

GENERAL NOTES

- CONSTRUCTION SHALL FOLLOW THE RESIDENTIAL FLORIDA BUILDING CODE (2023, 8TH EDITION W/ APPLICABLE SUPPLEMENTS) AS ADOPTED BY THE GOVERNING BLDG. DEPT.
- BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOBSITE PRIOR TO STARTING ANY TRADE AND NOTIFY ARCHITECT IN WRITING IMMEDIATELY ON THE WORKER'S DAILY LOG FOR ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE THE DRAWINGS.
- SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING INVENTORY ENERGY REGULATIONS OF THE FLORIDA BUILDING CODE ENERGY CONSERVATION 2023. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODES TO ENSURE AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SIGNIFICANTLY ADDRESSED ON THE PLANS AND NOTES.
- THE PROJECT OWNER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEMS SPECIFIED ON THESE DRAWINGS WITHOUT ANY PRIOR NOTICE ITEMS WHICH, WHEN SUBSTITUTED, REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING OFFICIAL.
- BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
- CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
- ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH FBC-RESIDENTIAL SECTION R306.1 FENESTRATION PRODUCT RATING.
- ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH THE LOCAL GOVERNING BUILDING SECURITY CODE ORDINANCE AS LATEST AMENDED.
- SEE STRUCTURAL DRAWINGS FOR WIND LOADING DESIGN.
- TRUSS MANUFACTURER SHALL SUBMIT FOUR (4) COPIES OF SHOP DRAWINGS AND ENGINEER CALCULATIONS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR ROOF TRUSS DESIGN FOR APPROVAL AND SHOP STAMPED AS REVIEWED BY THE GENERAL CONTRACTOR.
- TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTIC RAUFS AND MISCELLANEOUS EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS.
- PROVIDE GROUDED CELL AT BEARING POINT OF EACH GARDER TRUSS.
- ALL INTERIOR LOAD BEARING PARTITIONS SHALL BE CONSTRUCTED WITH BEARING CLIPS, TOP AND BOTTOM EACH STUD, AS PER CODE.
- CONCRETE SHALL CONFORM TO ASTM C94-03. ALL CONCRETE WORK SHALL BE IN ACCORD WITH ACI 318.11 AND ACI 308.2R.
- ALL CONCRETE MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 530-02 AND ACI 550.1-02.
- MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE: SLABS ON VIFOR GOSERS: 1 1/2" BEAMS AND COLUMNS: 1 1/2" FORMED CONCRETE BELOW GRADE: 3" UNFORMED CONCRETE BELOW GRADE: 3"
- REINFORCING STEEL: GRADE 60 (F_y = 60,000), ASTM AG 15-82 S1.
- PLACING DRAWING AND BAR LISTS SHALL CONFORM TO A.C.I.'S MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (A.C.I. 311.5-09).
- DETAILS OF CONCRETE REINFORCING SHALL BE IN ACCORD WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AS PUBLISHED BY THE AMERICAN INSTITUTE OF REINFORCING STEEL INSTITUTE UNLESS OTHERWISE INDICATED.
- ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION. SAFETY ON SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONCRETE BEAM SIZES MAY BE INCREASED IF MAXIMUM AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK COURSING. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW AND DOOR BEAMS (2" MAXIMUM) AND ADD 2-4" BOTTOM IF DROP EXCEEDS 8".
- DOWNS COLLUM AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWELS AS VERTICAL BARS ABOVE.
- VERTICAL CELLS FOR MASONRY TO BE GROUDED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR, UNOBSTRUCTED CONTINUOUS CELL.
- CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUDED CELLS AT EACH LEFT OVER 4" HIGH. CLEANOUTS SHALL BE SEALED AFTER CLEANING AND INSPECTION, AND BEFORE GROUTING.
- REINFORCING STEEL SHALL BE LAPPED AS BAR DIAMETERS MINIMUM WHERE SPICED, AND SHALL BE WIRED TOGETHER. PROVIDE CORNER BARS SAME SIZE AND NUMBER AS HORIZ. BEAM REINFORCING AT EACH FACE. LAP 48 BAR DIAMETERS MIN.
- STRUCTURAL WOOD AND TRUSS MANUFACTURER SHALL CONFORM TO THE TRUSS CONSTRUCTION MANUAL AS PUBLISHED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL HEADERS OVER DOORS AND WINDOWS TO BE 2 OR 3 - 2 X 12S FOR WOOD FRAME CONSTRUCTION DEPENDING ON WALL THICKNESS (EXCEPT WHERE NOTED).
- DIMENSION LUMBER FOR HEADERS AND COLLUMS SHALL BE 2X8, THEN NO. 2 OR BETTER UNLESS OTHERWISE ALLOWABLE. SPECIFY GRADES OF LUMBER IN DRAWING FOR SINGLE MEMBER UNLESS NOTED. ALL FRAMING LUMBER SHALL HAVE A MODULUS OF ELASTICITY OF 1,600,000 PSI OR BETTER AS DETERMINED BY AN APPROVED LUMBER GRADING AGENCY.
- STRUCTURAL STEEL SHALL CONFORM TO THE A.I.S.I. SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, 1989 EDITION. MATERIALS SHALL CONFORM TO THE APPLICABLE ASTM SPECIFICATION AS FOLLOWS: SHAPES, PLATES, ANCHOR BOLTS - A 367-81 A MACHINE BOLTS - A 308-83 TUBULAR STEEL - 500-22 A GRADE B (44 KSI)
- WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE". ELECTRODES FOR FIELD AND SHOP WELDS SHALL BE E 7015, AS 1, E 7018.
- SEE FOUNDATION NOTES AND FRAMING NOTES FOR MORE INFORMATION ON THESE ITEMS.
- TOPICAL CURING FOR ALL SLABS AND FLATWORK, PER STRUCTURAL DRAWINGS & SPEC'S.
- CONTRACTOR SHALL PROVIDE DRAINAGE PER DEVELOPMENT DESIGN GUIDELINES.
- STRUCTURAL ENGINEERS NOTES SHALL SUPERCEDE ARCHITECTURAL GENERAL NOTES WHENEVER THESE ARE IN CONFLICT WITH EACH OTHER.
- ALL EXTERIOR GLAZING SHALL BE IMPACT RESISTANT PER 2023 FLORIDA BUILDING CODE.
- A WATER CLOSET, LAVATORY, OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION, VANITY, OR OTHER OBSTRUCTION, OR CLOSER THAN 30 INCHES FROM CENTER TO CENTER BETWEEN TOILETS OR ADJACENT FIXTURES. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF THE WATER CLOSET OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30 INCHES WIDE AND 60 INCHES DEEP. THERE SHALL BE AT LEAST 21 INCHES CLEARANCE IN FRONT OF A LAVATORY TO ANY WALL, FIXTURE OR DOOR.
- THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES AND FIXTURE FITTINGS SHALL BE IN ACCORDANCE WITH F.B.C. 2023.

MAXIMUM FLOW RATES AND CONSUMPTION TABLE

PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE OR QUANTITY
LAVATORY FAUCET	2.2 GPM AT 60 P.S.I.
SHOWER HEAD**	2.5 G.P.M. AT 20 P.S.I.
SINK FAUCET	2.2 G.P.M. AT 60 P.S.I.
WATER CLOSET	1.2 G.P.M. PER FLUSHING CYCLE

** A HANDHELD SHOWER SPRAY IS ALSO A SHOWER HEAD.
** CONSUMPTION TOLERANCES SHALL BE DETERMINED FROM REFERENCED STANDARDS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MISC.	MISCELLANEOUS
ALUM.	ALUMINUM	M.D.	MOLDING
ANOD.	ANODIZED	M.O.D.	MASONRY OPENING
BD.	BOARD	M.T.	METAL THRESHOLD
B.O.B.	BOTTOM OF BEAM	MTD.	MOUNTED
CAS.	CABINET	MFL.	METAL
CLG.	CELING	MUL.	MULLION
CLS.	CLOSET	M.C.C.	METAL CORNER CONTRACT
CLF.	CLEAR	N.T.S.	NOT TO SCALE
CMU.	CONCRETE MASONRY UNIT	O.C.	ON CENTER
CNTR.	COUNTER	OD.	OUTSIDE DIAMETER
COL.	COLLUM	OPNG.	OPENING
CONC.	CONCRETE	OPT.	OPTIONAL
CONT.	CONTINUOUS	PL.	PLATE
CT.	CERAMIC TILE	PLAM.	PLASTIC LAMINATE
DB.	DOUBLE	PLYWOOD	PLYWOOD
DB.	DRESSING BAR	FIN.	FINISH
DN.	DOWN	P.O.S.	POINT OF SALE
DR.	DOOR	PREP.	PREPARATION
DTL.	DETAIL	PTD.	PAINTED
DWG.	DRAWING	QT.	QUARTRY TILE
DWR.	DRAWER	RA.	RETURN AIR
EA.	EACH	RAD.	RADIUS
ELEC.	ELECTRICAL	RE.	REFERENCE
ELEV.	ELEVATION	RECPD.	RECEPTACLE
EQ.	EQUAL	RENF.	REINFORCED
EQUIP.	EQUIPMENT	REQD.	REQUIRED
EXIST.	EXISTING	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
FBD.	FIBER BOARD	S.C.	SOLID CORE
FD.	FLOOR DRAIN	S.C.D.	SCHEDULE
FE.	FIRE STOP/SHOUSH	SO.	SHEDDING
FIN.	FINISH	SIM.	SIMILAR
FUR.	FLOOR	SFD.	SHIFTS/DIAD
FR.	FREEDRAGGAS REINFORCING	STL.	STEEL
F.V.	FIELD VERIFY	STRUC.	STRUCTURAL
GAGE.	GAGE	SUSP.	SUSPENDED
GALV.	GALVANIZED	TEMP.	TEMPERED
GC.	GENERAL CONTRACTOR	TYP.	TYPICAL
GL.	GLASS	U.N.O.	UNLESS NOTED OTHERWISE
GYP. BD.	GYP-SUM BOARD	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INTERIOR DESIGNER	VCT.	VINYL COMPOSITION
I.M.	ICE MAKER	TILE	TILE
INT.	INTERIOR	VERT.	VERTICAL
INC.	HANDICAP ACCESSIBLE	W.C.	WATER CLOSET
H.M.	HOLLOW METAL	WF	W/OUT
HT.	HEIGHT	W/O	WITHOUT
JST.	JOIST	W.C.	WATER CLOSET
LAM.	LAMINATED	WD.	WOOD
LAV.	LAVATORY	W.O.	WINDOW
LOC.	LOCATION	W.R.	WATER HEATER
MANUF.	MANUFACTURED	WIN.	WINDOW
MAN.	MINIMUM	WSCG.	WANSICOT
MECH.	MECHANICAL	WGT.	WEIGHT
M.C.	MEDICINE CABINET	W/W.	WELDED WIRE
MIN.	MINIMUM	FABRIC.	FABRIC

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 - SD2 STRUCTURAL DETAILS
 - SD3 STRUCTURAL DETAILS
- MECHANICAL**
- M-1 MECHANICAL PLANS
 - M-2 MECHANICAL DETAILS AND NOTES

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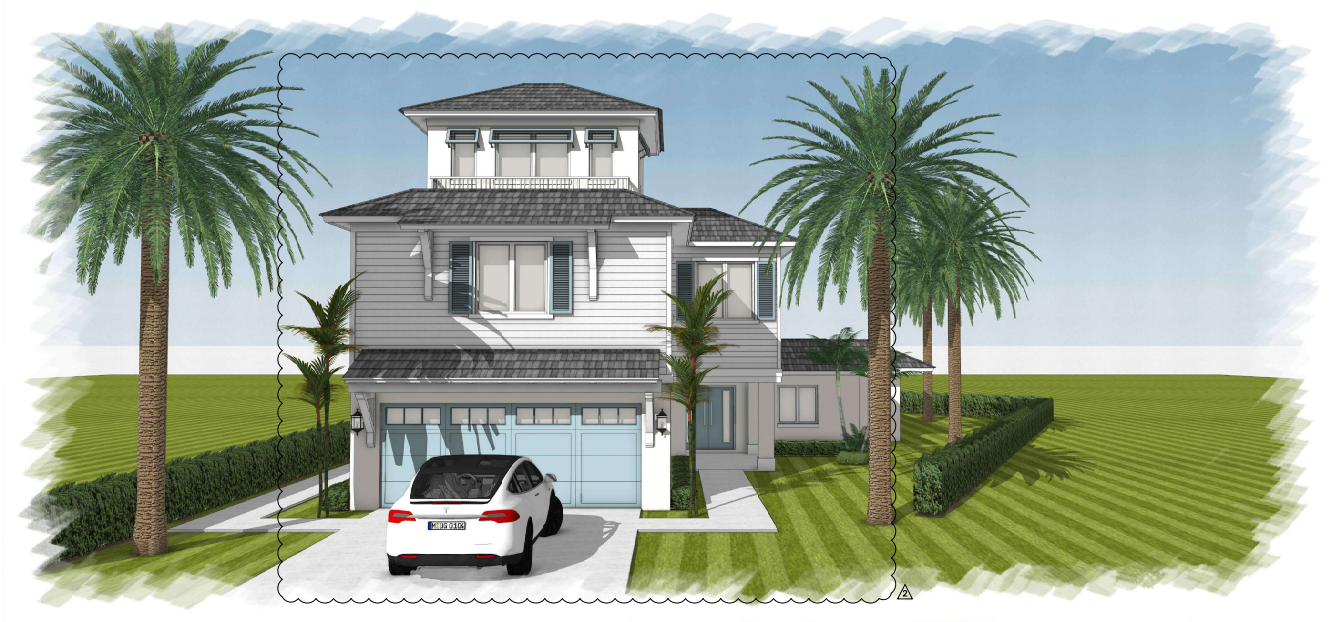
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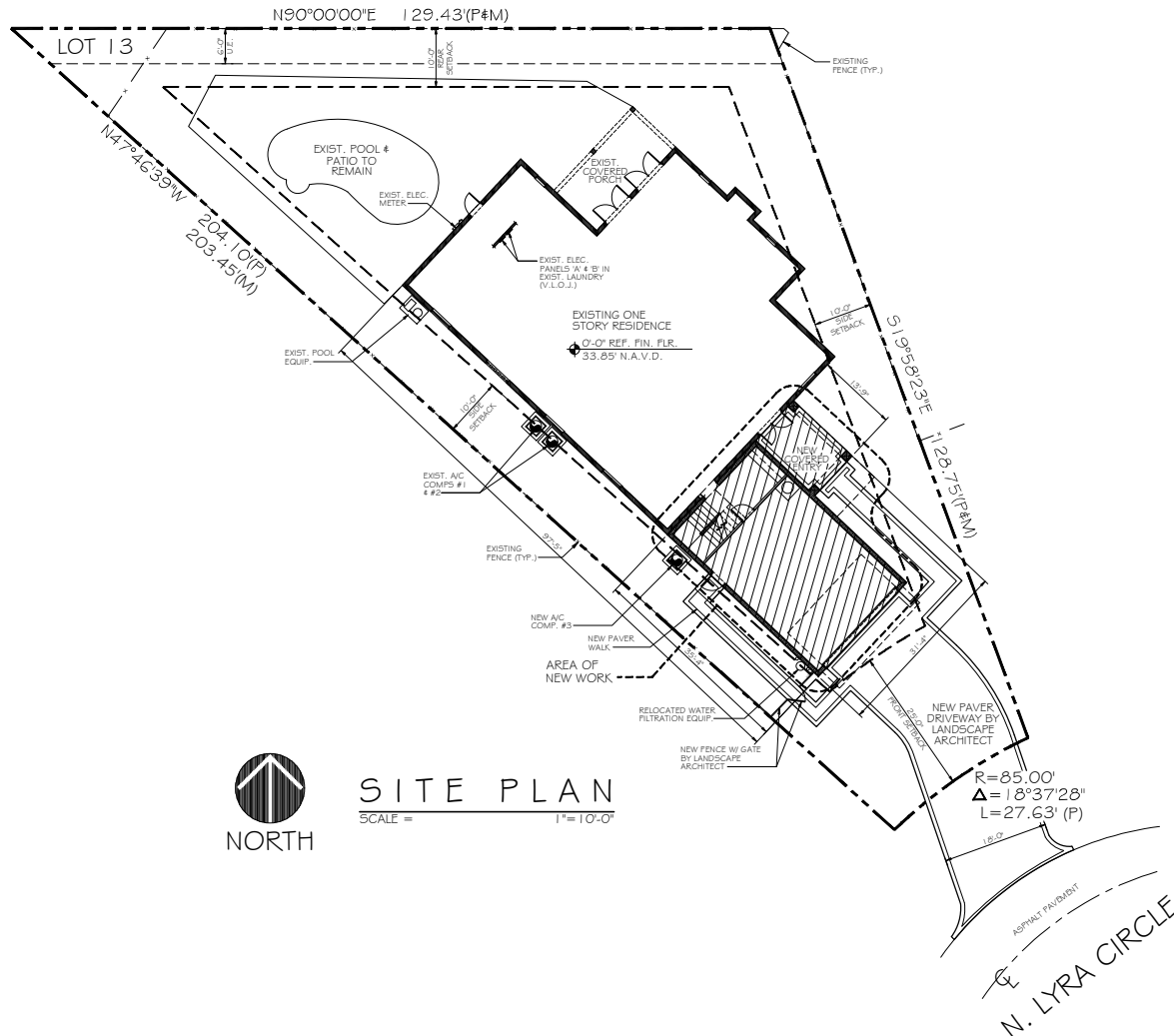
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MATTEN RESIDENCE
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TOWN OF JUNO BEACH
FLORIDA

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17 SHTS
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SITE PLAN

SCALE = 1" = 10'-0"

EXISTING AREA CALCULATIONS

GROUND FLR U/A	2,598 S.F.
2 CAR GARAGE	480 S.F.
COVERED PORCH	190 S.F.
TOTAL AREA	3,268 S.F.

PROPOSED AREA CALCULATIONS

NEW GROUND FLR U/A	176 S.F.
NEW SECOND FLR U/A	869 S.F.
NEW MEZZANINE U/A	190 S.F.
NEW U/A	1,235 S.F.
EXIST. GROUND FLR U/A	2,598 S.F.
TOTAL U/A	3,833 S.F.
NEW 2 CAR GARAGE	601 S.F.
EXISTING COVERED PORCH	190 S.F.
NEW COVERED ENTRY	128 S.F.
OVERALL TOTAL AREA	4,752 S.F.

