

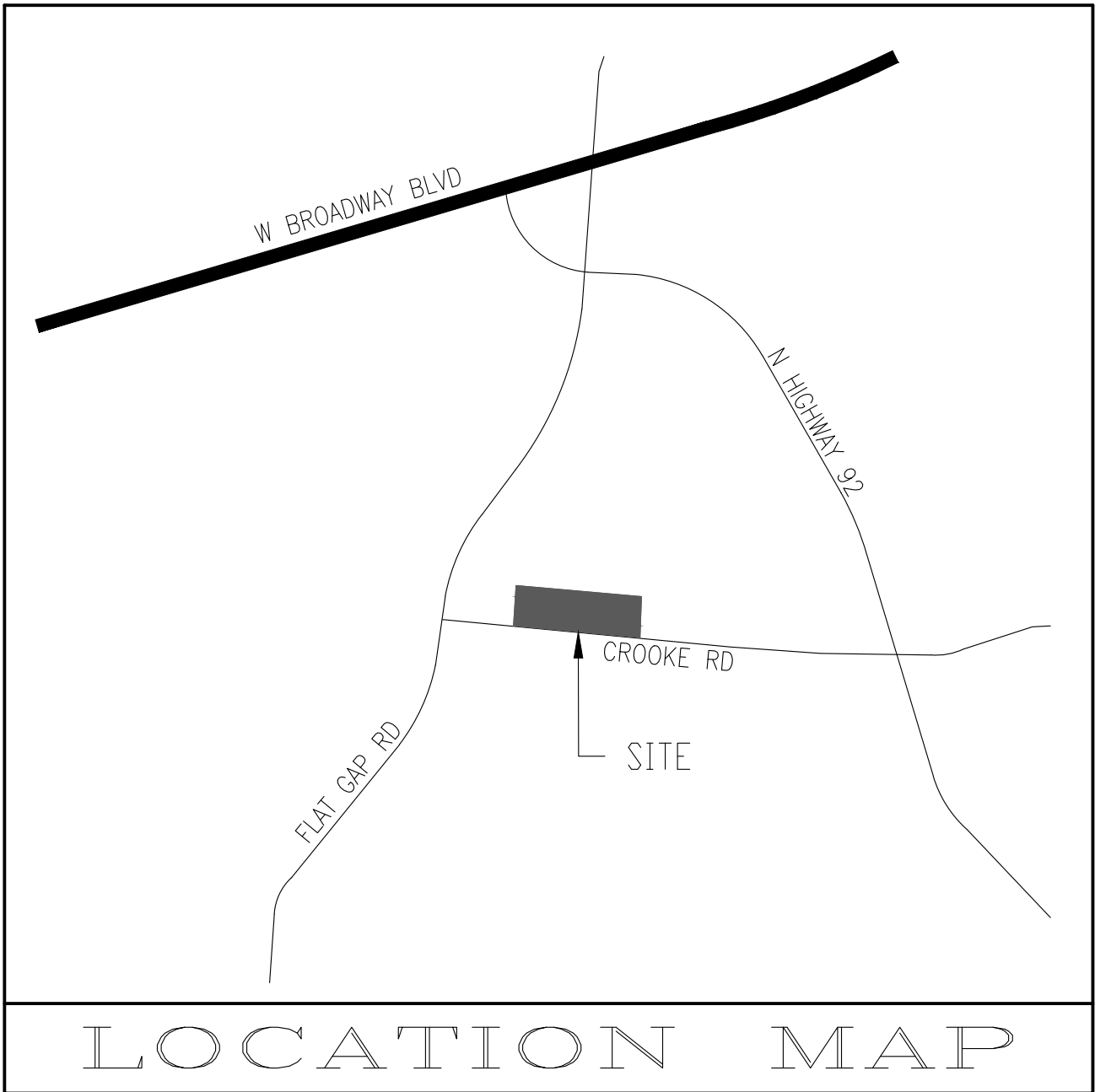
DESIGN PLAN
FOR

LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
4	ROAD PROFILES
5	GRADING & DRAINAGE
6-8	EROSION & SEDIMENT CONTROL PLAN
9	DETAILS



OWNER/DEVELOPER

LEONARD DEVELOPEMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE (865) 588-6472
FAX (865) 588-6473

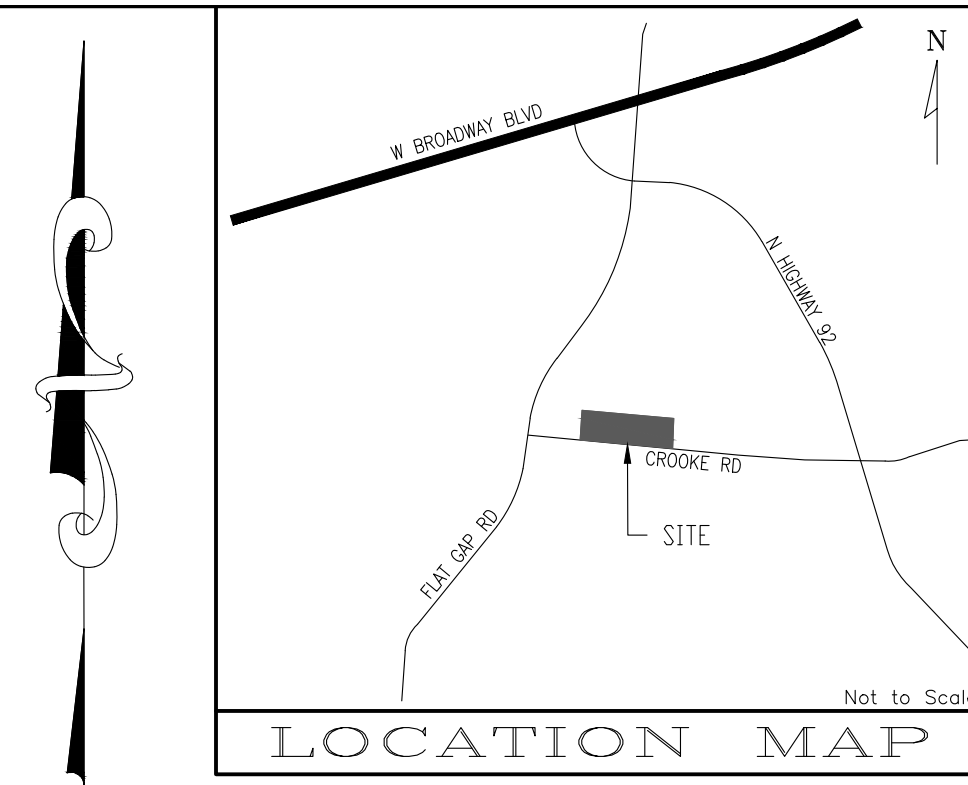
REVISED: NOVEMBER 4, 2025
OCTOBER 8, 2025



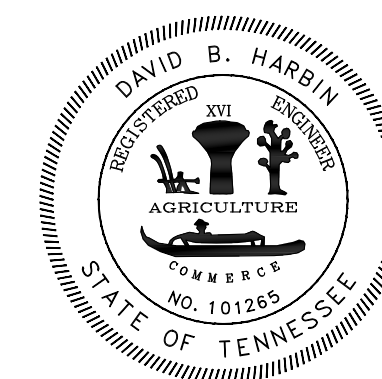
SHEET 1 OF 9 SHEETS
25730-TS

CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

OSHA RULES SHALL BE ABIDED BY.



1. ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAN.
2. A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS BESIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
3. A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SENIOR SENARY AS INSTALLED.
4. THIS PROPERTY CONTAINS APPROXIMATELY 11.593 ACRES SUBDIVIDED INTO 58 SINGLE FAMILY LOTS.
5. THIS PROPERTY IS IN THE JEFFERSON CITY URBAN GROWTH HORIZONY.
6. ALL ROAD PROFILES ARE BASED ON LIDAR CONTOURS.
7. UTILITIES:
WATER: JEFFERSON CITY PUBLIC WORKS
SEWER: JEFFERSON CITY PUBLIC WORKS
ELECTRIC: APPALACHIAN ELECTRIC
GAS: JEFFERSON-COCKE COUNTY UTILITY DISTRICT
TELEPHONE:
8. GEOTECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
9. BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: 20'
REAR: 20'
SIDE: 8'
10. EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE TO FIELD LOCATE ALL UTILITIES, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.
11. STREET LIGHTS TO BE PROVIDED FOR THIS PROJECT. DETAILS AND STANDARDS TO BE COORDINATED WITH APPALACHIAN ELECTRIC COOPERATIVE.
12. ALL STORM DRAINAGE ON PRIVATE PROPERTY WILL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.



0-25730\25730.D\\001



CHECKED DBH

1	11-4-25	PLANNING COMMISSION COMMENTS		
NO.	DATE	REVISION		APPROVED

N/O	DATE	REVISION	APP.

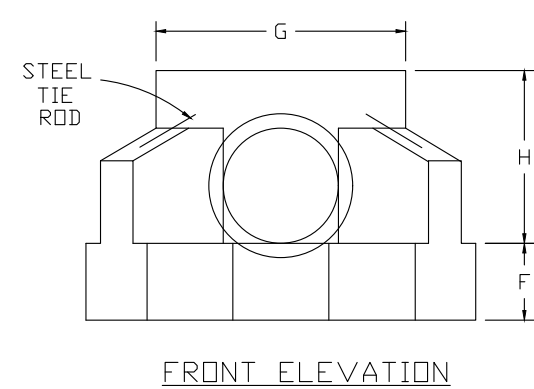
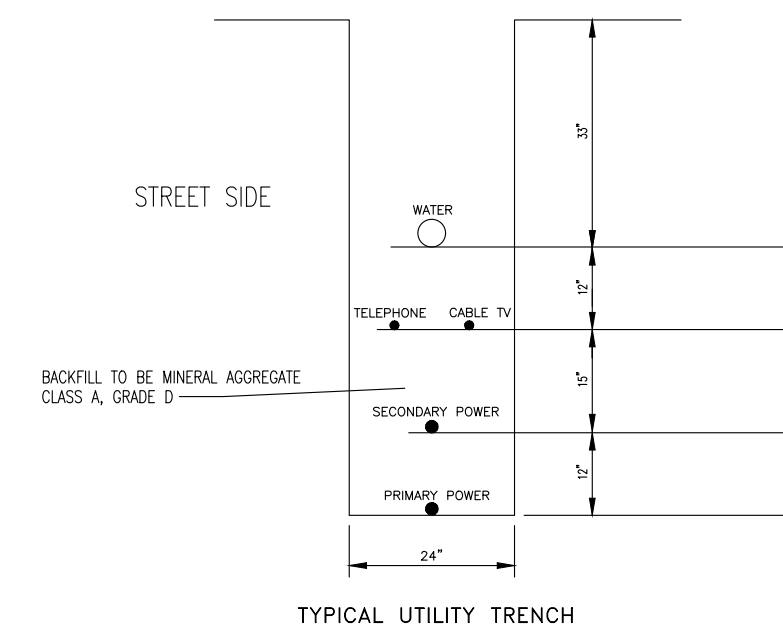
10/8/25

A graphic scale bar for the drawing. It is a horizontal bar divided into four equal segments, each labeled 50' at the top. The segments are filled with a checkerboard pattern, solid black, white, and solid black from left to right. Below the bar, the text "1"=50'" is centered.

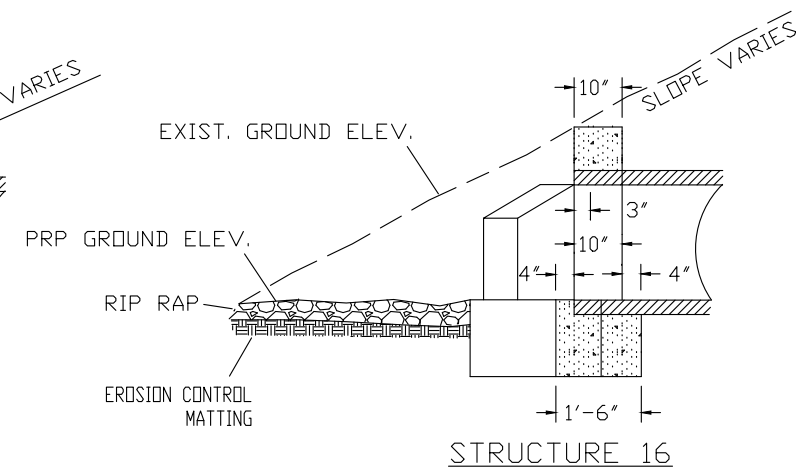
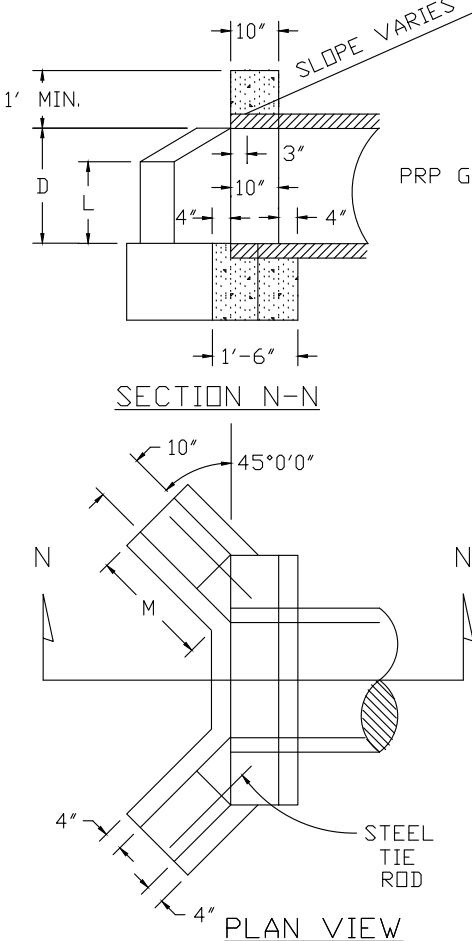
TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

NOTE:
CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

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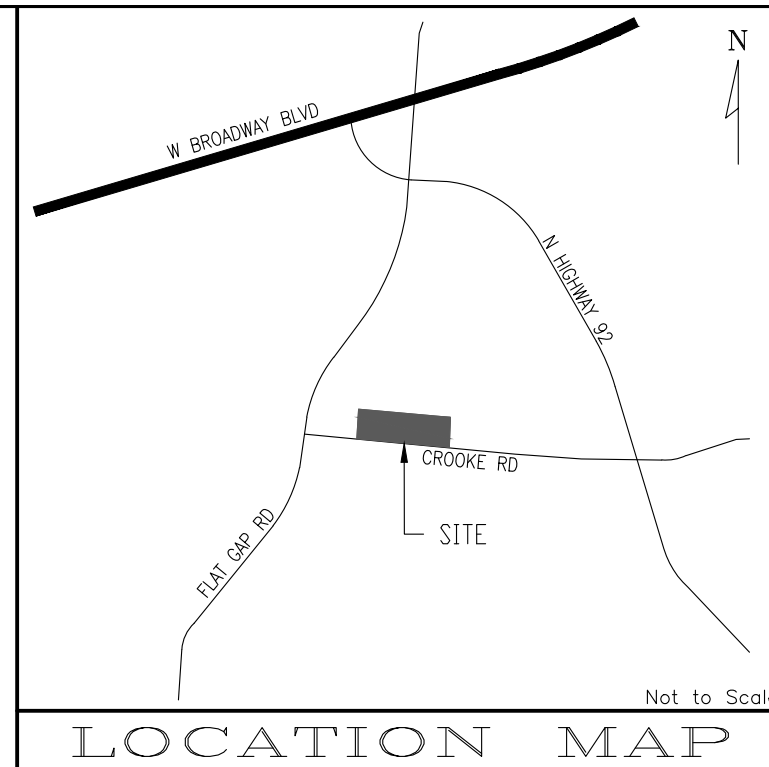


1. CHAMFER ALL EXPOSED EDGES 3/4" MIN. BEARING CAPACITY 2000 P.S.I.
2. WHERE TIE RODS ARE REQUIRED, THE COST OF SAME SHALL BE INCLUDED IN THE UNIT BID PRICE BID.
3. CONCRETE DESIGN STRENGTH 3000 P.S.I.



