

Town of Juno Beach  
340 Ocean Drive; Juno Beach, FL 33408  
Phone: (561) 626-1122; Fax: (561) 775-0812

For Official Use Only  
Date Stamp

TOWN OF JUNO BEACH  
RECEIVED

Appearance Review Application

2025 JUN -9 P 2:35

The following information and items shall be provided to the Planning and Zoning Department for processing and dissemination in association with scheduling of submittals before the Town's Planning and Zoning Board. The Board meets on the First Monday of each month, unless otherwise changed. The submittal of a completed packet, to include the application, plans, photos, etc. shall be submitted on the Monday, forty-five (45) days prior to the meeting. All of staff's comments shall be addressed twenty-one (21) days prior to the meeting. An application is deemed complete once staff has determined that all comments have been addressed via notification to the applicant by email or mail. A pre-application meeting with staff is required prior to the submittal of the application.

Date: 6/9/25

Project Address: 451 Ocean Dr, Juno Beach, FL 33428

Property Control Number: 28-43-41-28-13-00-0200 Zoning District: \_\_\_\_\_

Description of Request: (please provide a brief, comprehensive and summarized description of the proposed project below). New home build per plan's provided by

Michael Yaffe

Design Professional Name: Michael Yaffe License #: AR103314

Phone Number: \_\_\_\_\_ E-mail: \_\_\_\_\_

Construction Company Name: First Premier Builders

Phone Number: 561-746-3361 E-mail: ITChivers@aol.com

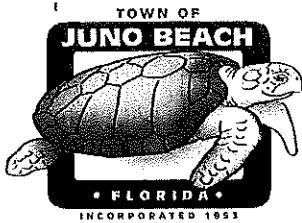
Property Owner's Name: Patricia Kelley

Owner's Address (if different from project address): 430 N Lyra Circle, North Palm Beach FL

Phone Number: 260-433-1919 E-mail: pk53@aol.com

Applicant/Owner signature: \_\_\_\_\_ Date: \_\_\_\_\_

Please note: The Appearance Review solely addresses the Appearance Criteria of the proposed project, it does not encompass a zoning, engineering, or building review. Further reviews by Town staff will commence once a building permit has been submitted.



**Town of Juno Beach**  
**340 Ocean Drive; Juno Beach, FL 33408**  
**Phone: (561) 626-1122; Fax: (561) 775-0812**

For Official Use Only  
Date Stamp

**Application Check List:**

The following items are requested of the applicant as Planning & Zoning Staff will review the following:

- ☐ Pre-application meeting.
- ☐ Existing/previously approved site plan with file number (if applicable).
- ☒ Signed and sealed survey.
- ☒ Architectural Plans (shall include site plan, elevation drawings). ✓
- ☐ Copy of plans previously reviewed and approved by staff or the Planning and Zoning Board, if applicable, with reference to the previous project.
- ☒ Color photos of existing property.
- ☒ Renderings, elevations or color photographs for all structures/homes within a 300 ft. radius. ✓
- ☒ Proposed site plan with dimensions and clouding of the changes occurring.
- ☒ Building Site Area Regulations for Applicable Zoning District (including: required, Proposed calculations for Lot Coverage, Setbacks, Height, and Landscape Open Space, Gross Square Footage, Cubic Feet, etc.).
- ☒ Provide existing and proposed elevations with dimensions.
- ☒ Provide a roof plan, if only proposing a partial reroof cloud which areas will be worked on Call out the material, color, and type (barrel, shingle, concrete, S-tile).
- ☒ Indicate location of all mechanical equipment (A/C Units, Pool Equipment, Cooling Towers, and Generators).
- ☒ Indicate fences, walls, and gates proposed in site plan with dimensions and clouding the changes occurring, indicate material, color, finishes, and style. See Section 34-905. - Walls and Fences.
- ☐ Once all staff comments have been addressed ten (10) Copies of 24" x 36" plans shall be submitted at least fourteen (14) days prior to the Planning & Zoning Board Meeting.

# FIRST PREMIER BUILDERS

CGC#1518267

TOWN OF JUNO BEACH  
RECEIVED

## Justification Statement for 451 Ocean Drive

### Re: Proposed New Residence – 451 OCEAN DRIVE

We respectfully submit this justification statement in support of our proposed new residence for review and approval by the Town's Appearance Review Board. The design thoughtfully considers both the surrounding context and the community's architectural character while remaining within the parameters of applicable zoning codes.

#### 1. Floor Area Ratio (FAR) Contextual Appropriateness

Our proposed FAR of 0.43 (totaling 5,736 square feet under air) is modest and contextually appropriate within the surrounding neighborhood. The immediate neighbor to the west was approved with an FAR exceeding 0.50, representing a significantly larger home. Additionally, the neighbor to the rear has a home with an FAR just under 0.40—very similar in scale and overall massing to what we are proposing. These nearby examples demonstrate a clear precedent and community acceptance of homes with comparable or greater size, further supporting the compatibility of our design.

#### 2. Neighbor Compatibility & Harmony

Special attention was given to the relationship with the western neighbor. The design avoids placing second-floor living areas above the garage, thereby eliminating any direct views into their property and preserving privacy. Furthermore, there are no adjacent neighbors to the east, and no sidewalk on that side, reducing potential impact on neighboring properties. The rear-facing second floor has no windows to ensure privacy for the rear neighbor.

#### 3. Architectural Style & Community Fit

The proposed home embraces a **Coastal Mid-Century** design—a style that is increasingly popular and well-received within the community. The front elevation is carefully articulated with purposeful massing breaks, including indentations that soften the facade and reduce perceived bulk. High-quality materials such as scored stucco, architectural banding, and stone accents are integrated to enhance visual interest and contribute to a refined street presence. These details all contribute to a “**Harmony-friendly**” architectural expression.