LOT CALCULATIONS

AREA OF LOT:	10,558 S.F.
% OF BLDG. COV. TO TOTAL LOT (3,693 S.F.):	34.98 %

NOTE: DRIVEWAY DESIGN BY OTHERS.

SURVEY INFORMATION

SURVEYOR:
LANDTEC SURVEYING
840 US HWY 1, SUITE 303
NORTH PALM BEACH, FLORIDA 33408
(561) 210-9344

SURVEY DATE: 3/1/2024
FLOOD ZONE: X

NOTE: ARCHITECTURAL SITE PLAN IS BASED ON PROVIDED SURVEY DATA. YRA DESIGN INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY DATA.

EQUIPMENT PADS:

FOR LOTS LOCATED IN THE FLOOD ZONE, EQUIPMENT PADS SHALL BE SET ABOVE FEMA'S BASE FLOOD ELEVATION.

GRADING AND DRAINAGE NOTE:

GRADING AND DRAINAGE TO BE PROVIDED BY THE LANDSCAPE/ HARDSCAPE/ CIVIL DESIGNER.

SITE DATA TABLE

	RS-1, REQUIRED/ALLOWED (N. LYRA CIRCLE)	RS-1, PROVIDED (N. LYRA CIRCLE)
MINIMUM LOT AREA	10,000 S.F.	10,558 S.F.
MINIMUM LOT WIDTH	75'	86'
MINIMUM LOT DEPTH	100'	204'
MAXIMUM DENSITY	4 UNITS/ACRE	NA
MINIMUM FRONT SETBACK	25'	29'-2"
MINIMUM SIDE SETBACK	10'	LEFT SIDE: 10'-0" RIGHT SIDE: 8'-5" (PER SURVEY, EXIST.)
MINIMUM REAR SETBACK	10'	13'-4" (PER SURVEY, EXIST.)
MAXIMUM HEIGHT	2 STORES, 30'	2 STORES, 29'-1.34"
MAXIMUM TOWER HEIGHT	NONE, BUT MUST BE IN PROPORTION WITH REST OF BUILDING	33'-11"
MAXIMUM TOWER AREA	225 S.F.	190 S.F.
MAXIMUM COVERAGE	35.00 %	34.98 %
MINIMUM OCEAN SETBACK	50 FT WEST OF CCL	>50 FT W OF CCL
MINIMUM LIVING AREA (HABITABLE SPACE)		
1-BEDROOM	1,000 S.F.	NA
2-BEDROOM	1,200 S.F.	NA
3-BEDROOM	1,400 S.F.	NA
MAXIMUM BUILDING DIMENSION	100'	97'-5"
MINIMUM LANDSCAPING REQ.	25.00 % (2,640 S.F.)	41.65 % (4,397 S.F.)
MINIMUM PARKING REQ.	2 SPACES/UNIT	2 SPACES/UNIT
LOADING	NA	NA
HIGH-RISE SETBACK	NA	NA
MINIMUM ACCESSORY STRUCTURE SETBACK	5'	NA
ACCESSORY STRUCTURE MAXIMUM HEIGHT	12'	NA
ACCESSORY STRUCTURE MAXIMUM BLDG DIMENSION	12'	NA

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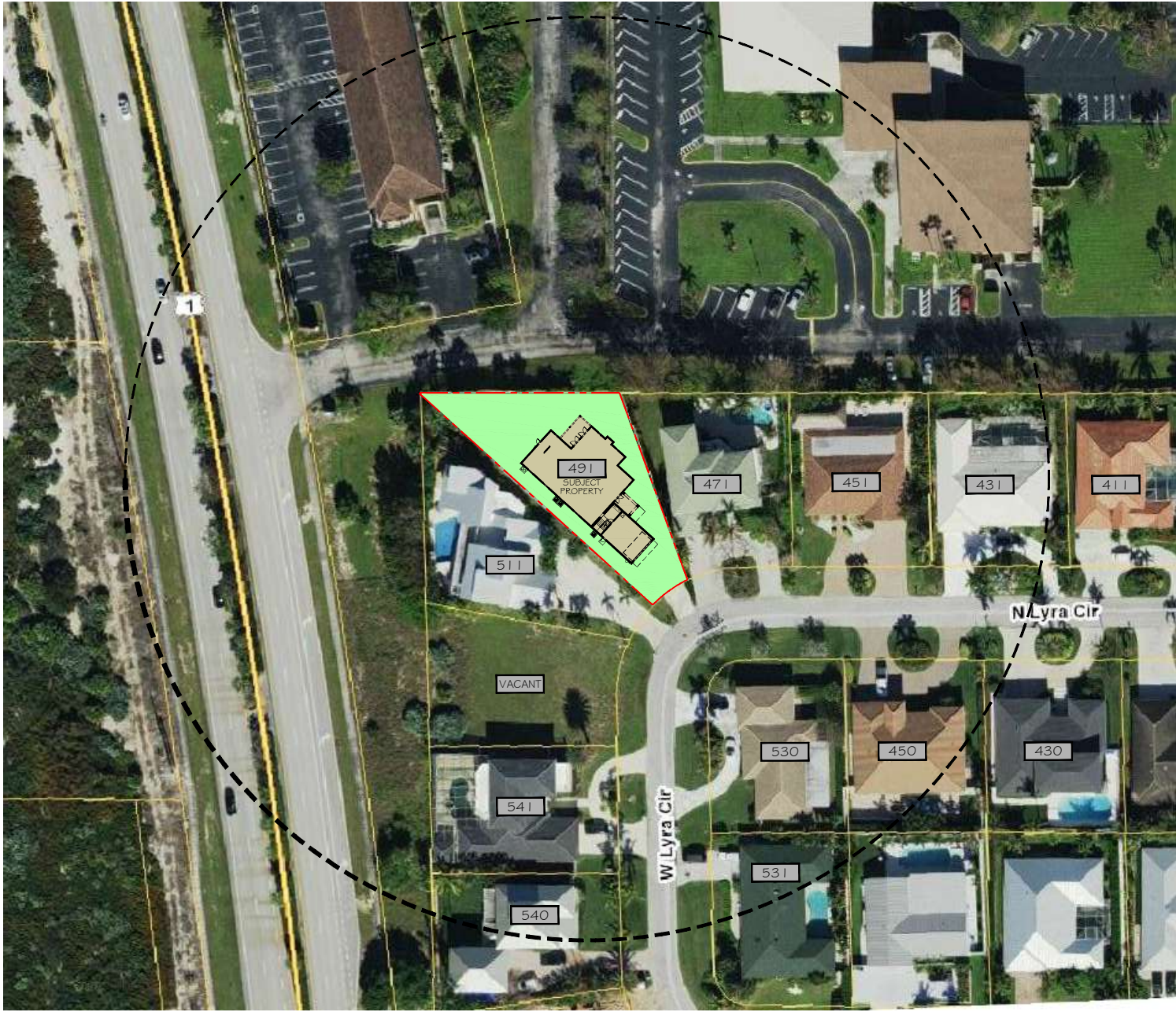
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AN ADDITION FOR:
MATTEN RESIDENCE
498 N. LYRA CIRCLE
TOWN OF JUNO BEACH
FLORIDA

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SEAL

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300' RADIUS AERIAL NEIGHBORHOOD MAP

SCALE 1" = 80'-0"

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511 N LYRA CIRCLE
(RESIDENCE TO LEFT)



491 N LYRA CIRCLE
(SUBJECT RESIDENCE)



471 N LYRA CIRCLE
(RIGHT SIDE)

EXISTING SUBJECT STREETScape



511 N LYRA CIRCLE
(RESIDENCE TO LEFT)



491 N LYRA CIRCLE
(SUBJECT RESIDENCE)



471 N LYRA CIRCLE
(RIGHT SIDE)

PROPOSED SUBJECT STREETScape

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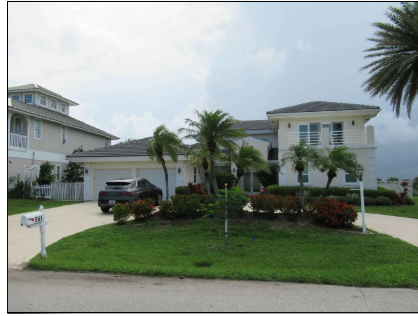
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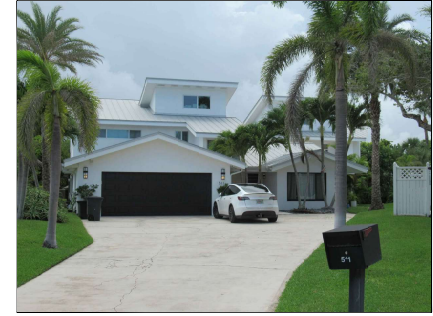
540 S LYRA CIRCLE
(3RD RESIDENCE TO LEFT)



541 N LYRA CIRCLE
(2ND RESIDENCE TO LEFT)



VACANT LOT
(LEFT OF SUBJECT RESIDENCE)



511 N LYRA CIRCLE
(1ST RESIDENCE TO LEFT)

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(WEST SIDE STREET VIEW)



471 N LYRA CIRCLE
(1ST RESIDENCE TO RIGHT)



451 N LYRA CIRCLE
(2ND RESIDENCE TO RIGHT)



431 N LYRA CIRCLE
(3RD RESIDENCE TO RIGHT)



411 N LYRA CIRCLE
(4TH RESIDENCE TO RIGHT)

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A-98-B REVISIONS
A-99-B REVISIONS
A-100-B REVISIONS

AN ADDITION FOR:
MATTEN RESIDENCE
498 N LYRA CIRCLE
TOWN OF JUNO BEACH
FLORIDA

(NORTH SIDE STREET VIEW)



531 N LYRA CIRCLE
(1ST RESIDENCE ACROSS STREET, EAST SIDE)



530 N LYRA CIRCLE
(2ND RESIDENCE ACROSS STREET, EAST SIDE)



450 N LYRA CIRCLE
(3RD RESIDENCE ACROSS STREET, SOUTH SIDE)



430 N LYRA CIRCLE
(4TH RESIDENCE ACROSS STREET, SOUTH SIDE)

PERMIT REVIEW SET
3-15-2024

SEAL

(SOUTH & EAST SIDE STREET VIEW)

NEIGHBORHOOD STREETSCAPE

SHEET NO:
SA-2
OF 17 SHEETS
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GENERAL DEMOLITION NOTES

- A. FLOORING: DENOTES FLOOR COVERING MATERIALS, INCLUDING BACKING, ADHESIVES, DOWN TO, BUT EXCLUSIVE OF FLOOR SLAB, STRUCTURAL SLABS AND STRUCTURAL MATERIALS, UNLESS NOTED OTHERWISE.
- B. CEILING: DENOTES CEILING MATERIAL INCLUDING SUSPENSION SYSTEM COMPONENTS, HANGER WIRE, CHANNELS, ADHESIVE RESISUALS, MOLDS/LIN, UP TO BUT EXCLUSIVE OF STRUCTURAL MATERIALS.
- C. WALLS TO BE REMOVED SHALL BE REMOVED TO SUBFLOORING PATCH TO MATCH EXISTING FLOORING.
- D. WHEN OPENINGS ARE CUT INTO AN EXISTING WALL, THE OPENING SHALL BE A MINIMUM OF 6" WIDER THAN THE FINISHED OPENING REQUIRED TO ALLOW FOR 2" JACK STUDS ON EACH SIDE OF OPENING AND (2) 2X6 HEADER.
- E. AFTER DEMOLITION OF MATERIAL THE RESULTING EXPOSED SURFACE SHALL BE PATCHED, SMOOTH AND FLUSH WITH EXISTING CONDITIONS.
- F. MECHANICAL AND ELECTRICAL ITEMS THAT ARE CAPPED AND ABANDONED BEHIND FINAL FINISHES SHALL BE TOTALLY CONCEALED.
- G. SEE PLANS FOR ADDITIONAL DEMOLITION NOTES.
- H. MATERIALS FROM DEMOLITION SHALL BE DISPOSED OF OFF SITE, UNLESS DIRECTED OTHERWISE BY OWNER.

COMPLIANCE METHOD

1. PER FBC-EB, COMPLY WITH 301.1.2 WORK AREA COMPLIANCE METHOD. REPAIRS, CHANGES, ALTERATIONS SHALL COMPLY WITH CH. 5 THROUGH 1.3 OF FBC-EB CODE.
2. ALTERATION LEVEL 3. PER FBC-EXISTING, SECTION 304 COMPLY WITH APPLICABLE PROVISIONS OF CH. 7, 8, AND 9 OF FBC-EXISTING BUILDING.

DEMOLITION PLAN LEGEND

- CONTINUOUS LINE DENOTES EXISTING TO REMAIN.
- DASHED LINE DENOTES EXISTING WALL, PARTITION, DOOR, WINDOW, OR OBJECT TO BE REMOVED.
- DOTTED LINE DENOTES EXISTING CONCRETE SLAB TO BE REMOVED.

DEMOLITION NOTES

1. TYPES OF DEMOLITION WORK: DEMOLITION INCLUDES BUT IS NOT LIMITED TO SELECTIVE REMOVAL AND SUBSEQUENT DISPOSAL OF THE FOLLOWING:
 - A. REMOVAL OF DOORS AND FRAMES.
 - B. REMOVAL OF ELECTRICAL FIXTURES & WIRING.
 - C. REMOVAL OF PLUMBING FIXTURES.
 - D. REMOVAL OF EXISTING COVERED ENTRY.
 - E. PARTIAL REMOVAL OF INTERIOR WALLS.
 - F. SAWCUT SLAB FOR NEW FLOORING.
2. COORDINATE DEMOLITION WITH ALL TRADES TO ASSURE COMPLETE REMOVAL OF ITEMS TO BE DEMOLISHED AND COMPLETE PROTECTION OF AREAS NOT IN DEMOLITION.
3. PRIOR TO COMMENCEMENT OF DEMOLITION WORK, INSPECT AREAS IN WHICH WORK IS TO BE PERFORMED.
4. REFER TO REQUIREMENTS OF STRUCTURAL DOCUMENTS PRIOR TO COMMENCEMENT OF ANY WORK. (TYPICAL)
5. REFER TO STRUCTURAL, MECHANICAL, BY OTHERS, ELECTRICAL AND PLUMBING DRAWINGS FOR COORDINATION OF ADDITIONAL NOTES AND REQUIREMENTS.
6. PERFORM DEMOLITION WORK IN A SYSTEMATIC MANNER IN ACCORDANCE WITH GOVERNING REGULATIONS AND APPROVED CONSTRUCTION SCHEDULE.
7. PROTECTIONS: PROVIDE TEMPORARY BARRICADES, WARNING LIGHTS, SIGNS, BRACING, SHORING, TEMPORARY CONSTRUCTION PARTITIONS AND OTHER SAFEGUARDS TO PROTECT OWNERS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
8. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND RECOVER EXPOSED DURING DEMOLITION OPERATIONS.
9. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS WHICH THE OWNER DOES NOT WISH TO SALVAGE FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE.
10. CONTRACTOR IN COOPERATION WITH OWNER, WILL SHUT OFF UTILITIES SERVING AREA OF CONSTRUCTION.
11. CONTRACTOR WILL DISCONNECT AND SEAL UTILITIES SERVING AREAS TO BE DEMOLISHED. PRIOR TO START OF DEMOLITION WORK WITHOUT INTERRUPTION TO OWNERS OPERATIONS.
12. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ENGINEER OR RESPECTIVE ENGINEER FOR OBSERVATION.
13. COORDINATE WITH OWNER ALL DEMOLITION WORK, INCLUDING ITEMS TO BE SALVAGED.
14. THE REMOVAL OF ANY EXISTING FLOORING SHALL BE COORDINATED WITH OWNER.

ALTERATIONS TO EXISTING STRUCTURE

1. IT SHOULD BE NOTED THAT ALL OBSERVATIONS AND RECOMMENDATIONS ARE BASED UPON A VISUAL, NONDESTRUCTIVE INSPECTION PROCESS. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THIS DRAWING MAY BE MODIFIED BY THE PRESENCE OF HIDDEN DEFECTS.
2. THIS DRAWING IN NO WAY SHOULD BE TAKEN AS AN IMPLIED WARRANTY THAT THERE ARE NOT ADDITIONAL HIDDEN DEFECTS PRESENT THAT WERE NOT ACCESSIBLE OR VISIBLE AT THE TIME OF THE ON-SITE INSPECTION AND WHETHER OR NOT THIS STRUCTURE WAS ORIGINALLY CONSTRUCTED IN ACCORDANCE WITH APPLICABLE BUILDING CODES, ORIGINAL CONSTRUCTION DOCUMENTS, OR ON SOUND ENGINEERING PRINCIPLES AND PRACTICES.
3. CONTACT THE ARCHITECT IF ANY CONDITIONS CITED ARE IN CONTRADICTION WITH THIS DRAWING.
4. ARCHITECT REQUIRES NO OPINION OF CONCEALED COMPONENTS.

KEYED DEMOLITION NOTES

- 1. REMOVE PORTION OF EXISTING EXTERIOR WALL & ALL ASSOC. FINISHES (STUCCO, TRIM, DRYWALL, ETC.). REMOVE ALL ELEC. ASSOC. WITH WALL DEMOLITION (IF WALL IS A BEARING WALL VERIFY NEW STRUCTURAL SUPPORT WITH STRUCTURAL DRAWINGS).
- 2. REMOVE PORTION OF EXISTING INTERIOR PARTITION & ALL ASSOC. FINISHES (TRIM, DRYWALL, ETC.). REMOVE ALL ELEC. ASSOC. WITH WALL DEMOLITION (IF WALL IS A BEARING WALL VERIFY NEW STRUCTURAL SUPPORT WITH STRUCTURAL DRAWINGS).
- 3. REMOVE EXISTING DOOR, JAMB AND CASING.
- 4. REMOVE & REPLACE EXISTING WATER HEATER. MOODY PLUMBING AS REQ'D. SEE PROPOSED FLOOR PLAN FOR NEW LOCATION.
- 5. REMOVE EXISTING CONCRETE SLAB.
- 6. REMOVE EXISTING OVERHEAD GARAGE DOOR.
- 7. REMOVE & RELOCATE EXISTING WATER FILTRATION EQUIPMENT.
- 8. REMOVE & RELOCATE EXISTING HOSE BIB.

ELECTRICAL LEGEND

- R REMOVE EXISTING FIXTURE.
- RR REMOVE & RELOCATE TO NEW LOCATION AND REPLACE WITH NEW FIXTURE (SEE PROPOSED ELECTRICAL PLAN).
- RZ REMOVE EXISTING FIXTURE AND REPLACE WITH NEW.
- ALL FIXTURES IN DASHED BOX ARE TYPICAL OF FIXTURE DESIGNATION OR NOTE.

