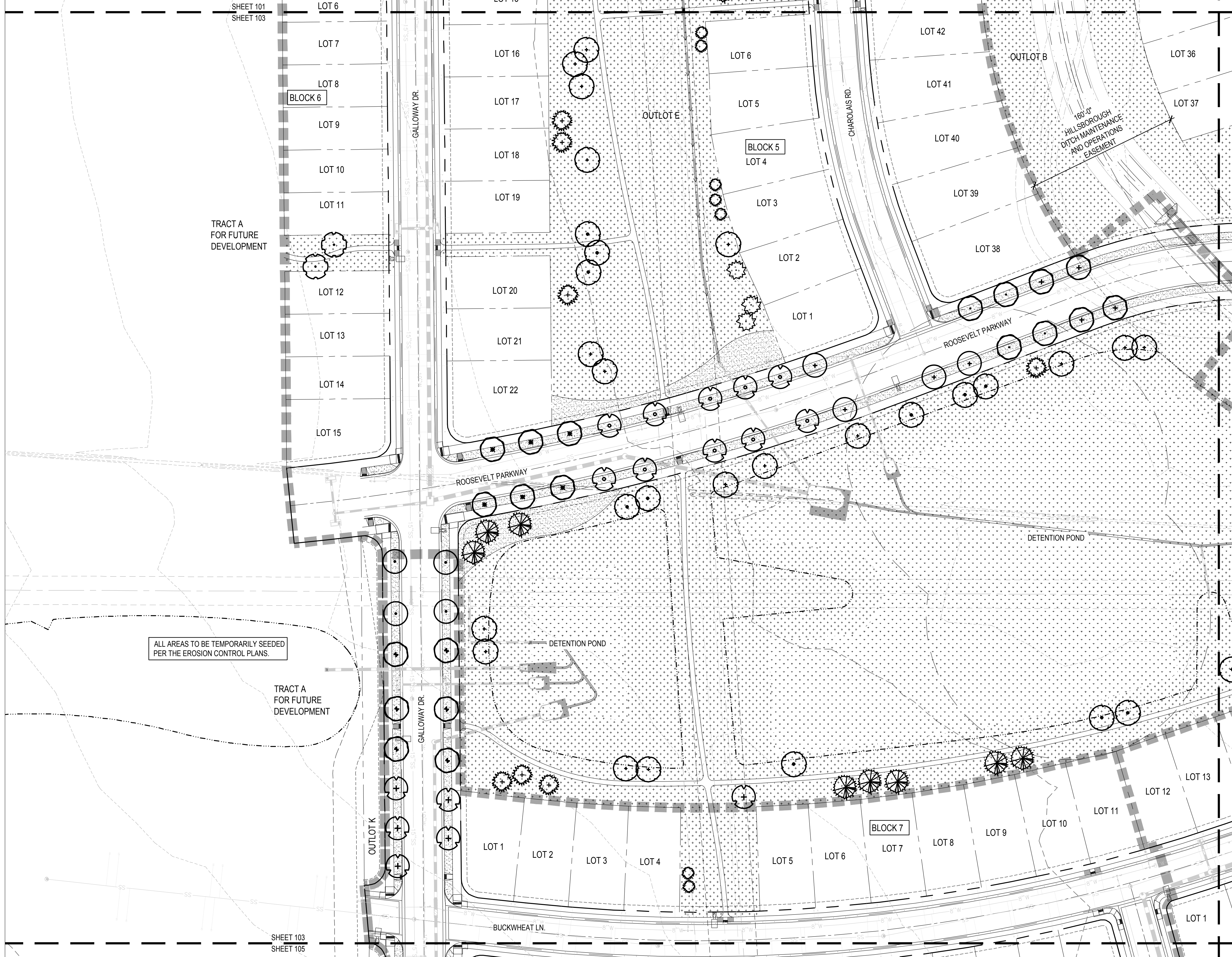
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FINAL DEVELOPMENT PLAN

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LANDSCAPE LEGEND:

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	DETENTION SEED MIX
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THE GRANARY
Johnstown, Colorado



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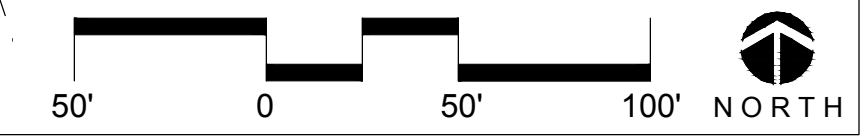
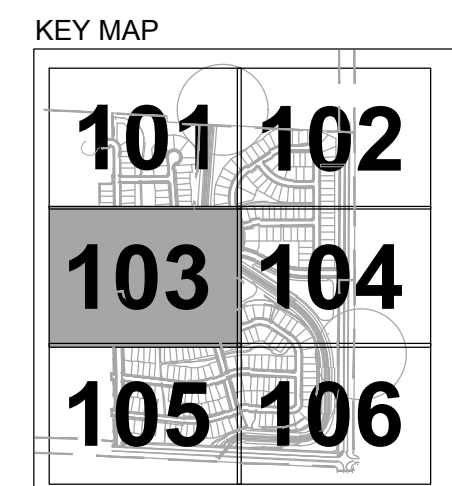
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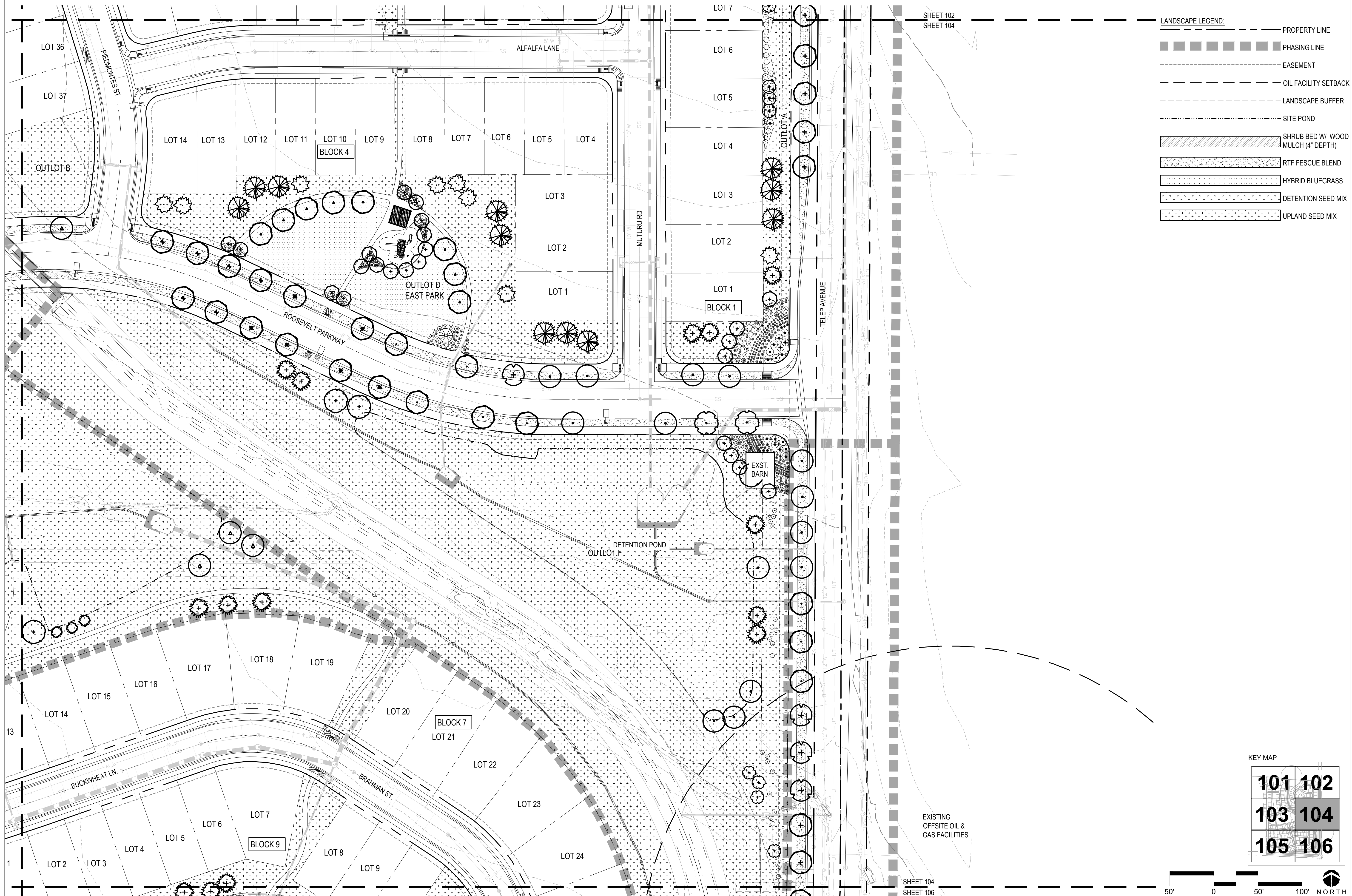
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FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



THE GRANARY
Johnstown, Colorado



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REV.	COMMENT	DATE

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Drawn By: SL

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Sheet Name

LANDSCAPE PLAN

Sheet

LP104

THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



ALL STREETSCAPE WEST OF GALLOWAY DRIVE TO BE COMPLETED AS ADJACENT FILINGS AND LOTS ONLINE.
ALL AREAS TO BE TEMPORARILY SEEDED PER THE EROSION CONTROL PLANS.

LANDSCAPE LEGEND:

- PROPERTY LINE
- PHASING LINE
- EASEMENT
- OIL FACILITY SETBACK
- LANDSCAPE BUFFER
- SITE POND
- SHRUB BED W/ WOOD MULCH (4" DEPTH)
- RTF FESCUE BLEND
- HYBRID BLUEGRASS
- DETENTION SEED MIX
- UPLAND SEED MIX

THE GRANARY
Johnstown, Colorado

HARTFORD HOMES

russell mills

NOT FOR CONSTRUCTION

REV.	COMMENT	DATE

FDP
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and
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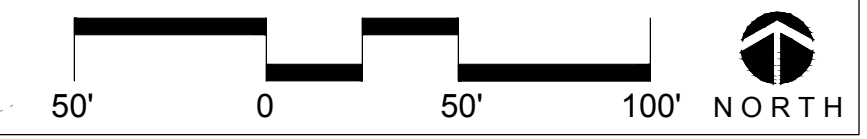
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LANDSCAPE PLAN

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KEY MAP

101	102
103	104
105	106

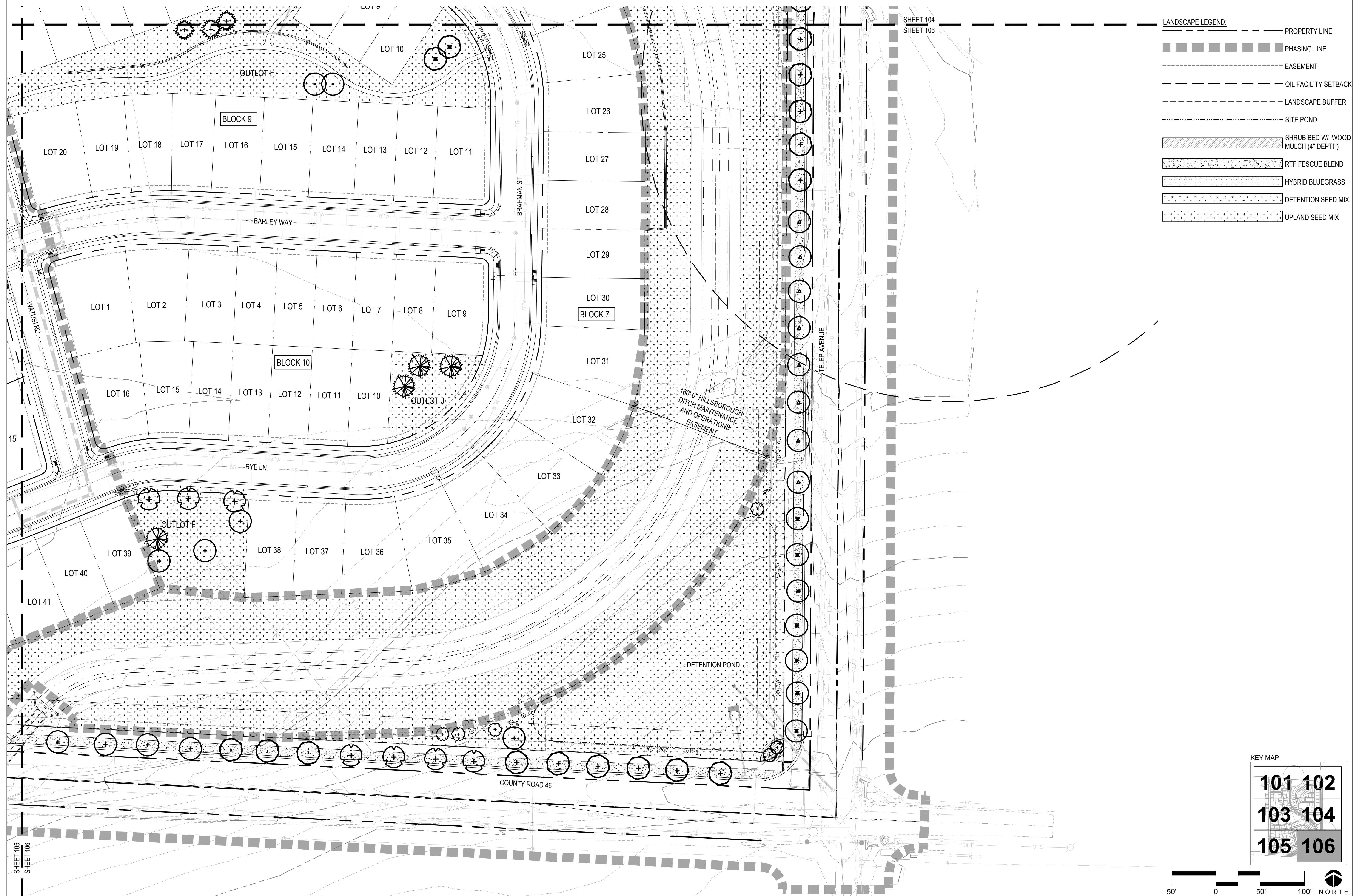


LP105

THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

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LANDSCAPE LEGEND:

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THE GRANARY
Johnstown, Colorado

HARTFORD HOMES

russell+mills

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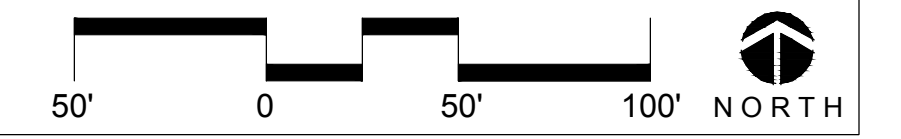
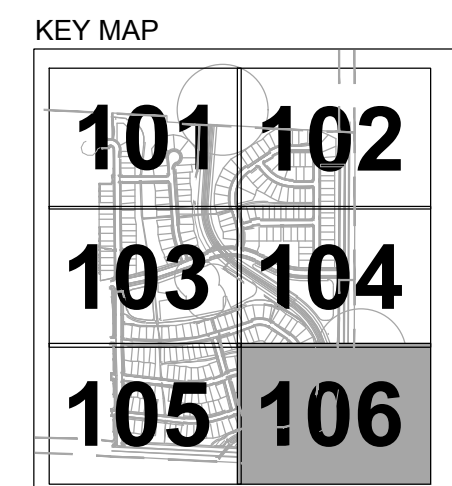
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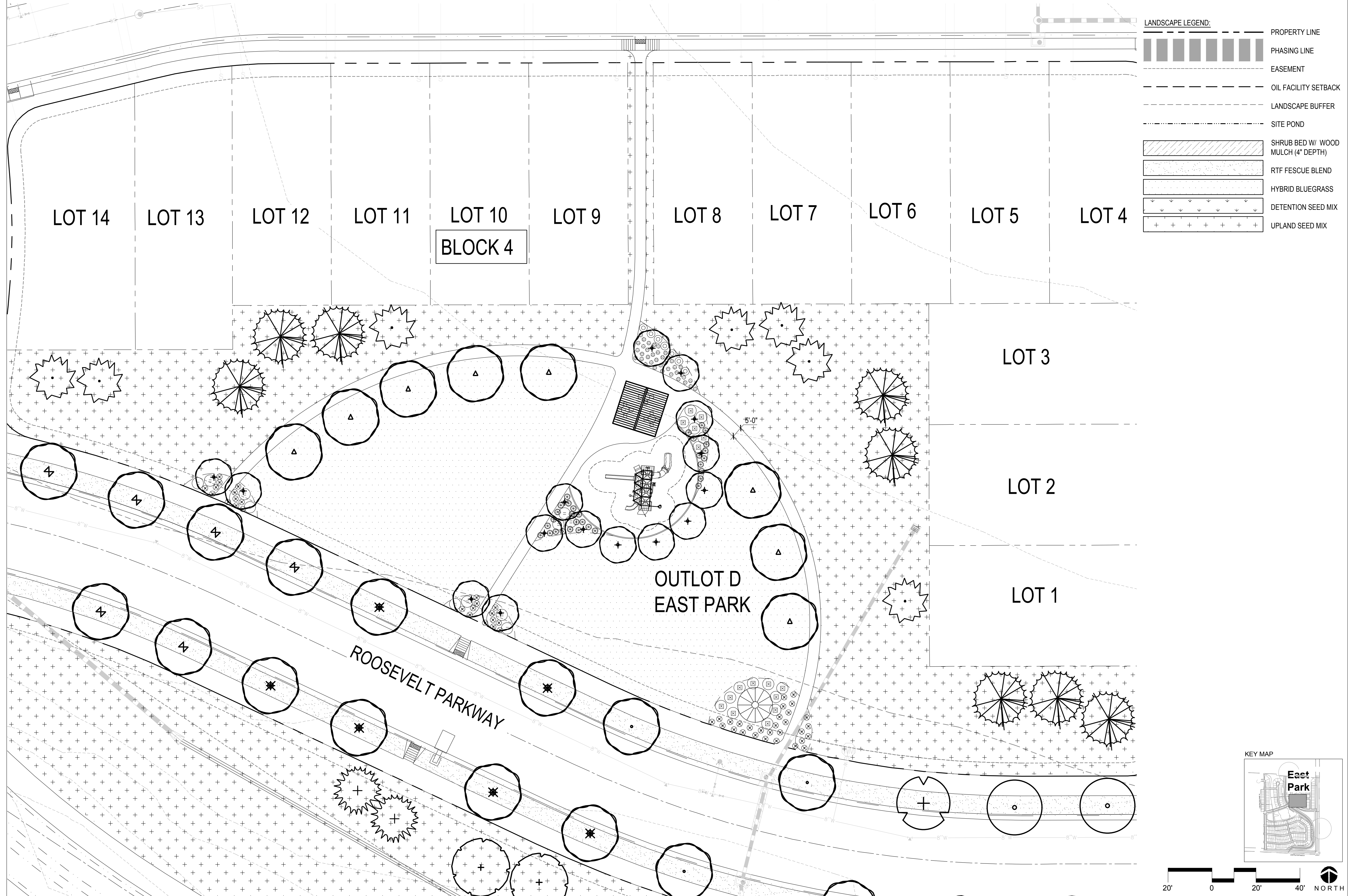
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THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

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LANDSCAPE LEGEND:

	PROPERTY LINE
	PHASING LINE
	EASEMENT
	OIL FACILITY SETBACK
	LANDSCAPE BUFFER
	SITE POND
	SHRUB BED W/ WOOD MULCH (4" DEPTH)
	RTF FESCUE BLEND
	HYBRID BLUEGRASS
	DETENTION SEED MIX
	UPLAND SEED MIX

THE GRANARY
Johnstown, Colorado

HARTFORD HOMES

russell mills

NOT FOR CONSTRUCTION

REV.	COMMENT	DATE

FDP
FILING ONE
and
FILING TWO

Date: 02.07.2022
Drawn By: SL
Checked By: CR

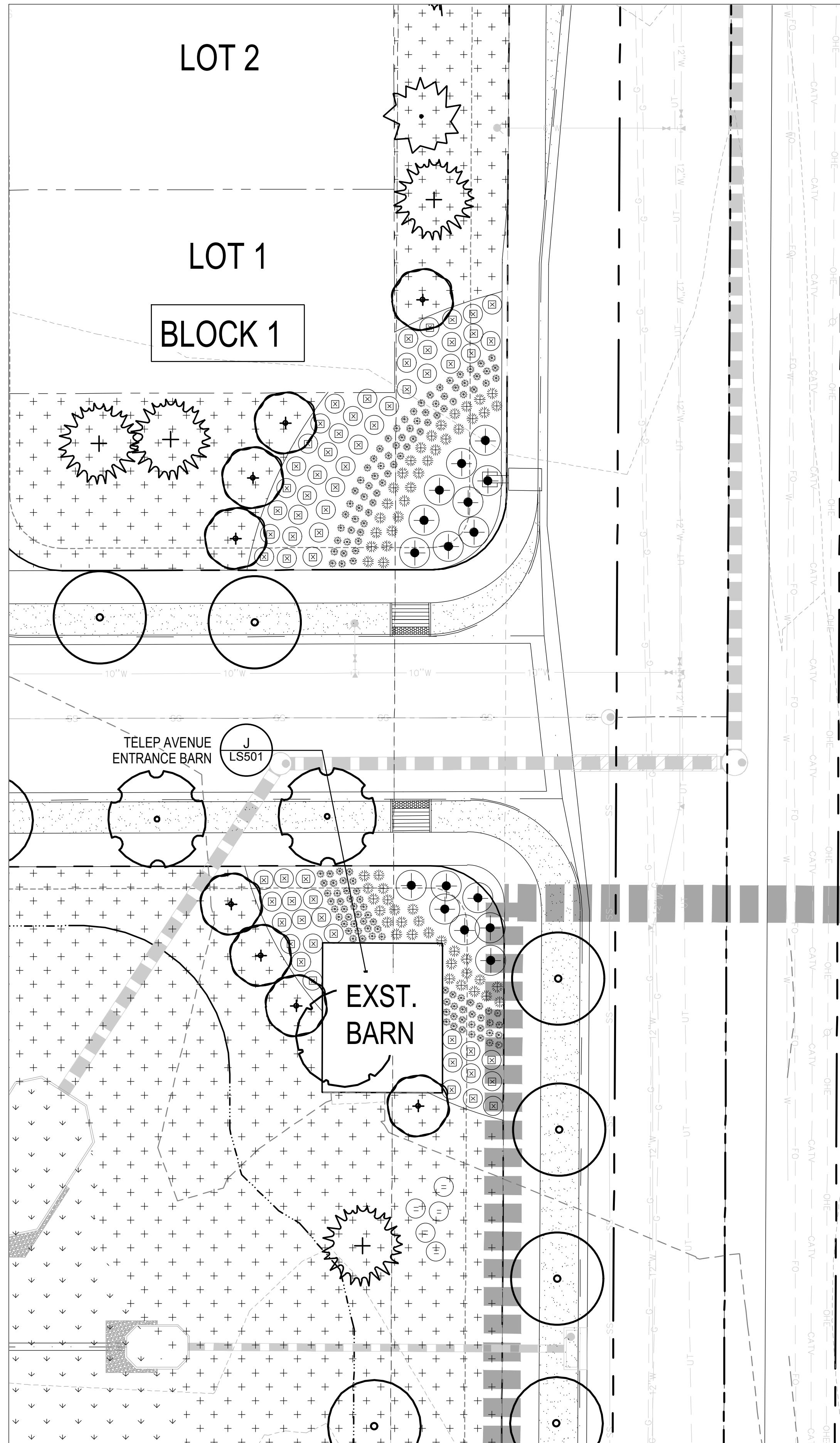
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LANDSCAPE ENLARGEMENT - EAST PARK
Sheet