#### 4. Landscape Design Integration

We have engaged a licensed landscape architect to develop a comprehensive plan and rendering that reflects the Town's preferences, including:

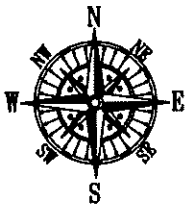
- Use of *Podocarpus* along property edges to enhance privacy
- Attractive, well-composed plantings along Ocean Drive to enrich curb appeal
- A mix of native and shade trees, with a goal of achieving at least 50% native species
- Thoughtful plant placement to prioritize quality, scale, and visual interest over sheer quantity
- The strategic use of clustered palms and accent vegetation to create depth and a well-balanced streetscape

#### 5. Height Compliance & Site Planning

The proposed structure will not exceed the 30-foot height limit measured from approved grade to the peak of the roof. The site plan reflects full compliance with all required setbacks, with additional buffer space in several areas to minimize massing impacts on neighboring lots.

This statement is intended to convey our thoughtful, community-conscious approach and demonstrate how the project will positively contribute to the surrounding neighborhood fabric. We welcome the opportunity to present these materials to the Appearance Review Board and appreciate your consideration.

Respectfully,  
*Ty Chivers*



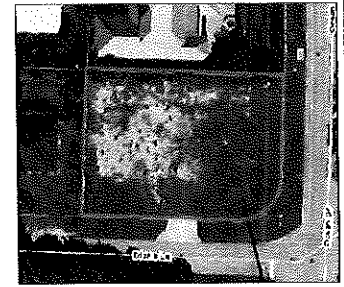
SCALE: 1"=30'

**BEARING REFERENCE:**

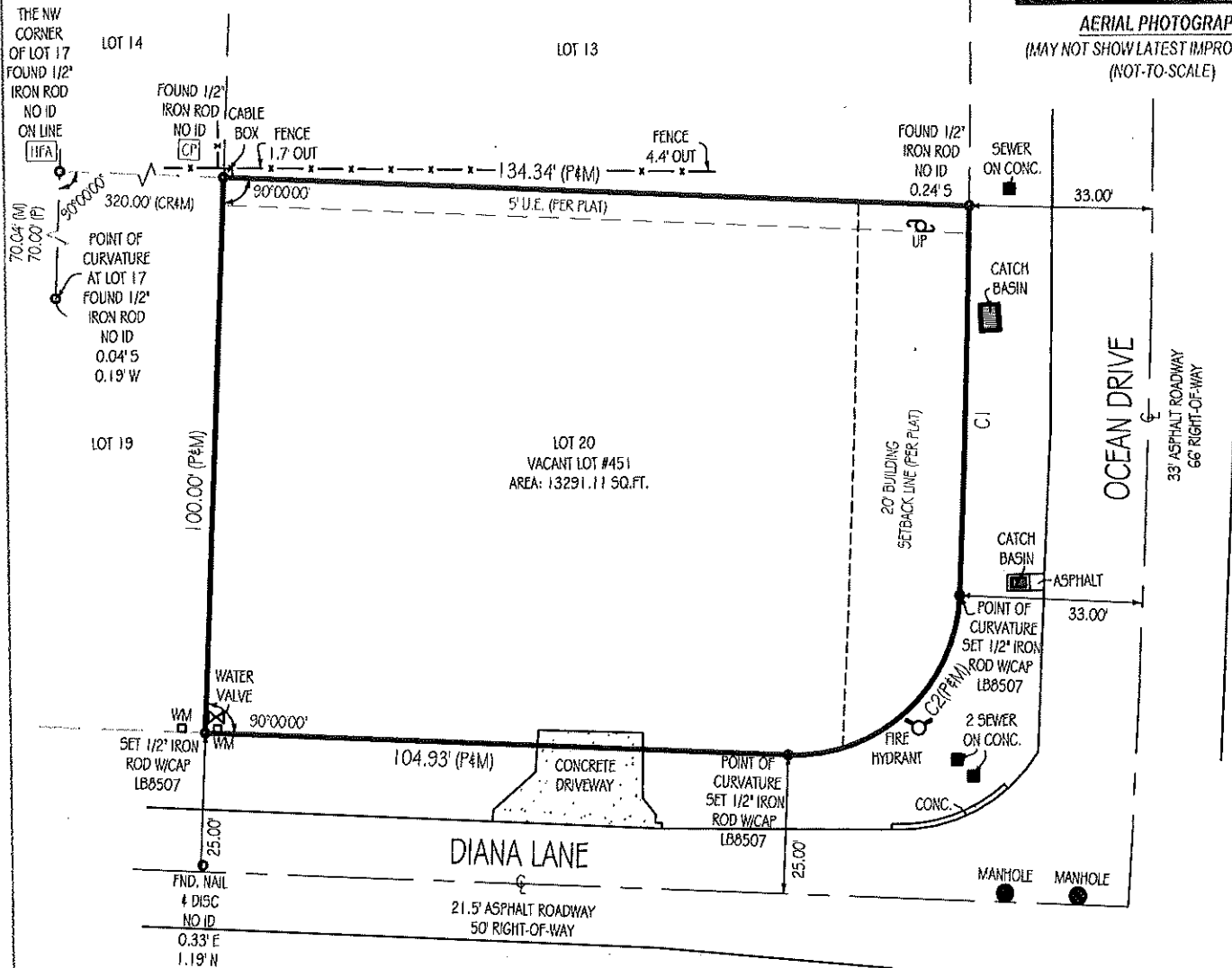
NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.  
ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.

2025 AUG -8 A 11:24

CURVE TABLE				CHORD LENGTH
	LENGTH	RADIUS	DELTA	
C1(P)	70.17'	2831.93'	01°25'11"	70.17'
C1(M)	69.93'	2831.93'	01°24'54"	69.93'
C2	46.96'	30.00'	89°41'14"	42.31'



**AERIAL PHOTOGRAPH**  
(MAY NOT SHOW LATEST IMPROVEMENTS)  
(NOT-TO-SCALE)



\*CP\* = CONTROLLING POINT (POINT OF ROTATION) \*HFA\* = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO  
Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS  
OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE  
- 5' U.E. ALONG NORTHERLY BOUNDARY LINE OF SUBJECT LOT.  
- 20' B.S.L. ALONG EASTERLY BOUNDARY LINE OF SUBJECT LOT.