FLOOR PLAN NOTES

1. REFER TO GENERAL NOTES ON SHEET GS AND NOTES ON STRUCTURAL SHEETS FOR FURTHER INFO.
2. REFER TO SHEET A-4 SHEETS FOR FURTHER CLG INFO.
3. REFER TO STRUCTURAL DRAWING FOR RAISED SLAB INFO.
4. REFER TO STRUCTURAL DWGS FOR TIEBACK BEAM INFO.
5. REFER TO STRUCTURAL DWGS FOR TIEBACK BEAM INFO FOLLOWED BY "AL.F.F." THE VERTICAL ELEVATION IS REFERENCED FROM THAT ROOM'S FLOOR ELEVATION.
6. "OF" REFERENCE IS TOP OF SLAB AS NOTED ON PLAN. FLOOR FINISHES AS SHOWN ARE FROM FINISHED FLOOR TO FINISHED FLOOR. ALL CEILING HEIGHTS ARE MEASURED FROM 0'-0" OR TOP OF FLOOR STRUCTURE.
7. PROVIDE MOISTURE RESISTANT G.W.B. OR CEMENT BOARD AT ALL MET & VAPOR BARRIER LOCATIONS.
8. PROVIDE ANTI-SWALL VALVES AT ALL SHOWER AND TUB LOCATIONS.
9. ALL WINDOWS AND GLASS ENCLOSURES WITH SILLS LESS THAN 4" ABOVE FLOOR AT TUBS AND SHOWERS SHALL BE TIEBACKED.
10. ALL NICHE SIZES SHALL BE VERIFIED ON JOB. U.N.O.
11. ALL SOAP NICHES TO FINISH 1'-4" x 1'-2" AT ALL BATHS (VERIFY HEIGHT W/ PROJECT SUPERVISOR).
12. ALL WOODS SHALL HAVE SEALANT PLACED BETWEEN WINDOW FRAMES & BACK AT TIME OF WOOD FLAME-RET. AFTER APPLYING MDO, APPLY CONTN. SEALANT TO JOINT BETWEEN BACK AND EDGE OF WOOD FRAMING.
13. ALL EXT. DOOR & WOOD MASS. OPSGS. SHALL RECEIVE TIEBACK W/USE MET FLASHING FULL WIDTH OF OPSG. @ RD. JAMB, SILL & CONTINUE FAST FRONT OPS. FACE & MET FLASHING OUTSIDE OF BUOS SHALL BE SANDED W/ SILICA SAND TO SELECTION. AFTER BUOS INSTALLATION, W/PROOF FULL PERIMETER OF BUOS JOINT WITH MASS. OPSG.
14. ALL PLUMBING STACKS TO SECOND FLOOR SHALL BE PATCHED WITH SOUND INSULATION AT TOP OUT.

FLOOR PLAN LEGEND

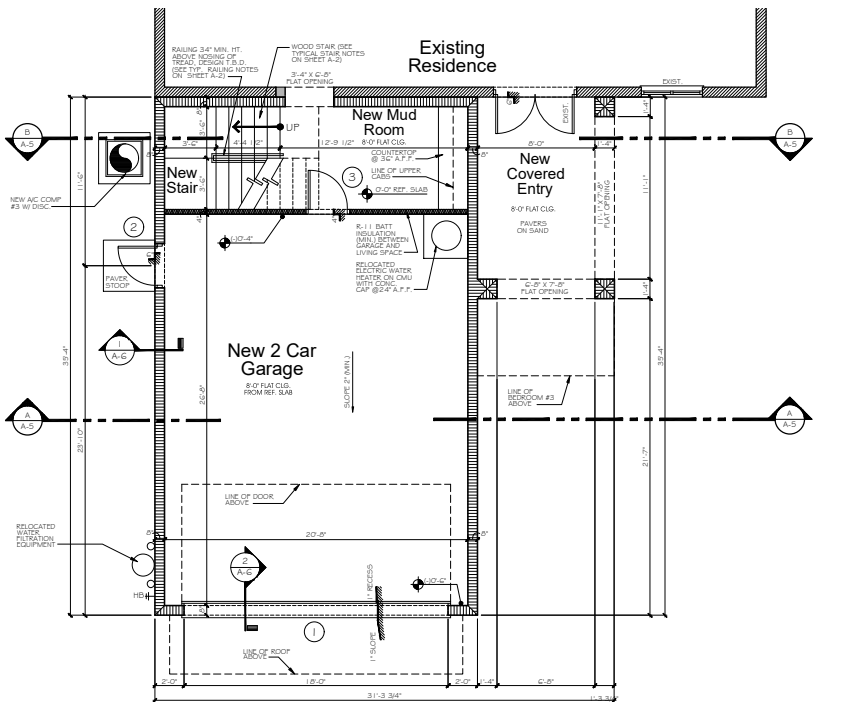
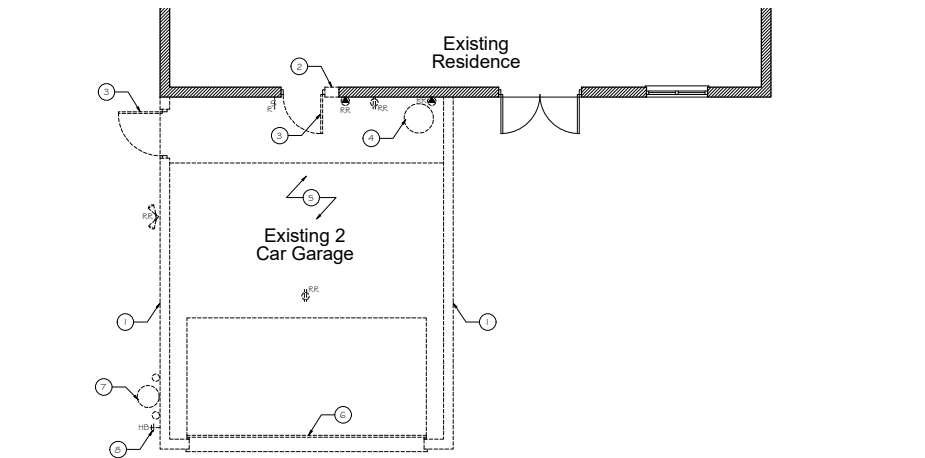
- NEW NON-BEARING FRAMED CONSTRUCTION
- NON-BEARING FRAMED CONSTRUCTION WALL ABOVE CEILING
- EXISTING WALL, PARTITION, OR AREA TO REMAIN
- NEW CONCRETE CONSTRUCTION
- PROVIDE 75# (MIN.) STUCCO FINISH ON (1) LAYER FIBER REINFORCED GUT LATH (2) LAYER FIBER REINFORCED GUT LATH PLUMBOOD SPRAYING. WALL TO HAVE BATT INSULATION (SEE FLOOR PLAN)
- R-11 SOUND BATTIS (SEE FLOOR PLAN)
- DEMOTES DOOR TYPE (SEE SCHEDULE ON SHEET A-4)
- DEMOTES WINDOW TYPE (SEE SCHEDULE ON SHEET A-4)
- BEARING FRAME CONSTRUCTION
- W BATT INSULATION (SEE FLOOR PLAN)

EXIT DOOR NOTES

- PROVIDE AT LEAST (1) 3/4" SIDE HINGED EXIT DOOR PER F.B.C. SECTION R310.2. LANDING EXIT DOORS SHALL BE PER F.B.C. SECTION R311.3.
- THE FLOOR OR LANDING ON THE EXTERIOR SIDE OF THE EXIT DOOR REQUIRED BY SECTION R311.3.1 SHALL NOT BE MORE THAN 7" BELOW THE TOP OF THE THRESHOLD AT THE EXTERIOR PER THE DESCRIPTION.

SEPARATION FROM GARAGE - SECTION R302.5

1. COMPLY WITH SECTION R302.5.1, R302.5.2, R302.5.3 & R302.5.4 FOR OPENING PROTECTION, DUCT PENETRATION AND SEPARATION OF GARAGE FROM THE RESIDENCE AND ITS ATTIC AREA ARE REQUIRED AS SHOWN.
2. DOORS INTO THE LIVING SPACE SHALL BE SOLID OR HONEYCOMB CORE STEEL AND NOT LESS THAN 1-3/8" 20 MINUTE RATED WITH SELF CLOSER.
3. DUCT PENETRATION WALLS OR CEILING SHALL BE 36 GAUGE (MIN) SHEET METAL OR APPROVED EQUAL & HAVE NO OPENINGS INTO THE GARAGE.
4. THE GARAGE ATTIC SHALL BE SEPARATED WITH 1/2" MIN. OPTIMUM WALL BOARD AND/OR 5/8" MIN. TYPE V OYSUM WALL BOARD WHEN FINISHABLE SPACES ARE ABOVE THE GARAGE.
5. APPLICATION: ONE LAYER OF 1/2" OR 5/8" TYPE V OYSUM WALL BO. APPLIED AT RIGHT ANGLES OR PARALLEL TO EACH SIDE OF 3/8" METAL STUDS OR TRUSS RESTRICTION CHOCKS @ 24" O.C. W/ 1" TYPE W DRYWALL SCREENS @ 6" O.C. TO VERT. JOINTS, 1/2" O.C. AT FLOOR & CEILING RUNNERS AND INTERMEDIATE STUDS. STAGGED W/ B. JOINTS 24" MIN. OPPOSITE SIDE OF PARTITION. 1 HOUR ASSEMBLY (GAW W/1 070)
6. REFER TO SECTIONS R302.4.2 MEMBRANE PENETRATION AND R302.3 DWELLING/GARAGE OPENING/PENETRATION PROTECTION FOR FURTHER INFO.



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TCBA
 THE TRENCH COAST BUILDERS ASSOCIATION
 MAINTAINING PLACE-INSURE THE FUTURE
 MEMBER

DATE: JANUARY 11, 2024
 APPLICANT: DARR, D.F.T.
 JOB NO: 24-0101
 REVISIONS:
 MECHANICAL REVISIONS
 ELECTRICAL REVISIONS
 1-11-2024

AN ADDITION FOR:
MATTEN RESIDENCE
 491 N DRA CIRCLE
 TOWN OF JUNO BEACH
 FLORIDA

PERMIT REVIEW SET
 3-15-2024

SEAL

SHEET NO.
A-1
 OF 17 SHEETS
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DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

PROPOSED GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

TYPICAL RAILING NOTES
2023 FLORIDA BUILDING CODE RESIDENTIAL, 8th EDITION

1. R312 GUARDRAILS, PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE PROVIDED WITH GUARDS WHERE THE WALKING SURFACE IS MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. SPOF DWGS SHALL BE SUBMITTED BY THE BUILDER AS REQUIRED BY THE BIDDING.

R312.1.3 OPENING LIMITATIONS
ROCKERS OR OTHER SPINNING OR MOVING OPENINGS FROM WALKING SURFACE TO REQUIRED GUARD HT. WHICH ALLOW PASSAGE OF A SPHERE 4 IN. DIA. SPHERE. EXCEPTION #1: TRIANGULAR OPENINGS AT OPEN ENDS OF STAIRS FORMED BY THE RISER, TREAD AND RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A 4 IN. DIA. SPHERE. #2: GUARDS ON OTHER ENDS OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4.38 INCHES IN DIAMETER.

R312.2 WINDOW SASHES
IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.
EXCEPTION #1: WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" SPHERE TO PASS THROUGH WHEN WINDOW IS IN ITS MAXIMUM OPENED POSITION.
EXCEPTION #2: OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F. 2090.
EXCEPTION #3: WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

2. R311.7.3 HANDRAIL GRIP-SHAPING
REQUIRED HANDRAILS SHALL BE ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY:
A) TYPE 1: HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MINIMUM CROSS SECTION DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".
B) TYPE 2: HANDRAILS WITH A PERIMETER GREATER THAN 4" SHALL PROVIDE A GRASPABLE FRINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FRINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 1/2" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 1/2" WITHIN 1/2" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 1/2" TO A LEVEL THAT IS NOT LESS THAN 1/2" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1/2" TO A MAXIMUM OF 2". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".
2A. HANDRAILS FOR STAIRWAYS SHALL BE CONTIN. FOR FULL LENGTH OF FLIGHT, FROM POINT DIRECTLY ABOVE TOP RISES OF FLIGHT TO A POINT DIRECTLY ABOVE LOWEST RISES OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN WALL & THE HANDRAILS.

3. R301.5 MIN. UNIFORMLY DISTRIBUTED LIVE LOADS AS FOLLOWS:
* GUARDRAILS & HANDRAILS: 50 LB/ LF (IBC 2003LB) (SEE SUB-NOTE 1)
** GUARDRAILS IN-FLY COMPONENTS: 50 LB/ LF
* SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
** GUARD RAIL/FILL COMPONENTS (ALL EXCEPT THE HANDRAIL, BAULSTERS AND PANEL FILLS) SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NOMINAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1.5 F'. THIS LOAD NEED NOT BE ASSIGNED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.
SUB-NOTE 1: IN ADDITION TO COMPLIANCE WITH THESE REQUIREMENTS, ALL GUARDS SHALL CONFORM TO DEFLECTION LIMITS AS FOLLOWS:
MAX 1/8" IN 12'-0" WITH 250 LB. SINGLE POINT LOADING AT TOP OF GUARDRAIL IN A HORIZONTAL MANNER NORMAL TO THE FACE OF THE GUARDRAIL.

TYPICAL STAIR NOTES - SECTION R311.7
2023 FLORIDA BUILDING CODE RESIDENTIAL, 8th EDITION

1. R311.7.1 STAIRWAY WIDTH IS 36" MIN. CLEAR ABOVE THE HANDRAIL, HANDRAILS AND BELOW SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY. THE MIN. CLEAR WIDTH OF THE STAIRWAY WHERE ONLY ONE HANDRAIL IS INSTALLED AND BELOW, INCLUDING TREADS AND LANDINGS, SHALL BE 31.5" MIN. AND 27" WHERE A HANDRAIL IS INSTALLED ON BOTH SIDES.

2. R311.7.2 HEADROOM IN STAIRWAYS SHALL BE 6'-0" MINIMUM.

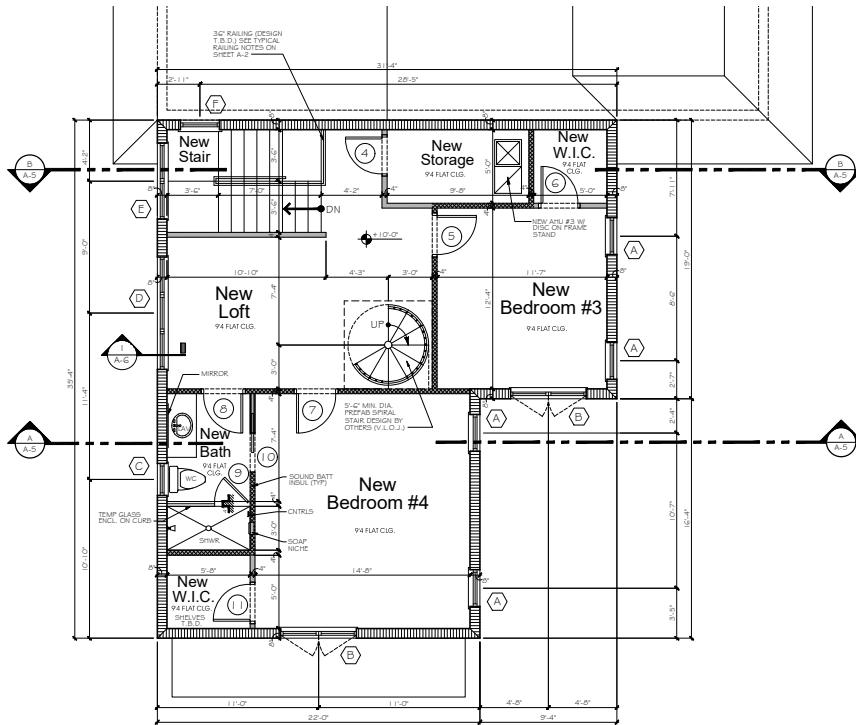
3. R311.7.3 VERTICAL RISE SHALL BE 1/2" MAX. BETWEEN FLOORS OR LANDINGS.

4. R311.7.5.1 MAX RISER HEIGHT SHALL NOT EXCEED 7.3/4". THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". RISERS SHALL BE VERTICAL OR SLOPED AT AN ANGLE NOT MORE THAN 90° FROM THE RISER. OPEN RISERS ARE PERMITTED BETWEEN TREADS PROVIDED THAT THE OPENING DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE.
MAX 1/8" IN 12'-0" WITH 250 LB. SINGLE POINT LOADING AT TOP OF GUARDRAIL IN A HORIZONTAL MANNER NORMAL TO THE FACE OF THE GUARDRAIL.

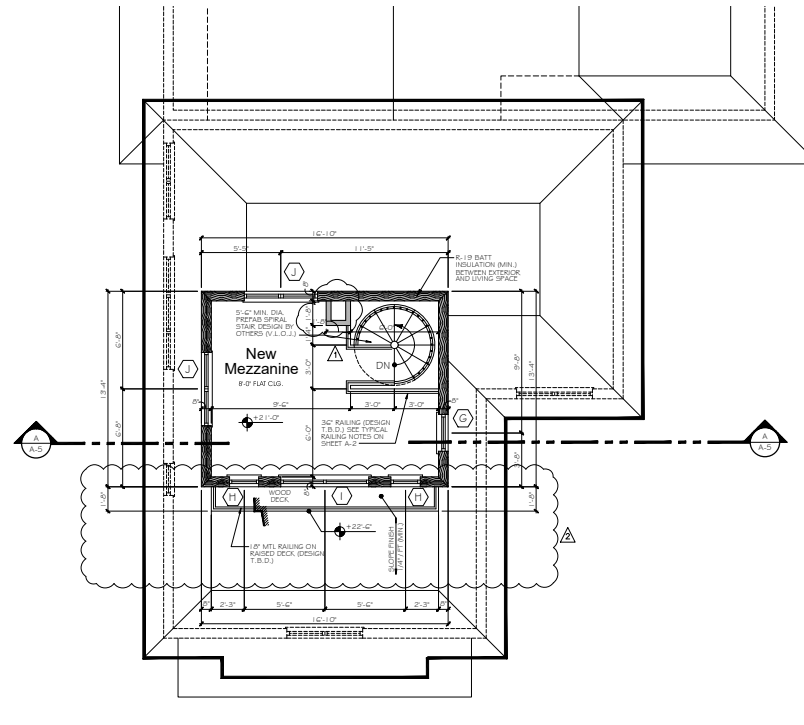
5. R311.7.5.2 THE MINIMUM TREAD DEPTH SHALL BE 10". THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

6. R311.7.5.3 NOSING ON STAIRWAYS WITH SOLID RISERS SHALL EXTEND MIN. 3/4" TO 1 1/4" MAX BEYOND SOLID RISER. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". BEVELING OF NOSING SHALL NOT EXCEED 1/4".
EXCEPTION: NOSING NOT REQD AT TREADS 1" DEPT OR GREATER.

