



401 DIANA LANE JUNO BEACH, FLORIDA

SHT	DESCRIPTION
	COVER SHEET
SP-1	SITE PLAN
A-1	1ST FLOOR PLANS
A-2	2ND FLOOR PLANS
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	ROOF PLAN
D-1	TYPICAL WALL DETAILS
REN	TYPICAL WALL DETAILS

(BUILDING AREA)	
A	B
DESCRIPTION	AREA
1ST FLOOR A/C AREA	2261 SF
2nd FLOOR A/C AREA	2830 SF
GARAGE	802 SF
TOWER FLOOR AREA	53 SF
TOTAL AREA: 4	5945 SF

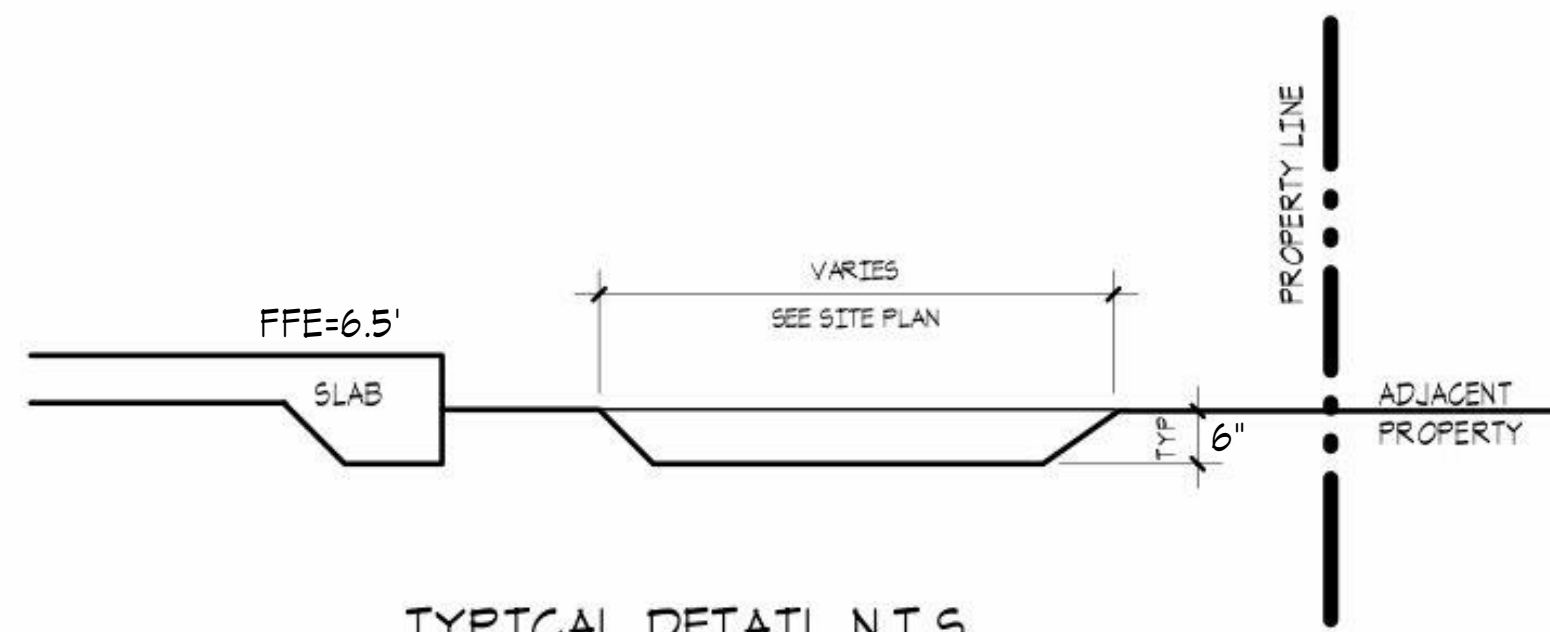
BLDG. DESIGN DATA	
CODES: FLORIDA RESIDENTIAL BLDG. CODE 2023 8TH EDITION ENERGY CONSERVATION, PLUMBING, MECHANICAL AND ELECTRICAL NFPA FL FIRE PREVENTION CODE 99H ED. NEC NATIONAL ELECTRIC CODE 2020 CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL ADMINISTRATIVE CODE RULE 9B-3.0472 ACI 318-19, ASTM 47th ED.	
DESIGN CRITERIA	
CITY/COUNTY	JUNO BEACH, FL
OCCUPANCY GROUP	R-3
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, mph	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, psf	2500
FLOOR LOADS (LIVE & DEAD)	65
ROOF DEAD LOAD, psf	25
ROOF LIVE LOAD, psf	30
CONSTRUCTION TYPE	"V" B" UNPROTECTED

CLIENT INFORMATION

401 DIANA LANE, LLC
 5301 N FEDERAL HWY SUITE 185
 BOCA RATON, FLORIDA

ADAM J. GINSBURG, P.E.
 STRUCTURAL ENGINEER

Design & Analysis of
 Residential and Light
 Commercial Projects
 P.E. 51199
 2901 Clint Moore Road, #237
 BOCA RATON, FL 33496
 Phone: (561) 702-2435



TYPICAL DETAIL N.T.S.

② SWALE
1:36

SITE DATA TABLE	
BUILDING FOOT PRINT	3,063 S.F.
1ST FLOOR AREA	2,261 S.F.
GARAGE AREA	802 S.F.
TOTAL SITE AREA	10,000 S.F.
LOT COVERAGE (MAX 35%)	3,500 S.F.

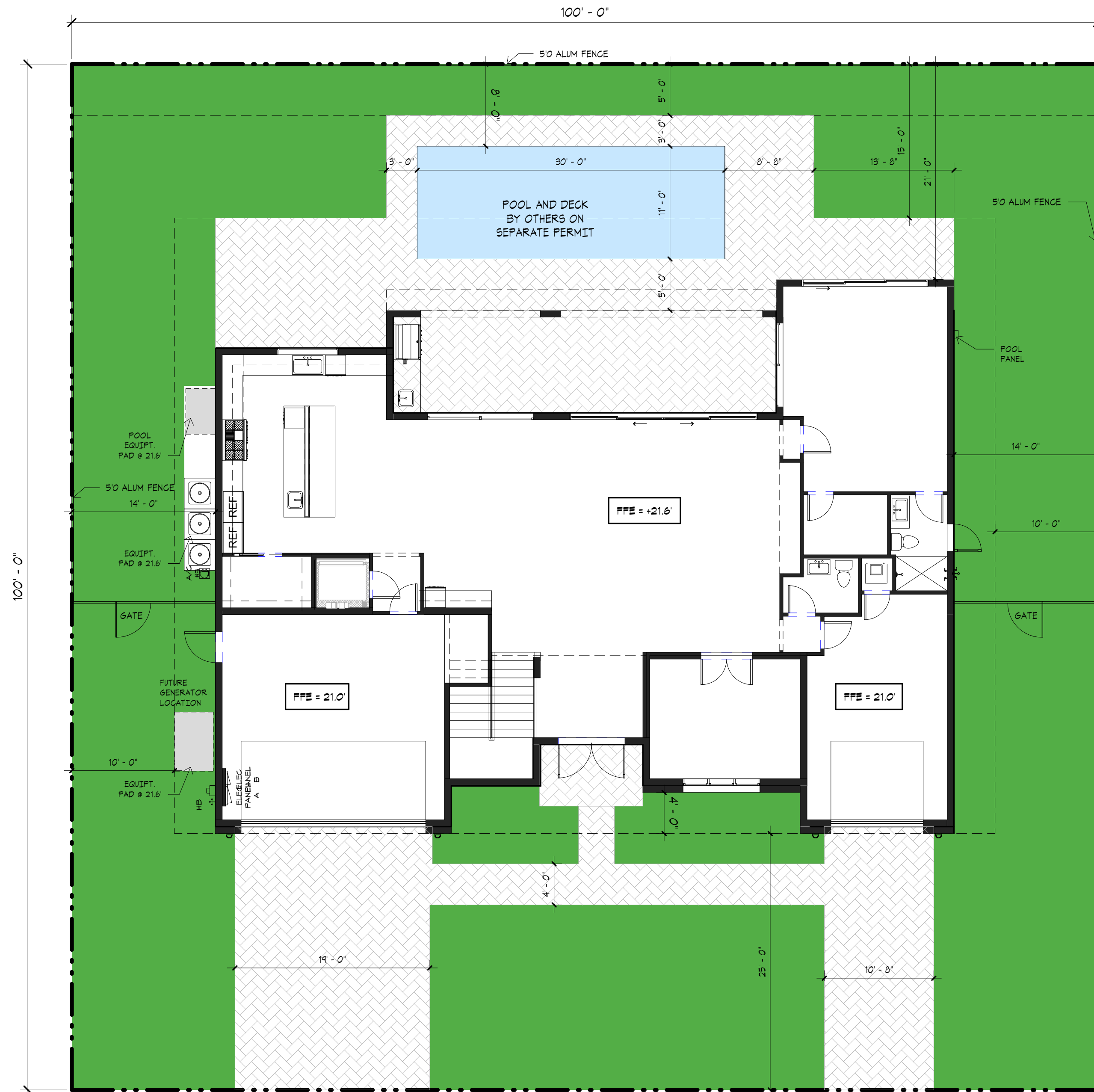
25% LANDSCAPE AREA = 2,500 S.F.
PROVIDE = 4,400 SF

LANDSCAPE AREA

ZONING REQUIREMENT

	REQUIRED	PROVIDED
MINIMUM FRONT SET-BACK	25'-0"	25'-0"
MINIMUM SIDE SET-BACK	10'-0"	14'-0"
MINIMUM REAR SET-BACK	10'-0"	21'-0"
MAXIMUM HEIGHT : 2-STORIES	30'-0"	28'-6"
MAXIMUM TOWER HEIGHT	NONE	35'-0"
MAXIMUM TOWER AREA	225 SF	220 SF
MAXIMUM COVERAGE	35% : 3,500 S.F.	3,063 S.F.
MAXIMUM BUILDING DIM	100 FT	72 FT
MINIMUM LANDSCAPE AREA	25% : 2,500 S.F.	4,400 S.F.
MINIMUM PARKING REQ	2 SPACES	3-SPACES

- NOTE:
- NO ROOF DRAINS
 - APPLICANT/OWNER SHALL BE RESPONSIBLE FOR CORRECTING AND ADVERSE IMPACTS CAUSED BY EXISTING AND PROPOSED CONDITIONS NO CAPTURED ON PLANS PRIOR TO C.O.
 - NO WATER TO DRAIN ON TO ADJOINING PROPERTY.



