

Wednesday, September 3, 2025

Mayor Wil Kennedy
City Council
City of Iowa Colony
12003 Iowa Colony Blvd.
Iowa Colony, TX 77553

Re: Primrose Estates – Grading and Detention
Recommendation for Approval into One-Year Maintenance Period
City of Iowa Colony Project No. 2524
Adico, LLC Project No. 16007-4-441

Dear Mayor and City Council:

On behalf of the City of Iowa Colony, Adico, LLC has completed its final inspection of the Primrose Estates – Grading and Detention. The final inspection was completed on June 5, 2025, with all punch list items addressed June 9, 2025.

Based on our review of the closeout documents provided, Adico, LLC recommends approval of Primrose Estates – Grading and Detention into the One-Year Maintenance Period. The maintenance period shall be effective September 15, 2025, if approved by City Council.

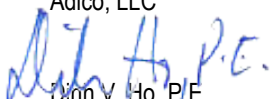
In compliance with the City of Iowa Colony Public Works and Engineering Subdivision Acceptance Checklist, please find included in the One-Year Maintenance acceptance package the following items:

1. Engineer of Record Certification Letter
2. As-Builts (cover only)

This project does not include any public infrastructure; therefore, a maintenance bond is not required.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


Dim V. Ho, P.E.
TBPE Firm No. 16423

Cc: Kayleen Rosser
File: 16007-4-441



Friday, August 8, 2025



Dinh V. Ho, P.E., CFM
Principal
Email: dinh@adico-llc.com
Phone: 832-895-1093
[2114 El Dorado Blvd, Suite 400](#)
[Friendswood, TX, 77546](#)

Re. Primrose Estates

Letter of Substantial Completion and Engineer of Record Certification

Dear Dinh:

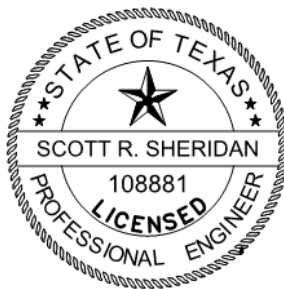
This letter is to certify to you that the construction of Primrose Estates is substantially complete as of June 09, 2025. Below is a list of items that we find in proof of the previous statement:

1. Storm sewer lines and offsite drainage improvements are in place and are found to be in general conformance with the construction plans and specifications as approved by the City of Iowa Colony and Brazoria County Drainage District 5.
2. All lots have been graded to a minimum slope of 1% and a maximum slope of 3% and in accordance with the City of Iowa Colony approved plans and specifications.
3. All lot corners have been marked with iron rods with caps and a wooden lath with lot number.
4. The lots are free and clear of all trash, debris, construction material and equipment as of August 08, 2024.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,


Scott R. Sheridan, P.E., R.P.L.S., CFM
President
Daniel Scott Engineering, LLC



BRAZORIA COUNTY
CITY OF IOWA COLONY, TEXAS
PRIMROSE ESTATES
FINAL CONSTRUCTION PLANS
AUGUST 25, 2022

FINAL PLAT AND CONSTRUCTION NOTES

The following notes will appear on the Final Plat drawing(s). If Final Plat drawing(s) is not issued the Construction drawing(s) will carry notes as shown:

1. Slab elevations (finished floor) shall be a minimum of 2 feet above finished grade.
2. All drainage easements shown hereon shall be kept clear of fences, buildings, plantings and other obstructions to the operation and maintenance of drainage facilities.
3. All property shall drain into the drainage easement only through an approved drainage structure.
4. All drainage easements and detention pond reserves shown on this plat, with the exception of _____, will be maintained by the property owners and/or business owners; provided, however, and governmental entity have jurisdiction, including, without limitation, Brazoria County, Texas and Brazoria County Drainage District # 5, shall have the right, but not the obligation to enter upon the drainage easements to perform maintenance operations at any time after the date hereof.
5. The property identified in the foregoing plat lies with Brazoria County Drainage District #5.
6. This rural commercial site employs a natural drainage system, which is intended to provide drainage for the site that is similar to that which existed under pre-development conditions. Thus, during large storm events, ponding of water should be expected to occur on the site to the extent it may have prior to development, but such ponding should not remain for an extended period of time.
7. Land use within the commercial site is limited to an average imperviousness of no more than _____ percent. The drainage and/or detention system has been designed with the assumption that this average percent, imperviousness will not be exceeded. If this percentage is to be exceeded, a replat and/or redesign of the system may be necessary.
8. Other than shown heron, there are no pipeline easements or pipelines within the boundaries of this plat.
9. All storm water drainage pipes, culverts, tiles or other (including driveway culverts) will be minimum 24" I.D. or equal.
10. Dedicated drainage easement(s) granted to Brazoria County Drainage District # 5 for drainage maintenance purposes shall include 45 feet top of bank, plus the sum (footage) of both ditch side slopes and channel bottom and 45 feet of bank on the opposite bank.
11. Dedicated ingress/egress accesses are granted to Brazoria County Drainage District # 5 (see District Resolution No 2007-06 & No 2007-07). Access will be gated and locked with Brazoria County Drainage District # 5's lock.
12. Prohibited use of "metal" pipe in storm water/sewer applications (see District Resolution No 2007-08).
13. Prohibited use of "rip-rap" in storm water/sewer applications (District policy).
14. Pipelines, utility lines and other crossing under any Brazoria County Drainage District #5 ditch require approval and permitting prior to construction.
15. All dedicated storm water drainage and/or access easements to be granted to Brazoria County Drainage District # 5 by the property owner will be initiated and recorded, at property owner's expense, in Brazoria County, Texas with a 'Recorded Document Number' affixed to said easement prior to final project approval granted by Brazoria County Drainage District # 5 Board of Commissioners.
16. It will be the property owner's responsibility to verify if any Brazoria County Drainage District # 5 'Dedicated' drainage easements are on or cross their property. If so, the property owner will comply as stated within the recorded easement.
17. Project field start-up will start within 365 calendar days from date shown here. Continuous and reasonable field site work is expected. See Brazoria County drainage criteria manual section 1, Introduction; Sub-Section 1.5. Plat and Plan approval process, and drainage acceptance procedures; time limit for approval and Brazoria County Drainage District # 5 Resolution 2011-1, allowable time(s) and procedures for starting-up approved projects.