LP401

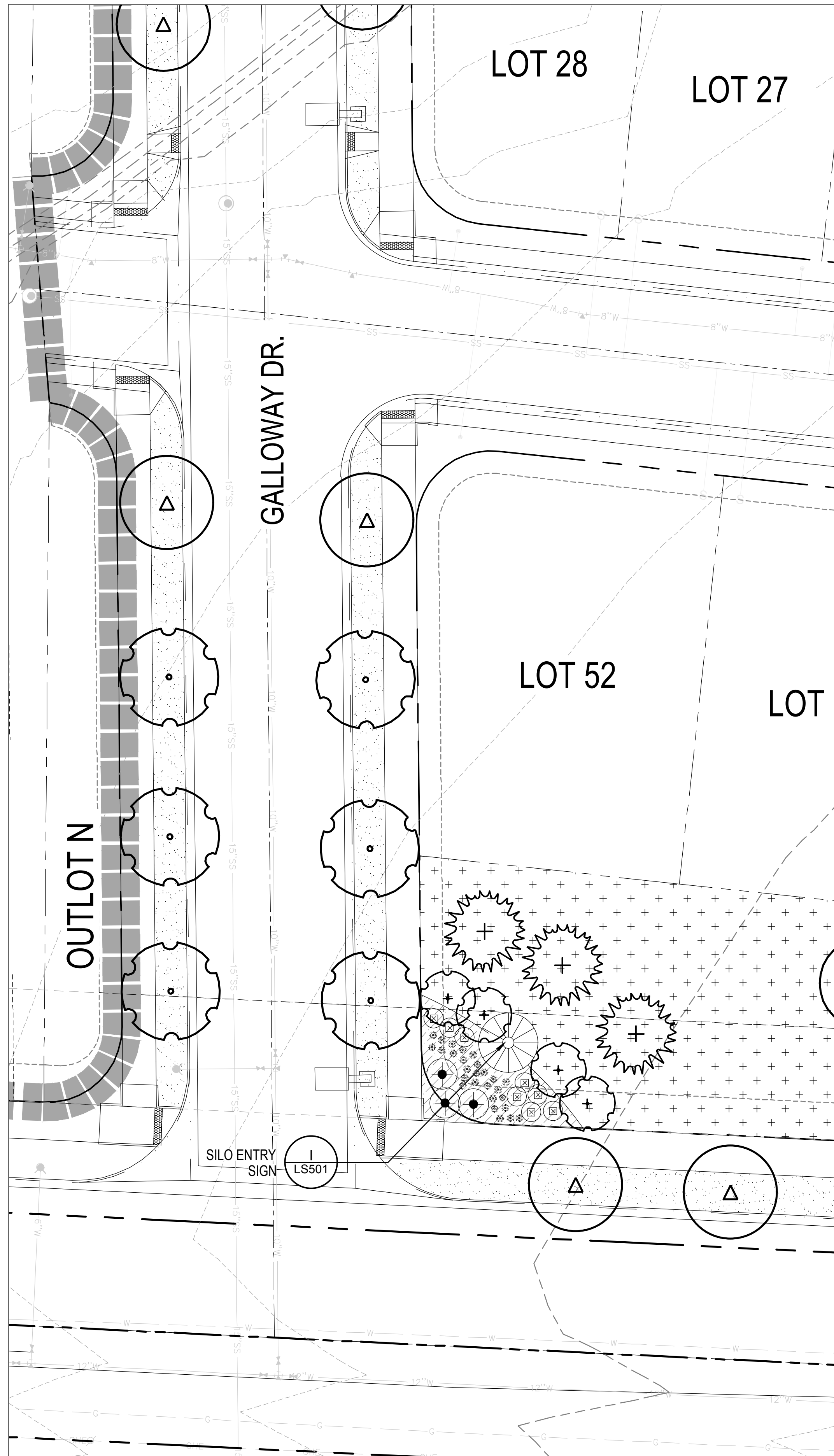
THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



1) TELEP AVENUE ENTRANCE



2) EAST ROOSEVELT PARKWAY ENTRANCE

LANDSCAPE LEGEND:

	PROPERTY LINE
	PHASING LINE
	EASEMENT
	OIL FACILITY SETBACK
	LANDSCAPE BUFFER
	SITE POND
	SHRUB BED W/ WOOD MULCH (4" DEPTH)
	RTF FESCUE BLEND
	HYBRID BLUEGRASS
	DETENTION SEED MIX
	UPLAND SEED MIX

THE GRANARY
Johnstown, Colorado

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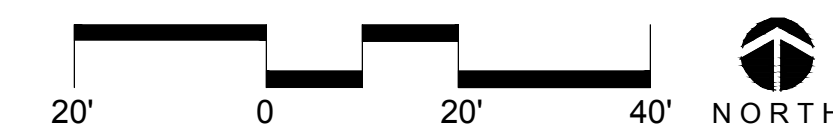
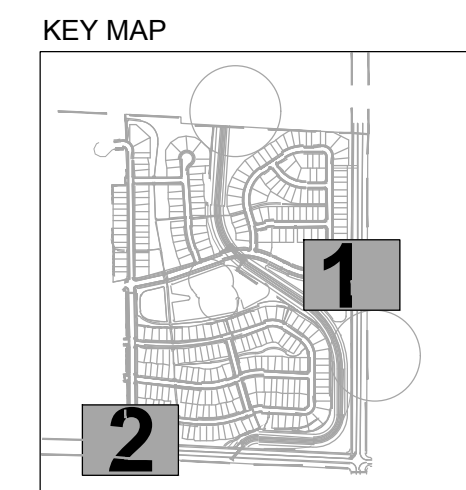
REV.	COMMENT	DATE

FDP
FILING ONE
and
FILING TWO

Date: 02.07.2022
Drawn By: SL
Checked By: CR

Sheet Name
LANDSCAPE
ENLARGEMENT -
ENTRANCES

Sheet

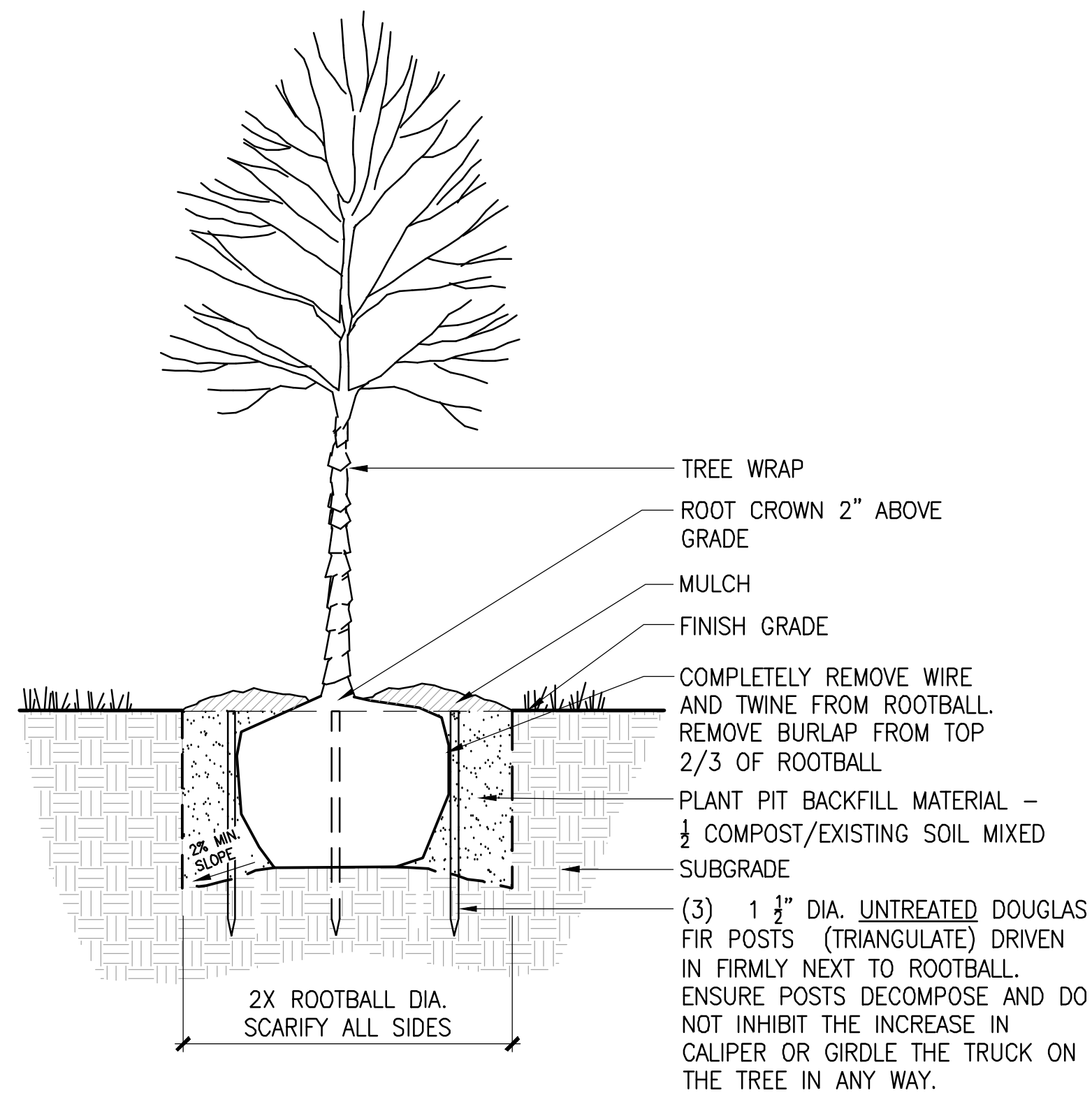


LP402

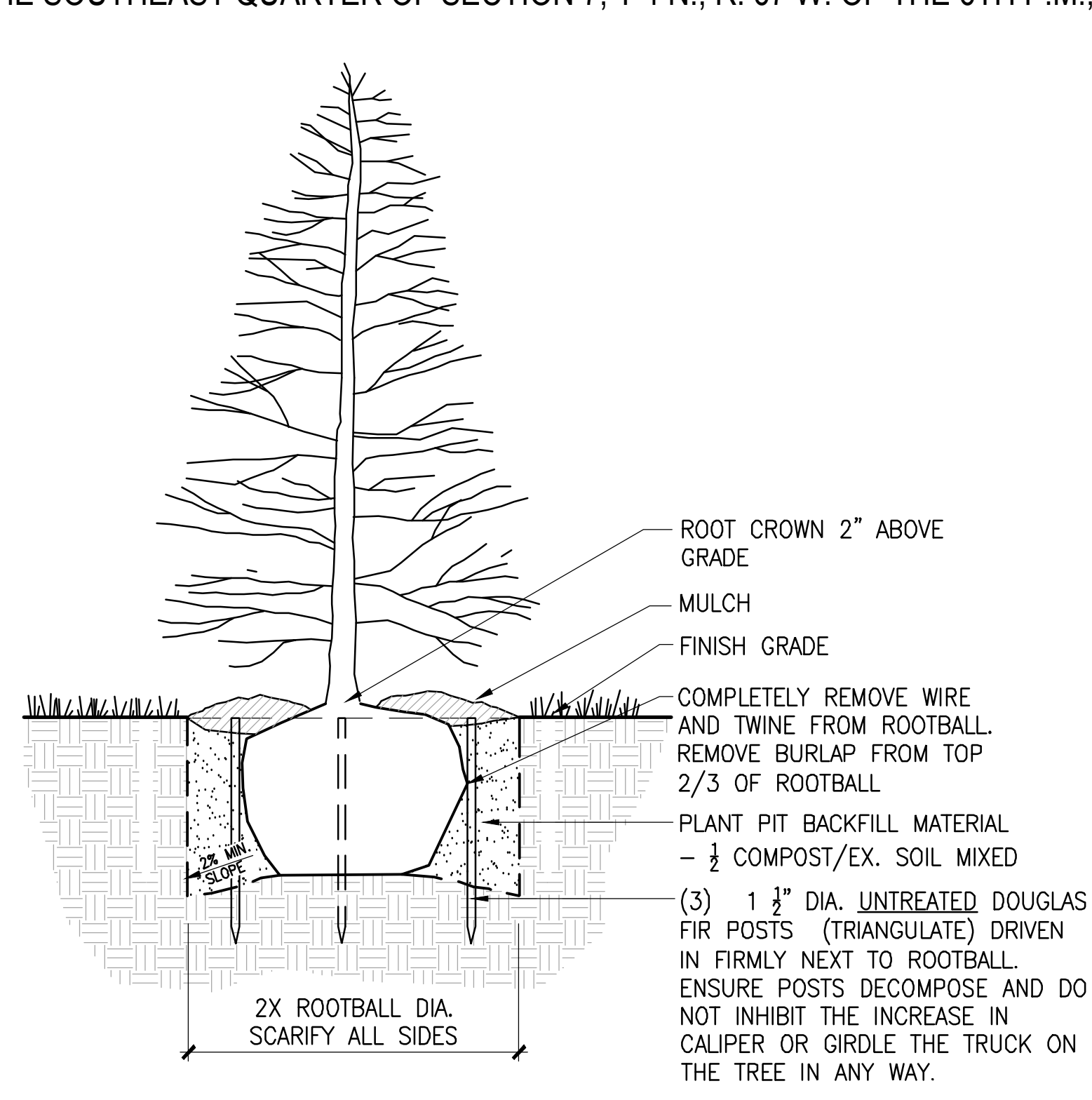
THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

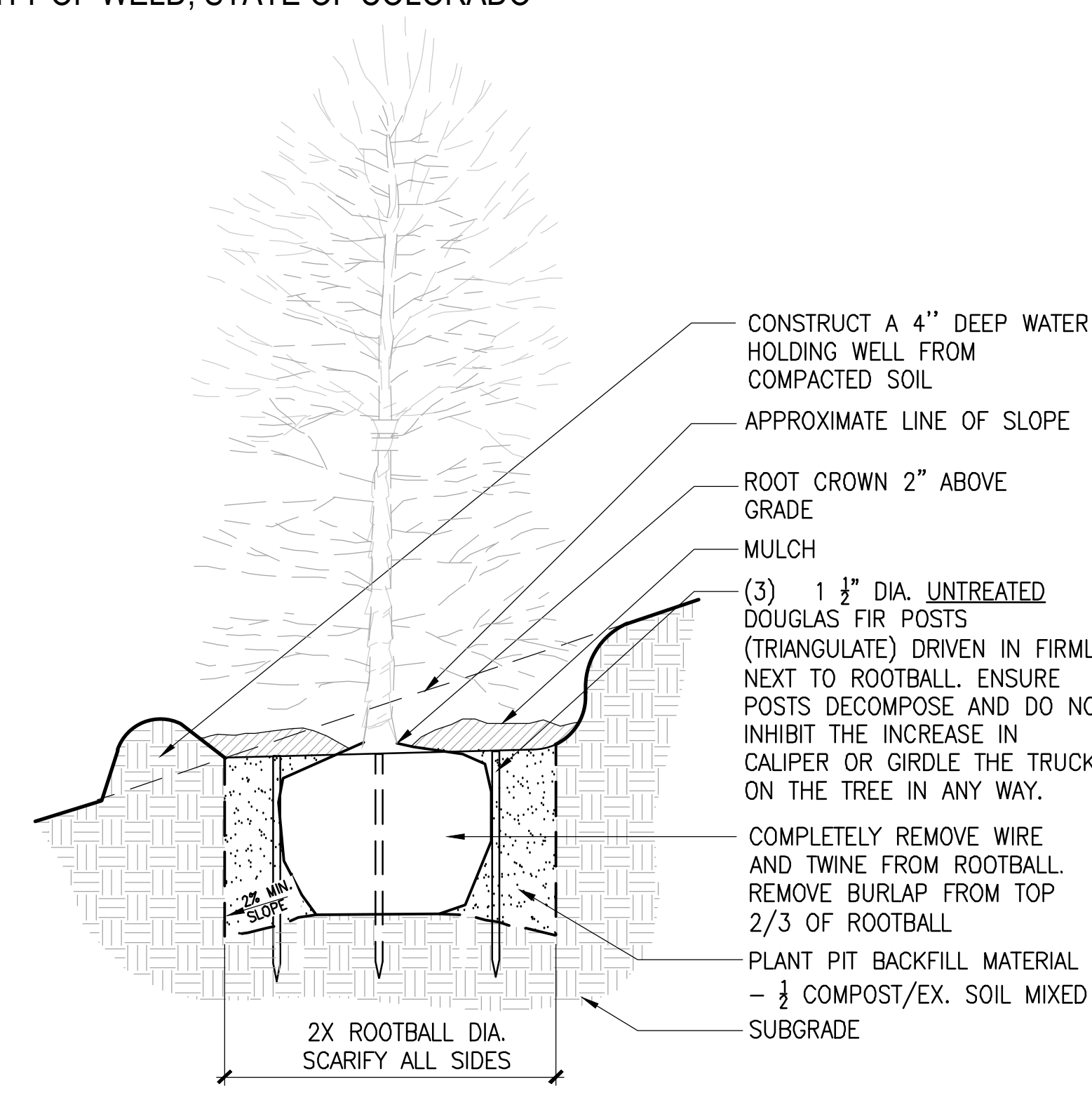
PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



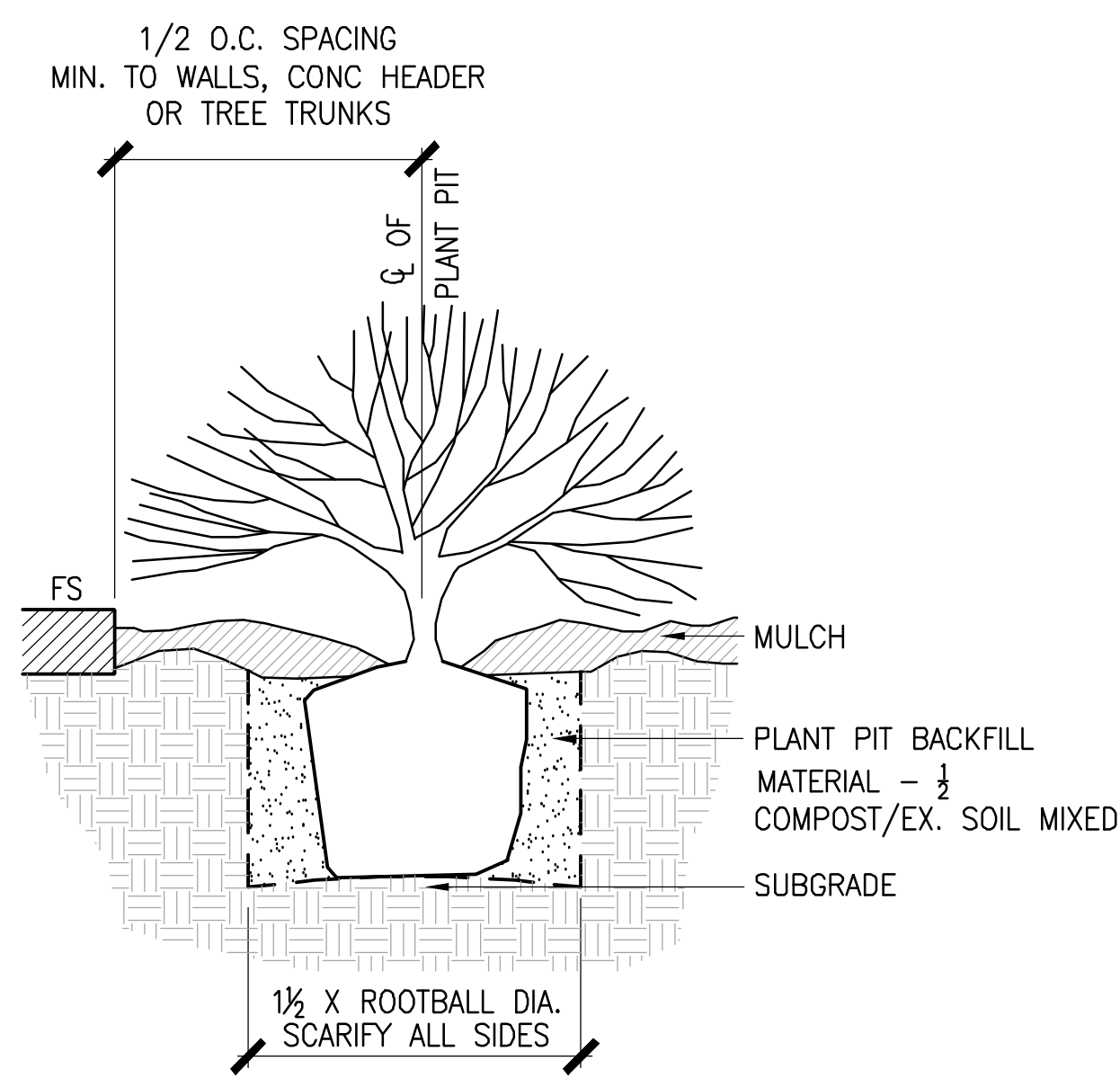
A DECIDUOUS TREE PLANTING
 SCALE: N.T.S. DT-PLNT-TREE-DECI-GRND-STAK



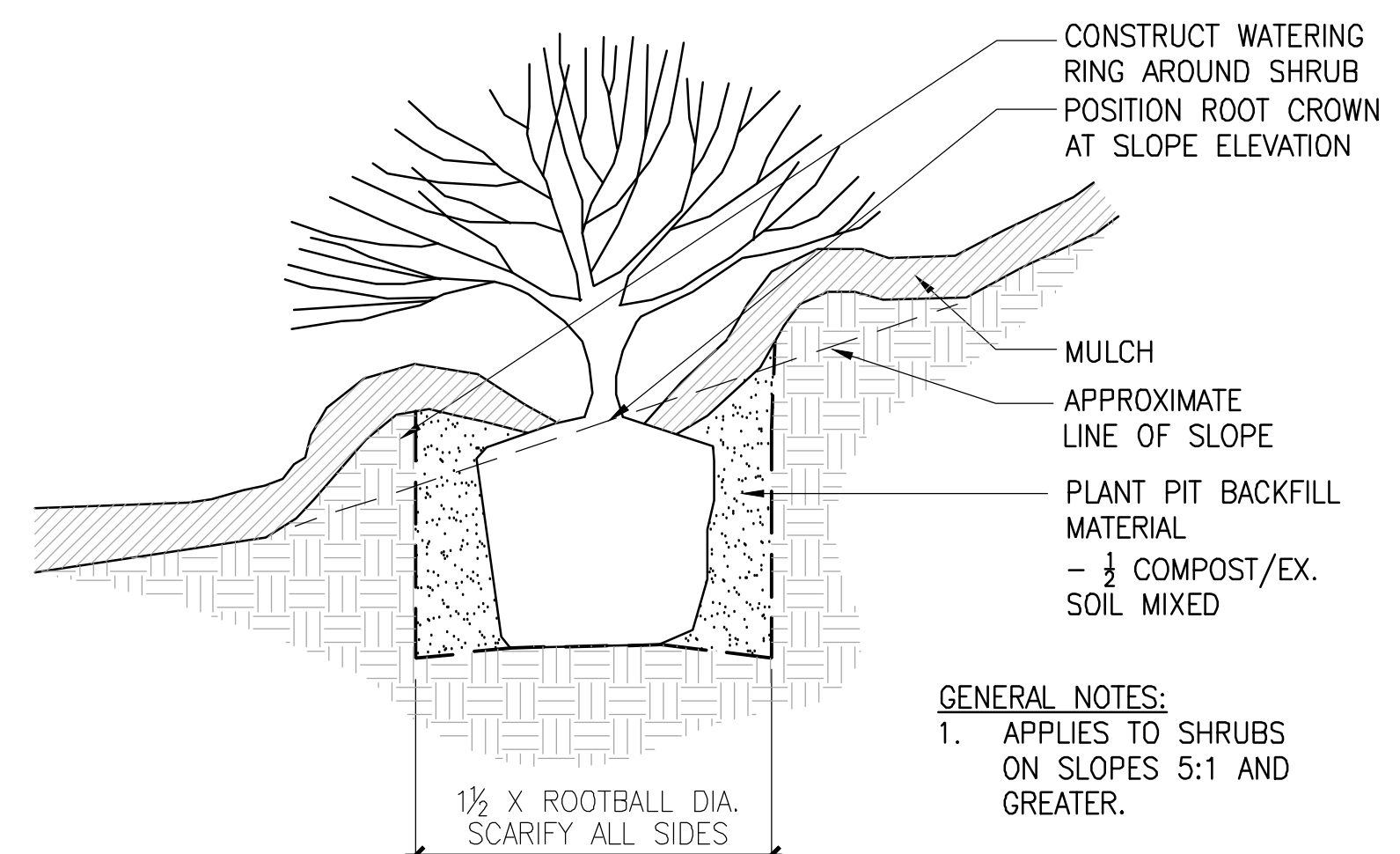
B EVERGREEN TREE PLANTING
 SCALE: N.T.S. DT-PLNT-TREE-EVER-GRND-STAK



C TREE PLANTING ON SLOPE
 SCALE: N.T.S. DT-PLNT-TREE-SLOP

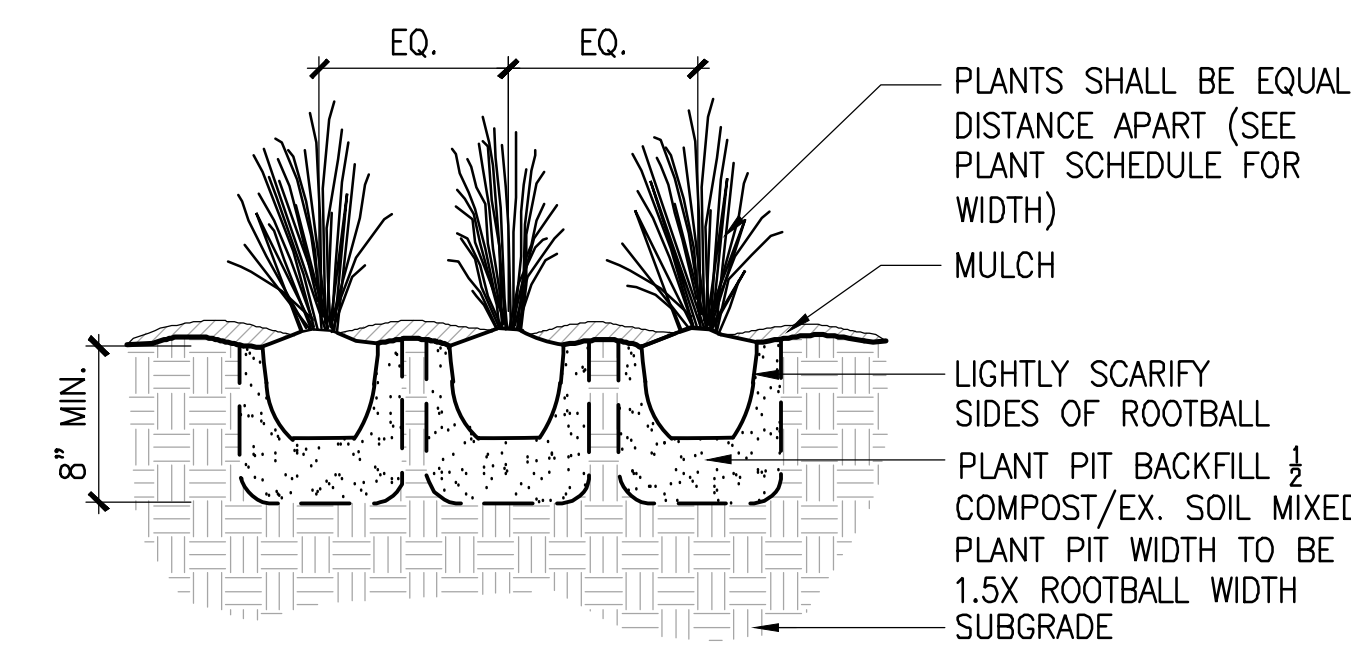


D SHRUB PLANTING
 SCALE: N.T.S.

