



# PRIVATE RESIDENCE

430 MARS WAY JUPITER, FL 33480

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## CONSULTANTS

### ARCHITECT

B1 ARCHITECT  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH, FL 33480

CONTACT: GREGORY BONNER  
T 561.312.3453

### STRUCTURAL ENGINEER

ENGINEERING PLUS  
19528 SEDGEFIELD TERRACE  
BOCA RATON, FL 33498

CONTACT: TAYLAN KALKAN, PE  
T 561.756.4106  
E ENGPLUS@CS.COM

### MEP

INTERNATIONAL CONSULTING ENGINEERS &  
DESIGN, LLC  
4310 WEST BROWARD BLVD.  
PLANTATION, FL 33317

CONTACT: JOE SPASOVSKI, P.E.  
T 561.707.6795  
E JOE@ICEDENGINEERING.COM

## SCOPE OF WORK

ADDITION/INTERIOR RENOVATION TO EXISTING ONE STORY RESIDENCE.  
NEW SECOND FLOOR. ROOF TRUSS AND RELATED FINISHES.  
NEW INTERIOR REMODEL OF EXISTING FIRST FLOOR.  
EXISTING FIRST FLOOR CONCRETE SLAB AND CBS WALLS TO REMAIN.  
MODIFIED OPENINGS FOR WINDOWS AND DOORS.

ISSUE	DATE
PERMIT SET	04.04.25

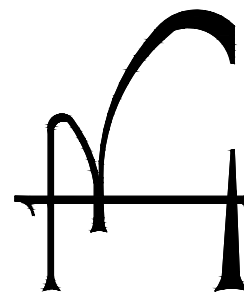
ALL DESIGNS, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF B1 ARCHITECT AND, WHERE CREATED, DEVELOPED AND EVOLVED FOR THE SPECIFIED PROJECT ON WHICH NONE OF THE DESIGN, IDEAS AND ARRANGEMENTS SHOULD BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE OFFICE. SCALED DIMENSIONS SHOULD BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THE OFFICE OF ANY VARIATIONS IN DIMENSIONS AND CONDITIONS SHOWN ON THIS OR EXISTING SHOP DETAILS WITH ADEQUATE DIMENSIONING AND SCALE. MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEMS INDICATED.

RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:  
**PRIVATE RESIDENCE**  
430 MARS WAY  
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

**B1 ARCHITECT**  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH FLORIDA 33480  
(561) 312-3453



JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc


CV




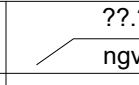


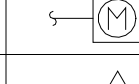







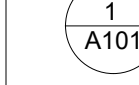



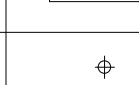



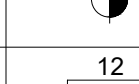

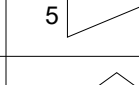

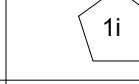

ABBREVIATIONS

A	ANCHOR	HT	HEIGHT
A/C	AIR CONDITIONING	HORIZ	HORIZONTAL
ACOUST	ACOUSTICAL	H.B.	HOSE BIBB
ACP	ACOUSTICAL CEILING PANEL	I.D.	INTERIOR DIMENSION
A.F.F.	ABOVE FINISH FLOOR	INSUL.	INSULATION
AL OR ALUM	ALUMINUM	INTERM	INTERMEDIATE
ANOD.	ANODIZE	JAN.	JANITOR
BD	BOARD	MANUF.	MANUFACTURER
B.F.F.	BELOW FINISH FLOOR	MAT	MATERIAL
BLK'G	BLOCKING	MAX	MAXIMUM
BLK	BLOCK	MIN	MINIMUM
CEM	CEMENT	MTL	METAL
CER	CERAMIC	NIC	NOT IN CONTRACT
C.F.V.	CONTRACTOR FIELD VERIFY	NEOPR	NEOPRENE
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIMENSION
CLG	CEILING	O.C.	ON CENTER
COL	COLUMN	O.S.	OVERFLOW SCUPPERS
CL	CLOSET	PTN	PARTITION
CONC	CONCRETE	PJ	PANEL JOINT
CONT	CONTINUOUS	PL	PLATE
COVER'G	COVERING	L.P.	LIGHT POLE
DBL	DOUBLE	PLYWD	PLYWOOD
DIM	DIMENSION	PNL	PANEL
DTL/DTLS	DETAILS	PLAM	PLASTIC LAMINATE
D/W	DISH WASHER	P.T.	PRESSURE TREATED
E.A.	EACH	REINF.	REINFORCING
ELECT/ELEC	ELECTRICAL	REQ'D	REQUIRED
EL.	ELEVATION	RM	ROOM
ELEV.	ELEVATOR	R.D.	ROOF DRAIN
EXH.	EXHAUST	SHT	SHEET
EXIST.	EXISTING	SCH	SCHEDULE
EXP.	EXPANSION	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	STL	STEEL
F.D.	FLOOR DRAIN	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	SECT	SECTION
FIRE EXT. CAB.	FIRE EXTINGUISHER CABINET	SIM	SIMILAR
F.O.I.C.	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	SPEC'S	SPECIFICATIONS
		STRUCT	STRUCTURE
FLUOR	FLUORESCENT	SC	SOLID CORE WOOD
FIN.	FINISH	PH.	TELEPHONE
GA	GAUGE	TEMP	TEMPERED
GWB	GYPSUM WALL BOARD	VCT	VINYL COMPOSITION TILE
GYP. BD.	GYPSUM BOARD	VERT	VERTICAL
GALV.	GALVANIZED	VEST.	VESTIBULE
GS	GALVANIZED STEEL	WH	WATER HEATER
GL	GLASS		
HM	HOLLOW METAL		

MATERIAL LEGEND

		
INSULATION BLANKET	STEEL SMALL SCALE	CEMENT MORTAR PLASTER
		
GLASS: LARGE SCALE	WOOD BLOCKING INTERMITTENT	TILE
		
MARBLE	GRAVEL OR CRUSHED STONE	PL WOOD
		
WOOD BLOCKING CONTINUOUS	EARTH	WOOD FINISHED
		
CONCRETE PRE-CAST	STEEL LARGE SCALE	CONCRETE
		
INSULATION RIGID	BRICK LARGE SCALE	CONCRETE MAS. UNIT

SYMBOLS LEGEND

	CENTER LINE		SITE TERRAIN ELEV.
	PROPERTY LINE		ELECTRICAL METER
	WINDOW TAG		WATER METER
	DOOR TAG		REVISION TAG
	SECTION MARK		Room name
	DATUM FLOOR ELEV.		ROOM TAG
	KEYNOTE TAG		CALLOUT HEAD TAG
	BREAKLINE		ELECTRICAL PANEL
	CHANGE OF ELEVATION		LOW POINT ELEVATION
	WALL TYPE TAG		SPOT ELEVATION
	RAIN WATER SLOPE ARROW		ROOF SLOPE TAG
	WINDOW PRESSURE		CURTINE WALL TAG
	NORTH ARROW		LEVEL HEAD CIRCLE
			GRID BUBBLE TAG

1. THESE PLANS REPRESENT IMPROVEMENTS TO AN EXISTING BUILDING. THE CONSTRUCTION DOCUMENTS AND DEMO PLANS ARE BASED UPON EXISTING DRAWINGS AND FIELD SURVEYS TO PROVIDE AN OVER ALL PLAN OF THE STRUCTURE. ALL CRITICAL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN-FIELD BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE THE DEMOLITION WITH THE NEW CONSTRUCTION IN ORDER TO PROVIDE ALL NECESSARY CONDITIONS TO PROPERLY TO RETROFIT THE NEW CONSTRUCTION / SYSTEMS / FINISHES.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS, STUB-UPS, AND OTHER INFORMATION CONTAINED HEREIN BEFORE BEGINNING ANY WORK. CONTACT ARCHITECT IF ANY DISCREPANCIES OCCUR.
3. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC EQUIPMENT, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING, AND ELECTRICAL.
4. WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES IN THE BUILDING AND ZONING LOCAL CODE THE FLORIDA BUILDING CODE.
5. CONTRACTOR SHALL INCLUDE ALL PERMITS, LABOR, MATERIALS, & EQUIPMENT TO PROVIDE FIRST CLASS AND COMPLETE INSTALLATIONS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
6. CONTRACTOR SHALL COORDINATE ROUGH-IN REQUIREMENTS AND FINAL CONNECTIONS TO EQUIPMENT. INSTALLATION SHALL MEET ALL CODES AND BE IN ACCORDANCE WITH EQUIPMENT MANUFACTURERS RECOMMENDATIONS. VERIFY AND PROVIDE AS REQUIRED, ALL DISCONNECTING MEANS, OVERLOAD PROTECTION, GROUNDING, ETC. TO ASSURE PROPER INSTALLATION.
7. HAULING DEBRIS, JACK-HAMMERING OR WORK PRODUCING LOUD VIBRATING NOISES, IS TO BE DONE ONLY DURING HOURS COORDINATED WITH GENERAL CONTRACTOR.
8. ACCEPTANCE OF WORK SHALL BE SUBJECT TO GC, APPROVAL OF WORK IN PLACE AS WELL AS SHOP DRAWINGS AND SAMPLES OF MATERIALS AND EQUIPMENT. ALL SUBMITTALS SHALL BE CHECKED & DIMENSIONS VERIFIED BY CONTRACTOR BEFORE SUBMITTAL TO ARCHITECT.
9. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS, SUSPECTED OF CONTAINING HAZARDOUS MATERIALS, ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY GENERAL CONTRACTOR.
10. UTILITY SERVICE: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES SERVING AREAS TO BE DEMOLISHED.
11. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT AND PROMPTLY SUBMIT TO THE ARCHITECT IN WRITING.
12. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROAD, STREETS, WALKS, WALKWAYS AND OTHER ADJACENT OCCUPIED FACILITIES. CONTRACT TO COMPLY WITH ALL CODES AND OBTAINED PERMITS REQUIRED FOR TEMPORARY BARRIERS, ETC.  
A. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES AND COVERED PASSAGEWAYS. WHERE REQUIRED.  
B. PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING THAT ARE TO REMAIN.
13. TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO FACILITIES THAT ARE TO REMAIN.  
A. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION ARE.  
B. PROTECT WALLS, CEILINGS, FLOORS AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING DEMOLITION.
14. TEMPORARY PARTITIONS: ERECT AND MAINTAIN DUST PROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS FROM FUMES AND NOISE.
15. ALL EXISTING REQUIRED MEANS OF EGRESS SHALL BE KEPT CLEAR & CLEAR OF DEBRIS OBSTRUCTIONS.
16. ALL NEW INTERIOR & EXTERIOR SURFACES, FINISHES, EQUIPMENT, AND FLOORS WILL BE APPROVED BY ARCHITECT / GENERAL CONTRACTOR / OWNER.
17. ALL LIFE SAFETY, ENERGY MANAGEMENT, AND COMMUNICATIONS DEVICES & SYSTEMS ARE TO BE SUPPLIED BY THE CONTRACTOR. ALL SYSTEMS MUST MEET APPLICABLE GOVERNING CODES.
18. CONTRACTOR SHALL SUBMIT MARKED-UP CLEAN PRINTS OF AS-BUILT CONDITIONS SHOWING CONCEALED DEVIATIONS FROM DESIGN. ON-SITE JOB COPY SHALL BE KEPT CURRENT W/ REVISIONS AS THEY TAKE PLACE.
19. CONTRACTOR SHALL KEEP PREMISES OF WORK AREA CLEAN DAILY, BROOM CLEAN AT PROJECT COMPLETION, AND SHALL REMOVE ALL REFUSE FROM SITE AND DISPOSE OF ACCORDING TO LAW.
20. CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH EXISTING CONDITIONS BEFORE STARTING NEW WORK. CONCEALED CONDITIONS SHALL BE ADDRESSED WITH DUE CAUTION SUCH THAT UTILITIES AND SYSTEMS ARE PROTECTED.
21. CONTRACTOR SHALL WARRANTY ALL NEW WORK FOR A PERIOD OF TWO YEARS (MINIMUM) FROM DATE OF ACCEPTANCE AND SHALL REPAIR OR REPLACE ANY DEFECTIVE WORK INCLUDING MATERIALS, LABOR, AND EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
22. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF STUD ON CENTER.
23. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR CEILING AND WALL MOUNTED EQUIPMENT AND ACCESSORIES (i.e. TOWEL BARS, SOFFITS, FANS, ETC.)
24. CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES AS NECESSARY TO RECEIVE ALL NEW WORK AS PER THESE SHEETS AND SHALL ALSO EXAMINE ALL SITE CONDITIONS AND VERIFY ALL DIMENSIONS BASED ON EXISTING CONDITIONS. THE GC SHALL CONTACT THE ARCHITECT FOR CLARIFICATIONS OR INTERPRETATIONS AS NECESSARY TO COMPLETE THE JOB.
25. CONTRACTOR SHALL VERIFY AND SET IN ALL CAST-IN INSERTS, ANCHORS, BOLTS, PLATES, ETC. AS MAY BE REQUIRED FOR ATTACHMENT OF THE VARIOUS BUILDING COMPONENTS PRIOR TO PLACE OF CONCRETE.
26. CONTRACTOR SHALL VERIFY ALL FIXTURE LOCATIONS AND CLEARANCES.
27. CONTRACTOR SHALL VERIFY AND COORDINATE ALL ROUGH OPENINGS FOR SCHEDULED DOORS, WINDOWS, AND DOOR HARDWARE
28. ALL ROUGH-IN NAILS, BOLTS, AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
29. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.
30. EXTERIOR CAULKING SHALL BE VINLOX SEALANT (GUN-GRADE) OR AN APPROVED EQUAL.
31. PROVIDE A MINIMUM OF 1/2" CEMENTITIOUS BACKER BOARD AT PARTITIONS SLATED TO RECEIVE CERAMIC TILE / STONE AND ALL WET AREAS.
32. FLOORS AND WALLS: PROVIDE AN EVEN SURFACE OF UNIFORM FINISH COLOR, TEXTURE AND APPEARANCE.
33. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCOPE OF WORK AS DEFINED IN THE CONTRACT DOCUMENTS, INCLUDING, BUT NOT LIMITED TO THESE CONSTRUCTION DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY NOTIFY THE ARCHITECT AND CONSTRUCTION MANAGER OF ANY CONFLICTS, ERRORS OR OMISSIONS IN THESE DRAWINGS.
- 33A. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTOR, VENDORS, ETC. AS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. IN THE CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN THE DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY.
34. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS UPON COMPLETION OF THE DEMOLITION WORK. PRIOR TO THE START OF ANY CONSTRUCTION WORK THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY UNCOVERED CONDITIONS EFFECTING THE CONSTRUCTION, FIXTURING, ETC.
- 34A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS INCURRED IF HE/SHE DOES NOT NOTIFY THE CONSTRUCTION MANAGER IN A TIMELY MANNER.
35. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAINTAIN COMPLIANCE WITH INSURANCE REQUIREMENTS OF THE OWNER AS STIPULATED IN THE CONTRACT DOCUMENTS.
36. THE GENERAL CONTRACTOR SHALL MAINTAIN A CONSTRUCTION SET ON-SITE AT ALL TIMES. AT THE COMPLETION OF THE PROJECT THE GC SHALL PROVIDE THE AS-BUILT SET TO THE ARCHITECT.
37. SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS REQUESTED IN WRITING TO THE CONSTRUCTION MANAGER. APPROVAL MUST BE IN WRITING.
38. ALL WORK COMPLETED UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE CONSTRUCTION DOCUMENTS, THE CONSTRUCTION CRITERIA OF THE OWNER, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS HAVING JURISDICTION. ANY MODIFICATIONS TO THE WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR FOLLOWING WRITTEN NOTIFICATION TO THE ARCHITECT. CHANGES IN THE SCOPE OF WORK REQUIRED BY SUCH AUTHORITIES SHALL ONLY BE CONSIDERED FOR CHANGE ORDERS IF SUBMITTED IN WRITING PRIOR TO ANY PERFORMANCE OF THE WORK.
39. OSHA REQUIREMENTS SHALL BE INCORPORATED INTO THE SCOPE OF WORK EVEN THOUGH THEY ARE NOT LISTED SEPARATELY.
40. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL ALSO REFERENCE THE NOTES ON EACH DRAWING SHEET INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, ETC. AND INCORPORATE SUCH INTO THE SCOPE OF THE WORK.
41. ANY WORK INVOLVING THE CUTTING, PENETRATION THROUGH, NEW ROOF PENETRATIONS, TRENCHING OR MODIFICATION OF STRUCTURAL ELEMENTS OF THE BUILDING SHELL, OR THE INTERRUPTIION OF OWNER-BASE UTILITY SYSTEMS, ETC. SHALL BE COORDINATED WITH THE GC PRIOR TO THE COMMENCEMENT OF WORK. IF SO STIPULATED IN THE GC'S CONSTRUCTION CRITERIA, PERMISSION SHALL BE SECURED IN WRITING. IF REQUIRED, THE GC'S DESIGNATED SUBCONTRACTOR SHALL BE CONTRACTED TO PERFORM THE WORK. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BE FAMILIAR WITH ALL OF THE REQUIREMENTS OF THE OWNER'S CONSTRUCTION CRITERIA, TO SECURE PERMISSION AS REQUIRED BY THE OWNER, AND TO ONLY OPERATE DURING HOURS DESIGNATED.
42. ALL FINISHES MUST MEET FLAME SPREAD RATINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUBMIT FLAME SPREAD RATING INFORMATION TO THE LOCAL BUILDING OFFICIAL IF SO REQUESTED.
43. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 3A 40BC WITH A SEVENTY-FIVE FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
44. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING IN AND VERIFYING ALL SUBMITTALS OF OWNER-SUPPLIED MATERIALS. THIS INCLUDES VERIFYING PACKING LISTS AGAINST ORDER FORMS AND BILLS OF LADING. THE CONTRACTOR WILL BEAR THE COST OF EXPEDITED FREIGHT CHARGES IF MISSING ITEMS ARE NOT IDENTIFIED AT THE TIME OF PACKAGE RECEIPT. THE CONTRACTOR IS RESPONSIBLE FOR FILING DAMAGE REPORTS FOR GOODS RECEIVED DAMAGED. THE CONTRACTOR SHALL MAINTAIN AN ENVELOPE CLEARLY MARKED "PACKING SLIPS" FOR ALL LADING, PACKING SLIPS, USER MANUALS, WARRANTY INFORMATION, AND PAPERWORK. UPON COMPLETION OF THE PROJECT, THIS ENVELOPE SHALL BE GIVEN TO THE OWNER.
45. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY CLEANUP OF THE PROJECT SITE AS WELL AS THE FINAL CLEANUP PRIEST PRIOR TO TURNOVER. ALL TOOLS, MACHINERY, EQUIPMENT, AND MATERIALS SHALL BE REMOVED AND THE PREMISES SHALL BE LEFT IN A NEAT AND ORDERLY MANNER.
46. UPON COMPLETION OF THE PROJECT THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER A COPY OF THE CERTIFICATE OF OCCUPANCY.
47. THE ARCHITECT HAS ENDEAVORED TO SPECIFY AND/OR INDICATE MATERIALS THAT DO NOT CONTAIN HAZARDOUS MATERIALS OR ITEMS IN VIOLATION OF APPLICABLE CODES AND LAWS OR REASONABLE BUILDING PRACTICES. ALL CONTRACTORS, SUBCONTRACTORS, AND VENDORS SHALL LIKEWISE ENDEAVOR TO PROVIDE MATERIALS THAT DO NOT CONTAIN HAZARDOUS COMPONENTS. NOTIFY THE ARCHITECT OF ANY MATERIALS SPECIFIED OR INDICATED FOR USE ON THE PROJECT SITE THAT CONTAIN HAZARDOUS MATERIALS AND/OR ASBESTOS.
48. WORK TO BE PERFORMED UNDER THIS CONTRACT IS DEFINED BY ALL INFORMATION INCLUDED IN THIS SET OF DOCUMENTS.
49. ALL LABOR, MATERIALS, FINISHED EQUIPMENT AND THE FINAL FINISHED PRODUCT AS INDICATED BY THE PLANS, SPECIFICATIONS, AND OTHER CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR AS PER GOVERNING STATE AND LOCAL CODES AND ANY AND ALL OTHER REGULATIONS AND CODES HAVING LOCAL JURISDICTION, AND ALL WORK AS REQUIRED BY INSPECTION AGENCIES HAVING JURISDICTION.
50. THESE DRAWINGS ARE PREPARED FOR PURPOSES OF CONSTRUCTION ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC.
51. THESE DRAWINGS AND RELATED DOCUMENTS DETAIL THE WORK FOR THIS SPECIFIC BUILDING & SPACE INDICATED BY JOB NAME AND NUMBER AND LOCATION. THE DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT.
52. DO NOT SCALE DRAWINGS. PROMPTLY CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OF ANY ERROR, OMISSION, OR DISCREPANCY.
53. ALL WORK SHALL BE NEW UNLESS NOTED ON DRAWINGS.
54. DEMOLITION: REMOVE ALL FINISHES, SURFACES, WALL AND ELEMENTS INDICATED IN THESE DRAWINGS. ALSO, SEE SPECIFICATIONS FOR SELECTIVE DEMOLITION AND ITS RELATED PORTIONS OF ELECTRICAL AND MECHANICAL DRAWINGS.
55. MAINTAIN AND MODIFY AS SPECIFIED ALL BUILDING SYSTEMS THROUGHOUT DEMO & BUILDOUT COORDINATE WITH MECHANICAL ENGINEER.
56. ALL FRAMING LUMBER, PLYWOOD, AND CONCEALED WOOD SHALL BE FIRE-RETARDANT TREATED (FRT). NO FRT IN CEILING PLENUM
57. PROVIDE FRT WOOD BLOCKING FOR ALL HOOKS, TOILET ROOM ACCESSORIES AND ANY OTHER WALL MOUNTED EQUIPMENT.
58. ANY DRILLING, WELDING, OR OTHER ATTACHMENT TO THE STRUCTURAL SYSTEM SHALL BE SUBJECT TO APPROVAL BY THE GC & STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF SUCH WORK.
59. THE ARCHITECT HAS MADE NO INVESTIGATION TO DETERMINE IF ASBESTOS OR ANY OTHER MATERIALS IS PRESENT IN THE EXISTING WORK. THE ARCHITECT ASSUMES NO RESPONSIBILITY WITH REGARD TO ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL. NO WARRANTY OR REPRESENTATION, EITHER EXPRESSED OR IMPLIED, IS MADE BY THESE PLANS AS TO THE SUITABILITY OF REMOVING ANY HAZARDOUS MATERIALS INCLUDING ASBESTOS. ALL PERSONS USING THESE PLANS MUST PROCEED AT THEIR OWN RISK WITH REGARD TO ALL MATERIALS INCLUDING ASBESTOS. IF ANY MATERIAL SUSPECTED OF BEING HAZARDOUS IS ENCOUNTERED, LEAVE INTACT AND UNDISTURBED AND NOTIFY THE ARCHITECT IMMEDIATELY.
60. "TYPICAL" MEANS THAT THE SITUATION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT THE PROJECT. UNLESS OTHERWISE NOTED, DETAILS ARE KEYED AND NOTED AS "TYP" ONLY THE FIRST TIME THEY APPEAR.
61. "HOLD" DIMENSIONS INDICATE THAT PREFABRICATED SYSTEMS ARE TO BE INSTALLED THAT REQUIRE A MINIMUM DIMENSION. MAINTAIN THIS DIMENSION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL SUBCONTRACTORS AND VENDORS TO COORDINATE CONSTRUCTION REQUIREMENTS, DELIVERY SCHEDULE, ETC.
62. "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
63. ALL ITEMS SHOWN AS FURNISHED BY OWNER REQUIRE GC COORDINATION.
64. ALL EXISTING WALLS AND/OR COLUMN COVERS, AND EXISTING SLABS TO REMAIN SHALL BE REPAIRED AND PATCHED AS REQUIRED TO COMPLY WITH LOCAL CODES AND FINISHING REQUIREMENTS.
65. DO NOT SUPPORT ANY CONSTRUCTION FROM THE OWNER'S STRUCTURE OR PENETRATE ANY FLOOR SLABS WITHOUT APPROVAL FROM THE GC PRIOR TO CONSTRUCTION. DO NOT SUSPEND ANY ITEMS FROM THE BOTTOM CHORD OF ROOF JOIST AND JOIST GIRDERS WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF THE PROJECT.
66. THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, S AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
67. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT NEIGHBOR. COORDINATE WITH GC.
68. PROVIDE NON-COMBUSTIBLE BLOCKING AND/OR SUPPORT FRAMING TO ASSURE A COMPLETE INSTALLATION OF FINISHES, TRIM, AND MILLWORK AS INDICATED IN THE DOCUMENTS AND REQUIRED BY THE ARCHITECT. PRODUCT MANUFACTURERS, AND AS REQUIRED FOR INSTALLATION, PROVIDE ADEQUATE BLOCKING AS REQUIRED TO SUPPORT BASE AND UPPER WALL CABINETS, LAVATORIES, TOILET FIXTURES, AND ACCESSORIES, ELECTRIC PANELS, ACCESS LADDERS, ETC.
69. THE GENERAL CONTRACTOR SHALL CONFIRM ALL LOCATIONS FOR BLOCKING FOR ALL FIXTURES AND CASEWORK AS REQUIRED BY THE FIXTURE MANUFACTURER.
70. REMOVE ALL EXISTING CONSTRUCTION WHICH INTERFERES WITH THE WORK SHOWN ON THESE DRAWINGS. PATCH THE SUBFLOOR TO A UNIFORM LEVEL AS REQUIRED TO ACCOMMODATE THE NEW FLOORING. VERIFY NEW FLOOR SLOPE AND REPORT ANY DISCREPANCIES TO THE GC AND ARCHITECT.
71. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S FIXTURE VENDOR AND STOREFRONT VENDOR, FOR COORDINATION OF ALL WORK INVOLVED.
72. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM. THE CONTRACTOR IS RESPONSIBLE FOR PROPER COMPACTION OF UTILITY TRENCHES, BOTH INTERIOR AND EXTERIOR. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS AND CERTIFICATES OF OCCUPANCY.
73. UNLESS OTHERWISE INDICATED, EACH SUBCONTRACTOR AND GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND SUPPORTING ALL ITEMS FROM THE ROOF STRUCTURE FOR GRAVITY LOADS AND TO RESIST MOVEMENTS AS REQUIRED BY ALL APPLICABLE CODES. (ANY BRACING W/ A SIGNIFICANT VISUAL IMPACT IS SUBJECT TO ARCHITECTURAL REVIEW AND APPROVAL. THIS INCLUDES BUT IS NOT LIMITED TO ALL ITE MS BRACED TO, SUSPENDED FROM, OR SUPPORTED BY ROOF STRUCTURE.
74. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING. ANY INFORMATION ON THESE DRAWINGS APPEARING TO BE UNCLEAR OR AMBIGUOUS SHALL BE REFERRED TO THE ARCHITECT FOR INTERPRETATION AND CLARIFICATION.
75. THE CONTRACTOR SHALL PROVIDE SITE AND BUILDING ACCESS TO THE ARCHITECT, CITY FIELD INSPECTORS, AND ANY OTHER PERSON REQUIRED OR ENTRUSTED WITH INSPECTIONS OF THE PROJECT.
76. COORDINATE WORK OF TRADES AND SCHEDULE ELEMENTS OF ALTERATIONS, DEMOLITION AND RENOVATION WORK BY PROCEDURES AND METHODS TO EXPEDITE COMPLETION OF THE WORK.
77. CUT, MOVE, OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:  
A - REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS  
B - REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT, AND WIRING.  
C - REMOVAL OF UNSUITABLE OR EXTRANEEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METALS, AND DETERIORATED CONCRETE.  
D - CLEANING OF SURFACES AND REMOVAL OF SURFACE FINISHES AS NEEDED TO INSTALL NEW WORK AND FINISHES.
78. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING & PATCHING TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE THE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE TO NEW WORK.
79. PERFORM CUTTING AND REMOVAL WORK TO REMOVE MINIMUM NECESSARY AND IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.
80. CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, STUCCO, WALLCOVERING, TILE, PLASTER, OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
81. PROTECT FROM DAMAGE TO EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK WHICH IS SCHEDULED TO REMAIN.
82. REROUTE OR EXTEND EXISTING PLUMBING, OR A/C LINES IN AREAS WHERE DEMOLITION WILL OCCUR.
83. SALVAGE SUFFICIENT QUANTITIES OF CUT OR REMOVED MATERIAL TO REPLACE DAMAGED WORK OF EXISTING CONSTRUCTION AS SPECIFIED ON THE DRAWINGS.
84. PROVIDE SAME PRODUCTS OR TYPES OF CONSTRUCTION AS THAT IN EXISTING STRUCTURE, AS NEEEDED TO PATCH, EXTEND OR MATCH EXISTING WORK.
85. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING SAMPLE OF COMPARISON.
86. PRESENCE OF A PRODUCT, FINISH, OR TYPE OF CONSTRUCTION, REQUIRES THAT PATCHING, EXTENDING OR MATCHING BE PERFORMED AS NECESSARY TO MAKE WORK COMPLETE AND CONSISTENT TO IDENTICAL STANDARDS OF QUALITY.
87. PATCH AND EXTEND WORK USING SKILLED MECHANICS WHO ARE CAPABLE OF MATCHING EXISTING QUALITY OF WORKMANSHIP. QUALITY OF PATCHED OR EXTENDED WORK SHALL BE NOT LESS THAN THAT SPECIFIED FOR NEW WORK.
88. WHERE PARTITIONS ARE REMOVED, PATCH FLOORS, WALLS, AND CEILINGS WITH FINISH MATERIALS TO MATCH EXISTING.
89. WHERE REMOVAL OF PARTITIONS RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS, WALLS, AND CEILING TO PROVIDE SMOOTH PLACES WITHOUT BREAKS, STEPS, OR BULKHEADS.
90. WHERE NEW WORK ABUTS OR FINISHES FLUSH WITH EXISTING WORK, MAKE A SMOOTH AND FLAWLESS TRANSITION. PATCHED WORK SHALL MATCH EXISTING AND ADJACENT WORK IN TEXTURE AND APPEARANCE SO THAT THE PATCH OR TRANSITION IS INVISIBLE AT A DISTANCE OF 5 (FIVE) FEET.
91. WHEN FINISHED SURFACES ARE CUT IN SUCH A WAY THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE IN A NEAT MANNER ALONG A STRAIGHT LINE AT A NEUTRAL LINE OF DIVISION AND PROVIDE TRIM APPROPRIATE TO FINISHED SURFACE.
92. GYPSUM WALLBOARD: PATCH AND REPAIR EXISTING WALLBOARD, TAPE AND FINISH IN A SMOOTH LEVEL FASHION, IN A TEXTURE TO MATCH ADJACENT SURFACES. PROVIDE CAULKING AS REQUIRED.
93. GYPSUM WALLBOARD CEILING: REMOVE EXISTING CEILING AS REQUIRED TO ACCOMMODATE NEW EQUIPMENT AND REPLACE CEILING SYSTEM WITH GYPSUM WALLBOARD FINISH IN A TEXTURE AS SPECIFIED. PROVIDE CAULKING AS REQUIRED.
94. ALL TERMITE DAMAGE AND MOLD TO BE REMOVED. CAREFUL MITIGATION TO BE USED.
95. LEVEL 5 FINISH
96. CORNER BEAD SHALL BE PLASTIC COMPONENTS, INC. #2, 2.75 (70MM)x2.75 (70MM), TO BE PROVIDED AT ALL CORNERS. ALL EXTERIOR TRIM SHALL BE OF PVC MATERIAL CONFORMING TO ASTM STANDARDS D1784, D1063 & D4216-99. PVC PRODUCTS SHALL BE USED FOR ALL EXTERIOR EXPOSURES. CAULK ALL BUTT JOINTS, INTERSECTIONS & ENDS. NARROW FLANGE CASING BEAD MUST BE USED AROUND OPENING OR WHERE STUCCO TERMINATES AT A DISSIMILAR SURFACE. NARROW FLANGE CASING BEAD SHALL BE PLASTIC COMPONENTS, INC. ALL EXTERIOR ACCESSORIES SHALL BE OF PVC MATERIALS CONFORMING TO ASTM STANDARDS D1784, C1063 & D4216-99. CAULK ALL BUTT JOINTS, INTERSECTIONS & ENDS.
97. "V" CONTROL JOINT. CONTROL JOINTS SHALL BE PLASTIC COMPONENTS, INC. #2058. ALL EXTERIOR ACCESSORIES SHALL BE OF PVC MATERIAL CONFORMING TO ASTM STANDARDS D1784, C1063 & D4216-99. SHOULD BE USED IN ANY APPLICATION WHERE A SURFACE AREA IS MORE THAN 144 SQUARE FEET. CAULK ALL BUTT JOINTS, INTERSECTIONS & ENDS. REFER TO DETAIL 7/A600.