7. R311.7.6 LANDINGS AT STAIRWAYS SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE MIN WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NO LESS THAN THE WIDTH OF THE FLIGHT SERVED. WHERE THE STAIRWAY HAS A STRAIGHT RAIL, THE MIN DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 3'-0".



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED MEZZANINE PLAN
SCALE: 1/4" = 1'-0"



DATE: JANUARY 11, 2024
APPROVED: D.A.R./D.F.T.
JOB NO: 24-0101
REVISIONS:
MECHANICAL REVISIONS
A.R.B. REVISIONS
A.R.B. REVISIONS
A.R.B. REVISIONS

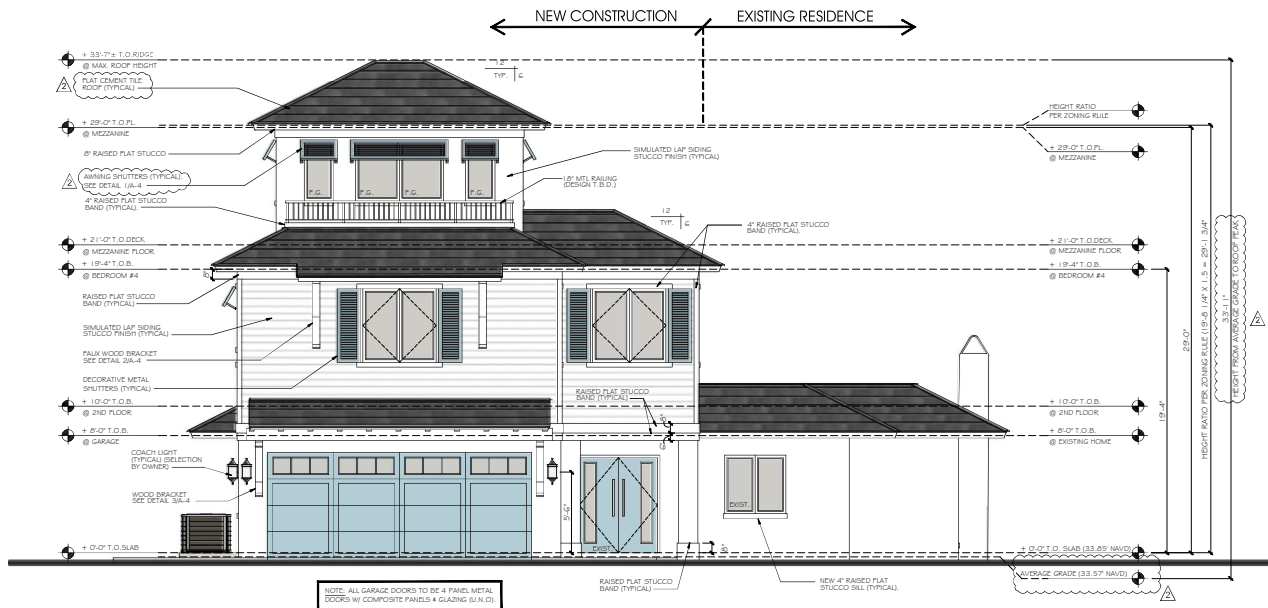
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PERMIT REVIEW SET
3-15-2024

SEAL

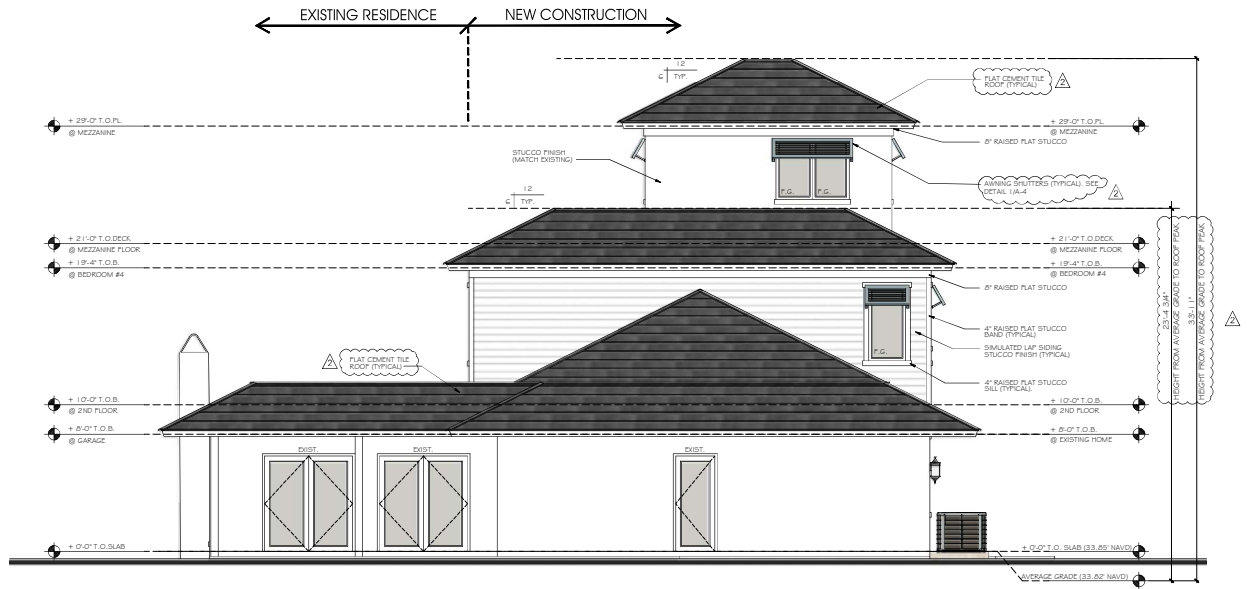
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OF 17 SHEETS
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August 5, 2024



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

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 MEMBER

DATE: JANUARY 11, 2024
 APPLIC: D.A.R./D.F.T.
 JOB NO: 24-0101
 REVISIONS:
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 A-100 MECHANICAL REVISIONS

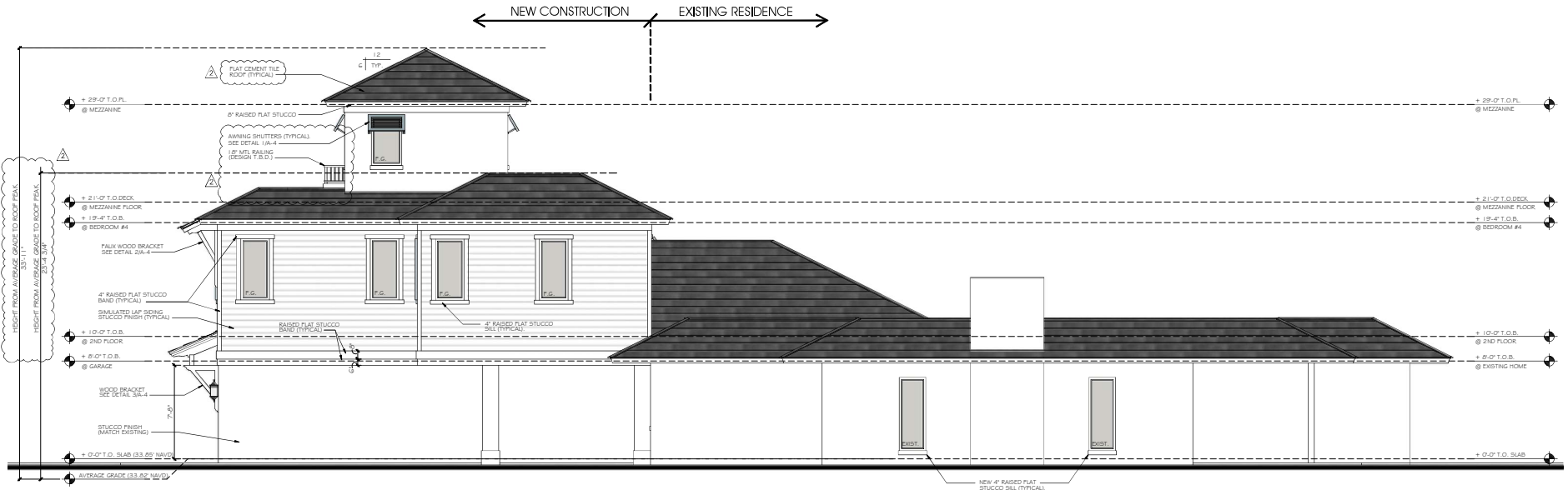
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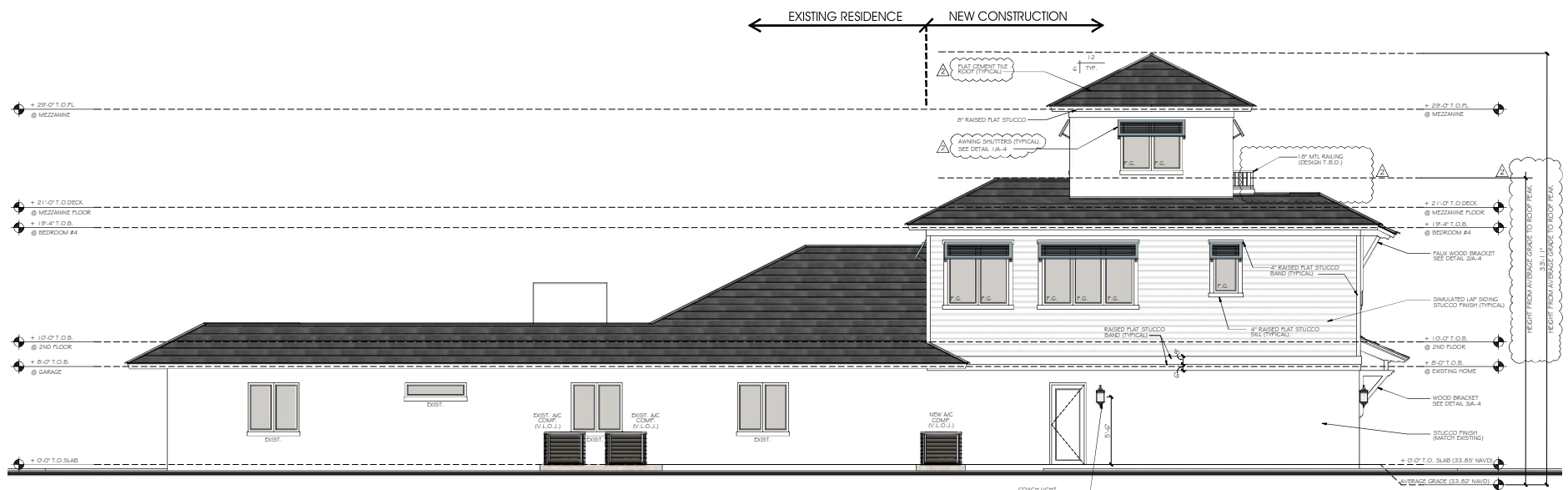
SEAL

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A-3
 OF 17 SHEETS
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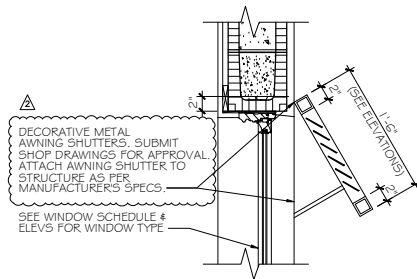


PROPOSED RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



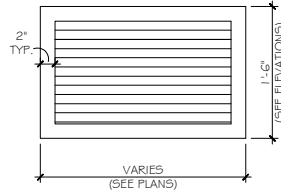
PROPOSED LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

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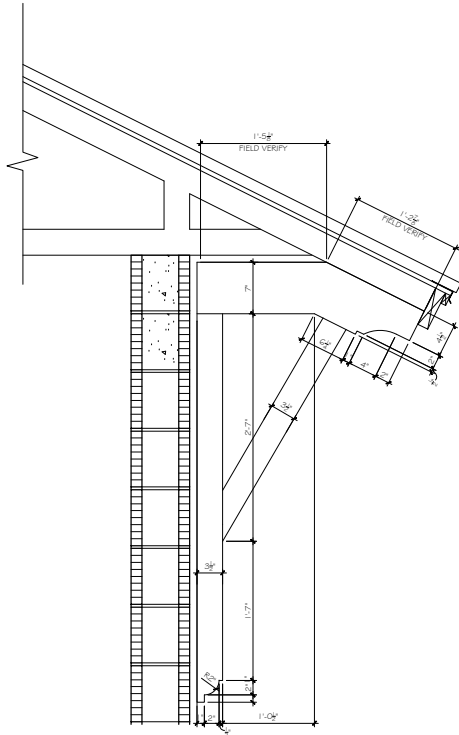
DECORATIVE METAL AWNING SHUTTERS. SUBMIT SHOP DRAWINGS FOR APPROVAL. ATTACH AWNING SHUTTER TO STRUCTURE AS PER MANUFACTURER'S SPECS.
SEE WINDOW SCHEDULE & ELEVS FOR WINDOW TYPE

SECTION



FRONT VIEW

1 AWNING SHUTTER
A-4 1/2" = 1'-0"

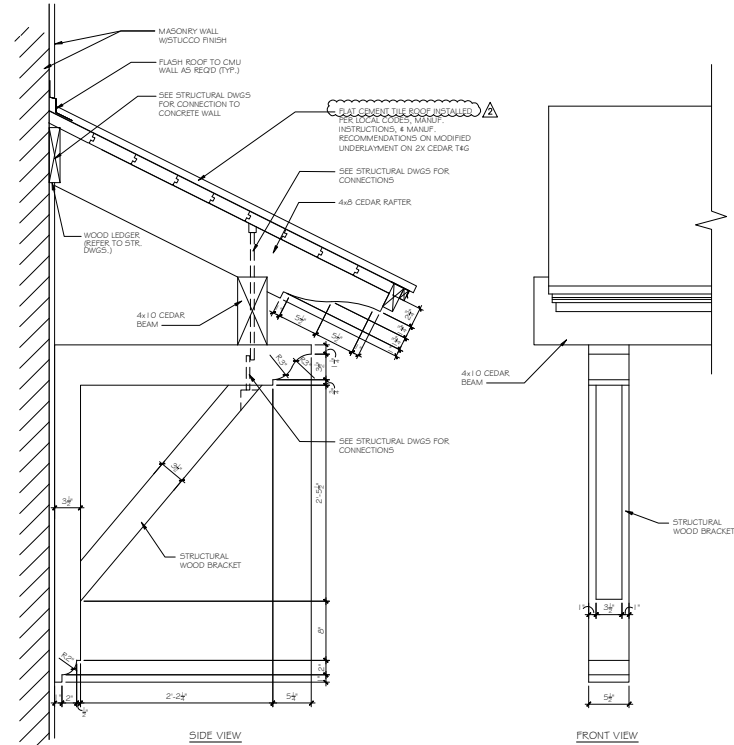


SIDE VIEW

FRONT VIEW

2 FAUX WOOD BRACKET
A-4 1/2" = 1'-0"

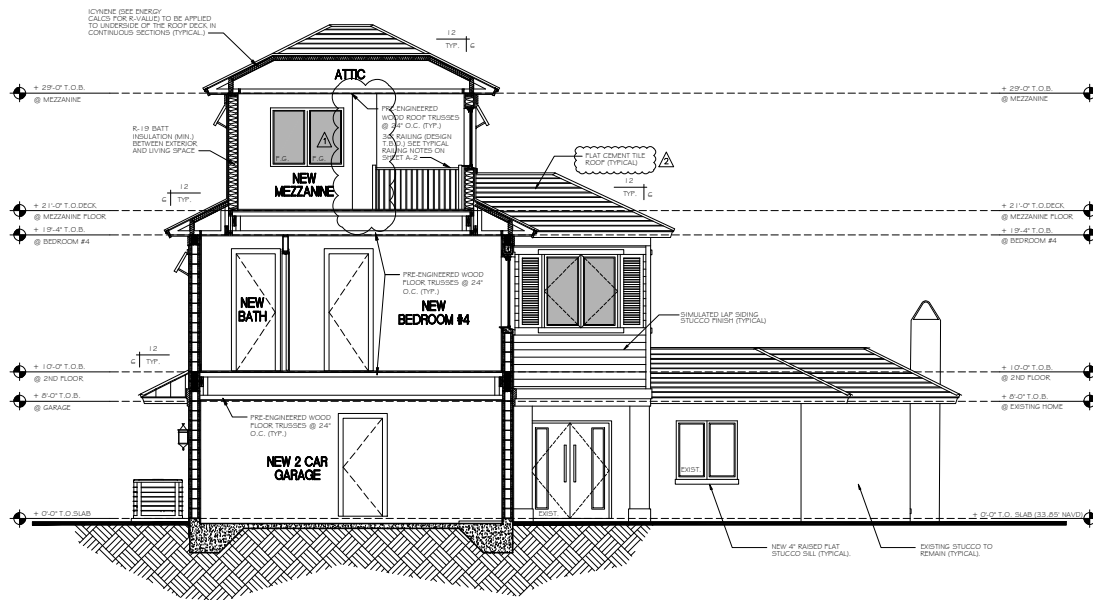
NOTE:
SUBMIT SHOP DRAWINGS OF ALL EXTERIOR DETAILS FOR APPROVAL PRIOR TO FABRICATION.