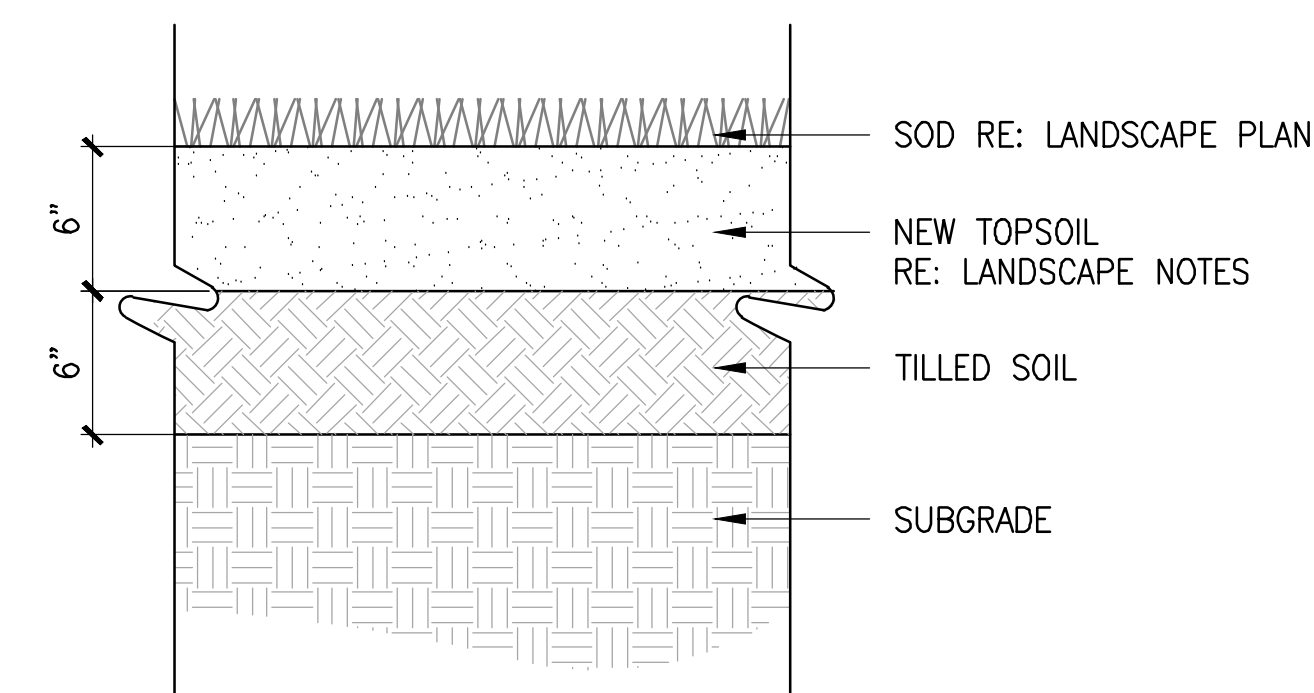


E SHRUB PLANTING ON SLOPE
 SCALE: N.T.S. DT-PLNT-SHRB-SLOP

GENERAL NOTES:
 1. APPLIES TO SHRUBS ON SLOPES 5:1 AND GREATER.



F PERENNIAL/GRASS PLANTING
 SCALE: N.T.S.



G SOD PLANTING
 SCALE: 1 1/2" = 1'-0"

THE GRANARY
 Johnstown, Colorado

russell+mills

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REV.	COMMENT	DATE

FDP
 FILING ONE
 and
 FILING TWO

Date: 02.07.2022
 Drawn By: SL
 Checked By: CR

Sheet Name
 LANDSCAPE
 DETAILS

Sheet

LP501

THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

THE GRANARY
Johnstown, Colorado



NOT FOR
CONSTRUCTION

REV.	COMMENT	DATE

FDP
FILING ONE
and
FILING TWO

Date: 02.07.2022

Drawn By: SL

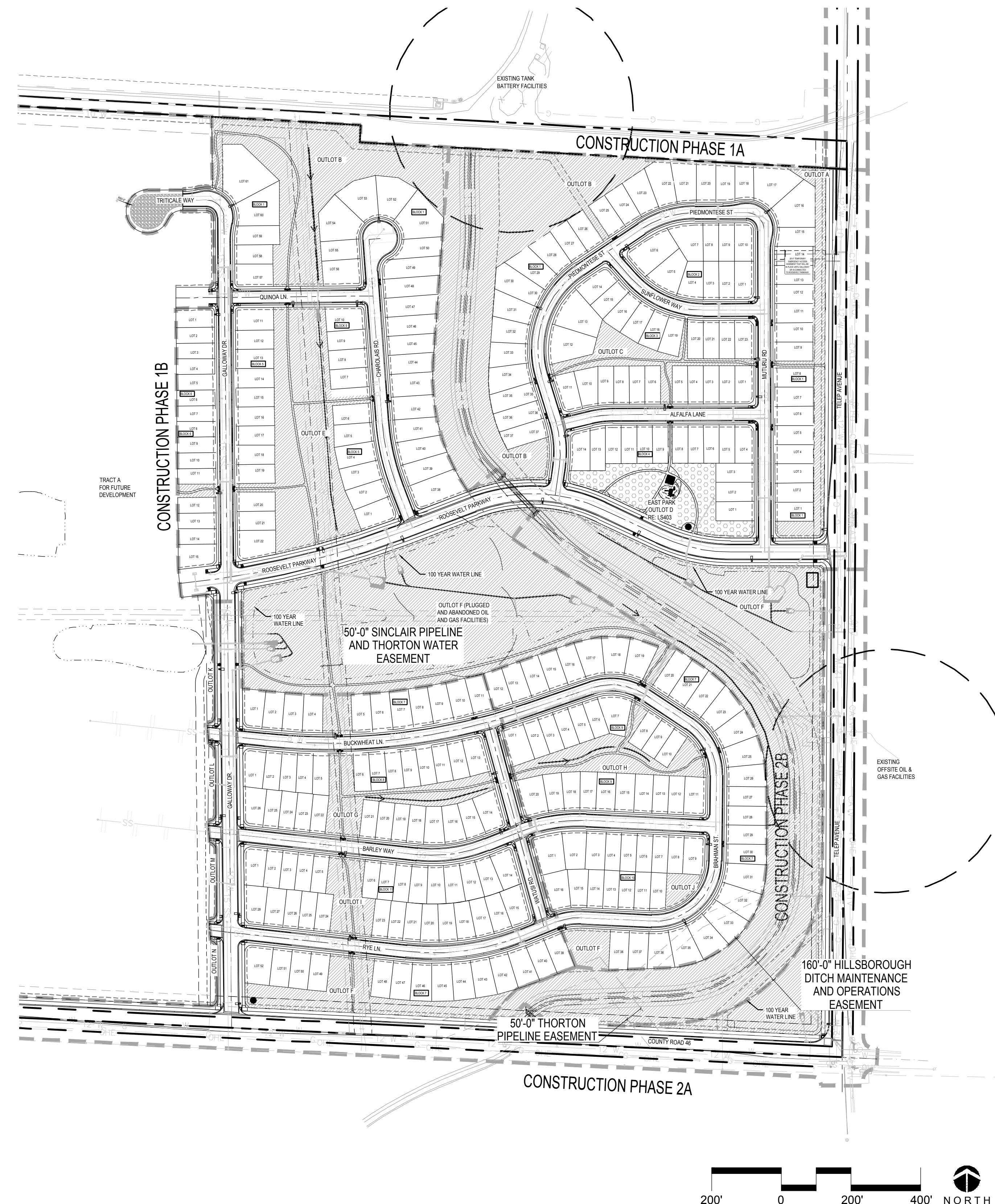
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Sheet Name

OPEN SPACE PLAN

Sheet

OS100



OPEN SPACE CHART

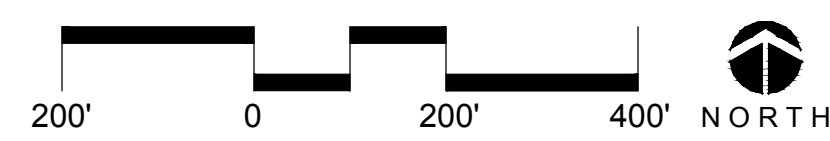
LAND USE SUMMARY						
THE GRANARY FILING ONE						
OUTLOTS	AREA (SF)	AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE	% OF TOTAL
A	44,518	1.022	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS EASEMENT AND OPEN SPACE	
B	379,604	8.715	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS, UTILITY AND DRAINAGE EASEMENT, OPEN SPACE, HILLSBOROUGH DITCH	
C	31,627	0.726	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
D	63,451	1.457	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS, UTILITY EASEMENT, PARK SPACE	
E	130,503	2.996	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS, UTILITY AND DETENTION AND DRAINAGE EASEMENT, OPEN SPACE	
F	989,834	22.723	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND DRAINAGE EASEMENT AND OPEN SPACE, HILLSBOROUGH DITCH	
G	40,210	0.923	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND DRAINAGE EASEMENT AND OPEN SPACE	
H	43,603	1.001	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND DRAINAGE EASEMENT AND OPEN SPACE	
I	24,707	0.567	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS EASEMENT AND OPEN SPACE	
J	7,424	0.170	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS EASEMENT AND OPEN SPACE	
K	8,068	0.185	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
L	4,254	0.098	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
M	4,231	0.097	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
N	3,484	0.080	METRO DISTRICT	METRO DISTRICT	PEDESTRIAN ACCESS AND OPEN SPACE	
OUTLOTS	1,775,519	40.760				36.87%
TOTAL AREA		110,542	TRACT A (45.148 AC) IS NOT INCLUDED FOR OPEN SPACE CALCULATION AS THE AREA IS DESIGNATED FOR FUTURE DEVELOPMENT			

OPEN SPACE LEGEND:

- PROPERTY LINE
- PHASING LINE
- LOT LINE
- EASEMENT
- LANDSCAPE BUFFER
- 150' PLUGGED AND ABANDONED OIL FACILITY SETBACK
- 350' ACTIVE OIL FACILITY SETBACK
- OPEN SPACE
- OPEN SPACE - PARK

OIL AND GAS FACILITIES INFORMATION

OUTLOT E
OWNER: PDC ENERGY INC - 69175
NUMBER OF WELLS: 5
NAMES OF WELLS: 7-33 KETO, 7-43 KETO, 7-34 KETO, 7-44 KETO, 3-7J KETO
TYPE OF WELL: DIRECTIONAL, PLUGGED AND ABANDONED
OTHER FACILITIES ON SITE: NONE, ALL LINES REMOVED
STATUS: PLUGGED AND ABANDONED



THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO

THE GRANARY
Johnstown, Colorado



NOT FOR
CONSTRUCTION

REV.	COMMENT	DATE

FDP
FILING ONE
and
FILING TWO

Date: 02.07.2022

Drawn By: SL

Checked By: CR

Sheet Name

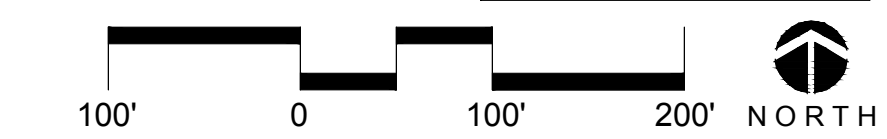
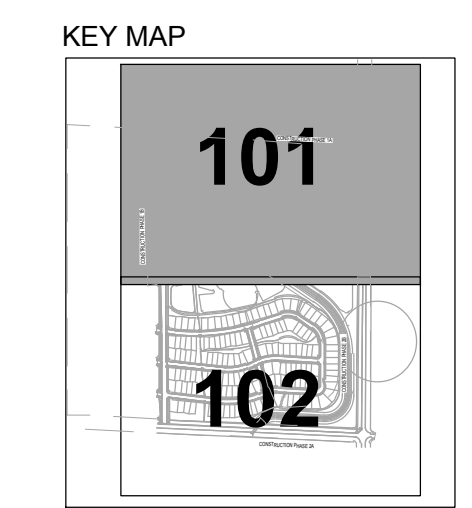
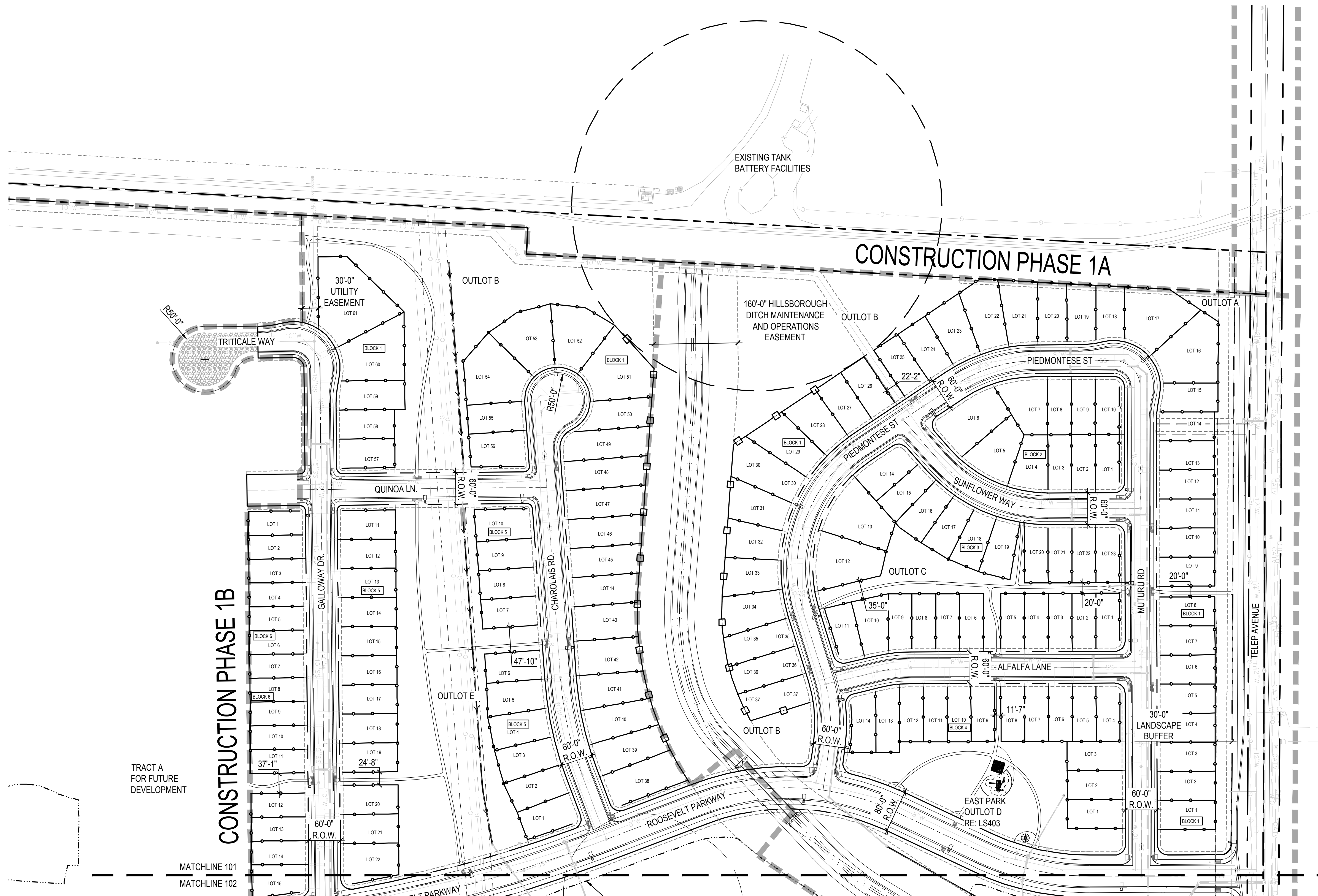
FENCING PLAN

Sheet

FP101

- FENCING LEGEND:**
- PROPERTY LINE
 - PHASING LINE
 - - - EASEMENT
 - - - LANDSCAPE BUFFER
 - - - 150' PLUGGED AND ABANDONED OIL FACILITY SETBACK
 - - - 350' ACTIVE OIL FACILITY SETBACK
 - 3 RAIL FENCE
 - 4 RAIL FENCE (6' HEIGHT)

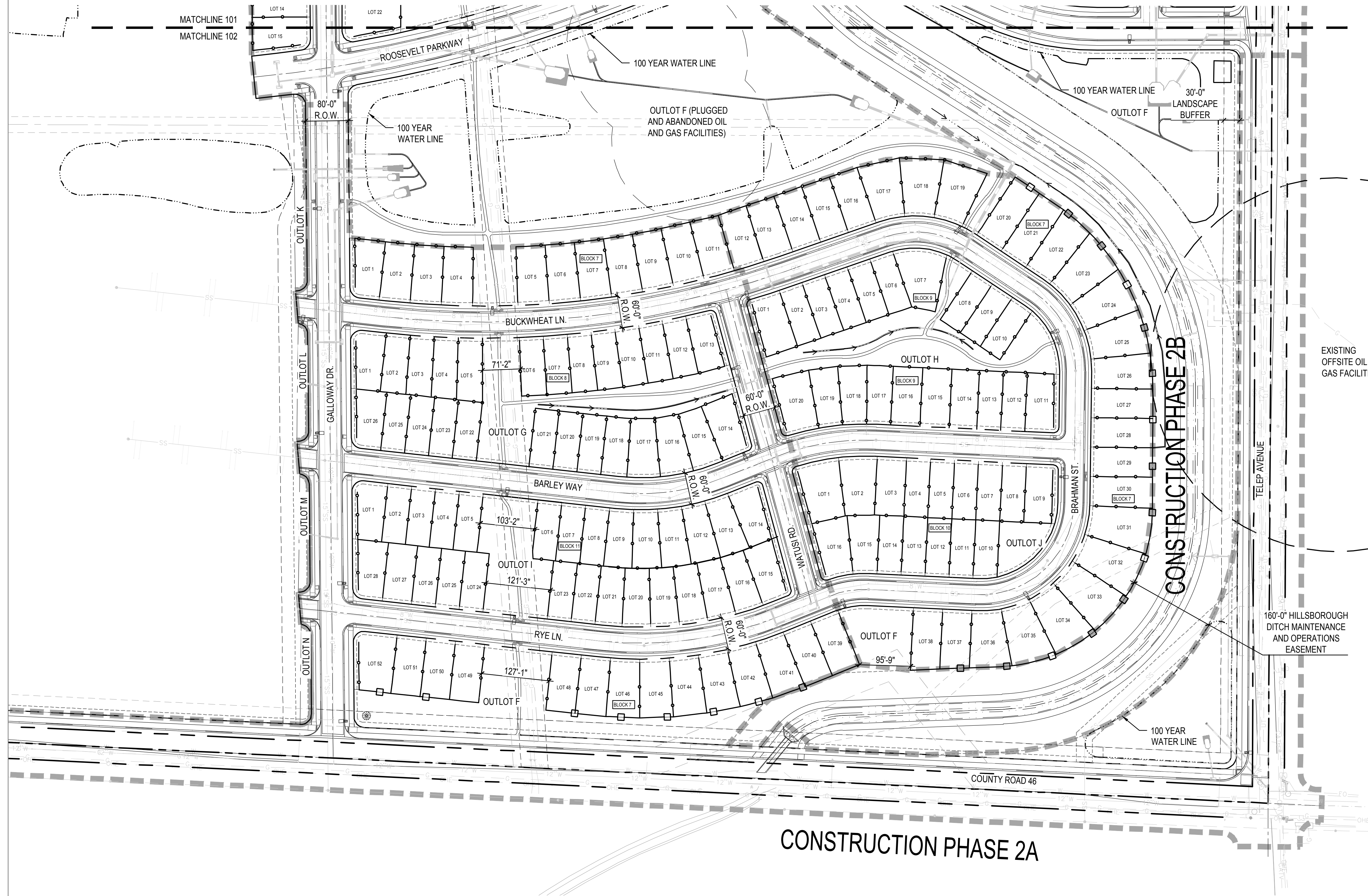
- FENCING NOTES:**
1. 3 RAIL FENCE SHALL BE PROVIDED AS PER DETAILS.
 2. ALL SIDE YARD FENCING SHALL TERMINATE A MINIMUM OF 5' BEHIND FRONT ELEVATION OF HOUSE.
 3. FENCE SHALL BE LOCATED ON PROPERTY LINES.
 4. NO FENCING SHALL BE INSTALLED TO INTERFERE WITH SIGHT TRIANGLES.



THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



- FENCING LEGEND:**
- PROPERTY LINE
 - - - PHASING LINE
 - - - EASEMENT
 - - - LANDSCAPE BUFFER
 - - - 150' PLUGGED AND ABANDONED OIL FACILITY SETBACK
 - - - 350' ACTIVE OIL FACILITY SETBACK
 - 3 RAIL FENCE
 - 4 RAIL FENCE (6' HEIGHT)

- FENCING NOTES:**
1. 3 RAIL FENCE SHALL BE PROVIDED AS PER DETAILS.
 2. ALL SIDE YARD FENCING SHALL TERMINATE A MINIMUM OF 5' BEHIND FRONT ELEVATION OF HOUSE.
 3. FENCE SHALL BE LOCATED ON PROPERTY LINES.
 4. NO FENCING SHALL BE INSTALLED TO INTERFERE WITH SIGHT TRIANGLES.