This survey has been issued by the following  
Landtec Surveying office:  
700 West Hillsboro Boulevard, Suite 2-102  
Deerfield Beach, FL 33441  
Office: (561) 367-3587  
Fax: (561) 465-3145  
www.Landtecsurvey.com

Elevations, if shown:  
Benchmark: \_\_\_\_\_  
Benchmark Elev.: \_\_\_\_\_  
Benchmark Datum: \_\_\_\_\_  
Elevations on Drawing are in:  
N.G.V.D.29 ☐ N.A.V.D.88 ☐

Revisions: \_\_\_\_\_ Job Nr: 234242-SE Date of Field Work: 01/26/2025 Drawn by: D.G.R.

**LANDTEC**

LICENSED BUSINESS No. 8507

Subject









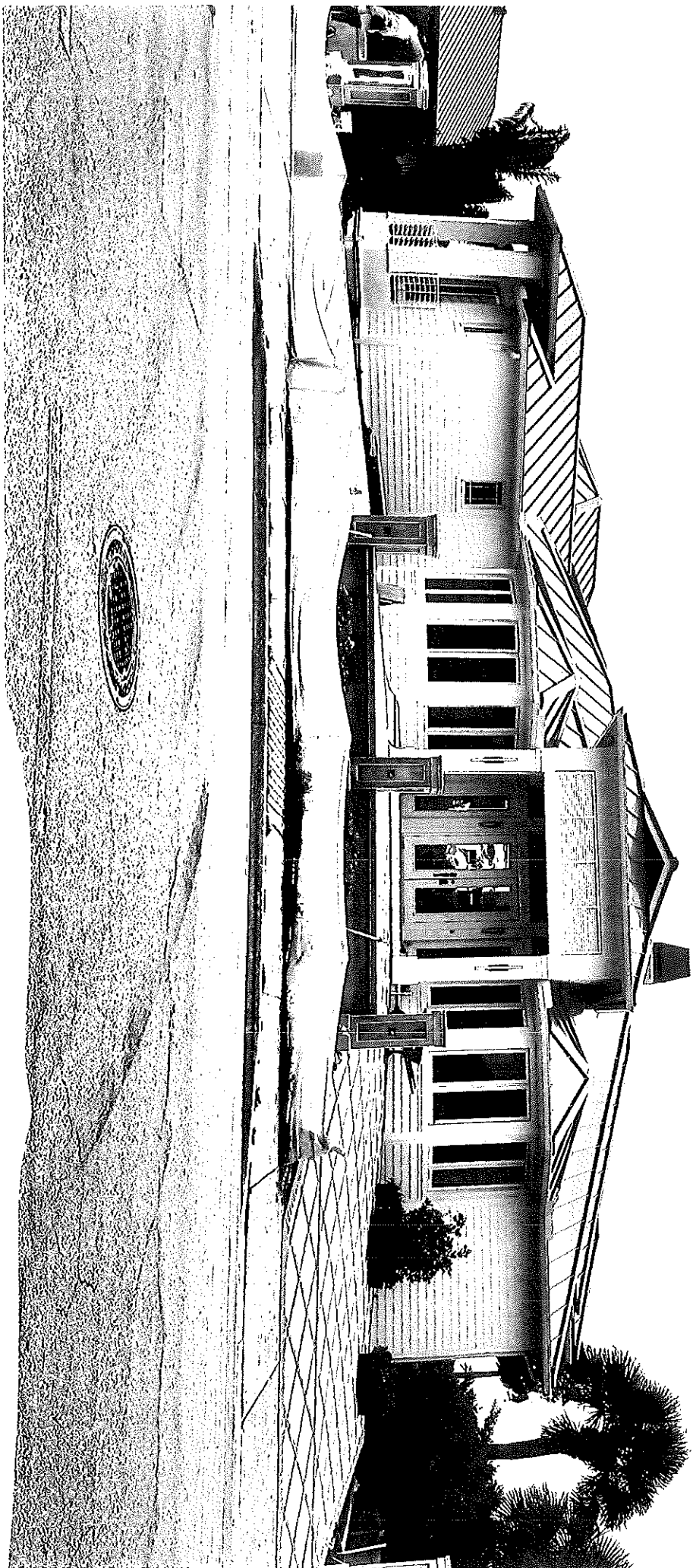


2477 7770 / 11111 1111

# Comparable Homes

Unit 111 29 x 50.65 / 7557 sq ft TOTAL

140 Ocean Dr



Under Air Sqft 6148/total 9138

371 Ocean Dr





under car 54ft 5460/54ft 10,339 total

960 Above 2310



# Survey



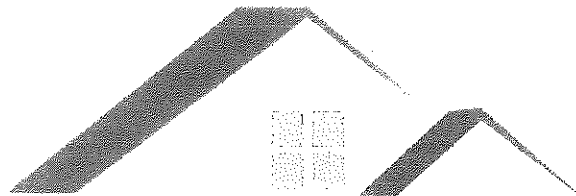
This Survey has been prepared for:  
**THOMAS W. KELLEY AND PATRICIA  
A. KELLEY**



**PROPERTY ADDRESS:**

451 OCEAN DRIVE  
JUNO BEACH, FL 33408

On your behalf, and as a requirement for your own action, this document has been coordinated with us by the firm shown below. Landtec Surveying, Inc. is a private firm and remains entirely responsible for this document's content.



