



Town of Juno Beach
340 Ocean Drive; Juno Beach, FL 33408
Phone: (561) 626-1122; Fax: (561) 775-0812

For Official Use Only
Date Stamp

TOWN OF JUNO BEACH
RECEIVED

Appearance Review Application

2025 DEC 19 A 8:16

The following information and items shall be provided to the Planning and Zoning Department for processing and dissemination in association with scheduling of submittals before the Town's Planning and Zoning Board. The Board meets on the First Monday of each month, unless otherwise changed. The submittal of a completed packet, to include the application, plans, photos, etc. shall be submitted on the Monday, forty-five (45) days prior to the meeting. All of staff's comments shall be addressed twenty-one (21) days prior to the meeting. An application is deemed complete once staff has determined that all comments have been addressed via notification to the applicant by email or mail. A pre-application meeting with staff is required prior to the submittal of the application.

Date: 12-18-25

Project Address: 451 Neptune Rd Juno Beach FL 33408

Property Control Number: 28-43-41-28-08-000-0060 Zoning District: _____

Description of Request: (please provide a brief, comprehensive and summarized description of the proposed project below). _____

New Construction single family home

Design Professional Name: S. Scott Baruch License #: AR0014964
Phone Number: 561-768-6224 E-mail: jscottbaruch@comcast.net

Construction Company Name: Grandview Builders
Phone Number: 561-884-0743 E-mail: Theo.Grandviewbuilders@gmail.com

Property Owner's Name: LARRY WILLIAMS
Owner's Address (if different from project address): 8461 SE Bristol Way Jun. 33458
Phone Number: 732-620-5662 E-mail: _____
Applicant/Owner signature: [Signature] Date: 12-18-25

Please note: The Appearance Review solely addresses the Appearance Criteria of the proposed project, it does not encompass a zoning, engineering, or building review. Further reviews by Town staff will commence once a building permit has been submitted.



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Application Check List:

The following items are requested of the applicant as Planning & Zoning Staff will review the following:

- ☒ Pre-application meeting.
- ☒ Existing/previously approved site plan with file number (if applicable).
- ☒ Signed and sealed survey.
- ☒ Architectural Plans (shall include site plan, elevation drawings).
- ☒ Copy of plans previously reviewed and approved by staff or the Planning and Zoning Board, if applicable, with reference to the previous project.
- ☒ Color photos of existing property.
- ☒ Renderings, elevations or color photographs for all structures/homes within a 300 ft. radius.
- ☒ Proposed site plan with dimensions and clouding of the changes occurring.
- ☐ Building Site Area Regulations for Applicable Zoning District (including: required, Proposed calculations for Lot Coverage, Setbacks, Height, and Landscape Open Space, Gross Square Footage, Cubic Feet, etc.).
- ☒ Provide existing and proposed elevations with dimensions.
- ☒ Provide a roof plan, if only proposing a partial reroof cloud which areas will be worked on Call out the material, color, and type (barrel, shingle, concrete, S-tile).
- ☒ Indicate location of all mechanical equipment (A/C Units, Pool Equipment, Cooling Towers, and Generators).
- ☒ Indicate fences, walls, and gates proposed in site plan with dimensions and clouding the changes occurring, indicate material, color, finishes, and style. See Section 34-905. - Walls and Fences.
- ☐ Once all staff comments have been addressed ten (10) Copies of 24" x 36" plans shall be submitted at least fourteen (14) days prior to the Planning & Zoning Board Meeting.



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The applicant shall address in detail how the proposed project plans to meet the Appearance Review Criteria. The response shall be submitted as an attachment to the ARB Application.

1. Is of a design and proportion which enhances and is in harmony with the area; The concept of harmony shall not imply that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of setback, scale, mass, bulk, proportion, overall height, orientation, site planning, landscaping, materials, and architectural components including but not limited to porches, roof types, fenestration, entrances, and stylistic expression. For the purpose of this section, the comparison of harmony between buildings shall consider the preponderance of buildings within 300 feet from the proposed site of the zoning district.
2. Elevator and stairwell shafts and other modern operations and features of a building shall be either completely concealed or shall incorporate the elements of the architectural style of the structure; rooftop equipment and elevator and mechanical penthouse protrusions shall be concealed; and parking garages and other accessory structures shall be designed with architectural features and treatments so that they are well proportioned and balanced and in keeping with the architectural style of the principal structure;
3. Shall have all on-site structures and accessory features (such as, but not limited to, light fixtures, benches, litter containers, including recycling bins, traffic and other signs, letter boxes, and bike racks) compatible in design, materials, and color;
4. Shall have a design in which buildings over 40 feet in height shall appear more horizontal or nondirectional in proportion rather than vertical, accomplished by the use of architectural treatments as described in these criteria;
5. Shall locate and design mechanical equipment with architectural treatments so that any noise or other negative impact is minimized;
6. Complies with the town's community appearance standards (see article IV, division 14 of this chapter).

To: Town of Juno Beach, Florida

Attention: Frank Davilla, CFM

From: Scott Baruch and Associates, Michael Plunkett responding on Behalf of Scott Baruch, Architect.

Re: 451 Neptune, Plans for Submittal Revised

Dear Frank,

The plans were adjusted to eliminate the 3rd level, (roof observation) level. The tower for the elevator and stair as well as the railing and 225sf observation has been eliminated from the building plans.

The plans were revised to include a sloped hip roof over the entire structure, no flat roof any longer.

The interior, the stairs were modified to eliminate the run up to the observation deck. The ceiling over the stair is same height as second floor ceilings.

The square footage calculations have been revised to remove the 225 sf of roof observation area.

Square footage calculations are now also shown on the 1st page and have been updated to show the new total building area to now be 3,978 sf, down 225 sf, from 4,203 sf previously.

The survey did not change from what was submitted.

Thank you,

Michael Plunkett

561 248 3611



To: Town of Juno Beach Planning and Zoning

Re: Response to Appearance Review Criteria
451 Neptune Road

Style:

The proposed new residence at 451 Neptune Road is a 4-bedroom 3234 SF residence in keeping with the Mid-Century Modern or Modern style. Neptune Road currently consists of a mix of styles including older smaller Ranch or Bungalow styled homes with few newer projects. The neighbor to the west appears to be recently renovated but much of the rest of the street remains as it has been for decades. The pictures below are of a few of the neighboring properties.

The neighborhood as a whole has a great deal of recent construction including renovations and new construction where small older homes are being demolished and multi- story residences in various current regional styles constructed.