THE GRANARY
 Johnstown, Colorado



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REV.	COMMENT	DATE

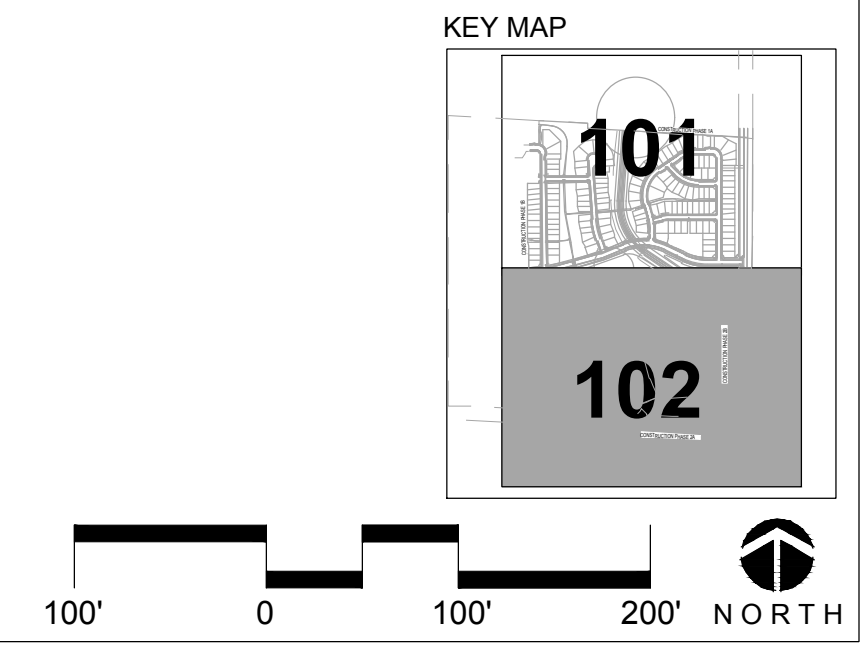
FDP
 FILING ONE
 and
 FILING TWO

Date: 02.07.2022
 Drawn By: SL
 Checked By: CR

Sheet Name
 FENCING PLAN

Sheet

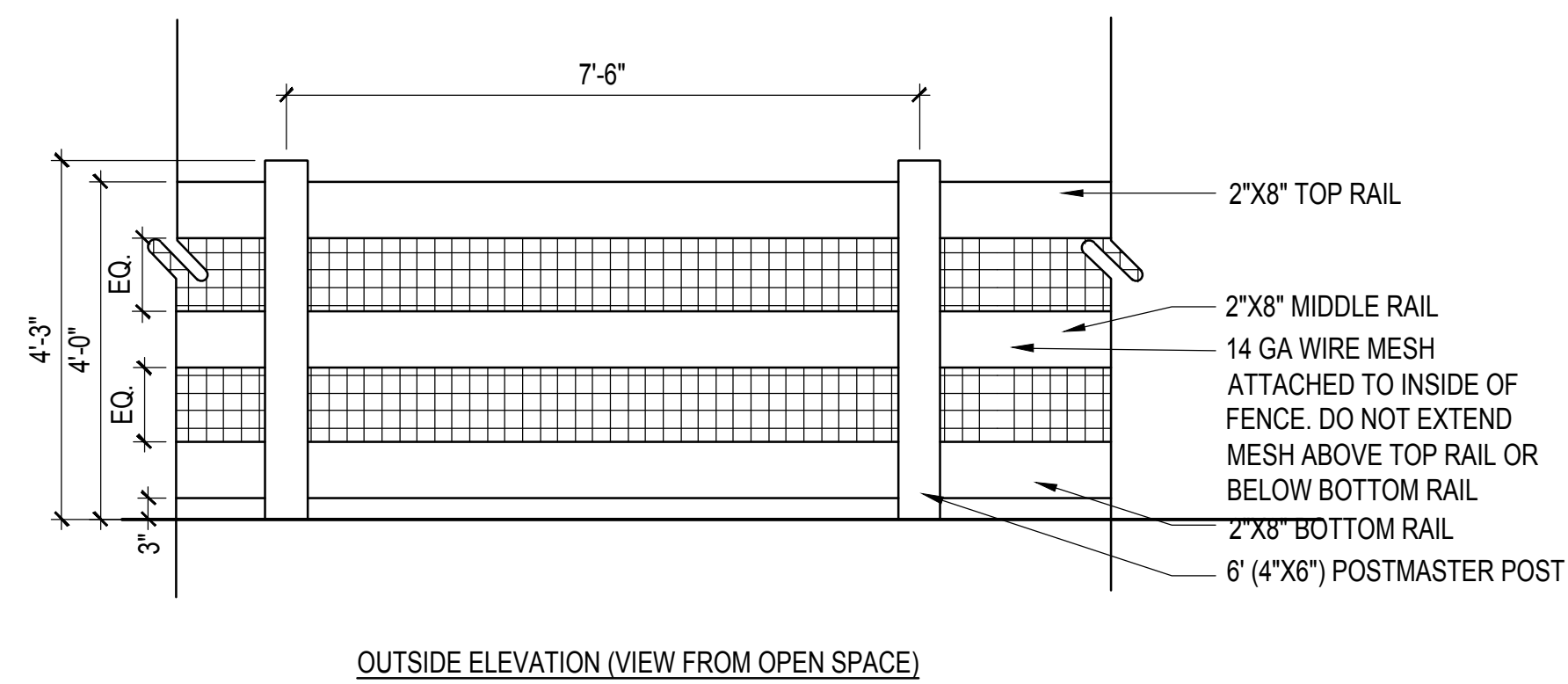
FP102



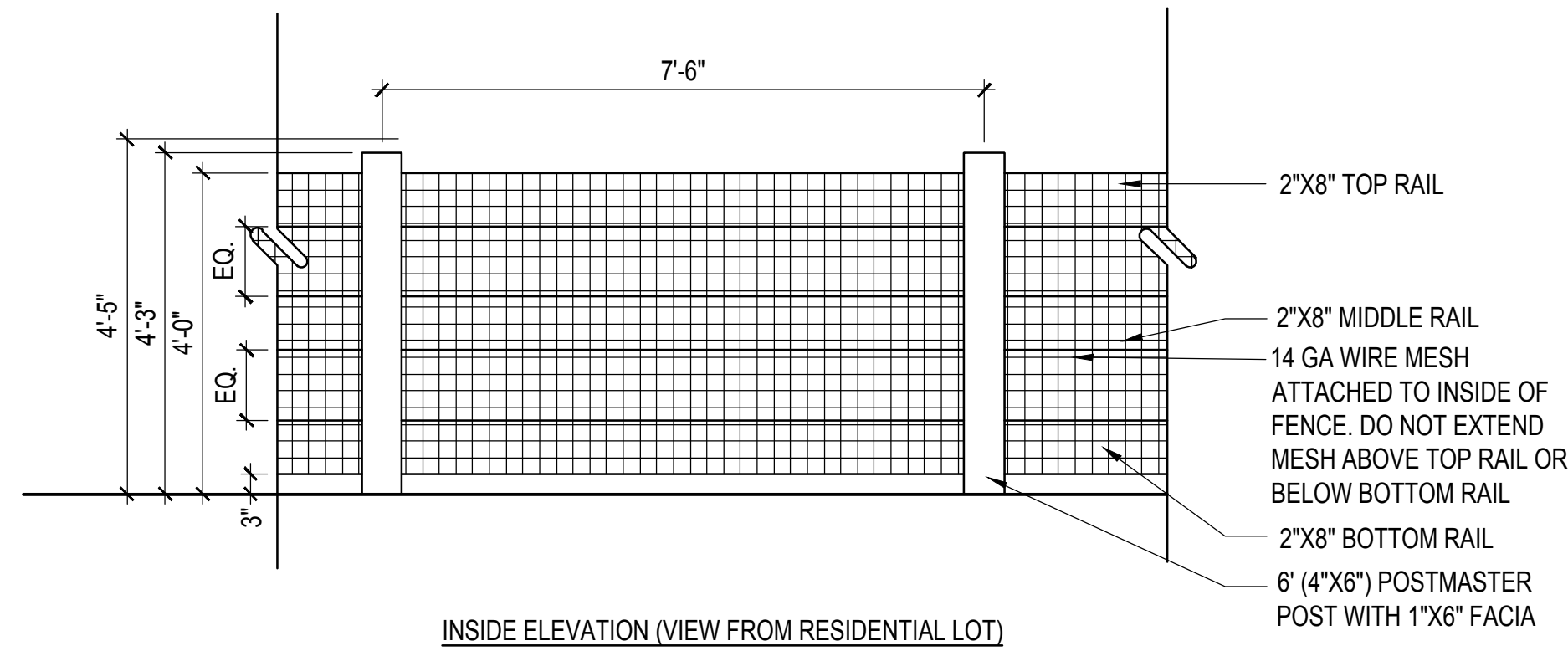
THE GRANARY FILING ONE and FILING TWO

FINAL DEVELOPMENT PLAN

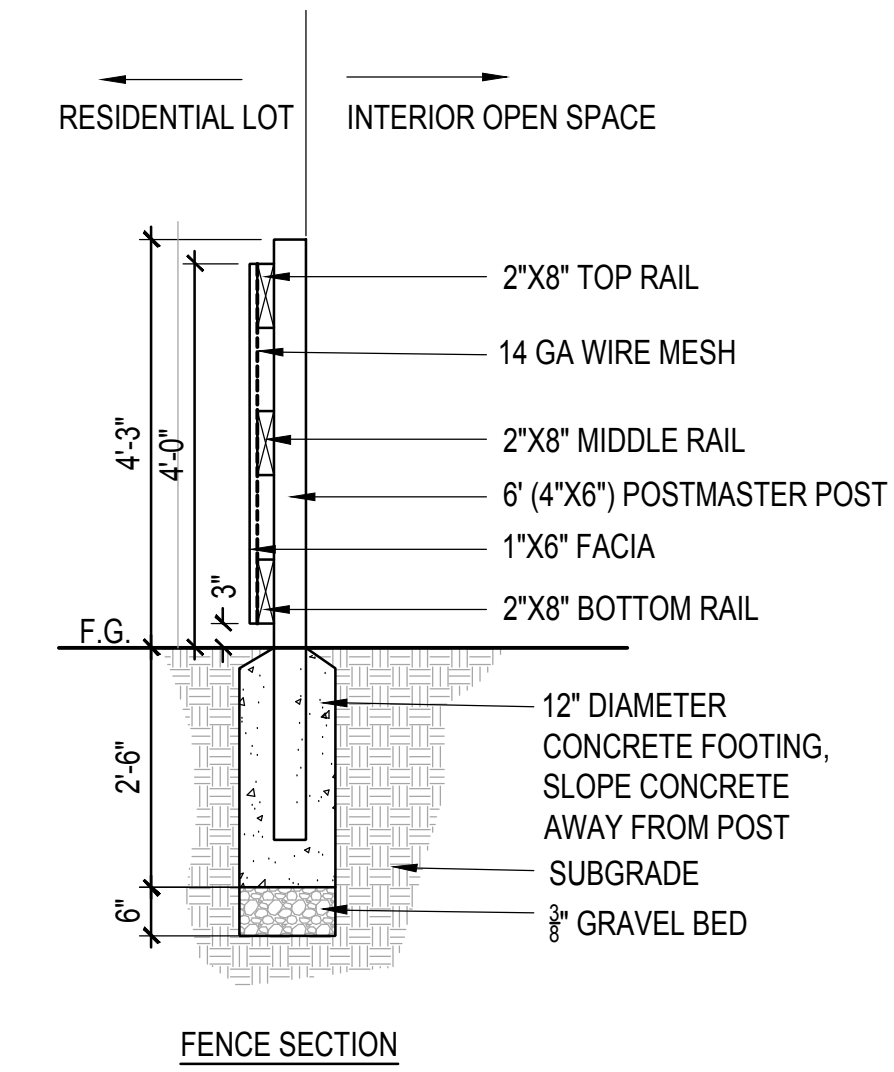
PART OF THE SOUTHEAST QUARTER OF SECTION 7, T 4 N., R. 67 W. OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO



OUTSIDE ELEVATION (VIEW FROM OPEN SPACE)



INSIDE ELEVATION (VIEW FROM RESIDENTIAL LOT)



FENCE SECTION

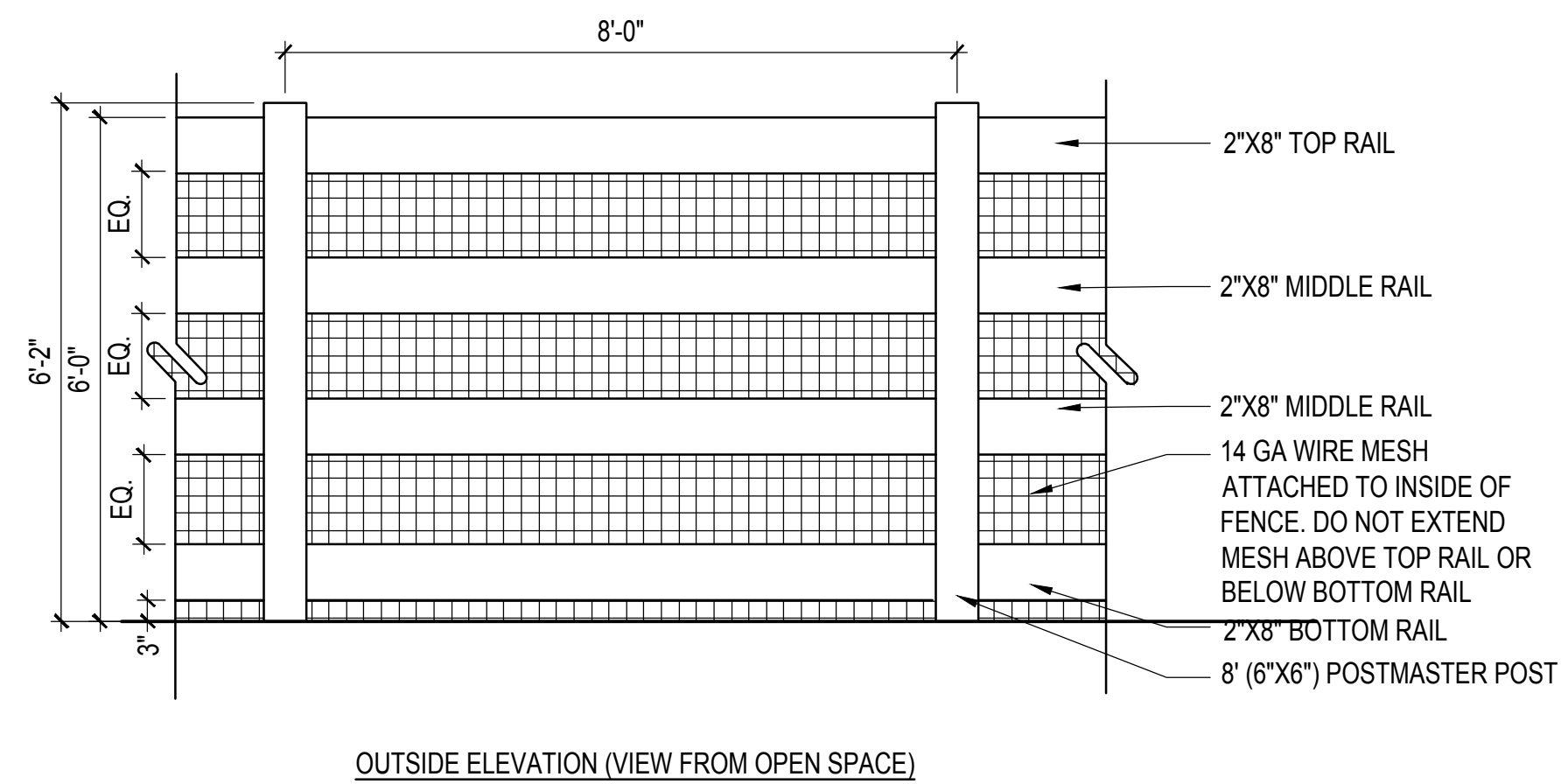
NOTES:

1. ALL FENCING MATERIALS SHALL BE TAN VINYL OR CEDAR PRESSURE TREATED LUMBER #1 GRADE AS DETERMINED BY HOA.
2. DEVELOPER'S STRUCTURAL ENGINEER TO APPROVE ALL COLUMN FOOTINGS.

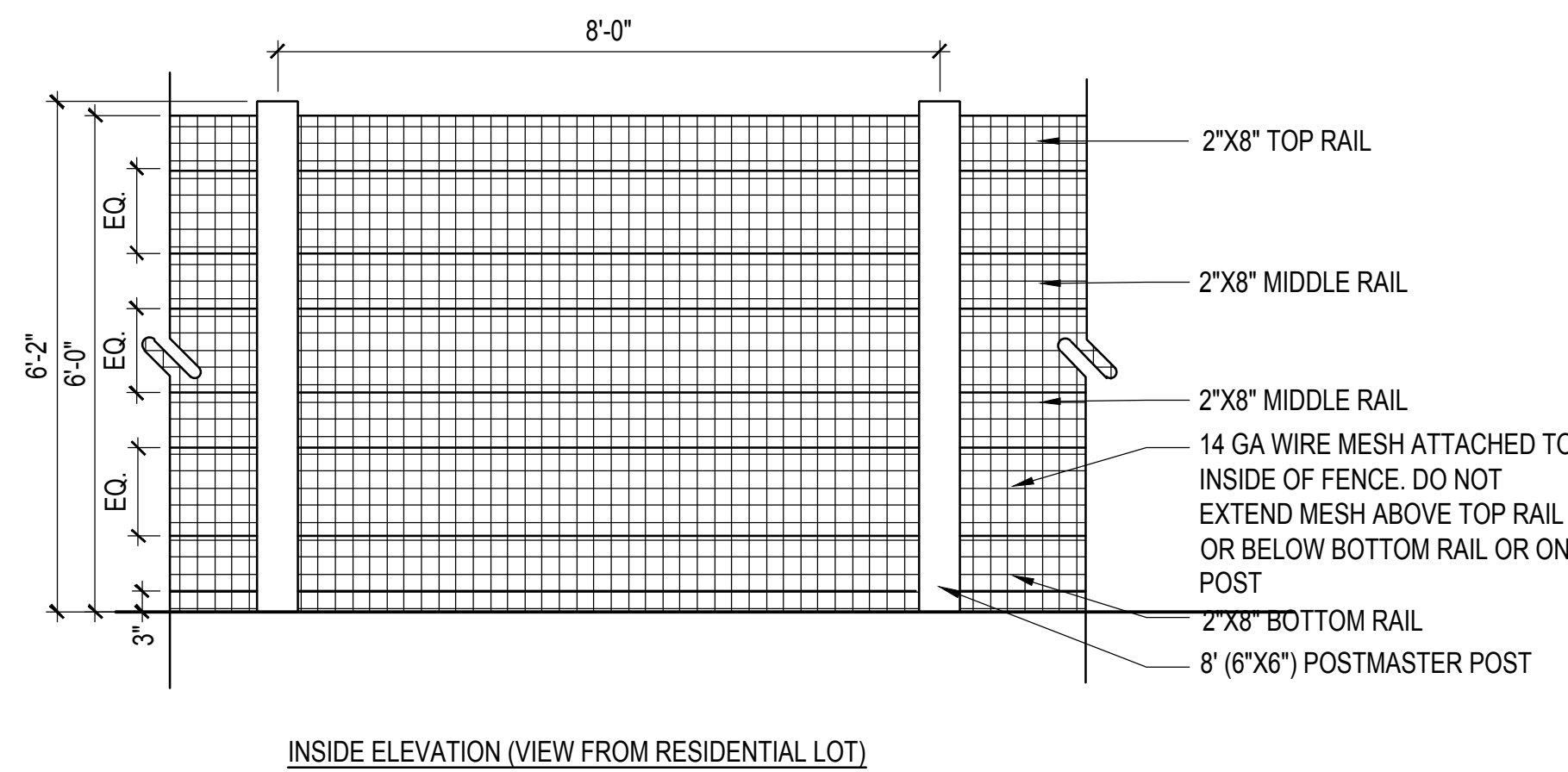
A 3 RAIL FENCE

SCALE: 1/2"=1'-0"

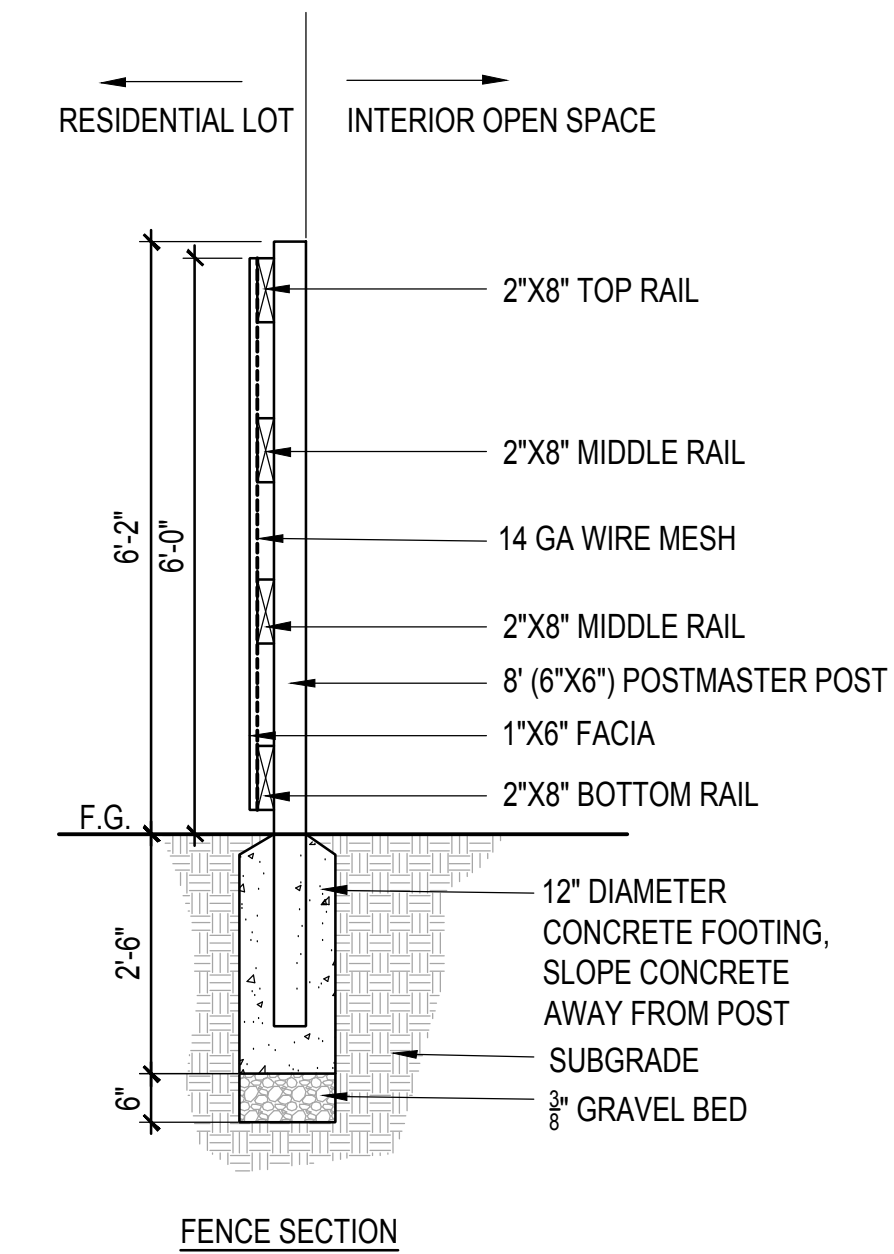
DT-FENC-FILING ONE



OUTSIDE ELEVATION (VIEW FROM OPEN SPACE)



INSIDE ELEVATION (VIEW FROM RESIDENTIAL LOT)



FENCE SECTION

NOTES:

1. ALL FENCING MATERIALS SHALL BE TAN VINYL OR CEDAR PRESSURE TREATED LUMBER #1 GRADE AS DETERMINED BY HOA.
2. DEVELOPER'S STRUCTURAL ENGINEER TO APPROVE ALL COLUMN FOOTINGS.