GENERAL NOTES

1. THESE PLANS REPRESENT IMPROVEMENTS TO AN EXISTING BUILDING. THE CONSTRUCTION DOCUMENTS AND DEMO PLANS ARE BASED UPON EXISTING DRAWINGS AND FIELD SURVEYS TO PROVIDE AN OVER ALL PLAN OF THE STRUCTURE. ALL CRITICAL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN-FIELD BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE THE DEMOLITION WITH THE NEW CONSTRUCTION IN ORDER TO PROVIDE ALL NECESSARY CONDITIONS TO PROPERLY TO RETROFIT THE NEW CONSTRUCTION / SYSTEMS / FINISHES.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS, STUB-UPS, AND OTHER INFORMATION CONTAINED HEREIN BEFORE BEGINNING ANY WORK. CONTACT ARCHITECT IF ANY DISCREPANCIES OCCUR.
3. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC EQUIPMENT, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING, AND ELECTRICAL.
4. WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES IN THE BUILDING AND ZONING LOCAL CODE THE FLORIDA BUILDING CODE.
5. CONTRACTOR SHALL INCLUDE ALL PERMITS, LABOR, MATERIALS, & EQUIPMENT TO PROVIDE FIRST CLASS AND COMPLETE INSTALLATIONS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
6. CONTRACTOR SHALL COORDINATE ROUGH-IN REQUIREMENTS AND FINAL CONNECTIONS TO EQUIPMENT. INSTALLATION SHALL MEET ALL CODES AND BE IN ACCORDANCE WITH EQUIPMENT MANUFACTURERS RECOMMENDATIONS. VERIFY AND PROVIDE AS REQUIRED, ALL DISCONNECTING MEANS, OVERLOAD PROTECTION, GROUNDING, ETC. TO ASSURE PROPER INSTALLATION.
7. HAULING DEBRIS, JACK-HAMMERING OR WORK PRODUCING LOUD VIBRATING NOISES, IS TO BE DONE ONLY DURING HOURS COORDINATED WITH GENERAL CONTRACTOR.
8. ACCEPTANCE OF WORK SHALL BE SUBJECT TO GC, APPROVAL OF WORK IN PLACE AS WELL AS SHOP DRAWINGS AND SAMPLES OF MATERIALS AND EQUIPMENT. ALL SUBMITTALS SHALL BE CHECKED & DIMENSIONS VERIFIED BY CONTRACTOR BEFORE SUBMITTAL TO ARCHITECT.
9. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS, SUSPECTED OF CONTAINING HAZARDOUS MATERIALS, ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY GENERAL CONTRACTOR.
10. UTILITY SERVICE: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES SERVING AREAS TO BE DEMOLISHED.
11. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF CONFLICT AND PROMPTLY SUBMIT TO THE ARCHITECT IN WRITING.
12. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROAD, STREETS, WALKS, WALKWAYS AND OTHER ADJACENT OCCUPIED FACILITIES. CONTRACT TO COMPLY WITH ALL CODES AND OBTAINED PERMITS REQUIRED FOR TEMPORARY BARRIERS, ETC.  
A. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES AND COVERED PASSAGEWAYS. WHERE REQUIRED.  
B. PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING THAT ARE TO REMAIN.
13. TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO FACILITIES THAT ARE TO REMAIN.  
A. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION ARE.  
B. PROTECT WALLS, CEILINGS, FLOORS AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING DEMOLITION.
14. TEMPORARY PARTITIONS: ERECT AND MAINTAIN DUST PROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS FROM FUMES AND NOISE.
15. ALL EXISTING REQUIRED MEANS OF EGRESS SHALL BE KEPT CLEAR & CLEAR OF DEBRIS OBSTRUCTIONS.
16. ALL NEW INTERIOR & EXTERIOR SURFACES, FINISHES, EQUIPMENT, AND FLOORS WILL BE APPROVED BY ARCHITECT / GENERAL CONTRACTOR / OWNER.
17. ALL LIFE SAFETY, ENERGY MANAGEMENT, AND COMMUNICATIONS DEVICES & SYSTEMS ARE TO BE SUPPLIED BY THE CONTRACTOR. ALL SYSTEMS MUST MEET APPLICABLE GOVERNING CODES.
18. CONTRACTOR SHALL SUBMIT MARKED-UP CLEAN PRINTS OF AS-BUILT CONDITIONS SHOWING CONCEALED DEVIATIONS FROM DESIGN. ON-SITE JOB COPY SHALL BE KEPT CURRENT W/ REVISIONS AS THEY TAKE PLACE.
19. CONTRACTOR SHALL KEEP PREMISES OF WORK AREA CLEAN DAILY, BROOM CLEAN AT PROJECT COMPLETION, AND SHALL REMOVE ALL REFUSE FROM SITE AND DISPOSE OF ACCORDING TO LAW.
20. CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH EXISTING CONDITIONS BEFORE STARTING NEW WORK. CONCEALED CONDITIONS SHALL BE ADDRESSED WITH DUE CAUTION SUCH THAT UTILITIES AND SYSTEMS ARE PROTECTED.
21. CONTRACTOR SHALL WARRANTY ALL NEW WORK FOR A PERIOD OF TWO YEARS (MINIMUM) FROM DATE OF ACCEPTANCE AND SHALL REPAIR OR REPLACE ANY DEFECTIVE WORK INCLUDING MATERIALS, LABOR, AND EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
22. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF STUD ON CENTER.
23. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR CEILING AND WALL MOUNTED EQUIPMENT AND ACCESSORIES (i.e. TOWEL BARS, SOFFITS, FANS, ETC.)
24. CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES AS NECESSARY TO RECEIVE ALL NEW WORK AS PER THESE SHEETS AND SHALL ALSO EXAMINE ALL SITE CONDITIONS AND VERIFY ALL DIMENSIONS BASED ON EXISTING CONDITIONS. THE GC SHALL CONTACT THE ARCHITECT FOR CLARIFICATIONS OR INTERPRETATIONS AS NECESSARY TO COMPLETE THE JOB.
25. CONTRACTOR SHALL VERIFY AND SET IN ALL CAST-IN INSERTS, ANCHORS, BOLTS, PLATES, ETC. AS MAY BE REQUIRED FOR ATTACHMENT OF THE VARIOUS BUILDING COMPONENTS PRIOR TO PLACE OF CONCRETE.
26. CONTRACTOR SHALL VERIFY ALL FIXTURE LOCATIONS AND CLEARANCES.
27. CONTRACTOR SHALL VERIFY AND COORDINATE ALL ROUGH OPENINGS FOR SCHEDULED DOORS, WINDOWS, AND DOOR HARDWARE
28. ALL ROUGH-IN NAILS, BOLTS, AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
29. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED.
30. EXTERIOR CAULKING SHALL BE VINLOX SEALANT (GUN-GRADE) OR AN APPROVED EQUAL.
31. PROVIDE A MINIMUM OF 1/2" CEMENTITIOUS BACKER BOARD AT PARTITIONS SLATED TO RECEIVE CERAMIC TILE / STONE AND ALL WET AREAS.
32. FLOORS AND WALLS: PROVIDE AN EVEN SURFACE OF UNIFORM FINISH COLOR, TEXTURE AND APPEARANCE.
33. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCOPE OF WORK AS DEFINED IN THE CONTRACT DOCUMENTS, INCLUDING, BUT NOT LIMITED TO THESE CONSTRUCTION DOCUMENTS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY NOTIFY THE ARCHITECT AND CONSTRUCTION MANAGER OF ANY CONFLICTS, ERRORS OR OMISSIONS IN THESE DRAWINGS.
- 33A. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUBCONTRACTOR, VENDORS, ETC. AS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. IN THE CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN THE DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY.
34. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS UPON COMPLETION OF THE DEMOLITION WORK. PRIOR TO THE START OF ANY CONSTRUCTION WORK THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY UNCOVERED CONDITIONS EFFECT



PROPERTY ADDRESS: 430 MARS WAY JUNO BEACH, FL 33477	LEGAL DESCRIPTION MALBO E 37.5 FT OF LT 20 & ALL OF LT 21
LAND USE EXISTING/PROPOSED USE RS-3—SINGLE FAMILY (28-JUNO BEACH)	
PARCEL CONTROL NUMBER	28-43-41-28-09-000-0201
PROJECT SCOPE: SECOND STORY ADDITION/ INTERIOR RENOVATION TO EXISTING SINGLE FAMILY RESIDENCE	
APPLICABLE CODES	1. FLORIDA BUILDING CODE RESIDENTIAL 2023, 8TH EDITION 2. FLORIDA BUILDING CODE EXISTING BUILDING, 2023, 8TH EDITION. 3. FLORIDA BUILDING CODE, 2023, 8TH EDITION. 4. FLORIDA BUILDING CODE, ACCESSIBILITY, 2023, 8TH EDITION. 5. FLORIDA FIRE PREVENTION CODE 2023, 8TH EDITION. 6. NFPA 101 LIFE SAFETY CODE, 2023, 8th EDITION 7. FLORIDA BUILDING CODE ENERGY CONSERVATION 2023, 8TH EDITION. 9. FLORIDA MECHANICAL CODE 2023, 8th EDITION. 9. FLORIDA PLUMBING CODE 2023, 8th EDITION. 9. FLORIDA FUEL AND GAS 2023, 8th EDITION.