① SITE PLAN
1/8" = 1'-0"

SITE PLAN

SHEET INFORMATION

PROJECT INFORMATION
401 DIANA LANE
JUNO BEACH, FLORIDA

CLIENT INFORMATION

401 DIANA LANE, LLC
3050 CHATEAU LANE,
PALM BEACH GARDENS, FLORIDA

ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER

2901 Clint Moore Road, #237
BOCA RATON, FL 33486
Design & Analysis of
Residential and Light
Commercial Projects
Phone: (561) 702-2435
P.E. 511199

FILE NAME:

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DATE 11/07/2024

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DRWN. BY:

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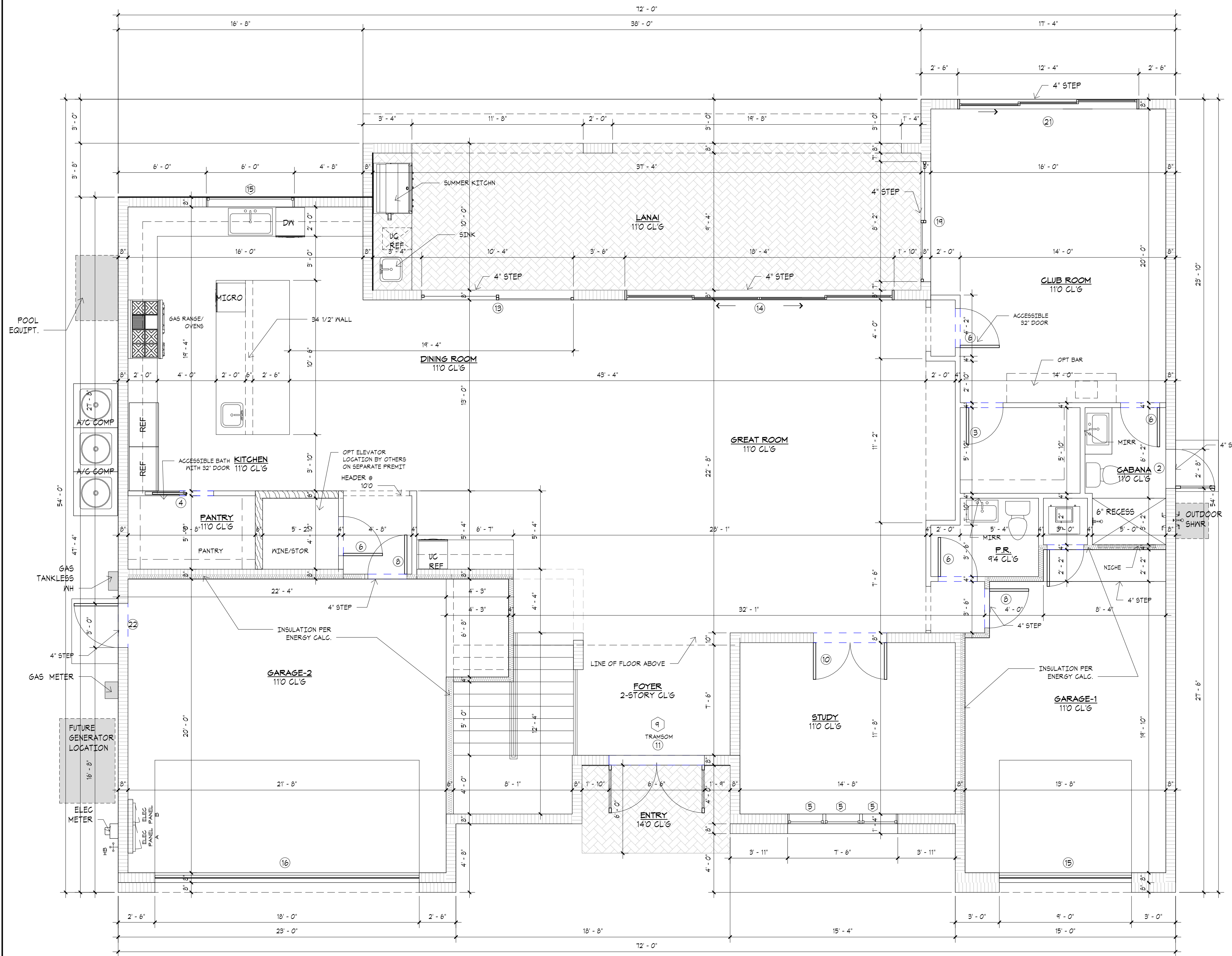
SP-1

DOOR SCHEDULE				
Mark	Description	WIDTH	HEIGHT	Finish Comment
1	2080 INTERIOR DOOR	2' - 0"	8' - 0"	
2	2480 FRENCH 1-LITE	2' - 4"	8' - 0"	
3	2880 INTERIOR DOOR	2' - 8"	8' - 0"	
4	2880 POCKET DOOR	2' - 8"	8' - 0"	
5	2880 FRENCH 1 LITE	2' - 8"	8' - 0"	
6	2880 INTERIOR DOOR	2' - 8"	8' - 0"	
7	3080 POCKET DOOR	0' - 0"	0' - 0"	
8	2880 SC	2' - 8"	8' - 0"	DOOR TO GARAGE AUTO-CLOSURE/20 MIN RATING
9	2-2080 INTERIOR DOOR	4' - 0"	8' - 0"	
10	2-2680 INTERIOR DOOR	5' - 0"	8' - 0"	
11	2-3090 FRONT DOOR IMPACTED	6' - 4"	8' - 0"	
12	12080 XXX SGD	9' - 4"	8' - 0"	
13	10090 XXX SGD	10' - 4"	9' - 0"	
14	18090 OXXO SGD IMPACTED	18' - 4"	9' - 0"	
15	9080 ALUMINUM GARAGE DOOR	9' - 0"	8' - 0"	
16	18080 ALUMINUM GARAGE DOOR	18' - 0"	8' - 0"	
17	8080 XX SGD IMPACTED	8' - 2"	8' - 0"	
18	2880 FRENCH 1 LITE	2' - 8"	8' - 0"	
19	8090 XX SGD IMPACTED	8' - 2"	9' - 0"	
20	2880 INTERIOR DOOR	2' - 8"	8' - 0"	
21	12090 XXX SGD	9' - 4"	9' - 0"	
22	2880 MTL DOOR	3' - 0"	8' - 0"	
Grand total				

WINDOWS SCHEDULE				
Mark	Rough Opening		Description	
	Width	Height		
2	2' - 6"	2' - 6"	30" X 30" FIXED GLASS	
3	2' - 6"	6' - 0"	30" X 72" CASEMENT EGRESS	
4	2' - 6"	6' - 0"	30" X 72" FIXED GLASS	
5	2' - 6"	9' - 0"	30" X 108" FIXED GLASS	
7	3' - 0"	6' - 0"	36" X 72" CASEMENT EGRESS	
8	3' - 0"	6' - 0"	36" X 72" FIXED GLASS	
9	3' - 3"	4' - 2"	38" X 50" FIXED GLASS	
11	3' - 2"	8' - 8"	38" X 104" FIXED GLASS	
13	3' - 2"	6' - 0"	38" X 60" FIXED GLASS	
14	6' - 0"	3' - 0"	72" X 36" FIXED GLASS	
15	6' - 0"	6' - 0"	72" X 72" FIXED GLASS	
16	2' - 0"	4' - 0"	24" X 48" FIXED GLASS	
Grand total: 32				

AREA CALCULATION 1	
DESCRIPTION	AREA
1ST FLOOR A/C AREA	2261 SF
2nd FLOOR A/C AREA	2830 SF
	5091 SF
ENTRY	60 SF
LANAI	376 SF
GARAGE	802 SF
BALCONY	451 SF
	1690 SF
ACCESSIBLE TERRACE	167 SF
TOWER FLOOR AREA	53 SF
	220 SF
TOTAL AREA	7000 SF

- GENERAL NOTES**
- ALL WINDOWS AND SLIDING DOOR GLASS SHALL BE PER ENERGY CALC.
 - OMITTED
 - DRYER MUST VENT TO OUTSIDE.
 - SET HOTWATER HEATER AT FIN. FLR. LEVEL.
 - ALL MECHANICAL FANS MUST BE VENTED TO OUTSIDE.
 - ALL BATH ROOM FLOOR AND BASE SHALL BE IMPERVIOUS MATERIAL WHERE REQUIRED BY LOCAL BUILDING CODE.
 - HVAC CONTRACTOR TO PROVIDE ELECTRICAL BREAKERS IN AIR HANDLER.
 - ALL BATHROOM FIXTURE OUTLETS TO BE 86" AFF OR AS PER BUILDER SPECIFICATIONS.
 - PROVIDE RECEPTICAL FOR WICHO WOOD FAN 68" A.F.F. CENTER RANGE SPACE.
 - SMOKE DETECTORS SHALL BE HARD WIRE 110V W/ BATTERY BACK UP. MULTIPLE DETECTORS SHALL BE INTERCONNECTED.
 - EGRESS WINDOWS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT, AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" OFF THE FLOOR.
- NOTE: CONTRACTORS MUST VERIFY OPENINGS WITH DOORS AND WINDOWS MANUFACTURERS.



