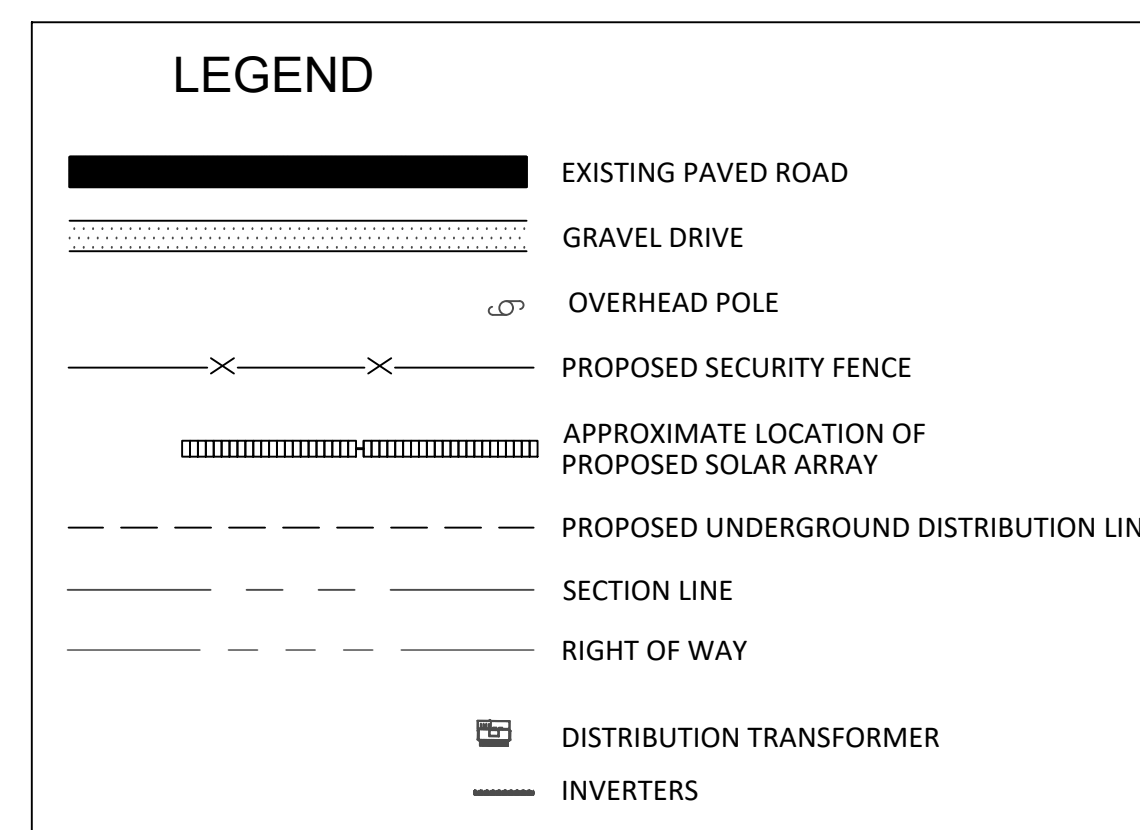


PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH,
RANGE 67 WEST OF THE 6TH P.M., TOWN OF JOHNSTOWN, STATE OF COLORADO



1. THE PROPOSED NEW SOLAR FACILITY SHALL BE PROVIDED WITH A TOWN-ISSUED STREET ADDRESS, WHICH SHALL BE CLEARLY POSTED AT THE ACCESS ROAD POINT OF CONNECTION WITH WCR 19 SO IT IS VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. THE ADDRESS NEEDS TO BE POSTED AS SOON AS THE SITE IS OCCUPIED WITH CONTRACTORS.
2. IF NONE IS EXISTING, A FIRE HYDRANT WITHIN 600 FEET OF THE ACCESS ROAD, PREFERABLY ON WCR 19 AT THE SITE ACCESS ROAD, SHALL BE PROVIDED.
3. THE SOLAR FACILITY'S ACCESS ROADWAY SHALL BE A MINIMUM OF 20 FEET WIDE, AS SPECIFIED IN THE ADOPTED 2018 INTERNATIONAL FIRE CODE.
4. THE FIRE APPARATUS ACCESS ROAD SHALL BE ENGINEERED AND MAINTAINED TO SUPPORT AN 80,000-POUND FIRE APPARATUS IN ALL WEATHER CONDITIONS. REFER TO GEOTECHNICAL ENGINEERING REPORT BY TERRACON DATED SEPTEMBER 21ST, 2022 FOR ROADWAY CONSTRUCTION SPECIFICATIONS.
5. THE FACILITY IS FULLY FENCED WITH A GATE PROVIDE OFF THE ACCESS ROADWAY. THE FIRE DISTRICT SHALL BE PROVIDED ACCESS THROUGH THIS GATE WITH EITHER AN APPROVED KNOX PADLOCK OR A KNOX KEY SWITCH.
6. THE SITE SHALL BE MAINTAINED WITH A REGULAR MOWING PROGRAM TO ENSURE THAT LIGHTER FUELS, SUCH AS GRASSES AND WEEDS, ARE MAINTAINED AT APPROPRIATE HEIGHTS THAT DISCOURAGE THE SPREAD OF FIRE THROUGHOUT THE SITE AND PREVENT ACCIDENTAL FIRES OR SPREAD OF FIRES BEYOND THE SITE PERIMETER. REFER TO THE FACILITY SAFETY PLAN.



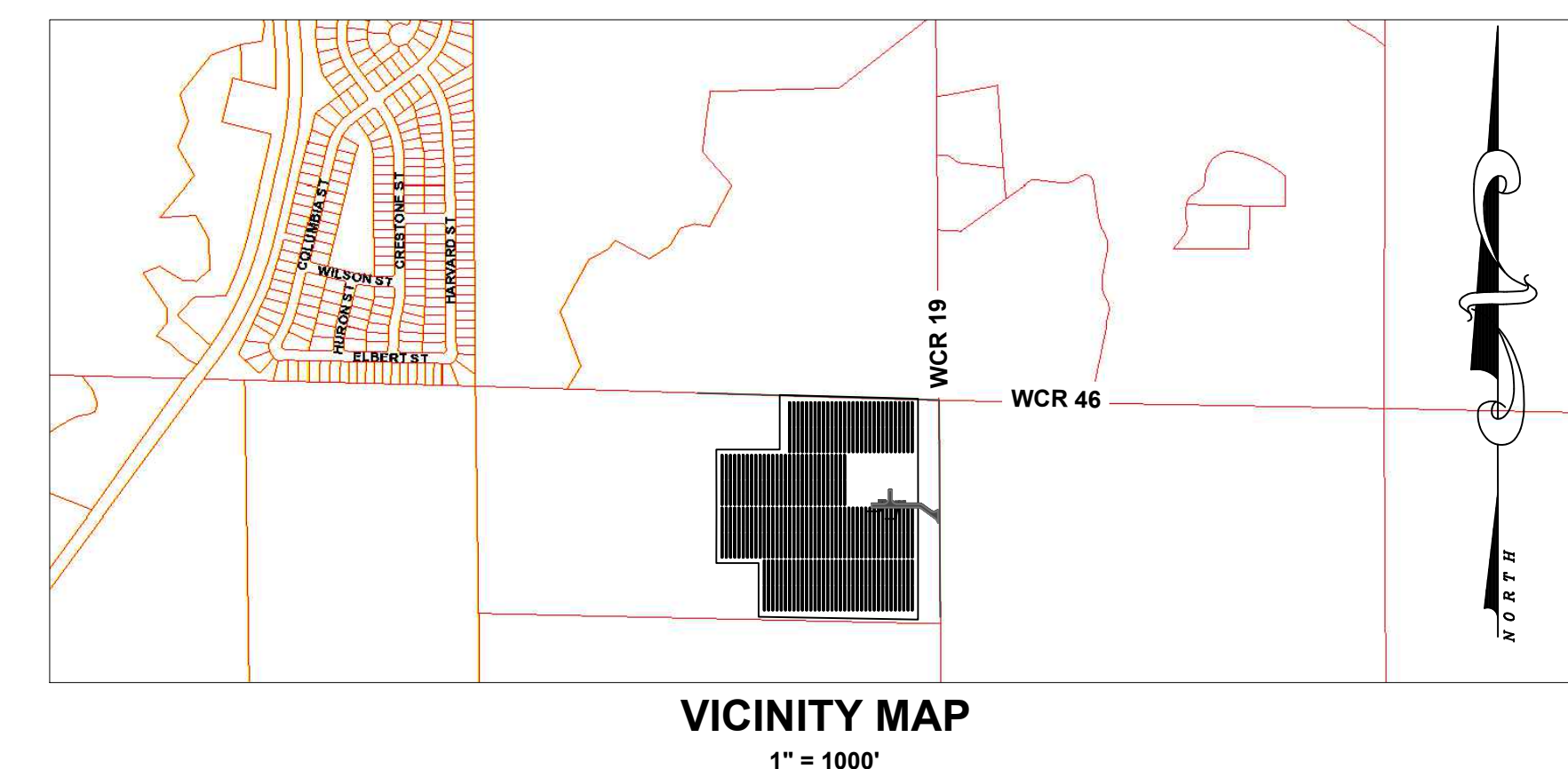
NOTE:
1. DIMENSIONS ARE APPROXIMATE

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
T.100	COVER
C.101	SEEDING AND FENCING PLAN
E.101	SIGNS
C0.1	LEGEND, NOTES, & ABBREV.
C1.0	CIVIL SITE PLAN
CE1.0	GRADING, UTILITY & EROSION CONTROL PLAN
CE1.1	DETAILED GRADING PLAN
CD1.0	SWMP & SITE DETAILS
CD1.1	DETAILS

FRONT RANGE FIRE RESCUE

REVIEWED AND ACCEPTED: _____ Date _____

<h2 style="margin: 0;">TOWN OF JOHNSTOWN</h2>	
REVIEWED AND ACCEPTED:	<div style="border-bottom: 1px dashed black; height: 1.2em; margin-bottom: 5px;"></div> <div style="display: flex; justify-content: space-between;"> Town Engineer, Town of Johnstown Date: _____ </div>
REVIEWED AND ACCEPTED:	<div style="border-bottom: 1px dashed black; height: 1.2em; margin-bottom: 5px;"></div> <div style="display: flex; justify-content: space-between;"> Director of Planning and Development, Town of Johnstown Date: _____ </div>
REVIEWED AND ACCEPTED:	<div style="border-bottom: 1px dashed black; height: 1.2em; margin-bottom: 5px;"></div> <div style="display: flex; justify-content: space-between;"> Public Works Department, Town of Johnstown Date: _____ </div>