B 4 RAIL FENCE

SCALE: 1/2"=1'-0"

DT-FENC-FILING ONE



NOT FOR CONSTRUCTION

REV.	COMMENT	DATE

FDP FILING ONE and FILING TWO

Date: 02.07.2022

Drawn By: SL

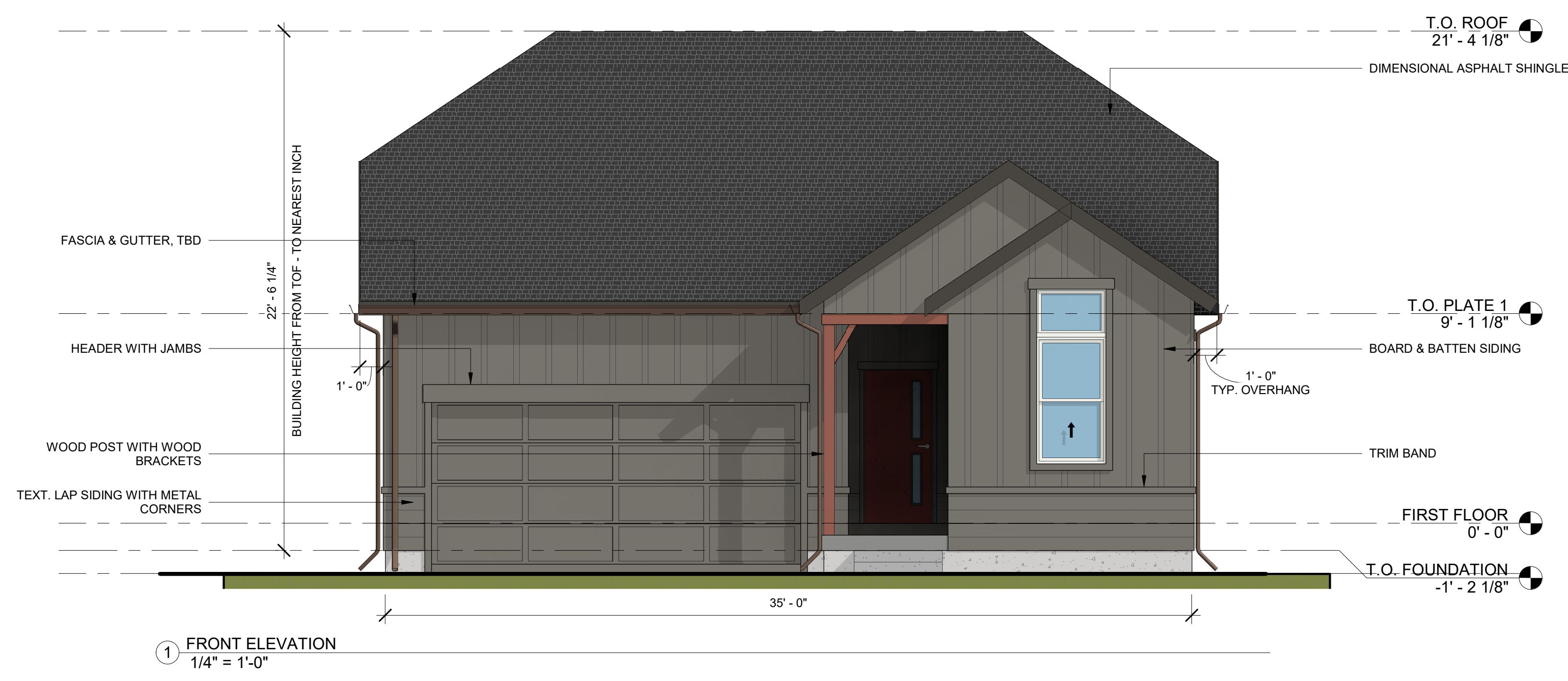
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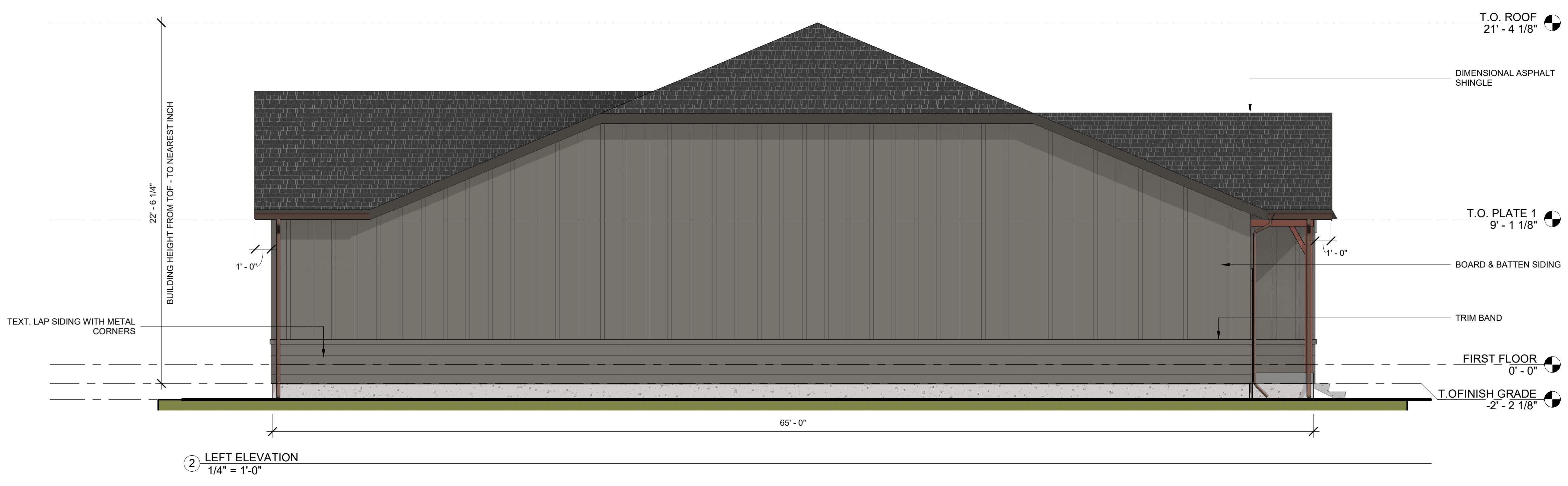
Fencing Details

Sheet

FP501



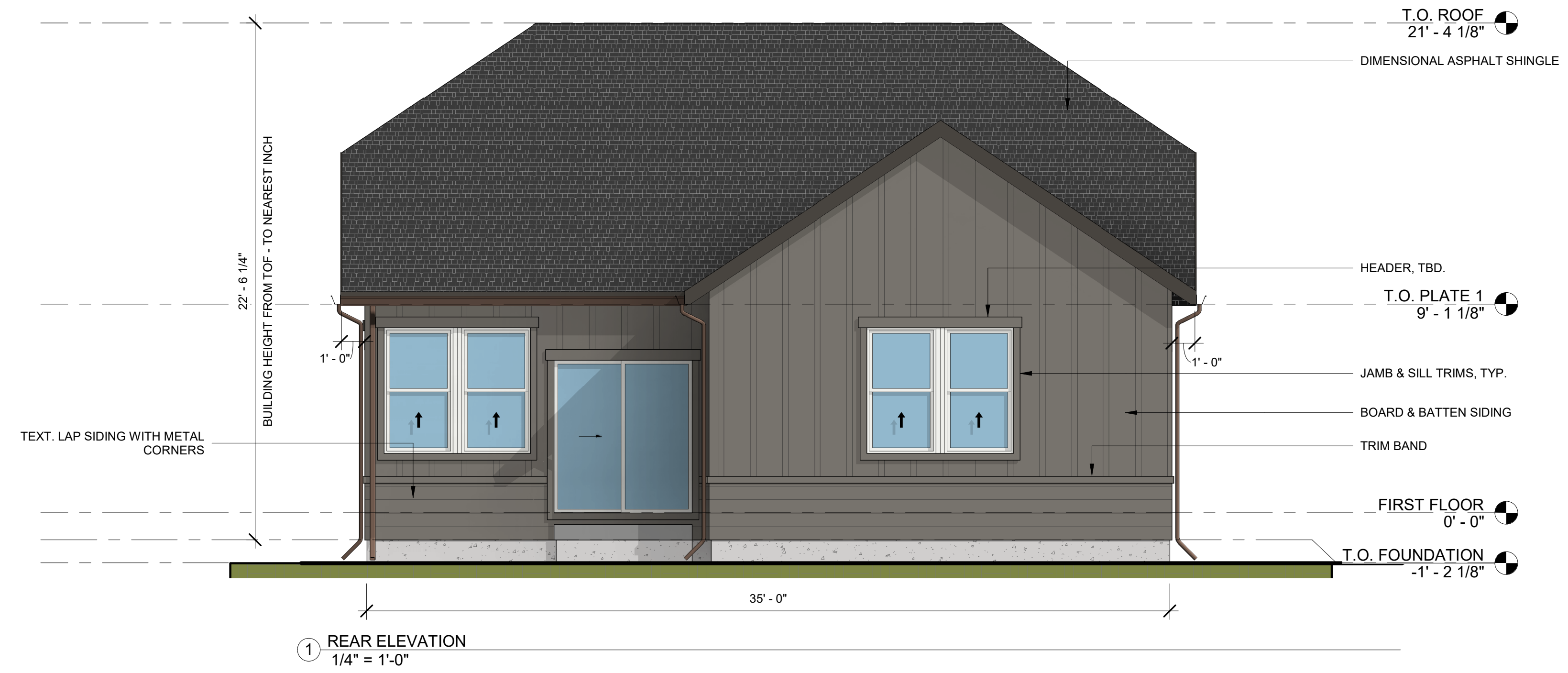
NOTE: PRELIMINARY ARCHITECTURAL RENDERINGS - FINAL DESIGN SUBJECT TO CHANGE



No.	Description	Date

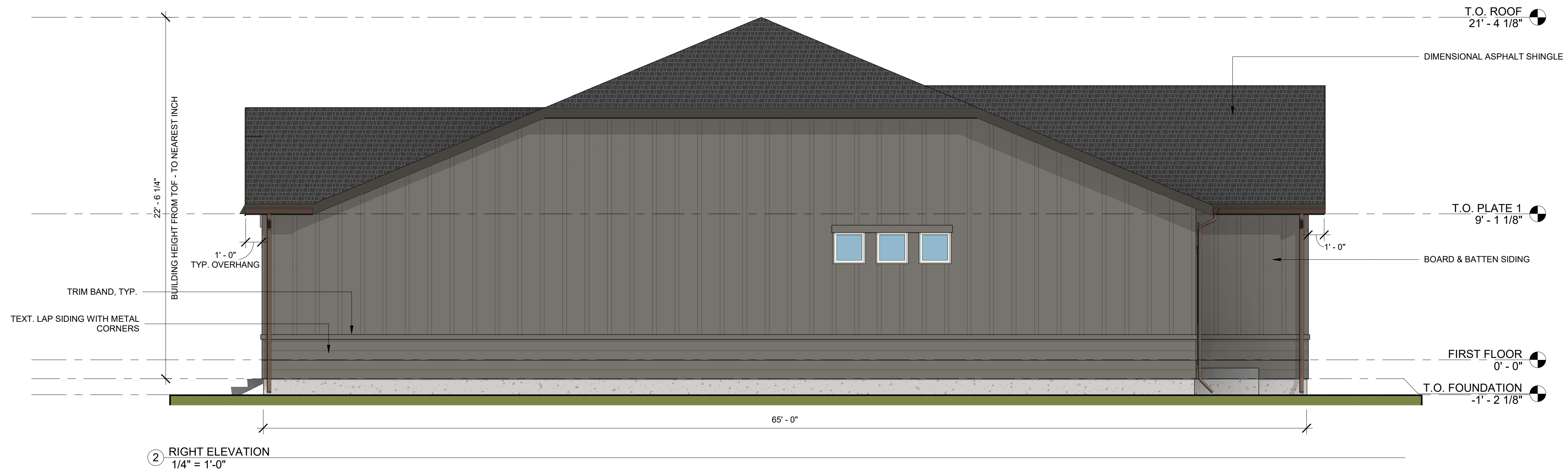
BUILDING ELEVATIONS - CHRISTIE FARMHOUSE

Product Series:	35 FT
Date:	10/01/2021
Drawn by:	OS
Checked by:	AM/DW
A200	
Scale:	1/4" = 1'-0"



NOTE: PRELIMINARY ARCHITECTURAL RENDERINGS - FINAL DESIGN SUBJECT TO CHANGE

No.	Description	Date



BUILDING ELEVATIONS - CHRISTIE FARMHOUSE

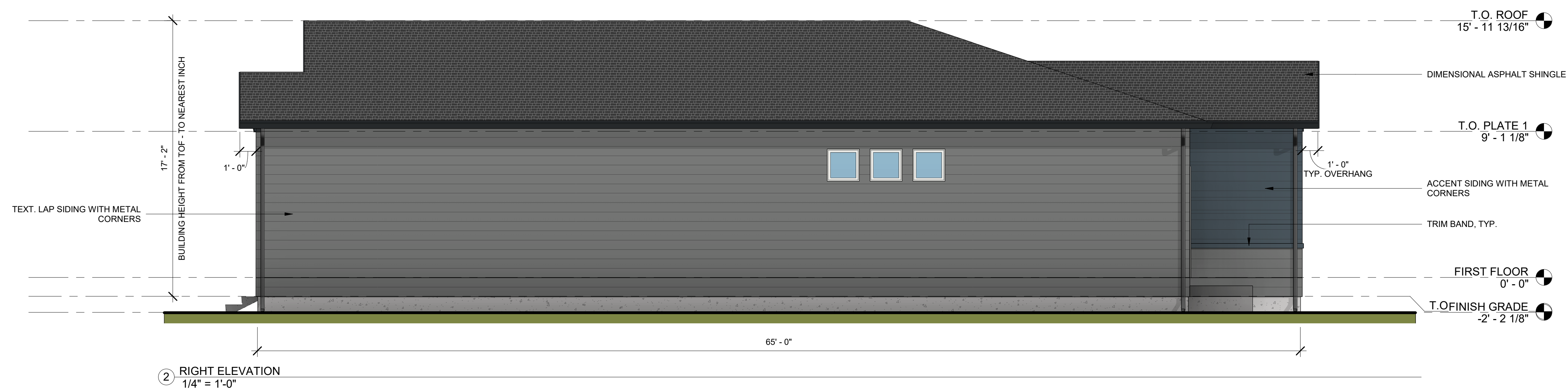
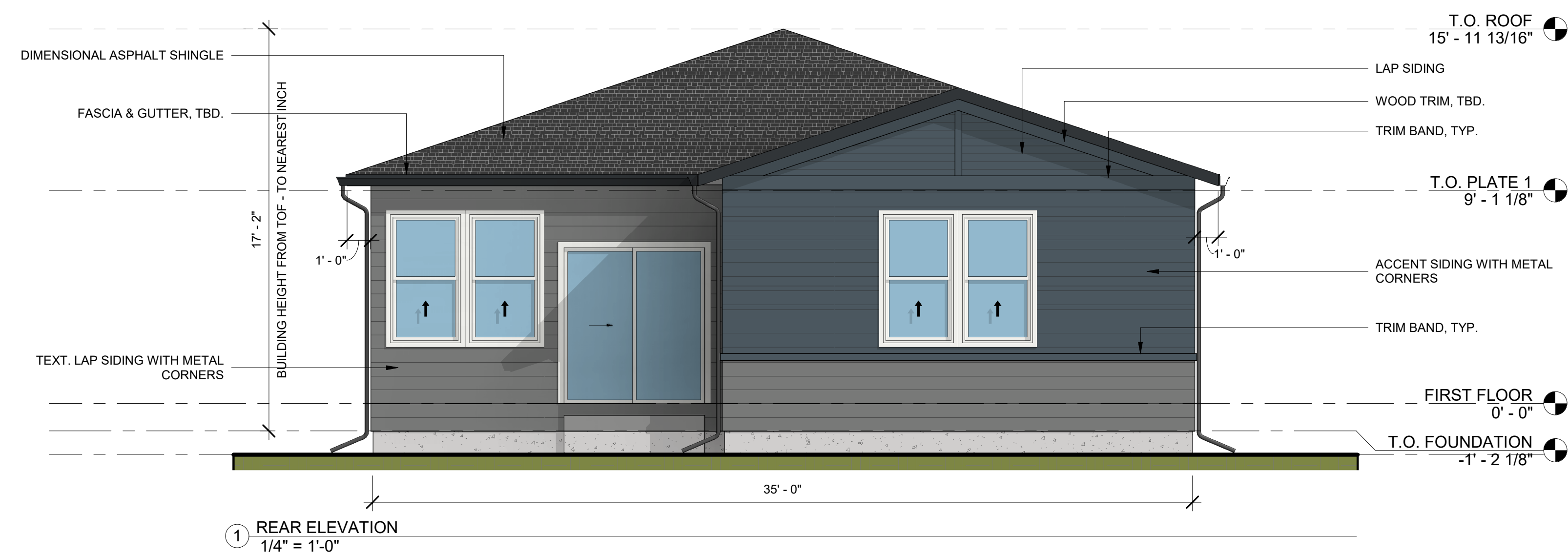
Product Series: 35 FT
Date: 10/01/2021
Drawn by: OS
Checked by: AM/DW

A201

Scale: 1/4" = 1'-0"

HARTFORD HOMES PLAN 2 - CHRISTIE

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



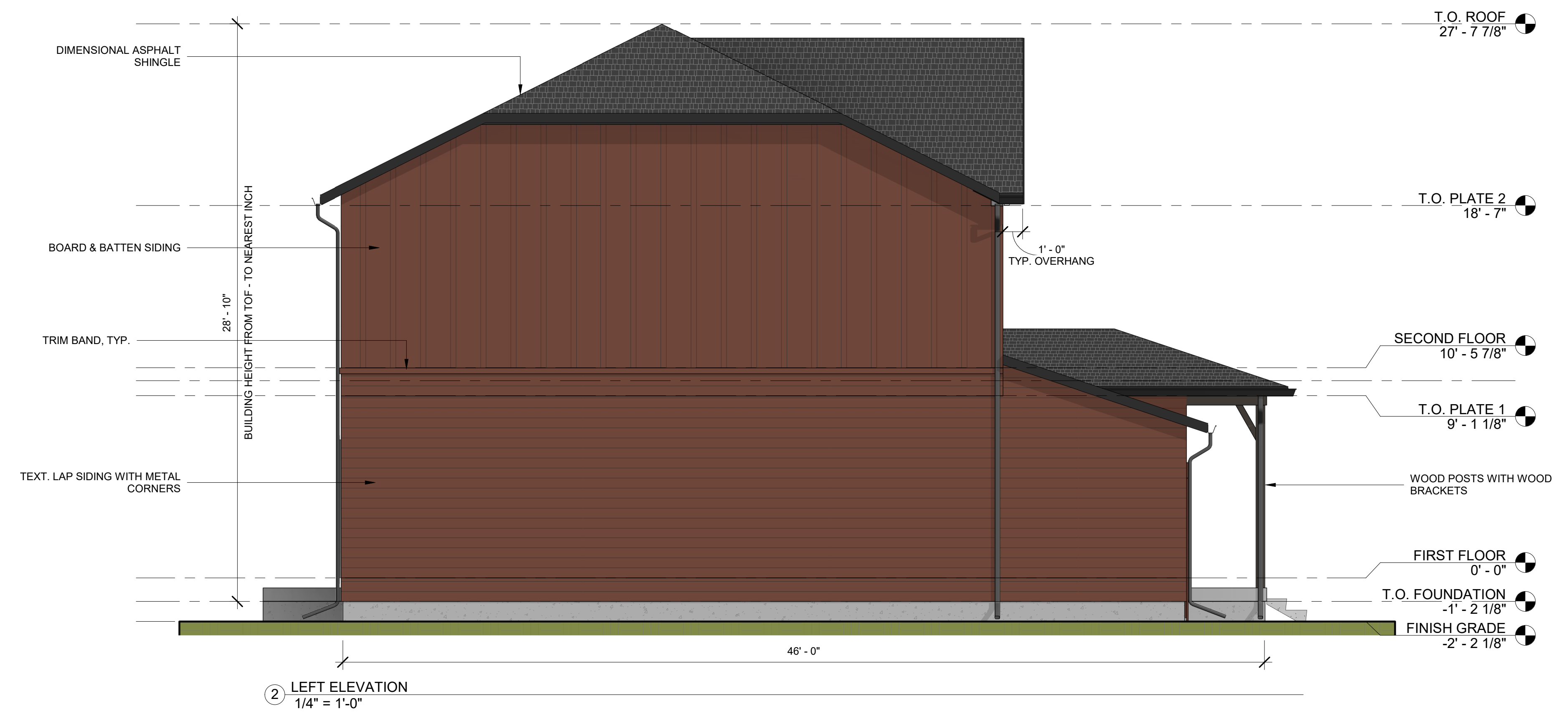
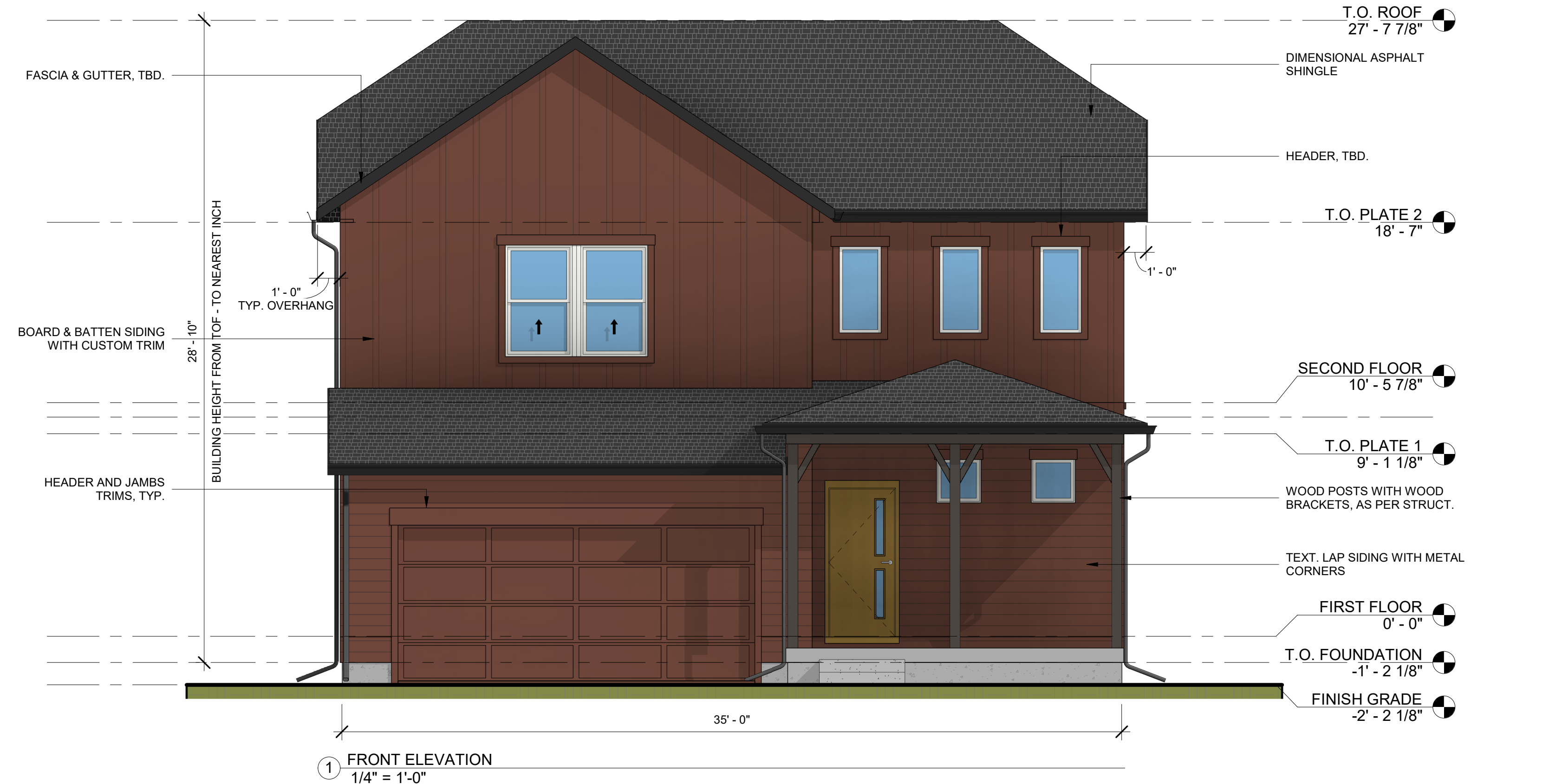
No.	Description	Date

BUILDING ELEVATIONS - CHRISTIE CRAFTSMAN

Product Series:	35 FT
Date	10/06/2021
Drawn by	OS
Checked by	AM/DW
<h2>A203</h2>	
Scale	1/4" = 1'-0"

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE

No.	Description	Date



**BUILDING ELEVATIONS -
FITZGERALD FARMHOUSE**

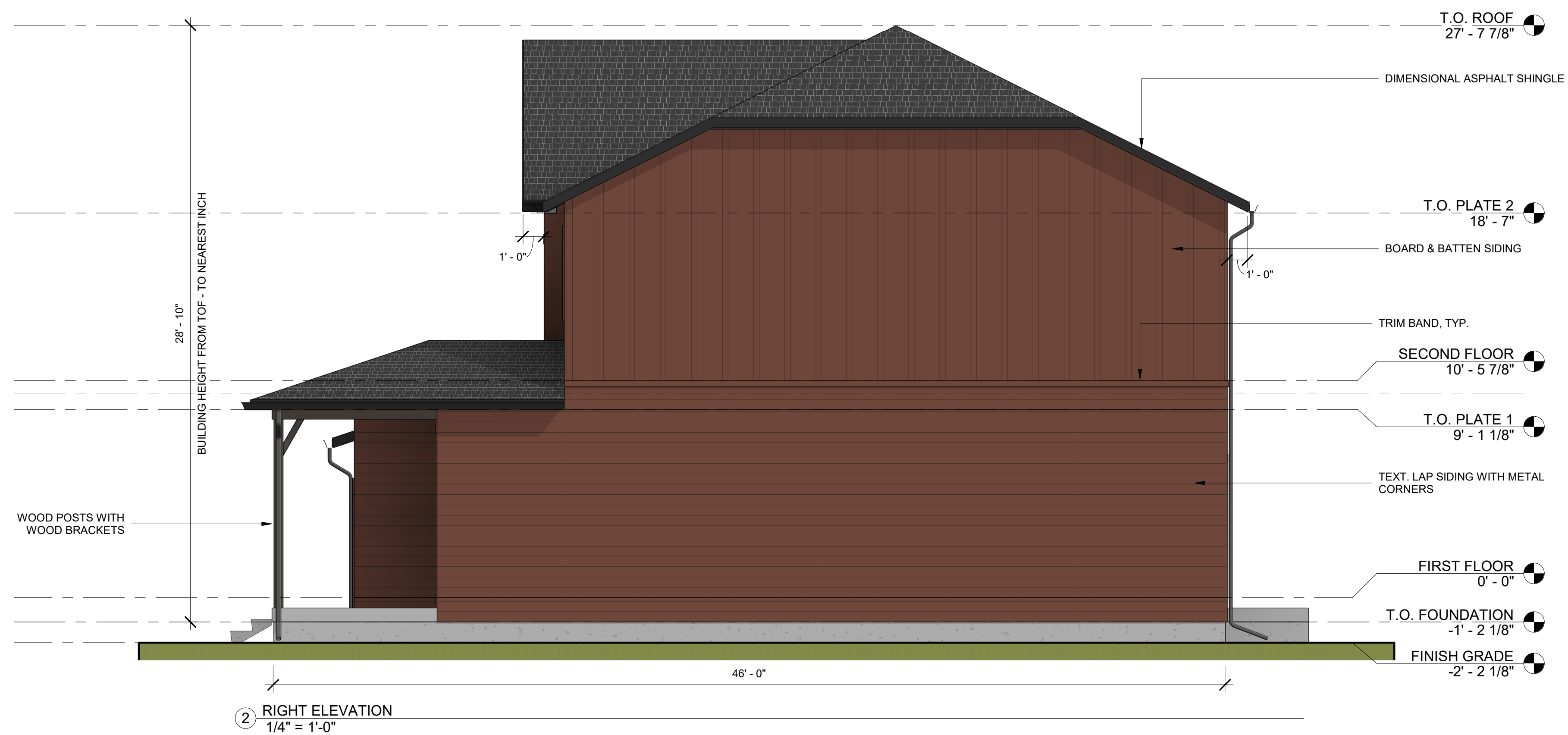
Product Series: 35' SINGLE FAMILY
 Date: 10/06/2021
 Drawn by: OS
 Checked by: DW/AM