DRAWING INDEX

SHEET #	DRAWING NAME
1.	VICINITY MAP & DRAWING INDEX
2.	BOUNDARY & TOPOGRAPHIC SURVEY
3.	FINAL DRAINAGE
4.	FINAL DRAINAGE CALCULATIONS & DETAILS
5.	DETENTION POND CROSS SECTIONS
6.	FINAL SWPPP
7.	FINAL GRADING PLAN
8.	STORM SEWER DETAILS SHEET 1
9.	STORM SEWER DETAILS SHEET 2
10.	STORM SEWER DETAILS SHEET 3
11.	STORM SEWER DETAILS SHEET 4
12.	STORM WATER POLLUTION PREVENTION DETAILS SHEET 1
13.	STORM WATER POLLUTION PREVENTION DETAILS SHEET 2

ATTACHMENTS

A1	PRELIMINARY PLAT SHEET 1
A2	PRELIMINARY PLAT SHEET 2



VICINITY MAP
SCALE: 1" = 1/4 MILE

NOTES

1. CONTRACTOR SHALL HAVE A SET OF SIGNED APPROVED DRAWINGS ONSITE AT ALL TIMES DURING CONSTRUCTION.
2. FUTURE DEVELOPMENT ON THIS SITE MUST BE APPROVED BY BRAZORIA DRAINAGE DISTRICT No. 5.
3. THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE 53.00'.
4. ALL HOMES SHALL HAVE A PIER AND BEAM FOUNDATION WITH THE CRAWL SPACE HAVING FLOOD VENTS PER THE EFFECTIVE FEMA EC.
5. ALL LOTS SHALL HAVE A CIRCLE DRIVEWAY INSTALLED AT THE TIME OF HOME BUILDING SO THAT NO LOT HAS TO BACK OUT ONTO THE EXISTING COUNTY ROADS. ALL DRIVEWAYS SHALL HAVE TOP OF PAVEMENT ELEVATIONS SET AT THE EXISTING FINISHED GRADE ELEVATIONS INSTALLED AFTER SUBDIVISION CONSTRUCTION.
6. CONCRETE OURS ON DETENTION SYSTEMS AND BDD5 FACILITIES REQUIRE A MINIMUM OF FORTY-EIGHT (48) HOURS (TWO WORKING DAYS) WRITTEN NOTICE TO THE DISTRICT AND AN INSPECTION APPOINTMENT BEFORE THE POUR BEGINS.
7. PLEASE BE ADVISED THAT FAILURE TO PROPERLY COORDINATE AN ON-SITE INSPECTION BEFORE CONCRETE IS POURED WILL CAUSE PORTIONS OF THE CONCRETE TO BE BROKEN OUT AT THE APPLICANT'S EXPENSE IN ORDER TO PROVE TO THE DISTRICT'S INSPECTOR THAT CONSTRUCTION COMPLIES WITH DISTRICT RULES, REGULATIONS & GUIDELINES.
8. AT THE CONCLUSION OF CONSTRUCTION, THE DISTRICT SHALL CONDUCT A FORMAL INSPECTION AND NOTIFY THE ENGINEER IN WRITING OF ANY DEFICIENCIES. THE ENGINEER SHALL NOTIFY THE DISTRICT WHEN ALL DEFICIENCIES HAVE BEEN CORRECTED AND A SUBSEQUENT INSPECTION INSPECTION WILL BE CONDUCTED.
9. AFTER CONSTRUCTION OF THIS PROJECT IS APPROVED BY THE DISTRICT, CONSTRUCTED BY THE OWNER, THE ENGINEER SHALL SEND A CERTIFICATE OF COMPLETION AND A SET OF AS-BUILT PLANS TO THE DISTRICT OFFICE.
10. NO DRAINAGE SYSTEM OR DETENTION FACILITY SHALL BE PLACED IN SERVICE UNTIL A CERTIFICATE IS ISSUED.

Commissioner's signature for final approval:

APPROVED BY BRAZORIA COUNTY DRAINAGE DISTRICT # 5

Lee Walden, P.E. President	Date	Kerry Osburn Vice President	Date
Brandon Middleton Secretary/Treasurer	Date	Jarrod Aden District Engineer	Date

Note: Project field startup will start within 365 calendar days from date here shown. Continuous and reasonable field site work is expected.



DANIEL SCOTT
ENGINEERING, LLC
SINCE 2007

TBPFLS F-9827 (281) 519-8530
P.O. BOX 1549, ALVIN, TX 77512 scott@danielscotteengineering.com

RECORD DRAWING SET

SURVEYOR:
F.M.S. SURVEYING
7523 RUSSELL STREET,
MANVEL, TX 77578
OFFICE # (281) 519-8530, EXT. 2
TBPFLS F-9827

DEVELOPER/OWNER:

JOHNSON MATHEW
GO GREEN DEVELOPERS
2410 BAY MANOR
PEARLAND, TEXAS 77584
PHONE: 281-451-8722



AUGUST 25, 2022