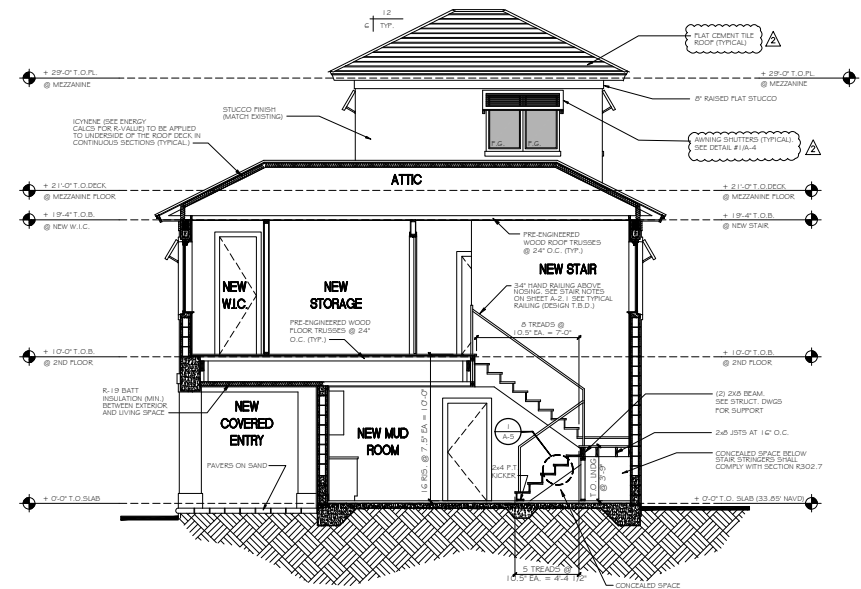
SIDE VIEW

FRONT VIEW

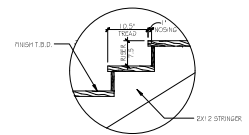
3 WOOD BRACKET
A-4 1/2" = 1'-0"



BUILDING SECTION 'A'
 SCALE: 1/4" = 1'-0"



BUILDING SECTION 'B'
 SCALE: 1/4" = 1'-0"



ENLARGED STAIR DETAIL
 SCALE: 1/8" = 1'-0"

August 5, 2024

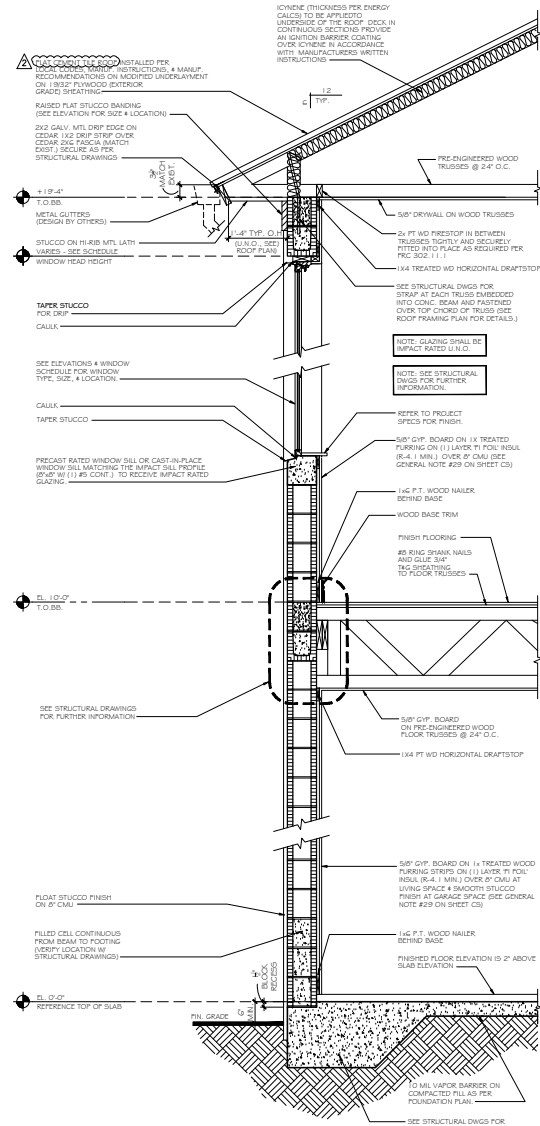
DOOR SCHEDULE			
NO.	SIZE	TYPE	REMARKS
1	18'-0" X 7'-0"	OVERHEAD GARAGE DOOR	4 PANEL MFL OR W/ APPLIED COMP. PNL3 & GLAZING (INSUL)
2	2'-0" X 6'-0" X 1-3/4"	SWING MINERAL CORE	FIBERGLASS - RAISED PANEL
3	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD - ISG 30MIN. FIRE RATED DOOR, SELF CLOSING
4	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD
5	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD
6	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD
7	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD
8	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD
9	2'-4" X VERIFY	TEMP GL SHWR DR ENCLOSURE	FRAMELESS
10	2'-0" X 6'-0" X 1-3/4"	POCKET	WOOD
11	2'-0" X 6'-0" X 1-3/4"	SWING	WOOD

WINDOW SCHEDULE				
TAG	SIZE (W X H)	TYPE	HD HEIGHT	REMARKS
A	2'-4" X 5'-0"	FIXED GLASS	8'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
B	(2) 2'-0" X 5'-0"	FAIR CASSEMENT	8'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
C	2'-0" X 4'-0"	FIXED GLASS	8'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
D	(3) 2'-4" X 5'-0"	TRIPLE FIXED GLASS	8'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
E	(2) 2'-0" X 5'-0"	FAIR FIXED GLASS	10'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
F	2'-0" X 5'-0"	FIXED GLASS	10'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
G	2'-0" X 4'-0"	FIXED GLASS	7'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
H	2'-0" X 4'-0"	FIXED GLASS	7'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
I	(2) 3'-0" X 4'-0"	FAIR FIXED GLASS	7'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.
J	10'-0" X 4'-0"	FAIR FIXED GLASS	7'-2"	VERIFY OPENING FOR SIZE & SISE ELEV.

• DENOTES EGRESS WINDOWS
 • HEIGHT TAKEN FROM 0'-0" REF. SLAB.

SOFFIT/CEILING STUCCO NOTE
 STUCCO APPLIED TO H-RIBBED METAL LATH (HORIZONTAL APPLICATION) SHALL HAVE THE LATH INSTALLED IN ACCORDANCE WITH 903.7 (ASTM C 1063 & ASTM C926) WITH A 1/4" MIN. EMBEDMENT OF ITS FASTENERS.

VAPOR BARRIER NOTE
 FOR STUCCO APPLICATION OVER WOOD FRAME WALLS PROVIDE A DOUBLE VAPOR BARRIER. (PAPER BACKED METAL LATH OVER TYVEK HOMEWRAP).



DOOR NOTES:

- ALL GLASS WINDOWS & FRENCH EXTERIOR DOORS TO BE TINTED EXCEPT UNDER COVERED PORCH TO BE CLEAR (VERIFY).
- ALL EXTERIOR DOOR (SWING) TO BE 1 3/4" SOLID CORE WITH APPLIED TRIM.
- ALL EXTERIOR DOORS, S.G.D., WINDOWS, & FIXED GLASS WINDOWS SHALL BE IMPACT RESISTANT.
- DOOR SELECTION BY OWNER. VERIFY & COORDINATE ACTUAL UNIT & MASONRY OPENINGS PRIOR TO CONSTRUCTION. COORDINATE WITH ARCHITECT.
- ALL METAL EXTERIOR DOORS FINISH TO MATCH WINDOWS U.N.O.
- EXTERIOR SWING DOOR SELECTION T.B.D. OWNER APPROVAL REQUIRED FOR DOOR SELECTION.
- OVERHEAD GARAGE DOOR SELECTION TO BE APPROVED BY OWNER.
- REFER TO ENERGY CALCULATIONS FOR GLAZING U-FACTOR AND SHGC.

POOL SAFETY FEATURES NOTE

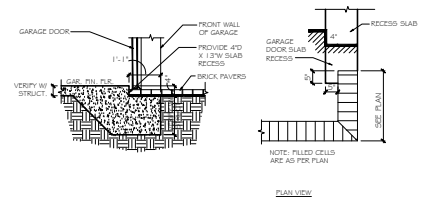
- THE POOL MUST BE ISOLATED FROM ACCESS FROM THE HOME BY AN ENCLOSURE THAT MEETS THE POOL BARRIER REQUIREMENTS OF SEC. 515.29, F.S.
- THE POOL MUST BE EQUIPPED WITH AN APPROVED SAFETY POOL COVER.
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DB A AT 10 FEET OR
- ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR.

WINDOW NOTES:

- HEAD HEIGHT TAKEN FROM LIVING TOP OF SLAB OR WD DECK ELEVATION U.N.O.
- TEMPERED GLAZING: BUILDER & WINDOW MANUF. TO VERIFY OTHER LOCATIONS REQUIRING TEMPERED GLAZING PER FBC 2023.
- ALL WINDOWS TO BE IMPACT RESISTANT.
- SUBMIT SHOP DRAWINGS FOR ALL VERTICAL, HORIZONTAL & FIELD APPLIED MULLIONS TO BUILDING DEPARTMENT.
- ALL WINDOW FINISHES TO BE SELECTED BY OWNER. VERIFY & COORDINATE ACTUAL UNIT & MASONRY OPENINGS PRIOR TO CONSTRUCTION. COORDINATE WITH ARCHITECT.
- WINDOW SELECTION T.B.D. OWNER APPROVAL REQUIRED FOR WINDOW SELECTION.
- REFER TO ENERGY CALCULATIONS FOR GLAZING U-FACTOR AND SHGC.

DOOR WIND PRESSURES					
TAG	WIDTH (IN)	HEIGHT (IN)	AREA (SQFT)	POS (PSF)	NEG (PSF)
1	192	84	112.00	44.66	-54.31
2	32	80	17.78	51.00	-55.49

WINDOW WIND PRESSURES					
TAG	WIDTH (IN)	HEIGHT (IN)	AREA (SQFT)	POS (PSF)	NEG (PSF)
A	28	60	11.67	52.45	-69.88
B	60	60	25.00	49.83	-64.63
C	24	48	8.00	52.98	-57.47
D	90	60	37.50	48.43	-52.92
E	60	60	25.00	49.83	-64.63
F	30	60	12.50	52.21	-69.41
G	30	48	10.00	52.98	-70.94
H	24	48	8.00	52.98	-70.94
I	72	48	24.00	49.97	-54.46
J	60	48	20.00	50.60	-66.17



2 A-6 GARAGE DOOR RECESS N.T.S.

1 A-6 TYPICAL 2 STORY WALL SECTION SCALE: 3/4"= 1'-0"

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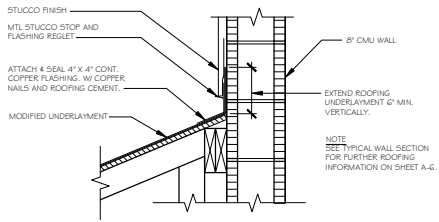
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 APPLICABLE: D.A.R./D.F.T.
 ISBN NO: 24-0101
 REVISIONS:
 MECHANICAL REVISIONS
 1-18-2024

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 498 N. DRA CIRCLE
 TOWN OF JUNO BEACH
 FLORIDA

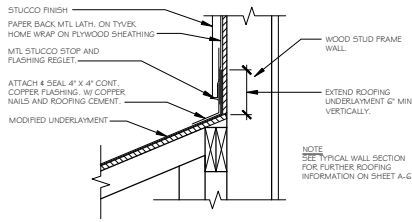
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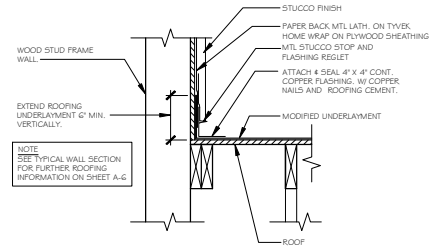
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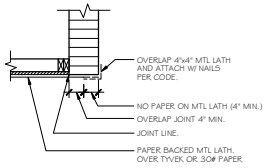
1 FLASHING DETAIL - WOOD TO MASONRY
A-6.1 1-1/2" = 1'-0"



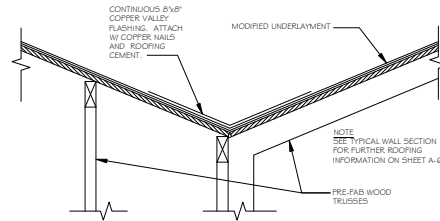
2 ROOF TO WALL FLASHING DETAIL #1
A-6.1 1-1/2" = 1'-0"



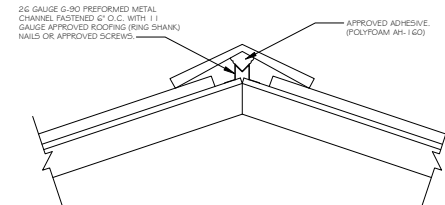
3 ROOF TO WALL FLASHING DETAIL #2
A-6.1 1-1/2" = 1'-0"



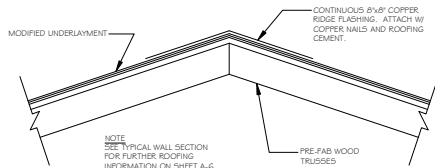
4 FLASHING AT WOOD TO MASONRY WALL
A-6.1 3/4" = 1'-0"



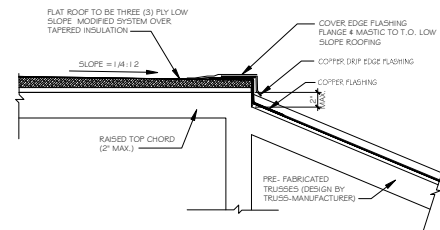
5 CRICKET & VALLEY FLASHING DETAIL
A-6.1 1-1/2" = 1'-0"



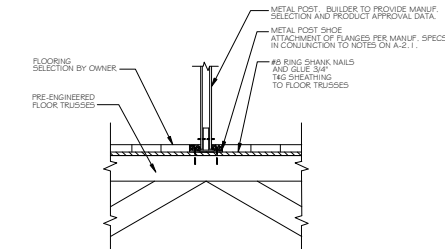
6 FLAT ROOF RIDGE ATTACHMENT DETAIL
A-6.1 1-1/2" = 1'-0"



7 RIDGE FLASHING DETAIL
A-6.1 1-1/2" = 1'-0"



8 FLAT ROOF FLASHING DETAIL
A-6.1 1-1/2" = 1'-0"



9 RAILING TO WOOD DECK DETAIL
A-6.1 1-1/2" = 1'-0"

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A.P.B. REVISIONS
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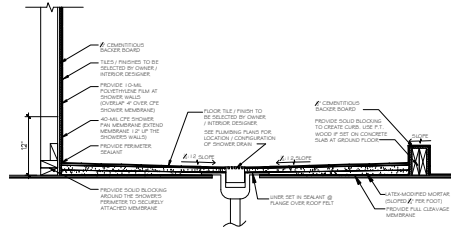
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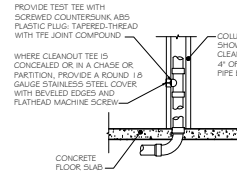
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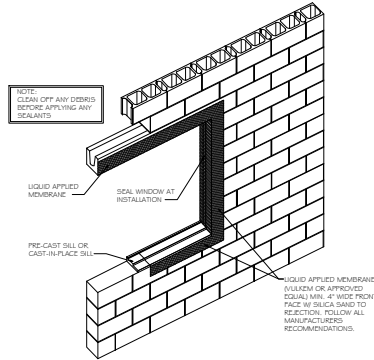


1 SHOWER AND CURB ON FRAMED FLOOR
 A-6.2 N.T.S.

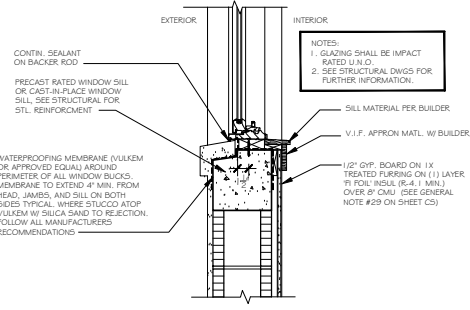


NOTES:
 1. PROVIDE WCD WHERE SHOWN ON PLAN, AND ON SANITARY WASTE BRANCHES NOT SERVED WITH A FLOOR CLEANOUT. LOCATE ABOVE FUTURE FLOOD RIM WITHIN 4" OF FLOOR. CONSULT LOCAL CODES FOR OTHER WCD REQUIREMENTS.
 2. PIPE & PIPE FITTING MATERIALS OTHER THAN ABS WHERE ALLOWED BY F.B.C.

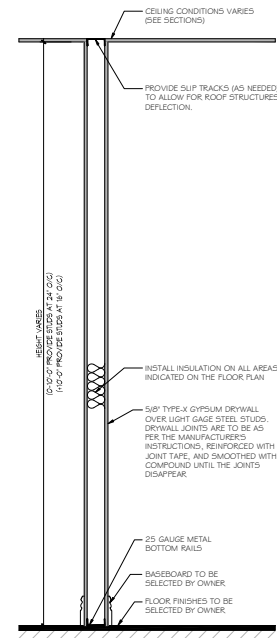
2 WALL CLEANOUT
 A-6.2 N.T.S.



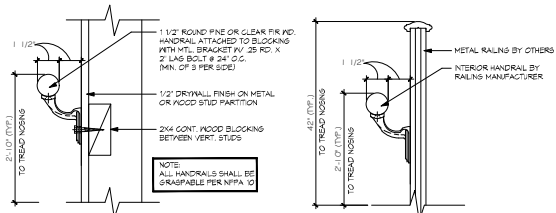
3 TYPICAL CMU WINDOW FLASHING DETAIL
 A-6.2 N.T.S.



4 TYPICAL WINDOW, JAMB SILL
 A-6.2 1-1/2" = 1'-0"



ELEVATION VIEW



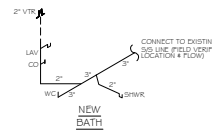
HANDRAIL TO WALL DETAIL **HANDRAIL AT STAIR RAILING DETAIL**

NOTE:
 1. ALL RICKETS TO MEET 4" DIA. SUBJECT
 2. IN ADDITION TO CONFORMANCE WITH REGS. REQUIREMENTS, ALL GUARDS SHALL CONFORM TO DEFLECTION LIMITS AS FOLLOWS: MAX. 1/2" IN 10'-0" WITH 260 LB. SINGLE POINT LOADS AT TOP OF GUARDRAIL. IN A HORIZONTAL HANDRAIL NORMAL TO THE FACE OF THE GUARDRAIL.
 3. PROVIDE 3 STRAINERS AT STAIR SYSTEM.

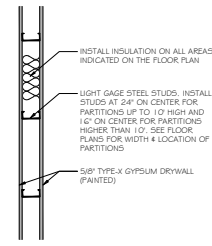
5 TYPICAL HANDRAIL DETAILS
 A-6.2 N.T.S.

PLUMBING NOTES

- ALL CLEANOUTS UP TO GRADE.
- NO VENT STACKS SHALL PASS THROUGH ROOF CRACKS OR VALLEYS.
- SIZE & LOCATION OF CLEANOUTS BY CONTRACTOR.
- FUTURE SUPPLY SIZES SHALL CONFORM TO PLUMBING SECTION OF THE FLORIDA BUILDING CODE: 2023 IBC.
- CAP OFF REMOVED PLUMBING FIXTURES AS NEEDED.
- MODIFY PIPING AS NEEDED TO CONNECT NEW FIXTURES TO EXISTING PIPING.