**LAW OFFICE OF RICK KOZELL**

**TYPE OF SURVEY:**
☒ BOUNDARY  
☒ ALTANSPS

☐ CONSTRUCTION  
☐ TOPOGRAPHIC

☐ CONDOMINIUM  
☐ SPECIAL PURPOSE
**PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):**

Purchase/Refinance

**LEGAL DESCRIPTION:**

LOT 20, SEA VIEW RIDGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25, PAGE 126, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**PROPERTY ADDRESS:**

451 OCEAN DRIVE  
 JUNO BEACH, FL 33408

INVOICE NUMBER: 234242-SE

DATE OF FIELD WORK: 01/26/2025

CLIENT FILE: 25-002-02

**CERTIFIED TO**

LAW OFFICE OF RICK KOZELL

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THOMAS W. KELLEY AND PATRICIA A. KELLEY

FLOOD ZONE: X

FLOOD MAP: 12099C

PLATTED EASEMENTS, NOTABLE OR ADVERSE CONDITIONS (UNPLATTED EASEMENTS ALSO LISTED IF PROVIDED BY CLIENT):

IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

- 5' U.E. ALONG NORTHERLY BOUNDARY LINE OF SUBJECT LOT.

- 20' B.S.L. ALONG EASTERLY BOUNDARY LINE OF SUBJECT LOT.

**ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING)**

A OR AL = ARC LENGTH	EL OR ELEV = ELEVATION	OHC = OVERHEAD CABLE	PP = POOL PUMP	UE = UTILITY EASEMENT
CO = CLEANOUT	EM = ELECTRIC METER	P = PLAT	PRC = POINT OF REVERSE	UP = UTILITY POLE
CA = CENTRAL ANGLE	F F E = FINISHED FLOOR ELEV.	PC = POINT OF CURVE	CURVATURE	WM = WATER METER
CAIV = CABLE TV RISER	FIR = FOUND IRON ROD	PCC = POINT OF COMPOUND CURVATURE	PT = POINT OF TANGENCY	WV = WATER VALVE
CF = CALCULATED FROM FIELD	FN = FOUND NAIL	PH = POOL HEATER	QTR = QUARTER	
CH = CHORD DISTANCE	FND = FOUND	PI = POINT OF INTERSECTION	R = RADIUS	
CONC = CONCRETE	G F F E = GARAGE FINISHED FLOOR ELEV	PK = PARKER KAEHLON	RNG = RANGE	
CR = CALCULATED FROM RECORD	L = LEGAL DESCRIPTION	POB = POINT OF BEGINNING	ROW = RIGHT OF WAY	
DE = DRAINAGE EASEMENT	M = MEASURED	POC = POINT OF COMMENCEMENT	SEC = SECTION	
			TR = TELEPHONE RISER	
			TWP = TOWNSHIP	

**SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):**

⚡ = UTILITY POLE	⊕ = WELL	♿ = HANDICAP PARKING SPACE
☆ = LIGHT POLE	⊙ = CENTER LINE	
⊠ = CATCH BASIN	⊞ = PARTY WALL	
⚓ = FIRE HYDRANT	⊞ = AIR CONDITIONER	⊞ = SEC. QTR. CORNER
⊞ = MANHOLE	⊞ = SEPTIC LID	
⊞ = WATER VALVE	⊞ = ELEV. SHOT	⊞ = SECTION CORNER
⊞ = WATER METER		

**LINETYPES:**

BOUNDARY	_____
BUILDING	_____
EASEMENT	_____
CHAIN LINK FENCE	_____
WOOD FENCE	_____
PLASTIC FENCE	_____
OVERHEAD CABLE	_____

**GENERAL NOTES:**

- THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ON HEREON.
- ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 2 BUSINESS WEEKS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LB (LICENSED BUSINESS) #8507.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL (IF AFFIXED) HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.



Digitally signed  
 by Pablo Alvarez  
 Date: 2025.01.27  
 13:59:49 -05'00'

DATE: 01/27/2025

SIGNATURE  
 PABLO ALVAREZ - PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 7274 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL (IF AFFIXED) OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN

**PRINTING INSTRUCTIONS:**

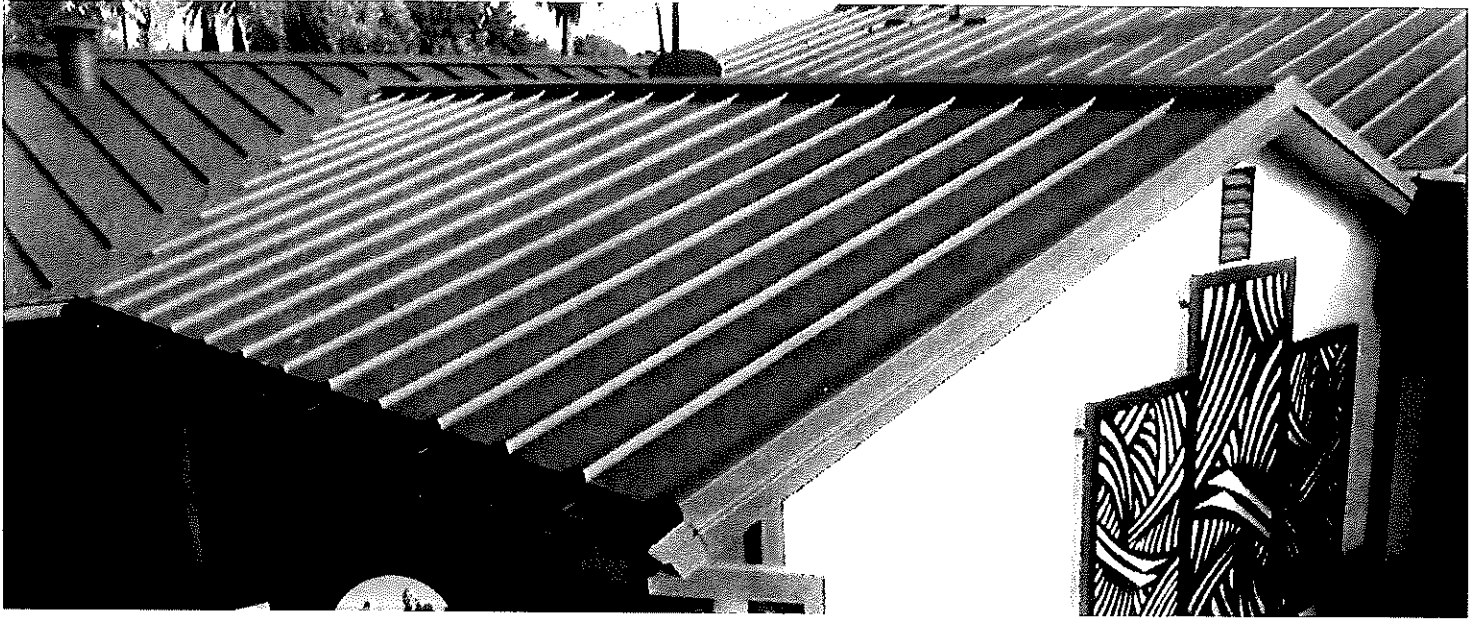
WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING. DO NOT USE "FIT".