DIMENSIONS							QUANTITIES IN ONE ENDWALL			
OPENING		WALL			FOOTING		CONCRETE 3,000 P.S.I.		STEEL	
AREA S.O.F.T.		TOTAL CU. YARDS								
D	H	G	L	M	F	CONC.PIE	CM.PIE	GI.PIE	TIE	RDS
15'	1.2	2'-3"	3'-7"	1'-0"	1'-3"	0.58	0.61	0.61	NONE	
18'	1.8	2'-6"	3'-10"	1'-2"	1'-7"	0.76	0.79	0.79	NONE	
24'	3.1	3'-0"	4'-4"	1'-5"	2'-1"	1'-4"	1.03	1.08	1.08	2-3/4" x#2-0"
30'	4.9	3'-6"	4'-10"	1'-9"	2'-5"	1'-6"	1.34	1.42	1.41	2-3/4" x#2-0"
36'	7.1	4'-0"	5'-4"	2'-0"	2'-11"	1'-8"	1.74	1.85	1.84	2-3/4" x#3-0"
42'	9.6	4'-6"	5'-10"	2'-3"	3'-5"	2'-0"	2.36	2.49	2.49	2-3/4" x#3-0"
48'	12.6	5'-0"	6'-4"	2'-6"	4'-0"	2'-0"	2.76	2.92	2.92	2-3/4" x#3-0"

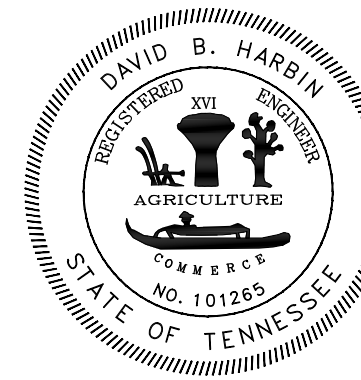
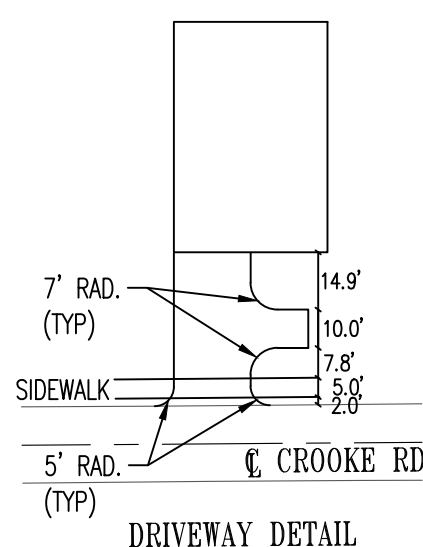
CONCRETE HEADWALL DETAIL
WITH 45° WINGS FOR PIPE CULVERTS



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 - SEWER: JEFFERSON CITY PUBLIC WORKS
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 - GAS: JEFFERSON-COCKE COUNTY UTILITY DISTRICT
 - TELEPHONE:
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11. STREET WORKS TO BE PROVIDED FOR THIS PROJECT, DETAILS AND STANDARDS TO BE COORDINATED WITH APPALACHIAN ELECTRIC COOPERATIVE.
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NOTE:
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OSHA RULES SHALL BE ABIDED BY.



OWNER/DEVELOPER
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25730-SP

SHEET 3 OF 9 SHEET(S)

Q:\25730\25730.DWG



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PHONE: (865) 588-6472
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email@bhn-p.com

DESIGNED DRH

DRAWN SEW

CHECKED DBL

1	11-4-2
NO	DATE

PLANNING COMMISSION COMMENTS
REVISION

ADD	

NO.	DATE
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REVISIONS

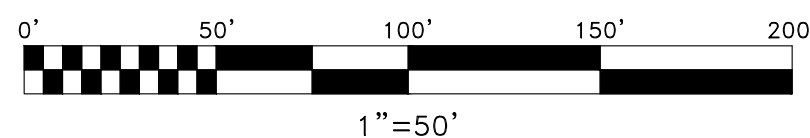
	6.5

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 2' INTERVAL

DATE _____

10/8/25

DEED REFERENCES: DEED BK 199 PG 489



SITE PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK OR CONSTRUCTION
CONTRACTOR MUST CONTACT:
TENNESSEE ONE-CALL
1-800-351-1111
RECORD AND SAVE YOUR CONFIRMATION NUMBER.

NOTE:

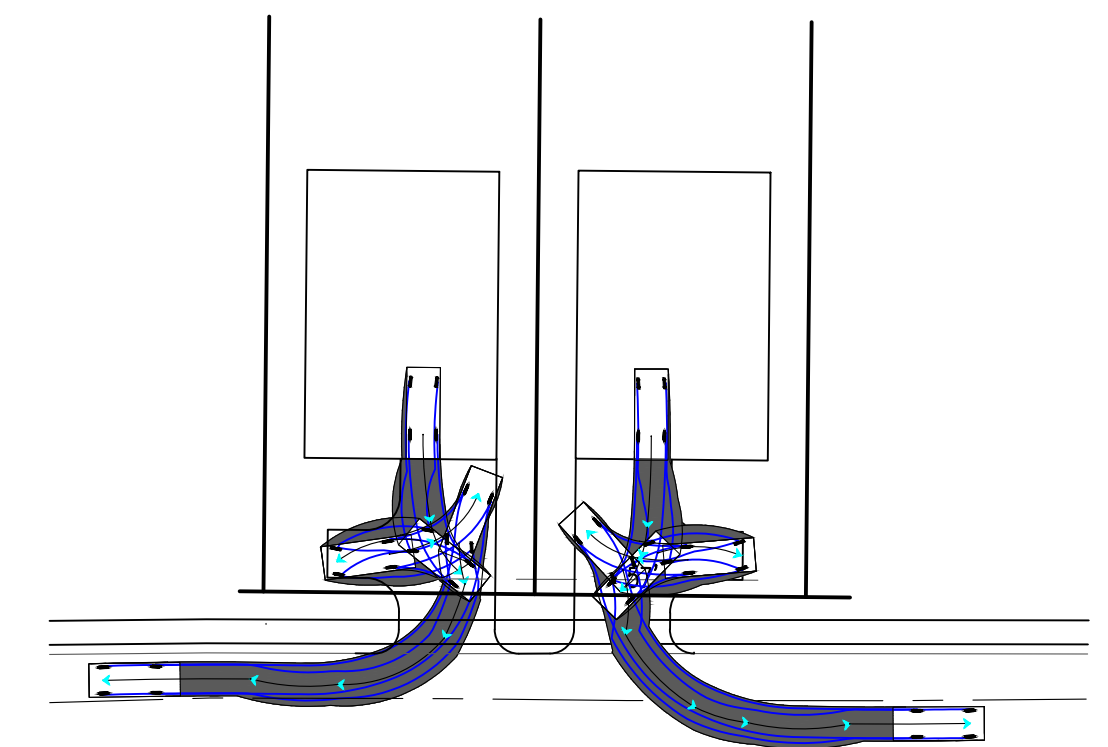
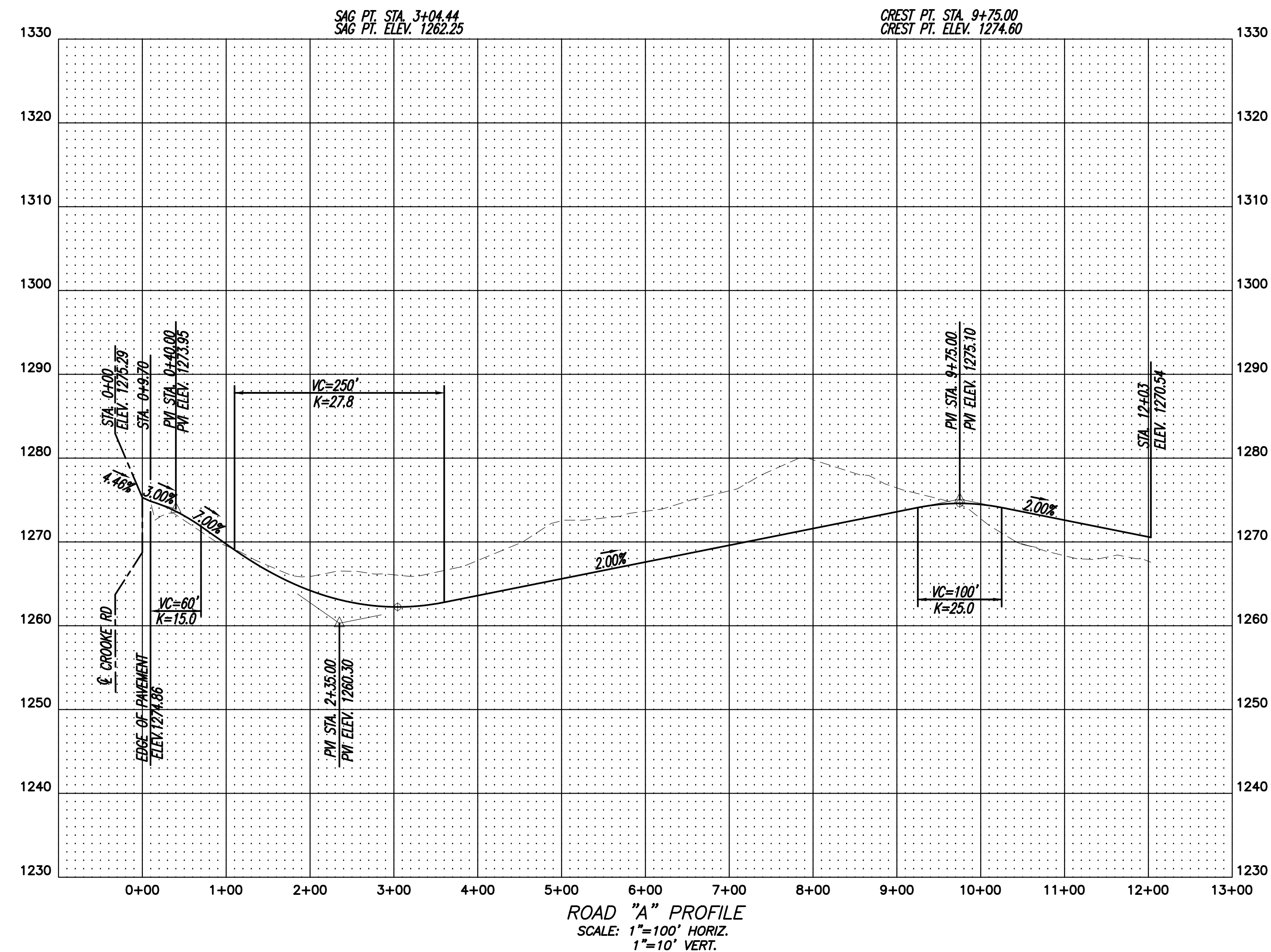
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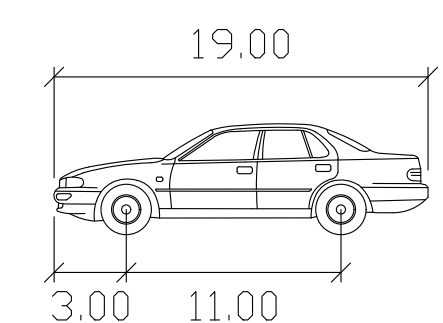
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH
SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN AGC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.