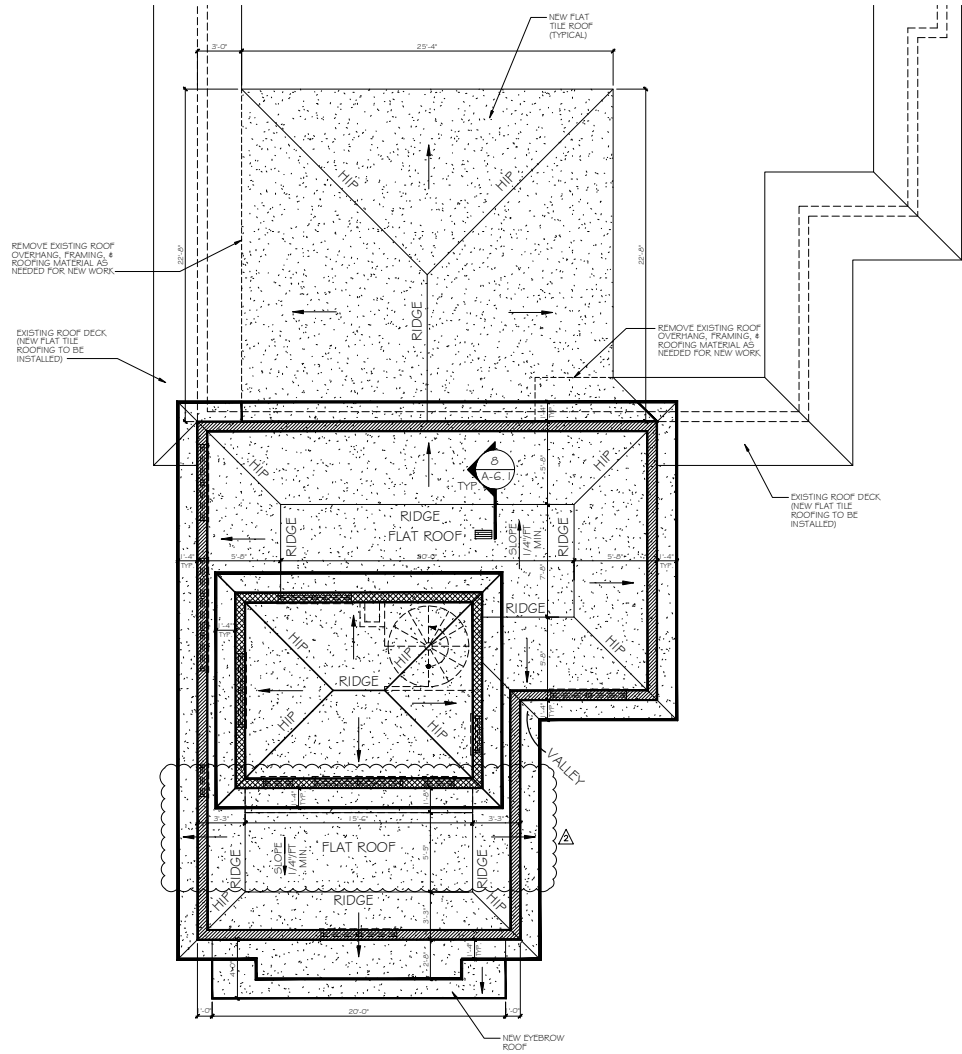


WASTE RISER DIAGRAM



PLAN VIEW

6 TYPICAL NON LOAD BEARING PARTITION
 A-6.2 SCALE: 1" = 11'-0"



TOP OF CONCRETE BEAM BEARING LEGEND

ELEV.	SYMBOL
+ 19'-4"	

TOP OF PLATE/G.T. BEARING LEGEND

ELEV.	SYMBOL
+ 29'-0"	

SLOPE = 6:12 (U.N.O.)

ROOF PLAN
 SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

- PROVIDE GFCI CIRCUITS FOR ALL BATHROOM, GARAGE, EXTERIOR, OUTLETS AND AS SHOWN ON PLANS. ALL WIRE SHALL BE THIN WALL COPPER, UNLESS NOTED OTHERWISE - VERIFY WITH BUILDER.
- PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY LOAD AND MISC.
- PROVIDE PRE-WIRED T.V. OUTLETS (FOR CABLE OR ANTENNA IN ATTIC) AS SHOWN PER CONTRACT.
- ELECTRIC FIXTURES AND APPLIANCES SHALL BE U.L. APPROVED AS PER CONTRACT.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT ALL EQUIPMENT AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER, AND AS PER MANUFACTURERS RECOMMENDATIONS.
- MATERIALS AND INSTALLATION, AS A MINIMUM, ARE TO CONFORM WITH THE 2020 NATIONAL ELECTRICAL CODE (N.E.C.), 2019 N.F.P.A. 70, 2001 N.F.P.A. 101, 2023 FLORIDA FIRE PREVENTION CODE, 2023 FLORIDA BLDG CODE (8TH EDITION), LOCAL CODES AND ORDINANCES, INCLUDING ALL AMENDMENTS TO THE N.E.C.
- EQUIPMENT, WHERE APPLICABLE, WILL BE LISTED WITH THE UNDERWRITERS LABORATORIES, INC. QUALITY AND WORKMANSHIP ESTABLISHED BY DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REDUCED BY THE ABOVE MENTIONED CODES.
- DISCONNECT SWITCHES SHALL BE H.F.P. RATED, GENERAL DUTY, QUICK-MAKE, QUICK-BREAK TYPE. ENCLOSURES SHALL BE AS REQUIRED BY N.E.C. AND LOCATION (WEATHERPROOF OUTDOOR, NEMA 1 INDOOR). ENGRAVED LAMINATED PLASTIC IDENTIFICATION PLATES SHALL BE FURNISHED AND INSTALLED ON ALL DISCONNECT SWITCHES, CONTACTORS AND STARTERS.
- ROMEX IS ACCEPTABLE FOR BRANCH CIRCUIT WIRING INDOORS. PROVIDE THINWALL COPPER WIRE U.N.O.
- ALL 120V, 15V AND 20 AMP CIRCUITS FEEDING BEDROOMS, SMOKE DETECTORS, 4 LIVING AREAS MUST HAVE ARC FAULT PROTECTION. FULLY COMPLY W/ NEC ARTICLE 210.12(A).
- OUTDOOR LANDSCAPE LIGHTING AND JUNCTION BOXES TO BE COORDINATED WITH LANDSCAPE CONSULTANT/COMPANY.
- STEREO PRE-WIRE, SPEAKERS, UNIT, ETC. TO BE COORDINATED WITH AUDIOVISUAL CONSULTANT/COMPANY.
- ALL THERMOSTAT LOCATIONS TO BE COORDINATED AND APPROVED BY CONTRACTOR PRIOR TO CONSTRUCTION. COMPLY ALSO W/ NOTE #25.
- ALL CENTRAL VACUUM INLET PORT LOCATIONS TO BE COORDINATED AND APPROVED BY CONTRACTOR PRIOR TO INSTALLATION.
- INCOMING ELECTRICAL SERVICE LOCATIONS TO BE COORDINATED WITH F.P.L. TRANSFORMER LOCATION.
- FIELD VERIFY LOCATION OF F.P.L. ELECTRIC METER AND DISCONNECTS. COORDINATE LOCATIONS OF W/WHI OUTLETS, HOSE BIBS, SHOWERS, A/C CONDENSING UNITS, ETC. WITH ACTUAL ELECTRIC SERVICE LOCATIONS.
- MAXIMUM NUMBER OF RECEPTACLES PER CIRCUIT SHALL BE PER APPLICABLE CODES.
- ALL RECEPTACLES WITHIN 6'-0" OF SINK SHALL BE G.F.I. OUTLETS.
- ALL CLOSET LIGHTING SHALL COMPLY WITH NEC 410.14.
- SMOKE DETECTORS SHALL BE HARD WIRED AND HAVE SELF CONTAINED BATTERY BACK-UP. DETECTORS SHALL BE TANDDEM WIRED SO ALL DETECTORS SOUND SIMULTANEOUSLY.
- SMOKE DETECTORS SHALL BE INSTALLED AT LEAST 3 FEET FROM BATHROOM SINKS, CEILING FANS, & MECHANICAL DUCTS.
- ALL RECESSIBLE HURST LIGHTING FIXTURES TO BE TYPE IC RATED WITH NO MORE THAN 2.0 CFM AIR MOVEMENT FROM THE CONDITIONED SPACE TO ATTIC AS PER ASTM E263-91. TESTED AT 75 PA AND LABELED.
- FIELD VERIFY HEIGHT OF ALL WALL MOUNTED LIGHT FIXTURES.
- IF THE HOME HAS GAS APPLIANCES OR AN ATTACHED GARAGE, THEN CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN 10 FEET OF SLEEPING ROOMS. DETECTORS SHALL BE HARD WIRED AND HAVE SELF CONTAINED BATTERY BACK-UP.
- PROVIDE TAMPER RESISTANT RECEPTACLES IN ACCORDANCE WITH NEC 406.12 & 210.52.
- COORDINATE ALL THERMOSTAT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CONTRACT DRAWINGS AT JOB SITE WITH COLORED MARKINGS INDICATING PROGRESS OF WORK. THIS SET OF CONTRACT DRAWINGS IS TO BE SEPARATE FROM AND IN ADDITION TO CONTRACTORS CONSTRUCTION SET. EVERY UNIT OR EQUIPMENT, DEVICE, CONDUIT AND WIRE IS TO BE MARKED WHEN INSTALLED. USE GREEN TO INDICATE INSTALLATION AS SHOWN ON DRAWINGS AND USE RED TO INDICATE FIELD CHANGES. UPON COMPLETION OF WORK, THIS SET OF CONTRACT DRAWINGS IS TO BE TURNED OVER TO, AND BECOME PROPERTY OF THE ARCHITECT.
- IF ELECTRICAL CONTRACTOR HAS QUESTIONS, OR IN HIS OPINION FINDS OMISSIONS OR ERRORS ON ELECTRICAL DOCUMENTS, IT IS HIS RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE ELECTRICAL ENGINEER IMMEDIATELY. IF ELECTRICAL CONTRACTOR PROCEEDS WITH ANY CHANGES TO THE CONTRACT DOCUMENTS, WITHOUT WRITTEN PRIOR APPROVAL FROM THE ARCHITECT, CONTRACTOR WILL NOT BE COMPENSATED.
- CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DRAWINGS AND EQUIPMENT OPERATION MANUALS TO THE BUILDING OWNER PRIOR TO FINAL ACCEPTANCE OR CLOSURE IN ACCORDANCE WITH F.P.C. ENERGY CONSERVATION, 2020 EDITION. SEE AND COMPLY ALSO WITH "ELECTRICAL AS-BUILT CAUTION" IN THESE PLANS.
- ALL PERMANENTLY INSTALLED LUMINAIRES (EXCLUDING THOSE IN KITCHEN APPL.) SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT PER FPEC ENERGY CONSERVATION CODE 2023, SECTION C405.1, R404.1.

ELECTRICAL LEGEND

N	NEW FIXTURE
E	EXISTING FIXTURE TO REMAIN
R	REMOVE EXISTING FIXTURE
RR	REMOVE EXISTING FIXTURE AND REPLACE WITH NEW FIXTURE (SEE PROPOSED ELECTRICAL PLAN)
RE	REMOVE EXISTING FIXTURE AND REPLACE WITH NEW FIXTURE (SEE PROPOSED ELECTRICAL PLAN)
RF	REMOVE EXISTING FIXTURE AND REPLACE WITH NEW FIXTURE DESIGNATION OR NOTE
---	NEW CIRCUIT
- - -	EXISTING CIRCUIT

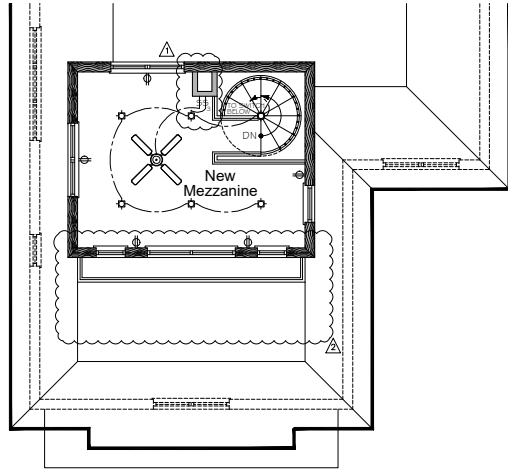
HI-HAT NOTE
ALL HI-HATS LIGHTS TO BE 4" MINIS (U.N.O.)

FIXTURE NOTE
ALL FIXTURES ARE NEW (U.N.O.)

ELECTRICAL SYMBOLS

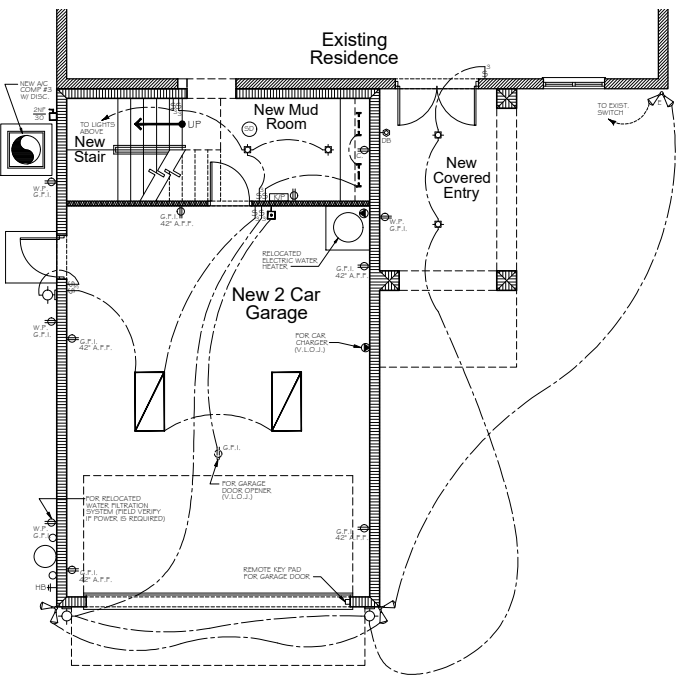
⊕	DUPLEX RECEPTACLE (SEE ELECTRICAL NOTE #40)	⊕	SECURITY KEY PAD	⊕	RECESSED LIGHT CLG. MOUNTED
⊕	DUPLEX RECEPTACLE AT BASEBOARD	⊕	LATCH ON BOX	⊕	RECESSED LIGHT WALL MOUNTED
⊕	DUPLEX RECEPTACLE AT 1P RWY. COUNTER	⊕	TELEVISION JACK, PREWIRED	⊕	LED HI-HAT CLG. MOUNTED
⊕	DUPLEX RECEPTACLE FLUSH IN FLOOR	⊕	TELEVISION JACK PREWIRED WITH ETHERNET PORT	⊕	LED HI-HAT VAPOR PROOF
⊕	DUPLEX RECEPTACLE TOP REC. SWITCHED	⊕	220-V. RECEPTACLE AT 12' A.F.F.	⊕	LED HI-HAT DIRECTIONAL SPOT
⊕	DUPLEX RECEPTACLE WEATHERPROOF	⊕	HEAT SENSIT.	⊕	LED MINI OVERBALL LIGHT
⊕	DUPLEX RECEPTACLE UNDER COUNTER	⊕	TELEPHONE OUTLET AT 12' A.F.F.	⊕	3/4" H. METER 4 DISC.
⊕	DUPLEX RECEPTACLE W/ USB CHARGING PORT	⊕	SWITCH FOR GARAGE DOOR OPENER	⊕	BREAKER PANEL
⊕	SWITCH SINGLE POLE	⊕	SPEAKER (V.L.O.)	⊕	EXHAUST FAN
⊕	SWITCH THREE WAY	⊕	SECURITY LIGHTS	⊕	RECTANGULAR LED LIGHT FIXTURE
⊕	SWITCH FOUR WAY	⊕	SMOKE DETECTOR	⊕	LED UNDER CAB LIGHT
⊕	SWITCH WEATHERPROOF	⊕	SWITCH DISCONNECT	⊕	LED ABOVE CAB LIGHT
⊕	SWITCH THERMOSTAT	⊕	FRAGILE LIGHT W/ OR RED LIGHT	⊕	DOORBELL
⊕	SWITCH DIMMER	⊕	TRIP/SHOCK HAZARDOUS DETECTOR (CONDUIT UNDER PLASTER BACK-UP CEILING MOUNTED)	⊕	PLAC THERMOSTAT
⊕	SWITCH FUSED	⊕		⊕	AIR RETURN GRILLE
		⊕		⊕	AIR SUPPLY GRILLE

TV WALL NOTE
PROVIDE PLYWOOD BACKING & WOOD STUD WALL AT ALL INTERIOR WALL MOUNTED TV LOCATIONS.