DOVE SOLAR LLC
40.318276, -104.889787, JOHNSTOWN CO 80543
COVER



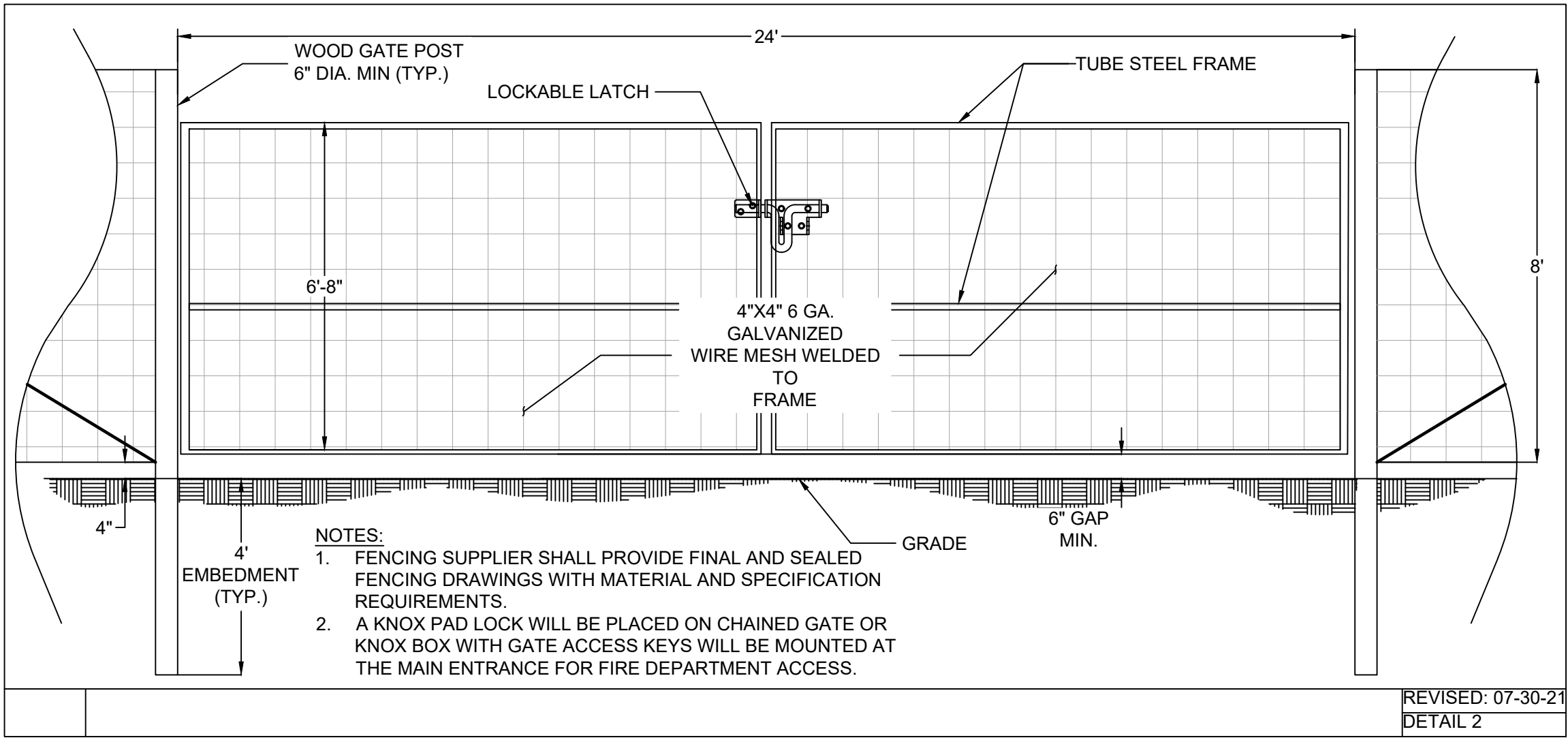
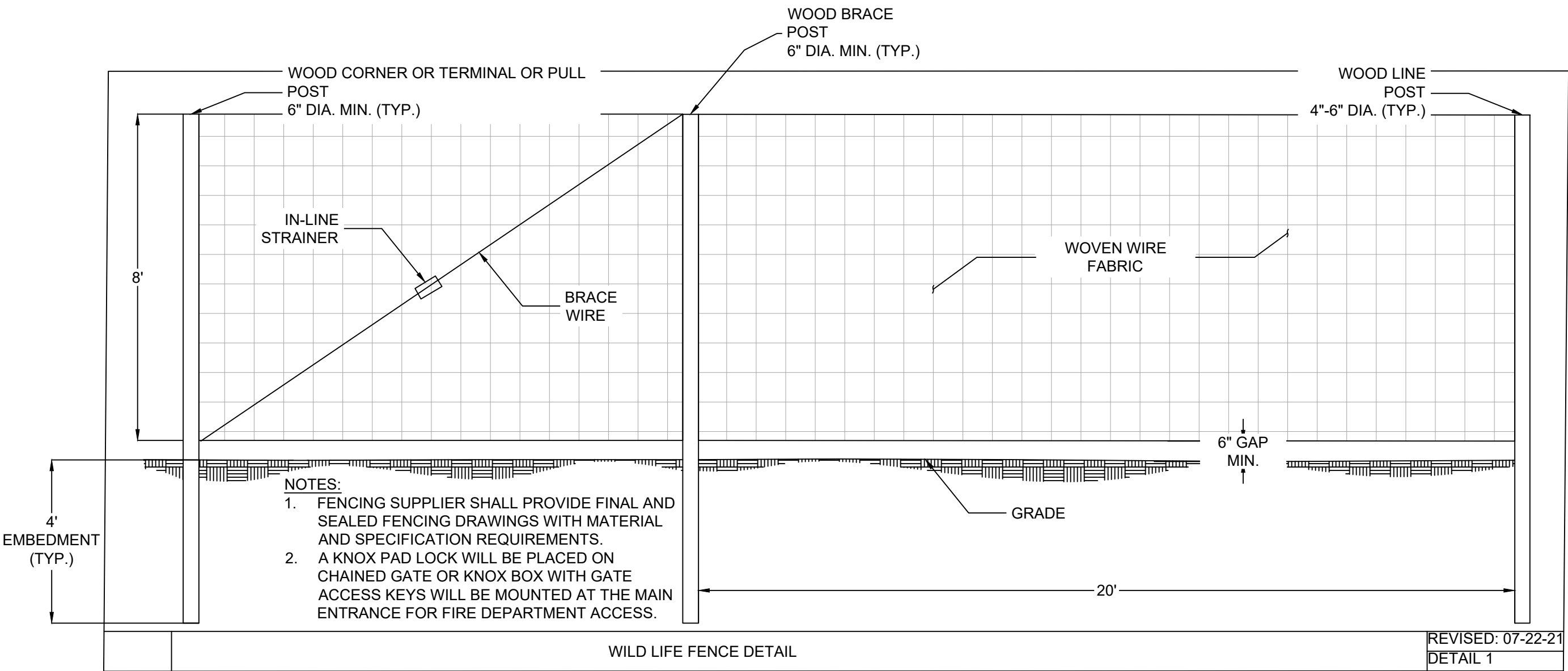
ANDREW HUMPHREY ENGINEERING
 PO Box 18436 • Golden, CO 80402 • 303.590.5976
www.AndrewHumphreyEngineering.com

JOB NO. 2021.136	SCALE AS SHOWN
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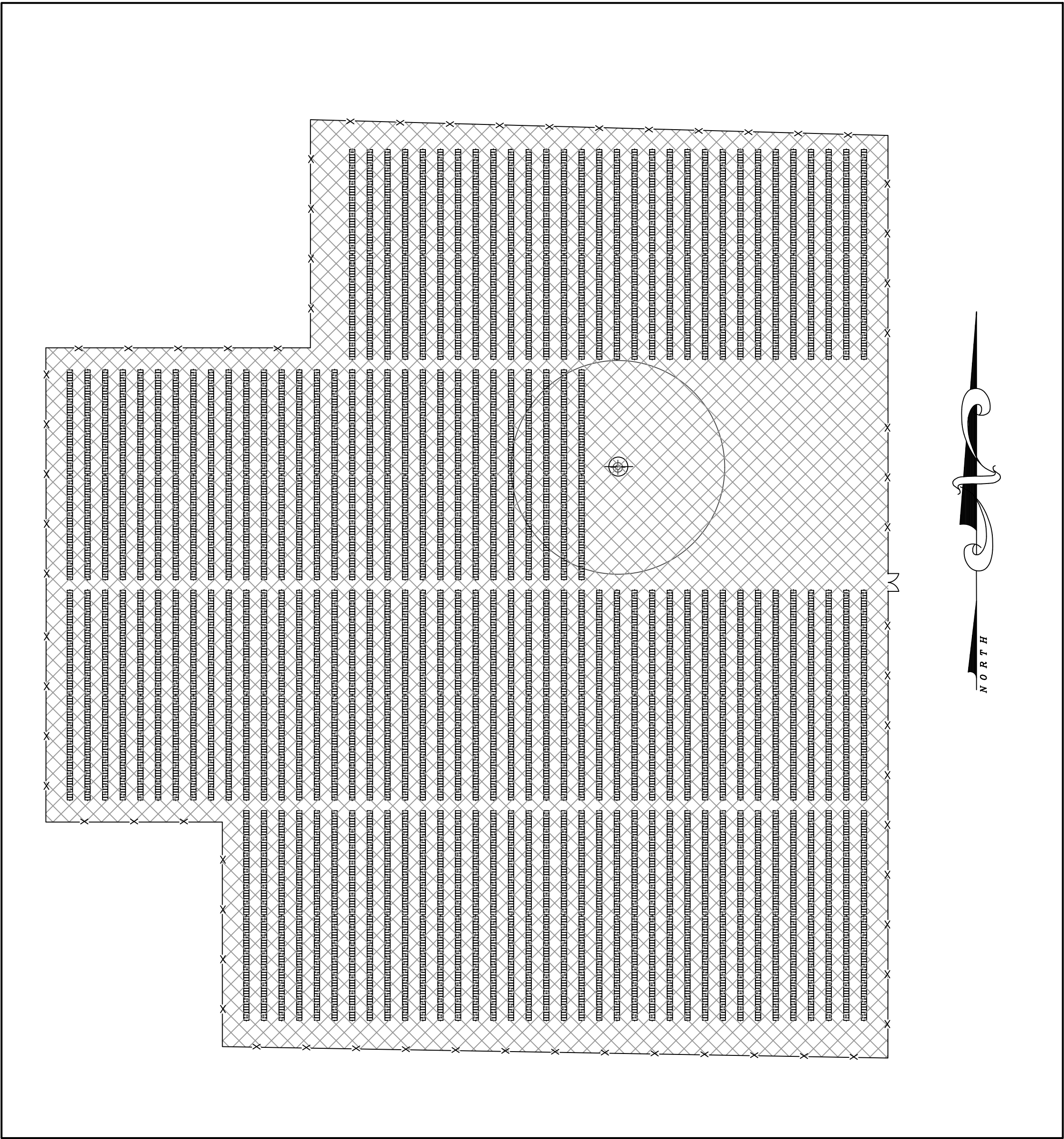
T.100

USE BY SPECIAL REVIEW - DOVE SOLAR LLC
5000 kW-AC (5981.04 kW-DC) SOLAR ARRAY PROJECT

PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH,
RANGE 67 WEST OF THE 6TH P.M., TOWN OF JOHNSTOWN, STATE OF COLORADO



- NOTES:
1. THIS DEVELOPMENT IS BEING CONSTRUCTED IN A RURAL PART OF WELD COUNTY NEAR JOHNSTOWN, COLORADO. THE SITE IS LOCATED WEST OF THE INTERSECTION OF CR 19 AND CR 46 AND SOUTHEAST OF HILLSBORO RESERVOIR. THE SURROUNDING LAND IS PRIMARY BEING USED FOR AGRICULTURAL, RESIDENTIAL, RANCHING, AND OIL/GAS PURPOSES, WITH THE FOLLOWING USES IN THE IMMEDIATE AREA OF THE SUBJECT PROPERTY: TO THE NORTH IS AGRICULTURAL AND COMMERCIAL; TO THE NORTHWEST IS RESIDENTIAL; TO THE NORTHEAST IS AGRICULTURE; TO THE EAST IS AGRICULTURE AND OIL AND GAS; TO THE SOUTH IS AGRICULTURE, AND TO THE WEST AND SOUTHWEST IS AGRICULTURE AND OIL AND GAS.
 2. THIS DEVELOPMENT WILL BE CONSTRUCTED ON LEASED LAND.
 3. FOLLOWING THE START OF CONSTRUCTION, DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION, SUCH AS ROAD CUTS, UTILITY TRENCHES, WASTEWATER DISPOSAL FIELDS, BUILDING SITES, AND OTHER AREAS WHERE VEGETATION HAS BEEN REMOVED, ALTERED, OR ELIMINATED, WILL BE REVEGETATED WITH NATIVE GRASS.
 4. OTHER AREAS WHERE EXISTING VEGETATION HAS NOT REGROWN WILL BE RESEED.
 5. NOXIOUS WEEDS WILL BE CONTROLLED ON THE SUBJECT PROPERTY.
 6. FOR SECURITY AND PROTECTION OF THE PUBLIC AND WILDLIFE, THE PROPOSED SOLAR FACILITY WILL BE FENCED WITH A WILDLIFE FRIENDLY DECORATIVE FENCE. THE SELECTED FENCE WILL BLEND WITH THE NATURAL ENVIRONMENT AND WILL PREVENT WILDLIFE FROM ENTERING THE SITE CAUSING DAMAGE AND THEREFORE PROVIDING SECURITY OF THE IMPROVEMENTS.
 7. FENCING SHALL BE MAINTAINED AS NEEDED TO PROVIDE THE INTENDED SCREENING AND SECURITY OF THE PROPOSED IMPROVEMENTS.
 8. SCREENING DELINEATED WITH SECTION 23-4-1030C OF WELD COUNTY CODE.