1 1ST FLR PLAN
1/4" = 1'-0"

1ST FLOOR PLAN

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ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER

2901 Clint Moore Road, #237
BOCA RATON, FL 33486
Phone: (561) 702-2435

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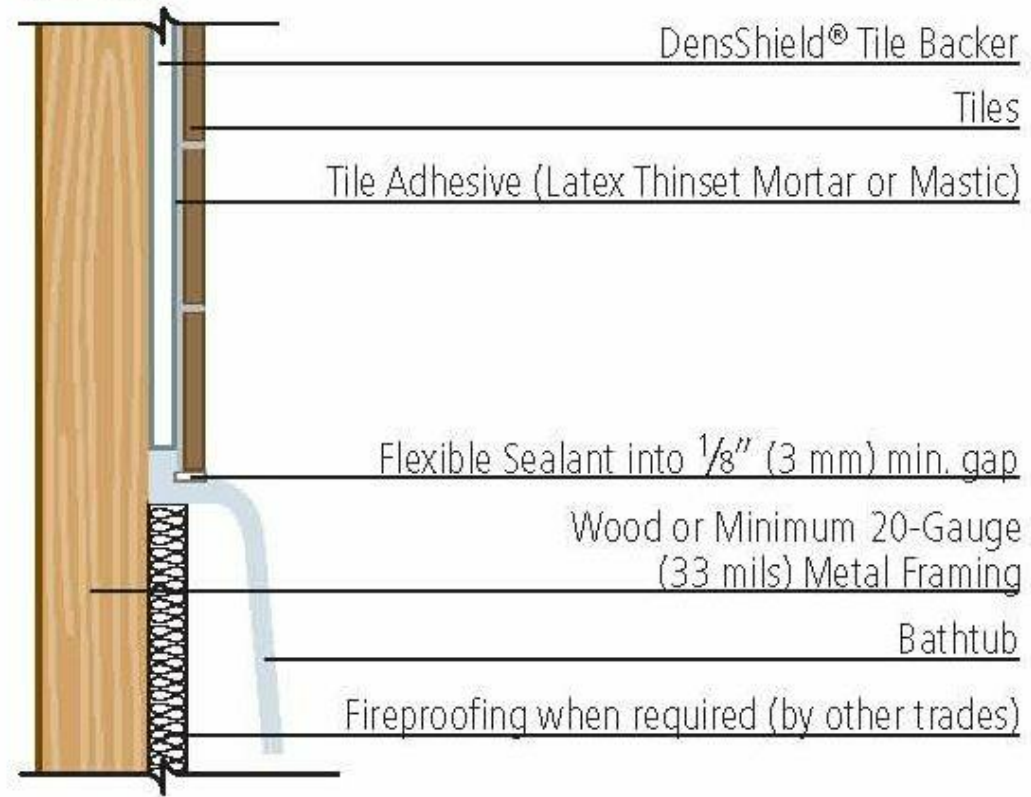
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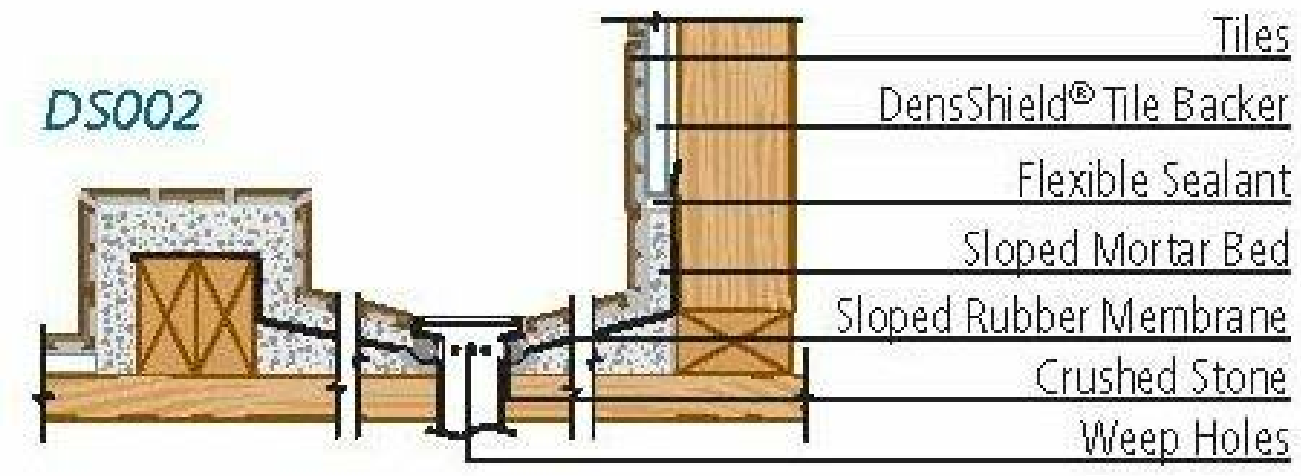
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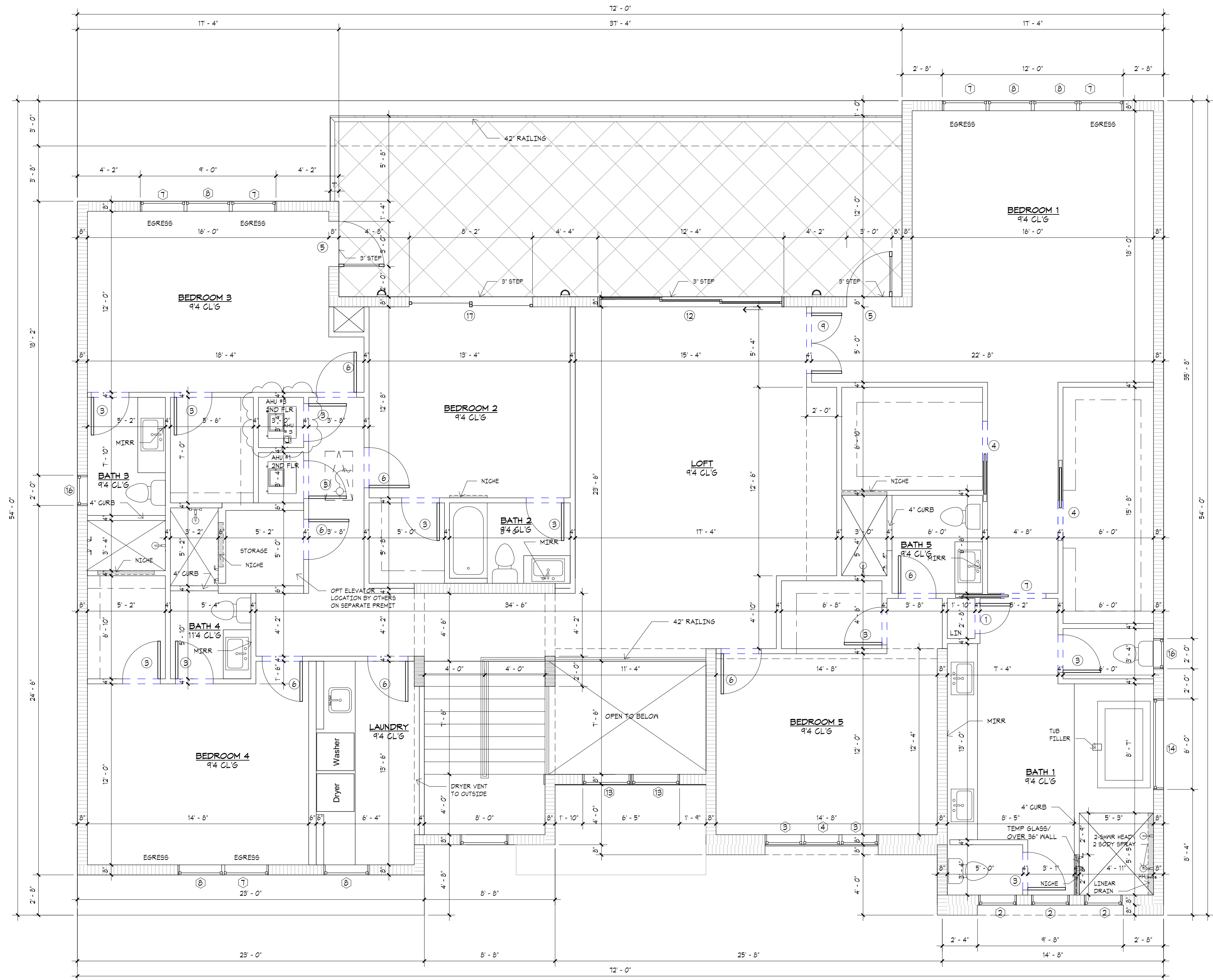
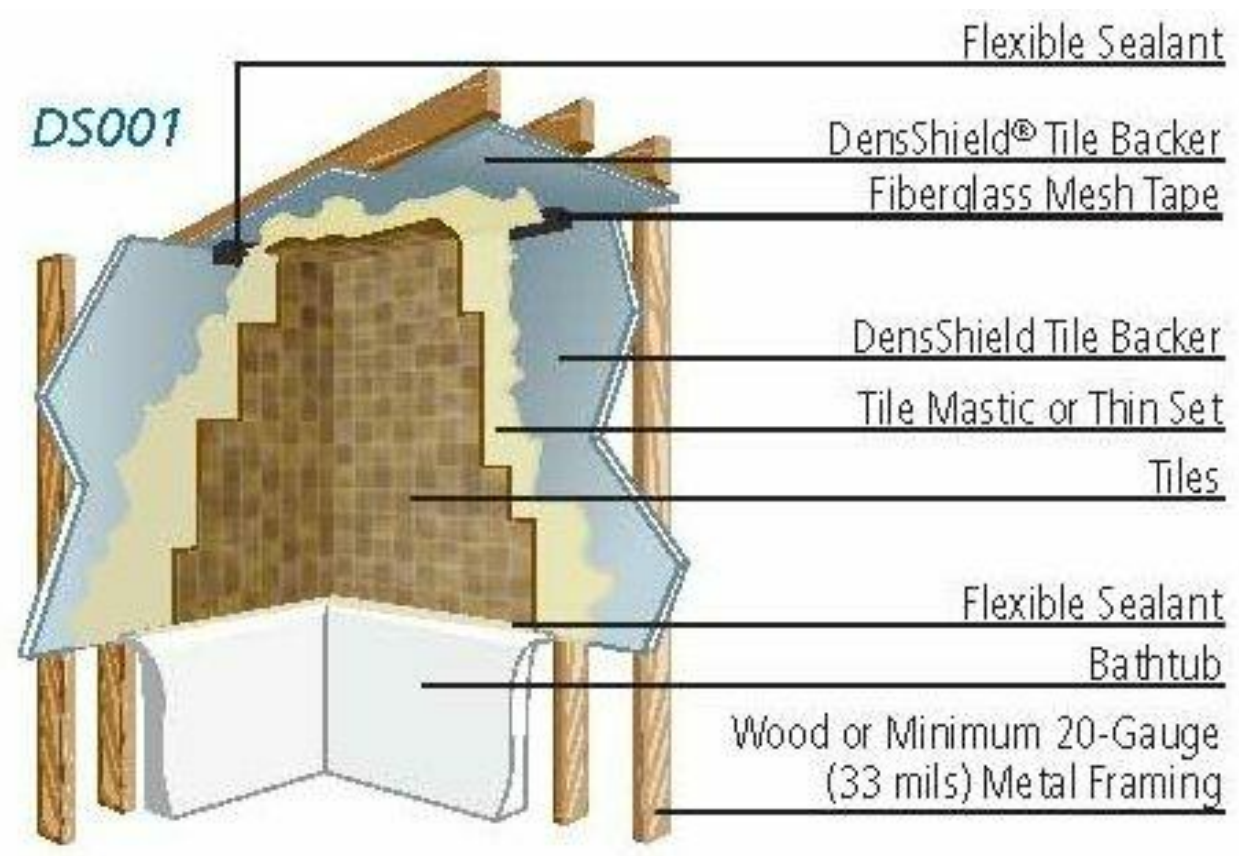
DS003



