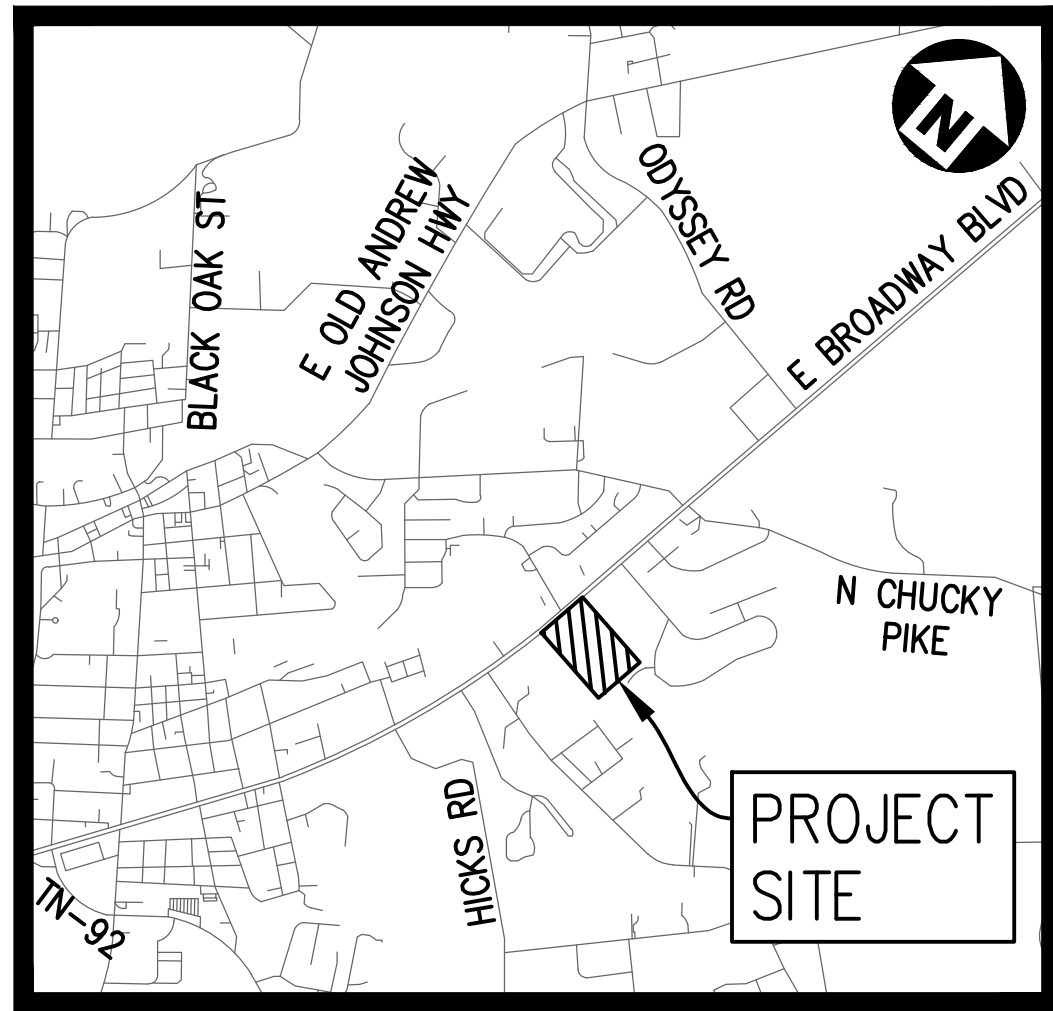


EXPRESS OIL - JEFFERSON CITY, TN

E. BROADWAY BLVD
JEFFERSON CITY
JEFFERSON COUNTY, TENNESSEE
LOT 3 JESSIE SWANN RANKIN FARM RESUB
1.65 ACRES
ZONING: COMMERCIAL CORRIDOR (CC)

CONSTRUCTION PLANS

PROJECT NUMBER: EXO25004
DATE: OCTOBER 6, 2025



VICINITY MAP
N.T.S.

MITCH CAIN
MAYOR

KEVIN BUNCH
VICE MAYOR

AILENE COMBS
COUNCIL MEMBER

SHEALA PURKEY
COUNCIL MEMBER

ROCKY MELTON
COUNCIL MEMBER

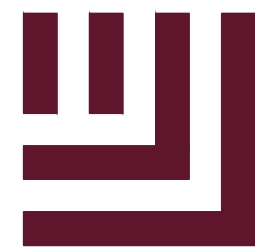
THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING PUBLIC WORKS DEPARTMENT APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER OR THE PUBLIC WORKS ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER AND THE PUBLIC WORKS ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.



NO SUBSURFACE UTILITY SURVEY (SUE) HAS BEEN PERFORMED FOR THE PREPARATION OF THESE PLANS. ADDITIONAL UNDERGROUND UTILITIES MAY BE IN THE AREA. CONTRACTOR SHALL NOTIFY "TN811" (811) OR 1-800-351-1111 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "TN811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

Sheet List Table

- C0.00 COVER
- V0.00 ALTA SURVEY
- C0.01 GENERAL NOTES
- C1.00 EXISTING CONDITIONS & DEMOLITION PLAN
- C2.00 SITE PLAN
- C3.00 GRADING AND DRAINAGE PLAN
- C3.01 STORM PROFILES AND CALCULATIONS
- C3.02 EXISTING DRAINAGE AREA MAP
- C3.03 PROPOSED DRAINAGE AREA MAP
- C4.00 WATER AND SEWER PLAN
- C4.01 UTILITY PLAN
- C4.02 STORM CONTROL MEASURE
- C4.03 STORM CONTROL MEASURE CALCULATIONS
- C5.00 GARBAGE TRUCK TURN EXHIBIT
- C6.00 EROSION CONTROL PLAN
- C6.01 EROSION CONTROL DETAILS
- C6.02 EROSION CONTROL DETAILS
- C7.00 PAVING, STRIPING & SIGNAGE PLAN
- C8.00 STANDARD CONSTRUCTION DETAILS
- C8.01 STANDARD CONSTRUCTION DETAILS
- C8.02 STANDARD CONSTRUCTION DETAILS
- L5.00 CODE LANDSCAPE PLAN
- L5.10 LANDSCAPE NOTES & DETAILS



McAdams

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972. 436. 9712
fax 972. 436. 9715
TBPE: F-19762 TBPELS: F-10194440
SC license number: 552, 402
www.mcadamsco.com

CONTACT

BRITTANY YOUNGBLOOD
BYOUNGBLOOD@MCADAMSCO.COM
PHONE: 501.840.0001

CLIENT

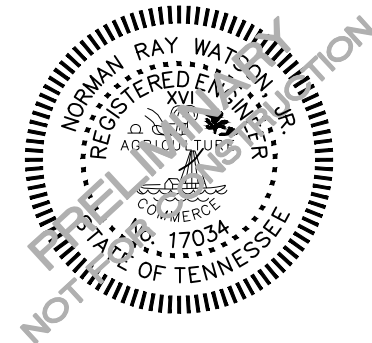
JUSTIN DUCK
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
PHONE: 205.906.2006



PROJECT DIRECTORY

GEOTECHNICAL
ECS SOUTHWEST, LLC
318 SEABOARD LANE
FRANKLIN, TN 37067
PHONE: 615.885.4983

ENGINEER OF RECORD MCADAMS
RAY WATSON
621 HILLSBOROUGH STREET, SUITE 500
RALEIGH, NC 27603
PHONE: 919.418.4715



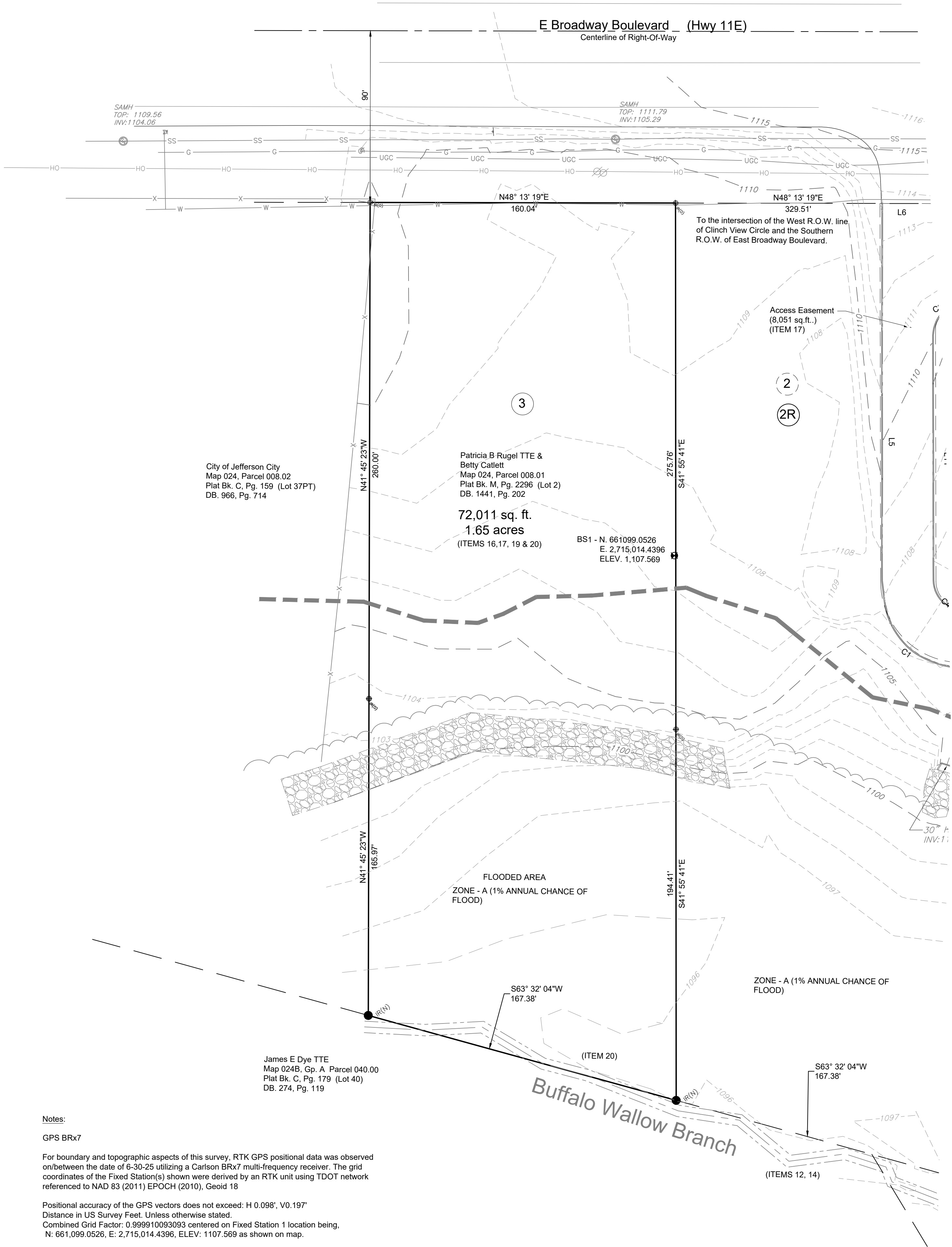
REVISIONS

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		

CONSTRUCTION PLANS FOR:

EXPRESS OIL - JEFFERSON CITY, TN
JEFFERSON CITY, TENNESSEE 37760
PROJECT NUMBER: EXO25004

X:\2025\2025045 - Express Oil - Jefferson City\DWG\ALTA Survey of Lot 3 - Express Oil.dwg Jul 28, 2025 - 2:54pm emiller - LDS Copyright 2025



Notes:

GPS BRx7

For boundary and topographic aspects of this survey, RTK GPS positional data was observed on/between the date of 6-30-25 utilizing a Carlson BRx7 multi-frequency receiver. The grid coordinates of the Fixed Station(s) shown were derived by an RTK unit using TDOT network referenced to NAD 83 (2011) EPOCH (2010), Geoid 18

Positional accuracy of the GPS vectors does not exceed: H 0.098', V 0.197'
Distance in US Survey Feet. Unless otherwise stated.
Combined Grid Factor: 0.999910093093 centered on Fixed Station 1 location being,
N: 661,099.0526, E: 2,715,014.4396, ELEV: 1,107.569 as shown on map.

Note: Underground utilities located by (Projects R&F USA, Inc)

- Sewer Line (5.58' Depth)
- Water Line (3.00' Depth)
- Communication Line (2.25' Depth)
- Gas Line (5.58' Depth)

ALTA/NSPS Land Title Survey

This survey is made for the benefit of, Express Oil Change LLC a Delaware limited liability company and Fidelity National Title Insurance Company and Tennessee Valley Title Insurance Co.

Commitment Date: July 23, 2025 at 08:00 AM.
Commitment No: 20251712CTN

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,5,6(a),7(a)(1),8,11,13,14,16,17,18 of Table A thereof. The fieldwork was completed on 6-27-25
Date of Plat or Map: 7-14-25

Surveyor:

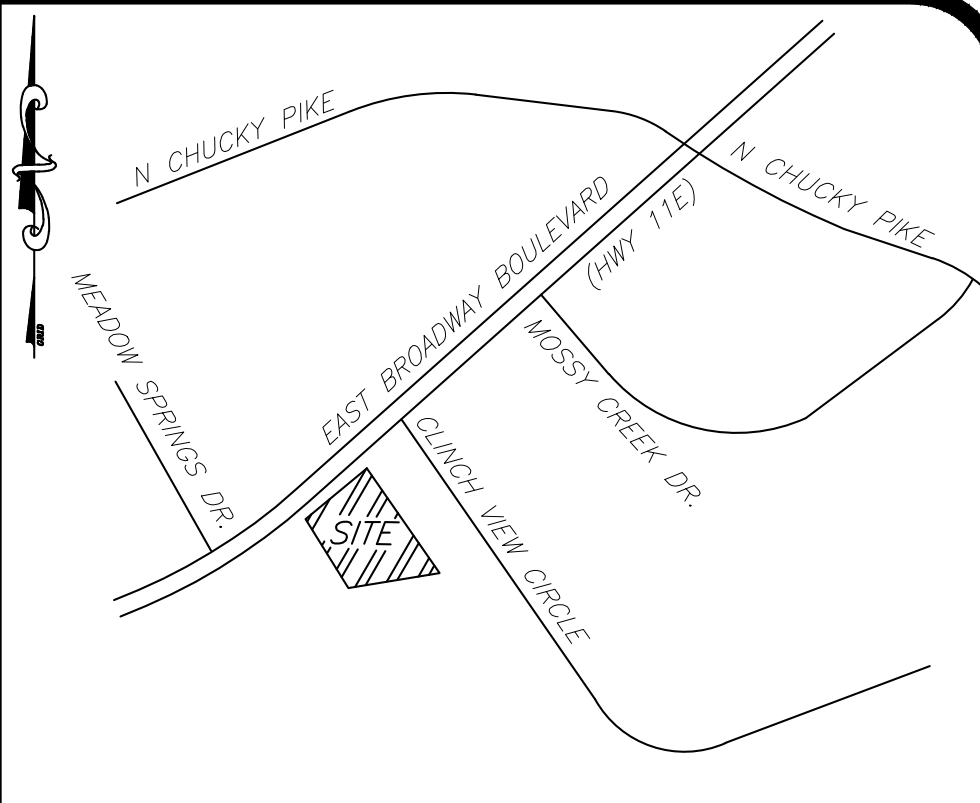
Eddie D Miller TN RLS # 2033 Date

Exceptions

- Subject to all matters shown on the Plan of record in Plat Book 7, Page 29; Plat Cabinet M, Slide 2296 and Plat Cabinet M, Slide 2515, Register's Office for Jefferson County, Tennessee. (affects the property)
- Mineral and mining rights and interests contained in the Deed of record in Deed Book 162, Page 377, Register's Office, Jefferson County, Tennessee. (affects the property)
- Sewer line for installation, use and maintenance of a sewer line on, over and Under Tract 35 for the use and benefit of Tract 40 as contained in the Deed of record in Book 1441, page 202 Register's Office for Jefferson County, Tennessee. (does not affect the property)
- Reciprocal Easement Agreement of record in Book 1892, Page 355 and Book 1801, page 278, in the Register's Office for Jefferson County, Tennessee. (affects the property)
- Subject to the flow of any creeks, streams, or branches across subject property. (affects the property)
- Acreage content of the subject property is not hereby insured. Reference to acreage is left in the description merely for convenience in identifying the tract. (affects the property)

LEGEND

- IRON ROD (OLD)
- 1/2" IRON ROD (NEW)
- PK NAIL
- PROPERTY LINE
- ADJOINING PROPERTY CENTER LINE
- EXIST. WATERLINE
- EXIST. WATER VALVE
- EXIST. WATER METER
- EXIST. FIRE HYDRANT
- EXIST. TRANSFORMER PAD
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- EXIST. POWER POLE-TEL POLE
- EXIST. LIGHT POLE
- EXIST. SANITARY SEWER LINE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. SEWER-STORM CLEAN-OUT
- EXIST. STORM MANHOLE
- EXIST. STORM LINE
- SIZE (HIGH-DENSITY POLYETHYLENE PIPE
- EXIST. CURB INLET OR STORM DRAIN
- EXIST. GAS VALVE
- EXIST. GAS METER
- EXIST. GAS LINE
- LOT NO. (NEW)
- LOT NO. (OLD)



LOCATION MAP
N.T.S.

Table A Items

- Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner. (see "Legend of Symbols & Abbreviations").
- Site Address: Lot 2R E Broadway Blvd., Jefferson City TN. 37760.
- Portions of the property is located in a flood plain, Being located in Zone "A" shaded Reference FIRM Community 47089C0151D, eff. 12/16/2008, Jefferson City Town of (470430)
- Property contains: Parcel 008.01, CLT Map 024, (1.82 acres)
- 1 foot contours, NAD 83 datum, (2011).
- (a) Property zoning: (Highway Business District)
- (a) No Buildings found on property.
- Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features and features required pursuant to Section 5 above (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse, etc). (shown on drawing).
- Striping number and type (e.g. handicapped, motorcycle, regular, etc.) of no parking found on property.
- N/A
- Location of utilities existing on or serving the surveyed property as determined by: observed evidence together with evidence from plans obtained from utility companies or provided by client, and marking by utility companies and other appropriate sources (shown on drawing).
- N/A
- Names of adjoining owners according to current tax records. If more than one owner, identify the first owner's name listed in the tax records followed by "et al." (shown on survey)
- Distance to the nearest intersection or street. (shown on drawing)
- N/A
- Evidence of recent earth moving work, building construction or building additions. (None Found)
- Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork. (none found)
- Any plottable offsite (i.e., appurtenant) easements disclosed in documents provided to or obtained by the surveyor. (none found)

Property Description

SITUATED in the 4th Civil District of Jefferson County, Tennessee. The following subdivided lot (3) being more particularly described below.

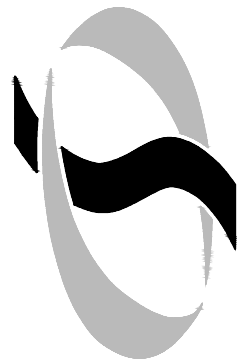
Lot 3:

THE POINT OF BEGINNING being South 48 deg. 13 min. 19 sec. West 329.51 feet from the intersection of the southern right-of-way line of E Broadway Boulevard (Hwy 11E) and the western right-of-way line of Clinch View Circle.
THENCE: From said POINT OF BEGINNING and with the boundary line between Lot 2R and Lot 3, South 41 deg. 55 min. 41 sec. East 275.76 feet to an iron rod.
THENCE: continuing South 41 deg. 55 min. 41 sec. East 194.41 feet to a point on the northern bank of Buffalo Wallow Branch.
THENCE: along the northern bank of Buffalo Wallow Branch, South 63 deg. 32 min. 04 sec. West 167.38 feet to a point.
THENCE: leaving said Buffalo Wallow Branch North 41 deg. 45 min. 23 sec. West 165.97 feet to an iron rod.
THENCE: North 41 deg. 45 min. 23 sec. West 260.00 feet to an iron rod being on the southern right-of-way line of E Broadway Boulevard (Hwy 11E).
THENCE: continuing along the southern right of way of E Broadway Boulevard (Hwy 11E) North 48 deg. 13 min. 19 sec. East 160.04 feet to the POINT OF BEGINNING. Containing 72,011 SQ. FT., 1.65 Acres. The above-described lot is shown on the plat created by Land Development Solutions, Knoxville, TN, (865)671-2281, Job no. 2024111, Eddie Miller R.L.S., 2033 12-09-2024.

Coordinates were obtained using Carlson BRx7 multi-frequency receivers, as base and rover. The grid coordinates are referenced to NAD83(2011), Epoch (2010), Geoid 18, with a combined grid factor; 0.99991009093. Positional accuracy of the GPS vectors does not exceed: H 0.098', V 0.197'.

Map 024, Parcel 008.01
Broadway Boulevard E
Express Oil

LAND
DEVELOPMENT
SOLUTIONS



310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

ALTA/NSPS
SURVEY

Drawing Description:

Revision	Date	No.

Drawn By	
Checked	
Approved	
Job No.	2025045
1"=30'	6-27-25
Scale	Date

ALTA-1
Sheet No.

Z:\Drive\Projects\BXO\BXO25004\04-Production\Engineering\Sheets\BXO25004-GN1.dwg, 10/3/2025, Nicolas Hadjett

GENERAL NOTES:

- THE TERM MUNICIPALITY REFERS TO THE CITY OF JEFFERSON CITY, TENNESSEE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION. ALL WORK NOT COVERED IN THE CONTRACT DOCUMENTS AND MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION SHALL BE GOVERNED BY THE CENTRAL MIDLANDS COUNCIL OF GOVERNMENTS (CMCOG) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. EXISTING UTILITIES SHOWN HAVE BEEN BASED ON AVAILABLE RECORD DRAWINGS AND SURFACE APPURTENANCE FIELD TIES ONLY. SOME UTILITY LINES AND SURFACE LOCATIONS MAY NOT BE SHOWN. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATIONS AND PROTECTION OF EXISTING UTILITIES WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING UTILITIES WHETHER SHOWN OR NOT, DAMAGED BY THE CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS OF EXISTING UTILITIES SHALL NOT BE BASIS FOR ADDITIONAL COMPENSATIONS TO THE CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT CONTRACTORS EXPENSE BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A.) PREVENT ANY DAMAGES TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC. B.) PROTECT ALL UNDERGROUND UTILITIES. C.) NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION IN ACCORDANCE WITH TENNESSEE LAW. D.) FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE VICINITY OF CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNIDENTIFIED POTENTIAL CONFLICTS THAT MAY EXIST BETWEEN THE EXISTING UTILITIES AND CONSTRUCTION PLANS.
- ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS, INCLUDING EXISTING PRIVATE AND PUBLIC LANDSCAPE IRRIGATION SYSTEMS, SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENT WERE IN PRIOR TO THE DAMAGES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE ADJUSTMENT OF SPRINKLER HEADS TO FINAL GRADE AND RELOCATION IF NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. THE PONDING OF WATER IN STREETS, DRIVES, TRENCHES, ETC, WILL NOT BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS ACCESS AT ALL TIME.
- THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES DURING CONSTRUCTION.
- AREAS OF THE SITE THAT WILL UNDERLIE FILL SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES, FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT FROM -3% TO +1% OF OPTIMUM OR PER GEOTECH RECOMMENDATION. FIELD DENSITY TESTS PER MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATION FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEM, REGISTERED IN THE STATE OF TENNESSEE. THE CONTRACTOR SHALL SUBMIT COMPLETED TRENCH SAFETY PLANS TO THE MUNICIPALITY PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONSTRUCTION SAFETY AND HEALTH REGULATIONS".
- WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE MUNICIPALITY.
- ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
- ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE CONCRETE PAVEMENT.
- CONTRACTOR SHALL COORDINATE THE PROTECTION OF EXISTING FRANCHISE UTILITIES AND APPURTENANCES INCLUDING EXISTING UTILITY POLES IN THE VICINITY OF CONSTRUCTION OPERATIONS WHETHER UTILITIES ARE SHOWN ON PLANS OR NOT. ANY DAMAGE INCURRED TO EXISTING FRANCHISE UTILITIES, APPURTENANCES, UTILITY POLES, LIGHT STANDARDS, ETC., BY CONSTRUCTION RELATED ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL LOCATE AND RECORD EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY REMOVE AND CAP IRRIGATION SYSTEM AS NECESSARY FOR CONSTRUCTION AND SHALL REPLACE THE PORTION REMOVED WITH EQUIVALENT SYSTEMS. CONTRACTOR SHALL COORDINATE ANY IRRIGATION WORK WITH THE MUNICIPALITY AND PROPERTY OWNER'S REPRESENTATIVES.
- THE CONTRACTOR MUST CEASE ALL CONSTRUCTION OPERATIONS IMMEDIATELY IF A SUSPECTED ARCHEOLOGICAL OBJECT/ARTIFACT IS UNCOVERED DURING CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY CONTACT THE TENNESSEE HISTORICAL COMMISSION AND THE MUNICIPALITY. PROJECT WORK WILL NOT COMMENCE UNTIL PROPER PERMITS ARE IN PLACE AND PROVIDED TO THE MUNICIPALITY.
- ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL HANDICAPPED ACCESSIBILITY REQUIREMENTS INCLUDING SIGNAGE, TEXTURES, COLORING, MARKINGS, AND SLOPES OF ADA/TAS 2012

ACCESSIBLE ROUTES & RAMPS, AND PARKING SPACES.

