



# TOWN OF JEROME

Post Office Box 335, Jerome, Arizona 86331  
(928) 634-7943

## Zoning Administrator Analysis Design Review Board Tuesday, February 25, 2025

**Item :**

**Location:** 300 Hull Avenue  
**Applicant/Owner:** Lana Buckner / Kathy Glidewell  
**Zone:** C-1  
**APN:** 401-06-074  
**Prepared by:** Will Blodgett, Zoning Administrator  
**Recommendation:** Recommend Approval

**Background and Summary:** The applicant is seeking approval to mount a new sign using an existing sign mount. The new proposed signage for Firebrick Studios is under 8sq. ft. which is well under the maximum size for commercial signage. More details provided by the applicant can be found on the following pages. (Note: Color Samples did not scan well, so physical samples will be present at the meeting.)

**Building Background:** The 2007 historic property inventory records this building as constructed in or around 1917. The full details of this historic building in the 2007 survey are provided at the end of this review.

**Purpose and Considerations:** The Design Review Board shall review a submitted application for Design Approval of Signs and shall have the power to approve, conditionally approve, or disapprove all such requests, basing its decisions on the following criteria; Materials- signs made of durable, weather resistant materials such as acrylic, resin, steel, aluminum, or composite materials are preferred. Lettering- Lettering and symbols on signs should be routed, applied or painted on the surface of the sign material. Colors- Colors of a sign shall be visually compatible to the colors of buildings, structures, and signs to which the sign is visually related. Exceptions- The design review board may waive the requirements of this section and section 507 in order to allow the preservation or restoration of signs or commercial graphics which are determined to be of historical significance or of particular interest.

**Signage Regulations:** Section 509.G establishes the requirements for signage in the C-1 Commercial district and the I-1 Industrial zones. Subsection 2 states; *"The area of any single wall, projecting, free-standing or canopy sign shall not exceed sixteen (16) square feet.* Subsection 4 also states: *"The bottom part of any projecting sign shall be no lower than eight (8) feet above the ground directly below it."*

**Response:** The new signage was designed with the Town of Jerome Zoning regulations in mind, and raises no concerns for the Planning & Zoning Administrator.



Checklist Item #2, "Written narrative describing the details of the proposed sign", which includes Checklist Item #5, "Square footage summary of all existing and proposed signs"; and reference measurements for Checklist Item #4: "Scale drawing of proposed sign[...] including length, width, depth of sign and letter size."

### Measurements

The sign measures 3'9" x 2'2" (45" x 26") with opposing triangles measuring 5 1/2" x 5 1/2" ( $h \approx 7 \frac{3}{4}"$ ) cut from the sign so that the total area is (8'1 1/2"sq - 30 1/4"sq = 7'11"sq), whereas the previous sign measured 4' x 4' (48" x 48") with an area totalling 16'sq.

### Materials & Construction

The sign is made of 1" x 4" pine planks joined together edge-to-edge by wood glue, and fastened together by 1 1/2" screws installed into supporting cross braces of the same material on the back of the sign. The planks run horizontally while the cross braces run vertically every 10"-14" with four in total; the sign is therefore 2" at its maximum depth. The cross braces run 1/2" shy of the 2'2" sign height on top and bottom. The screws are installed every 3" - 5" along the cross braces.

### Design, Colors, & Text Measurements

The sign bears the name of the establishment: Firebrick Studio. The all-caps text is carved in a font created by Mark Lucas. The letters in FIREBRICK have a height of 6 1/2". Below FIREBRICK, STUDIO has letters measuring 4 1/4" tall.

The text is centered in linework creating an illusory perspectival view of a rectangular prism. The wood surrounding the text and linework is hand-incised to create an embossed effect for the text and linework, which shall hence be referred to singularly as *the embossing*.

The embossing is painted black; the rest of the front of the sign is painted white.

Color samples:



Checklist Item #4, "Scale drawing of proposed sign [...] including length, width, depth of sign and letter size." Please refer to *Measurements* section above for these measurements.



Note: due to the nature of the drawing on paper in a 1:1 scale, certain warping could not be avoided; however, the final pine sign is perfectly regular.