DS002



DS001



1 2ND FLR PLAN
1/4" = 1'-0"

2ND FLOOR PLAN

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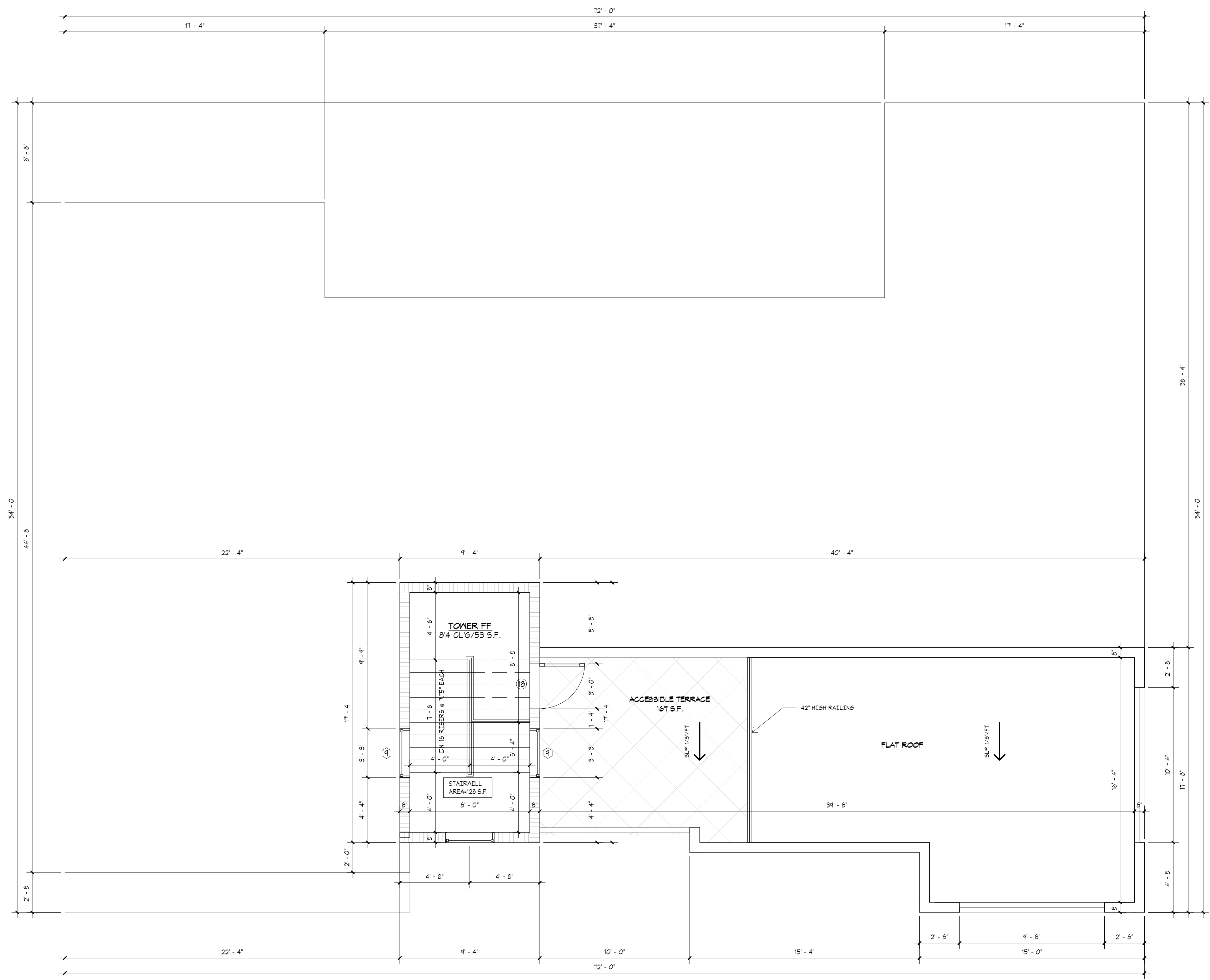
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A-2

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1 TOWER FLOOR PLAN
1/4" = 1'-0"

TOWER PLAN

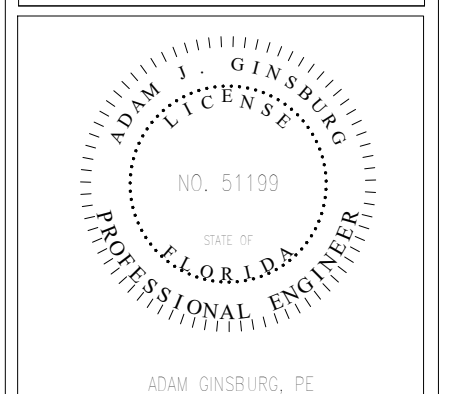
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A-2.1