Neighbor to the west 471 Neptune



Neighbor across the street 430 Neptune



Neighbor to the east 441 Neptune



450 Neptune

The proposed project will be concrete masonry block and smooth stucco with bronze colored framed glass windows and an elevator tower serving a roof terrace. The inspiration of this residence in the photo below is a new residence constructed several years ago at 421 Mars Way which is directly behind and across the street from the proposed residence. Many of the elements are similar including the massing of the residence and development of architectural elements including the glass entry, elevator, stair, railings and garage, carefully considered to enhance the residences street presence. Please see the photo below.



Inspiration Home 421 Mars Way



Subject Property 451 Neptune



421 Mars Way

The front façade of the proposed plan is stepped increasing the architectural development, scale, light and dark shadow play and depth which also reduces the presence of the garage allowing the entry to become a more dominant element. The elevator and stair have vertical expression creating interaction and definition between horizontal and vertical elements. Please see the attached rendering from the street below.



Harmony:

The consideration of massing, proportion and scale of the proposed design, in my opinion produces an aesthetically pleasing whole with an arrangement of varied architectural and landscape elements. Also, the response to context of this design to new and existing residences in the neighborhood and on Neptune Street is harmonious and appropriate and is balanced with the direction and evolution of the architectural development in this neighborhood and in all of Juno Beach.

Bulk:

The overall size and volume of the structure is not excessive and the design which is stepped in plan to the diagonal front setback creates a stepping of one- and two-story masses from the street which in addition to creating depth and shadow play also serve to integrate the size and volume, or bulk, in an architecturally attractive way.

Pictured below are other examples of modern or mid-century modern residences and other relevant projects within a 300' radius of the subject property below.









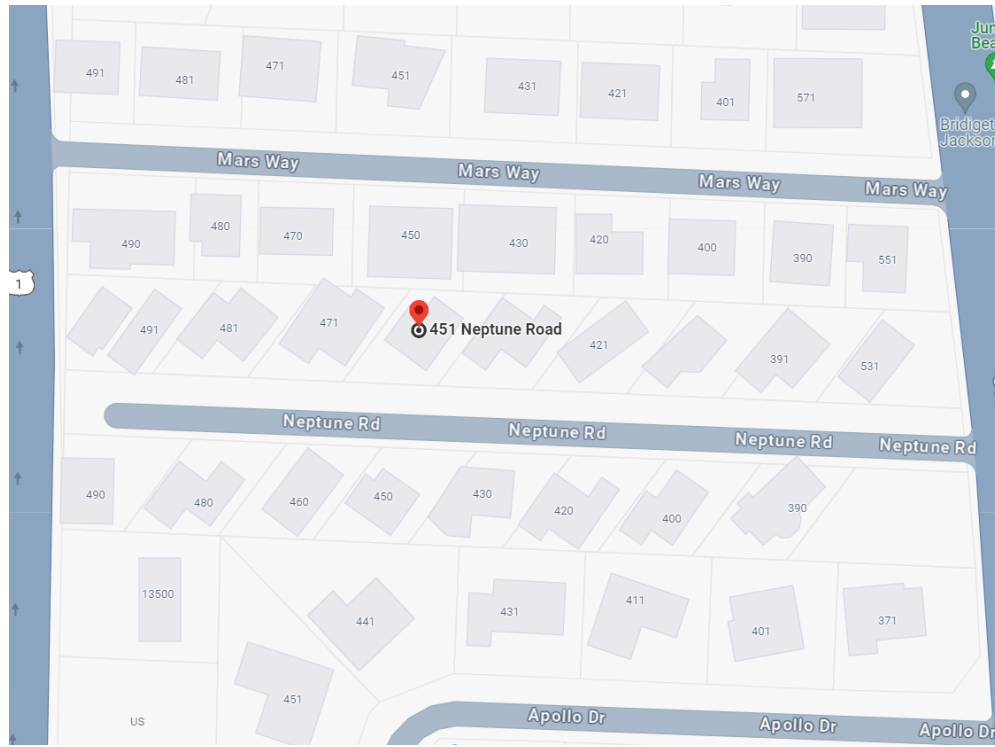
Thank you.

Please don't hesitate to contact me at jscottbaruch@comcast.net or 561-768-6224 if I can assist further.

Sincerely,

A handwritten signature in blue ink, appearing to read 'J. Scott Baruch'.

J. Scott Baruch



MAP VIEW



AERIAL VIEW

PROJECT LOCATION

SQUARE FOOTAGE TABLE	
PROPOSED RESIDENCE:	
1ST LIVING UA	1465 SQ FT
2ND LIVING UA	1769 SQ FT
GARAGE UR	502 SQ FT
REAR BALCONY	162 SQ FT
FRONT BALCONY	80 SQ FT

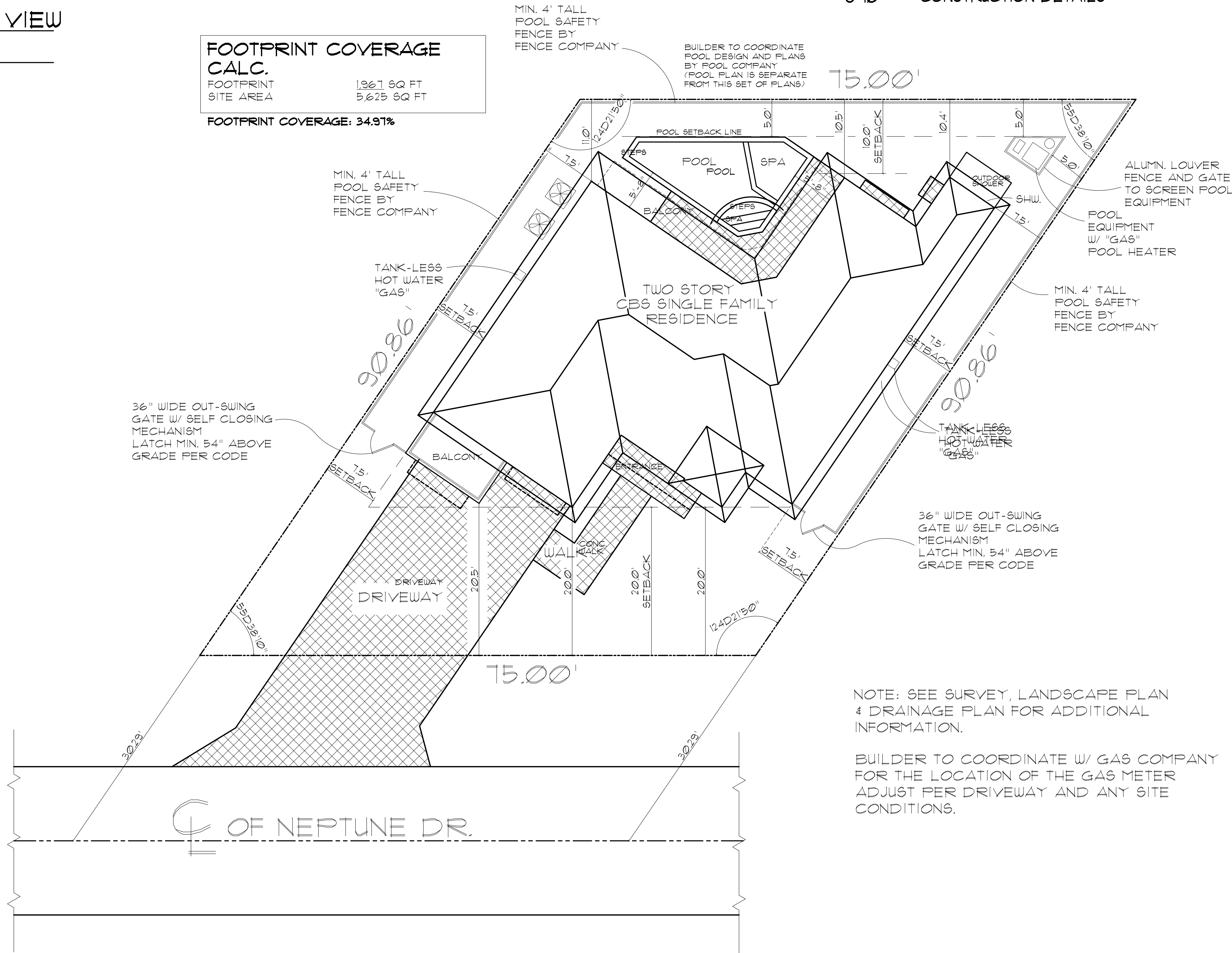
TOTAL UNDER AIR:	3,234 SQ FT
TOTAL UNDER ROOF:	3,163 SQ FT
TOTAL SQUARE FOOTAGE:	3,918 SQ FT