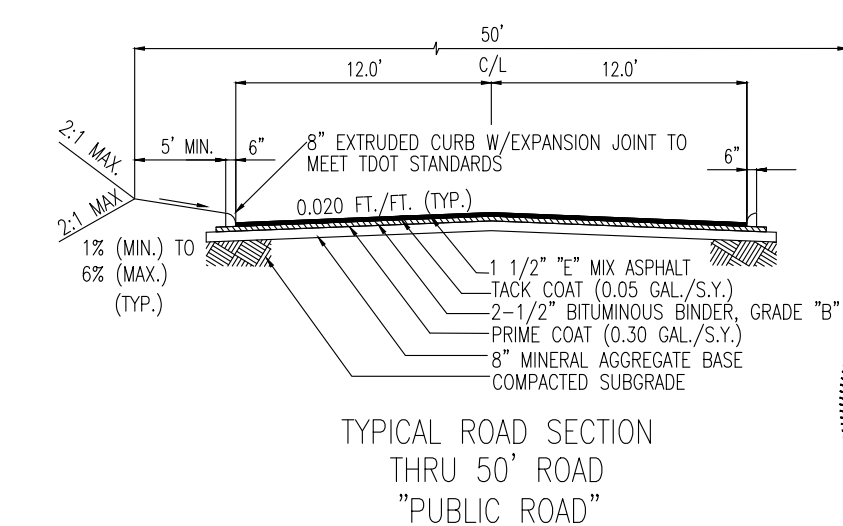
TURNING TEMPLATE
1" = 40'



PASSANGER VEHICLE
NOT TO SCALE
AASHTO 2018(US)

Source Publication: A Policy on Geometric Design of Highways and Streets American Association of State Highway and Transportation Officials AASHTO 2018

Information obtained from AutoTURN Pro program, Version Number: 2021.12.0.1.54,
Build Date: Oct 22 2024



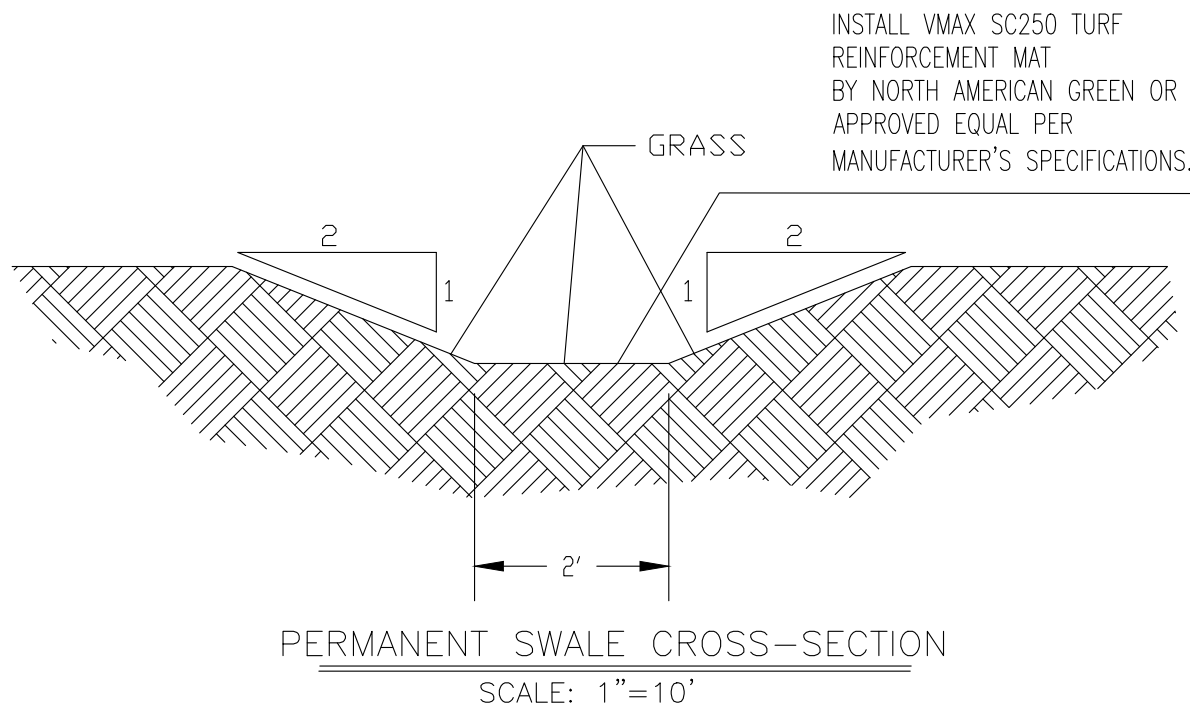
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119 WESTFIELD ROAD
KNOXVILLE, TN 37919

[illegible]

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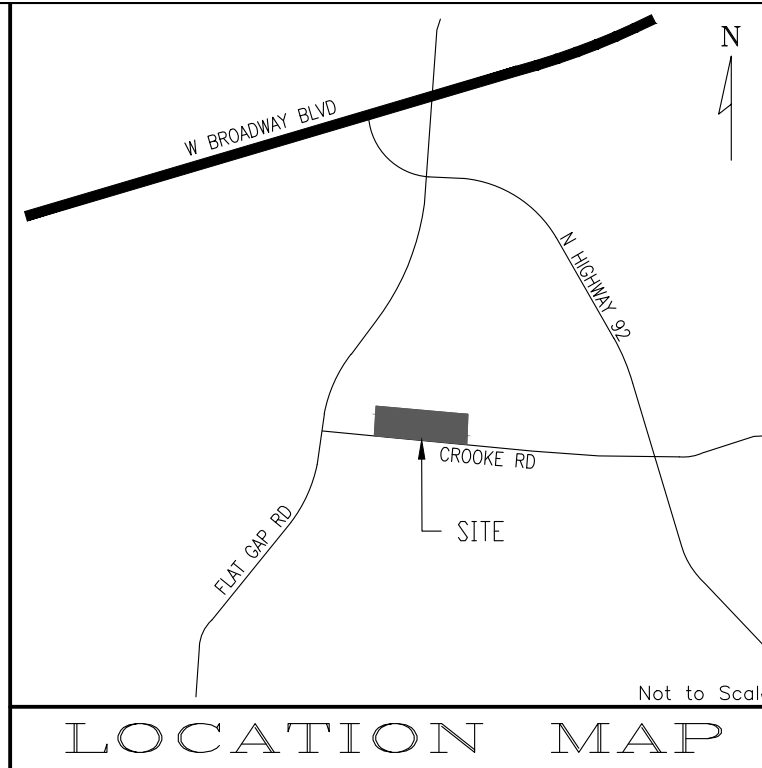
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Pipe Schedule and Capacity Chart - Post Development

PIPE NO. #	UPSTREAM T.O.G. EL.	INV. EL.	DOWNSTREAM T.O.G. EL.	INV. EL.	LENGTH (FT)	SLOPE (FT/FT)	SIZE (IN.)	PIPE MATERIAL	MANNING N	VELOCITY FPS	PIPE CAPACITY PROVIDED (CFS)
P1	1295.20	1289.30	1300.00	1286.10	320.00	0.0100	24	HDPE	0.009	10.43	32.76
P2	1300.00	1286.10	1301.60	1284.20	190.00	0.0100	24	HDPE	0.009	10.43	32.76
P3	1301.50	1284.20	1284.00	1282.00	144.00	0.0153	24	HDPE	0.009	12.89	40.50
P4	POND 1	1258.50	HW	1258.00	32.00	0.0156	15	RCP	0.013	6.60	8.10
P5	1277.60	1274.60	1278.00	1273.10	146.00	0.0103	15	HDPE	0.009	7.73	9.48
P6	1278.00	1273.10	1267.60	1264.60	128.00	0.0664	15	HDPE	0.009	19.65	24.11
P7	1267.60	1264.40	HW	1262.00	45.00	0.0533	15	HDPE	0.009	17.61	21.61
P8	1267.30	1264.30	1267.30	1264.00	24.00	0.0126	15	HDPE	0.009	8.52	10.46
P9	1267.30	1264.00	1264.45	1261.45	181.00	0.0141	15	HDPE	0.009	9.05	11.10
P10	1264.45	1261.45	1262.00	1258.75	106.00	0.0255	15	HDPE	0.009	12.17	14.93
P11	1262.00	1258.75	HW	1258.00	64.00	0.0117	24	HDPE	0.009	11.29	35.47
P12	1262.00	1259.00	1262.00	1258.75	24.00	0.0104	15	HDPE	0.009	7.78	9.55
P13	POND 2	1264.60	HW	1254.00	28.00	0.0214	15	RCP	0.013	7.73	9.48
P14	1276.00	1273.00	1271.80	1268.80	220.00	0.0191	15	HDPE	0.009	10.53	12.93
P15	1271.80	1268.80	1267.90	1264.90	224.00	0.0174	15	HDPE	0.009	10.06	12.34
P16	1267.90	1264.90	1264.45	1261.45	105.00	0.0329	15	HDPE	0.009	13.82	16.96

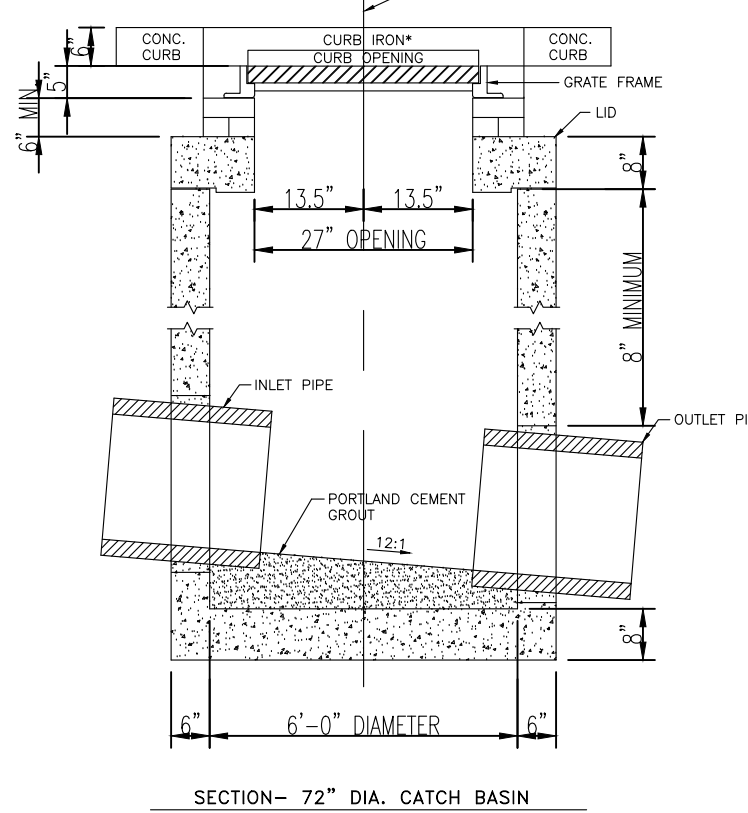
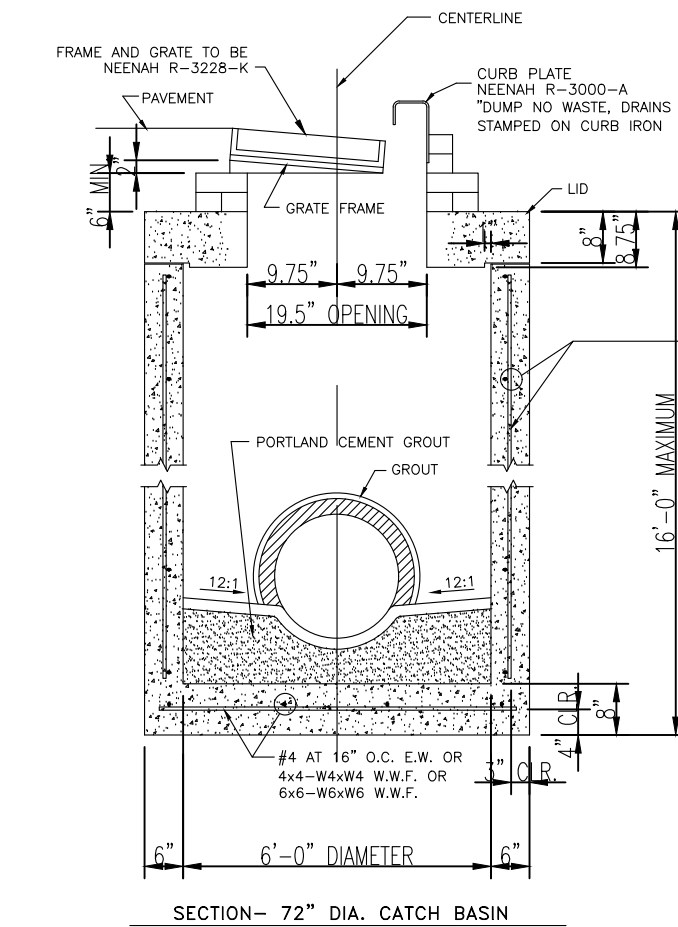
ALL HDPE PIPE TO BE DUAL WALLED WITH SMOOTH INTERIOR WALLS.



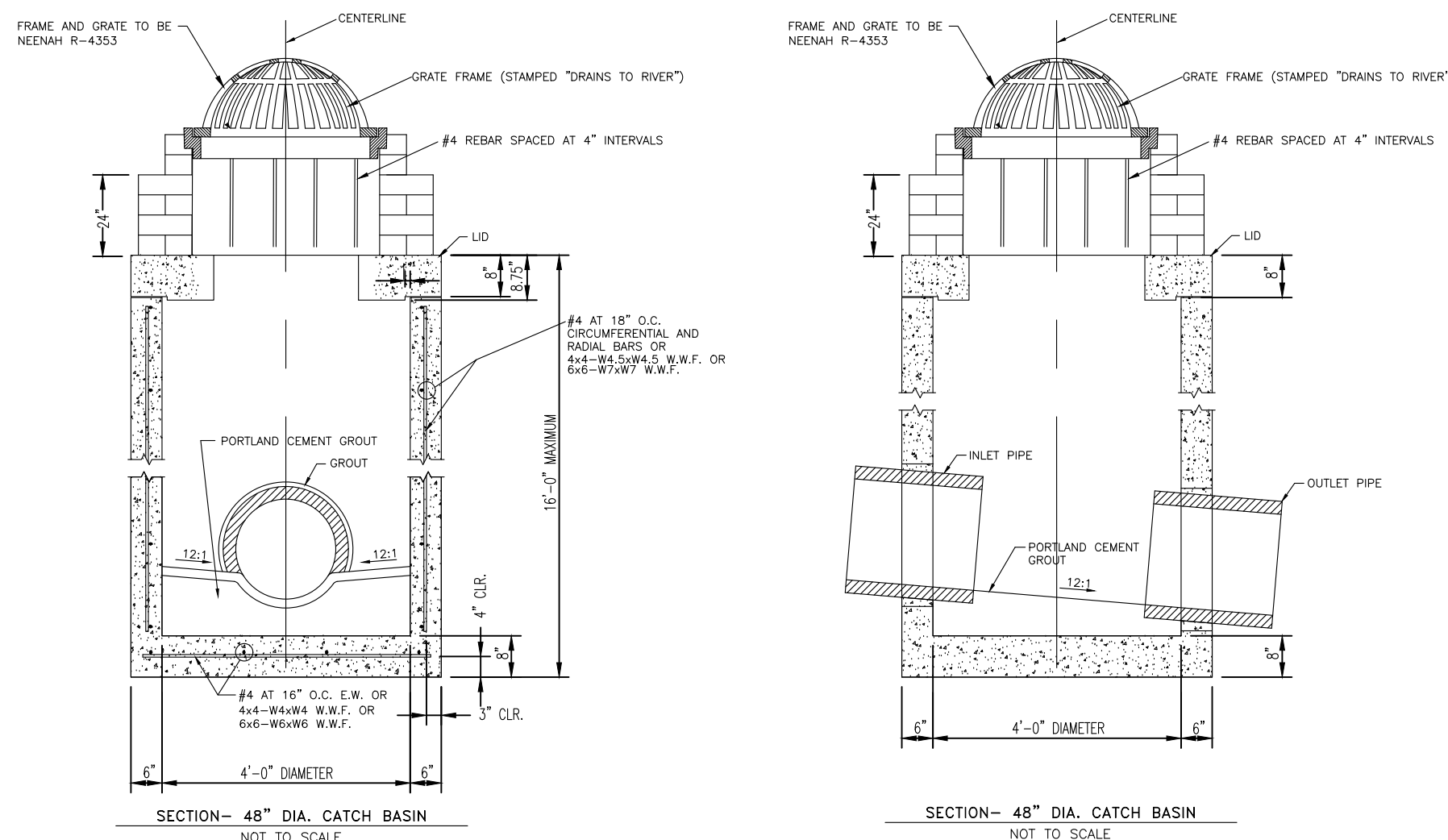
NOTES:

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- UTILITIES:
WATER: JEFFERSON CITY PUBLIC WORKS
SEWER: JEFFERSON CITY PUBLIC WORKS
ELECTRIC: APPALACHIAN ELECTRIC
GAS: JEFFERSON-COOK COUNTY UTILITY DISTRICT
TELEPHONE:
GEO/TECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
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SEE PIPE SCHEDULE FOR INVERTS

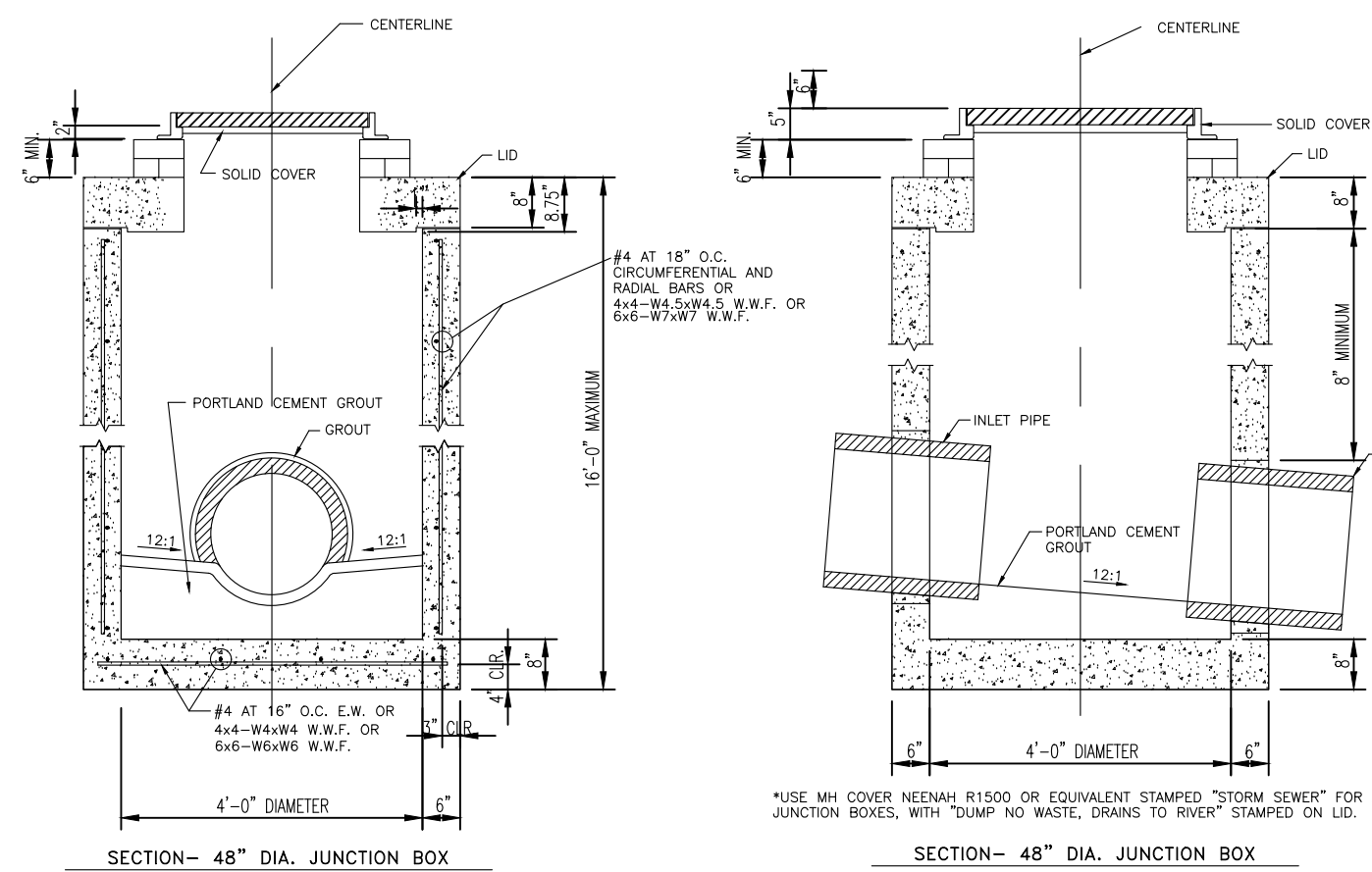


SEE PIPE SCHEDULE FOR INVERTS

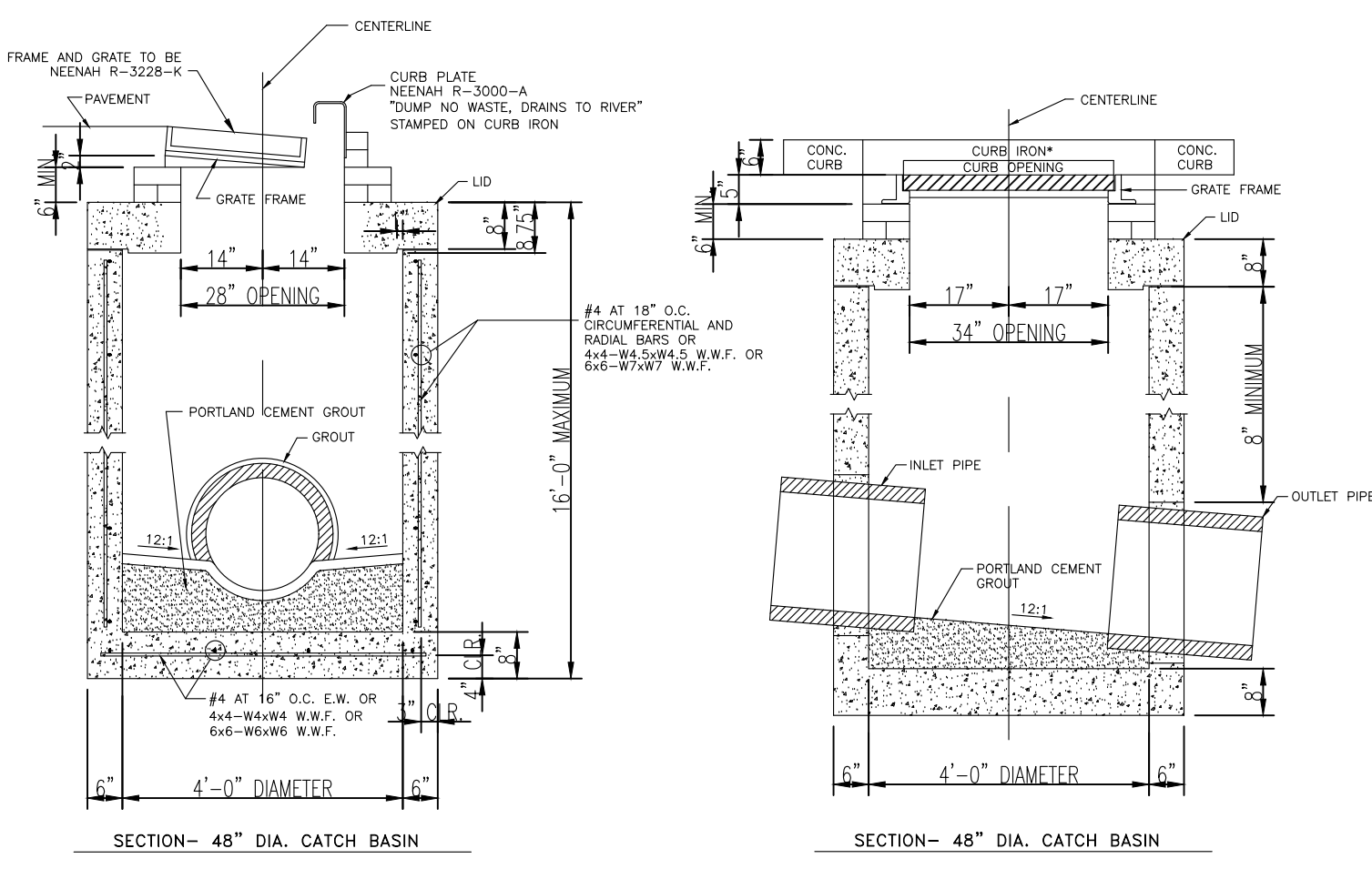


SECTION- 48" DIA. CATCH BASIN
NOT TO SCALE

SEE PIPE SCHEDULE FOR INVERTS



SECTION- 48" DIA. JUNCTION BOX
NOT TO SCALE



SECTION- 48" DIA. CATCH BASIN
NOT TO SCALE



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email@bhn-p.com

DESIGNED DBH

DRAWN SEW

CHECKED DBH

NO.

DATE

NO.

DATE

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PLANNING COMMISSION COMMENTS

REVISION

APPR.

NO.

DATE

DATE

DATE

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NO.

DATE

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SCALE

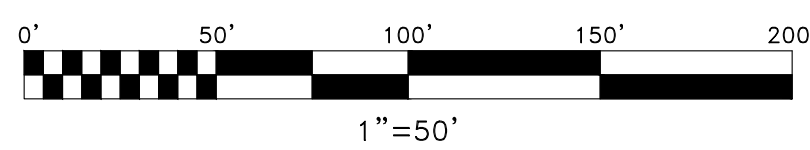
HORIZONTAL: 1"= 50'

VERTICAL: 2" INTERVAL

DATE

10/8/25

DEED REFERENCES: DEED BK 199 PG 489



GRADING & DRAINAGE PLAN FOR
LEONARD DEVELOPEMENT, LLC

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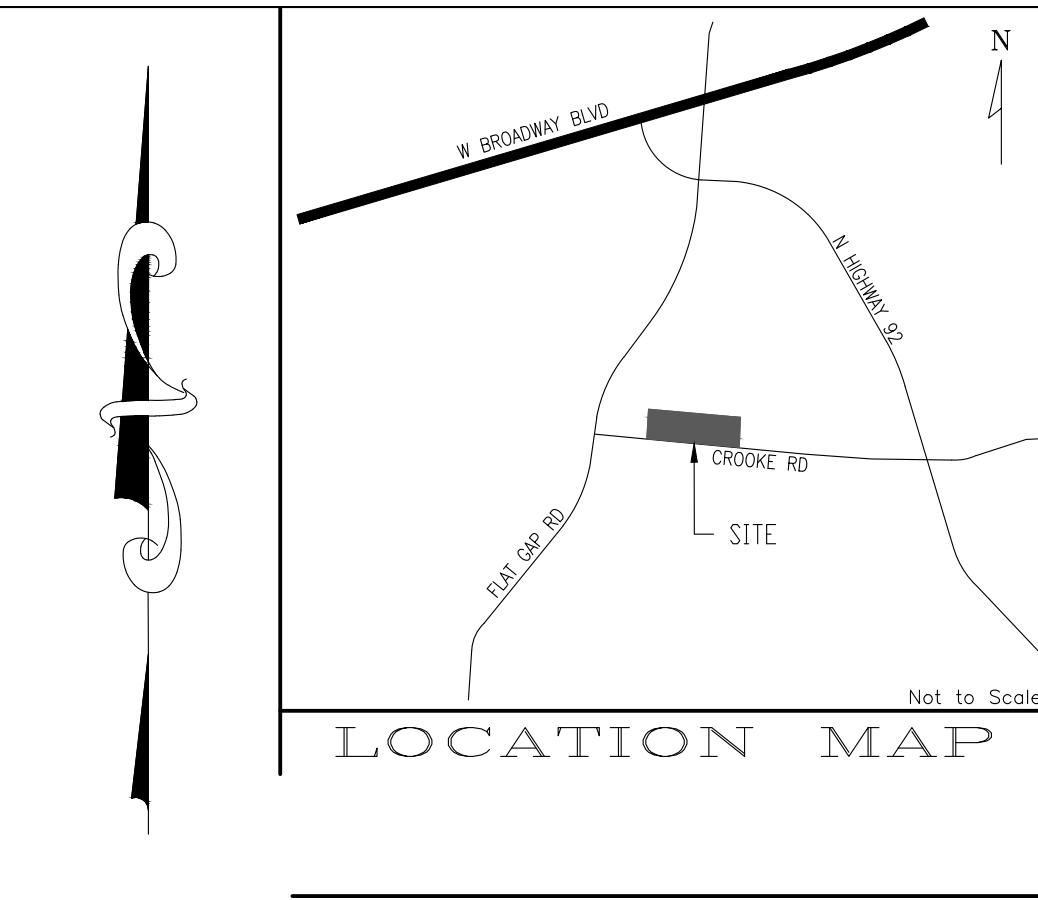
25730-GP

SHEET 5

OF

9 SHEET(S)

Q:\25730\25730.DWG



1. THIS IS A PRELIMINARY CONSTRUCTION ACTIVITY.
2. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE GCP SEC 3.1.2 FOR ASSESSMENT LANGUAGE)
4. FUGITIVE SEDIMENT THAT HAS DEPOSITED ON THE CONSTRUCTION SITE MUST BE TRACKED DOWN AND REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJACENT PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.
5. SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS, SILT FIELDS, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHANGELINGS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 14 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
8. EXISTING VEGETATION MUST BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER THE DISTURBED ACTIVITY IN THAT AREA HAS COMPLETED OR THE TEMPORARILY OR PERMANENTLY CAPPED, STEEP SLOPES (>3%) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.
11. NO BORROW OR WASTE SITES WILL BE REQUIRED FOR THIS PHASE.
12. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
13. THE "AREA OF DISTURBANCE" FOR THIS SITE IS 11.35 ACRES.

NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN AISC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.

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 TENNESSEE ONE-CALL
 1-800-351-1111
RECORD AND SAVE YOUR CONFIRMATION NUMBER.