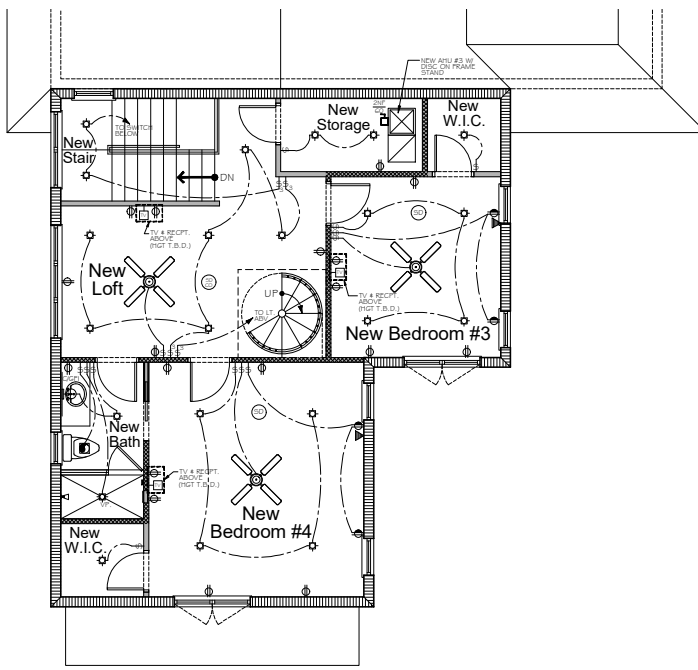
MEZZANINE FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



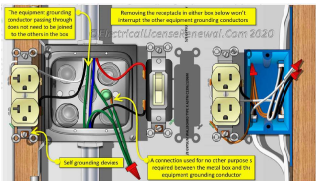
GROUND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



RCPT GROUNDING
NTS

YRA DESIGN INC.
ARCHITECTURE • PLANNING • INTERIORS
AA-0002536
5707 SOUTH DIXIE HIGHWAY, SUITE 8
WEST PALM BEACH, FL 33405
TEL: 561-493-1500 FAX: 561-493-1500
WEBSITE: www.yradesign.com
EMAIL: yradesign.com

Building A Better Tomorrow.
TCBA
TREASURE COAST BUILDERS ASSOCIATION
MARINE • PLUICE • INDIAN WEE • OKEECHOOBE
MEMBER

DATE: JANUARY 11, 2024
APPROVED: D.A.R./D.F.T.
JOB NO: 24-0101
REVISIONS:
MECHANICAL REVISIONS
ELECTRICAL REVISIONS
A.P.B. REVISIONS
11-2024

AN ADDITION FOR:
MATTEN RESIDENCE
491 N. DRA CIRCLE
TOWN OF JUNO BEACH
FLORIDA

PERMIT REVIEW SET
3-15-2024

SEAL

SHEET NO.
E-1
OF 17 SHEETS
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SPECIFICATIONS:				EXISTING				MAIN:		MLO			
AMPACITY				200A				LOCATION:		LAUNDRY			
VOLTAGE:				120/240V, 1PH, 3W RE				MOUNT:		RECESSED			
AMPS	POLE	TOTAL VA	WIRE SIZE	SRD SIZE	DESCRIPTION	CIRC No	CIRC No	GRD SIZE	WIRE SIZE	TOTAL VA	POLE	AMPS	
30	2	*	E	E	OU-1	1	2	DRYER	E	E	400	2	30
30	2	*	E	E	OU-1	3	4	DRYER	E	E	400	2	30
25	2	*	E	E	OU-2	5	6	AHU-1	E	E	800	2	50
25	2	*	E	E	OU-2	7	8	AHU-1	E	E	800	2	50
50	2	500	E	E	OVEN	9	10	AHU-2	E	E	500	2	40
50	2	500	E	E	OVEN	11	12	AHU-2	E	E	500	2	40
50	2	500	E	E	COOKTOP	13	14	BEDROOM 3(N)	E	E	400	2	30
50	2	500	E	E	COOKTOP	15	16	BEDROOM 4(N)	E	E	400	2	30
60	2	800	E	E	CAR CHARGER	17	18	WATER HEATER	E	E	800	2	30
60	2	800	E	E	CAR CHARGER	19	20	WATER HEATER	E	E	800	2	30
20	1	100	E	E	DISHWASHER	21	22	SMALL APPLIANCE	E	E	100	1	20
20	1	100	E	E	DISHWASHER	23	24	SMALL APPLIANCE	E	E	100	1	20
20	1	100	E	E	DISHWASHER	25	26	ITCHER LITE	E	E	100	1	15
15	1	#	E	E	GARAGE LIT	27	28	HALLWAY W/LIT	E	E	#	1	15
15	1	#	E	E	BACK BEDROOM CABINA	29	30	HOOD	E	E	300	1	15
15	1	#	E	E	MASTER BEDROOM CLOSET	31	32	MICRO	E	E	150	1	15
15	1	#	E	E	WINE ROOM STAIR N	33	34	WINE COOLER	E	E	800	1	15
15	1	#	E	E	NEW BATH N	35	36	MEZANINE CLOSET (N)	E	E	#	1	15
					SPACE	37	38	SPACE					
					SPACE	39	40	SPACE					

PANEL-A				PANEL-B			
DEMAND LOAD CALCULATIONS				DEMAND LOAD CALCULATIONS			
AREA (SQ. FT.) = 2583 SQ FT				AREA (SQ. FT.) = 1250 SQ FT			
2583@ 3VA PER SQ. FT. = 7749 VA				1250@ 3VA PER SQ. FT. = 3750 VA			
CONNECTED GENERAL LOAD	10749 VA			CONNECTED GENERAL LOAD	5250 VA		
RECEPT 1st 3,000 VA @ 100%	3,000 @100%	3,000	VA	RECEPT 1st 3,000 VA @ 100%	3,000 @100%	3,000	VA
FROM 3001 to 10000 VA @35%	7,749 @35%	2,712	VA	FROM 3001 to 10000 VA @35%	2,250 @35%	788	VA
FEED @25%	0 @25%	0	VA	FEED @25%	0 @25%	0	VA
AIR CONDITIONERS HEAT @ 100%	11000 @100%	11,000	VA	AIR CONDITIONERS HEAT @ 100%	900 @100%	5,000	VA
NUMBER OF APPLIANCES:	3			NUMBER OF APPLIANCES:	3		
APPLIANCE LOAD @75%	4,800 @75%	3,600	VA	NEC 220.53-APPLIANCE LOAD @100%	3,000 @100%	3,000	VA
OTHER LOAD (DRYER/RANGE) @100%	27,000 @100%	27,000	VA	OTHER LOAD (DRYER/RANGE) @100%	0 @100%	0	VA
LARGEST MOTOR LOAD @125%	0 @125%	0	VA	LARGEST MOTOR LOAD @125%	2,000 @125%	2,500	VA
	TOTAL LOAD =	47,312	VA		TOTAL LOAD =	14,288	VA
	CURRENT PER PHASE	= TOTAL LOAD (VA) / (240V)			CURRENT PER PHASE	= TOTAL LOAD (VA) / (240V)	
		= 197	AMPS			= 60	AMPS

VERIFY ALL EQUIPMENT LOAD AND BREAKER AND WIRE SIZES PRIOR TO INSTALLATIONS

SPECIFICATIONS:				EXISTING				MAIN:		MLO			
AMPACITY				80A				LOCATION:		LAUNDRY			
VOLTAGE:				120/240V, 1PH, 3W RE				MOUNT:		RECESSED			
AMPS	POLE	TOTAL VA	WIRE SIZE	SRD SIZE	DESCRIPTION	CIRC No	CIRC No	GRD SIZE	WIRE SIZE	TOTAL VA	POLE	AMPS	
20	1	#	E	E	DINING ROOM	1	2	POOL PUMP	E	E	200	2	20
20	1	100	E	E	BRIDGE	3	4	POOL PUMP	E	E	200	2	20
20	1	#	E	E	BATH ST	5	6	GARAGE DOOR	E	E	500	1	30
15	1	#	E	E	LIVING ROOM/HALL	7	8	WASHER	E	E	100	1	20
15	1	#	E	E	FRONT BEDROOM	9	10	POOL LIT	E	E	#	1	15
					SPACE	11	12	GUEST BATH/LAUNDRY GR	E	E	100	1	15
30	2	*	E	E	OU-1(N)	13	14	AHU-1(N)	E	E	800	2	50
30	2	*	E	E	OU-1(N)	15	16	AHU-1(N)	E	E	800	2	50

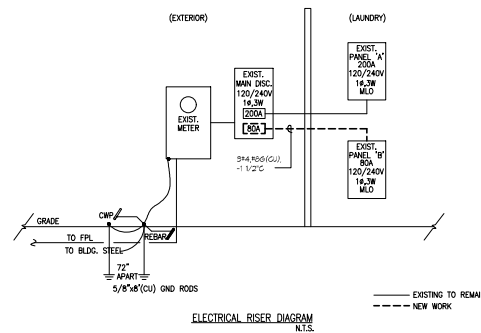
PANEL-B			
DEMAND LOAD CALCULATIONS			
AREA (SQ. FT.) = 1250 SQ FT			
1250@ 3VA PER SQ. FT. = 3750 VA			
CONNECTED GENERAL LOAD	5250 VA		
RECEPT 1st 3,000 VA @ 100%	3,000 @100%	3,000	VA
FROM 3001 to 10000 VA @35%	2,250 @35%	788	VA
FEED @25%	0 @25%	0	VA
AIR CONDITIONERS HEAT @ 100%	900 @100%	5,000	VA
NUMBER OF APPLIANCES:	3		
NEC 220.53-APPLIANCE LOAD @100%	3,000 @100%	3,000	VA
OTHER LOAD (DRYER/RANGE) @100%	0 @100%	0	VA
LARGEST MOTOR LOAD @125%	2,000 @125%	2,500	VA
	TOTAL LOAD =	14,288	VA
	CURRENT PER PHASE	= TOTAL LOAD (VA) / (240V)	
		= 60	AMPS

VERIFY ALL EQUIPMENT LOAD AND BREAKER AND WIRE SIZES PRIOR TO INSTALLATIONS

ELECTRICAL LOAD CALCULATIONS		
ONE-FAMILY DWELLING		
MAIN SERVICE SIZING		
LIGHTING @ 3VA PER SQUARE FOOT	3833 SQ.FT.	11,499 VA
SMA-L APPLIANCE @ 1500 VA EACH	2 BRANCH CIRCUITS	3,000 VA
LAUNDRY RCPTS @ 1500 VA EACH	1 BRANCH CIRCUITS	1,500 VA
MICROWAVE	1	1,500 VA
COOKTOP	1	5,000 VA
OVEN	1	5,000 VA
REFRIGERATOR	1	1,000 VA
HOOD	1	300 VA
WATER HEATER	1	4,500 VA
DISHWASHER	1	1,500 VA
DISPOSAL	1	1,000 VA
DRYER	1	4,500 VA
WASHER	1	1,500 VA
GARAGE DOOR OPENER	1	500 VA
WINE COOLER	1	2,000 VA
POOL PUMP	1	2,000 VA
TOTAL LOADS (PARTIAL)		44,799 VA
APPLICATION FOR DEMAND FACTOR		
FIRST 10KVA OF GENERAL LOAD @ 100%		10,000 VA
REMAINDER OF GENERAL LOAD @ 40%		13,920 VA
AIR CONDITIONERS HEAT @ 65%		10,400 VA
CAR CHARGER @ 125%		10,000 VA
TOTAL LOAD =		44,320 VA
CURRENT PER PHASE	= TOTAL LOAD (VA) / (240V)	
CURRENT PER PHASE	=	185 AMPS

- ### MECHANICAL NOTES
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES, REGISTERS IN THE FIELD WITH ELECTRICAL, LIGHTING, AND ARCHITECTURAL ELEMENTS.
 - COORDINATE LOCATION OF A/C UNITS AND FANS WITH BUILDING STRUCTURE SO THAT NO INTERFERENCE OCCUR.
 - BUILDER TO COORDINATE ALL DUCT LOCATIONS WITH ALL TRADES SO THAT NO INTERFERENCE OCCUR.
 - FURNISH AND INSTALL DISCONNECTED SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONING AS REQUIRED.
 - SEAL ALL DUCTS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.
 - PROVIDE AND INSTALL FLEXIBLE CONNECTIONS OF APPROVED TYPE AT ALL AC UNIT SUPPLY AND RETURN DUCT CONNECTIONS AND AT ALL FAN CONNECTIONS (AT THE INDIVIDUAL PIECES OF EQUIPMENT, WHERE APPLICABLE).
 - THERMOSTAT LOCATION SHALL BE APPROVED BY THE BUILDER AND/OR OWNER BEFORE INSTALLATION.
 - ALL EXHAUST FANS SHALL BE A MINIMUM OF 1'-0" FROM ALL AC UNIT FRESH AIR INTAKES.
 - SWITCH TOILET EXHAUST FAN SEPARATELY FROM BATHROOM LIGHT FIXTURES UNLESS OTHERWISE NOTED.
 - AIR CONDITIONING CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL EQUIPMENT AND DUCT WORK. A/C CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A/C EQUIPMENT SPECIFIED ON THE ENERGY CALCULATIONS.

- ### ELECTRICAL AS-BUILT CAUTION
- CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DRAWINGS AND EQUIPMENT OPERATION MANUALS TO THE BUILDING OWNER PRIOR TO FINAL ACCEPTANCE OR CLOSEOUT IN ACCORDANCE WITH F.B.C. ENERGY CONSERVATION, 2020 EDITION.
 - CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CONTRACT DRAWINGS AT JOB SITE WITH COLORED MARKINGS INDICATING PROGRESS OF WORK. THIS SET OF CONTRACT DRAWINGS IS TO BE SEPARATE FROM AND IN ADDITION TO CONTRACTORS CONSTRUCTION SET. EVERY UNIT OF EQUIPMENT, DEVICE, CONDUIT AND WIRE IS TO BE MARKED WHEN INSTALLED. USE GREEN TO INDICATE INSTALLATION AS SHOWN ON DRAWINGS AND USE RED TO INDICATE FIELD CHANGES. UPON COMPLETION OF WORK, THIS SET OF CONTRACT DRAWINGS IS TO BE TURNED OVER TO, AND BECOME PROPERTY OF THE ARCHITECT.
 - CONTRACTOR SHALL PROVIDE ACCURATE REDLINE AS-BUILT MARKUPS TO THE ELECTRICAL PANEL SCHEDULES INCLUDING BREAKER NUMBER, BREAKER SIZE, AND CIRCUIT LOAD.
 - SEE ALSO AND COMPLY WITH ALL PROVISIONS OF "ELECTRICAL NOTES."
 - SHOULD ELECT. CONTRACTOR INSTALL RISER/FEEDERS CONFIGURATION DIFFERENT THAN THAT SHOWN, DIAGRAM / SKETCH NEW RISER & PROVIDE NEW SERVICE CALCS.



DATE: JANUARY 11, 2024	APPROVED: D.A.R./D.F.T.
REVISIONS:	REVISIONS
MECHANICAL	REVISIONS
1-2024	REVISIONS

AN ADDITION FOR:
MATTEN RESIDENCE
 491 N DRA CIRCLE
 TOWN OF JUNO BEACH
 FLORIDA

PERMIT REVIEW SET
 3-15-2024

SEAL

SHEET NO.
E-2
 OF 17 SHEETS
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Town of Juno Beach
340 Ocean Drive; Juno Beach, FL 33408
Phone: (561) 626-1122; Fax: (561) 775-0812

TOWN OF JUNO BEACH
For Official Use Only
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2024 SEP 20 P 3:14
TOWN OF JUNO BEACH
RECEIVED

Appearance Review Board Application

The following information and items shall be provided to the Planning and Zoning Department for processing and dissemination in association with scheduling of submittals before the Town's Planning and Zoning Board. The Board meets on the First Monday of each month, unless otherwise changed, with the submittal deadline being on the Monday twenty-eight (28) days prior to the meeting, all comments shall be addressed fourteen (14) days prior to the meeting. A pre-application meeting with staff is required prior to the submittal of the application.

Date: 7/16/24

Project Address: 491 N LYRA CIRCLE, JUNO BEACH FL 33408

Property Control Number: 28-43-41-28-26-00-0130 Zoning District: RS-1

Description of Request: (please provide a brief, comprehensive and summarized description of the proposed project below).

REMODEL of EXTERIOR RESIDENCE AND ADDITION TO AN
EXISTING SINGLE FAMILY RESIDENCE

Design Professional Name: YRA DESIGN, INC / DAVIS TAMBURINI License #: AR-97338

Phone Number: 561-493-1500 E-mail: DTAMBURINI@YRAINC.COM

Construction Company Name: CAWDELL CONSTRUCTION GROUP, LLC

Phone Number: 561-612-7143 E-mail: JOSH@CCG-PALMBEACH.COM

Property Owner's Name: AMANDA DELGADO-MATTERN

Owner's Address (if different from project address): 491 N LYRA CIRCLE, JUNO BCH, FL

Phone Number: 407-968-1500 E-mail: AMADDEL380@GOL.COM

Applicant/Owner signature: [Signature] Date: 7/16/24

Please note: The Appearance Review Board (ARB) review solely addresses the Appearance Criteria of the proposed project, it does not encompass a zoning, engineering, or building review. Further reviews by Town staff will commence once a building permit has been submitted.

TYPE OF SURVEY:

- BOUNDARY
- CONSTRUCTION
- CONDOMINIUM
- ALTA/NSPS
- TOPOGRAPHIC
- SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

PROPERTY IMPROVEMENTS-OTHER



BEARING REFERENCE:

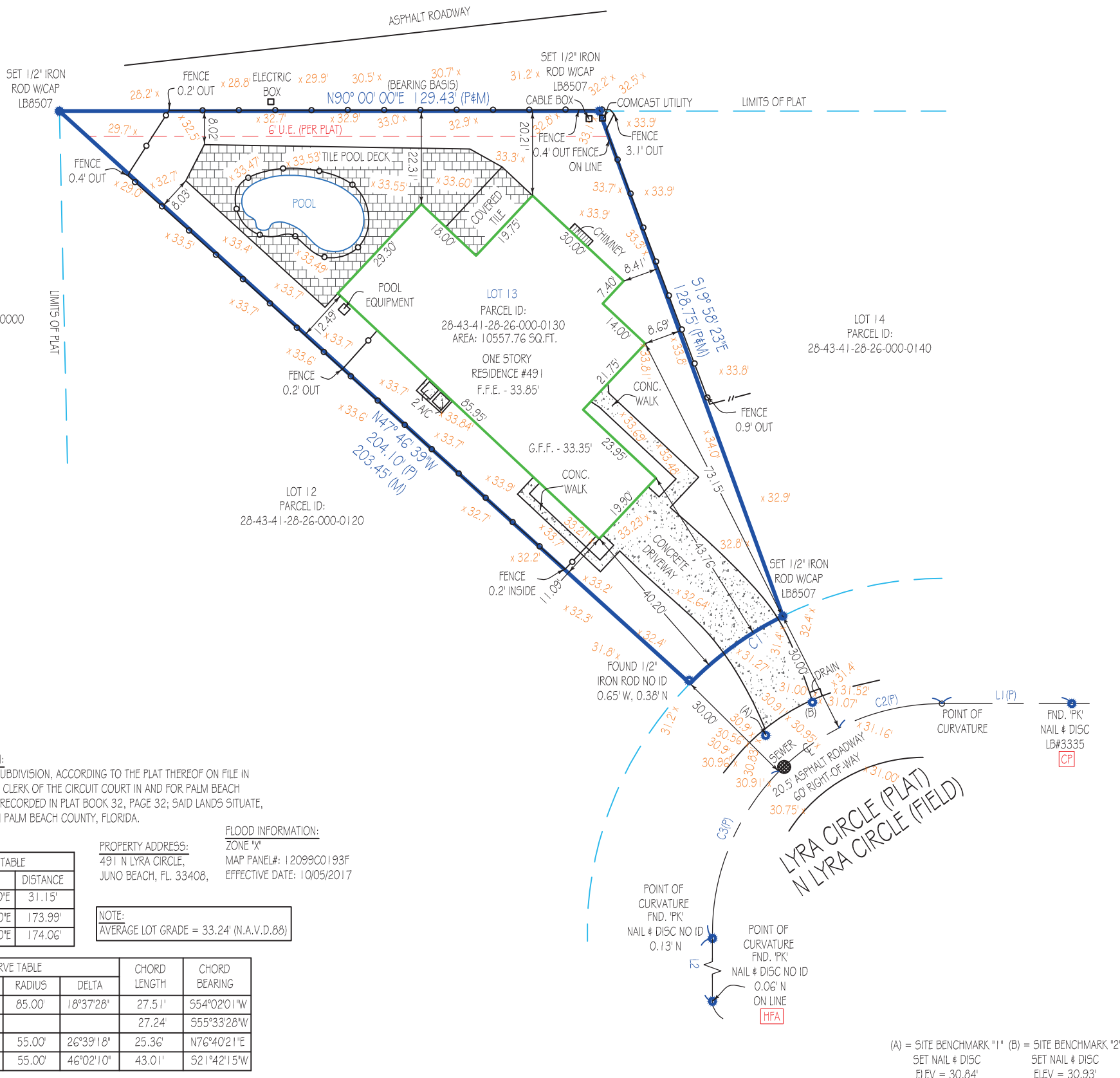
THE NORTH LINE OF SUBJECT LOT AS N 90°00'00" E
ALL BEARINGS SHOWN HEREON REFERENCED THERETO.