A204

Scale: 1/4" = 1'-0"

**HARTFORD HOMES
PLAN 3 - FITZGERALD**

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



No.	Description	Date

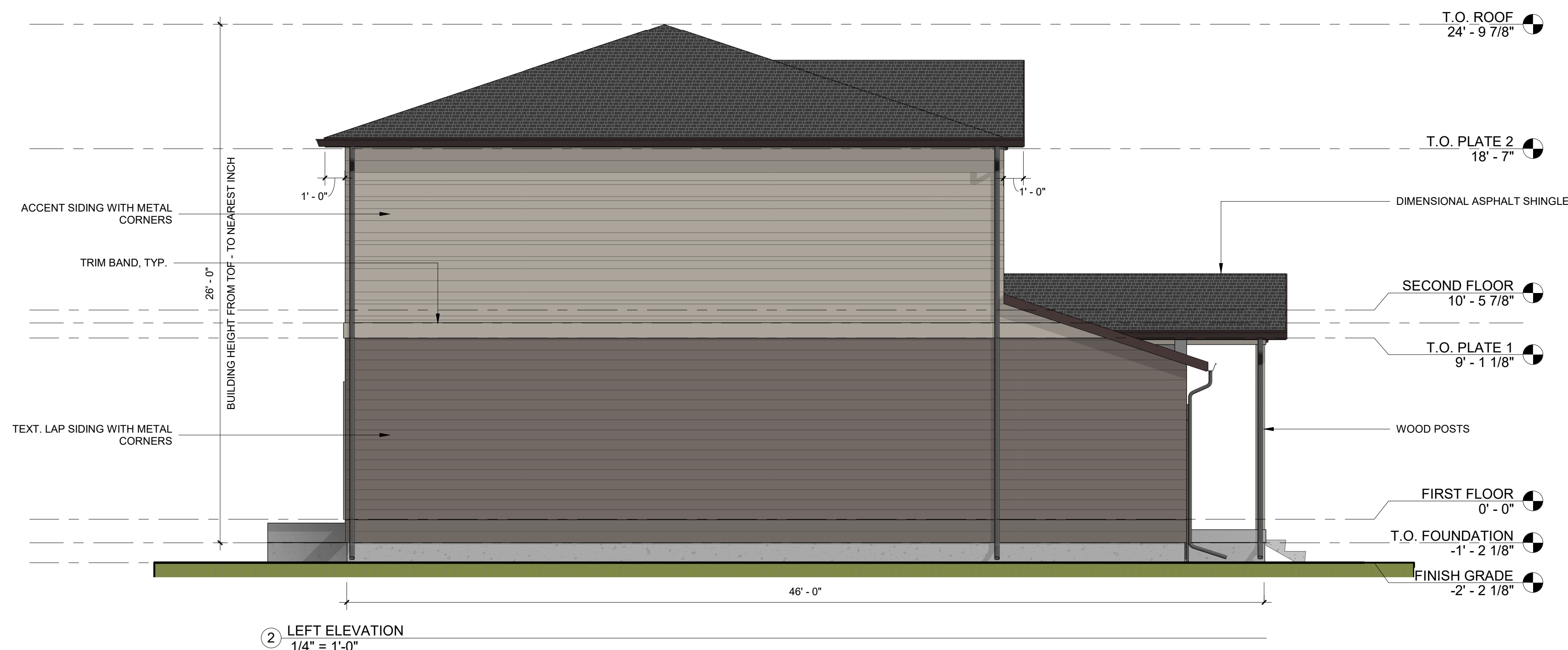
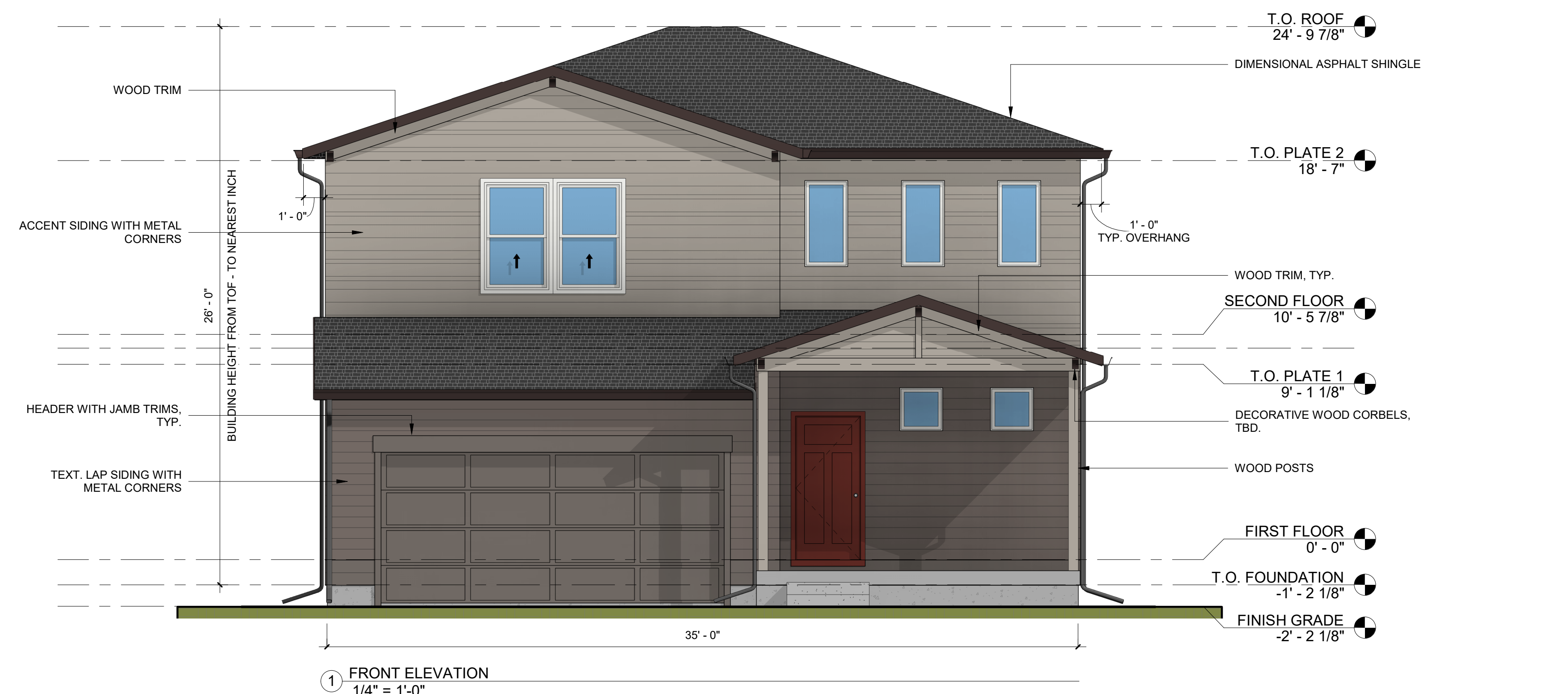
**BUILDING ELEVATIONS -
FITZGERALD FARMHOUSE**

Product Series: 35' SINGLE FAMILY
Date: 10/06/2021
Drawn by: OS
Checked by: DW/AM

A205

Scale: 1/4" = 1'-0"

**HARTFORD HOMES
PLAN 3 - FITZGERALD**



NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE

No.	Description	Date

**BUILDING ELEVATIONS -
FITZGERALD CRAFTSMAN**

Product Series: 35' SINGLE FAMILY
 Date: 10/06/2021
 Drawn by: OS
 Checked by: DW/AM

A206

Scale: 1/4" = 1'-0"

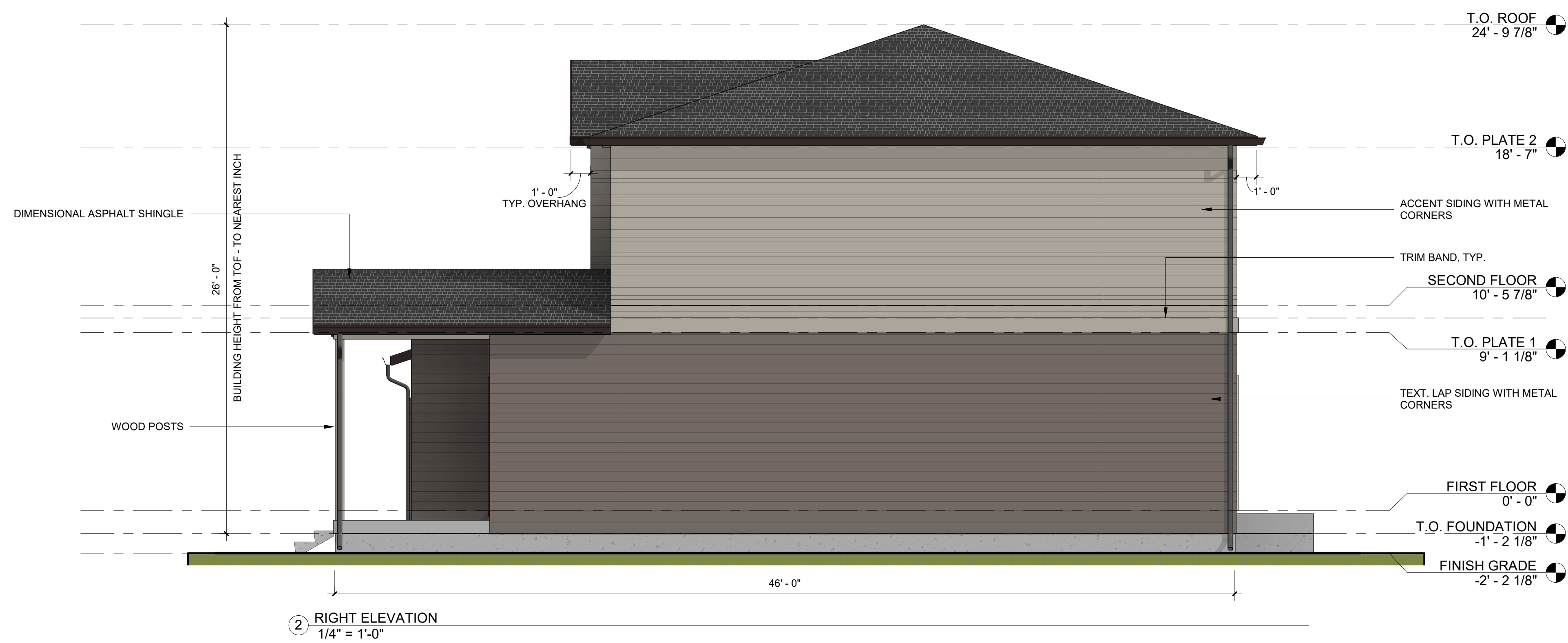


**HARTFORD HOMES
PLAN 3 - FITZGERALD**



① REAR ELEVATION
1/4" = 1'-0"

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



② RIGHT ELEVATION
1/4" = 1'-0"

No.	Description	Date

**BUILDING ELEVATIONS -
FITZGERALD CRAFTSMAN**

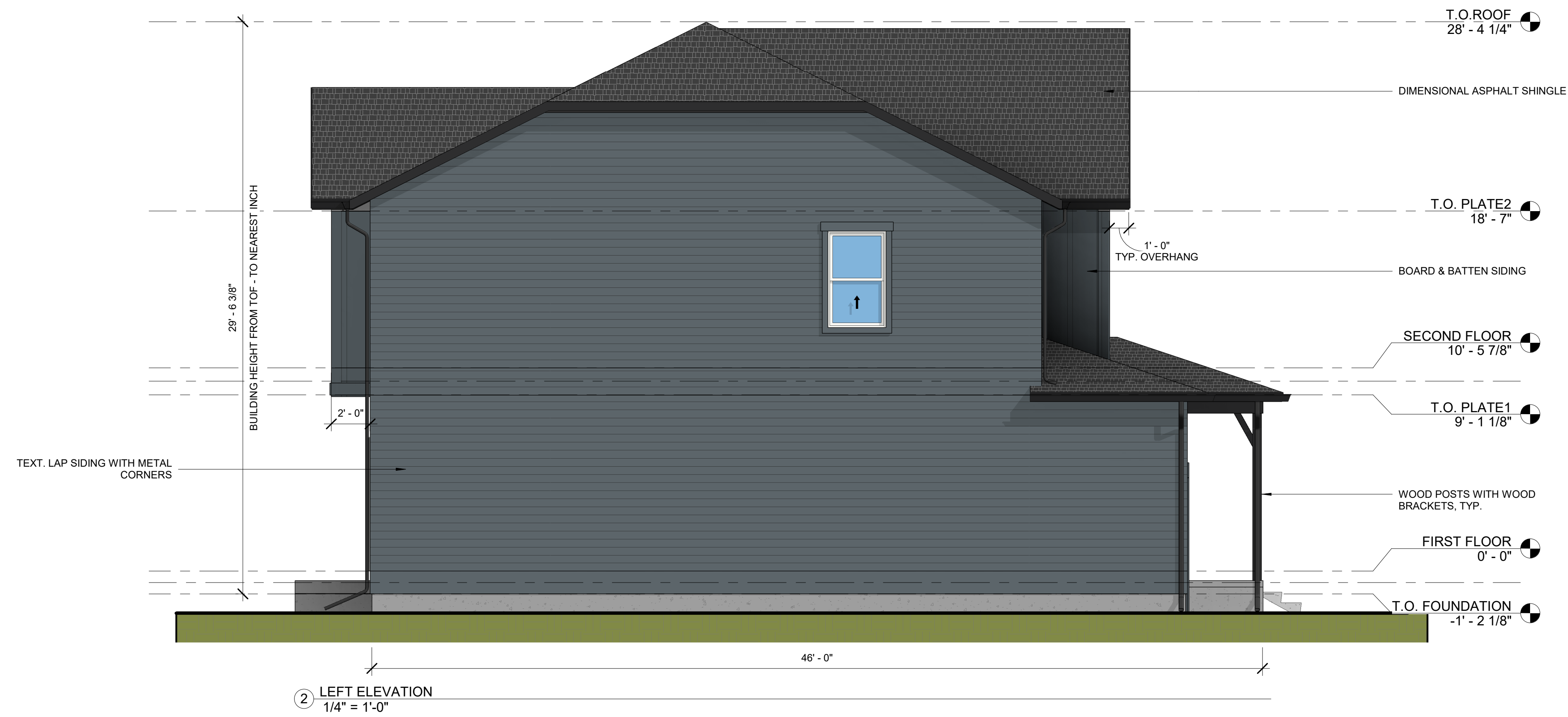
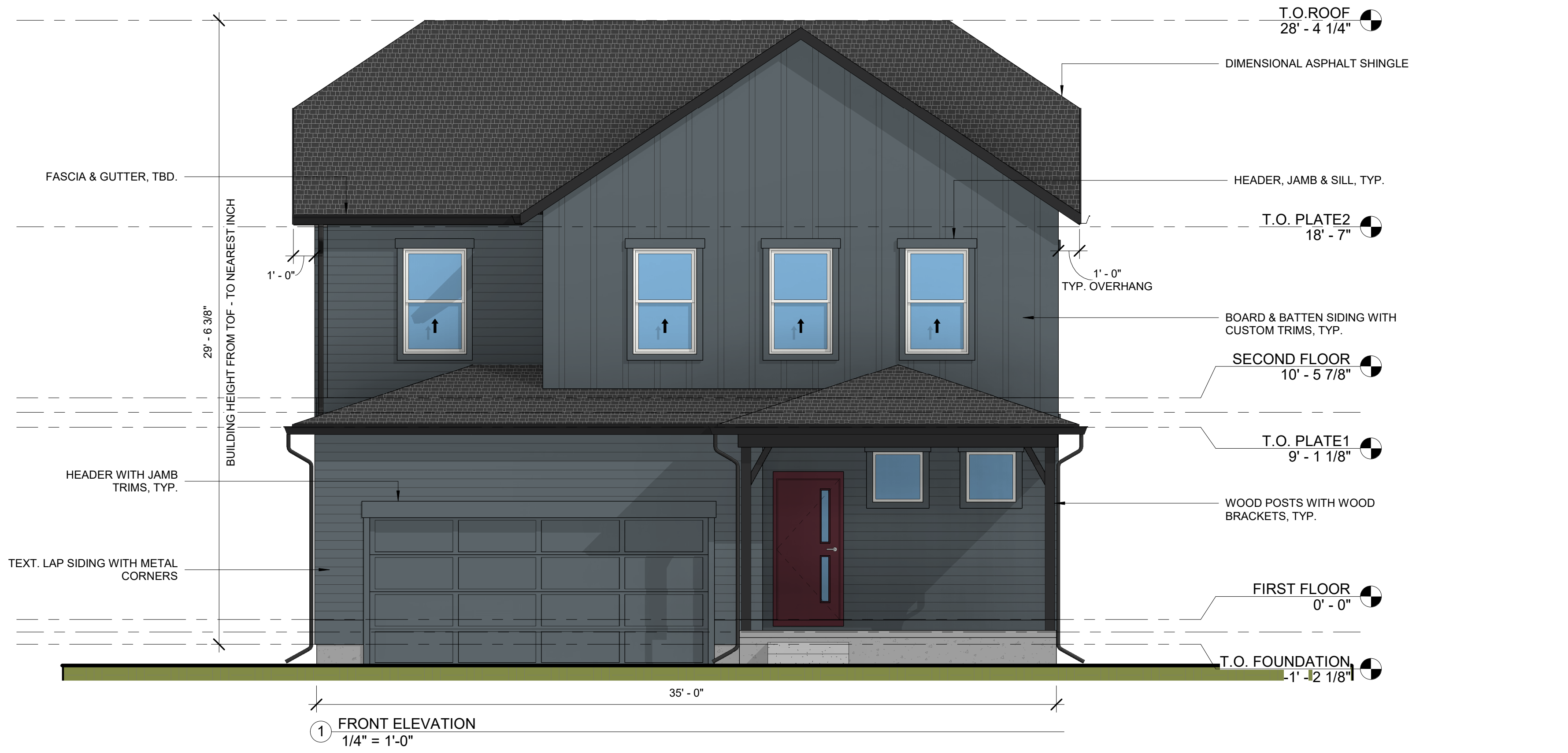
Product Series: 35' SINGLE FAMILY
 Date: 10/06/2021
 Drawn by: OS
 Checked by: DW/AM

A207

Scale: 1/4" = 1'-0"

**HARTFORD HOMES
PLAN 4 - HEMINGWAY**

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



No.	Description	Date

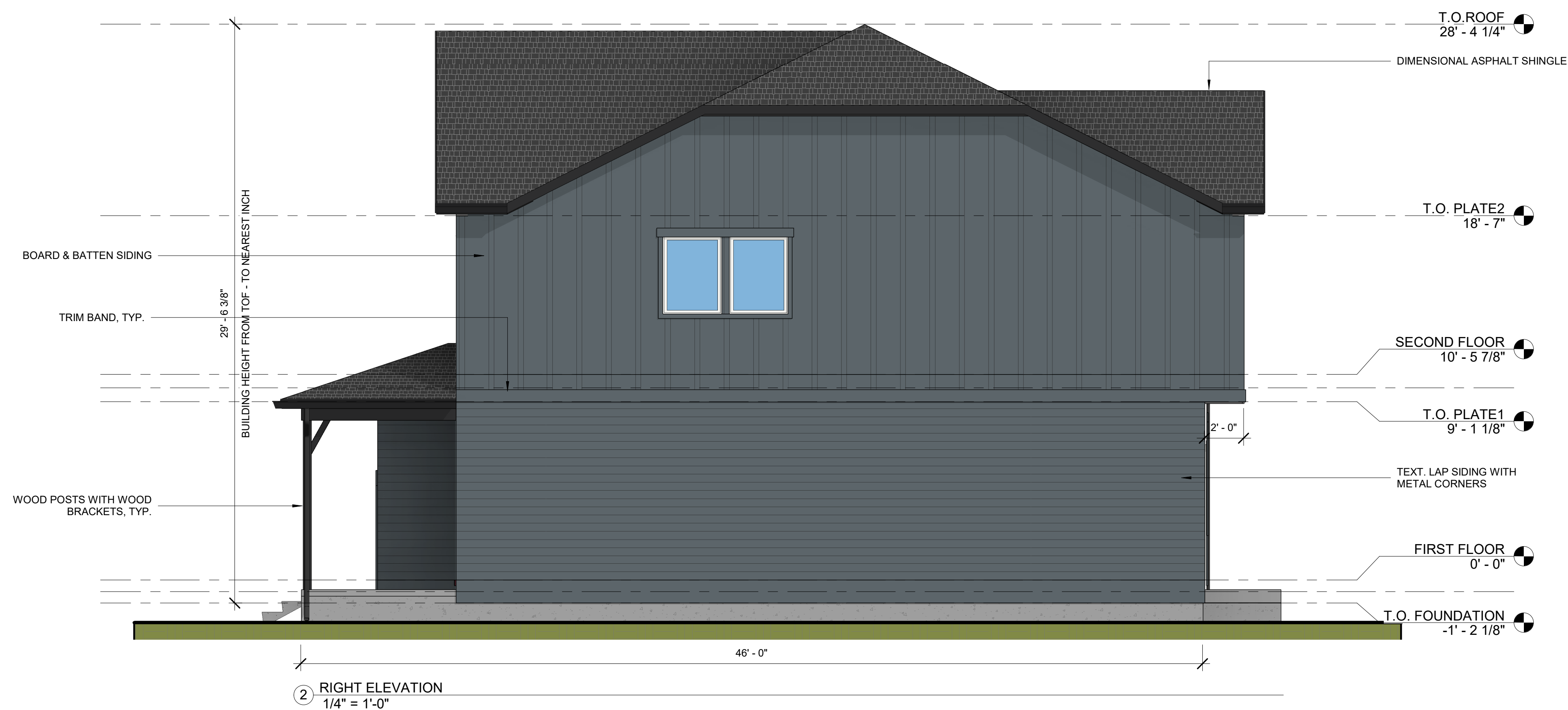
**BUILDING ELEVATIONS
-HEMINGWAY
FARMHOUSE**

Product Type	35 FT
Date	10/06/2021
Drawn by	OS
Checked by	DW/AM
A208	
Scale	1/4" = 1'-0"