NOTE:
CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

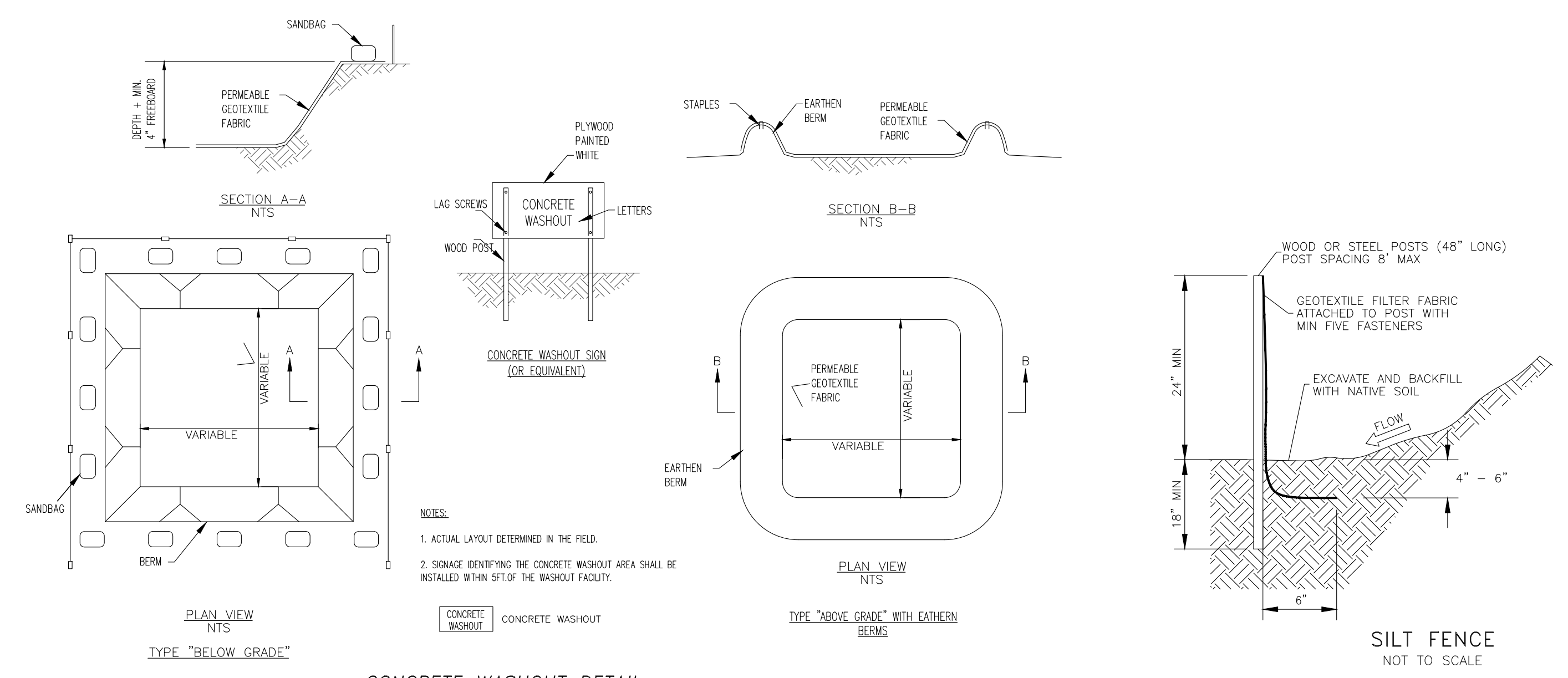


OWNER/DEVELOPER
LEONARD DEVELOPEMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919

25730-E&SC

SHEET 6 OF 9 SHEET(S)

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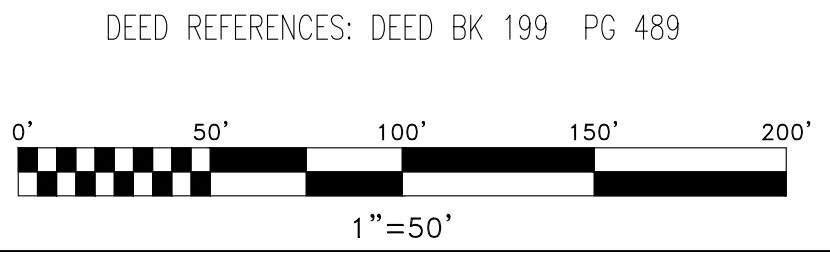


- ## PHASE I
1. INSTALL CONSTRUCTION ENTRANCE.
 2. INSTALL SILT FENCE.
 3. INSTALL SEDIMENT TRAP AND SEDIMENT BASINS.
 4. INSTALL TEMPORARY SWALES.
 5. INSTALL PIPES P1, P2 & P3

ALL ESCP'S ARE DESIGNED TO CONTROL STORMWATER RUNOFF FOR THE 5-YEAR 24-HOUR STORM EVENT.

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 2' INTERVAL

DATE
10/8/25

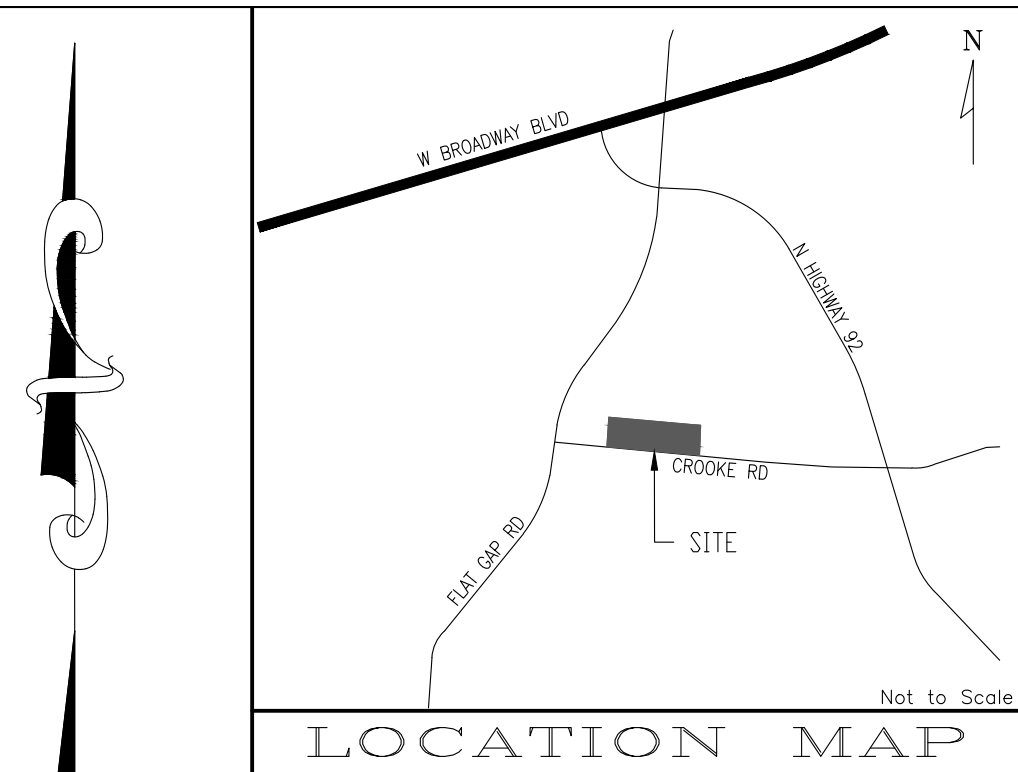


EROSION & SEDIMENT CONTROL PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

[illegible]

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
 4334 PAPERMILL DRIVE
 KNOXVILLE, TENNESSEE 37909
 PHONE: (865) 588-6472
 FAX: (865) 588-6473
 email@bhn-p.com

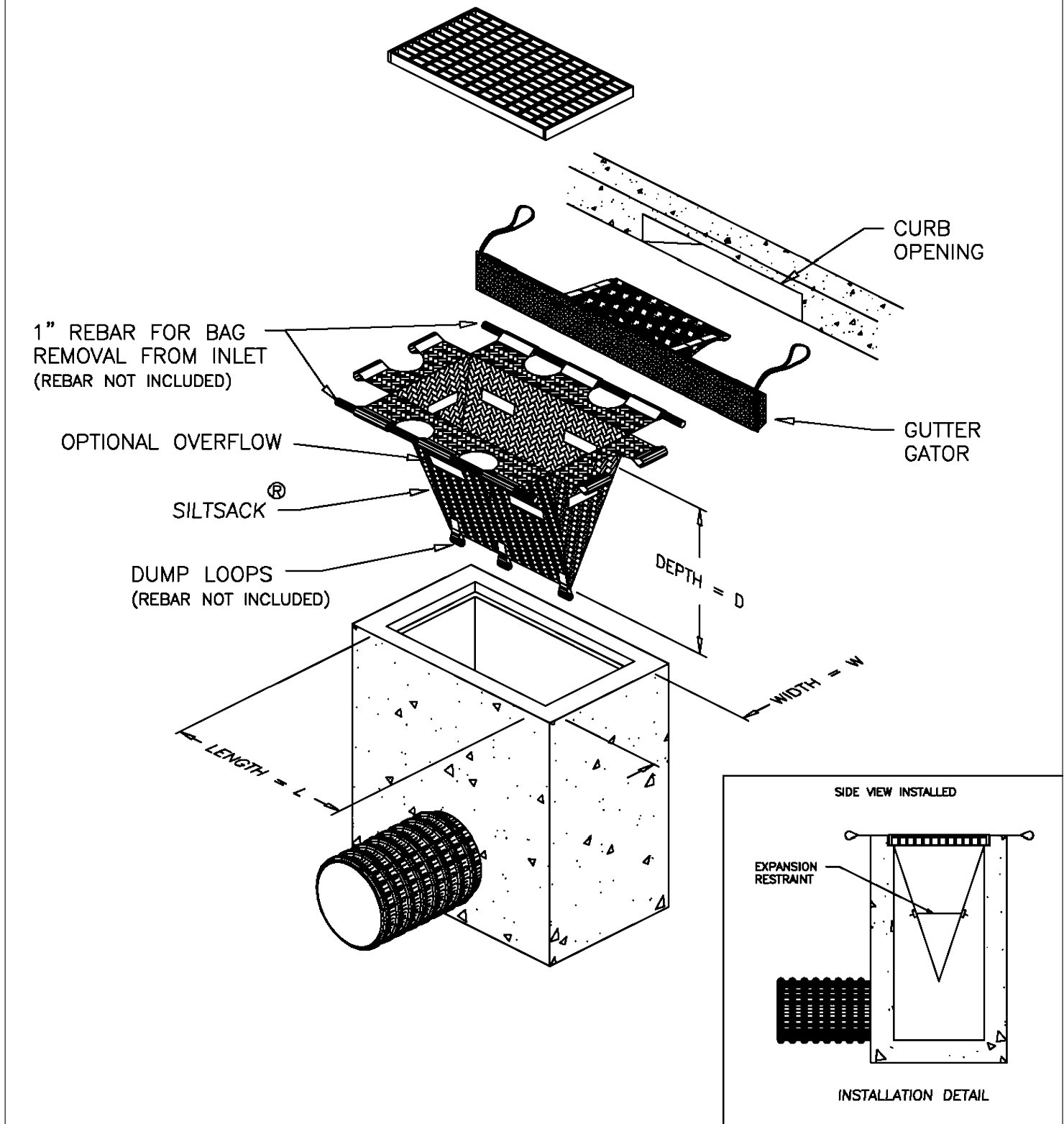


- STANDARD NOTES:
1. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
 2. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE COP SEC 3.1.2 FOR ASSESSMENT LANGUAGE)
 4. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE TRACKED DOWN AND REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITEE WITH THE ADJOINING LAND OWNER.
 5. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
 6. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
 7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 14 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
 8. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
 9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>35%) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
 10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.
 11. NO BORROW OR WASTE SITES WILL BE REQUIRED FOR THIS PHASE.
 12. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 13. THE "AREA OF DISTURBANCE" FOR THIS SITE IS 11.35 ACRES.

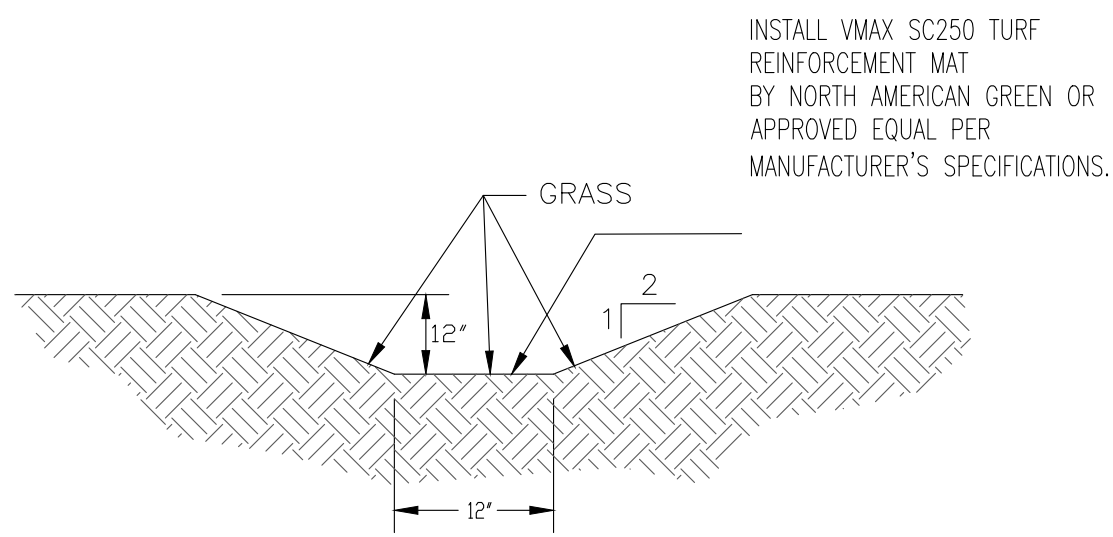
NOTE:
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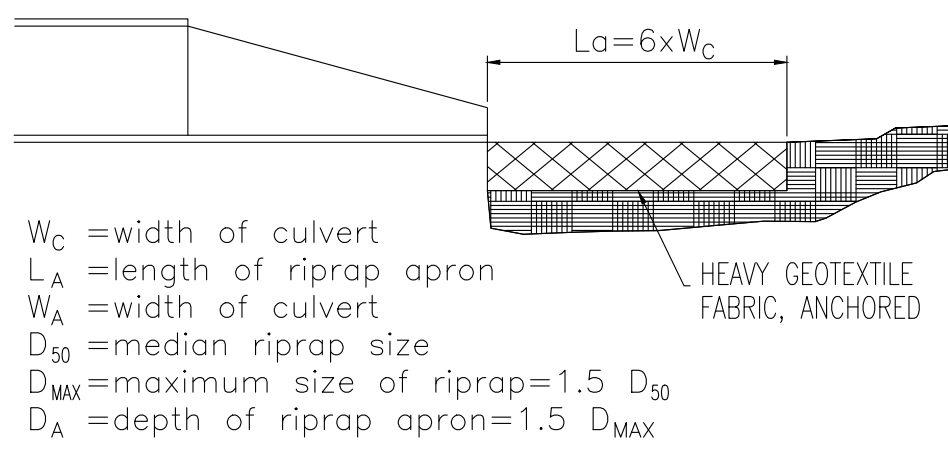
NOTE:
CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION



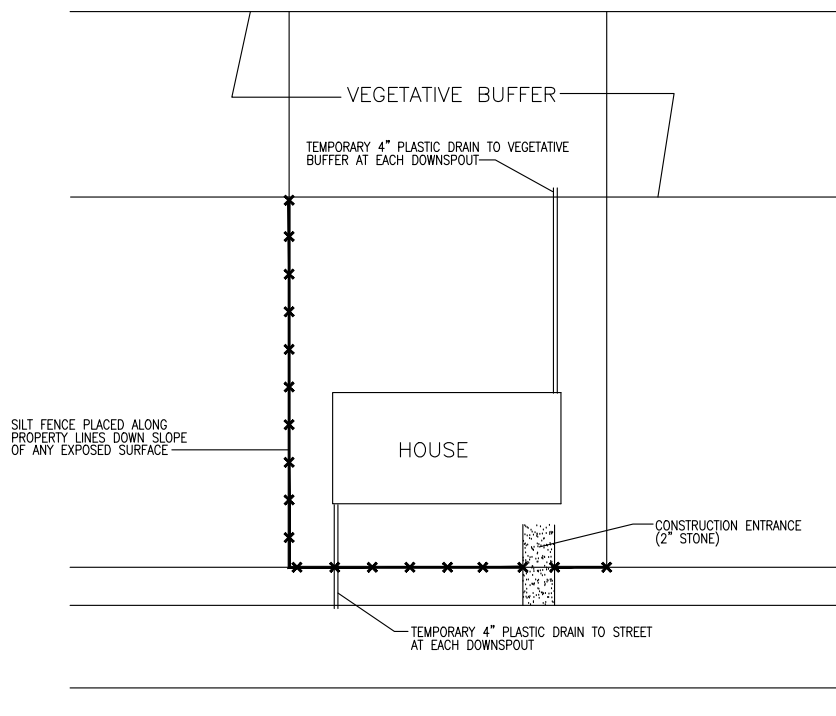
INLET PROTECTION AFTER PAVING
NOT TO SCALE



*MIN. CHANNEL SLOPE = 1.0%
TEMPORARY DRAINAGE SWALE
NOT TO SCALE

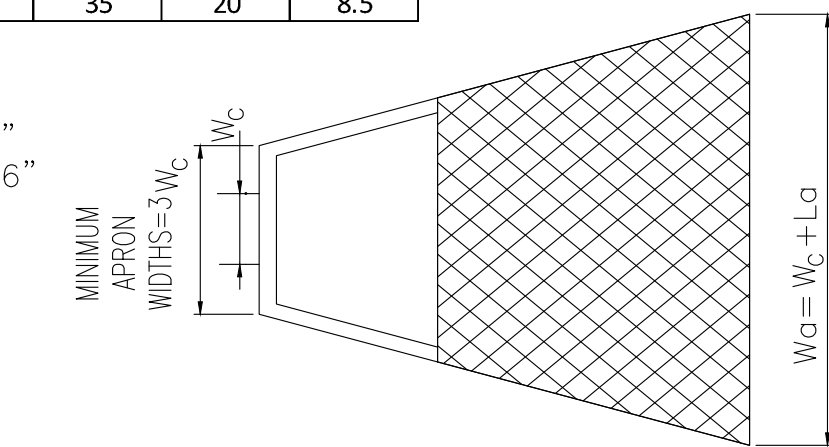


REFER TO TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK
RIPRAP INLET/OUTLET PROTECTION
N.T.S.

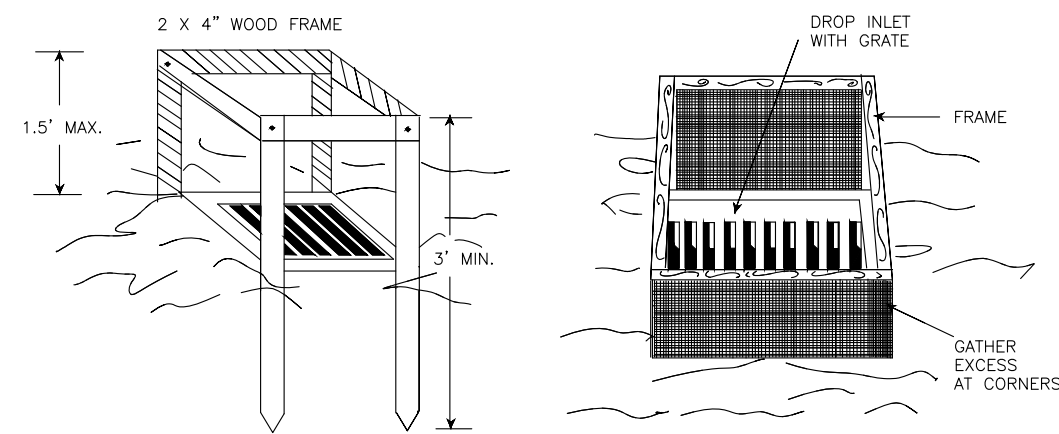


TYPICAL STORMWATER POLLUTION PREVENTION PLAN
FOR INDIVIDUAL LOTS
NO SCALE

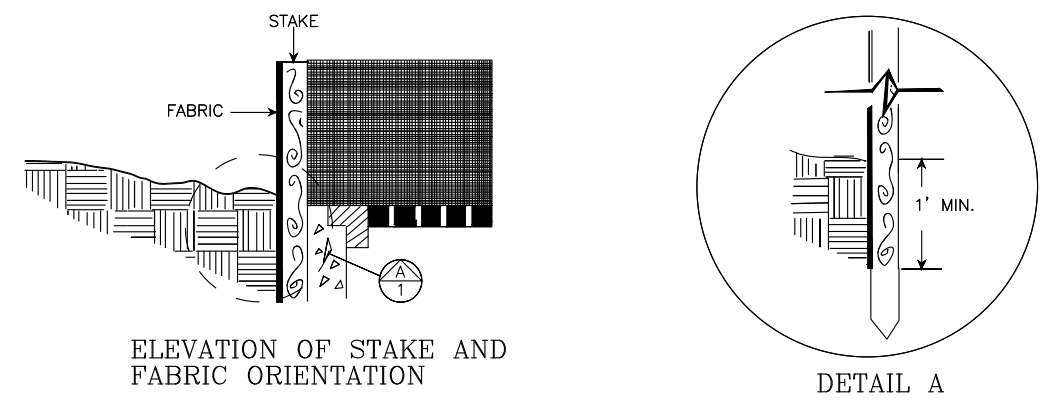
OP	Q	LA	D50
---	CFS	FT	IN
1	15	16	7
2	10	12	5
3	35	20	8.5
4	10	12	5
5	35	20	8.5



Phase II
1. CUT IN ROADS AND INSTALL ADDITIONAL SILT FENCE.
2. INSTALL STORM WATER INFRASTRUCTURE.
3. INSTALL INLET PROTECTION.



PERSPECTIVE VIEWS



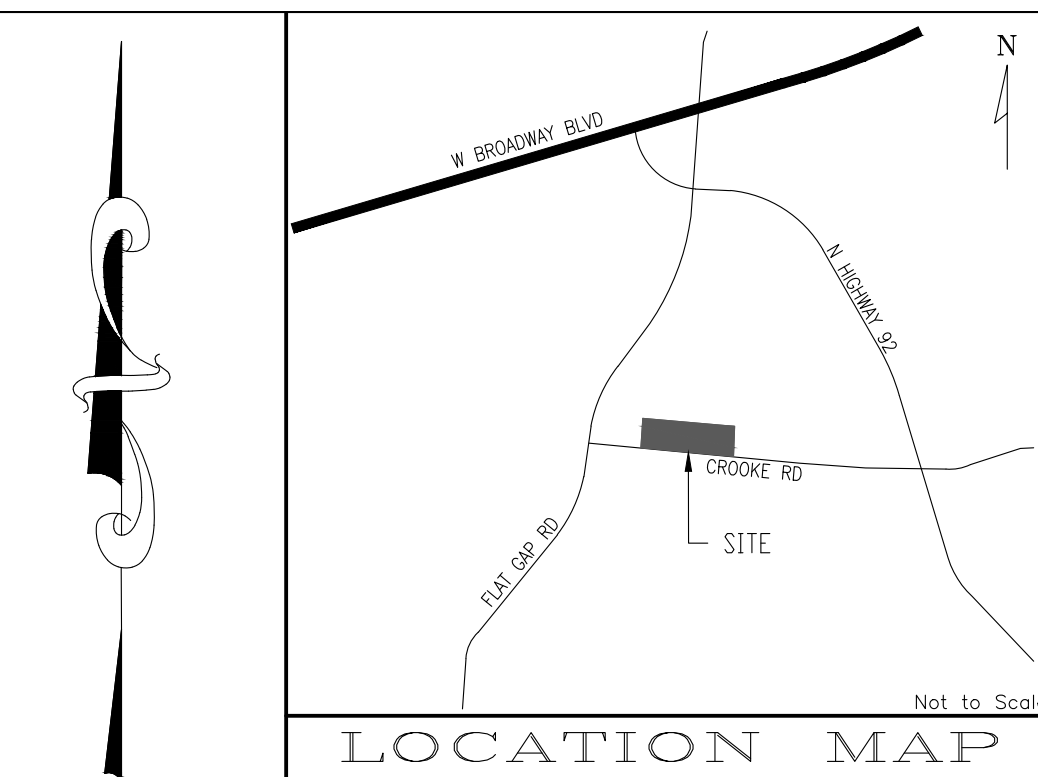
ELEVATION OF STAKE AND
FABRIC ORIENTATION

BEFORE PAVING
TEMPORARY INLET PROTECTION
NOT TO SCALE



OWNER/DEVELOPER
LEONARD DEVELOPMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919

ALL ESCP'S ARE DESIGNED TO CONTROL STORMWATER RUNOFF FOR THE 5-YEAR 24-HOUR STORM EVENT.



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3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING SITE ASSESSMENT AT EACH OUTLET INVOLVING DRAINAGE LEADING TO OR MORE THAN 100 FEET OR MORE FROM THE PROPERTY LINE TO IMPROVED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTLET WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE COP 352 3.12 FOR ASSESSMENT LANGUAGE)
4. FUGITIVE DUST THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE TRACKED DOWN AND REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJACENT PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.
5. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENT PONDOS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REACHED BY 50%.
6. LULU CONSTRUCTION DEBRIS, INCLUDING BUT NOT LIMITED TO, SHOULD BE STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 14 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR COVERED WITH TEMPORARY COVER.
8. EXISTING VEGETATION SHALL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>3:5%) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
10. ALL WASTE AREAS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.
11. NO BORROW OR WASTE SITES WILL BE REQUIRED FOR THIS PHASE.
12. ACQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONSTRUCTION OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ACQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
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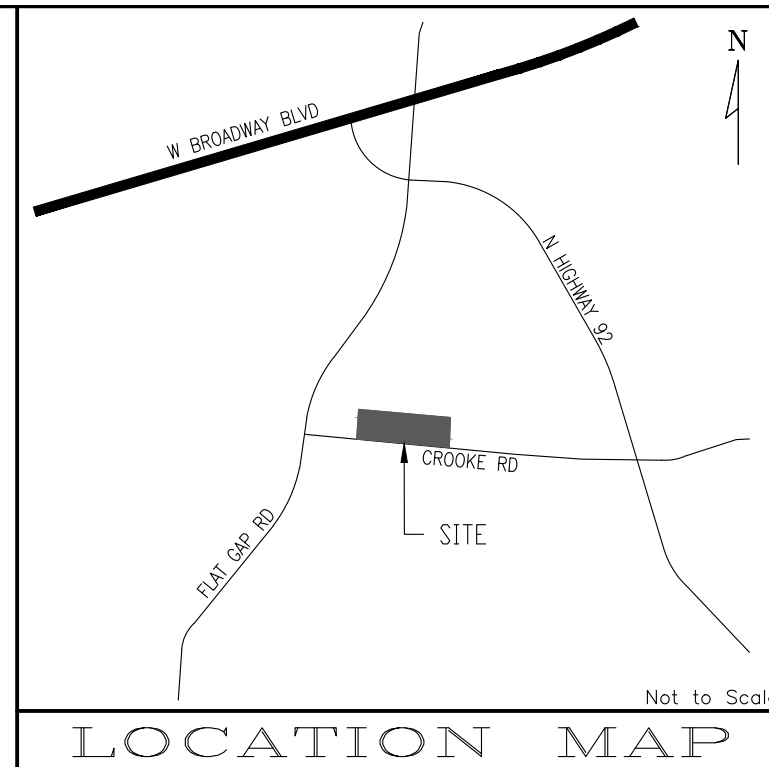
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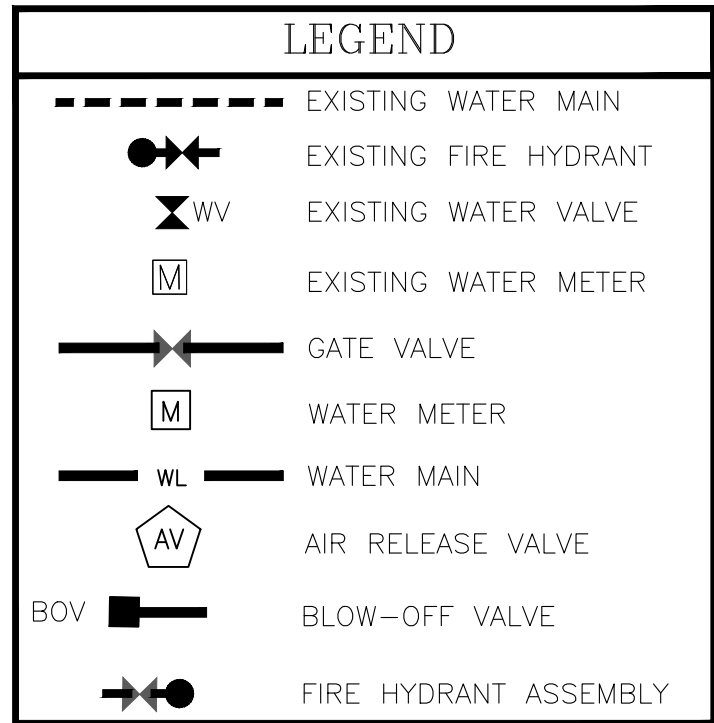
NOTE: CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION	
NOTE: PROPOSED WATER LINE LAYS 6' FROM PROPERTY LINE OR 18' FROM CENTER LINE OF ROAD	
PAVEMENT WIDTHS STREET WIDTH = 24' CUL-DE-SAC RADIUS = 40'	
NOTE: Construction shall conform to Jefferson City Public Works State Approved Plans and Specifications	