DRAWING INDEX

A-1	SITE PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
E-1	FIRST FLOOR ELECTRIC PLAN
E-2	SECOND FLOOR ELECTRIC PLAN
S-1	FOUNDATION PLAN
S-2	2nd FLOOR FRAMING PLAN
S-3	2nd FLOOR ROOF FRAMING PLAN
S-4	TYPICAL WALL SECTION
S-5	CROSS SECTION DETAILS
S-6	CROSS SECTION DETAILS
S-7	CONSTRUCTION DETAILS
S-8	CONSTRUCTION DETAILS
S-9	CONSTRUCTION DETAILS
S-10	CONSTRUCTION DETAILS

NOTE: PROVIDE A POOL SAFETY BARRIER MIN. 4' TALL AROUND THE POOL AREA W/ TALLER GATES W/ OPENING LATCH MIN. 54" ABOVE GRADE. GATES MUST OPEN OUTWARD WHEN EXITING THE POOL AREA AND SHALL HAVE SELF CLOSING DEVICE. POOL SAFETY FENCE BARRIER AND PLAN BY FENCE COMPANY. SEE THEIR SEPARATE SHOP DRAWINGS.

FOOTPRINT COVERAGE CALC.	
FOOTPRINT	1,961 SQ FT
SITE AREA	5,625 SQ FT
FOOTPRINT COVERAGE: 34.91%	



NOTE: SEE SURVEY, LANDSCAPE PLAN & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.

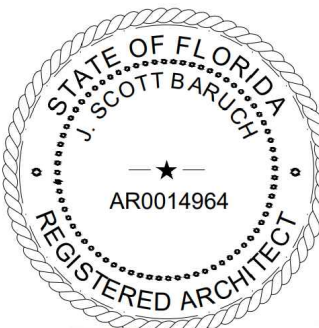
BUILDER TO COORDINATE W/ GAS COMPANY FOR THE LOCATION OF THE GAS METER ADJUST PER DRIVEWAY AND ANY SITE CONDITIONS.

REVISIONS

04-16-24	FRONT WINDOW 4' 12' 00"
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
08-11-24	REVISIONS
12-09-24	REVISED PER REVIEW COMMENTS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408

SEAL



J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-03-24
SCALE	AS SHOWN
JOB NO.	

SHEET

A = 1

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONFLICTS OR CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS IN THE FIELD.
- ALL STRUCTURAL LUMBER SHALL HAVE THE FOLLOWING MIN. VALUES UNLESS NOTED: SOUTHERN PINE, Fb=1200, E=1.9
- ALL FOOTINGS, FOUNDATIONS, SLABS SHALL BEAR ON NATURAL OR COMPACTED SOIL HAVING A MIN. BEARING OF 2500 P.S.F. AS DETERMINED AND VERIFIED BY A RECOGNIZED TESTING LABORATORY.
- ALL CONSTRUCTION SHALL BE PERFORMED IN A GOOD WORKMAN-LIKE MANNER IN ACCORDANCE WITH ALL CODES, REGULATIONS, ORDINANCES AND RESTRICTIONS HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE WITH OWNER AND VARIOUS TRADES SO THAT PROPER OPENINGS AND CHASES SHALL BE PROVIDED.
- ALL VEGETATION AND ORGANIC MATTER SHALL BE REMOVED PRIOR TO PLACING FILL. FOUNDATION SHALL BEAR ON CLEAN FILL COMPACTED IN LAYERS OF NOT MORE THAN 12" IN DEPTH AND TO 95% DENSITY AS PER A.S.T.M. PROCTOR TEST OR MODIFIED PROCTOR TEST.
- REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. A615 SPECIFICATIONS FOR NEW DEFORMED BILLET STEEL AND GRADE 60 SPEC. WITH A MIN. YIELD STRENGTH OF 60000 P.S.I. IT SHALL BE DETAILED, FABRICATED AND PLACED AS RECOMMENDED BY A.C.I.
- CONCRETE SHALL HAVE A SLUMP OF 5" MAX. AND A MIN. COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
CONCRETE SLAB W/ HAMBER SYSTEM 3000 P.S.I.
CANTILEVERED BALCONY DECK 4000 P.S.I.
FOUNDATIONS AND SLABS ON GRADE 2500 P.S.I.
COLUMNS AND BEAMS 3000 P.S.I.
CONCRETE COVER FOR ALL POURED IN PLACE CONCRETE SHALL BE AS FOLLOWS:
FOUNDATIONS 3"
COLUMNS 2"
SLABS ON FILL 6X6/10X10 W.W.M. IN CENTER OF SLAB
NOTE: "FIBERMESH" MAY BE USED IN LIEU OF 6X6/10X10 W.W.M.
- WELDED WIRE MESH (W.W.M.) SHALL CONFORM TO A.S.T.M. A-105 W.W.M. 36" ON EACH SIDE OF BEARING WALLS AND 30" PLUS WIDTH OF FOOTING AROUND PERIMETER OF MONOLITHIC FOOTING.
- CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO A.S.T.M. C-90 MORTAR SHALL CONFORM TO A.S.T.M. C-210 TYPE M.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ALL STUCCO SCRATCH COATS SHALL BE ALLOWED 24 HOURS DRYING PERIOD.