- ALL PIPE LENGTHS MEASURED FROM STATION TO STATION BASED ON THE CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARISE.
- THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) MUST APPROVE ANY WORK TO BE DONE IN THE STATE HIGHWAY RIGHT-OF-WAY. AN APPLICATION AND APPROPRIATE PLANS MUST BE SUBMITTED DIRECTLY TO TDOT FOR REVIEW AND APPROVED BY THE MUNICIPALITY WHERE THE WORK WILL BE PERFORMED.
- THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES. IF THE EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES, SERVICE LINES OR IRRIGATION LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES, SERVICE LINES OR IRRIGATION LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENTS.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS." VOL. 29, SUBPART P. PG. 128-137, AND ANY AMENDMENTS THERETO. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A TRENCH SAFETY PLAN FOR THIS PROJECT.
- THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACT'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
- THE CONTRACTOR SHALL KEEP RECORDS FOR AS-BUILTS DRAWINGS AND SHALL SUBMIT MARK-UPS TO THE MUNICIPALITY INSPECTOR PRIOR TO SCHEDULING A FINAL WALK THROUGH INSPECTION.
- PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH REPRESENTATIVES FROM ALL CONTRACTORS, THE ENGINEER, AND THE MUNICIPALITY.
- ALL CONSTRUCTION MUST ADHERE TO THE TREE PRESERVATION REQUIREMENTS OF THE MUNICIPALITY.
- THE CONTRACTOR, AND HIS AGENTS, AND SUB-CONTRACTOR, ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN. THE OWNER, ENGINEER AND THEIR AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTAL AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED, IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PREPARE, IMPLEMENT AND MAINTAIN THE SWPPP IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT TCEQ AND NPDES GENERAL PERMIT AS DESCRIBED IN THE FEDERAL REGISTER, PAGES 36489 THROUGH 36519.

GENERAL NOTES FOR PAVING IMPROVEMENTS

- THE SUB GRADE SHALL BE PROOF ROLLED AND OBSERVED BY THE CONSTRUCTION INSPECTOR PRIOR TO AND AFTER SUB-GRADE STABILIZATION.
- INDIVIDUAL WATER AND SEWER SERVICES AND WATER VALVES SHALL BE MARKED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROCEED WITH PAVING NO MORE THAN SEVENTY-TWO (72) HOURS AFTER DENSITY/MOISTURE TESTS HAVE BEEN TAKEN AND PASSED BY A REGISTERED TESTING FIRM. COPIES OF THE TEST RESULTS SHALL BE FURNISHED TO THE MUNICIPALITY. IN THE EVENT PAVING OPERATIONS HAVE NOT COMMENCED WITHIN THE SEVENTY-TWO (72) HOUR LIMIT, A RETEST SHALL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.
- MANHOLE RIM ELEVATIONS, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR AT THE TIME OF PAVING.
- THE PAVING CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET OR FIRE LANE CENTERLINE AT THE LOCATION OF EACH FIRE HYDRANT.
- THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS AND SUBMIT TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE MUNICIPALITY. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D AND AS MODIFIED BY THE TDOT SUPPLEMENT TO THE M.U.T.C.D. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.

AMERICAN WITH DISABILITIES ACT REQUIREMENTS

- THE MAXIMUM ALLOWED CROSS SLOPE ON ANY PROPOSED SIDEWALK OR TRAIL IS 2%.
- THE MAXIMUM ALLOWED PATH OF TRAVEL SLOPE IS 5%, UNLESS OTHERWISE NOTED ON THESE PLANS. ANY SLOPE GREATER THEN 5%, AND LESS THAN 8.25%, MUST HAVE HANDRAILS. NO SLOPE GREATER THAN 8.25% SHALL BE ALLOWED.
- SLOPES BETWEEN 5% AND 8.25% ARE CONSIDERED RAMPS. NO RAMP CAN EXCEED 30' IN LENGTH AND NO RAMP CAN EXCEED A GRADE CHANGE OF MORE THAN 2'-6". LANDINGS ARE REQUIRED IF EITHER OF THESE ARE EXCEEDED.
- LANDINGS MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- RAILINGS, IF REQUIRED, ARE TO EXTEND A MINIMUM OF 1' INTO THE LANDING AREA.
- CURB RAMPS ARE REQUIRED AT THE END AT ALL CROSSWALKS. ALL CURB RAMPS ARE TO HAVE A MAXIMUM OF 6" OF RISE OVER THE 6' LENGTH OF THE RAMP. THE MAXIMUM ALLOWED CROSS SLOPE IS 2%.
- TRUNCATED DOMES ARE TO BE INSTALLED AT THE BOTTOM OF EACH RAMP. THE DOMES ARE TO EXTEND THE FULL WIDTH OF THE PROPOSED RAMP AND MUST BE OF A CONTRASTING COLOR TO THE RAMP PAVEMENT, SIMILAR COLORS WILL NOT BE ACCEPTED.
- ANY WALKWAY, SIDEWALK OR TRAIL, LESS THAN 5' IN WIDTH MUST HAVE A 5'X5' PASSING ZONE EVERY 200', OR LESS.
- A PAVED ACCESSIBLE PARKING SPACE MUST INCLUDE:
 - THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT;
 - A SIGN IDENTIFYING THE CONSEQUENCES OF PARKING ILLEGALLY IN A PAVED ACCESSIBLE SPACE. THE SIGN MUST:
 - AT A MINIMUM STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST ONE INCH;
 - BE MOUNTED ON A POLE, POST, WALL OR FREE STANDING BOARD;
 - BE NO MORE THAT EIGHT INCHES BELOW A SIGN REQUIRED BY THE TENNESSEE ACCESSIBILITY STANDARDS, 502.6; AND
 - BE INSTALLED SO THAT THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN 48 INCHES AND NO HIGHER THAN 80 INCHES ABOVE GROUND LEVEL.



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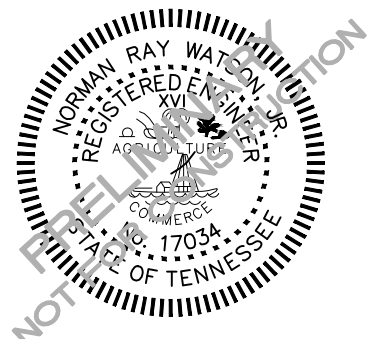
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CLIENT

JUSTIN DUCK
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
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EXPRESS OIL - JEFFERSON CITY, TN
CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

PLAN INFORMATION

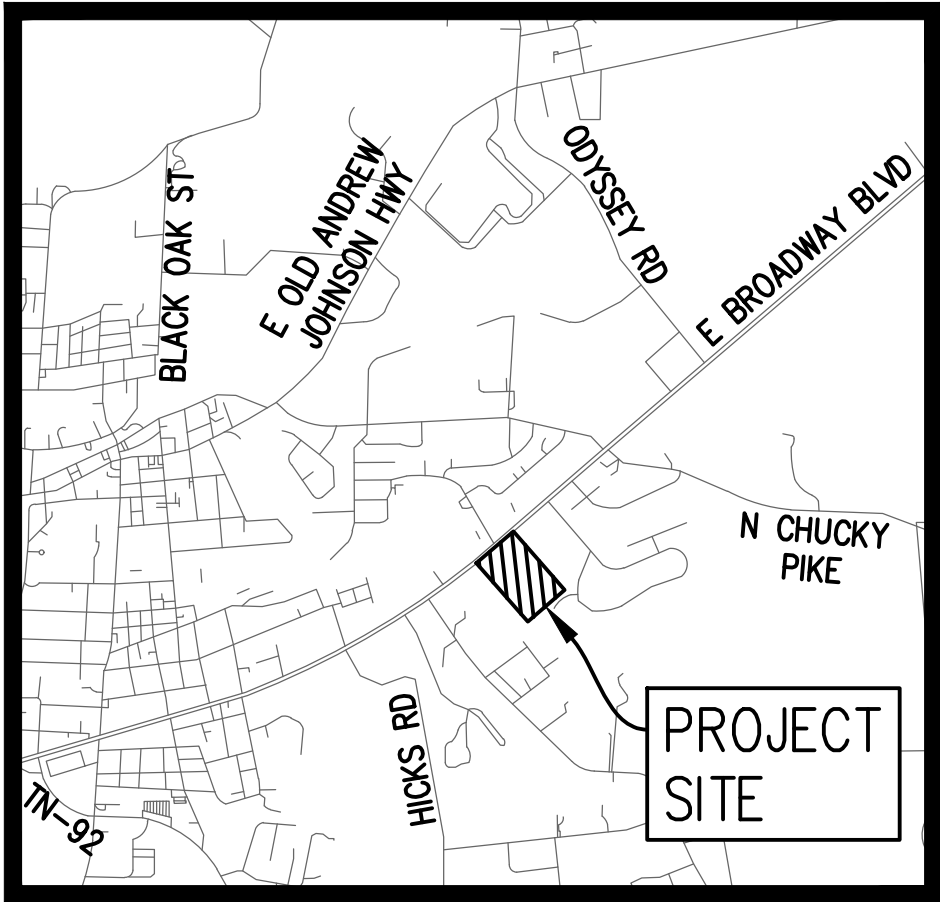
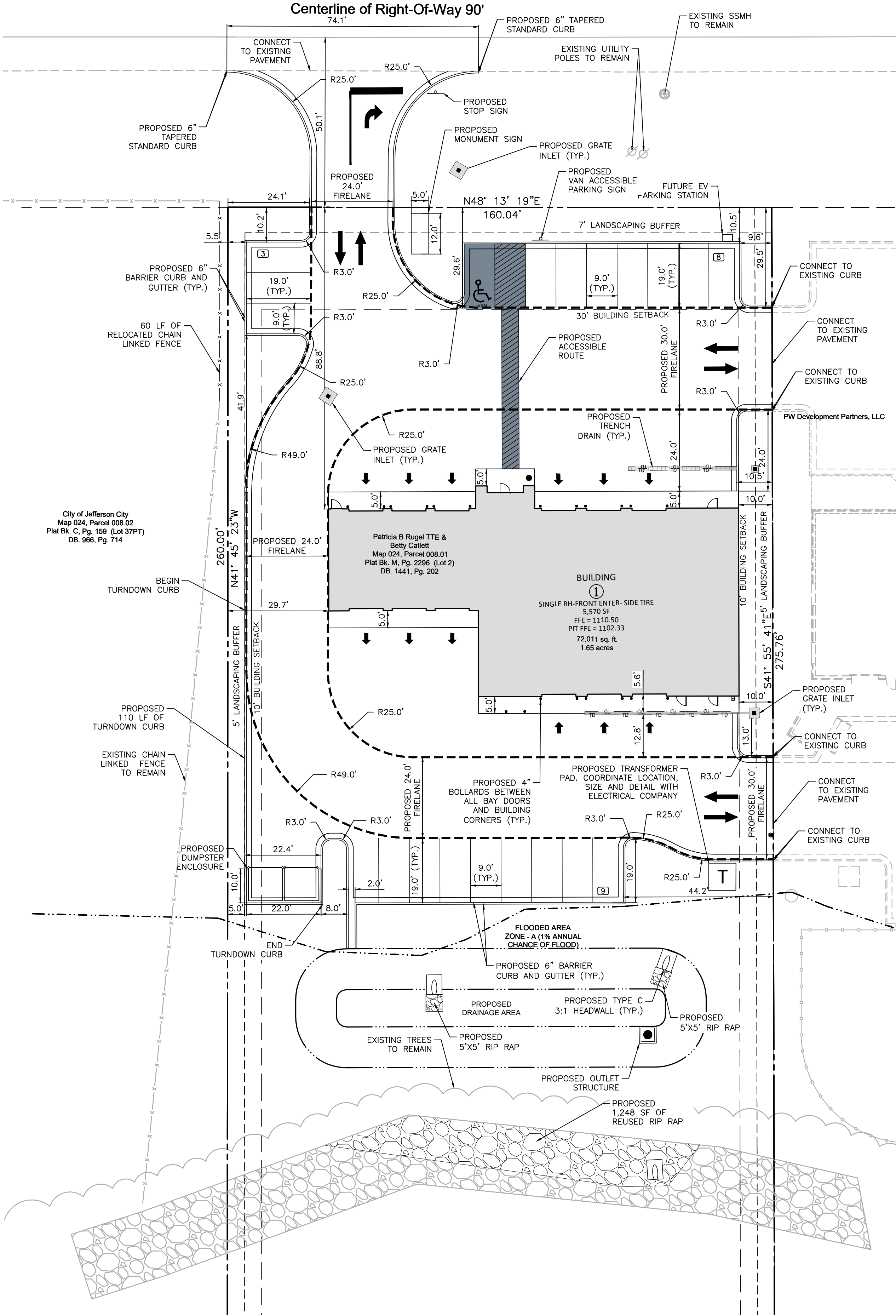
PROJECT NO.	EXO25004
FILENAME	EXO25004-GN1.DWG
CHECKED BY	BY
DRAWN BY	JE
SCALE	N.T.S.
DATE	10.06.2025

SHEET

GENERAL NOTES

C0.01

E Broadway Boulevard (Hwy 11E)



VICINITY MAP

N.T.S.

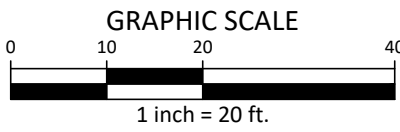
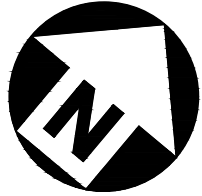
SITE DATA TABLE		
PHYSICAL ADDRESS		LOT 3 ON E. BROADWAY BLVD JEFFERSON CITY, TN
LEGAL DESCRIPTION		MAP 024, PARCEL 008.01 PLAT BK. M, PG. 2296 (LOT 2) DB. 1141, PG 202
GROSS SITE AREA		1.65 ACRES
NET SITE AREA		1.65 ACRES
ZONING		HIGHWAY BUSINESS DISTRICT (B3)
CURRENT USE		NONE – UNDEVELOPED
PROPOSED USED		AUTO REPAIR SERVICE
FRONT SETBACK		30'
REAR SETBACK		25'
SIDE SETBACK		10'
LANDSCAPE BUFFER		7' FRONT 5' SIDE
LOT COVERAGE DATA		
BUILDING COVERAGE	0.128 AC	7.8%
IMPERVIOUS AREA	0.710 AC	43.0%
PERVIOUS AREA	0.940 AC	57.0%
PARKING SUMMARY		
REQUIRED PARKING – 6 EMPLOYEES (1 SPACE PER EACH REGULAR EMPLOYEE)		6 SPACES
REQUIRED PARKING – 4,434 SF (1 SPACE PER 250 SQUARE FEET OF REPAIR WORK FLOOR SPACE)		18 SPACES
TOTAL REQUIRED PARKING		24 SPACES
STANDARD SPACES PROVIDED		19 SPACES
ACCESSIBLE SPACES PROVIDED		1 SPACE
TOTAL PROVIDED PARKING		20 SPACES
BUILDING DATA		
TOTAL BUILDING SQUARE FOOTAGE		5,570 SF
NUMBER OF BUILDING STORIES		1 STORY
MAXIMUM BUILDING HEIGHT		24 FT

BENCHMARKS:

BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

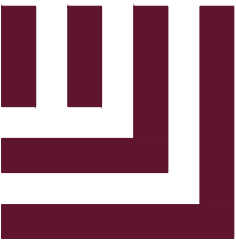
SITE PLAN NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST JEFFERSON COUNTY AND/OR TDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "TN811" (811) OR 1-888-351-1111 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "TN811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE JEFFERSON COUNTY PUBLIC WORKS DEPARTMENT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER IF REQUIRED. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS PLAN SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF JEFFERSON COUNTY AND TENNESSEE SPECIFICATIONS AND STANDARDS
- VERIFY ELECTRICAL REQUIREMENTS OF ABOVE GROUND HEATED ENCLOSURES, SITE LIGHTS, SIGNS THAT REQUIRE ELECTRICAL SERVICE WITH ELECTRICAL PLANS AND NOTIFY PROJECT ELECTRICAL ENGINEER OF MISSING INFORMATION.
- SIGNS TO BE PERMITTED SEPARATELY.



SITE LEGEND

	TRAFFIC DIRECTIONAL ARROW
	VAN ACCESSIBLE PARKING STALL
	ACCESSIBLE PATH
	PARKING SPACE COUNT
	SIGNAGE
	GRATE INLET
	OUTLET STRUCTURE
	TYPE C 3:1 HEADWALL
	RIP RAP
	TRENCH DRAIN
	PROPERTY LINE
	SETBACK AND BUFFER LINES
	FLOODPLAIN LIMITS
	FIRELANE STRIPING
	STANDARD CURB & GUTTER



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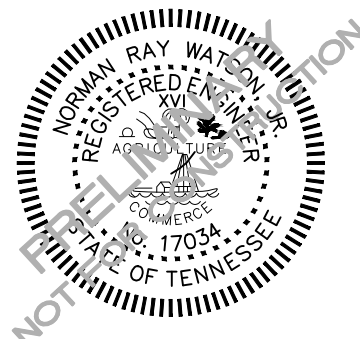
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PLAN INFORMATION

PROJECT NO. EXO25004
FILENAME EXO25004-S1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 20'
DATE 10.06.2025

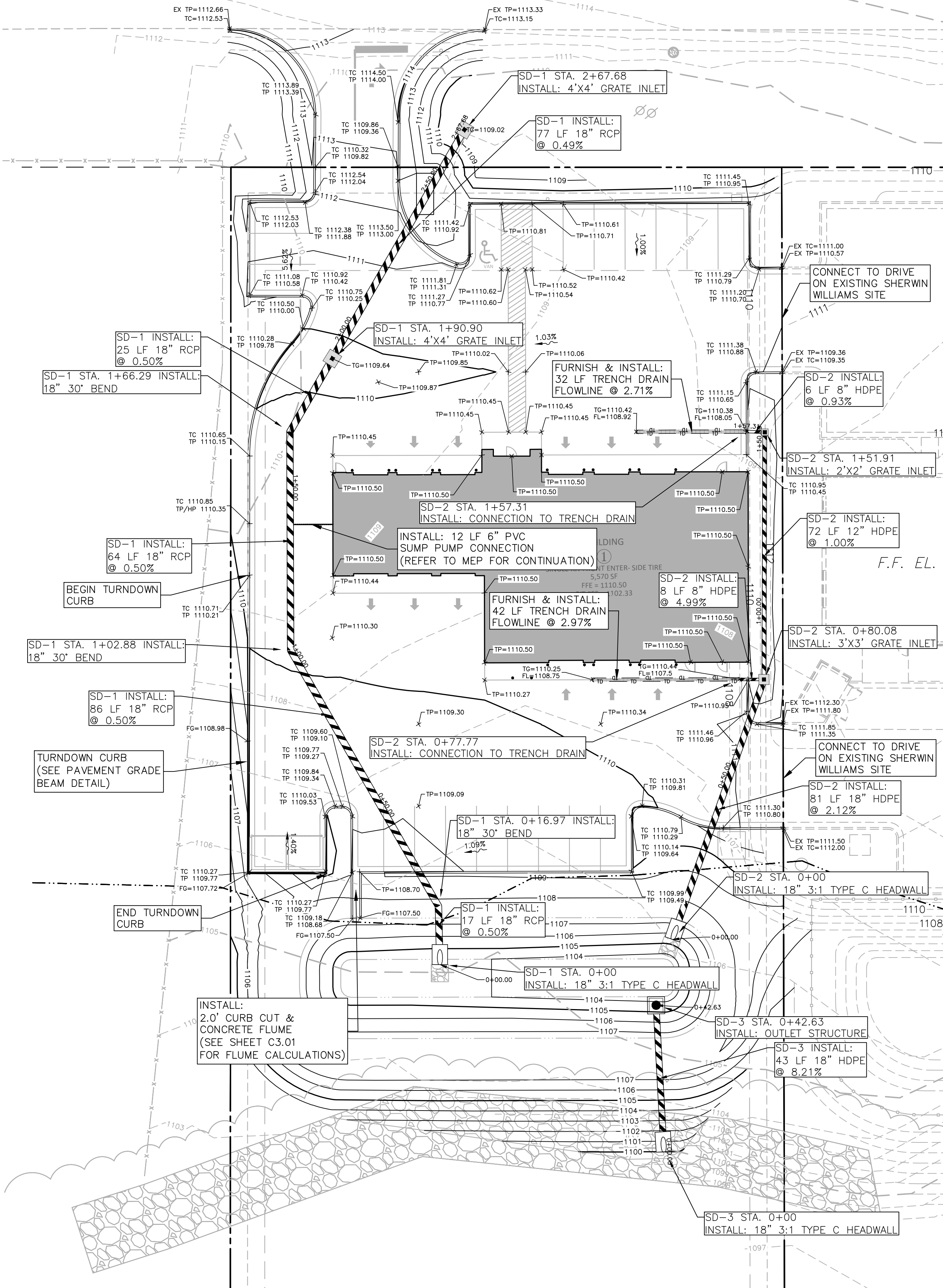
SHEET

SITE PLAN

C2.00

E Broadway Boulevard (Hwy 11E)

Centerline of Right-Of-Way 90'

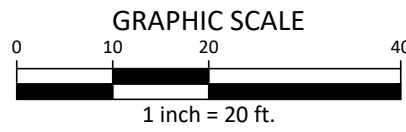
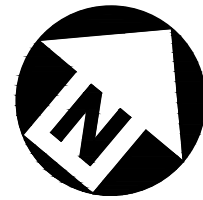


BENCHMARKS:

BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

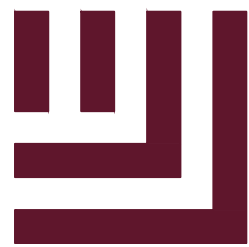
GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- PRIOR TO BEGINNING GRADING ACTIVITIES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY STORMWATER AND EROSION CONTROL DEPARTMENT, A REPRESENTATIVE OF THE ENGINEER, AND A REPRESENTATIVE OF THE OWNER.
- AT CRITICAL LOCATIONS WHERE PROPOSED ELEMENTS TIE INTO EXISTING CONDITIONS, CONTRACTOR SHALL FIELD VERIFY THAT THE FIELD SURVEY MATCHES THE DESIGN SURVEY, REPORTING DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY. TIE-IN LOCATIONS TO FIELD VERIFY ARE INDICATED ON THE PLANS AND MAY INCLUDE BUT ARE NOT LIMITED TO UTILITY CONNECTIONS, PAVEMENT, WALLS, OR FOUNDATIONS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS. ANY DEVIATION FROM THE GRADING PLAN THAT WAS NOT APPROVED BY OWNER'S REPRESENTATIVE THROUGH RFI'S, FIELD CHANGES, BULLETIN DRAWINGS, OR THROUGH OWNER REQUESTED CHANGES, THAT CAUSES WATER TO DRAIN TOWARDS THE BUILDING SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN COST.
- CONTRACTOR SHALL PROVIDE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND NON-PERVIOUS PAVED AREAS.
- CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A MAXIMUM CROSS SLOPE OF 2% (1:48). RAMP CONDITIONS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (1:12) AND A MAXIMUM CROSS SLOPE OF 2% (1:48). ON CURVED SIDEWALKS AND RAMP, MAXIMUM LONGITUDINAL SLOPE SHALL BE MEASURED USING THE INSIDE/MOST STRINGENT PART OF THE CURVE AND MAXIMUM LONGITUDINAL RUNS ON RAMP SHALL BE MEASURED USING THE OUTSIDE PART OF THE CURVE. MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - 5'X5' LANDING WITH A MAXIMUM OF 2% SLOPE IN ANY DIRECTION AT ALL DOORS.
 - ALL ADA CROSSWALK TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTION
- PROVIDE A MINIMUM OF [0.5%] CROSS SLOPE AND [1.75%] MAXIMUM CROSS SLOPE ON WALKWAYS, LANDINGS, AND TRAILS IN A MANNER THAT ENSURES POSITIVE DRAINAGE AND AVOIDS POOLING ON, OR ADJACENT TO, THESE SURFACES.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, WRITTEN PERMISSION AND TEMPORARY CONSTRUCTION EASEMENT MUST BE OBTAINED IN WRITING FROM THE AFFECTED PROPERTY OWNERS.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- TRANSFORMER POLES SHALL BE PROTECTED SUCH THAT NO GRADING OPERATIONS SHALL BE PERFORMED WITHIN [25'] OF A TRANSMISSION POLE AND CLEARANCE REQUIREMENTS ARE MET.
- CONTRACTOR TO FOLLOW DRAINAGE PATTERNS AND INSTALL SPILL CURB WHERE APPROPRIATE.
- ALL UNDERGROUND UTILITIES REQUIRE AS-BUILT SURVEY. GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE WITH LOCAL AHJ ON AS-BUILT REQUIREMENTS.
- SEE SHEET C4.01 FOR STORM SEWER INFORMATION.
- SEE SHEET C4.02 FOR STORM CONTROL INFORMATION.
- A PERMIT FROM TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) IS REQUIRED FOR THE POND, SINCE IT IS LOCATED WITHIN A FLOODPLAIN. ADDITIONALLY, SWPPP MUST BE IMPLEMENTED TO ENSURE COMPLIANCE WITH TDEC STORMWATER REGULATIONS.
- STORMWATER SYSTEM AS-BUILT SURVEY REQUIREMENT.
 - AN AS-BUILT SURVEY SHALL BE PROVIDED BY THE CONTRACTOR.
 - SURVEY SHALL BE PREPARED AND SEALED BY A TENNESSEE LICENSED SURVEYOR.
 - PROVIDE A FULL POND AS-BUILT DRAWING AND ALL ON-SITE DRAINAGE STRUCTURES, PIPES INCLUDING TOP/INLET ELEVATIONS, PIPE SIZES, MATERIAL, LENGTHS, SLOPES AND DIAMETERS.