**HARTFORD HOMES
PLAN 4 - HEMINGWAY**



NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



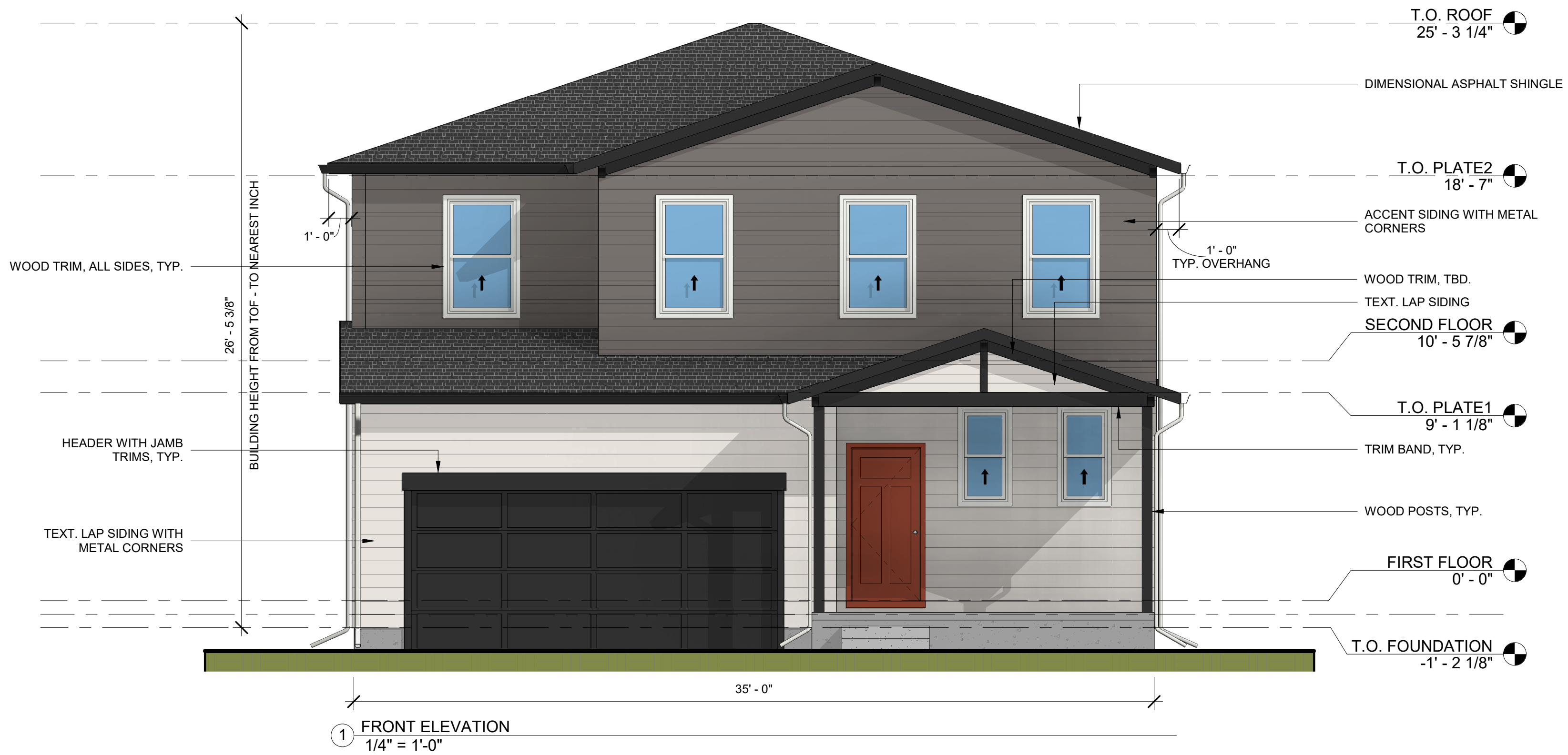
No.	Description	Date

**BUILDING ELEVATIONS
-HEMINGWAY
FARMHOUSE**

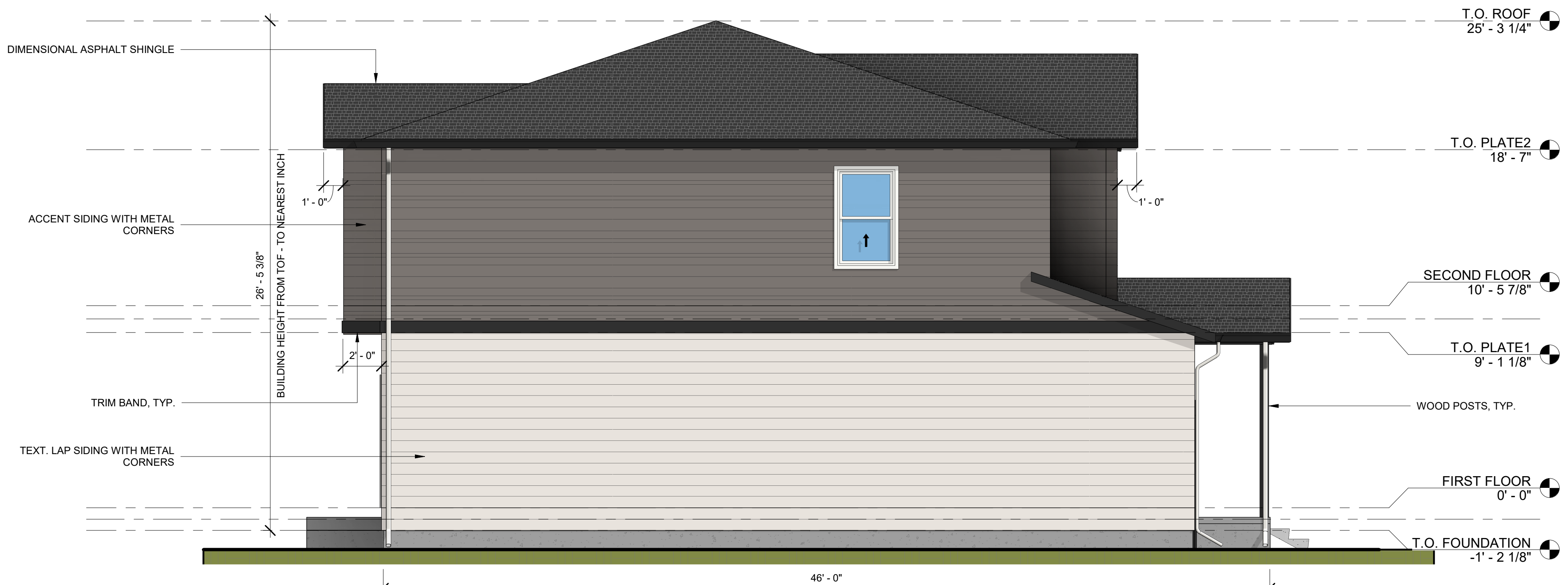
Product Type: 35 FT
 Date: 10/06/2021
 Drawn by: OS
 Checked by: DW/AM

A209

Scale: 1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE

No.	Description	Date

**BUILDING ELEVATIONS
-HEMINGWAY
CRAFTSMAN**

Product Type 35 FT
Date 10/06/2021
Drawn by OS
Checked by DW/AM

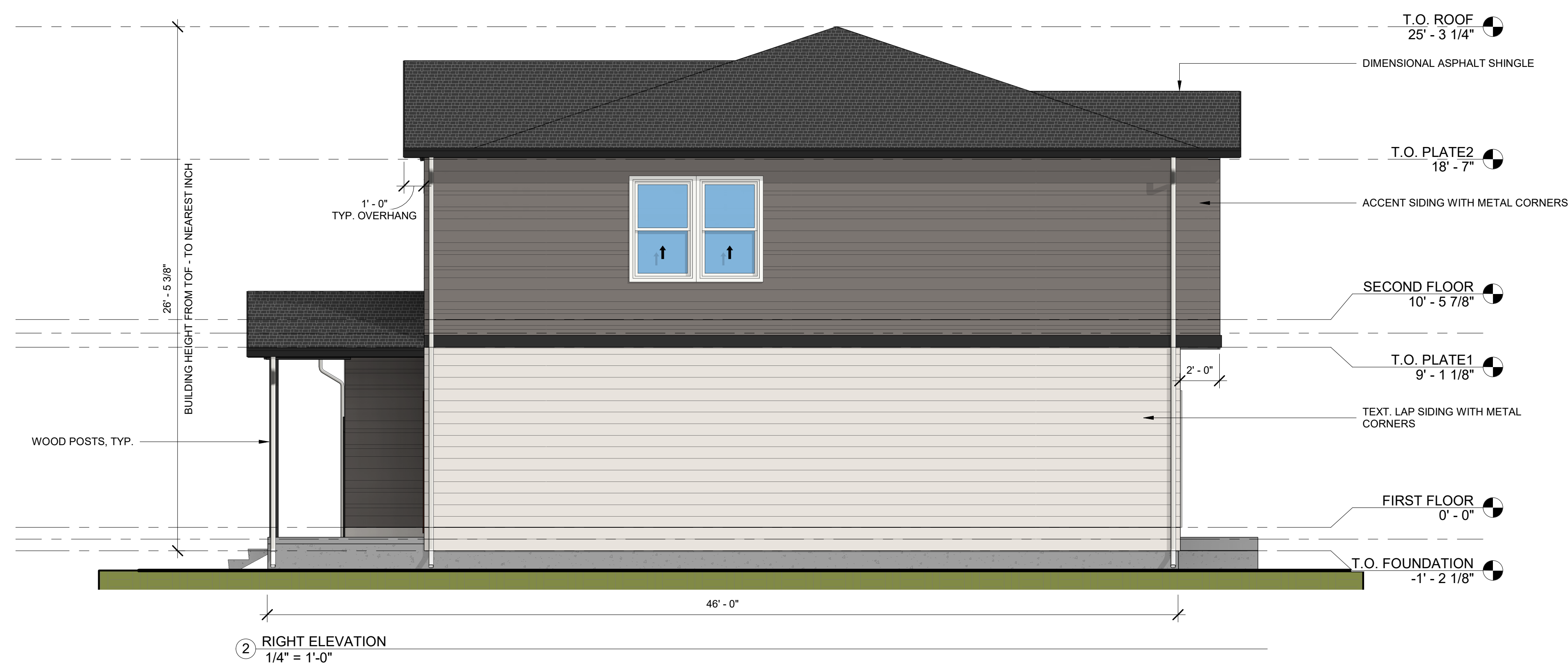
A210

Scale 1/4" = 1'-0"

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



① REAR ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"

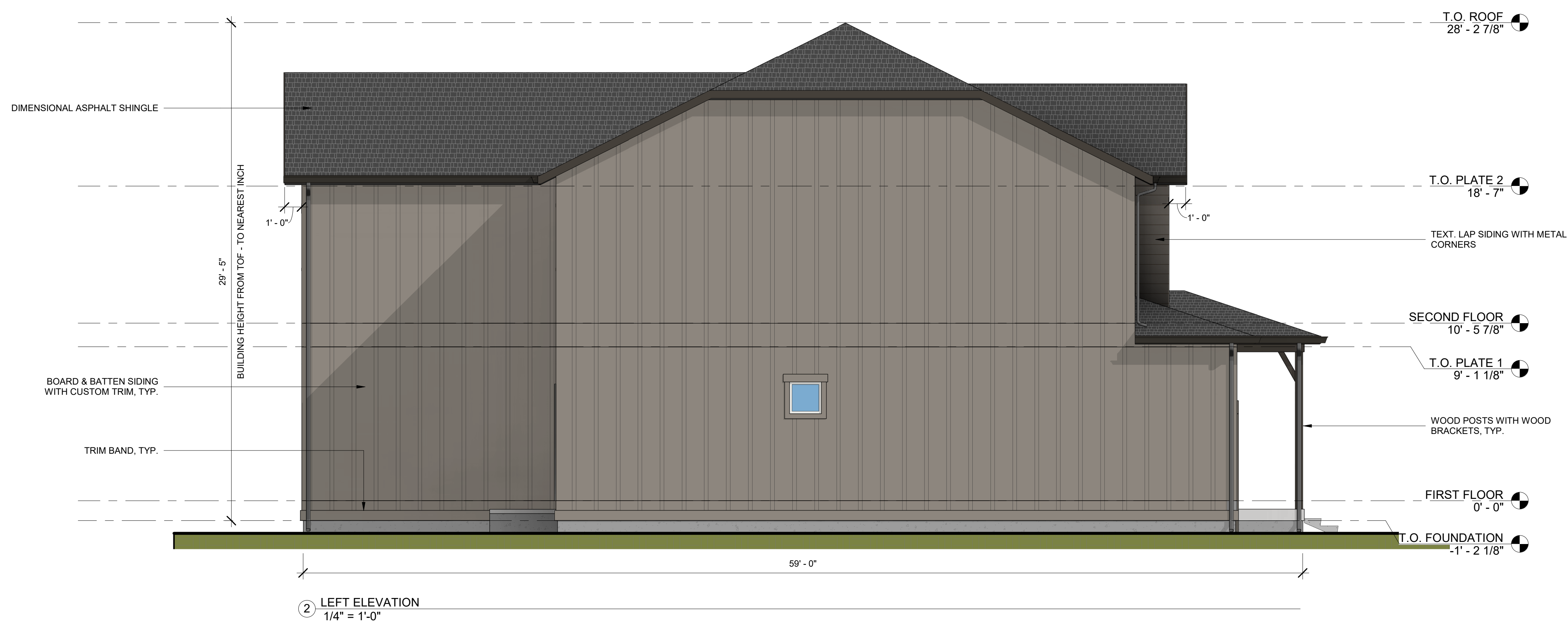
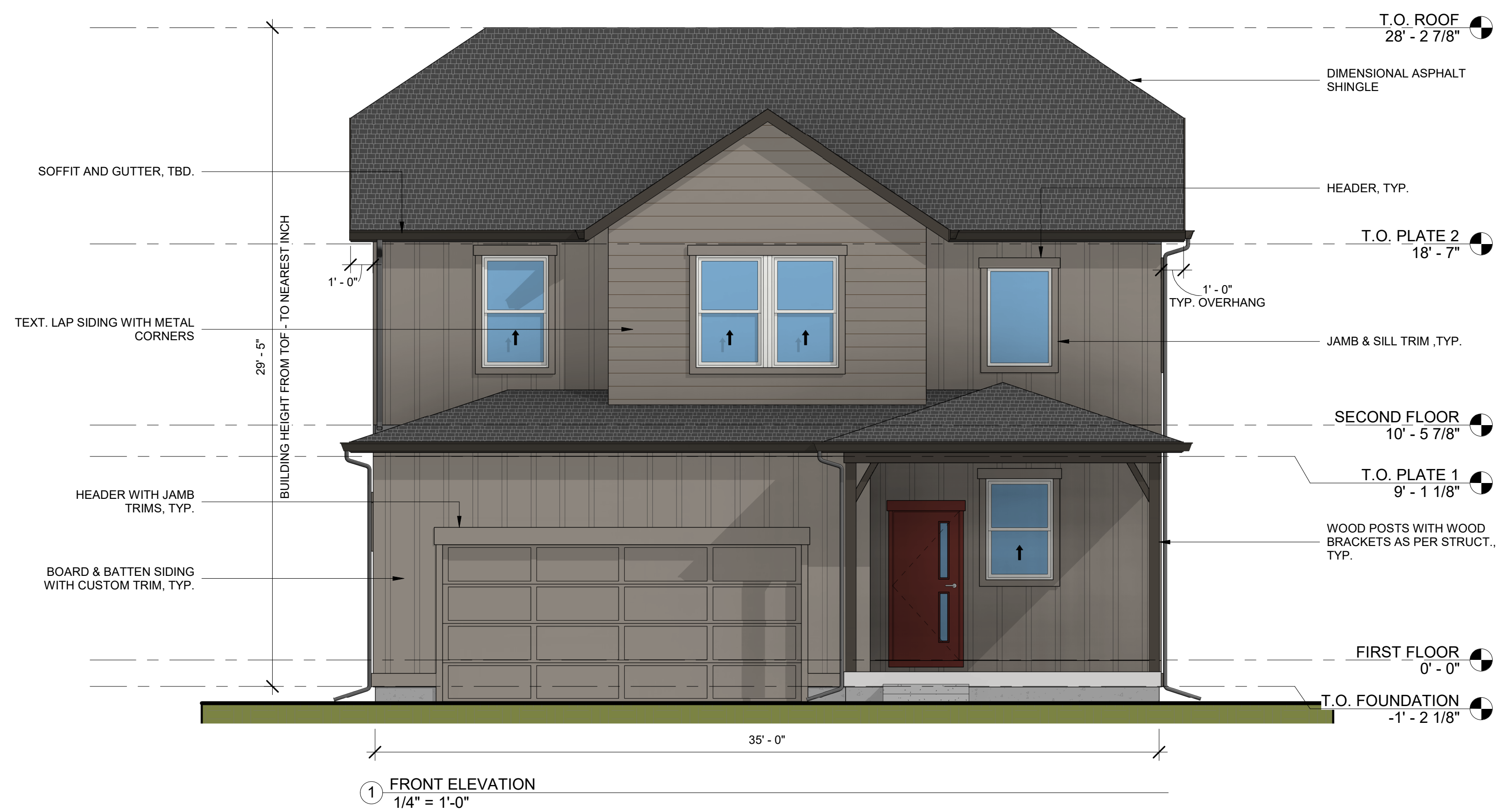
No.	Description	Date

BUILDING ELEVATIONS
-HEMINGWAY
CRAFTSMAN

Product Type	35 FT
Date	10/06/2021
Drawn by	OS
Checked by	DW/AM

A211

NOTE: PRELIMINARY ARCHITECTURAL RENDERINGS - FINAL DESIGN SUBJECT TO CHANGE



No.	Description	Date

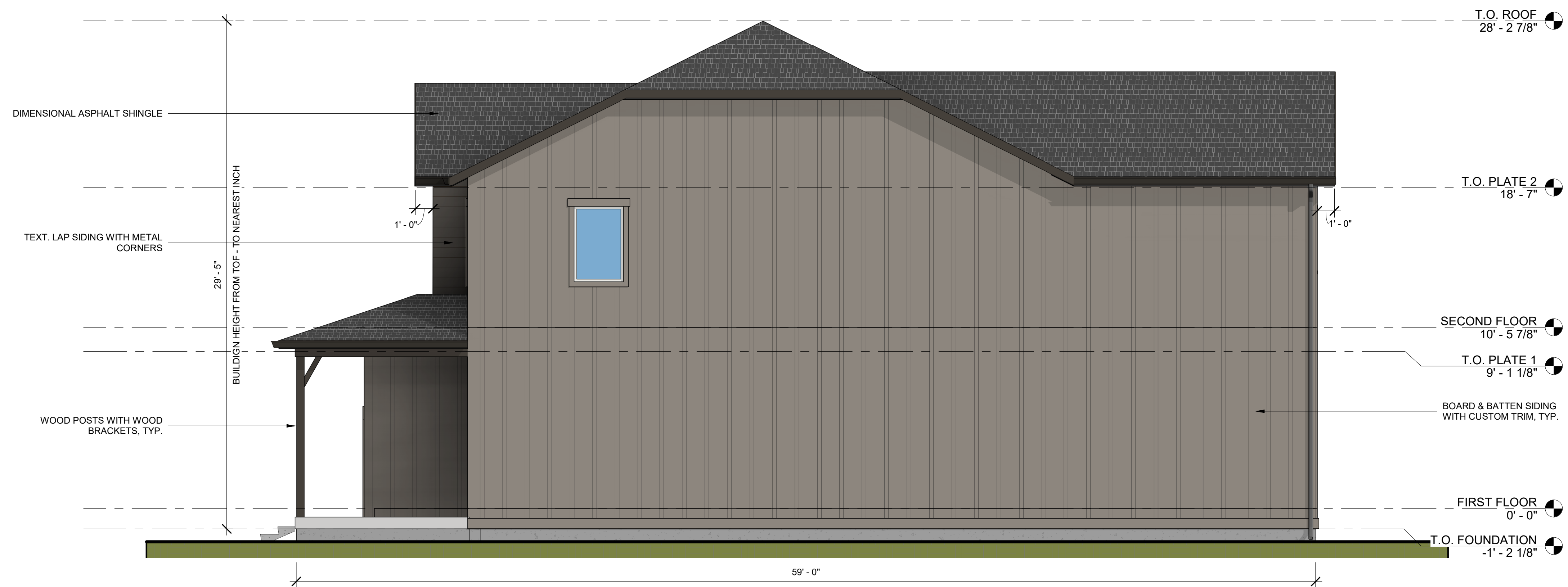
BUILDING ELEVATION -ROWLING FARMHOUSE

Product Type	35 FT
Date	10/06/2021
Drawn by	O.S.
Checked by	AM/DW

A212



① REAR ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"

NOTE: PRELIMINARY ARCHITECTURAL RENDERINGS - FINAL DESIGN SUBJECT TO CHANGE

No.	Description	Date

BUILDING ELEVATIONS - ROWLING FARMHOUSE

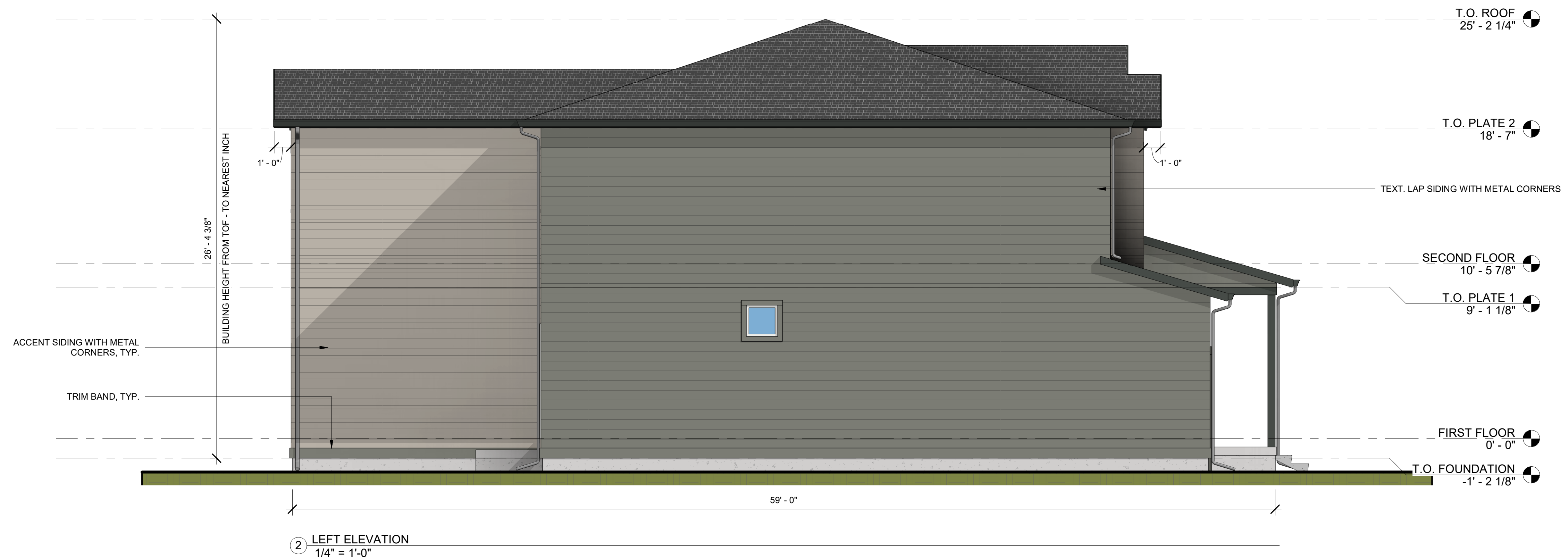
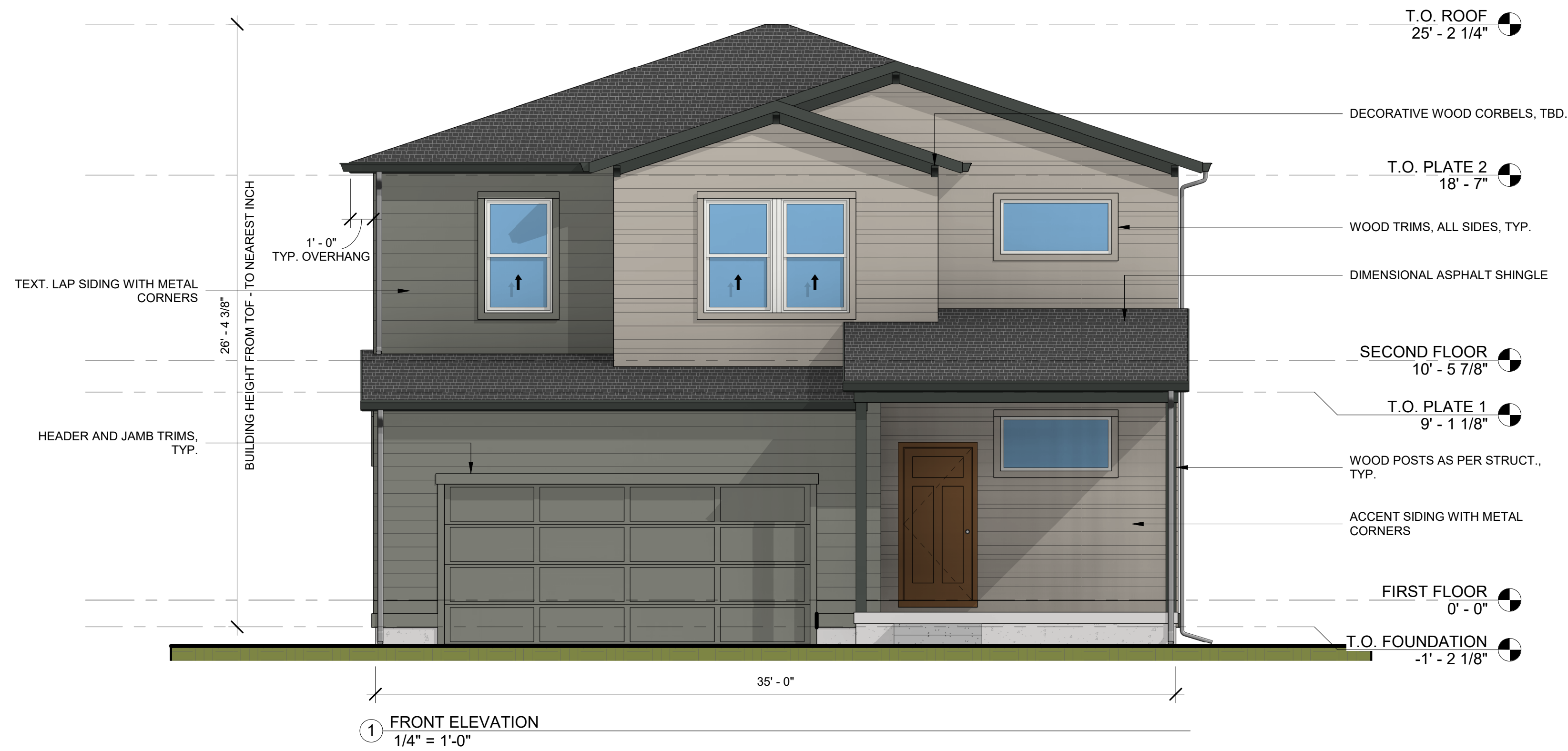
Product Type	35 FT
Date	10/06/2021
Drawn by	OS
Checked by	AM/DW

A213

Scale	1/4" = 1'-0"
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**HARTFORD HOMES
PLAN 5 - ROWLING**