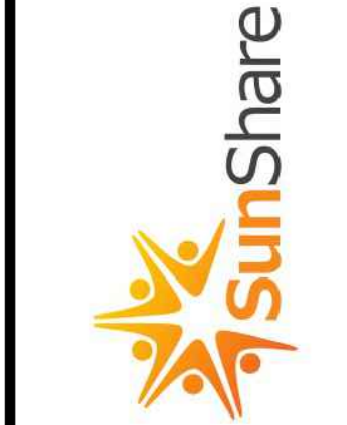


- LEGEND
- x—x—x— WILDLIFE FENCE
 - xxxxxxx AREA TO BE RESEED IF/WHEN DISTURBED



REV	DATE	OWN	ENG.	CHK.	DESCRIPTION
0	02/22/22	WA	AFH	AFH	FOR PERMIT
1	05/16/22	MM	MM	AFH	FOR PERMIT
2	09/20/22	MM	MM	AFH	FOR PERMIT
3	10/31/22	AFH	AFH	AFH	FOR PERMIT

DOVE SOLAR LLC
40.318276, -104.889787, JOHNSTOWN CO 80543
SEEDING AND FENCING PLAN

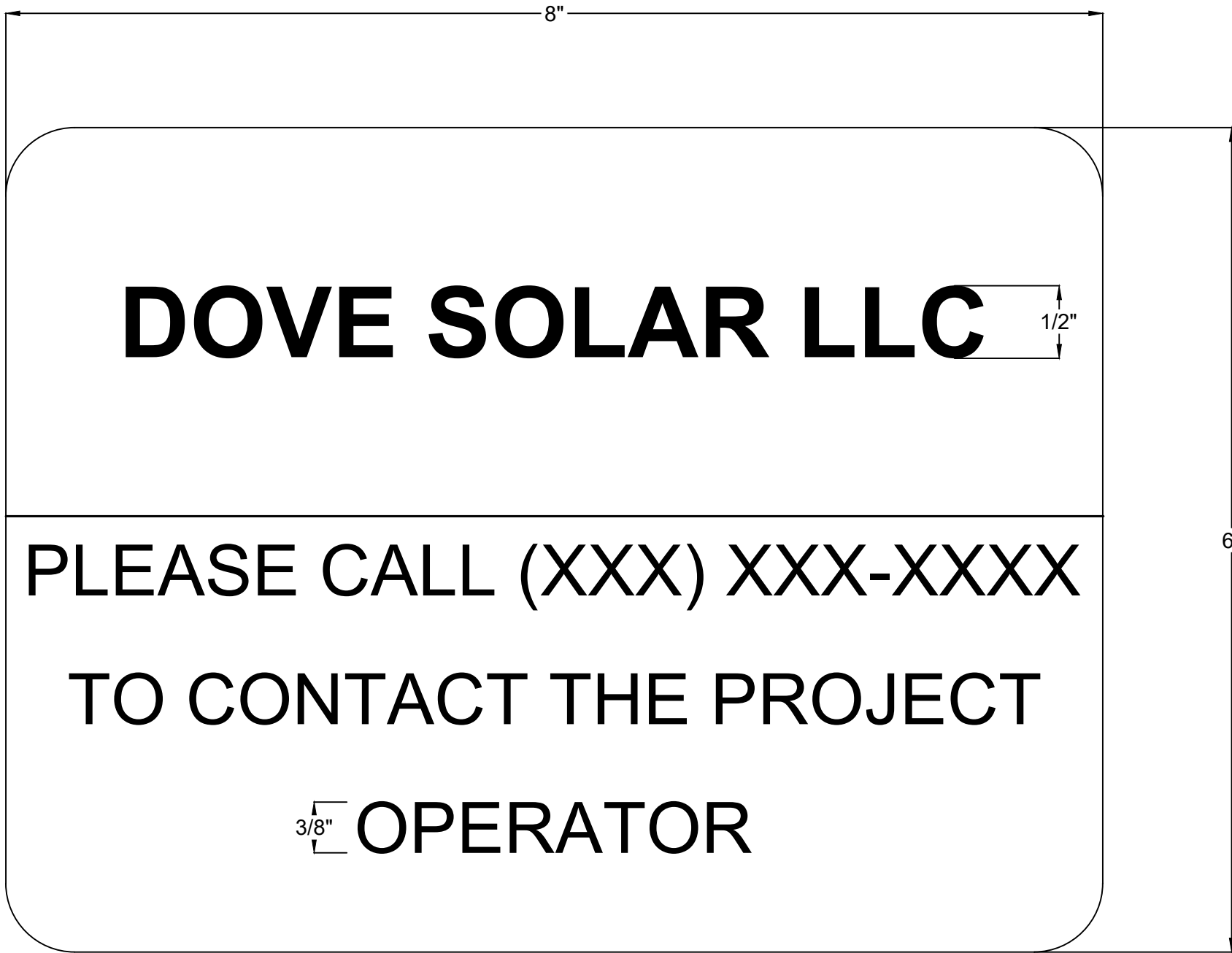


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SCALE AS SHOWN

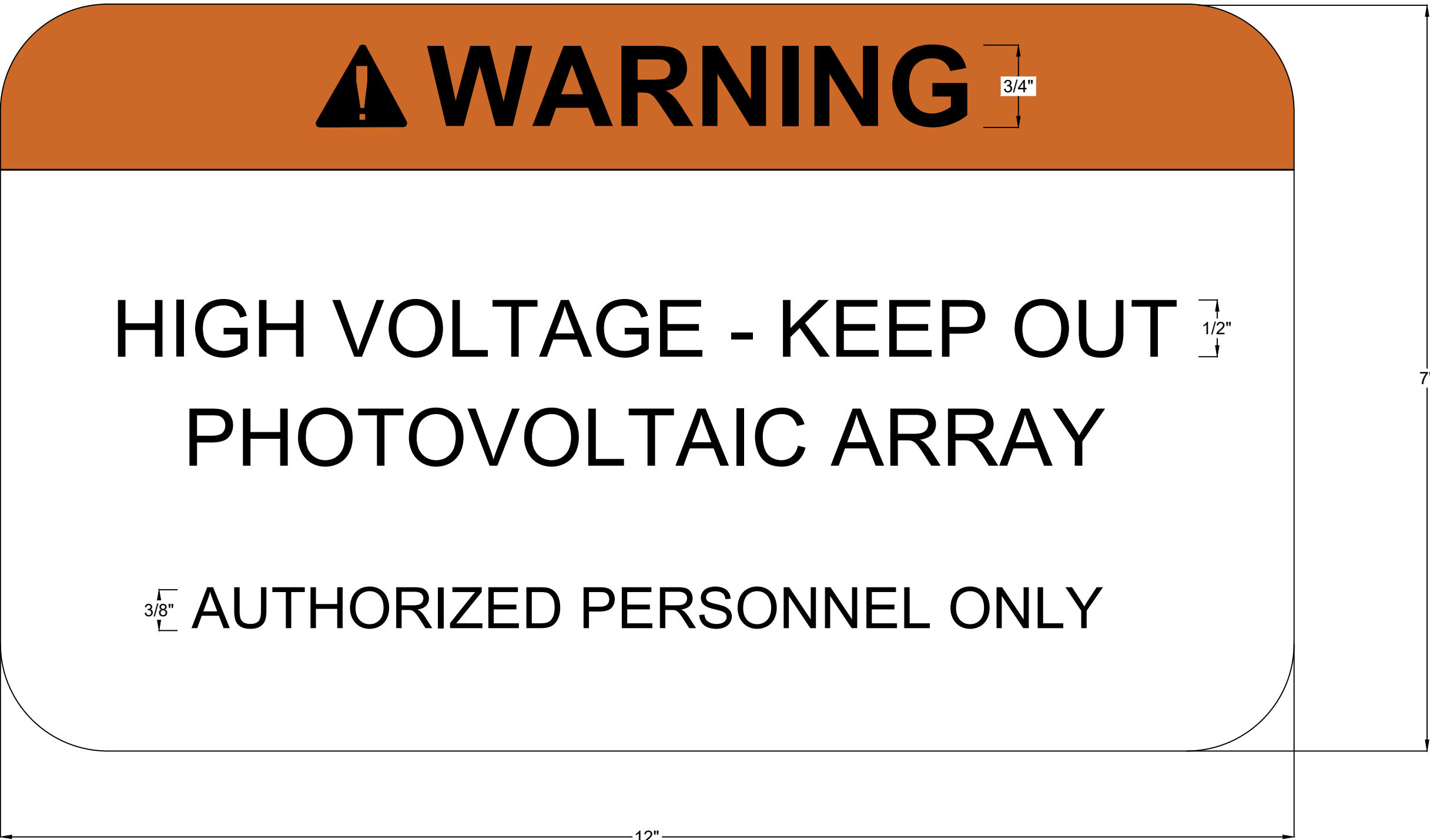
C.101

USE BY SPECIAL REVIEW - DOVE SOLAR LLC
5000 kW-AC (5981.04 kW-DC) SOLAR ARRAY PROJECT
PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH,
RANGE 67 WEST OF THE 6TH P.M., TOWN OF JOHNSTOWN, STATE OF COLORADO



PLANT IDENTIFICATION AT SITE ENTRANCE
CONTACT INFO WILL BE REVISED PRIOR TO CONSTRUCTION.

GENERAL NOTES:
1. ALL SIGNS SHALL BE SHOWN ON THE MAP AND SHALL ADHERE TO CHAPTER 16, ARTICLEXX, SECTION16-364
OF THE TOWN OF JOHNSTOWN CODE. ADDITIONAL SIGNAGE WILL BE INCLUDED WITHIN THE SITE AS NEEDED
PER NATTIONAL ELECTRICAL CODE.



WARNING LABEL FOR AGRICULTURAL SECURITY FENCE SPACED EVERY 100 FEET AROUND PERIMETER OF ARRAY.



REV	DATE	DWN.	ENG.	CHK.	DESCRIPTION
0	02/22/22	WA	AFH	AFH	FOR PERMIT
1	05/16/22	MM	AFH	AFH	FOR PERMIT
2	09/20/22	MM	AFH	AFH	FOR PERMIT
3	10/31/22	AFH	AFH	AFH	FOR PERMIT

DOVE SOLAR LLC
40.318276, -104.889787, JOHNSTOWN CO 80543
SIGNS



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JOB NO.
2021.136

SCALE
NONE

E.101

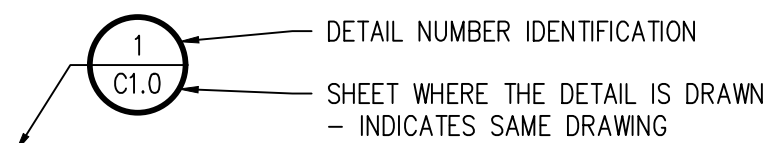
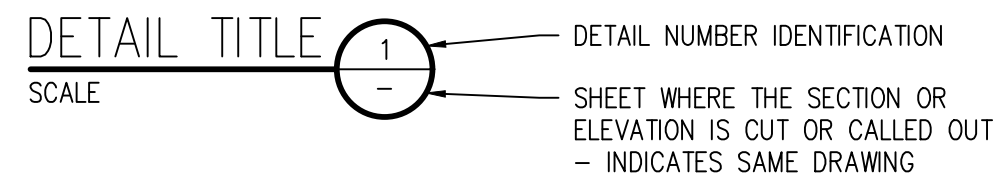
ABBREVIATIONS

AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	IN	INLET
ADDL	ADDITIONAL	INSUL	INSULATION
ADDM	ADDENDUM	INV	INVERT
ADJ	ADJUSTABLE	IRR	IRRIGATION
AL	ALUMINUM	JTS	JOINTS
ALT	ALTERNATE		
AMT	AMOUNT	KO	KNOCKOUT
APPROX	APPROXIMATE	KPL	KICK PLATE
ARCH	ARCHITECT(URAL)	KWY	KEYWAY
ARV	AIR RELIEF VALVE		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	L	LEFT OR LITER
ASPH	ASPHALT	LSCAPE	LANDSCAPE(NG)
ASSY	ASSEMBLY	LF	LINEAR FOOT
ASYM	ASYMMETRICAL	LP	LOW POINT
AUTO	AUTOMATIC	LT	LIGHT
AVG	AVERAGE	LWL	LOW WATER LEVEL
AWWA	AMERICAN WATER WORKS ASSOC.		
		MAINT	MAINTENANCE
BC	BACK OF CURB	MAN	MANUAL
BFV	BUTTERFLY VALVE	MATL	MATERIAL
BG	FINISHED GRADE ADJACENT TO BOTTOM OF WALL	MAX	MAXIMUM
BLDG	BUILDING	ME	MATCH EXISTING
BLK	BLOCK	MECH	MECHANICAL
BM	BENCH MARK	MFR	MANUFACTURER
BMP	BEST MANAGEMENT PRACTICE	MH	MANHOLE
BS	BACKSIGHT	MIN	MINIMUM
BOS	BOTTOM OF STEP	MISC	MISCELLANEOUS
BOT	BOTTOM	MJ	MECHANICAL JOINT
BSMT	BASEMENT		
BVCE	BEGIN VERTICAL CURVE ELEVATION	N	NORTH
BVCS	BEGIN VERTICAL CURVE STATION	NA	NOT APPLICABLE
BW	BOTTOM OF WALL	NC	NOT IN CONTRACT
		NPT	NATIONAL PIPE THREAD
		NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CCW	COUNTER CLOCKWISE	OD	OUTSIDE DIAMETER
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	OPP	OPPOSITE
CIP	CAST IRON PIPE	OPT	OPTIONAL
CJ	CONSTRUCTION JOINT		
CL	CENTER LINE OR CHAIN LINK	PC	POINT OF CURVATURE
CLR	CLEAR	PCO	PRESSURE CLEAN OUT
CMP	CORRUGATED METAL PIPE	PCR	POINT OF CURVE RETURN
CMU	CONCRETE MASONRY UNIT	PI	POINT OF INTERSECTION
CO	CLEANOUT	PVI	POINT OF VERTICAL INTERSECTION
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCTION	PE	POLYETHYLENE
CONT	CONTINUOUS(ACTION)	PREFAB	PREFABRICATED
COR	CORNER	PRELIM	PRELIMINARY
CR	CONCENTRIC REDUCER	PREP	PREPARATION
CTR	CENTER	PROP	PROPOSED
CY	CUBIC YARDS	PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
		PSF	POUNDS PER SQUARE FOOT
DEMO	DEMOLITION	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	PT	POINT OF TANGENCY
DIAG	DIAGONAL	PV	PLUG VALVE
DIP	DUCTILE IRON PIPE	PVC	POLYVINYL CHLORIDE OR
DOM	DOMESTIC	PWT	POINT OF VERTICAL CURVATURE
DN	DOWN		PAVEMENT
DR	DRAIN	QTY	QUANTITY
DWG	DRAWING		
DWL	DOWEL	R	RIGHT
		RAD	RADIUS
E	EAST	RCP	REINFORCED CONCRETE PIPE
EA	EACH	RE	REFERENCE
ECC	ECCENTRIC	RECT	RECTANGULAR
EJ	EXPANSION JT	REINF	REINFORCE (D) (ING) (MENT)
EL	ELEVATION	REOD	REQUIRED
ELB	ELBOW	ROW	RIGHT OF WAY
ELEC	ELECTRICAL		
ENGR	ENGINEER	SAN	SANITARY
EOP	EDGE OF PAVEMENT	SD	STORM DRAIN
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SPD	STANDARD PROCTOR DENSITY
EQUIV	EQUIVALENT	SPEC	SPECIFICATION
ESMT	EASEMENT	SQ	SQUARE
EST	ESTIMATE	SQ IN	SQUARE INCH
EVCE	END VERTICAL CURVE ELEVATION	SQ FT	SQUARE FOOT
EVCS	END VERTICAL CURVE STATION	SQ YD	SQUARE YARD
EW	EACH WAY	SS	SANITARY SEWER
EXP JT	EXPANSION JOINT	SST	STAINLESS STEEL
EXIST	EXISTING	STA	STATION
		STD	STANDARD
		STL	STEEL
FND	FOUNDATION	STRUCT	STRUCTURAL
FES	FLARED END SECTION	SVC	SERVICE
FF	FINISH FLOOR	SWMP	STORMWATER MANAGEMENT PLAN
FG	FINISH GRADE	SYM	SYMMETRICAL
FH	FIRE HYDRANT		
FL	FLOW LINE	TB	THRUST BLOCK
FN	FENCE	TBC	TOP BACK OF CURB
FOC	FACE OF CONCRETE	TBM	TEMPORARY BENCH MARK
FPM	FEET PER MINUTE	TEMP	TEMPORARY
FPS	FEET PER SECOND	TG	FINISHED GRADE ADJACENT TO TOP OF WALL
FT	FEET	THK	THICK
FTG	FOOTING OR FITTING	TOB	TOP OF BANK
		TOC	TOP OF CONCRETE OR TOP OF CURB
G	GAS	TOS	TOP OF STEP
GA	GAUGE	TOT	TOTAL
GAL	GALLON	TW	TOP OF WALL OR CAP OF WALL
GALV	GALVANIZED	TYP	TYPICAL
GCO	GRADE CLEANOUT		
GIP	GALVANIZED IRON PIPE	UBC	UNIFORM BUILDING CODE
GND	GROUND	UGE	UNDERGROUND ELECTRIC
GPD	GALLONS PER DAY	UTL	UTILITY
GPM	GALLONS PER MINUTE		
GR	GRATE	VERT	VERTICAL
GRTG	GRATING	VC	POINT OF VERTICAL CURVATURE
GSP	GALVANIZED STEEL PIPE	VCP	VITRIFIED CLAY PIPE
GV	GATE VALVE		
		W	WIDE OR WIDTH
H	HIGH	W/	WITH
HB	HOSE BIB	W/O	WITHOUT
HE	HORIZONTAL ELLIPTICAL	WQCE	WATER QUALITY CONTROL ELEVATION
HDWL	HEADWALL	WSE	WATER SURFACE ELEVATION
HNDRL	HAND RAIL	WW	WASTEWATER
HORIZ	HORIZONTAL		
HP	HIGH POINT	X SECT	CROSS SECTION
HR	HOOR	XFMR	ELECTRONIC TRANSFORMER
HVAC	HEATING, VENTILATION, AIR CONDITIONING	YH	YARD HYDRANT
HWY	HIGHWAY		
HWL	HIGH WATER LINE		
HYD	HYDRANT		

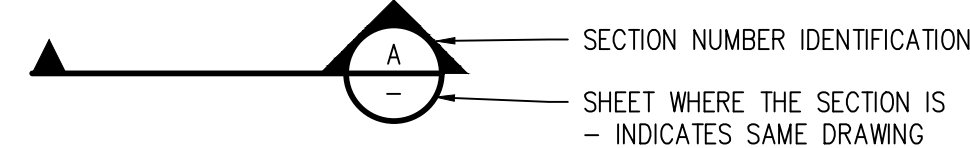
DESIGN LEGEND

	BENCHMARK		FENCE
	MANHOLE		FLOW LINE OF DITCH OR WASH
	AREA DRAIN		SLOPE ARROW
	COMBINATION INLET		PROPOSED SPOT ELEVATION
	TYPE R INLET		EXIST SPOT ELEVATION
	TYPE 13 FIELD INLET		EXIST INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		EXIST INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		PROPOSED INDEX CONTOUR
	END CAP W/ THRUST BLOCK		PROPOSED INTERMEDIATE CONTOUR
	GATE VALVE		CURB AND GUTTER
	REDUCER/INCREASER		SPILL/CATCH CURB TRANSITION
	WATER METER		SIGN W/ POST
	FIRE HYDRANT		CURB RAMP
	STORM - 12\"/>		SIDEWALK CHASE
	STORM - LARGER THAN 12\"/>		SIDEWALK
	ROOF DRAIN		CONCRETE PAVING
	TRENCH DRAIN		HEAVY DUTY CONCRETE PAVING
	UNDERDRAIN		HEAVY DUTY ASPHALT PAVING
	SANITARY SEWER		LIGHT DUTY ASPHALT PAVING
	FORCE MAIN		GRAVEL
	WATER		PROPOSED BUILDING
	NON POTABLE WATER		BUILDING ACCESS
	POTABLE WATER		RETAINING WALL
	IRRIGATION		BOULDER/ROCK WALL
	IRRIGATION - LARGER THAN 12\"/>		LIMITS OF SAWCUT
	CABLE TV		LIMITS OF WORK
	DRAIN		EASEMENT LINE
	ELECTRIC		PROPERTY LINE
	UNDERGROUND ELECTRIC		ADJACENT PROPERTY LINE/ROW
	OVERHEAD ELECTRIC		MATCHLINE
	TELEPHONE		
	FIBER OPTIC		
	FUEL		
	GAS		
	PVC PIPE (MISC)		

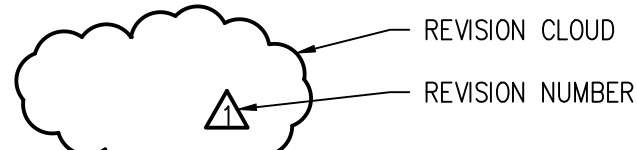
DETAIL TITLE



SECTION CALLOUT



DETAIL MARKER



SURVEY LEGEND

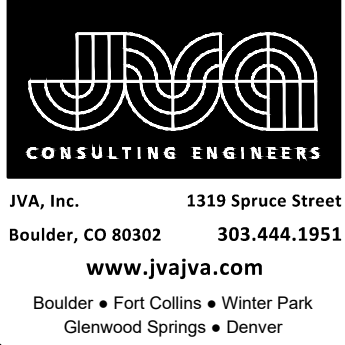
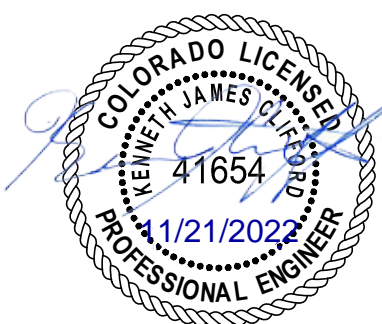
	WATER LINE		BENCHMARK AS DESCRIBED
	WATER VALVE		FOUND MONUMENT
	WATER METER		FOUND MONUMENT
	FIRE HYDRANT		TEST CP
	SANITARY SEWER LINE		UTILITY LOCATED FROM MAP
	SANITARY SEWER MANHOLE		AS MEASURED AT TIME OF SURVEY
	STORM DRAINAGE LINE		CALCULATED FROM RECORD AND AS MEASURED INFORMATION
	STORM DRAINAGE MANHOLE		PLAT
	CURB INLET		RECORDED
	UNDERGROUND ELECTRICAL LINE		MAILBOX
	OVERHEAD ELECTRICAL LINE		CONCRETE
	ELECTRICAL POLE		EDGE OF ASPHALT
	GUY WIRE		GRAVEL
	ELECTRICAL TRANSFORMER		FENCE
	ELECTRICAL RISER		GUARDRAIL
	ELECTRIC VAULT		SIGN
	LIGHT POLE		CONFIFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	DECORATIVE LIGHT		DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS)
	FIBEROPTIC LINE		BOULDER
	TELEPHONE LINE		
	TELEPHONE RISER		
	GAS LINE		
	INDICATION OF ACCESS		
	BUILDING		

NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF JOHNSTOWN, COLORADO DEPARTMENT OF TRANSPORTATION, FRONT RAGE FIRE DISTRICT REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FRONT RANGE FIRE DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
 - THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
 - THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM MUNICIPALITY/UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
 - THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
 - RIM AND GRADE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
 - THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
 - FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
 - ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
 - OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
 - PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRUPLINE OF TREES.
 - LOCATIONS OF CLEANOUTS, LIGHTS, SIGNAGE, JUNCTION BOXES, AND OTHER SIGNIFICANT SITE FEATURES TO BE STAKED FOR ENGINEER AND OR OWNER APPROVAL PRIOR TO WORK. CLEANOUTS, JUNCTION BOXES, AND ADJACENT GRADES TO BE RAISED ONE-HALF INCH AT ASPHALT/CONCRETE (OR 1" AT LANDSCAPING) TO PROVIDE POSITIVE DRAINAGE AWAY FROM FEATURES.
 - SURVEY INFORMATION:
 - BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY LAT40° INC. PROFESSIONAL LAND SURVEYORS. SEE ALTA/NSPS LAND TITLE SURVEY DATED 03/02/22. PROJECT BENCHMARK: CP99 -12" SPIKE AT SOUTHWEST CORNER OF SITE. ELEVATION: 4877.8' (NAVD88).
 - BASIS OF BEARINGS: ASSUMING THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 16, T.4N., R.67W., AS MONUMENTED BY A 2.5" ALUMINUM PIPE WITH A 3.25" ALUMINUM CAP STAMPED LS 13155 AT THE NORTH END AND BY A #6 REBAR WITH A 2.0" ALUMINUM CAP STAMPED LS 22097 AT THE SOUTH END, AS BEARING SOUTH 00° 44'50" EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 / 2007, A DISTANCE OF 2592.40' FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.
 - HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:

CP-1	N:1359002.64	E:3170581.26	PIVOT CENTER
CP-2	N:1361219.91	E:3282559.03	POINT OF COMMENCEMENT (NE CORNER)
CP-99	N:1358932.72	E:3171879.35	ELEV:4877.70 12" NAIL
 - SURVEY UTILITY LOCATION INFORMATION PER THE SURVEYOR: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASCE 38-02 QUALITY LEVEL "B" (INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND HORIZONTAL POSITION OF VIRTUALLY ALL UTILITIES WITHIN THE PROJECT LIMITS. THE INFORMATION OBTAINED IN THIS MANNER IS SURVEYED TO PROJECT CONTROL) AND QUALITY LEVEL "C" (INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D; INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS), AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DEPICTED TO THE EXTENT SET FORTH IN ASCE 38-02 QUALITY LEVELS "A" (INFORMATION OBTAINED THROUGH THE NONDESTRUCTIVE EXPOSURE OF UNDERGROUND UTILITIES, AND ALSO PROVIDES THE TYPE, SIZE, CONDITION, MATERIAL AND OTHER CHARACTERISTICS OF UNDERGROUND FEATURES). TO THE EXTENT DEEMED NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY, POTHOLES OR OTHER PRECISE MAPPING MAY BE COMPLETED TO CONFIRM THE EXACT LOCATION OF ANY SUBSURFACE UTILITIES. NOTIFY OWNER AND ENGINEER WITH ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION.VISIT HTTPS://WWW.FHWA.DOT.GOV/PROGRAMADMIN/SUEINDEX.CFM FOR MORE INFORMATION.
- THE CONTRACTOR AT THE CONTRACTORS EXPENSE SHALL FURNISH THE OWNER AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS") FOR THE CONSTRUCTED IMPROVEMENTS. THE AS-BUILT SET SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES OR NORTHING/EASTING POINTS FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE AS-BUILT SET SHALL SHOW AS-BUILT CONTOURS AND ELEVATIONS OF ASPHALT AND CONCRETE FLATWORK, FLOWLINES, GRADE BREAKS, STAIRS, CROSS-SLOPES, HIGH AND LOW POINTS, AND ADDITIONAL ELEVATIONS TO DEMONSTRATE IMPROVEMENTS WERE CONSTRUCTED PER PLANS. THE AS-BUILT SET SHALL SHOW ELEVATIONS OF ALL DETENTION/WATER QUALITY FACILITIES, INCLUDING BUT NOT LIMITED TO BERMS, SPILLWAYS, BASIN BOTTOM, PIPE INVERTS, AND CONTROL STRUCTURE FEATURES (AS SURVEYED AND STAMPED BY A CERTIFIED P.L.S.). THE AS-BUILT SET SHALL ALSO INCLUDE ELEVATIONS OF MANHOLES, PIPES, INLETS, GRATES, AND SIZES OF ALL UTILITIES. THE AS-BUILT SET SHALL SHOW ANY AND ALL VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

Know what's below.
Call before you dig.

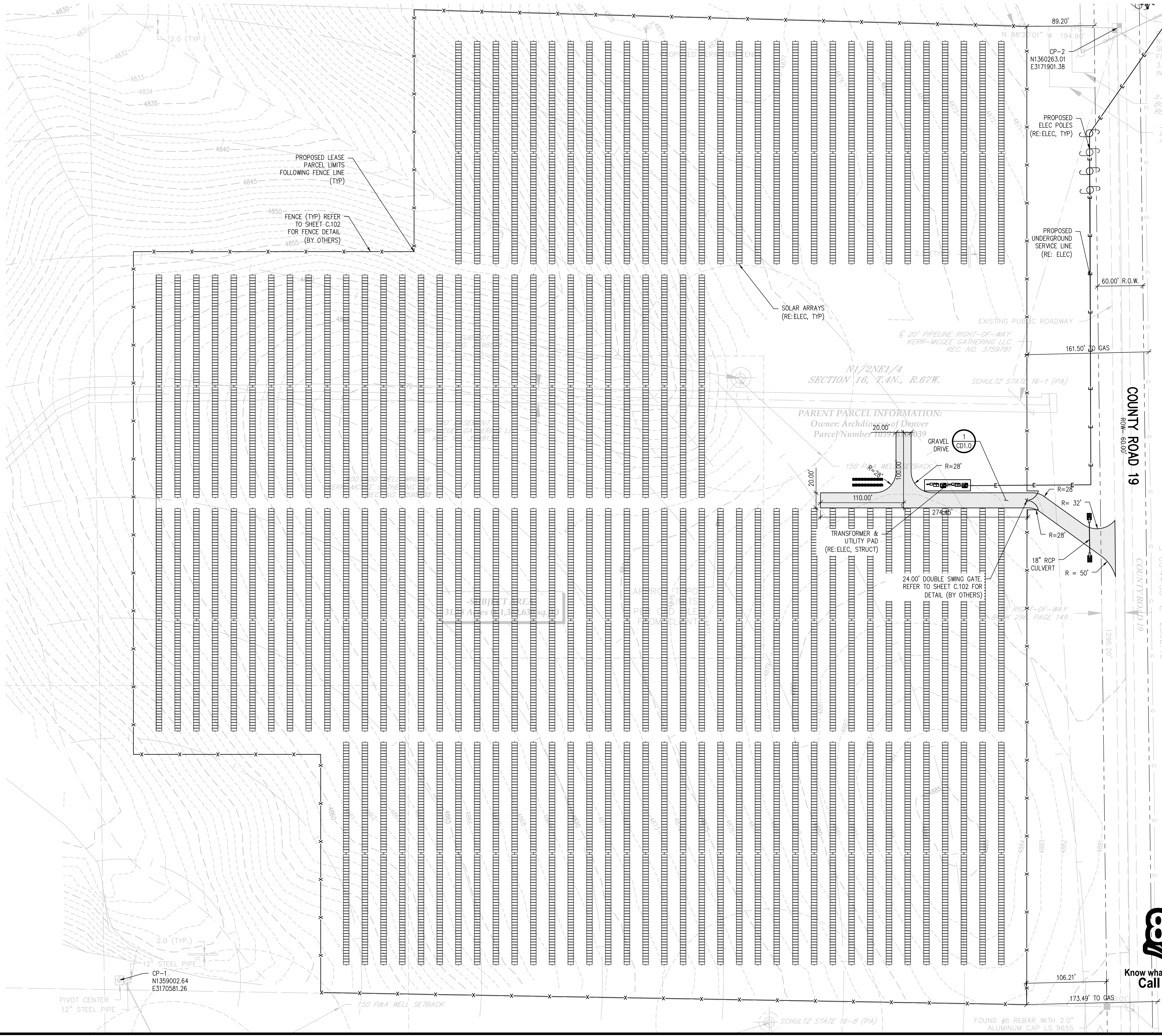
REV	DATE	DNVL	ENG.	CHK	DESCRIPTION
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1	9/22/22	KMH	KJH	KJC	VILLAGE COMMENTS
2	10/4/22	KMH	KJH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KJH	KJC	FIRE DIST COMMENTS

DOVE SOLAR LLC
40.3°18'252, -104.886743 WELD COUNTY, CO 80543
LEGEND, NOTES & ABBREV.ANDREW HUMPHREY ENGINEERING
PO Box 18436 • Golden, CO 80402 • 303.990.9976
www.AndrewHumphreyEngineering.comJOB NO.
2022.0XXSCALE
1"= 1'

SRC083130

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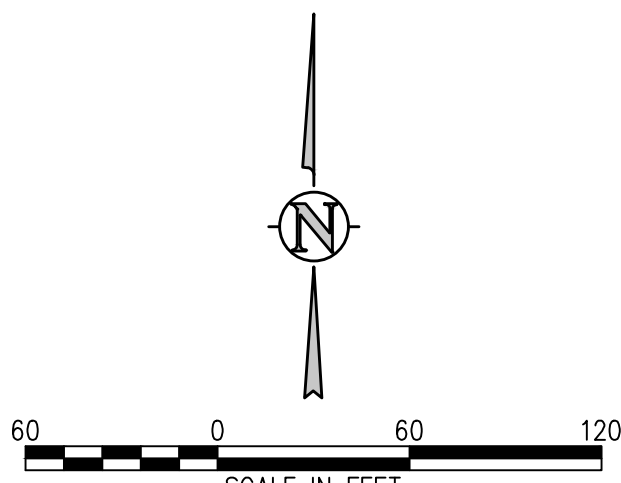


HORIZONTAL CONTROL NOTES:

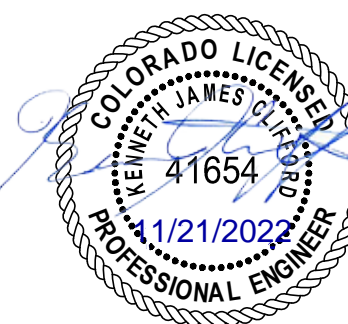
1. ALL DIMENSIONS AND RADI ARE TO EDGE OF DRIVEWAY OR PROPOSED FENCE.
2. CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.
3. REFER TO GRADING AND DRAINAGE PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.

HORIZONTAL CONTROL LEGEND

GRAVEL DRIVE



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Boulder, CO 80302 303.444.1951
www.jva.com

Boulder • Fort Collins • Winter Park
Glenwood Springs • Denver

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DOVE SOLAR LLC

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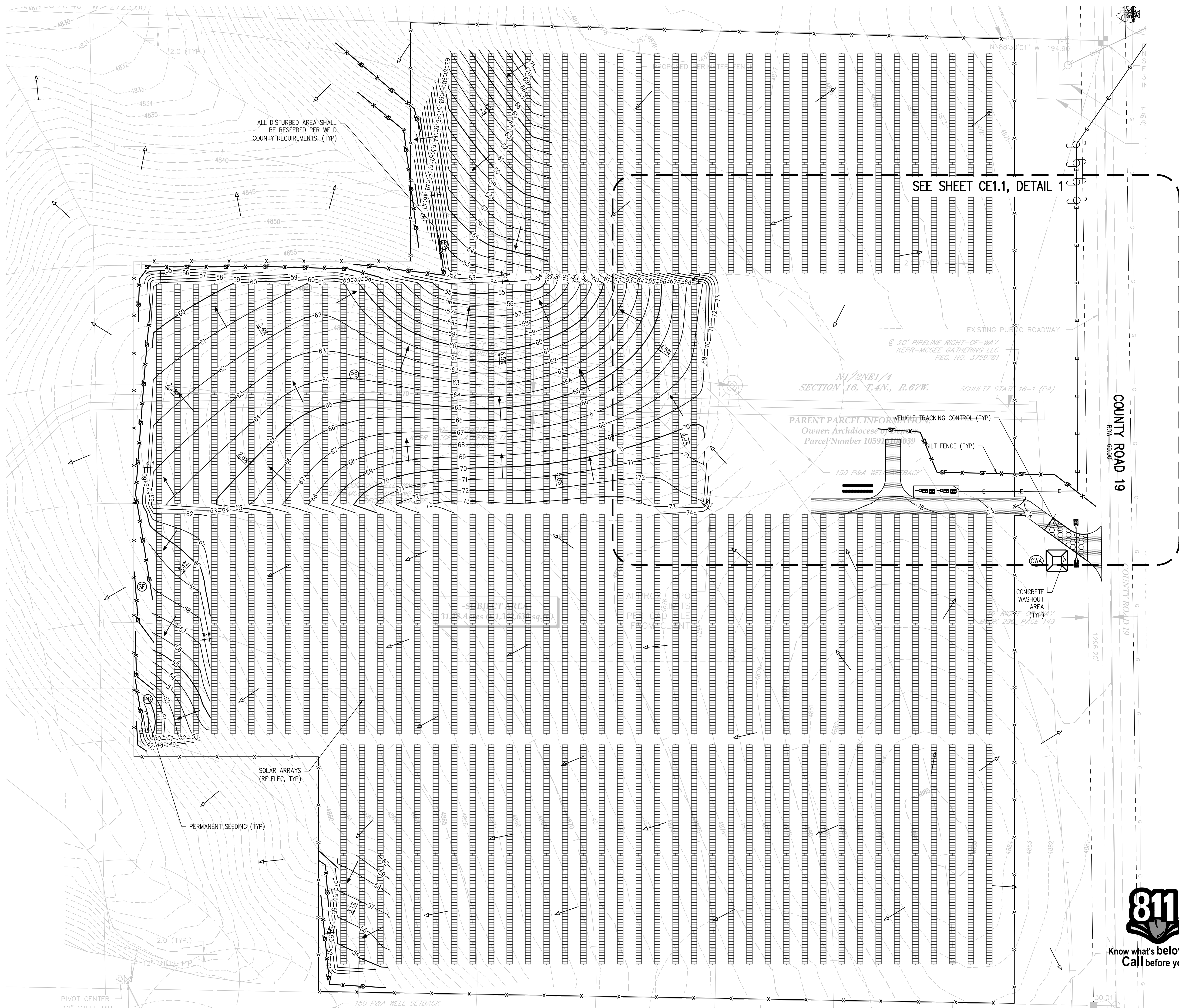
CIVIL SITE PLAN

SunShare

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ALL DISTURBED AREA SHALL
BE RESEED PER WELD
COUNTY REQUIREMENTS. (TYP)

SEE SHEET CE1.1, DETAIL 1

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
2. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
3. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
4. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
5. IF WALL IS SHOWN, TG DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL, BG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/FOOTER, ETC.).