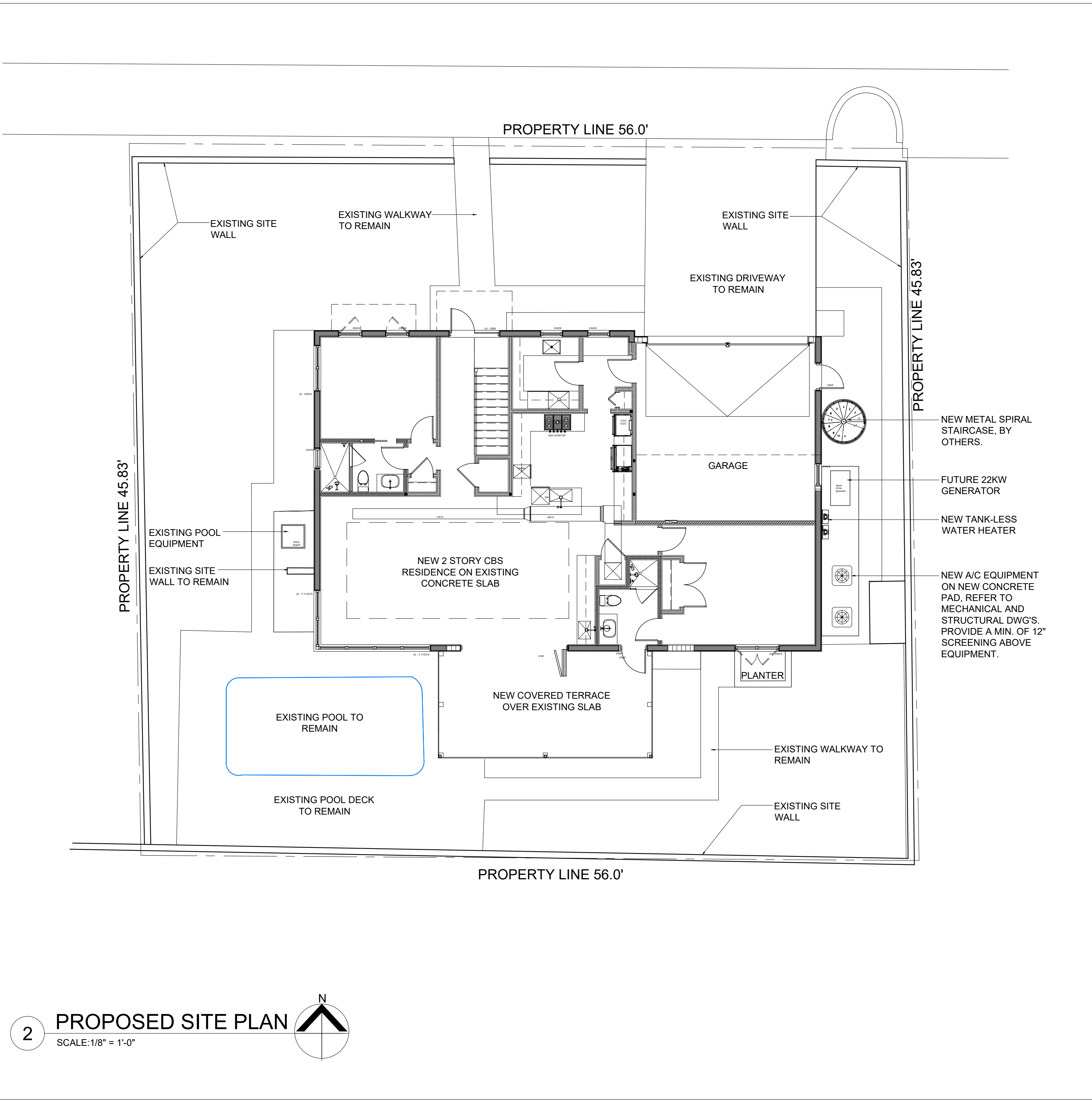
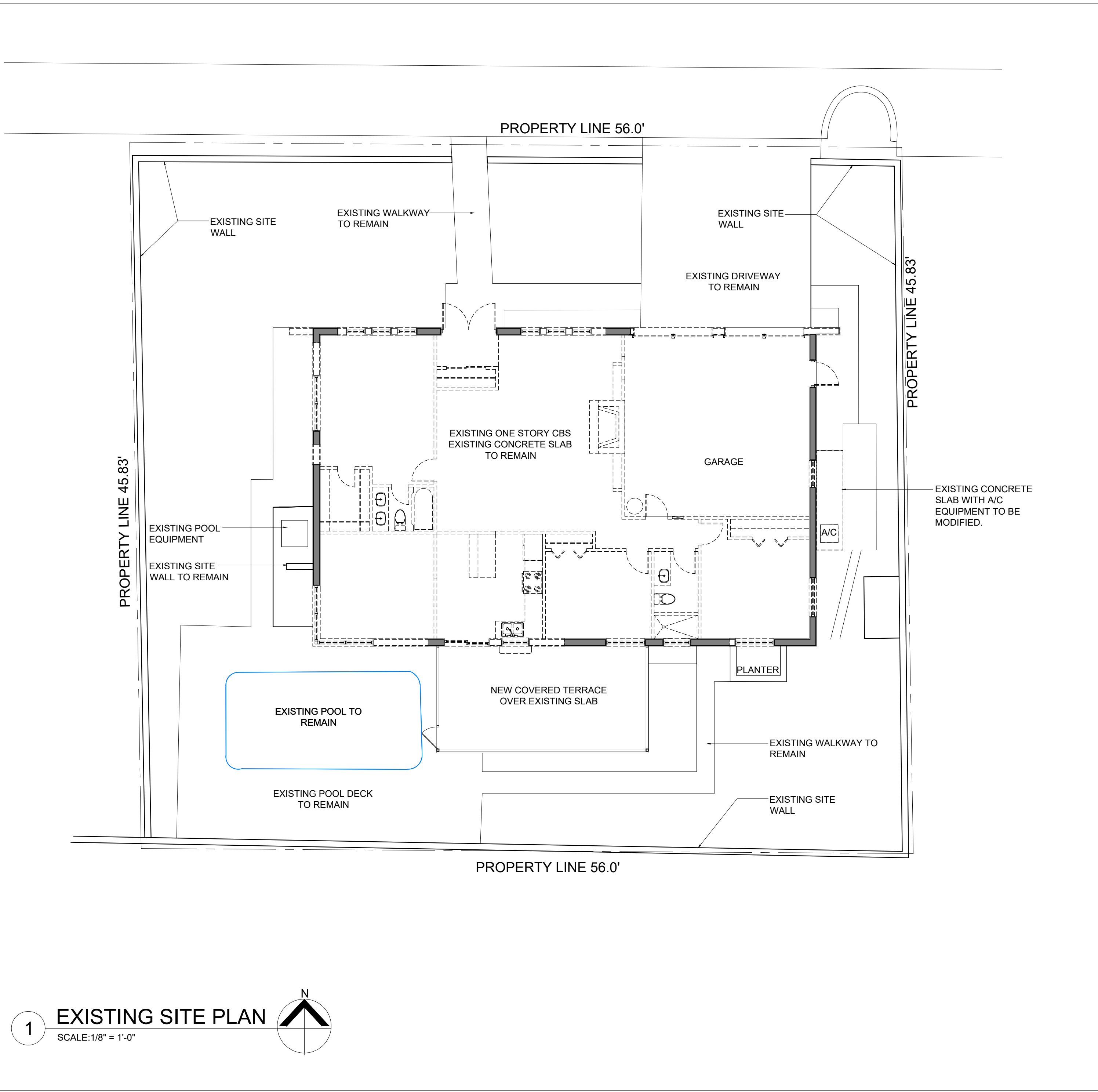
SITE DATA *	EXISTING	PROPOSED
SITE	0.16 ACRES 7,000 SQ.FT.	
AREA CALCULATIONS		
MAIN HOUSE (A/C)		
FIRST FLOOR	1,581 SQ.FT.	1,581 SQ.FT
SECOND FLOOR	0 SQ.FT	1,756 SQ. FT
TOTAL A/C	2,058 SQ.FT.	3,337 SQ.FT.
GARAGE (NON A/C)	477 SQ.FT.	477 SQ.FT.
TOTAL	2,058 SQ.FT.	3,814 SQ.FT
COVERED TERRACE -1ST FL	286 SQ.FT.	286 SQ.FT.
OUTDOOR TERRACES 2ND FL.	0 SQ.FT.	283 SQ.FT.

- SITE PLAN NOTES**
1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
  2. ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE +7.0' N.A.V.D.
  3. ALL APPROACHES TO BE COORDINATED WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
  4. SITE TO BE FILLED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.A.V.D. OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
  5. LOT TO BE GRADED AS SO TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES, WATERWAY AND RIGHT OF WAY.
  6. REFER TO LEGAL SURVEY FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS.
  7. REFER TO CIVIL ENGINEERING DRAWINGS FOR FINAL GRADE ELEVATIONS.
  8. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY ALL LOCAL AND APPLICABLE CODES.
  9. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING REQUIREMENTS, PAVEN PATTERNS, NOTES AND DETAILS.

**TERMITE NOTE**

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

**1 ZONING DATA**  
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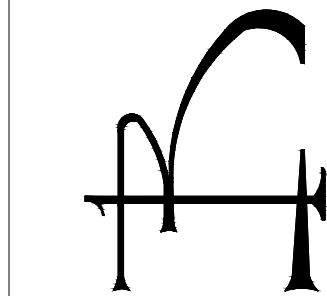


RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:  
**PRIVATE RESIDENCE**  
430 MARS WAY  
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

**B1 ARCHITECT**  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH FLORIDA 33480  
(561) 312-3453



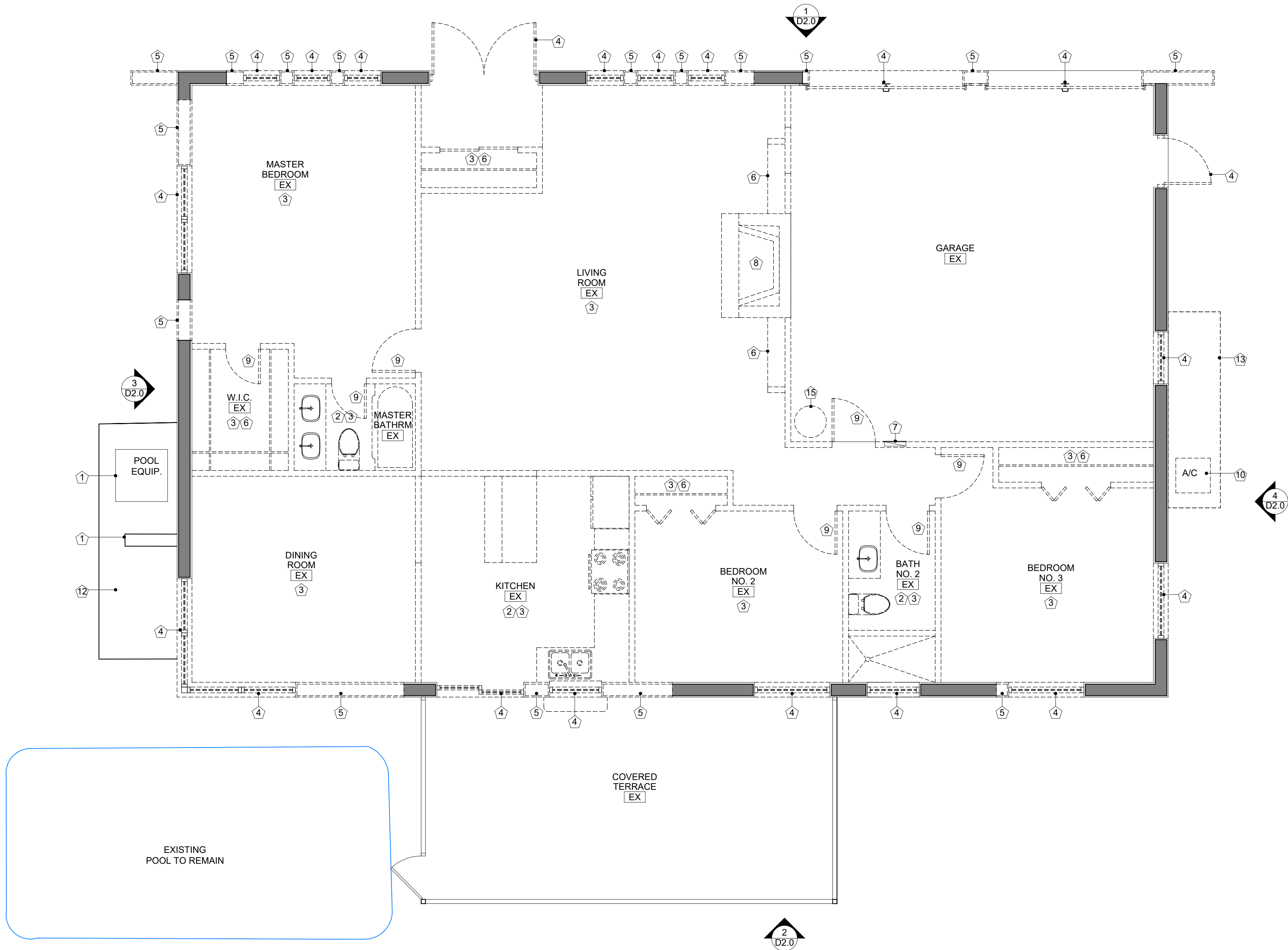
JOB NO. 430MARS  
PLOT DATE 04.04.2025  
SCALE AS NOTED  
DRAWN BY mmc

**A0.1**

ISSUE	DATE
PERMIT SET	04.04.25
1. CITY COMMENT	07.08.24

ALL DESIGNS, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF B1 ARCHITECT AND, WHERE CREATED, DEVELOPED AND EVOLVED FOR THE SPECIFIC PROJECT ON WHICH NONE OF THE DESIGN, IDEAS AND ARRANGEMENTS SHOULD BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT A WRITTEN PERMISSION FROM B1 ARCHITECT. DIMENSIONS SHOULD BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THE OFFICE OF ANY VARIATIONS IN DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOP DETAILS WITH ADEQUATE DIMENSIONING AND SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEM INDICATED.





LEGEND - DEMOLITION	
MARK	LEGEND DEMOLITION
	EXISTING WALLS TO REMAIN.
	EXISTING WALLS TO BE REMOVED.
	EXISTING STRUCTURAL COLUMN TO REMAIN

TERMITE NOTE	
THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.	

NOTE:	
NO DEMOLITION OR RENOVATION OF EXISTING STRUCTURE HAVING ASBESTOS.	

NOTE:	
BUILDER TO VERIFY DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.	

N°	LEGEND - DEMOLITION NOTES
1	EXISTING TO REMAIN.
2	EXISTING CABINETRY, MILLWORK, FINISHES, FIXTURES AND/OR APPLIANCES TO BE REMOVED.
3	ALL EXISTING FLOOR FINISHES TO BE REMOVED.
4	EXTERIOR WINDOW/DOOR TO BE REMOVED.
5	EXISTING PORTION OF CONCRETE BLOCK TO BE REMOVED
6	EXISTING CLOSET, DOORS AND SHELVING TO BE REMOVED.
7	EXISTING ELECTRICAL PANEL TO REMAIN.
8	EXISTING FIREPLACE/CHIMNEY TO BE REMOVED.
9	EXISTING INTERIOR DOOR AND CASING TO BE REMOVED.
10	EXISTING A/C UNIT TO BE REPLACED
11	EXISTING WATER HEATER TO BE REMOVED.
12	EXISTING SLAB TO REMAIN
13	EXISTING SLAB TO BE REMOVED.
14	EXISTING ROOF STRUCTURE TO BE REMOVED.
15	EXISTING WATER HEATER TO BE REMOVED.

DEMOLITION NOTES:	
1.	GENERAL AND SUB-CONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED AS PER ALL GOVERNING LAWS.
2.	ACCESS TO SITE SHALL BE COORDINATED WITH OWNER BEFORE START OF CONSTRUCTION.
3.	CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH OWNER.
4.	GENERAL CONTRACTOR MUST FURNISH AND INSTALL A TEMPORARY BARRICADE WITH ACCESS DOOR IN COMPLIANCE WITH OWNER REQUIREMENTS, INCLUDING SIGNAGE.
5.	THE USE OF DUMPSTERS AND WORK PROCEDURES ARE TO BE COORDINATED WITH OWNER.
6.	CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS AND/OR PERMITS BEFORE COMMENCING WORK INCLUDING POSSIBLE OBSTRUCTION OF STREET, WALKWAYS AND/OR ADJACENT FACILITIES FROM PROPER AUTHORITIES HAVING JURISDICTION.
7.	COMPLETE ALL DEMO AS SPECIFIED IN THIS DRAWING.
8.	PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SPACE TO BE DEMOLISHED TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE REST OF THE BUILDING. GENERAL CONTRACTOR SHALL REQUIRE A LICENSED AND INSURED SUB-CONTRACTOR TO DISCONNECT & CAP OFF THE EXISTING HOT & COLD DOMESTIC WATER SYSTEM LINES.
9.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STABILITY OF THE EXISTING STRUCTURE UNTIL THE CONSTRUCTION IS COMPLETE. DO NOT REMOVE STRUCTURAL WALLS, COLUMN AND OR BEAMS. EXPOSE ALL STRUCTURAL LOAD BEARING CONDITIONS FOR ENGINEER OF RECORDS OBSERVATION. NOTHING SHALL RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY TO PROVIDE FOR SAFETY AND PROTECTION OF PERSONS/PROPERTY.
10.	CONTRACTOR IS TO BE CAREFUL NOT TO DEMOLISH OR DAMAGE ANY EXISTING CONCRETE COLUMN OR BEAMS OR STRUCTURE NOT IDENTIFIED EXPLORATORY DEMOLITION IS REQUIRED IN ORDER TO EXPOSE OBSTACLES AND EXISTING STRUCTURAL CONDITIONS.
11.	A LICENSED ELECTRICIAN SHALL DISCONNECT THE EXISTING ELECTRICAL SYSTEM WITHIN THE LIMITS OF THE WORK AREA. REMOVE ALL EXISTING RECEPTACLES, SWITCHES, AND LIGHT FIXTURES AS REQUIRED. MAINTAIN IN FUNCTIONING CONDITIONING. TEMPORARY CIRCUITS FOR CONSTRUCTION POWER AND LIGHTING SHALL BE ESTABLISHED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONFIRM WITH THE OWNER THE REMOVAL OF LIGHT FIXTURES AND FANS IN WORK AREA.
12.	VERIFY WITH MECHANICAL CONTRACTOR IF EXISTING HVAC EQUIPMENT AND DUCTS SHALL REMAIN OR BE REUSED. FILTER CLOTH SHALL BE APPLIED TO ALL AC OUTLETS AND INLETS DURING THE ENTIRE CONSTRUCTION PERIOD AND REPLACED PERIODICALLY TO PROTECT THE EXISTING AC DUCT WORK FROM CONSTRUCTION DEBRIS AND DUST.
13.	DISCONNECT AND PROPERLY DISPOSE OF ALL APPLIANCES (AS NOTED) PRIOR TO DISPOSAL CONFIRM WITH THE OWNER IF THEY WISH TO DONATE OR KEEP ANY OR ALL OF THE EXISTING APPLIANCES.
14.	REMOVE ALL INTERIOR PARTITIONS AND DOORS THAT ARE SHOWN IN DASHED LINES. COORDINATED WITH ARCHITECTURAL DWG'S.
15.	ALL WALLS WHICH ARE REMOVED OR ALTERED SHALL BE REFRAMED TO CONFORM WITH THE CONVENTIONAL FRAMING METHODS AND INCLUDE REQUIRED PLATES, JACKS AND HEADERS AS REQUIRED TO PROPERLY SUPPORT THE REMAINING WALLS, DOORS AND OPENINGS.
16.	REMOVE ALL EXISTING FLOORING AND INSTALL NEW FLOORING THROUGHOUT. CONFIRM SELECTIONS WITH OWNER.
17.	CONTRACTOR TO PREPARE THE EXISTING CONCRETE SLAB AS REQUIRED TO BE EVEN ELEVATION THRU-OUT SMOOTH, CONTINUOUS LEVEL AND READY TO ACCEPT NEW FINISHES. THIS INCLUDED "FLOATING" ANY UNACCEPTABLE AREAS AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF DEMOLITION.
18.	IF DURING CONSTRUCTION EVIDENCE OF ASBESTOS IS FOUND, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF s.469.003 FLORIDA STATUTES AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF THEIR INTENTIONS TO REMOVED ASBESTOS, IN ACCORDANCE WITH THE STATE AND FEDERAL LAW.
19.	REMOVE ALL INTERIOR WOOD TRIM.
20.	REMOVE ALL FINISH MATERIALS INCLUDING ALL BUILT IN FURNITURE, LAMPS, WALL FIXTURES, WALL COVERINGS, CURTAINS, FLOORING AND CEILINGS (BE AWARE TO MAKE PRIOR DISCONNECTIONS OF EQUIPMENTS).
21.	REMOVE ALL REMAINING NAILS, STRAPS AN MISCELLANEOUS OBJECTS LEFT OVER FROM DEMOLITION. CONTRACTOR SHALL LEAVE PREMISES BROOM SWEEP FINISH.
22.	TO CONTROL DUST & DEBRIS THE CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS FROM THE FLOOR. THE BUILDING AND SWEEPS THE FLOOR CLEAN ON A DAILY BASIS THROUGHOUT THE DEMOLITION PROCESS.
23.	CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS SHOWING ALL CHANGES OF UTILITIES.
24.	ALL EXISTING CONDITIONS SHOWN ON DRAWINGS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. IN THE EVENT OF ANY INCONSISTENCY NOTIFY THE ARCHITECT/ENGINEER OF RECORD.