ENGINEERING CRITERIA

FLORIDA BUILDING CODE 2023, EIGHTH EDITION
CHAPTER 1603, USING ASCE 7-22
WIND SPEED = 170 mph V (ULT), 132 mph V (ASD)
WIND IMPORTANCE FACTOR = 1.0
R3 (ENCLOSED)
EXPOSURE: C
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - Gcp, = 0.18
HURRICANE PROTECTION SHUTTERS IMPACT GLASS ✓
MEAN ROOF HEIGHT = 31' FEET
MAXIMUM WINDOW PRESSURE = -54.6 P.S.F., 46.6 P.S.F.
MAXIMUM DOOR PRESSURE = -48.6 P.S.F., +44 P.S.F.
MAXIMUM SIDE LITE = -51.1 P.S.F., +41.3 P.S.F.
MAXIMUM GARAGE DOOR PRESSURE = -49.9 P.S.F., +40.1 P.S.F.

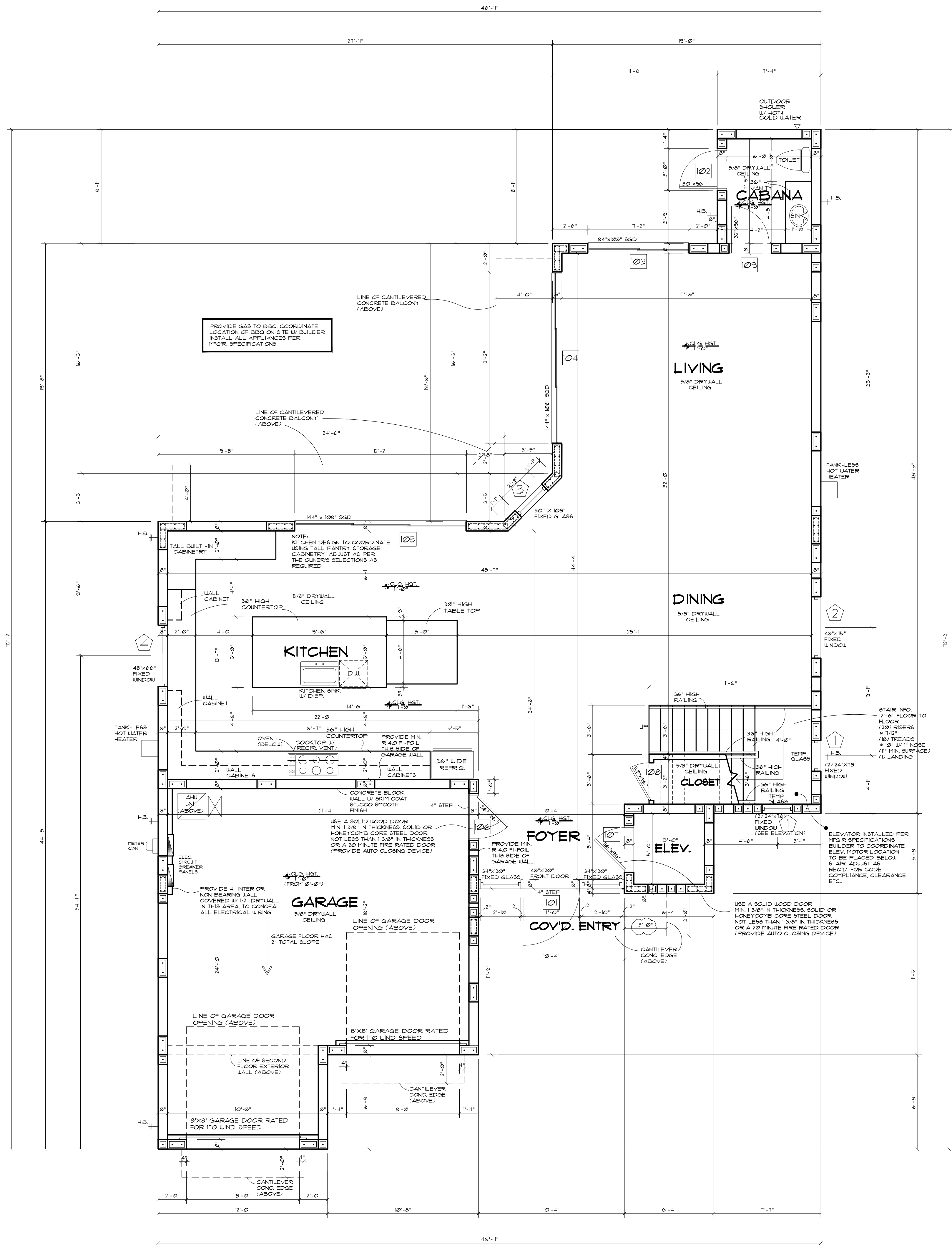
SQUARE FOOTAGE TABLE

PROPOSED RESIDENCE:

1ST LIVING UA	1465 SQ FT
2ND LIVING UA	1769 SQ FT
GARAGE UR	502 SQ FT
REAR BALCONY	162 SQ FT
FRONT BALCONY	80 SQ FT

TOTAL UNDER AIR:	3234 SQ FT
TOTAL UNDER ROOF:	3,763 SQ FT
TOTAL SQUARE FOOTAGE:	3,918 SQ FT

PROVIDE PROPANE GAS TO
TO THIS RESIDENCE. SEE DRAWING
AND PERMIT BY GAS COMPANY.
PROPANE FOR
COOKTOP, WATER HEATER,
POOL HEATER, BBQ, & DRYER



1ST FLOOR PLAN

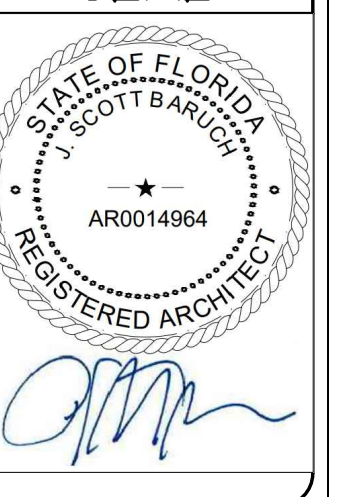
SCALE 1/4"=1'-0"

REVISIONS

- 04-16-24 FRONT WINDOW 12' SGD
- 05-14-24 POOL ADDED
- 06-26-24 REVISIONS
- 07-17-24 REVISIONS
- 09-11-24 REVISIONS
- 09-30-24 FRONT CANTILEVER
- 12-09-24 REVISED PER REVIEW COMMENTS