**LANDTEC**  
 SURVEYING

*and Lien*



# Materials



**LANDTEC**

SURVEYING  
*and Lien*

TOWN OF JUNO BEACH  
REC 1005

2025 AUG -8 A 11:24

This Survey has been prepared for:

**THOMAS W. KELLEY AND PATRICIA A.  
KELLEY**



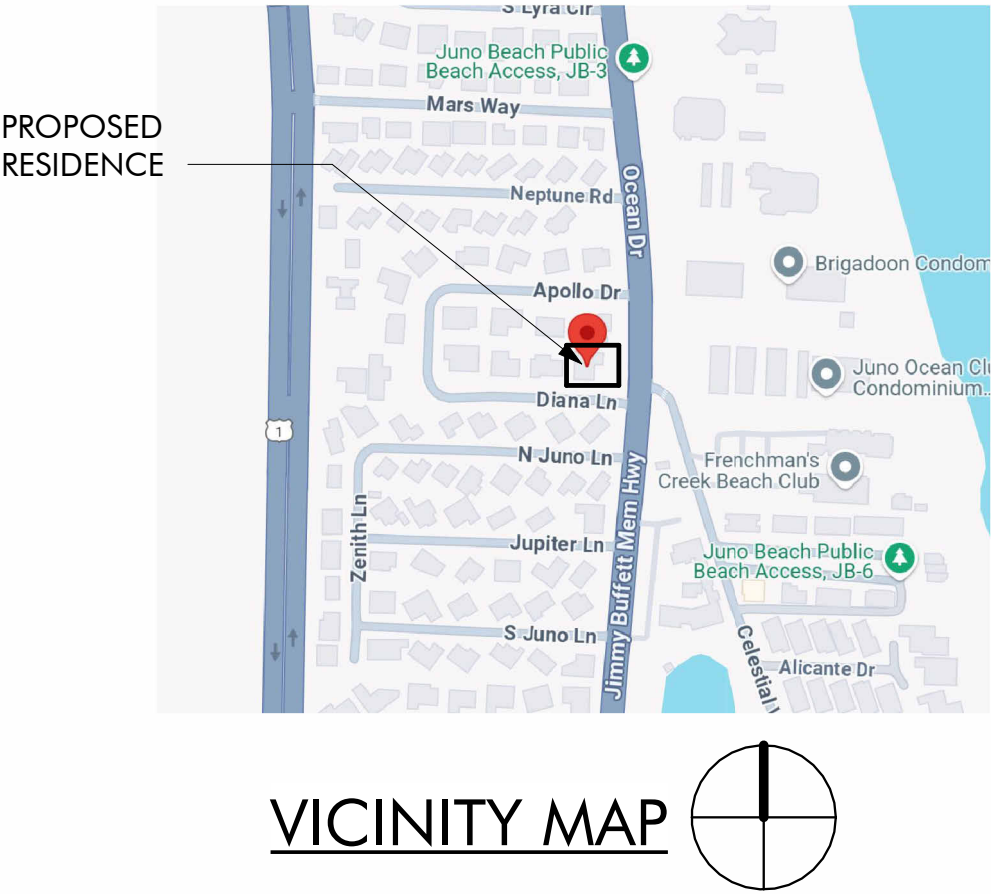
**PROPERTY ADDRESS:**

451 OCEAN DRIVE  
JUNO BEACH, FL 33408

On your behalf, and as a requirement for your transaction, this document has been coordinated with us by the firm shown below. Landtec Surveying, Inc. is a private firm and remains entirely responsible for this document's content.



**LAW OFFICE OF RICK KOZELL**



# PATTY AND TOM KELLEY

## 451 OCEAN DRIVE, JUNO BEACH, FL 33408

SHEET	DESCRIPTION		
	COVER SHEET		
A0	SITE PLAN		
A1	FIRST FLOOR PLAN		
A2	SECOND FLOOR PLAN		
A3	ELEVATIONS		
A4	ELEVATIONS		
A5	ROOF PLAN		

### BUILDING DESIGN DATA

CODES:	FLORIDA RESIDENTIAL BUILDING CODE 2023 8TH EDITION - RESIDENTIAL ENERGY CONSERVATION, PLUMBING, MECHANICAL AND ELECTRICAL
	NFPA FL. FIRE PREVENTION CODE 8th ED.
	NEC NATIONAL ELECTRIC CODE 2023, NFPA 70
	CARBON MONOXIDE DETECTORS REQUIREMENTS PER FL ADMINISTRATIVE CODE RULE 9B-3.0472
	ACI 318-19
	ASTM 47th. ED. E1527-21