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE

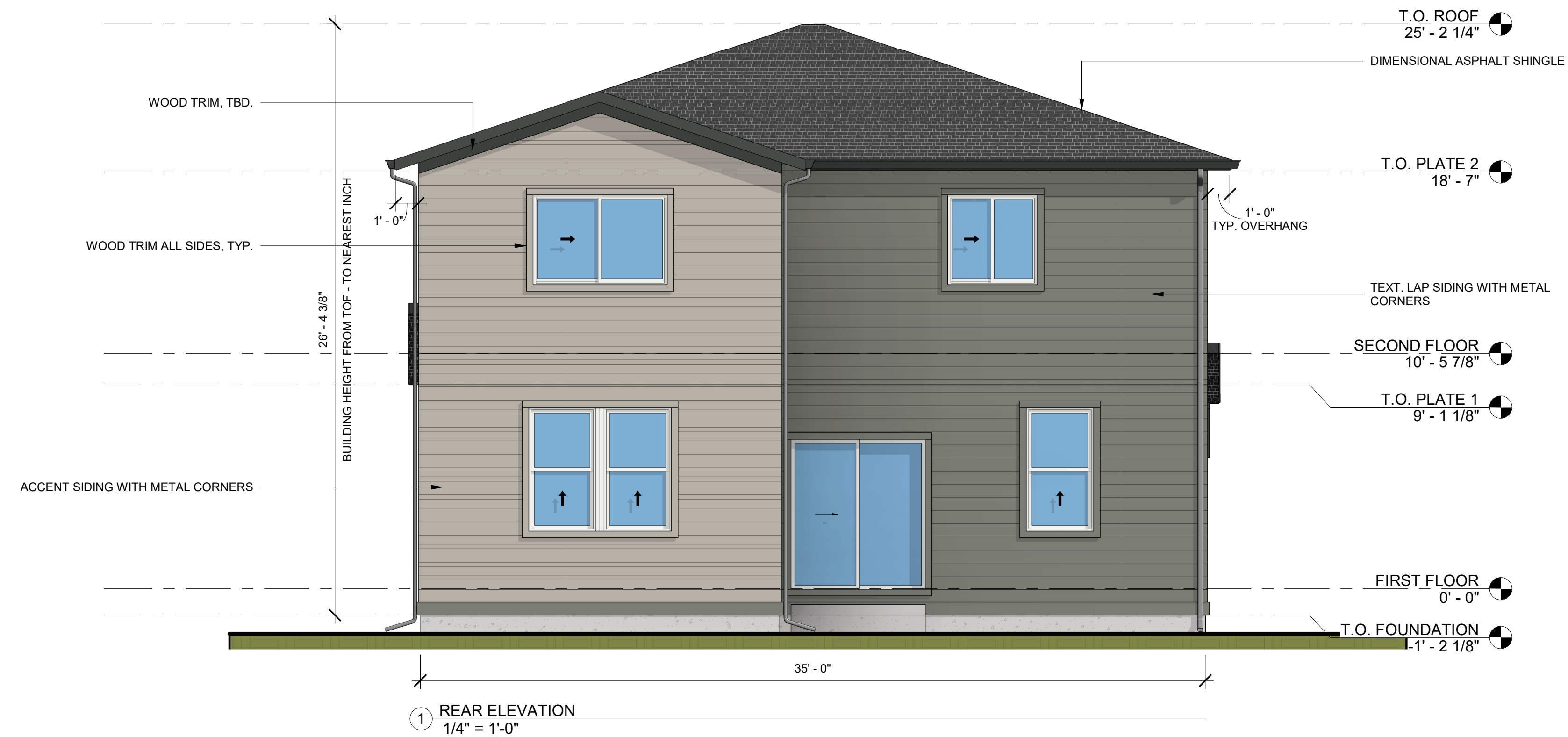


No.	Description	Date

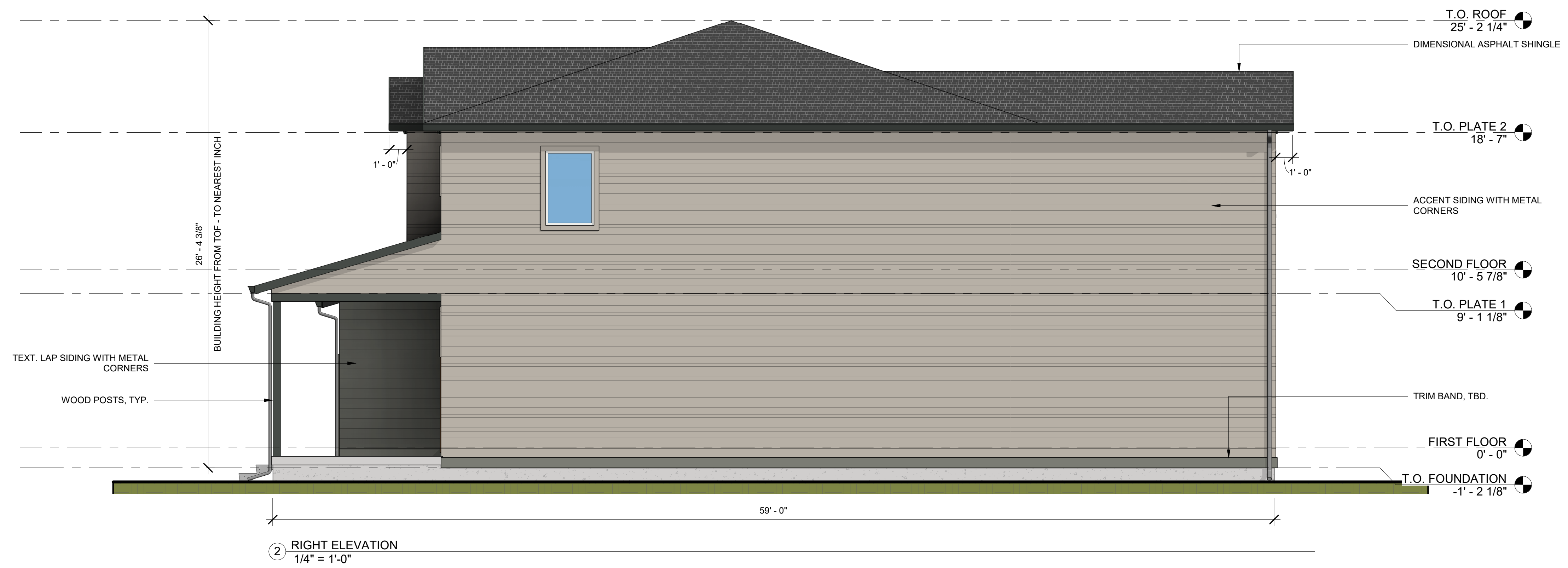
**BUILDING ELEVATIONS
-ROWLING CRAFTSMAN**

Product Type	35FT
Date	10/06/2021
Drawn by	O.S.
Checked by	AM/DW
A214	
Scale	1/4" = 1'-0"

**HARTFORD HOMES
PLAN 5 - ROWLING**



NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



No.	Description	Date

**BUILDING ELEVATIONS
-ROWLING CRAFTSMAN**

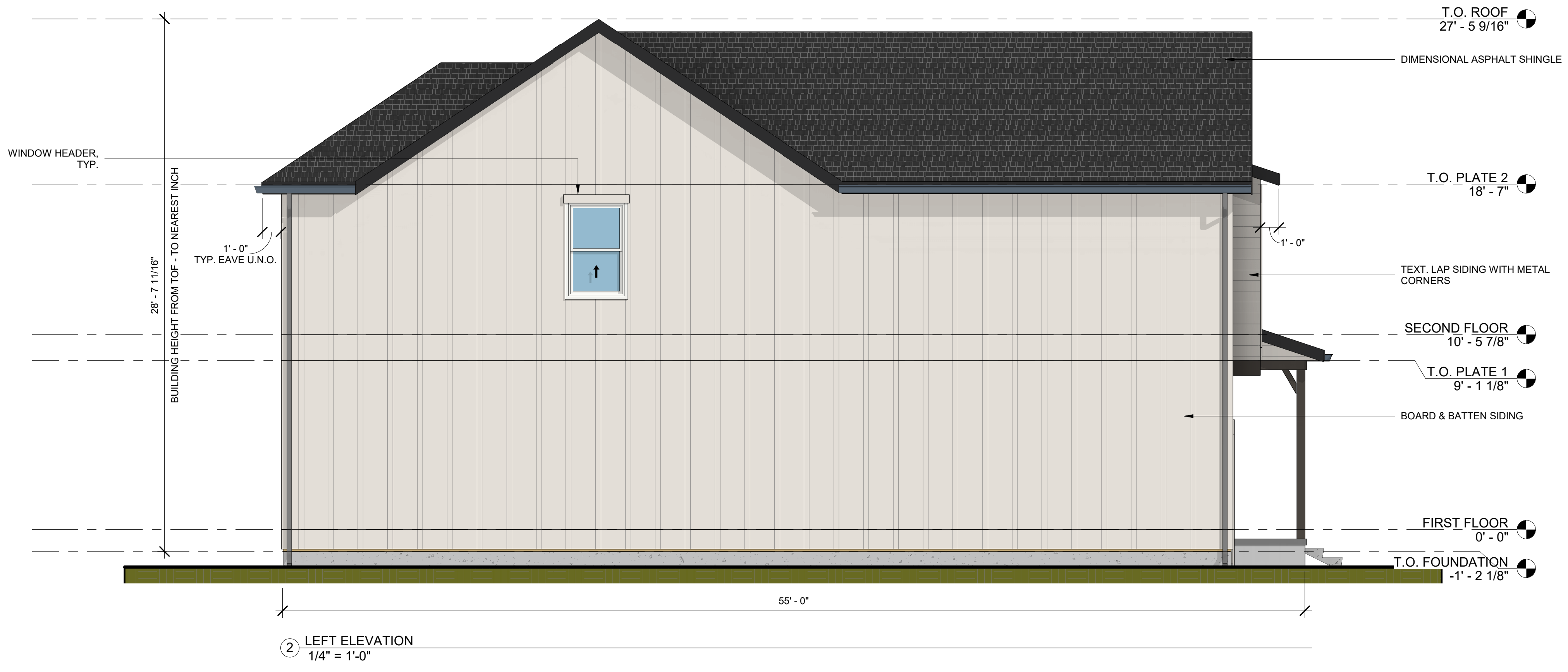
Product Type 35FT
Date 10/06/2021
Drawn by O.S.
Checked by AM/DW

A215

Scale 1/4" = 1'-0"

HARTFORD HOMES PLAN 6 - TWAIN

NOTE: PRELIMINARY ARCHITECTURAL RENDERINGS - FINAL DESIGN SUBJECT TO CHANGE



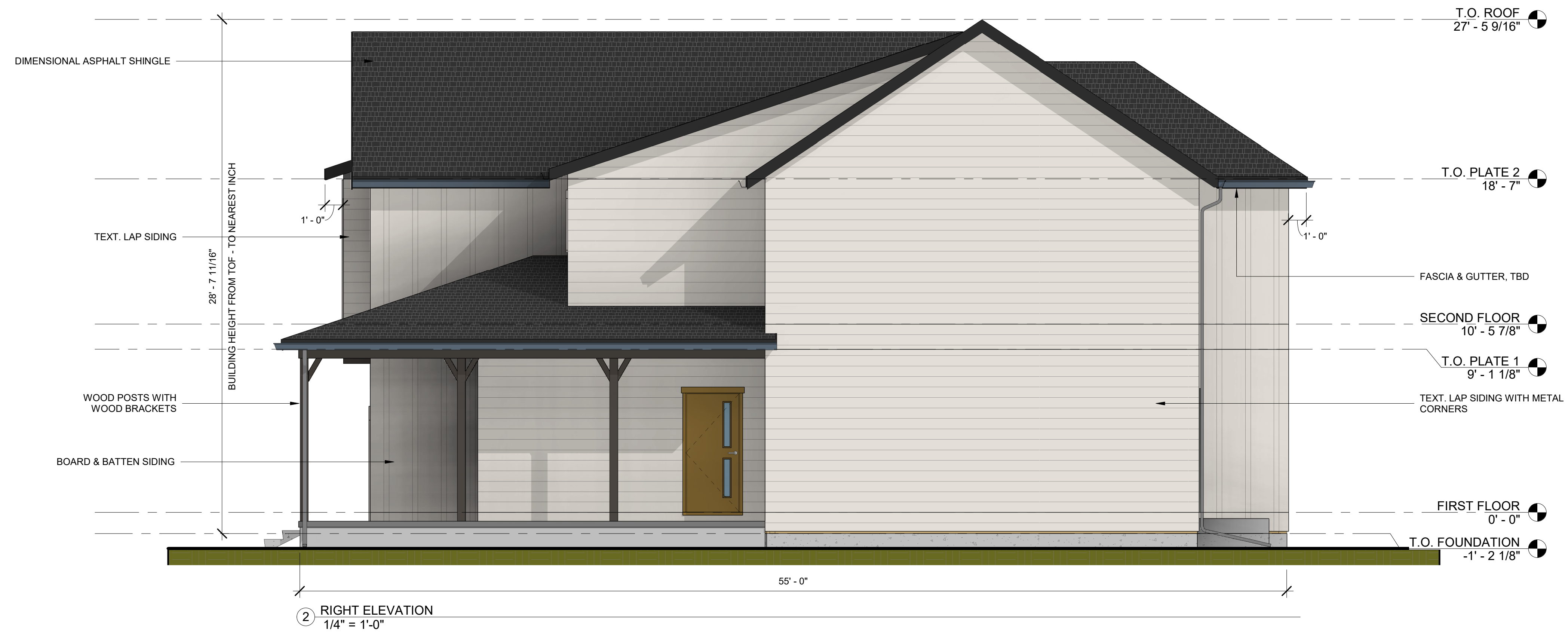
No.	Description	Date

BUILDING ELEVATIONS -TWAIN FARMHOUSE

Product Type	35FT
Date	10/06/2021
Drawn by	O.S.
Checked by	AM/DW
A216	
Scale	1/4" = 1'-0"

**HARTFORD HOMES
PLAN 6 - TWAIN**

NOTE: PRELIMINARY ARCHITECTURAL RENDERINGS - FINAL DESIGN SUBJECT TO CHANGE



No.	Description	Date

**BUILDING ELEVATIONS
- TWAIN FARMHOUSE**

Product Type 35FT
Date 10/06/2021
Drawn by OS
Checked by AM/DW

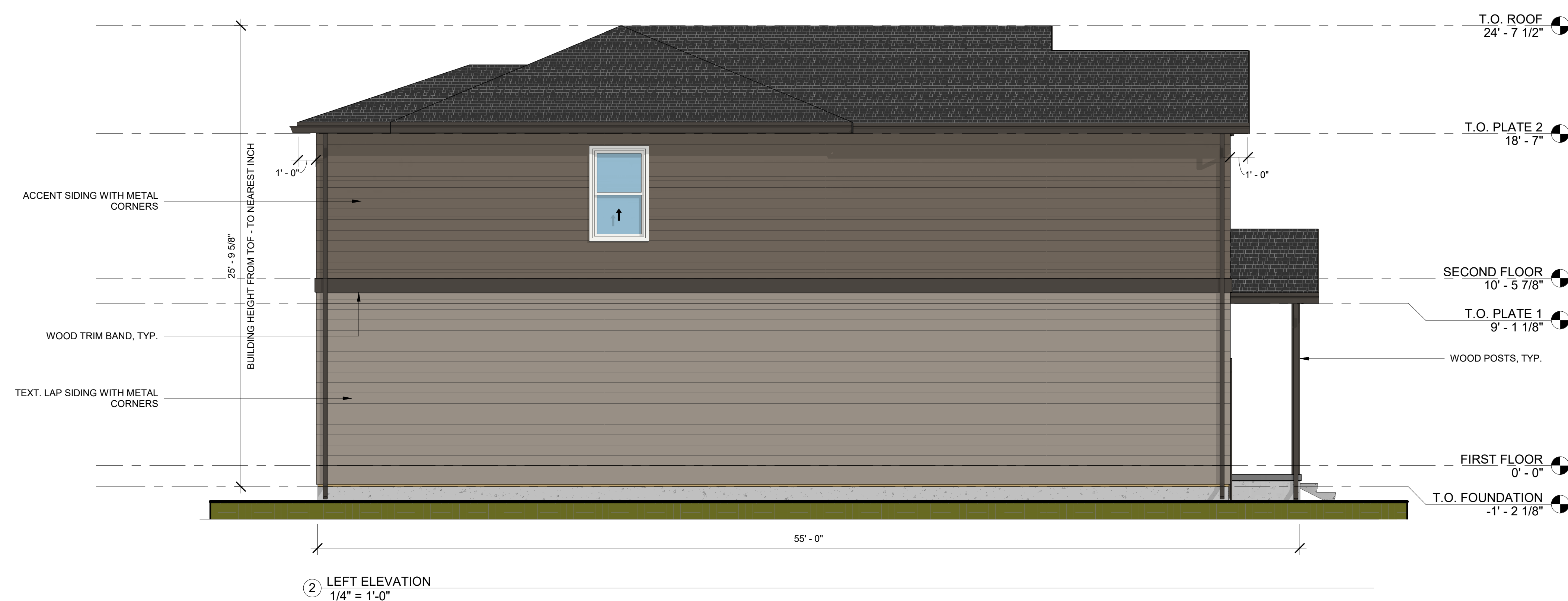
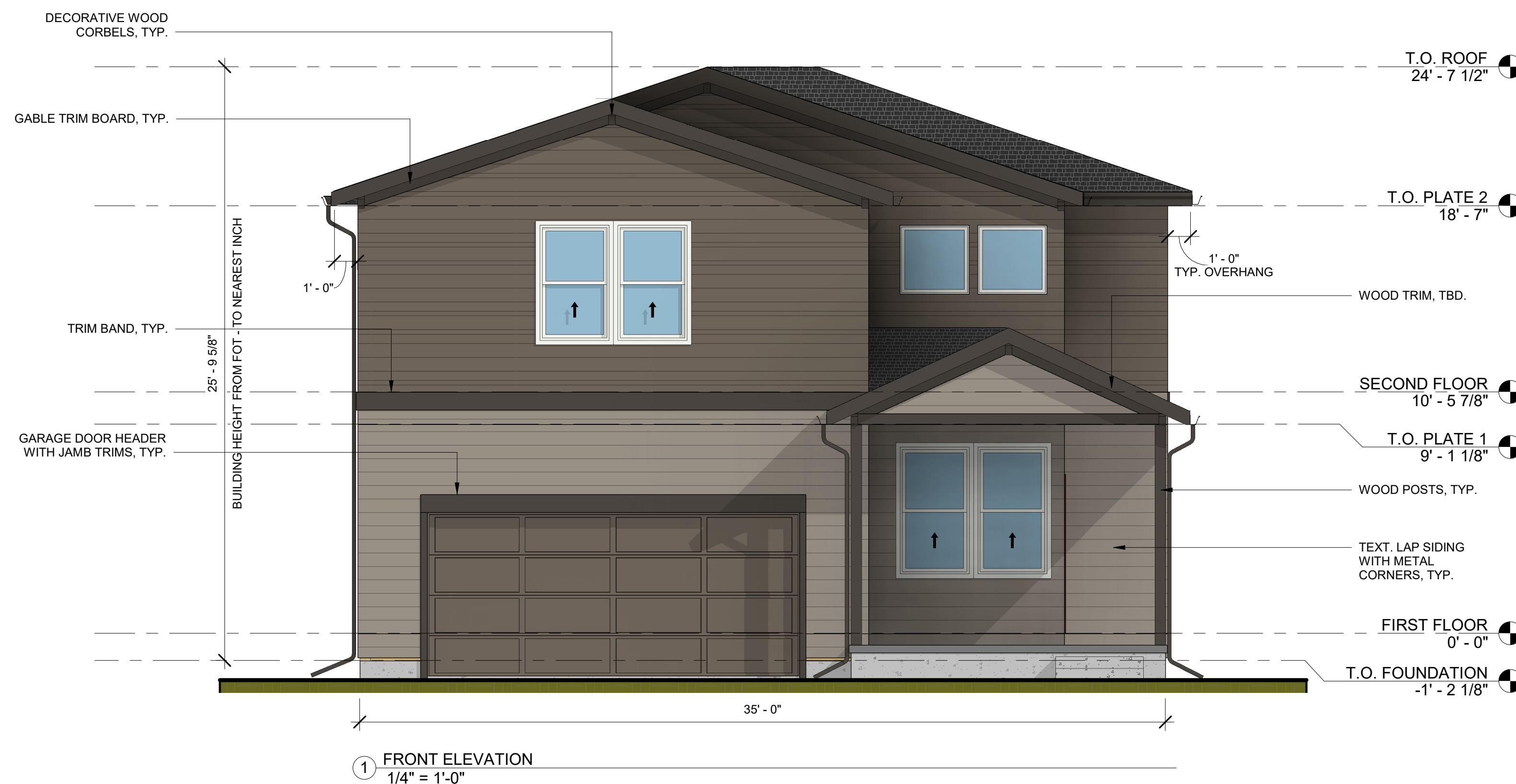
A217

Scale 1/4" = 1'-0"



HARTFORD HOMES PLAN 6 - TWAIN

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



No.	Description	Date

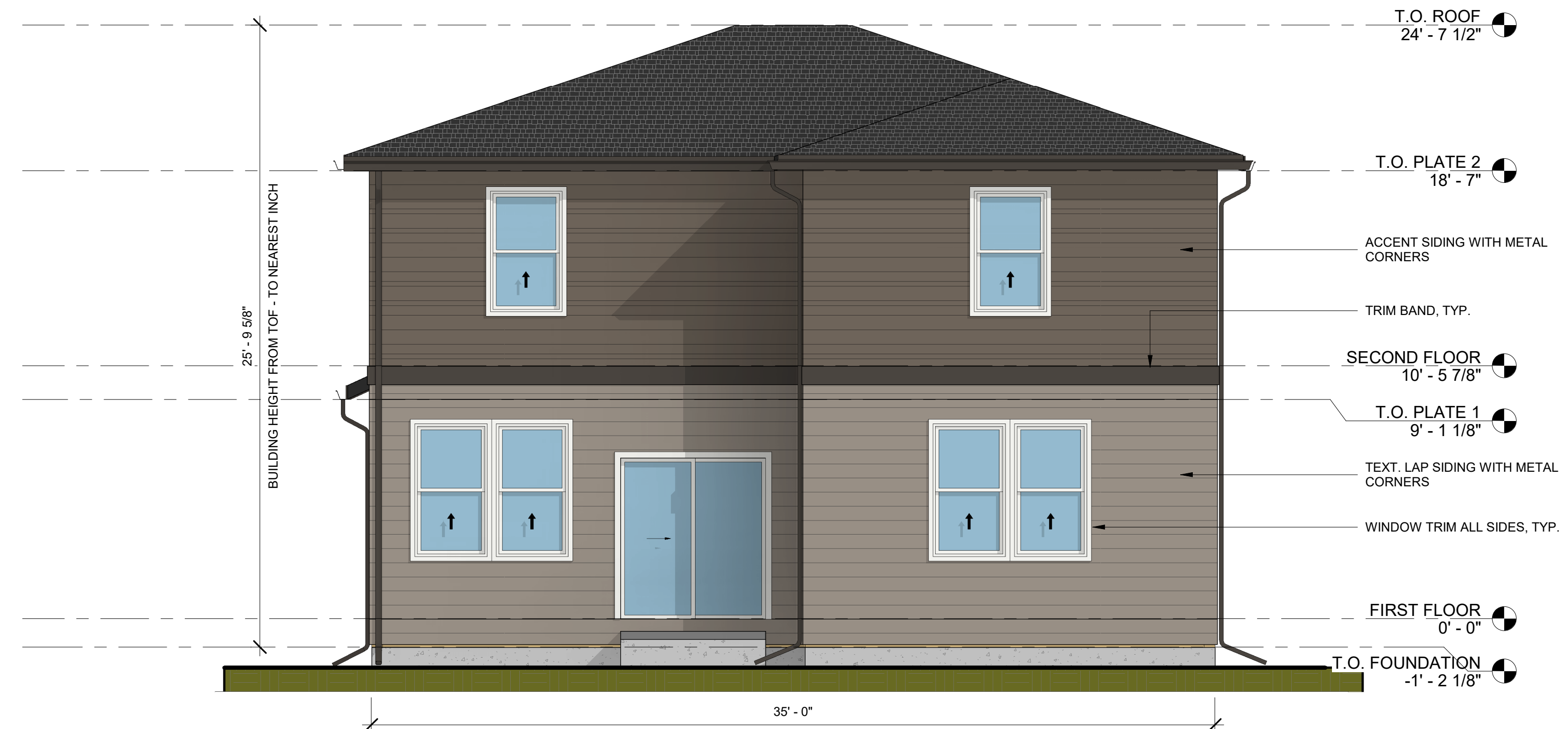
BUILDING ELEVATIONS -TWAIN CRAFTSMAN

Product Type	35FT
Date	10/06/2021
Drawn by	O.S.
Checked by	AM/DW

A218

Scale	1/4" = 1'-0"
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**HARTFORD HOMES
PLAN 6 - TWAIN**



① REAR ELEVATION
1/4" = 1'-0"

NOTE: PRELIMINARY
ARCHITECTURAL RENDERINGS -
FINAL DESIGN SUBJECT TO
CHANGE



② RIGHT ELEVATION
1/4" = 1'-0"

No.	Description	Date

**BUILDING ELEVATIONS
-TWAIN CRAFTSMAN**

Product Type	35FT
Date	10/06/2021
Drawn by	O.S.
Checked by	AM/DW
A219	
Scale	1/4" = 1'-0"