EROSION AND SEDIMENTATION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONTROLS DURING INITIAL, INTERIM, AND FINAL CONDITIONS.
2. ALL CONTROLS SHALL BE INSTALLED WITHIN THE PROPERTY LINES UNLESS OTHERWISE SPECIFIED. WHEN CONSTRUCTION ACTIVITIES DISTURB ADJACENT AND/OR RIGHT-OF-WAY PROPERTIES, COORDINATION WITH PROPERTY OWNERS IS REQUIRED PRIOR TO CONSTRUCTION.

EROSION CONTROL BMP SEQUENCING:

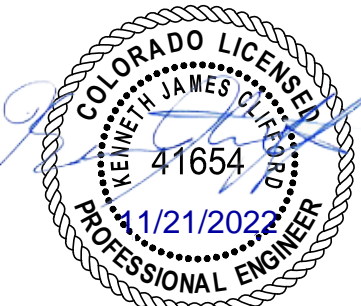
- INITIAL (PRIOR TO CONSTRUCTION)
- INSTALL SILT FENCE
 - INSTALL CWA
 - INSTALL VTC
- INTERIM (DURING CONSTRUCTION)
- MAINTAIN ALL BMP'S
- FINAL (AFTER CONSTRUCTION)
- REMOVE SILT FENCE
 - REMOVE CWA
 - REMOVE VTC
 - PERMANENT SEEDING FOR ALL DISTURBED AREAS

EROSION CONTROL LEGEND

- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- VEHICLE TRACKING CONTROL
- SILT FENCE
- CONCRETE WASHOUT AREA
- DIRECTION OF FLOW
- PERMANENT SEEDING



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3	11/21/22	KMH	KMH	KJC	FIRE DIST COMMENTS

DOVE SOLAR LLC

40.318252, -104.886743 WELD COUNTY, CO 80543

GRADING, UTILITY & EROSION CONTROL PLAN

ANDREW HUMPHREY ENGINEERING

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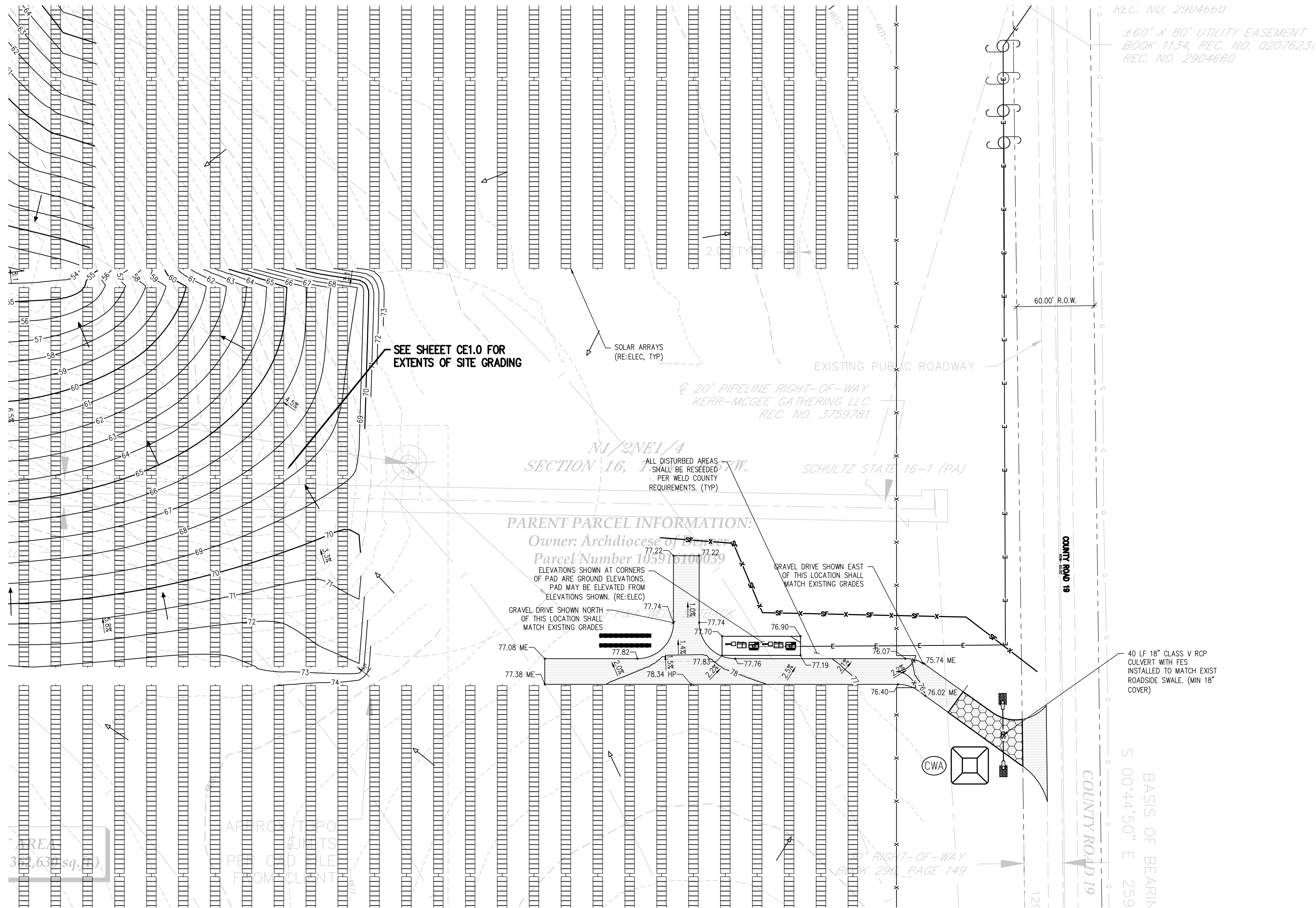
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2022.0XX

SCALE
1" = 80'

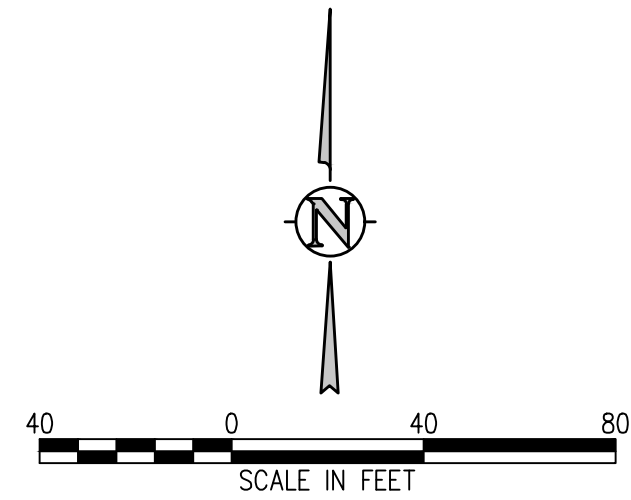
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REC. NO. 2904660
±60' X 80' UTILITY EASEMENT
BOOK 1134, REC. NO. 02076231
REC. NO. 2904660



GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
2. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
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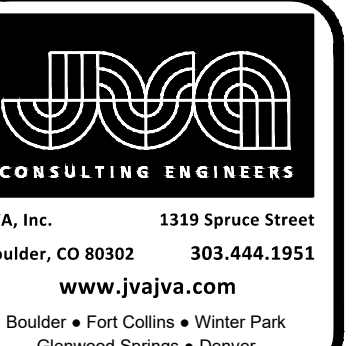
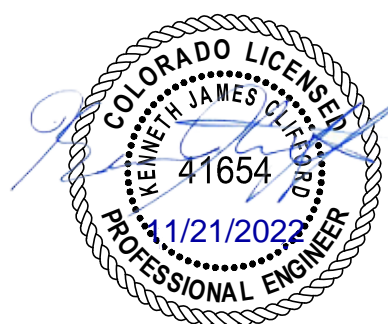
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EROSION CONTROL LEGEND

- EXISTING INDEX CONTOUR
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- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- VEHICLE TRACKING CONTROL
- SILT FENCE
- CONCRETE WASHOUT AREA
- DIRECTION OF FLOW
- PERMANENT SEEDING



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2	10/4/22	KMH	KMH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KMH	KJC	FIRE DIST. COMMENTS

DOVE SOLAR LLC
40.318252, -104.886743 WELD COUNTY, CO 80543
DETAILED GRADING PLAN



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JOB NO. 2022.0XX SCALE 1"= 40'

SRC083130

CE1.1

STORMWATER MANAGEMENT PLAN (SWMP)

THIS STORMWATER MANAGEMENT PLAN IS TO BE RETAINED AND MAINTAINED ONSITE INCLUDING FINAL LANDSCAPING PLANS AND ANY OTHER EROSION CONTROL DOCUMENTATION. A SWMP ADMINISTRATOR WILL BE DESIGNATED BY THE CONTRACTOR AND IS RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THIS SWMP. THE SWMP ADMINISTRATOR IS THE CONTACT FOR ALL SWMP-RELATED ISSUES AND IS RESPONSIBLE FOR ITS ACCURACY, COMPLETENESS, AND IMPLEMENTATION. THE FOLLOWING HAS BEEN DESIGNATED AS THE SWMP ADMINISTRATOR FOR THIS PROJECT:

NAME: _____
CONTACT INFO: _____

THE SITE IS LOCATED SW OF THE INTERSECTION AT COUNTY ROAD 46 AND COUNTY ROAD 19 AND AT APPROXIMATELY 40.31825 LATITUDE, -104.886743 LONGITUDE. THE PROPOSED PROJECT CONSISTS OF OVERLOT GRADING, AN 18" DRAINAGE CULVERT AND AN ENTRANCE DRIVE CONSTRUCTION IN THE TOWN OF JOHNSTOWN. THE TOTAL SITE AREA IS APPROXIMATELY 39.96 ACRES WITH AT TOTAL DISTURBANCE OF 7.74 ACRES. NO AREAS GREATER THAN 40 ACRES SHALL BE DISTURBED AT ANY GIVEN TIME. NO CONSTRUCTION ACTIVITIES SHALL OCCUR OFFSITE OR OUTSIDE OF THE CONSTRUCTION LIMITS SHOWN ON THE CONSTRUCTION DOCUMENTS. THE SEQUENCE OF CONSTRUCTION STARTS IS AS FOLLOWS:

PHASE	ESTIMATED	ACTUAL
CONSTRUCTION START	TBD	_____
GRAVEL DRIVE AND OVERLOT GRADING	TBD	_____
GRAVEL ROAD INSTALLATION	TBD	_____
SITE RESTORATION	TBD	_____

THE EXISTING SITE CONSISTS OF NATIVE GRASSLAND, VEGETATION, AND OPEN RANGE. THE ESTIMATED HISTORIC AND DEVELOPED RUNOFF COEFFICIENTS ARE 0.13 AND 0.13 RESPECTIVELY.

THE EXISTING SITE CURRENTLY DOES NOT HAVE ANY REGIONAL DETENTION OR WATER QUALITY FEATURES. HISTORICALLY THE SITE HAS A DRAINAGE DIVIDE NEAR THE EAST OF THE SITE BREAKING IT INTO TWO DRAINAGE BASINS H-1, H-2.HISTORIC BASIN H-A1 IS SLOPED FROM EAST TO WEST TOWARD THE EXISTING OVERFLOW DITCH TOWARD HILLSBORO RESERVOIR. HISTORIC BASIN H-2 IS FLOWS NORTHEAST AT A RELATIVE UNIFORM SLOPE. PLEASE REFER TO THE HISTORIC DRAINAGE MAP (FIG-1) FOR MORE INFORMATION ON EXISTING DRAINAGE PATTERNS. A DRAINAGE REPORT FOR THIS DEVELOPMENT HAS BEEN SUBMITTED TO THE ENGINEER ON RECORD.

OTHER POTENTIAL POLLUTION SOURCES SUCH AS VEHICLE FUELING, STORAGE OF FERTILIZER OR CHEMICALS, VEHICLE WASHING, WASTE INCINERATION, HAUL-ROADS, LOADING/ UNLOADING AREAS DO NOT EXIST AT THIS SITE. NON-STORMWATER COMPONENTS OF THE DISCHARGE, SUCH AS SPRINGS, LANDSCAPE IRRIGATION RETURN FLOW ARE NOT ON SITE.

BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT

NON STRUCTURAL BMPs WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPs WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPs WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY AVERT PROBLEMS BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPs. NON STRUCTURAL BMPs WILL CONSIST PRIMARILY OF PRESERVATION OF EXISTING MATURE VEGETATION AND TREES, PLANNING AND SCHEDULING CONSTRUCTION ACTIVITIES AIMED AT ACHIEVING THE GOAL OF MINIMIZING EROSION. FURTHERMORE, CONSTRUCTION PERSONNEL WILL BE INSTRUCTED AND SUPERVISED IN CONSTRUCTION METHODS CONSISTENT WITH EROSION PREVENTION PRACTICES.

PLANNED STRUCTURAL BMPs FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN. IMPLEMENTING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

APPLICATION OF THESE BMPs FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY.

VEHICLE TRACKING CONTROL (VTC):

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED AT COUNTY ROAD 46. THE CONSTRUCTION ACCESS AND PARKING WILL BE GRADED AND COVERED WITH A CRUSHED STONE BASE COURSE DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL WILL BE RELOCATED WITH THE CONSTRUCTION ACCESS AS NECESSARY.

SILT FENCING (SF) AND SEDIMENT CONTROL LOGS (SCL):

SILT FENCING AND SEDIMENT CONTROL LOGS SHALL BE INSTALLED WITH RESPECT TO PROPOSED DRAINAGE PATTERNS. SILT FENCE AND SEDIMENT CONTROL LOGS SHALL BE CONSTRUCTED ALONG THE PORTIONS OF THE EAST AND NORTH SIDE OF THE PROPERTY AND ALONG ANY DRAINAGE AREAS SUBJECT TO EROSION. THE SILT FENCING AND SEDIMENT CONTROL LOGS SHALL BE INSTALLED AT THE DOWNHILL SIDE OF THE EXISTING SLOPES ACROSS THE SITE AND AT ALL POINT DISCHARGE AREAS WHETHER SHOWN OR NOT. SILT FENCE AND SEDIMENT CONTROL LOGS SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PROCESS. THE TEMPORARY SILT FENCE AND SEDIMENT CONTROL LOGS WILL REMAIN UNTIL THE STORM SEWER STRUCTURES ARE COMPLETED AND GROUND COVER IS EFFECTIVE.

OVERLOT GRADING:

ALL OPEN AREAS WILL BE TREATED WITHIN 14 DAYS OF COMPLETION OF THE OVERLOT GRADING. ALL OVERLOT GRADING IN THE NON-IRRIGATED AREAS WILL HAVE THE SURFACE ROUGHENED AND WILL BE PERMANENTLY LANDSCAPED OR TEMPORARILY SEEDED UNTIL THE PLANNED INSTALLATIONS ARE COMPLETED. AT THE COMPLETION OF THE MASS GRADING, ALL EXPOSED SOIL AREAS WILL HAVE THE SURFACE ROUGHENED AND PLANTED WITH A REVEGETATION SEED MIX. VEGETATION IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL AREAS ARE PERMANENTLY LANDSCAPED. ALTERNATELY, ROUGH-CUT DRIVEWAYS OR PROPOSED PAVED AREAS CAN BE COVERED WITH A LAYER OF AGGREGATE, ROAD BASE OR ASPHALT PAVING.

DUST CONTROL MEASURES:

DISTURBED AREAS NOT YET READY TO BE SEEDED, LANDSCAPED, PAVED, OR OTHERWISE STABILIZED SHALL BE WATERED, OR RIPPED AS NECESSARY TO PRECLUDE VISIBLE DUST EMISSIONS.

ITEMS ARE SCHEDULED TO BE IMPLEMENTED ACCORDING TO THE CONSTRUCTION SCHEDULE. AS WORK PROCEEDS, IMPLEMENTATION OF INDIVIDUAL BMPs IS TO COINCIDE WITH THE CONSTRUCTION THEREBY MINIMIZING THE EXPOSURE OF UNPROTECTED AREAS. THE SILT FENCE, INLET PROTECTION (FOR EXISTING INLETS), AND GRAVELING OF THE CONSTRUCTION ENTRANCE WILL BE PERFORMED WHEN THE GRADING BEGINS. THE INLET PROTECTION WILL BE INSTALLED AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. THE RIPRAP PROTECTION WILL BE INSTALLED AS THE STORM SEWER OUTFALLS OR CULVERTS ARE CONSTRUCTED. THE STRUCTURAL BMPs THAT DO NOT BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN ARE TO BE REMOVED, AS THE PAVING, LANDSCAPING, AND OTHER PERMANENT GROUNDCOVER INSTALLATIONS ARE COMPLETED. FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY AS DEFINED BY THE COLORADO DEPARTMENT OF HEALTH AT THE TIME OF GRADING. THE GRAVELING IS TO BE MAINTAINED AND EXTENDED CONSTRUCTION PROGRESSES ESPECIALLY AROUND THE BUILDING SITE. THE STRUCTURAL BMPs ARE TO BE REMOVED, AS THE PERMANENT LANDSCAPING INSTALLATIONS ARE COMPLETED.

THE EROSION AND SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE (DEPARTMENT OF HIGHWAYS AND TRANSPORTATION, OWNER'S ENGINEER, COUNTY ENGINEERING INSPECTORS, MUNICIPALITY, OR ITS AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.

STORMWATER DETENTION AND WATER QUALITY:

STORMWATER DETENTION IS NOT PROVIDED ONSITE. WATER QUALITY TREATMENT IS NOT PROVIDED ONSITE.

TEMPORARY SEEDING AND MULCHING:

ALL SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAWEED, AND LEAFY SPURGE, THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS). SEEDING RECOMMENDATIONS ARE PROVIDED BELOW, BUT MAY BE MODIFIED WITH THE OWNER'S APPROVAL TO MAKE THE BEST USE OF EXISTING CLEARINGS AND GRUBBINGS:

SPECIES	COMMON NAME	VARIETY	LBS/ACRE
AGROPYRON SMITHI	WESTERN WHEATGRASS	ARRIBA	8.0
ARRHENATHERUM ELATES	TALL OATGRASS		3.0
LOLIUM PERENNE	PERENNIAL RYEGRASS	PENNFINE	2.0

ALL SEEDS SHALL BE DRILLED NOT HYDROSEEDED. ALL DISTURBED AREAS SHALL BE SEEDED AND CRIMP MULCHED IF PERMANENT VEGETATION IS NOT IMMEDIATELY INSTALLED. AFTER SEEDING HAS BEEN COMPLETED, A RATE OF 4,000 LBS. OF STRAW PER ACRE SHALL BE APPLIED UNIFORMLY, CRIMPED IN WITH A CRIMPER OR OTHER APPROVED EQUIPMENT OR OTHERWISE ATTACHED. A TACKIFIER OR JUTE NETTING TO ATTACH MULCH MAY BE USED WITH THE OWNER'S APPROVAL. THE SEEDED AREA SHALL BE CRIMPED MULCHED AND THE MULCH ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING. AREAS NOT MULCHED AND ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING MUST BE RESEEDED WITH THE SPECIFIED MIX AT THE CONTRACTOR'S EXPENSE, PRIOR TO MULCHING AND ATTACHING. ON STEEP SLOPES OR OTHER SPECIFIED AREAS AS SHOWN ON THE PLANTING PLAN, WHICH ARE DIFFICULT TO MULCH AND ATTACH BY CONVENTIONAL METHOD, BURLAP OR OTHER BLANKETING MATERIALS PROPERLY ANCHORED AND SECURED MAY BE USED WHEN APPROVED BY THE TOWN ENGINEER.

PERMANENT STABILIZATION MEASURES:

RIPRAP FOR STORM DRAIN OUTFALLS AND ROCK CHECK DAMS WILL BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN AND WILL NOT BE REMOVED. PERMANENT LANDSCAPING WILL INCLUDE (SODDING, SEEDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER TO OPEN AREAS. NATIVE PERENNIAL SEEDING WILL BE ESTABLISHED IN NON-IRRIGATED AREAS AND SOD OR OTHER VEGETATIVE COVER WILL BE ESTABLISHED IN IRRIGATED OPEN AREAS. ALL PERMANENT STABILIZATION MEASURES WILL BE SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER.

PERMANENT SEEDING MIX:

ALL SEED MIXES MUST MEET THE TOWN OF JOHNSTOWN VEGETATION MAINTENANCE AND SEEDING SPECIFICATIONS. SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAWEED, AND LEAFY SPURGE, THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS). SEEDING RECOMMENDATIONS ARE PROVIDED BELOW, BUT MAY BE MODIFIED WITH THE OWNER'S APPROVAL TO MAKE THE BEST USE OF EXISTING CLEARINGS AND GRUBBINGS:

Grasses + Wildflowers

Species	PLS lbs / acre
Buffalograss (Bouteloua dactyloides)	8.40
Western wheatgrass (Pascopyrum smithii)	4.30
Slender wheatgrass (Elymus trachycaulus ssp. trachycaulus)	3.00
Sideoats grama (Bouteloua curtipendula)	2.50
Blue grama (Bouteloua gracilis)	0.60
Sand dropseed (Sporobolus cryptandrus)	0.10
Western yarrow (Achillea millefolium var. occidentalis)	0.02
Blanket flower (Gaillardia aristata)	0.50
Blue flax (Linum perenne)	0.20
Lance-leaved coreopsis (Coreopsis lanceolata)	0.20
Plains coreopsis (Coreopsis tinctoria)	0.05
Prairie aster (Machaeranthera tanacetifolia)	0.10
Total PLS lbs / acre	19.97

MATERIALS AND SPILL PREVENTION:

THE CONTRACTOR WILL STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN CONFINED AREAS ON SITE FROM WHICH RUNOFF WILL BE CONTAINED AND FILTERED. MATERIALS WILL BE STORED OFF THE GROUND AND PROTECTED FROM THE WEATHER BY A COVER OR STORED IN A CONTAINER SUCH AS A VAN OR TRAILER. AN EARTHEN DIKE WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE FUEL STORAGE AREA TO PREVENT MATERIALS FROM CONTACT WITH SURFACE RUNOFF. EQUIPMENT MAINTENANCE WILL BE PERFORMED IN A DESIGNATED AREA AND STANDARD MAINTENANCE PROCEDURES, SUCH AS THE USE OF DRIP PANS, WILL BE USED TO CONTAIN PETROLEUM PRODUCTS.

INSPECTION AND MAINTENANCE:

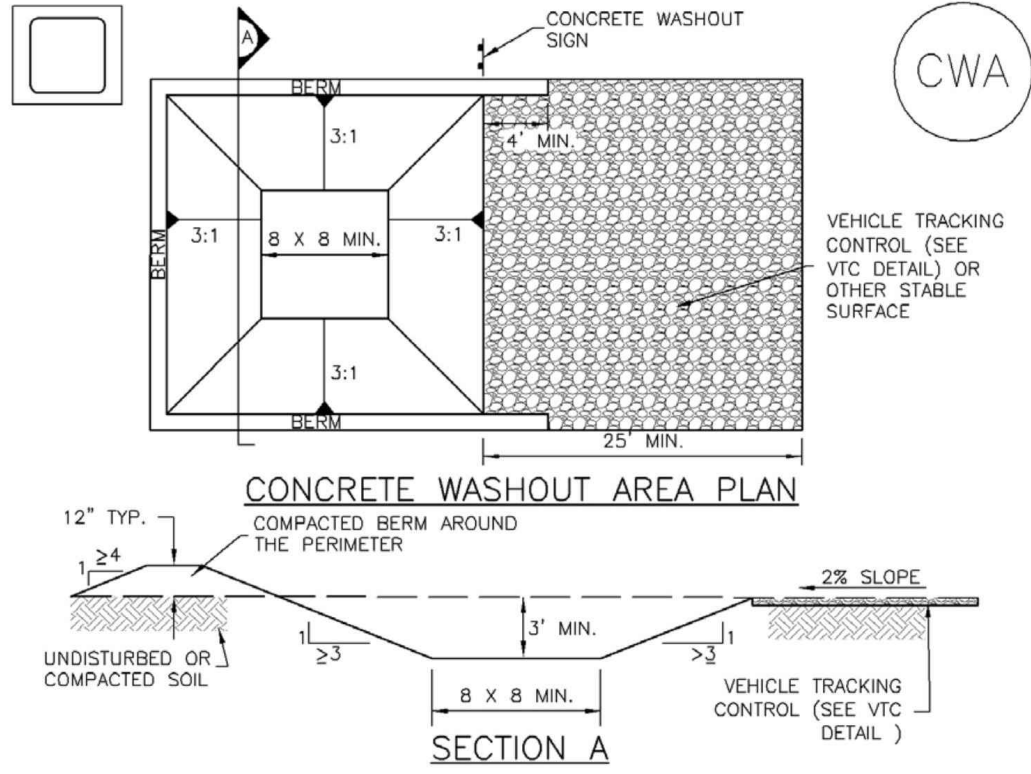
THE EROSION CONTROL MEASURES WILL BE INSPECTED DAILY DURING CONSTRUCTION BY THE CONTRACTOR AND AFTER EACH RAIN EVENT. ALL INSPECTIONS SHALL BE DOCUMENTED AND SHALL INCLUDE THE DATE OF INSPECTION, ANY INCIDENCE OF NON-COMPLIANCE, SIGNED CERTIFICATION THAT THE SITE IS IN COMPLIANCE, AND ANY NOTES, DRAWINGS, MAPS, ETC. PERTAINING TO REPAIRS. COPIES OF ALL DOCUMENTATION SHALL BE DISTRIBUTED TO MUNICIPALITIES AND OWNER ON A REGULAR BASIS AS SPECIFIED BY OWNER. SILT FENCE AND STRAW BALE BARRIERS WILL BE CHECKED FOR UNDERMINING AND BYPASS AND REPAIRED OR EXPANDED AS NEEDED. SEDIMENT SHOULD BE REMOVED FROM INLET FILTERS AND SILT FENCING BEFORE ONE HALF OF THE DESIGN DEPTH HAS BEEN FILLED. SEDIMENTS DEPOSITED IN THE PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY. THE TEMPORARY VEGETATION OF BARE SOILS WILL BE CHECKED REGULARLY AND AREAS WHERE IT IS LOST OR DAMAGED WILL BE RESEEDED. AT MINIMUM THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs EVERY 14 DAYS AND AFTER SIGNIFICANT PRECIPITATION OR SNOWMELT EVENTS. INSTALLATIONS AND MODIFICATIONS AS REQUIRED BY THE (CITY/TOWN/COUNTY) WILL BE IMPLEMENTED WITHIN 48 HOURS OF NOTIFICATION. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.