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SEAL



J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
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DRAWN	G.R.G.
CHECKED	J.S.B.
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SCALE	AS SHOWN
JOB NO.	
SHEET	

A-2

WINDOW SCHEDULE:

11

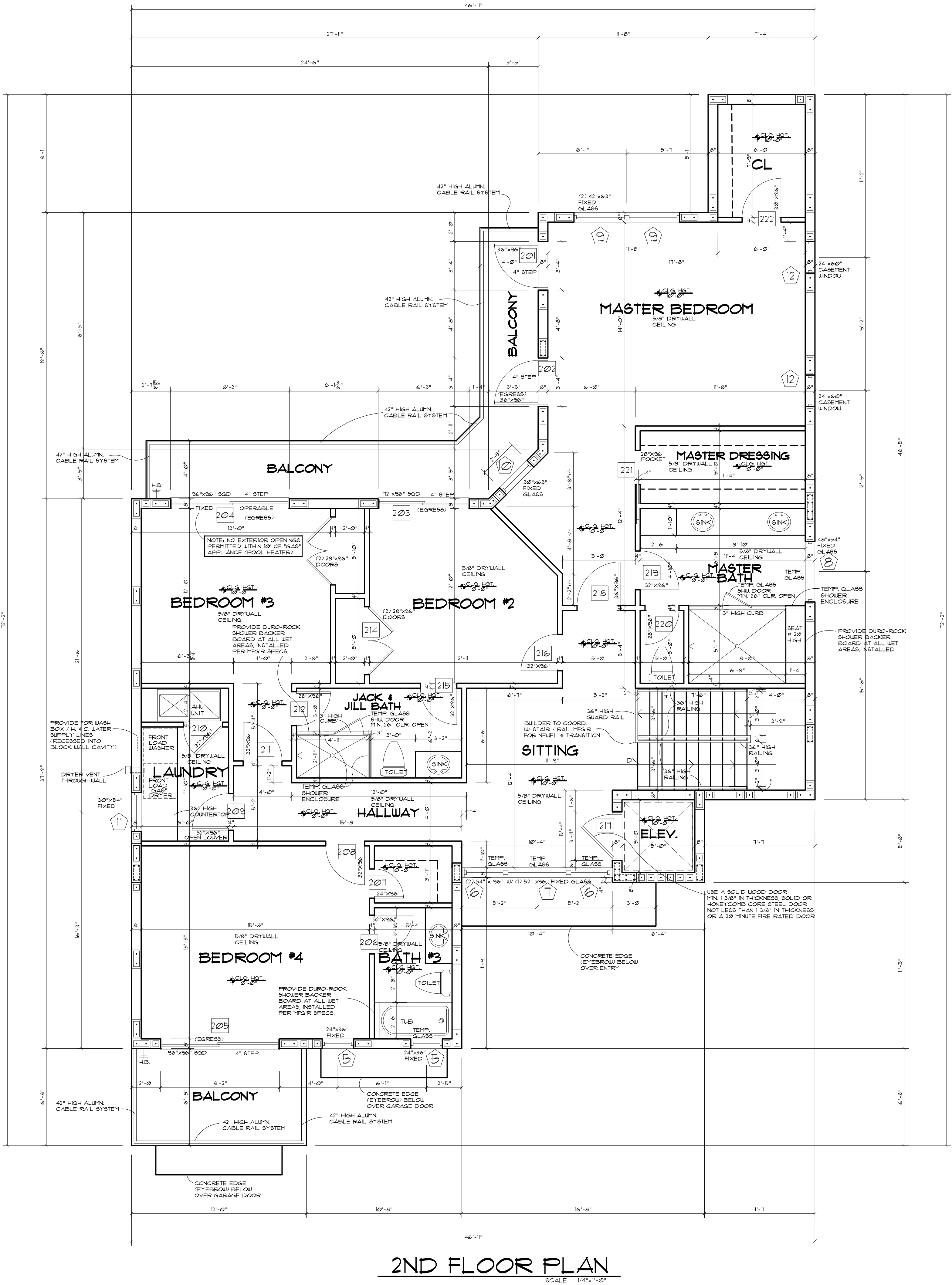
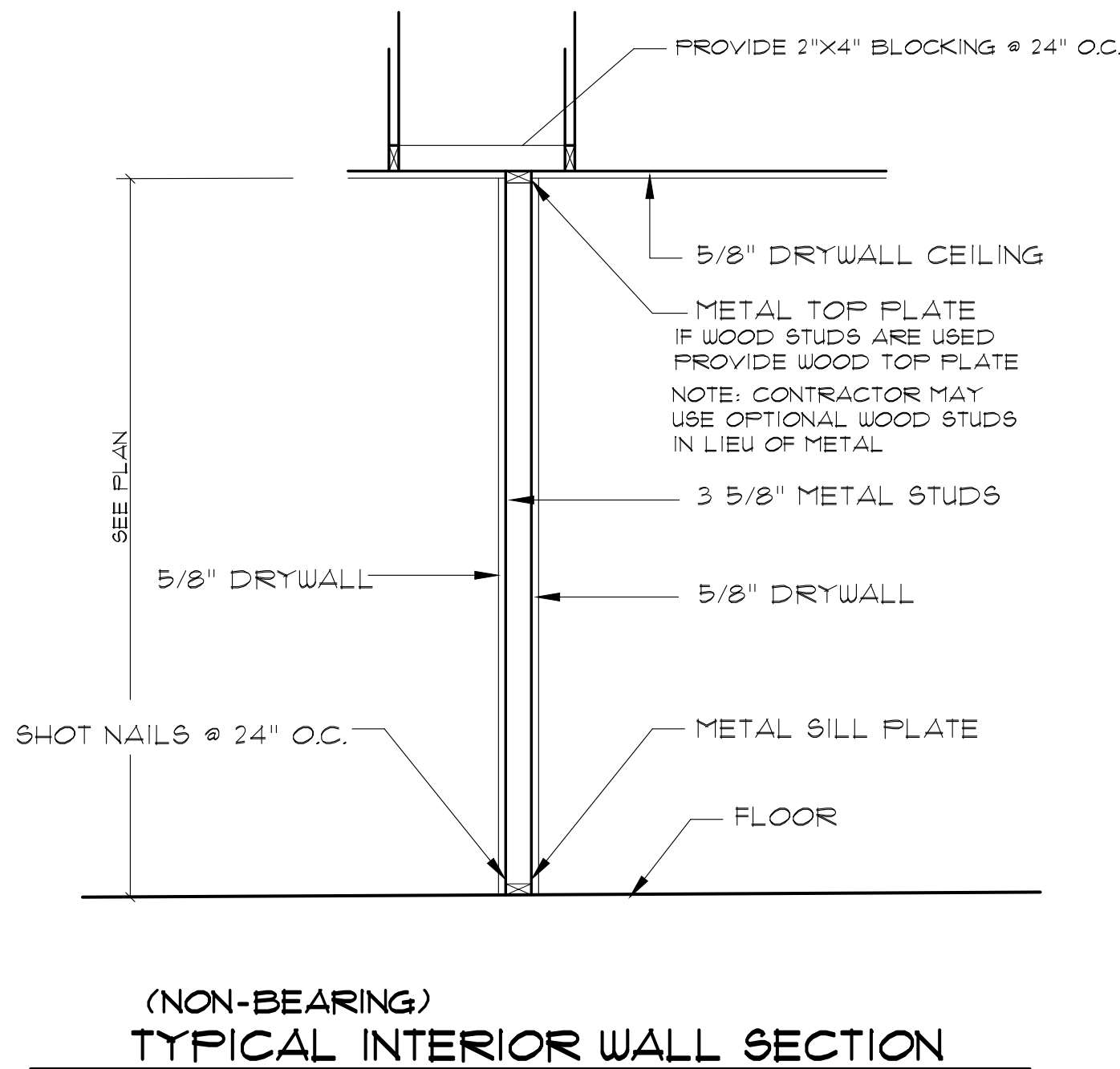
NO.	WIDTH/ HEIGHT	* UNITS	DESCRIPTION
1	(2) 24" X 78"	2	FIXED TEMP. GLASS (FACTORY MULL BY WINDOW MFG'R)
2	48" X 75"	1	FIXED, 2 LITE
3	30" X 108"	1	FIXED
4	48" X 66"	1	FIXED, 3 LITE
5	24" X 36"	2	FIXED TEMP. GLASS
6	34" X 36"	2	FIXED TEMP. GLASS
7	52" X 36"	1	FIXED TEMP. GLASS
8	48" X 54"	1	FIXED TEMP. GLASS
9	42" X 63"	2	FIXED
10	30" X 63"	1	FIXED
11	30" X 54"	1	FIXED
12	24" X 60"	2	CASEMENT