SCOPE OF WORK	
EXTERIOR: EXISTING FLOOR SLAB TO REMAIN. EXISTING ROOF STRUCTURE TO BE REMOVED. EXISTING ROOF STRUCTURE AT COVERED TERRACE TO BE REMOVED, CONCRETE SLAB AND STEEL COLUMNS TO REMAIN NEW OPENINGS FOR NEW WINDOWS/DOORS.	
INTERIOR: ALL NEW WALL PARTITIONS NEW FLOOR FINISHES THROUGHOUT NEW BATHROOM FIXTURES AND FINISHES.	

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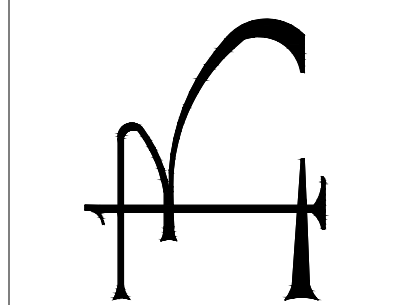
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RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:  
**PRIVATE RESIDENCE**  
430 MARS WAY  
JUNO BEACH, FL

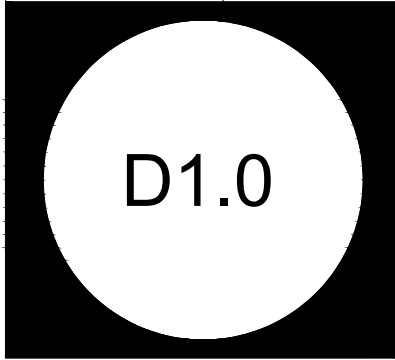
GREGORY BONNER, AIA

AA26003271

**B1 ARCHITECT**  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH FLORIDA 33480  
(561) 312-3453

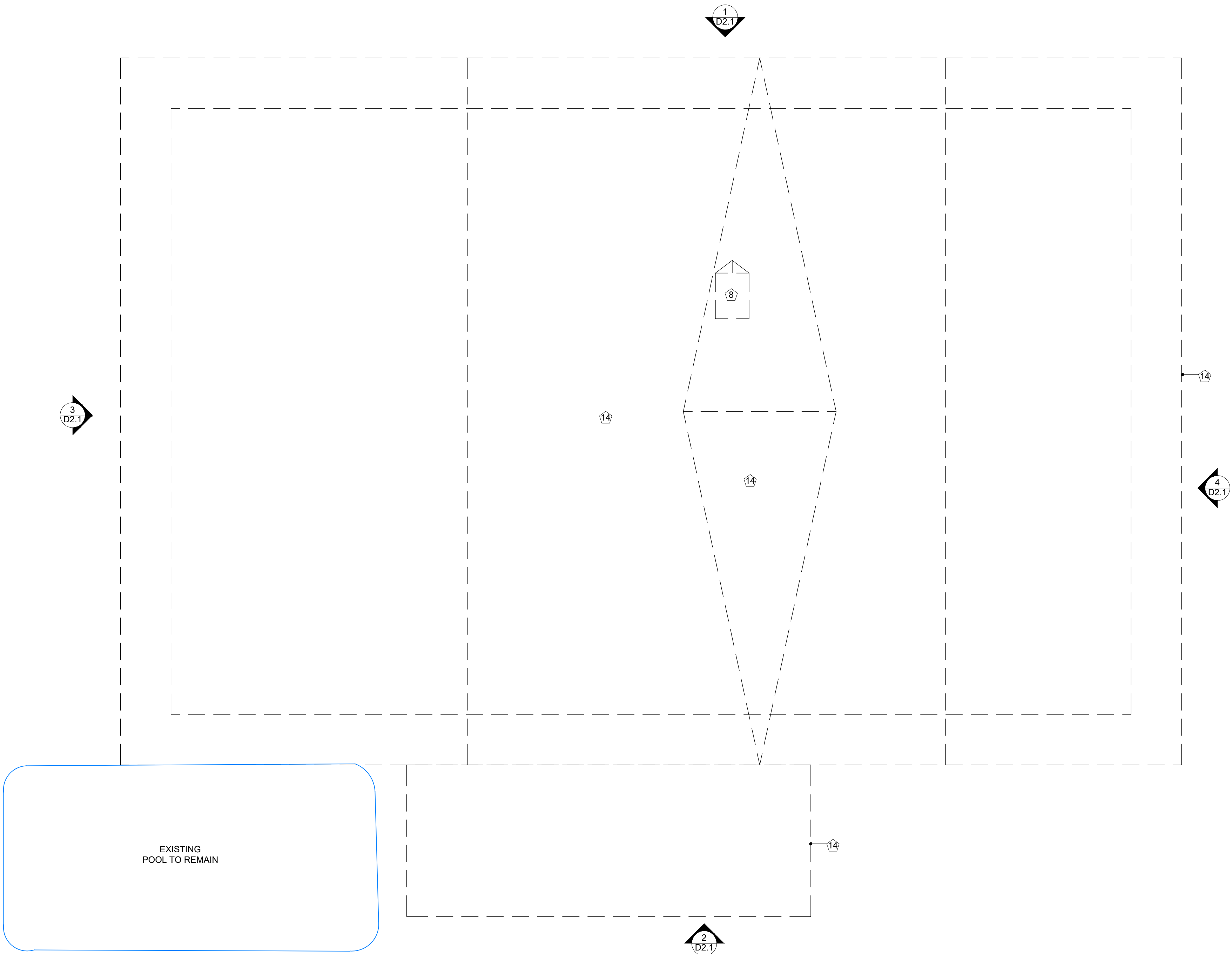
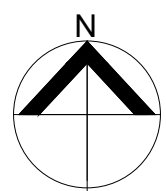


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1 EXISTING/DEMOLITION ROOF PLAN

SCALE: 1/4" = 1'-0"



LEGEND - DEMOLITION	
MARK	LEGEND DEMOLITION
	EXISTING WALLS TO REMAIN.
	EXISTING WALLS TO BE REMOVED.
	EXISTING STRUCTURAL COLUMN TO REMAIN

TERMITE NOTE	
THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.	

NOTE:	
NO DEMOLITION OR RENOVATION OF EXISTING STRUCTURE HAVING ASBESTOS.	

NOTE:	
BUILDER TO VERIFY DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.	

N°	LEGEND - DEMOLITION NOTES
1	EXISTING TO REMAIN.
2	EXISTING CABINETRY, MILLWORK, FINISHES, FIXTURES AND/OR APPLIANCES TO BE REMOVED.
3	ALL EXISTING FLOOR FINISHES TO BE REMOVED.
4	EXTERIOR WINDOW/DOOR TO BE REMOVED.
5	EXISTING PORTION OF CONCRETE BLOCK TO BE REMOVED
6	EXISTING CLOSET, DOORS AND SHELVING TO BE REMOVED.
7	EXISTING ELECTRICAL PANEL TO REMAIN.
8	EXISTING FIREPLACE/CHIMNEY TO BE REMOVED.
9	EXISTING INTERIOR DOOR AND CASING TO BE REMOVED.
10	EXISTING A/C UNIT TO BE REPLACED
11	EXISTING WATER HEATER TO BE REMOVED.
12	EXISTING SLAB TO REMAIN
13	EXISTING SLAB TO BE REMOVED.
14	EXISTING ROOF STRUCTURE TO BE REMOVED.
15	EXISTING WATER HEATER TO BE REMOVED.

DEMOLITION NOTES:	
1. GENERAL AND SUB-CONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED AS PER ALL GOVERNING LAWS.	
2. ACCESS TO SITE SHALL BE COORDINATED WITH OWNER BEFORE START OF CONSTRUCTION.	
3. CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH OWNER.	
4. GENERAL CONTRACTOR MUST FURNISH AND INSTALL A TEMPORARY BARRICADE WITH ACCESS DOOR IN COMPLIANCE WITH OWNER REQUIREMENTS, INCLUDING SIGNAGE.	
5. THE USE OF DUMPSTERS AND WORK PROCEDURES ARE TO BE COORDINATED WITH OWNER.	
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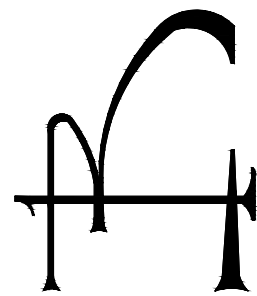
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**PRIVATE RESIDENCE**  
430 MARS WAY  
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

**B1 ARCHITECT**  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH FLORIDA 33480  
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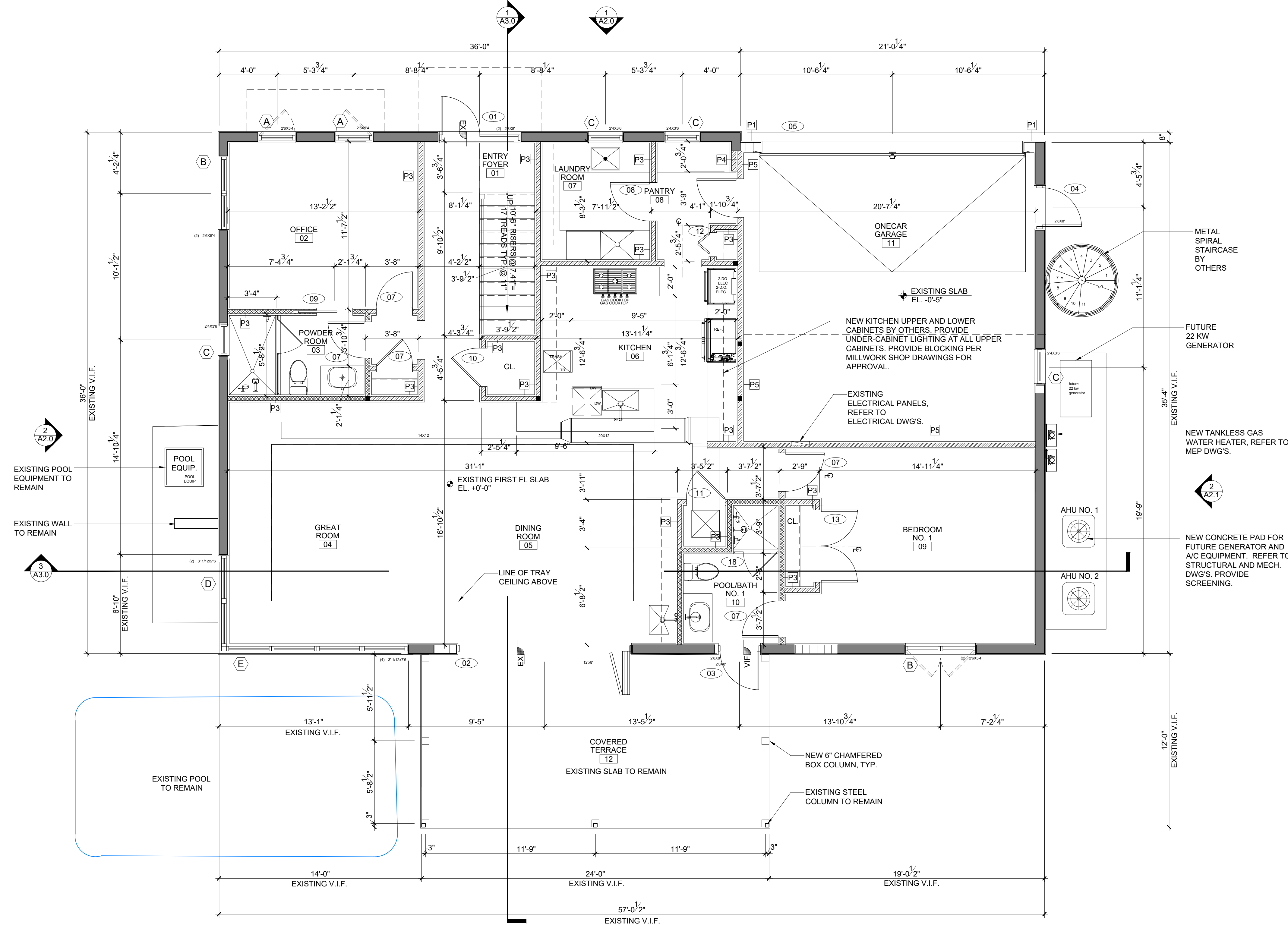
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WALL PARTITION LEGEND

- P1 3/4" SMOOTH STUCCO FINISH (TO MATCH EXISTING) OVER 8" CMU WALL WITH WATERPROOFING EQUAL TO THEROSEAL MASTERSEAL 583" OR APPROVED EQUAL. FILL ALL NON-GROUTED CELLS WITH CORE FILL 500 FOAM INSULATION.
- P2 2X6 WOOD STUD WITH EXTERIOR "DENSGLASS" EXTERIOR SHEATHING WITH DUPONT "TYVEK" STUCCO WRAP. CONTINUE MEMBRANE INTO OPENING OVER WOOD BUCK AND UP INTERIOR FACE OF STUD WALL A MIN. 8". REFER TO STRUCTURAL DWGS.
- P3 TWO LAYERS OF 1/2" GYP. WALLBOARD OR CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS APPLIED PARALLEL TO EACH SIDE OF METAL STUDS AND RUNNER TRACK WITH 1" TYPE "S" METAL SCREWS SPACED 8" O.C. REFER TO PLANS FOR WALL DESIGNATION. SOUND INSULATION OR R-11 INSULATION IF REQUIRED. PROVIDE WOOD BLOCKING FOR WALL MOUNTED CABINETS. REFER TO FLOOR PLANS FOR LOCATIONS.
- P4 ONE LAYER OF 3/4" GYP. WALLBOARD OR CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS APPLIED PARALLEL TO METAL STUDS AND RUNNER TRACK WITH 1" TYPE "S" METAL SCREWS SPACED 8" O.C. OR REFER TO PLANS FOR WALL DESIGNATION. SOUND INSULATION OR R-11 INSULATION IF REQUIRED. PROVIDE WOOD BLOCKING FOR WALL MOUNTED CABINETS. REFER TO FLOOR PLANS FOR LOCATIONS.



1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING 8" CMU WALLS TO REMAIN.
- NEW 8" MASONRY WALL.
- NEW, 2X6 WOOD STUD WALL WITH 1/2" EXT. SHEATHING
- NEW FLOOR SLAB, REFER TO STRUCTURAL DWGS.
- INDICATES NEW STRUCTURAL ELEMENTS; REFER TO STRUCTURAL DRAWINGS.
- 5/8" GYPSUM BOARD WALL.
- 1/2" CEMENTITIOUS BACKER UNIT DUROCK FINISH ON WET WALLS.
- HOSE BIB

NOTE:

BUILDER MUST COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE BOTH EXISTING AND NEW CONSTRUCTION.

NOTE:

BUILDER TO PROVIDE PROFLEX MSC (MEGA SOUND CONTROL) UNDERPAYMENT MEMBRANE

NOTE:

BUILDER TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.