ROOF TILE :
BORAL SAXONY 9000 CHARCOAL



EXTERIOR LIGHT
SCONE
AVENUE
OUTDOOR
COLLECTION
AV3298-BLK



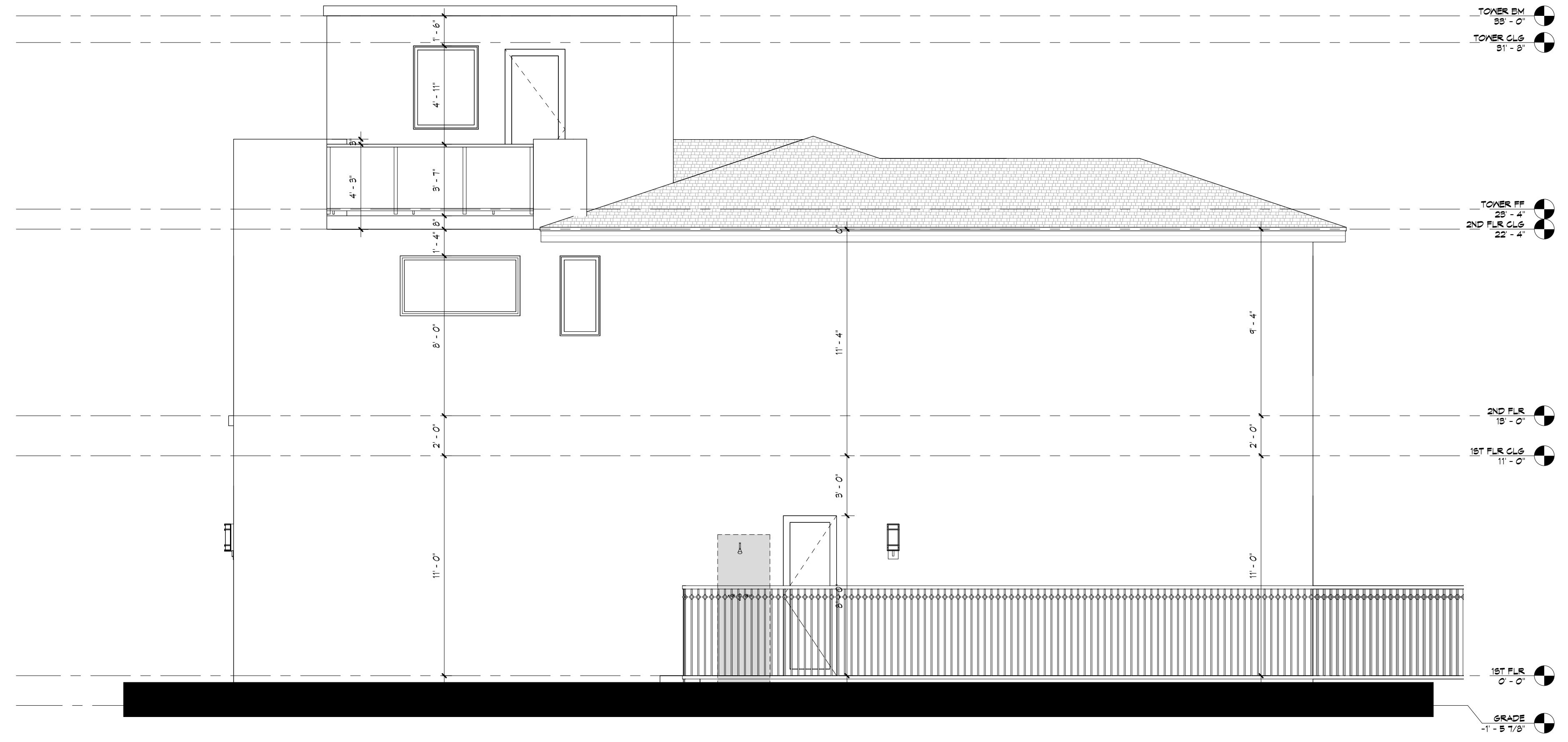
POOL DECK
WHITE AURORA LEATHERED



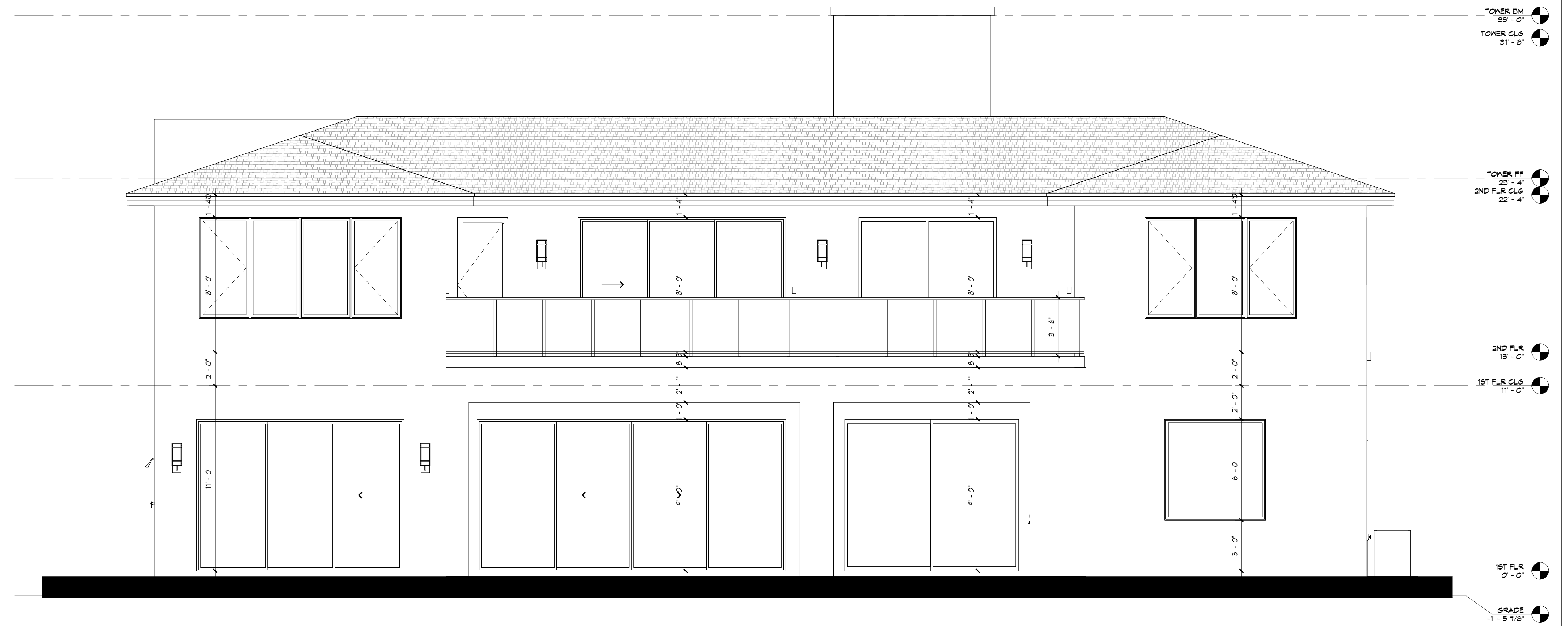
SIMULATED KEYSTONE



DRIVEWAY PAVERS



② RIGHT ELEVATION
1/4" = 1'-0"



① REAR ELEVATION
1/4" = 1'-0"

ELEVATIONS

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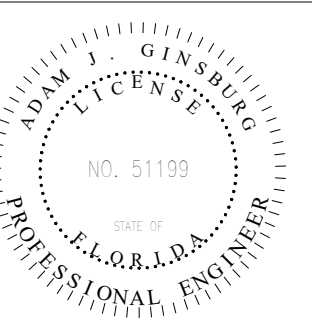
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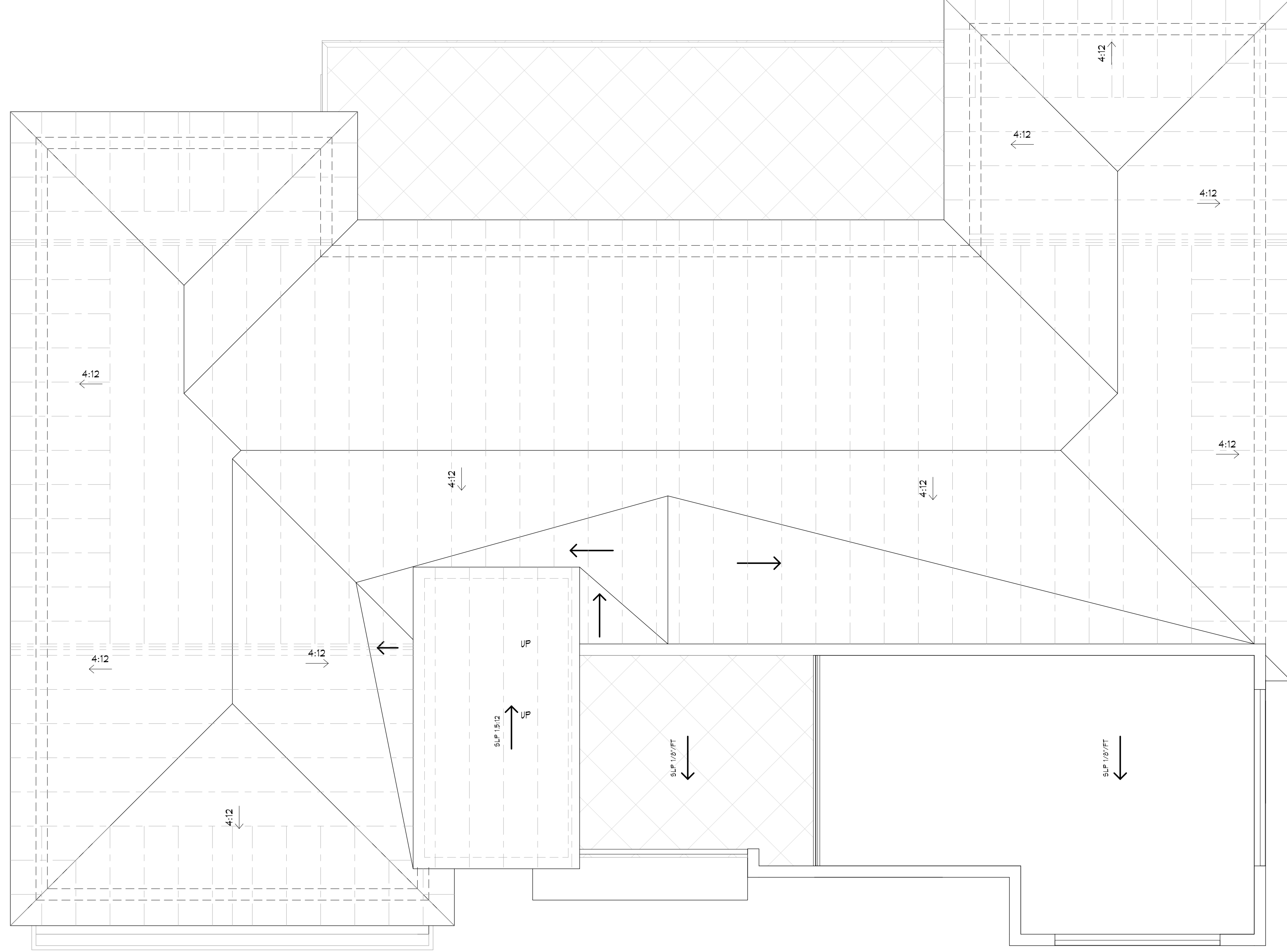
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A-4

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1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN

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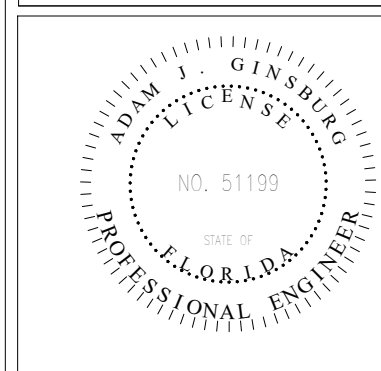
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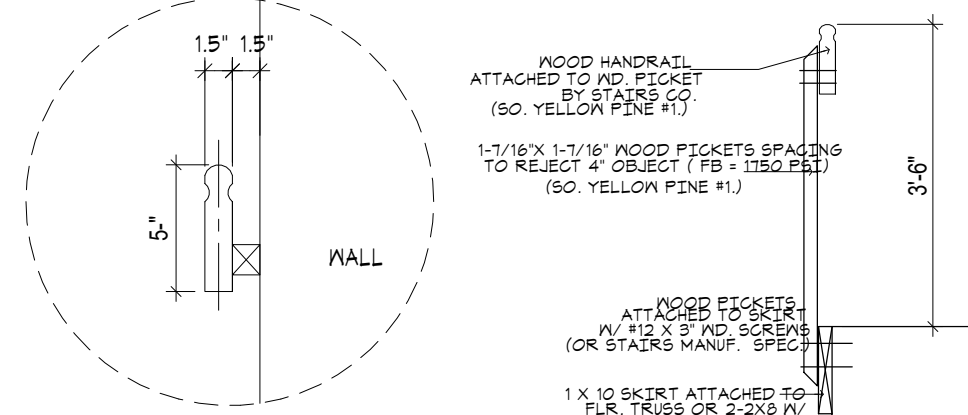
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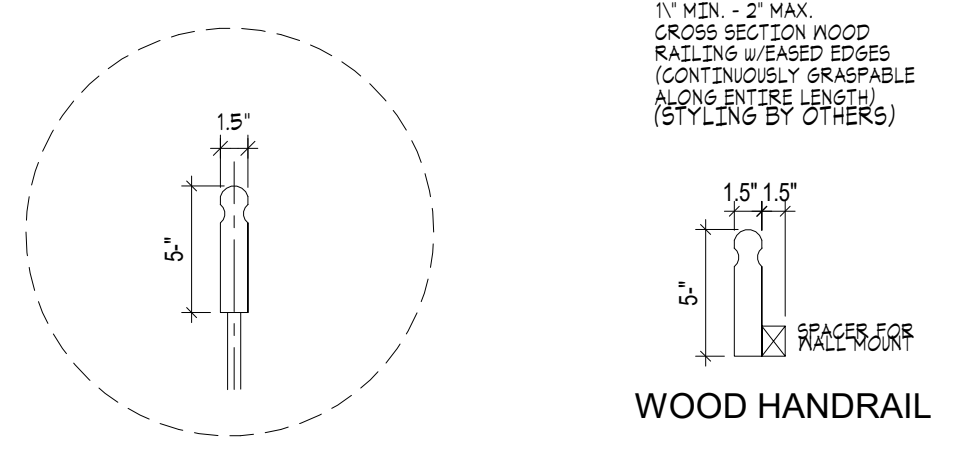
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A-5

SHEET INFORMATION



A GRASPABLE HANDRAIL DETAIL



B GRASPABLE HANDRAIL DETAIL

RAILING NOTES:

1. ALL OPEN GUARDRAILS SHALL HAVE VERT. PICKETS OR ORNAMENTAL FILLER BELOW TOP RAIL WHICH WILL REJECT PASSAGE OF 4" Ø 1/2" SPHERE.
2. BOTTOM RAIL CLEARANCE BETWEEN ADJACENT SURFACE NOT TO EXCEED 2" @ STAIR NOSING.
3. ALL HANDRAILING TO TERMINATE ON A POST OR RETURN INTO THE WALL. SEE PLAN FOR DESIGN / LAYOUT.