GRADING LEGEND

	BENCHMARK LOCATIONS
	GRATE INLET
	OUTLET STRUCTURE
	TYPE C 3:1 HEADWALL
	RIP RAP
	TRENCH DRAIN
	DRAINAGE FLOW ARROW
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
	TOP OF PAVEMENT ELEVATION
	TOP OF GRATE ELEVATION
	TOP OF CURB ELEVATION
	FINISHED GRADE ELEVATION
	SPOT ELEVATION
	STORM DRAINAGE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR



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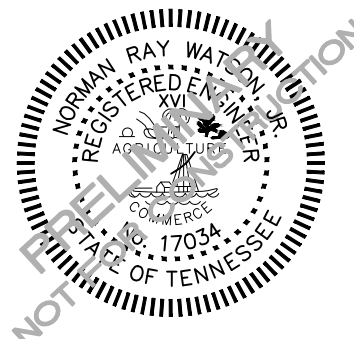
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PLAN INFORMATION

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FILENAME EXO25004-G1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 20'
DATE 10.06.2025

SHEET

GRADING AND
DRAINAGE PLAN

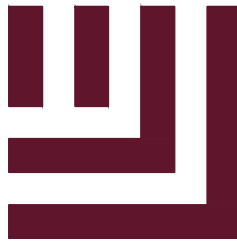
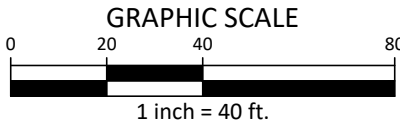
C3.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SD-1

SD-2

SD-3



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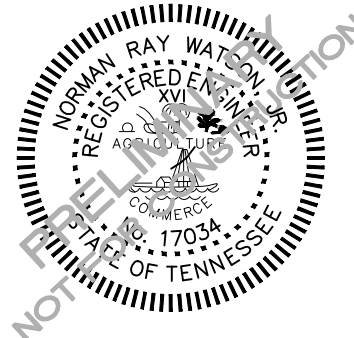
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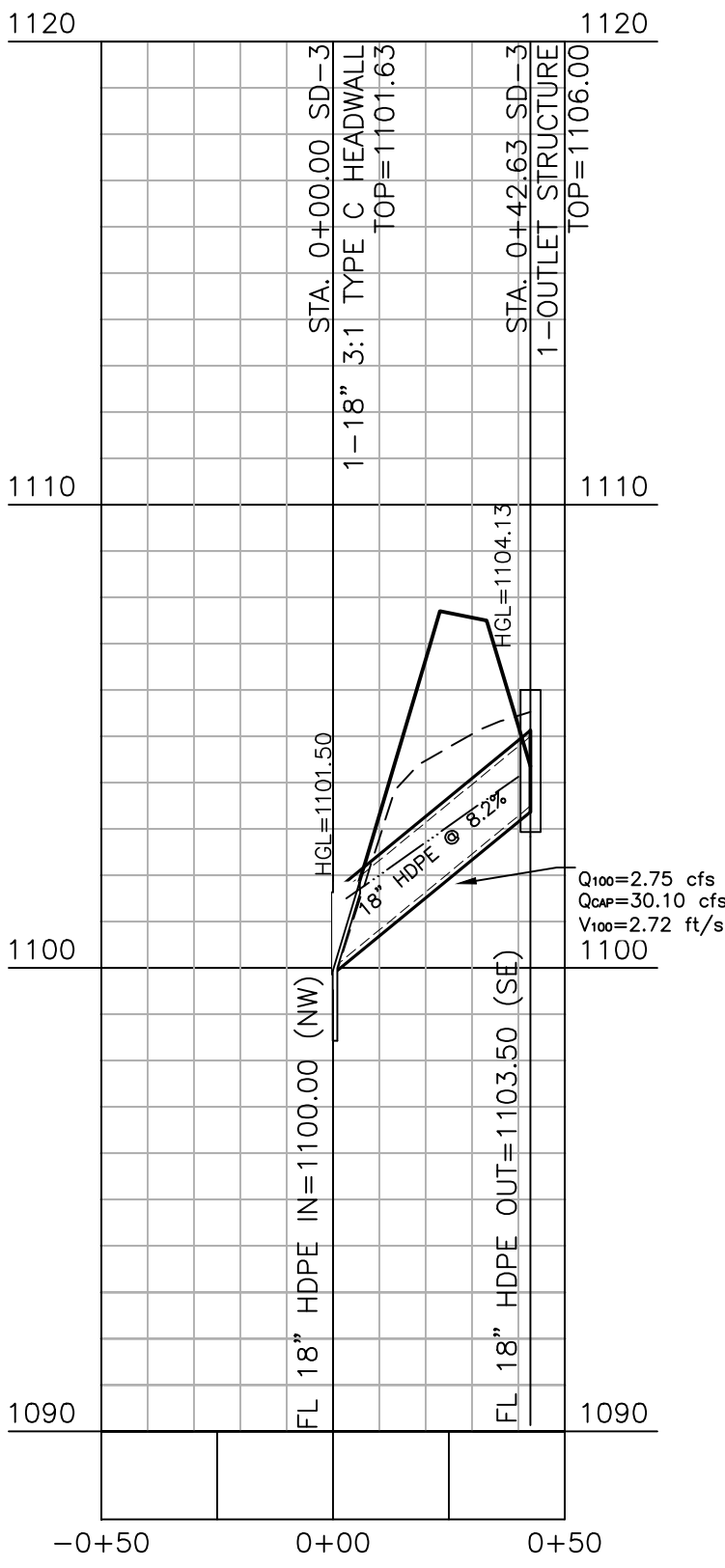
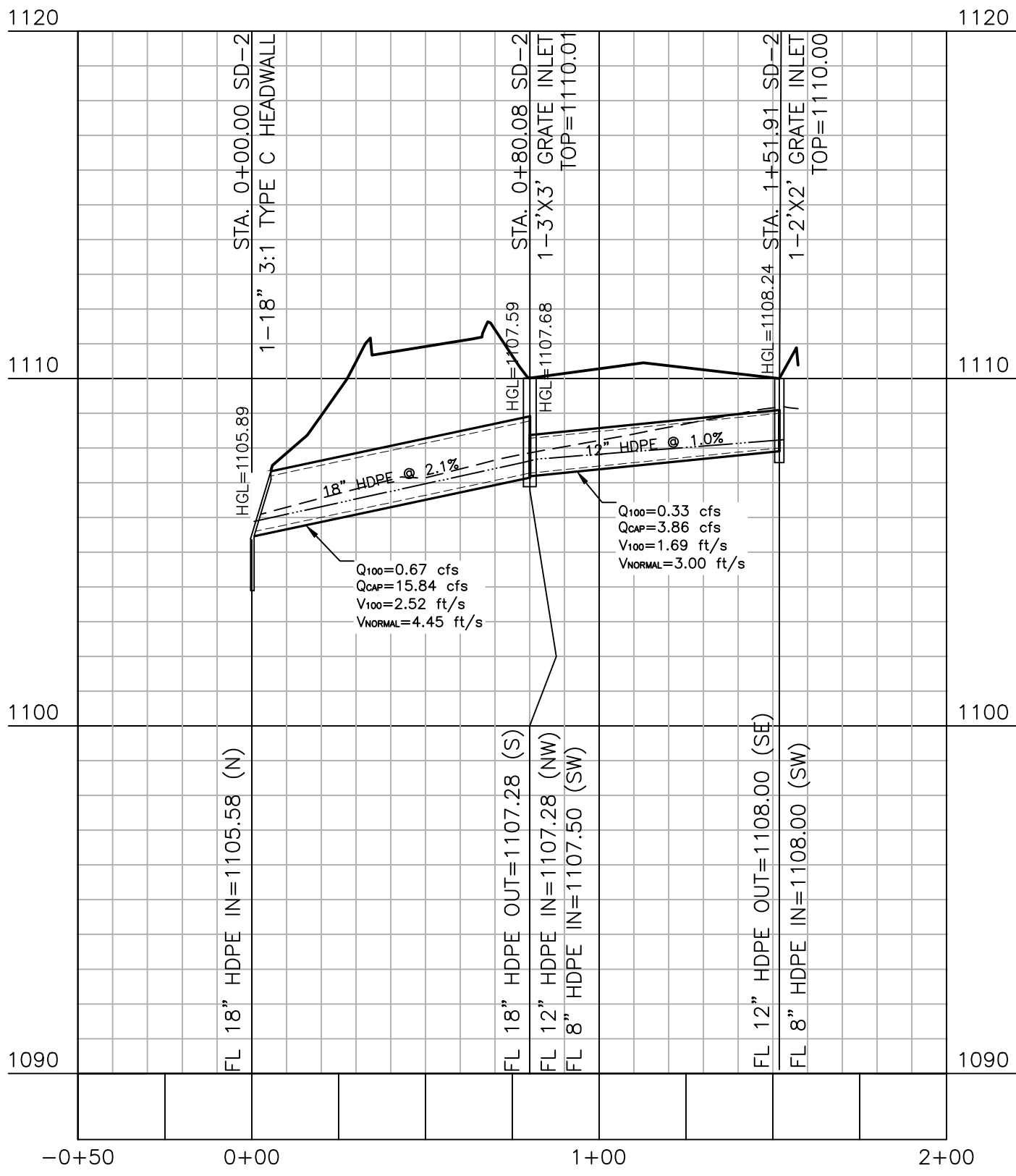
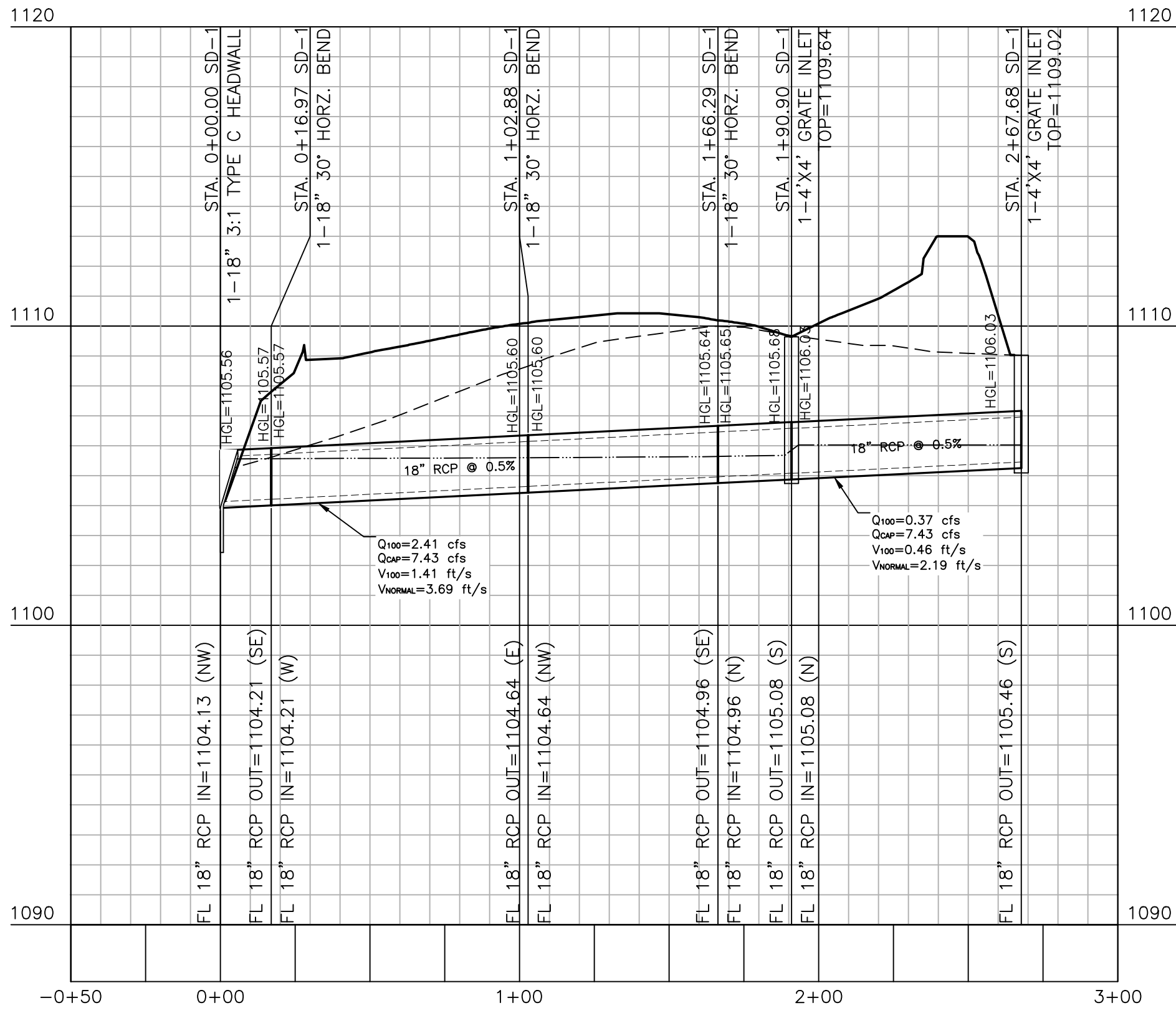
PLAN INFORMATION

PROJECT NO. EXO25004
FILENAME EXO25004-G1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 40'
DATE 10.06.2025

SHEET

STORM PROFILES AND
CALCULATIONS

C3.01



Channel Report

Studio Express by Hydrology Studio v 1.0.0.20

Project Name: New Project

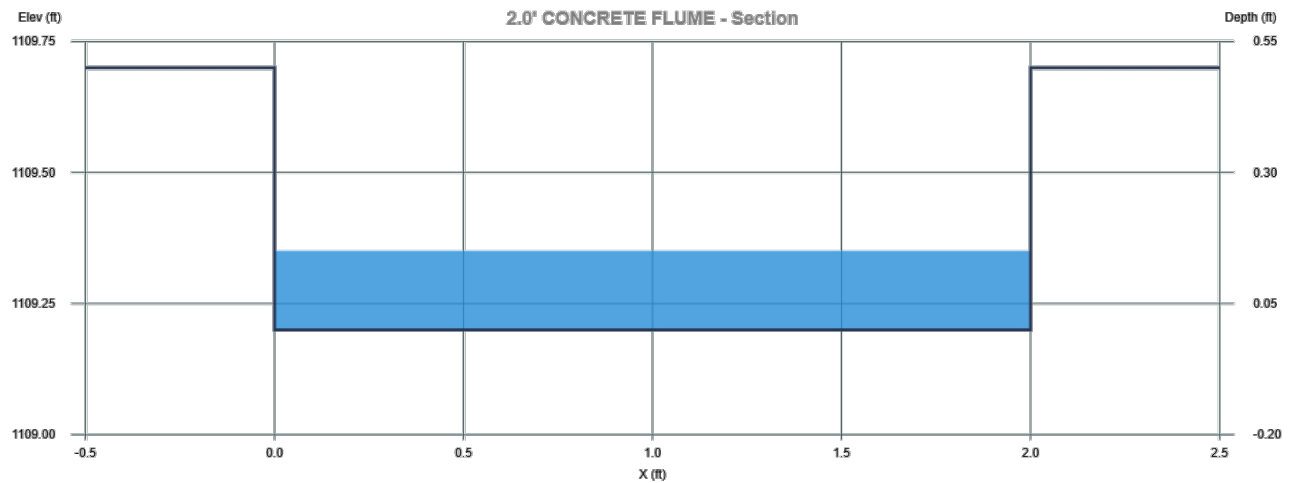
10-02-2025

2.0' CONCRETE FLUME

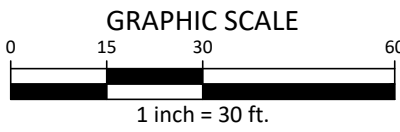
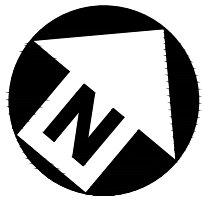
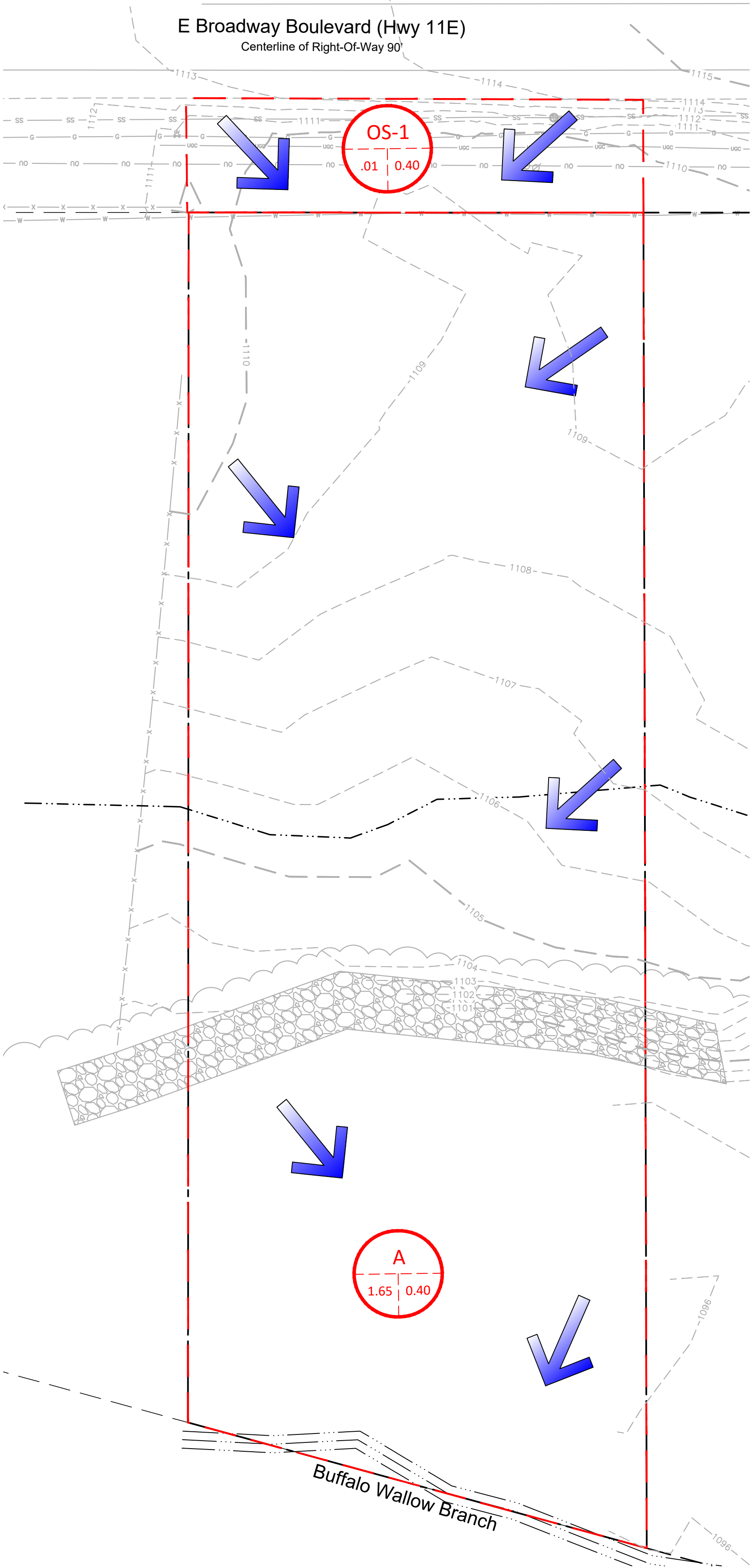
RECTANGULAR				DISCHARGE			
Bottom Width	=	2.00 ft		Method	=	Known Q	
Total Depth	=	0.50 ft		Known Q	=	2.55 cfs	
Invert Elevation	=	1109.20 ft					
Channel Slope	=	9.110 %					
Manning's n	=	0.013					

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
2.55	0.15	0.30	8.50	2.30	0.013	0.37	1109.35	1110.47	0.85	2.00



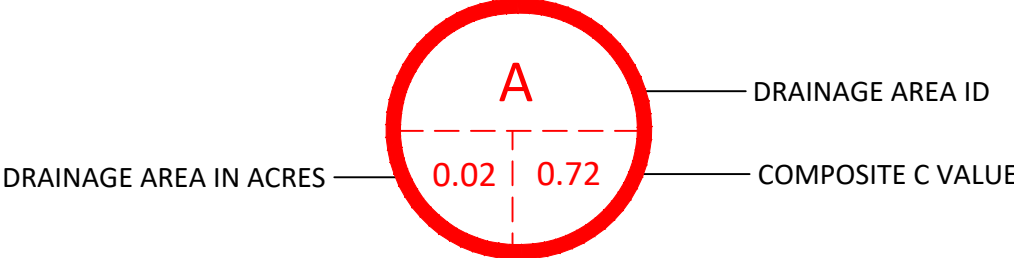
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BENCHMARKS:

BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

LEGEND



EXISTING DRAINAGE CALCULATIONS						
Drainage Area	Area (Ac)	C	Tc (min)	I100 (in/hr)	Q100 (cfs)	Comments
OS-1	0.01	0.40	10	6.83	0.03	SHEET FLOW TO AREA A
A	1.65	0.40	10	6.83	4.52	SHEET FLOW TO MOSSY CREEK
TOTAL	1.66				4.54	

Weighted C Values					
Drainage Area	Grass (sf)	Building (sf)	Pavement (sf)	Total Area (sf)	Weighted C Value
OS-1	401.40	0.00	0.00	401.40	0.40
A	72011.32	0.00	0.00	72011.32	0.40

Formula: $(\text{Grass SF} \times 0.40) + (\text{Building SF} \times 1.00) + (\text{Pavement SF} \times 0.90)$
Total Area SF



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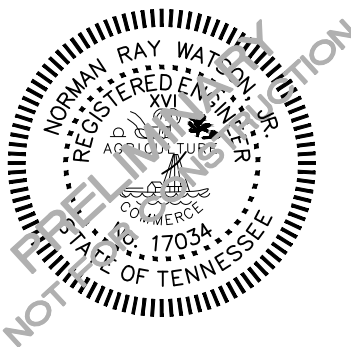
BRITTANY YOUNGBLOOD
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PHONE: 501.840.0001

CLIENT

JUSTIN DUCK
1880 SOUTHPARK DRIVE
BIRMINGHAM, AL 35244
PHONE: 205.906.2006



EXPRESS OIL - JEFFERSON CITY, TN
CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

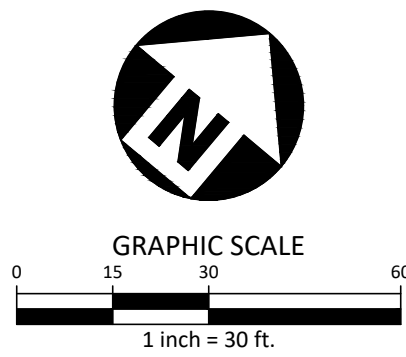
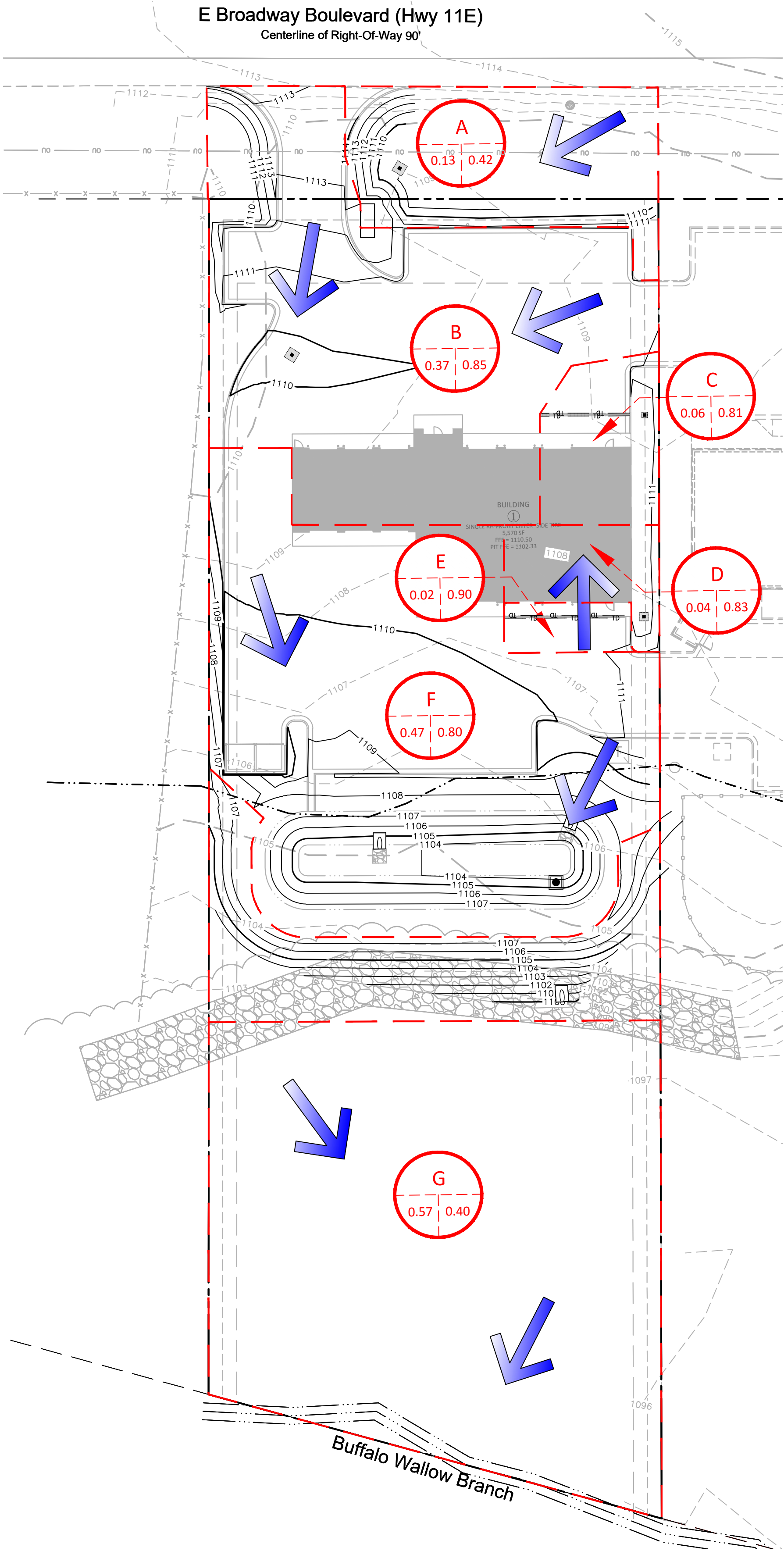
PLAN INFORMATION