GENERAL PLAN NOTES

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF CMU/CONCRETE WALL UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.
- COORDINATE ALL MASONRY OPENINGS FOR WINDOWS AND DOORS WITH WINDOW AND DOOR MANUFACTURER PRIOR TO BEAM AND BLOCK ERECTION.
- GARAGE FLOOR FINISH TO BE LIGHT GRAY EPOXY. PROVIDE COLOR FINISH SAMPLES FOR OWNER/ARCHITECT APPROVAL.
- ALL TERRACES TO HAVE NON-SLIP STONE FINISH ON CONCRETE SLAB PER STRUCTURAL DWGS. PROVIDE WATERPROOFING BY SOPREMA "ALSAN RS" OR APPROVED EQUAL. PER MANUFACTURER SPECIFICATIONS AND PRODUCT APPROVALS (SLOPE 1/8" PER FOOT). PROVIDE FINISH SAMPLES FOR OWNER/ARCHITECT APPROVAL.
- CABINETRY BY OTHERS. PROVIDE BLOCKING AS NEEDED FOR ALL CABINETRY AS PER MILLWORK SHOP DRAWINGS SUBMITTED FOR OWNER/ARCHITECT APPROVAL.
- PROVIDE UNDER-CABINET LIGHTING AT ALL UPPER CABINETS, TYP.
- COORDINATE ALL PLUMBING AND ELECTRICAL WITH FIXTURES AND BATH FINISHES.
- THERE SHALL BE A LANDING OR A FLOOR ON EITHER SIDE OF A DOOR AS PER FBC 311.4.3.
- STEEL STUDS SUPPORTING WALL HUNG FIXTURES AND CABINETS SHALL BE DOUBLE OR 20 GA. AS PER R4411.5.1.1 FBC.
- A HORIZONTAL METAL FASTENER TO NO LESS THAN 2 STUDS SHALL BE PROVIDED AT WALL HUNG CABINETS AS PER R4411.4.5.1.3 FBC.
- ALL INTERIOR PARTITIONS: 3 1/2" SOUNDS ALTERATION BLANKET.
- ALL INSULATION MATERIALS TO HAVE FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AS PER FBC R302.10.1.
- USE 1/2" DUROCK AROUND ALL WET AREAS TO RECEIVE TILE/STONE FINISH AND BUILDING PAPER BACKING.
- PROVIDE MOIST RESISTANT BOARD ON ALL WALL TO RECEIVE PAINT IN BATHROOMS AND KITCHENS.
- ALL TILES IN BATHROOM WET AREAS TO HAVE A 6'-0" MINIMUM ABOVE FLOOR AREA IN COMPLIANCE WITH FBC 307.2.
- ALL BATH/TUB SHOWER ACCESS TO HAVE A MINIMUM WIDTH OF 22" CLEAR AS PER FBC 2023.
- ALL WINDOW AND DOOR OPENINGS WITH ACCESS FROM THE HOME TO THE POOL AREA SHALL MEET THE RESIDENTIAL POOL SAFETY ACT, CHAPTER 41, FROM THE FBC 2023 RESIDENTIAL EDITION.
- ALL WINDOWS AND DOORS TO BE OF IMPACT RATED GLASS AND COMPLY WITH PROVIDED ENERGY CALCULATIONS.
- ALL EGRESS WINDOWS SHALL COMPLY WITH FPPC 101 CHAPTER 24 EGRESS EFFORTS AT ALL EMERGENCY EGRESS WINDOWS AND DOORS. REQUIREMENT: 5.7 SQ. FT. CLEAR OPENING, NOT LESS THAN 20" WIDTH, NOT LESS THAN 24" HEIGHT, AND NOT MORE THAN 44" FROM BOTTOM OF OPENING (TYP. THRU OUT).
- WINDOW GUARDS NEEDED ON 2ND STORY WINDOWS WHERE SILLS ARE LESS THAN 36" AFF PER FBC 4410.2.4.1. PROVIDE SAFETY TYPE GLAZING CAT II AT ALL LARGE GLAZING AREAS (MORE THAN 286 SQ. IN.) TO SURVIVE AN IMPACT OF 400 FOOT POUNDS (AN ADULT).
- PROVIDE SAFETY TYPE GLAZING CAT II AT ALL LARGE GLAZING AREAS (MORE THAN 1296 SQ. IN.) TO SURVIVE AN IMPACT OF 400 FOOT POUNDS (AN ADULT).
- ALL GLASS DOORS MUST BE INDICATED TO BE CATEGORY II SAFETY GLAZING FBC R4410.2.3.1.3.2.
- GLASS PANELS ADJACENT TO DOORS (WITHIN 48") MUST BE INDICATED TO BE CATEGORY II SAFETY GLAZING FBC R4410.2.4.3(2).
- GLASS IN WINDOWS ADJACENT TO TUBS AND SHOWER COMPARTMENTS MUST BE CATEGORY II SAFETY GLAZING FBC R4410.2.3.1.3.2 & R4410.2.6.2.
- GLASS IN BATH AND SHOWER ENCLOSURES MUST BE OF CATEGORY II SAFETY GLAZING FBC 4410.2.3.1.3.2.
- NEW WALL AND CEILING FINISHES SHALL HAVE FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER FBC 302.9.
- INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD OF NOT GREATER THAN 25 AND SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER FBC 302.10.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 8'-0", AT INTERCONNECTIONS, BETWEEN STAIRS AND STRINGERS, AT FLOOR JOINTS AND AROUND DOOR POCKETS PER FBC 4409.7.2. FIRESTOPS MUST BE INSTALLED IN CONCEALED SPACES CREATED BY WOOD FURRING STRIPS AT FLOOR AND CEILING LEVELS AND TO LIMIT MAXIMUM DIMENSION OF THE CONCEALED SPACE TO 8 FT. AS PER FBC 4409.7.2.1.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW BASE FLOOD ELEVATION SHALL BE FLOOD DAMAGE RESISTANT MATERIAL (ASCE 24-05, CH. 5.0).
- ALL UTILITIES, EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED AT OR ABOVE BFE (ASCE 24-05 CH. 07).
- POOL EQUIPMENT AT OR ABOVE BFE +8.0 N.A.V.D
- ALL WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH (FBC 1403.5).
- ALL EXTERIOR GRADE TO SLOPE 1:20 AWAY FROM BUILDING ON ALL SIDES.
- PROVIDE A3" MINIMUM CLEARANCE BETWEEN HEAT PRODUCING EQUIPMENTS AND LIGHT FIXTURES FROM THE INSULATION AS PER GITED CODE REFERENCED FBC2023 - R302.1.3
- FINISHES BY OWNER. CONTRACTOR TO SUPPLY MATERIALS FOR REVIEW AND APPROVAL BY ARCHITECT.
- PLENUM & SEALED ATTIC SPACE: ALL MECHANICAL, ELECTRICAL, PLUMBING, LIGHTING DISCIPLINES SHALL PROVIDE THE FOLLOWING: (AT) AIR TIGHT PLENUMS AND (IC) INSULATION CONTACT.
- GO TO COORDINATE SIZES OF A/C COMPRESSOR INCLUDING CLEARANCES. ALL SCREENS TO BE 12" ABOVE UNITS AND PAINTED TO MATCH HOUSE COLOR UNLESS OTHERWISE NOTED.
- A.H.U.'s MUST BE IN CLOSET WITH 4" MIN. CLEARANCE AROUND UNIT.
- SMOKE DETECTORS ARE TO BE AT LEAST 3' WAY FROM A/C SUPPLY GRILLS.

TYPICAL GARAGE NOTES:

- IN COMMON WALLS BETWEEN AN ATTACHED GARAGE AND A RESIDENCE, PENETRATIONS THROUGH THE 5/8" GYPSUM BOARD CAUSED BY AIR CONDITIONING EQUIPMENT SHALL BE CONSTRUCTED OF NO LESS THAN 26 GA. SHEET METAL OR OTHER APPROVED MATERIAL (1/2" DUCT BOARD IS ALLOWED AS AN APPROVED ALTERNATE MATERIAL. NO OPENINGS FROM THE DUCT INTO THE GARAGE ARE PERMITTED PER FBC SECTION R309.1.1.
- DOORS BETWEEN AN ATTACHED GARAGE AND RESIDENCE MUST BE EITHER, A SOLID WOOD DOOR NOT LESS THAN 1 3/8" THICK, A SOLID OR HONEYCOMBED CORE STEEL DOOR NOT LESS THEN 1 3/8" THICK OR 20 MIN. FIRE RATED PER FBC SECTION R309.1.
- GARAGE SPACES SHALL BE SEPARATED FROM RESIDENCE AND ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD TYPE "X".
- PROVIDE SCREENED OPENINGS THROUGH GARAGE AND/OR EXTERIOR CMU WALL WITH CLEAR EFFECTIVE AREA NO LESS THAN 1 SQ. IN. PER EVERY SQ. FT. OF ENCLOSED AREA. THE BOTTOM OF THE OPENING MUST BE NO HIGHER THAN ONE FOOT A.F.F. TO COMPLY WITH FBC AND FEMA REGULATIONS.
- PROVIDE 1 HR. RATED ASSEMBLY WALLS BETWEEN A GARAGE AND HABITABLE SPACES. 8" BLOCK WALL WITH 1x3 PT FURRING STRIPS 16" O.C. WITH ONE LAYER GYPSUM WALLBOARD (WALL TO RECEIVE SKIN COAT VENEER ON DUROCK) WITH R5 FOIL INSULATION ON FINISHED SPACES.

ISSUE	DATE
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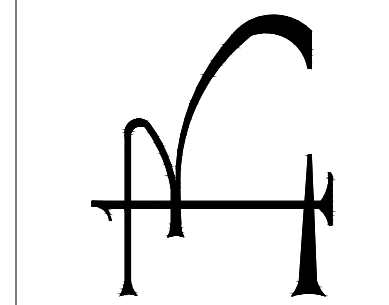
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RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:  
**PRIVATE RESIDENCE**  
430 MARS WAY  
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

**B1 ARCHITECT**  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH FLORIDA 33480  
(561) 312-3453



JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc

A1.0





<p><b>NOTE:</b></p> <p>BUILDER MUST COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE BOTH EXISTING AND NEW CONSTRUCTION.</p>
<p><b>NOTE:</b></p> <p>BUILDER TO PROVIDE PROFLEX MSC (MEGA SOUND CONTROL) UNDERPAYMENT MEMBRANE</p>
<p><b>NOTE:</b></p> <p>BUILDER TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ANY NEW CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER OF RECORD SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE.</p>

ALL DESIGNS, IDEAS, ARRANGEMENTS, AND INFORMATION REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF BT ARCHITECT, AND WERE CREATED, DEVELOPED AND EVOLVED FOR THE SPECIFIED PROJECT ON WHICH NONE OF THE DESIGNED IDEAS OR ARRANGEMENTS WERE USED, OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT A WRITTEN PERMISSION OF THIS OFFICE. SCALED DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS, DISCREPANCIES AND CONDITIONS SHOWN ON THESE DRAWINGS, SHOP DETAILS WITH ADEQUATE DIMENSIONING AND SCALE. MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE ITEMS INDICATED.

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A1.1





REFLECTED CEILING PLAN/LIGHTING/POWER LEGEND

	SURFACE MOUNT FIXTURE 2 X 4
	3" USAI BEVELED MINI PRODUCT NUMBER B3SC
	3" USAI BEVELED MINI PRODUCT NUMBER B3SC
	CEILING MOUNTED HANGING FIXTURE
	RECESSED WALL WASHER
	EXTERIOR RECESSED CEILING DOWN LIGHT
	EXTERIOR RECESSED WALL WASHER
	SONNETMAN 36" SIDEWAYS LED SCONCES
	VAPOR PROOF CEILING FIXTURE
	WALL MOUNTED FIXTURE; DESIGN T.B.D.
	ERT 560 GIMBAL 25" TILT RECESSED CEILING DOWNLIGHT- MAN. COOPER LIGHTING
	1 POLE, 20 AMP, SWITCH WALL MOUNT AT 42" A.F.F..
	3-WAY, 20 AMP, SWITCH WALL MOUNT AT 42" A.F.F..
	EXHUAUST FAN
	DUPLEX OUTLET
	GFI OUTLET
	TELEPHONE/DATA
	FLOOR OUTLET
	TV/DATA

REFLECTED CEILING PLAN NOTES

1. ARCHITECTURAL AND/OR INTERIOR DESIGN LIGHTING PLAN SUPERCEDES ELECTRICAL PLAN FOR LOCATIONS AND FIXTURE TYPE IF NOTED. COORDINATE WITH ELECTRICAL PLAN AND NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES PRIOR TO BID AND PURCHASING.
2. ALL ELECTRICAL FIXTURES TO BE PURCHASED AND SUPPLIED BY OWNER. INSTALLED BY GENERAL CONTRACTOR.
3. G.C. TO PROVIDE BLOCKING AS REQUIRED TO SECURE ALL CEILING MOUNTED FIXTURES AND DEVICES. TYP.
4. OWNER/ARCHITECT TO REVIEW ALL LIGHTING FIXTURE AND DEVICE LOCATIONS IN FIELD PRIOR TO INSTALLATION.
5. ALL CEILING HEIGHT ARE FROM TOP OF SLAB/FLOOR TRUSS

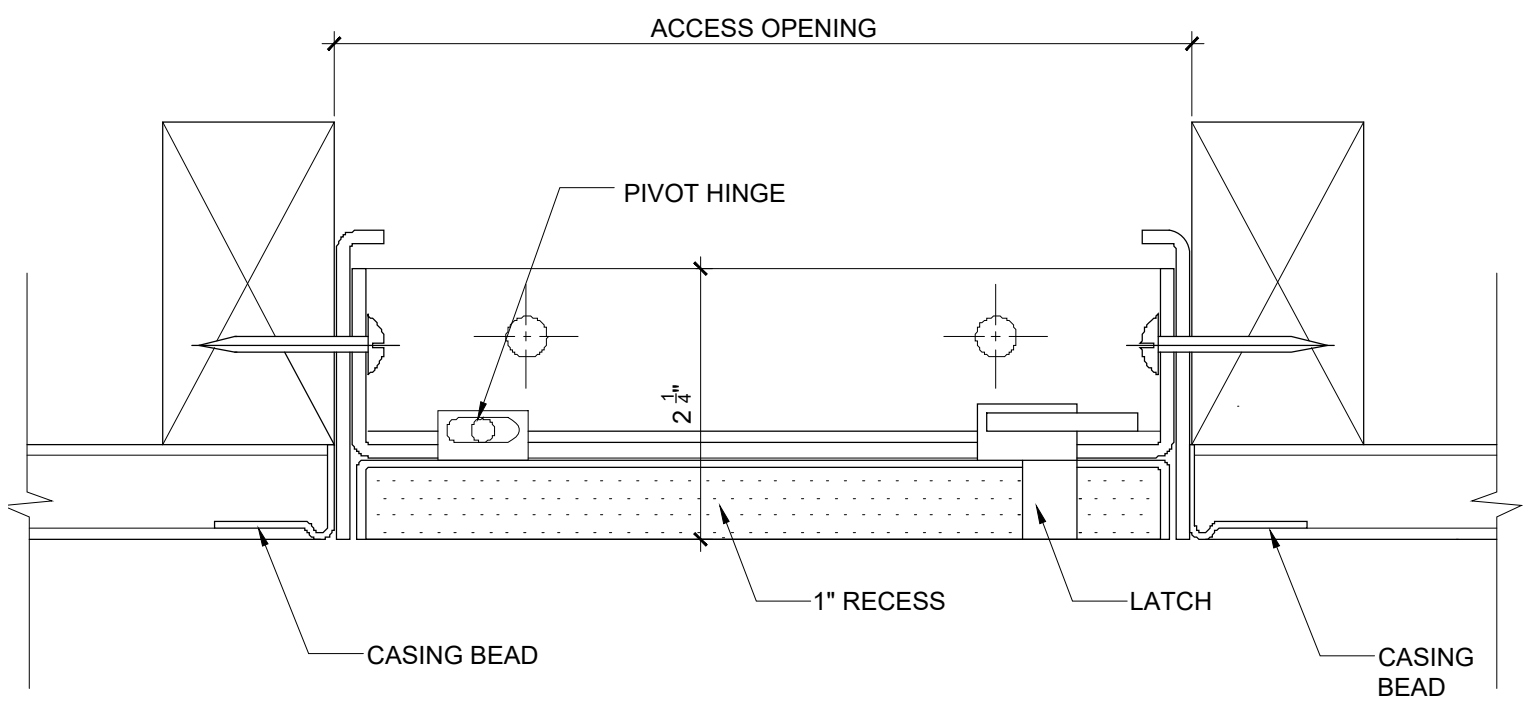
CEILING FINISHES:

"A" - 5/8" GYPBOARD CEILING; PAINTED.

"B" - 3/4" TONGUE AND GROOVE CEILING WITH VAPOR BARRIER ON 3/4" EXTERIOR PLYWOOD, PAINTED.

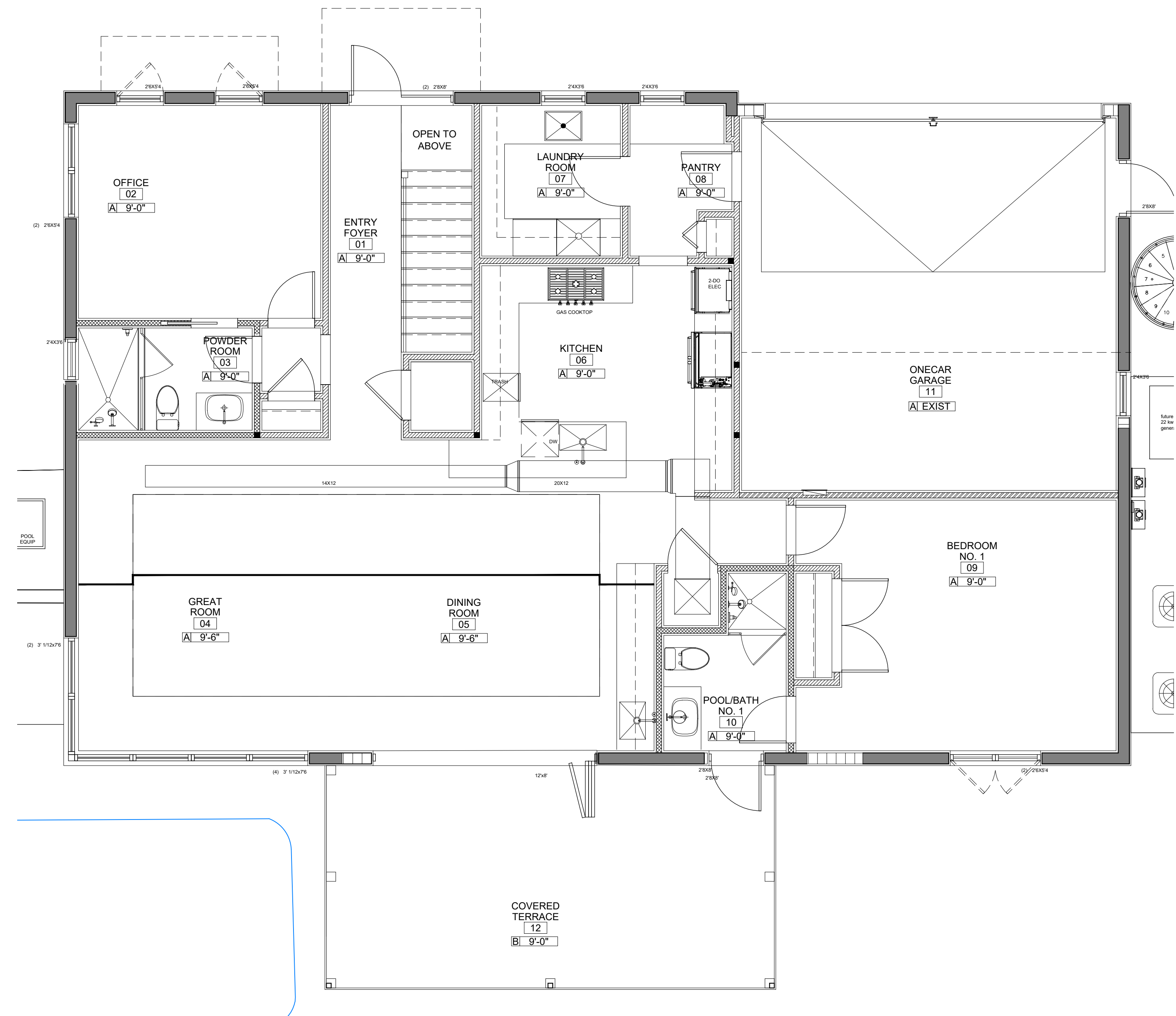
"C" - 3/4" SMOOTH STUCCO, 3-COAT, WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL, PAINTED.

"D" - 5/8" DENSARMOR PLUS TYPE "X" CEILING; PAINTED.



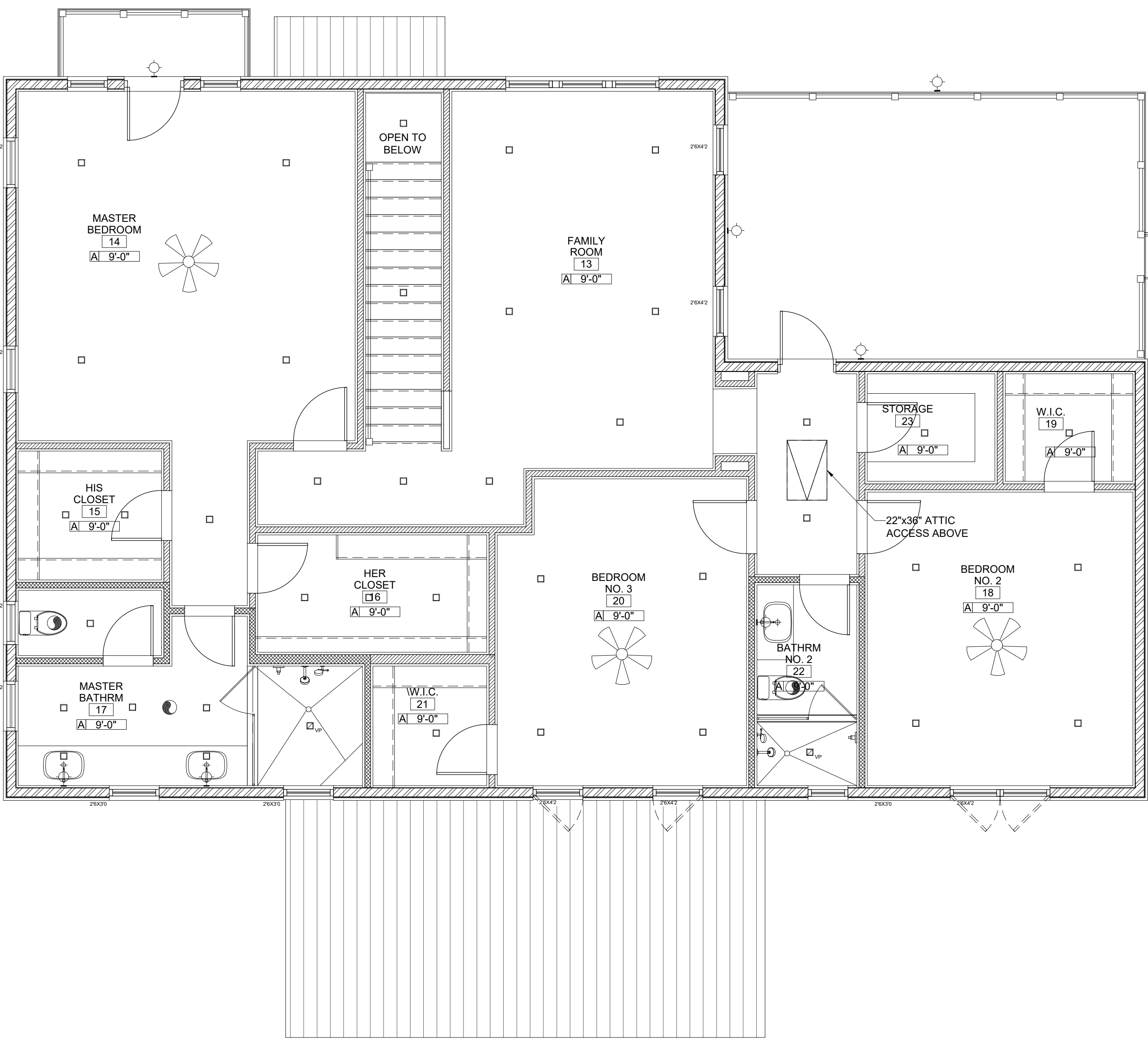
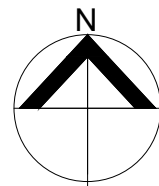
3 ATTIC ACCESS DETAIL