TOTAL UNITS: 19

ALL WINDOWS TO BE PGF WINGUARD OR EQUAL CASEMENT OR FIXED IMPACT RESISTANT WINDOWS. WHITE FINISH @ INTERIOR AND EXTERIOR - VERIFY INSTALLATION TO BE PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO VERIFY MASONRY OPENINGS FOR NEW STOCK SIZE WINDOWS AND PROVIDE CUSTOM SIZES IF NECESSARY. PROVIDE NEW P.T. BUCKS PER DETAILS. SEE WINDOW JAMB HEAD AND SILL DETAILS FOR BOTH MASONRY AND WOOD FRAME CONDITIONS. EGRESS WINDOWS NOTED ON PLAN - MIN. 20" CLEAR WIDTH, 24" CLEAR HEIGHT, NET CLEAR OPENING 5.0 SF @ GROUND FLOOR, 5.1 SF @ 2ND FLOOR AND MAXIMUM WINDOW SILL 44" AFF. PER CODE. CONTRACTOR TO VERIFY EGRESS PROVIDED BY WINDOW SUPPLIER. CONTRACTOR TO VERIFY WINDOW OPENINGS AND DIMENSIONS PRIOR TO ORDER. MASONRY AND WOOD FRAME ROUGH OPENINGS DIFFER.

DOOR SCHEDULE:				
DOOR	WIDTH/HEIGHT	TYPE	MATERIAL	NOTES
FIRST FLOOR:				
101	3'-0" X 10'-0"	SWING	CUSTOM	LOCKSET, IMPACT RATED W/ 34"X120" SIDE LIGHTS
102	2'-6" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
103	1'-0" X 9'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
104	12'-0" X 9'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
105	12'-0" X 9'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
106	3'-0" X 8'-0"	SWING	H.M.	20 MIN FIRE RATED - SEE PLAN
107	3'-0" X 8'-0"	SWING	S.C. WOOD	ELEVATOR 20 MIN FIRE RATED - SEE PLAN
108	3'-0" X 8'-0"	SWING	S.C. WOOD	PRIVACY
109	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
SECOND FLOOR:				
201	3'-0" X 8'-0"	SWING	AL/GLASS	LOCKSET, IMPACT RATED
202	3'-0" X 8'-0"	SWING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
203	6'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
204	8'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
205	8'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED (EGRESS)
206	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
207	2'-0" X 8'-0"	SWING	S.C. WOOD	PRIVACY
208	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
209	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
210	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
211	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
212	2'-4" X 8'-0"	SWING	S.C. WOOD	PRIVACY
213	4'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
214	4'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
215	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
216	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
217	3'-0" X 8'-0"	SWING	S.C. WOOD	ELEVATOR 20 MIN FIRE RATED - SEE PLAN
218	3'-0" X 8'-0"	SWING	S.C. WOOD	PRIVACY
219	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
220	2'-4" X 8'-0"	SWING	S.C. WOOD	PRIVACY
221	2'-4" X 8'-0"	PRKT	S.C. WOOD	POCKET DOOR HARDWARE
222	2'-6" X 8'-0"	SWING	S.C. WOOD	PRIVACY
NOTES: HARDWARE TO BE SELECTED BY THE OWNER, INSTALLED BY THE CONTRACTOR. FRENCH DOORS TO BE CGI, WHITE ALUMINUM MASONRY OPENINGS ASSUME IX BUCK. PROVIDE DADE COUNTY TESTED AND APPROVED IMPACT GLAZING AT ALL EXTERIOR DOORS. CONTRACTOR TO PROVIDE NOA PRODUCT APPROVAL FOR PERMITTING AS REQUIRED. NO DOOR TRIM (TYPICAL) - VERIFY PROVIDE ENGINEERED 2 PANEL PAINTGRADE 1 3/8" SOLID CORE DOORS AT NEW INTERIOR LOCATIONS UNLESS NOTED OTHERWISE. PROVIDE SOLID CORE, SLIDING DOOR SUBMITTALS FOR OWNER, ARCHITECT APPROVAL. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION, AND DOOR ORDERING.				