FINAL STABILIZATION AND LONG-TERM STORMWATER QUALITY:

FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OR PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED. FINAL STABILIZATION WILL BE ACHIEVED USING SOD, NATIVE SEEDING, PERMANENT BMP'S, AND OTHER METHODS. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL STABILIZATION REGARDLESS OF ACCEPTANCE BY OWNER OF THE CONTRACTOR ITEM.

Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8" BY 8" SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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MM-1

Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD).
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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2	10/4/22	KMH	KJC	KJC	VILLAGE COMMENTS
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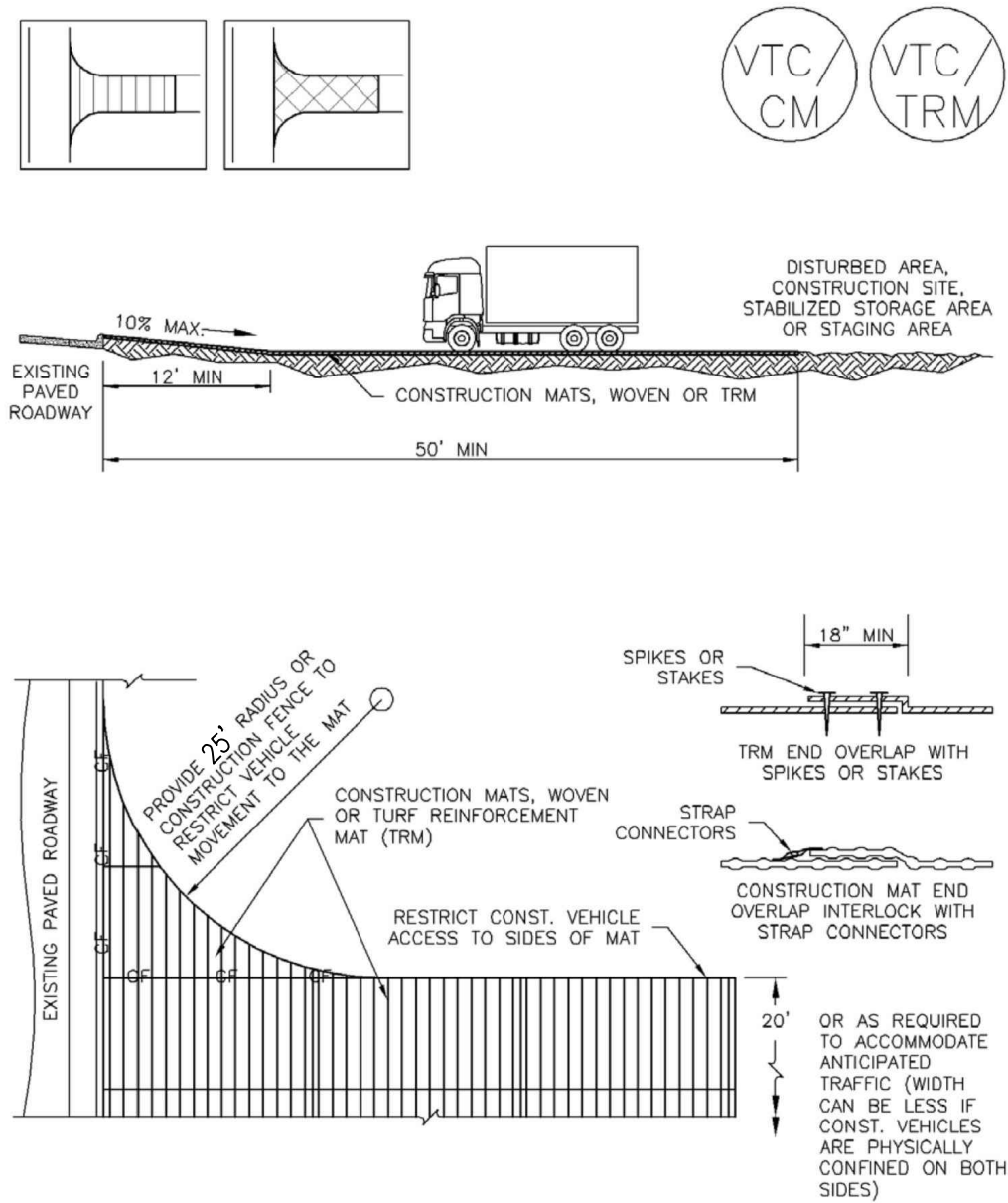
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Vehicle Tracking Control (VTC)

SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-5

SM-4

Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- SEE PLAN VIEW FOR
-LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, MSHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

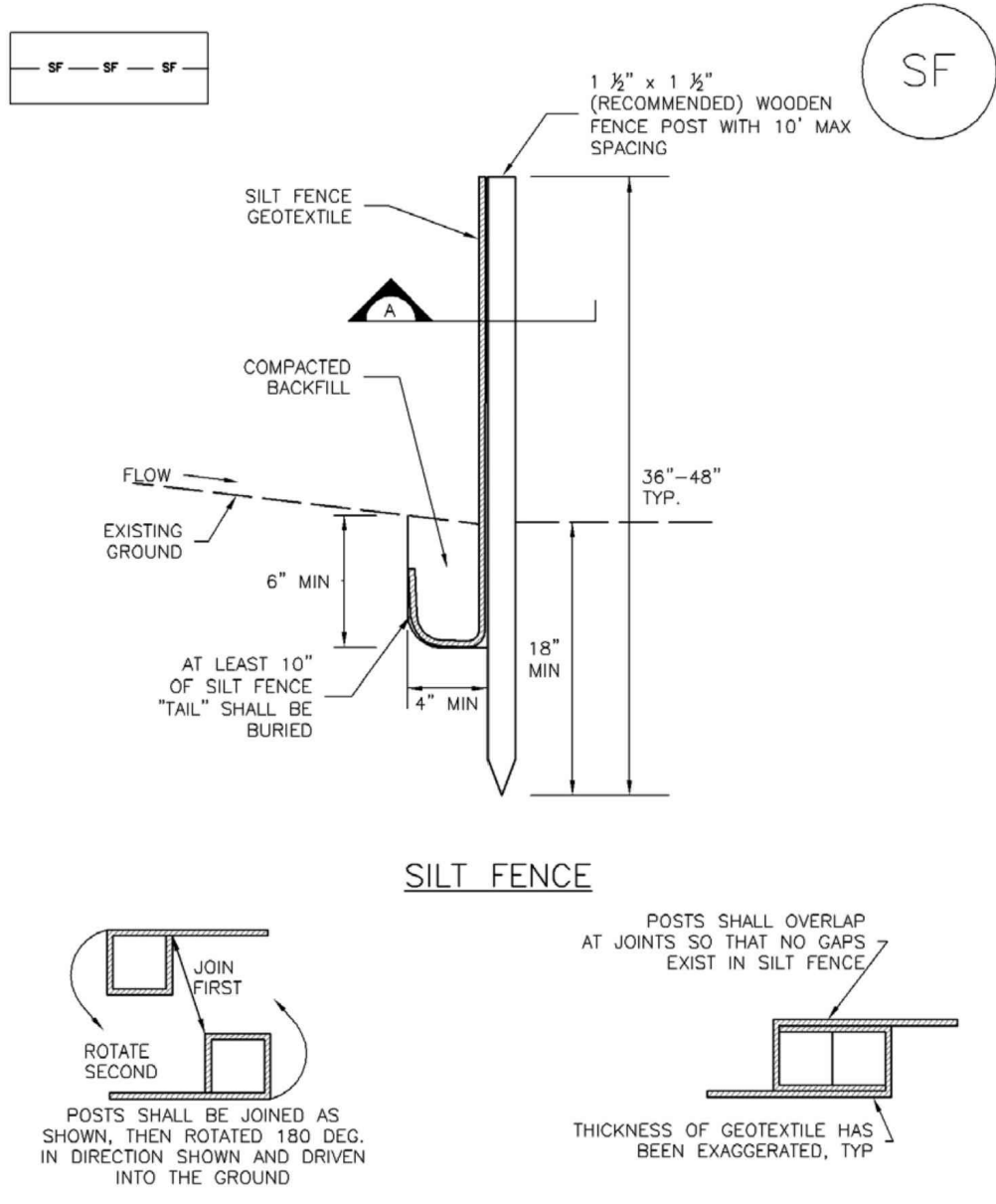
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

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Silt Fence (SF)

SC-1



SECTION A

SF-1. SILT FENCE

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SC-1

Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-3 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

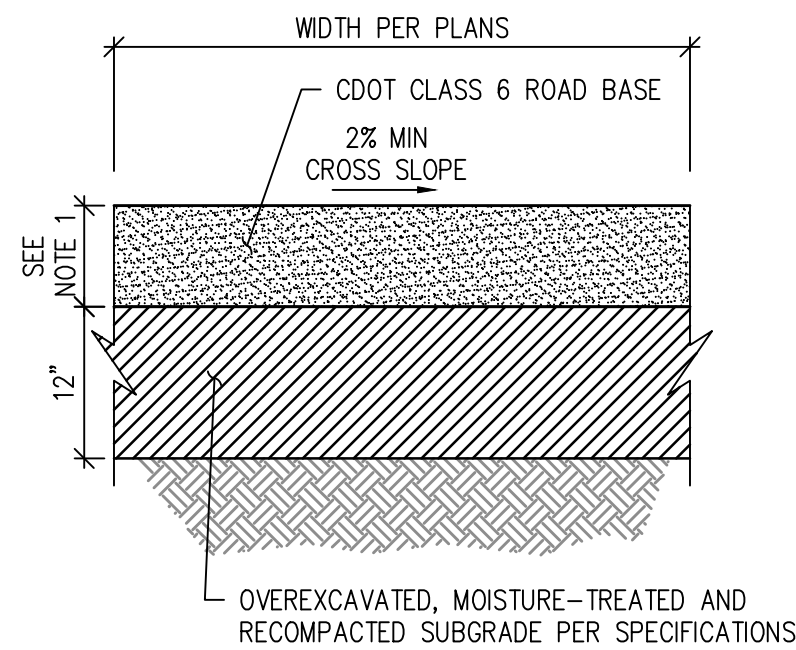
SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEED, AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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NOTES:

- MIN DEPTH SHALL BE 12" OR AS DIRECTED BY GEOTECH TO SUPPORT DESIGN LOADS.

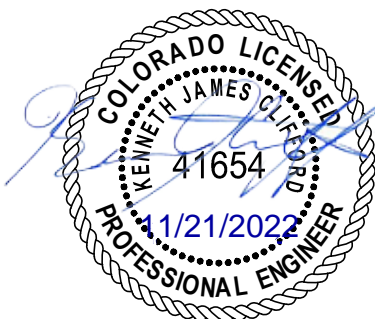
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