SCALE:1/2" = 1'-0"



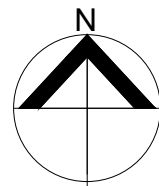
1 PROPOSED FIRST FL RCP

SCALE:1/4" = 1'-0"



2 PROPOSED SECOND FL RCP

SCALE:1/4" = 1'-0"



RENO/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:

PRIVATE RESIDENCE

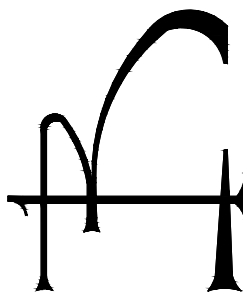
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B1 ARCHITECT

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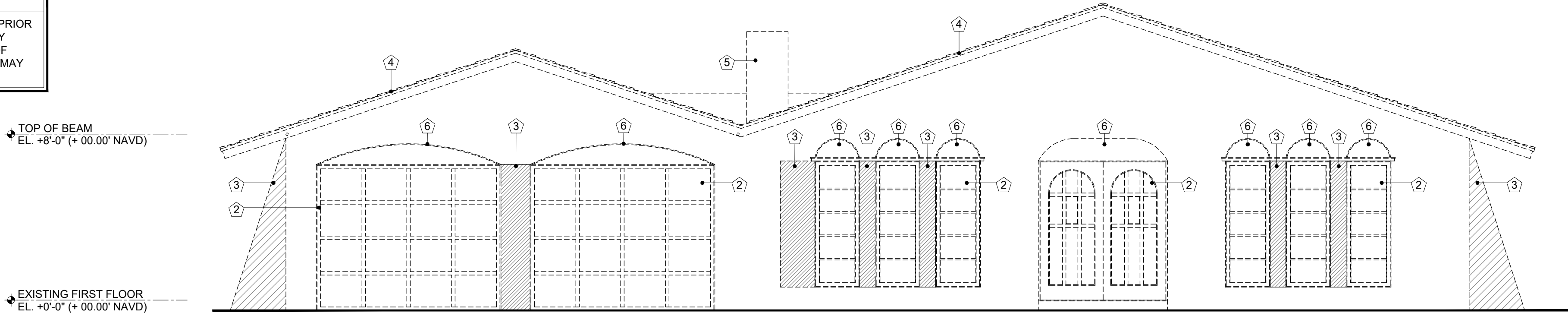
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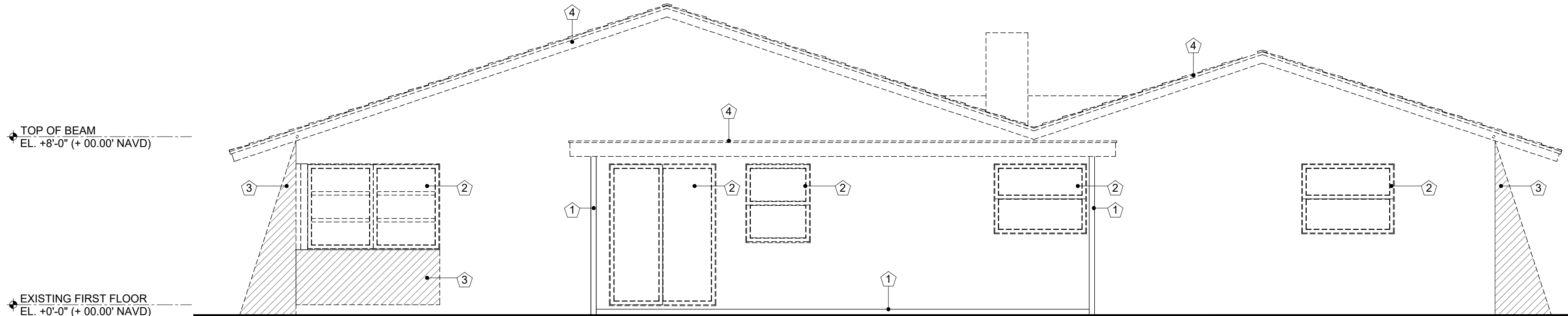
LEGEND - DEMOLITION	
MARK	LEGEND DEMOLITION
	EXISTING WINDOWS/DOORS TO REMAIN.
	AREA OF CMU WALL TO BE REMOVED.
	TO BE DEMOLISHED.

NOTE:  
NO DEMOLITION OR RENOVATION OF EXISTING STRUCTURE HAVING ASBESTOS.

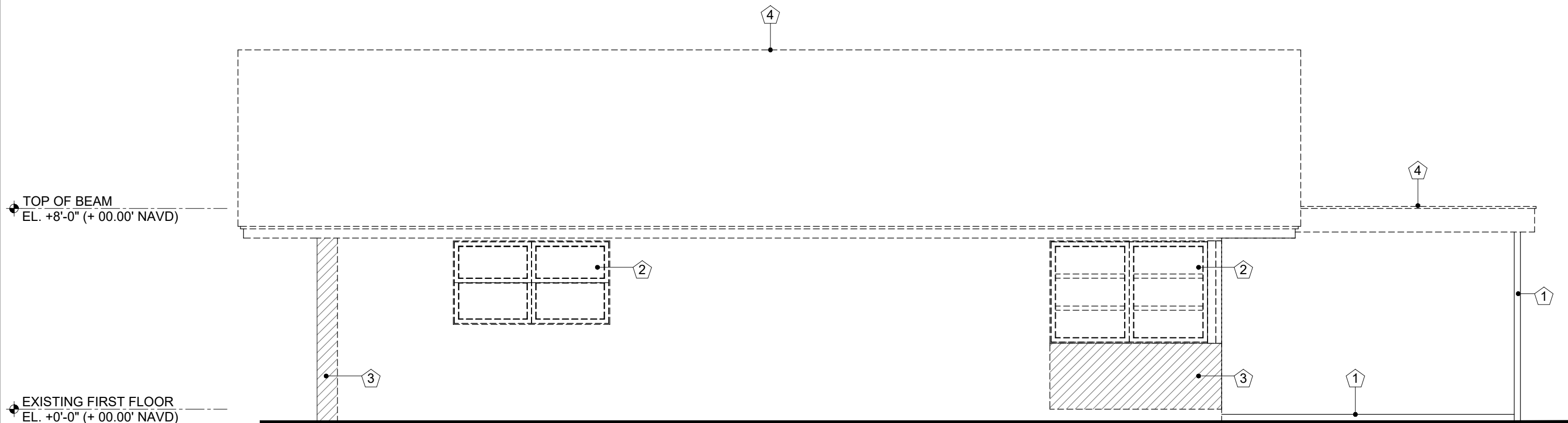
NOTE:  
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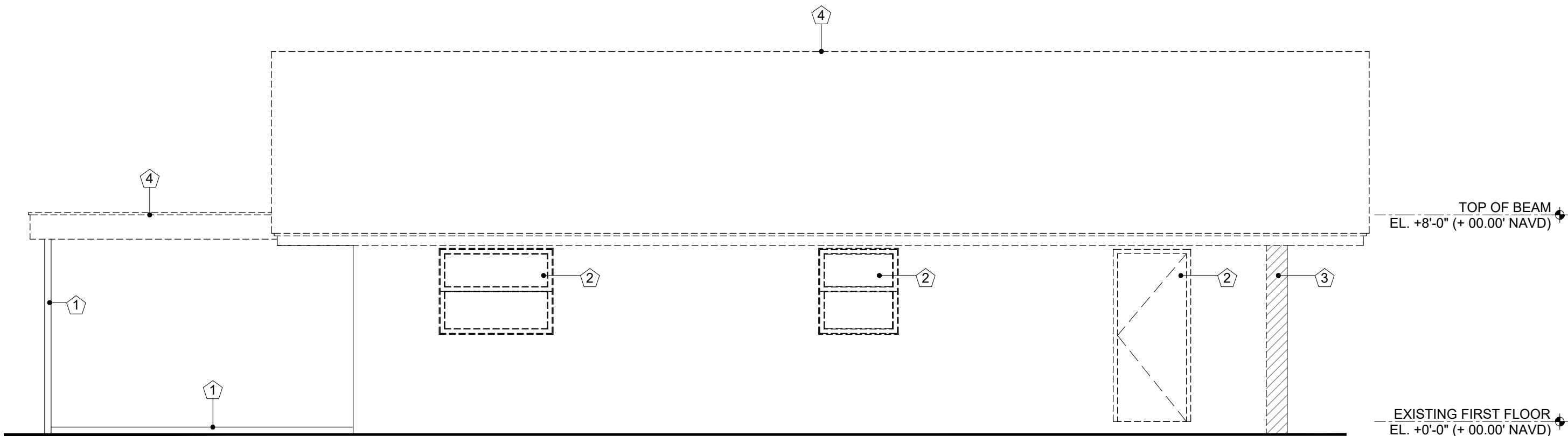
1 EXISTING/DEMOLITION SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING/DEMOLITION NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING/DEMOLITION WEST ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING/DEMOLITION EAST ELEVATION  
SCALE: 1/4" = 1'-0"

N°	LEGEND - DEMOLITION NOTES
1	EXISTING TO REMAIN.
2	EXISTING WINDOW/DOOR, FRAME AND CASINGS TO BE REMOVED.
3	EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED
4	EXISTING ROOF STRUCTURE TO BE REMOVED.
5	EXISTING CHIMNEY
6	EXISTING STUCCO TRIM TO BE FILLED IN
7	EXISTING RAILING TO BE REMOVED

- DEMOLITION NOTES:
- GENERAL AND SUB-CONTRACTORS SHALL BE PROPERLY LICENSED AND INSURED AS PER ALL GOVERNING LAWS.
  - ACCESS TO SITE SHALL BE COORDINATED WITH OWNER BEFORE START OF CONSTRUCTION.
  - CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH OWNER.
  - GENERAL CONTRACTOR MUST FURNISH AND INSTALL A TEMPORARY BARRICADE WITH ACCESS DOOR IN COMPLIANCE WITH OWNER REQUIREMENTS, INCLUDING SIGNAGE.
  - THE USE OF DUMPSTERS AND WORK PROCEDURES ARE TO BE COORDINATED WITH OWNER.
  - CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS AND/OR PERMITS BEFORE COMMENCING WORK INCLUDING POSSIBLE OBSTRUCTION OF STREET, WALKWAYS AND/OR ADJACENT FACILITIES FROM PROPER AUTHORITIES HAVING JURISDICTION.
  - COMPLETE ALL DEMO AS SPECIFIED IN THIS DRAWING.
  - PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SPACE TO BE DEMOLISHED TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE REST OF THE BUILDING. GENERAL CONTRACTOR SHALL REQUIRE A LICENSED AND INSURED SUB-CONTRACTOR TO DISCONNECT & CAP OFF THE EXISTING HOT & COLD DOMESTIC WATER SYSTEM LINES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STABILITY OF THE EXISTING STRUCTURE UNTIL THE CONSTRUCTION IS COMPLETE. DO NOT REMOVE STRUCTURAL WALLS, COLUMN AND OR BEAMS. EXPOSE ALL STRUCTURAL LOAD BEARING CONDITIONS FOR ENGINEER OF RECORDS OBSERVATION. NOTHING SHALL RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY TO PROVIDE FOR SAFETY AND PROTECTION OF PERSONS/PROPERTY.
  - CONTRACTOR IS TO BE CAREFUL NOT TO DEMOLISH OR DAMAGE ANY EXISTING CONCRETE COLUMN OR BEAMS OR STRUCTURE NOT IDENTIFIED EXPLORATORY DEMOLITION IS REQUIRED IN ORDER TO EXPOSE OBSTACLES AND EXISTING STRUCTURAL CONDITIONS.
  - A LICENSED ELECTRICIAN SHALL DISCONNECT THE EXISTING ELECTRICAL SYSTEM WITHIN THE LIMITS OF THE WORK AREA. REMOVE ALL EXISTING RECEPTACLES, SWITCHES, AND LIGHT FIXTURES AS REQUIRED. MAINTAIN IN FUNCTIONING CONDITIONING. TEMPORARY CIRCUITS FOR CONSTRUCTION POWER AND LIGHTING SHALL BE ESTABLISHED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONFIRM WITH THE OWNER THE REMOVAL OF LIGHT FIXTURES AND FANS IN WORK AREA.
  - VERIFY WITH MECHANICAL CONTRACTOR IF EXISTING HVAC EQUIPMENT AND DUCTS SHALL REMAIN OR BE REUSED. FILTER CLOTH SHALL BE APPLIED TO ALL AC OUTLETS AND INLETS DURING THE ENTIRE CONSTRUCTION PERIOD AND REPLACED PERIODICALLY TO PROTECT THE EXISTING AC DUCT WORK FROM CONSTRUCTION DEBRIS AND DUST.
  - DISCONNECT AND PROPERLY DISPOSE OF ALL APPLIANCES (AS NOTED) PRIOR TO DISPOSAL. CONFIRM WITH THE OWNER IF THEY WISH TO DONATE OR KEEP ANY OR ALL OF THE EXISTING APPLIANCES.
  - REMOVE ALL INTERIOR PARTITIONS AND DOORS THAT ARE SHOWN IN DASHED LINES.
  - COORDINATED WITH ARCHITECTURAL DWG's.
  - ALL WALLS WHICH ARE REMOVED OR ALTERED SHALL BE REFRAMED TO CONFORM WITH THE CONVENTIONAL FRAMING METHODS AND INCLUDE REQUIRED PLATES, JACKS AND HEADERS AS REQUIRED TO PROPERLY SUPPORT THE REMAINING WALLS, DOORS AND OPENINGS.
  - REMOVE ALL EXISTING FLOORING AND INSTALL NEW FLOORING THROUGHOUT. CONFIRM SELECTIONS WITH OWNER.
  - CONTRACTOR TO PREPARE THE EXISTING CONCRETE SLAB AS REQUIRED TO BE EVEN ELEVATION THRU-OUT SMOOTH, CONTINUOUS LEVEL AND READY TO ACCEPT NEW FINISHES. THIS INCLUDED "FLOATING" ANY UNACCEPTABLE AREAS AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF DEMOLITION.
  - IF DURING CONSTRUCTION EVIDENCE OF ASBESTOS IS FOUND, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF s.469.003 FLORIDA STATUTES AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF THEIR INTENTIONS TO REMOVED ASBESTOS, IN ACCORDANCE WITH THE STATE AND FEDERAL LAW.
  - REMOVE ALL INTERIOR WOOD TRIM.
  - REMOVE ALL FINISH MATERIALS INCLUDING ALL BUILT IN FURNITURE, LAMPS, WALL FIXTURES, WALL COVERINGS, CURTAINS, FLOORING AND CEILINGS (BE AWARE TO MAKE PRIOR DISCONNECTIONS OF EQUIPMENTS).
  - REMOVE ALL REMAINING NAILS, STRAPS AN MISCELLANEOUS OBJECTS LEFT OVER FROM DEMOLITION. CONTRACTOR SHALL LEAVE PREMISES BROOM SWEEP FINISH.
  - TO CONTROL DUST & DEBRIS THE CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS FROM THE FLOOR, THE BUILDING AND SWEEPS THE FLOOR CLEAN ON A DAILY BASIS THROUGHOUT THE DEMOLITION PROCESS.
  - CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS SHOWING ALL CHANGES OF UTILITIES.
  - ALL EXISTING CONDITIONS SHOWN ON DRAWINGS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. IN THE EVENT OF ANY INCONSISTENCY NOTIFY THE ARCHITECT/ENGINEER OF RECORD.