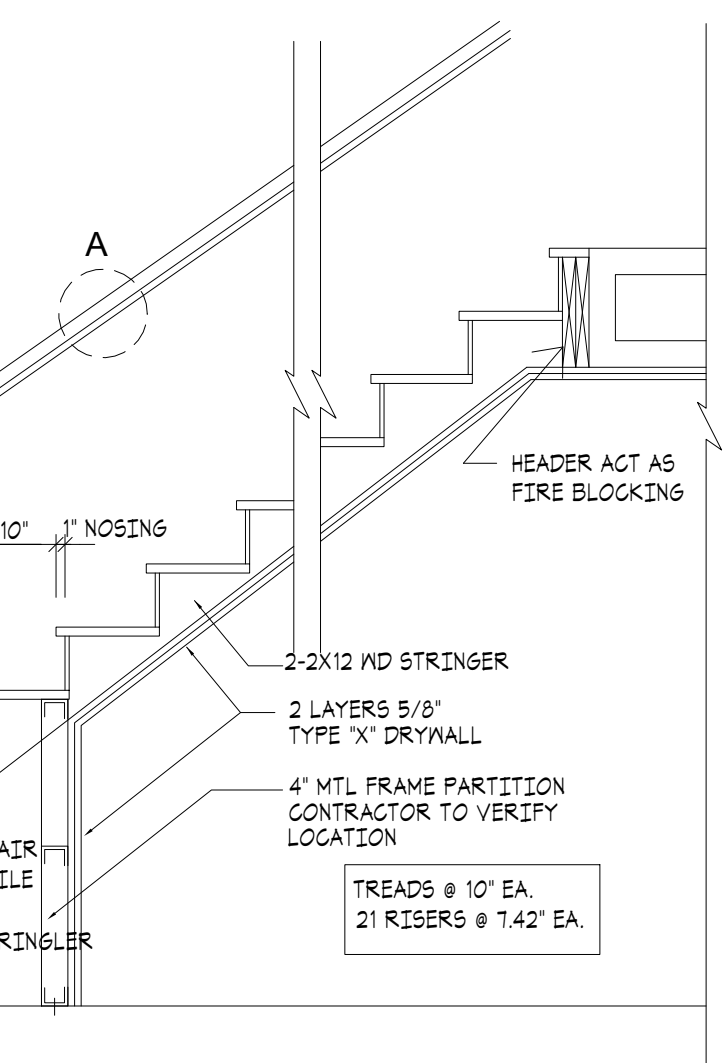
RAILING NOTES:

1. ALL RAILINGS TO MEET 2001 IMPACT LOAD W/ 50# / L.F. TOP RAIL AND 25# / L.F. AT PICKETS OR ORNAMENTAL FILLER.
2. SHOP DRAWINGS TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND TO APPROPRIATE BLDG. DEPT. FOR APPROVAL.

GUARDRAILS @ LANDINGS/BALCONIES:

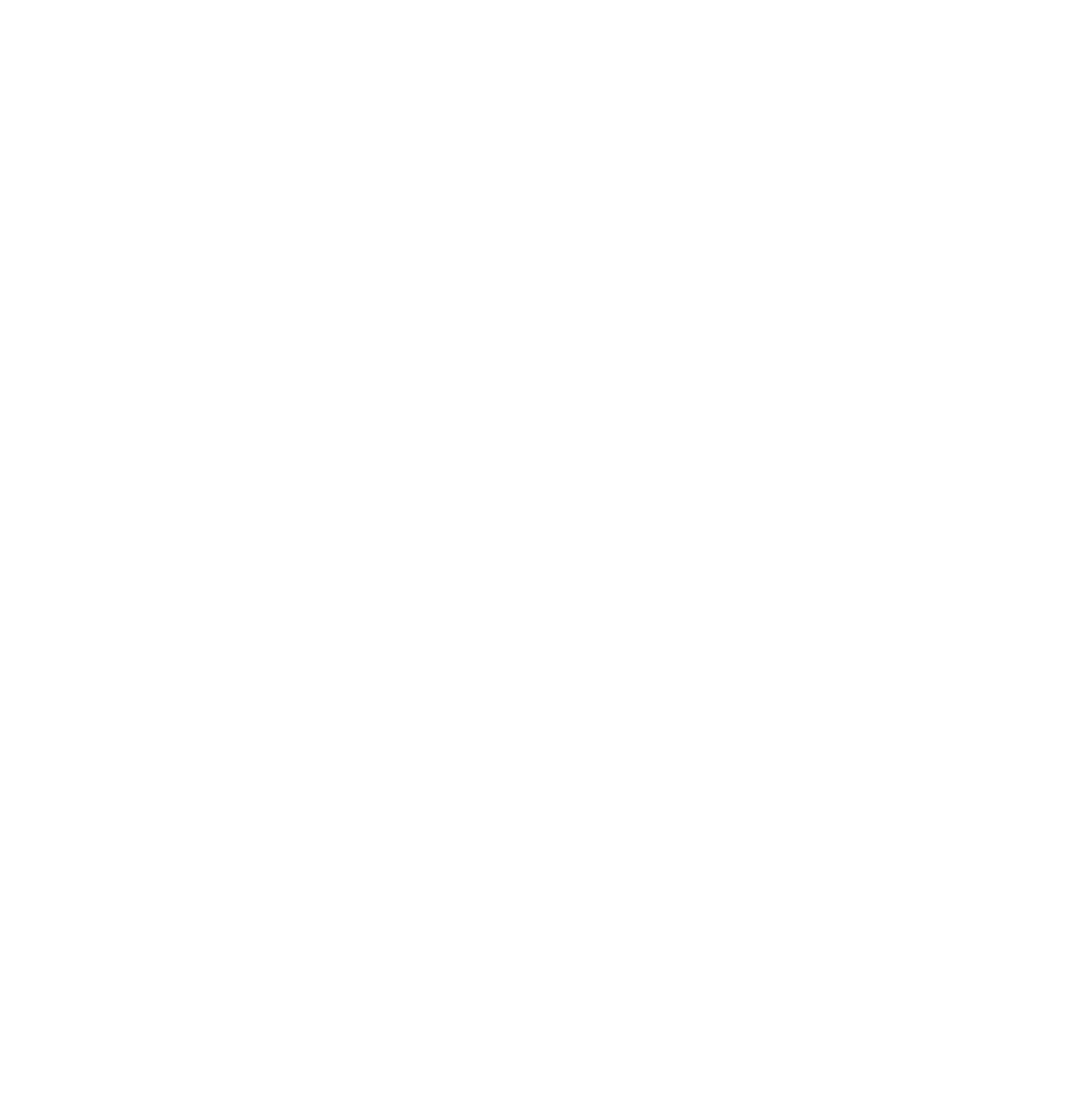
BALCONIES OR PORCHES WHICH ARE MORE THAN 30" ABOVE FINISHED GROUND LEVEL OR FLOOR LEVEL BELOW SHALL BE PROTECTED BY A GUARDRAIL. GUARDRAILS SHALL FORM A VERTICAL PROTECTION BARRIER NOT LESS THAN 42 INCHES HIGH.