PROJECT NO. EXO25004
FILENAME EXO25004-EDAM.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 30'
DATE 10.06.2025

SHEET

**EXISTING DRAINAGE
AREA MAP**

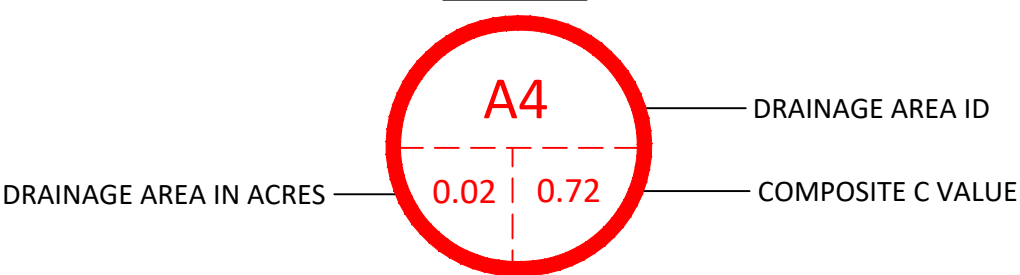
C3.02



BENCHMARKS:

BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

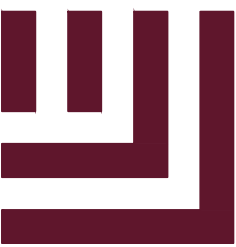
LEGEND



PROPOSED DRAINAGE CALCULATIONS						
Drainage Area	Area (Ac)	C	Tc (min)	1100 (in/hr)	Q100 (cfs)	Comments
A	0.13	0.42	10	6.83	0.37	SHEET FLOW TO GRATE INLET
B	0.37	0.85	10	6.83	2.16	SHEET FLOW TO GRATE INLET
C	0.06	0.81	10	6.83	0.31	SHEET FLOW TO TRENCH DRAIN
D	0.04	0.83	10	6.83	0.22	SHEET FLOW TO GRATE INLET
E	0.02	0.90	10	6.83	0.11	SHEET FLOW TO TRENCH DRAIN
F	0.47	0.80	10	6.83	2.55	SHEET FLOW TO DETENTION POND
G	0.57	0.40	10	6.83	1.57	SHEET FLOW TO MATCH EXISTING
TOTAL	1.65				2.66	

Weighted C Values					
Drainage Area	Grass (sf) 0.40	Building/Pond (sf) 1.00	Pavement (sf) 0.90	Total Area (sf)	Weighted C Value
A	5487.96	0.00	173.77	5661.73	0.42
B	2081.05	2537.12	11539.73	16157.90	0.85
C	598.20	892.57	923.1	2413.87	0.81
D	464.16	1207.35	35.1837	1706.69	0.83
E	0.00	0.00	806.57	806.57	0.90
F	5102.59	4977.04	10254.04	20333.67	0.80
G	24990.72	0.00	0.00	24990.72	0.40

Formula: $(\text{Grass SF} \times 0.40) + (\text{Building SF} \times 1.00) + (\text{Pavement SF} \times 0.90)$
Total Area SF



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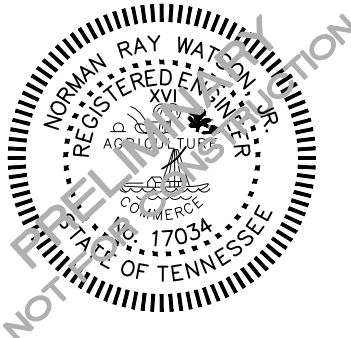
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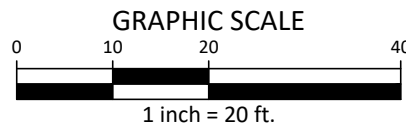
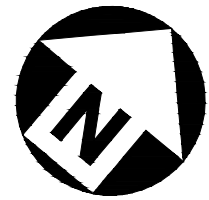
PROJECT NO. EXO25004
FILENAME EXO25004-PDAM.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 30'
DATE 10.06.2025

SHEET

PROPOSED DRAINAGE
AREA MAP

C3.03

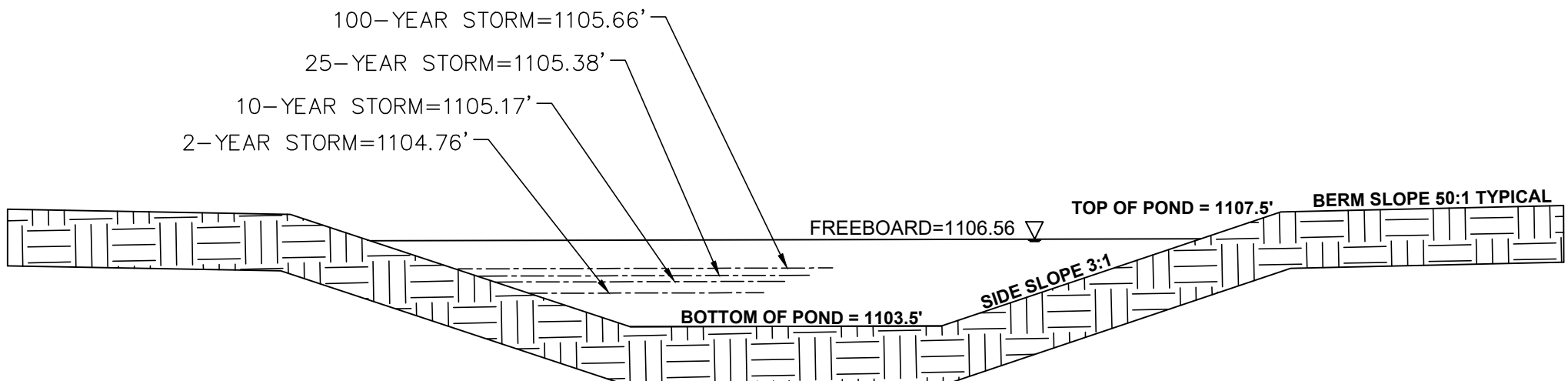
E Broadway Boulevard (Hwy 11E)
Centerline of Right-Of-Way 90'



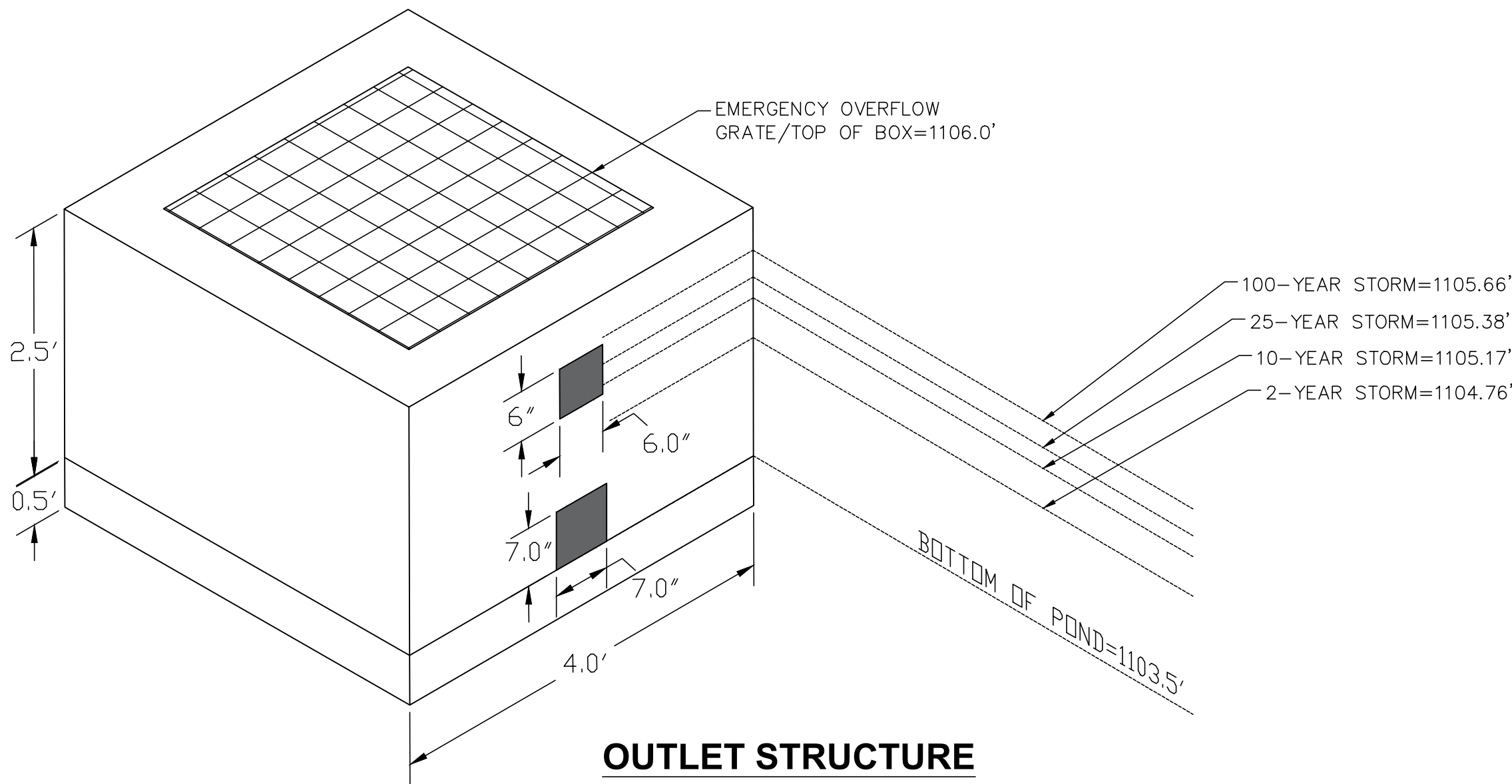
BENCHMARKS:

BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

JEFFERSON CITY EXPRESS OIL DETENTION SUMMARY				
Design Storm	2-YEAR	10-YEAR	25-YEAR	100-YEAR
Acreage	1.09	1.09	1.09	1.09
Weighted C-Value	0.84	0.84	0.84	0.84
Pre-Development Flow (CFS)	1.54	2.09	2.44	2.98
Pond Release Rate (CFS)	1.47	1.89	2.27	2.75
Required Volume (CF)	1548.00	2310.00	2801.00	3708.00
Provided Volume (CF)	8601.00	8601.00	8601.00	8601.00
Depth (ft)	1.26	1.67	1.88	2.16
Total Depth of Pond (ft)	4.0	4.0	4.0	4.0



EMBANKMENT SECTION A-A
(N.T.S.)



OUTLET STRUCTURE
(N.T.S.)



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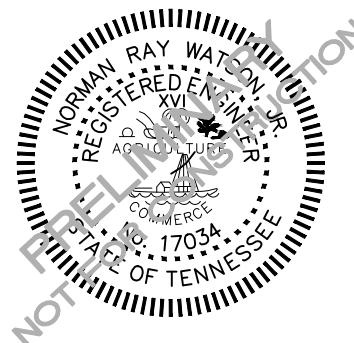
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FILENAME EXO25004-SW1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 20'
DATE 10.06.2025

SHEET

STORM CONTROL
MEASURE

C4.02

Pond Report

Hydrology Studio v 3.0.0.38

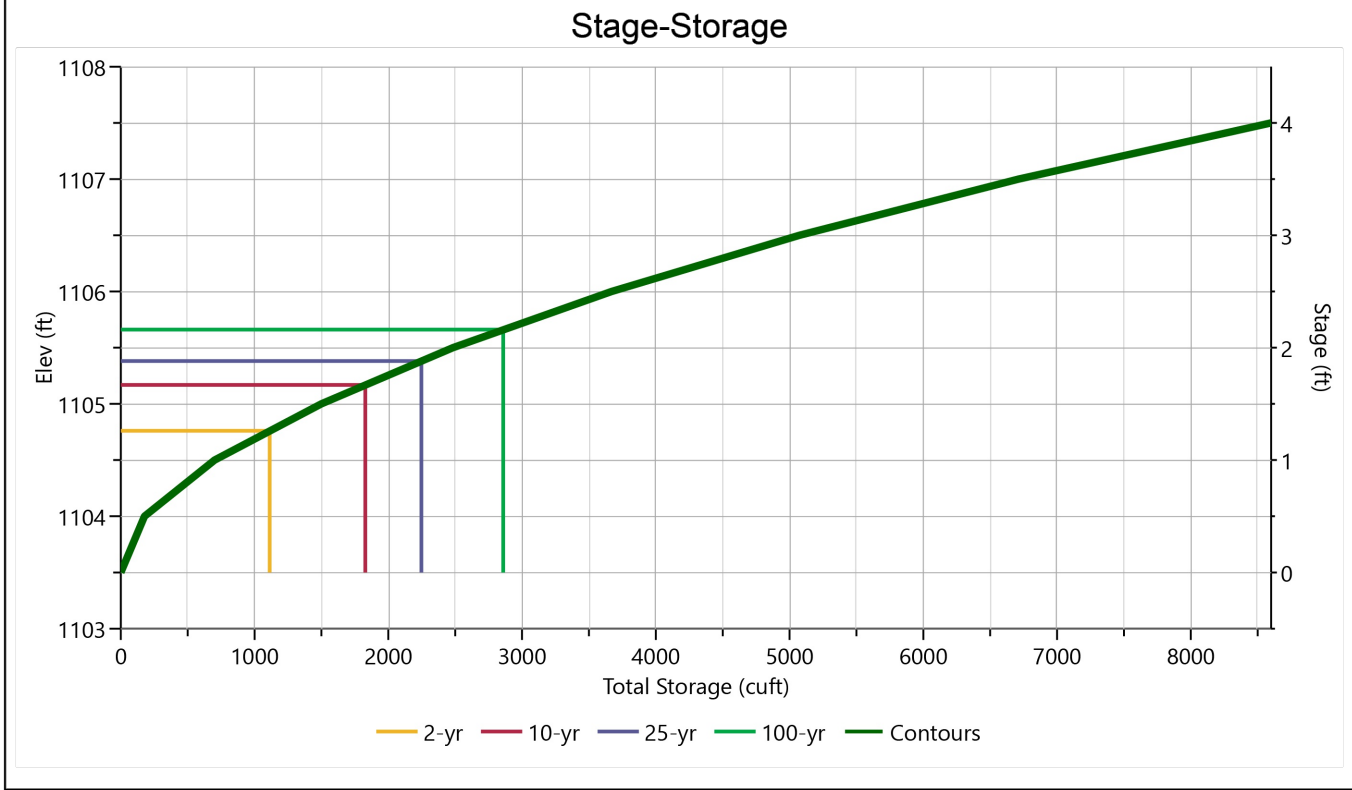
File: EXO25004-Pond Design.hys

09-24-2025

Pond

Stage-Storage

User Defined Contours		Stage / Storage Table				
Description	Input	Stage (ft)	Elevation (ft)	Contour Area (sqft)	Incr. Storage (cuft)	Total Storage (cuft)
Bottom Elevation, ft	1103.50	0.00	1103.50	29	0.000	0.000
Voids (%)	100.00	0.50	1104.00	679	177	177
Volume Calc	None	1.00	1104.50	1,417	524	701
		1.50	1105.00	2,163	786	1,489
		2.00	1105.50	2,984	984	2,483
		2.50	1106.00	3,863	1,186	3,670
		3.00	1106.50	4,798	1,404	5,074
		3.50	1107.00	5,789	1,638	6,713
		4.00	1107.50	6,835	1,888	8,601



Hydrograph Report

Hydrology Studio v 3.0.0.38

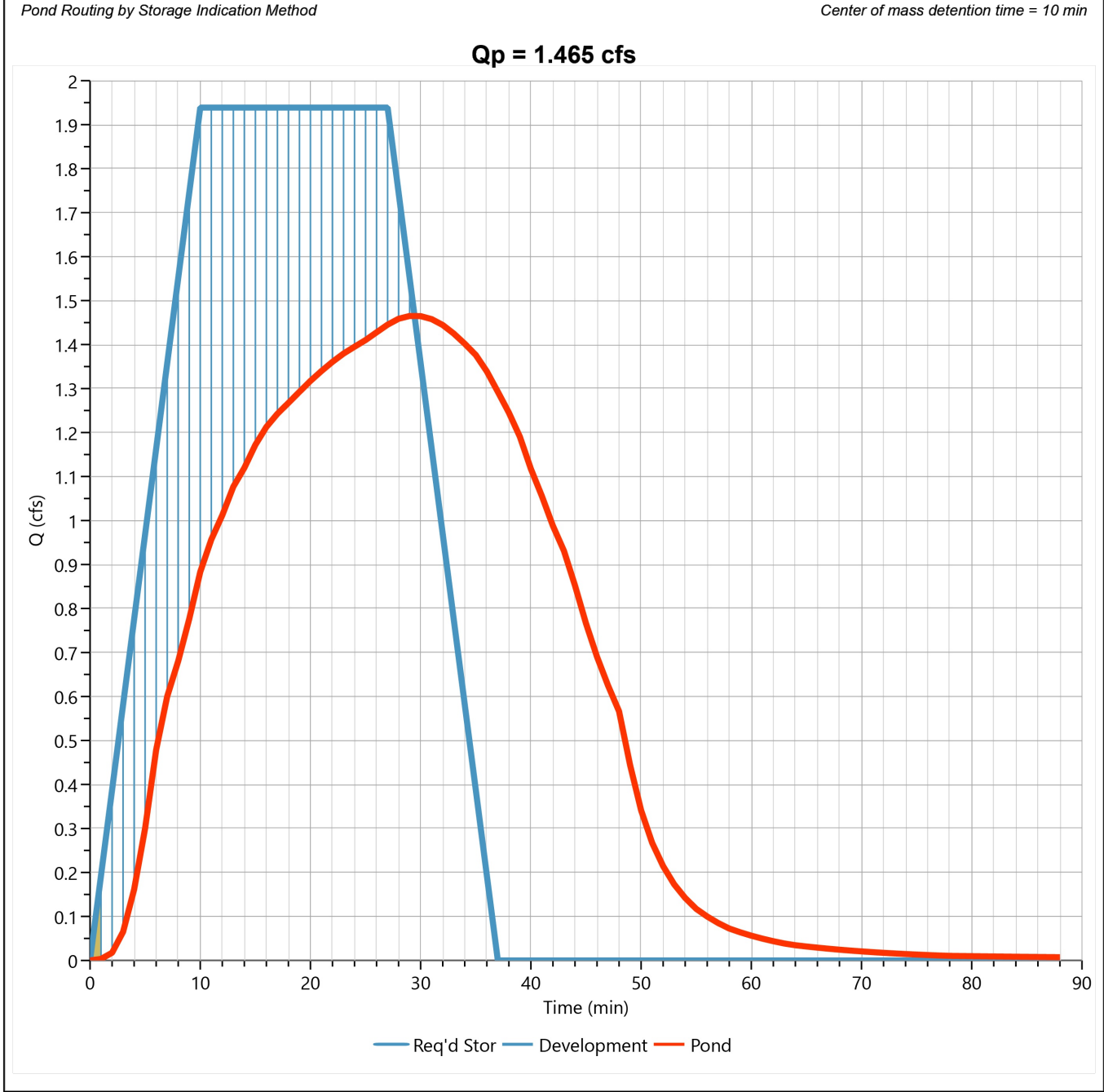
File: EXO25004-Pond Design.hys

09-24-2025

Pond

Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 1.465 cfs
Storm Frequency	= 2-yr	Time to Peak	= 0.48 hrs
Time Interval	= 1 min	Hydrograph Volume	= 3,139 cuft
Inflow Hydrograph	= 2 - Development	Max. Elevation	= 1104.76 ft
Pond Name	= Pond	Max. Storage	= 1,113 cuft



Hydrograph Report

Hydrology Studio v 3.0.0.38

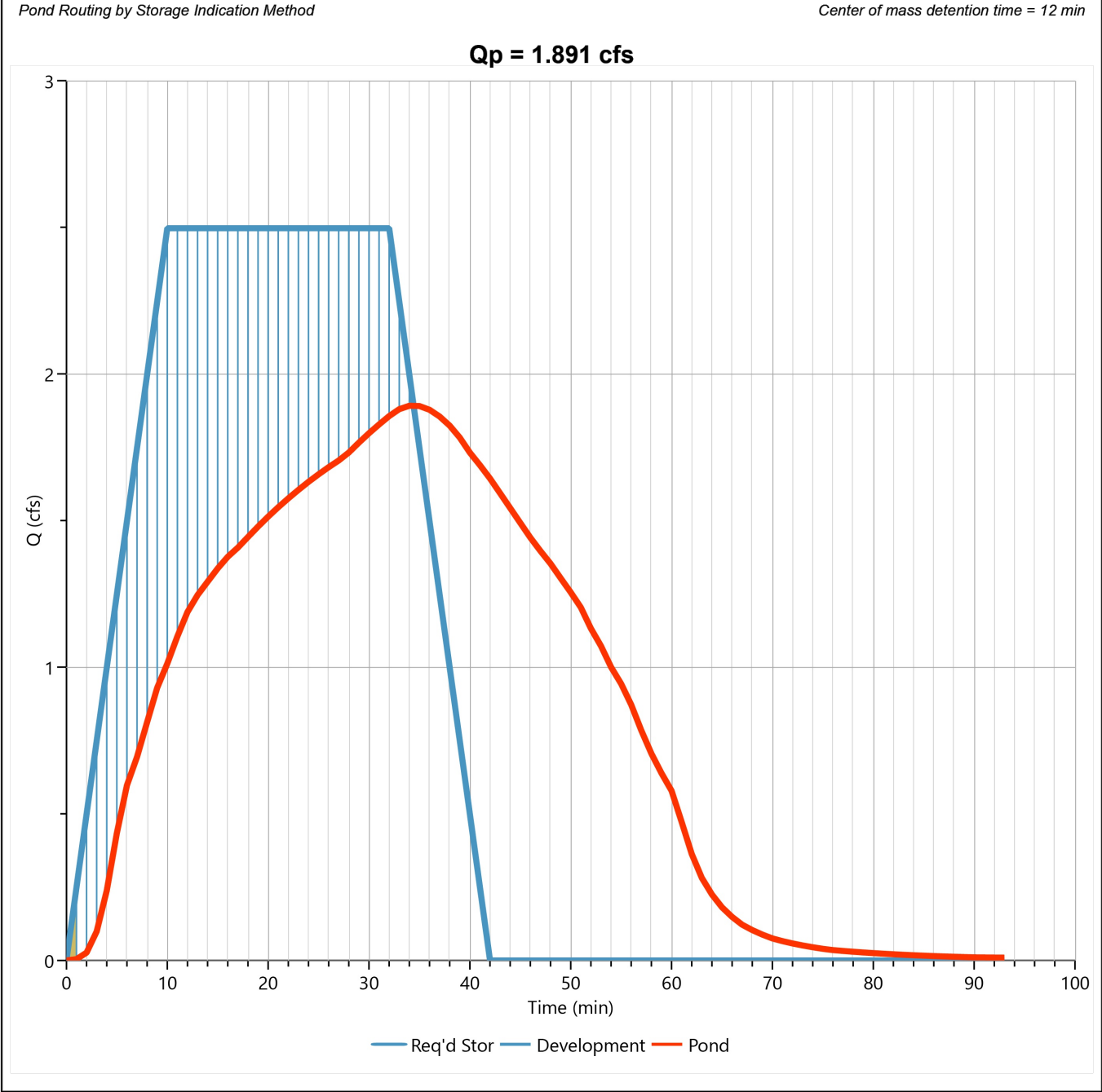
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09-24-2025

Pond

Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 1.891 cfs
Storm Frequency	= 10-yr	Time to Peak	= 0.57 hrs
Time Interval	= 1 min	Hydrograph Volume	= 4,792 cuft
Inflow Hydrograph	= 2 - Development	Max. Elevation	= 1105.17 ft
Pond Name	= Pond	Max. Storage	= 1,828 cuft