### DESIGN CRITERIA

CITY/COUNTY	JUNO BEACH, PALM BEACH, FL
OCCUPANCY GROUP	R-3
NUMBER OF STORIES	2
BUILDING CATEGORY	ENCLOSED
BASIC WIND SPEED, MPH	170
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE FACTOR	C
INTERNAL PRESSURE COEFFICIENT	+/- .18
MINIMUM SOIL PRESSURE, PSF	2500
FLOOR LOAD, PSF	65
ROOF DEAD LOAD, PSF	25
ROOF LIVE LOAD, PSF	30
CONSTRUCTION TYPE	VB UNPROTECTED

<b>OWNER:</b> PATTY AND TOM KELLEY 451 OCEAN DRIVE JUNO BEACH, FL 33408	<b>ARCHITECT:</b> ARISE ARCHITECTURE LLC 13901 US-1 #2, JUNO BEACH, FL 33408	<b>STRUCTURAL ENGINEER:</b> ADAM GINSBERG, P.E. 2901 CLINT MOORE RD #237 BOCA RATON, FL 33496	<b>CONTRACTOR:</b> FIRST PREMIER HOMES 725 N A1A SUITE C111 JUPITER, FL 33477
--	---	--	--

Project Number

20250501

Date

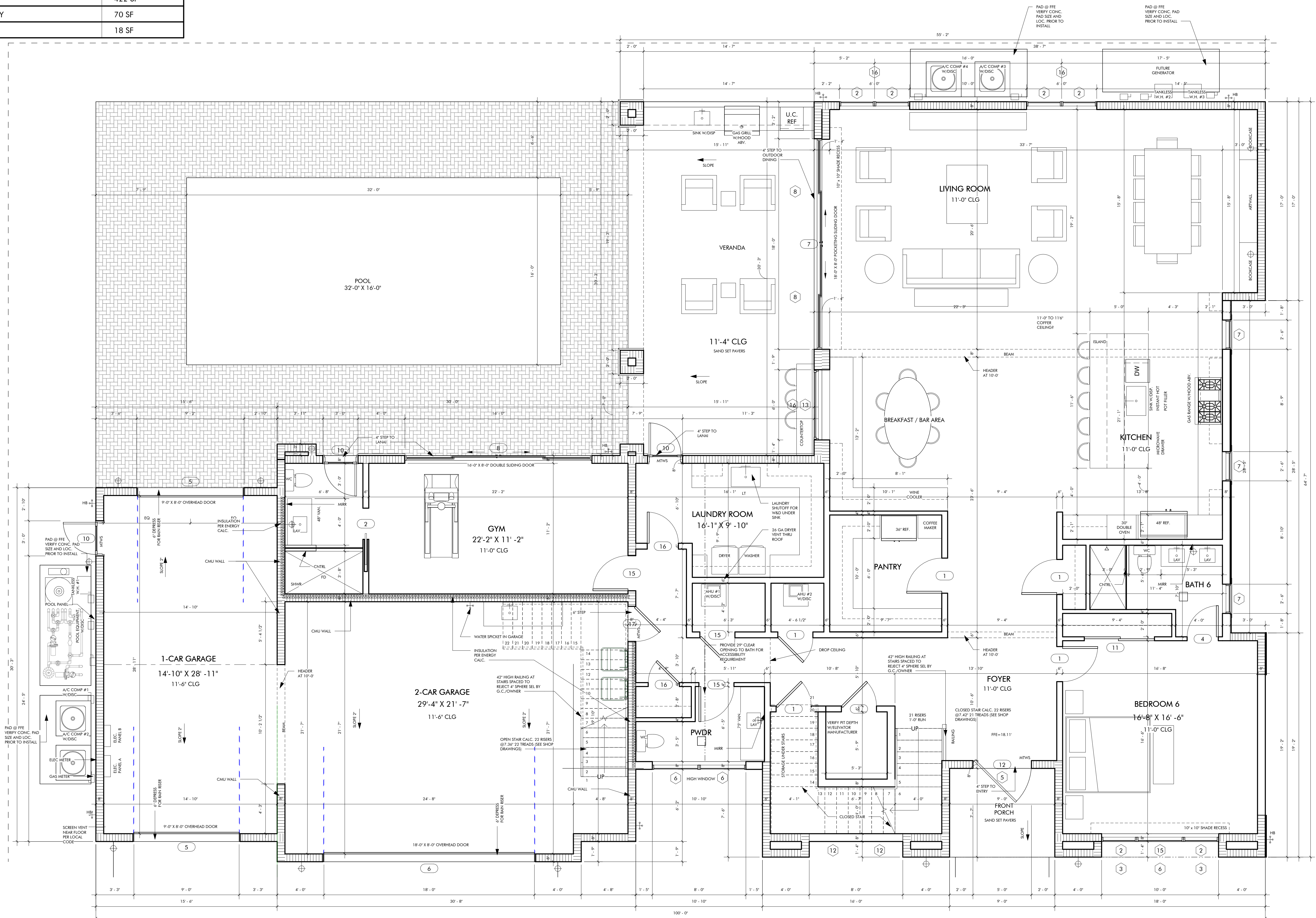
AUG 20, 2025



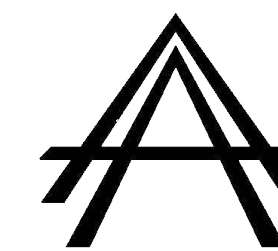
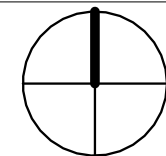




AREA CALCULATION	
FIRST FLOOR LIVING	3,107 SF
SECOND FLOOR LIVING	2,629 SF
TOTAL UNDER AIR	5,736 SF
TOTAL GARAGE	1,155 SF
ATTIC STORAGE	625 SF
VERANDA	422 SF
COVERED ENTRY	70 SF
BALCONY	18 SF



1 MAIN LEVEL FLOOR  
1/4" = 1'-0"



ARISE ARCHITECTURE LLC

www.arisearch.com

ARISE ARCHITECTURE, LLC  
561.866.2719 TEL  
www.arisearch.com

451 OCEAN DRIVE

PROJECT FOR:

PATTY AND  
TOM KELLEY

451 OCEAN DRIVE, JUNO BEACH, FL  
33408

SEAL/SIGNATURE/DATE:  
LICENSE #: AR103314

PROJECT NUMBER:	20250501
-----------------	----------

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS  
AND SPECIFICATIONS COMPLY WITH THE MINIMUM  
BUILDING CODES AND THE APPLICABLE FIRE-SAFETY  
STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN  
ACCORDANCE WITH SECTION 110, FLORIDA BUILDING  
CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE AND CHAPTER 633 FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF ARISE ARCHITECTURE, LLC. ALL COPYRIGHTS RESERVED. NO COPIES, TRANSMISSIONS, REPRODUCTION: OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE ARCHITECTURE, LLC.