TYP. RAILING DETAIL @ LANDINGS/BALCONIES



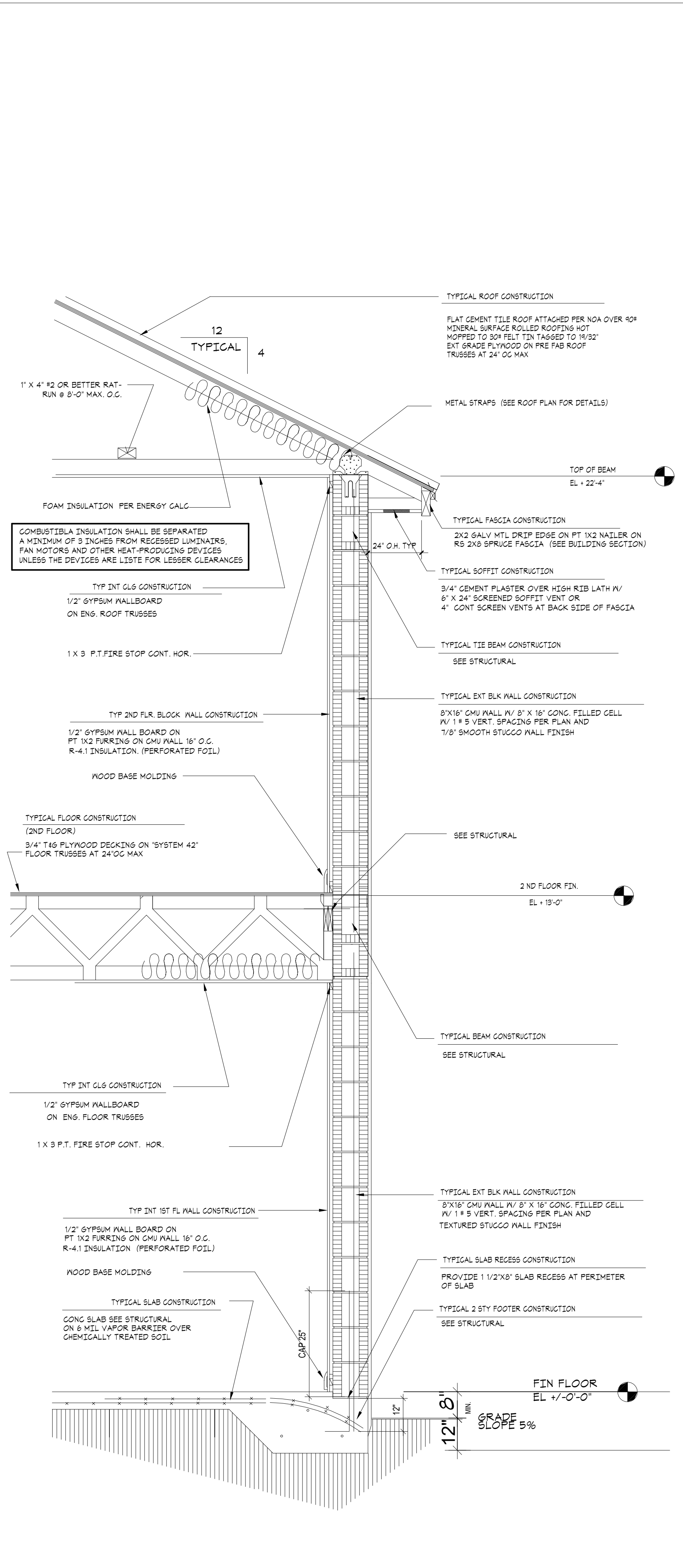
STAIRS DETAILS

F D1



1-STORY WALL SECTION

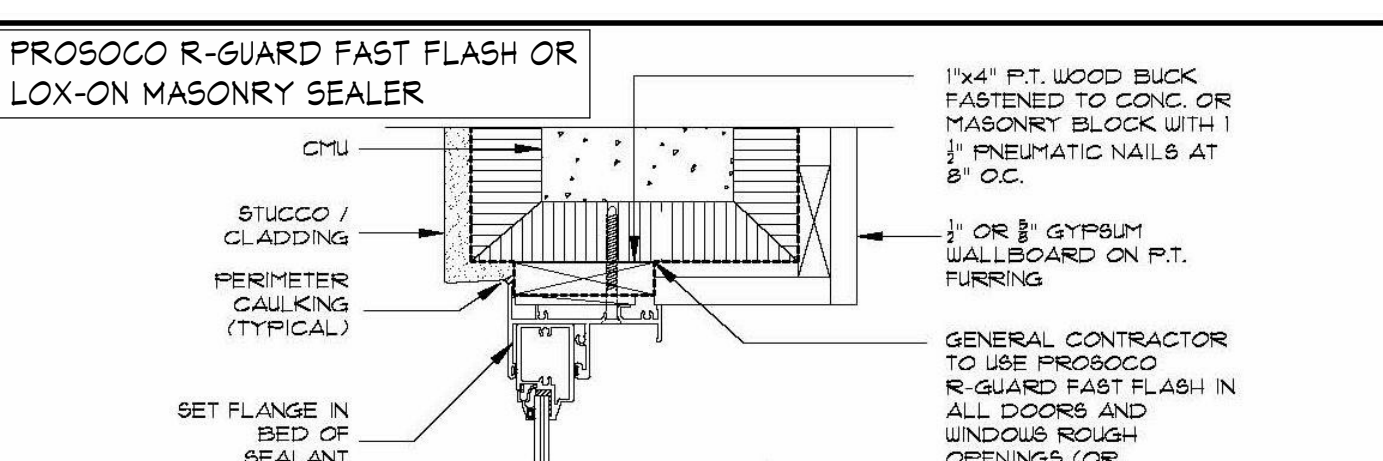
G D1



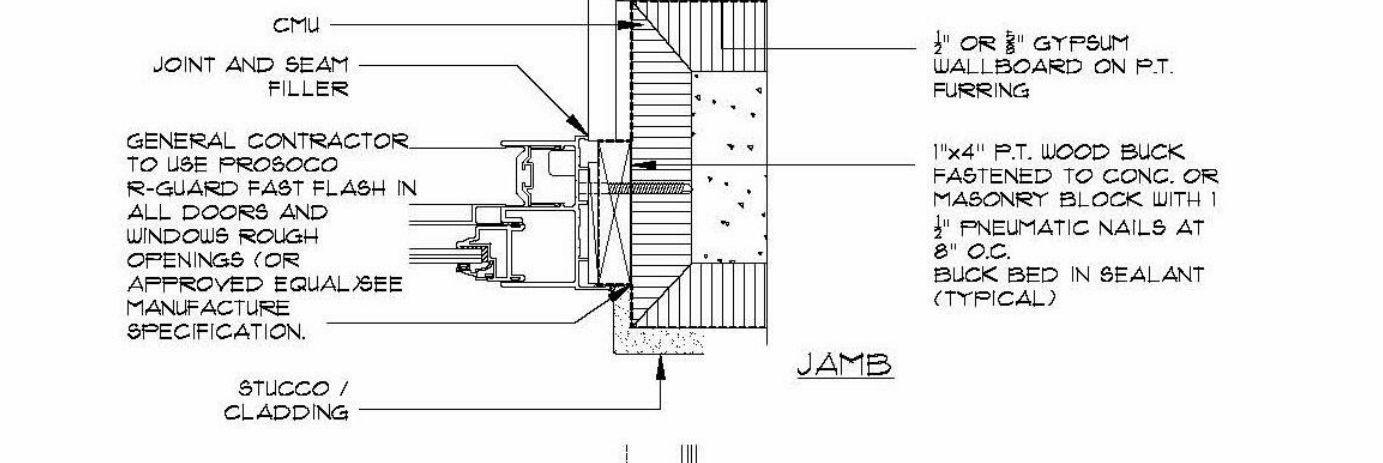
2-STORY WALL SECTION

A D1

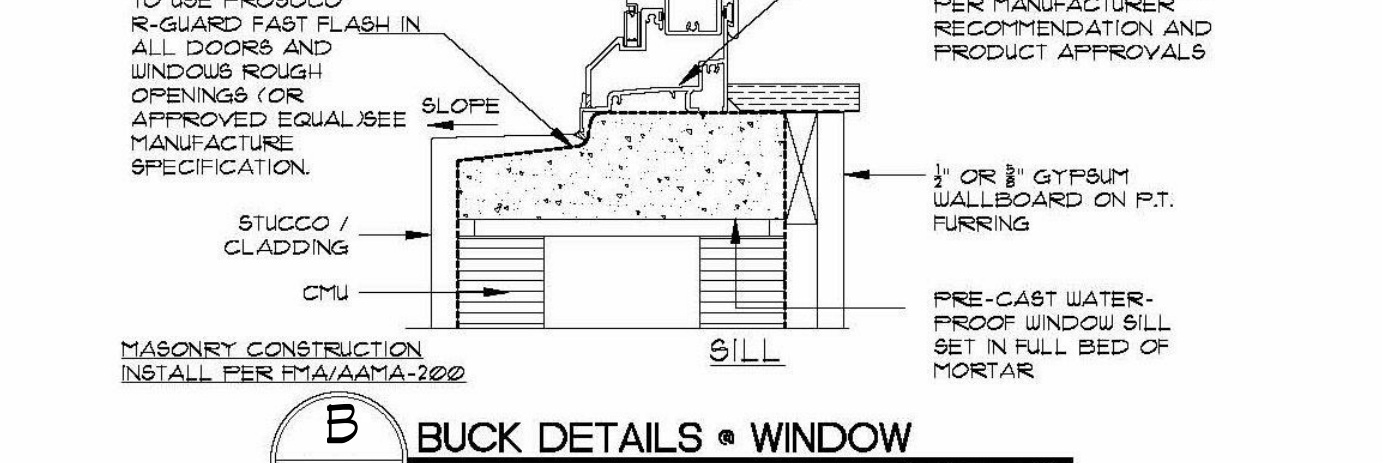
MASONRY CONSTRUCTION SEAL ALL OPENINGS WITH FLUID-APPLIED TO MEET AAMA T14 SPECIFICATION : INSTALL PER FMA/AAMA-200