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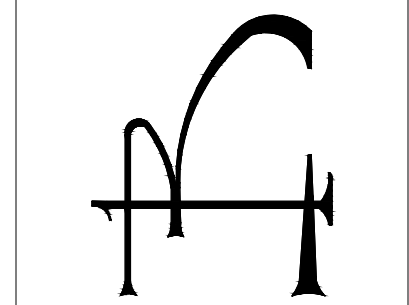
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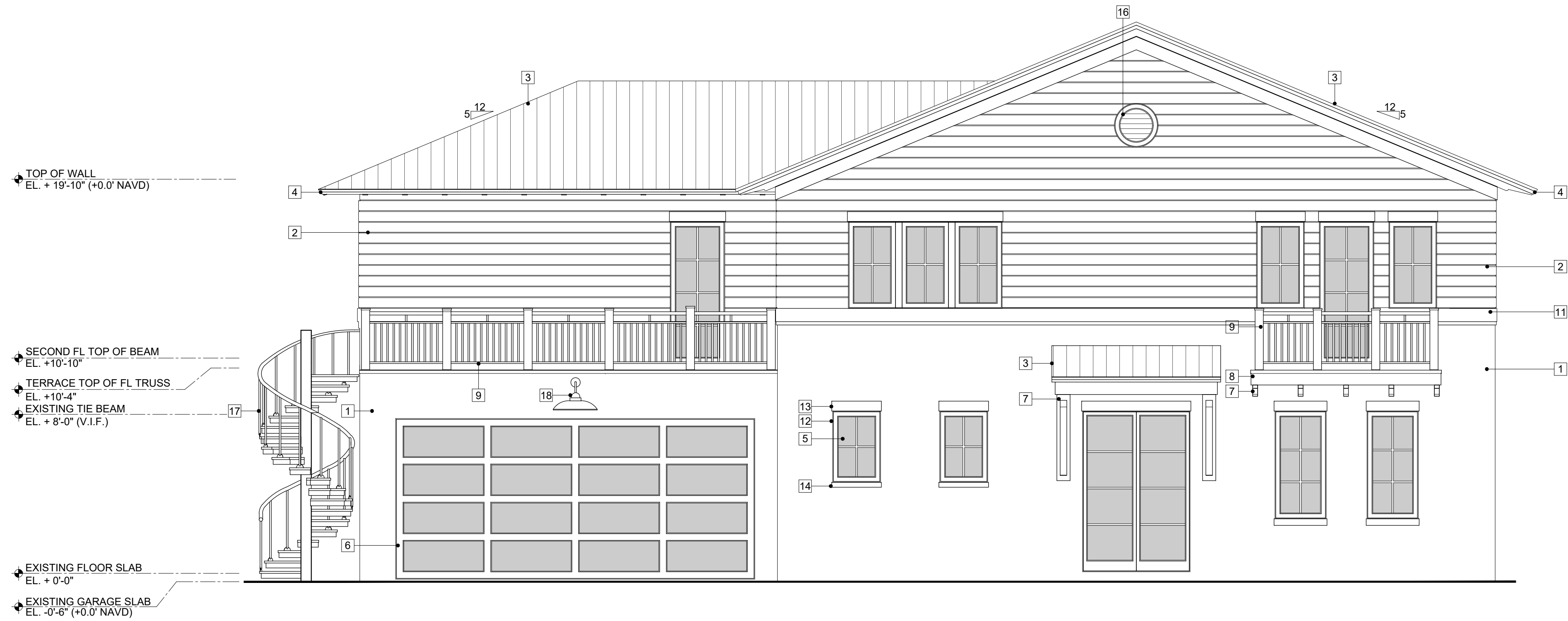
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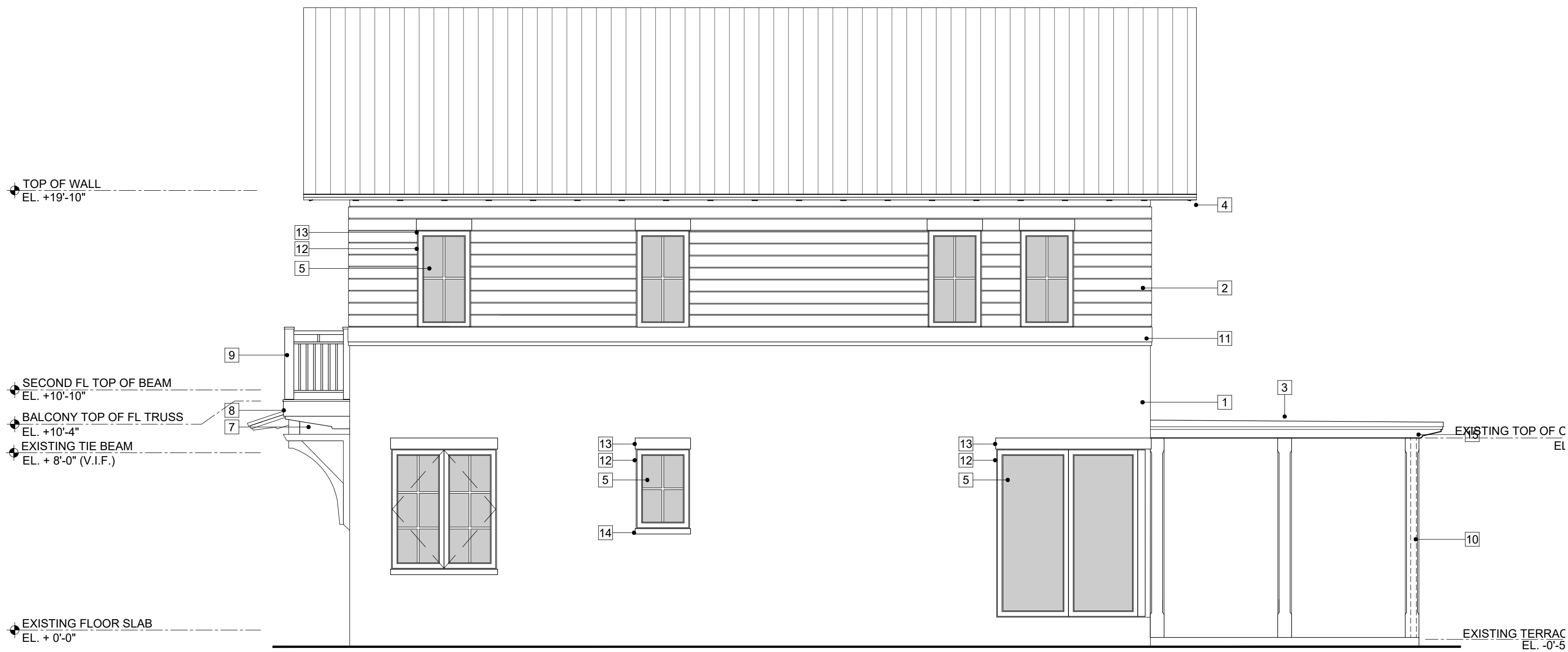
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NO	LEGEND
[1]	3/8" SMOOTH STUCCO, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010"; WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
[2]	3/8" SMOOTH STUCCO 6" BAND WITH 3/8" CONTINUES REVEAL AND 5" STUCCO CORNER TRIM; PAINTED "F&B JAMES WHITE NO. 2010"
[3]	"ZINC GRAY" STANDING SEAM METAL ROOF. PROVIDE SAMPLES FOR ARCH/OWNER APPROVAL.
[4]	1x PT WOOD FASCIA & DECORATIVE 3x6 OUTLOOKERS AT EAVES, TYP. PAINTED "F&B JAMES WHITE NO. 2010"
[5]	IMPACT RATED, MIAMI DADE COUNTY APPROVED WINDOWS AND DOORS WITH "BLACK" FINISH.
[6]	IMPACT RATED, MIAMI DADE COUNTY APPROVED, ALUMINUM GARAGE DOOR WITH "F&B JAMES WHITE NO. 2010" FINISH
[7]	DECORATIVE CYPRESS WOOD BEAM AND BRACKET SEALED AND PAINTED WHITE "F&B JAMES WHITE NO. 2010". PROVIDE SAMPLES FOR ARCH/OWNER APPROVAL.
[8]	1x PT WOOD DECKING AND BOX SKIRT, WITH WOOD BRACKETS AND T&G DECKING ON UNDERSIDE, PAINTED "F&B JAMES WHITE NO. 2010".
[9]	36" H METAL RAILING WITH 1" PICKETS AND 6" POST, W/ POWDER COATED" "F&B JAMES WHITE NO. 2010".
[10]	6" BOX COLUMN AND BEAM SEALED AND PAINTED WHITE "F&B JAMES WHITE NO. 2010". PROVIDE SAMPLE.
[11]	4" H SMOOTH STUCCO BAND, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010". WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
[12]	1 1/2" W, 3/8" SMOOTH STUCCO TRIM, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
[13]	6" H, 3/8" SMOOTH STUCCO HEADER, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
[14]	4" H, 3/8" SMOOTH STUCCO SILL, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
[15]	1x WOOD FASCIA, TYP. PAINTED "F&B JAMES WHITE NO. 2010"
[16]	1" PRECAST STUCCO TRIM, PAINTED WHITE. PROVIDED SAMPLES FOR ARCHITECT APPROVAL.
[17]	METAL SPIRAL STAIRCASE, BY OTHERS. PROVIDE SHOP DRAWINGS FOR OWNER/ARCH. APPROVAL.
[18]	LIGHT FIXTURE, BY OTHERS.

1 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



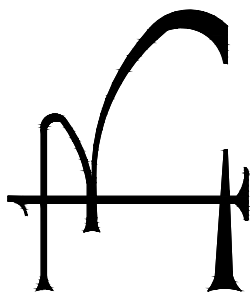
2 PROPOSED WEST ELEVATION  
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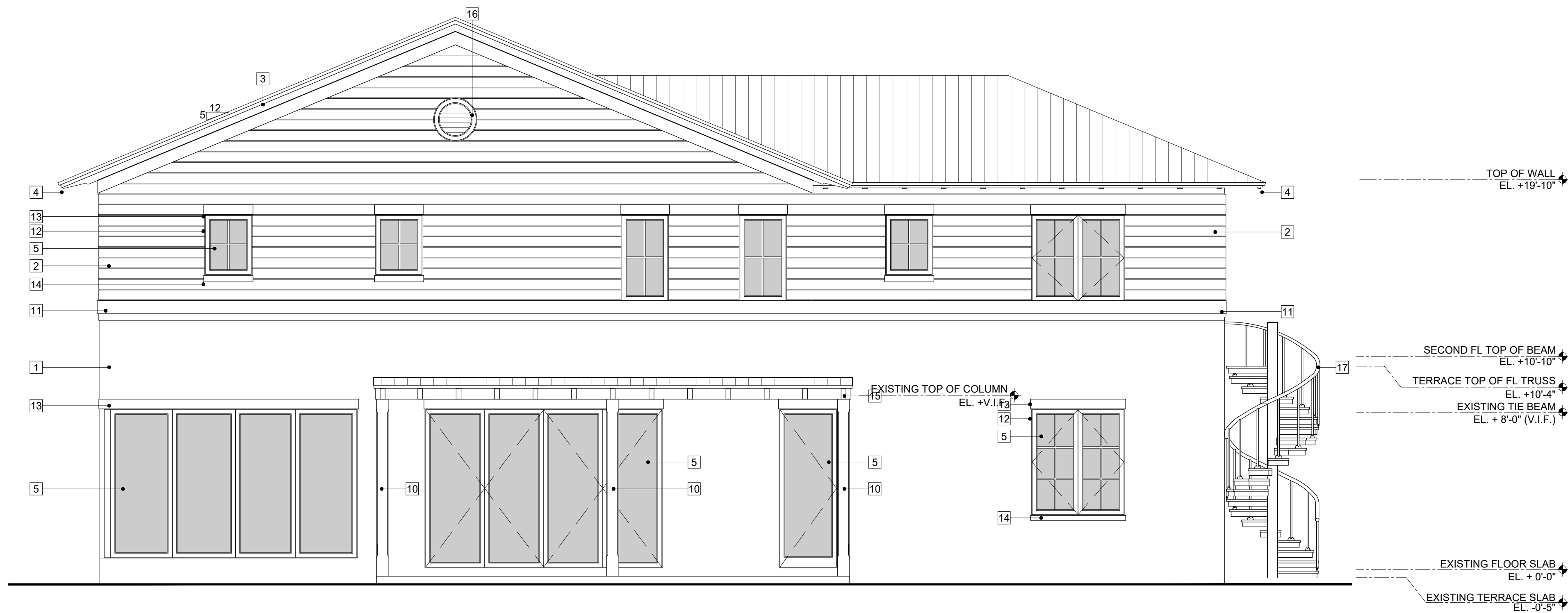
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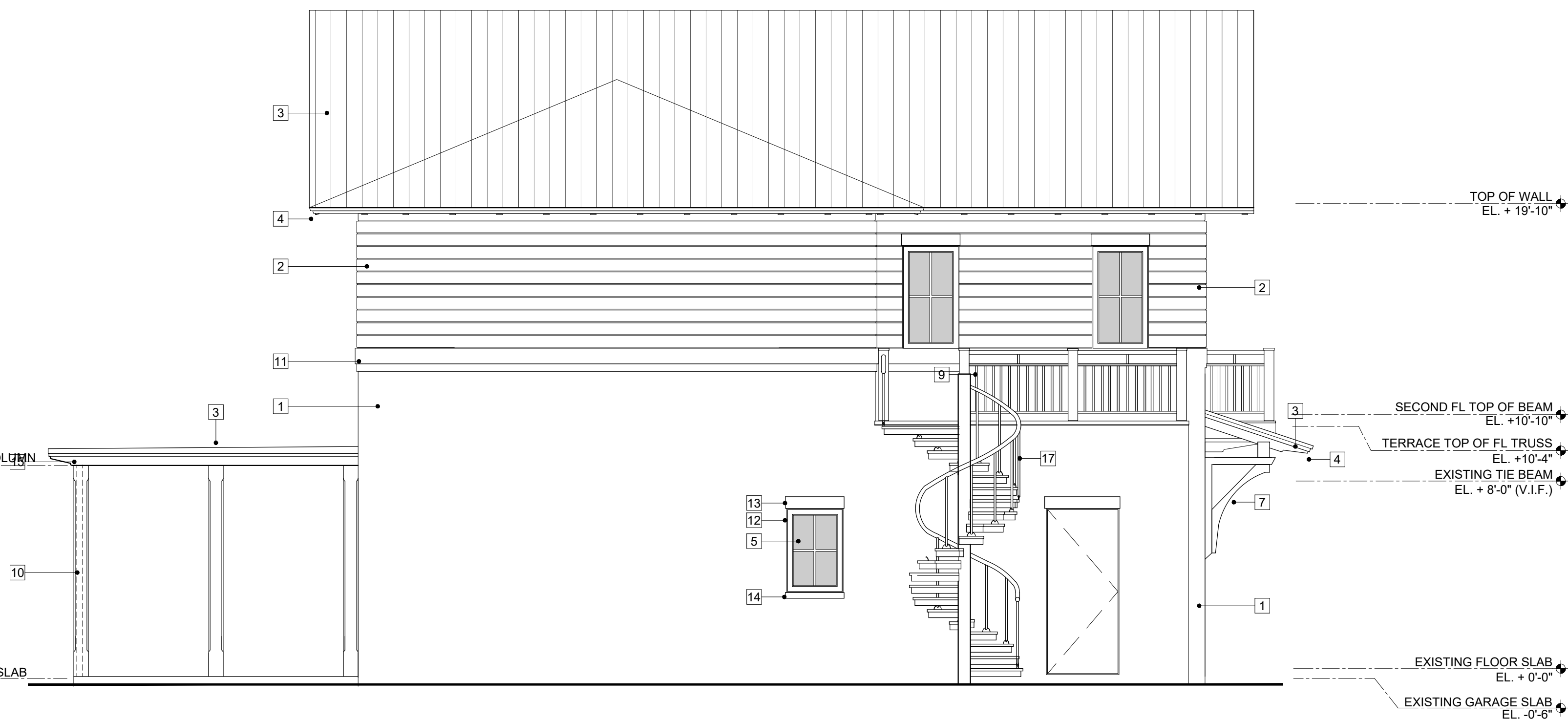
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A2.0





1 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	LEGEND
1	3" SMOOTH STUCCO, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010"; WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
2	3" SMOOTH STUCCO 6" BAND WITH 1/2" CONTINUES REVEAL AND 5" STUCCO CORNER TRIM; PAINTED "F&B JAMES WHITE NO. 2010"
3	"ZINC GRAY" STANDING SEAM METAL ROOF. PROVIDE SAMPLES FOR ARCH/OWNER APPROVAL.
4	1x PT WOOD FASCIA & DECORATIVE 3x6 OUTLOOKERS AT EAVES, TYP. PAINTED "F&B JAMES WHITE NO. 2010"
5	IMPACT RATED, MIAMI DADE COUNTY APPROVED WINDOWS AND DOORS WITH "BLACK" FINISH.
6	IMPACT RATED, MIAMI DADE COUNTY APPROVED, ALUMINUM GARAGE DOOR WITH "F&B JAMES WHITE NO. 2010" FINISH
7	DECORATIVE CYPRESS WOOD BEAM AND BRACKET SEALED AND PAINTED WHITE "F&B JAMES WHITE NO. 2010". PROVIDE SAMPLES FOR ARCH/OWNER APPROVAL.
8	1x PT WOOD DECKING AND BOX SKIRT, WITH WOOD BRACKETS AND T&G DECKING ON UNDERSIDE, PAINTED "F&B JAMES WHITE NO. 2010".
9	36" H METAL RAILING WITH 1" PICKETS AND 6" POST, W/ POWDER COATED "F&B JAMES WHITE NO. 2010".
10	6" BOX COLUMN AND BEAM SEALED AND PAINTED WHITE "F&B JAMES WHITE NO. 2010". PROVIDE SAMPLE.
11	4" H SMOOTH STUCCO BAND, 3-COAT SYSTEM, PAINTED "F&B JAMES WHITE NO. 2010"; WITH WATERPROOFING EQUAL TO THEROSEAL" MASTERSEAL 583" OR APPROVED EQUAL.
12	1 1/2" W, 3/4" SMOOTH STUCCO TRIM, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
13	6"H, 3/4" SMOOTH STUCCO HEADER, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
14	4"H, 3/4" SMOOTH STUCCO SILL, SEALED AND PAINTED "F&B JAMES WHITE NO. 2010"; FINISH.
15	1x WOOD FASCIA, TYP. PAINTED "F&B JAMES WHITE NO. 2010"
16	1" PRECAST STUCCO TRIM, PAINTED WHITE. PROVIDED SAMPLES FOR ARCHITECT APPROVAL.
17	METAL SPIRAL STAIRCASE, BY OTHERS. PROVIDE SHOP DRAWINGS FOR OWNER/ARCH. APPROVAL.
18	LIGHT FIXTURE, BY OTHERS.

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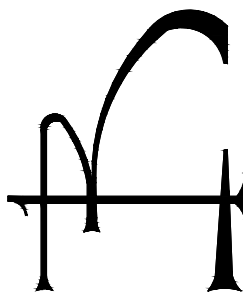
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RENOV/ADDITION TO EXISTING SINGLE FAMILY RESIDENCE:  
**PRIVATE RESIDENCE**  
430 MARS WAY  
JUNO BEACH, FL

GREGORY BONNER, AIA

AA26003271

**B1 ARCHITECT**  
139 NORTH COUNTY ROAD, STE 18C  
PALM BEACH FLORIDA 33480  
(561) 312-3453



JOB NO.	430MARS
PLOT DATE	04.04.2025
SCALE	AS NOTED
DRAWN BY	mmc

A2.1



PROPERTY ADDRESS: 430 MARS WAY JUNO BEACH, FL 33477	LEGAL DESCRIPTION MALBO E 37.5 FT OF LT 20 & ALL OF LT 21
LAND USE EXISTING/PROPOSED USE RS-3—SINGLE FAMILY (28-JUNO BEACH)	
PARCEL CONTROL NUMBER	28-43-41-28-09-000-0201
PROJECT SCOPE: SECOND STORY ADDITION/ INTERIOR RENOVATION TO EXISTING SINGLE FAMILY RESIDENCE	
APPLICABLE CODES	1. FLORIDA BUILDING CODE RESIDENTIAL 2023, 8TH EDITION 2. FLORIDA BUILDING CODE EXISTING BUILDING, 2023, 8TH EDITION. 3. FLORIDA BUILDING CODE, 2023, 8TH EDITION. 4. FLORIDA BUILDING CODE, ACCESSIBILITY, 2023, 8TH EDITION. 5. FLORIDA FIRE PREVENTION CODE 2023, 8TH EDITION. 6. NFPA 101 LIFE SAFETY CODE, 2023, 8th EDITION. 7. FLORIDA BUILDING CODE ENERGY CONSERVATION 2023, 8TH EDITION. 9. FLORIDA MECHANICAL CODE 2023, 8th EDITION. 9. FLORIDA PLUMBING CODE 2023, 8th EDITION. 9. FLORIDA FUEL AND GAS 2023, 8th EDITION.

SITE DATA *	EXISTING	PROPOSED
SITE	0.16 ACRES 7,000 SQ.FT.	
AREA CALCULATIONS		
MAIN HOUSE (A/C)		
FIRST FLOOR	1,581 SQ.FT.	1,581 SQ.FT
SECOND FLOOR	0 SQ.FT	1,756 SQ. FT
TOTAL A/C	2,058 SQ.FT.	3,337 SQ.FT.
GARAGE (NON A/C)	477 SQ.FT.	477 SQ.FT.
TOTAL	2,058 SQ.FT.	3,814 SQ.FT
COVERED TERRACE -1ST FL	286 SQ.FT.	286 SQ.FT.
OUTDOOR TERRACES 2ND FL.	0 SQ.FT.	283 SQ.FT.

SITE DATA TABLE		
BUILDING FOOT PRINT		2,344 S.F.
1ST FL AREA		1,581 S.F.
GARAGE AREA		477 S.F.
COVERED TERRACE AREA		286 S.F.
TOTAL SITE AREA		7,000 S.F.
LOT COVERAGE (MAX. 35%)		2,450 S.F.
25% LANDSCAPE AREA = 1,750 PROVIDED = 2,590 S.F.		
LANDSCAPE AREA		
ZONING REQUIREMENT		
	REQUIRED	PROVIDED
1ST FL AREA	20'-0"	20'-9"
MINIMUM SIDE SETBACK	15'-0" TOTAL	30' -5 ½"
MINIMUM REAR SETBACK	10'-0"	23'-1"
MAX. HEIGHT : 2 STORIES	30'-0"	27'-9"
MAXIMUM TOWER HEIGHT	NONE	N/A
MAXIMUM TOWER AREA	225 S.F.	N/A
MAXIMUM COVERAGE	35% = 2,450 S.F.	2,344 S.F.
MAXIMUM BUILDING DIM	100 FEET	100 FEET
MAXIMUM LANDSCAPE AREA	25%=1,250 S.F.	2,590 S.F.
MAXIMUM PARKING REQ'D	2 SPACES	2 SPACES

SITE PLAN NOTES	
1.	ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
2.	ALL MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE +7.0' N.A.V.D.
3.	ALL APPROACHES TO BE COORDINATED WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
4.	SITE TO BE FILLED TO GOVERNMENT FLOOD CRITERIA ELEVATION N.A.V.D. OR AN ELEVATION NOT LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
5.	LOT TO BE GRADED AS SO TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTIES, WATERWAY AND RIGHT OF WAY.
6.	REFER TO LEGAL SURVEY FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING ELEMENTS.
7.	REFER TO CIVIL ENGINEERING DRAWINGS FOR FINAL GRADE ELEVATIONS.
8.	LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY ALL LOCAL AND APPLICABLE CODES.
9.	REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING REQUIREMENTS, PAVER PATTERNS, NOTES AND DETAILS.

TERMITE NOTE	
THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.	