Hydrograph Report

Hydrology Studio v 3.0.0.38

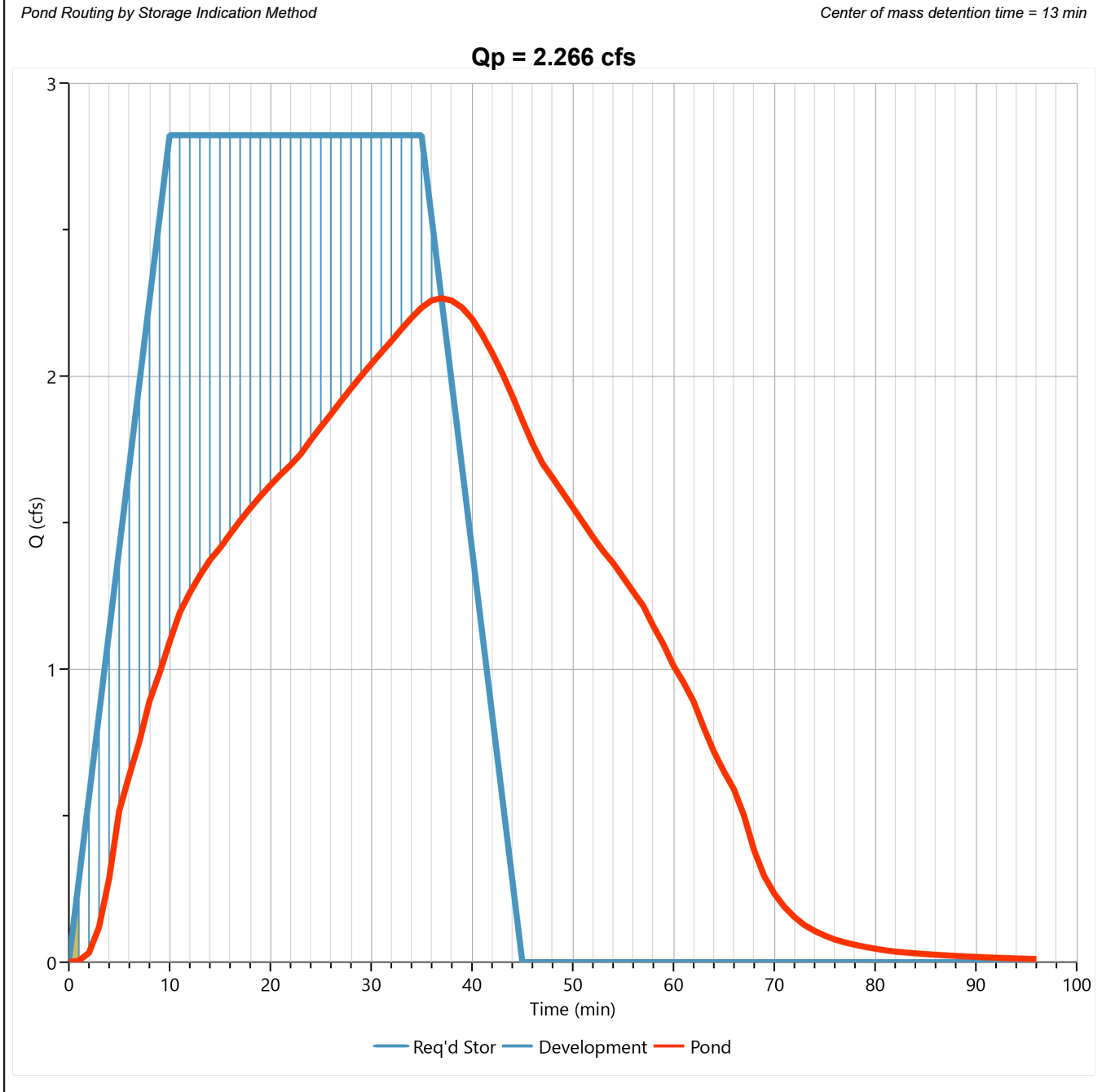
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09-24-2025

Pond

Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.266 cfs
Storm Frequency	= 25-yr	Time to Peak	= 0.62 hrs
Time Interval	= 1 min	Hydrograph Volume	= 5,924 cuft
Inflow Hydrograph	= 2 - Development	Max. Elevation	= 1105.38 ft
Pond Name	= Pond	Max. Storage	= 2,248 cuft



Hydrograph Report

Hydrology Studio v 3.0.0.38

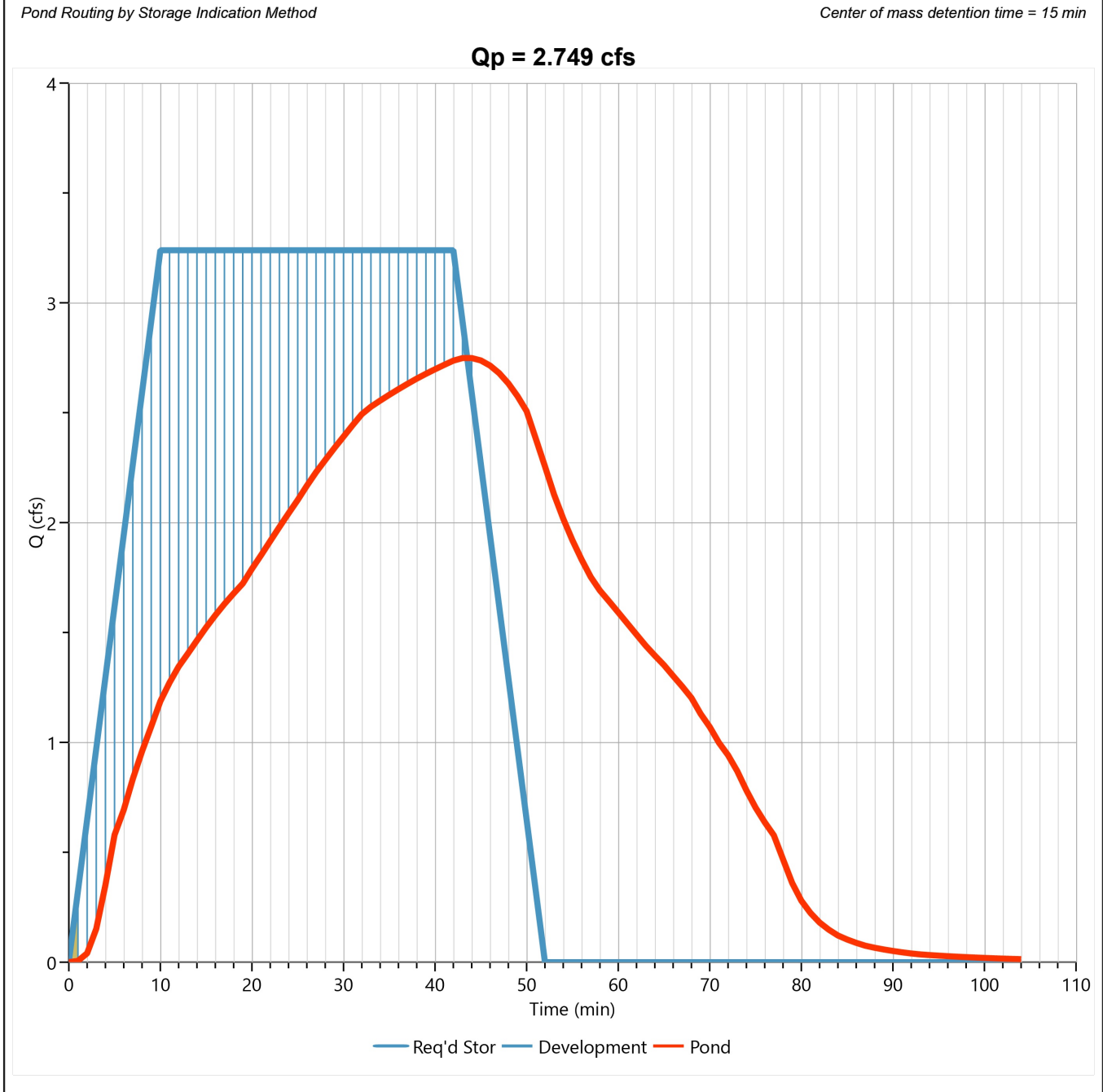
File: EXO25004-Pond Design.hys

09-24-2025

Pond

Hyd. No. 3

Hydrograph Type	= Pond Route	Peak Flow	= 2.749 cfs
Storm Frequency	= 100-yr	Time to Peak	= 0.73 hrs
Time Interval	= 1 min	Hydrograph Volume	= 8,161 cuft
Inflow Hydrograph	= 2 - Development	Max. Elevation	= 1105.66 ft
Pond Name	= Pond	Max. Storage	= 2,859 cuft



Pond Report

Hydrology Studio v 3.0.0.38

File: EXO25004-Pond Design.hys

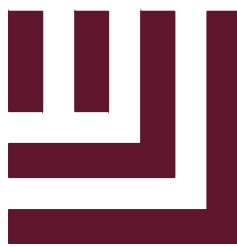
09-24-2025

Pond

Stage-Storage-Discharge Summary

Stage (ft)	Elev. (ft)	Storage (cuft)	Culvert (cfs)	Orifices, cfs			Riser (cfs)	Weirs, cfs			PF Riser (cfs)	Exit (cfs)	User (cfs)	Total (cfs)
				1	2	3		1	2	3				
0.00	1103.50	0.000	0.000	0.000	0.000	0.000	0.000							0.000
0.50	1104.00	177	0.553 oc	0.553	0.000		0.000							0.553
1.00	1104.50	701	1.227 oc	1.227	0.000		0.000							1.227
1.50	1105.00	1,499	1.672 oc	1.672	0.000		0.000							1.672
2.00	1105.50	2,483	2.506 oc	1.904	0.602		0.000							2.506
2.50	1106.00	3,670	3.177 oc	2.135	1.042		0.000							3.177
3.00	1106.50	5,074	3.796 oc	1.905	1.225		4.667							7.796
3.50	1107.00	6,713	4.348 oc	2.174	1.397		5.377 ic							8.948
4.00	1107.50	8,601	4.944 oc	2.344	1.507		6.585 ic							10.44

Suffix key: ic = inlet control, oc = outlet control, s = submerged weir



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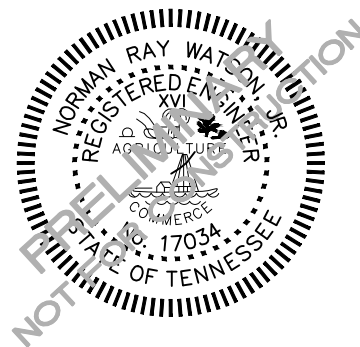
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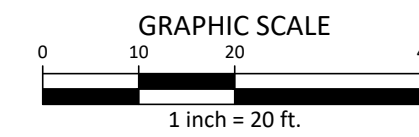
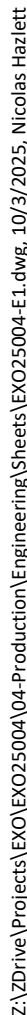
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PROJECT NO.	EXO25004
FILENAME	EXO25004-SW1.DWG
CHECKED BY	BY
DRAWN BY	JE
SCALE	N.T.S.
DATE	10.06.2025

SHEET

STORM CONTROL
MEASURE CALCULATIONS

C4.03



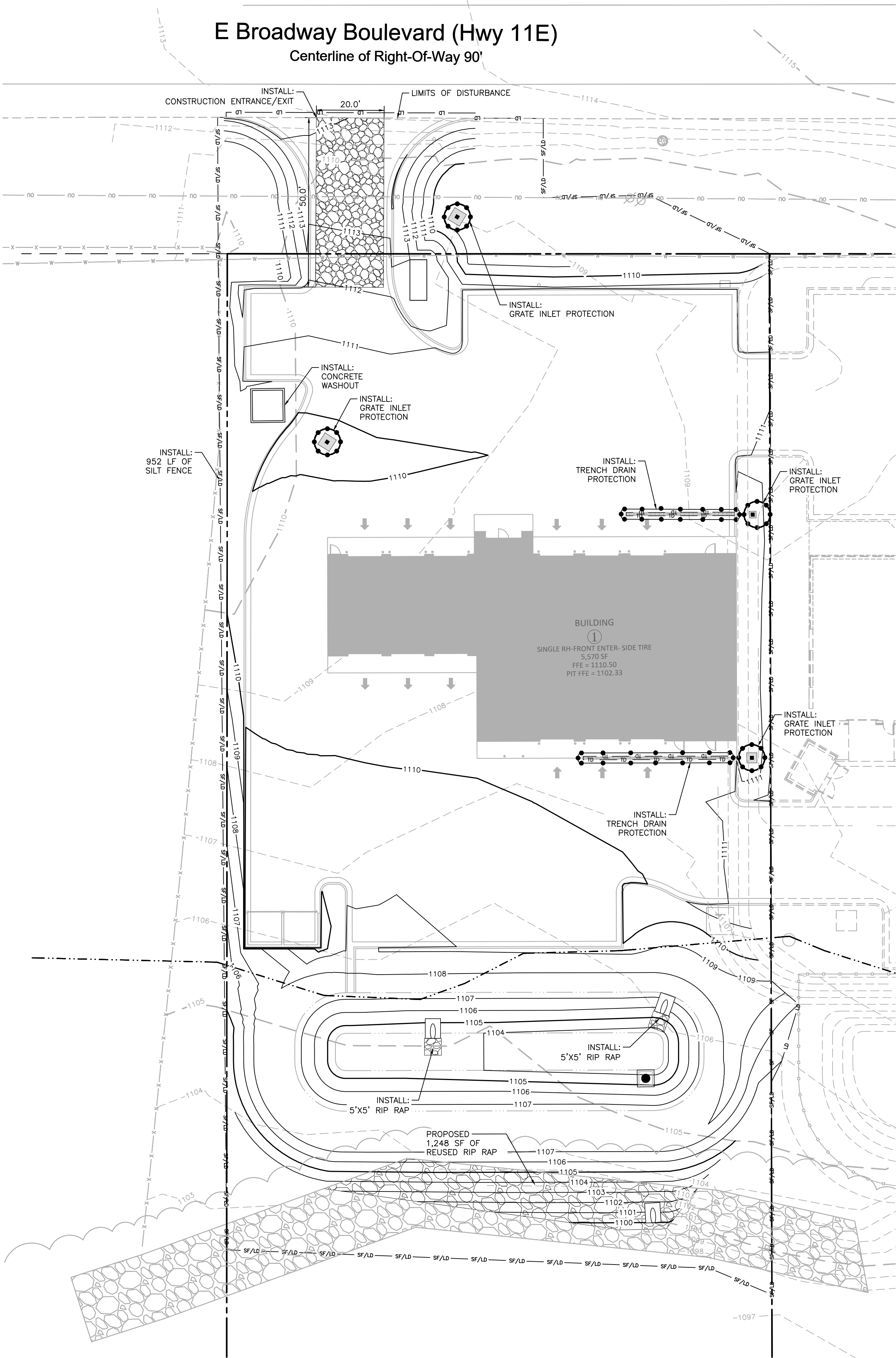
<u>Rear-Load Garbage Truck</u>	
Overall Length	35.000 ft
Overall Width	8.375 ft
Overall Body Height	10.546 ft
Min Body Ground Clearance	1.000 ft
Track Width	8.375 ft
Lock-to-lock time	6.00 s
Curb to Curb Turning Radius	29.300 ft

EXPRESS
OIL CHANGE
10 MINUTE SERVICE

TIRE
ENGINEERS
FULL SERVICE AUTO CARE

C5.00

Z:\Drive\Projects\BKO\BKO25004\04-Production\Engineering\Sheets\BKO25004-EC1.dwg, 10/9/2025, Nicolas Haidett



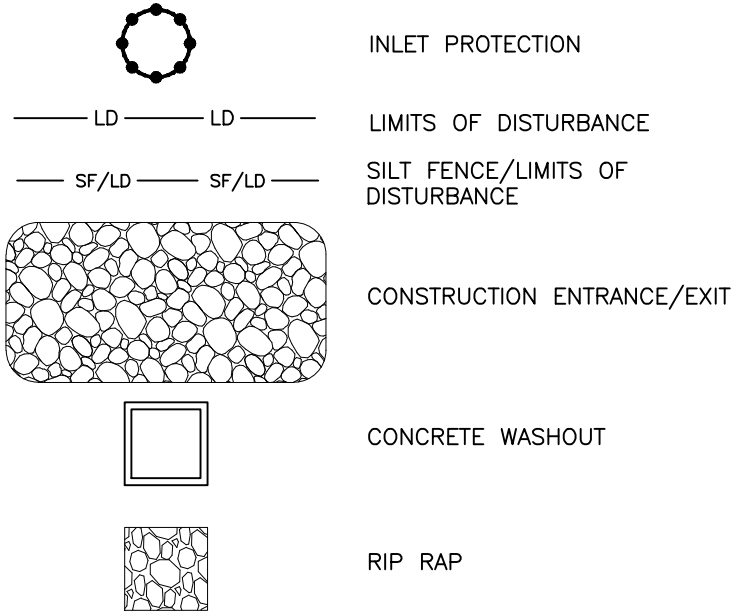
BENCHMARKS:

BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

EROSION CONTROL NOTES

- NPDES STORMWATER CONSTRUCTION PERMIT - NOTICE OF INTENT/ NOTICE OF COVERAGE NEEDED FROM TENNESSEE - OPERATORS OF CONSTRUCTION SITES INVOLVING CLEARING, GRADING OR EXCAVATION THAT RESULT IN AN AREA OF DISTURBANCE OF ONE OR MORE ACRES, AND ACTIVITIES THAT RESULT IN THE DISTURBANCE OF LESS THAN ONE ACRE IF IT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SCALE.
- GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) STANDARDS AND SPECIFICATIONS, TENNESSEE DEPARTMENT OF ENVIRONMENTAL QUALITY EROSION AND SEDIMENT CONTROL MANUAL AND STATE OF TENNESSEE GENERAL PERMIT FOR SMALL CONSTRUCTION.
- FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY EITHER THE JEFFERSON CITY EROSION CONTROL DEPARTMENT OR TDOT.
- CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (STEEPER THAN 3H:1V OR GREATER THAN 50 FT IN LENGTH) WITHIN 7 DAYS, 14 DAYS FOR MODERATE SLOPES (3H:1V OR FLATTER) .
- FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDEED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
- NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY THE (MUNICIPAL) SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
- CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
- ANY GRADING BEYOND THE DENUDEED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
- PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.
- SEEDING TO BE PER TENNESSEE DOT VEGETATION SCHEDULE, APPENDIX G, MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORM WATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS LATEST EDITION