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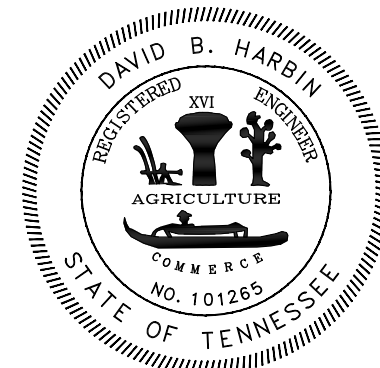
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1. **GENERAL NOTES:**
2. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES IS BASED ON THE BEST AVAILABLE INFORMATION. CALL TENNESSEE ONE-CALL AT 1-800-551-1111 ON AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITIES LOCATED UNDER THE PROPOSED PROJECT.
3. CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
4. BACK FILL MUST BE PLACED AND COMPACTED TO 98% OF STANDARD PROCTOR PRIOR TO UTILITY INSTALLATION.
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION.
6. TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
7. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.
8. ALL WATER AND SEWERS MAINS SHALL INCLUDE A 15' FOOT EASEMENT (7.5 FEET ON EACH SIDE OF THE INSTALLED LINE) WITH NO BUILDINGS, BUILDING FOOTINGS, OVERHEADS OR OTHER PERMANENT STRUCTURES TO BE CONSTRUCTED WITHIN THESE EASEMENTS.
9. CONTRACTOR SHALL STRICTLY COMPLY WITH ATD STANDARD TECHNICAL SPECIFICATIONS AND INSTALLATION PRACTICE (BEDDING, BACKFILL, TESTING, STABILIZATION, ETC.).
10. **MINIMUM WARRANTY PERIOD IS 12 MONTHS AFTER ACCEPTANCE OF THE INSTALLED WATER MAIN. DEVELOPER USES PRIOR TO WATER ACCEPTANCE IS CONTRACTOR/DEVELOPER EXPENSE. CONTRACTOR/DEVELOPER DEVELOPED DURING 12 MONTH WARRANTY PERIOD IS CONTRACTOR/DEVELOPER EXPENSE.**
11. **SERVICED LINES ARE TO BE 19" PLAIN POLYPROPYLENE. IN THE CASE OF A DOUBLE WATER, 2" LINES OF SDR 9 FORM MANHOLE WITH TRACER WIRE SHALL BE USED.**



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RECORD AND SAVE YOUR
CONFIRMATION NUMBER.



OWNER/DEVELOPER
LEONARD DEVELOPEMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919

Reviewed and Approved By:

City of Jefferson City	Title
Date	

OWNER/DEVELOPER
LEONARD DEVELOPEMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919

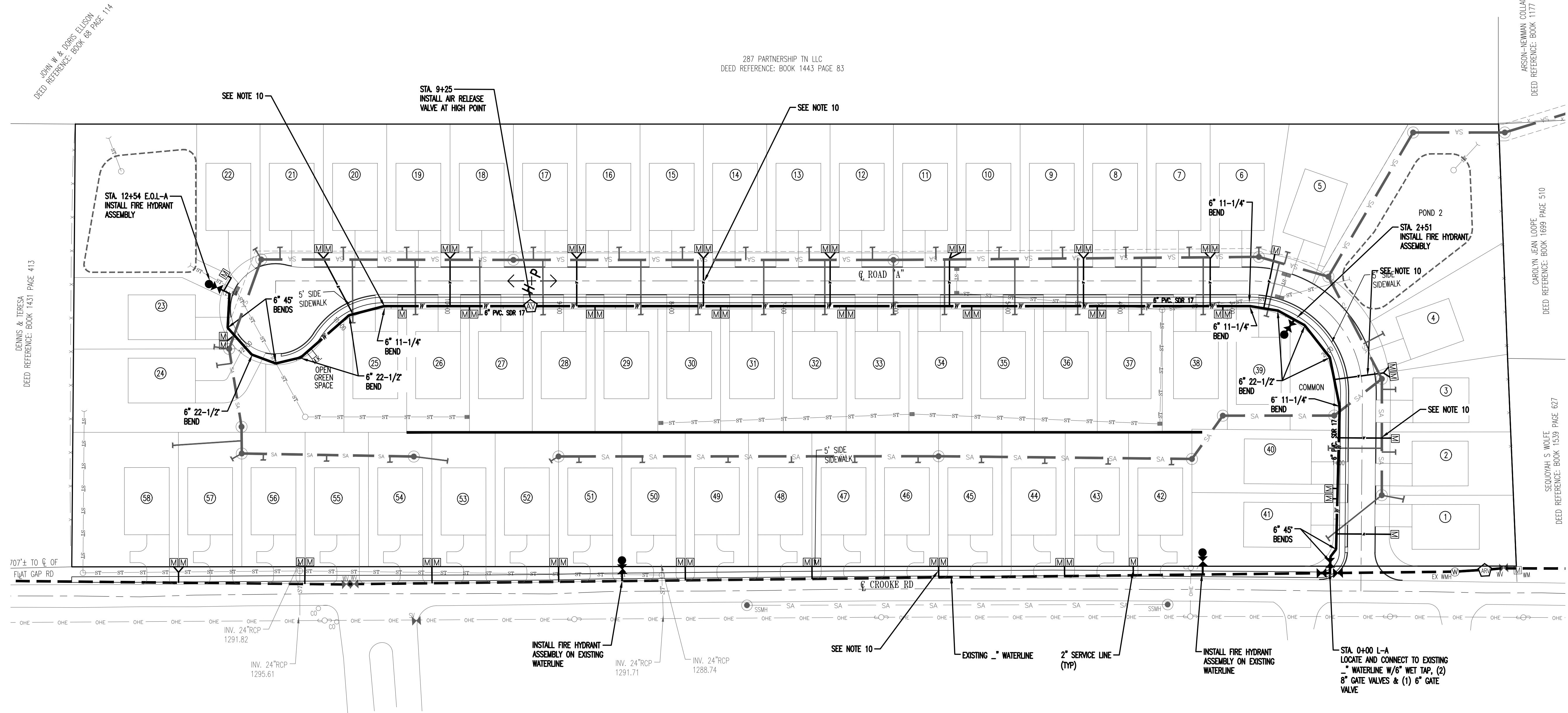
WATERLINE PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

25730-WL1

SHEET 1 OF 1 SHEET(S)

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SCALE
1" = 50'

DATE
10/8/25

JEFFERSON CITY PUBLIC WORKS

WATERLINE PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

25730-WL1

SHEET 1 OF 1 SHEET(S)

Q:\25730\25730.D\WC



BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

DESIGNED				
DBH				
DRAWN				
SEW				
CHECKED	1	11-4-25	PLANNING COMMISSION COMMENTS	
DBH	NO.	DATE	REVISION	APPR.

NO.	DATE	REVISION	APPR.

SCALE
1" = 50'

DATE
10/8/25

JEFFERSON CITY PUBLIC WORKS

WATERLINE PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

25730-WL1

SHEET 1 OF 1 SHEET(S)

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CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN AGC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

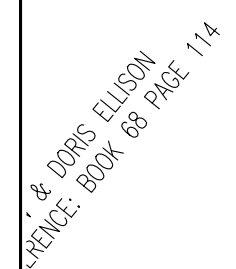
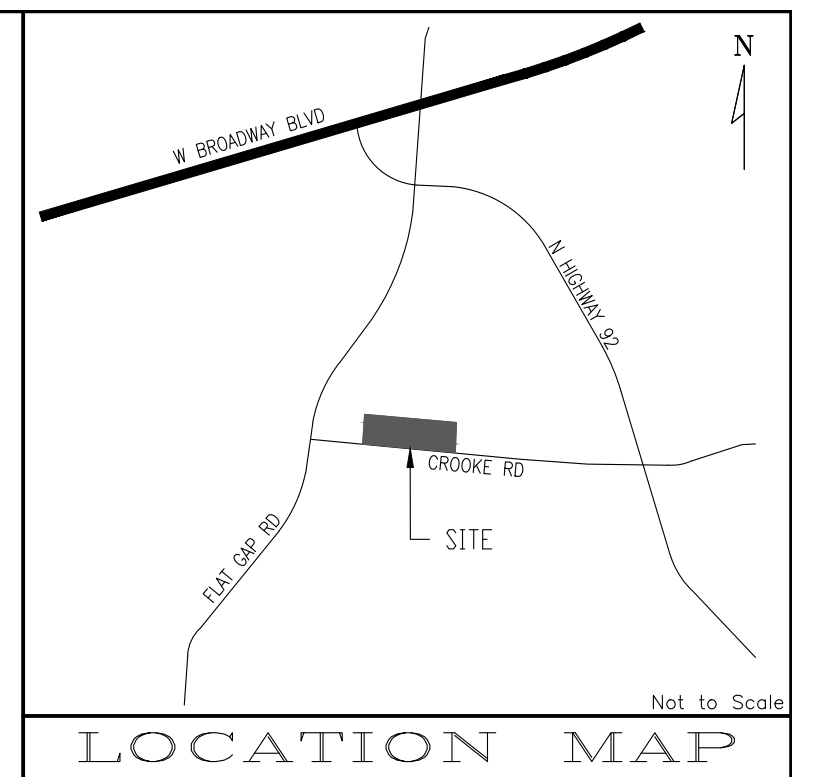
OSHA RULES SHALL BE ABIDED BY.

ALL CONSTRUCTION SHALL ADHERE
TO THE TDEC APPROVED STANDARD
SPECIFICATIONS FOR THE JEFFERSON
CITY PUBLIC WORKS.

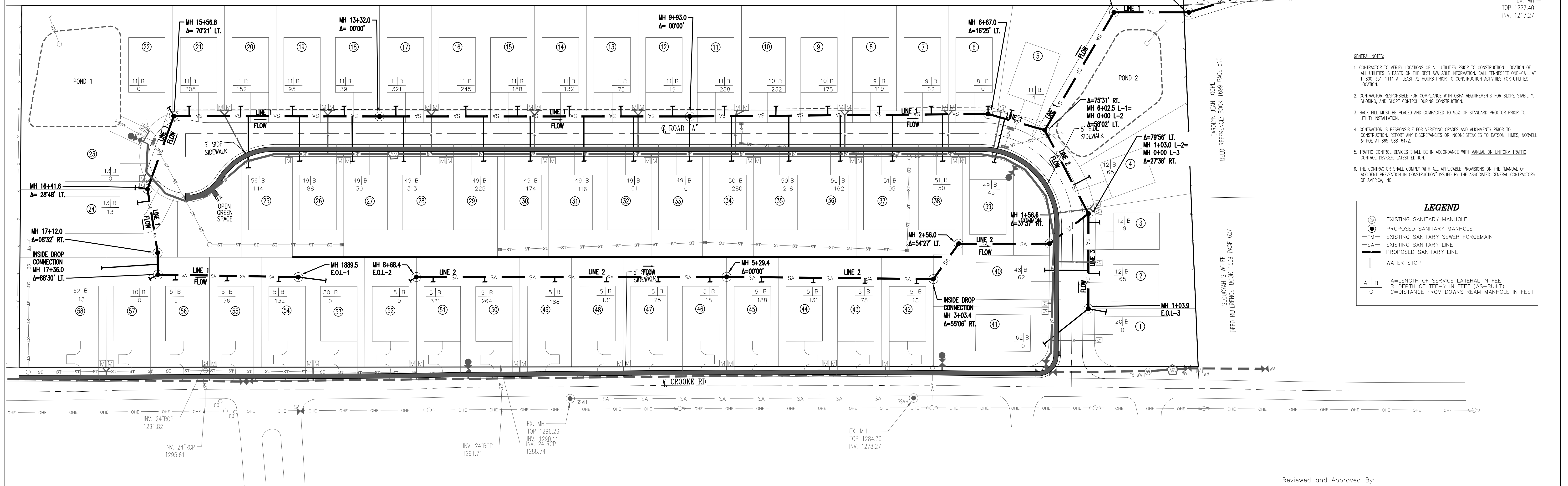
CONTRACTOR TO NOTIFY ENGINEER
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HUB ELEVATIONS ARE NOT FINAL
TOP OF MANHOLES. CONTRACTOR IS
RESPONSIBLE FOR ADJUSTING THE
MANHOLE TO MATCH THE PROPOSED
FINISHED GRADES.



287 PARTNERSHIP TN LLC
DEED REFERENCE: BOOK 1443 PAGE 83



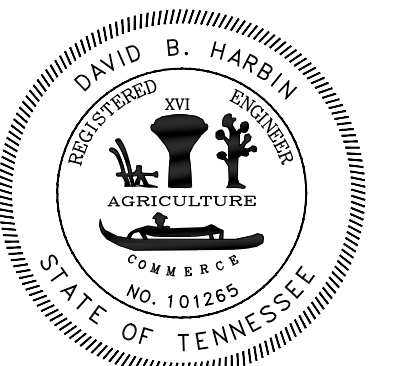
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 2. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
 3. BACK FILL MUST BE PLACED AND COMPACTED TO 95% OF STANDARD PROCTOR PRIOR TO UTILITY INSTALLATION.
 4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO BATSON, HINES, NOVWELL & PCE AT 866-589-6472.
 5. TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS ON THE "MANUAL OF AGREENT PRACTICES IN CONSTRUCTION" ISSUED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.