ISSUE	DATE
PERMIT SET	04.04.25

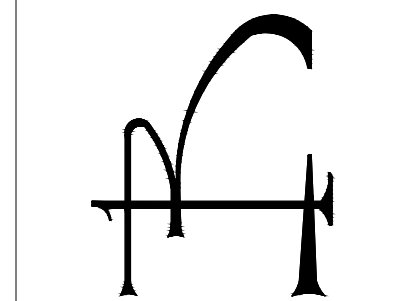
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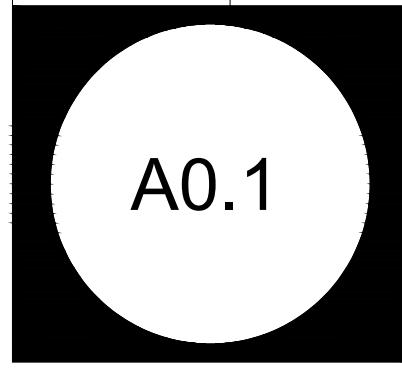
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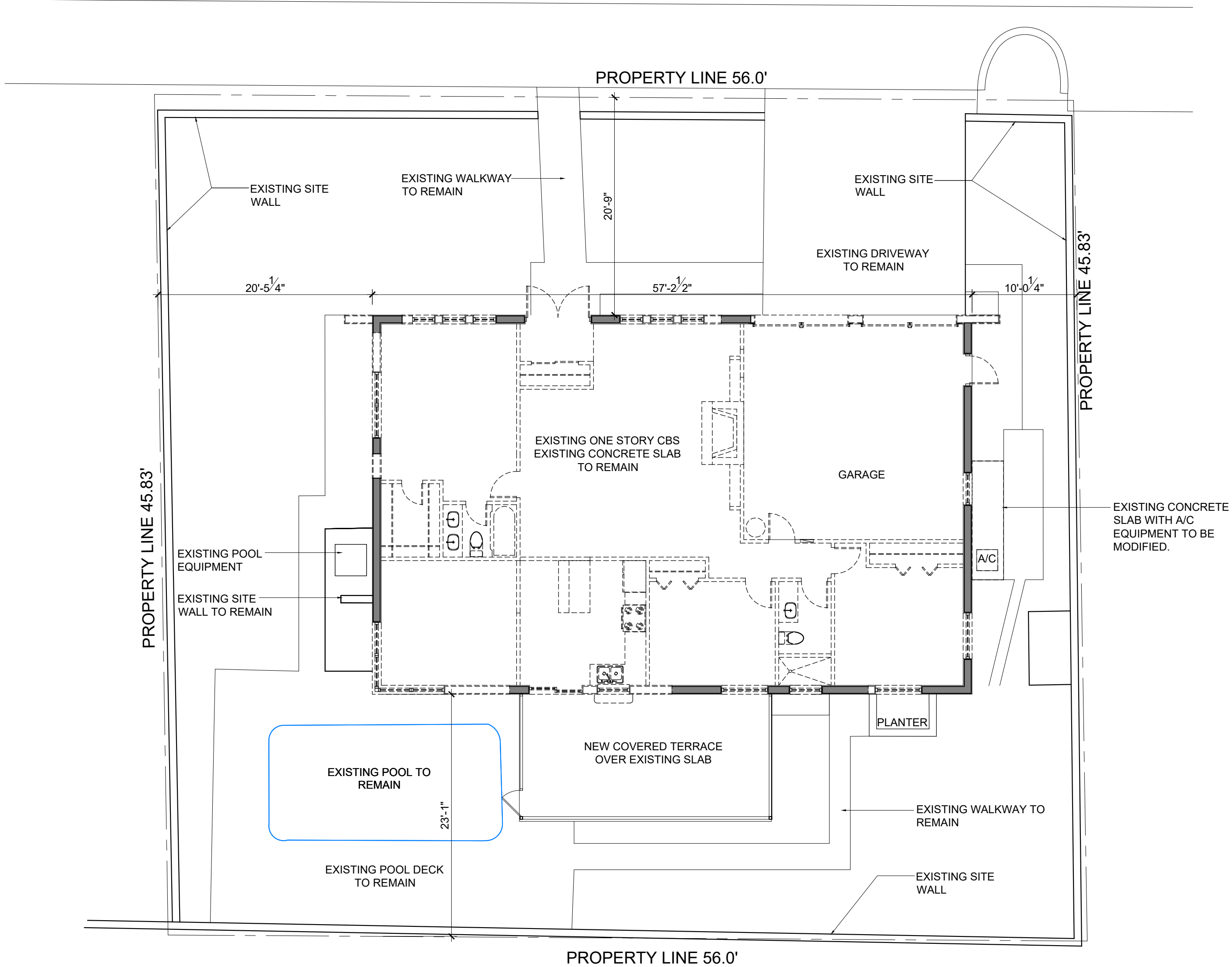


JOB NO.	430MARS
PLOT DATE	04.21.2025
SCALE	AS NOTED
DRAWN BY	mmc

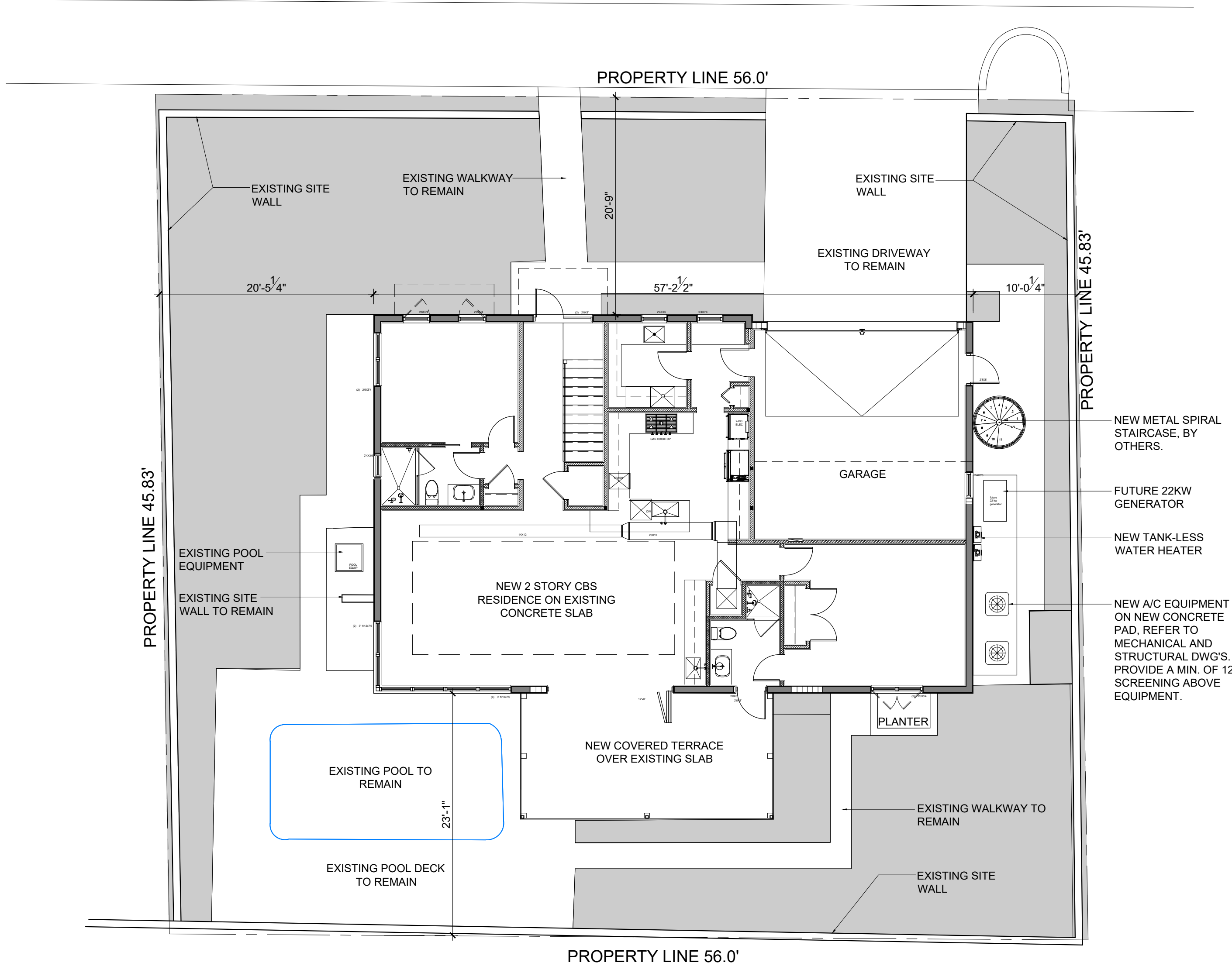


## 1 ZONING DATA

SCALE: N.T.S.



1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

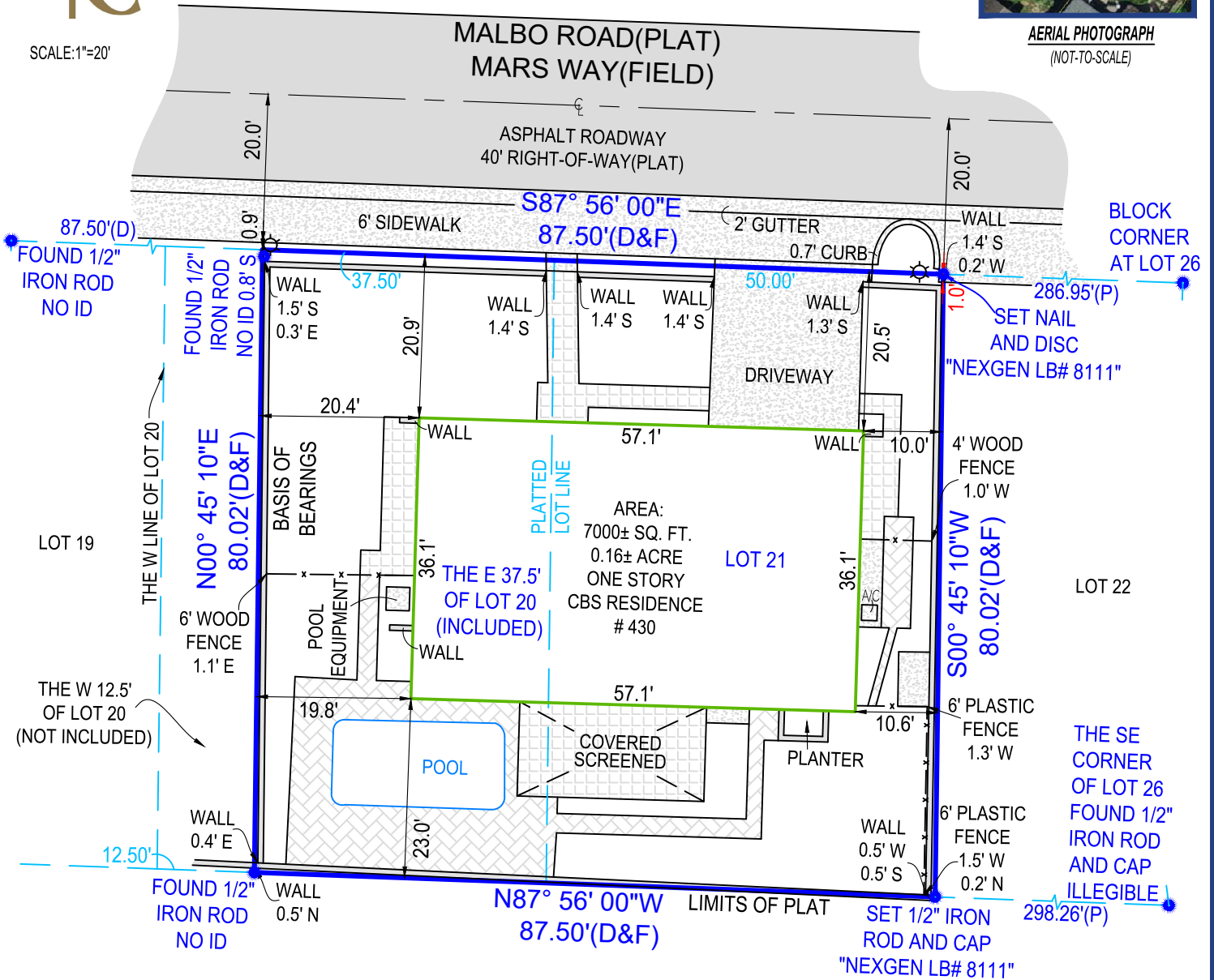
430 MARS WAY, JUNO BEACH, FL 33408  
BOUNDARY SURVEY



SCALE: 1"=20'



AERIAL PHOTOGRAPH  
(NOT-TO-SCALE)



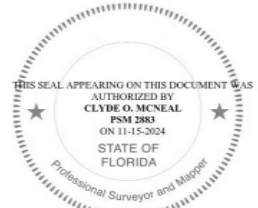
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SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 11-13-2024  
Drawn By: Oleg  
Order #: 253453  
Last Revision Date:  
Boundary Survey prepared by: LB 8111  
NexGen Surveying, LLC.  
5615086272  
1547 Prosperity Farms  
Lake Park FL, 33403

**NEXGEN**  
SURVEYING, LLC.


















**LEGAL DESCRIPTION OF: 430 MARS WAY, JUNO BEACH, FL, 33408**  
LOT 21 AND THE E 37.50 FT OF LOT 20, PLAT OF MALBO, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 22, PAGE(S) 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**CERTIFIED TO:**  
CHRISTOPHER JON DEBELLIS, MARY MARGARET DEBELLIS  
COHEN NORRIS WOLMER RAY TELEPMAN BERKOWITZ & COHEN  
WFG NATIONAL TITLE INSURANCE COMPANY (WFG)

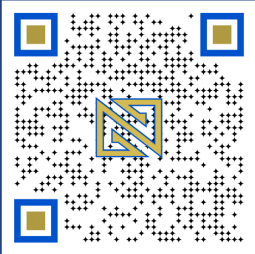
**FLOOD ZONE:**  
12099C0381F  
ZONE: X  
EFF: 10/05/2017

**SURVEY NOTES:**  
- DRIVEWAY CROSSES THE BOUNDARY LINE ON NORTHERN SIDE OF LOT AS SHOWN.  
- CONCRETE WALK CROSSES THE BOUNDARY LINE ON NORTHERN SIDE OF LOT AS SHOWN.  
- COMMUNITY SIDEWALK CROSSES THE BOUNDARY LINE ON NORTHEASTERN SIDE OF LOT AS SHOWN.  
- FENCES LIE NEAR BOUNDARY LINES AS SHOWN, OWNERSHIP NOT DETERMINED.  
- WALL CROSSES THE BOUNDARY LINES ON WESTERN AND SOUTHERN SIDES OF LOT AS SHOWN.

LEGEND	
A/C	-AIR CONDITIONER
WM	-WATER METER
AL	-ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	-PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
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SOME ITEMS IN LEGEND MAY NOT  
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Town of Juno Beach  
340 Ocean Drive; Juno Beach, FL 33408  
Phone: (561) 626-1122; Fax: (561) 775-0812

For Official Use Only  
Date Stamp

TOWN OF JUNO BEACH  
RECEIVED

Appearance Review Application

2025 APR 14 A 11:42

The following information and items shall be provided to the Planning and Zoning Department for processing and dissemination in association with scheduling of submittals before the Town's Planning and Zoning Board. The Board meets on the First Monday of each month, unless otherwise changed. The submittal of a completed packet, to include the application, plans, photos, etc. shall be submitted on the Monday, forty-five (45) days prior to the meeting. All of staff's comments shall be addressed twenty-one (21) days prior to the meeting. An application is deemed complete once staff has determined that all comments have been addressed via notification to the applicant by email or mail. A pre-application meeting with staff is required prior to the submittal of the application.

Date: 4/14/25

Project Address: 430 Mars Way

Property Control Number: 28-43-41-28-09-000-0201 Zoning District: RS-3

Description of Request: (please provide a brief, comprehensive and summarized description of the proposed project below).

Add second floor approx 1756 square feet  
Renovate first floor.

Design Professional Name: Gregory Bonner License #: AA26003271  
Phone Number: 561-312-3453 E-mail: gregory@b1architect.com

Construction Company Name: Owner Builder / DeBellis Construction  
Phone Number: 914-760-4137 E-mail: chrisdebellis@comcast.net

Property Owner's Name: SPB Investors LLC, Chris & Mary DeBellis  
Owner's Address (if different from project address): 121 Arnt Hack Rd. Danbury CT 06811  
Phone Number: 914-760-4137 E-mail: chrisdebellis@comcast.net  
Applicant/Owner signature: Chris DeBellis Date: 4/14/25

Please note: The Appearance Review solely addresses the Appearance Criteria of the proposed project, it does not encompass a zoning, engineering, or building review. Further reviews by Town staff will commence once a building permit has been submitted.



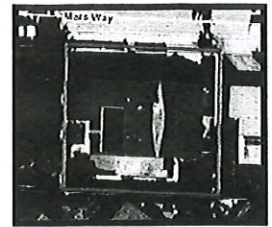
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BOUNDARY SURVEY

TOWN OF JUNO BEACH  
RECEIVED

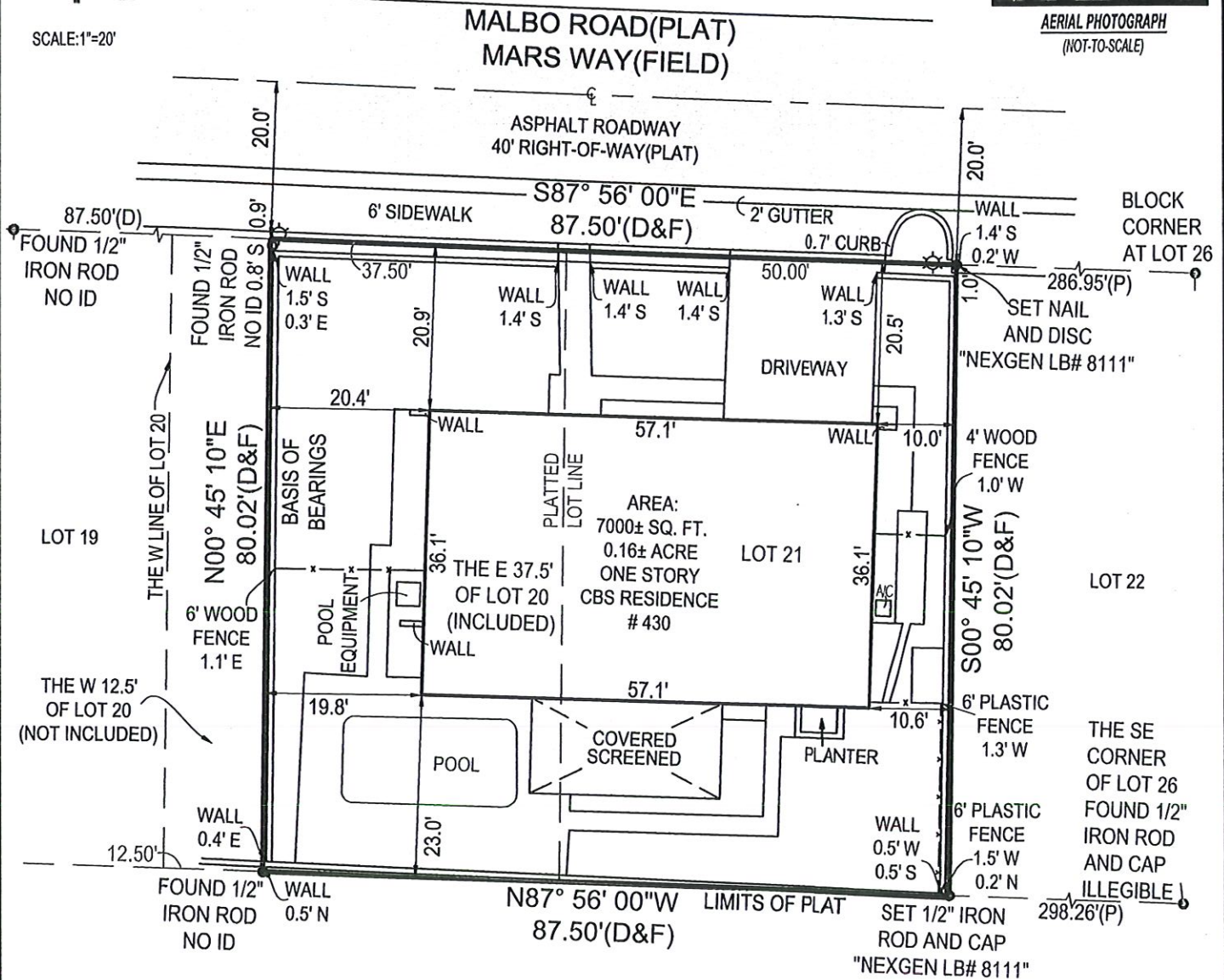
2025 APR 14 A 11:42



SCALE: 1"=20'



AERIAL PHOTOGRAPH  
(NOT-TO-SCALE)



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SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 11-13-2024  
Drawn By: Oleg  
Order #: 253453  
Last Revision Date:  
Boundary Survey prepared by: LB 8111  
NexGen Surveying, LLC.  
5615086272  
1547 Prosperity Farms  
Lake Park FL, 33403

**NEXGEN**  
SURVEYING, LLC.





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WFG NATIONAL TITLE INSURANCE COMPANY (WFG)**FLOOD ZONE:**

12099C0381F

ZONE: X

EFF: 10/05/2017

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LB 8111

info@nexgensurveying.com



5615086272

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Lake Park  
FL 33403