EROSION CONTROL LEGEND



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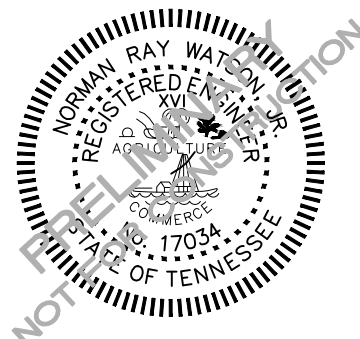
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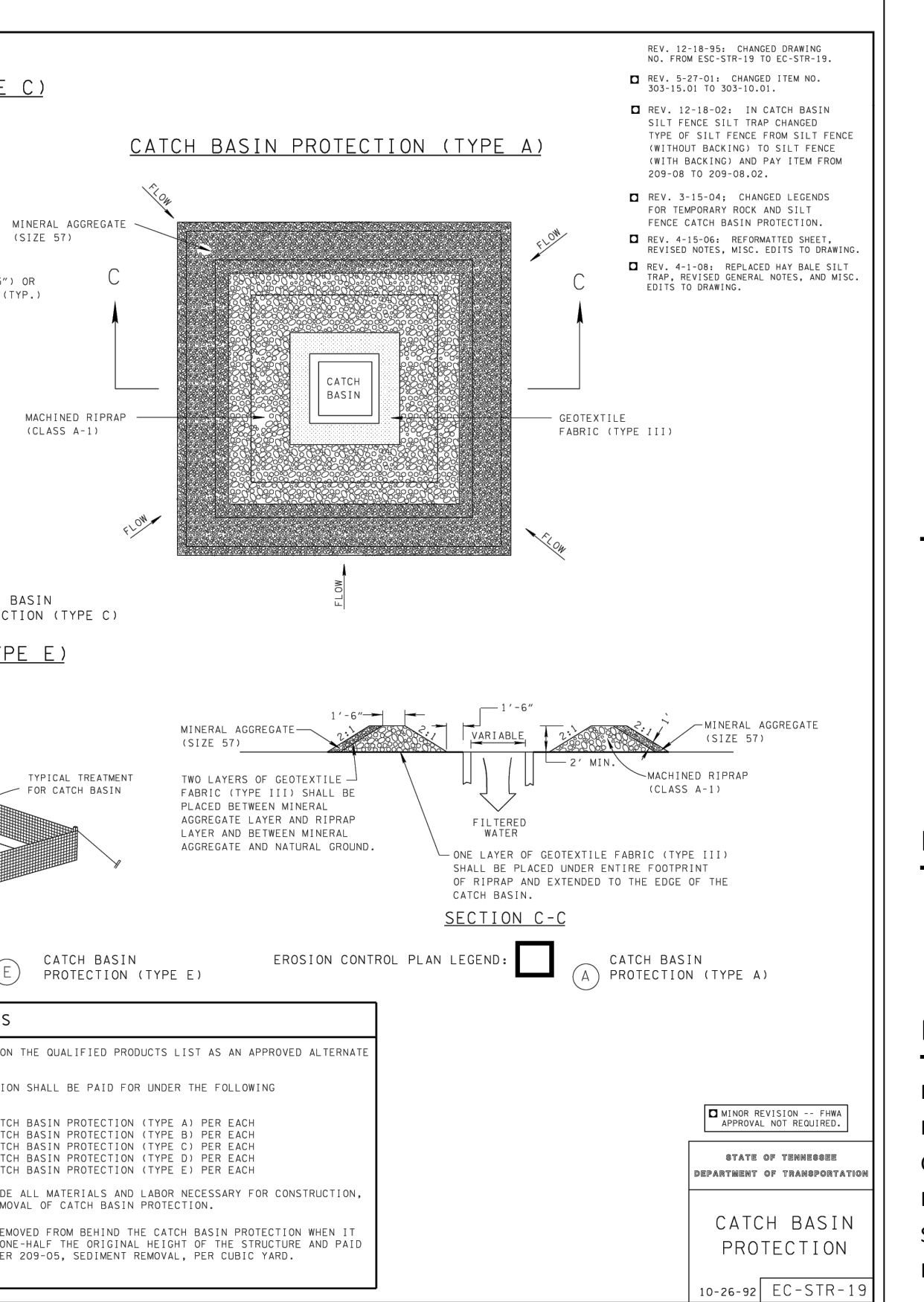
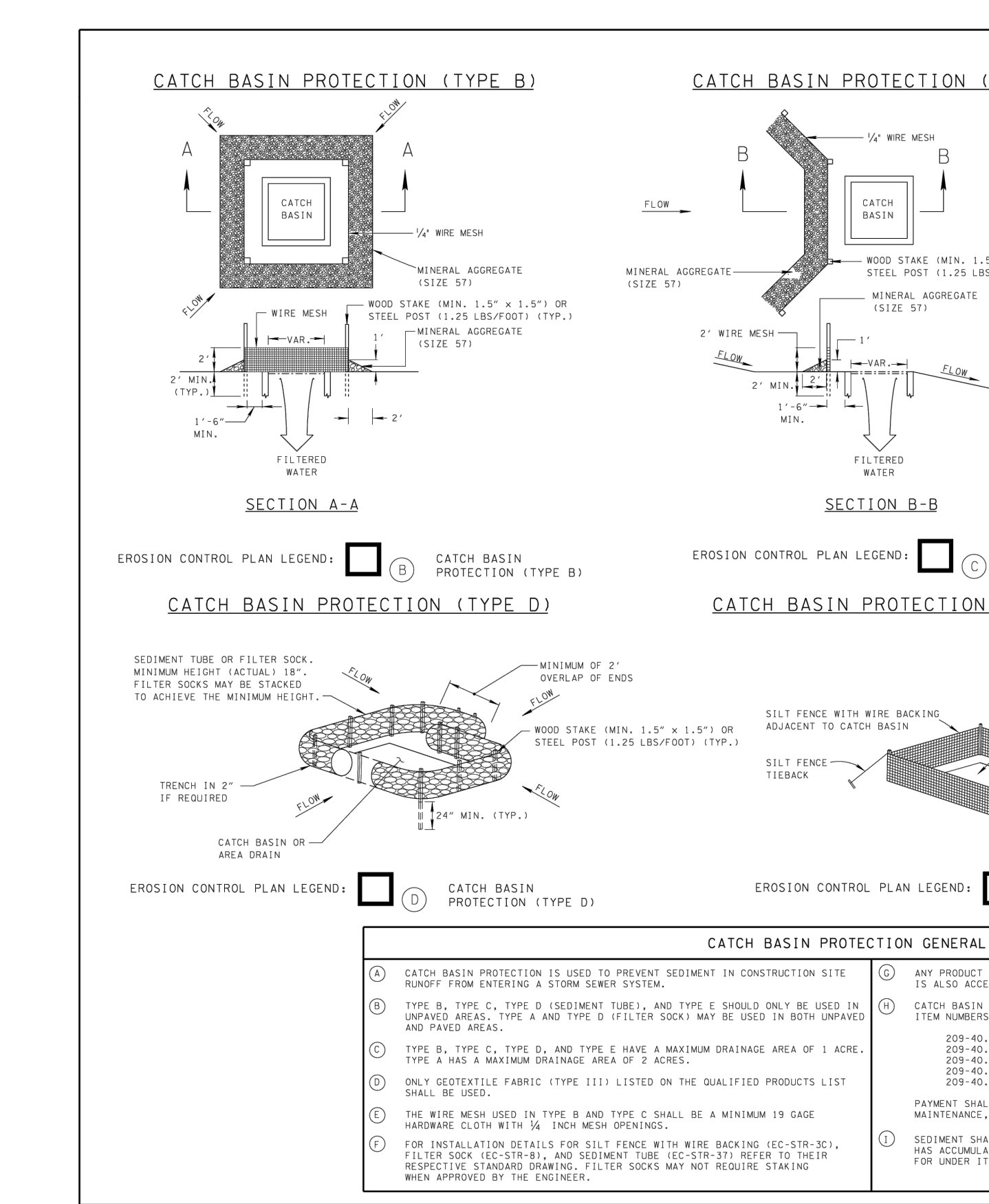
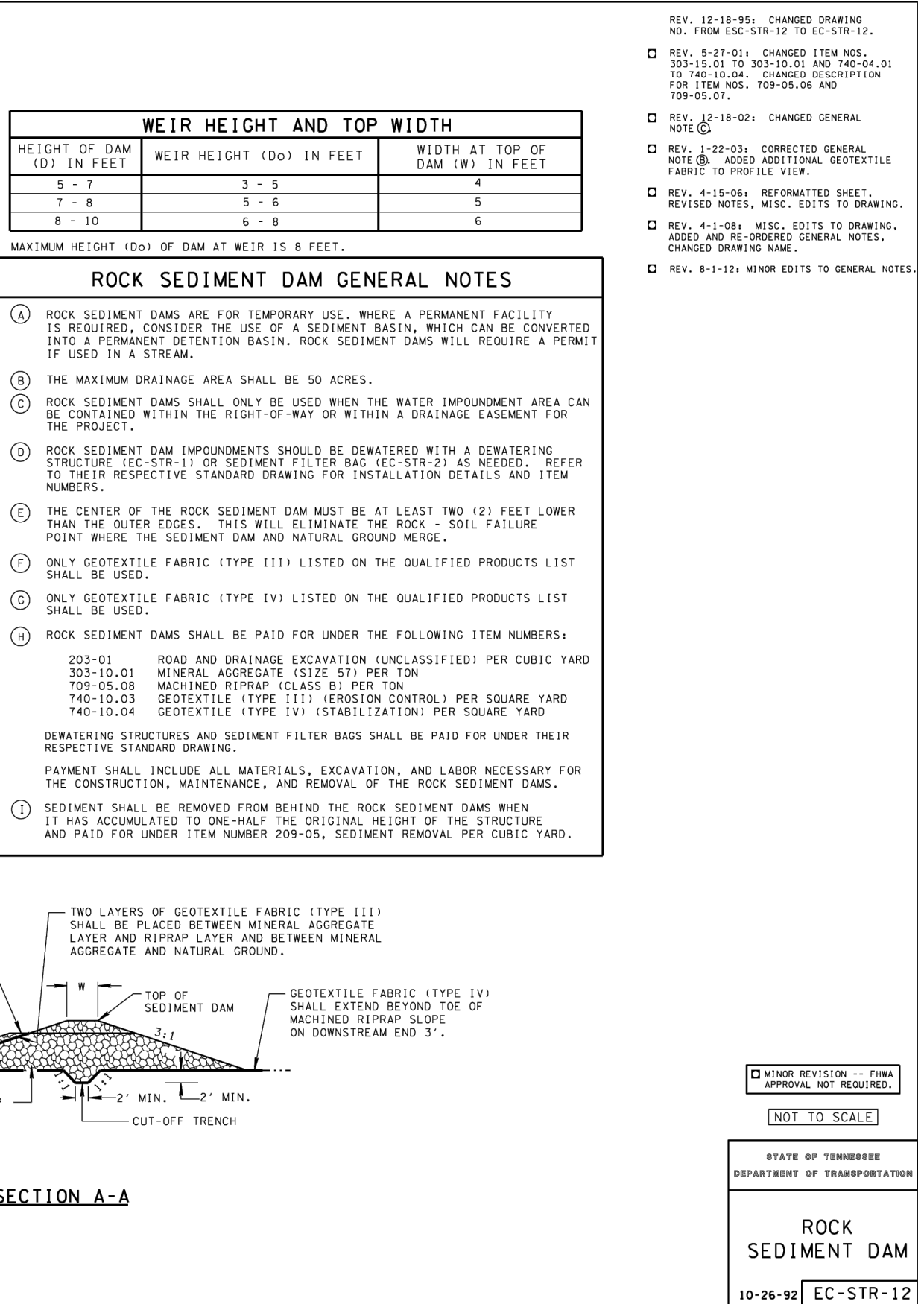
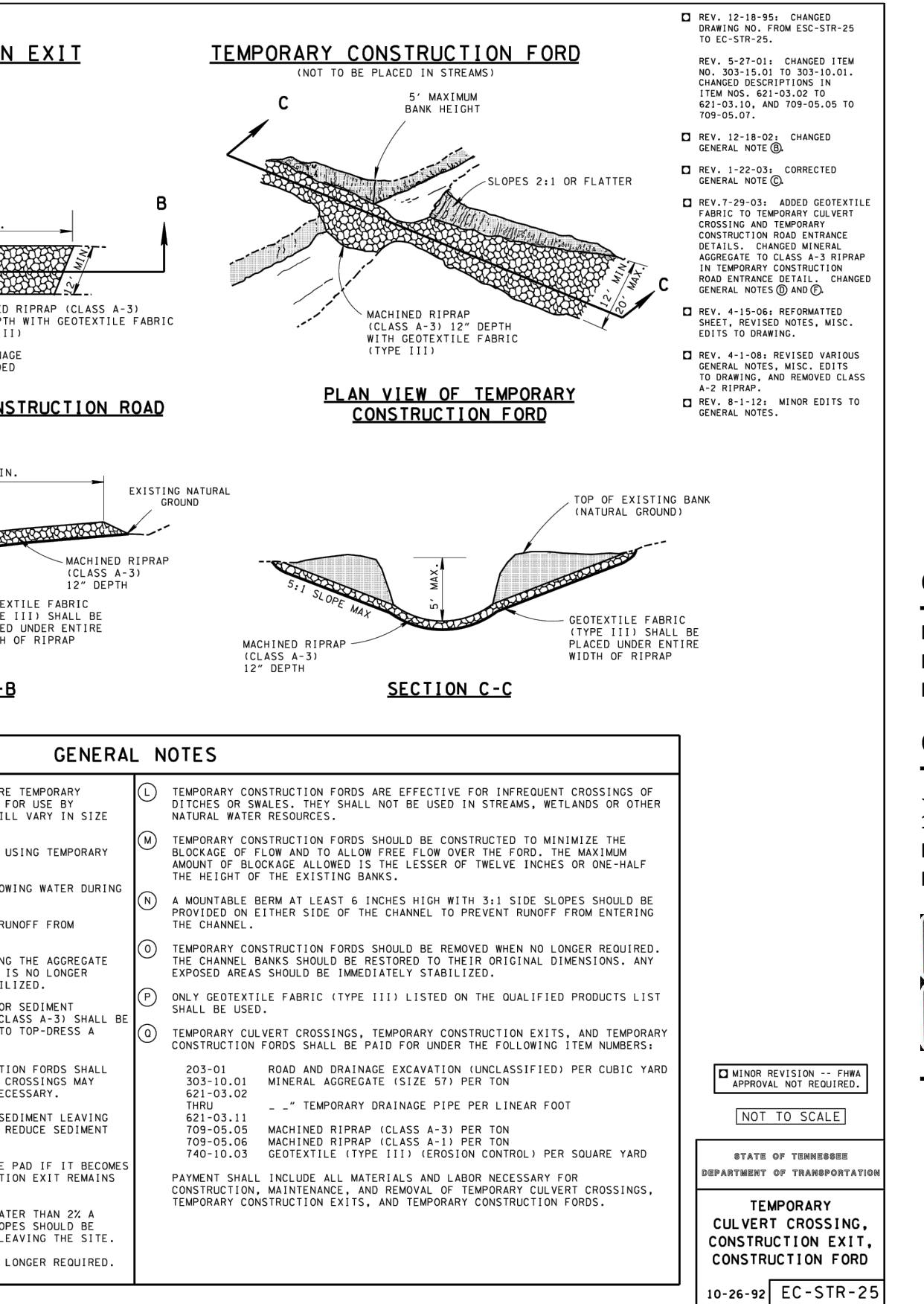
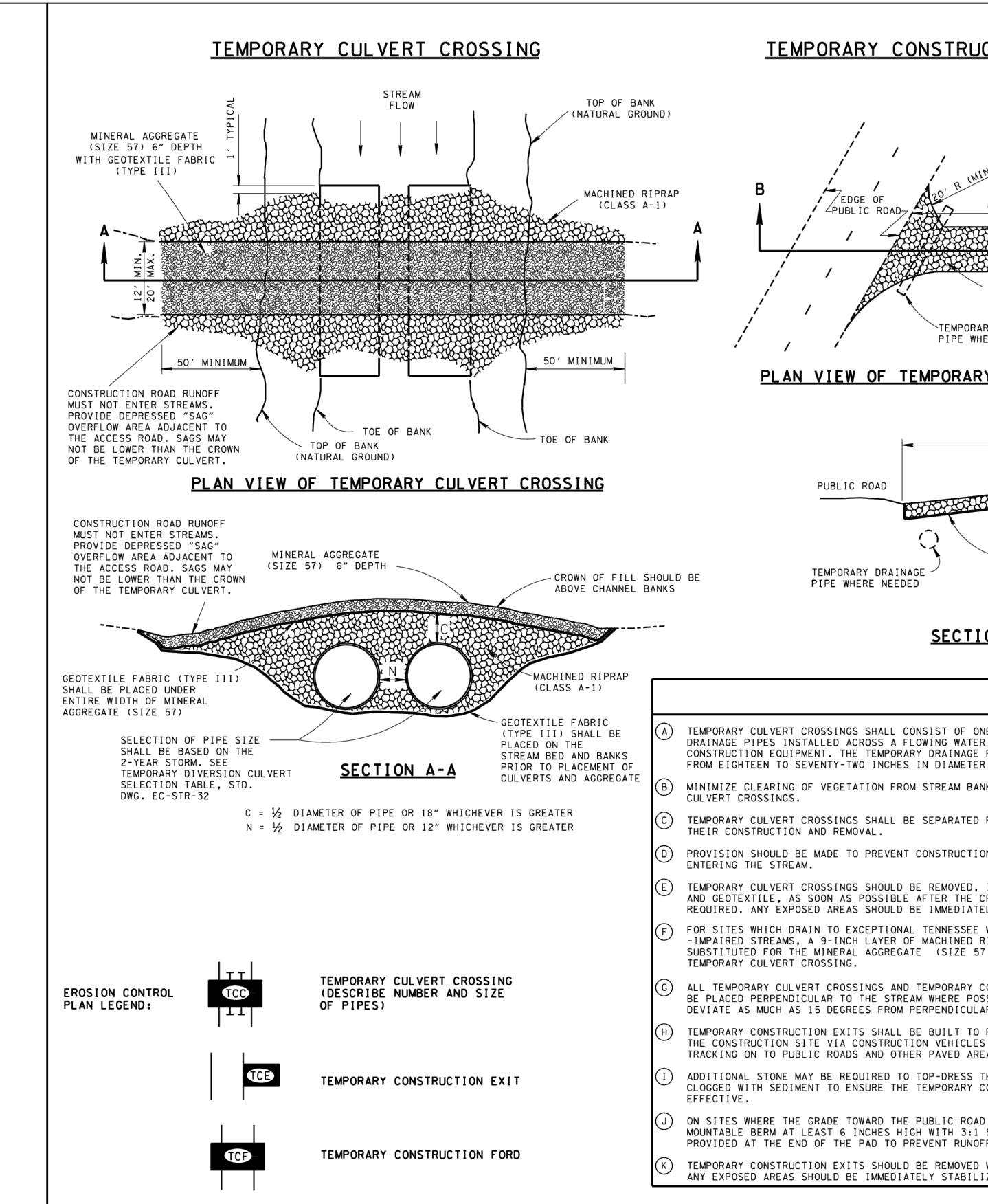
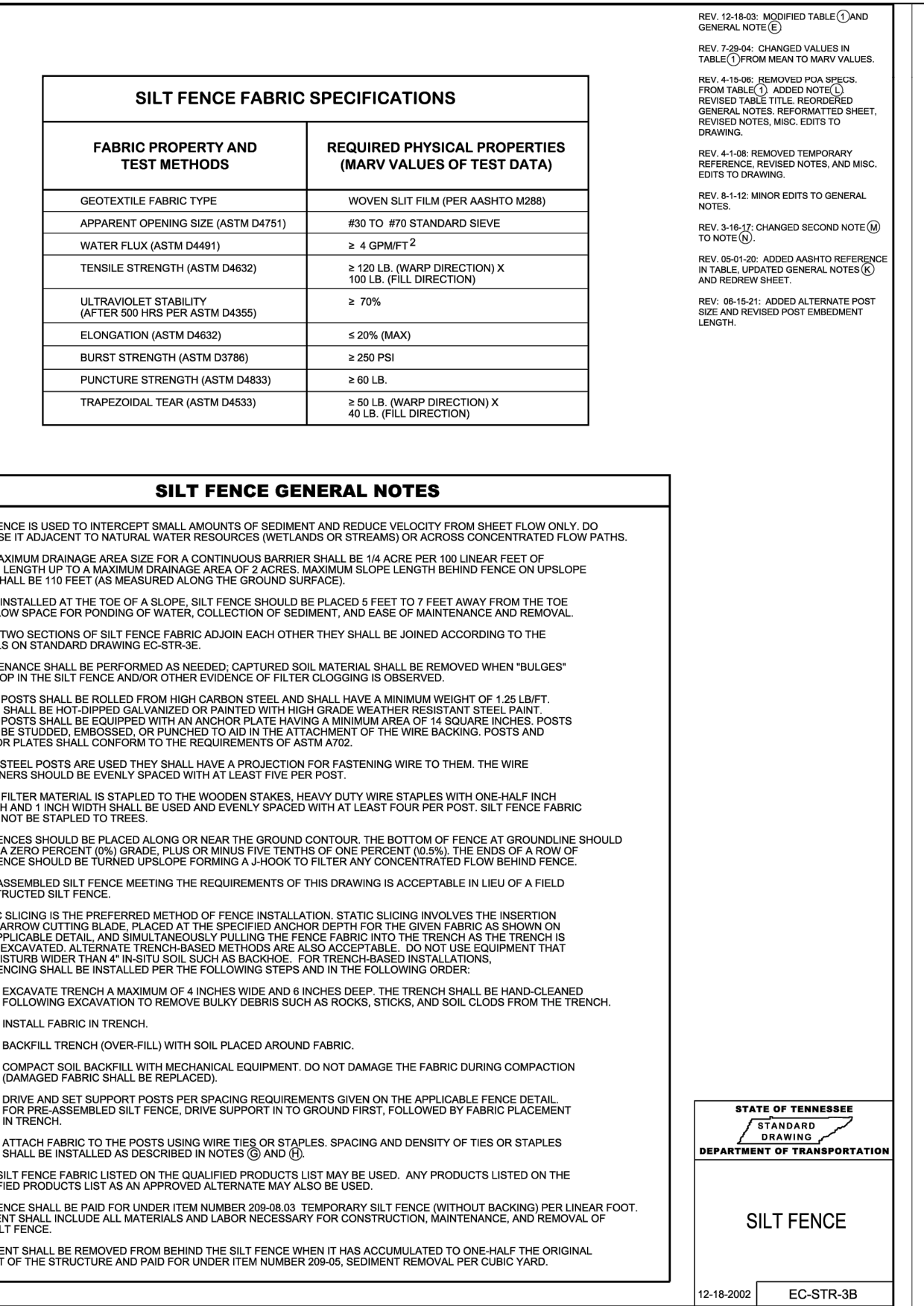
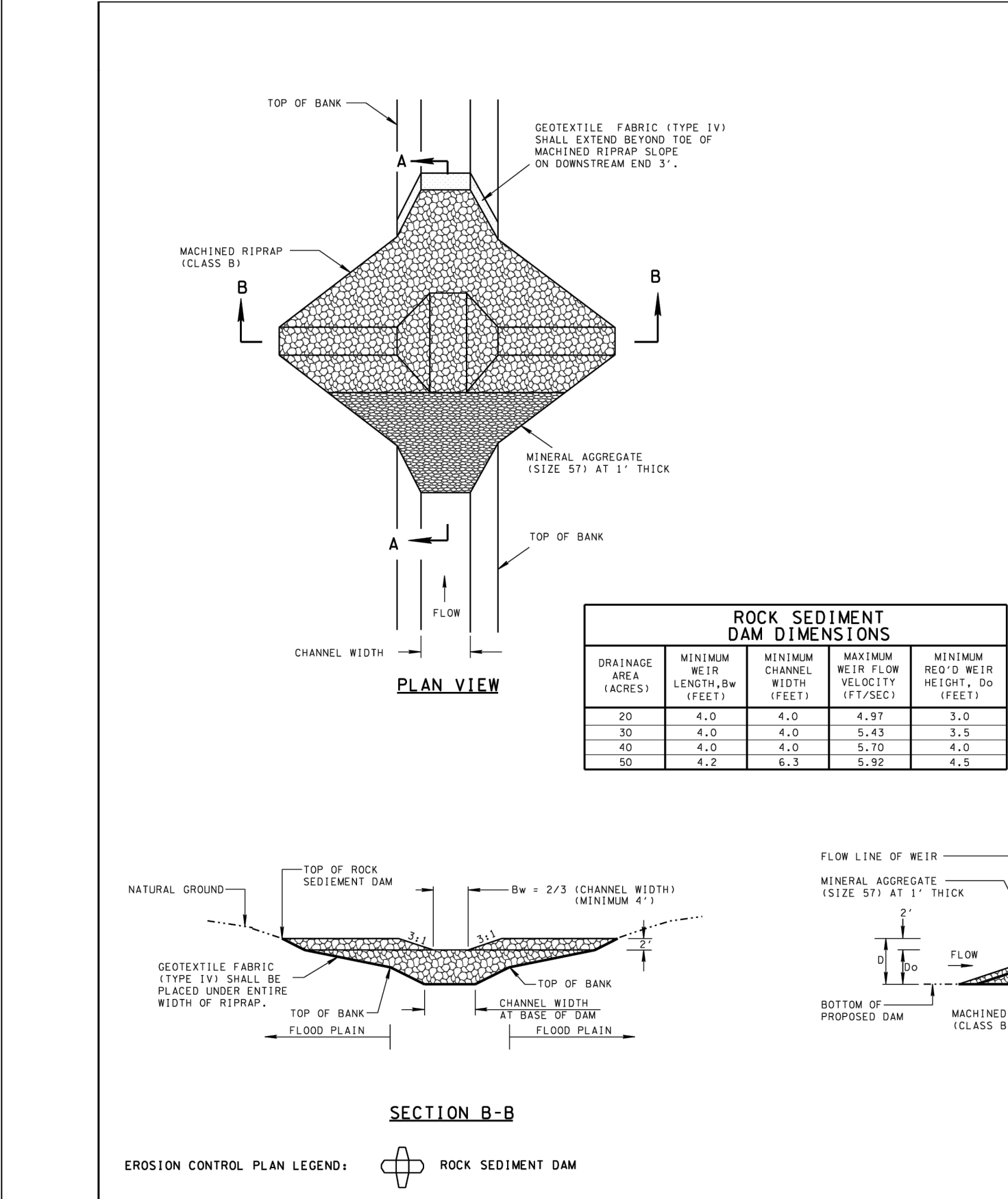
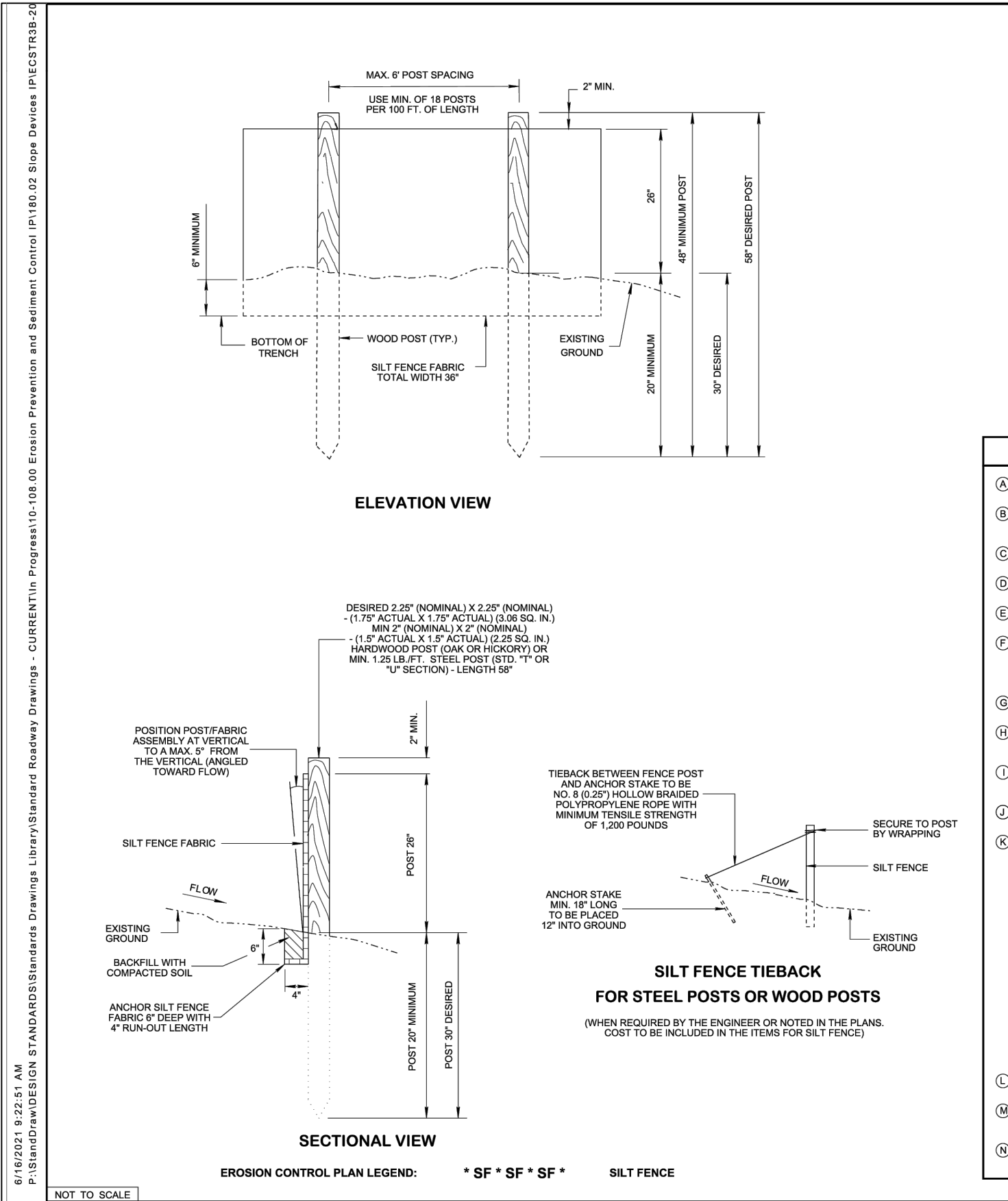
PLAN INFORMATION

PROJECT NO. EXO25004
FILENAME EXO25004-EC1.DWG
CHECKED BY BY
DRAWN BY JE
SCALE 1" = 20'
DATE 10.06.2025

SHEET

**EROSION CONTROL
PLAN**

C6.00



McADAMS

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

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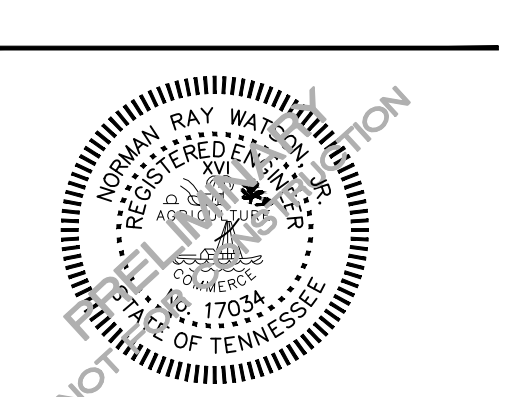
STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION

TEMPORARY CULVERT CROSSING, CONSTRUCTION EXIT, CONSTRUCTION FORD

10-26-92 EC-STR-25

EXPRESS OIL - JEFFERSON CITY, TN

CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



REVISIONS

NO.	DATE	DESCRIPTION
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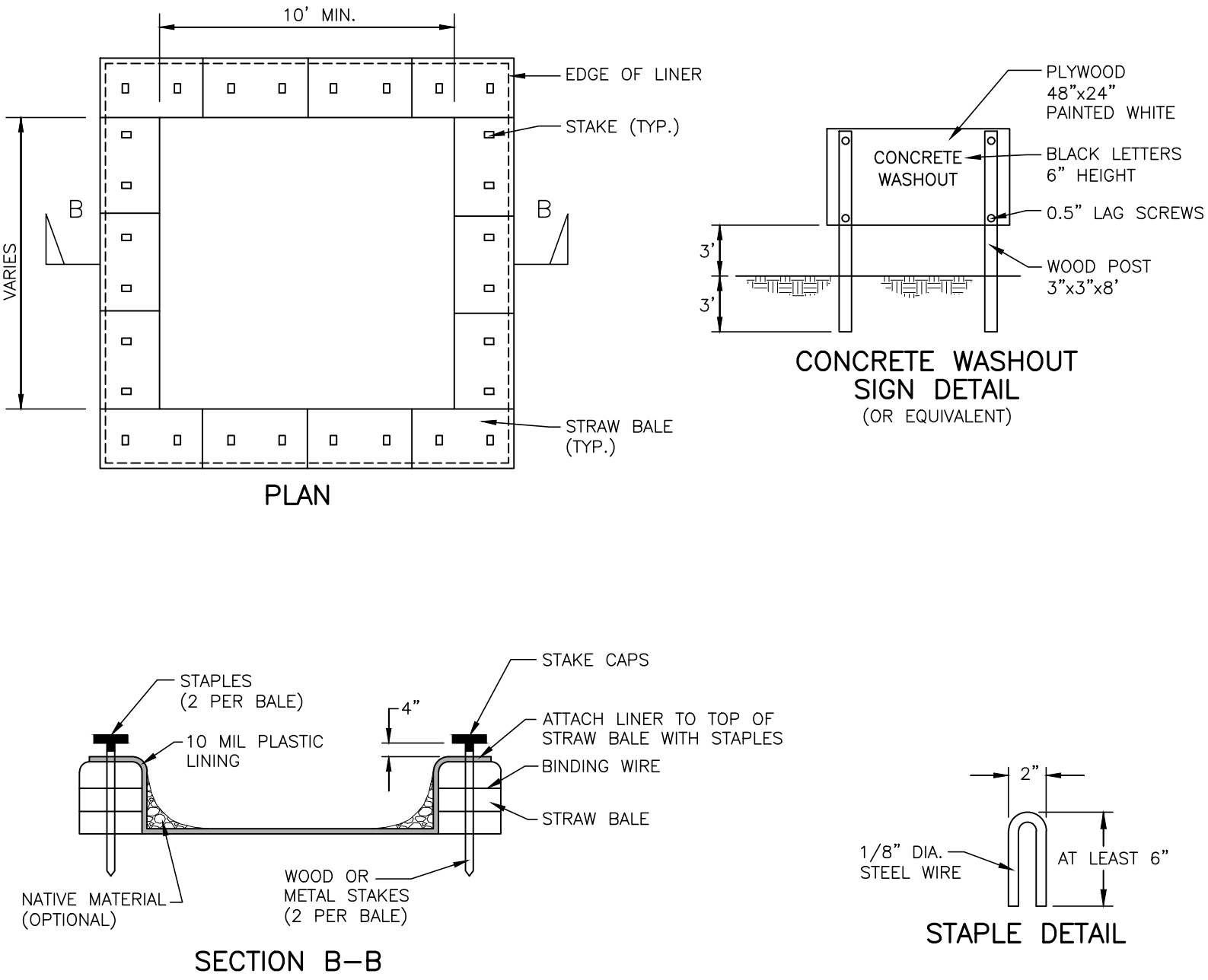
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EROSION CONTROL DETAILS

C6.01



CONCRETE WASHOUT PIT
N.T.S.

- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

- INSPECTION/MAINTENANCE/REMOVAL:**
1. TEMPORARY CONCRETE WASHOUT FACILITIES ARE TO BE INSPECTED BY THE CONTRACTOR DURING HIS/HER WEEKLY EROSION AND SEDIMENT CONTROL INSPECTION, AFTER A STORM EVENT OF 1/2" OR GREATER AND AT THE END OF ANY DAY WHEN CONCRETE HAS BEEN POURED ON THE CONSTRUCTION SITE. THE INSPECTOR IS TO ENSURE THAT THERE ARE NO LEAKS, NO SPILLS AND THAT THE FACILITIES CAPACITY HAS NOT YET BEEN COMPROMISED.
 2. ANY OVERFLOWING OF THE WASHOUT FACILITIES ONTO THE GROUND MUST BE CLEANED UP AND REMOVED WITHIN 24 HOURS OF DISCOVERY.
 3. IF A RAIN OR SNOW EVENT IS FORECASTED, A NON-COLLAPSING, NON-WATER COLLECTING COVER SHALL BE PLACED OVER THE WASHOUT FACILITY AND SECURED TO PREVENT ACCUMULATION AND OVERFLOW OF PRECIPITATION.
 4. CONTENTS OF EACH CONCRETE WASHOUT FACILITY ARE NOT TO EXCEED 75% OF ITS DESIGNED CAPACITY. IF THE CONTENTS REACH 75% CAPACITY, DISCONTINUE POURING CONCRETE INTO THE FACILITY UNTIL IT HAS BEEN CLEANED OUT.
 5. ALLOW SLURRY TO EVAPORATE OR REMOVE FROM SITE IN A SAFE MANNER (I.E. VACUUM TRUCK). ALL HARDENED MATERIAL CAN THEN BE REMOVED AND DISPOSED OF PROPERLY.
 6. IF A LINED BASIN IS USED, IMMEDIATELY REPLACE THE LINER IF IT BECOMES DAMAGED.
 7. REMOVE TEMPORARY CONCRETE WASHOUT FACILITIES WHEN THEY ARE NO LONGER NEEDED AND RESTORE THE DISTURBED AREAS TO THEIR ORIGINAL CONDITION.



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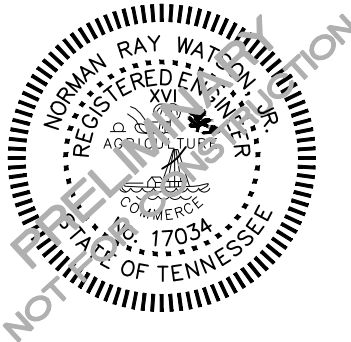
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EXPRESS OIL - JEFFERSON CITY, TN
CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



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PLAN INFORMATION

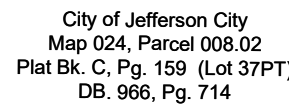
PROJECT NO.	EXO25004
FILENAME	EXO25004-D1.DWG
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DRAWN BY	JE
SCALE	N.T.S.
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SHEET

**EROSION CONTROL
DETAILS**

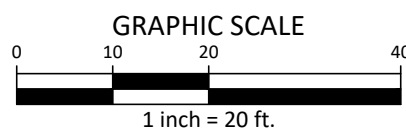
C6.02

Centerline of Right-Of-Way 90'



BM #1: N. 661099.0526 E. 2,715,014.4396 ; ELEV: 1,107.569

1. CONTRACTOR TO VERIFY CONCRETE PAD FOR TRANSFORMER. TRANSFORMER PAD SHALL BE STANDARD LIGHT DUTY CONCRETE UNLESS OTHERWISE REQUIRED BY POWER COMPANY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST JEFFERSON COUNTY AND TDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
3. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
4. CONTRACTOR SHALL NOTIFY "TN811" (811) OR 1-800-351-1111 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF TN811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
6. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL AND STATE MUNICIPALITY AND TDOT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER IF REQUIRED. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
7. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, LOCAL AND STATE MUNICIPALITY AND TDOT.
8. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
9. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN ARE INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENTS. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
10. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
11. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE LOCAL AND STATE MUNICIPALITY AND TDOT STANDARDS AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
12. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
13. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
14. PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH TDOT STANDARD SPECIFICATIONS. PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (CABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH TDOT STANDARD SPECIFICATIONS. PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE TDOT STANDARD SPECIFICATIONS. PROPER SUBGRADE COMPACTION, ADHERENCE TO THE TDOT SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
15. THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.
18. THE CONTRACTOR SHALL ENSURE THAT THE POWER POLES ARE NOT DAMAGED DURING SIDEWALK INSTALLATION.
19. SIGNAGE TO BE PERMITTED SEPARATELY BY SIGN COMPANY.
20. ALL STRIPING IN TDOT ROW SHALL BE THERMOPLASTIC.
21. REINFORCED CONCRETE PADS TO BE PROVIDED IN FRONT OF AND BENEATH TRASH RECEPTACLES. THE DUMPSTER TRUCK SHOULD BE PARKED ON THE RIGID CONCRETE PAVEMENT WHEN THE TRASH RECEPTACLES ARE LIFTED. THE CONCRETE PADS SHOULD BE A MINIMUM OF 6 INCHES THICK, REINFORCED CONCRETE SLAB OVER 6 INCHES OF DENSE GRADED AGGREGATE.



		HEAVY DUTY CONCRETE PAVEMENT
		STANDARD CONCRETE PAVEMENT
		HEAVY DUTY ASPHALT PAVEMENT
		STANDARD ASPHALT PAVEMENT
		STANDARD CURB & GUTTER

LANE LINES/MARKINGS

TA	4" WHITE
TQ	8" WHITE
T2	24" WHITE STOPBAR
F1	6" RED

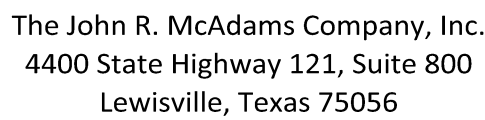
(UH) HANDICAP PARKING
(UC) STRAIGHT ARROW
(UR) RIGHT ARROW

MUTCD R1-1
 36"x36"

R7-8 3'x12" & R7-8A 18"x9"

<u>ASPHALT PAVEMENT</u>	<u>CONCRETE PAVEMENT</u>
-------------------------	--------------------------

	STANDARD DUTY	HEAVY DUTY	STANDARD DUTY	HEAVY DUTY
PORTLAND CEMENT CONCRETE (COMPRESSIVE STRENGTH 4000 PSI) PER GEOTECH REPORT	-	-	5.0"	6.0"
ASPHALT SURFACE COURSE PER GEOTECH REPORT.	3.0"	1.5"	-	-
ASPHALT BINDER COURSE PER GEOTECH REPORT.	-	2.5"	-	-
CRUSHED STONE BASE PER GEOTECH REPORT	6.0"	6.0"	5.0"	6.0"



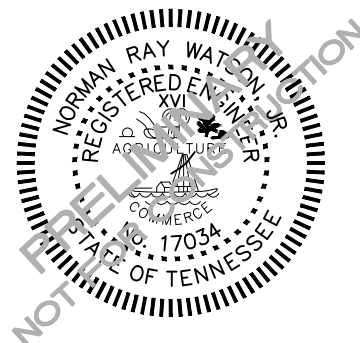
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EXPRESS OIL - JEFFERSON CITY, TN
CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



NO.	DATE	DESCRIPTION
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PROJECT NO. EXO25004
FILENAME EXO25004-PV1.DWG

PROJECT NO.	EXO25004
FILENAME	EXO25004-PV1.DWG
CHECKED BY	BY
DRAWN BY	JE
SCALE	1" = 20'
DATE	10.06.2025

PAVING, STRIPING & SIGNAGE PLAN

C7.00



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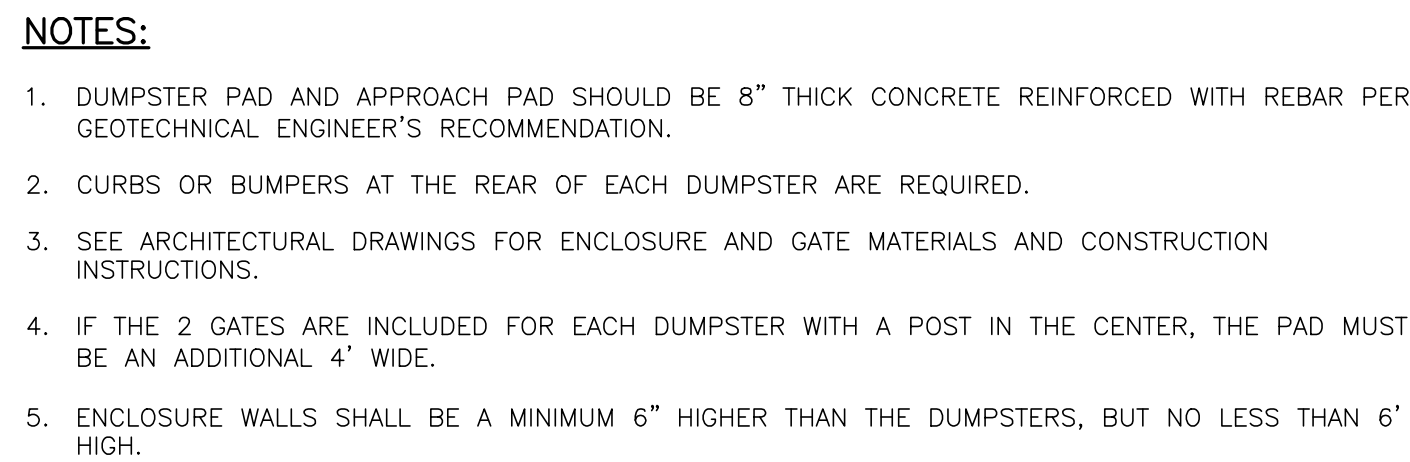
EXPRESS
OIL CHANGE
10 MINUTE SERVICE

TIRE

ENGINEERS
FULL SERVICE AUTO CARE

C8.00





N.T.S.



N.T.S



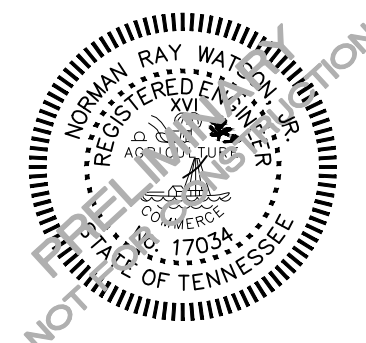
1. 10" MAXIMUM BETWEEN DUMMY JOINTS. 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
2. 1/2" EXPANSION JOINT EVERY 50'.
3. 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 913.05 OF THE TDOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH FILLER AND SEALER IN ACCORDANCE WITH TDOT STANDARD ROADWAY DRAWING RP-J-9. THE JOINT MATERIAL SHALL CONFORM TO SECTION 905 OF THE TDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
6. REFER TO TDOT STANDARD DRAWING RP-VC-11 FOR CURB AND GUTTER SUPERELEVATION RATES.

N.T.S.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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SHEET

STANDARD CONSTRUCTION DETAILS

C8.01



McAdams

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4400 State Highway 121, Suite 800
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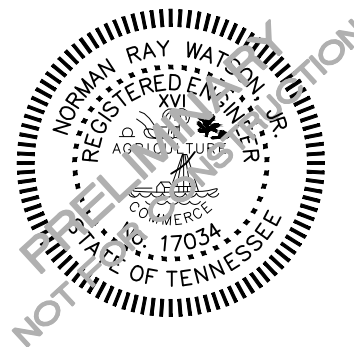
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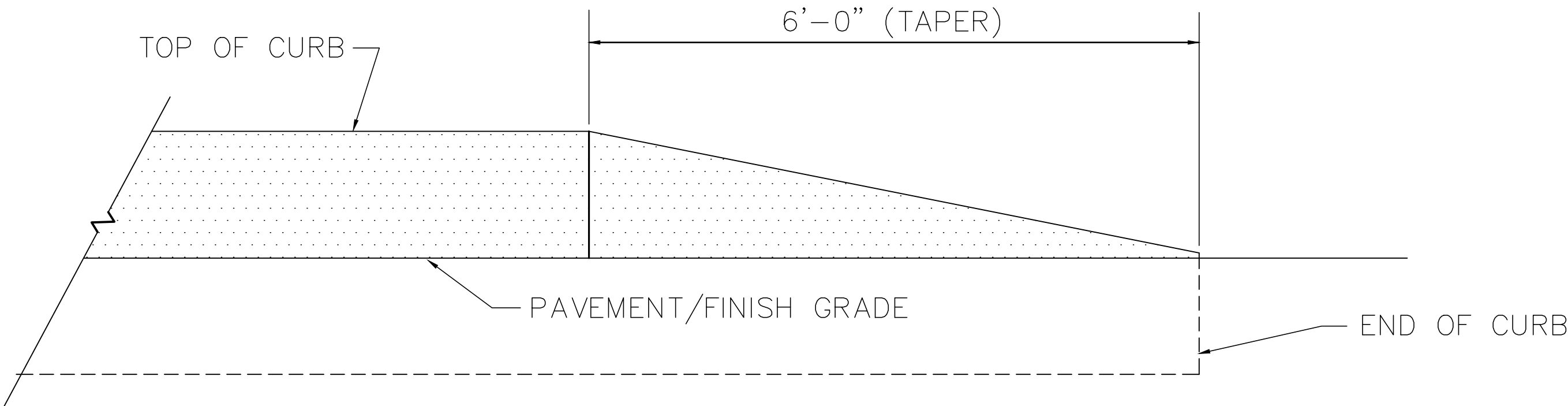
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STANDARD
CONSTRUCTION DETAILS

C8.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

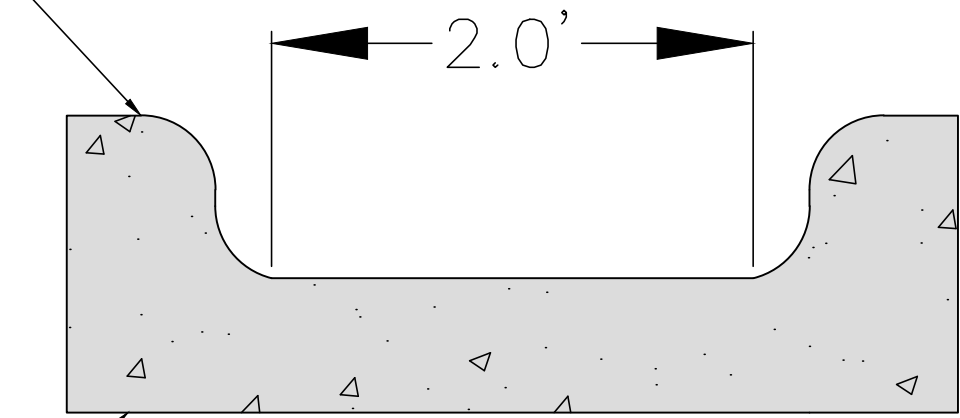


NOSE-DOWN CURB DETAIL

N.T.S.

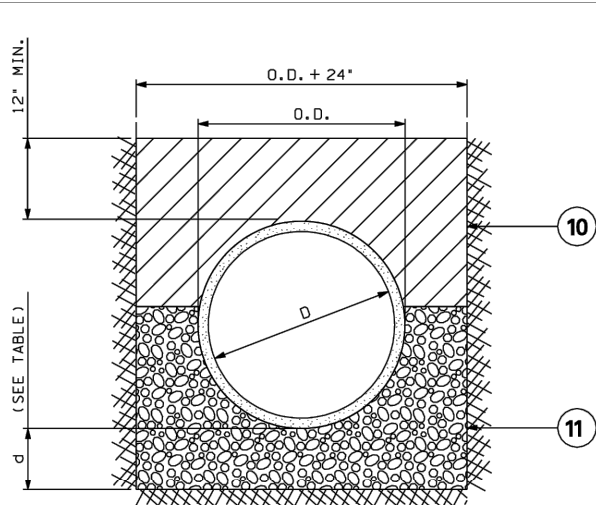
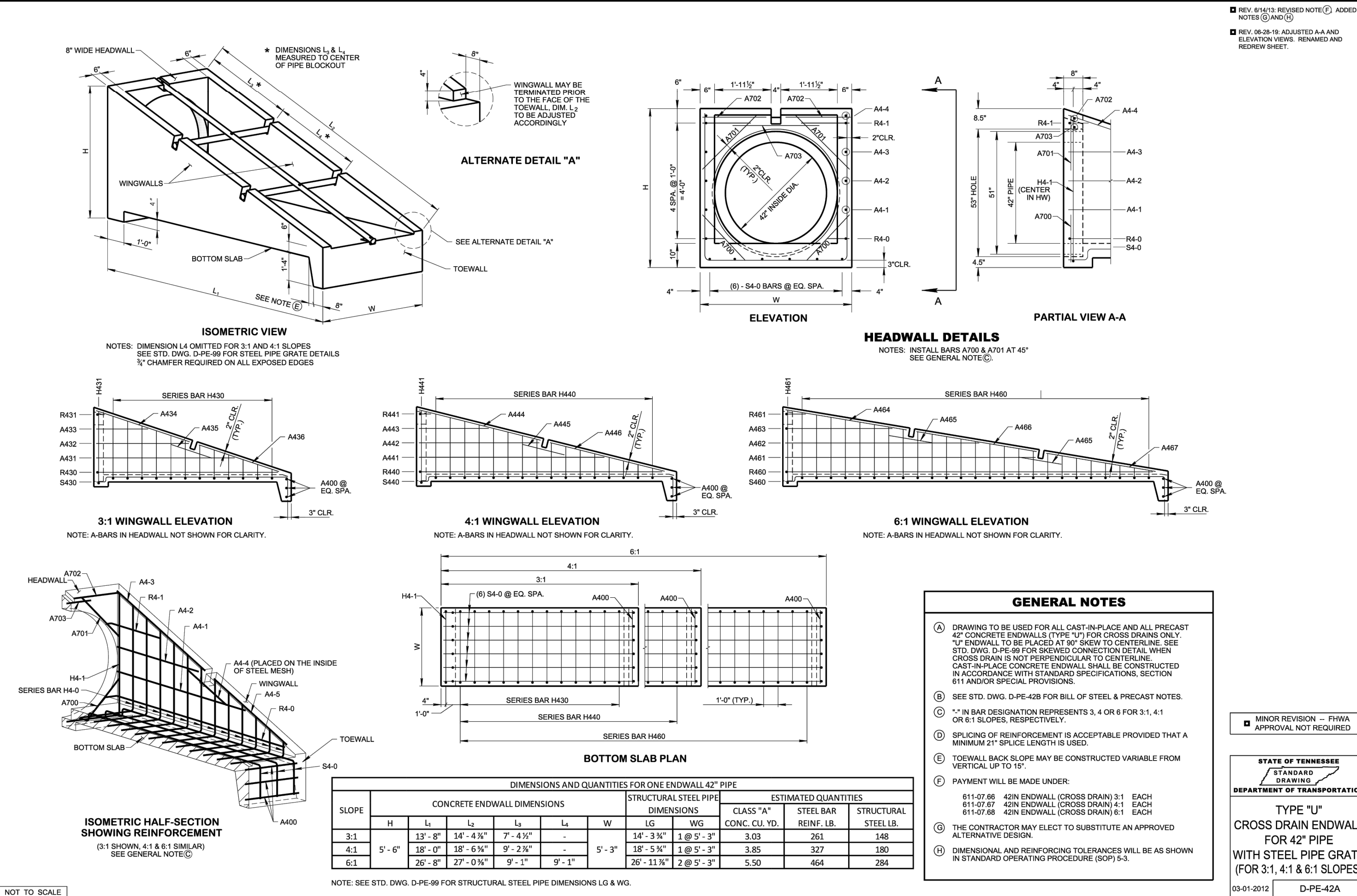
TYPICAL 6"
CURB

MATCH ADJACENT
STANDARD CURB AND
GUTTER PAVING
PAVING (PER
GEOTECH REPORT)

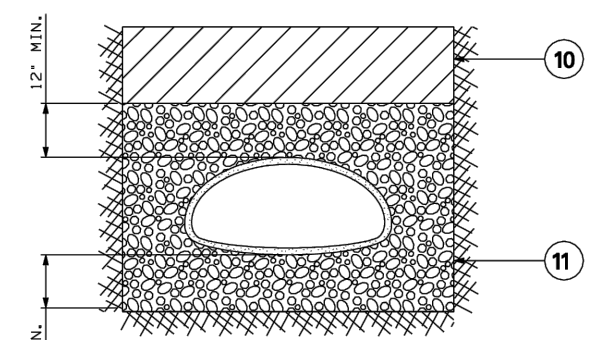


2.0' FLUME DETAIL

N.T.S.



CLASS B

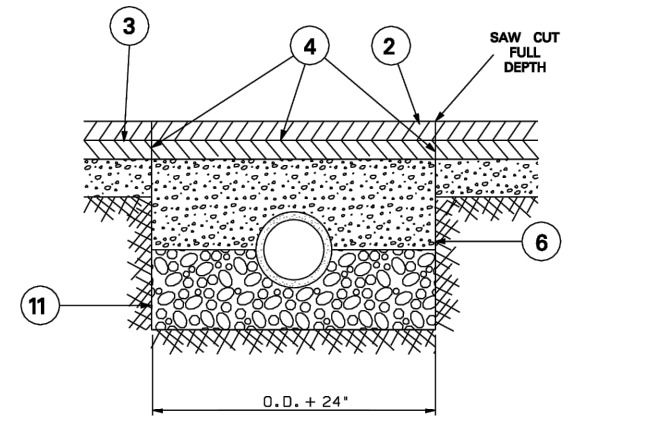


CLASS B

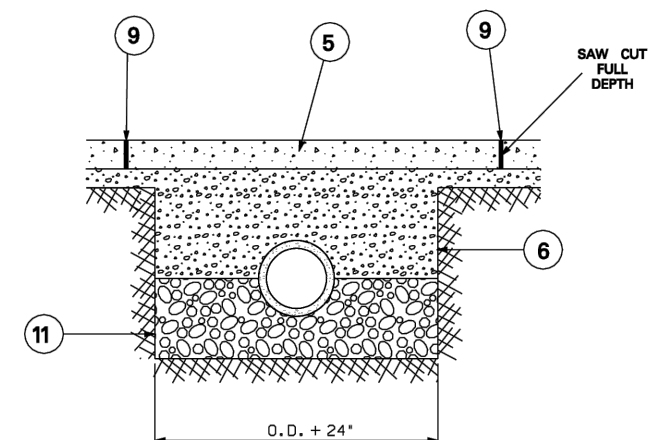
TRENCH BEDDING

D	d (MIN.)
27" AND SMALLER	3"
36" TO 66"	4"
66" AND LARGER	6"