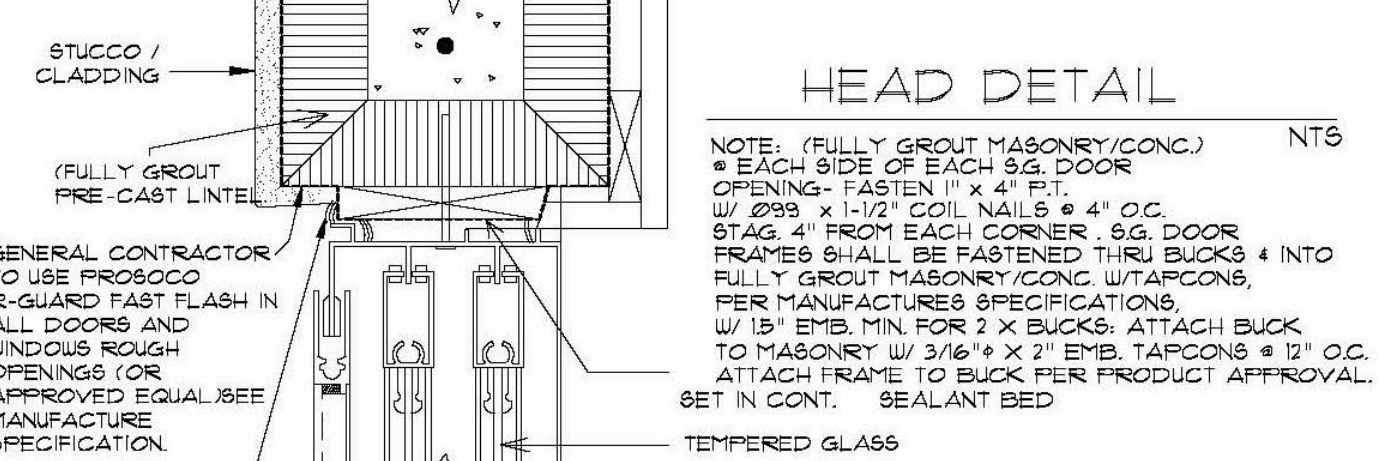
B BUCK DETAILS - WINDOW



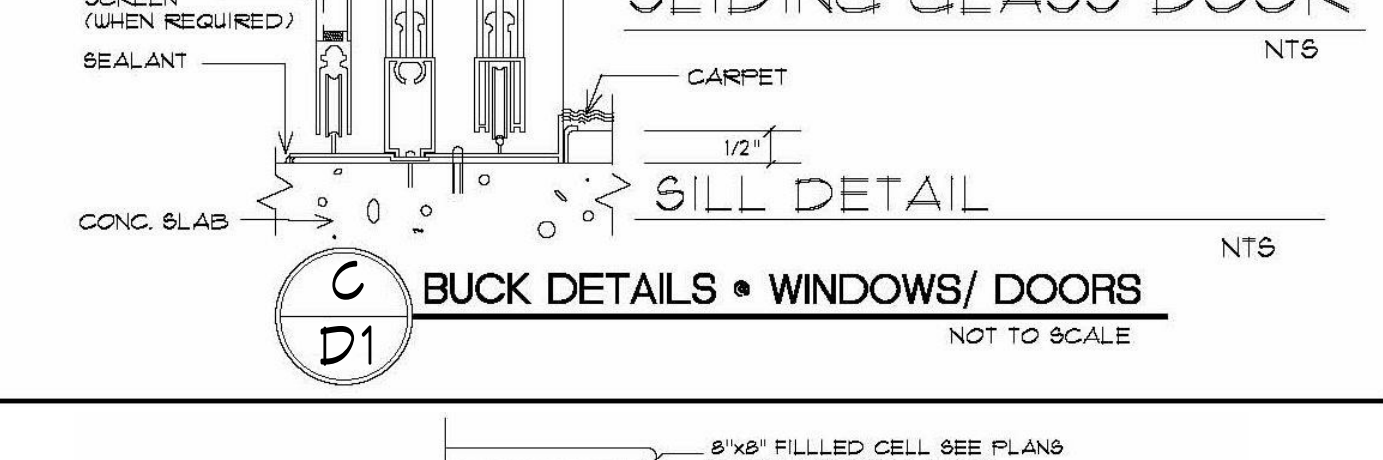
D1 BUCK DETAILS - WINDOW



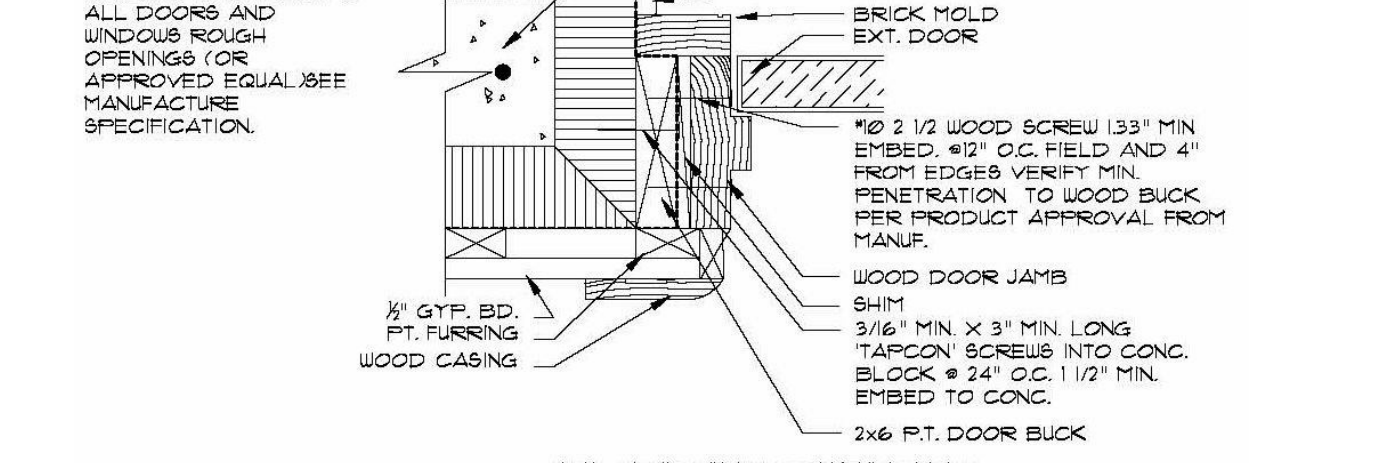
B BUCK DETAILS - WINDOW



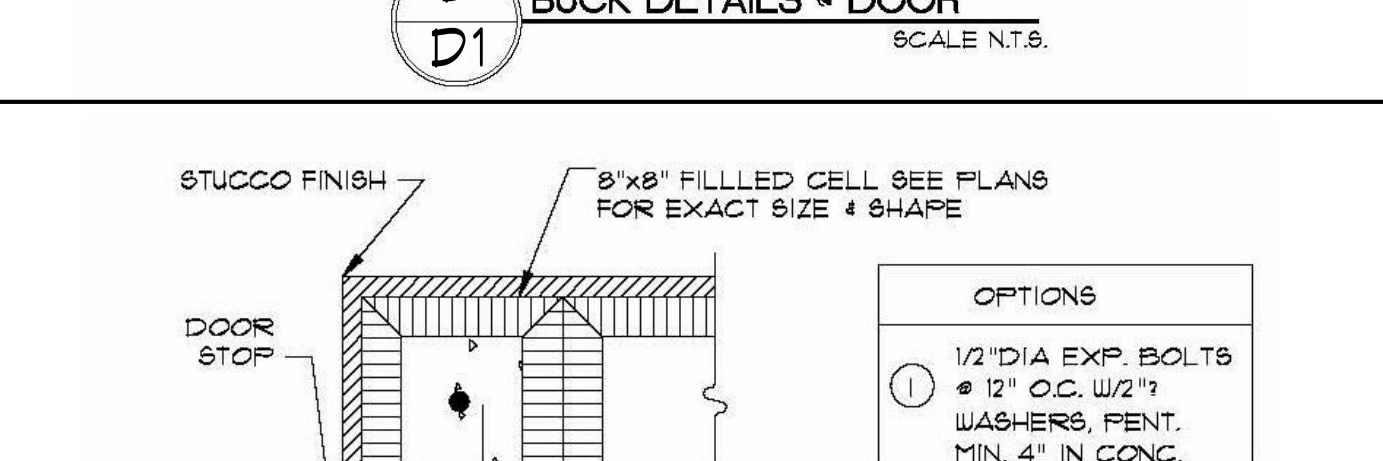
D1 BUCK DETAILS - WINDOW



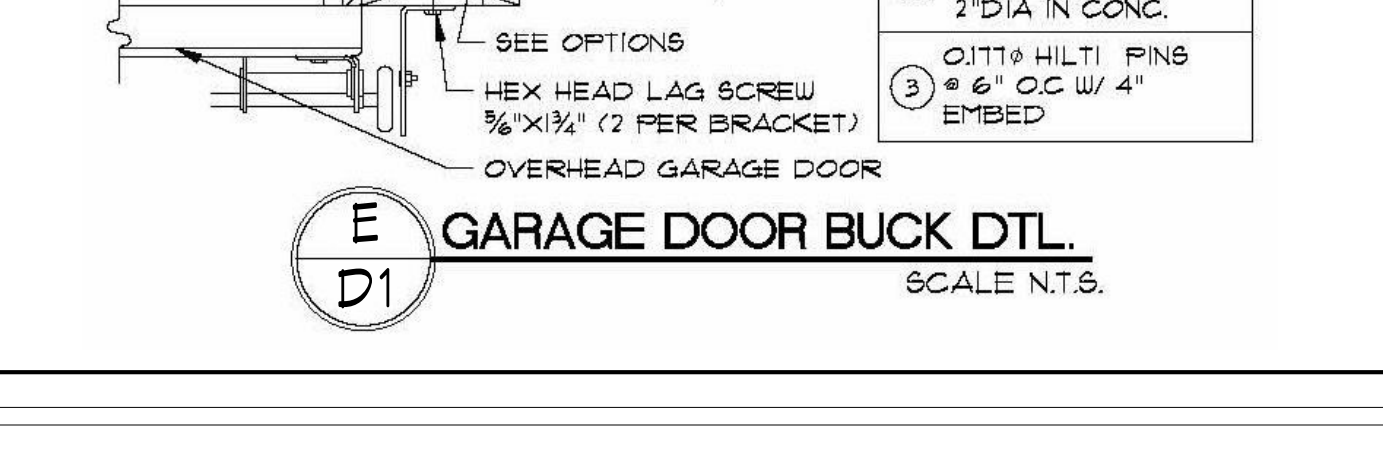
C BUCK DETAILS - WINDOWS/ DOORS



D BUCK DETAILS - DOOR



D1 BUCK DETAILS - DOOR



E GARAGE DOOR BUCK DTL.

TYPICAL DETAILS

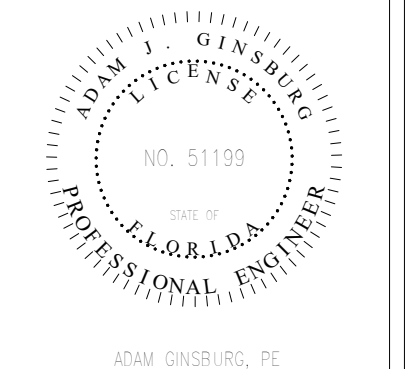
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ADAM J. GINSBURG, P.E.
STRUCTURAL ENGINEER
2901 Clint Moore Road, #237
BOCA RATON, FL 33486
Phone: (561) 702-2435

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D-1



RENDERINGS

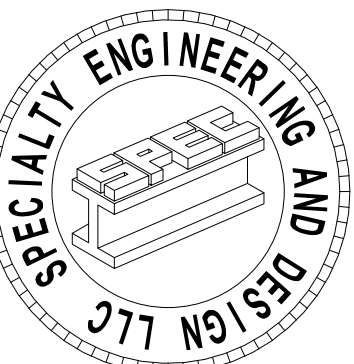
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CLIENT INFORMATION

401 DIANA LANE, LLC
3050 CHATEAU LANE,
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SPECIALTY ENGINEERING
CONSULTANTS, Inc

1599 SW 30th AVE.
SUITE #20
BOYNTON BEACH, FL 33426

DADE - BROWARD - PALM BEACH
FL. CA. #009217

561 - 752 - 5440 OFFICE
561 - 752 - 5542 FAX

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RVD. BY

DRWN. BY

REVISION

SEAL
D. ADAM LeBLANC, PE FL #77012

SHEET #

REN