[illegible]

NOT FOR CONSTRUCTION

## 1ST FL PLAN

Date	AUG 20, 2025
------	--------------

Drawn By	MLY
----------	-----

Checked By	CL
------------	----

A1

Scale	$1/4" = 1'-0"$
-------	----------------

©2024 ARISE ARCHITECTURE, LLC

8/28/2025 11:18:28 AM







www.arisearch.com

ARISE ARCHITECTURE, LLC  
561.866.2719 TEL  
www.arisearch.com

451 OCEAN DRIVE

PROJECT FOR:

PATTY AND  
TOM KELLEY

451 OCEAN DRIVE, JUNO BEACH, FL  
33408

SEAL/SIGNATURE/DATE:  
LICENSE #: AR103314

PROJECT NUMBER:	20250501
-----------------	----------

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 110, FLORIDA BUILDING CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEERS  
KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY  
WITH THE APPLICABLE FIRE-SAFETY STANDARDS AS  
DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE  
AND CHAPTER 633 FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF ARISE ARCHITECTURE, LLC. ALL COPYRIGHTS RESERVED. NO COPIES, TRANSMISSIONS, REPRODUCTION: OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE ARCHITECTURE, LLC.

NOT FOR CONSTRUCTION

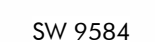
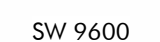
## ELEVATIONS

Date	AUG 20, 2025
------	--------------

Drawn By	MLY
Checked By	CL

A3	
Scale	As indicated

©2024 ARISE ARCHITECTURE, LLC



STANDING SEAM  
METAL ROOF

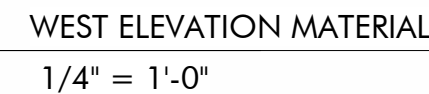
FACIA COLOR

BALCONY RAILING

WINDOW FRAME

GARAGE DR  
EYEBROW STUCCO  
OVERHANG  
WINDOW MOLDING

SMOOTH  
STUCCO  
WALL COLOR







www.arisearch.com

ARISE ARCHITECTURE, LLC  
561.866.2719 TEL  
[www.arisearch.com](http://www.arisearch.com)

451 OCEAN DRIVE

PROJECT FOR:

PATTY AND  
TOM KELLEY

451 OCEAN DRIVE, JUNO BEACH, FL  
33408

SEAL/SIGNATURE/DATE:  
LICENSE #: AR103314

PROJECT NUMBER:	20250501
-----------------	----------

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 110, FLORIDA BUILDING CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEER'S  
KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY  
WITH THE APPLICABLE FIRE-SAFETY STANDARDS AS  
DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE  
AND CHAPTER 633 FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF ARISE ARCHITECTURE, LLC. ALL COPYRIGHTS RESERVED. NO COPIES, TRANSMISSIONS, REPRODUCTIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE ARCHITECTURE, LLC.