AERIAL PHOTOGRAPH
(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)

CERTIFIED TO
LUKE MATTERN

PARCEL ID:
28-43-41-28-46-000-0000



LEGAL DESCRIPTION:

LOT 13, TOMKUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 32, PAGE 32; SAID LANDS SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.

FLOOD INFORMATION:

ZONE: "X"
MAP PANEL#: 12099C0193F
EFFECTIVE DATE: 10/05/2017

PROPERTY ADDRESS:
491 N LYRA CIRCLE,
JUNO BEACH, FL. 33408,

NOTE:
AVERAGE LOT GRADE = 33.24' (N.A.V.D.88)

LINE TABLE	
BEARING	DISTANCE
L1	N90° 00' 00"E 31.15'
L2(P)	S01° 18' 50"E 173.99'
L2(M)	S01° 18' 50"E 174.06'

CURVE TABLE				
LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1(P)	27.63'	85.00'	18°37'28"	27.51' 554°02'01"W
C1(M)			27.24'	555°33'28"W
C2	25.59'	55.00'	26°39'18"	25.36' N76°40'21"E
C3	44.19'	55.00'	46°02'10"	43.01' 921°42'15"W

(A) = SITE BENCHMARK "1" (B) = SITE BENCHMARK "2"
SET NAIL & DISC ELEV = 30.84' SET NAIL & DISC ELEV = 30.93'

"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

Platted Easements & Notable Conditions (unplatted easements also listed if provided): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

- 6' U.E. ALONG NORTHERLY BOUNDARY LINE OF SUBJECT LOT .
- FENCES EXTEND THROUGH THE NORTHERLY EASEMENT.

This survey has been issued by the following Landtec Surveying office:
840 U.S. HWY 1, Suite 330
North Palm Beach, FL 33408
Office: (561) 210-9344
Email: Construction@landtecsurvey.com
www.Landtecsurvey.com

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

A OR AL = ARC LENGTH	EL OR ELEV = ELEVATION	OHC = OVERHEAD CABLE	PP = POOL PUMP	UE = UTILITY EASEMENT
CA = CLEANOUT	EM = ELECTRIC METER	P = PLAT	PRC = POINT OF REVERSE CURVATURE	UP = UTILITY POLE
CA = CENTRAL ANGLE	F.F.E. = FINISHED FLOOR ELEV.	PC = POINT OF CURVE	PT = POINT OF TANGENCY	WM = WATER METER
CATV = CABLE TV RISER	FN = FOUND IRON ROD	PCC = POINT OF COMPOUND CURVATURE	QTR = QUARTER	WV = WATER VALVE
CF = CALCULATED FROM FIELD	FN = FOUND NAIL	PH = POOL HEATER	R = RADIUS	
CH = CHORD DISTANCE	FND = FOUND	PI = POINT OF INTERSECTION	RNG = RANGE	
CONC. = CONCRETE	G.F.F.E. = GARAGE FINISHED FLOOR ELEV.	PK = PARKER KAEHLON	ROW = RIGHT OF WAY	
CR = CALCULATED FROM RECORD	L = LEGAL DESCRIPTION	POB = POINT OF BEGINNING	SEC = SECTION	
DE = DRAINAGE EASEMENT	M = MEASURED	POC = POINT OF COMMENCEMENT	TR = TELEPHONE RISER	
			TWP = TOWNSHIP	

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):

⊙ = UTILITY POLE	⊙ = WELL	♿ = HANDICAP PARKING SPACE
⊙ = LIGHT POLE	⊙ = CENTER LINE	⊙ = SEC. QTR. CORNER
⊙ = CATCH BASIN	⊙ = PARTY WALL	⊙ = SECTION CORNER
⊙ = FIRE HYDRANT	⊙ = AIR CONDITIONER	
⊙ = MANHOLE	⊙ = SEPTIC LID	
⊙ = WATER VALVE	X = ELEV. SHOT	
⊙ = WATER METER		

LINETYPES:

—	BOUNDARY
—	BUILDING
---	EASEMENT
-x-x-	CHAIN LINK FENCE
- -	WOOD FENCE
-o-o-	PLASTIC FENCE
- - -	OVERHEAD CABLE

GENERAL NOTES:
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4. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
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7. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 2 BUSINESS WEEKS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LB (LICENSED BUSINESS) #8507.

Job Nr: 199216-SE Date of Field Work : 02/19/2024 Drawn by: D.G.R.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

SIGNATURE: PABLO ALVAREZ - PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 7274 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL (IF AFFIXED) OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)
DATE: 9-16-2024

Elevations, if shown:

Benchmark: AD2914
Instrument: LEVEL
Benchmark Elev.: 24.12'
Benchmark Datum: N.A.V.D.88
Elevations on Drawing are in:
N.G.V.D.29 N.A.V.D.88

Revisions:
ADDED AVERAGE GRADE - 03/01/2024 - K.T.
REVISED AVERAGE GRADE - 03/01/2024 - K.T.

PRINTING INSTRUCTIONS:
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DO NOT USE "FIT".

LICENSED BUSINESS No. 8507

TYPE OF SURVEY:

- BOUNDARY
- ALTA/NSPS
- CONSTRUCTION
- TOPOGRAPHIC
- CONDOMINIUM
- SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

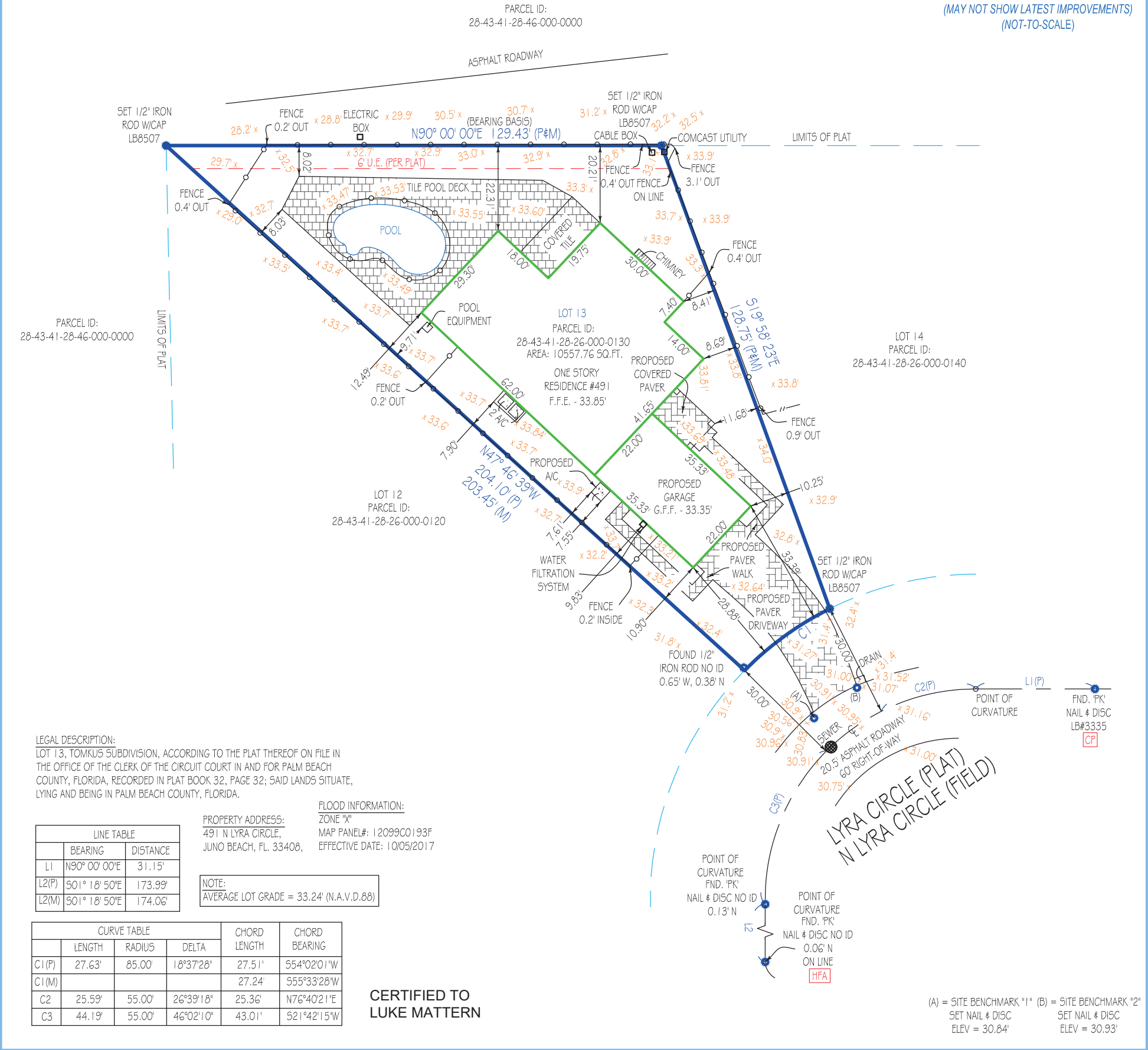
SITE PLAN



BEARING REFERENCE:
 THE NORTH LINE OF SUBJECT LOT AS N 90°00'00" E
 ALL BEARINGS SHOWN HEREON REFERENCED THERETO.



AERIAL PHOTOGRAPH
 (MAY NOT SHOW LATEST IMPROVEMENTS)
 (NOT-TO-SCALE)



LEGAL DESCRIPTION:

LOT 13, TOMKUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 32, PAGE 32; SAID LANDS SITUATE, LYING AND BEING IN PALM BEACH COUNTY, FLORIDA.

FLOOD INFORMATION:

ZONE: "X"
 MAP PANEL#: 12099C0193F
 EFFECTIVE DATE: 10/05/2017

PROPERTY ADDRESS:
 491 N LYRA CIRCLE,
 JUNO BEACH, FL. 33408,

NOTE:
 AVERAGE LOT GRADE = 33.24' (N.A.V.D.88)

LINE TABLE	
BEARING	DISTANCE
L1	N90° 00' 00"E 31.15'
L2(P)	S01° 18' 50"E 173.99'
L2(M)	S01° 18' 50"E 174.06'

CURVE TABLE				
LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1(P)	27.63'	85.00'	18°37'28"	27.51' 554°02'01"W
C1(M)			27.24'	555°33'28"W
C2	25.59'	55.00'	26°39'18"	25.36' N76°40'21"E
C3	44.19'	55.00'	46°02'10"	43.01' 521°42'15"W

CERTIFIED TO
 LUKE MATTERN

(A) = SITE BENCHMARK "1" (B) = SITE BENCHMARK "2"
 SET NAIL & DISC ELEV = 30.84' SET NAIL & DISC ELEV = 30.93'

"CP" = CONTROLLING POINT (POINT OF ROTATION) "HFA" = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

Platted Easements & Notable Conditions (unplatted easements also listed if provided): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

- 6' U.E. ALONG NORTHERLY BOUNDARY LINE OF SUBJECT LOT.
- FENCES EXTEND THROUGH THE NORTHERLY EASEMENT.

This survey has been issued by the following Landtec Surveying office: 840 U.S. HWY 1, Suite 330 North Palm Beach, FL 33408 Office: (561) 210-9344 Email: Construction@landtecsurvey.com www.Landtecsurvey.com	ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING): A OR AL = ARC LENGTH CO = CLEANOUT CA = CENTRAL ANGLE CATV = CABLE TV RISER CF = CALCULATED FROM FIELD CH = CHORD DISTANCE CONC. = CONCRETE CR = CALCULATED FROM RECORD DE = DRAINAGE EASEMENT EL OR ELEV = ELEVATION EM = ELECTRIC METER F.F.E. = FINISHED FLOOR ELEV. FIR = FOUND IRON ROD FN = FOUND NAIL FND = FOUND G.F.F.E. = GARAGE FINISHED FLOOR ELEV. L = LEGAL DESCRIPTION M = MEASURED OHC = OVERHEAD CABLE P = PLAT PC = POINT OF CURVE PCC = POINT OF COMPOUND CURVATURE PH = POOL HEATER PI = POINT OF INTERSECTION PK = PARKER KAEHLON POB = POINT OF BEGINNING POC = POINT OF COMMENCEMENT PP = POOL PUMP PRC = POINT OF REVERSE CURVATURE PT = POINT OF TANGENCY QTR = QUARTER R = RADIUS RNG = RANGE ROW = RIGHT OF WAY SEC = SECTION TR = TELEPHONE RISER TWP = TOWNSHIP UE = UTILITY EASEMENT UP = UTILITY POLE WM = WATER METER WV = WATER VALVE	SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE): = UTILITY POLE = LIGHT POLE = CATCH BASIN = FIRE HYDRANT = MANHOLE = WATER VALVE = WATER METER = WELL = CENTER LINE = PARTY WALL = AIR CONDITIONER = SEPTIC LID = ELEV. SHOT = HANDICAP PARKING SPACE = SEC. QTR. CORNER = SECTION CORNER	LINETYPES: BOUNDARY BUILDING EASEMENT CHAIN LINK FENCE WOOD FENCE PLASTIC FENCE OVERHEAD CABLE
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Revisions:
 PROPOSED SITE PLAN - 09/04/2024 - A.M.
 REVISED AVERAGE LOT GRADE - 09/13/2024 - K.T.

Job Nr: 199216-SE Date of Field Work : 02/19/2024 Drawn by: D.G.R.

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SIGNATURE _____ DATE: **9-13-2024**
 PABLO ALVAREZ - PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 7274 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL (IF AFFIXED) OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

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 Benchmark Datum: N.A.V.D.88
 Elevations on Drawing are in:
 N.G.V.D.29 N.A.V.D.88

Revisions:
 ADDED AVERAGE GRADE - 03/01/2024 - K.T.
 PROPOSED SITE PLAN - 07/30/2024 - B.D.
 PROPOSED SITE PLAN - 08/28/2024 - A.M.

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LICENSED BUSINESS No. 8507



September 23, 2024

Town of Juno Beach
Architectural Review Board
340 Ocean Drive
Juno Beach, FL 33408
Phone: (561)626-1122

Project: Mattern Residence
Address: 491 N Lyra Circle
Town of Juno Beach, FL
Re: Appearance Review Criteria Letter

To whom it may concern,

This narrative explains how the 491 N Lyra Circle project meets the ARB Appearance Review Criteria by conforming to Section 34-116.

Our goal was to design an addition that would appear as a home intentionally built for the area and would provide a sense of presence as the existing home had no significant architectural style. The proposed home addition is of a design and proportion, which enhances and maintains harmony with the other N Lyra Circle houses and the area.

1. The proposed addition consists of converting a portion of the existing garage into a stair to reach the upper level and a mudroom. The remainder of the existing garage will be expanded to create a new 2 car garage. The addition also consists of a covered entry, which provides a sense of entrance and protection from the elements. The upper floor addition provides for two bedrooms, a bathroom and loft area for the expanding family. The proposed addition maintains harmony in the area by building within the setbacks and mirroring adjacent properties to the left and right in mass and proportion. To keep the Bulk/Mass/Scale in visible proportion to the neighbors, the design is to keep a similar look from the street to maintain the appearance consistent to the current homes in relation to the size, scale and bulk of the home, which helps create harmony within the community. In addition to this, our footprint total under air with garages is 4,752 sq. ft. The footprint of the under air and garages of the home adjacent to the subject property; 511 N Lyra (to the left of the subject property) is 5,407 sq. ft. The footprint of the under air and garages of the home adjacent to the subject property; 471 N Lyra (to the right of the subject property) is 4,873 sq. ft. The new footprint of the proposed home is less than the adjacent properties.



2. The style of the home presents itself as a coastal transitional Key West style home with the introduction of decorative sills and headers, decorative brackets, awning and decorative vertical shutters. We have introduced a smooth float finish stucco at the base and mezzanine level of the home. The second floor is detailed using stucco siding. A decorative rail frames the mezzanine level at the front elevation, which is common to the vernacular of the Old Florida style as recommended in section 34-116 b.1 and 2.
3. The single-family residence does not have an elevator, and the stair shaft is integral with the design of the home. There is no roof top equipment. This is in keeping with section 34-116 b.3.
4. The materials and color palette for the residence is in keeping with the adjacent properties a creamy white wall and siding with white trim. Pale blue has been introduced as an accent color in keeping with 34-116 b.4.
5. The single-family residence is 33'-11" from average grade to tower roof peak in keeping with section 34-116b.5 and Sec. 34-268.
6. The location of the residential type condensing unit and existing pool pump equipment is located on the side of the house and screened from its neighbors. This is consistent with the location of mechanical systems for the adjacent neighbors and in keeping with section 343-116 b.6.
7. The proposed addition complies with the town's community appearance standards of section 116.b.7 by maintaining harmony with the existing fabric of the street, keeping similar massing to those residences adjacent to the residence.

We respectfully request your approval of the addition at 491 N Lyra Circle and look forward to completing a project which will enhance the community's overall appearance.

If you have any questions, do not hesitate to contact our office.

Thank you,

Davis Tamburin, RA
YRA Design, Inc.