Checklist Items #6 & #7, "Elevations showing the location of the sign[...] on the building" and "Identification of any signs to be removed":



Checklist Items #8 & #9, "Photographs showing all sides of existing structures," and "Photographs showing adjoining properties, buildings [n/a], and structures



Checklist Item #11, "Method of attachment of sign[...] to building":

The sign will utilize the existing metal structure previously used to hang the Scooter Trash sign (see photos in *Checklist Items #6 & #7*, above). The two holes in the horizontal top of the post will be installed with a 1/4" bolt and washer, each securing a 1/4" dia. eye hook from which will hang four inches of chain; from each chain will be another 1/4" dia. eye hook which are installed directly into the wooden sign. The same apparatus will be used in the available hole on the vertical side of the metal post such that the sign will not have too much sway in the wind.



# Application & Related Information





**TOWN OF JEROME, ARIZONA**  
600 Clark Street, P.O. Box 335, Jerome, AZ 86331  
(928) 634-7943

Town Use

**General Land Use Application – Check all that apply**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Site Plan Review \$300       | <input type="checkbox"/> Design Review \$25 to \$500    | <input type="checkbox"/> Conditional Use Permit (CUP) \$500 |
| <input type="checkbox"/> Demolition \$50/\$200        | <input checked="" type="checkbox"/> Signage/Awning \$50 | <input type="checkbox"/> Paint/Roofing \$25                 |
| <input type="checkbox"/> Time Extension \$25 to \$200 | <input type="checkbox"/> Other: _____                   | <input type="checkbox"/> Other: _____                       |

Note: Refer to the corresponding Project Application Checklist/s for additional submittal requirements.

Applicant: <u>Lana Buckner</u>	Owner: <u>Kathy Glidewell</u>
Applicant mailing address: <u>PO Box 1164</u> <u>Jerome AZ 86331</u>	Property owner mailing address: <u>317 W. Four</u> <u>Feathers Ln., Benson AZ 85602</u>
Applicant role/title: <u>Owner/proprietor</u>	
Applicant phone: <u>401-424-1948</u>	Owner phone: <u>520-404-8327</u>
Applicant email: <u>FIREBRICKSTUDIOAZ@GMAIL.COM</u>	Owner email: <u>N/A</u>
Project address: <u>300 Hull Ave</u>	Parcel number: <u>401-06-074</u>
Describe project: <u>replacing sign from previous business</u> <u>with a new sign for a new business</u>	

- I understand that review by the Jerome Design Review Board, Planning and Zoning Commission, and Town Council is discretionary.
- I understand that the application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I understand review criteria are used in evaluation by the Jerome Design Review Board and/or Planning and Zoning Commission. These criteria are included in the Jerome Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and the application is determined to be complete.

Applicant Signature: Lana Buckner Date: 4/10/25

Property Owner Signature: if needed, can be procured in Date: \_\_\_\_\_  
time for D&R Board mtg.

Received from: <u>Lana Buckner</u>		<b>For Town Use Only</b>		Date: <u>4/10/25</u>
Received the sum of \$ <u>50</u>	as: <input checked="" type="checkbox"/> Check	No. <u>181</u>	<input type="checkbox"/> Cash	<input type="checkbox"/> Credit Card
By: <u>T. Cand</u>	For: <u>D&amp;R Signage</u>			
Tentative Meeting Date/s - DRB: _____		P&Z: _____		



# 2007 Town of Jerome Arizona HISTORIC PROPERTIES SUMMARY SURVEY

## PROPERTY IDENTIFICATION

For properties identified through survey: Site No. 095 Survey Area G.W. Hulls Plat

Historic Name(s) Dicus Garage

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address 300 Hull Ave (S.R. 89A)

City or Town ☒ Jerome

☐ vicinity

County Yavapai

Tax Parcel No. 401-06-074

Township 16 Range 2E

Section 23

Quarters

Acreage 0.15

Block Lot(s) 1

Plat (Addition)

Year of plat (addition)

UTM reference: Zone

Easting

Northing

USGS 7.5' quadrangle map:

## ARCHITECT

☐ not determined ☐ known Source

## BUILDER

☐ not determined ☐ known Source

CONSTRUCTION DATE 1917

☐ known ☐ estimated Source Co. Assessor

## STRUCTURAL CONDITION

☒ Good (well maintained; no serious problems apparent)

☐ Fair (some problems apparent) Describe:

☐ Poor (major problems; imminent threat) Describe:

☐ Ruin/Uninhabitable

## USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

1917-Grocery, Hay & Seed

1924- Auto Storage/gas

Retail

Sources 83 Historic Survey, Co. Assessor

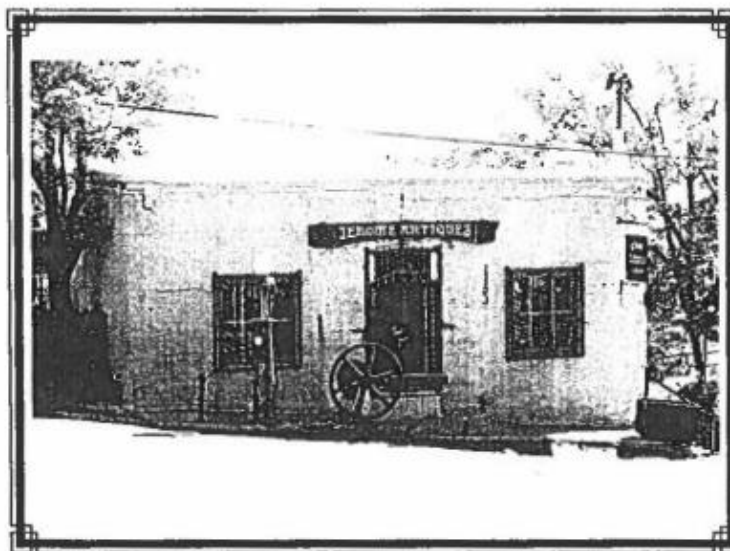
## PHOTO INFORMATION

Date of photo 2007


View Direction (looking towards)

North East

Negative No. 300 Hull Ave







**JEROME**  
ARIZONA

2007 Town of Jerome Arizona

**HISTORIC PROPERTIES SUMMARY SURVEY**

A. HISTORIC EVENTS/TRENDS. *Describe any historic events/trends associated with the property.*

B. PERSONS. *List and describe persons with an important association with the building.*

C. ARCHITECTURE. Style

☐ no style

Stories Two ☐ Basement Roof form Flat

*Describe other character-defining features of its massing, size, and scale* This 4060 SF Structure is rectangular in form. Steps down hillside. Original Gas pump is still visible in front

**INTEGRITY**

*To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.*

LOCATION. ☒ Original Site ☐ Moved: date original site

DESIGN. *Describe alterations from the original design, including dates.*

MATERIALS. *Describe the materials used in the following elements of the property.*

Walls (structure) Wood, Concrete

Walls (sheathing) Stucco

Windows Wood, Steel

Describe window structure Fixed, Casement and dbl hung

Roof Built up

Foundation Concrete, Stone and wood

SETTING. *Describe the natural and/or built environment around the property.*

*How has the environment changed since the property was constructed?*

WORKMANSHIP. *Describe the distinctive elements, if any, of craftsmanship or method of construction.*

**NATIONAL REGISTER STATUS** (if listed, check the appropriate box)

☐ Individually Listed; ☒ Contributor ☐ Noncontributor to

Historic District

Date Listed

☐ Determined eligible by Keeper of National Register (date

**RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY** (opinion of SHPO staff or survey consultant)

Property ☐ is ☐ is not eligible individually.

Property ☐ is ☐ is not eligible as a contributor to a listed or potential historic district.

☐ More information is needed to evaluate.

If not considered eligible, state reason:

**FORM COMPLETED BY** Gregory C. Hunt  
**Name and Affiliation:** DAPA Studio  
**Mailing Address:** P.O. Box 8 Cottonwood, Arizona 86326

Date: Nov., Dec. 2007  
 Phone #: 928-646-9205