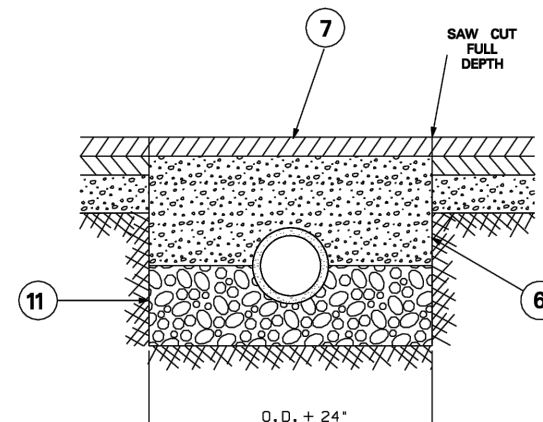
DEPTH OF BEDDING MATERIAL BELOW PIPE



ASPHALT STREET REPAIR



CONCRETE STREET REPAIR



TEMPORARY ASPHALT STREET REPAIR

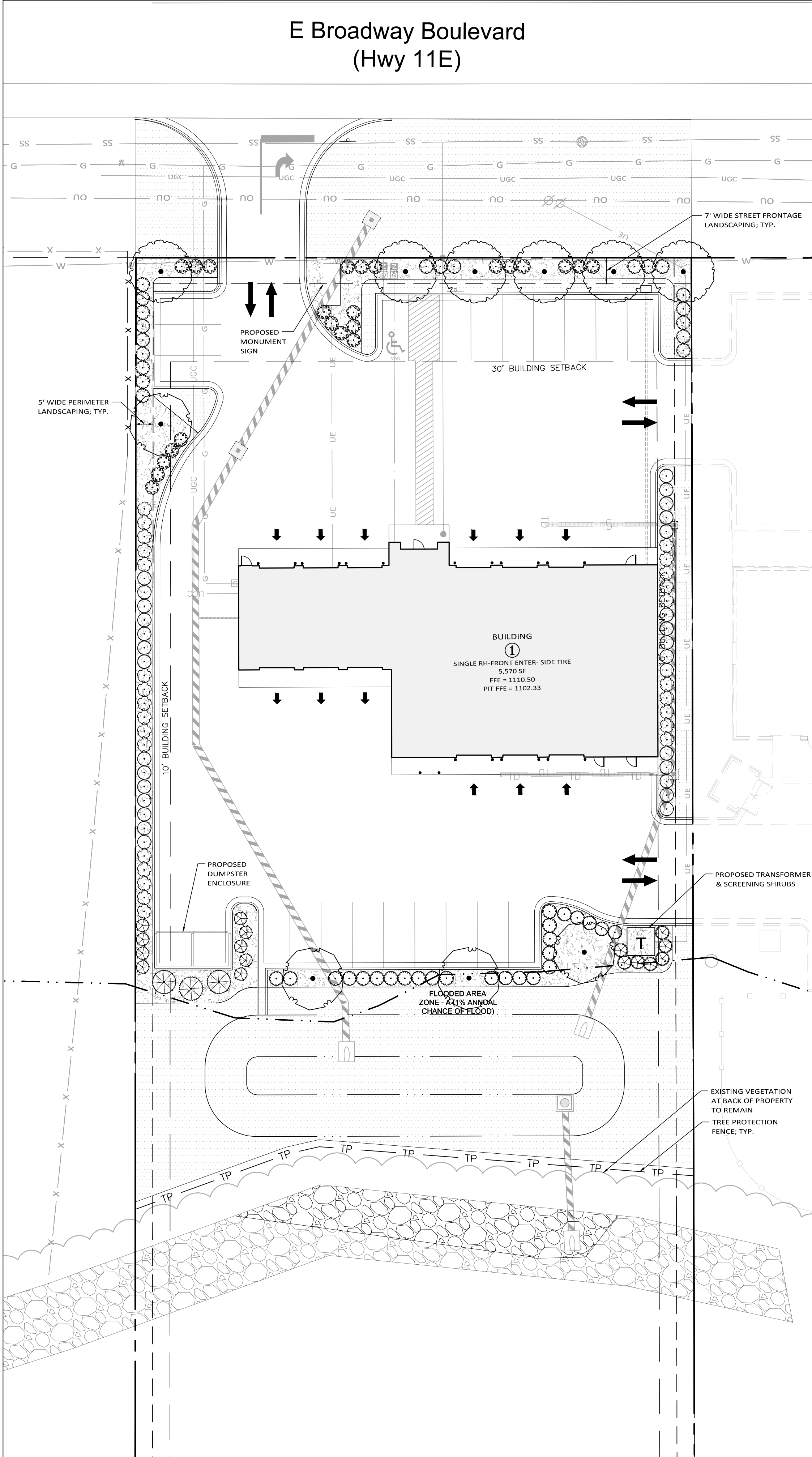
NOTES:

- ALL SECTIONS NOTED BELOW REFERENCE THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
- ASPHALTIC CONCRETE SURFACE, GRADING D, SECTION 18.0, MATCH EXISTING DEPTH OR MINIMUM THICKNESS OF ONE AND ONE-HALF (1.5) INCHES.
- BUTYRUS PLANT MIX BASE, GRADING B, B.M. OR C, SECTION 9.0, MINIMUM EXISTING DEPTH OR MINIMUM THICKNESS OF ONE AND ONE-HALF (1.5) INCHES. THE ENTIRE FOUR (4) INCH MINIMUM DEPTH MAY BE ASPHALTIC CONCRETE SURFACE (GRADING D, BUT SHALL BE COMPACTED IN TWO LIFTS).
- TACK COAT, SECTION 7.8.
- PORTLAND CEMENT CONCRETE PAVEMENT, SECTION 11.0, JOINTS SHALL BE CHISELED AS DETAILED IN SECTION 11.0.
- MINERAL AGGREGATE BASE, CLASS A AGGREGATE GRADING D, SECTION 5.0, COMPACTED IN SIX (6) INCH LIFTS TO 100% OF THE STANDARD PROCTOR DENSITY AT 2% LESS THAN OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO T99, METHOD D, APPROXIMATELY 148 PCF FOR LIMESTONE.
- WHEN A TEMPORARY ASPHALT PATCH IS USED, IT SHALL BE PLACED IMMEDIATELY AFTER THE MINERAL AGGREGATE BACKFILL. ALL TEMPORARY REPAIRS MUST BE REPLACED PERMANENTLY WITHIN 90 DAYS.
- CONCRETE SIDEWALKS, DRIVEWAYS, AND MEDIAN STRIP, SECTION 13.0.
- LIMITS OF REMOVAL SHALL BE FROM THE NEAREST EXPANSION OR CONTRACTION JOINT.
- COMPACTED BACKFILL SHALL BE IN ACCORDANCE WITH SECTION 28.0.
- BACKFILL MATERIAL IN THE ROADWAY OR WITHIN 2 FEET OF THE ROADWAY, UNDER CURBS, GUTTERS, AND SIDEWALKS SHALL MEET THE REQUIREMENTS OF SECTION 5.0 (MINERAL AGGREGATE BASE).
- BEDDING MATERIAL, GRADING SIZE NO. 57 OR NO. 67, SHALL BE IN ACCORDANCE WITH SECTION 28.0.
- EXISTING CONCRETE STREETS THAT HAVE BEEN OVERLAID WITH ASPHALT SHALL BE REPAIRED WITH ASPHALT. THE DEPTH OF THE ASPHALT REPLACING THE CONCRETE SHALL BE INCREASED BASE UPON ANY OVERLAY. THE TOTAL DEPTH SHALL BE 1.5 TIMES THE CONCRETE THICKNESS PLUS THE ASPHALT OVERLAY THICKNESS.

CITY OF KNOXVILLE
DEPARTMENT OF ENGINEERING

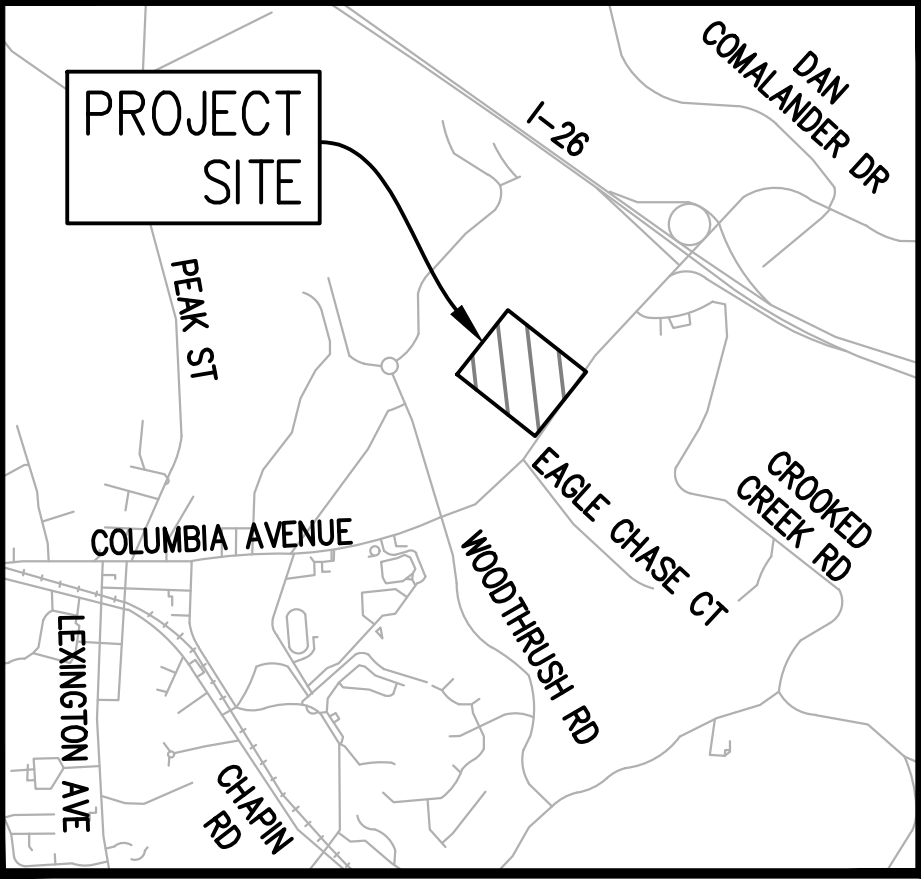
STANDARD DETAIL FOR
STORM PIPE BEDDING
AND BACKFILL

COK-5



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
TREES						
	QUNU	6	QUERCUS NUTTALLII NUTTALL OAK	2" MIN	5' MIN	STRONG, CENTRAL LEADER; FULL CANOPY; MATCHED SPECIMENS
	TCGS	4	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	2" MIN	5' MIN	STRONG, CENTRAL LEADER; FULL CANOPY; MATCHED SPECIMEN
SCREENING SHRUBS						
	ILAC	3	ILEX X 'MAGIANA' ACADIANA™ HOLLY	7 GAL	36" MIN	FULL TO GROUND
	THOE	16	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	7 GAL	36" MIN	FULL TO CONTAINER
EVERGREEN SHRUBS						
	ABGR	26	ABELIA X GRANDIFLORA GLOSSY ABELIA	5 GAL	24" MIN	FULL TO CONTAINER
	DIBC	23	DISTYLUM X 'PIDIST-II' BLUE CASCADE® DISTYLUM	5 GAL	24" MIN	FULL TO CONTAINER
	IGSH	19	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	5 GAL	24" MIN	FULL TO CONTAINER
	IVNA	29	ILEX VOMITORIA 'NANA' DWARF YAUAPON HOLLY	5 GAL	24" MIN	FULL TO CONTAINER
	LOCR	26	LOROPETALUM CHINENSE 'RUBY' RUBY FRINGE FLOWER	5 GAL	24" MIN	FULL TO CONTAINER
MULCHED AREA						
	MULCH	3,920 SF	TRIPLE SHREDDED HARDWOOD MULCH	MULCH		FREE OF DEBRIS; NON-DYED
SOD						
	SOD	14,345 SF	CYNODON DACTYLON BERMUDAGRASS	SOD		



VICINITY MAP

N.T.S.

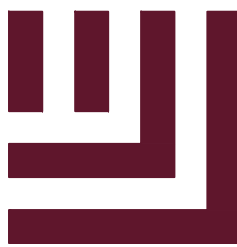
SITE LEGEND

	TRAFFIC DIRECTIONAL ARROW
	VAN ACCESSIBLE PARKING STALL
	PROPERTY LINE
	BUILDING SETBACKS
	LANDSCAPE BUFFER AREAS
	TREE PROTECTION FENCE

JEFFERSON CITY, TN REQUIRED LANDSCAPING	
ZONING: HIGHWAY BUSINESS DISTRICT (B3)	
SITE ADDRESS:	LOT 3 ON E. BROADWAY BLVD. JEFFERSON CITY, TN 37760
SITE AREA:	MAP 024, PARCEL 008.01 PLAT BK. M, PG. 2296 (LOT 2) DB, 1141, PG. 202
SITE AREA:	1.65 AC (71,874 SQ)
REQUIRED LANDSCAPING CALCULATIONS	
REQUIRED STREET FRONTAGE LANDSCAPING, 116 LF * 5 TREES/25 LF:	6 TREES
PROVIDED STREET FRONTAGE LANDSCAPING:	6 TREES
REQUIRED PERIMETER LANDSCAPING, 426 LF @ 5' WIDTH * 20%:	85.2 LF
PROVIDED PERIMETER LANDSCAPING:	205 LF
REQUIRED INTERIOR LANDSCAPING AREA, 21,141 SF PARKING AREA * 5%:	1,058 SF
PROVIDED INTERIOR LANDSCAPING AREA:	4,198 SF
REQUIRED INTERIOR LANDSCAPING TREES, 1,058 SF * 1 TREE/260 SQ:	4 TREES
PROVIDED INTERIOR LANDSCAPING TREES:	4 TREES

NOTE:
CONTRACTOR WILL BE RESPONSIBLE FOR IRRIGATION DESIGN AND INSTALLATION.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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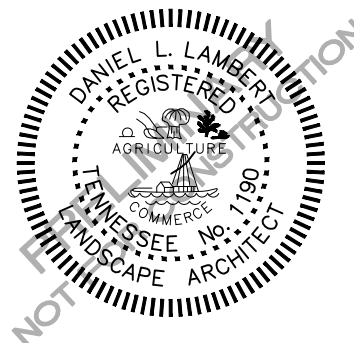
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EXPRESS OIL - JEFFERSON CITY, TN
CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

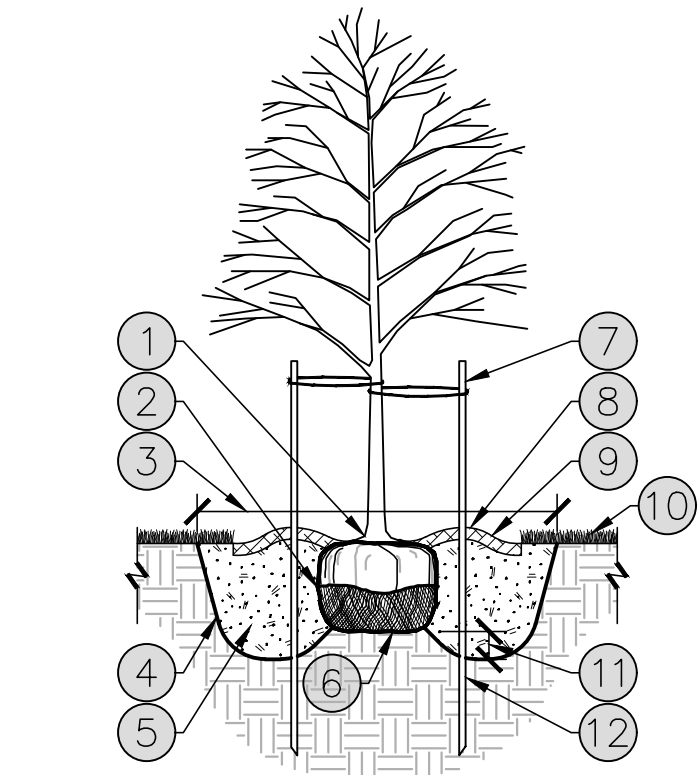
PLAN INFORMATION

PROJECT NO.	EXO25004
FILENAME	EXO25004-LS1.DWG
CHECKED BY	DLL & ASB
DRAWN BY	CAB
SCALE	1"=20'
DATE	10.06.2025

SHEET

CODE LANDSCAPE PLAN

L5.00



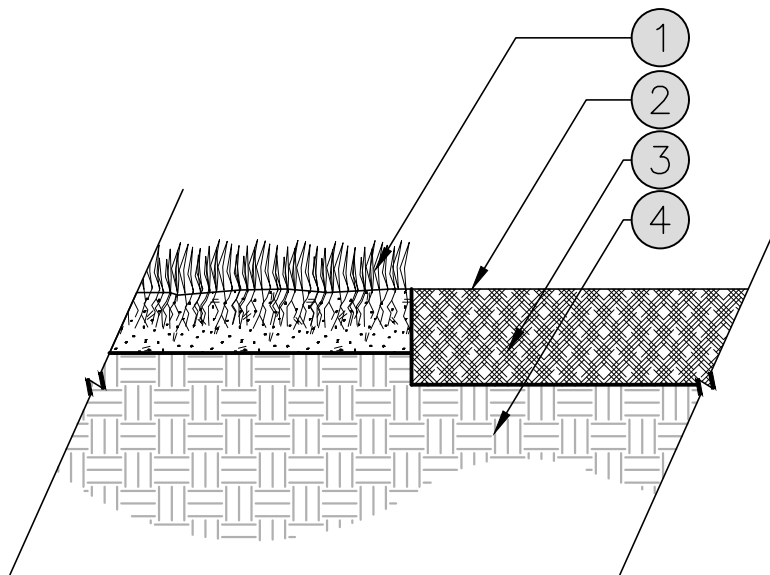
NOTES:

1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

1. TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE 2" ABOVE FINISHED GRADE AFTER SETTLING
2. CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS. IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUR OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
3. WIDTH OF PLANTING HOLE SHALL BE 3 TIMES THE ROOT BALL DIAMETER IN HIGHLY COMPACTED OR CLAY SOIL; 2 TIMES THE ROOT BALL DIAMETER MINIMUM IN ALL OTHERS
4. DIG WIDE PLANTING HOLE WITH TAPERED SIDES.
5. TO STABILIZE, COMPACT THE PLANTING SOIL MIX BACKFILL AROUND ROOT BALL; COMPACT SOIL BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPING.
6. SET ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLING.
7. IF STAKING IS NECESSARY, USE TWO OPPOSING STAKES WITH SEPARATE FLEXIBLE TIES. REMOVE STAKING AT END OF FIRST GROWING SEASON.
8. 4" RAISED RING OF SOIL TO DIRECT WATER INTO ROOT BALL - ESPECIALLY IMPORTANT IF TOP OF ROOT BALL IS RAISED ABOVE GRADE
9. 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 12" OF TREE TRUNK.
10. FINAL GRADE
11. 5"-7" DEEPER THAN ROOT BALL FOR LOWERED PLANTING HOLE AS NEEDED WITH POOR DRAINAGE
12. EXTEND STAKES INTO 24" OF UNDISTURBED SOIL.

1 TREE PLANTING

SCALE: 1/4" = 1'-0"

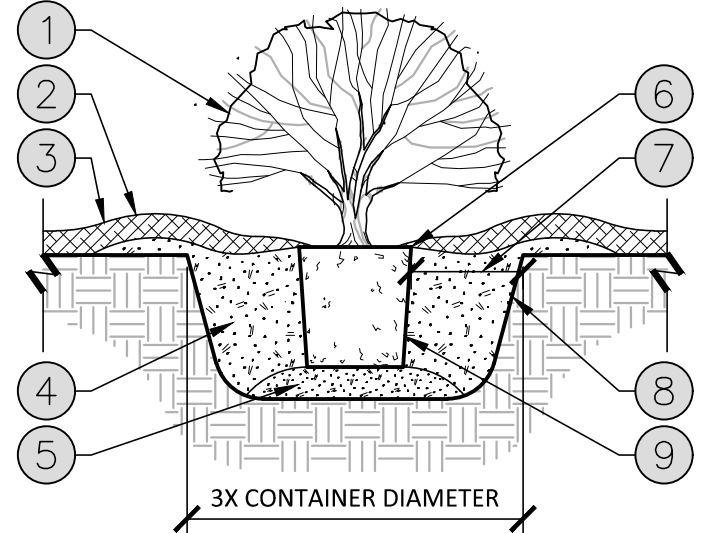


NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PROCURING SUFFICIENT QUANTITIES OF TRIPLE SHREDDED HARDWOOD MULCH TO ACHIEVE THE SPECIFIED FINAL GRADE OF PLANTING AREAS.
2. HARDWOOD MULCH SHALL BE FREE OF DEBRIS, SOIL, AND CONTAMINATES BEFORE INSTALLATION.
3. PLANTING AREAS TO BE FREE FROM DEBRIS, INCLUDING WEEDS, STONES, AND TRASH, BEFORE INSTALLING HARDWOOD MULCH.
4. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF UNSUITABLE AND/OR SURPLUS MATERIALS FROM THE SITE.

4 HARDWOOD MULCH SURFACE

SCALE: 2" = 1'-0"

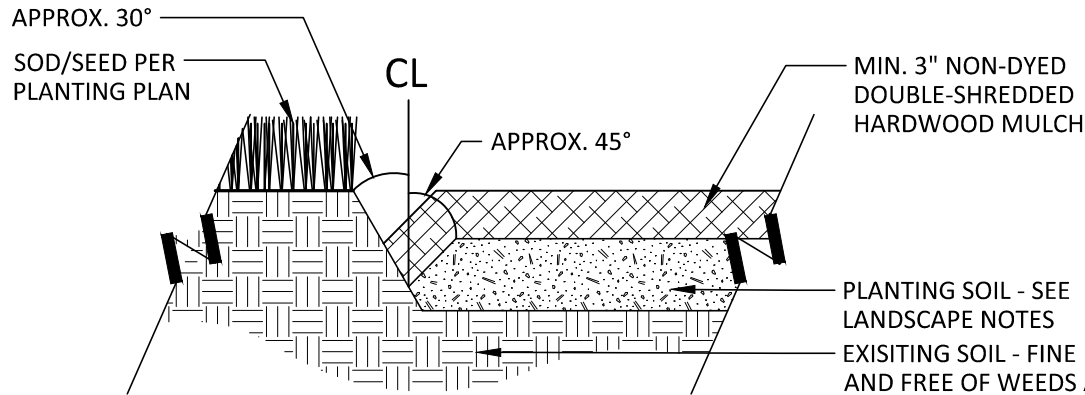


NOTES:

1. SELECT SHRUBS THAT MEET THE SPECIFIED HEIGHT IN THE PLANT SCHEDULE, MEASURED PER THE AMERICAN STANDARD FOR NURSERY STOCK METHODS; PEST AND DISEASE FREE; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC PLANT SPECIES.
4. THOROUGHLY SOAK THE SHRUB ROOT BALLS AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

2 SHRUB PLANTING

SCALE: 1/2" = 1'-0"

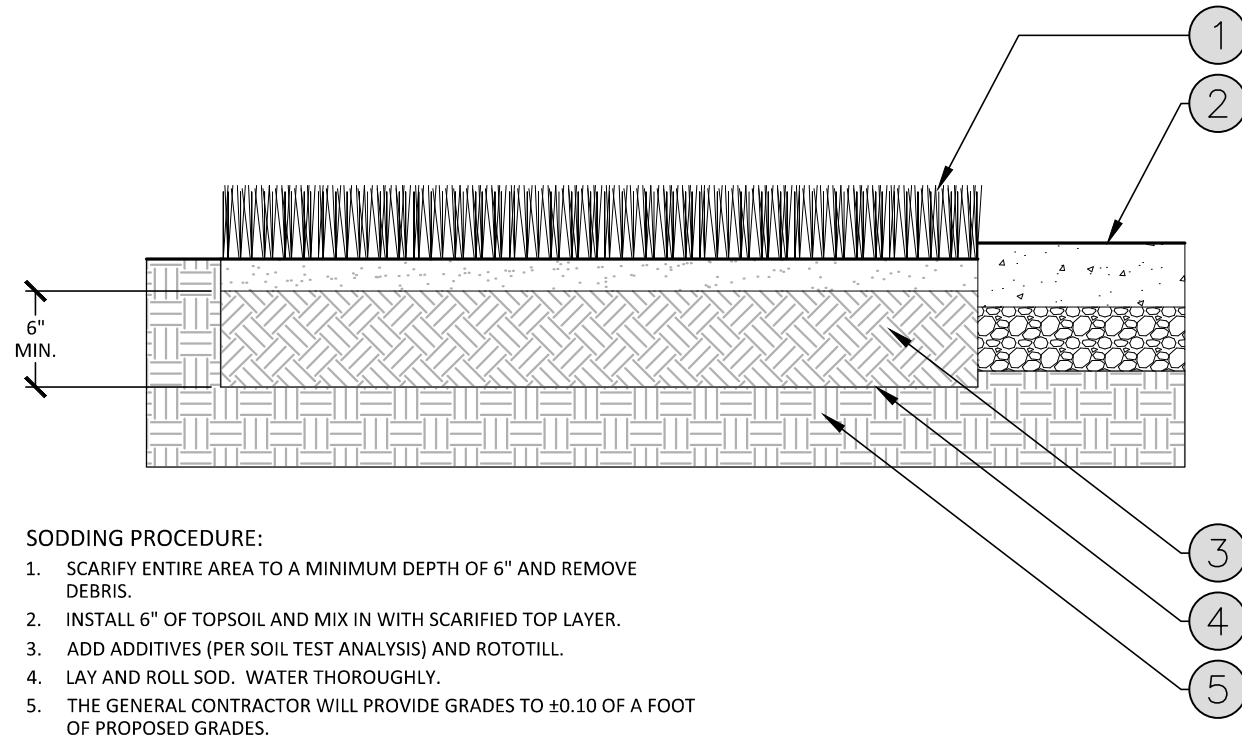


NOTES:

1. EXCAVATE TRENCH BY HAND WITH SPADE.
2. ADD EXCESS SOIL TO ADJACENT PLANT BE AFTER PULLING BACK EXISTING MULCH.
3. RAKE SOIL AND SMOOTH BEFORE MULCHING.

5 PLANTING BED EDGE

SCALE: 1" = 1'-0"



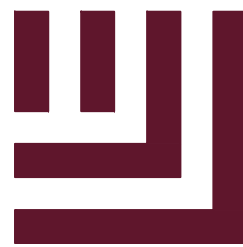
1. SOD - PROVIDE CLEAN, SMOOTH, CONTINUOUS EDGE BETWEEN SOD AND MULCHED AREAS
2. ADJACENT SURFACE (SEE SITE PLANS)
3. PREPARED SUBGRADE
4. BREAK THROUGH AND REMOVE ALL 'HARDPAN' AND DEBRIS TO ALLOW FOR PERCOLATION AND POSITIVE DRAINAGE
5. UNDISTURBED SUBGRADE

3 SOD INSTALLATION

SCALE: 1" = 1'-0"

GENERAL LANDSCAPE NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE JEFFERSON CITY AND THE STATE OF TENNESSEE STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLUG, CINCHERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
29. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



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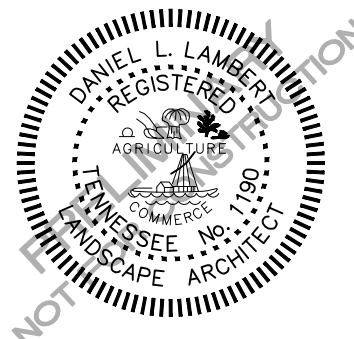
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EXPRESS OIL - JEFFERSON CITY, TN
CONSTRUCTION PLANS
E. BROADWAY BLVD
JEFFERSON CITY, TENNESSEE 37760



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

PLAN INFORMATION

PROJECT NO.	EXO25004
FILENAME	EXO25004-LS1.DWG
CHECKED BY	DLL & ASB
DRAWN BY	CAB
SCALE	AS SHOWN
DATE	10.06.2025

SHEET

LANDSCAPE NOTES & DETAILS

L5.10