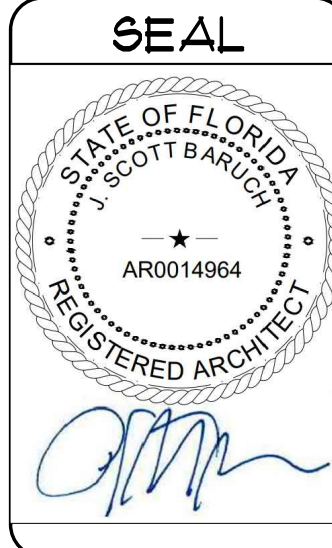
NOTE: BUILDER TO VERIFY WINDOW AND DOOR SCHEDULE INFORMATION WITH FLOOR PLAN AND EXTERIOR ELEVATION INFORMATION. BUILDER TO VERIFY ALL SIZES PRIOR TO ORDERING WINDOWS AND DOORS



REVISIONS

04-16-24	FRONT WINDOW 12" SGP
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
09-11-24	REVISIONS
09-30-24	FRONT CANTILEVER
12-09-24	REVISED PER REVIEW COMMENTS

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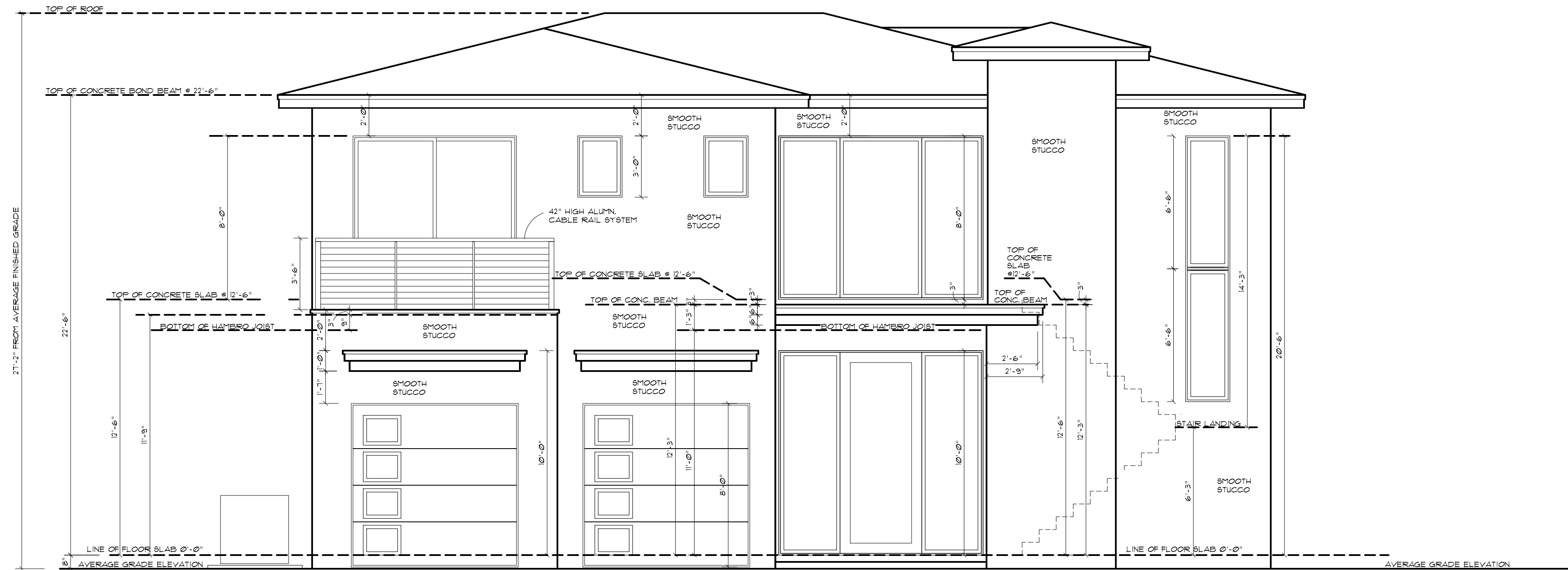
J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	GRG
CHECKED	J.S.B.
DATE	04-03-24
SCALE	AS SHOWN
JOB NO.	

SHEET

A-3

NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.



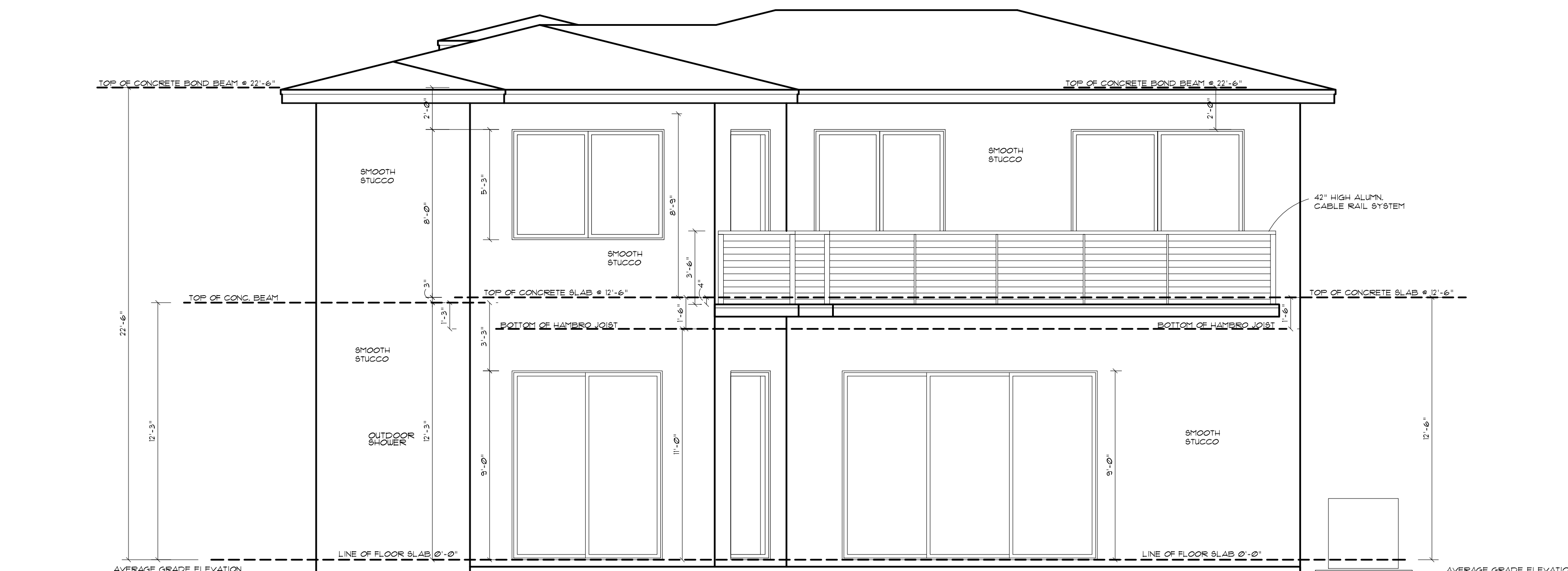
FRONT ELEVATION

SCALE 1/4"=1'-0"

FINISH FLOOR 30.5'
AVERAGE GRADE 29.5'

NOTE: USE HURRICANE RATED WINDOWS FOR THIS RESIDENCE RATED FOR MIN. #10 MPH WIND SPEED INSTALLED PER THEIR APPROVED N.O.A.