NOT FOR CONSTRUCTION

## ELEVATIONS

Date	AUG 20, 2025
------	--------------

Drawn By	MLY
----------	-----

Checked By	CL
------------	----

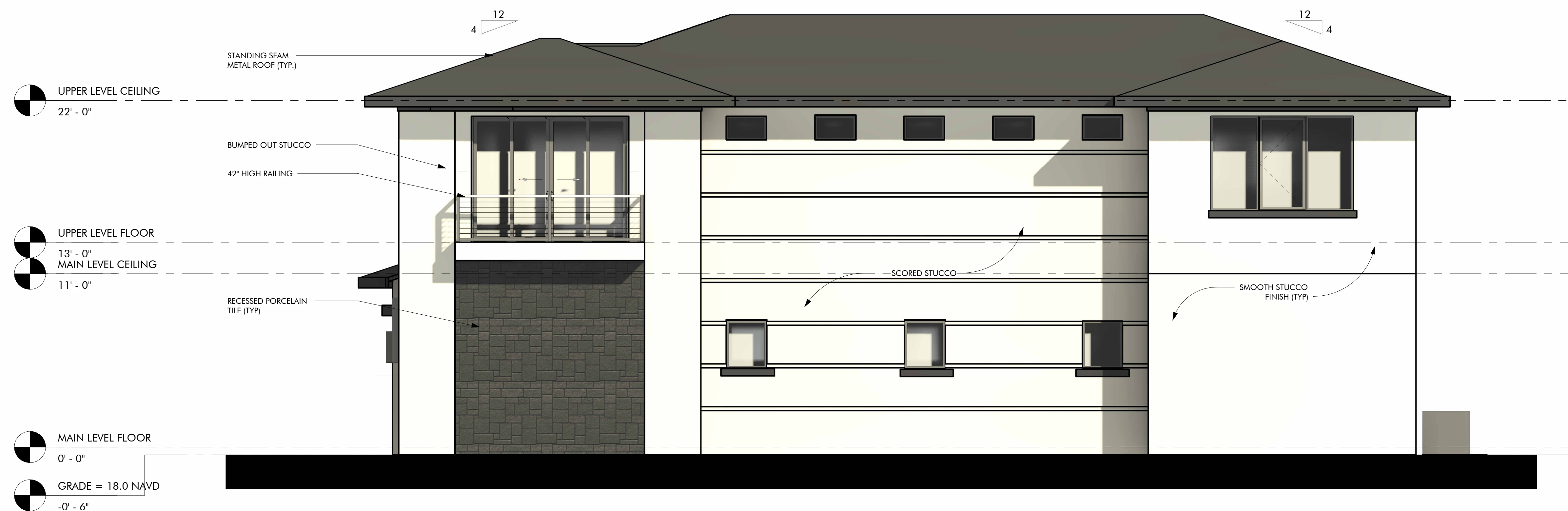
A4

Scale	As indicated
-------	--------------

©2024 ARISE ARCHITECTURE, LLC



1 REAR ELEVATION MATERIAL  
1/4" = 1'-0"



2 EAST ELEVATION MATERIAL  
1/4" = 1'-0"

LOWER AREA MAX. 1,270 SF  
CALCULATE NET FREE VENT AREA:  $1,270 \text{ SF} / 150 = 8.47 \text{ SF}$  (1 IN 150 RULED)  
CONVERT TO SQ. INCHES:  $8.47 \times 144 = 1,219 \text{ SQ. IN}$

SOFFIT VENT 1,219 SQ.IN:            6" X 24" SOFFIT VENT

NFVA = 72 SQ. IN PER VENT  
REQUIRED: 17 VENTS

4" CONT VENT @ 22 SQ.IN/LF 1,219/22 = 57.34 LF

UPPER AREA MAX. 4,238 SF  
CALCULATE NET FREE VENT AREA:  $4,938 \text{ SF} / 150 = 28.25 \text{ SF}$  (1 IN 150 RULED)  
CONVERT TO SQ. INCHES;  $28.25 \times 144 = 4,068 \text{ SQ. IN}$

SOFFIT VENT 4,068 SQ.IN: 6" X 24" SOFFIT VENT

NFVA = 72 SQ. IN PER VENT  
REQUIRED: 54 VENTS

4" CONT VENT @ 22 SQ.IN/LF 4,068/22 = 184.90 LF

1. TRUSS MANUFACTURER SHALL SUBMIT SHOP DWGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION.
2. TRUSS MANUFACTURER SHALL VERIFY ALL KNEE HEIGHTS.
3. REFER TO TRUSS MANUFACTURER ENGINEERING DRAWINGS FOR ALL ROOF TRUSSES REQUIRED TEMPORARY & PERMANENT BRACING, GABLE END BRACING, DETAILS & REQUIRED GRAVITY BRACING.
4. CONC. BEAM DEPTH OVER DOOR/WINDOW OPENINGS MAY VARY AS PER MFR. DOOR/WINDOW HGT. (FRENCH OR SLIDING DOORS AND WINDOWS UP TO 3" DEEPER)
5. PROVIDE 7/8" STUCCO FINISH OVER HI RIB GALV. MTL. LATH AT ALL ENTRY CEILING / SOFFITS (TYP).
6. SOFFITS VENTS TO ATTIC SPACE MUST BE COVERED WITH CORROSION RESISTANT SCREENING, WITH OPENINGS OF \_" MAX. OPENING (TYP.)
7. RAINWATER DOWNSPOUTS SHALL DISCHARGE A MIN. OF 12" AWAY FROM THE WALL.

FBC 2023

FBC RESIDENTIAL 302.12 DRAFTSTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS SPECIFIED IN FLOOR/CEILING ASSEMBLIES SO THAT HORIZONTAL AREAS DO NOT EXCEED 1,000 SQ.FT.

SL. MIN 1/4:12

FLAT ROOF  
OVER PATIO

SL. MIN 1/4:12

FLAT ROOF

UPPPER ROOF

STANDING SEAM  
METAL ROOF (TYP)

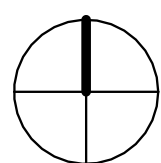
4" / 12" ← LOWER ROOF

OUTLINE OF WALL BELOW

OUTLINE OF WALL BELOW

COVERED

SLOPE  
↓  
 $1/4" : 12"$



ROOF PLAN  
1/4" = 1'-0"



www.arisearch.com

ARISE ARCHITECTURE, LLC  
561.866.2719 TEL  
[www.arisearch.com](http://www.arisearch.com)

451 OCEAN DRIVE

PROJECT FOR:

PATTY AND  
TOM KELLEY

451 OCEAN DRIVE, JUNO BEACH, FL  
33408

SEAL/SIGNATURE/DATE:  
LICENSE #: AR103314

PROJECT NUMBER: 20250501

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS  
AND SPECIFICATIONS COMPLY WITH THE MINIMUM  
BUILDING CODES AND THE APPLICABLE FIRE-SAFETY  
STANDARDS AS DETERMINED BY LOCAL AUTHORITY IN  
ACCORDANCE WITH SECTION 110, FLORIDA BUILDING  
CODE AND CHAPTER 633, FLORIDA STATUTES.

TO THE BEST OF THE STRUCTURAL ENGINEER'S  
KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY  
WITH THE APPLICABLE FIRE-SAFETY STANDARDS AS  
DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE  
AND CHAPTER 633 FLORIDA STATUTES.

ALL DESIGNS INDICATED IN THESE DRAWINGS ARE THE PROPERTY OF ARISE ARCHITECTURE, LLC ALL COPYRIGHTS RESERVED. NO COPIES, TRANSMISSIONS, REPRODUCTIONS OR ELECTRONIC MANIPULATION OF ANY PORTION OF THESE DRAWINGS IN WHOLE OR IN PART ARE TO BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARISE ARCHITECTURE, LLC.

[illegible]

NOT FOR CONSTRUCTION

## ROOF PLAN

Date	AUG 20, 2025
------	--------------

Drawn By	MLY
----------	-----

Checked By	CL
------------	----

# A5

Scale	$1/4" = 1'-0"$
-------	----------------