	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY SEWER FORCEMAIN
	EXISTING SANITARY LINE
	PROPOSED SANITARY LINE
	WATER STOP

$\frac{A}{B}$	A=LENGTH OF SERVICE LATERAL IN FEET
$\frac{B}{C}$	B=DEPTH OF TEE-Y IN FEET (AS-BUILT)
	C=DISTANCE FROM DOWNSTREAM MANHOLE IN FEET

City of Jefferson City	Title
Date	

OWNER/DEVELOPER
LEONARD DEVELOPEMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919



SANITARY SEWER PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

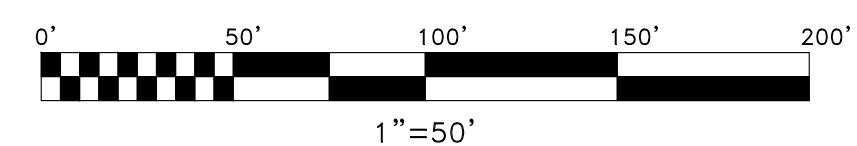
25730-WWL

SHEET 1 OF 2 SHEET(S)

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SCALE
1" = 50'

DATE
10/8/25

JEFFERSON CITY PUBLIC WORKS



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NOTE:

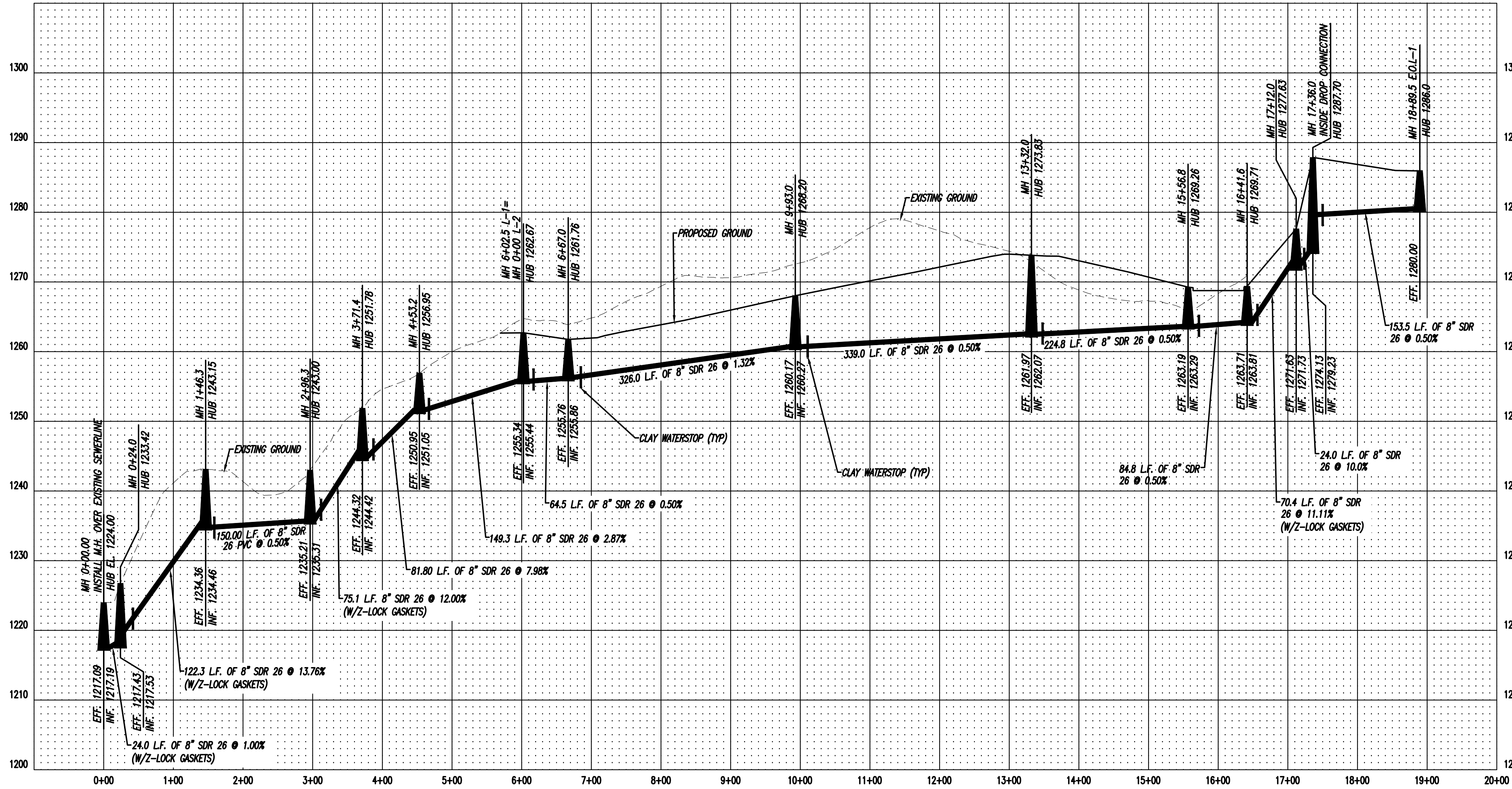
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NOTE:

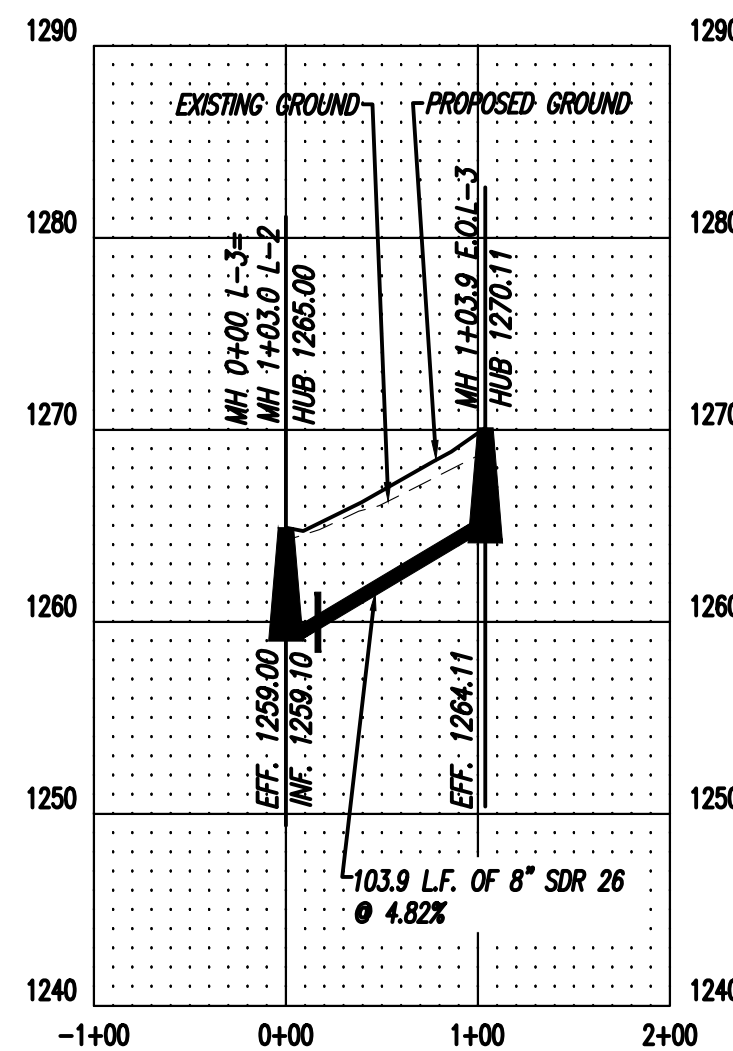
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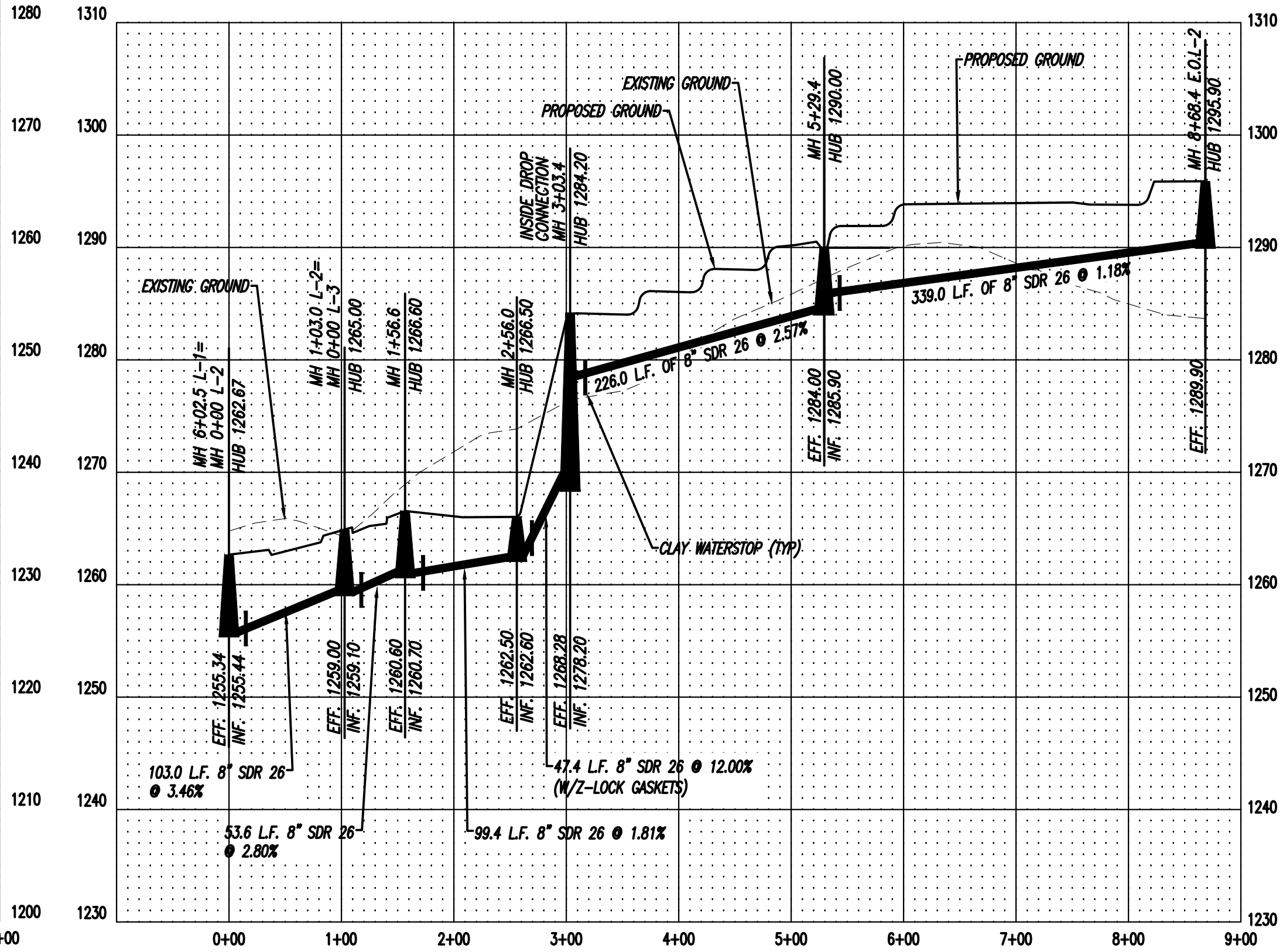
CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION



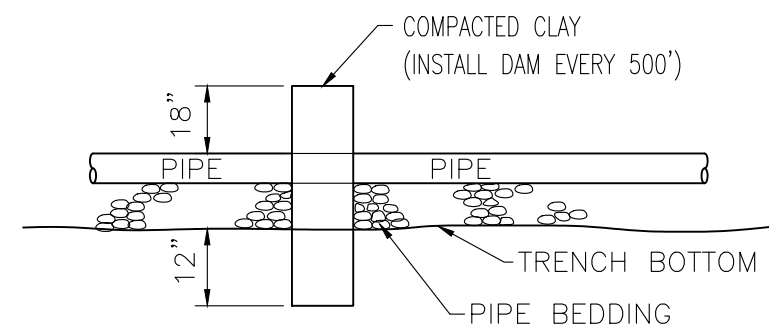
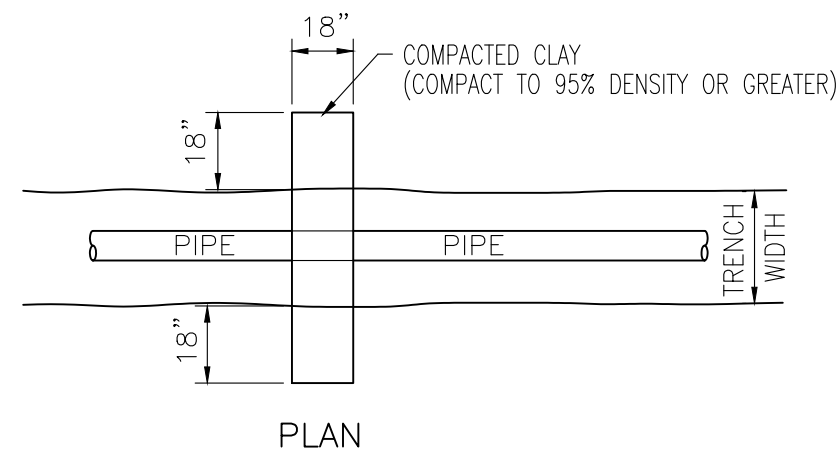
SANITARY SEWER LINE 1
SCALE: 1"=100' HORIZ.
1"=10' VERT.



SANITARY SEWER LINE 3
SCALE: 1"=100' HORIZ.
1"=10' VERT.



SANITARY SEWER LINE 2
SCALE: 1"=100' HORIZ.
1"=10' VERT.



SECTION
TYPICAL CLAY WATERSTOP
NTS

NOTE:

THREE DAYS PRIOR TO ANY EARTHWORK OR CONSTRUCTION CONTRACTOR MUST CONTACT:

1-800-351-1111

RECORD AND SAVE YOUR CONFIRMATION NUMBER.

Reviewed and Approved By:

City of Jefferson City Title

Date

OWNER/DEVELOPER
LEONARD DEVELOPEMENT, LLC
119 WESTFIELD ROAD
KNOXVILLE, TN 37919



BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

DESIGNED DBH

DRAWN SEW

CHECKED DBH

NO. DATE

NO. DATE

NO. DATE

PLANNING COMMISSION COMMENTS

REVISION

APPR.

NO. DATE

REVISION

APPR.

NO. DATE

REVISION

APPR.

NO. DATE

REVISION

SCALE

AS-SHOWN

DATE

10/8/25

JEFFERSON CITY PUBLIC WORKS

SANITARY SEWER PLAN FOR
LEONARD DEVELOPEMENT, LLC

TAX MAP 023, PARCEL 049.00
4TH CIVIL DISTRICT, JEFFERSON CITY, TN

25730-WWL

SHEET 2

OF

2 SHEET(S)

Q:\25730\25730.DWG