ALL MATERIALS INSTALLED PER THEIR MANUFACTURER INSTALLATION SPECIFICATIONS FOR MIN #10 MPH WIND SPEED.



REAR ELEVATION

SCALE 1/4"=1'-0"

FINISH FLOOR 30.5'
AVERAGE GRADE 29.5'

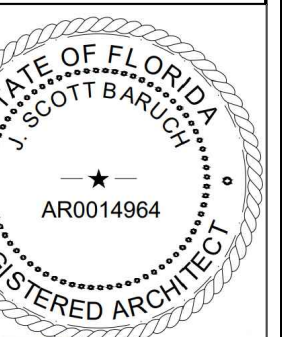
NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.

REVISIONS

04-16-24	FRONT WINDOW 4'12" WID
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
08-11-24	REVISIONS
12-09-24	REVISED PER REVIEW COMMENTS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408

SEAL



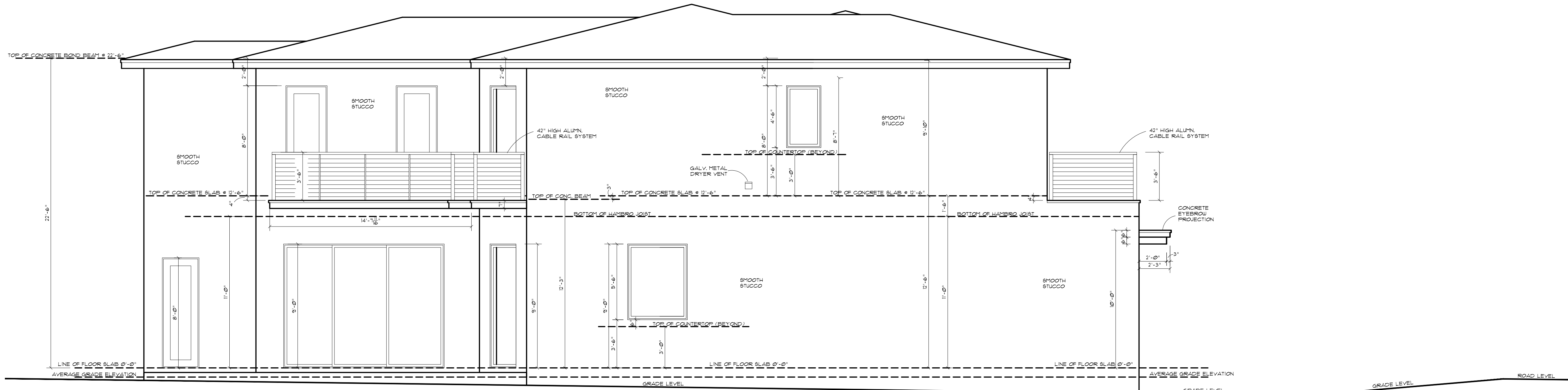
J. SCOTT BARUCH

J. SCOTT BARUCH
& ASSOCIATES
18360 SE LAKESIDE DR.
JUPITER, FLORIDA
AR-0014964

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	04-03-24
SCALE	AS SHOWN
JOB NO.	

SHEET

A = 4



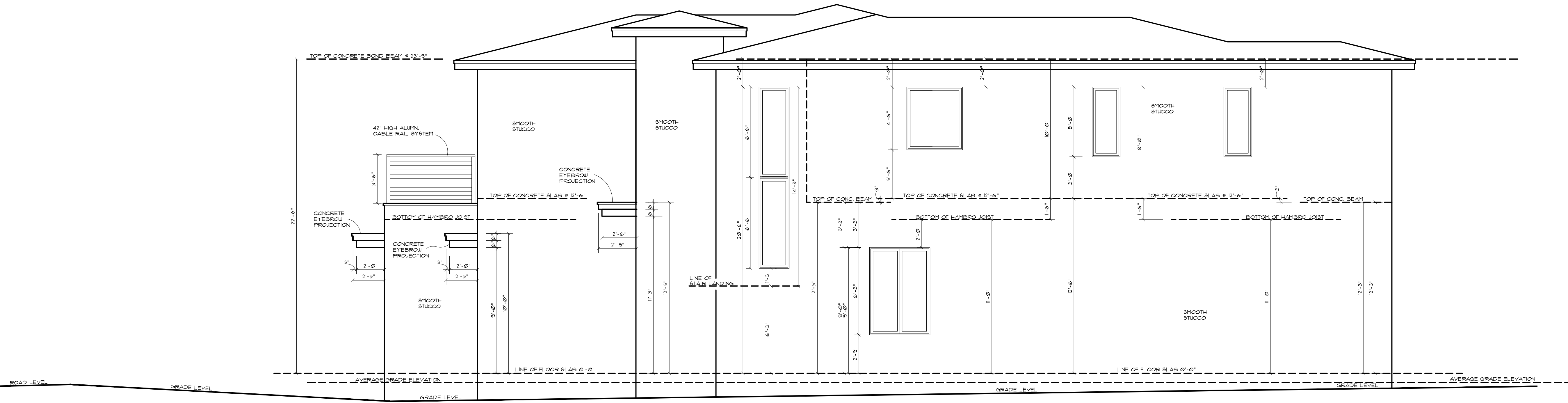
FINISH FLOOR 30.5'
AVERAGE GRADE 29.5'

LEFT ELEVATION

SCALE 1/4"=1'-0"

NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.

NOTE: USE HURRICANE RATED WINDOWS FOR THIS RESIDENCE RATED FOR MIN. #170 MPH WIND SPEED INSTALLED PER THEIR APPROVED N.O.A.
ALL MATERIALS INSTALLED PER THEIR MANUFACTURER INSTALLATION SPECIFICATIONS FOR MIN #170 MPH WIND SPEED.



FINISH FLOOR 30.5'
AVERAGE GRADE 29.5'

RIGHT ELEVATION

SCALE 1/4"=1'-0"

NOTE: PROVIDE ALUMN. GUTTERS ON BOTH SIDES OF THE ROOF WITH DOWN SPOUTS. BUILDER TO COORDINATE ON SITE FOR LOCATIONS OF DOWN SPOUTS.

REVISIONS

04-16-24	FRONT WINDOW 4'12" WIDE
05-14-24	POOL ADDED
06-26-24	REVISIONS
07-17-24	REVISIONS
08-11-24	REVISIONS
12-09-24	REVISED PER REVIEW COMMENTS

A NEW RESIDENCE @
451 NEPTUNE RD,
JUNO BEACH, FLORIDA 33408



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DRAWN	GRG
CHECKED	J.S.B.
DATE	04-03-24
SCALE	AS SHOWN
JOB NO.	

SHEET

A-5